

**AMENDED AGENDA  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
EAST CONFERENCE ROOM  
FEBRUARY 1, 2024  
4:00 P.M.**

**REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
FEBRUARY 8, 2024  
5:30 P.M.**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE JANUARY 11, 2024 MEETING
3. OPENING REMARKS

**OLD BUSINESS**

**SIGN REVIEW**

- |   |  |
|---|--|
| <b>4. Docket No. 01-03-24</b>   | <b>15002 Detroit Ave.<br/>Lakewood Optical</b>                                       |
| <br><input type="checkbox"/> Approve<br><input type="checkbox"/> Deny<br><input type="checkbox"/> Defer | <br>Shawn Warren<br>Erie Design Co. Inc.<br>16504 Detroit Ave.<br>Lakewood, OH 44107 |

Applicant proposes vinyl window signage and blade sign. (Page 4)

**NEW BUSINESS**

**ARCHITECTURAL BOARD OF REVIEW**

- |   |            |   |
|---|------------|---|
| <b>5. Docket No. 02-05-24</b>   | <b>(R)</b> | <b>1428 Grace Ave.</b>  |
| <br><input type="checkbox"/> Approve<br><input type="checkbox"/> Deny<br><input type="checkbox"/> Defer |            | <br>Joseph Park<br>Compass Studio<br>7948 Mayfield Rd.<br>Chesterland, OH 44026 |

Applicant proposes an addition and exterior renovation. (Page 10)

**SIGN REVIEW**

**6. Docket No. 02-06-24**

**13614 Madison Ave.  
Peak Dental**

- Approve
- Deny
- Defer

Tonia Watkins  
Watkins Lighting & Sign Mtc, Inc.  
300 Karl St.  
Berea, OH 44017

Applicant proposes sign band signage for a new business. (Page 53)

**7. Docket No. 02-07-24**

**1386 Bonnieview Ave.  
Get Yourself Together**

- Approve
- Deny
- Defer

Shawn Warren  
Erie Design Co. Inc.  
16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes vinyl window graphics and sign in sign band. (Page 61)

**8. Docket No. 02-08-24**

**11817 Detroit Ave.  
Naomi's Recipes**

- Approve
- Deny
- Defer

Shawn Warren  
Erie Design Co. Inc.  
16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes vinyl window graphics and non-illuminated blade sign. (Page 66)

**9. Docket No. 02-09-24**

**13729 Madison Ave.  
Slife Heating & Cooling**

- Approve
- Deny
- Defer

Shawn Warren  
Erie Design Co. Inc.  
16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes signage on the building front. (Page 72)

**10. Docket No. 02-10-24**

**17900 Detroit Ave.  
Artis**

- Approve
- Deny
- Defer

Andrew Mansour  
Artis Hospitality  
17900 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes sign on front of building and internally illuminated projecting sign. (Page 78)

**11. Docket No. 02-11-24**

**16300 Detroit Ave.  
Jersey Mike's**

- Approve
- Deny
- Defer

Laura Higgins-Woyma  
Brilliant Electric Sign Company  
4811 Van Epps Rd.  
Cleveland, OH 44131

Applicant proposes an internally illuminated projecting sign on front of building. (Page 102)  
(Page 102)

**ADD-ON**

**RETURN FOR MODIFICATIONS**

**12. Docket No. 10-68-22 (C)**

**12420 Madison Ave.  
K-Town Restaurant/Market**

- Approve
- Deny
- Defer

Leon Sampat  
LS Architects Inc.  
22082 Lorain Rd.  
Fairview Park, OH 44126

Applicant proposes modifications to approval granted at the October 13, 2022 meeting for commercial renovation into a restaurant/market. (Page 105)

**ADJOURN**

*"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochtka at (216) 529-5906 [michelle.nochtka@lakewoodoh.gov](mailto:michelle.nochtka@lakewoodoh.gov)."*



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 01-03-24**

**Permit No.: BBS23-000098**

**Applicant Name: Shawn Warren, Erie Design Co. Inc.**

**Project Address: 15002 Detroit Ave.**

**Project Name: Lakewood Optical**

**Project: Applicant proposes vinyl window signage and blade sign.**

# EXISTING STORE FRONT



**ERIE**  
*deSign*  
 Signs, Banners & Graphics  
 216-227-0043  
 www.eriedesign.com

**CLIENT:**  
 Lakewood Optical

**ADDRESS:**

**JOB #:**

**DATE:**

**SALESPERSON/ DESIGNER:**

**DATE:**

**REVISION HISTORY:**

**DATE:** **CHANGES MADE:**

**CLIENT SIGNATURE OF APPROVAL** **DATE:**

6) logos 8" x 18" 1 sq. ft ea. and text 8 sq. ft. total area.



36" Dia.  
2 Sided Blade  
16 sq. ft. 1.5" THICK

3" Lag bolt and sleeve mounted to sign surface area



**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriadesign.com

CLIENT: **Lakewood Optical**  
ADDRESS:

JOB #: \_\_\_\_\_ DATE: \_\_\_\_\_  
SALESPERSON/ DESIGNER: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISION HISTORY:  
DATE: \_\_\_\_\_ CHANGES MADE: \_\_\_\_\_  
CLIENT SIGNATURE OF APPROVAL \_\_\_\_\_ DATE: \_\_\_\_\_





Case #:

### City of Lakewood Division of Housing and Building

12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930

[Building.permits@lakewoodoh.net](mailto:Building.permits@lakewoodoh.net)

## Building Permit Application

PROJECT ADDRESS: 15002 Detroit Ave.

Suite/Unit #

or PERMANENT PARCEL NUMBER: 31214116

PROPERTY CLASSIFICATION:  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.)

 Change of Use?PERMIT TYPE:  Building  \*Plumbing  \*Mechanical  \*Electrical **\* (complete reverse side)** RELATED CASES:  Correction Notice  Plan Review  A.B.R. Approval

Case Number:

SCOPE OF PERMIT (Check all that apply):

- New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign  
 Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing  
 Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration  
 Demolition  Paving  Storm Sewer  Other (Please specify): Sign

\*VALUATION: (cost of the work) \$

PROJECT SIZE: (in square feet)

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)            DRAIN            NO DRAIN

1) Blade logo 36" w x 36" h 16 sq. ft. 2 sides mounted to fascia with 4) 3" lags and shields

2) Cut vinyl graphic window lettering 8" x 18" -1 sq. ft. each x 6 plus text for doctors names 8 sq. total

## Lakewood Optical

PROPERTY OWNER NAME: John Bruening

Phone: 216-226-9615

Business Name (if applicable) Lakewood Optical

Email: john@geaugavision.com

Mailing Address: 15002 Detroit Ave. City: LAKEWOOD, State: OH Zip: 44107

CONTRACTOR NAME: Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

ARCHITECT/ENGINEER: Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

  
 SIGNATURE OF CONTRACTOR / OWNER
12-1-23  
DATE

Anticipated Completion Date: 12-1-23



MAIN (216) 529-6270

FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)

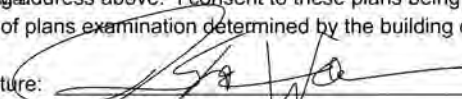
[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107

## APPLICATION FOR COMMERCIAL PLAN APPROVAL

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

**ALL INFORMATION MUST BE PROVIDED AND LEGIBLE**

<b>Project Location [OBC 107.2-2]:</b>	<b>Applicant Information [OBC 107.2-5]</b> (Building Owner or Representative)
Street Address: <u>15002 Detroit Ave.</u> <u>31214116</u>	Name: <u>John Bruening</u>
Floor Number: _____ Suite: _____	Business Name: <u>Lakewood Optical</u>
Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Mailing Address: <u>15002 Detroit Ave.</u>
<b>Project Information [OBC 107.2-1]:</b> (Project Use and Occupancy [OBC 107.2-3])	City/State/Zip Code: <u>LAKEWOOD OH 44107</u>
<b>Project Type (check all that apply):</b>	Phone Number: <u>216-226-9615</u>
<input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair	For Best Service Provide Email Address: <u>john@geaugavision.com</u>
<input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign	<b>Registered Design Professional [OBC 106.2.1]</b>
<b>Project Scope (check all that apply):</b>	<input type="checkbox"/> Architect <input type="checkbox"/> Engineer
<input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC)	<input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA
<input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below)	Name: <u>Shawn Warren</u>
<input type="checkbox"/> Site Work over 8,000 sq. ft.	Firm or Business: <u>Erie design</u>
<b>Describe the (proposed) use</b> (e.g.: Restaurant, boutique, office, etc.): RE- FACE EXISTING ACRYLIC SIGN FACE ON MONUMENT SIGN	Certificate or Registration Number: <u>on file</u>
<b>Occupancy class [OBC Chapter 3]:</b> _____	Mailing Address: <u>16504 detroit Ave</u>
<b>If Mixed Use [OBC 508.1] check one:</b>	City/State/Zip Code: <u>Lakewood Oh 44107</u>
<input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only	Contact Name: <u>Shawn Warren</u>
<b>Construction Type [OBC Chapter 6]:</b> _____	Contact Phone: <u>216-227-0043</u>
Total Project Work Area: <u>Text 8 sq ft</u> Sq. Ft.	For Best Service Provide Email Address: <u>eriedesign@ameritech.net</u>
<u>Blade 16 sq ft</u>	<b>Certification [OBC 107.2.5]</b>
Total cost of construction (valuation): \$ <u>\$600</u>	I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent
<b>Describe the project:</b>	All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official.
1) Blade logo 36" w x 36" h 16 sq. ft. 2 sides mounted to fascia with 4) 3" lags and shields	Signature: 
2) Cut vinyl graphic window lettering 8" x 18" -1 sq. ft. each x 6 plus text for doctors names	Printed Name: <u>Shawn Warren</u>
<b>Fire Protection Systems [OBC 106.1.1.1]</b>	Date of Application: <u>12-1-23</u>
(Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	<b>For Building Department Use</b>
Building Sprinkler System _____ Limited Area Sprinkler System _____	Case Number: _____
In-Rack Sprinkler System _____ Demand at Riser Base _____ psi	Date Received: _____
Kitchen Hood Suppression _____ Fire Alarm System _____	Received By: _____
Fire Detection System _____ Smoke Detection System _____	Other Approvals Required (prior to permit issuance):
<b>Required Construction Documents [OBC Section 106]</b>	Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
3 sets required for Building Department plus	Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
1 set for Fire Department Review (if applicable)	ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
1 (Civil) set for Engineering Review (if applicable)	Plan Review Fees
Date on Plans: <u>12-1-23</u>	Outside Plans Examiner: \$ _____
	Stormwater Review: \$ _____



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## **Application Cover Page**

**Docket No.: 01-05-24**

**Permit No.: BBS24-000006**

**Applicant Name: Joseph Park, Compass Studio**

**Project Address: 1428 Grace Ave.**

**Project Name: n/a**

**Project: Applicant proposes an addition and exterior renovation.**

Jan 17, 2024

To whom it may concern,

I, Janine A. Erb, permit

Nathanael Dunn on

behalf of Compass

Studio to submit

an application to the

city of Lakewood, Ohio.

Best

Janine A. Erb

JANINE A. ERB



SOUTH NEIGHBOR



1428 GRACE STREET



NORTH NEIGHBOR





MATERIAL LEGEND						
HATCH	NAME	DESCRIPTION	MFR/LINE	COLOR	PATTERN	NOTES
	STONE-01	EXISTING STONE PAVERS	-	-	-	-
	STONE-02	STONE PAVERS	-	MATCH EXISTING	-	MATCH EXIST STONE TYPE
	STONE-03	COBBLESTONE PAVERES	UNILOCK/COURTSTONE	BASALT	5 UNIT RANDOM	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-



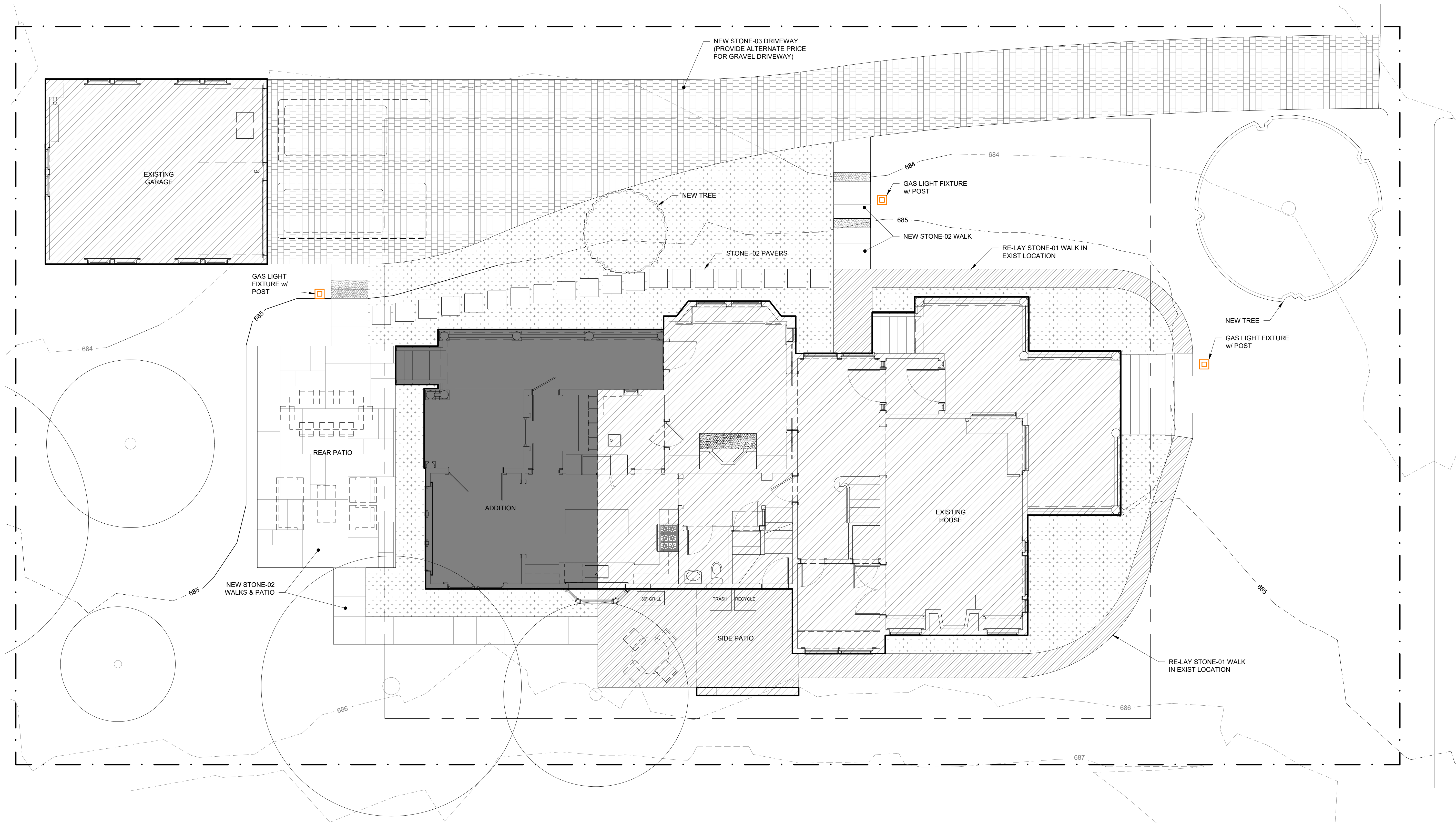
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

RENOVATION FOR:  
**ESS/ERB RESIDENCE**  
 1428 GRACE AVE.  
 LAKEWOOD, OH 44107

MARK	DATE	DESCRIPTION
	03/29/2022	REFINEMENT 01
	07/06/2022	REFINEMENT 02
	08/01/2023	DETAILS 01
	02/08/2023	ABR 01 SUBMISSION

ARCHITECTURAL SITE PLAN

AS-103



**1** ARCHITECTURAL SITE PLAN  
 3/16" = 1'-0"



**COMPASS**  
STUDIO

## ABR 01 MEETING

1428 GRACE AVE, LAKEWOOD, OH 44107

[WWW.COMPASSSTUDIO.COM](http://WWW.COMPASSSTUDIO.COM) | 440.635.0500



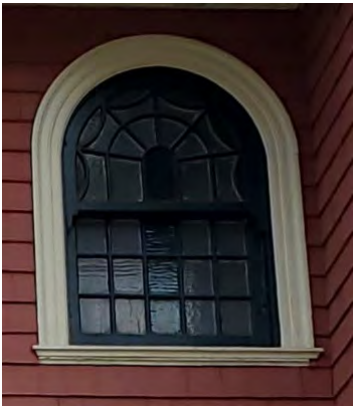
SOUTH NEIGHBOR



1428 GRACE STREET



NORTH NEIGHBOR







STAINED CEILING + ENTRY DOORS



SW0022  
PATCHWORK PLUM

SW6021  
DREAMY WHITE

SW2811  
ROOKWOOD  
BLUE GREEN

SW0016  
BILLIARD  
GREEN





SHINGLES: CEDAR (TO NATURALLY WEATHER TO GREY)

DRIVEWAY PAVERS: UNILOCK COURTSTONE, BASALT

PATIO PAVERS: RECLAIMED SANDSTONE



ARM:  
AMERICAN GAS LAMP WORKS,  
WM1, TIMELESS BLACK FINISH



FINIAL:  
AMERICAN GAS LAMP WORKS,  
F12, TIMELESS BLACK FINISH



LAMP:  
AMERICAN GAS LAMP WORKS,  
ITEM 2900, TIMELESS BLACK FINISH



CHIMNEY POTS:  
SUPERIOR CLAY CORPORATION, EDWARDIAN  
CLAY CHIMNEY POT (35" TALL, 13" BASE)



EXISTING LIGHT FIXTURE



LAMP POST:  
AMERICAN GAS LAMP WORKS,  
EMBO2, TIMELESS BLACK FINISH

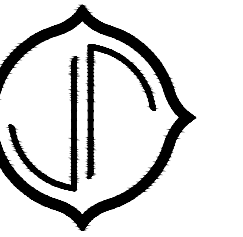


TERRA COTTA

### MISCELLANEOUS ITEMS

# ESSI/ERB RESIDENCE

1428 GRACE AVE  
LAKEWOOD, OH 44107



**COMPASS  
STUDIO**

7948 Mayfield Road  
Chesterland, OH 44026  
440-635-0500

Joseph Park, Registered Architect  
josephpark@compassstudio.com

## ABBREVIATIONS

<b>AB</b> ANCHOR BOLT	<b>HVAC</b> HEATING, VENTILATION, AIR CONDITIONING
<b>ACT</b> ACOUSTICAL CEILING TILE	<b>IBC</b> INTERNATIONAL BUILDING CODE
<b>ADDL</b> ADDITIONAL	<b>INCL</b> INCLUDING (ED)
<b>AFF</b> ABOVE FINISH FLOOR	<b>INFO</b> INFORMATION
<b>ALUM</b> ALUMINUM	<b>INSUL</b> INSULATION
<b>ANOD</b> ANODIZE(D)	<b>INT</b> INTERIOR
<b>APPROX</b> APPROXIMATE	<b>JAN</b> JANITOR
<b>ARCH</b> ARCHITECT (URAL)	<b>LAV</b> LAVATORY
<b>BD</b> BOARD	<b>MAS</b> MASONRY
<b>BFF</b> BELOW FINISH FLOOR	<b>MATL</b> MATERIAL
<b>BITUM</b> BITUMINOUS	<b>MAX</b> MAXIMUM
<b>BLDG</b> BUILDING	<b>MECH</b> MECHANICAL
<b>BLKG</b> BLOCKING	<b>MFD</b> MANUFACTURED
<b>BM</b> BEAM	<b>MFR</b> MANUFACTURE (R)
<b>BOS</b> BOTTOM OF STEEL	<b>MIN</b> MINIMUM, MINUTE
<b>BOT</b> BOTTOM	<b>MISC</b> MISCELLANEOUS
<b>C</b> CHANNEL	<b>MO</b> MASONRY OPENING
<b>CB</b> CATCH BASIN	<b>MTD</b> MOUNTED
<b>CF/CI</b> CONTRACTOR FURNISHED, OWNER INSTALLED	<b>MTL</b> METAL
<b>CG</b> CORNER GUARD	<b>NA</b> NOT APPLICABLE
<b>CJ</b> CEILING JOISTS	<b>NIC</b> NOT IN CONTRACT
<b>CL</b> CENTERLINE	<b>NO</b> NUMBER
<b>CLG</b> CEILING	<b>NOM</b> NOMINAL
<b>CLR</b> CLEAR	<b>NTS</b> NOT TO SCALE
<b>CMU</b> CONCRETE MASONRY UNIT	<b>OA</b> OVERALL
<b>COL</b> COLUMN	<b>OC</b> ON CENTER
<b>CONC</b> CONCRETE	<b>OD</b> OUTSIDE DIAMETER
<b>CONT</b> CONTINUOUS	<b>OF/CI</b> OWNER FURNISHED, CONTRACTOR INSTALLED
<b>CONTR</b> CONTRACT (OR)	<b>OF/IO</b> OWNER FURNISHED, OWNER INSTALLED
<b>COORD</b> COORDINATE	<b>OH</b> OVERHANG
<b>CPT</b> CARPET (ED)	<b>OPH</b> OPPOSITE HAND
<b>CT</b> CERAMIC TILE, COLLAR TIES	<b>OPNG</b> OPENING
<b>DEMO</b> DEMOLISH, DEMOLITION	<b>OPP</b> OPPOSITE
<b>DET</b> DETAIL	<b>ORD</b> OVERLAP ROOF DRAIN
<b>DF</b> DRINKING FOUNTAIN	<b>OVHD</b> OVERHEAD
<b>DI</b> DIAMETER	<b>PL</b> PROPERTY LINE
<b>DIM</b> DIMENSION	<b>PLAM</b> PLASTIC LAMINATE
<b>DS</b> DOWNSPOUT	<b>PLYWD</b> PLYWOOD
<b>DWG</b> DRAWING	<b>PT</b> PAINT, PRESSURE TREATED
<b>E</b> EAST	<b>PVG</b> PAVING
<b>EA</b> EACH	<b>R</b> RADIUS, RISER, RAFTERS
<b>EL</b> ELEVATION	<b>RADIUS</b> , RISER, RAFTERS
<b>ELC</b> ELECTRIC (AL)	<b>RES</b> RESILIENT BASE
<b>ELEV</b> ELEVATOR	<b>RCF</b> REFLECTED CEILING PLAN
<b>ENCL</b> ENCLOSE (URE)	<b>RD</b> ROOF DRAIN, ROAD
<b>EQ</b> EQUAL	<b>REQD</b> REQUIRED
<b>EQUIP</b> EQUIPMENT	<b>RM</b> ROOM
<b>EW</b> EACH WAY	<b>RO</b> ROUGH OPENING
<b>ETR</b> EXISTING TO REMAIN	<b>S</b> SOUTH
<b>EXIST</b> EXISTING	<b>SCHED</b> SCHEDULE
<b>EXP</b> EXPANSION	<b>SF</b> SQUARE FOOT (FEET)
<b>EXT</b> EXTERIOR	<b>SHT</b> SHEET
<b>FD</b> FLOOR DRAIN	<b>SHTM</b> SHEATHING
<b>FDTM</b> FOUNDATION	<b>SIM</b> SIMILAR
<b>FEC</b> FIRE EXTINGUISHER CABINET	<b>SPKLR</b> SPRINKLER
<b>FF</b> FINISH FACE	<b>SQ</b> SQUARE
<b>FH</b> FUME HOOD	<b>SS</b> SANITARY SEWER, SEAM STANDING
<b>FIN</b> FINISH (ED)	<b>SST</b> STAINLESS STEEL
<b>FJ</b> FLOOR JOISTS	<b>ST</b> STAIRS, STREET
<b>FLR</b> FLOOR	<b>STD</b> STANDARD
<b>FOC</b> FACE OF CONCRETE	<b>STOR</b> STORAGE
<b>FOF</b> FACE OF FINISH	<b>STRCT</b> STRUCTURE (AL)
<b>FOM</b> FACE OF MASONRY	<b>SUSP</b> SUSPENDED (ED)
<b>FOS</b> FACE OF STUDS	<b>SV</b> SHEET VINYL
<b>FRMG</b> FRAMING	<b>T</b> TREAD
<b>FRTW</b> FIRE RETARDANT TREATED WOOD	<b>TB</b> TACK BOARD
<b>FT</b> FOOT, FEET	<b>TF</b> TOP OF FINISH FLOOR
<b>FTG</b> FOOTING	<b>THRU</b> THROUGH
<b>GA</b> GAGE, GYPSUM ASSOCIATION	<b>TMPD</b> TEMPERED
<b>GALV</b> GALVANIZED, GALVANIC	<b>TOM</b> TOP OF MASONRY TYP TYPICAL
<b>GAR</b> GARAGE	<b>UON</b> UNLESS OTHERWISE NOTED
<b>GB</b> GRAB BAR	<b>UTIL</b> UTILITY
<b>GC</b> GENERAL CONTRACTOR	<b>VEH</b> VEHICLE
<b>GL</b> GLASS	<b>VERT</b> VERTICAL
<b>GSB</b> GYPSUM SHEATHING BOARD	<b>VIF</b> VERIFY IN FIELD
<b>GYP</b> GYPSUM	<b>VRFY</b> VERIFY
<b>GYP BD</b> GYPSUM BOARD	<b>W/</b> WITH
<b>H</b> HIGH	<b>W</b> WEST, WIDE
<b>HW</b> HOSE BIBB	<b>W/O</b> WITHOUT
<b>HC</b> HANDICAP	<b>WC</b> WATER CLOSET
<b>HDW</b> HARDWARE	<b>WD</b> WOOD, WOOD DOOR
<b>HM</b> HOLLOW METAL	<b>WDW</b> WINDOW
<b>HORIZ</b> HORIZONTAL	<b>WR</b> WEATHER RESISTANT, WATER REPELLENT
<b>HT</b> HEIGHT	<b>WSCT</b> WAINSCOT

## GENERAL NOTES

- COMPLY WITH APPLICABLE CODES AND ORDINANCES IN FORCE AT TIME OF BUILDING PERMIT ISSUANCE.
- READ, UNDERSTAND AND COMPLY WITH ALL APPLICABLE PROVISIONS OF THE CONSTRUCTION DOCUMENTS FOR THE PROJECT.
- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS SHOWN ARE:
  - AT INTERIOR PARTITIONS: TO THE FACE OF FINISHED WALL MATERIAL.
  - AT COLUMNS: TO THE CENTERLINE OF COLUMNS.
  - AT CONCRETE OR CMU: TO THE FACE OF CONCRETE OR CMU.
  - AT FRAMING PLANS: TO THE OUTSIDE FACE OF ROUGH FRAMING (INCLUDING SHEATHING FOR EXTERIOR WALLS).
- PLACE DOORS NOT LOCATED BY DIMENSION ON PLANS 6" FROM FACE OF ADJOINING PARTITION TO HINGE EDGE OF DOOR OPENING. CLOSE DOORS TO BE CENTERED IN CLOSET UNLESS NOTED OTHERWISE. PROVIDE 18" MINIMUM CLEAR FROM FACE OF ADJOINING PARTITION OR OTHER OBSTRUCTION TO STRIKE JAMB EDGE OF DOOR OPENING, UNLESS OTHERWISE NOTED. NOTIFY ARCHITECT IF REQUIRED CLEARANCES ARE NOT AVAILABLE.
- PROVIDE FIRE RESISTANT CLOSURE MEETING THE REQUIREMENTS OF THE GOVERNING FIRE AUTHORITIES AT ALL GAPS AROUND PENETRATING DUCTS, PIPES, CONDUITS, ETC. AT ALL FIRE RATED BUILDING WALLS, PARTITIONS, CEILINGS, FLOORS AND ROOFS. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.
- ROOM AND DOOR NUMBERS SHOWN ON DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY.
- CONCEAL ALL PIPING, CONDUITS, DUCTS, ETC INSIDE WALLS AND ABOVE CEILINGS AT ALL ROOMS EXCEPT ELECTRICAL AND TELEPHONE CLOSETS AND MECHANICAL ROOMS. IN SPACES OPEN TO STRUCTURE, ONLY PIPING CONDUITS AND DUCTS THAT SERVE THE SPACE MAY BE EXPOSED. LOCATE SUCH INSTALLATIONS TO MINIMIZE VISIBILITY AND ORGANIZE TO MINIMIZE RUN LENGTHS AND OVERLAPPING. ARCHITECT TO REVIEW SHOP DRAWINGS FOR EXPOSED MECHANICAL, ELECTRICAL, PLUMBING ITEMS PRIOR TO FABRICATION AND INSTALLATION.
- COORDINATE WORK WITH ALL OWNER FURNISHED ITEMS AND PROVIDE ALL REQUIRED MECHANICAL AND ELECTRICAL CONNECTIONS INCLUDING STUB OUTS.
- VERIFY ALL DIMENSIONS, EXISTING AND NEW CONDITIONS ON THE JOB BEFORE PROCEEDING WITH THE WORK.
- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE IS BINDING AS IF REQUIRED BY ALL.
- PROVIDE REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR AS IF DRAWN IN FULL. NOT ALL OCCURRENCES OF A FEATURE ARE NOTED IN EVERY CASE.
- CONSULT WORK OF ALL TRADES FOR ALL OPENINGS AND ROUGH-CUTS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS AND EQUIPMENT, AND VERIFY SIZE AND LOCATION BEFORE PROCEEDING WITH WORK.
- VERIFY ALL ROUGH-IN DIMENSIONS REQUIRED FOR EQUIPMENT, INCLUDING THAT FURNISHED BY OTHERS, PRIOR TO PROCEEDING WITH WORK.
- DO NOT TAKE ROOM FINISH PLAN(S) AS A COMPLETE SPECIFICATION FOR ALL INTERIOR ROOM MATERIALS. HOWEVER, THEY ARE BINDING TO THE EXTENT OF THE MATERIAL THEY DO SPECIFY. CROSS-CHECK THE ROOM FINISH PLAN(S) WITH ROOM FINISH SCHEDULES. SPECIFICATIONS AND OTHER DRAWINGS FOR OTHER MATERIALS AND REQUIREMENTS NOT COVERED BY THE ROOM FINISH PLAN(S).
- COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS FOR EXACT LOCATIONS, TYPES AND SIZES OF ACCESS DOORS REQUIRED BY THEIR WORK. PROVIDED ACCESS FOR ALL CONCEALED VALVES, DAMPER CONTROLS, FIRE DAMPER LINKAGE, ELECTRICAL JUNCTION BOXES, ETC. DRAWINGS MAY NOT SHOW ALL REQUIRED ACCESS PANELS. INDICATE REQUIRED ACCESS DOORS ON THE COORDINATION DRAWINGS. OBTAIN ARCHITECT'S APPROVAL FOR LOCATIONS OF ACCESS DOORS PRIOR TO INSTALLATION.
- PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY AS REQUIRED BY CODE.
- DO NOT SCALE DRAWINGS.
- CONSTRUCT RECESSES LOCATED WITHIN FIRE RATED PARTITIONS TO MAINTAIN THE REQUIRED FIRE RATING OF THE PARTITION.
- SITE SURVEY, GEOTECHNICAL INVESTIGATION, AND HAZARDOUS MATERIALS DOCUMENTATION WAS PREPARED BY CONSULTANTS TO THE OWNER AND NOT UNDER THE DIRECTION OF THE ARCHITECT. THIS DOCUMENTATION IS INCLUDED IN THE CONTRACT DOCUMENTS AS AN ACCOMMODATION TO THE OWNER.
- REFER TO DOCUMENTS FOR GENERAL LOCATIONS OF VISIBLE EQUIPMENT, SIGNAL DEVICES, SIGNAGE, AND OTHER VISIBLE ITEMS. CONSULT WITH ARCHITECT FOR EXACT MOUNTING LOCATION.
- REPAIR / PATCH / OR REINSTALL CEILINGS & WALLS REMOVED FOR MECHANICAL AND ELECTRICAL WORK ON THE FLOORS BELOW AND IN OTHER AREAS OF THE BUILDING BEYOND THE AREAS INDICATED.
- IN GENERAL, NEW FINISHED FLOOR ELEVATIONS ARE TO ALIGN WITH EXISTING FINISHED FLOOR ELEVATIONS. THE FLOOR ELEVATIONS INDICATED ARE APPROXIMATE. CONTRACTOR TO VERIFY THE EXISTING ABUTTING FLOOR ELEVATIONS AND ADJUST THE NEW ELEVATIONS INDICATED AS NECESSARY. NOTIFY THE ARCHITECT WHERE DEVIATIONS EXCEEDING 1/2" ARE ENCOUNTERED.

## DEMOLITION:

- SEE FLOOR PLANS FOR EXTENT OF DEMOLITION. COORDINATE DIMENSIONS OF OPENINGS ON PLANS W/ AREAS TO BE DEMOLISHED. SHORE UP ALL STRUCTURAL ELEMENTS BEFORE DEMOLISHING OR REMOVING EQUIPMENT, WALLS, ETC. TO ASSURE A SAFE WORKPLACE.
- PROTECT INTERIOR OF BUILDING FROM WEATHER DAMAGE DURING AND AFTER DEMOLITION HAS BEEN COMPLETED. DO NOT REMOVE OR CUT ANY PORTION OF THE STRUCTURE WHICH WOULD RENDER THE BUILDING STRUCTURALLY UNSAFE. CONSULT THE ARCHITECT.
- ALL SHORING TO REMAIN IN PLACE UNTIL NEW STRUCTURE IS IN PLACE.
- REMOVE ALL ELECTRICAL WIRING ASSOCIATED WITH DEMOLISHED WALLS IF ANY IS ENCOUNTERED. DO NOT ALLOW WIRING TO REMAIN LOOSE OR EXPOSED. INCORPORATE WIRING INTO NEW SYSTEM WHERE POSSIBLE.
- ALL WALLS OR ELEMENTS TO BE DEMOLISHED ARE SHOWN WITH A DASHED LINE.
- NOTIFY ARCHITECT OF UNFORESEEN CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- PLUMBING, ELECTRICAL, AND HVAC CONTRACTORS TO REMOVE AND RELOCATE ALL ITEMS INCLUDING BUT NOT LIMITED TO: CONDUIT, WIRING, DUCTS, PIPING, AND EQUIPMENT WHICH ARE TO BE REUSED AND THAT INTERFERE WITH OR ARE IN THE AREA OF THE DEMOLITION. CUT AND PATCH ALL FLOORS / WALLS, ETC. AS REQUIRED FOR INSTALLATION OF NEW WORK.
- SEAL OPENINGS WEATHER TIGHT IN EXTERIOR WALLS AND ROOF UNTIL NEW CONSTRUCTION IS IN PLACE.
- REMOVE ALL BASE & SHOE & PLINTH MOLDING AT ANY LOCATIONS WHERE REMOVAL OF EXISTING TILE OR HARDWOOD FLOORING IS INDICATED ON THE PLANS.

## WALL & PARTITION:

- FINISH ALL WALLS & PARTITIONS W/ 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE.
- INSTALL 5/8" GREEN BOARD AT ALL BATHROOMS.
- INSTALL 1/2" CEMENT BOARD AT ALL TILE LOCATIONS.
- INSTALL SOUND ATTENUATION BATT. INSULATION AT ALL LAUNDRY AND BATH ROOM WALLS.

## TEMPERED GLAZING:

- ALL GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED:
  - GLAZING IN SWINGING, SLIDING OR FIXED DOORS, INCLUDING FIXED PANELS AND SIDE LITES.
  - GLAZING FOR DOORS AND SURROUNDS OF WHIRLPOOLS, TUBS AND SHOWERS.
  - GLAZING WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
  - GLAZING WITHIN 18" OF THE FINISH FLOOR.
  - GLAZING ADJACENT TO TUBS AND SHOWERS.

## STAIR:

- HANDRAILS SHALL HAVE A HEIGHT OF 34" - 38" AND SHALL RUN CONTINUOUS THE FULL LENGTH OF THE STAIRS, AND SHALL EXTEND 6" BEYOND THE TOP AND BOTTOM RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE INTO A NEWEL POST. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. ANY OPEN SIDES SHALL HAVE BALUSTERS WITH LESS THAN 4" CLEAR SPACE BETWEEN.
- MAXIMUM RISER HEIGHT TO BE 8 1/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LANDING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- MINIMUM TREAD DEPTH TO BE 9". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- ALL NOSING TO BE A 1" PROTRUSION. THE RADIUS OF THE CURVATURE OF THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16". A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED 1/2". RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH DIAMETER SPHERE.
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING IN THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLES (11 LUX) MEASURED AT THE CENTER OF THE TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY. FOR UNDERSIDE OF STAIR STORAGE, PROVIDE FIRE-STOPPING AT TOP AND BOTTOM OF STAIR STRINGER AND COMPLETELY DRYWALL THE UNDERSIDE WITH TYPE-X GYPSUM WALL BOARD.

## ROOF:

- CONTRACTOR TO DETERMINE THE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER APPLICABLE CODES FOR PROPER ROOF DRAINAGE.
- PROVIDE CRICKETS AS NECESSARY FOR PROPER WATER DRAINAGE.
- INSTALL ICE & WATER SHIELD AT:
  - ALL VALLEYS AND ROOF PENETRATIONS.
  - 6'-0" HORIZONTALLY EXTENDING FROM THE BOTTOM EDGE OF THE ROOF.
  - WHERE ROOF PLANES INTERSECT VERTICAL WALLS (18" MIN. UP WALL AND ONTO ROOF).
  - AT ALL ROOF AREAS WITH A PITCH LESS THAN 3.5:12.

## ATTIC VENTILATION:

- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF SPACE VENTILATED EXCEPT THAT THE AREA MAY BE 1 TO 300, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED WITH VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS. THE NET FREE CROSS VENTILATING AREA MAY NOT BE LESS THAN 1 TO 300 OF THE AREA OF THE SPACE VENTILATED WHEN THE VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.

## ELECTRICAL:

- ALL SWITCHES TO BE DIMMER STYLE EXCEPT AT SHOWER LIGHTS & FANS.
- SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARD WIRED W/ BATTERY BACK-UP AND CONNECTED TOGETHER. ALL SMOKE DETECTORS TO USE IONIZATION AND PHOTOELECTRIC TECHNOLOGY. COORDINATE LOCATIONS WITH THE OWNER FOR APPROVAL.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. COORDINATE LOCATIONS WITH THE OWNER FOR APPROVAL.
- EXISTING ELECTRICAL SYSTEM TO REMAIN. REPLACE CIRCUITS AND RUNS AS NEEDED FOR RENOVATION.
- RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6' FROM A RECEPTACLE OUTLET.
- A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTERTOP AND WORK SURFACE THAT IS 12" OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE.

## LIGHTING LAYOUT:

- SINGLE LIGHT FIXTURES INSTALLED IN SPACES SUCH AS PANTRIES, CLOSETS, ALCOVES & SHOWERS ARE TO BE CENTERED WITHIN THE SPACE UNLESS NOTED OTHERWISE.
- UNDER CABINET LIGHTING TO BE INSTALLED PER MANUFACTURERS WRITTEN INSTRUCTIONS, AND TOWARD THE FRONT OF THE CABINET FACE, IN SUCH A MANNER THAT THE FIXTURE ITSELF IS NOT VISIBLE FROM PLAIN VIEW.
- VANITY LIGHTING SHALL BE LOCATED IN THE FIELD BASED ON INDIVIDUAL FIXTURE SIZES FEATURES & MOUNTING REQUIREMENTS.
- ALL LIGHTING & SWITCH LOCATIONS TO BE APPROVED BY OWNER PRIOR TO FINAL INSTALLATION.

## MECHANICAL:

- MECHANICAL CONTRACTOR TO DESIGN HEATING/COOLING SYSTEM FOR RENOVATION. REVIEW LOCATIONS OF ALL NEW/RELOCATED EQUIPMENT AND REGISTERS IN FIELD WITH OWNER.
- THE MECHANICAL CONTRACTOR IS TO VERIFY UPDATES TO THE BATH FANS & KITCHEN HOOD WILL MAINTAIN NEGATIVE PRESSURE WHILE THESE APPLIANCES ARE ACTIVATED.
- HVAC CONTRACTOR TO FURNISH AND INSTALL AUTOMATIC MAKEUP AIR SYSTEM - ACCOMMODATES HOODS OPERATING OVER 400 CFM. FIELD VERIFY LOCATION OF UNIT AND VENTS, COORDINATE WITH ARCHITECT AND HOMEOWNER.

## PLUMBING:

- ALL WASTE STACKS SHALL BE PVC PIPING. ALL WALL, FLOOR & CEILING CAVITIES BETWEEN THE STUDS & JOISTS WHERE THESE STACKS & VENTS OCCUR SHALL BE INSULATED WITH SOUND ATTENUATION BATTS.

## ZONING REVIEW

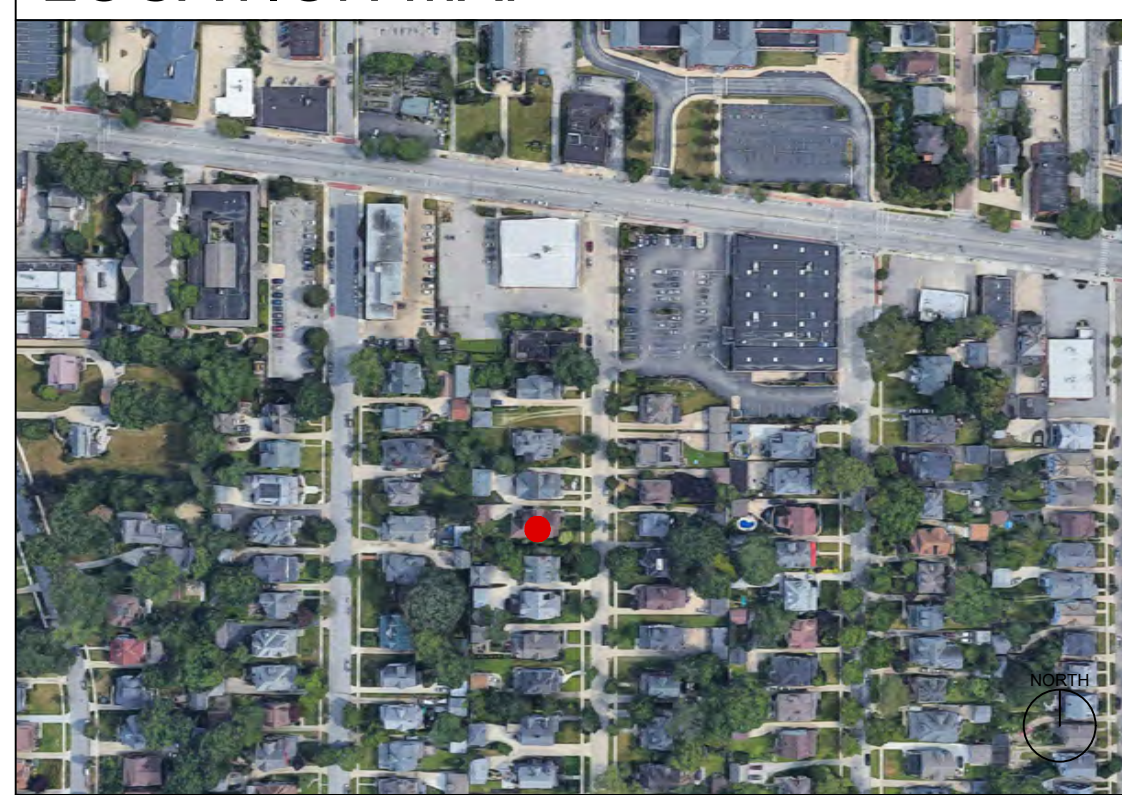
ZONING CLASSIFICATION OF SITE: R1H

**SETBACKS:**  
FRONT: 27'  
SIDE: 5'-10"  
REAR: 40'

MAXIMUM HEIGHT: 35'

25% MAX LOT COVERAGE BY MAIN BUILDING (20% CALCULATED)

## LOCATION MAP



## PROJECT TEAM

**OWNER:**  
VERNON ESSI & JANINE ERB  
1428 GRACE AVE  
LAKEWOOD, OH 44107

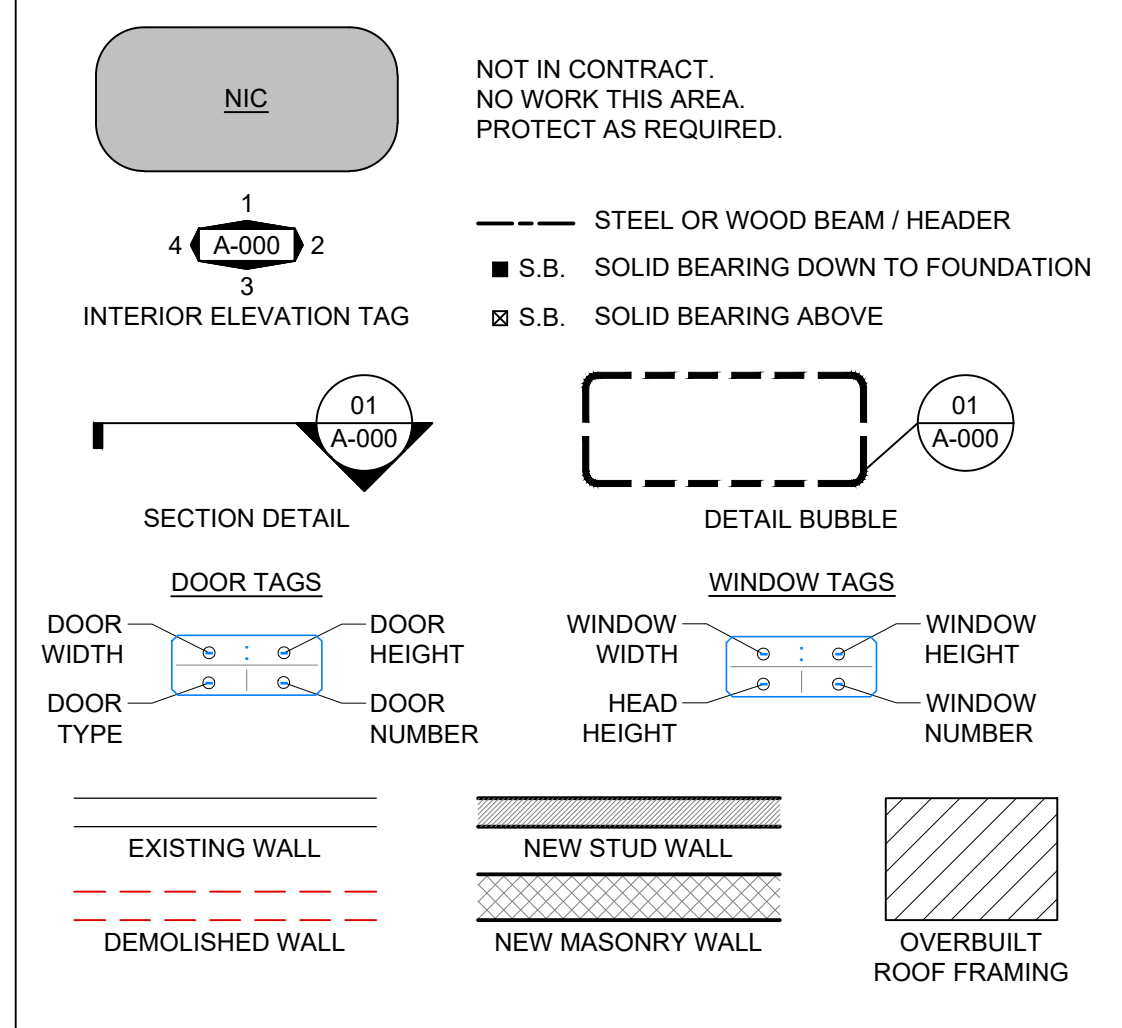
**ARCHITECT:**  
JOSEPH PARK  
COMPASS STUDIO  
CHESTERLAND, OHIO 44026  
PHONE: 440.635.0500  
EMAIL: JOSEPHPARK@COMPASSSTUDIO.COM

**CONTRACTOR:**  
COMPASS STUDIO  
7948 MAYFIELD ROAD  
CHESTERLAND, OH 44026

## PROJECT INFORMATION

PROJECT DESCRIPTION:  
ADDITION AND INTERIOR RENOVATION

## SYMBOLS



## SHEET INDEX

DWG #	SHEET NAME	ISSUE
T-001	GENERAL INFORMATION / DRAWING INDEX	
AS-101	ZONING SITE PLAN	
AS-102	DEMOLITION SITE PLAN	
AS-103	ARCHITECTURAL SITE PLAN	
AS-104	ENLARGED ARCHITECTURAL SITE PLAN	
AS-105	UTILITIES + GRADING SITE PLAN	
AS-106	MECHANICAL/ELECTRICAL SITE PLAN	
AS-111	SITE DETAILS	
D-101	BASEMENT DEMOLITION PLAN	
D-111	FIRST FLOOR DEMOLITION PLAN	
D-121	SECOND FLOOR DEMOLITION PLAN	
D-131	THIRD FLOOR DEMOLITION PLAN	
S-001	STRUCTURAL NOTES	
S-002	STRUCTURAL DETAILS	
S-101	FOUNDATION + FIRST FLOOR FRAMING PLAN	
S-102	BASEMENT DIMENSION PLAN	
S-111	SECOND FLOOR FRAMING PLAN	
S-112	FIRST FLOOR DIMENSION PLAN	
S-121	THIRD FLOOR FRAMING PLAN	
S-122	SECOND FLOOR DIMENSION PLAN	
A-101	BASEMENT PLAN	
A-111	FIRST FLOOR PLAN	
A-121	SECOND FLOOR PLAN	
A-131	THIRD FLOOR PLAN	
A-141	ROOF PLAN	
A-151	GARAGE PLANS	
A-201	EXTERIOR ELEVATIONS, WINDOW SCHEDULE	
A-202	EXTERIOR ELEVATIONS	
A-203	EXTERIOR ELEVATIONS	
A-211	EXTERIOR DETAILS	
A-301	SECTIONS/DETAILS	
A-302	SECTIONS/DETAILS	
A-311	SECTIONS/DETAILS	
A-401	BASEMENT FINISH PLAN	
A-411	FIRST FLOOR FINISH PLAN	
A-421	SECOND FLOOR FINISH PLAN	
A-431	THIRD FLOOR FINISH PLAN	
A-451	MILLWORK	
A-452	MILLWORK	
A-471	SCHEDULES/DOORS	
A-501	INTERIOR ELEVATIONS/RENDERINGS	
A-502	INTERIOR ELEVATIONS/RENDERINGS	
ME-101	BASEMENT MECHANICAL/ELECTRICAL PLAN	
ME-111	FIRST FLOOR MECHANICAL/ELECTRICAL PLAN	
ME-121	SECOND FLOOR MECHANICAL/ELECTRICAL PLAN	
ME-131	THIRD FLOOR MECHANICAL/ELECTRICAL PLAN	

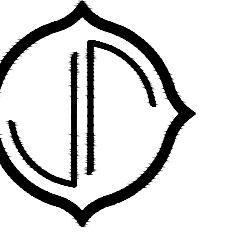
PRELIMINARY NOT FOR CONSTRUCTION

RENOVATION FOR:  
**ESSI/ERB RESIDENCE**  
1428 GRACE AVE.  
LAKEWOOD, OH 44107

MARK	DATE	DESCRIPTION
	03/29/2022	REFINEMENT 01
	07/06/2022	REFINEMENT 02
	08/01/2023	DETAILS 01
	02/08/2023	ABR 01 SUBMISSION

GENERAL INFORMATION  
DRAWING INDEX

**T-001**



COMPASS  
STUDIO

7945 Mayfield Road  
Chesterland, OH 44026  
440-635-0500

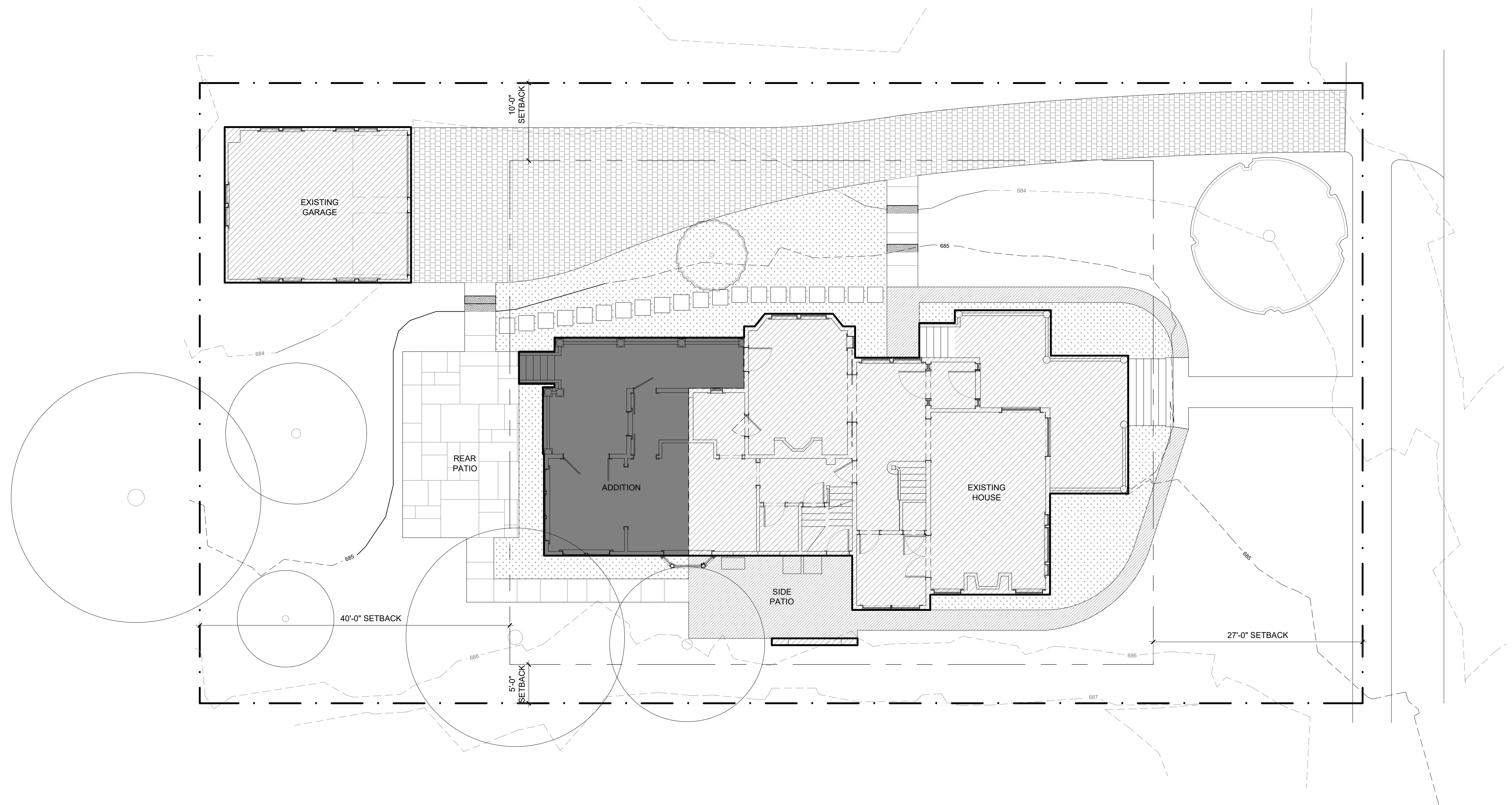
Joseph Park, Registered Architect  
josephpark@compassstudio.com

PRELIMINARY  
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CONSTRUCTION

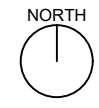
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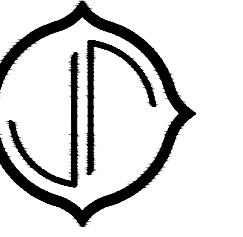


1 ZONING SITE PLAN  
1/8" = 1'-0"



ZONING SITE PLAN

AS-101



COMPASS  
STUDIO

7945 Mayfield Road  
Chesterland, OH 44026  
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Joseph Park, Registered Architect  
josephpark@compassstudio.com

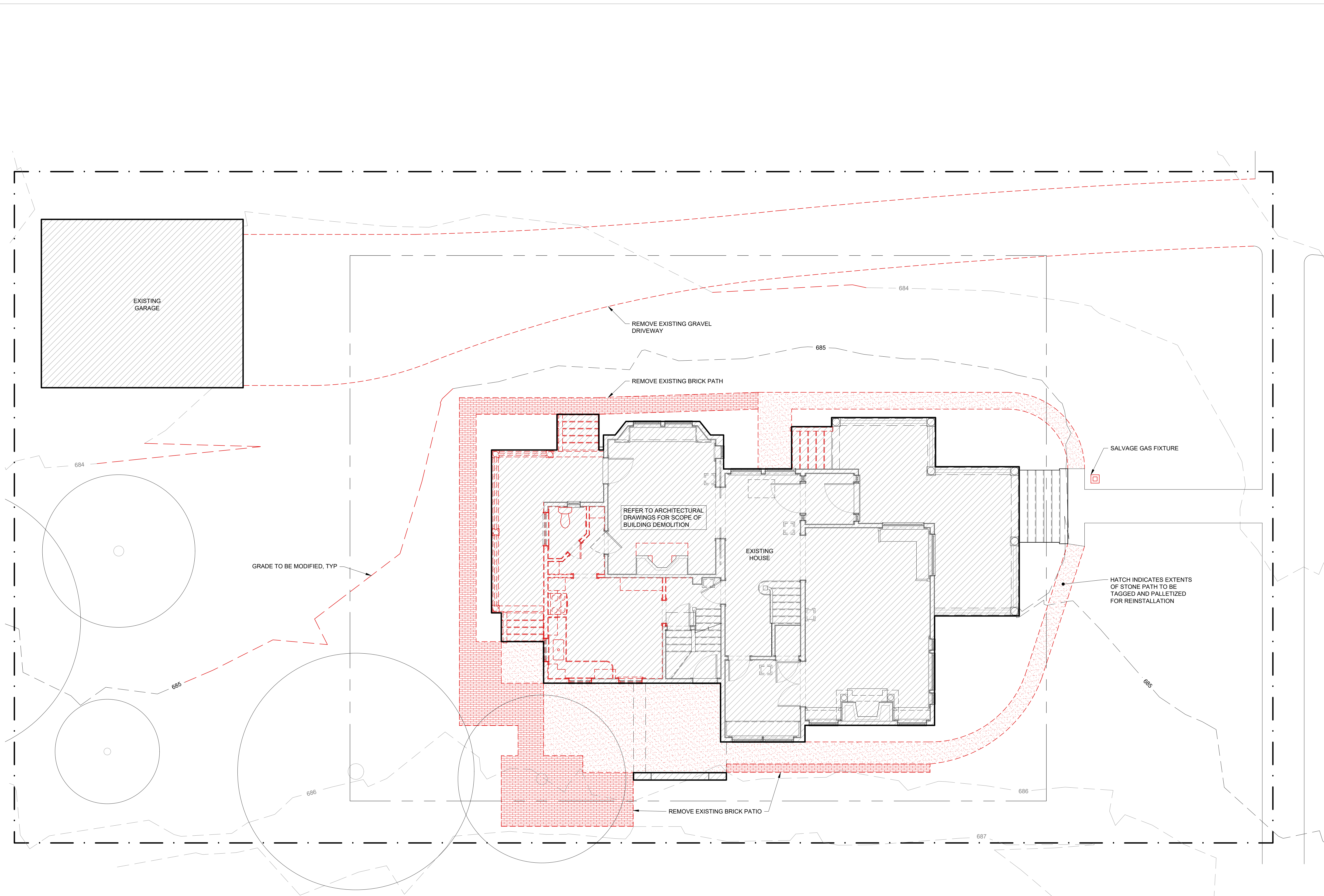
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	02/08/2023	ABR 01 SUBMISSION

