

**AMENDED AGENDA  
PLANNING COMMISSION  
February 1, 2018  
LAKEWOOD CITY HALL**

**PRE-REVIEW MEETING  
6:30 P.M.  
AUDITORIUM**

Review docket items

**REGULAR MEETING  
7:00 P.M.  
AUDITORIUM**

1. Roll Call
2. Approve the Minutes of the January 4, 2018 meeting
3. Opening Remarks

**NEW BUSINESS**

**DESIGNATE AS HISTORIC**

4. **Docket No. 02-03-18  
11730 Detroit Avenue  
Reidy Bros. & Flanigan Furniture Co.**

Lakewood Heritage Advisory Board, advisory to the Planning Commission, presents an application and recommendation to designate the property located at 11730 Detroit Avenue, Reidy Bros. & Flanigan Furniture Co., (PP# 312-33-016) as an historic property (HP), pursuant to Chapter 1134. The property is located in a C3 - Commercial, General Business district. (Page 3)

**OLD BUSINESS**

**CONDITIONAL USE**

5. **Docket No. 12-31-17  
13415 Madison Avenue  
Ohio Wellness LLC**

Fabio Salerno, Ohio Wellness LLC, applicant requests the review and approval of a Conditional Use in order to operate the Ohio Wellness LLC medical marijuana business; pursuant to Section 1129.02 - principal and conditional permitted uses. The property is located in a C2 - Commercial, Retail district. This item was deferred from the December and January meetings. (Page 22)

6. **Docket No. 12-32-17  
13415 Madison Avenue  
ATCL-5 dba: Curated Leaf**

Adam Thomarios, ATCL 5 dba Curated Leaf, applicant requests the review and approval of a Conditional Use in order to operate the ATCL 5 dba Curated Leaf medical marijuana business approximately 2,920 sq. ft. with 12 parking spaces on site; pursuant to Section 1129.02 - principal and conditional permitted uses. The property is located in a C2 - Commercial, Retail district. This item was deferred from the December and January meetings. (Page 29)

7. **Docket No. 12-34-17**  
**15408 Madison Avenue**  
**The Forest Lakewood**

Erik Vaughan, The Forest Lakewood, LLC, applicant requests the review and approval of a Conditional Use in order to operate The Forest Lakewood, LLC medical marijuana business; pursuant to Section 1129.02 - principal and conditional permitted uses. The property is located in a C2 - Commercial, Retail district. This item was deferred from the December and January meetings. (Page 34)

#### **NEW BUSINESS**

##### **LOT CONSOLIDATION**

8. **Docket No. 02-04-18**  
**11906 Madison Avenue**  
**Nelson Berry Property Holdings, LLC**

Dvora Nelson Jeter, Nelson Berry Property Holdings, LLC, applicant requests the review and approval for the consolidation of two parcels (PPN 315-15-026 and PPN 315-15-027), pursuant to section 1155.06 - procedures for lot consolidations and resubdivisions. The property is located in a C2 - Commercial, Retail district. (Page 40)

##### **CONDITIONAL USE**

9. **Docket No. 02-05-18**  
**18401 Detroit Avenue**  
**Molto Bene**

Gonzalo Egozcue, Gelato Star, applicant the request and approval for outdoor dining, pursuant to sections 1129.02 - principal and conditional permitted uses. The proposal will be reviewed on February 8, 2018 by the Architectural Board of Review. The property is located in a C2, Commercial and Retail district. (Page 48)

10. **Docket No. 02-06-18**  
**13457 Madison Avenue**  
**Cleveland Tattoo Company**

Tom Karakostas, applicant the review and approval for the operation of a tattoo shop, pursuant to section 1129.02 - permitted and conditional permitted uses; the property is located in a C3, Commercial and General Business district. (Page 62)

##### **ADD-ON**

##### **DESIGNATE AS ELIGIBLE**

11. **Docket No. 02-07-18**  
**13314 Detroit Avenue**  
**Detroit-Clarence Medical Building**

Lakewood Heritage Advisory Board, advisory to the Planning Commission, presents an application and recommendation to designate the property located at 13314 Detroit Avenue, Detroit-Clarence Medical Building, (PP# 312-31-052) as eligible to become an historic property (HP), pursuant to Chapter 1134. The property is located in a C3 - Commercial, General Business district. (Page 77)

##### **ADJOURN**

CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Reidy Bros. & Flanigan Furniture Co.  
Property Name  
11730 Detroit Avenue  
Property Address

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CITY OF LAKEWOOD  
Department of Planning and Development  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