DEMOLITION SITE PLAN

AS-102



1 SITE DEMOLITION PLAN  
3/16" = 1'-0"



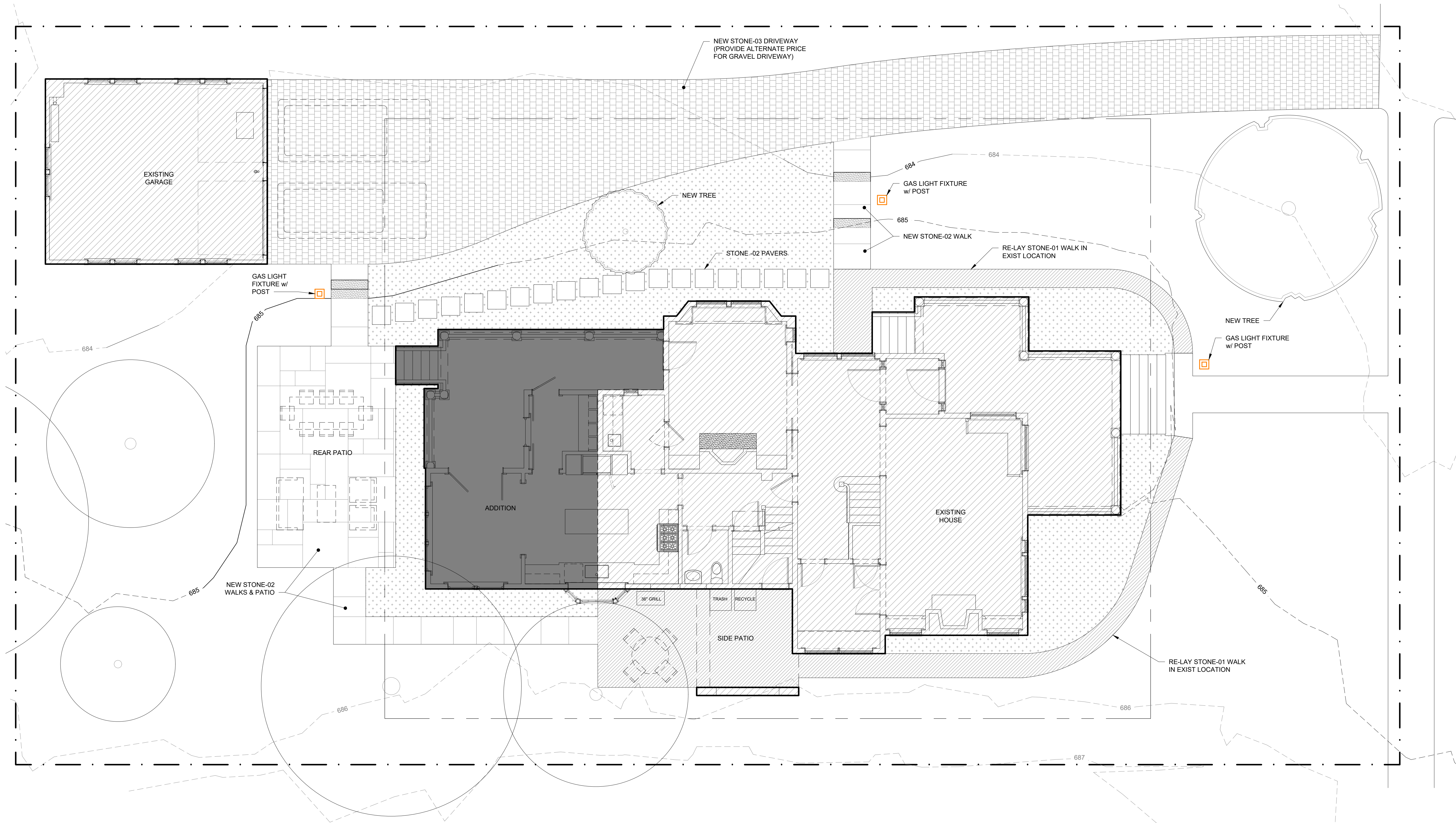
MATERIAL LEGEND						
HATCH	NAME	DESCRIPTION	MFR/LINE	COLOR	PATTERN	NOTES
	STONE-01	EXISTING STONE PAVERS	-	-	-	-
	STONE-02	STONE PAVERS	-	MATCH EXISTING	-	MATCH EXIST STONE TYPE
	STONE-03	COBBLESTONE PAVERES	UNILOCK/COURTSTONE	BASALT	5 UNIT RANDOM	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-



**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

RENOVATION FOR:  
**ESS/ERB RESIDENCE**  
 1428 GRACE AVE.  
 LAKEWOOD, OH 44107

MARK	DATE	DESCRIPTION
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	07/06/2022	REFINEMENT 02
	08/01/2023	DETAILS 01
	02/08/2023	ABR 01 SUBMISSION



**1 ARCHITECTURAL SITE PLAN**  
 3/16" = 1'-0"

ARCHITECTURAL SITE PLAN

**AS-103**

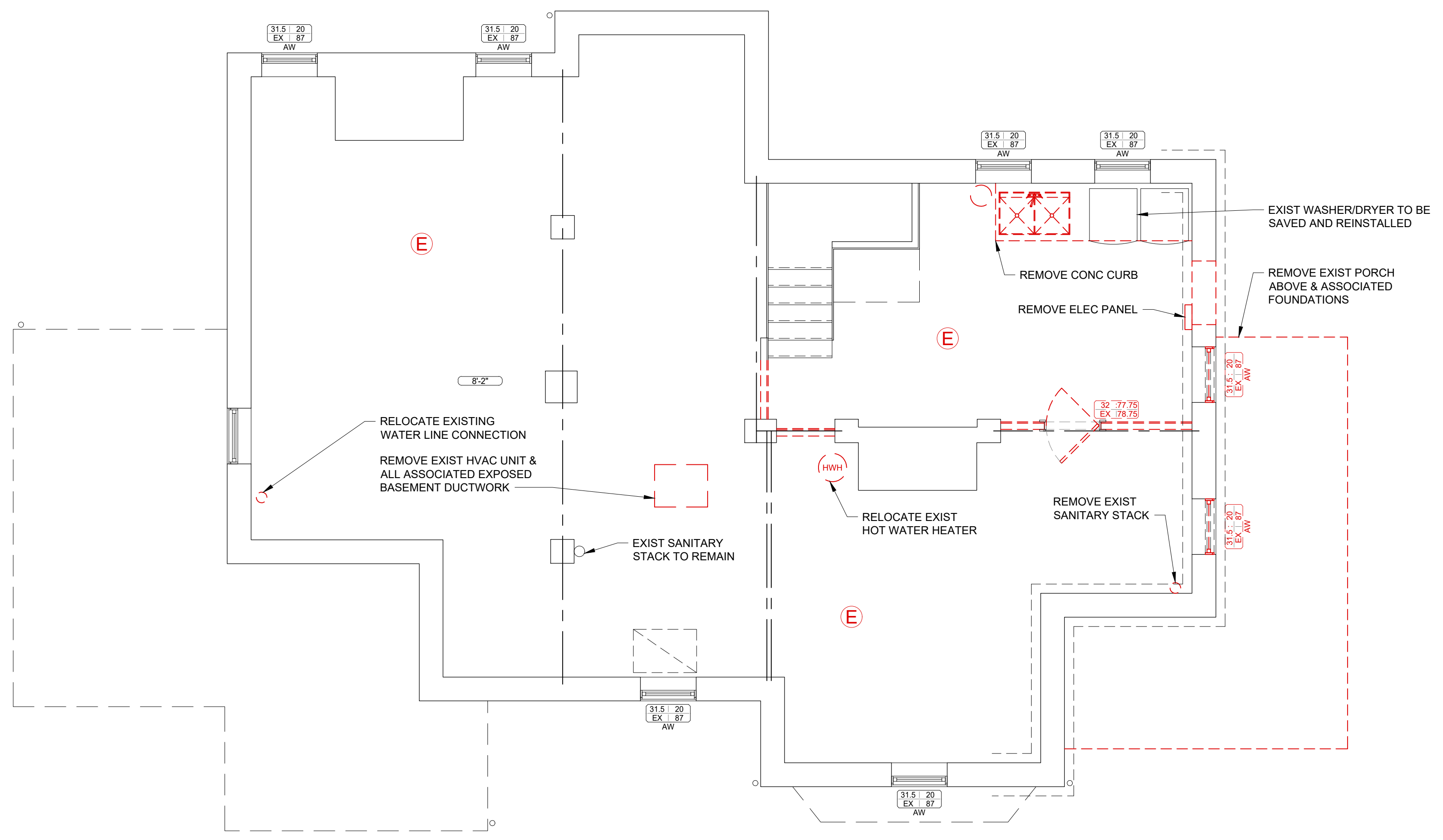
DEMOLITION NOTES	
TAG	SCOPE
	REMOVE WALL + CEILING FINISH DOWN TO FRAMING
A	REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS
B	REMOVE WALL + CEILING FINISH DOWN TO FRAMING AS SHOWN REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN WALL FINISH TO REMAIN, EXCEPT AS SHOWN
C	CEILING + FLOORING FINISH TO REMAIN WALLS, DOORS + WINDOWS TO REMAIN, EXCEPT AS SHOWN FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS TO REMAIN, EXCEPT AS NOTED
D	EXISTING SPACE TO REMAIN, NO DEMOLITION THIS AREA
E	REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN



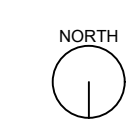
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	02/08/2023	ABR 01 SUBMISSION



**1** BASEMENT DEMOLITION PLAN  
1/4" = 1'-0"

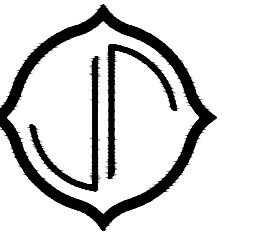


BASEMENT DEMOLITION PLAN



**DEMOLITION NOTES**

TAG	SCOPE
	REMOVE WALL + CEILING FINISH DOWN TO FRAMING
A	REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS
B	REMOVE WALL + CEILING FINISH DOWN TO FRAMING AS SHOWN REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN WALL FINISH TO REMAIN, EXCEPT AS SHOWN
C	CEILING + FLOORING FINISH TO REMAIN WALLS, DOORS + WINDOWS TO REMAIN, EXCEPT AS SHOWN FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS TO REMAIN, EXCEPT AS NOTED
D	EXISTING SPACE TO REMAIN, NO DEMOLITION THIS AREA
E	REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN



**COMPASS  
STUDIO**

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440-635-0500

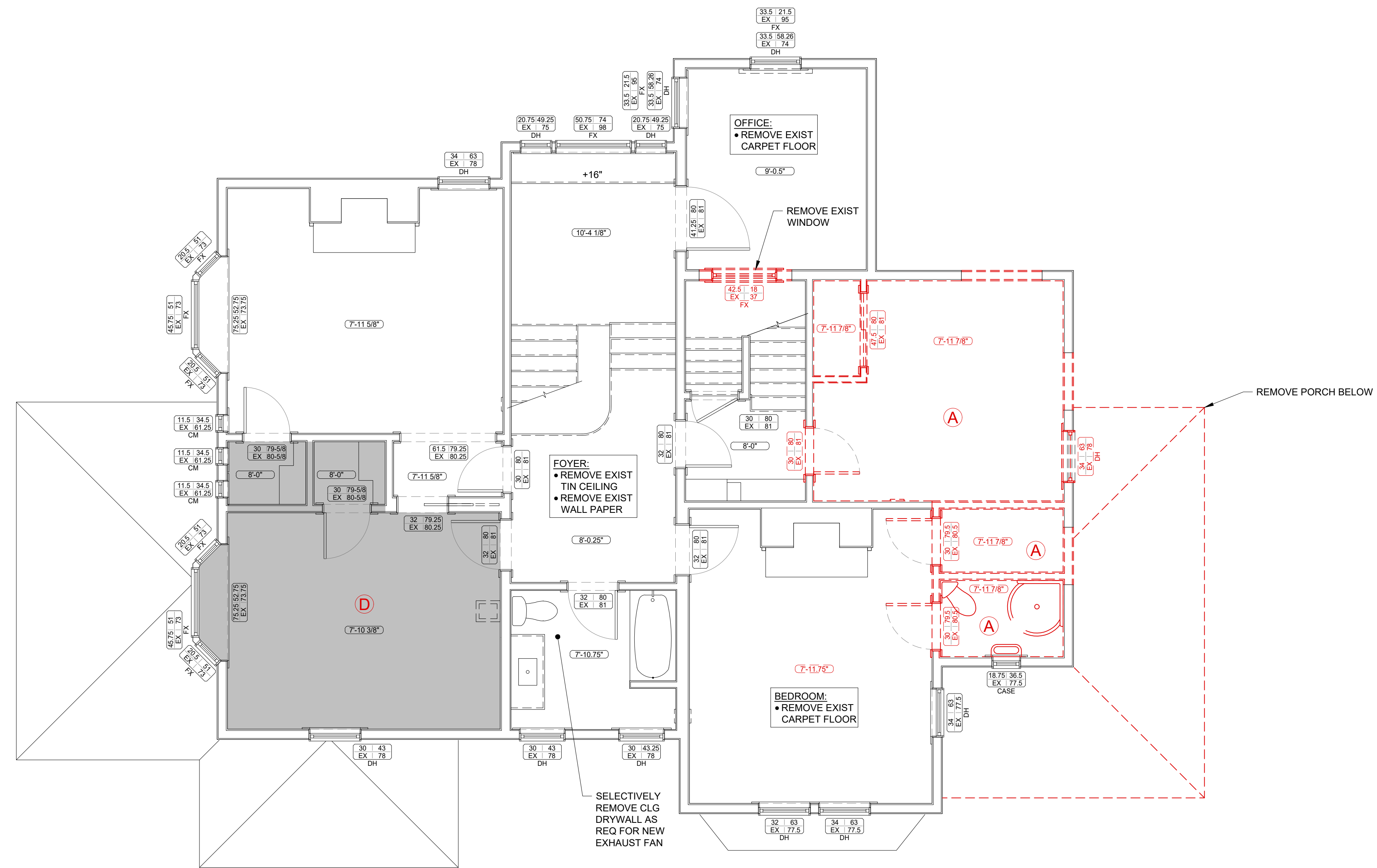
Joseph Park, Registered Architect  
josephpark@compassstudio.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

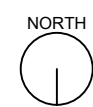
RENOVATION FOR:  
**ESS/ERB RESIDENCE**

1428 GRACE AVE.  
LAKEWOOD, OH 44107

MARK	DATE	DESCRIPTION
	03/29/2022	REFINEMENT 01
	07/06/2022	REFINEMENT 02
	08/01/2023	DETAILS 01
	02/08/2023	ABR 01 SUBMISSION



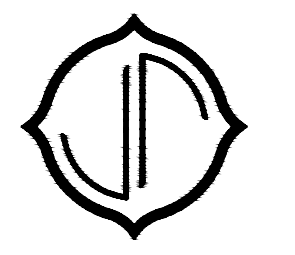
**1 SECOND FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"



SECOND FLOOR  
DEMOLITION PLAN

### DEMOLITION NOTES

TAG	SCOPE
	REMOVE WALL + CEILING FINISH DOWN TO FRAMING
	REMOVE FLOORING DOWN TO SUBFLOOR
A	REMOVE WALLS, DOORS + WINDOWS AS SHOWN
	REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS
	REMOVE WALL + CEILING FINISH DOWN TO FRAMING AS SHOWN
B	REMOVE FLOORING DOWN TO SUBFLOOR
	REMOVE WALLS, DOORS + WINDOWS AS SHOWN
	REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN
	WALL FINISH TO REMAIN, EXCEPT AS SHOWN
C	CEILING + FLOORING FINISH TO REMAIN
	WALLS, DOORS + WINDOWS TO REMAIN, EXCEPT AS SHOWN
	FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS TO REMAIN, EXCEPT AS NOTED
D	EXISTING SPACE TO REMAIN, NO DEMOLITION THIS AREA
E	REMOVE WALLS, DOORS + WINDOWS AS SHOWN
	REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN

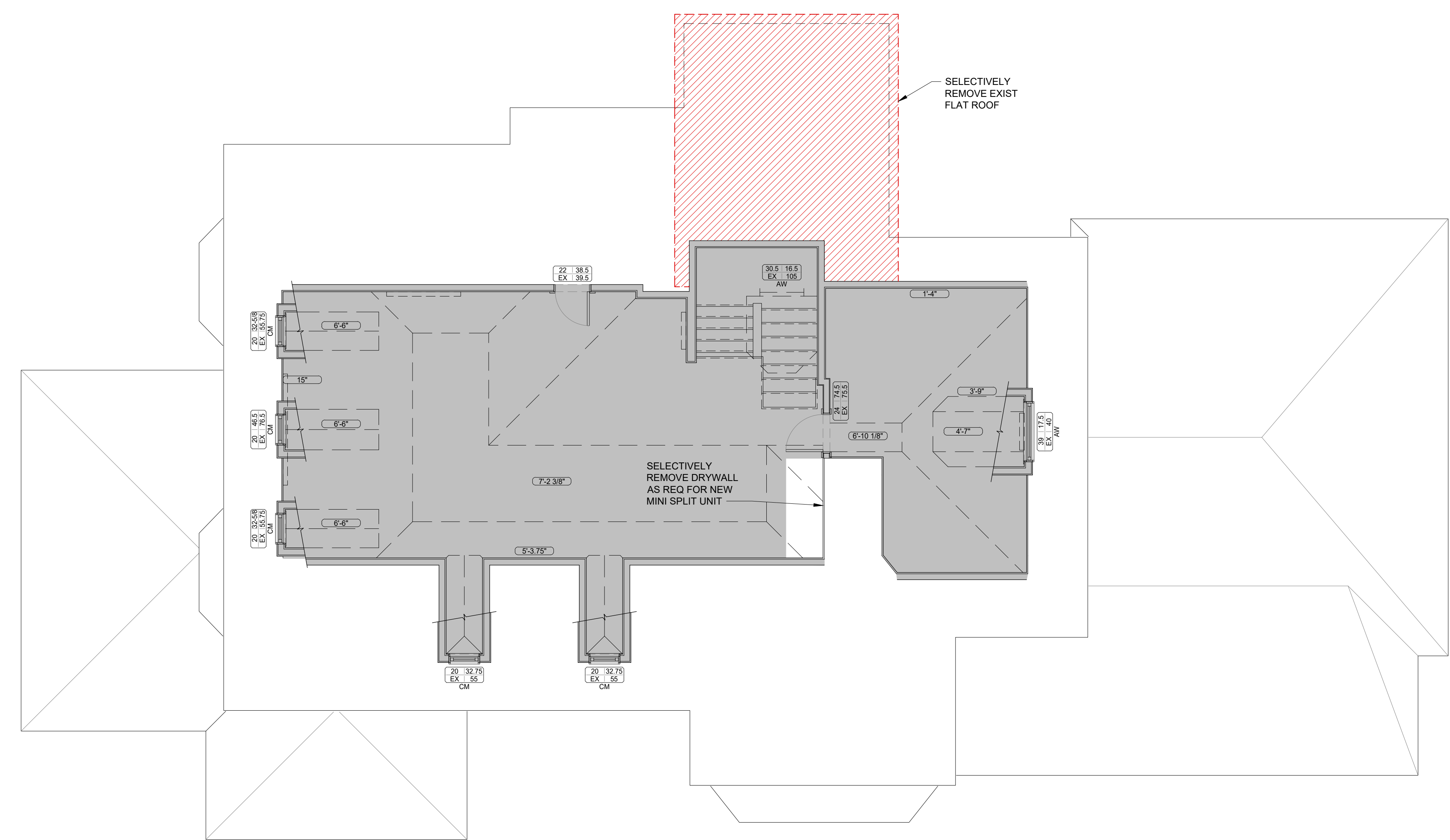


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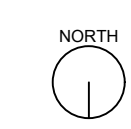
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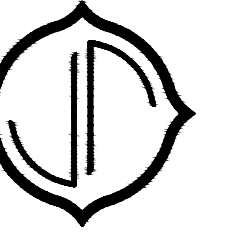


**1 THIRD FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"



THIRD FLOOR DEMOLITION  
PLAN





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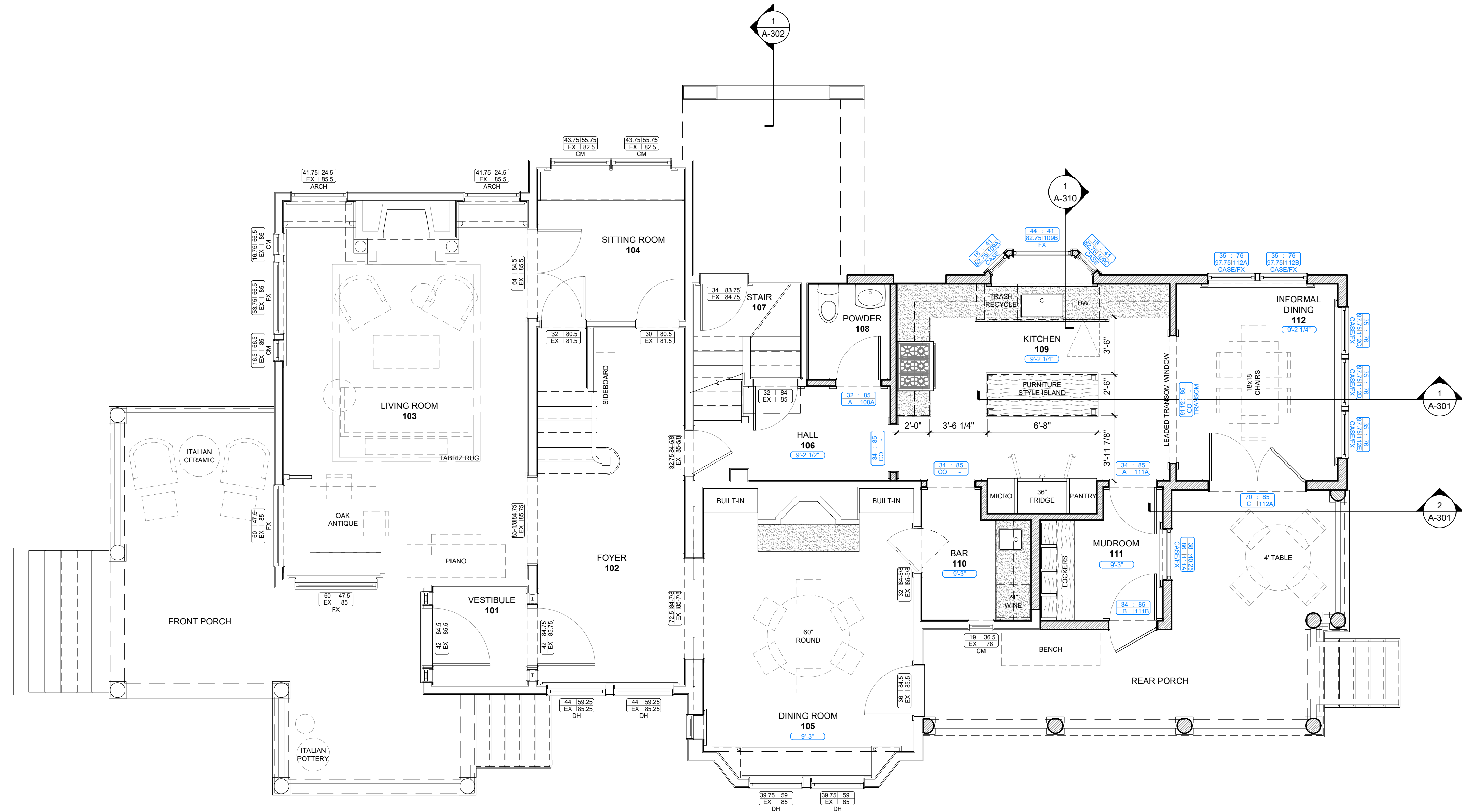
RENOVATION FOR:  
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MARK	DATE	DESCRIPTION
03/29/2022		REFINEMENT 01
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08/01/2023		DETAILS 01
02/08/2023		ABR 01 SUBMISSION

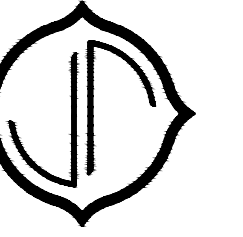
FIRST FLOOR PLAN

A-111



1 FIRST FLOOR PLAN  
1/4" = 1'-0"





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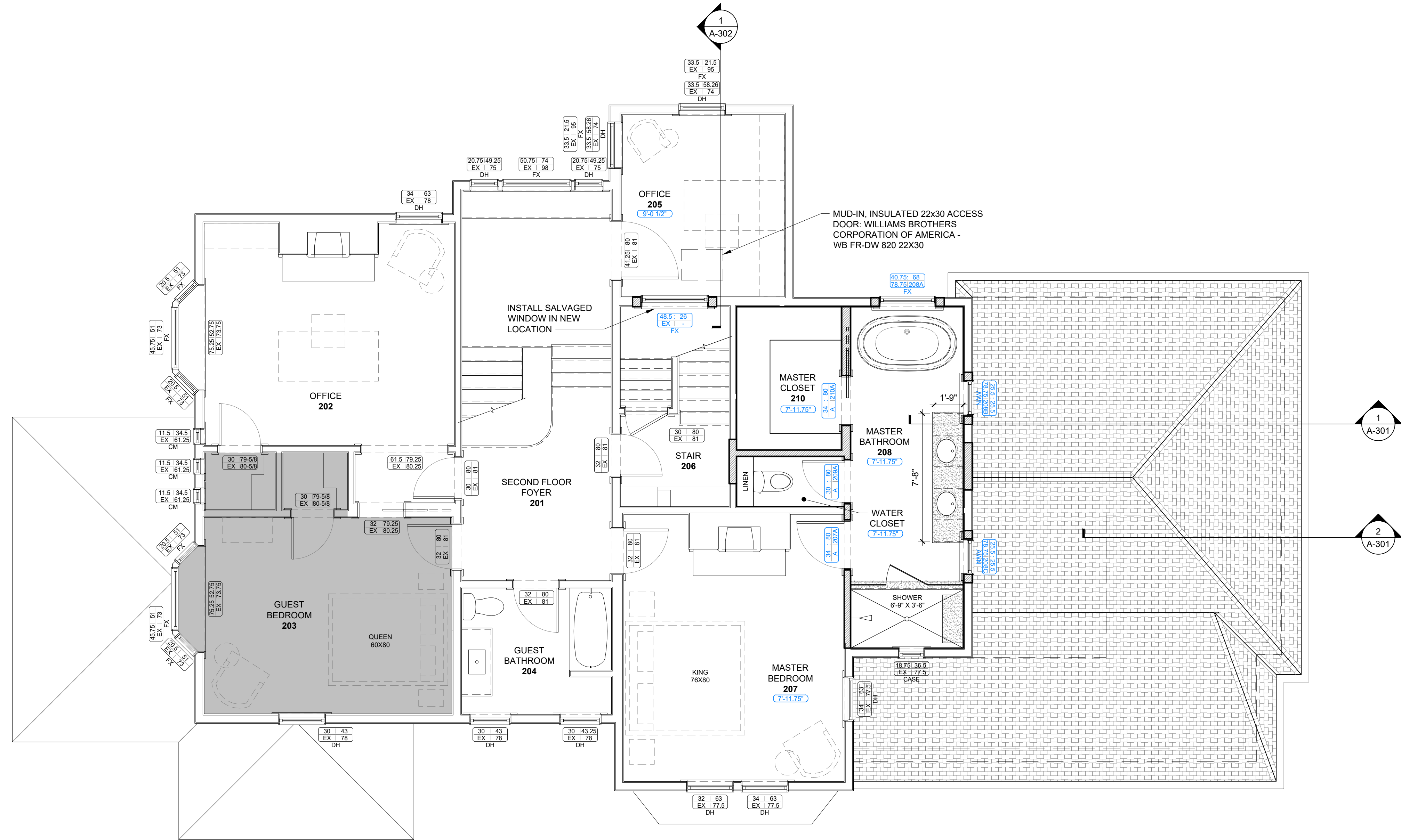
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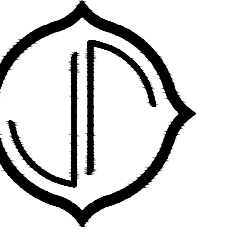
SECOND FLOOR PLAN

A-121



1 SECOND FLOOR PLAN  
1/4" = 1'-0"





COMPASS  
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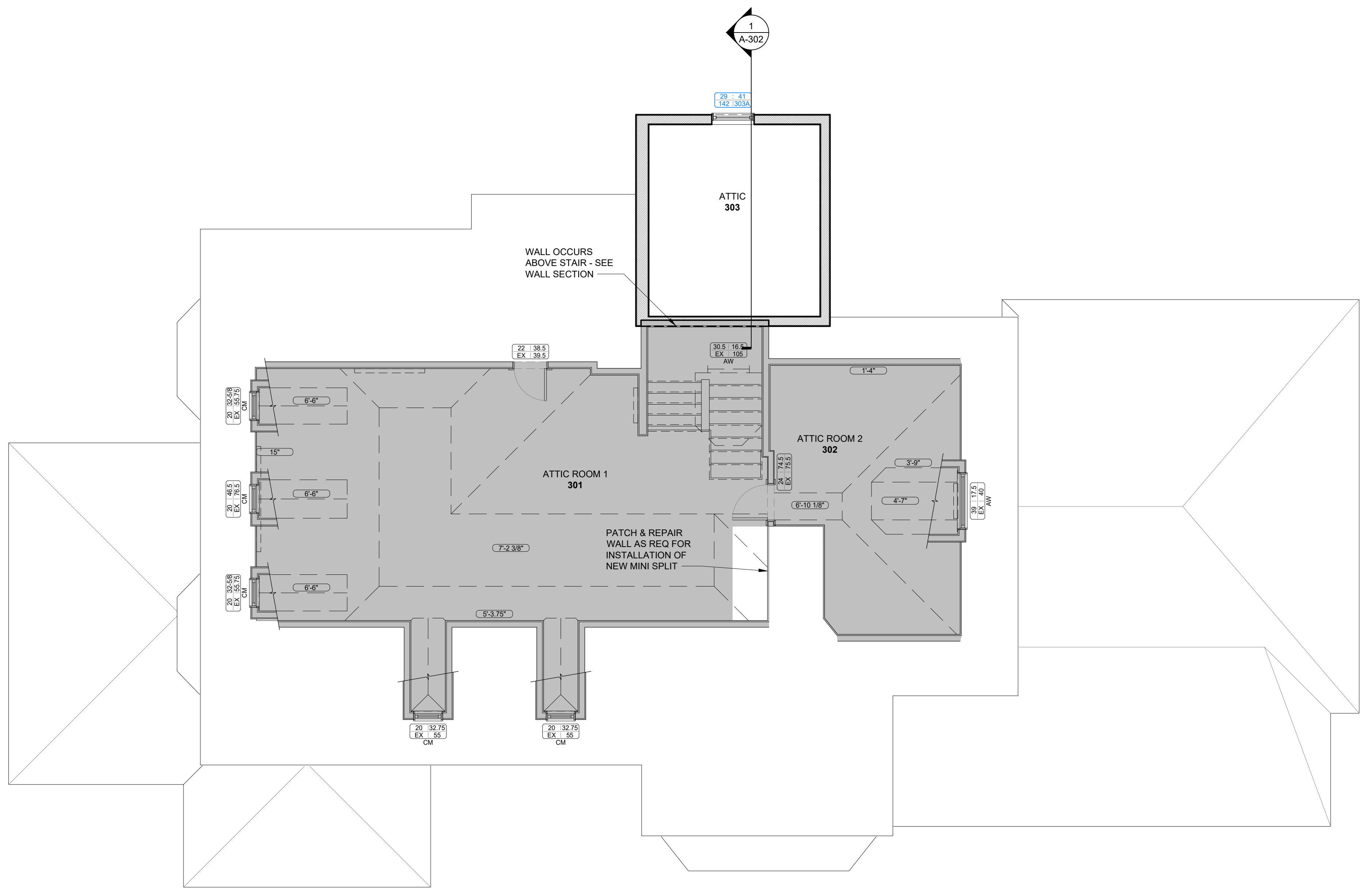
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CONSTRUCTION

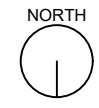
RENOVATION FOR:  
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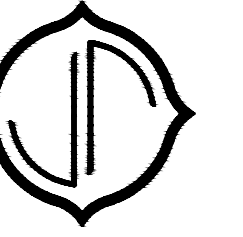
MARK	DATE	DESCRIPTION
	03/29/2022	REFINEMENT 01
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	02/08/2023	ABR 01 SUBMISSION



1 THIRD FLOOR PLAN  
1/4" = 1'-0"



ROOF PLAN



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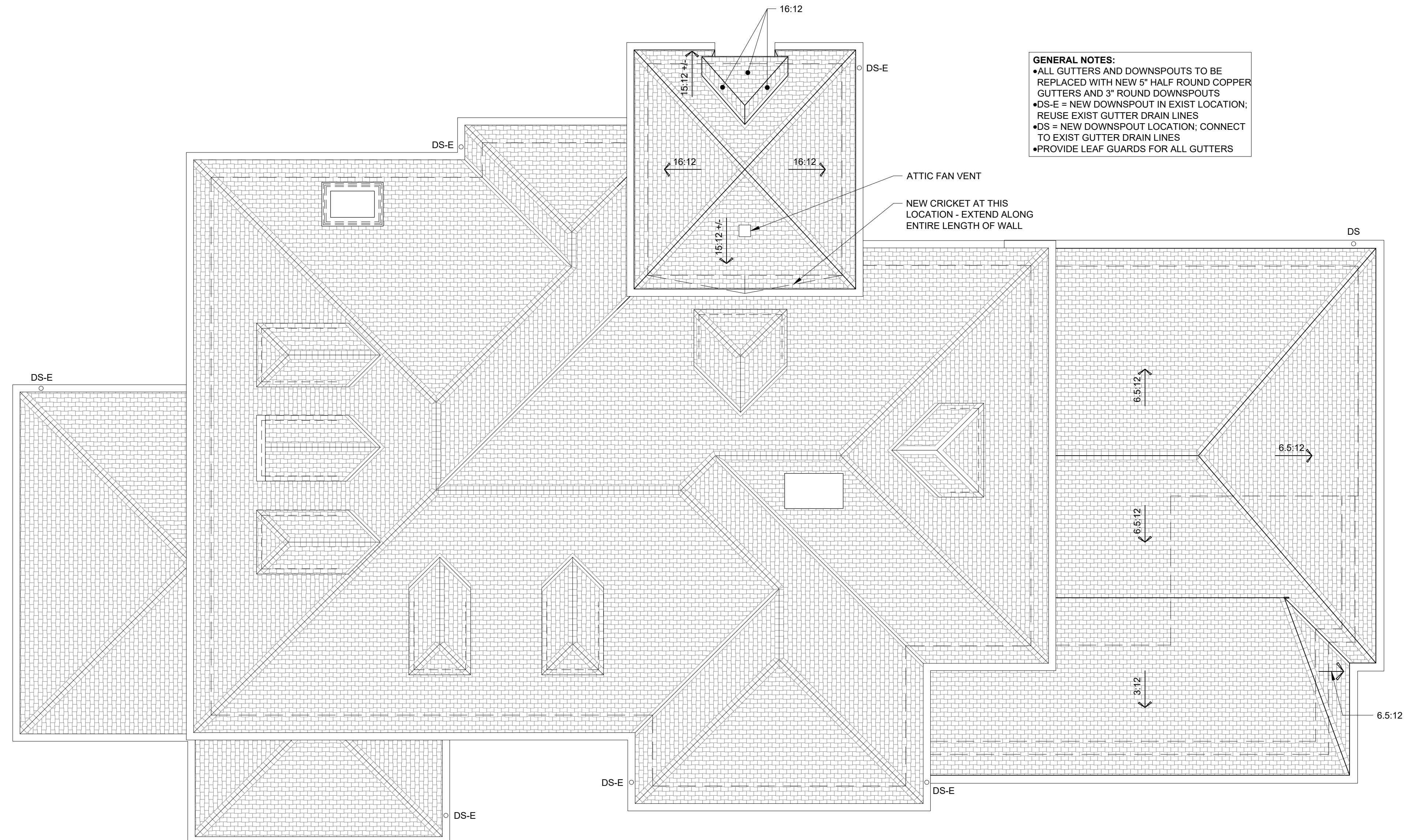
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josephpark@compassstudio.com

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	08/01/2023	DETAILS 01
	02/08/2023	ABR 01 SUBMISSION



**GENERAL NOTES:**

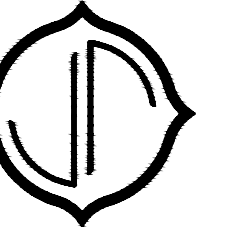
- ALL GUTTERS AND DOWNSPOUTS TO BE REPLACED WITH NEW 5" HALF ROUND COPPER GUTTERS AND 3" ROUND DOWNSPOUTS
- DS-E = NEW DOWNSPOUT IN EXIST LOCATION; REUSE EXIST GUTTER DRAIN LINES
- DS = NEW DOWNSPOUT LOCATION; CONNECT TO EXIST GUTTER DRAIN LINES
- PROVIDE LEAF GUARDS FOR ALL GUTTERS

ATTIC FAN VENT  
NEW CRICKET AT THIS LOCATION - EXTEND ALONG ENTIRE LENGTH OF WALL

1 ROOF PLAN  
1/4" = 1'-0"



ROOF PLAN



**COMPASS  
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440-635-0500

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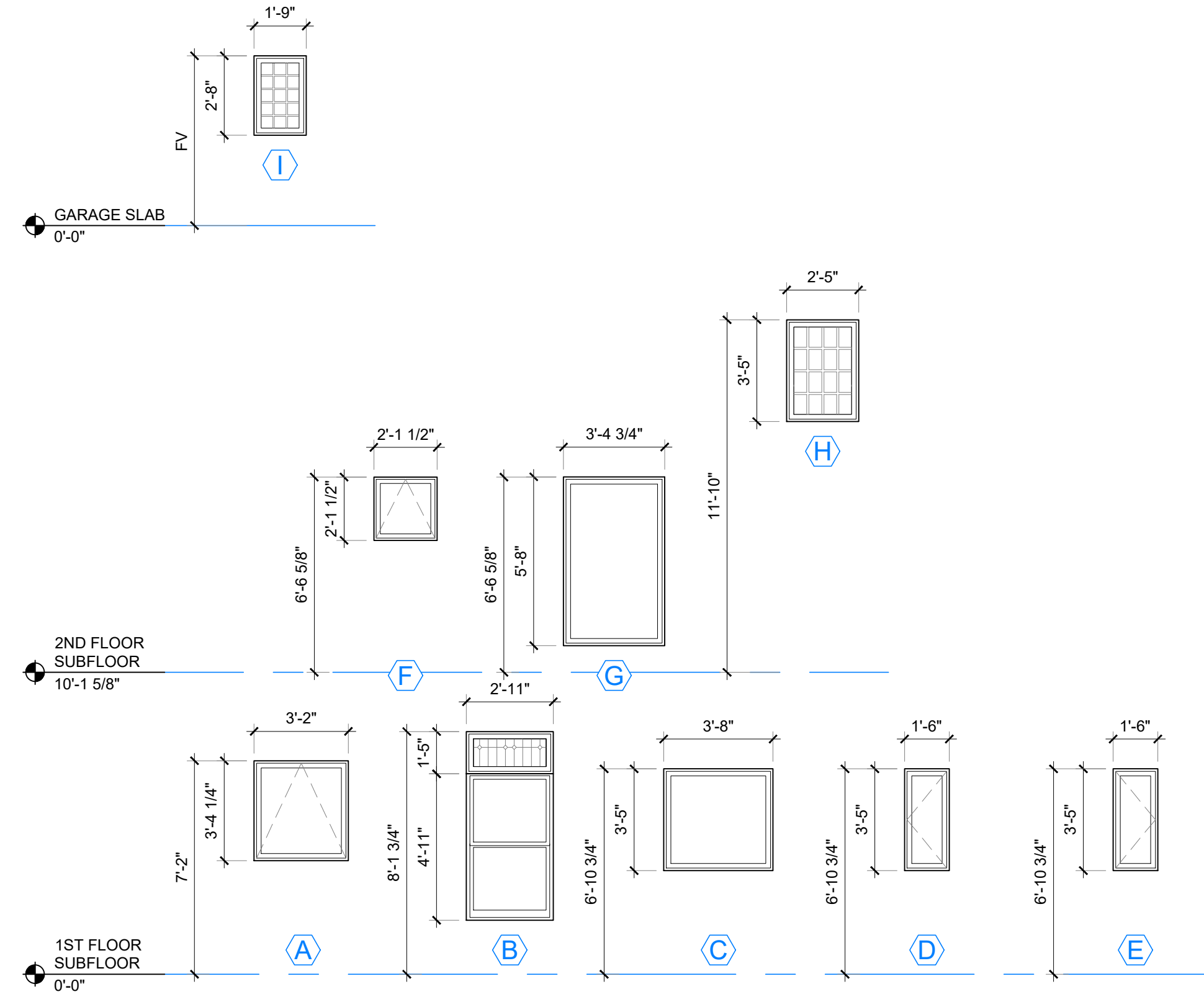
MARK	DATE	DESCRIPTION
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07/06/2022	REFINEMENT 02	
08/01/2023	DETAILS 01	
02/08/2023	ABR 01 SUBMISSION	

EXTERIOR ELEVATIONS - HOUSE  
WINDOW TYPES & SCHEDULES

**WINDOW SCHEDULE**

WINDOW #	TYPE	FINISH	HARDWARE STYLE	HARDWARE FINISH	SCREEN	GRILLE	GLAZING	NOTES
109A	E	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	
109B	C	CUSTOM (SW2811) WHITE	-	NONE	INVIEW	NONE	LOW-E	
109C	D	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	
111A	A	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	OPERABLE ANTIQUE STAINED GLASS SASH INSERT
112A	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112B	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112C	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112D	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112E	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
208A	G	CUSTOM (SW2811) WHITE	-	NONE	INVIEW	NONE	LOW-E, TEMPERED	FIXED ANTIQUE STAINED GLASS SASH INSERT
208B	F	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	OPERABLE ANTIQUE STAINED GLASS SASH INSERT
208C	F	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	OPERABLE ANTIQUE STAINED GLASS SASH INSERT
303A	H	CUSTOM (SW2811) WHITE	-	NONE	NONE	5/8" PUTTY ILT	LOW-E	FROSTED GLAZING
100	I	CUSTOM (SW2811) WHITE	-	NONE	NONE	5/8" PUTTY ILT	LOW-E	FROSTED GLAZING

SPLIT FINISHES NOTATED BY EXTERIOR/INTERIOR  
ALL WINDOWS TO BE RESERVE SERIES BY PELLA, UNO



**3 WINDOW TYPES**  
1/4" = 1'-0"

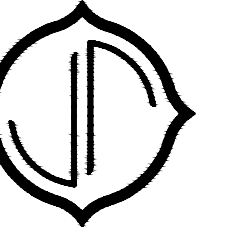
HATCH	DESCRIPTION	MFR	COLOR	NOTES
[Hatch]	COMPOSITE SLATE ROOF SHINGLES	DAVINCI ROOFSCAPES	EUROPEAN	MULTI-WIDTH, STRAIGHT COURSING
[Hatch]	CEDAR SHAKE SIDING		SW0022 PATCHWORK PLUMB	MATCH EXISTING SIZE & PATTERN
[Hatch]	4" STONE VENEER		MATCH EXISTING COLOR	MATCH EXISTING SIZE & PATTERN
[Hatch]	WOOD LATTICE		SW6021 DREAMY WHITE	MATCH EXISTING

**1 NORTH ELEVATION**  
1/4" = 1'-0"



**2 WEST ELEVATION**  
1/4" = 1'-0"





COMPASS  
STUDIO

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Chesterland, OH 44026  
440-635-0500

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josephpark@compassstudio.com

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NOT FOR  
CONSTRUCTION

RENOVATION FOR:  
**ESS/ERB RESIDENCE**

1428 GRACE AVE.  
LAKEWOOD, OH 44107

MARK	DATE	DESCRIPTION
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	07/05/2022	REFINEMENT 02
	08/01/2023	DETAILS 01
	02/08/2023	ABR 01 SUBMISSION

EXTERIOR ELEVATIONS - HOUSE

A-202

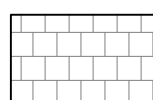
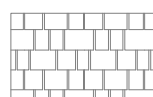
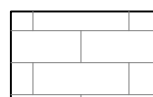

MATERIAL LEGEND				
HATCH	DESCRIPTION	MFR	COLOR	NOTES
	COMPOSITE SLATE ROOF SHINGLES	DAVINCI ROOFSCAPES	EUROPEAN	MULTI-WIDTH. STRAIGHT COURSING
	CEDAR SHAKE SIDING		SW0022 PATCHWORK PLUMB	MATCH EXISTING SIZE & PATTERN
	4" STONE VENEER		MATCH EXISTING COLOR	MATCH EXISTING SIZE & PATTERN
	WOOD LATTICE		SW6021 DREAMY WHITE	MATCH EXISTING

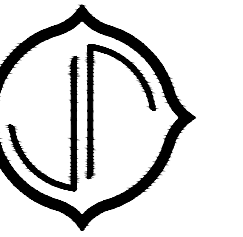


② EAST ELEVATION  
1/4" = 1'-0"



① SOUTH ELEVATION  
1/4" = 1'-0"

MATERIAL LEGEND				
HATCH	DESCRIPTION	MFR	COLOR	NOTES
	COMPOSITE SLATE ROOF SHINGLES	DAVINCI ROOFSCAPES	EUROPEAN	MULTI-WIDTH, STRAIGHT COURSING
	CEDAR SHAKE SIDING		SW0022 PATCHWORK PLUMB	MATCH EXISTING SIZE & PATTERN
	4" STONE VENEER		MATCH EXISTING COLOR	MATCH EXISTING SIZE & PATTERN
	WOOD LATTICE		SW6021 DREAMY WHITE	MATCH EXISTING



**COMPASS**  
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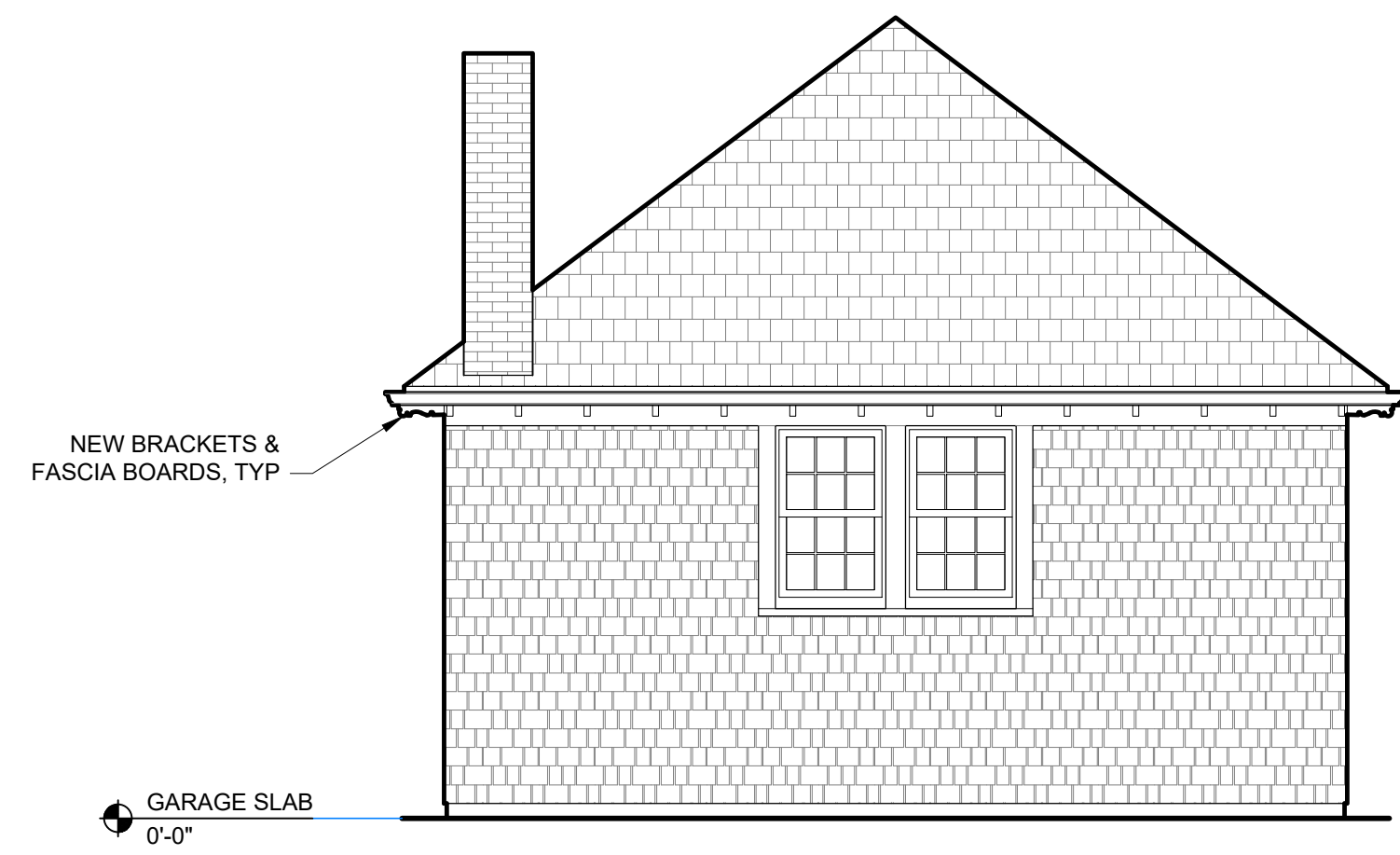
RENOVATION FOR:  
**ESS/ERB RESIDENCE**

1428 GRACE AVE.  
LAKEWOOD, OH 44107

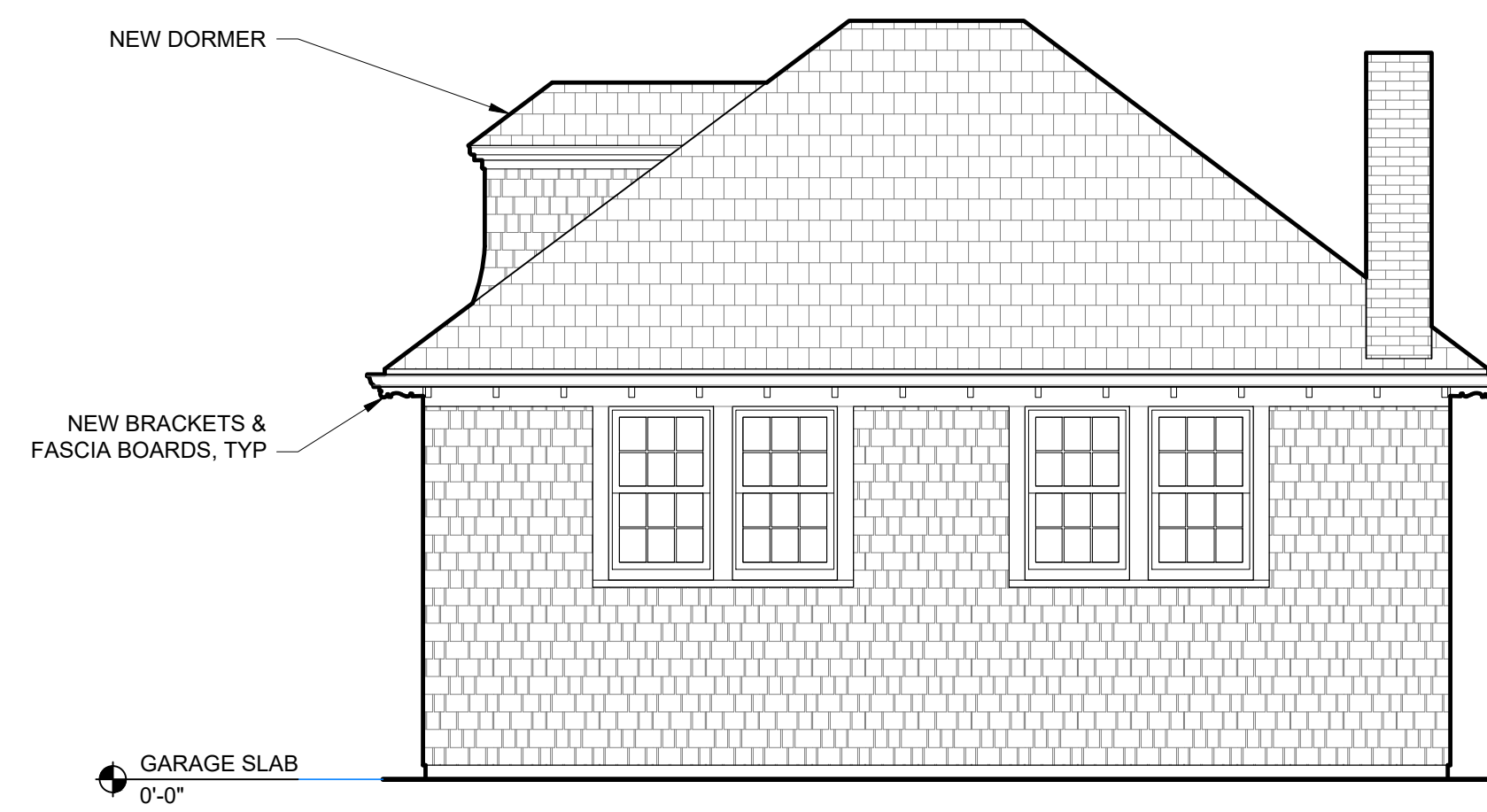
MARK	DATE	DESCRIPTION
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	02/08/2023	ABR 01 SUBMISSION



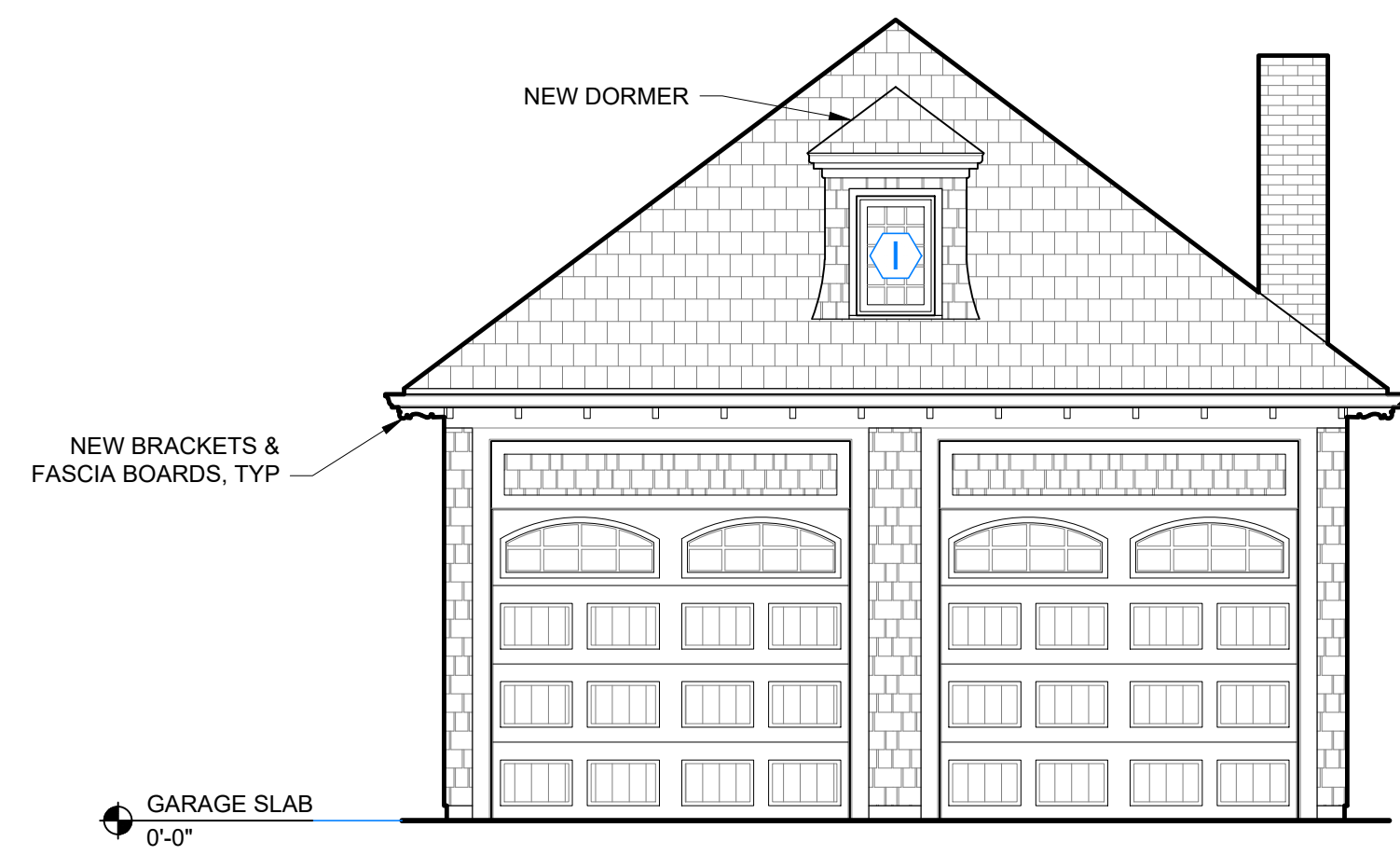
④ NORTH ELEVATION  
1/4" = 1'-0"



③ WEST ELEVATION  
1/4" = 1'-0"

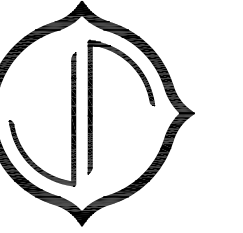


② SOUTH ELEVATION  
1/4" = 1'-0"



① EAST ELEVATION  
1/4" = 1'-0"

EXTERIOR ELEVATIONS -  
GARAGE



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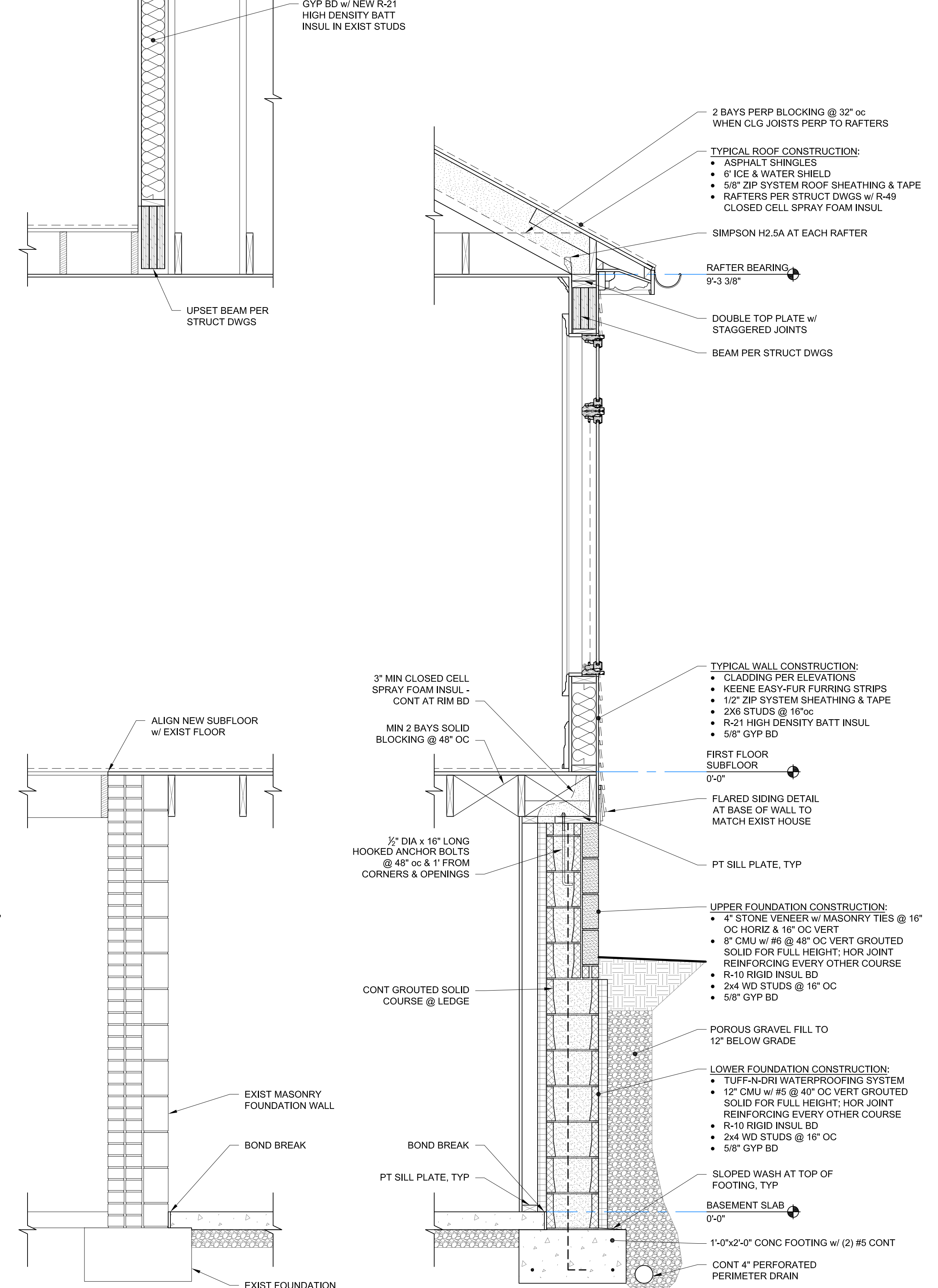
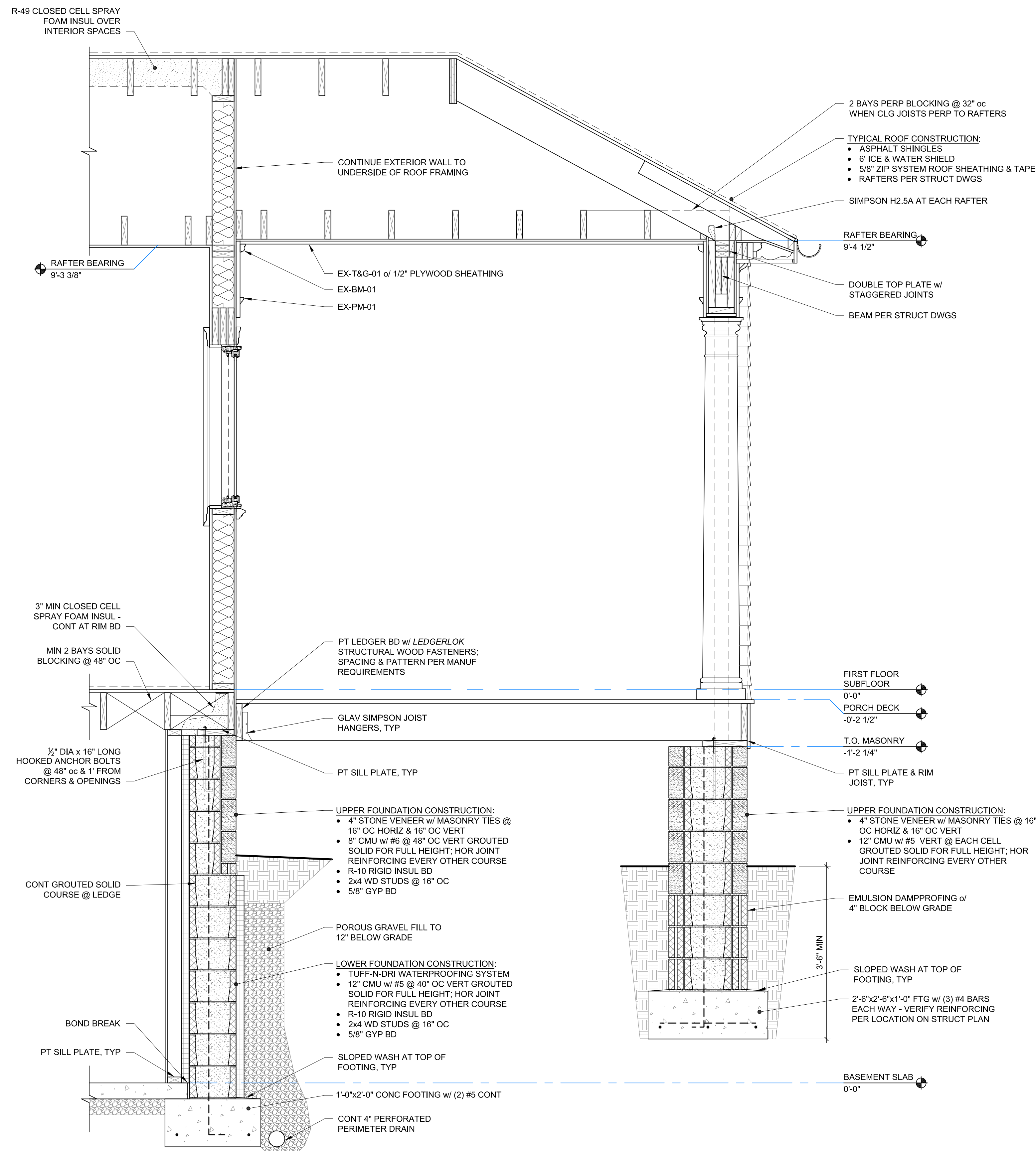
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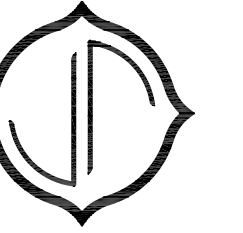
WALL SECTIONS

A-301



2 PORCH WALL SECTION  
3/4" = 1'-0"

1 KITCHEN/DINING WALL SECTION  
3/4" = 1'-0"



COMPASS  
STUDIO

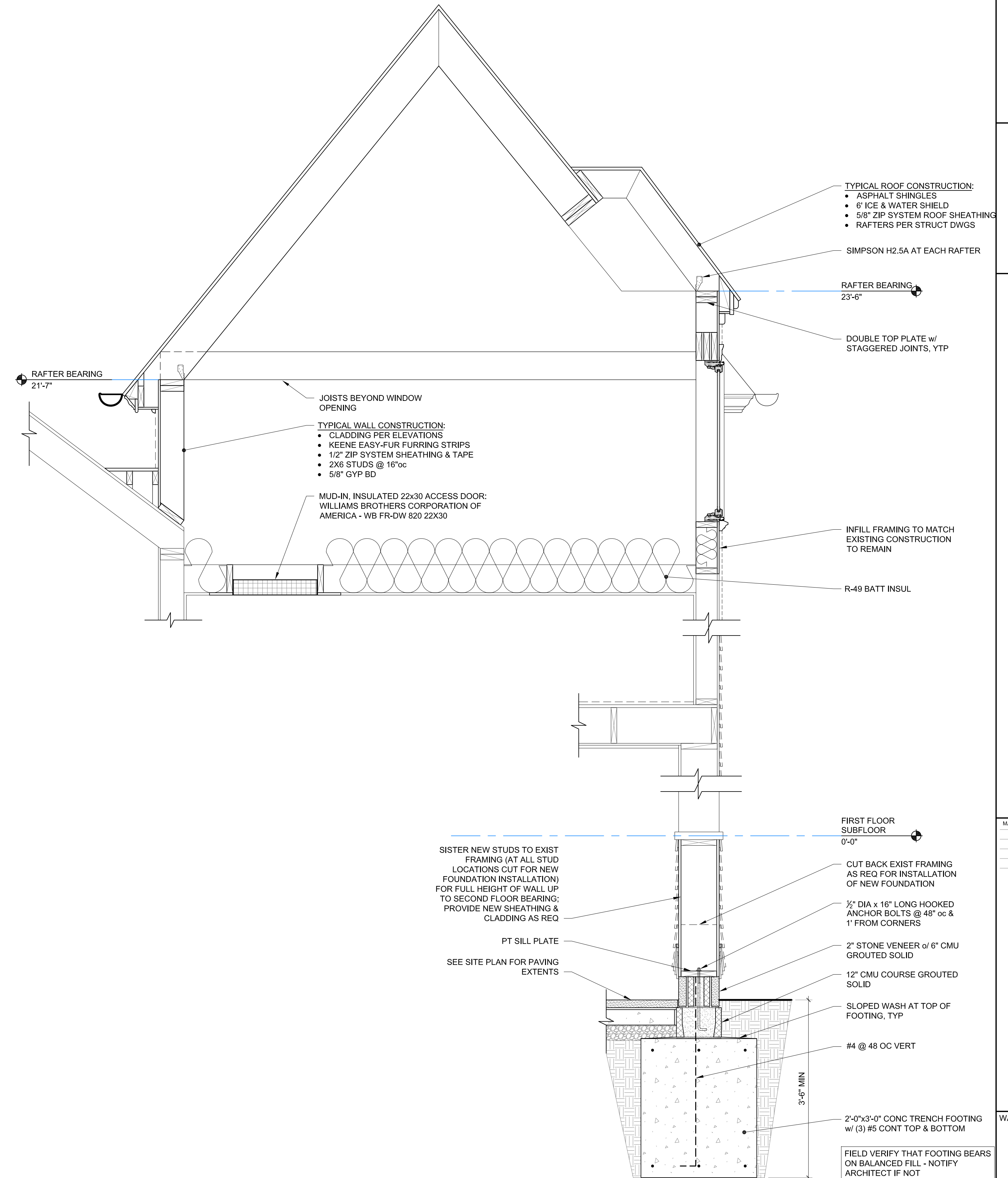
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02/08/2023		ABR 01 SUBMISSION



1 TOWER WALL SECTION  
3/4" = 1'-0"

WALL SECTIONS

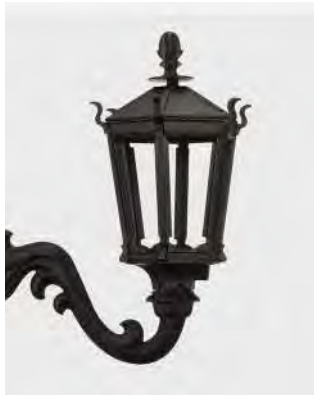
# The Gothic

## Item 2900

Our Gothic Lamp evokes the power and elegance of Europe's great cathedrals and guild halls, combining uncompromising craftsmanship with inspiring design. Standing over 23 inches tall with its impressive Cast Acorn finial, the Gothic Lamp can add drama to any setting, especially when complemented with beveled glass panes.



Post Mount

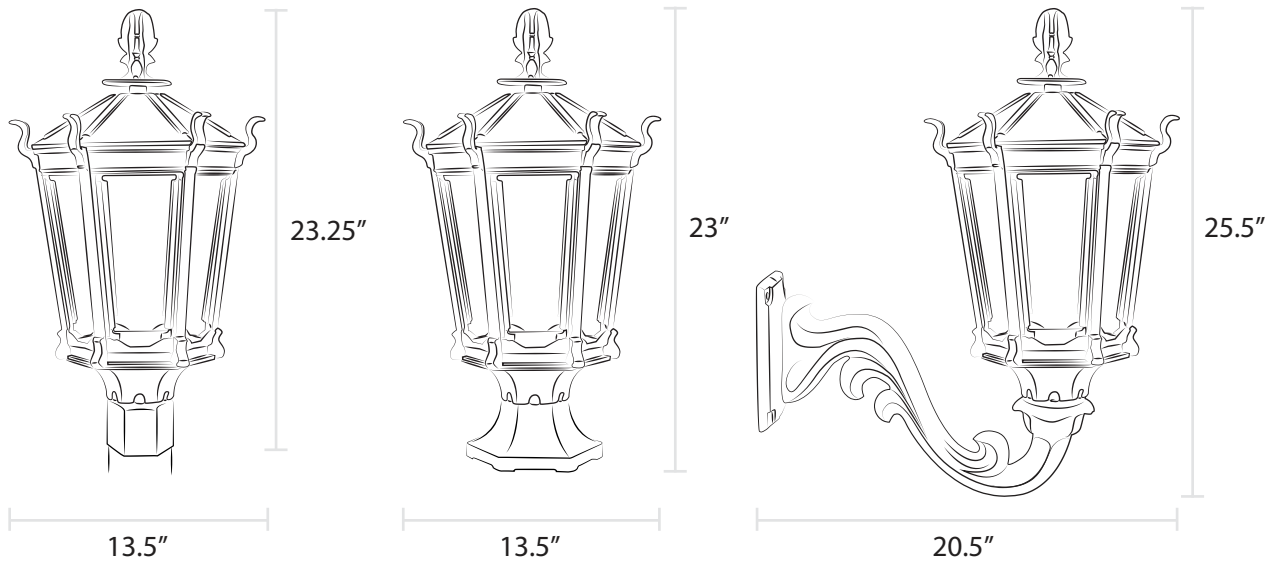


Wall Mount



Pier Mount  
*As shown with Cast Acorn  
finial with guard*

# The Gothic



## Product Overview:

- Sand cast aluminum
- Certified valve
- Flat tempered glass included; additional glass options available\*
- Cast Acorn finial with guard included; decorative finials available\*

## Installation Options:

- Post mount fits standard 3" outside diameter post
- For wall mount, combine with our Six-Sided Decorative Bracket, Craftsman, Sewickley, or Universal Bracket
- For pier mount, combine with our Small Six-Sided Pier Mount or Heritage Pier Mount

## Illumination Options:



Mantle Gas



Open Flame Gas



GasGlow® LED\*



Candelabra Base

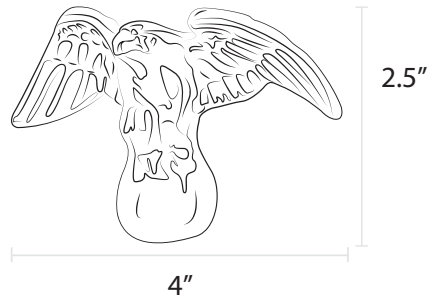
## Finish Options:

- Available in all finish options

*\*Additional charges may apply*



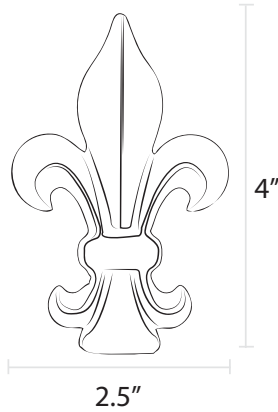
# Finials



Eagle

F06

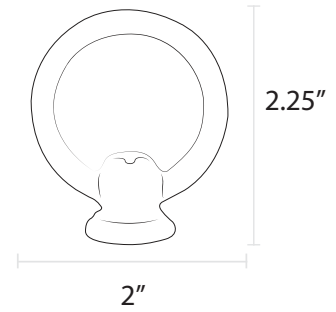
Brass Plated



Fleur De Lis

F11

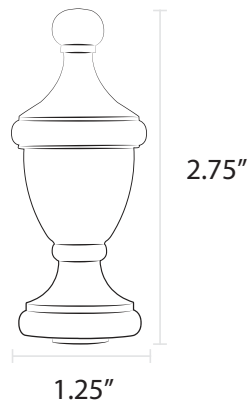
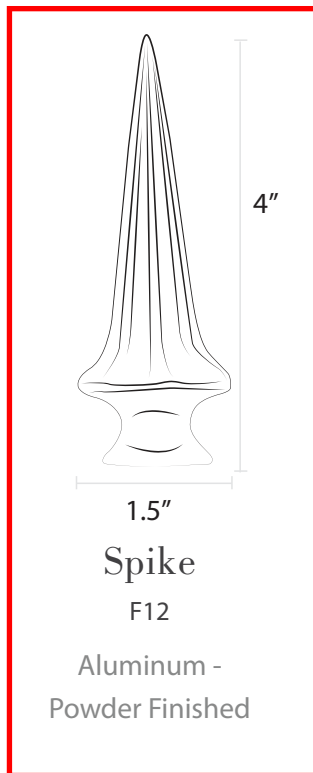
Aluminum -  
Powder Finished



Loop

F07

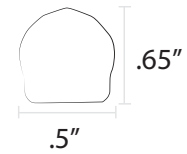
Solid Brass or  
Powder Finished



Urn

F05

Solid Brass or  
Powder Finished



Universal

F01

Aluminum -  
Powder Finished

# Mayberry Lamp Post Series

Bolt Down or Burial Installation



Beatrice  
EMB02



Andrew  
EMB12

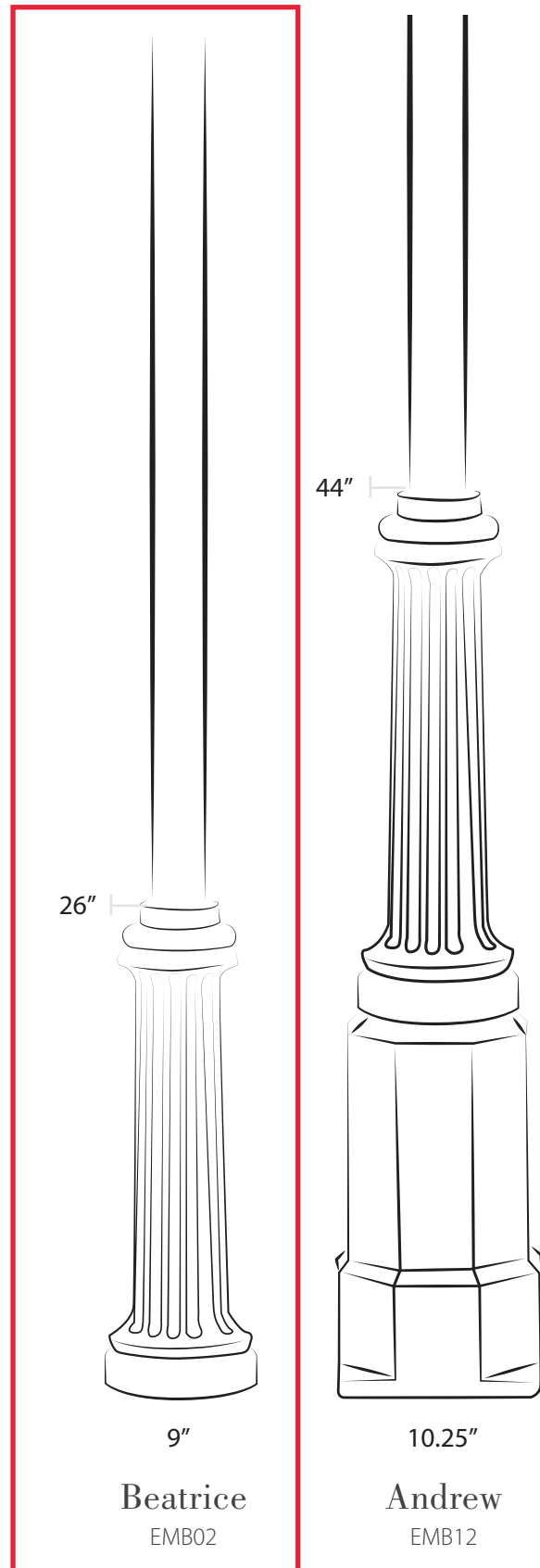
# Mayberry Lamp Post Series

## Product Overview:

- The Andrew – Bolt down installation
- The Beatrice – Burial installation
- Cast aluminum base
- 3.5" outside diameter extruded smooth aluminum post
- Includes a reducing collar to accept a 3" outside diameter post mount lamp
- Available in 8' to 12' lengths

## Finish Options:

- Available in all finishes



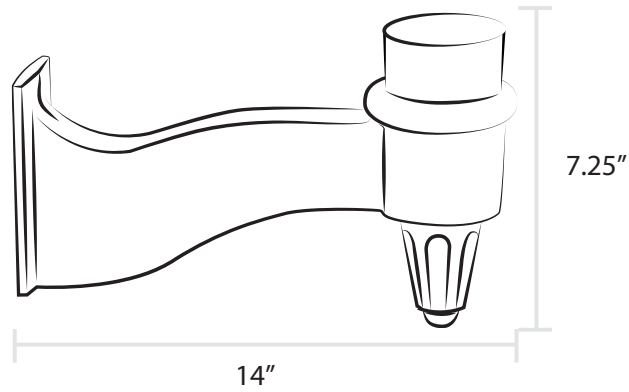
# Universal Wall Bracket

Model WM1

Our Universal Bracket's simple yet sophisticated design can be used with any style of architecture.



# Universal Wall Bracket



**Product Overview:**

- Designed to be paired with any of our post mount lamp styles
- Sand cast aluminum

**Finish Options:**

- Available in all finishes

**Lamps:**

- Can be paired with any of our lamp models



### PRODUCT LINE: COURTSTONE®

5 UNIT RANDOM - 2 3/8" / 60MM



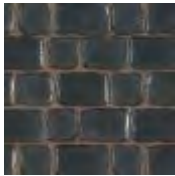
5x8 1/2" (130x215mm)

5x7 3/8" (130x185mm)

5x6 1/2" (130x165mm)

5x5 3/4" (130x145mm)

5x5" (130x130mm)



**Color**  
Basalt

**Finish**  
Elegance - Reala

**Product Line**  
COURTSTONE®

### APPLICATION(S)



#### Light Duty Vehicular

Residential Driveway, Commercial Pedestrian



#### Residential & Commercial Pedestrian

Walkway, Patio, Terrace, Pool Deck, Entryway, Courtyard, Roof Deck, Plaza, Park, Sidewalk

### TECHNOLOGIES

#### Elegance

Deep, rich colors and a multitude of unique Reala™ textures combine to deliver the timeless beauty of Unilock Elegance. From the timeworn look of European cobblestones, to the classic luxury of riven natural stone slabs, our Elegance collection offers styles you can't get anywhere else and thanks to Ultima™ Concrete, the look you purchase is the look that will last, with up to 4x the strength of poured in place concrete and EasyClean™ integral stain resistance.

#### Reala™

A multitude of natural stone surfaces, brick and historic cobblestones were cast to create Unilock products utilizing Reala technology. The result is a wide variety of authentic textures with consistent dimensions which are more cost efficient to install.

#### Ultima™

Only Unilock has the technology to manufacture Ultima Concrete here in North America, resulting in pavers and walls with up to four times the strength of poured concrete. The look you purchase is the look that will last.

### PRODUCT INFORMATION

Courtstone brings a luxurious, old-world elegance to the public realm, with Ultima™ providing up to four times the strength of conventional poured concrete. Using Reala™ Technology, the unique shapes of Courtstone were cast from real European cobblestones, but manufactured with a consistent base for efficient installation and superior interlock. This, in combination with its rich color palette, makes Courtstone a frequent choice for vehicular paving, borders and banding accents.

**SPECIAL NOTE:**  
**COURTSTONE®**

Cobblestone style meets high technology. Made with Ultima™ Concrete Technology which is up to 4 times stronger than conventional poured concrete, Courtstone is the ultimate driveway and accent paver. Each cobble is uniquely formed to closely resemble authentic European cobblestones.

**Recommended Base Stabilization** – one layer of DriveGrid™ stabilization grid between subgrade and base material. Recommended depth 8" to 10" below pavers for maximum stability and performance. Use under Standard Base or Permeable Base.

**Standard Base** – Min. 6" – 8" of ¾" Crusher Run gravel (any road base standard in accordance with ASTM-D2940) compacted to 98% Standard Proctor Density (SPD).

**Standard Bedding Course** – 1" thick of coarse sand– in accordance with ASTM-D2940 screeded over base.

**Alternative Permeable Base** – Min. 6" – 8" of ¾" clear open-graded stone compacted to achieve full particle lock-up and consolidation. (Clear open-graded does not compact but does consolidate slightly by rattling the particles together.)

**Alternative Permeable Bedding Course** – 1" thick of 1/4" clear open-graded chip stone – (ASTM No. 8) screeded over base.

**Special Note: Concrete Direct Overlay** – In some areas of the country and in some applications pavers are very successfully placed directly over concrete. Concrete as a base is in itself quite strong, but it can affect the structural integrity of the paver particularly in vehicular applications, where the concrete below is sub-par. The following considerations must be taken into account to insure that the concrete below the surface is ideal:

1. Concrete integrity – concrete must be in good condition, and not crumbling
2. Drainage slope – concrete below must be sloped away from all buildings and structures
3. Drainage holes – In lowest areas of the concrete, drill 1" holes in concrete (on 12" centers) and fill holes with ¼" chip (ASTM No. 8)
4. Base drainage - the area below the concrete must not be subject to frost movement
5. Surface - surface must be totally smooth and flat equivalent to the desired finished surface
6. Waterproofing - may be required when installing pavers over concrete where there is a basement or cold cellar below. Install an impervious rubber membrane over the surface prior to installing any pavers over the surface.
7. Jointing Sand - Use an impervious polymeric sand when installing over concrete

**Jointing Material and Joint Stabilization**

All sands must meet ASTM C144 or C33 Specifications. For best appearance and optimal performance,, keep jointing materials approximately 3/8" below the surface of the paver.

Best Option: Any polymeric sand that can span a joint up to 1" without breaking down. Always follow manufacturer's application specifications and requirements.

**Handling** – This product has no special handling requirements.

**Edge Restraint** - Always install an edge restraint around the perimeter of any paver installation not restrained by building structures. Spike-in edge restraints come in plastic and metal and work well for most applications. A concrete curb or a sub-surface concrete wedge can also be installed to retain the edge.

**Paver Compaction** - Always use a protective polymer pad on the bottom of your compactor when doing the final compaction of the pavers. An alternative is to use a rubber-roller compactor for the final compaction.

**Cleaners** – Any cleaner specifically designed for pavers may be used for color restoration or general cleaning. Follow manufacturer's dilution rates and application procedures. Always test a small area to make sure the results are as expected.

**Sealers**

Product may be sealed for aesthetic or cleanliness reasons but it is not required

Use any sealer approved for concrete pavers

Select type for desired aesthetics

Product must be cleaned before sealing

Always read and follow manufacturer's application procedures

Always test a small area to make sure the results are as expected



PRODUCT SELECTION

PRODUCT LINE: COURTSTONE®

5 UNIT RANDOM - 2 3/8" / 60MM

	(60) RANDOM BUNDLE
<b>SQ FT PER BUNDLE</b>	98.3
<b>SQ FT PER LAYER</b>	12.29
<b>LAYERS PER BUNDLE</b>	8
<b>LIN FT PER SQ.FT. - SAILOR</b>	2.25
<b>LIN FT PER BUNDLE - SAILOR</b>	221.52
<b>UNITS PER SQ FT</b>	3.91
<b>UNITS PER BUNDLE</b>	384
<b>UNITS PER LAYER</b>	48
<b>LBS PER LAYER</b>	290.75
<b>LBS PER BUNDLE</b>	2326
<b>LBS PER UNIT</b>	6.06
<b>LIN FT PER LAYER - SAILOR</b>	27.69
<b>SQ FT PER UNIT</b>	0.26
<b>LBS PER SQFT</b>	23.66

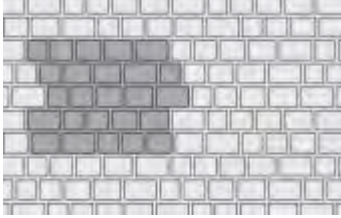
PRODUCT LINE: COURTSTONE®

5 UNIT RANDOM - 2 3/8" / 60MM

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LAYING PATTERNS

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COURTSTONE FIXED RANDOM A

PRICE RANGE

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\$

\$\$

\$\$\$



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SIGN REVIEW BOARD**

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## **Application Cover Page**

**Docket No.: 02-06-24**

**Permit No.: BBS23-000102**

**Applicant Name: Tonia Watkins, Watkins Lighting & Sign Mtc, Inc.**

**Project Address: 13614 Madison Ave.**

**Project Name: Peak Dental**

**Project: Applicant proposes sign band signage for a new business.**



# Certificate of Consent Form

Location to consent:


Peak Dental of Lakewood: 13616 Madison Ave., Lakewood, OH 44107

## \* AUTHORIZATION & CONSENT \*

By my signature below, I hereby represent that I am the owner of the property indicated above or otherwise duly authorized by the lease to grant authorization for Identiti Resources Limited and/or their sub contractor to apply for permits and install new signage at the above referenced location.

My signature below is also an approval to the supplied designs and artwork renderings provided by Identiti Resources Limited for the above referenced location. All signage, included but not limited to, dimensions, materials, mounting, and sign placement are approved and authorized.

## LANDLORD APPROVAL

Signature  Print Name Greg DeVan Date 12/4/23  
 Title owner Phone Number 440-781-1582  
 Address 13616 Madison Ave Lakewood, OH 44107

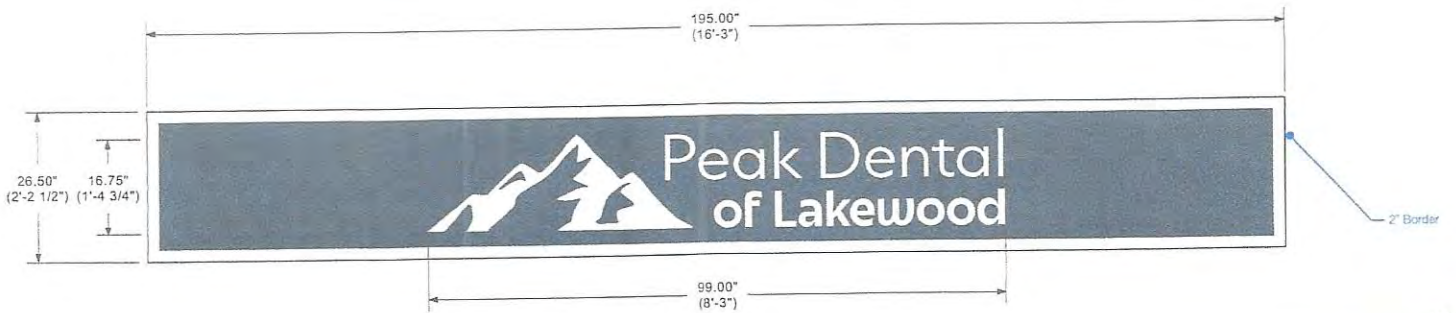
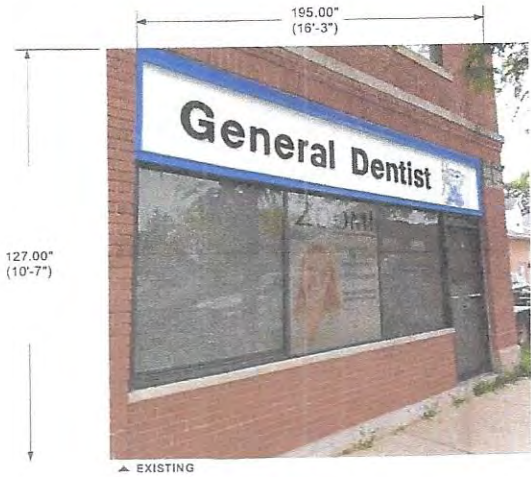
### Please return form to:

Identiti Resources Limited  
425 N Martingale Rd 18th floor,  
Schaumburg, IL 60173

Office: 847-301-0510  
Fax: 847-301-0518

Project Manager Name & Email  
Zach Edelstein zedelstein@id

Work Order  
29811



SCALE: 3/4" = 12"



425 N. Mansfield Rd  
16th Floor  
Schaumburg, IL 60173  
Office 847.301.0510  
identiti.net

W.O. No. 29811  
Address 13616 Madison Ave.  
City, ST Lakewood, OH 44107

Orig. Draft 06.12.2023  
Project Mgr. Zach Edelstein  
Designer Melissa Malik

Rev. Art Samuel G  
Rev. Date 06.22.2023  
Page Rev. 001

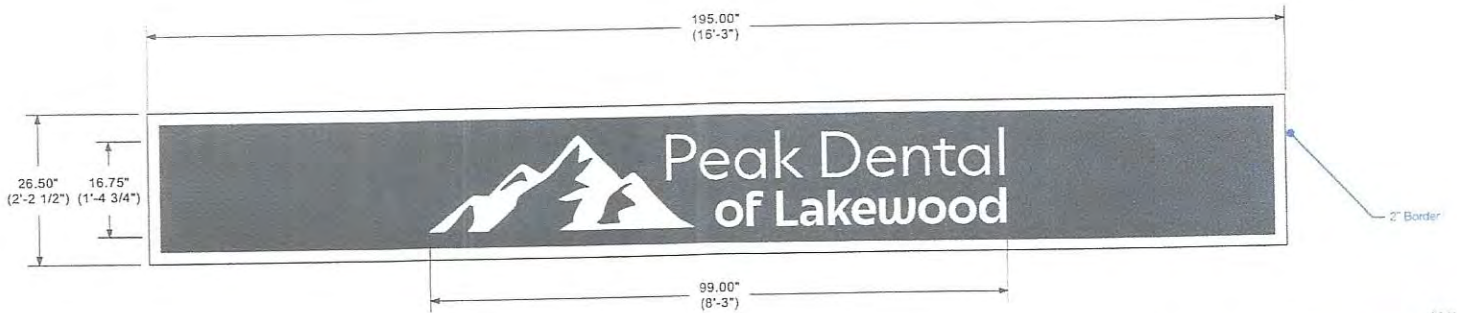
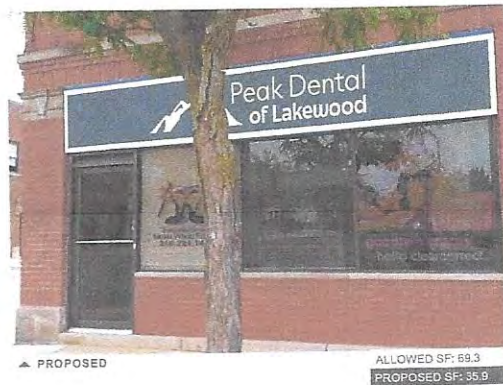
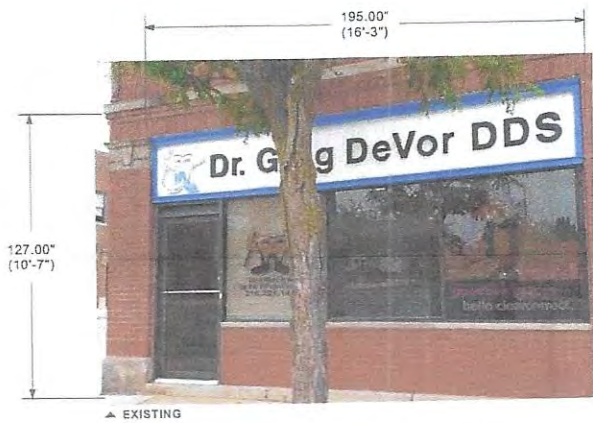
Color Palette  
Panel: Painted PMS 7545 c  
Vinyl: Opaque White  
N/A

N/A  
N/A  
N/A

Sign Type:  
Aluminum panel sign painted  
w/ Applied vinyl - Flush Mounted

Signage:  
S2-2  
Panel Sign

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**IDENTITI**

425 N. Martingale Rd  
15th Floor  
Schaumburg, IL 60193  
Office 847.301.0310  
identiti.net

W.O. No. 29811  
Address 13616 Madison Ave.  
City, ST Lakewood, OH 44107

Orig. Draft 06.12.2023  
Project Mgr. Zach Edelstein  
Designer Melissa Malik

Rev. Art Samuel G  
Rev. Date 06.22.2023  
Page Rev. 001

Color Palette  
Panel: Painted PMS 7545 c  
Vinyl: Opaque White  
N/A

N/A  
N/A  
N/A

Sign Type:  
Aluminum panel sign painted  
w/ Applied vinyl - Flush Mounted

Signage:  
**S1-2**  
Panel Sign

SCALE: 3/4" = 12"

**LEGEND**

- S1** Panel Sign
- S2** Panel Sign

**SIGNAGE CRITERIA**

**Code:**  
 Maximum sign face area = (W x 1.5) square feet, except that the total in all cases shall not exceed 100 square feet.  
 Shall not project more than twelve inches from the building wall to which it is attached and shall be set back from the end of the building and party wall lines for a distance of at least eighteen inches and shall not project beyond any corner or above the coping or eaves of any building.  
 Linear foot of footage x 1.5  
**Landlord restrictions:**  
 N/A

- S1** 46.2' x 1.5 = 69.31 SF NTE 100 SF
- S2** 46.2' x 1.5 = 69.31 SF NTE 100 SF



**IDENTITI**  
 425 N Martingale Rd  
 18th Floor  
 Schaumburg, IL 60173  
 Office 847.301.0510  
 identiti.net

**W.O. No.** 29811  
**Address** 13616 Madison Ave.  
**City, ST** Lakewood, OH 44107

**Orig. Draft** 06.12.2023  
**Project Mgr.** Zach Edelstein  
**Designer** Melissa Malik

**Rev. Art** MM  
**Rev. Date** 12.01.2023  
**Page Rev.** 002

Customer



North  **Plan View:**  
**Site Plan**  
 Exterior

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**ORIGINAL LOGO COLOR**



PMS Black C



PMS 7545 C



PMS 7546 C



PMS 538 C



PMS 420 C

**3M TRANS VINYL MATCH**



3M 3635-222 Black (Day/Night)



3M 3630-187



3M 3630-137



3M 3630-121



3M 3630-51

**VINYL PMS MATCH**



PMS Black C



PMS 2767 C



PMS 2757 C



PMS 877 C

PMS Cool Gray 2 C

**3M OPAQUE VINYL MATCH**



3M 7725-012 Black



3M 7725-27



3M 7725-227



3M 7725-121

3M 7725-11



425 N Martingale Rd  
18th Floor  
Schaumburg, IL 60173  
Office 847.301.0510  
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W.O. No. 29811  
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Orig. Draft 06.12.2023  
Project Mgr. Zach Edelstein  
Designer Melissa Malik

Rev. Art N/A  
Rev. Date 00.00.0000  
Page Rev. 000

Customer



Logo System:  
**Color Matches**  
Primary Signage

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MAIN (216) 529-6270

FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)

[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107

### APPLICATION FOR COMMERCIAL PLAN APPROVAL

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

**ALL INFORMATION MUST BE PROVIDED AND LEGIBLE**

<b>Project Location [OBC 107.2-2]:</b> <u>(13614 Madison Ave)</u> Street Address: <u>13614 Madison Ave Lakewood</u> Floor Number: _____ Suite: _____ Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	<b>Applicant Information [OBC 107.2-5]</b> (Building Owner or Representative) Name: <u>Tonia Watkins</u> Business Name: <u>Watkins Lighting + Sign Mfg, Inc.</u> Mailing Address: <u>300 Karl Street</u> City/State/Zip Code: <u>Berea, OH 44017</u> Phone Number: <u>440 243 3444</u> Email Address: <u>Tonia@watkinslighting.com</u>
<b>Project Information [OBC 107.2-1]:</b> (Project Use and Occupancy [OBC 107.2-3]) <b>Project Type (check all that apply):</b> <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign <b>Project Scope (check all that apply):</b> <input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below) <input type="checkbox"/> Site Work over 8,000 sq. ft. <b>Describe the (proposed) use</b> (e.g.: Restaurant, boutique, office, etc.): <u>Tenant ID Signage</u> <b>Occupancy class [OBC Chapter 3]:</b> _____ <b>If Mixed Use [OBC 508.1] check one:</b> <input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only <b>Construction Type [OBC Chapter 6]:</b> <u>Replace Signage</u> <b>Total Project Work Area:</b> <u>71.8</u> Sq. Ft. <b>Total cost of construction (valuation):</b> \$ <u>2,000.00</u> <b>Describe the project:</b> <u>Replace the existing signs that read "Dr. Greg DeVor DDS" to read Peak Dental of Lakewood.</u> <u>Mounting plywood gable with counter sunk wood screws</u>	<b>Registered Design Professional [OBC 106.2.1]</b> <input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA Name: <u>Identifi Resources, LTD.</u> Firm or Business: <u>Identifi Solutions Resources, LTD.</u> Certificate or Registration Number: _____ Mailing Address: <u>425 N. Martingate Rd</u> City/State/Zip Code: <u>Ste. 1800</u> Contact Name: <u>Schaumburg, IL 60173.</u> Contact Phone: <u>Zach Edelstein</u> Email Address: <u>847-349-4615</u>
<b>Fire Protection Systems [OBC 106.1.1.1]</b> (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	<b>Certification [OBC 107.2.5]</b> I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official. Signature: <u>Tonia Watkins</u> Printed Name: <u>Tonia Watkins</u> Date of Application: <u>12/8/2023</u>
Building Sprinkler System _____ Limited Area Sprinkler System _____ In-Rack Sprinkler System _____ Demand at Riser Base _____ psi Kitchen Hood Suppression _____ Fire Alarm System _____ Fire Detection System _____ Smoke Detection System _____	<b>For Building Department Use</b> Case Number: _____ Date Received: _____ Received By: _____ Other Approvals Required (prior to permit issuance): Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Plan Review Fees Outside Plans Examiner: \$ _____ Stormwater Review: \$ _____
<b>Required Construction Documents [OBC Section 106]</b> 3 sets required for Building Department plus 1 set for Fire Department Review (if applicable) 1 (Civil) set for Engineering Review (if applicable) <b>Date on Plans:</b> _____	

Alum. panels



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## **Application Cover Page**

**Docket No.: 02-07-24**

**Permit No.: BBS24-000001**

**Applicant Name: Shawn Warren, Erie Design Co. Inc.**

**Project Address: 1386 Bonnieview Ave.**

**Project Name: Get Yourself Together**

**Project: Applicant proposes sign band signage for a new business.**

# Store front as is



**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

<b>CLIENT:</b> GET YOURSELF TOGETHER	<b>JOB #:</b> 19029	<b>DATE:</b> 1-2-24
<b>ADDRESS:</b> 1386 Bonnieview Ave	<b>SALESPERSON/ DESIGNER:</b> _____ <b>DATE:</b> _____	
<b>REVISION HISTORY:</b>		
<b>DATE:</b> _____	<b>CHANGES MADE:</b> _____	
<b>CLIENT SIGNATURE OF APPROVAL</b> Phone		<b>DATE:</b> 1-2-24

.5" THICK

GET YOURSELF TOGETHER

13.5" x 131" = 12.3 sq . ft.  
19 x \$25 \$475 install \$120

Logo 60"h x 69" w. =23.5 sq.  
\$192 \$60 install

hours  
12" x 24" = 2 sq. 2=\$25



**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

<b>CLIENT:</b> GET YOURSELF TOGETHER	<b>JOB #:</b> 19029	<b>DATE:</b> 1-2-24
<b>ADDRESS:</b> 1386 Bonnieview Ave	<b>SALESPERSON/ DESIGNER:</b> _____ <b>DATE:</b> _____	
<b>REVISION HISTORY:</b>		
<b>DATE:</b> _____	<b>CHANGES MADE:</b> _____	
<b>CLIENT SIGNATURE OF APPROVAL</b> Phone		<b>DATE:</b> 1-2-24

A B C



Case #:

**City of Lakewood Division of Housing and Building**

12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930

[Building.permits@lakewoodoh.net](mailto:Building.permits@lakewoodoh.net)

**Building Permit Application**

**PROJECT ADDRESS:** 1386 Bonnieview Ave Suite/Unit #

or **PERMANENT PARCEL NUMBER:** 31127026

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical **\*(complete reverse side)**

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number:

**SCOPE OF PERMIT** (Check all that apply):

- New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign
- Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing
- Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration
- Demolition  Paving  Storm Sewer  Other (Please specify): Signs

**\*VALUATION: (cost of the work) \$**

**PROJECT SIZE: (in square feet)**

**BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)**          DRAIN          NO DRAIN

CUT PVC LETTERS .5" THICK

WINDOW VINYL CUT LOGO

13.5" x 131" = 12.3 sq . ft.

60"h x 69" w. =23.5 sq.

GET YOURSELF TOGETHER



hours

12" x 24" = 2 sq.

**Total 36.8 sq.**

**PROPERTY OWNER NAME:** Payton Mackie Phone: 216-301-5076

Business Name (if applicable) GET YOURSELF TOGETHER Email: [getyourselftogether444@gmail.com](mailto:getyourselftogether444@gmail.com)

Mailing Address: 1386 Bonnieview Ave City: LAKEWOOD, State: OH Zip: 44107

**CONTRACTOR NAME:** Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: [eriedesign@ameritech.net](mailto:eriedesign@ameritech.net)

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

**ARCHITECT/ENGINEER:** Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

  
SIGNATURE OF CONTRACTOR / OWNER

1-2-24  
DATE

Anticipated Completion Date: 1-2-24



**BOARD OF BUILDING STANDARDS  
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SIGN REVIEW BOARD**

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## **Application Cover Page**

**Docket No.: 02-08-24**

**Permit No.: BBS24-000002**

**Applicant Name: Shawn Warren, Erie Design Co. Inc.**

**Project Address: 11817 Detroit Ave.**

**Project Name: Naomi's Recipes**

**Project: Applicant proposes vinyl window graphics and non-illuminated blade sign.**

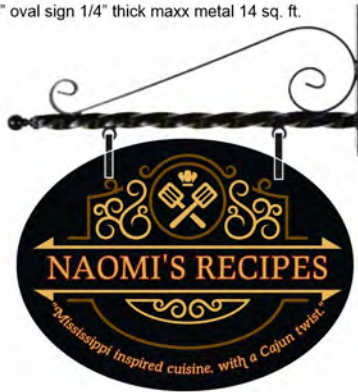
Store front  
as is



**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

CLIENT: <b>Naomi's Recipes</b>		JOB #:	DATE:
ADDRESS:		SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY:		CHANGES MADE:	
DATE:		CLIENT SIGNATURE OF APPROVAL	
		DATE:	

Blade sign w/ 42" scroll bracket  
 2 sided 38 x 28" oval sign 1/4" thick maxx metal 14 sq. ft.



Gray is clear window

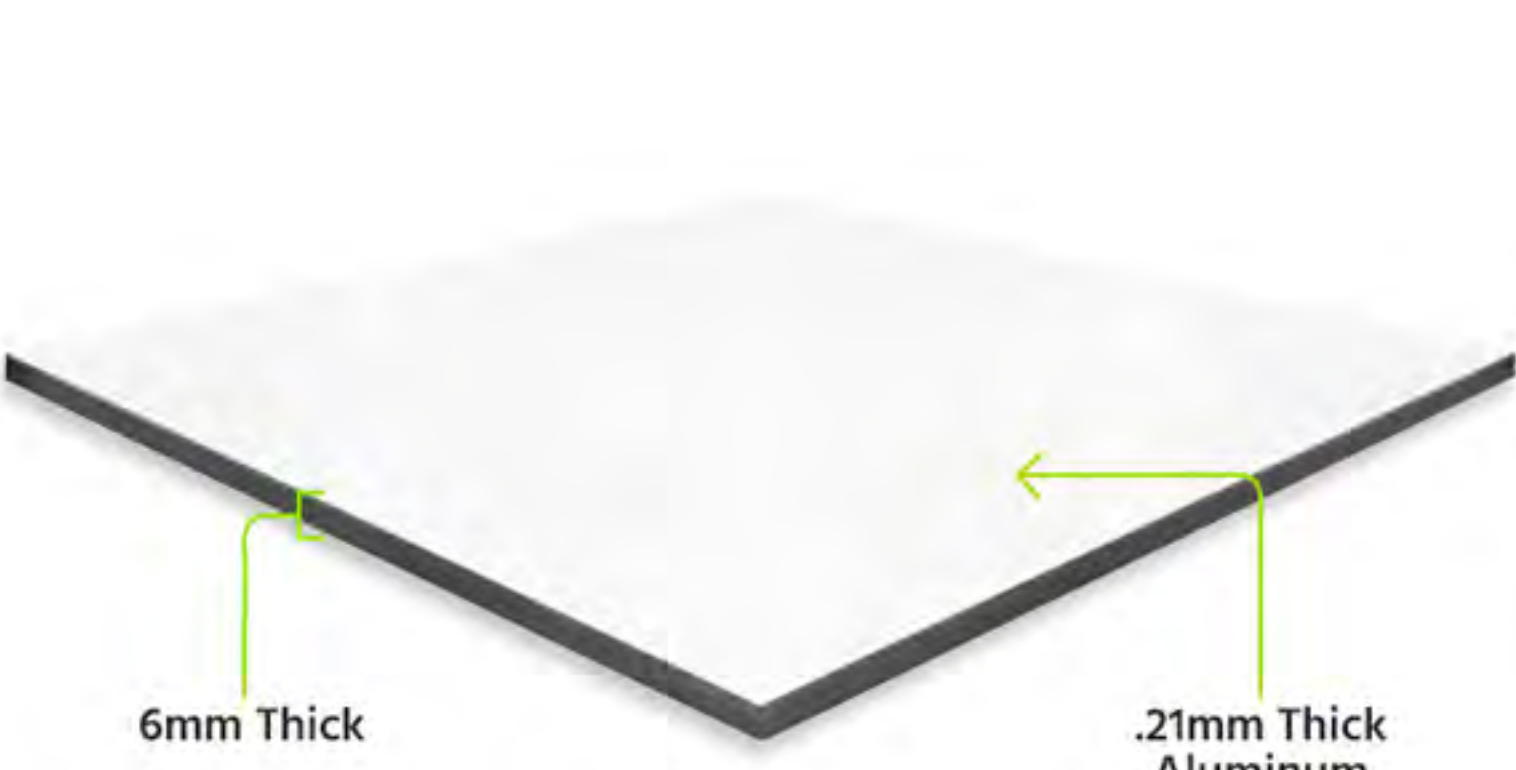


Cut vinyl window graphics 18" w x 24" h

18" w x 20" h



<b>CLIENT:</b> Naomi's Recipes		<b>JOB #:</b>	<b>DATE:</b>
<b>ADDRESS:</b>		<b>SALESPERSON/ DESIGNER:</b>	
<b>REVISION HISTORY:</b>		<b>CHANGES MADE:</b>	
<b>DATE:</b>			
<b>CLIENT SIGNATURE OF APPROVAL</b>			<b>DATE:</b>



6mm Thick

.21mm Thick  
Aluminum



Case #:

**City of Lakewood Division of Housing and Building**  
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930  
[Building.permits@lakewoodoh.net](mailto:Building.permits@lakewoodoh.net)

## Building Permit Application

**PROJECT ADDRESS:** Naomi's Recipes Detroit ave Suite/Unit #  
or **PERMANENT PARCEL NUMBER:** 31513010

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical **\*(complete reverse side)** 

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number:

**SCOPE OF PERMIT (Check all that apply):**  
 New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign  
 Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing  
 Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration  
 Demolition  Paving  Storm Sewer  Other (Please specify): **Sign**

**\*VALUATION: (cost of the work) \$** **PROJECT SIZE: (in square feet)**

**BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)**        **DRAIN**        **NO DRAIN**  
2 window logos cut vinly 18" x 24" and 18" x 20" 5.5 sq.ft total Text 5.5 sq ft x  
Blade logo 38" w x 38" h 14 sq. ft. 2 sides mounted to brick with 4) 3" lags and shields Blade 14 sq ft

**PROPERTY OWNER NAME:** Shela Benton Phone: 216-386-2822

Business Name (if applicable) Naomi's Recipes Email: sfb1302@gmail.com

Mailing Address: 11817 Detroit ave City: LAKEWOOD, State: OH Zip: 44107

**CONTRACTOR NAME:** Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

**ARCHITECT/ENGINEER:** Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

  
**SIGNATURE OF CONTRACTOR / OWNER**

1-2-24  
**DATE**

Anticipated Completion Date: 1-2-24



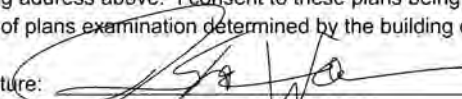
MAIN (216) 529-6270

FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)[www.lakewoodoh.gov](http://www.lakewoodoh.gov)DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107**APPLICATION FOR COMMERCIAL PLAN APPROVAL**

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

**ALL INFORMATION MUST BE PROVIDED AND LEGIBLE**

Project Location [OBC 107.2-2]:	Applicant Information [OBC 107.2-5] (Building Owner or Representative)
Street Address: 11817 Detroit ave 31513010 Floor Number: _____ Suite: _____ Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Name: <u>Shela Benton</u> Business Name: <u>Naomi's Recipes</u> Mailing Address: <u>11817 Detroit ave</u> City/State/Zip Code: <u>LAKEWOOD, OH 44107</u> Phone Number: <u>216-386-2822</u> For Best Service Provide Email Address: <u>sfb1302@gmail.com</u>
<b>Project Information [OBC 107.2-1]:</b> (Project Use and Occupancy [OBC 107.2-3])	<b>Registered Design Professional [OBC 106.2.1]</b>
<b>Project Type (check all that apply):</b> <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign	<input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA
<b>Project Scope (check all that apply):</b> <input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below) <input type="checkbox"/> Site Work over 8,000 sq. ft.	Name: <u>Shawn Warren</u> Firm or Business: <u>Erie design</u> Certificate or Registration Number: <u>on file</u>
<b>Describe the (proposed) use</b> (e.g.: Restaurant, boutique, office, etc.): RE- FACE EXISTING ACRYLIC SIGN FACE ON MONUMENT SIGN	Mailing Address: <u>16504 detroit Ave</u> City/State/Zip Code: <u>Lakewood Oh 44107</u> Contact Name: <u>Shawn Warren</u> Contact Phone: <u>216-227-0043</u> For Best Service Provide Email Address: <u>eriedesign@ameritech.net</u>
<b>Occupancy class [OBC Chapter 3]:</b> _____ <b>If Mixed Use [OBC 508.1] check one:</b> <input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only	<b>Certification [OBC 107.2.5]</b>
<b>Construction Type [OBC Chapter 6]:</b> _____	I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent
<b>Total Project Work Area:</b> <u>Text 5.5 sq ft x</u> <u>Blade 14 sq ft</u> Sq. Ft.	All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official.
<b>Total cost of construction (valuation):</b> \$ <u>\$700</u>	Signature:  Printed Name: <u>Shawn Warren</u> Date of Application: <u>1-2-24</u>
<b>Describe the project:</b> <u>2 window logos cut vinyl 18" x 24" and 18" x 20" 5.5 sq ft total</u> <u>Blade logo 38" w x 38" h 14 sq. ft. 2 sides mounted to brick with 4) 3" lags and shields</u>	<b>For Building Department Use</b>
<b>Fire Protection Systems [OBC 106.1.1.1]</b> (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	Case Number: _____ Date Received: _____ Received By: _____
Building Sprinkler System _____ Limited Area Sprinkler System _____ In-Rack Sprinkler System _____ Demand at Riser Base _____ psi Kitchen Hood Suppression _____ Fire Alarm System _____ Fire Detection System _____ Smoke Detection System _____	Other Approvals Required (prior to permit issuance): Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
<b>Required Construction Documents [OBC Section 106]</b> 3 sets required for Building Department plus 1 set for Fire Department Review (if applicable) 1 (Civil) set for Engineering Review (if applicable) <b>Date on Plans:</b> <u>1-2-24</u>	Plan Review Fees Outside Plans Examiner: \$ _____ Stormwater Review: \$ _____



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## **Application Cover Page**

**Docket No.: 02-09-24**

**Permit No.: BBS24-000003**

**Applicant Name: Shawn Warren, Erie Design Co. Inc.**

**Project Address: 13729 Madison Ave.**

**Project Name: Slife Heating & Cooling**

**Project: Applicant proposes signage on the building front.**

Cut vinyl on  
 /8" MaxxMetal (Aluminum with PVC Center)

113"

28"



Building as is

**ERIE**  
*deSign*  
 Signs, Banners & Graphics  
 216-227-0043  
 www.eriedesign.com

CLIENT:		JOB #:	DATE:
Slife			1-3-23
ADDRESS:		SALESPERSON/ DESIGNER:      DATE:	
13729 Madison Ave.			
REVISION HISTORY:			
DATE:		CHANGES MADE:	
CLIENT SIGNATURE OF APPROVAL			DATE:

Cut vinyl on  
 /8" MaxxMetal (Aluminum with PVC Center)

113"

28"



**ERIE**  
*deSign*  
 Signs, Banners & Graphics  
 216-227-0043  
 www.eriedesign.com

CLIENT:	JOB #:	DATE:
Slife		1-3-23
ADDRESS:	SALESPERSON/ DESIGNER:	DATE:
13729 Madison Ave.		
REVISION HISTORY:		
DATE:	CHANGES MADE:	
CLIENT SIGNATURE OF APPROVAL		DATE:

# MAXX METAL



3mm Thick  
PVC

.21mm Thick  
Aluminum



Case #:

**City of Lakewood Division of Housing and Building**  
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930  
[Building.permits@lakewoodoh.net](mailto:Building.permits@lakewoodoh.net)

## Building Permit Application

**PROJECT ADDRESS:** 13729 Madison ave Suite/Unit #  
or **PERMANENT PARCEL NUMBER:** 31424014

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical **\* (complete reverse side)** 

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number:

**SCOPE OF PERMIT (Check all that apply):**

- New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign
- Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing
- Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration
- Demolition  Paving  Storm Sewer  Other (Please specify): **Sign**

**\*VALUATION: (cost of the work) \$**

**PROJECT SIZE: (in square feet)**

**BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) \_\_\_\_\_ DRAIN \_\_\_\_\_ NO DRAIN**

Wall 28" x 113" Maxx Metal with vinyl text  
Mounted with Tapcon Blue screws and head covers to hide screws  
total 22 sq. ft

**PROPERTY OWNER NAME:** Dave Slife Phone: 216-221-0310

Business Name (if applicable) Slife Heating & Cooling Email: Dave@slife-hvac.com

Mailing Address: 13729 Madison ave City: LAKEWOOD, State: OH Zip: 44107

**CONTRACTOR NAME:** Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

**ARCHITECT/ENGINEER:** Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

  
**SIGNATURE OF CONTRACTOR / OWNER**

1-3-24  
**DATE**

Anticipated Completion Date: 1-6-24



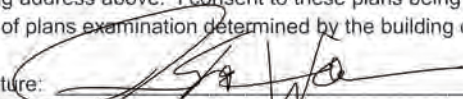
MAIN (216) 529-6270

FAX (216) 529-5930

[building.permits@lakewoodoh.net](mailto:building.permits@lakewoodoh.net)[www.lakewoodoh.gov](http://www.lakewoodoh.gov)DIVISION OF HOUSING AND BUILDING  
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107**APPLICATION FOR COMMERCIAL PLAN APPROVAL**

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

**ALL INFORMATION MUST BE PROVIDED AND LEGIBLE**

Project Location [OBC 107.2-2]:	Applicant Information [OBC 107.2-5] (Building Owner or Representative)
Street Address: <u>13729 Madison ave</u> <u>31424014</u> Floor Number: _____ Suite: _____ Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Name: <u>Dave Slife</u> Business Name: <u>Slife Heating &amp; Cooling</u> Mailing Address: <u>13729 Madison ave</u> City/State/Zip Code: <u>LAKEWOOD, OH 44107</u> <u>216-221-0310</u> Phone Number: _____ For Best Service Provide Email Address: <u>Dave@slife-hvac.com</u>
<b>Project Information [OBC 107.2-1]:</b> (Project Use and Occupancy [OBC 107.2-3]) <b>Project Type (check all that apply):</b> <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign <b>Project Scope (check all that apply):</b> <input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below) <input type="checkbox"/> Site Work over 8,000 sq. ft. <b>Describe the (proposed) use</b> (e.g.: Restaurant, boutique, office, etc.): <u>RE- FACE EXISTING ACRYLIC SIGN FACE ON MONUMENT SIGN</u>	<b>Registered Design Professional [OBC 106.2.1]</b> <input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA Name: <u>Shawn Warren</u> Firm or Business: <u>Erie design</u> Certificate or Registration Number: <u>on file</u> Mailing Address: <u>16504 detroit Ave</u> City/State/Zip Code: <u>Lakewood Oh 44107</u> Contact Name: <u>Shawn Warren</u> Contact Phone: <u>216-227-0043</u> For Best Service Provide Email Address: <u>eriedesign@ameritech.net</u>
<b>Occupancy class [OBC Chapter 3]:</b> _____ <b>If Mixed Use [OBC 508.1] check one:</b> <input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only <b>Construction Type [OBC Chapter 6]:</b> _____ <b>Total Project Work Area:</b> <u>total 22 sq. ft</u> <u>Sq. Ft.</u> <b>Total cost of construction (valuation):</b> \$ <u>\$500</u>	<b>Certification [OBC 107.2.5]</b> I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official. Signature:  Printed Name: <u>Shawn Warren</u> Date of Application: <u>1-6-24</u>
<b>Fire Protection Systems [OBC 106.1.1.1]</b> (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	<b>For Building Department Use</b> Case Number: _____ Date Received: _____ Received By: _____ Other Approvals Required (prior to permit issuance): Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Plan Review Fees Outside Plans Examiner: \$ _____ Stormwater Review: \$ _____
<b>Required Construction Documents [OBC Section 106]</b> 3 sets required for Building Department plus 1 set for Fire Department Review (if applicable) 1 (Civil) set for Engineering Review (if applicable) <b>Date on Plans:</b> <u>1-6-24</u>	



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## **Application Cover Page**

**Docket No.: 02-10-24**

**Permit No.: BBS24-000005**

**Applicant Name: Andrew Mansour, Artis**

**Project Address: 17900 Detroit Ave.**

**Project Name: Artis**

**Project: Applicant proposes sign on front of building and internally illuminated projecting sign.**

Compose

Inbox 2,579

Starred

Snoozed

Sent

Drafts 86

Less

Important

Chats

Scheduled

All Mail

Spam 89

Trash

Categories

Social 18

Updates 1,995

Forums 5

Promotions 5,658

2 of 2

Eric, I have attached our proposal for the city of Lakewood. Please take a look. We are attempting to submit to the city today by noon ar your consent. you can respond to this email and the city will accept that as proof of you being aware of the project.

I have Greydon, the Architect on here as well so he can submit this to the city. Thanks.

--  
Andrew Mansour  
President/Executive Chef Artis Hospitality  
Cell: (216) 513-4350  
Email: [chefandrewmansour@gmail.com](mailto:chefandrewmansour@gmail.com)

One attachment • Scanned by Gmail



**Eric Olsen** <sammycat42@live.com>  
to me, Greydon

Nov 16, 2022, 10:46 AM

Andrew,

Looks great. I am aware of the project and approve.