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**Property Being Nominated:**

Historic Name (if applicable) Reidy Bros. & Flanigan  
Property Address 11730 Detroit Avenue  
Property Owner(s) Virginia Marti College of Art and Design, Dr. Milan Milasinovic, President  
Owner Address 11724 Detroit Avenue, Lakewood, Ohio 44107  
Phone 216-221-8584 Email mmilasinovic@vmcad.edu  
 Private Ownership       Public Ownership

**Description of Property Being Nominated:**

Residential (check all that apply; provide description as needed to fully communicate nomination intent)

- House    Garage    Apartment Building    Associated Land  
 Other: \_\_\_\_\_

Number of Contributing Buildings: \_\_\_\_      Number of Non-Contributing Buildings: \_\_\_\_

Commercial

- Office/Retail/Mixed Use    Religious    Institutional    Associated Land    Interior  
 Other: \_\_\_\_\_

Number of Contributing Buildings: 1      Number of Non-Contributing Buildings: 0

Historic District

- Residential    Commercial    Mixed Use

Number of Contributing Buildings: \_\_\_\_      Number of Non-Contributing Buildings: \_\_\_\_

Other

- Site    Structure    Object

Number of Contributing Buildings: \_\_\_\_      Number of Non-Contributing Buildings: \_\_\_\_

**Verbal Boundary Description:**

The building is located on the northeast corner of Detroit Avenue and Hird Avenue. The property is identified as Permanent Parcel Number 312-33-016.

CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Reidy Bros. & Flanigan Furniture Co.  
Property Name  
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**Nomination Prepared By:**

Name Heather Rudge, President, Historic Preservation Group, LLC, for Virginia Marti College of Art and Design  
Address 2425 West 11<sup>th</sup> Street, Suite 4, Cleveland, Ohio 44113  
Phone 216-302-3510 Email heather@hpgroup-llc.com  
Date December 6, 2017

**Historic Functions**

(List known uses over the building's/district's history)

Commercial/Retail

**Current Functions**

(List present building uses)

Vacant

**Architectural Description:** Describe the historic appearance and current appearance and condition of the property/district. Use Continuation Sheets as needed.

*This designation applies only to the exterior of the building. This designation does not include any interior spaces.*

The Reidy Bros. and Flanigan Furniture Co. building is located on the northeast corner of the intersection of Detroit Avenue and Hird Avenue (Photos 1 and 2). The three-story building, including a basement, consists of red brick walls with a structural system of iron columns and wood members. It was built in two phases. In 1910, a two-story building was constructed, as well as a two-story, wood-sided shipping department wing on the Hird Avenue frontage. In 1919 a third story was added to the building. The wood-sided shipping department wing was expanded in size, but remained two-stories in height.

**Detroit Avenue Frontage**

The brick walls of the main building are laid in a Flemish stretcher bond pattern, and the building is accented with stone details.

On the Detroit Avenue frontage, the original storefront configuration remains visible: a recessed central entrance flanked by window display areas. A 1933 image showed that the building had fabric awnings across the first story (Figure 1). On the second floor, three large plate glass windows with transoms span the width of the building. The windows have narrow stone sills incorporated into a continuous stone band, plus standing brick lintels. Centered above each plate glass window is a raised, diamond-shaped panel of bricks. The entire window assembly and decorative elements are outlined with a single band of raised header bricks.

The six tall windows on the third floor, now boarded, were one-over-one pane double-hung wood windows with large stone lintels edged in raised bricks. Design details repeat from the second floor, including the narrow stone window sills forming a continuous stone band, the diamond-shaped brick panel feature, and the overall outline of header bricks.

The parapet contains corbeled brickwork and stone coping. Four narrow projecting brick and stone elements punctuate the roofline. A 1933 image showed stone or concrete spheres mounted atop these elements at the

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HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Reidy Bros. & Flanigan Furniture Co.  
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parapet corners (Figure 1). A stone tablet above the second floor windows is inscribed "1910," and a stone tablet in the parapet is inscribed "- REIDY -."

The Detroit Avenue facade storefront alterations and window boarding occurred from the late 1970s onward.

**Hird Avenue Frontage**

On the Hird Avenue frontage, several Detroit Avenue design details continue, including stone bands at the second and third floors, diamond-shaped brick panels, plus corbelled brickwork and stone coping in the parapet. The Hird Avenue frontage contains six bays (Photos 2 and 3), delineated on the second and third floors by narrow bands of header bricks. On the first floor, the bays are implied by stone tablets and stylized downward pointing arrow features executed in raised brickwork.