17900 DETROIT AVENUE  
LAKEWOOD, OHIO 44107

# ARTIS RESTAURANT

PREPARED FOR:  
OWNER: ARTIS HOSPITALITY, LLC  
17900 DETROIT AVENUE  
LAKEWOOD, OH 44107  
CONTACT: ANDREW MANSOUR  
T: 216.513.4350  
CHEFANDREW@GMAIL.COM

GENERAL CONTRACTOR:  
ARIAN CONSTRUCTION  
2675 WARRENVILLE CENTER RD #6  
SHAKER HEIGHTS, OH 44122  
KEITH ARIAN  
T: 216.459.0800  
KEITH.ARIAN@GMAIL.COM

ARCHITECT:  
CLEVELAND DRAW  
3342 AVALON RD.  
SHAKER HEIGHTS, OH 44120  
CLEVELAND, OHIO 44133  
GREYDON PETZNIK  
T: 216.548.5335  
GREYDON@CLEVELANDDRAW.COM

MEP ENGINEER:  
WPHS ENGINEERING  
16017 DETROIT AVENUE  
LAKEWOOD, OH 44107  
BILL SHEPARDSON  
T: 216.227.8505

STRUCTURAL ENGINEER:  
JAMES WRIGHT, P.E.  
WESTERN RESERVE HOME INSPECTION LLC  
2256 OVERLOOK RD.  
CLEVELAND HEIGHTS, OH 44106  
T: 216.791.6812

## PROJECT SCOPE & DATA:

A SUMMARY OF CODE AND BUILDING INFORMATION LISTED BELOW. PLEASE REFERENCE LS-01 AND LS-02 FOR MORE DETAILED INFORMATION

**PROJECT INFO:**  
**TENANT FINISHOUT WORK:** THIS IS A REMODELING OF AN EXISTING RESTAURANT AND BAR (THE SIDE QUEST) AS A NEW RESTAURANT AND LOUNGE. NO CHANGE IN USE GROUP OR CONSTRUCTION CLASSIFICATION WILL OCCUR AS A RESULT OF THIS RENOVATION.

PPN: 311-22-022 17900 DETROIT AVENUE  
LAKEWOOD, OHIO 44107

CONSTRUCTION TYPE: IIB - NS, WITH YB-NS ADDITIONS  
EXISTING, NO CHANGE

TOTAL BUILDING AREA: MAIN LEVEL: 4,182 SF + DETACHED GARAGE  
BASEMENT LEVEL: 3,320 SF

REMODELED AREA: 2,783 SF

CURRENT USE: RESTAURANT (A2, S-2 OCCUPANCY)/RESIDENTIAL (R OCCUPANCY)

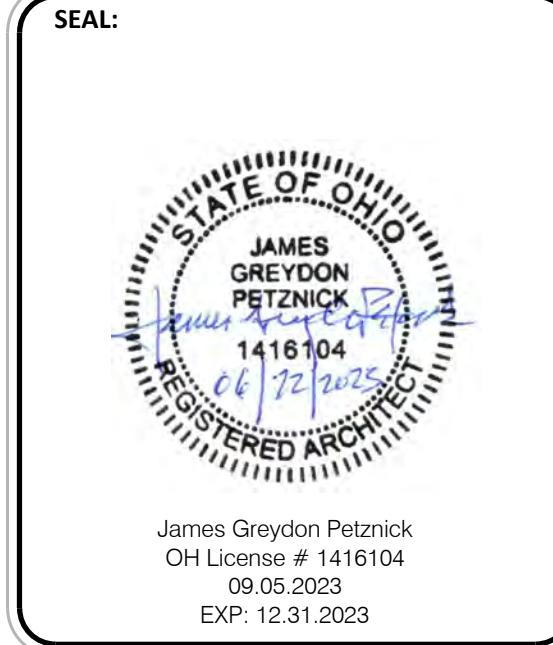
PROPOSED USE: UNCHANGED

LOT AREA: 9,998 SF  
ZONING: C2 - COMMERCIAL RETAIL

OCCUPANCY:  
Main Level: Fire Area A: 74  
Fire Area B: 20  
Total Main Level: 94  
Fire Area A: 7  
Fire Area B: 3  
Total Basement Level: 10

Basement Level:

OCCUPANCY CATEGORY: II (ASCE 7 Table 1-1)  
SITE CLASS - D  
IMPORTANCE FACTOR: 1  
SEISMIC DESIGN CATEGORY - B



DATE:	ISSUED:
06-22-2023	Permit Review
07-26-2023	Permit Revision 1
08-11-2023	Permit Revision 2
09-05-2023	Permit Revision 3

## SYMBOL LEGEND:

	EARTH	<b>TYPICAL DESIGNATION TAGS</b>
	POROUS FILL	ROOM NAME & ROOM NUMBER
	CONCRETE	DOOR TYPE DESIGNATION
	CONCRETE / MASONRY	WALL TYPE DESIGNATION
	BRICK / MASONRY	FINISH DESIGNATION
	GYPSUM WALLBOARD	FIXTURE TYPE DESIGNATION
	RIGID INSULATION	KEY NOTE DESIGNATION
	BATT INSULATION	PROPOSED NEW COLUMN LINE
	WOOD: SOLID SECTION	EXISTING COLUMN LINE
	WOOD: BLOCKING	<b>INTERIOR ELEVATION TAG</b>
	WOOD: BLOCKING (CUT)	SHEET DESIGNATION
	WOOD: PLYWOOD	ELEVATION DESIGNATION
	EXISTING DOOR SYMBOL	<b>EXTERIOR ELEVATION TAG</b>
	PROPOSED NEW DOOR SYMBOL	ELEVATION DESIGNATION
	SECTION TAG	ELEVATION DESIGNATION
	INTERIOR ELEVATION TAG	SHEET DESIGNATION
	FLOOR LEVEL	ELEVATION DESIGNATION
	REVISION CLOUD & REV. DESIGNATION	FLOOR DESIGNATION
	ELEV. HEIGHT DESIGNATION	ELEV. HEIGHT DESIGNATION

## SHEET INDEX:

ARCHITECTURAL DRAWINGS	STRUCTURAL DRAWINGS
TO-00 TITLE SHEET, GENERAL NOTES, SHEET INDEX & PROJECT DATA SURVEY	S1-00 GENERAL STRUCTURAL NOTES S1-01 FRAMING PLANS
SP-01 AERIAL AND ARCHITECTURAL SITE PLAN	
LS-01 LIFE SAFETY/CODE ANALYSIS	
LS-02 LIFE SAFETY/CODE PLAN	
AD-01 AS FOUND / DEMOLITION BASEMENT PLAN	M1-01 MECHANICAL SPECIFICATIONS M1-02 MECHANICAL PLANS AND DETAILS
AD-02 AS FOUND / DEMOLITION FIRST FLOOR PLAN	
AD-03 DEMOLITION ELEVATION PLAN	P1-01 PLUMBING SPECIFICATIONS P1-02 PLUMBING SCHEDULES AND DETAILS P2-01 PLUMBING PLANS
A0-01 INTERIOR WALL TYPES	E0-01 ELECTRICAL SYMBOLS, SCHEDULES, LEGEND, AND NOTES
A1-00 ARCHITECTURAL FLOOR PLAN - BASEMENT	E0-02 ELECTRICAL PANEL AND EQUIPMENT SCHEDULES
A1-01 ARCHITECTURAL FLOOR PLAN - FIRST FLOOR	ED-01 ELECTRICAL DEMO PLAN
A2-00 EXISTING EXTERIOR CONDITIONS - PHOTOGRAPHY	E1-01 LIGHTING PLAN
A2-01 EXISTING ELEVATIONS AND HISTORIC PHOTOS	E2-01 POWER PLAN
A2-02 EXTERIOR ELEVATIONS	E3-01 ELECTRICAL SPECIFICATIONS
A2-03 EXTERIOR RENDERING, DETAILS, AND MATERIALS	E3-02 ELECTRICAL SPECIFICATIONS
A2-04 STOREFRONT ELEVATIONS/PLAN DETAILS	
A2-05 EXTERIOR WALL SECTIONS/DETAIL	
A5-01 RESTROOM PLANS AND ELEVATIONS	
A5-02 INTERIOR ELEVATIONS	
A5-03 INTERIOR ELEVATIONS	
A6-01 FINISH PLAN	
A8-01 REFLECTED CEILING AND LIGHTING PLAN	
A9-01 DOOR SCHEDULE, TYPES AND DETAILS	
FE-01 FOOD EQUIPMENT PLAN	

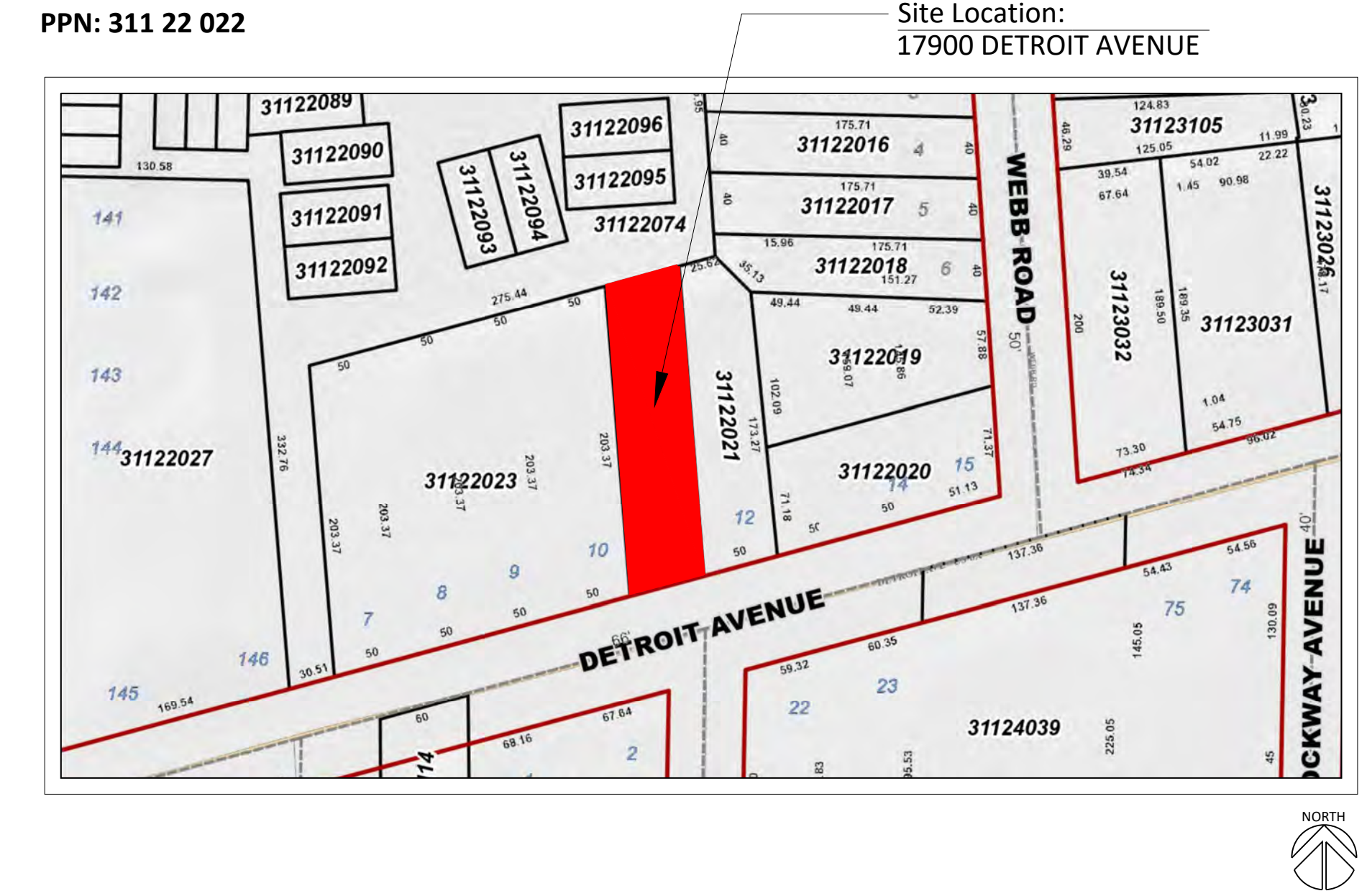
## GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
- THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
  - ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
  - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS, PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FROM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
  - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL

- OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. A SUBSTANTIAL COMPLETION CERTIFICATE WILL BE EXECUTED AND DISTRIBUTED BY THE ARCHITECT.
- REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA), LATEST EDITION.
- ALL CONTRACTORS ENGAGED BY THE G.C. SHALL BE BONDABLE, LICENSED CONTRACTORS, HAVING GOOD LABOR RELATIONS, CAPABLE OF PERFORMING QUALITY WORKMANSHIP AND CAPABLE OF WORKING IN HARMONY WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS.
- PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE. ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE OWNER AND/OR AS REQUIRED BY LOCAL & STATE AGENCIES.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MODIFIED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED WITHIN THESE DRAWINGS.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS. EACH SUBCONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE CONTRACTED WORK, INCLUDING RIGGING OF MATERIALS AND EQUIPMENT, ALL HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, AND/ OR SLEEVES.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DEFUSERS, ECT.) MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.
- THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS - UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST AND RESIDUE AND DEBRIS. DELIVER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.
- ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A STANDARDS.

- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- ALL WORK SUBCONTRACTED SEPARATELY BY THE TENANT'S INTERIORS CONSULTANT IS THE RESPONSIBILITY OF THE INTERIORS CONSULTANT TO MEET THE CODE REQUIREMENTS OF THE OBC AND PERMIT AS APPROVED. CONTRACTOR TO FACILITATE THE WORK AND COORDINATE ALL ITEMS WITHIN THE SCOPE OF THE INTERIORS CONSULTANT
- SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ECT (WHICH IN THE GENERAL CONTRACTORS OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY. AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECT'S REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL LAYOUT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.

## SITE LOCATION:



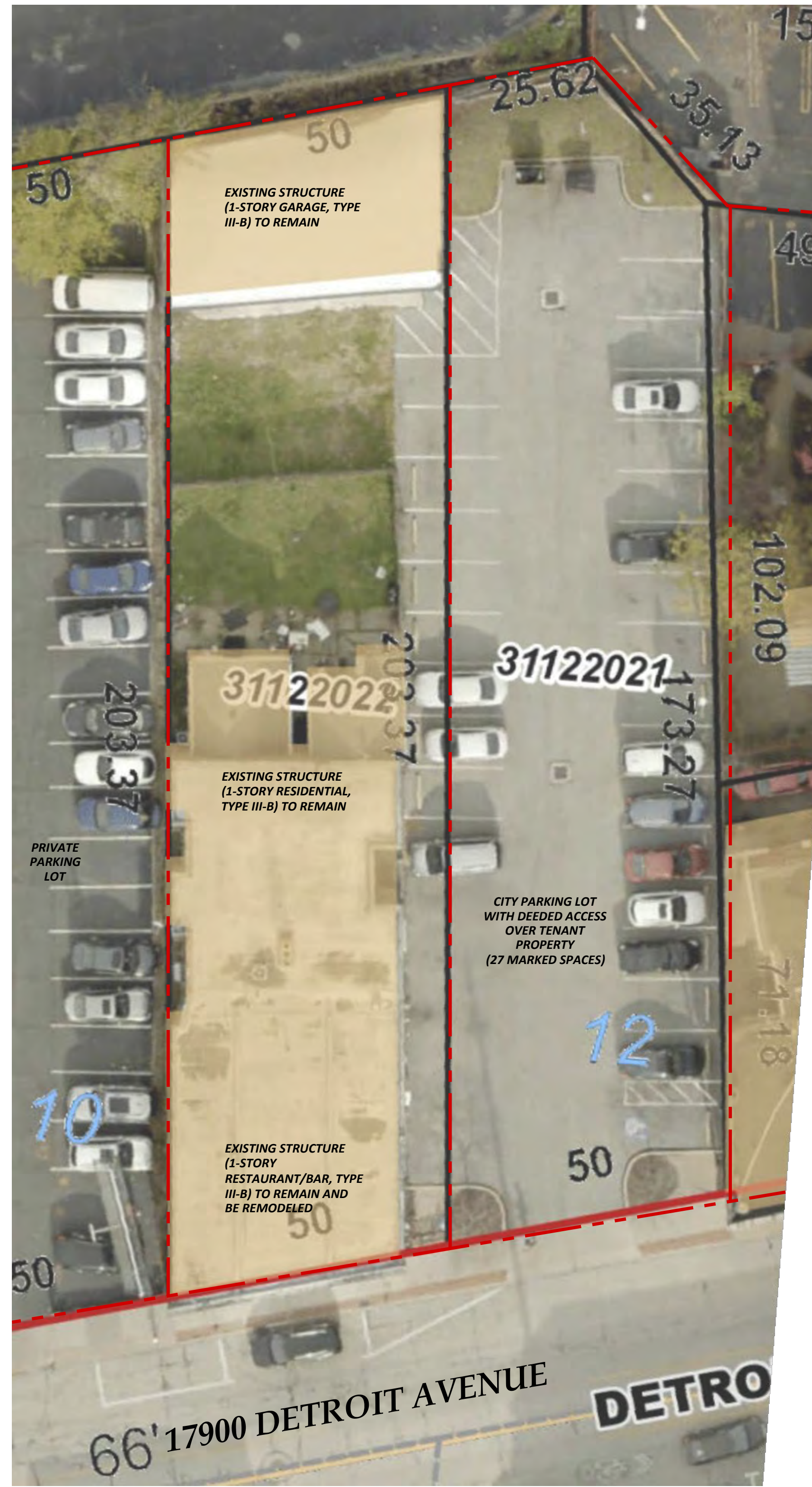
CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

Artis Restaurant  
Proposed Renovations to Accommodate:  
**Artis Restaurant**  
17900 Detroit Ave. Lakewood, Ohio 44107

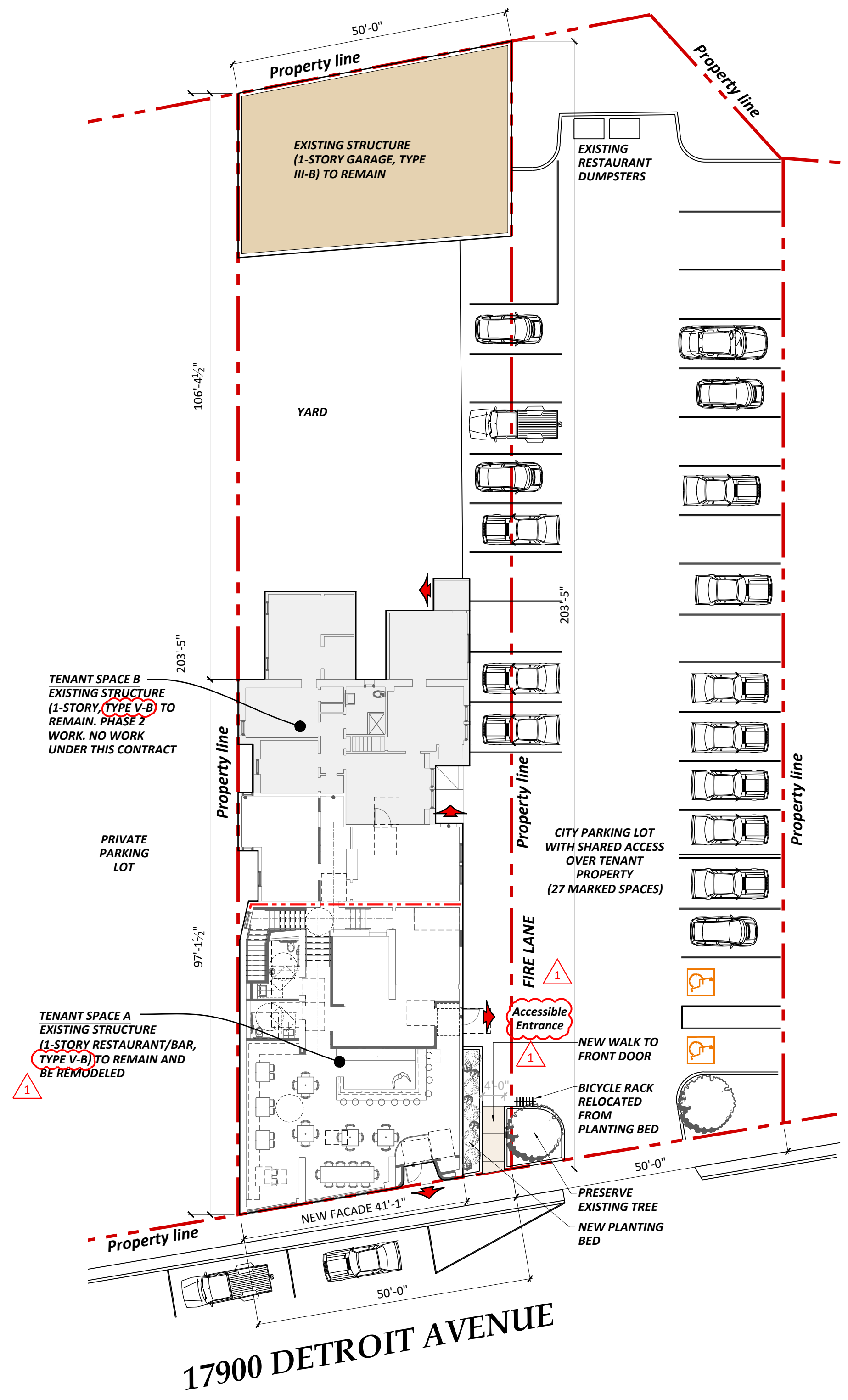
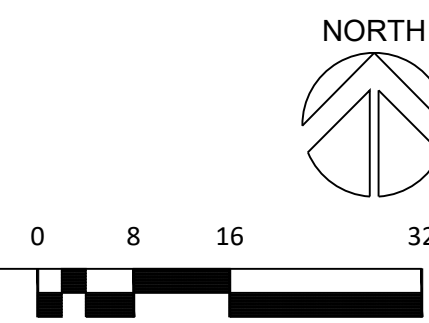
TITLE:  
TITLE SHEET, GENERAL  
NOTES, SHEET INDEX  
& PROJECT DATA

ISSUE: 06.22.2023

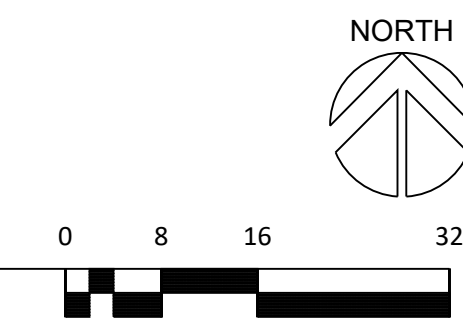
SHEET:  
**TO-00**



1 AERIAL PLAN PPN 311-22-022  
 SP-01 SCALE: 1/16" = 1'-0"



2 ARCHITECTURAL SITE PLAN  
 SP-01 SCALE: 1/16" = 1'-0"



SEAL:

JAMES GRAYDON PETZNIK  
 OH License # 1416104  
 07.26.2023  
 EXP: 12.31.2023

ISSUED:	Permit Review	DATE: 06.22.2023
	Permit Revision 1/A	DATE: 07.26.2023

CLEVELAND  
**DRAW**  
 DESIGN & RESTORATION  
 ARCHITECTURE WORKSHOP

Artis Restaurant  
 Proposed Renovations to Accommodate:  
**Artis Restaurant**  
 17900 Detroit Ave. Lakewood, Ohio 44107

TITLE:  
**ARCHITECTURAL SITE PLAN**

ISSUE: SHEET: DATE: 06.22.2023

**SP-01**

**GENERAL NOTES:**

- GROUND FLOOR ELEVATION 100'-0" AFF IS EQUIVALENT TO CIVIL ELEVATION 677.18'.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF MASONRY OR EXTERIOR FACE OF STOREFRONT, UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE FROM FINISH FACE OF WALL.
- ALL DOORS TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS NOTED OTHERWISE).
- ALL STOREFRONT ROUGH OPENINGS MUST BE FIELD VERIFIED BEFORE PRICING, FABRICATION & INSTALLATION.
- THE NUMBER AND LOCATIONS OF FIRE EXTINGUISHERS SHALL BE LOCATED & APPROVED BY THE LOCAL FIRE MARSHAL OR AUTHORITY HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL PROVIDE NEW FIRE EXTINGUISHERS, NEW RECESSED CABINETS (LARSEN 10# STANDARD WHITE, RECESSED CABINET 2409R7), AND ASSOCIATED FRAMING AND DRYWALL FURRING (AS REQUIRED) TO FULLY COMPLY WITH THE APPLICABLE LOCAL BUILDING CODES. FINAL LOCATIONS TO BE COORDINATED IN THE FIELD WITH THE OWNER AND ARCHITECT.
- ALL KITCHEN EQUIPMENT IS TO BE SUPPLIED BY OWNER'S REPRESENTATIVE CONTRACTOR / SUPPLIER. GENERAL CONTRACTOR AND/OR SUB-CONTRACTOR IS RESPONSIBLE FOR SETTING EQUIPMENT IN PLACE AND PROVIDING CONNECTION PER EQUIPMENT MFR'S RECOMMENDATIONS TO ENSURE PROPER OPERATION.
- ALL CONCRETE IS TO BE REPAIRED AS REQUIRED BY NEW WORK, INFILLED TO MATCH EXISTING TEXTURE AND FINISH THEN CLEANED AND FINISHED TO MATCH EXISTING

**TYPICAL EXTERIOR WALL CONSTRUCTION:**  
EXISTING 12" MASONRY

**INTERIOR WALL CONSTRUCTION:**

- 2. REFER TO INTERIOR PARTITION TYPES ON SHEET A0-01. ALL WALL CONSTRUCTION IS TYPE "A" UNLESS NOTED OTHERWISE

TEMPORARY ENCLOSURES SHALL BE PROVIDED BY THE CONTRACTOR OVER AND/OR AROUND ANY EXTERIOR OPENINGS AS NECESSARY FOR THE PROPER INSTALLATION OF ANY PORTION OF WORK AND SECURITY OF THE BUILDING.

THE FOLLOWING SYSTEMS WILL ALSO BE PROVIDED & INSTALLED BY THE OWNER'S REPRESENTATIVE CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WORK WITH ALL OTHER TRADES AS OUTLINED WITHIN & INTERFACE WITH OWNER'S REPRESENTATIVE CONTRACTOR AS REQUIRED (ALSO REFER TO REFLECTED CEILING PLAN) PRIOR TO INSTALLATION. THE G.C. SHALL ORGANIZE A PRE-INSTALL CONFERENCE WITH EACH OF THE OWNER'S REPRESENTATIVE CONTRACTORS:

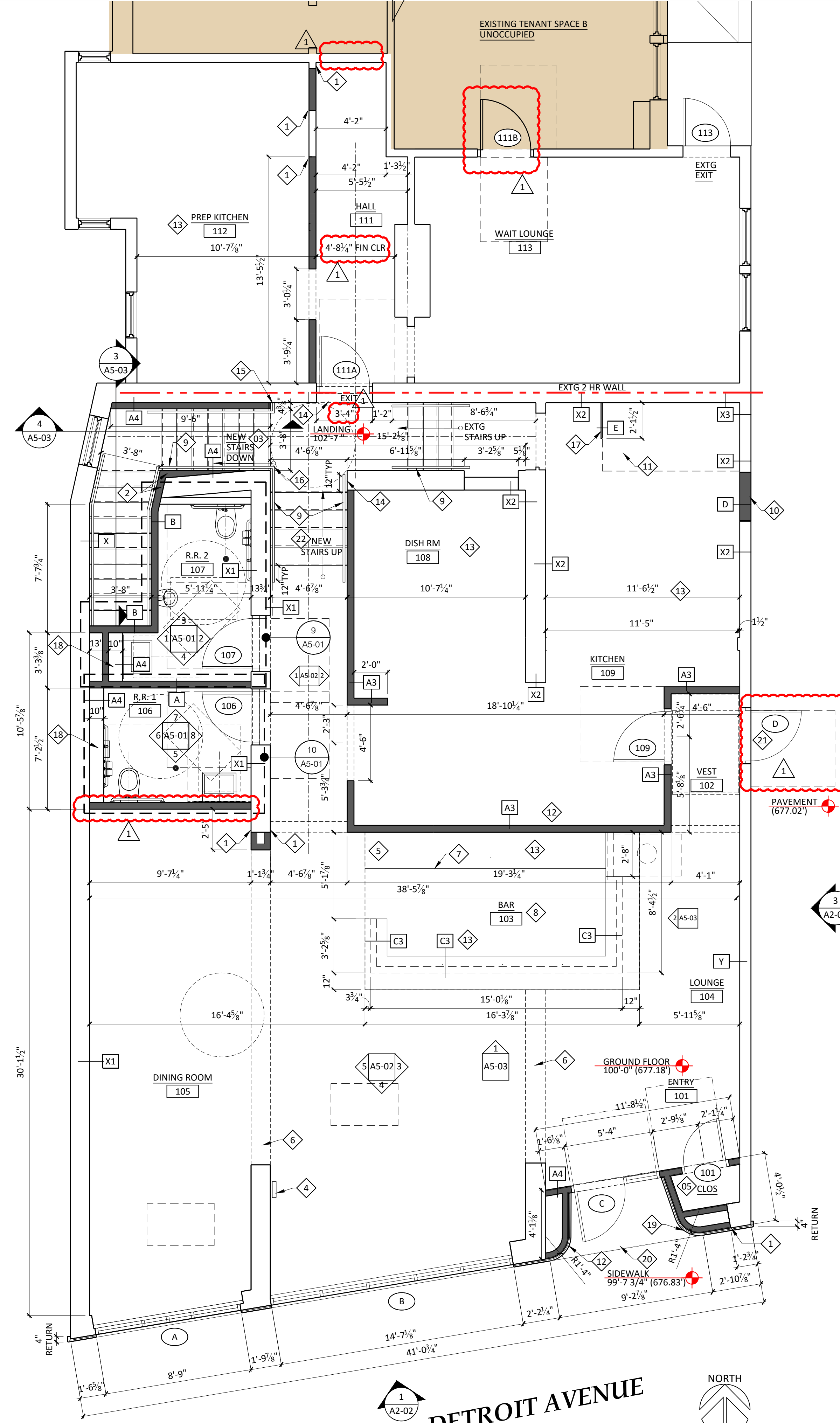
- INTERIORS CONSULTANT
- FOOD SERVICE EQUIPMENT CONSULTANT
- SECURITY ALARM & CAMERA EQUIPMENT
- SOUND SYSTEM (SPEAKERS & CONTROLS)

**PLAN KEY NOTES**

- 01 ALIGN TO EXTG
- 02 FURR OUT FROM NEW M.O. TO PLANE GWB STARIGHT AND FLUSH FOR 3'-8" FINISHED CLEAR
- 03 NEW WOOD FRAMED STAIRS DOWN. MIN 3'-8" CLR. 18 R @6'-3/4"/11" T. REF A6-02
- 04 EXTG FIRE ALARM PANEL. REF MEP
- 05 SOUND EQUIPMENT AND CONTROLS. OPTIONAL LOCATIONS. CONSULT OWNER/OWNER'S CONSULTANT AT ROUGH FRAMING
- 06 BEAM ABOVE REF RCP
- 07 MILLWORK
- 08 NEW BAR FRAMING AND FINISHES
- 09 1.5" O.D. PIPE RAIL HANDRAIL AT 34" AFF, PAINTED
- 10 EXTERIOR INFILL-FLUSH NEW GWB/FINISH TO INSIDE-WITH FRAMING INSULATION AND EXTERIOR FINISH PER ELEVATIONS
- 11 EXISTING TYPE 2 HOOD TO REMAIN
- 12 OPTIONAL WAIT STATION PASS THRU. LOCATE WITH OWNER DURING FRAMING
- 13 FOOD SERVICE EQUIPMENT - REFERENCE FOOD SERVICE DRAWINGS AND MEP
- 14 FINISH MASONRY OPENING AFTER DEMO TO MATCH SURROUNDING
- 15 RETURN HANDRAIL TO WALL
- 16 JOIN HANDRAIL FOR CONTINUOUS BEND
- 17 ST STL HOOD SIDE CURTAIN; REF A0.00
- 18 FURR WALL. REFERENCE INTERIOR ELEVATION FOR HEIGHT
- 19 NEW RADIUS ENTRY WALLS. REF ELEVATIONS
- 20 NEW ENTRY CONCRETE STEP- 4-1/4" APPROX. VIF
- 21 NEW DOOR AT EXISTING ENTRY. CONFIRM/ENSURE FLUSH PAVEMENT TRANSITION CONDITION FOR NEW ADA ENTRY
- 22 NEW WOOD FRAMED STAIRS UP. MIN 4'-6" CLR. 5 R @6'-1/4"/13" T. REF A5-02

MATCHLINE

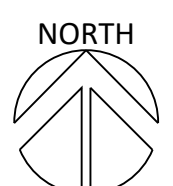
MATCHLINE



1  
A1-01  
GROUND FLOOR LEVEL  
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PARKING LOT

DETROIT AVENUE



SEAL:

James Graydon Petznick  
OH License # 1416104  
07-26-2023  
EXP: 12-31-2023

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_

Permit Review 06-22-2023  
Permit Revision 07-26-2023

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

Artis Restaurant  
Proposed Renovations to Accommodate:  
**Artis Restaurant**  
17900 Detroit Ave. Lakewood, Ohio 44107

TITLE:  
**PROPOSED FLOOR PLAN**

ISSUE: \_\_\_\_\_ DATE: 06.22.2023

SHEET:  
**A1-01**



CLEVELAND GREYHOUND BUS STATION



CLEVELAND GREYHOUND BUS STATION



CLEVELAND LIFEBOAT STATION



CLEVELAND GREAT LAKES EXPOSITION 1937



MILES ROAD DRIVE-IN



DETROIT THEATER MARQUEE - LAKEWOOD



CLEVELAND LIFEBOAT STATION



HALSTEAD AT MADISON - LAKEWOOD



BLOSSOM PARK AT DETROIT - LAKEWOOD



BUNTS AT MADISON - LAKEWOOD

SEAL:  
NOT FOR CONSTRUCTION

ISSUED:	ISSUED FOR ABR REVIEW:	ISSUED FOR ABR REVIEW:
	11-15-2022	11-28-2022

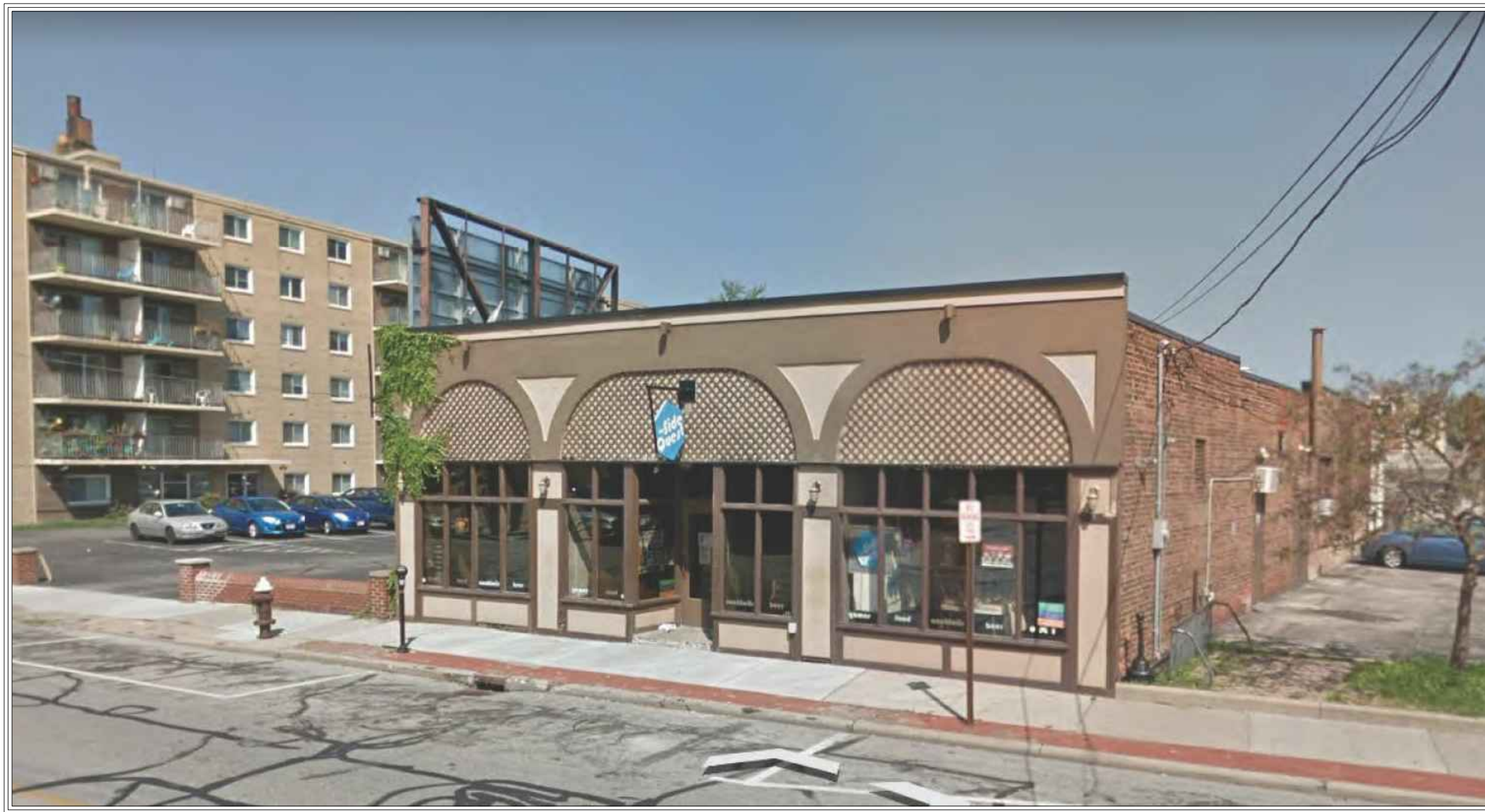
CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

**Artis Restaurant**  
*Proposed Renovations to Accommodate:*  
**Artis Restaurant**  
17900 Detroit Ave. Lakewood, Ohio 44107

TITLE:  
EXISTING CONDITIONS  
PRECEDENTS

ISSUE: DATE:  
11.28.2022

SHEET:  
**AP-01**



1  
A2-00  
EXISTING CONDITIONS  
FRONT (SOUTH) ELEVATION AT DETROIT  
SCALE: N.T.S.



2  
A2-00  
EXISTING CONDITIONS  
FRONT (SOUTHWEST) CORNER AT DETROIT  
SCALE: N.T.S.



3  
A2-00  
EXISTING CONDITIONS  
FRONT (SOUTH) ELEVATION AT SIDEWALK  
SCALE: N.T.S.



4  
A2-00  
EXISTING CONDITIONS  
FRONT (SOUTH) ELEVATION AT SIDEWALK DETAIL  
SCALE: N.T.S.



5  
A2-00  
EXISTING CONDITIONS  
FRONT (SOUTHEAST) CORNER AT SIDEWALK DETAIL  
SCALE: N.T.S.



6  
A2-00  
EXISTING CONDITIONS  
SIDE (EAST) CORNER AT CITY PARKING LOT  
SCALE: N.T.S.



7  
A2-00  
EXISTING CONDITIONS  
REAR WOOD FRAMED ADDITIONS  
SCALE: N.T.S.

SEAL:  
NOT FOR CONSTRUCTION

DATE: 11-15-2022  
ISSUED FOR ABR REVIEW: 11-28-2022  
ISSUED FOR ABR REVIEW: 11-28-2022

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

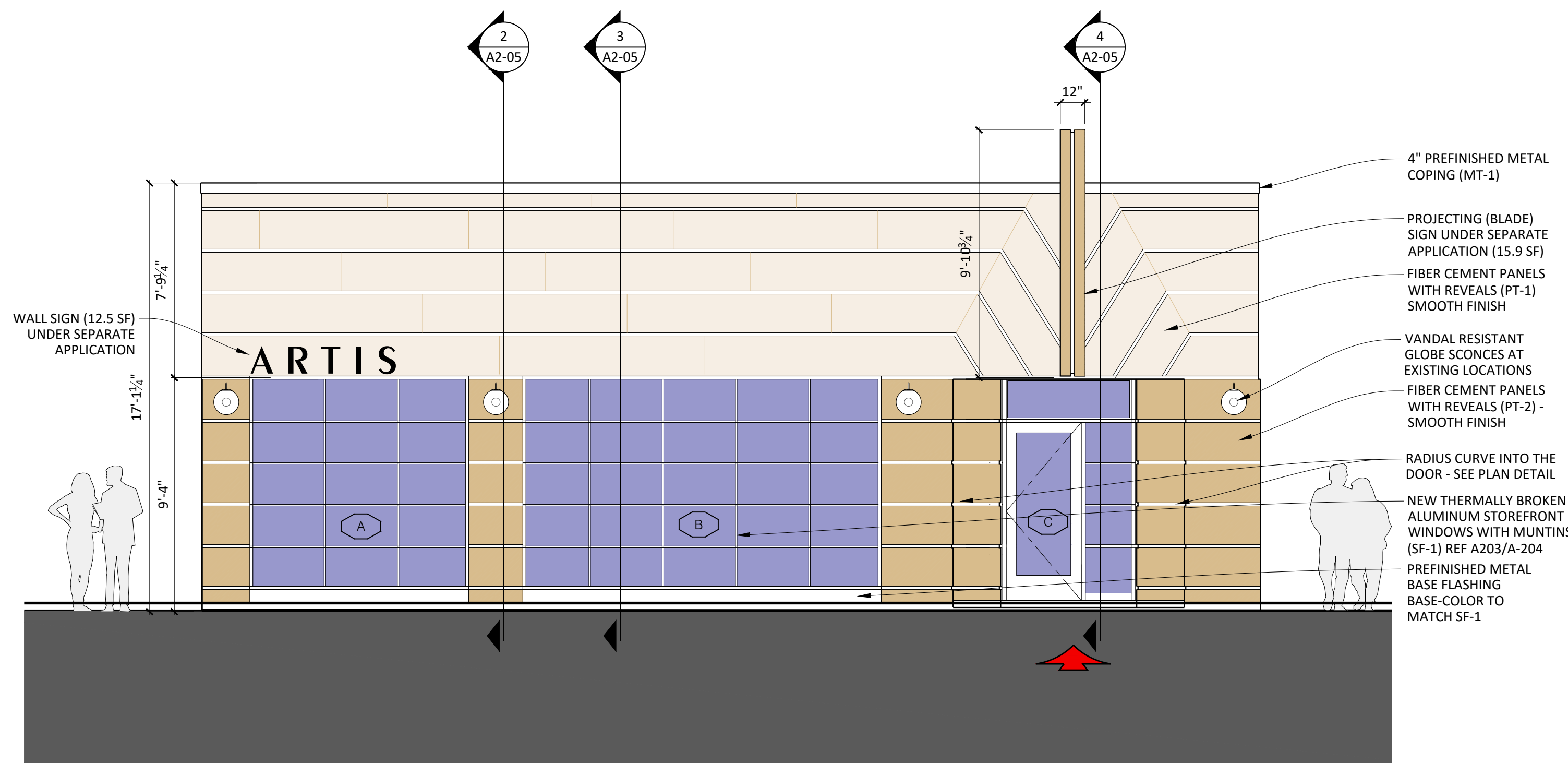
Artis Restaurant  
Proposed Renovations to Accommodate:  
**Artis Restaurant**  
17900 Detroit Ave. Lakewood, Ohio 44107

TITLE:  
EXISTING CONDITIONS

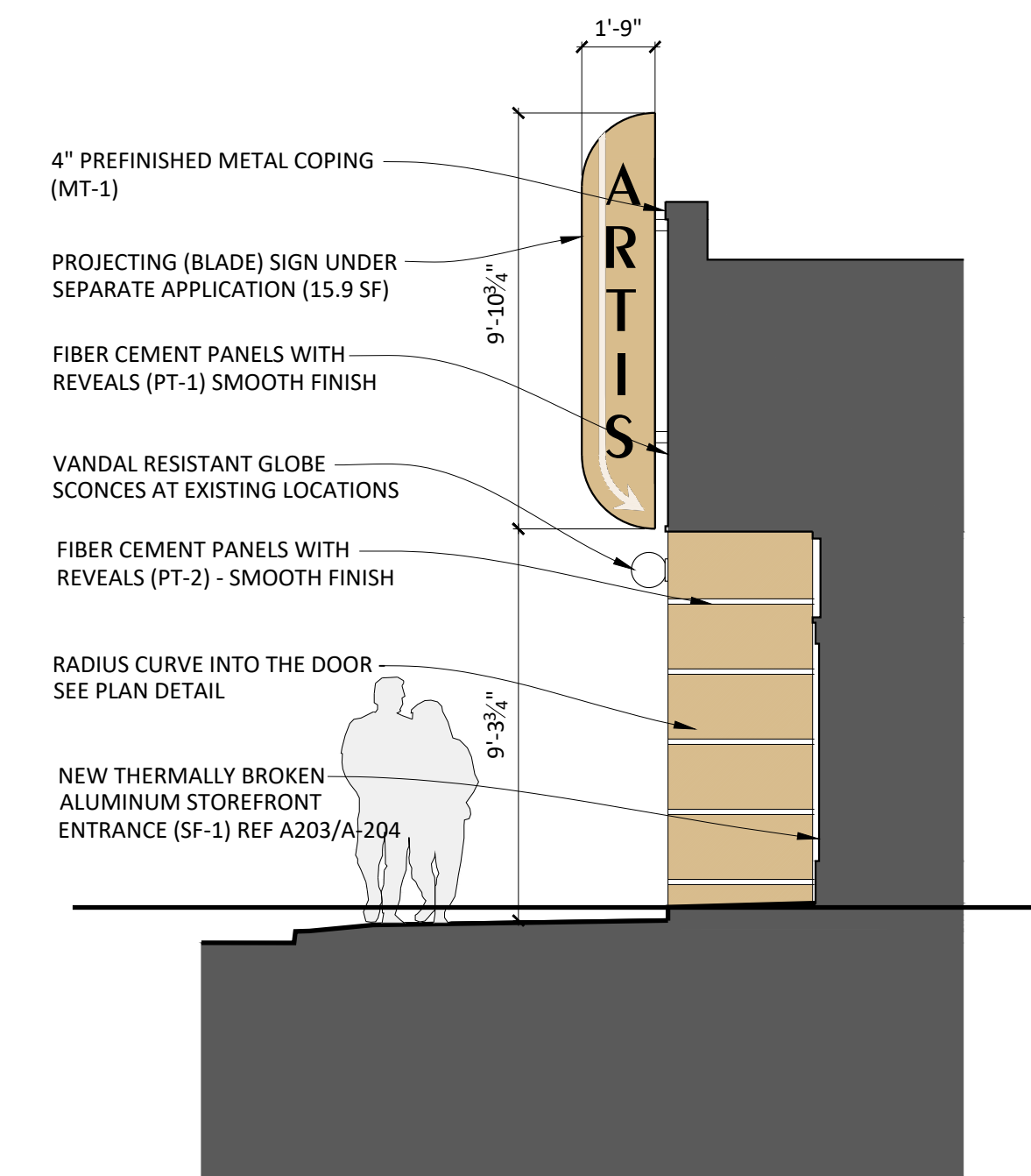
ISSUE: DATE: 11.28.2022

SHEET:  
**A2-00**

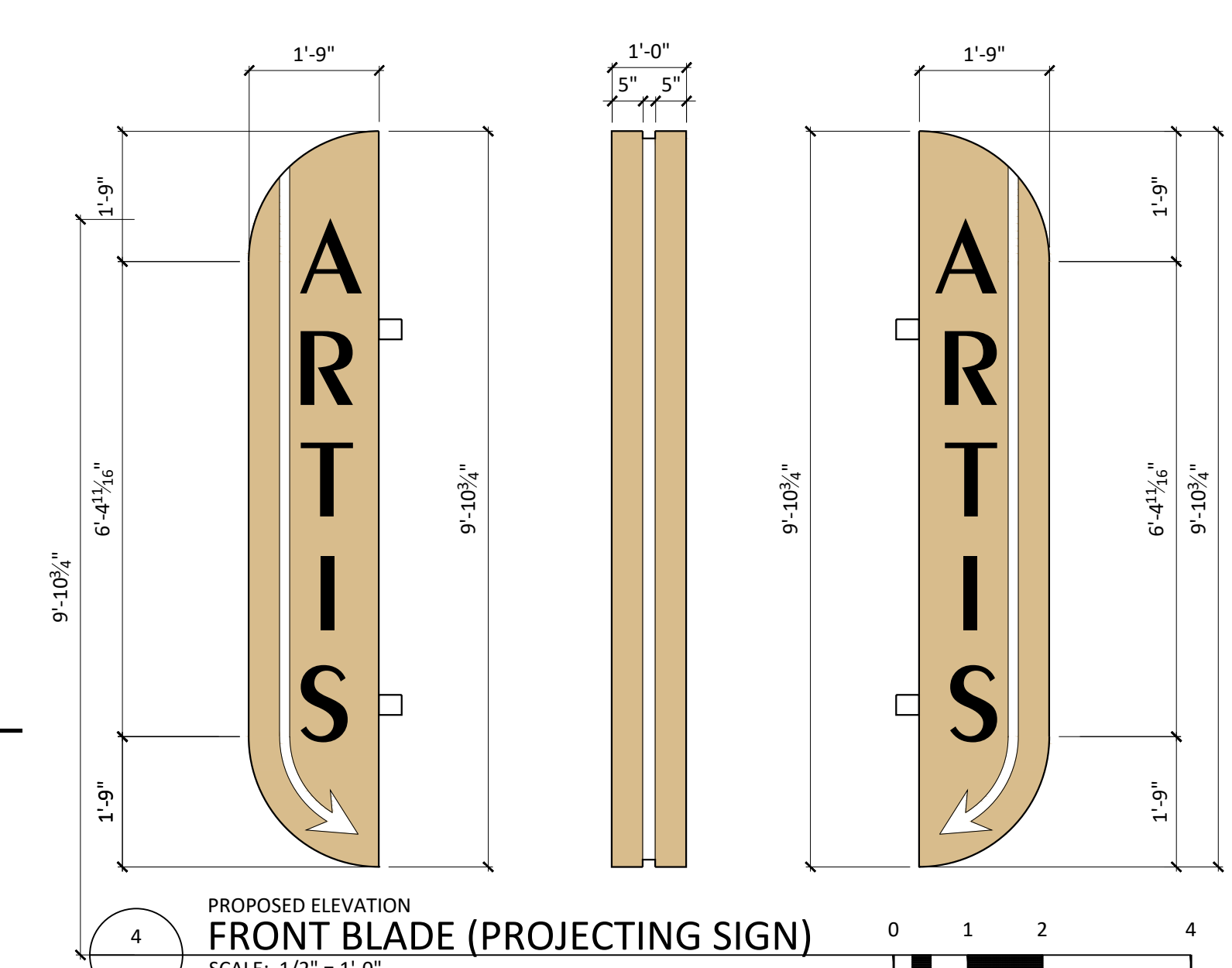
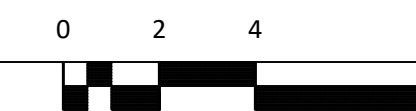




1  
A2-02  
PROPOSED ELEVATION  
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

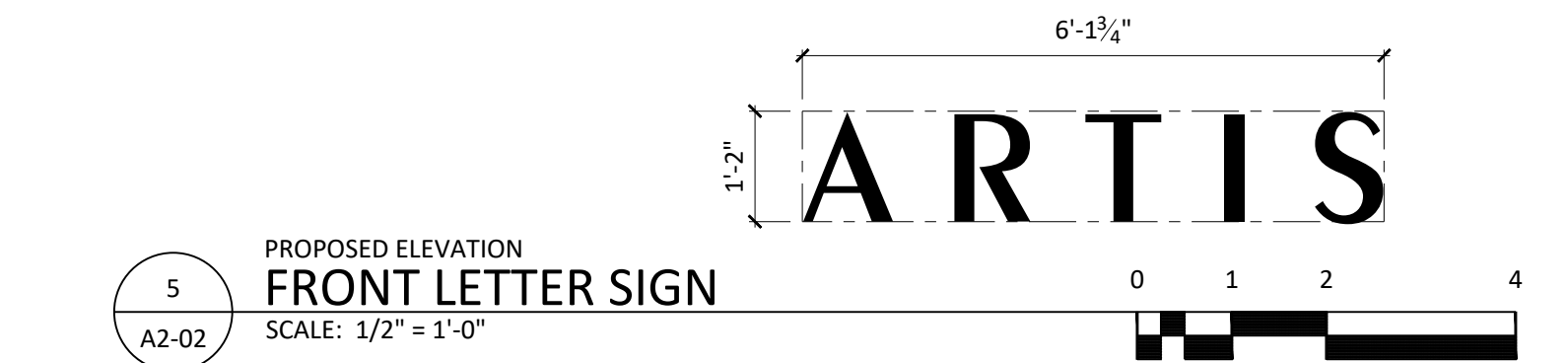


2  
A2-02  
PROPOSED ELEVATION  
FRONT RECESSED ENTRY  
SCALE: 1/4" = 1'-0"



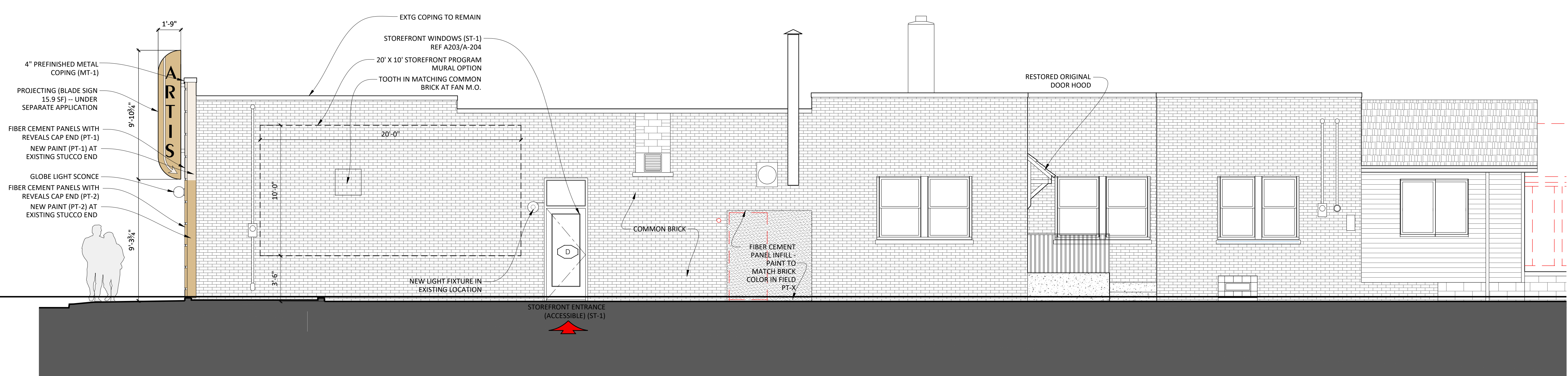
4  
A2-02  
PROPOSED ELEVATION  
FRONT BLADE (PROJECTING SIGN)  
SCALE: 1/2" = 1'-0"

- SIGNAGE UNDER SEPARATE PERMIT
- SIGNAGE COORDINATED BY OWNER
- FONT AND FINAL GRAPHICS PER OWNER DESIGN AND APPROVAL

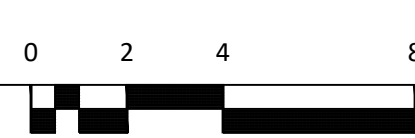


5  
A2-02  
PROPOSED ELEVATION  
FRONT LETTER SIGN  
SCALE: 1/2" = 1'-0"

- SIGNAGE UNDER SEPARATE PERMIT
- SIGNAGE COORDINATED BY OWNER
- FONT AND FINAL GRAPHICS PER OWNER DESIGN AND APPROVAL



3  
A2-02  
PROPOSED ELEVATION  
EAST (PARKING) ELEVATION  
SCALE: 1/4" = 1'-0"



SEAL:

JAMES GREYDON PETZNIK  
OH License # 1416104  
06.22.2023  
EXP: 12.31.2023

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PERMIT REVIEW: \_\_\_\_\_

CLEVELAND  
**DRAW**  
 DESIGN & RESTORATION  
 ARCHITECTURE WORKSHOP

Artis Restaurant  
*Proposed Renovations to Accommodate:*  
**Artis Restaurant**  
 17900 Detroit Ave. Lakewood, Ohio 44107

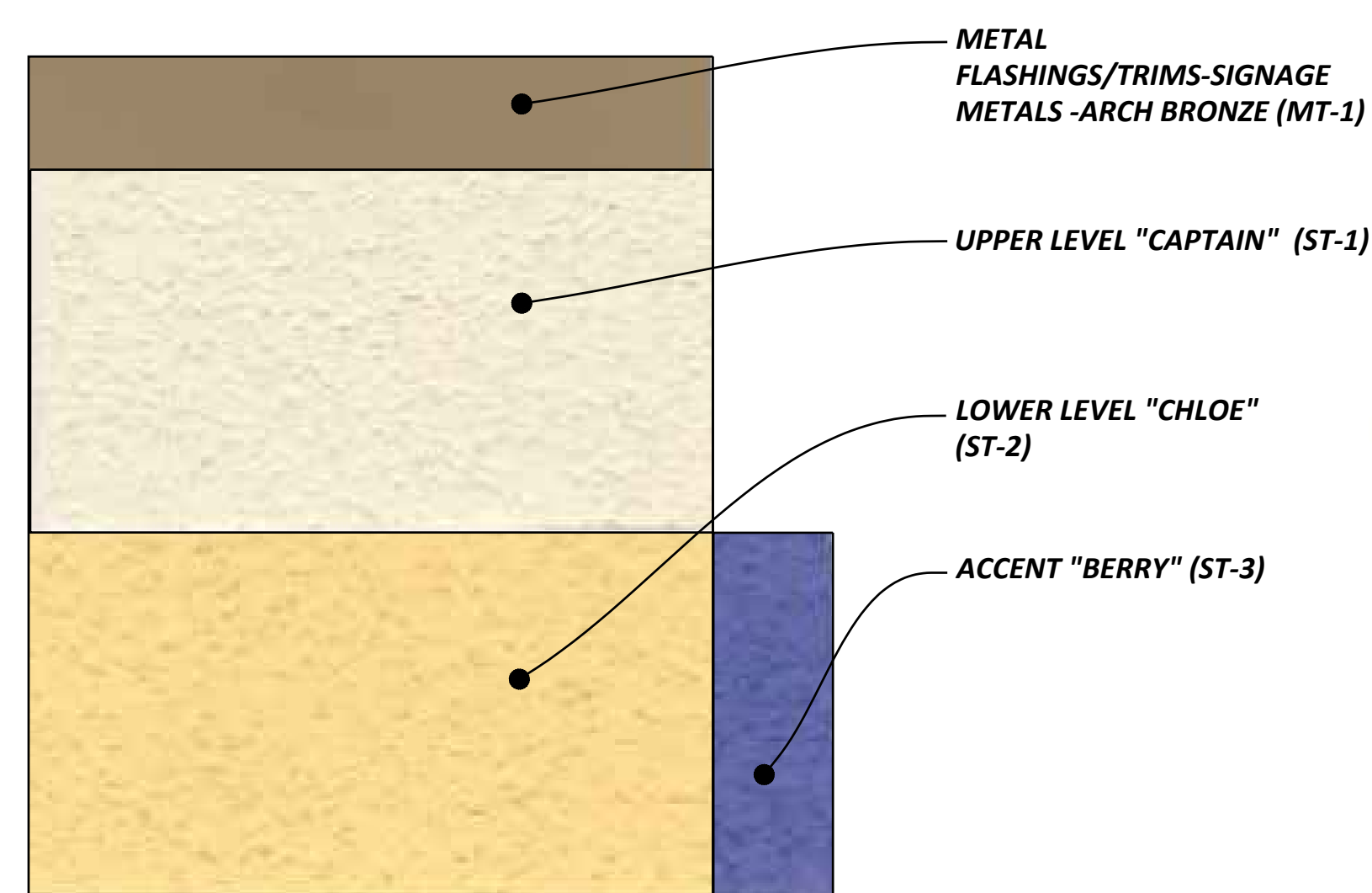
TITLE:  
**PROPOSED ELEVATIONS**

ISSUE: \_\_\_\_\_ DATE: 06.22.2023  
 SHEET:  
**A2-02**

APPROVED ABR SUBMISSION



1 PROPOSED SCHEMATIC RENDERING - SCHEME B  
SCALE: N.T.S.



3 PROPOSED COLOR PALETTE  
SCALE: N.T.S.

SIGNAGE BY SEPARATE APPLICATION. PROJECTING (BLADE) AND (2) WALL SIGNS SHOWN RENDERED FOR INTENT, MATERIAL, SCALE, AND FEEDBACK. AS SHOWN AREA OF SIGNS ARE 41 SF < 61.6 SF (1.5 X 41'-1" FRONTAGE)

6 PROPOSED BLADE AND WALL SIGNAGE  
SCALE: N.T.S.

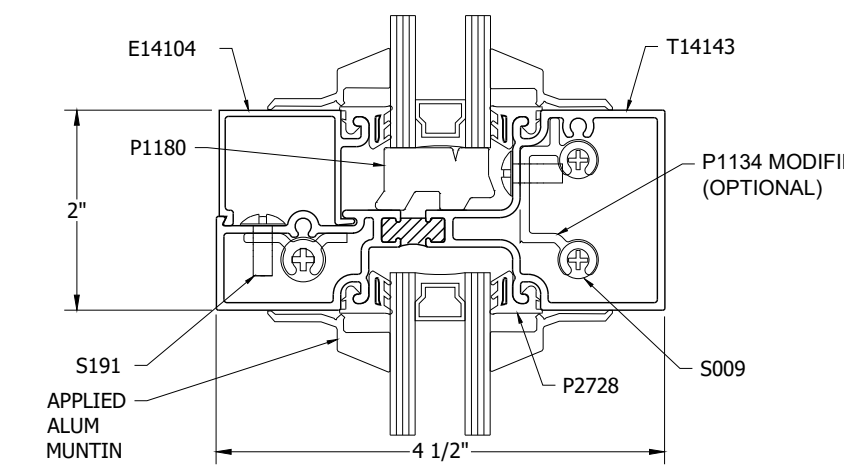


SIDE ELEVATION SIGNAGE LIGHTING: GOOSENECK  
BASIS OF DESIGN: TROY LIGHTING RA10- VANDAL RESISTANT 10" LED LIGHT IN BURNISHED BRONZE

4 PROPOSED EXTERIOR LIGHTING  
SCALE: N.T.S.

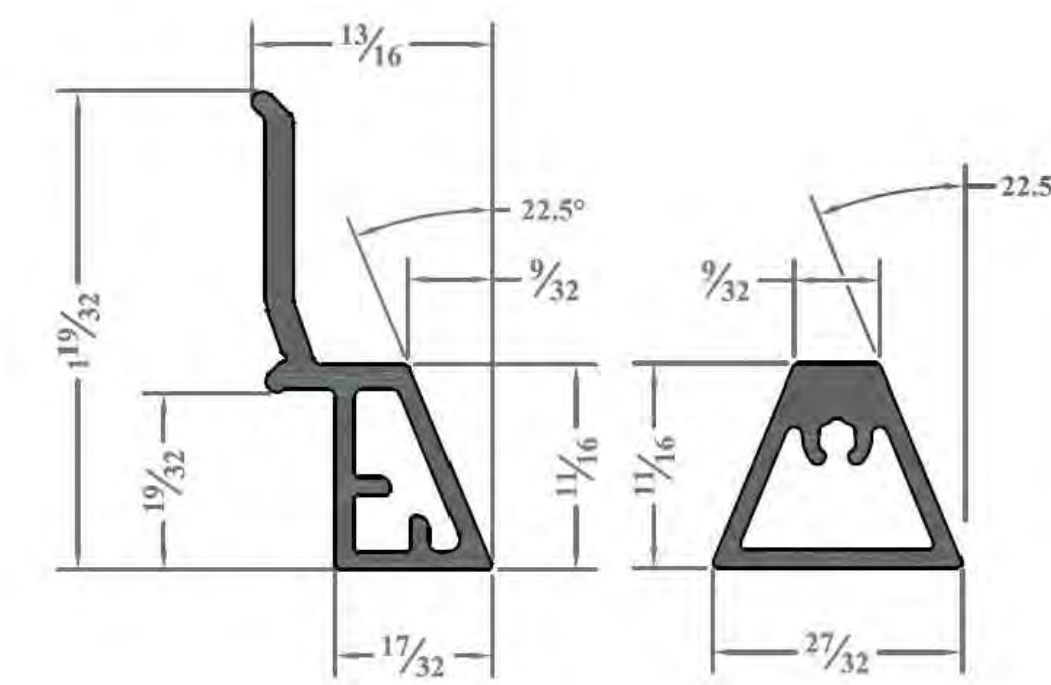


FRONT ELEVATION LIGHTING: GLOBE SCONCE  
BASIS OF DESIGN: ANSEL 10"- VANDAL RESISTANT ACRYLIC GLOBE

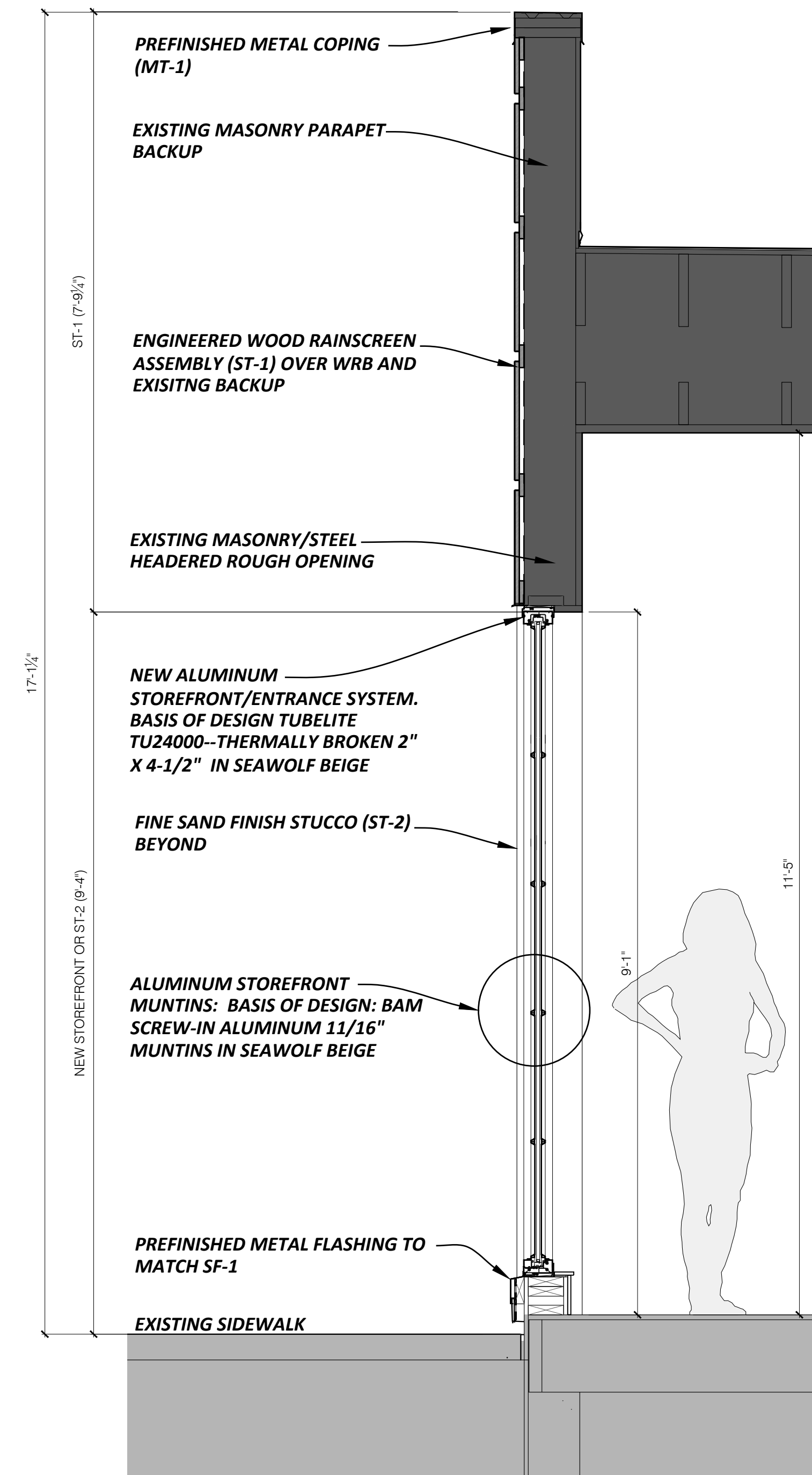


NEW ALUMINUM STOREFRONT/ENTRANCE SYSTEM. BASIS OF DESIGN TUBELITE TU24000--THERMALLY BROKEN 2" X 4-1/2" IN SEAWOLF BEIGE (SF-1)

2 PROPOSED NEW STOREFRONT  
SCALE: N.T.S.



ALUMINUM STOREFRONT MUNTINS: BASIS OF DESIGN: BAM SCREW-IN ALUMINUM 11/16" MUNTINS IN SEAWOLF BEIGE (SF-1)



5 PROPOSED FACADE WALL SECTION  
SCALE: 3/4" = 1'-0"

SEAL:  
NOT FOR CONSTRUCTION

DATE:	11-15-2022
ISSUED FOR ABR REVIEW:	11-28-2022
ISSUED FOR ABR REVIEW:	

CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

Artis Restaurant  
Proposed Renovations to Accommodate:  
**Artis Restaurant**  
17900 Detroit Ave. Lakewood, Ohio 44107

TITLE:  
PROPOSED ELEVATIONS  
COLOR SCHEME B

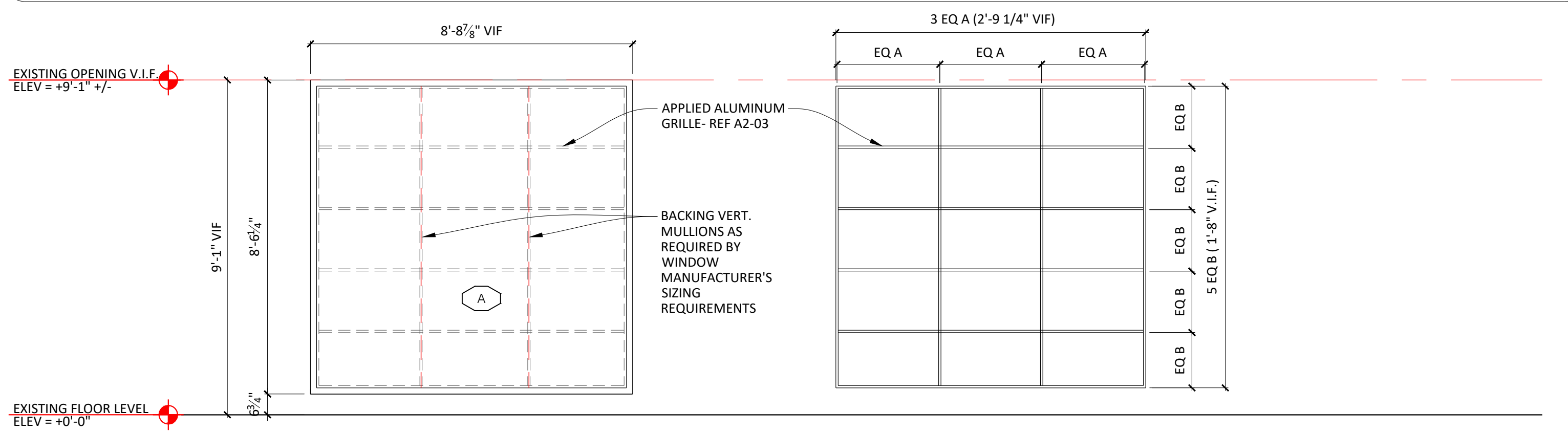
ISSUE: DATE: 11.28.2022

SHEET:

**A203B**

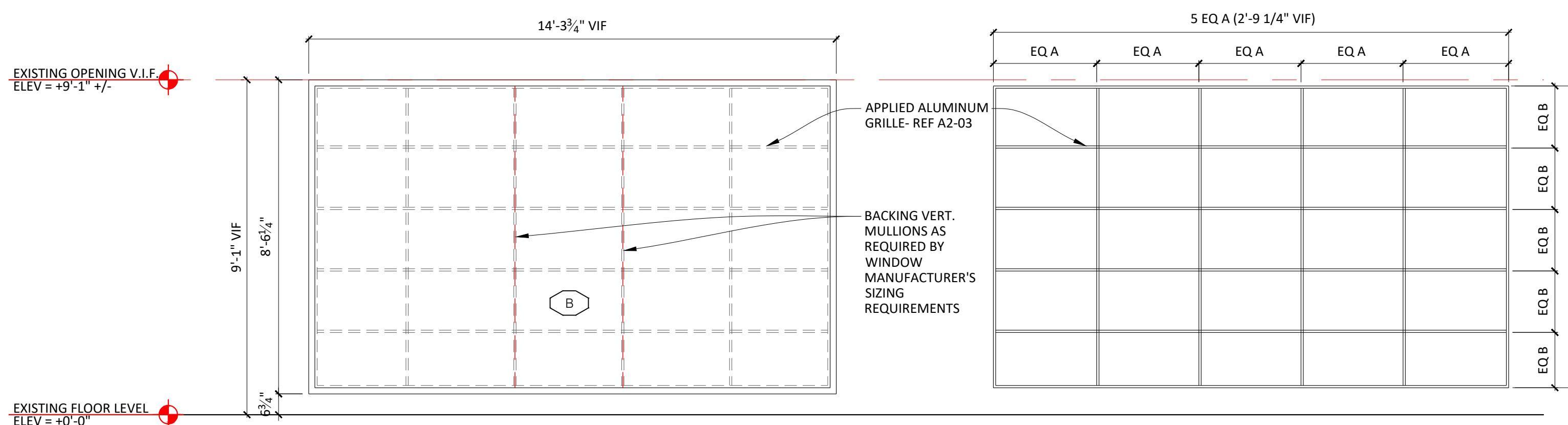


**STOREFRONT AND GRILLE TYPES**



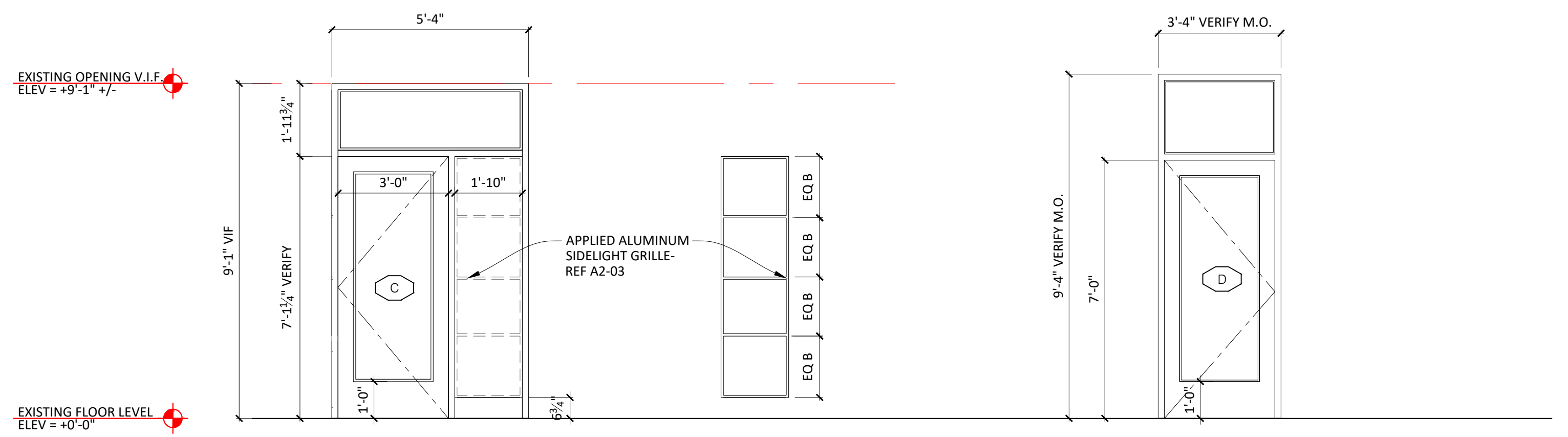
1 PROPOSED ELEVATION FRONT ELEVATION WINDOW A  
A2-04 SCALE: 3/8" = 1'-0"

2 PROPOSED ELEVATION FRONT ELEVATION WINDOW A MUNTIN  
A2-04 SCALE: 3/8" = 1'-0"



3 PROPOSED ELEVATION FRONT ELEVATION WINDOW B  
A2-04 SCALE: 3/8" = 1'-0"

4 PROPOSED ELEVATION FRONT ELEVATION WINDOW B MUNTIN  
A2-04 SCALE: 3/8" = 1'-0"



5 PROPOSED ELEVATION FRONT ELEVATION ENTRANCE C AND MUNTIN  
A2-04 SCALE: 3/8" = 1'-0"

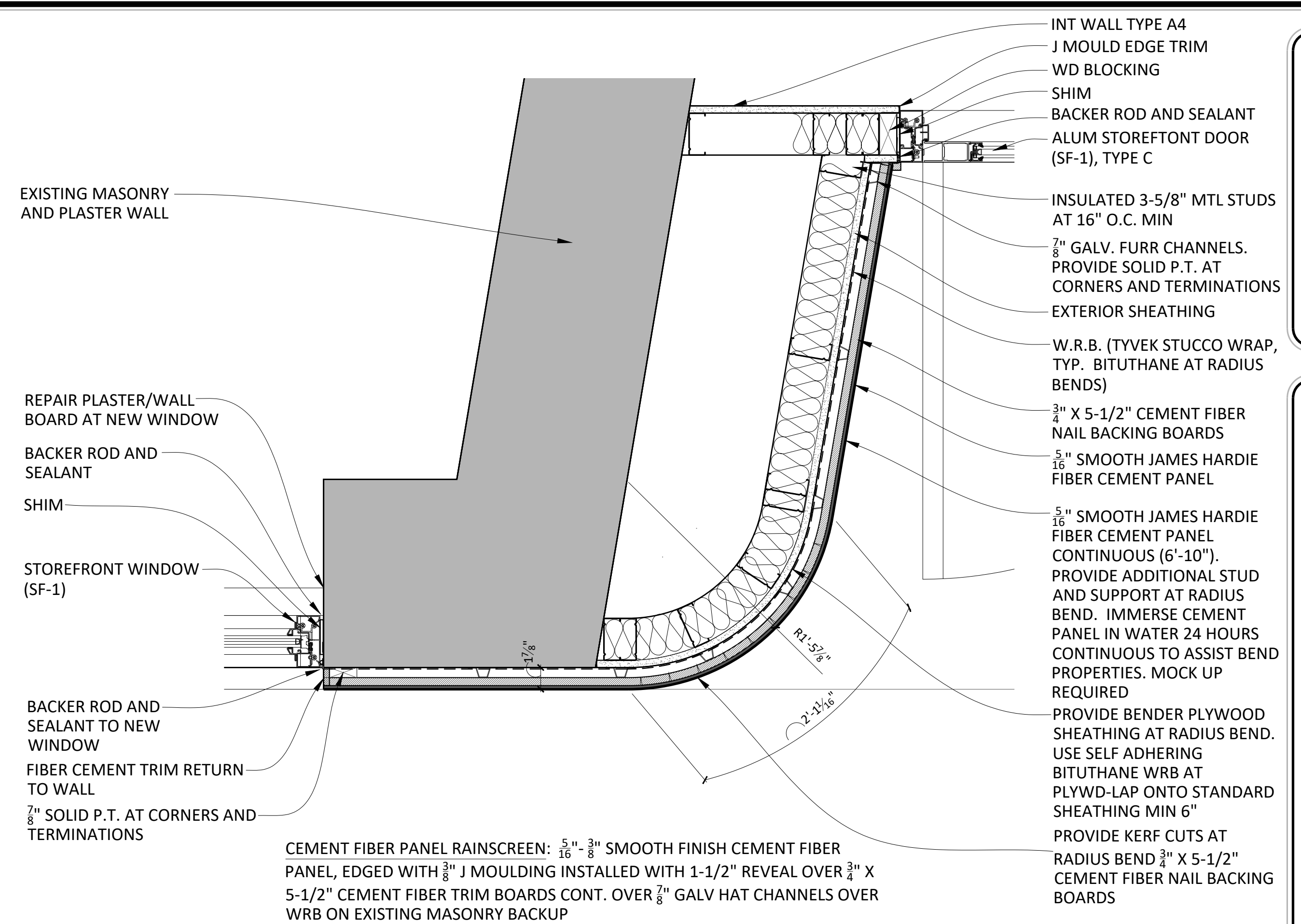
6 PROPOSED ELEVATION SIDE ELEVATION ENTRANCE D  
A2-04 SCALE: 3/8" = 1'-0"

**STOREFRONT NOTES**

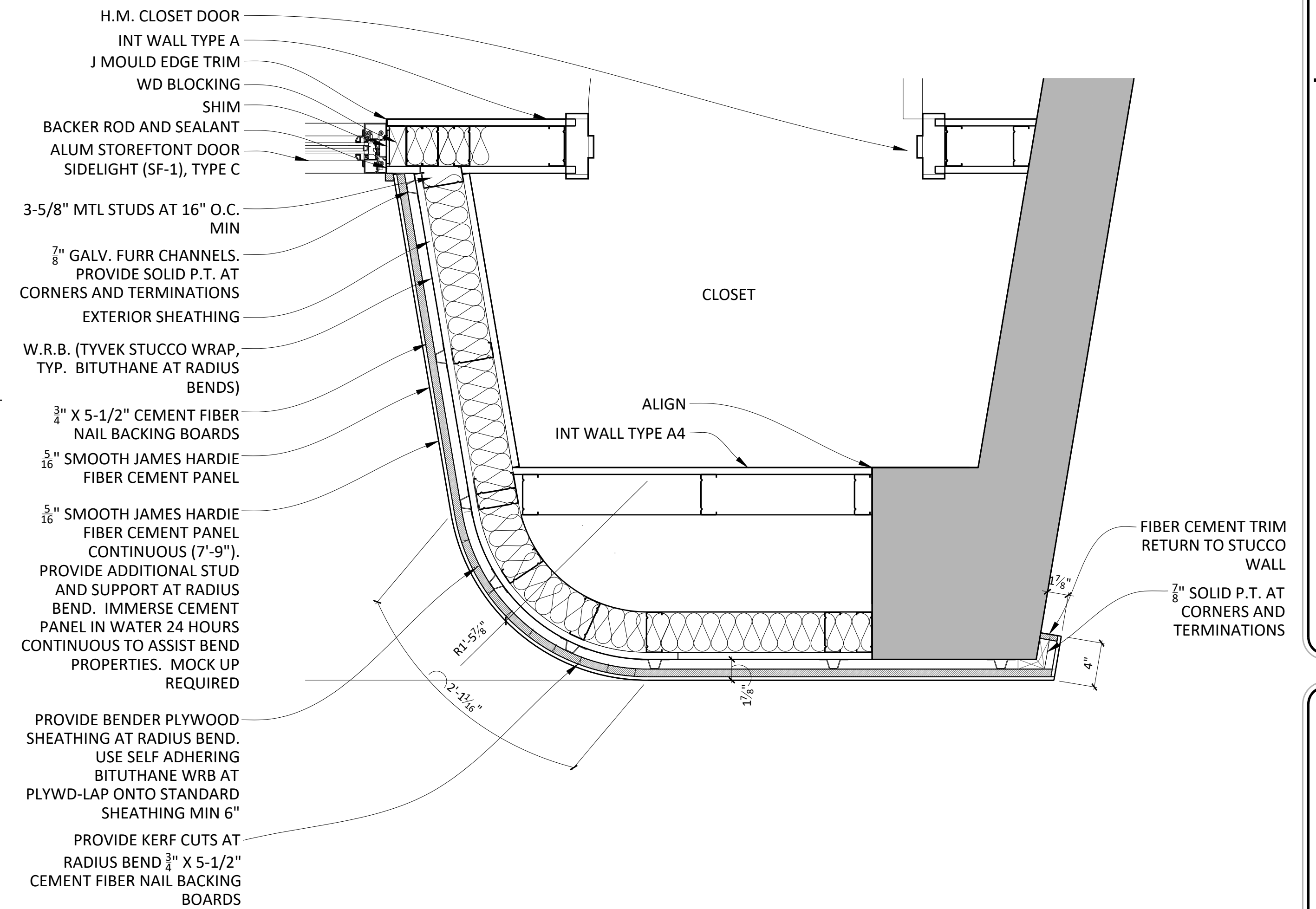
- MATERIAL:** STOREFRONT  
**MFR:** TUBELITE OR ARCHITECT APPROVED EQUAL  
**STYLE/TYPE:** TU24000  
**SIZE:** 4-1/2" DEEP W/ 2" SIGHTLINE  
**COLOR:** MFR.'S STANDARD FINISH (70% PVDF)- SEAWOLF GRAY SEE ELEVATIONS  
**MUNTINS:** ALUMINUM APPLIED - SEE ELEVATIONS  
**DOOR STILE:** WIDE  
**DOOR KICK:** 12" MIN

- NOTES:**  
 REFERENCE ELEVATIONS AND SHEETS A2-03, A2-05 DETAILS  
 THERMALLY BROKEN SYSTEM, CENTER GLAZED WITH 1" INSULATED GLAZING (OVERALL U-VALUE TO BE 0.30 OR BETTER):  
 -EXTERIOR LITE: 3/4" THICK W/ PPG SOLARBAN 60 CLEAR LOW-E COATING  
 -CAVITY: 1/2" WIDE W/ ARGON GAS FILLED  
 -INTERIOR LITE: 3/4" CLEAR

TEMPERED GLAZING IS TO BE LOCATED AT ALL SWING DOORS & LOCATIONS WHERE LIGHTS LARGER THAN 9 SF ARE LOCATED LESS THAN 18" ABOVE THE WALKING SURFACE (TYPICAL).



7 PLAN DETAIL WINDOW-ENTRY RADIUS PLAN DETAIL  
A2-04 SCALE: 1-1/2" = 1'-0"



8 PLAN DETAIL ENTRY TO CORNER RADIUS PLAN DETAIL  
A2-04 SCALE: 1-1/2" = 1'-0"

SEAL:

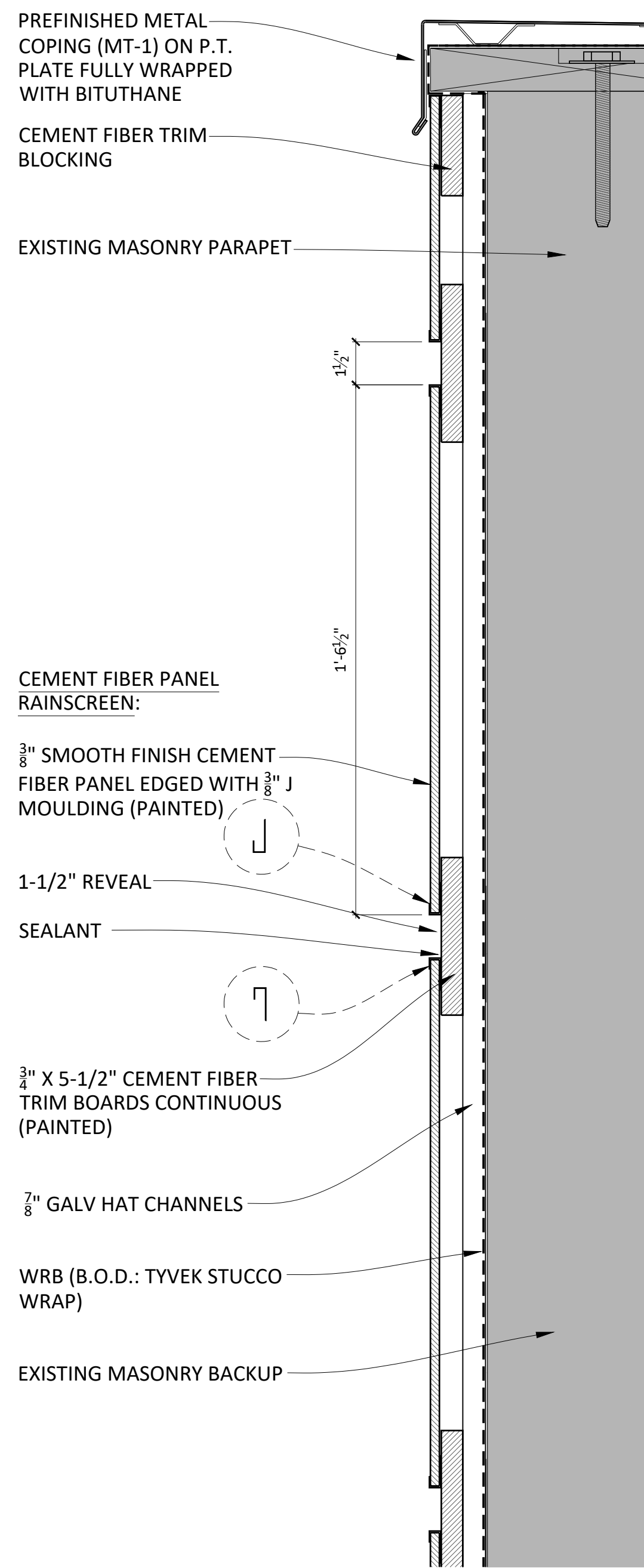
James Greydon Petznick  
OH License # 1416104  
06.22.2023  
EXP: 12.31.2023

DATE: 06.22.2023  
 ISSUED: Permit Review

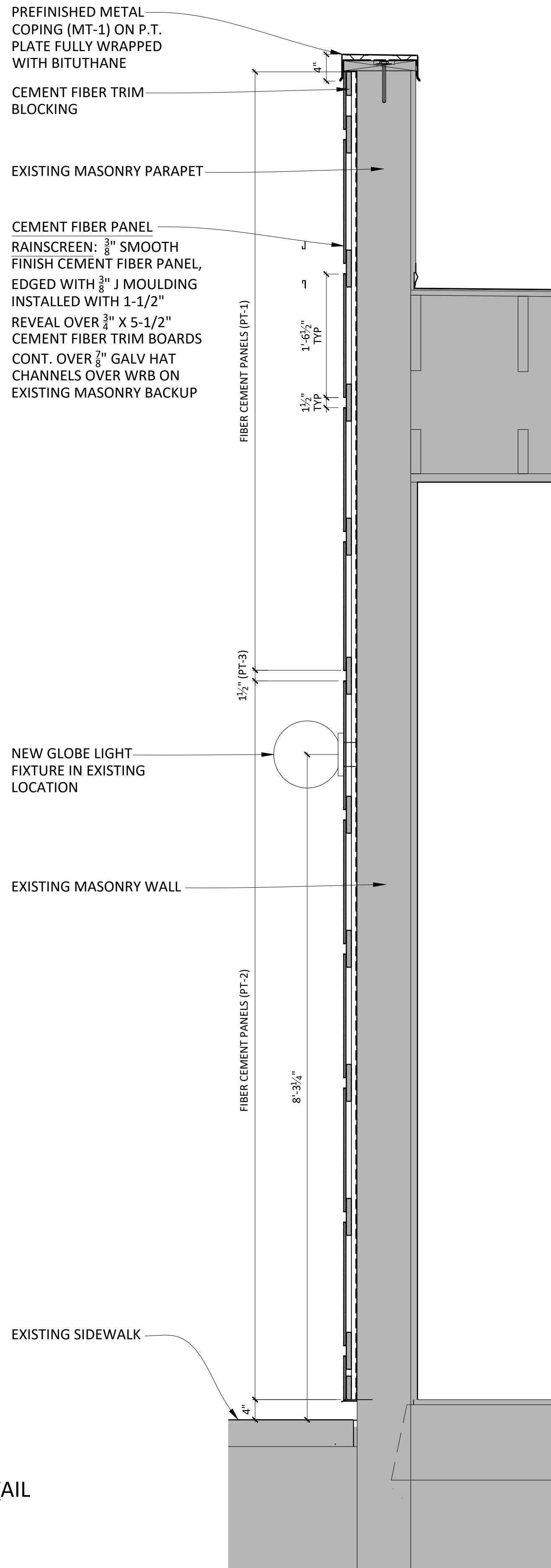
CLEVELAND  
**DRAW**  
 DESIGN & RESTORATION  
 ARCHITECTURE WORKSHOP

Artis Restaurant  
 Proposed Renovations to Accommodate:  
**Artis Restaurant**  
 17900 Detroit Ave. Lakewood, Ohio 44107

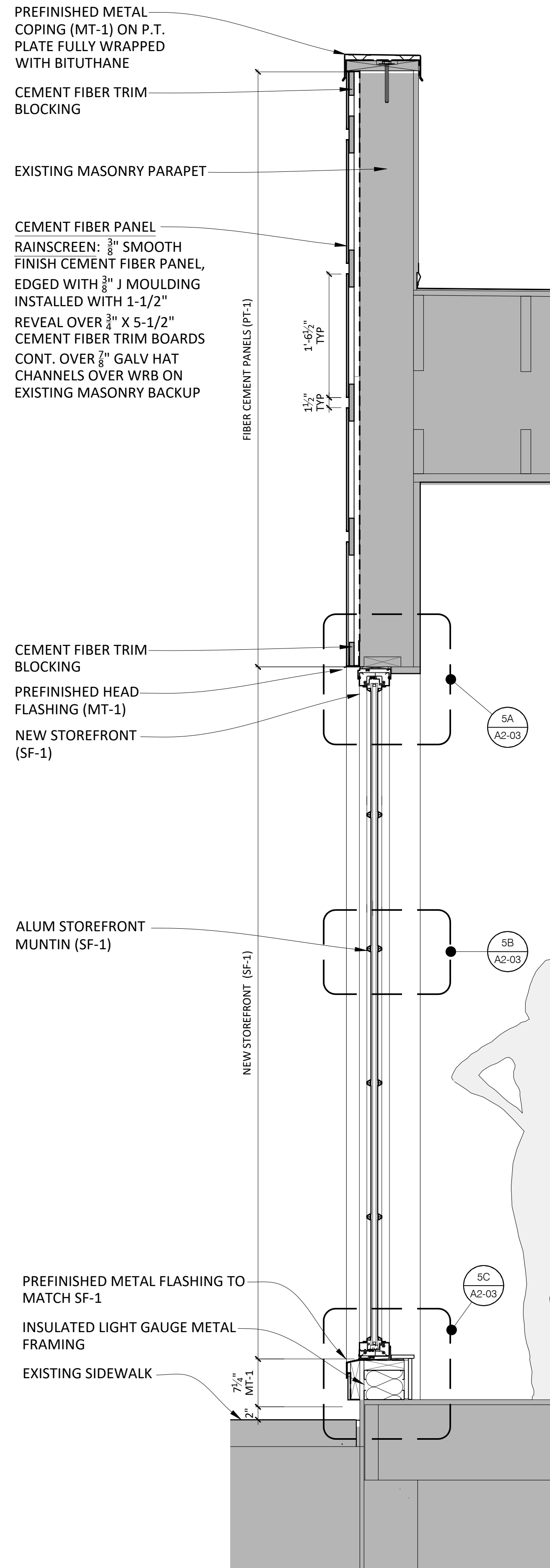
TITLE: WINDOW ELEVATIONS  
 ISSUE: 06.22.2023  
 SHEET: **A2-04**



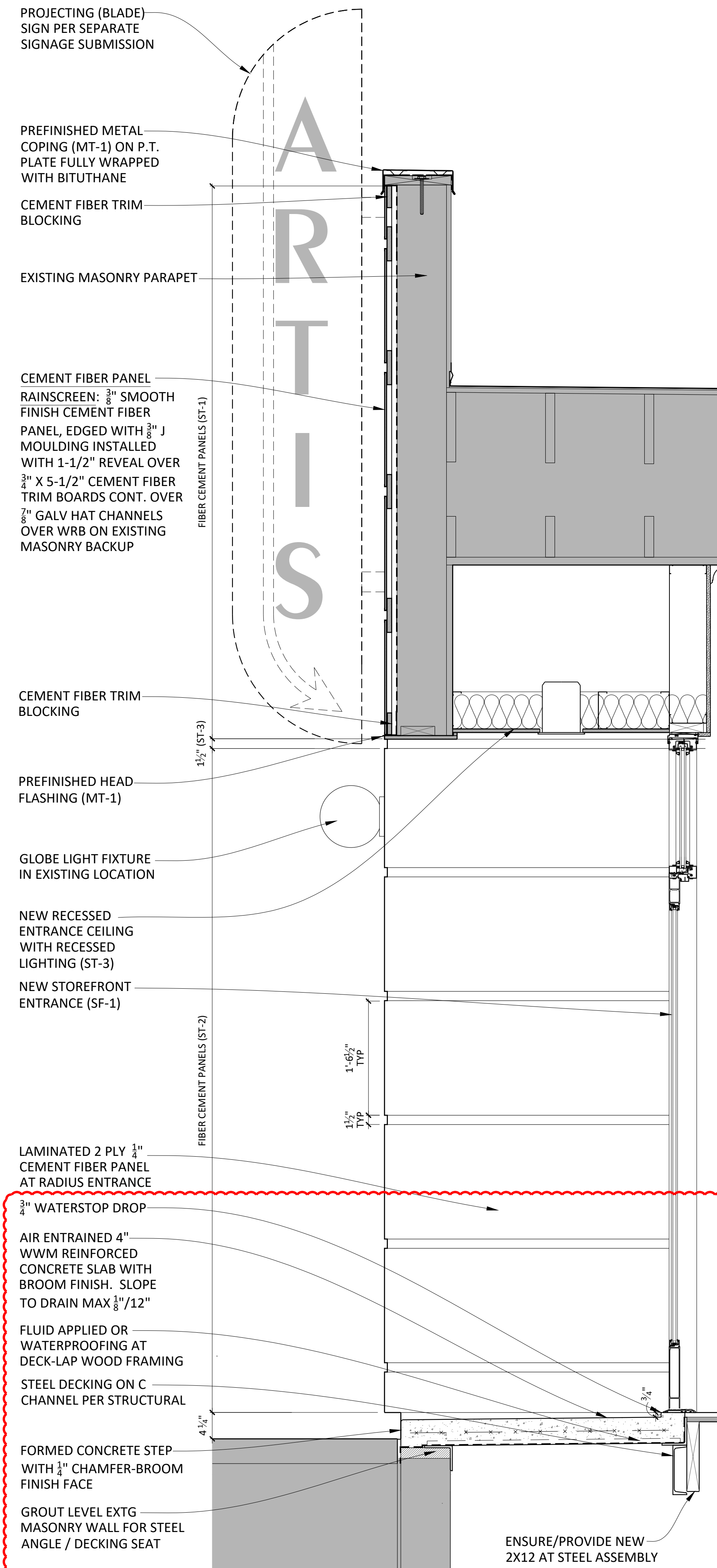
1 PROPOSED CEMENT FIBER RAINSCREEN DETAIL  
SCALE: 3" = 1'-0"



2 PROPOSED WALL SECTION AT PIERS  
SCALE: 1" = 1'-0"



3 PROPOSED WALL SECTION AT WINDOWS  
SCALE: 1" = 1'-0"



4 PROPOSED WALL SECTION AT NEW ENTRY  
SCALE: 1" = 1'-0"

SEAL:

JAMES GREYDON PETZNIK  
OH License # 1416104  
07-26-2023  
EXP: 12-31-2023

ISSUED: \_\_\_\_\_ DATE: 06-22-2023

Permit Review: \_\_\_\_\_ 07-26-2023

Permit Revision 1/A

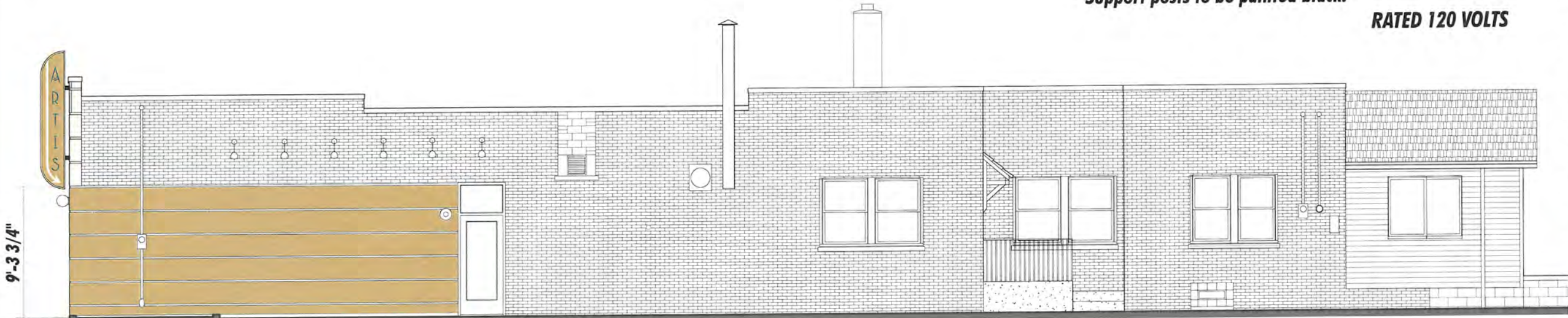
CLEVELAND  
**DRAW**  
DESIGN & RESTORATION  
ARCHITECTURE WORKSHOP

Artis Restaurant  
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17900 Detroit Ave. Lakewood, Ohio 44107

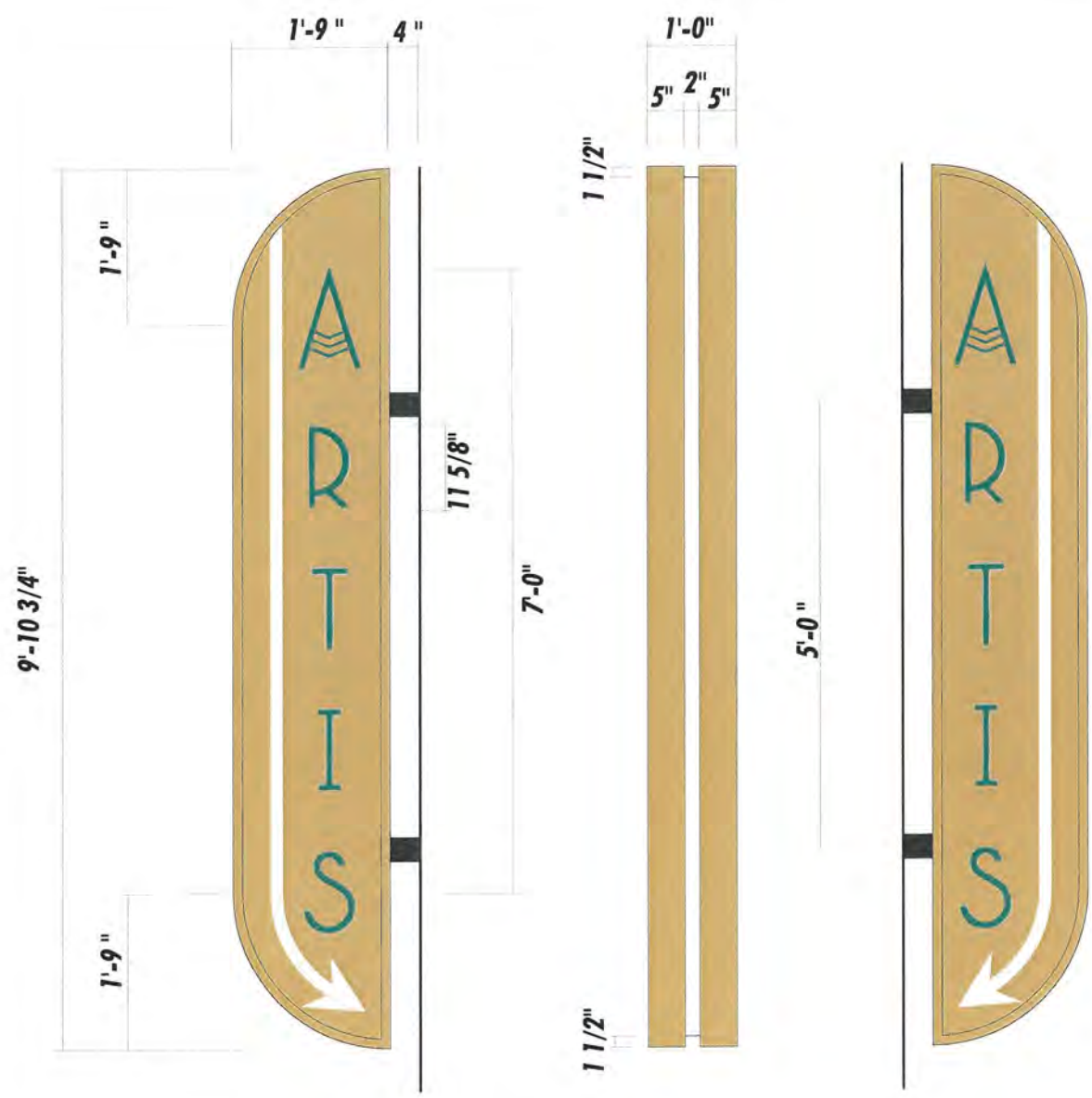
TITLE: PROPOSED WALL SECTIONS

ISSUE: \_\_\_\_\_ DATE: 06.22.2023

SHEET: **A2-05**



EAST ELEVATION SCALE 1/8" = 1'-0"



**NOTES:**  
 Double-face, internally -illuminated, fabricated aluminum projecting wall sign with flat polycarbonate faces, LED illumination, and illuminated reveal down leading edge. Faces to be white polycarbonate with applied vinyls; background to be translucent Gold Nugget 3630-141, reversed; with translucent Teal Green 3630-246 copy and white vinyl arrow. Cabinet and trim to be painted gold metallic to match Gold Nugget 3630-141. Illuminated reveal to be white. Support posts to be painted black.

RATED 120 VOLTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

COMPANY NAME	Artis		SALESMAN	JR	DATE	1-3-23	REVISION	9/13/23cp	DESIGN NO.	B23-001	
LOCATION	17900 Detroit Rd., Lakewood, Ohio		DESIGNER	DM	SCALE	1/2" = 1'-0"		11/1/23cp		COPYRIGHT ©	2023
										FILE NAME	N/murph/artis 1

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

## Film Series 3630

## Film Series 3730

### Product Description

- 2-mil, vinyl translucent films, available in crisp, clear colors (many with simulated PANTONE® color references)
- For screen printing, cut graphics, and thermoforming
  - Use Film Series 3630 for fluorescent or LED lighting applications
  - Use Film Series 3730 for LED applications

#### Quick Links

[3M Graphics Warranties](#)  
[Technical Information Selector](#)  
[Safety Data Sheets \(SDS\)](#)  
[Videos](#)

Some of these links lead to web-based resources that are not product-specific.

### Product Features

- 3M™ Scotchcal™ Translucent Film Series 3630 and 3M™ Envision™ Translucent Film Series 3730 (the “Products”) have matte surface finishes to eliminate glare and provide uniform color in reflected and transmitted light
- Pressure-sensitive, non-removable adhesive adheres to rigid and flexible substrates alike
- Synthetic, lay-flat liner is unaffected by water or humidity
- Cut electronically
- Thermoformable
- Not removable
- Expected performance life of seven years (unwarranted period for unprinted film with no graphic protection, applied to a flat, vertical, outdoor surface)

### Recommended Types of Graphics and End Uses

- For indoor or outdoor use on internally-illuminated sign faces
- First and second surface application on rigid substrates
- First surface applications only on flexible substrates
- Thermoforming on rigid plastic substrates
- For use with fluorescent bulbs or LEDs. For best results, 3M recommends:
  - film 3630 for fluorescent or LED light applications
  - film 3730 for LED applications

When constructed and used as described in this bulletin, these types of graphics and end uses may be warranted by the 3M™ MCS™ Warranty or the 3M Performance Guarantee. Please read the entire bulletin for details.

### Special Considerations

3M recommends weeding before thermoforming when using film with red pigments. The red pigments available to film manufacturers today can stain plastic when thermoformed.

3M helps users match day/night colors when the same color density is required in frontlit and backlit graphics to maximize a sign’s effectiveness. Please contact 3M for assistance when this is a concern.

### Recommended Compatible Products

#### Screen Printing Inks

- [3M™ Screen Printing Ink Series 1900](#)
- [3M™ Screen Printing UV Ink Series 9800](#)



# 3M™ Scotchcal™ Translucent Graphic Film Series 3630

## 3M™ Envision™ Translucent Film Series 3730

### Films

- [3M™ Day/Night Film 3635-91](#)
- [3M™ Diffuser Film 3635-30](#)
- [3M™ Diffuser Film 3635-70](#)
- [3M™ Envision™ Diffuser Film 3735-50](#)
- [3M™ Envision™ Diffuser Film 3735-60](#)
- [3M™ Blockout Film 3635-20B](#)
- [3M™ Blockout Film 3635-22B](#)
- [3M™ Dual-Color Film Series 3635-200](#)

### Substrates

- [3M™ Panagraphics™ III Wide-Width Flexible Substrate](#)
- [3M™ Envision™ Flexible Substrate FS-1](#)
- Flat, rigid substrates (see “Application Characteristics” on page 3)

### Graphic Protection

- [3M™ Scotchcal™ Gloss Overlamine 3658G](#)
- [3M™ Scotchcal™ Matte Overlamine 3660M](#)
- [3M™ Screen Print Gloss Clear 1920DR](#)
- [3M™ Screen Print UV Gloss Clear 9740i](#)
- [3M™ Screen Print UV Gloss Clear 9800CL](#)

### Certificate of 3M™ MCS™ Warranty

Graphic manufacturers who produce digitally printed graphics made with all branded 3M Graphics products, including 3M ink purchased through a qualified 3M distributor or 3M printing partner, may register to be recognized with a Certificate of 3M™ MCS™ Warranty. Only graphic manufacturers having a current Certificate of 3M™ MCS™ Warranty are eligible to extend this warranty to their customers.

**NOTE:** For non-digitally printed finished graphics, check your eligibility for the 3M™ MCS™ Warranty by viewing the warranty period found within this product bulletin or by using the warranty selector at [www.3mgraphics.com/warranties](http://www.3mgraphics.com/warranties).

### Characteristics

These are the typical values for unprocessed product. Processing may change the values.

#### Physical Characteristics

Characteristic	Value
Material	Vinyl
Film Color	<b>Film Series 3630:</b> Translucent, 78 colors <b>Film Series 3730:</b> Translucent, 25 colors See “Colors” on page 4.
Thickness	<b>Without adhesive:</b> 2 mil (0.05 mm) <b>With adhesive:</b> 3 – 4 mil (0.08 – 0.1 mm)
Adhesive	Pressure-sensitive
Adhesive Color	Clear
Liner	Translucent, synthetic lay-flat liner
Typical Adhesion 24 Hours After Application	<b>Acrylic and uncoated, clear polycarbonate:</b> 4 lbs/in. (0.7 kg/cm)
Chemical Resistance	Resists mild alkalis, mild acids, and salt Excellent resistance to water ( <i>does not include immersion</i> )
Flammability	Users may view the linked ASTM E84 reports <a href="#">3630</a> and <a href="#">3730</a> or go to the online product catalog at <a href="http://3mgraphics.com">3mgraphics.com</a> . For all other test reports call 1-800-328-3908.

# 3M™ Scotchcal™ Translucent Graphic Film Series 3630

## 3M™ Envision™ Translucent Film Series 3730

### Application Characteristics

Characteristic	Value
<b>Finished Graphic Application Recommendation</b>	<b>Surface type:</b> Flat, without rivets <b>Surface type*:</b> 3M flexible substrates; rigid substrates such as flat acrylic, polycarbonate**, high temperature co-polyester sheet, glass <b>Application method:</b> Wet or dry, typical <b>Application temperature:</b> 60°F (16°C) minimum air, substrate
<b>Temperature Range After Application</b>	-50°F to +170°F (-45°C to +77°C) (Though not for extended periods of time at the extremes.) Low temperature impacts on film applied to flexible substrates may result in cracking of the film and/or substrate
<b>Recommended Light Source (for best results)</b>	<b>Film Series 3630:</b> Fluorescent bulbs <b>Film Series 3730:</b> LEDs
<b>Graphic Removal</b>	Not removable

\*These films typically adhere to solar-grade polycarbonate substrates. However, some lots of this substrate may inhibit adhesion. See [3M Instruction Bulletin 5.7](#) for additional information.

\*\*Polycarbonate substrates require oven drying before use to remove moisture from the polycarbonate that will otherwise cause the film to bubble. Refer to manufacturers instructions for proper drying times and temperatures.

#### IMPORTANT NOTE

Surface impressions may occur when the film is rolled up and the liner impresses slightly upon the vinyl surface. These impressions may disappear when the film is exposed to the sun, or a heat gun can be used on dull areas to restore the film's original appearance. Surface impressions are not considered a product quality defect as they are temporary in nature.

#### IMPORTANT NOTE

The user is responsible for determining and complying with all applicable building codes affecting the use of materials in interior and exterior awning, banner, and sign face applications, including flammability standards. For more information on flammability requirements, contact your local building code officials. For information on the results of flammability testing on 3M flexible substrates, call 1-800-328-3908.

# 3M™ Scotchcal™ Translucent Graphic Film Series 3630

## 3M™ Envision™ Translucent Film Series 3730

### Colors

Colors shown on a monitor and when printed are approximate representations of the actual color available.

Some of these products are a simulation of the closest PANTONE®-identified color standard. Consult current PANTONE Color Publications for accurate color. PANTONE® is a trademark or registered trademark of Pantone LLC in the United States and/or other countries.

#### IMPORTANT NOTE

All color references are based on reflected, not transmitted, light viewing.

### Color Chart for 3M™ Scotchcal™ Translucent Film Series 3630


























Product Color	PANTONE Color	Product Color	PANTONE Color	Product Color	PANTONE Color
 3630-005	PANTONE 7500 C	 3630-74	PANTONE 151 C	 3630-137	PANTONE 2757 C
 3630-015	PANTONE 116 C	 3630-75	PANTONE 7549 C	 3630-141**	Not Available
 3630-20	Not Available	 3630-76	PANTONE 7734 C	 3630-143	PANTONE 485 C
 3630-22*	PANTONE Black C	 3630-77	Not Available	 3630-144	Not Available
 3630-25	PANTONE 130 C	 3630-78	PANTONE 206 C	 3630-146	PANTONE 340 C
 3630-26	PANTONE 7727 C	 3630-83	PANTONE 200 C	 3630-147	PANTONE 7690 C
 3630-27	Not Available	 3630-84	PANTONE 1575 C	 3630-149	Not Available
 3630-33	PANTONE 1797 C	 3630-86	Not Available	 3630-156	PANTONE 356 C
 3630-36	PANTONE 281 C	 3630-87	PANTONE 2745 C	 3630-157	PANTONE 287 C
 3630-37	Not Available	 3630-93	Not Available Not	 3630-158	Not Available
 3630-38	Not Available	 3630-97	Available Not	 3630-163	Not Available
 3630-39	Not Available	 3630-98	Available	 3630-167	PANTONE 2945 C
 3630-43	Not Available	 3630-106	PANTONE 368 C	 3630-187	Not Available
 3630-44	Not Available	 3630-111	Not Available	 3630-196	Not Available
 3630-47	Not Available	 3630-115	Not Available	 3630-216	Not Available
 3630-49	Not Available	 3630-118	PANTONE 241 C	 3630-217	Not Available
 3630-51	Not Available	 3630-121**	PANTONE 877 C	 3630-227	Not Available
 3630-53	PANTONE 187 C	 3630-124	Not Available	 3630-235	Not Available
 3630-56	Not Available	 3630-125	PANTONE 1235 C	 3630-236	PANTONE 3282 C
 3630-57	Not Available	 3630-126	PANTONE 3425 C	 3630-246	PANTONE 321 C
 3630-59	Not Available	 3630-127	PANTONE 300 C	 3630-276	Not Available
 3630-61	PANTONE 431 C	 3630-128	PANTONE 525 C	 3630-287	Not Available
 3630-63	PANTONE 7610 C	 3630-131**	PANTONE 872 C	 3630-297	Not Available
 3630-69*	PANTONE Black 7 C	 3630-133	PANTONE 220 C	 3630-316	Not Available
 3630-71	PANTONE Warm Gray 7 C	 3630-135	Not Available	 3630-328	Not Available
 3630-73	PANTONE 7621 C	 3630-136	PANTONE 361 C	 3630-337	Not Available

\* Films 3630-22 and 3630-69 are effectively opaque for most sign uses.

\*\* Films 3630-121, 3630-131, and 3630-141 are metallic colors with reduced MCS™ Matrix warranties. Refer to the MCS™ Matrix Warranty for additional information.

# 3M™ Scotchcal™ Translucent Graphic Film Series 3630 3M™ Envision™ Translucent Film Series 3730

## Color Chart for 3M™ Envision™ Translucent Film Series 3730

Product Color	PANTONE Color	Product Color	PANTONE Color	Product Color	PANTONE Color	
	3730-015L Yellow	PANTONE 116 C		3730-57L Olympic Blue	Not Available	
	3730-20L White	Not Available		3730-73L Dark Red	PANTONE 7621 C	
	3730-26L Green	PANTONE 7727 C		3730-76L Holly Green	Not Available	
	3730-33L Red	PANTONE 186 C		3730-83L Regal Red	Not Available	
	3730-36L Blue	Not Available		3730-97L Bristol Blue	Not Available	
	3730-43L Lt. Tomato Red	PANTONE 1795 C		3730-106L Brilliant Green	Not Available	
	3730-44L Orange	Not Available		3730-125L Golden Yellow	PANTONE 1235 C	
	3730-49L Burgundy	Not Available		3730-127L Intense Blue	Not Available	
	3730-53L Cardinal Red	PANTONE 200 C				
					3730-128L Plum Purple	Not Available
					3730-133L Raspberry	Not Available
					3730-137L European Blue	Not Available
					3730-156L Vivid Green	PANTONE 348 C
					3730-157L Sultan Blue	Not Available
					3730-167L Bright Blue	PANTONE 2935 C
					3730-246L Teal Green	Not Available
					3730-337L Process Blue	Not Available

### Custom Colors and Color Matching

- Custom colors are available by request. Pigment durability and manufacturing limitations do not permit exact color matching of all colors.
- When viewed in reflected light rather than illuminated light, similar colors in Film Series 3630 and 3730 will look the same.
- Because Film Series 3630 and 3730 are optimized for different light sources, an exact color match between these two colored films may not be possible when illuminated. 3M formulates the Film Series 3730 colors to match the Film Series 3630 colors as closely as possible. However, in some instances a slight color variation between the products may be noticeable in transmitted light.
- The “L” behind a color number (e.g., 3730-33L) designates the color is optimized for LED light sources.

### Factors Affecting Graphic Performance Life

The actual performance life of a graphic is affected by:

- The combination of graphic materials used
- Complete ink drying or curing
- Selection, condition, and preparation of the substrate
- Surface texture
- Application methods
- Angle and direction of sun exposure
- Environmental conditions
- Cleaning and maintenance methods

### Graphics Manufacturing



Before using any equipment, always read the manufacturer’s instructions for safe operation.

### Illuminated Signs Require Special Consideration

Clear and translucent films tend to be more sensitive to shrinkage when printed with high total ink coverage. Printed film that is not sufficiently dried prior to creating an overlap may shrink and result in a light leak.

Backlighting any film, no matter how it is imaged, may reduce the density of the colors on the image.

# 3M™ Scotchcal™ Translucent Graphic Film Series 3630

## 3M™ Envision™ Translucent Film Series 3730

### Illuminated Signs Using LEDs

Making a successful sign requires users to consider many factors. This section provides general guidelines for illuminating signs using LEDs. Please contact Technical Service (1-800-328-3908) before starting to resolve any questions or concerns about sign making.

### Comparing Light Transmission using LEDs

Most 3M™ Envision™ Translucent Films 3730 are designed to deliver an increase in light transmission compared to 3M™ Scotchcal™ Translucent Films 3630.

Film		Typical % Increase (Gain) in Light Transmission (New Calculation)*
Product Number 3630-xxx/3730-xxx	Color	When Comparing Unmounted Film with Adhesive - 3630 Series to Similar 3730 Series
015 / 015L	Yellow	-6
20 / 20L	White	64
33 / 33L	Red	61
43 / 43L	Lt. Tomato Red	12
44 / 44L	Orange	36
49 / 49L	Burgundy	15
57 / 57L	Olympic Blue	0
73 / 73L	Dark Red	42
76 / 76L	Holly Green	16
83 / 83L	Regal Red	29
106 / 106L	Brilliant Green	19
125 / 125L	Golden Yellow	28
127 / 127L	Intense Blue	18
128 / 128L	Plum Purple	3
133 / 133L	Raspberry	4
156 / 156L	Vivid Green	35
157 / 157L	Sultan Blue	29
167 / 167L	Bright Blue	52
246 / 246L	Teal Green	43
337 / 337L	Process Blue	36
26 / 26L	Green	-3

\* Instrument:

X-Rite Ci7800 d/8° benchtop spectrophotometer. CIE Y is the reported transmission metric based on D65/10° weighting functions.

Sample measurement: Samples tested through poly liner, adhesive, and film.

### Color-to-Color Variation for Gain

The variation in gain from color-to-color is attributable to the different film color formulations. In general, every individual color in Film Series 3630 and 3730 produces its own unique light transmission value.

# 3M™ Scotchcal™ Translucent Graphic Film Series 3630

## 3M™ Envision™ Translucent Film Series 3730

### Other Considerations for Signs using LEDs

- A significant reduction in LEDs may affect other performance factors of an illuminated sign, such as uniformity. Users are responsible for ensuring their LED layout meets all of its intended performance requirements.
- If the brightness of signs created using a film from the 3630 series is acceptable, then:
  - a comparable brightness may be achieved using a film from the 3730 series with fewer LEDs.
  - a similar level of brightness for white may be maintained.
  - acceptable sign face uniformity may be maintained without any changes to the light box depth if the LED layout is adjusted properly.
- Some sign box manufacturers prefer to apply color translucent films directly to a rigid diffuse substrate, such as diffuse polycarbonate or acrylic; instead of using diffuser film. In this case, there will still be an increase in light output over the use of 3630 films, however, the gain in light transmission for using 3730 films would be less than the values shown in the "Comparing Light Transmission using LEDs" on page 8.
- See [3M Instruction Bulletin 4.60](#) for additional guidelines and suggestions for using 3M™ Envision™ Translucent and Diffuser Films.

### Video

Click [here](#) to see a brief lightbox demonstration comparing Film Series 3730 to Film Series 3630.

### Screen Printing

Formulations and processing conditions can affect ink durability. Users should refer to their ink's product and instruction bulletins for limitations and proper usage.