The Detroit Avenue façade design is repeated on the southernmost bay of the Hird Avenue frontage, nearest to Detroit Avenue, highlighting the building’s location at an intersection. The other five bays on Hird Avenue form a symmetrical design. The window openings have narrow stone sills and wide stone lintels. The first and fifth bays contain one window on each of the three floors, while the middle three bays contain a pair of windows on each floor. As the building site accommodates the downward slope of the area to the north, several basement windows appear, also topped with large stone lintels. A tall, square chimney is located at the northwest corner of the building.

On the east elevation of the building, only the third story is visible above the abutting two-story building. The third story is a windowless brick wall.

On the north end of the building, the original Reidy Bros. shipping department wing has changed over time. The exterior was originally wood siding, but was altered in the mid-20<sup>th</sup> century with the installation of sheets of asphalt siding over the original siding (Figure 2). In the 1990s, the west and north elevations were altered again. Vinyl siding was installed over the original wood siding, and one of two overhead doors and the second floor double-hung windows were covered over, resulting in the current windowless appearance and one remaining overhead door (Photo 3). The asphalt siding remains on the east elevation of the shipping department wing (Photo 4).

**Significant Dates or Periods of Construction**

**Architect/Builder**

1910, 1919  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

1910: Architect: Edwin J. Schneider  
1910: General Contractor: A. Carey & Son  
(Plain Dealer: January 23, 1910)  
\_\_\_\_\_  
1919: Contractor: G. A. Rutherford  
(Building Permit #7768 – June 10, 1919)  
\_\_\_\_\_

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**Narrative Statement of Significance:**

Explain the historic and architectural significance of the property/district to Lakewood's history. Statement can include association with events that have made a significant contribution to the broad patterns of our history; association with lives of persons significant in our past; or property that illustrates the distinctive characteristics of a type, period, or method or construction; or is noted for its craftsmanship or architectural design. Include periods of significance (i.e. 1905-1920) and specific significant dates. Use Continuation Sheets as needed.

**Summary**

The Reidy Bros. and Flanigan Furniture Co. represents an early and long-tenured retail business in Lakewood, Ohio that met the furniture and home furnishing needs of a rapidly growing streetcar suburb during the first half of the twentieth century.

**Period of Significance**

The Period of Significance is 1910 – 1967.

The Period of Significance begins in 1910, when the Reidy family constructed their building to house their new business. The Reidy family sold the business to another furniture store/department store chain (Bing) in 1954. Bing closed the Lakewood store in 1961. Factory Furniture, a discount furniture store, opened in the building in 1964 and closed in 1972. The Period of Significance ends in 1967, a customary measure representing fifty years prior to the year of this document.

Vedda Litho bought the building in 1974. Building permits support that the existing exterior alterations to the original building occurred during Vedda's tenure.

**Elaboration**

Lakewood, Ohio, originally known as East Rockport Township, is the first suburb directly to the west of Cleveland along Lake Erie. In the mid-1800s, East Rockport Township's flourishing commercial agriculture enterprises demanded good roads and reliable transportation to get products to market in Cleveland. As the value of land increased, the sons and grandsons of the founding fathers discovered that real estate development was more lucrative than farming. Jim and Susan Borchert, in *Lakewood, the First 100 Years*, noted that "sensing the possibilities of profit by converting farms into suburban home lots, a group of 103 prominent residents and land owners petitioned the county commissioners for incorporation."<sup>1</sup> In 1889, East Rockport, population approximately 400, became the hamlet of Lakewood. Farms were subdivided, lots platted, and fine homes built and sold with development occurring on newly paved side streets north and south of Detroit Avenue.

Expanding modes of transportation, be it the dinky railroad, streetcar, or later the automobile, enticed many Clevelanders to visit, and ultimately move to Lakewood. Streetcar service first extended westward beyond Cleveland into Lakewood during the 1890s and eventually existed on three east-west thoroughfares. Service on the Detroit Avenue Line began in 1893, followed by the Clifton Boulevard Line (1902) and Madison Avenue Line (1917). The completion of these streetcar lines profoundly affected Lakewood's growth. The population jumped from under 500 persons in 1890 to over 15,000 in 1910, and reached 70,000 in 1930. The streetcar also became an essential means of daily transportation. For example, at its peak in 1920, the Detroit line, extending from the west end of Lakewood to Cleveland's Public Square carried 19 million riders. Detroit and Madison Avenues evolved as prominent locations for businesses, while Clifton developed as a residential boulevard. The numerous

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<sup>1</sup> James and Susan Borchert, *Lakewood, the First 100 Years*, p 106.