Graphic protection can improve the appearance, performance, and durability of a graphic. A clear coat also prevents chalking on unprinted films.

Whether users apply screen print clears with traditional screening methods or roller coating, they should use equipment designed to handle high viscosity materials and ensure the coating is evenly applied according to the specifications in the clear's instruction bulletin.

### Construction Options

See [3M Instruction Bulletin 4.26](#) for detailed information.

### Maximum of Three Layers of Film

#### **IMPORTANT NOTE**

A third layer of film on any one surface is warranted only if the top layer is an approved overlamine and no more than two layers of any film are even with the edges of the substrate.

NEVER place an overlap over an existing overlap, as doing so creates four layers.

### Thermoforming

#### **CAUTION**

The Products may emit vapors during the thermoforming process. Be sure to read and follow the information contained in [3M Instruction Bulletin 5.16](#) before thermoforming.

### Channel Letter Faces

#### **IMPORTANT NOTE**

When using the Products on rigid plastic channel letter faces, avoid contact between the film and the adhesive used to attach the trim cap edge. These adhesives attack film and cause curling, lifting, and premature failure of the film.

# 3M™ Scotchcal™ Translucent Graphic Film Series 3630

## 3M™ Envision™ Translucent Film Series 3730

### Spray Painting

The performance of or application of Lacryl™ or other diffuser paints to the Products is not warranted. The Products can be spray painted with Lacryl™ diffuser paints with good performance. However, certain additional warranty limitations apply. Additionally, the user is responsible for ensuring that the selected diffuser paint is compatible with the Products. 3M reserves the right to deny warranty coverage if 3M determines, at its sole discretion, that the use of diffuser paint adversely affected the appearance, durability, or performance of the Products.

### Cutting

See [3M Instruction Bulletin 4.1](#) for Sheeting, Scoring and Film Cutting details.

### Graphic Protection

Graphic protection may improve the appearance, performance, and durability of the graphic. Click on the graphic protection options listed in this product bulletin or see the [3M Graphics Materials Product Catalog](#) for more information.

#### IMPORTANT NOTE

During installation, scratches may occur on films without graphic protection.

### Application Tapes

There are two types of application tapes. See [3M Instruction Bulletin AT-1](#) to determine what application tape is recommended for your film or finished graphic.

#### Premasking Tape

Premasking tape increases stiffness during application while preventing stretching and damage. Use when little or no liner is exposed. See [3M Instruction Bulletin 4.3](#) for complete details.

#### Prespacing Tape

Prespacing tape holds cut and weeded letters or graphics in place during application and after removal of the film liner, while preventing stretching and damage. Use when large amounts of liner are exposed. See [3M Instruction Bulletin 4.3](#) for complete details.

### Application and Installation

In addition to other 3M bulletins specified in this document, the following bulletins provide details users may need to successfully apply a graphic.

- [3M Instruction Bulletin 4.22](#) Lamination Basics for Inkjet Printed Graphics
- [3M Instruction Bulletin 4.60](#) 3M™ Envision™ Translucent and Diffuser Films, Guidelines for Backlit Signs.
- [3M Instruction Bulletin 5.1](#) Select and Prepare Substrates for Graphic Application
- [3M Instruction Bulletin 5.30](#) Application of 3M Pressure Sensitive Films to 3M Flexible Substrates
- [3M Instruction Bulletin 5.4](#) Application: Fleet Trucks.
- [3M Instruction Bulletin 5.5](#) Application, General Procedures for Interior and Exterior Dry Application
  - For roll application, the dry method is acceptable.
- [3M Instruction Bulletin 5.7](#) Application, Wet Method for Translucent, Inkjet, Screen Printed and Cut Graphics
  - For applications by hand, the detergent and water application method is recommended for this pressure-sensitive film. Dry application by hand may leave dark streaks or bubbles that could be visible in transmitted light.
- [3M Instruction Bulletin 6.5](#) Storage, Handling, Maintenance, and Removal of Films and Sheetings

### Maintenance and Cleaning

Use a cleaner designed for high-quality painted surfaces. The cleaner must be wet, non-abrasive, without solvents, and have a pH value between 3 and 11 (neither strongly acidic nor strongly alkaline). See [3M Instruction Bulletin 6.5](#) for details.

### Removal

These films are not removable. See [3M Instruction Bulletin 6.5](#) for details.

## Shelf Life, Storage, and Shipping

### Shelf Life

The shelf life is **never more than three years** from the date of manufacture on the original box.

Processing the film changes its shelf life to **one year** from the processing date, but no later than three years from the manufacturing date.

### Storage Conditions

- 40°F to 100°F (4°C to 38°C)
- Out of sunlight
- Clean, dry area
- Original container
- Bring the film to room temperature before use

### Shipping Finished Graphics

Flat, or rolled printed side out on a 6 in. (15 cm) or larger core. This helps prevent the application tape, if used, from popping off.

## Health and Safety

### CAUTION

When handling any chemical products, read the manufacturers' container labels and the safety data sheets (SDS) for important health, safety, and environmental information. To obtain SDS for 3M products go to [3M.com/SDS](https://www.3m.com/SDS). To request SDS by mail, or in case of an urgent situation, call 1-800-364-3577 or 1-651-737-6501.

When using any equipment, always follow the manufacturer's instructions for safe operation.

## Warranty Information

### Warranty Coverage Overview

The warranty coverage for eligible graphics is based on the user both reading and following all applicable and current 3M Graphics Product and Instruction Bulletins. The warranty period for eligible graphics is as stated in the 3M Graphics Warranties Matrices at the time that the film was purchased. Information found at [3M.com/graphicswarranties](https://www.3m.com/graphicswarranties) includes:

- [3M Graphics Warranties Bulletin](#)
  - This bulletin contains information on limitations and exceptions, and warranty period reductions for 3M Graphics Warranties. The warranty period may be reduced and stipulations may apply for certain constructions, applications, and graphic exposures as covered in this Bulletin.
- [3M Graphics Warranties Selector](#)
  - Use this selector to search for your vertical warranty period by product type, ink type, film name, and/or ink/printer platform.
- [U.S. Desert Southwest Region Map](#)
  - Use this map of hot, arid desert areas to determine if you are subject to reduced warranted durabilities.

The warranties set forth in this Bulletin are made in lieu of all other express or implied warranties, including any implied warranty of merchantability, fitness for a particular purpose, or arising out of a course of dealing, custom, or usage of trade.

### Technical Information

The technical information, guidance, and other statements contained in this document or otherwise provided by 3M are based upon records, tests, or experience that 3M believes to be reliable, but the accuracy, completeness, and representative nature of such information is not guaranteed. Such information is intended for people with knowledge and technical skills sufficient to assess and apply their own informed judgment to the information. No license under any 3M or third party intellectual property rights is granted or implied with this information.

# 3M™ Scotchcal™ Translucent Graphic Film Series 3630 3M™ Envision™ Translucent Film Series 3730

## Product Selection and Use

Many factors beyond 3M's control and uniquely within user's knowledge and control can affect the use and performance of a 3M product in a particular application. Customer is solely responsible for evaluating the product and determining whether it is appropriate and suitable for customer's application, including conducting a workplace hazard assessment, reviewing all applicable regulations and standards, and reviewing the product label and use instructions. Failure to properly evaluate, select, and use a 3M product in accordance with instructions or to meet all applicable safety regulations may result in injury, sickness, death, and/or harm to property.

## Warranty, Limited Remedy, and Disclaimer

Unless a different warranty is specifically stated on the applicable 3M product packaging or product literature (in which case such warranty governs), 3M warrants that each 3M product meets the applicable 3M product specification at the time 3M ships the product. 3M MAKES NO OTHER WARRANTIES OR CONDITIONS, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, ANY IMPLIED WARRANTY OR CONDITION OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, OR ARISING OUT OF A COURSE OF DEALING, CUSTOM, OR USAGE OF TRADE. If a 3M product does not conform to this warranty, the sole and exclusive remedy is, at 3M's option, replacement of the 3M product or refund of the purchase price.

## Limitation of Liability

Except for the limited remedy stated above, and except to the extent prohibited by law, 3M will not be liable for any loss or damage arising from or related to the 3M product, whether direct, indirect, special, incidental, or consequential (including, but not limited to, lost profits or business opportunity), regardless of the legal or equitable theory asserted, including, but not limited to, warranty, contract, negligence, or strict liability.

### Commercial Solutions

3M Center, Building 220-12E-04  
St. Paul, MN 55144

1-800-328-3908  
3M.com/Graphics

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Revision N, January 2022 Please recycle.





**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 02-11-24**

**Permit No.: BBS24-000007**

**Applicant Name: Laura Higgins-Woyma, Brilliant Electric Sign Company**

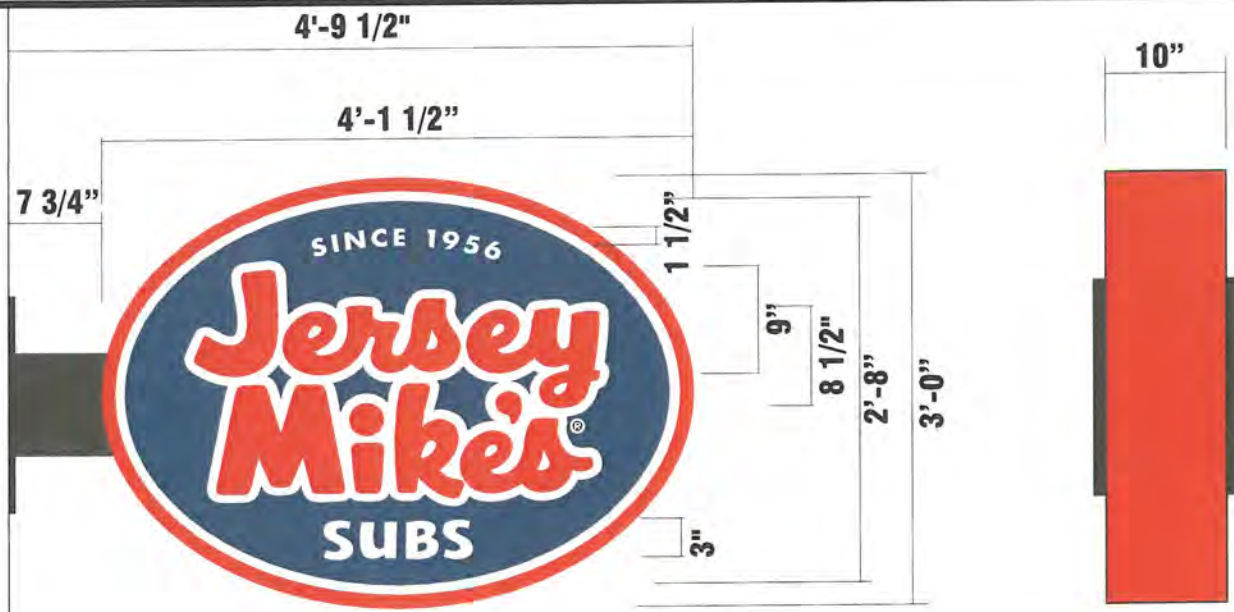
**Project Address: 16300 Detroit Ave.**

**Project Name: Jersey Mike's**

**Project: Applicant proposes an internally illuminated projecting sign on front of building.**



2'-6"



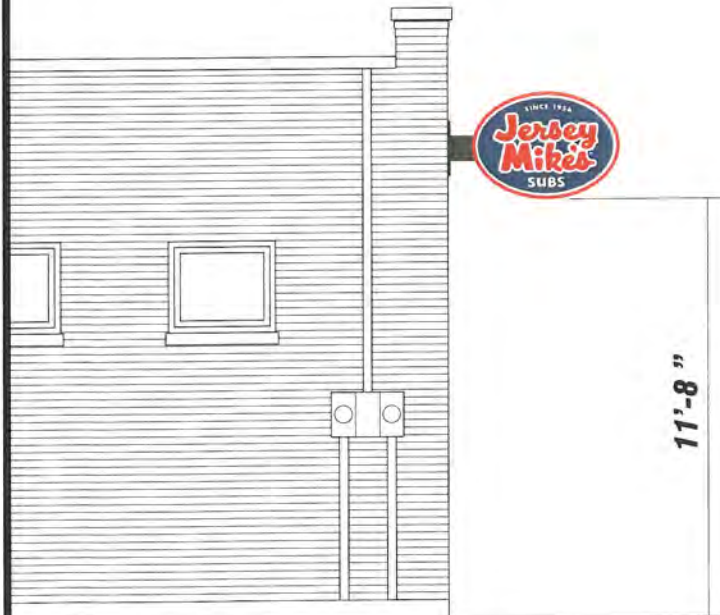
**SIGN ELEVATION: 3/4" = 1'-0"**

**Notes**

Manufacture & install one (1) double face, internally illuminated, oval cabinet projecting from the building using custom, bracket with steel plate; fastened through mortar joints

- Background of the faces of the oval cabinet to be painted blue PMS 534C; outline around the oval to be first surface, white vinyl; outer outline to be painted red PMS 485C; cabinet & trim to be painted red PMS 485C
- Copy reading "Jersey Mike's," to be routed out & backed up by white acrylic with first surface, translucent red 3630-33 vinyl; copy reading "SINCE 1956," & "SUBS," to be first surface, die cut vinyl
- Custom bracket & steel plate to be painted black

**RATED 120 VOLTS**



**PARTIAL WEST ELEVATION 3/16" = 1'-0"**



**PARTIAL SOUTH ELEVATION 3/16" = 1'-0"**

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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COMPANY NAME	JERSEY MIKES	SALESMAN	MH	DATE	10/18/23	REVISION	12/6/23CP	DESIGN NO.	B23-1323
LOCATION	LAKWOOD, OH	DESIGNER	CP	SCALE	SHOWN		12-8-23dm	COPYRIGHT ©	2023
								FILE NAME	charlotte/ jersey mikes (lakewood)



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## **Application Cover Page**

**Docket No.: 10-68-22**

**Permit No.: BBS24-000009**

**Applicant Name: Leon Sampat, LS Architects Inc.**

**Project Address: 12420 Madison Ave.**

**Project Name: K-Town Restaurant/Market**

**Project: Applicant proposes modifications to approval granted at the October 13, 2022 meeting for commercial renovation into a restaurant/market.**



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**DISPOSITION LETTER  
10/18/2022**

Leon Sampat  
LS Architects Inc.  
22082 Lorain Rd.  
Fairview Park, Ohio 44126

**Docket No. 10-68-22  
12420 Madison Ave.  
K-Town Restaurant/Market**

Dear Applicant:

At the 10/13/2022 meeting, the Board of Building Standards/Architectural Board of Review/Sign Review considered commercial renovation into restaurant/market.

The Board decided to **APPROVE** the request with the following conditions:

- **The brick used for the Dumpster enclosure will match the brick used on the building.**
- **The storefront framing material will be black anodized except for the central portion (within the brick) that will be a teak as on the plans.**
- **The rear fence at property line will be approved administratively as per city fence code.**

As your next step, please contact the Division of Housing and Building at (216) 529-6270 to find out what elements of this plan require construction drawings and their specific requirements for submitting those plans.

Sincerely,

David Baas, Senior Planner  
Board Secretary  
Department of Planning and Development

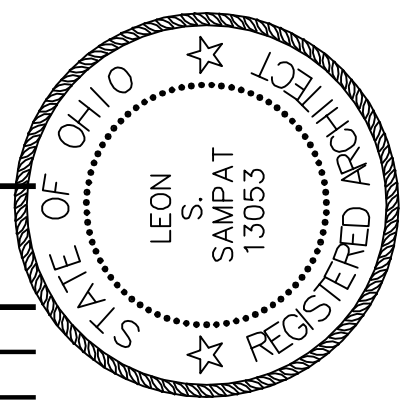
REV.	DATE
1	01.18.2024

# ADDITION AND ALTERATIONS FOR K-TOWN RESTAURANT

12420 MADISON AVENUE  
LAKEWOOD, OH 44107

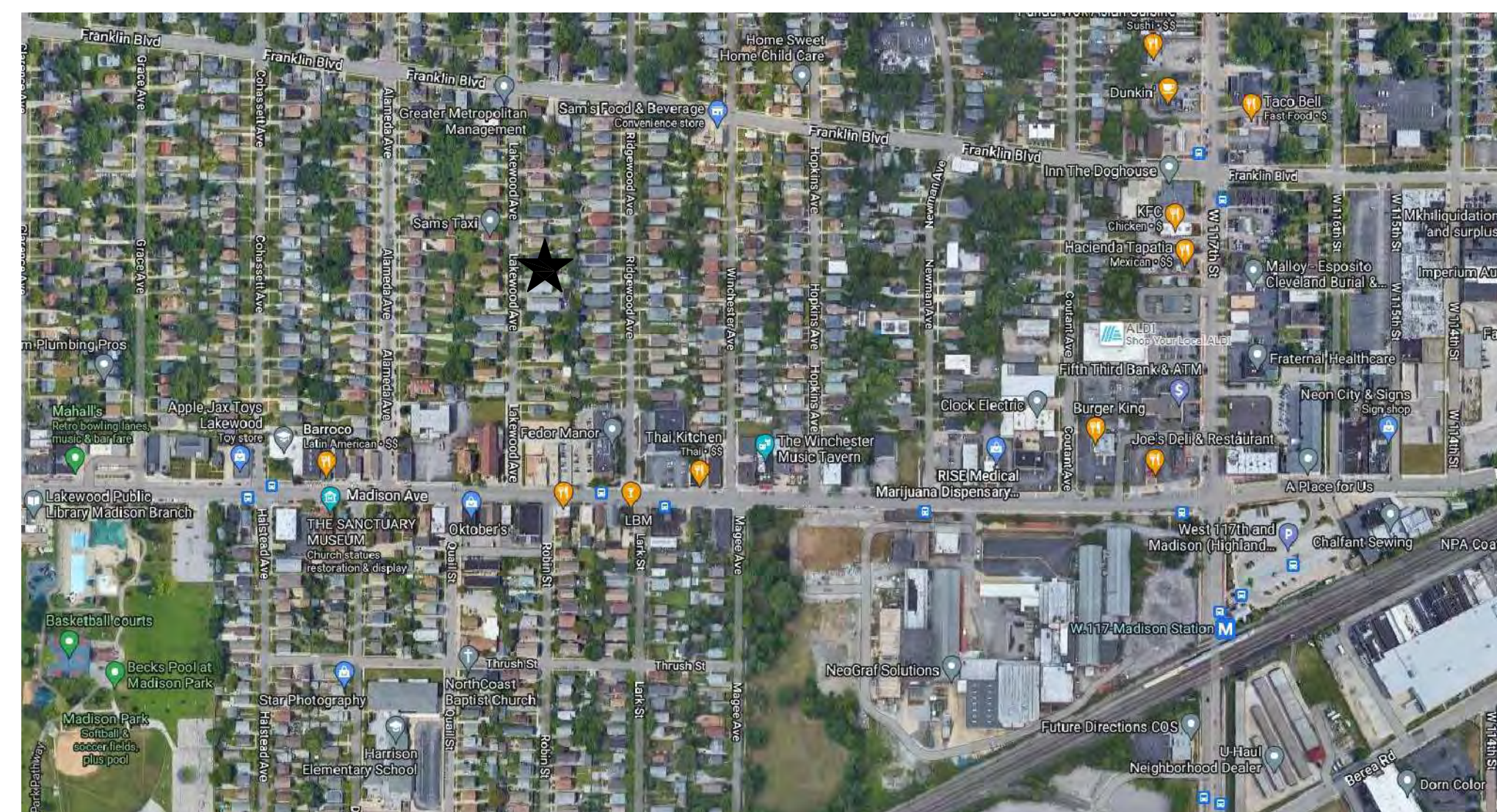


**US ARCHITECTS**  
22082 LORAIN ROAD  
FAIRVIEW PARK, OHIO 44126  
PHONE 216-403-9854 FAX 440-76-8897

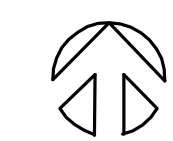


LEON S. SAMPAT  
LICENSE # 13053  
EXPIRATION DATE 12/31/2023

## LOCATION PLAN



LOCATION PLAN  
N.T.S.



## CODE REVIEW

CODE INFORMATION :  
BUILDING CODE : OBC (2017)  
USE GROUP : "A-2" - RESTAURANT, "M" - MERCANTILE, R-2 RESIDENTIAL  
NON-SEPARATED MIXED USE  
TYPE OF CONSTRUCTION : V-B  
FIRST FLOOR FULLY SPRINKLERED  
BASEMENT FLOOR FULLY SPRINKLERED  
BUILDING AREA : 10,598 SQ. FT.  
RESTAURANT AREA = 5,648 S.F.  
GROCERY AREA = 4,812 S.F.  
SECOND FLOOR AREA (R-2 OCCUPANCY) GROSS AREA = 2,027 S.F.  
BASEMENT FLOOR AREA (UNOCCUPIED)  
RESTAURANT BASEMENT AREA = 2,728 S.F.

GROCERY STORE OCCUPANCY LOAD  
MERCANTILE OCCUPANCY  
2,578 SQ. F. T. @ 80 GROSS S.F. PER PERSON= 43 PEOPLE  
STORAGE OCCUPANCY  
1,921 S.F. @ 300 GROSS S.F. PER PERSON= 7 PEOPLE  
OFFICE OCCUPANCY  
129 S.F. @ 100 GROSS S.F. PER PERSON= 2 PEOPLE  
KITCHEN  
184 S.F. @ 200 GROSS S.F. PER PERSON= 1 PERSON  
TOTAL OCCUPANCY = 53 PEOPLE

RESTAURANT OCCUPANCY LOAD  
DINING AREA 2,677 S.F.  
BAR SEATING: 9 PEOPLE  
DINING SEATING: 96 PEOPLE  
STORAGE OCCUPANCY  
1,418 S.F. @ 300 GROSS S.F. PER PERSON= 5 PEOPLE  
OFFICE OCCUPANCY  
126 S.F. @ 100 GROSS S.F. PER PERSON= 2 PEOPLE  
KITCHEN  
1,427 S.F. @ 200 GROSS S.F. PER PERSON= 8 PERSON  
TOTAL OCCUPANCY = 120 PEOPLE

SECOND FLOOR R-2 OCCUPANCY LOAD  
RESIDENTIAL OCCUPANCY  
2,027 GROSS SQ. F. T. @ 200 GROSS S.F. PER PERSON= 11 PEOPLE

SEISMIC LOAD:  
OCCUPANCE CATEGORY: II  
IMPORTANCE FACTOR (Ie): 1.0  
SITE CLASS: C (VERY DENSE SOIL & SOFT ROCK)  
SEISMIC DESIGN CATEGORY: A

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ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
12420 MADISON AVE.  
LAKEWOOD, OH 44107

JOB NO: 20-230  
DATE: 05.22.2023  
ISSUE: -  
SHEET:  
**T1**

REV.	DATE
1	01.18.2024

**DEMOLITION REQUIREMENTS**

1. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
2. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY LANDLORD IMMEDIATELY. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
3. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
4. OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON OR LIMIT ACCESS TO THEIR PROPERTY.
5. SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.
6. BACK FILL AREAS EXCAVATED CAUSED AS A RESULT OF DEMOLITION.
7. MARK LOCATIONS OF EXISTING UTILITIES & WHERE THEY ARE CAPPED.
8. MAINTAIN CIRCULATION AROUND BUILDINGS DURING DEMOLITION. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS OR HYDRANTS WITHOUT PERMITS. COORDINATE ANY REQUIRED CLOSING OF SIDEWALKS OR DRIVES WITH OWNER BEFORE BLOCKING ANY AREAS.
9. PATCH AND REPAIR ANY SIDEWALKS, AND DRIVES DAMAGED DURING DEMOLITION.
10. DISCONNECT, REMOVE CAP AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
11. DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
12. REMOVE TEMPORARY WORK.
13. INDICATE PRIOR TO WORK DEMOLITION AND REMOVAL SEQUENCE AND LOCATION OF SALVAGEABLE ITEMS, LOCATIONS AND CONSTRUCTION BARRICADES, FENCES AND TEMPORARY WORK.
14. ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED UTILITIES, SURFACE OBSTRUCTIONS, AND CHANGES TO CONTRACT DOCUMENTS.

**PREPARATION**

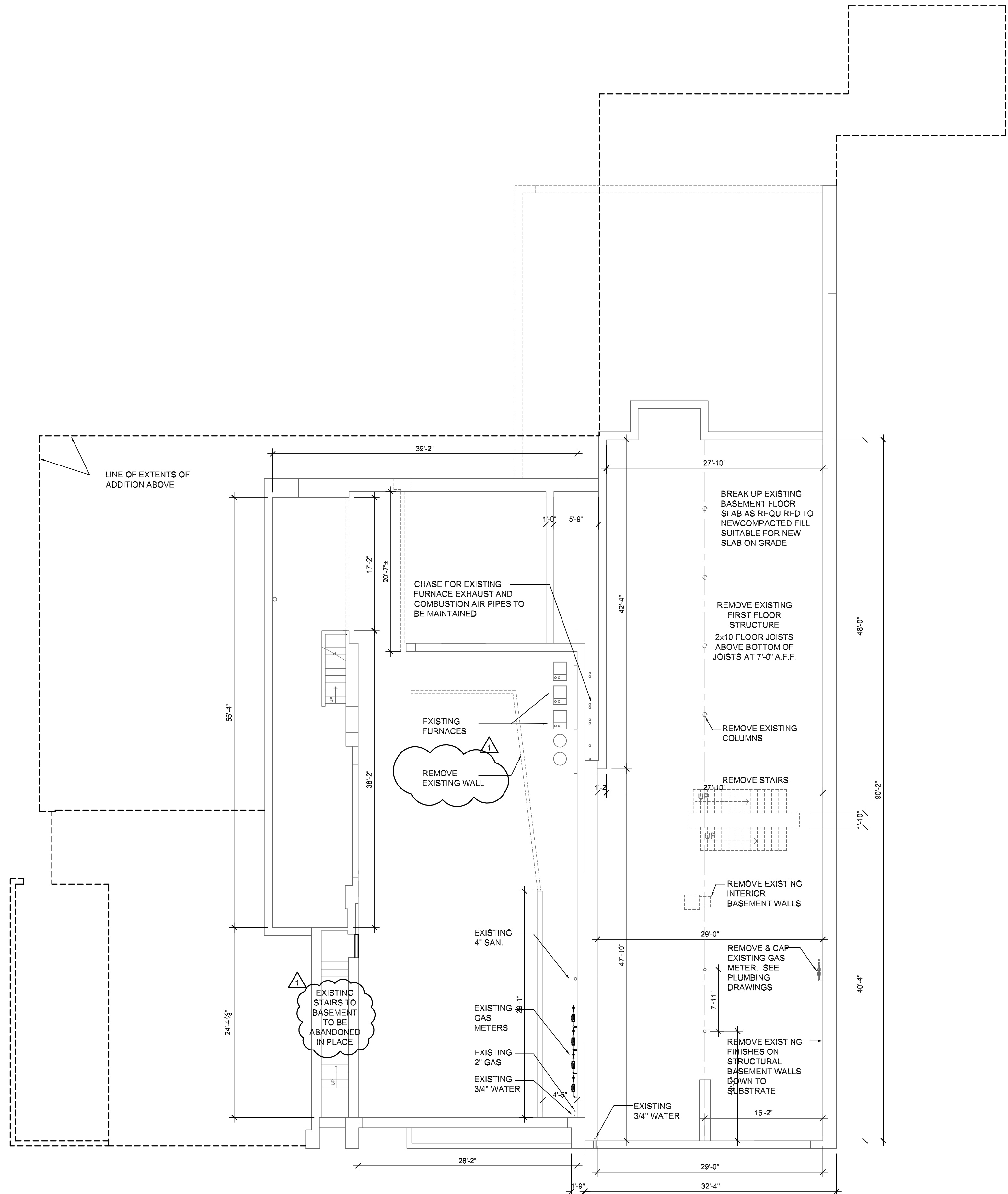
- A. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES WHERE REQUIRED.
- B. PROTECT EXISTING LANDSCAPE MATERIALS AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED.
- C. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- D. MARK LOCATION OF UTILITIES.

**REGULATORY REQUIREMENTS**

1. CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, DISPOSAL AND ACCESS DURING CONSTRUCTION.
2. OBTAIN REQUIRED PERMITS FROM AUTHORITIES.
3. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
4. DO NOT CLOSE OR OBSTRUCT ROADWAYS SIDEWALKS OR HYDRANTS WITHOUT
5. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.

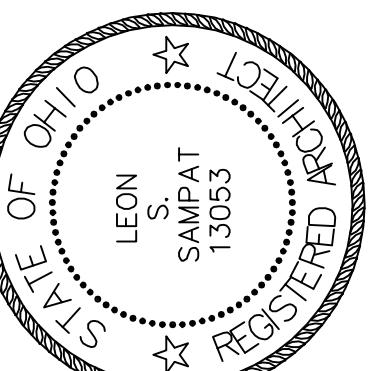
**SCOPE OF DEMOLITION:**

1. The following Specifications and Drawings are a general outline of demolition work to be performed on the project. The Contractor shall visit the site and familiarize himself with the specific items to be demolished and/or removed.
2. Any items omitted and/or specifically not mentioned in this general outline shall not be construed by the Contractor as relieving him of the responsibility of removing such existing conditions that may impede the installation of the new work.
3. The Contractor shall predetermine which items are to remain the property of the Landlord. All other items and debris shall be removed from the premises by the Contractor.
4. Refer to related drawings for description of demolition work.



**1 BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**US ARCHITECTS**  
22082 LORAIN ROAD  
FAIRVIEW PARK, OHIO 44126  
PHONE 216-403-9954 FAX 440-76-8897



LEON S. SAMPAT  
LICENSE # 13053  
EXPIRATION DATE 12/31/2023

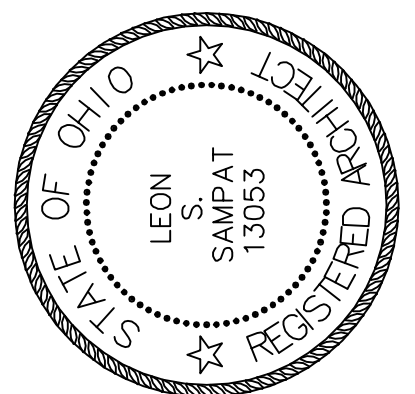
ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
12420 MADISON AVE.  
LAKEWOOD, OH 44107

JOB NO: 20-230  
DATE: 05.22.2023  
ISSUE: -  
SHEET:

**D1.0**

REV.	DATE
1	01.18.2024

**LS ARCHITECTS**  
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 FAIRVIEW PARK, OHIO 44126  
 PHONE 216-403-9854 FAX 440-76-8897

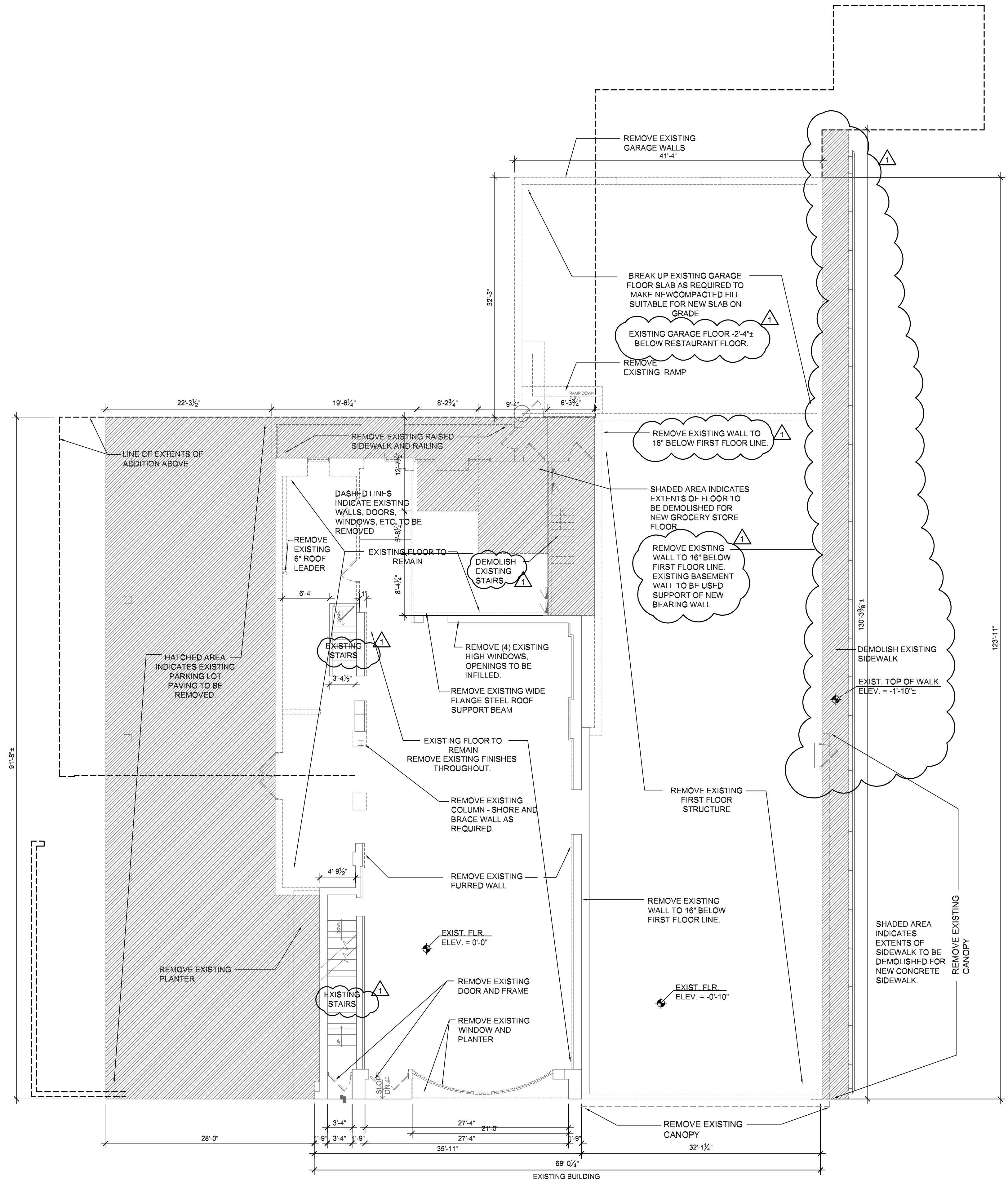


LEON S. SAMPAT  
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 EXPIRATION DATE 12/31/2023

ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
 12420 MADISON AVE.  
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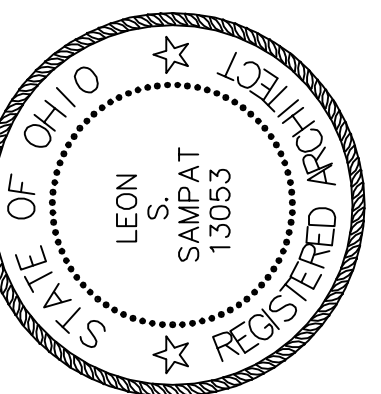
**D1.1**



**1 FIRST FLOOR DEMOLITION PLAN**  
 SCALE: 1/8" = 1'-0"

REV.	DATE
1	01.18.2024

**LS ARCHITECTS**  
 22082 LORAIN ROAD  
 FAIRVIEW PARK, OHIO 44126  
 PHONE 26-403-9654 FAX 440-76-8837

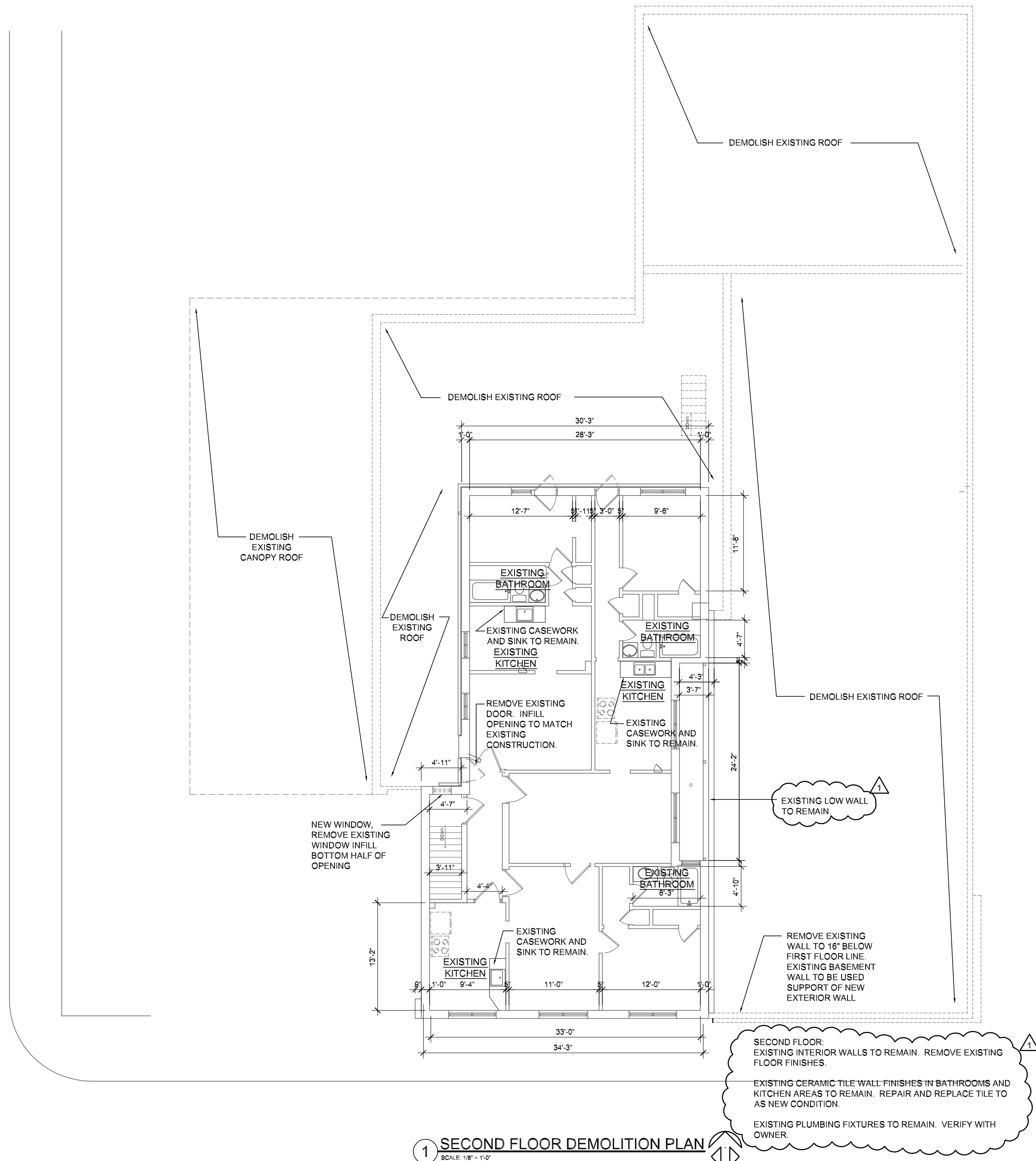


LEON S. SAMPAT  
 LICENSE # 13053  
 EXPIRATION DATE 12/31/2023

ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
 12420 MADISON AVE.  
 LAKEWOOD, OH 44107

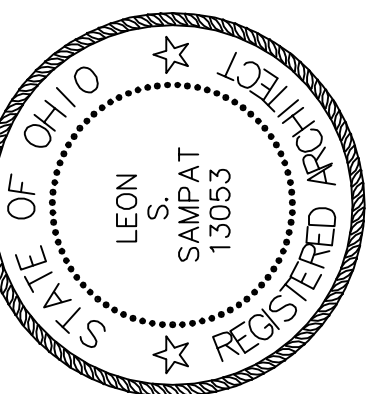
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 DATE: 05.22.2023  
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**D1.2**



REV.	DATE
1	01.18.2024

**LS ARCHITECTS**  
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LEON S. SAMPAT  
 LICENSE # 13053  
 EXPIRATION DATE 12/31/2023

ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
 12420 MADISON AVE.  
 LAKEWOOD, OH 44107

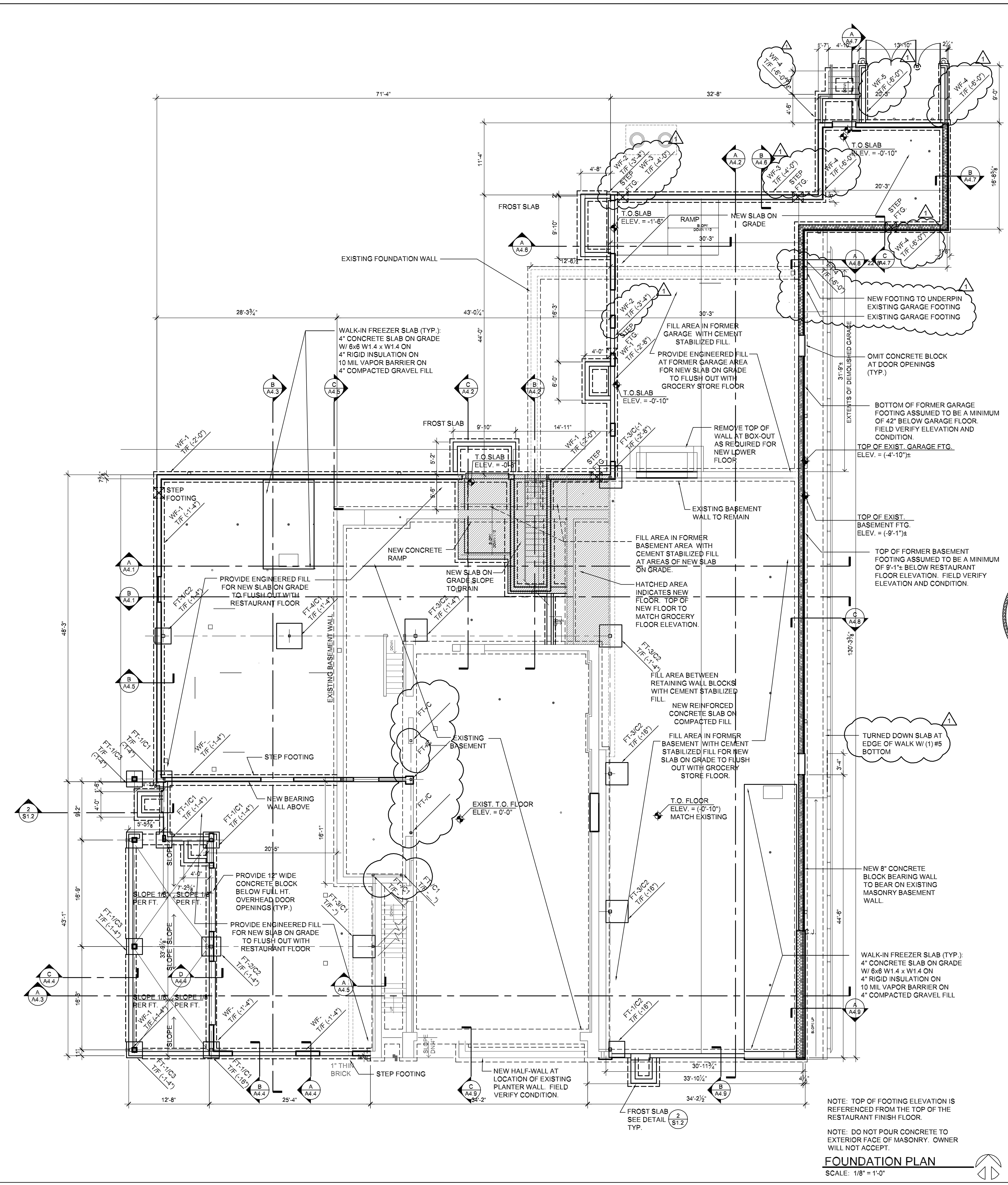
JOB NO: 20-230  
 DATE: 05.22.2023  
 ISSUE: -  
 SHEET:

**S1.1**

COLUMN SCHEDULE		
MARK	SIZE	REMARKS
C1	HSS4x4x1/4	SEE BASE PLATE DETAIL SHEET S1.2 GALVANIZED
C2	HSS6x6x1/4	SEE BASE PLATE DETAIL SHEET S1.2
C3	HSS6x6x1/4	SEE BASE PLATE DETAIL SHEET S1.2 GALVANIZED

FOUNDATION SCHEDULE - ISOLATED FOOTINGS					
TYPE	SIZE			REINFORCING	REMARKS
	WIDTH	LENGTH	THICKNESS		
FT-1	2'-6"	2'-6"	2'-10"	(5)-#5 EW /BOTTOM	
FT-3	3'-0"	3'-0"	2'-10"	(6)-#5 EW /BOTTOM	
FT-3	3'-6"	3'-6"	2'-10"	(6)-#5 EW /BOTTOM	
FT-4	4'-0"	4'-0"	2'-10"	(7)-#5 EW /BOTTOM	

FOUNDATION SCHEDULE - WALL FOOTINGS					
TYPE	SIZE			REINFORCING	REMARKS
	WIDTH	LENGTH	THICKNESS		
WF-1	1'-8"	CONTINUOUS	2'-4"	3-#5 CONT. T&B w/ #4 TIES @ 18"	
WF-2	1'-8"	CONTINUOUS	1'-10"	3-#5 CONT. T&B w/ #4 TIES @ 18"	
WF-3	1'-8"	CONTINUOUS	2'-8"	3-#5 CONT. T&B w/ #4 TIES @ 18"	
WF-4	1'-8"	CONTINUOUS	2'-4"	3-#5 CONT. T&B w/ #4 TIES @ 18"	
WF-5	2'-4"	CONTINUOUS	2'-4"	3-#5 CONT. T&B w/ #4 TIES @ 18"	



NOTE: TOP OF FOOTING ELEVATION IS REFERENCED FROM THE TOP OF THE RESTAURANT FINISH FLOOR.  
 NOTE: DO NOT POUR CONCRETE TO EXTERIOR FACE OF MASONRY. OWNER WILL NOT ACCEPT.  
**FOUNDATION PLAN**  
 SCALE: 1/8" = 1'-0"

REV.	DATE
1	01.18.2024

**STRUCTURAL WOOD**

1. DETAIL, FABRICATE AND ERECT STRUCTURAL WOOD IN ACCORDANCE WITH THE LATEST AWC DESIGN SPECIFICATIONS AND THE GOVERNING BUILDING CODE.
2. ALL STRUCTURAL FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (SPF) NO.1/NO.2 OR BETTER, U.N.C.
3. ALL ROOF PANEL SHEATHING SHALL BE 5/8" TYPE CDX, EXPOSURE 1 APA RATED SHEATHING. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING. CONNECT ROOF SHEATHING WITH 8d COMMON NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 8" O.C. AT INTERMEDIATE SUPPORTS, U.N.C.
4. ALL FLOOR SHEATHING SHALL BE 3/4" APA RATED STURD-FLOOR, EXPOSURE 1, WITH TONGUE AND GROOVE EDGE. CONNECT FLOOR SHEATHING WITH 10d COMMON NAILS AT 6" O.C. AT SUPPORTED EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. FIELD GLUE USING ADHESIVES MEETING LATEST APA SPECIFICATIONS AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
5. ALL WALL SHEATHING SHALL BE 1/2" TYPE CDX, EXPOSURE 1 APA RATED SHEATHING. CONNECT WALL SHEATHING WITH 10d COMMON NAILS @ 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS, U.N.C.
6. USE PRESSURE TREATED LUMBER WHERE WOOD IS EXPOSED TO WEATHER, MOISTURE, CONCRETE, MASONRY OR THE GROUND.

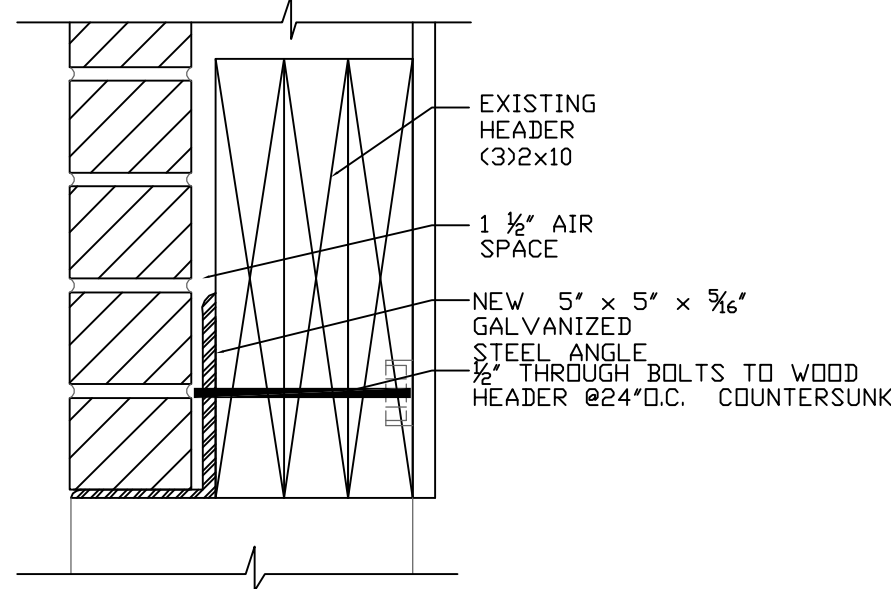
**ENGINEERED WOOD PRODUCTS**

1. DETAIL, FABRICATE AND ERECT ENGINEERED WOOD PRODUCTS IN ACCORDANCE WITH THE LATEST AWC DESIGN SPECIFICATIONS AND THE GOVERNING BUILDING CODE.
2. ALL ENGINEERED WOOD PRODUCT MEMBERS SHALL BE FRAMED WITH SIMPSON STRONG-TIE CONNECTORS, OR APPROVED EQUAL.
3. MANUFACTURER SHALL SIZE, DETAIL AND PROVIDE ALL REQUIRED CONNECTORS AS PART OF THE ENGINEERED WOOD PRODUCT SYSTEM. SUBMIT TO ENGINEER FOR REVIEW.
4. ENGINEERED I-JOISTS AND LVL (LAMINATED VENEERED LUMBER) SHALL CONFORM TO STANDARDS SET FORTH IN NES REPORTS NER-200 AND 451 RESPECTIVELY.
5. PRODUCTS SHALL BE PROVEN BY TESTING AND EVALUATION IN ACCORDANCE WITH THE PROVISIONS OF ASTM D-5055.
6. PRODUCTS SHALL PERFORM TO OR BETTER THAN THOSE MANUFACTURED BY REDBUILT AND BOISE CASCADE.

**ROOF JOIST NOTES**

ALL JOISTS AND JOIST GIRDERS SHALL BE DESIGNED FOR ADDITIONAL LOADS LISTED BELOW IN ADDITION TO SPECIFIED JOIST LOADS SHOWN ON PLAN. STAMPED DRAWINGS AND CALCULATIONS ARE TO BE SUBMITTED TO ARCHITECT FOR REVIEW.

1. JOIST LOADS  
DEAD = 20 PSF  
SNOW = 30 PSF + DRIFT
2. SNOW DRIFT, WHERE SPECIFIED ON PLAN, JOIST LOAD DESIGNATIONS SHOWN ON PLAN INDICATE DEAD LOAD PLUS LIVE LOAD. IT DOES NOT INCLUDE MECHANICAL UNIT WEIGHT. JOIST MANUFACTURER SHALL DESIGN JOISTS FOR LOAD COMBINATIONS WITH A SNOW LOAD THAT IS REQUIRED PER THE OHIO BUILDING CODE WHERE APPLICABLE.
3. AT MECHANICAL UNITS, DO NOT REDUCE SNOW AND LIVE LOADS BY MECHANICAL UNIT FOOTPRINT (SNOW AND LIVE LOADS ARE IN ADDITION TO MECHANICAL UNIT WEIGHT).
4. ALL JOISTS ARE TO BE DESIGNED FOR A FUTURE MECHANICAL LOAD OF 500 LBS AT ANY LOCATION.
5. JOIST MANUFACTURER SHALL SUPPLY BRIDGING IN ACCORDANCE WITH STEEL JOIST INSTITUTE (SJI) REQUIREMENTS. BRIDGING SHOWN IS SCHEMATIC. BRIDGING SHALL BE IN ACCORDANCE WITH THE LATEST SJI SPECIFICATIONS. END OF BRIDGING LINES SHALL BE ANCHORED TO STEEL BEAMS. ALL BRIDGING SHALL BE WELDED TO JOIST IN SUCH A MANNER AS TO NOT IMPAIR THE STRUCTURAL INTEGRITY OF THE JOIST.
6. PROVIDE ADDITIONAL ROW OF BRIDGING AT FIRST PANEL POINT OF ALL JOISTS SUBJECT TO NET UPLIFT.



**(A) LINTEL DETAIL**  
N.T.S.

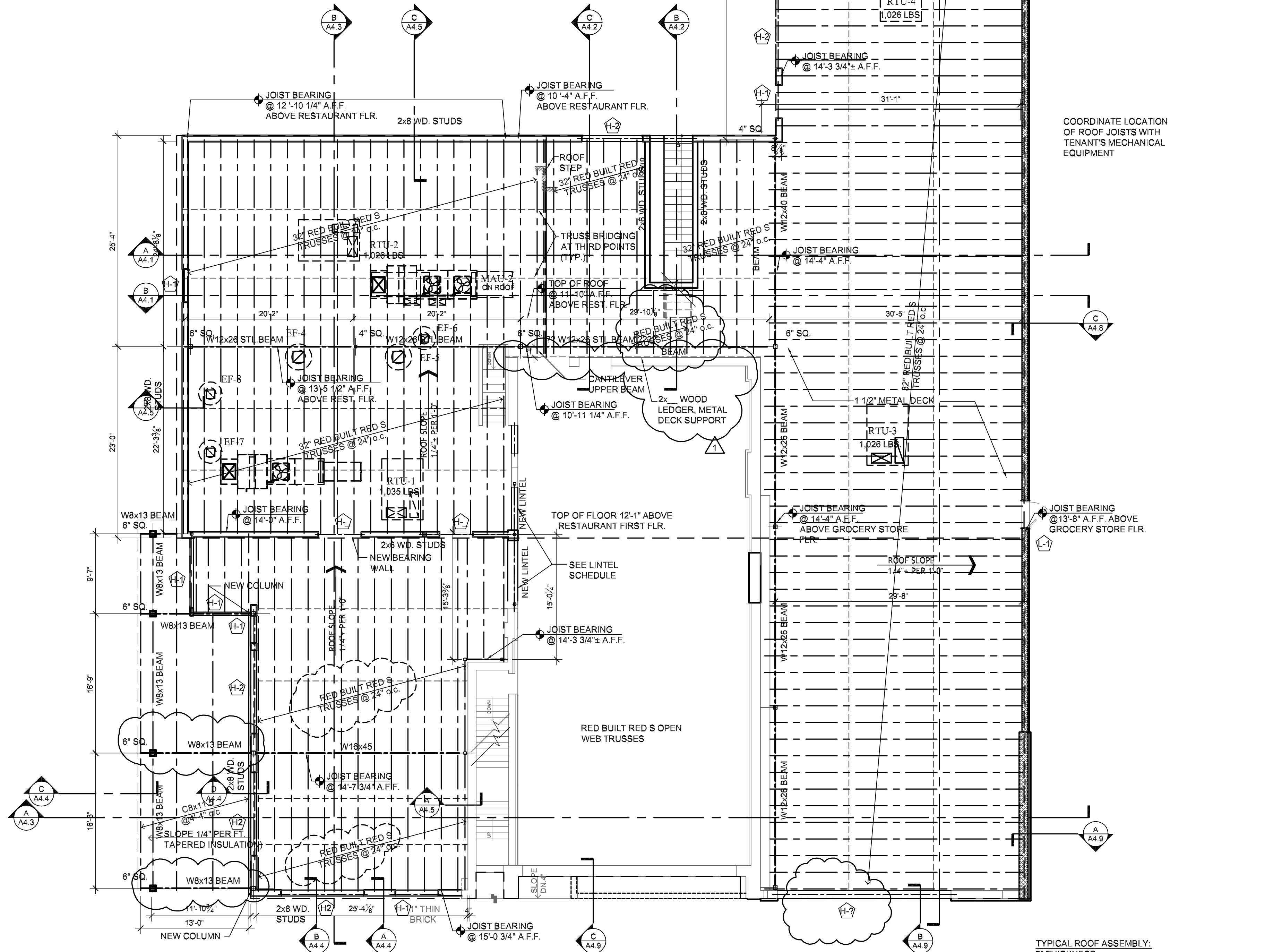
WOOD HEADER SCHEDULE (FOR BEARING WALLS ONLY)	END BEARING DIAGRAM
<p><b>LINTEL SCHEDULE</b></p> <p>H-1 (4) 2x8 H-2 (3) 1-3/4" x 9-1/4" 1.9E TJI MICROLAM LVL</p> <p>*GC TO VERIFY LINTELS</p> <p>NOTE: 1. HEADERS ABOVE OPENINGS IN INTERIOR NON-BEARING WALLS SHALL BE ADEQUATE TO SUPPORT THE WEIGHT OF THE FRAMING AND DRYWALL ABOVE THE OPENING AND THE WEIGHT OF ANY DOOR HUNG FROM THE HEADER WHILE LIMITING DEFLECTION TO L/360.</p>	<p>2 STUD END BEARING 3 STUD END BEARING 4 STUD END BEARING</p>

**STEEL LINTEL SCHEDULE**

1. PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN ALL MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS  
FOR OPENINGS UP TO 4'-0": L3 1/2x3 1/2x1/4  
FOR OPENINGS FROM 4'-1" TO 6'-0": L5x3 1/2x 5/16  
FOR OPENINGS FROM 6'-1" TO 7'-0": L6x3 1/2x5/16  
FOR OPENINGS FROM 7'-1" TO 10'-0": W8x18 with 5/16" Plate  
FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS ALLOW FOR A MINIMUM BEAM WEIGHT OF 36 PLF PLUS A 5/16" x 11" BOT PLATE
2. ALL LINTELS SHALL HAVE 1" OF BEARING FOR EACH FOOT OF SPAN WITH A MINIMUM OF 6" BEARING AT EACH END.
3. ALL LINTELS SHALL BEAR ON 6" OF SOLID MASONRY, U.N.O.
4. USE ONE ANGLE FOR EACH 1/4" OF MASONRY.  
PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.
5. MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16".

**STEEL LINTEL SCHEDULE**

(L-1) (2) L3 1/2x3 1/2x1/4



**ROOF FRAMING PLAN NOTES**

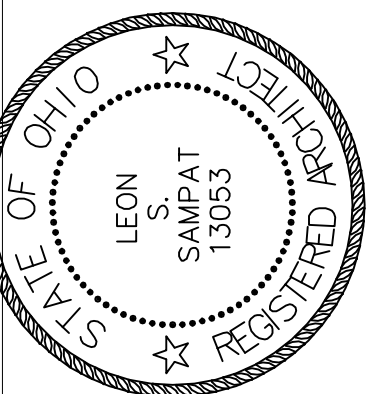
1. JOIST BEARING ELEVATIONS NOTED ON THE PLAN ARE REFERENCED FROM FINISH FLOOR ELEVATION 0'-0". ELEVATIONS NOTED (+) OR (-) ARE NOTED FROM 0'-0".
2. ——— DENOTES MOMENT CONNECTION

\*FR-T = FIRE RETARDANT TREATED PLYWOOD OR LUMBER (BLOCKING)  
\*FR-X = FIRE RETARDANT TREATED EXTERIOR GRADE PLYWOOD OR LUMBER (BLOCKING)

TYPICAL ROOF ASSEMBLY:  
7" THICKNESS:  
WHITE PVC SINGLE PLY MEMBRANE ON 1/2" COVER BOARD (R=2.5) ON 5" RIGID ROOF INSULATION (R=29.5 LONG TERM THERMAL RESISTANCE, FULLY ADHERED ON 1 1/2" METAL DECK (TYPICAL))  
REDBUILT TYPE S FROM TOP TO BEARING: 3 1/2"

**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

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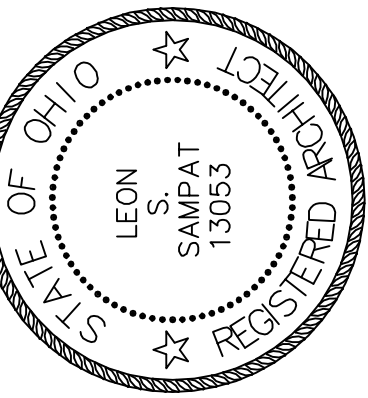
LEON S. SAMPAT  
LICENSE # 13053  
EXPIRATION DATE 12/31/2023

ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
12420 MADISON AVE.  
LAKEWOOD, OH 44107

JOB NO: 20-230  
DATE: 05.22.2023  
ISSUE: -  
SHEET: **S2.1**

REV.	DATE
1	01.18.2024

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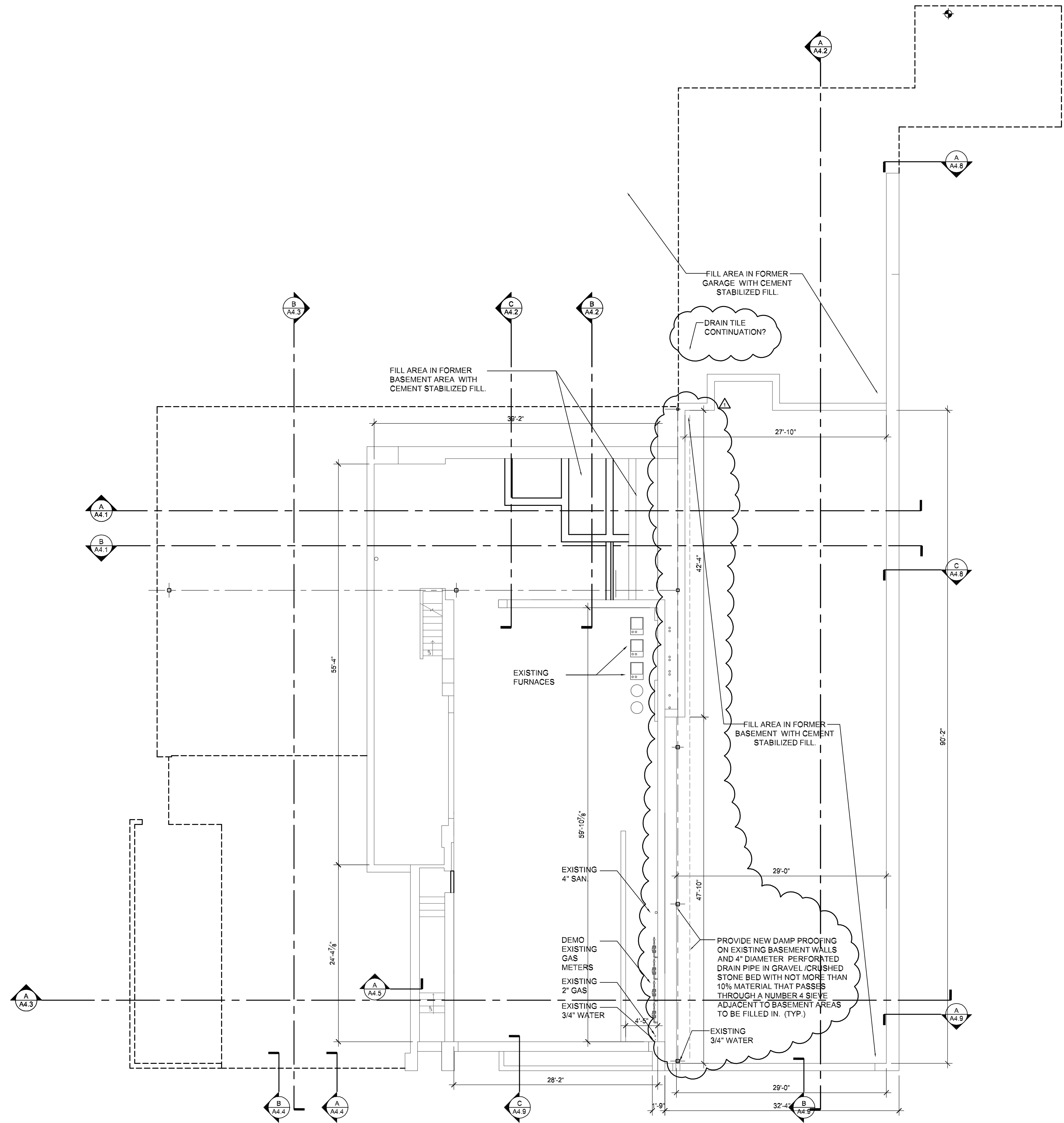


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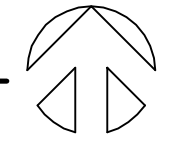
ADDITION AND ALTERATIONS FOR:  
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 12420 MADISON AVE.  
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**A1.0**



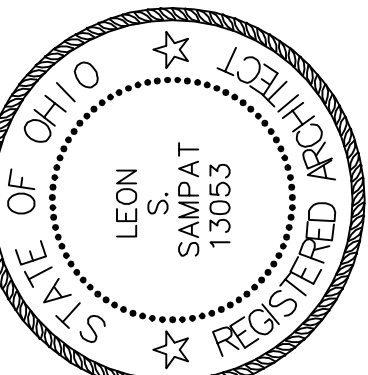
BASEMENT SHALL BE FULLY SPRINKLERED IN ACCORDANCE WITH OBC 903.2.11.1.3.  
**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"





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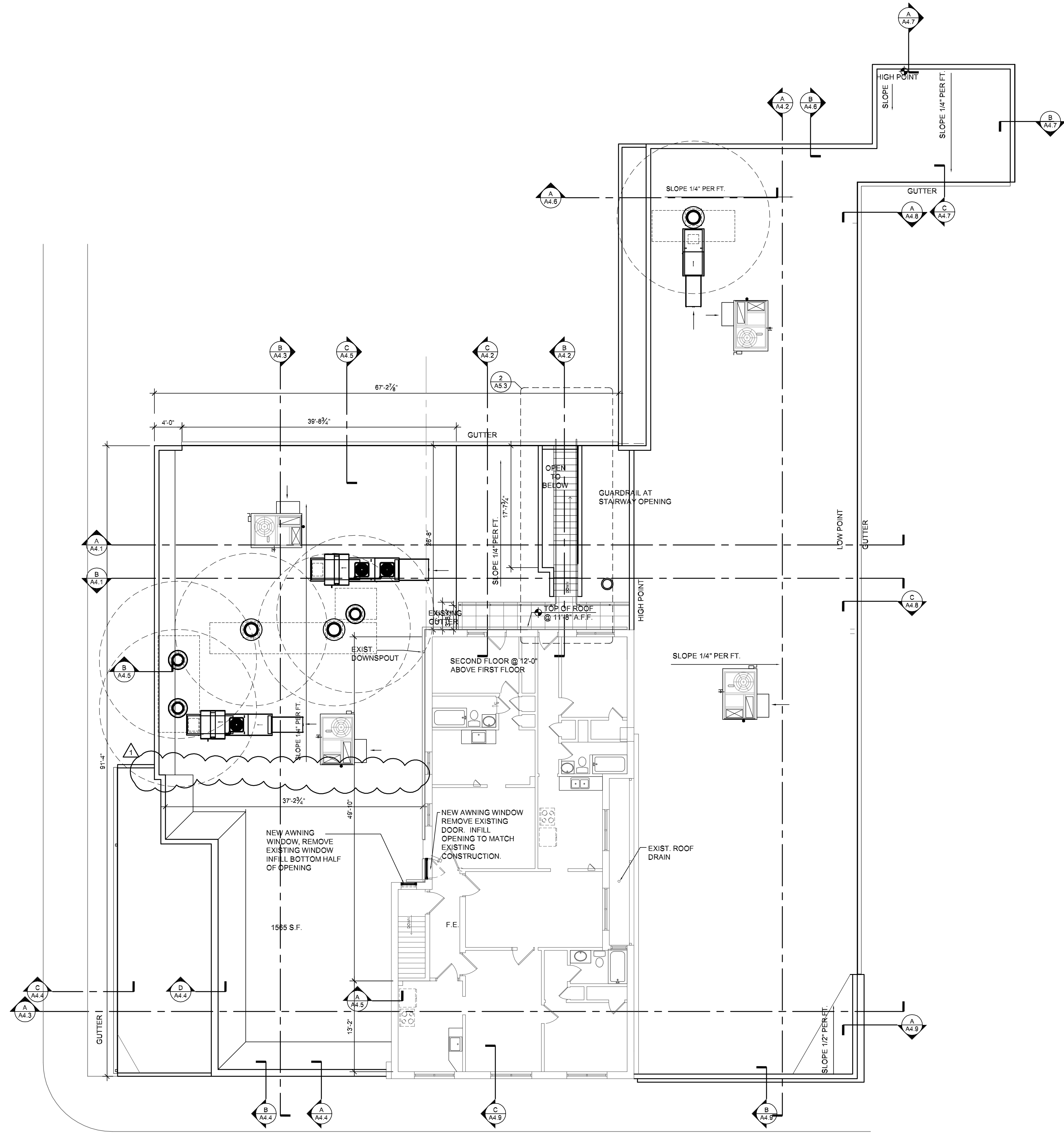


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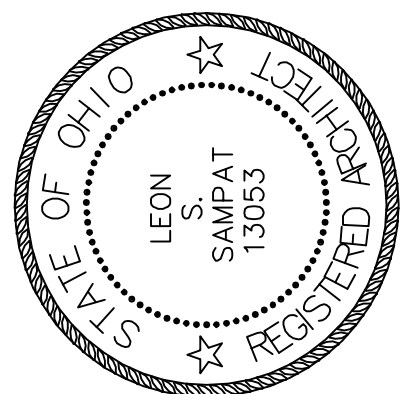
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**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

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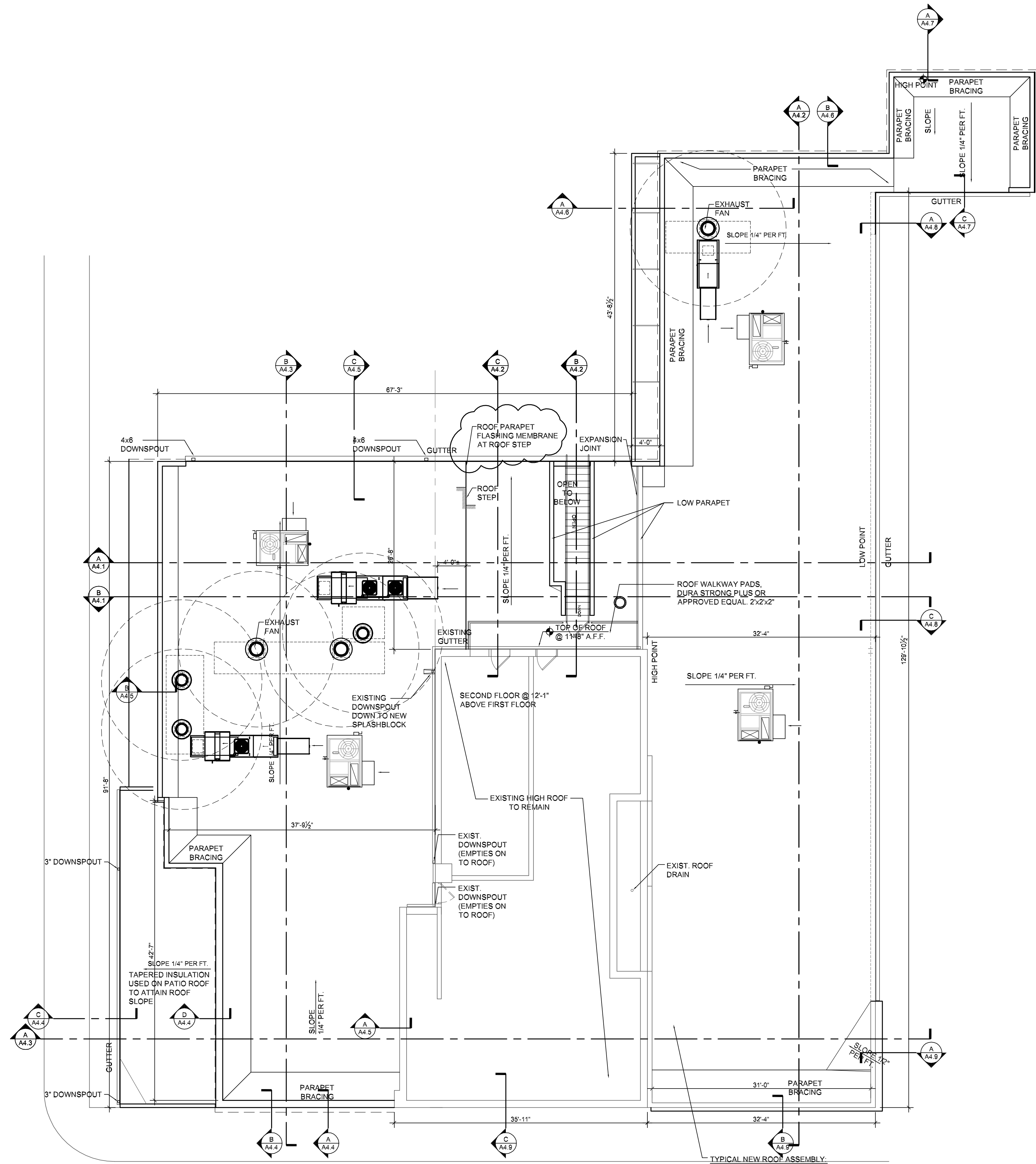
ADDITION AND ALTERATIONS FOR:  
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 DATE: 05.22.2023  
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**A1.3**

**ROOF SPECIFICATIONS**

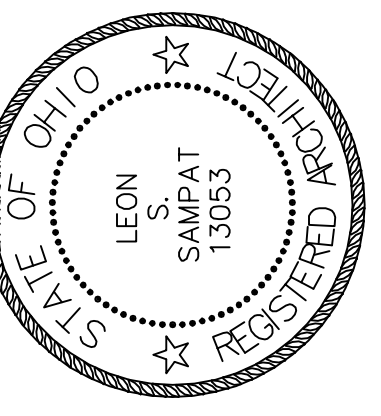
1. ROOFING SHALL BE FULLY ADHERED OR MECHANICALLY FASTENED EPDM MEMBRANE ROOFING SYSTEM ON RIGID INSULATION ON 1 1/2" STEEL ROOF DECK ON STEEL JOISTS.
2. EPDM ROOFING SHALL COMPLY WITH ASTM D-4434.
3. RIGID INSULATION SHALL BE CLOSED CELL POLYISOCYANURATE WITH A MINIMUM LTTR (LONG-TERM THERMAL RESISTANCE) R-VALUE OF R-29.5. PROVIDE SPECIAL SHAPED CRICKETS AS REQUIRED REQUIRED TO PROVIDE POSITIVE DRAINAGE TO THE ROOF SCUPPERS, DRAINS AND/OR GUTTERS. INSULATION TO BE APPROVED BY ROOFING MANUFACTURER.
4. PROVIDE ALL LABOR, MATERIALS, SERVICES, AND EQUIPMENT NECESSARY TO COMPLETE ALL WORK ASSOCIATED WITH ROOFING INSTALLATION. PROVIDE 10 YEAR WARRANTY (MINIMUM).
5. INSTALLATION OF ROOFING MATERIALS TO BE PER MANUFACTURER'S RECOMMENDATIONS.
6. PARAPET BOARD SHALL BE 3/4" EXTERIOR GRADE PLYWOOD OR 5/8" DENS DECK AS MANUFACTURED BY GEORGIA-PACIFIC GYPSUM.



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

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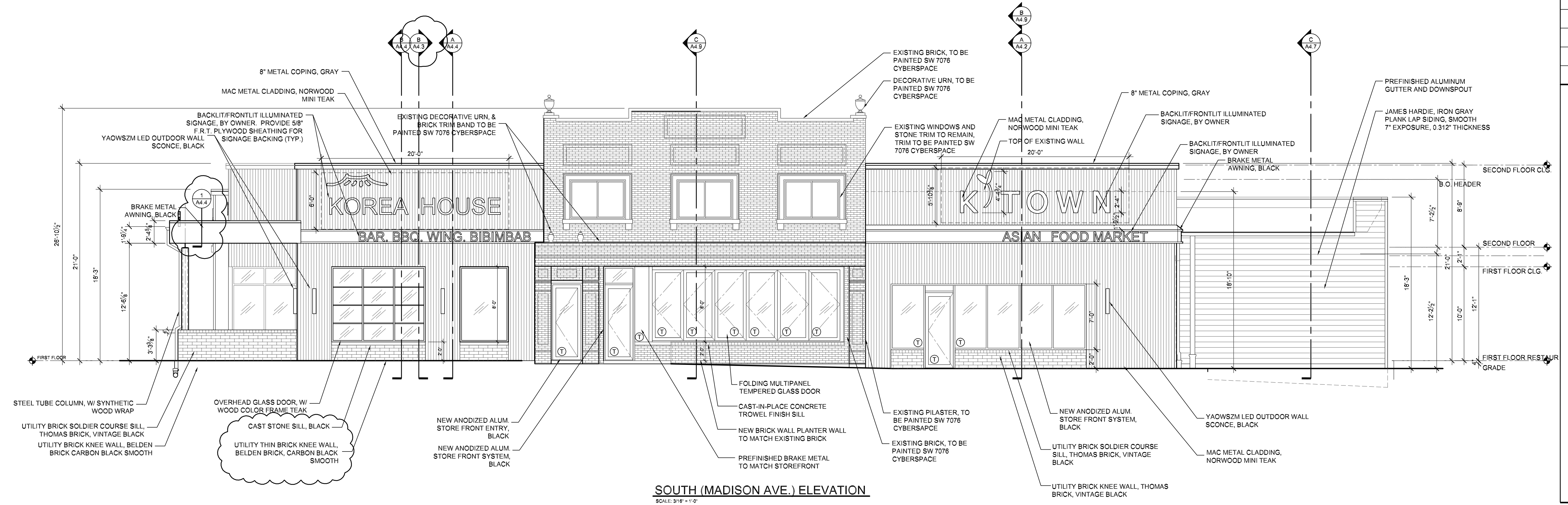


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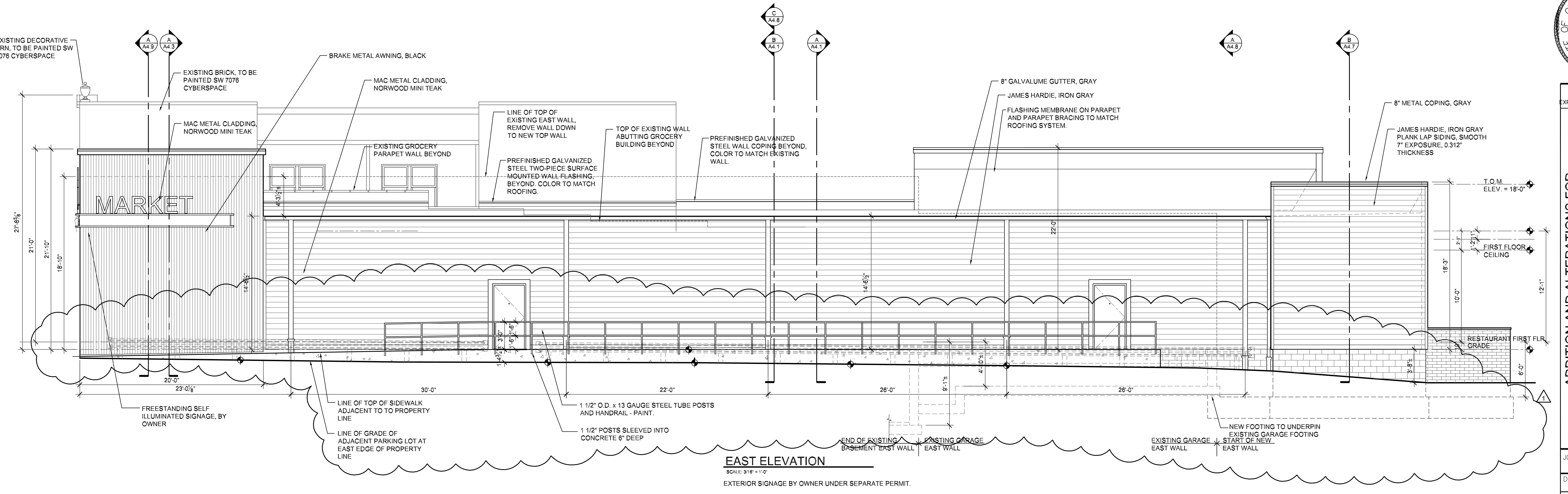
ADDITION AND ALTERATIONS FOR:  
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 LAKEWOOD, OH 44107

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 DATE: 05.22.2023  
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**A3.1**



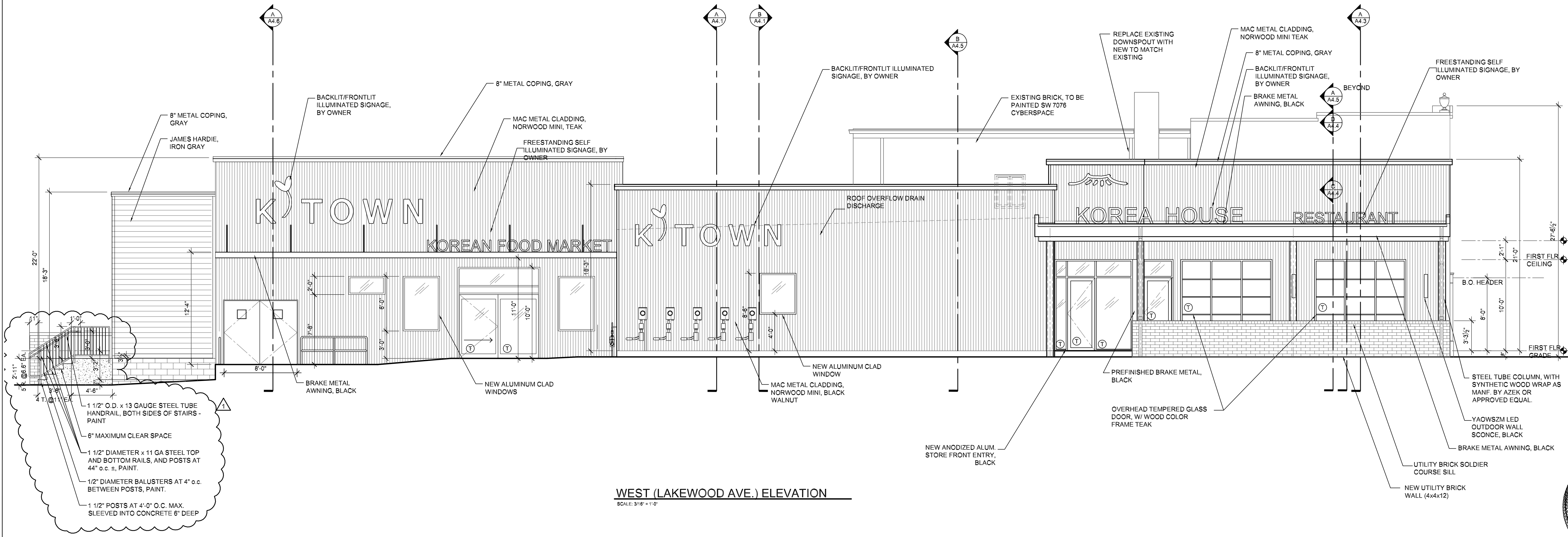
**SOUTH (MADISON AVE.) ELEVATION**  
 SCALE: 3/16" = 1'-0"



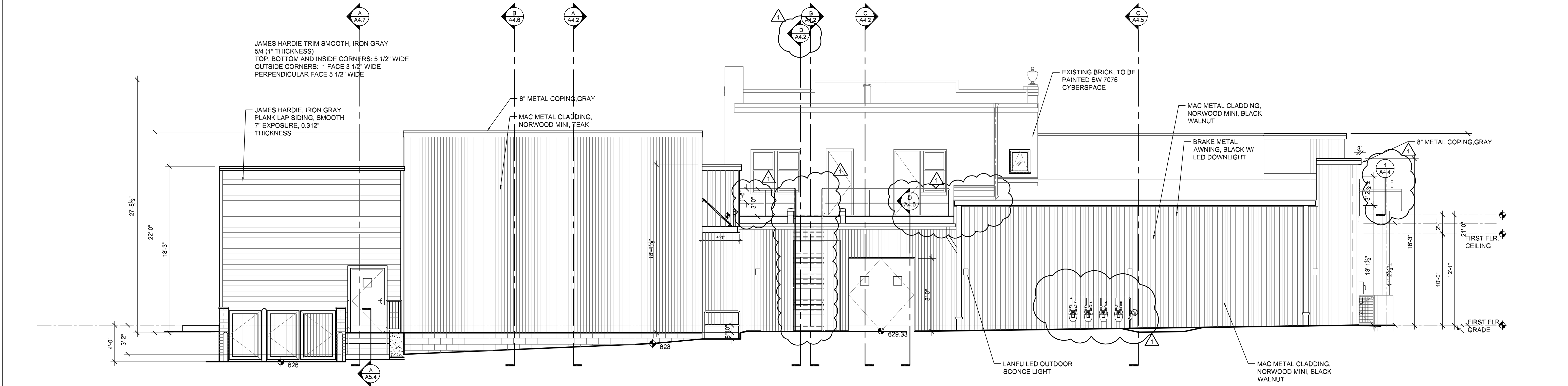
**EAST ELEVATION**  
 SCALE: 3/16" = 1'-0"

EXTERIOR SIGNAGE BY OWNER UNDER SEPARATE PERMIT.

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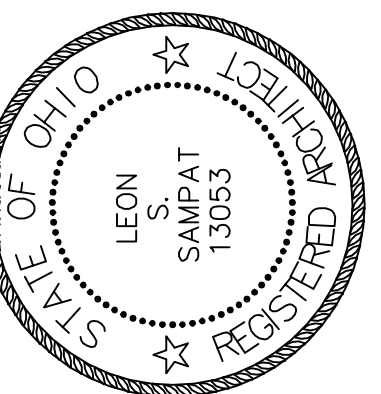


**WEST (LAKEWOOD AVE.) ELEVATION**  
SCALE: 3/16" = 1'-0"



**NORTH ELEVATION**

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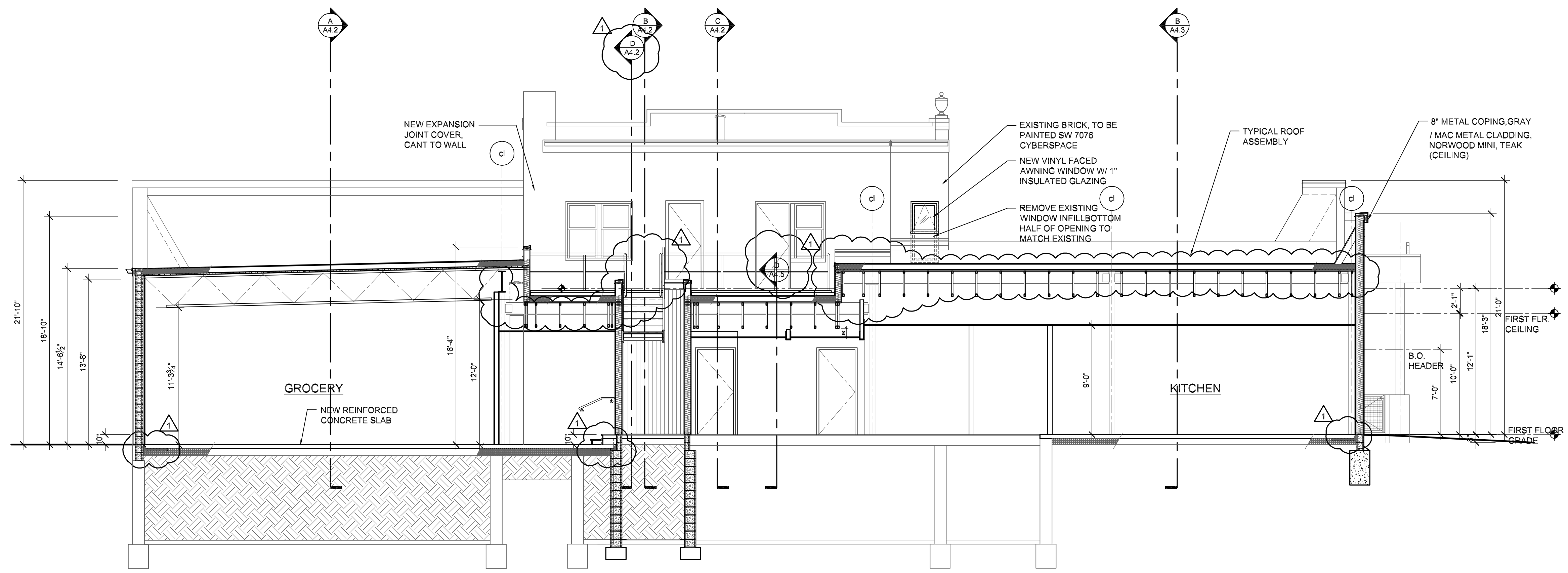
LEON S. SAMPAT  
LICENSE # 13053  
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ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
12420 MADISON AVE.  
LAKEWOOD, OH 44107

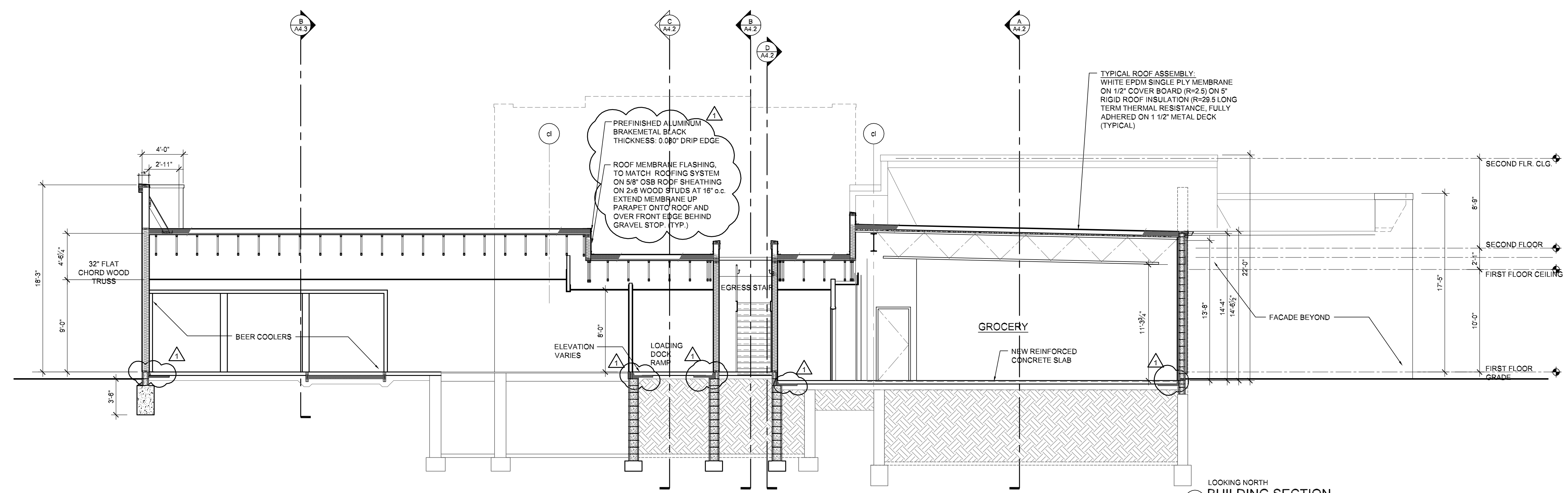
JOB NO: 20-230  
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**A3.2**

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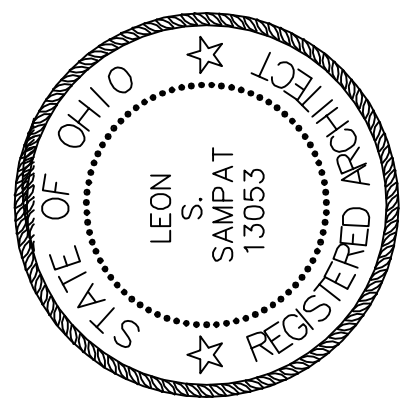


**B BUILDING SECTION**  
SCALE: 3/16" = 1'-0"



LOOKING NORTH  
**A BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

**LS ARCHITECTS**  
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ADDITION AND ALTERATIONS FOR:  
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**A4.1**

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By Kelly McCafferty at 2:10 pm, Jan 19, 2024

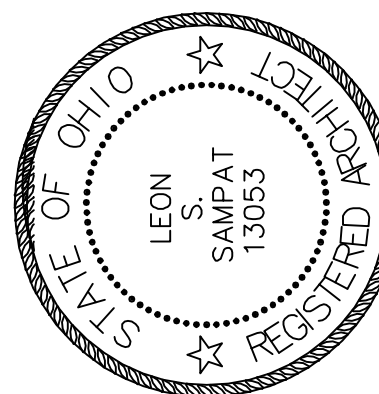
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2 OF 2

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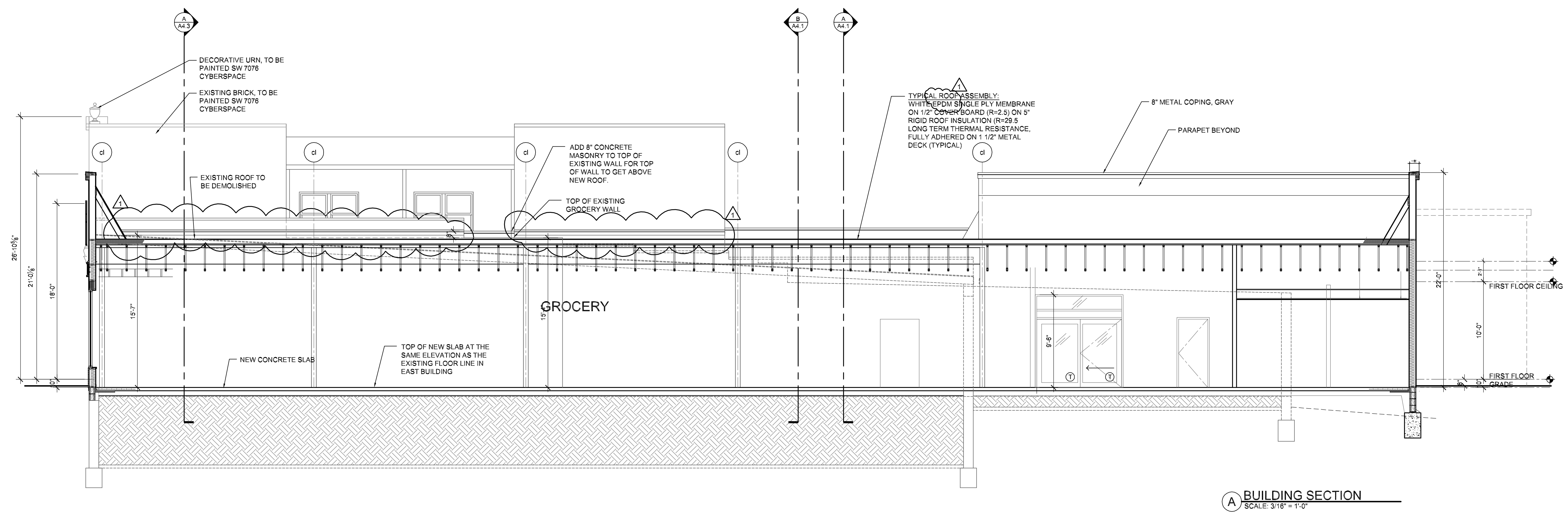
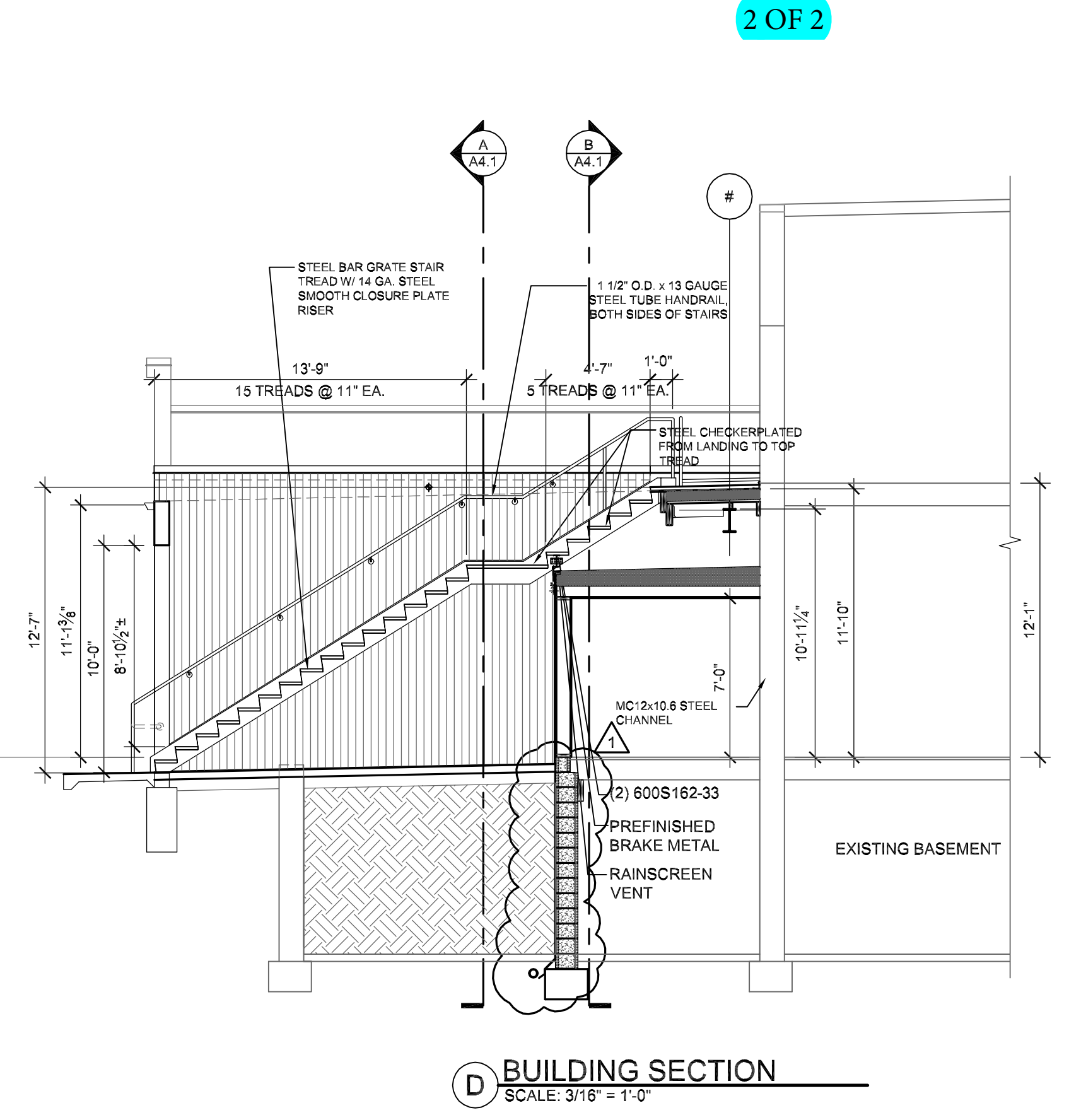
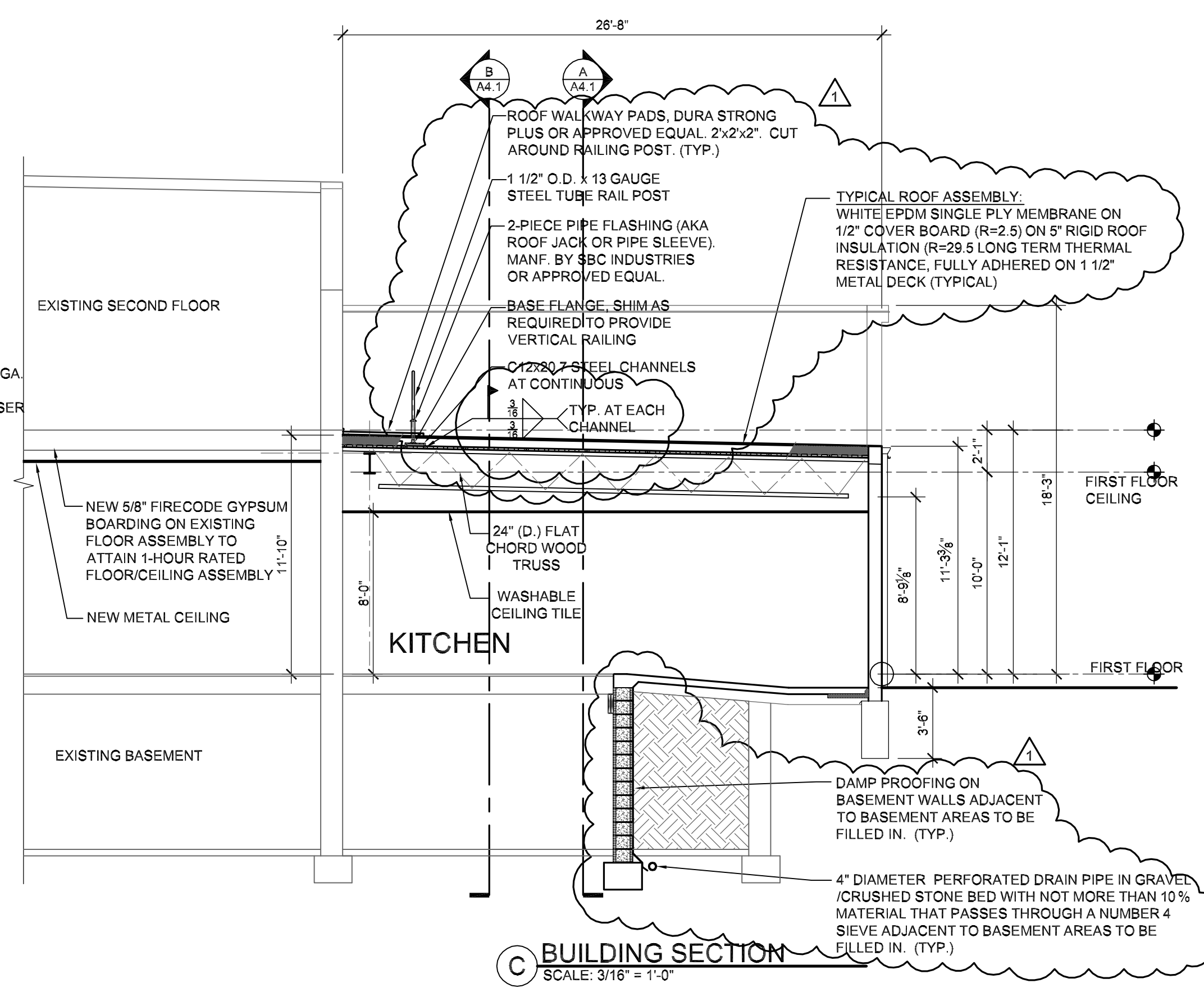
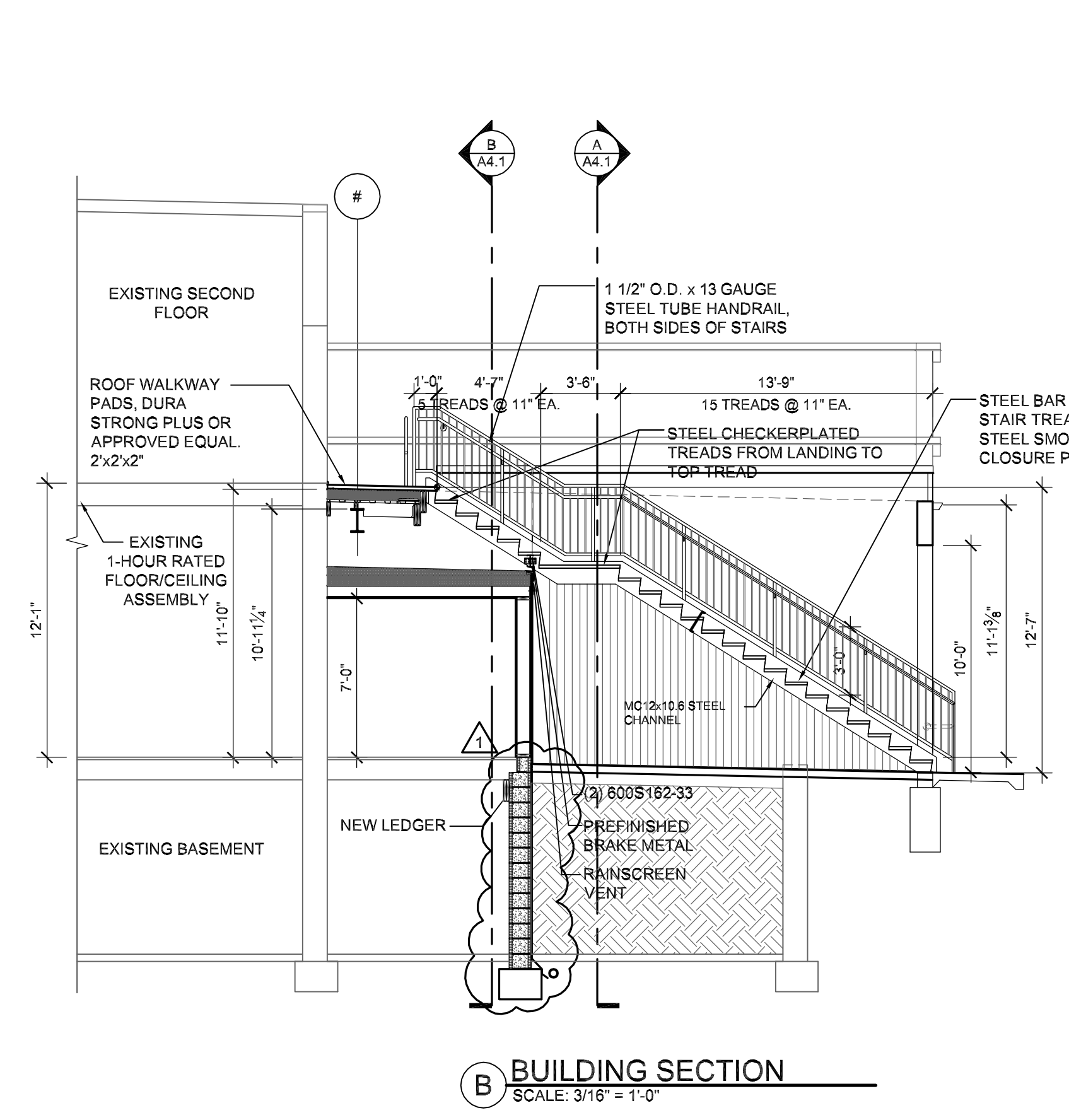


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LICENSE # 13053  
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ADDITION AND ALTERATIONS FOR:  
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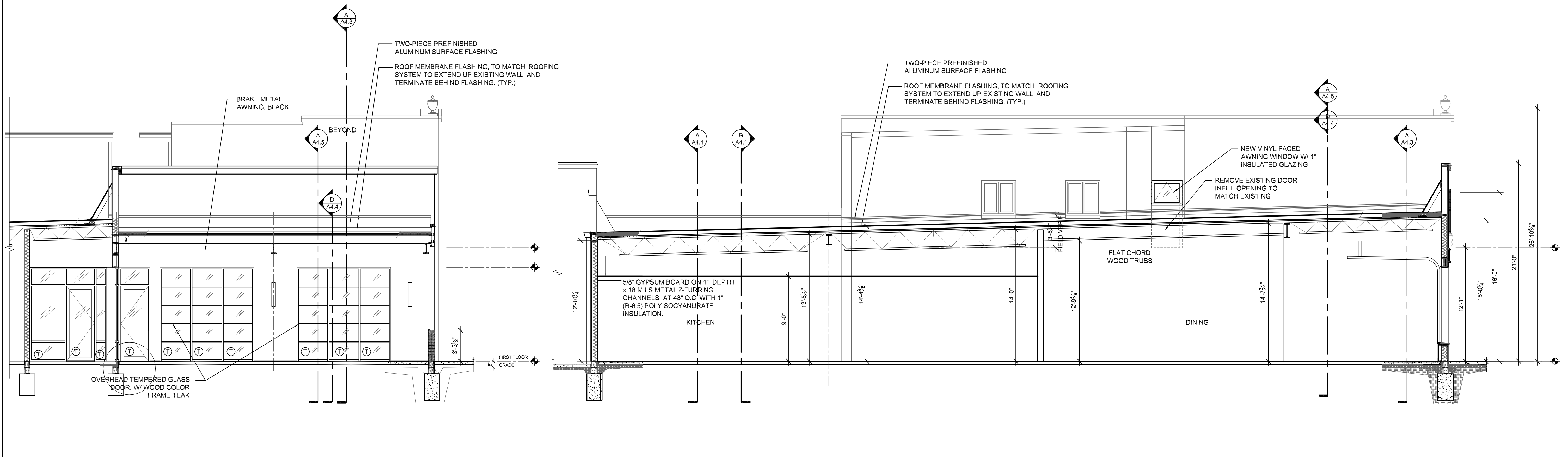
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**A4.2**



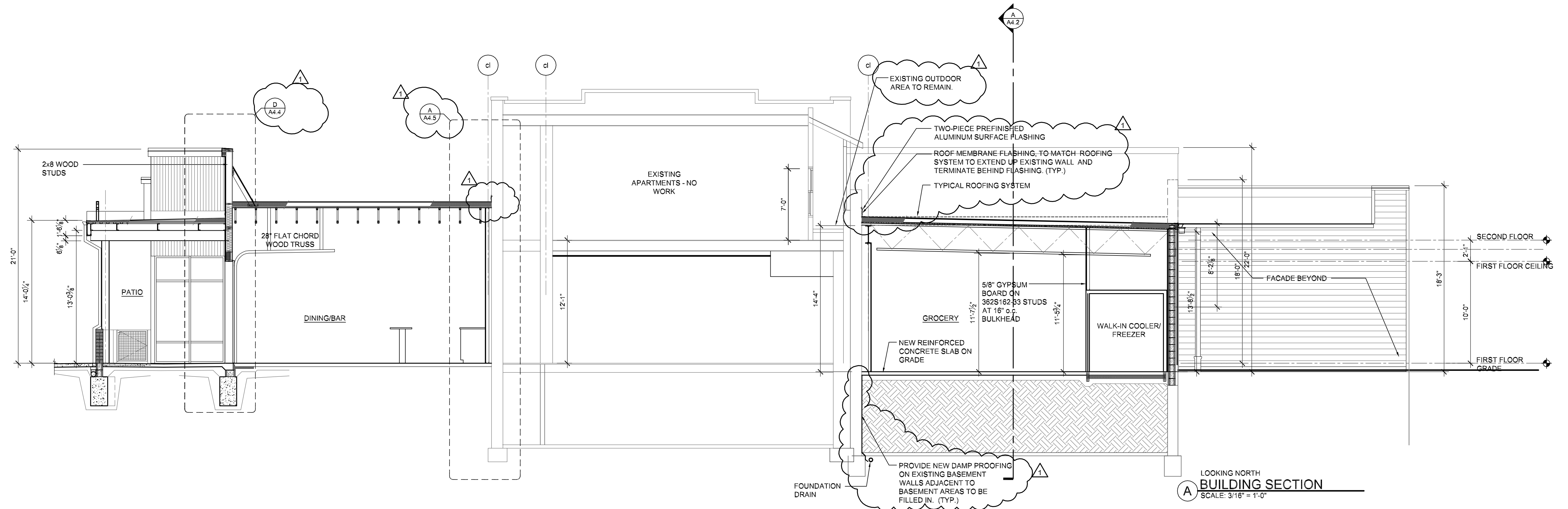
**A BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

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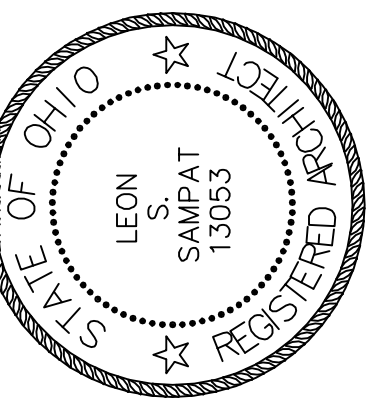
**C PATIO WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

LOOKING EAST  
**B BUILDING SECTION**  
SCALE: 3/16" = 1'-0"



LOOKING NORTH  
**A BUILDING SECTION**  
SCALE: 3/16" = 1'-0"

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**A4.3**

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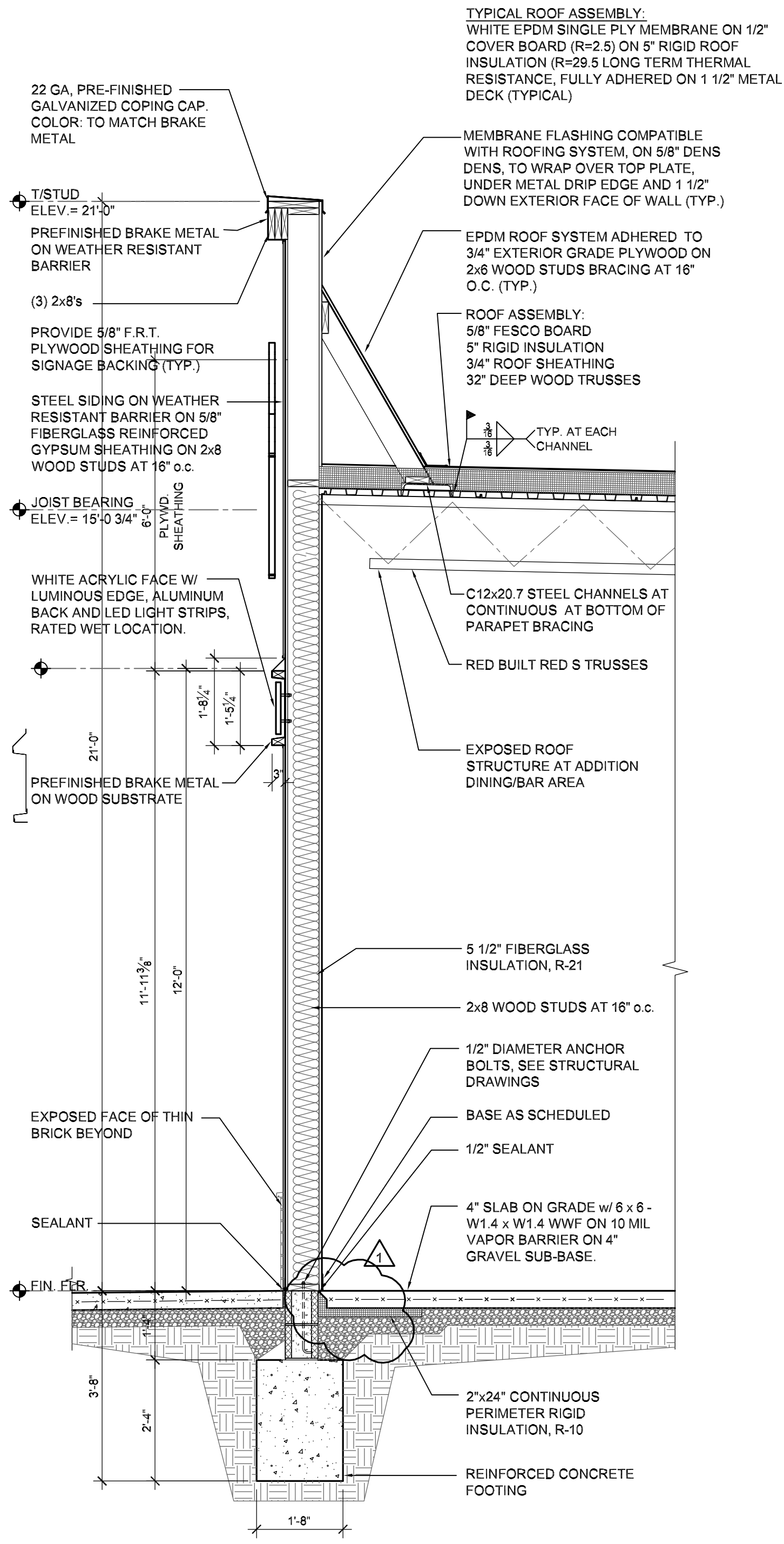