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intersecting side streets of houses, forming an overall grid pattern in the city, provided easy walking access for residents to the streetcars and businesses.

Beginning in the mid to late 1800s, Detroit Avenue continued its transition from a street with a mix of stately residences and well-tended farms to a bustling commercial thoroughfare with shops, businesses, churches, and other institutions. Jim and Susan Borchert, in *Lakewood, the First 100 Years*, noted that in addition to this highly dispersed commercial pattern along the length of Detroit Avenue, Lakewood also developed two commercial nodes. The first area was Warren Road and Detroit Avenue, and the second area centered around the intersection of Detroit Avenue and West 117<sup>th</sup> Street. The latter area “spilled across both Lakewood and Cleveland and lined both sides of Detroit and West 117<sup>th</sup> Street; it even extended east along Clifton Boulevard. Young’s Department Store in Cleveland helped cement this location, as did Reidy’s Furniture Store in Lakewood.”<sup>2</sup>

The U.S. Decennial Census showed that Lakewood’s population grew to 3,355 persons by 1900. Lakewood became a village three years later. By 1910, Lakewood’s population increased about five-fold, to 15,181. Lakewood was incorporated as a city in 1911. Into the developing community of Lakewood came the Reidy brothers, intent on capitalizing on the growing market supplied by Lakewood’s housing construction boom and its burgeoning population. The wave of new residents who moved to the city over the next four decades and built homes or occupied apartments on the main thoroughfares of Clifton Boulevard, Detroit Avenue, and Madison Avenue, or on the north-south streets developed off of them, needed furniture and other accouterments to furnish their new homes – and Reidy Bros. & Flanigan met their needs.

In October, 1909, brothers George F. Reidy (1883-1923), John W. Reidy (1875-1936), and Lewis C. Reidy (1887-1951) paid \$3,150 for a parcel of land at the northeast corner of Detroit Avenue and Hird Avenue in the east end of Lakewood, less than one block west of West 117<sup>th</sup> Street. John Reidy already had experience in the furniture industry. In 1910 he relocated from Youngstown, Ohio, where he was a partner in a furniture company.

The brothers hired architect Edwin J. Schneider (1875-1947) to design a two-story retail building, which opened in 1910. At the rear of the retail store was a shipping department, plus an auxiliary building used as a stable to house horses that pulled Reidy delivery vehicles (Figure 3). Schneider, who lived on Cleveland’s near west side, is best known for designing buildings for the Cleveland Catholic Diocese, including Blessed Sacrament School (1904), St. Catherine Roman Catholic Church (1917), and co-designing St. Colman Roman Catholic Church (1914-1918). In Lakewood, he designed St. James Hall (1913) on the campus of St. James Roman Catholic Church.

The original name of the firm was Reidy Bros. & Flanigan. The fourth partner was William J. Flanigan (1868-1911), a brother of the Reidy boys’ mother. Flanigan unexpectedly died in December, 1911, but his name remained on the business until the early 1930s, when the name was shortened to “Reidy Bros.”

The business was immediately successful, selling a wide range of furniture and actively advertising. Reidy Bros. carried goods from a range of furniture makers, such as the Grand Rapids, Michigan firms Lifetime and Widdicomb, along with Wisconsin-based Simmons Bedding. As an example, with Lifetime, Reidy Bros. partnered for an advertising campaign during 1912-1913 that included at least thirteen display ads in *The Plain Dealer*. The ads pictured pieces of furniture in a variety of styles, identified as Colonial, English, and Arts & Crafts (Figure 4). Other advertisements featured porch furniture, dining room sets, bedroom sets, brass beds, and rugs. Several of the advertisements focused directly on new homeowners in Lakewood and the adjacent west side of Cleveland, discussing the benefits of durable quality furniture for “Young Folks Going to Housekeeping.” Reidy Bros. quickly

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<sup>2</sup> James and Susan Borchert, *Lakewood, the First 100 Years*, p 75.

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began to refer to themselves in advertisements as “the Big West End Store,” and touted their location away from the department stores in downtown Cleveland: “You get the lowest prices in the city at this store, because our suburban location and small expense permit us to sell for less.”