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 EXPIRATION DATE 12/31/2023

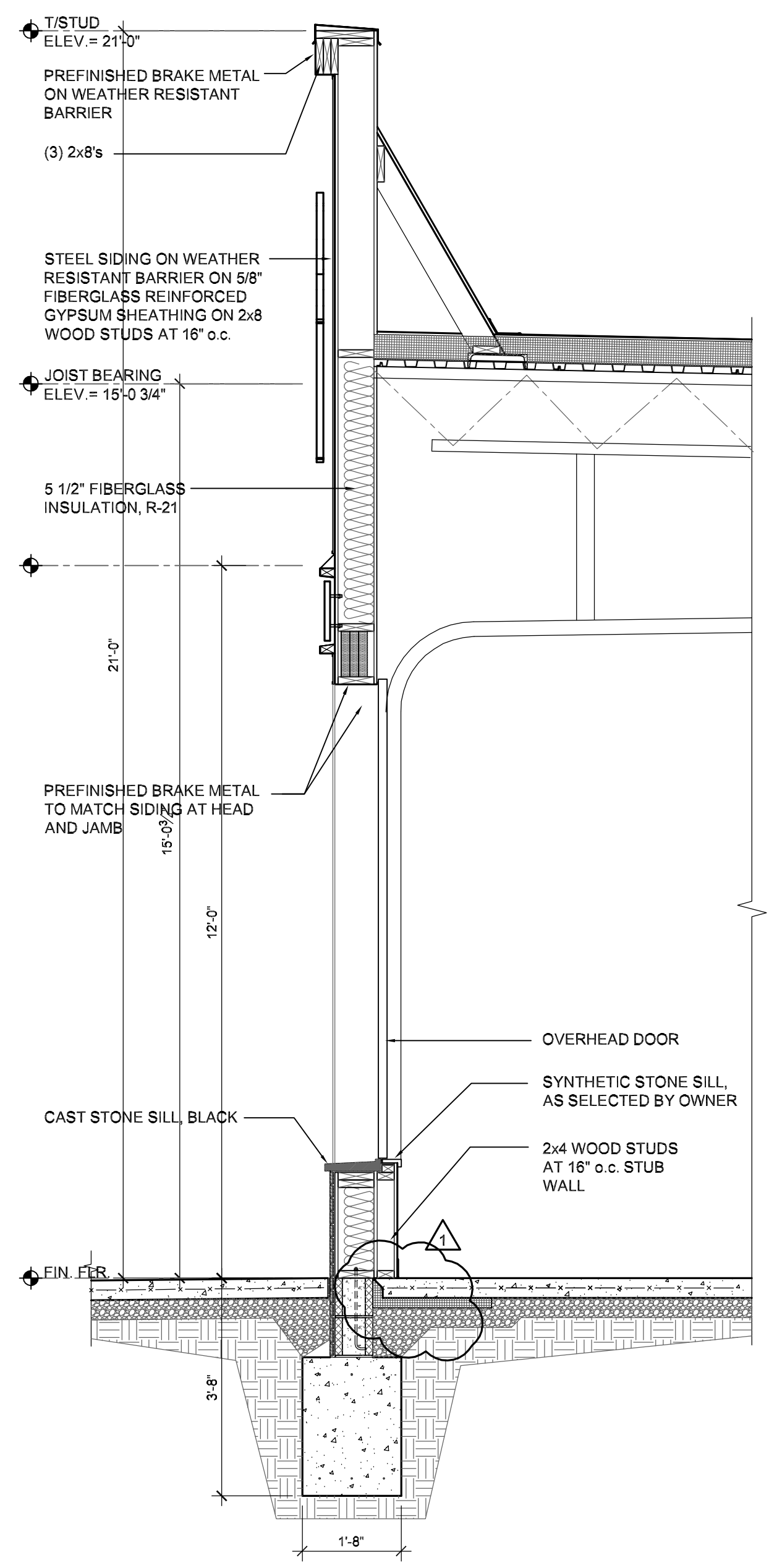
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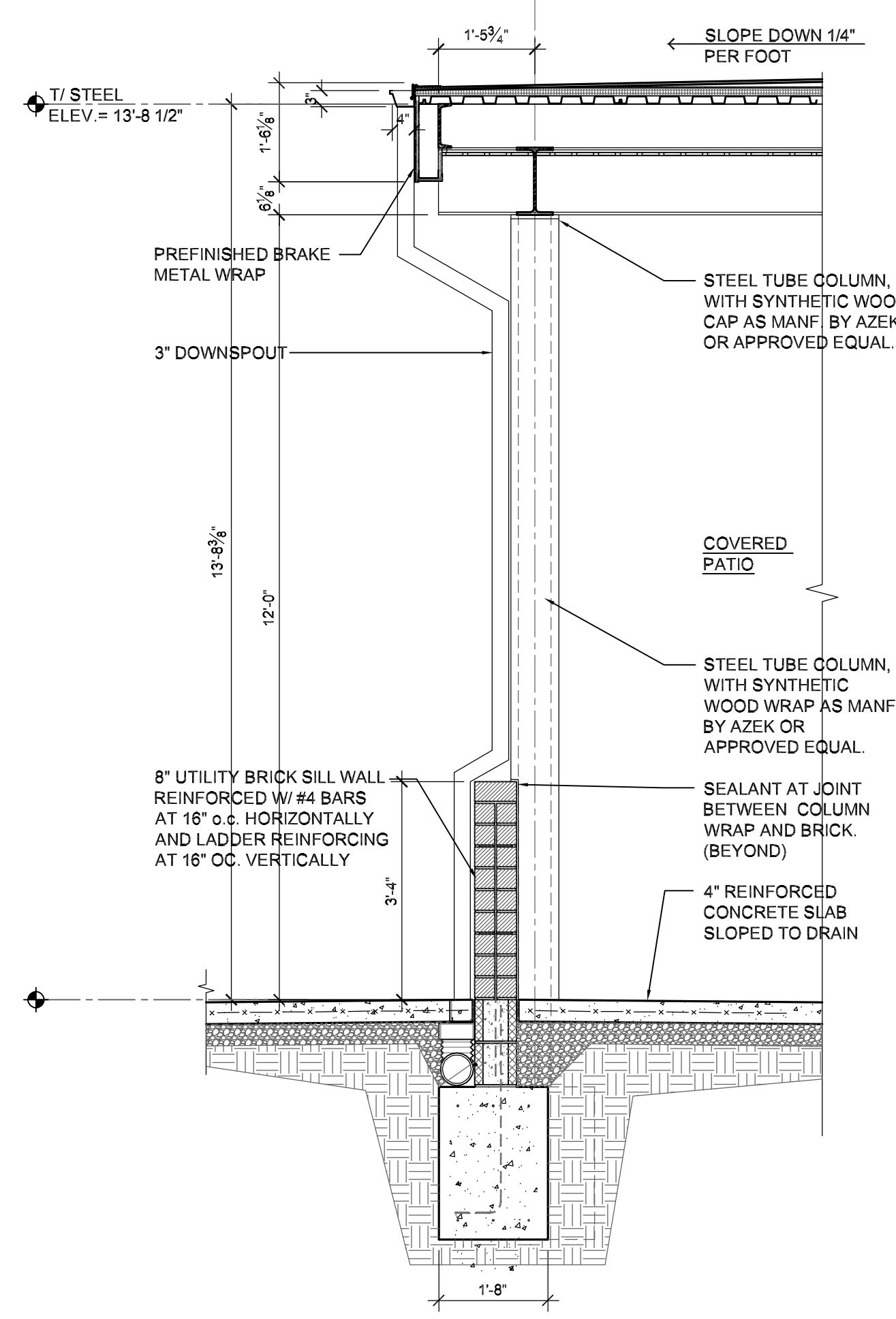
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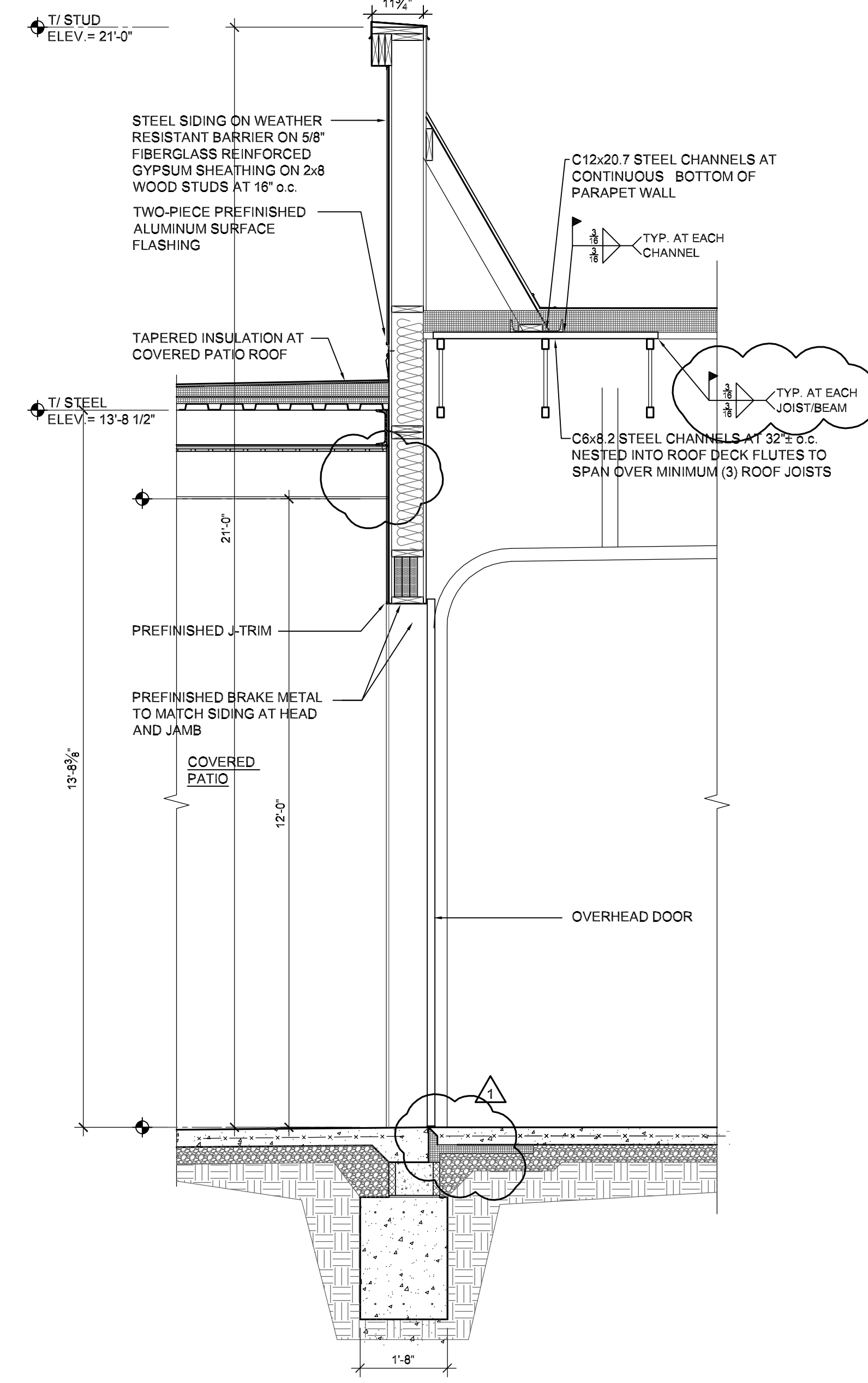
**A** SOUTH WALL WALL SECTION  
 SCALE: 1/2" = 1'-0"



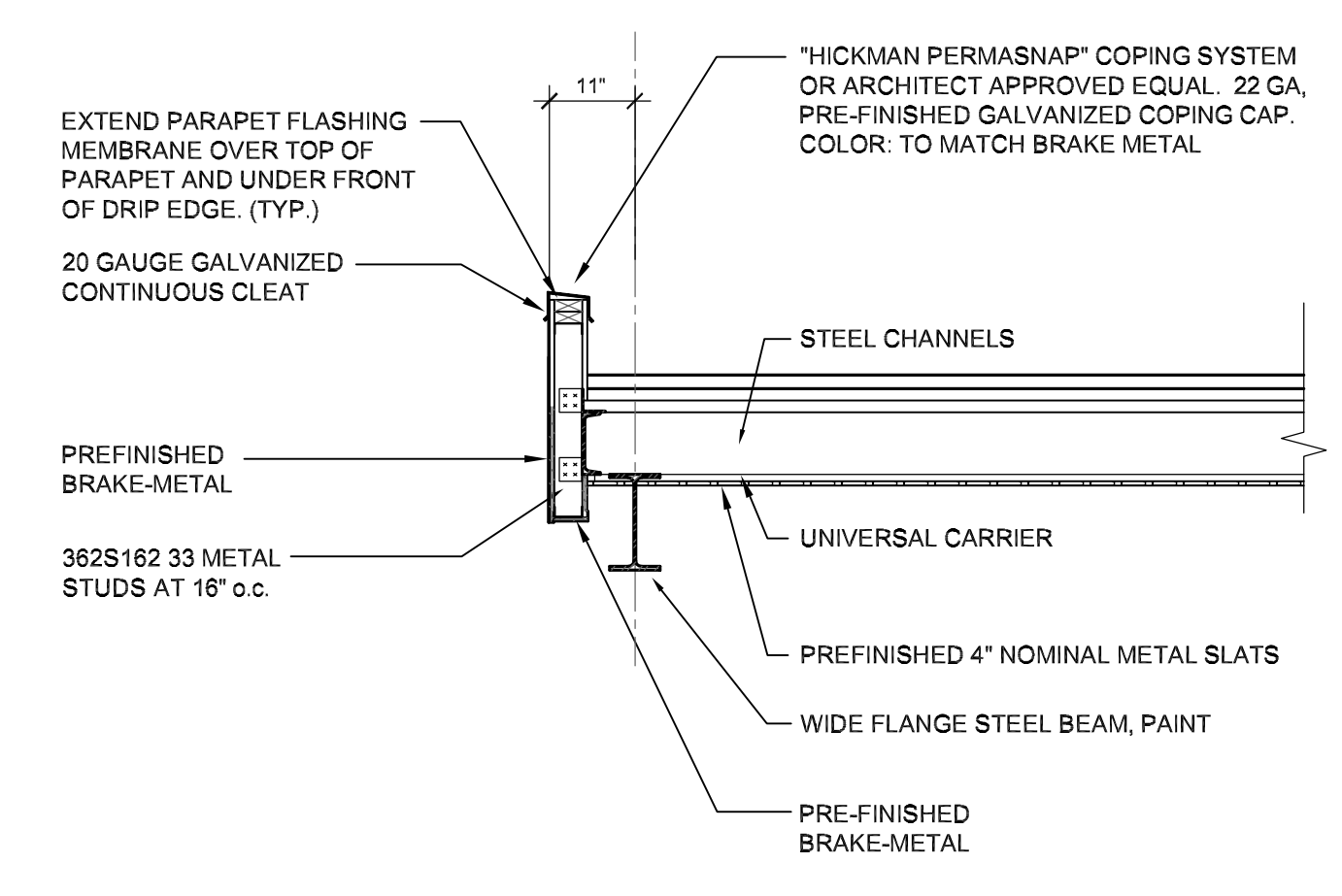
**B** SOUTH WALL WALL SECTION  
 SCALE: 1/2" = 1'-0"



**C** WEST WALL WALL SECTION  
 SCALE: 1/2" = 1'-0"



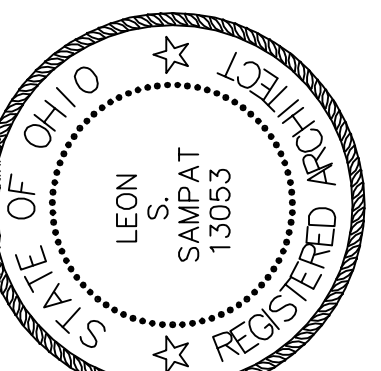
**D** WEST WALL WALL SECTION  
 SCALE: 1/2" = 1'-0"



**1** PATIO NORTH & SOUTH ROOF EDGE  
 DETAIL  
 SCALE: 1/2" = 1'-0"

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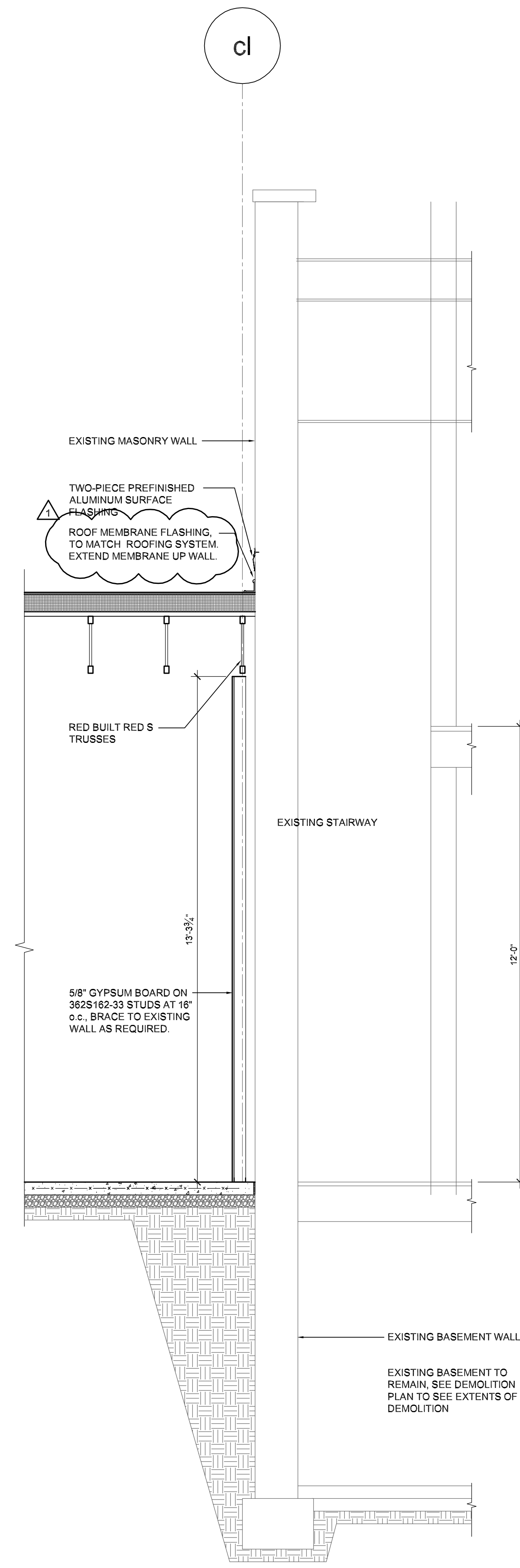


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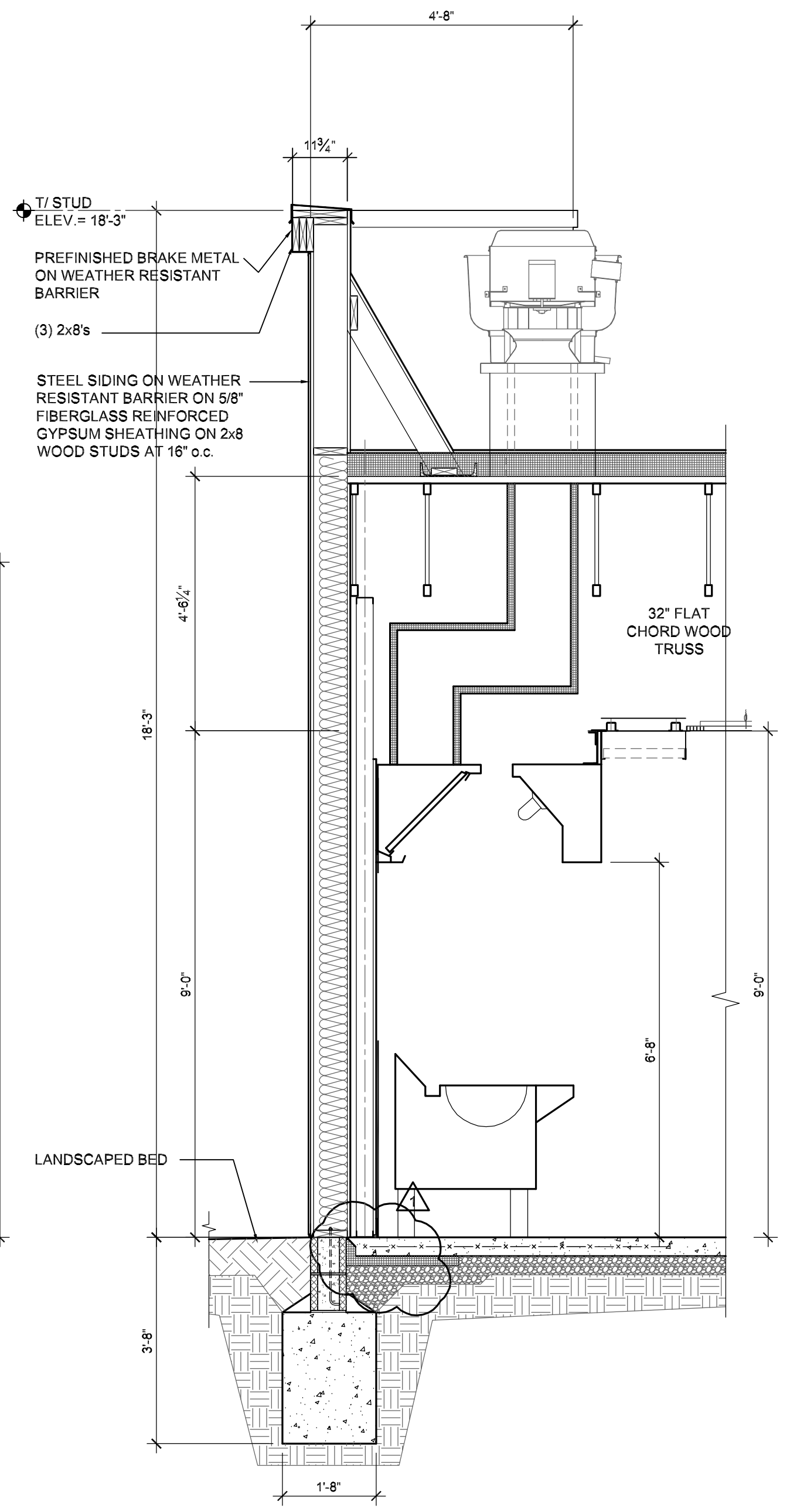
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 DATE: 05.22.2023  
 ISSUE: -

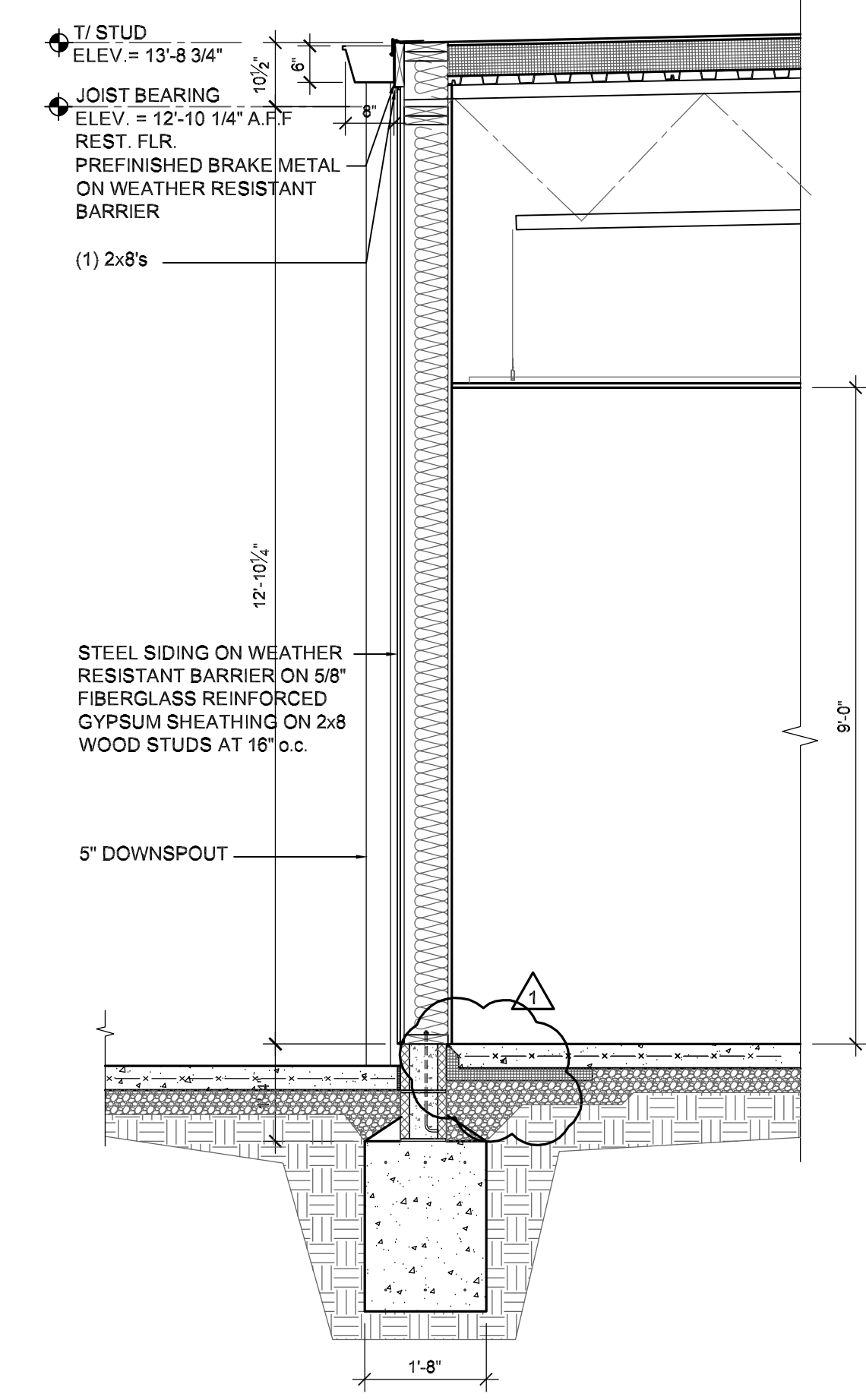
SHEET:  
**A4.5**



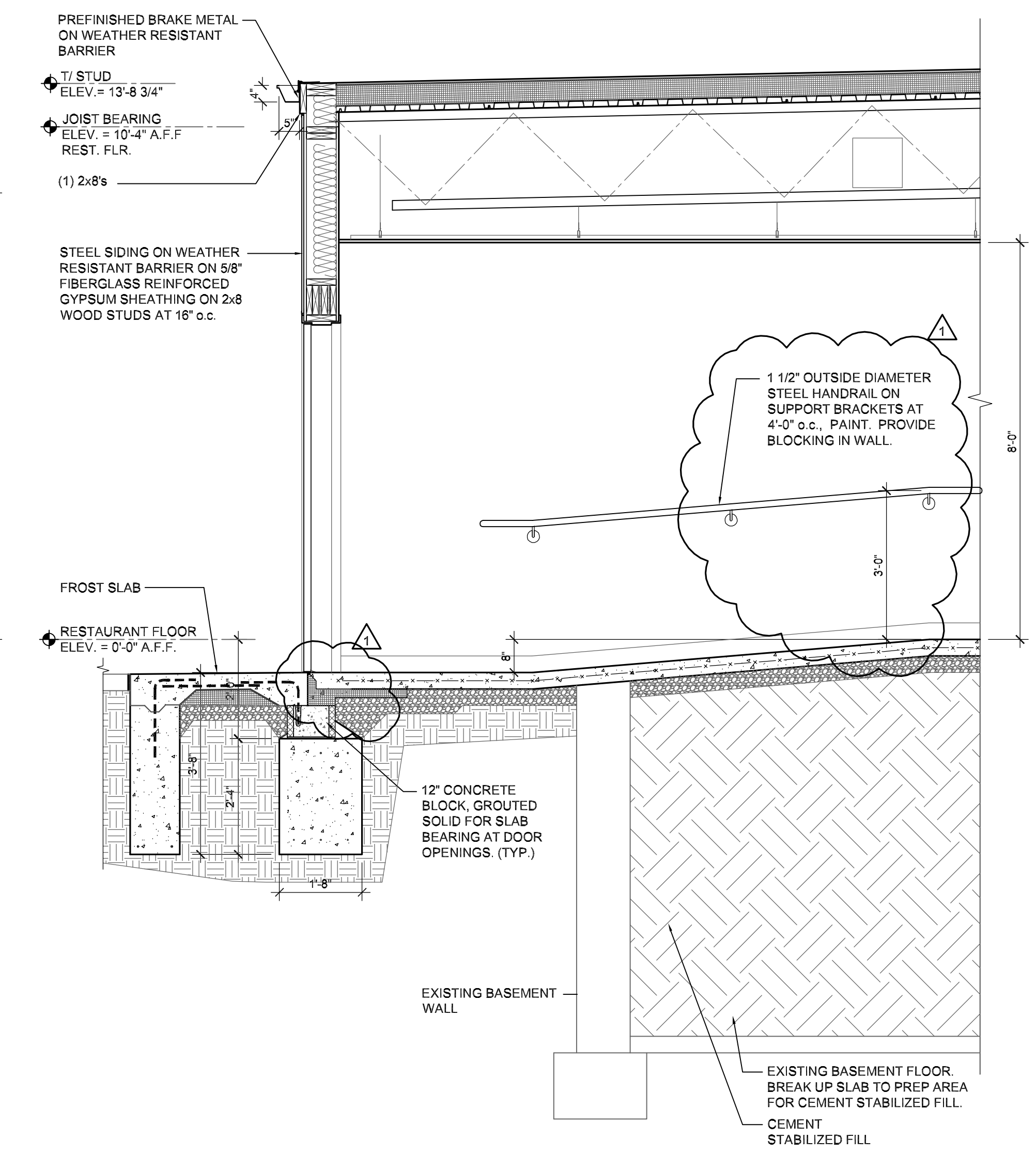
**A** EXISTING WEST WALL  
 WALL SECTION  
 SCALE: 1/2" = 1'-0"



**B** WEST WALL  
 WALL SECTION  
 SCALE: 1/2" = 1'-0"



**C** NORTH WALL  
 WALL SECTION  
 SCALE: 1/2" = 1'-0"



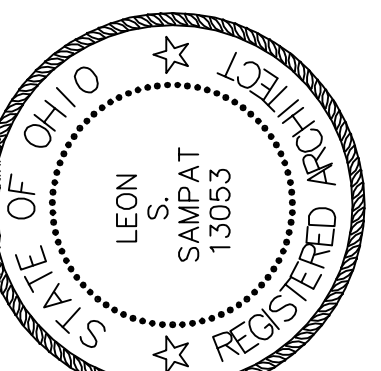
**D** NORTH WALL  
 WALL SECTION  
 SCALE: 1/2" = 1'-0"

SEE SECTION A, THIS SHEET FOR TYPICAL NOTES



REV.	DATE
1	01.18.2024

**US ARCHITECTS**  
 22082 LORAIN ROAD  
 FAIRVIEW PARK, OHIO 44126  
 PHONE 216-403-9854 FAX 440-76-8897

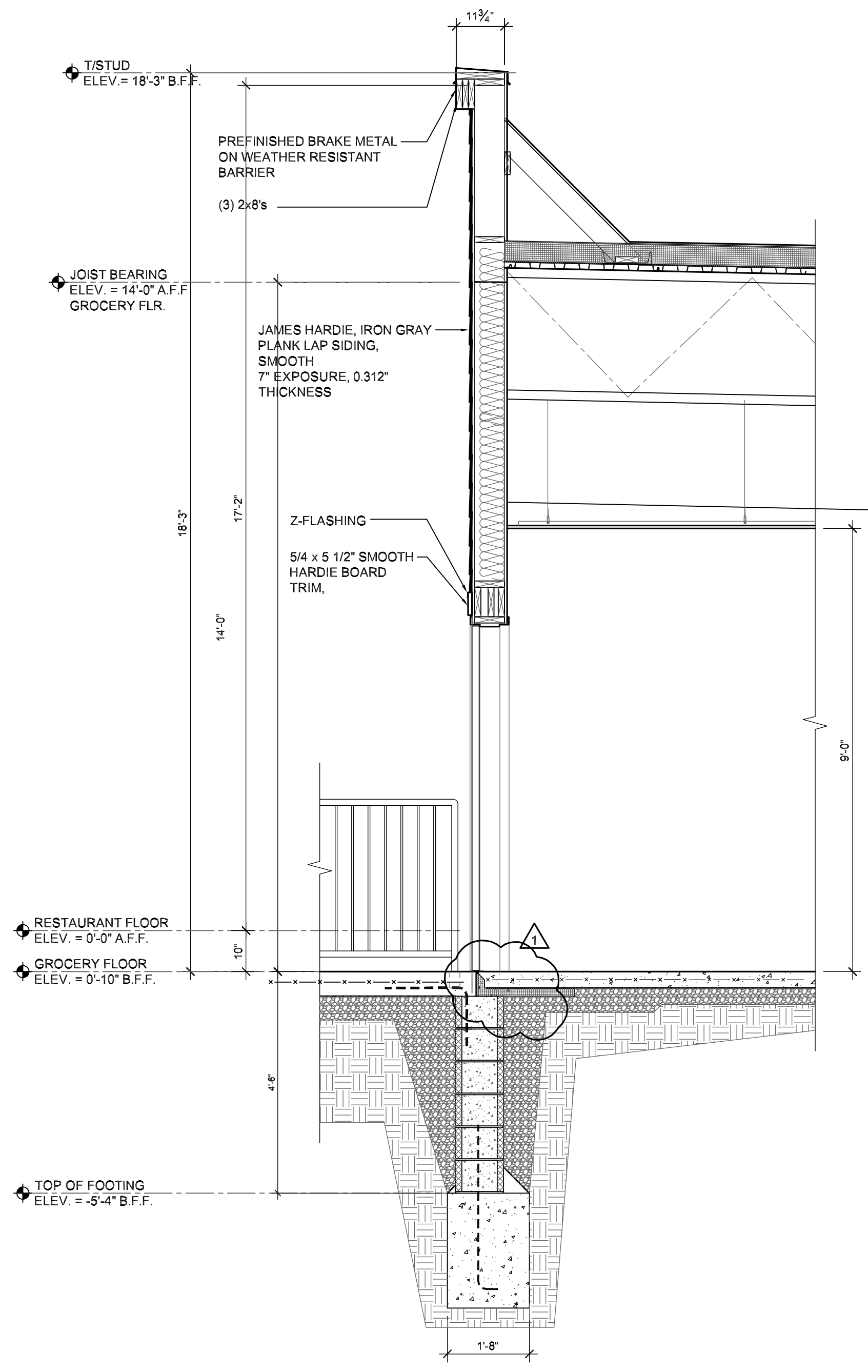


LEON S. SAMPAT  
 LICENSE # 13053  
 EXPIRATION DATE 12/31/2023

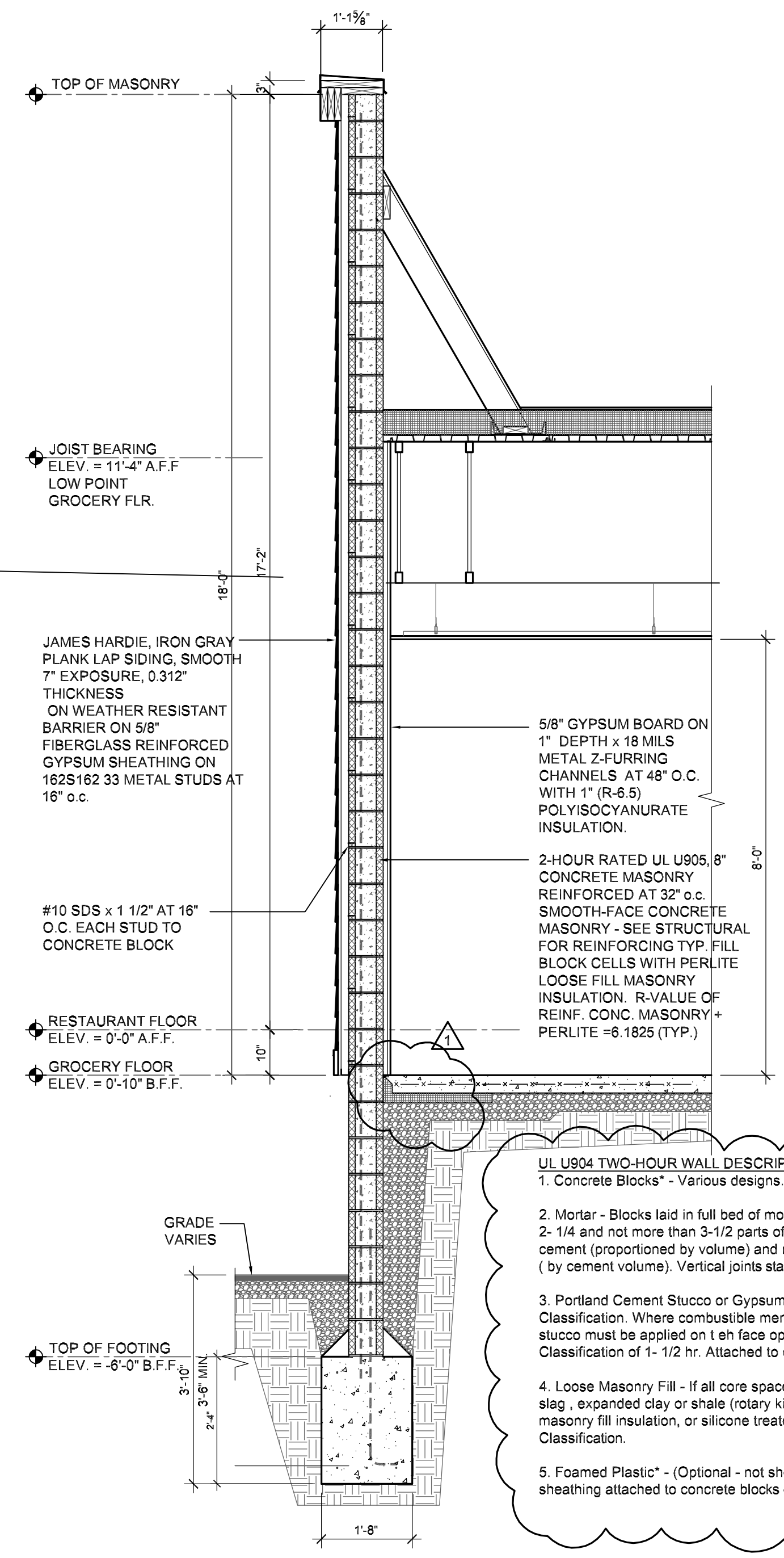
ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
 12420 MADISON AVE.  
 LAKEWOOD, OH 44107

JOB NO: 20-230  
 DATE: 05.22.2023  
 ISSUE: -  
 SHEET:

**A4.7**

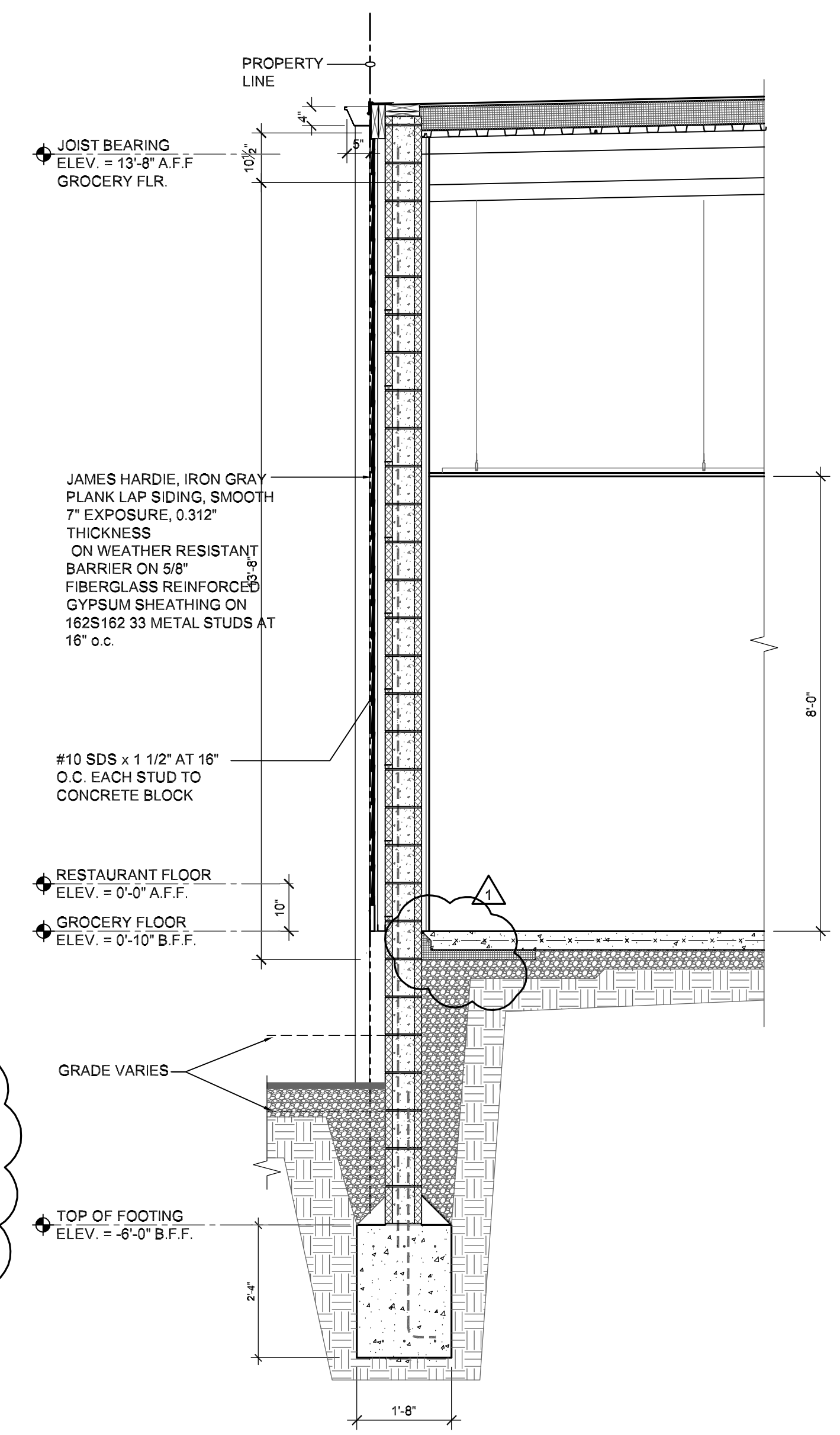


**A** NORTH WALL SECTION  
 SCALE: 1/2" = 1'-0"



**B** EAST WALL SECTION  
 SCALE: 1/2" = 1'-0"

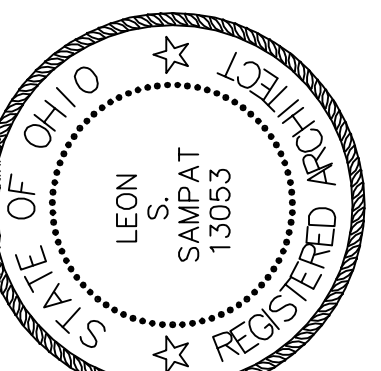
**UL U904 TWO-HOUR WALL DESCRIPTION:**  
 1. Concrete Blocks\* - Various designs. Classification D-2 (2 hr).  
 2. Mortar - Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2- 1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 per cent hydrated lime (by cement volume). Vertical joints staggered.  
 3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1- 1/2 hr. Attached to concrete blocks (Item 1).  
 4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (rotary kiln process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to Classification.  
 5. Foamed Plastic\* - (Optional - not shown) 1-1/2 in thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).



**C** SOUTH WALL SECTION  
 SCALE: 1/2" = 1'-0"

REV.	DATE
1	01.18.2024

**US ARCHITECTS**  
 22082 LORAIN ROAD  
 FAIRVIEW PARK, OHIO 44126  
 PHONE 216-403-9854 FAX 440-76-8837

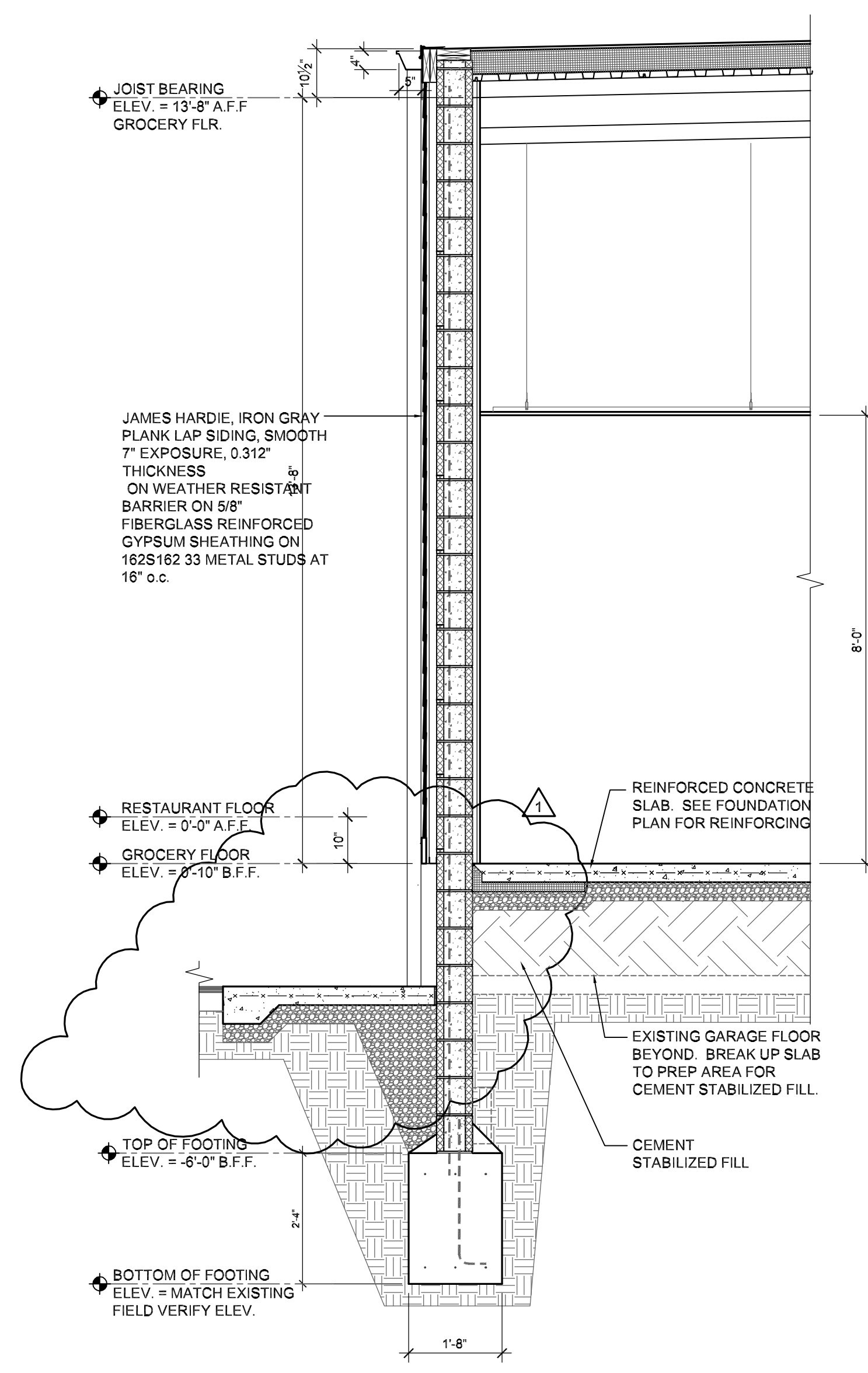


LEON S. SAMPAT  
 LICENSE # 13053  
 EXPIRATION DATE 12/31/2023

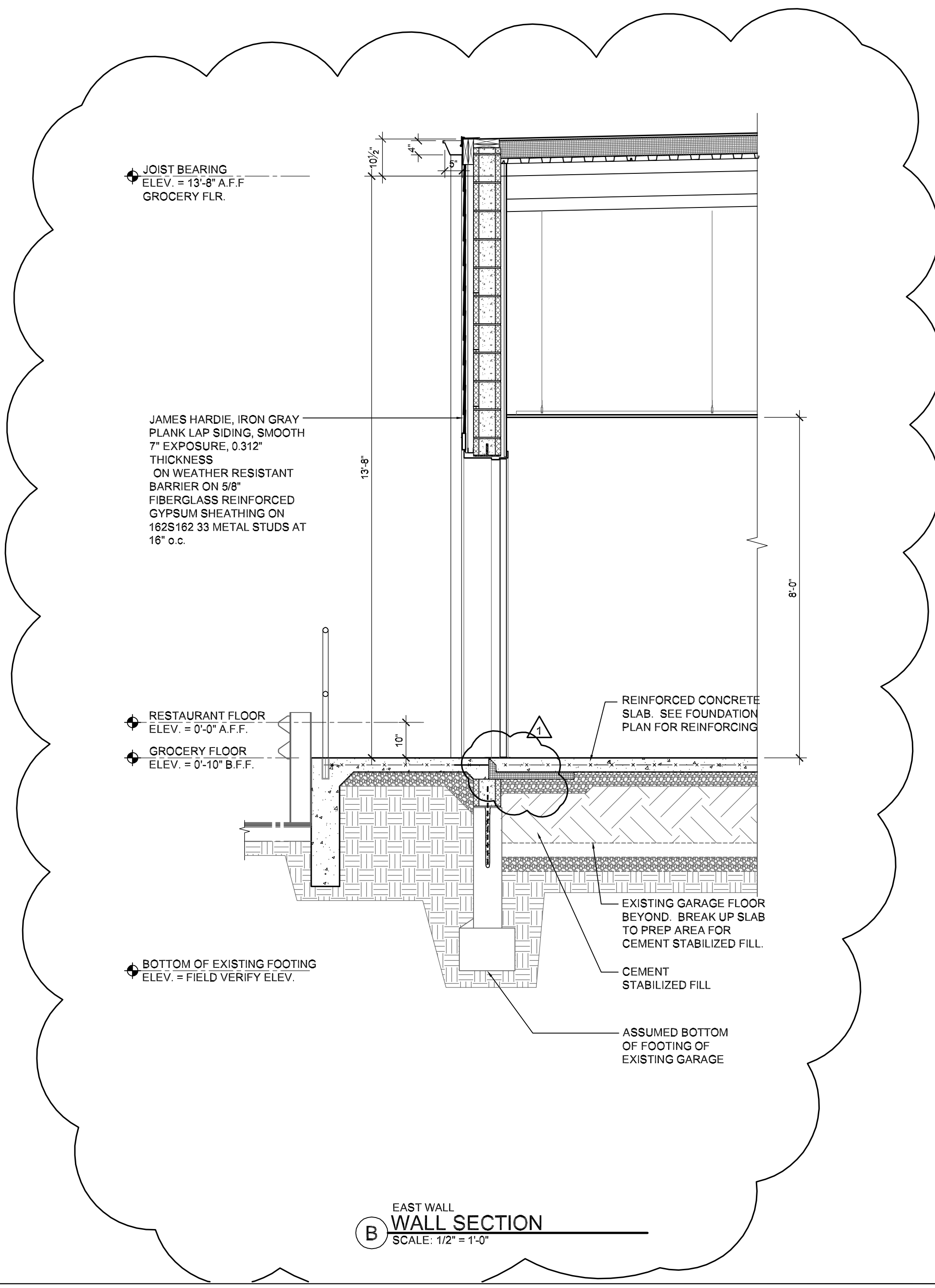
ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
 12420 MADISON AVE.  
 LAKEWOOD, OH 44107

JOB NO: 20-230  
 DATE: 05.22.2023  
 ISSUE: -  
 SHEET:

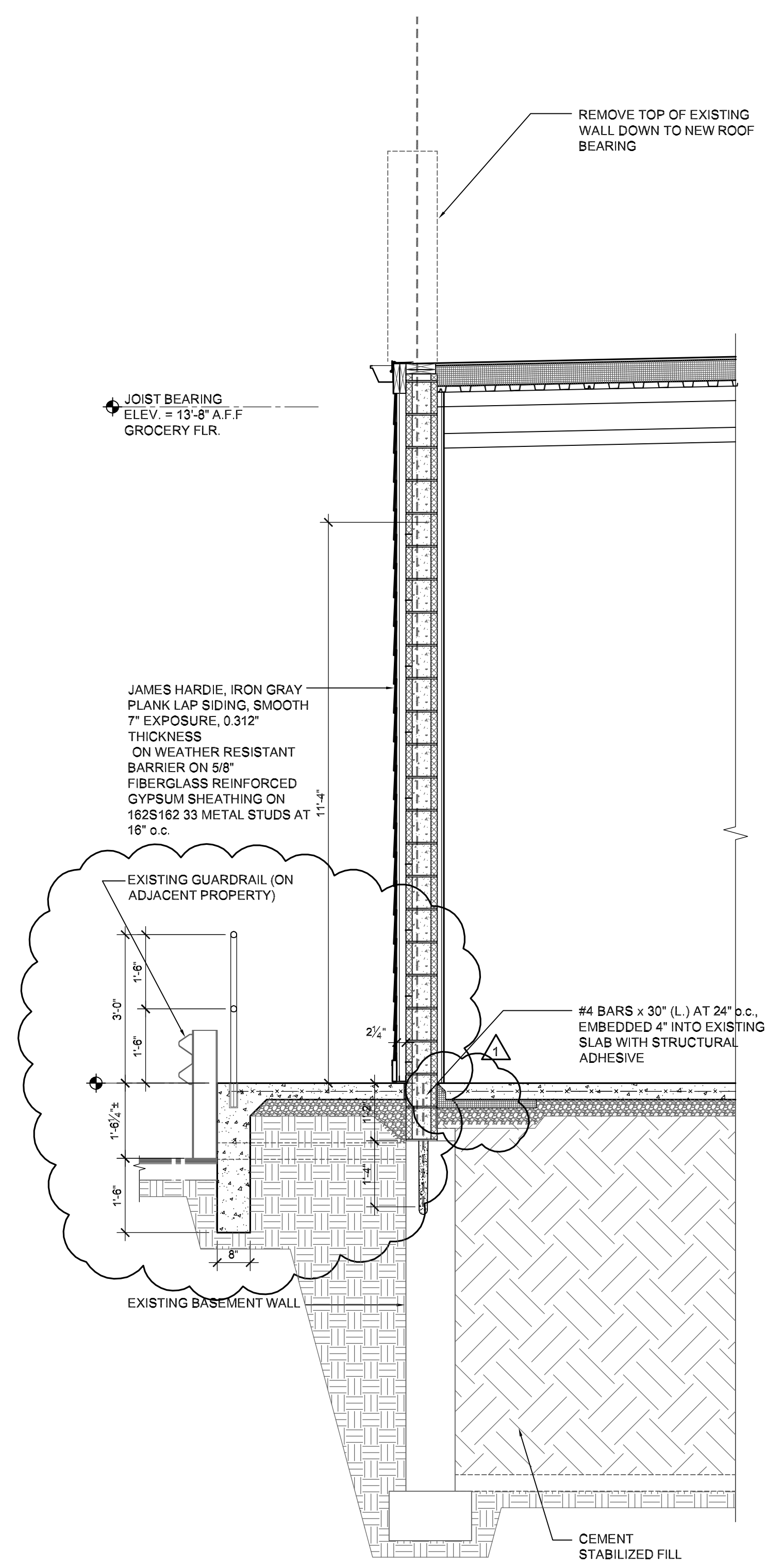
**A4.8**



**A** EAST WALL  
**WALL SECTION**  
 SCALE: 1/2" = 1'-0"



**B** EAST WALL  
**WALL SECTION**  
 SCALE: 1/2" = 1'-0"



**C** EAST WALL  
**WALL SECTION**  
 SCALE: 1/2" = 1'-0"

REV.	DATE
1	01.18.2024

**US ARCHITECTS**  
 22082 LORAIN ROAD  
 FAIRVIEW PARK, OHIO 44126  
 PHONE 216-403-9854 FAX 440-76-8897

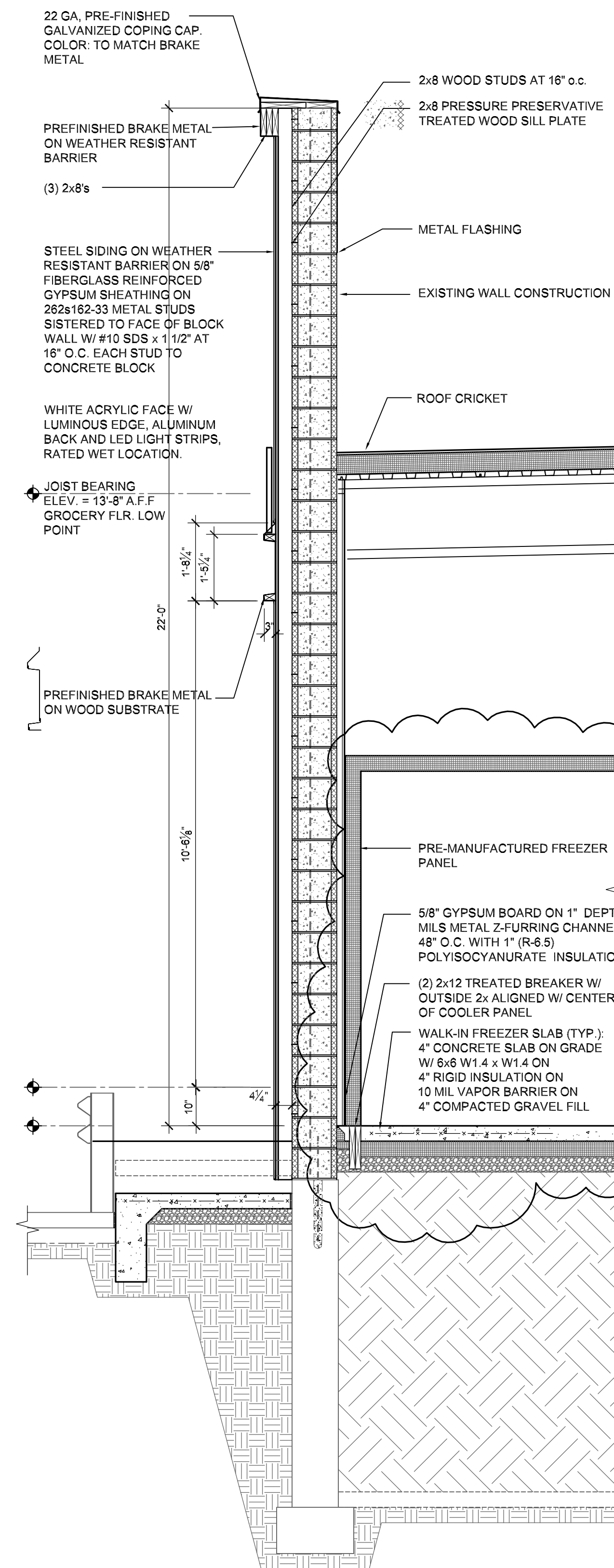


LEON S. SAMPAT  
 LICENSE # 13053  
 EXPIRATION DATE 12/31/2023

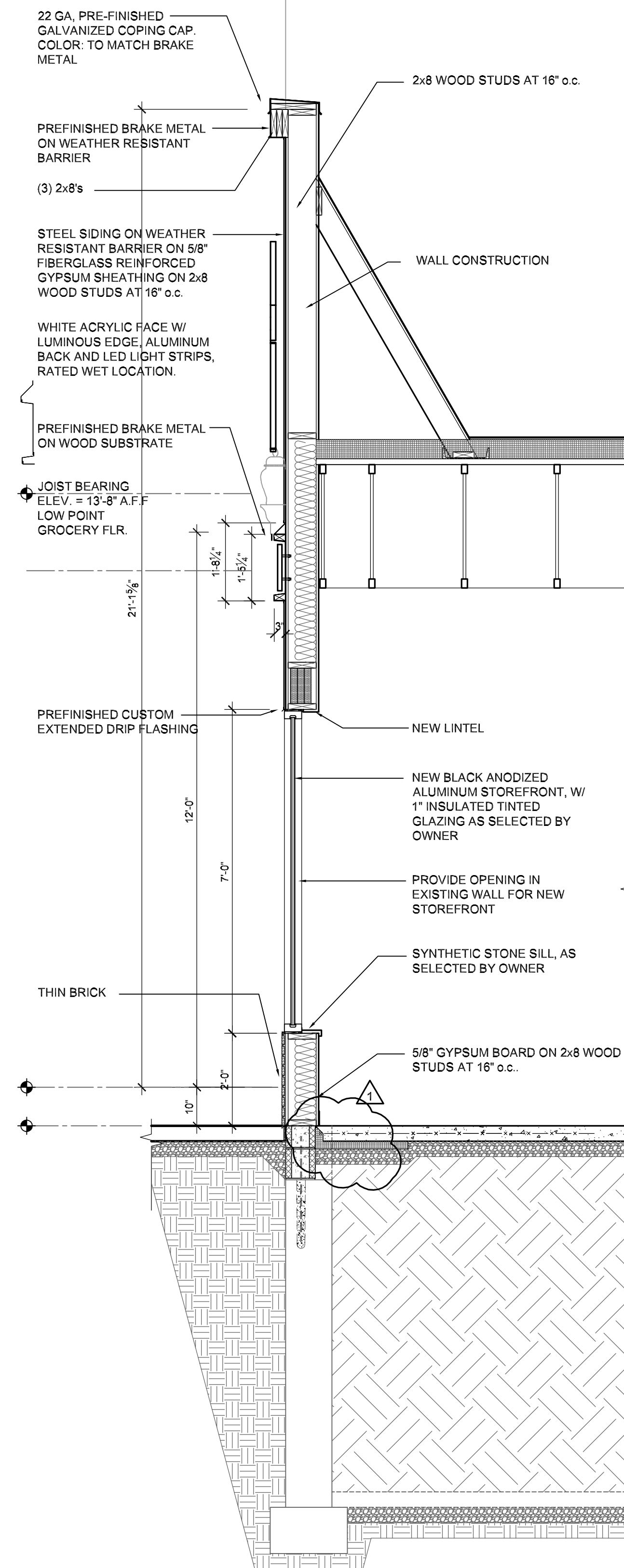
ADDITION AND ALTERATIONS FOR:  
**K-TOWN**  
 12420 MADISON AVE.  
 LAKEWOOD, OH 44107

JOB NO: 20-230  
 DATE: 05.22.2023  
 ISSUE: -  
 SHEET:

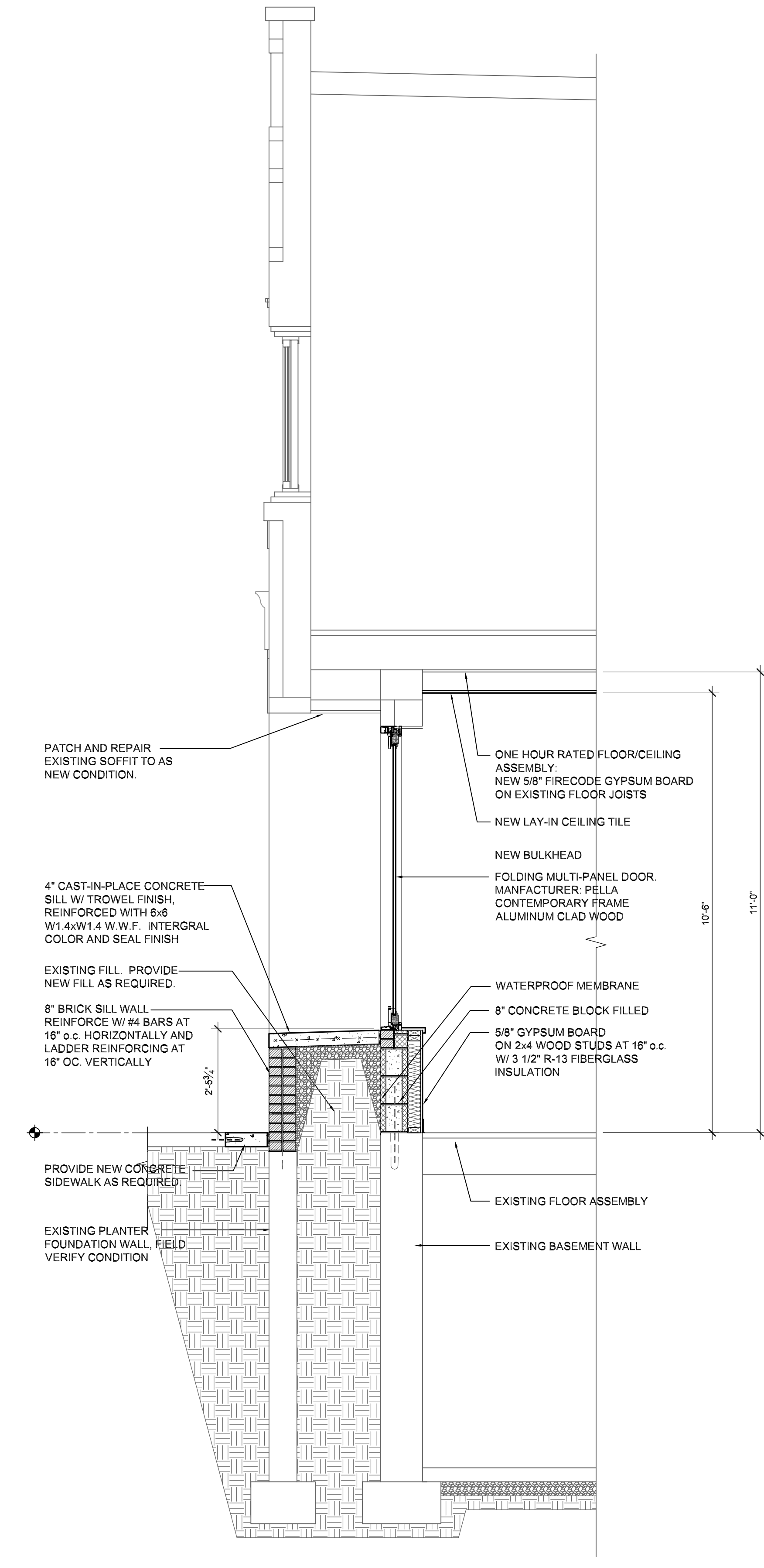
**A4.9**



**A EAST WALL WALL SECTION**  
 SCALE: 1/2" = 1'-0"



**B SOUTH WALL WALL SECTION**  
 SCALE: 1/2" = 1'-0"



**C SOUTH WALL WALL SECTION**  
 SCALE: 1/2" = 1'-0"