Over the next twenty years, Lakewood experienced a tremendous growth in population, households, and new housing units. By 1920, the population swelled to 41,732 persons, and by 1930 the population burgeoned to 70,509 persons. During this period, the continued growth of Lakewood and the west side of Cleveland was coupled with the growth of Reidy Bros. & Flanigan. In 1919, the Reidy brothers expanded their building. A third story, measuring about 40 x 80 feet, was constructed, and the shipping department wing was enlarged (Figure 5). A January 26, 1922 *Plain Dealer* article announced that the brothers had purchased existing buildings on Detroit Avenue immediately to the east of their location for possible future expansion – but which did not occur. The company expanded their offerings to include Hoover vacuum cleaners, as well as Majestic and Atwater Kent radios. For the holiday season in 1928 they advertised “Furniture and Radio – the Ideal Christmas Gifts” (Figure 6). By the early 1930s, Reidy Bros. & Flanigan carried appliances, including various brands of washing machines, Magic Chef ranges, and Kelvinator refrigerators.

Reidy Bros. & Flanigan also participated in furniture marketing events and became leaders in the retail furniture industry in Greater Cleveland. The company participated in the annual Furniture Show Week during the 1920s, the Better Homes Exposition (1923), and provided the furniture for the Bishop Electrical Home development on Bunts Road in Lakewood (1922). Lewis Reidy served as president of the Cleveland Retail Furniture Dealers Association (1927) (Figure 7) and vice president (1937). He was also a member of the board of directors of the Detroit-W. 117<sup>th</sup> Street Businessmen’s Association (1934).

In 1936, Lewis Reidy remained active as the only surviving founding member of the firm, and the company continued to offer a variety of merchandise, new products, and involve a second generation of the Reidy family in the business. By the late 1930s, Reidy Bros. became recognized as Lakewood’s oldest retail establishment and consistently promoted this status in *Lakewood Post* articles noting the store’s anniversaries. An advertisement noted that the company continued to offer the latest furniture trends, from the brass beds and Brussels Carpets of “thirty years ago,” to the “smart, colorful, modern” or “lovely and graceful eighteenth Century Furniture” available in 1939 (Figure 8). The same advertisement also highlighted the longevity of the business and customer loyalty, noting that several generations of women from the same family are – or could be – customers. Another trendsetting example was that in 1947 Reidy Bros. signed on as one of the original General Electric television dealers in Greater Cleveland, even though a November 16, 1947 *Plain Dealer* advertisement noted that television programming was not yet available in Cleveland.

Lewis Reidy died in 1951, and operations were taken over by his nephews, Daniel F. Reidy and Jerome G. Reidy (sons of John W. Reidy). Jerome Reidy was the general manager, as well as president of the Detroit-W. 117<sup>th</sup> Street Businessmen’s Association. His unexpected death at age 46 in April, 1954 prompted the Reidy family to sell the family business. Daniel F. Reidy continued to manage the Reidy Brothers funeral home on Detroit Avenue in Cleveland.

In September, 1954 Bing’s announced a buyout of the Reidy Bros. store. Bing’s had a downtown Cleveland store on Prospect Avenue, as well as locations in Coshocton, Mansfield, Sandusky, Shelby, Warren, and Zanesville. Bing closed the Lakewood store in 1961. Factory Furniture, a discount furniture store, opened in the building in 1964 and closed in 1972. Vedda Litho, a printing company, purchased the building in 1974. Vedda built a new facility on Berea Road in 2005 and vacated the Detroit Avenue building. The building has been vacant since that time.

CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Reidy Bros. & Flanigan Furniture Co.

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Property Address

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**Major Bibliographical References:**

**Documentation on file:** Nomination on file with the City of Lakewood Planning and Development Department.

**Primary location of additional data:**

- Lakewood Historical Society
- Lakewood Public Library
- Cleveland Public Library

**Bibliography**

Cite the books, articles, and other sources used in preparing this form.

Borchert, James and Susan, *Lakewood, the First 100 Years*, 1989.

City of Lakewood Building Department – address files.

City of Lakewood Heritage Advisory Board, *Streetcar Transportation in Lakewood*, 2007.

Cleveland Public Library – online Research Database – The Plain Dealer.

Lakewood Historical Society Files.

Lakewood Public Library – Cleveland City Directories.

**Additional Documentation:**

**Photographs and Figures**

Photo 1: South Elevation, 2017.



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Photo 2: South and West Elevations, 2017.



Photo 3: North and West Elevations, 2017.



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Photo 4: North and East Elevations, 2017.



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Figure 1: Detroit Avenue looking west toward Hird Avenue, 1933. Source: Cleveland Public Library, Photo Collection.



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Figure 2: North and West Elevations, 1978. Source: Cleveland Memory.

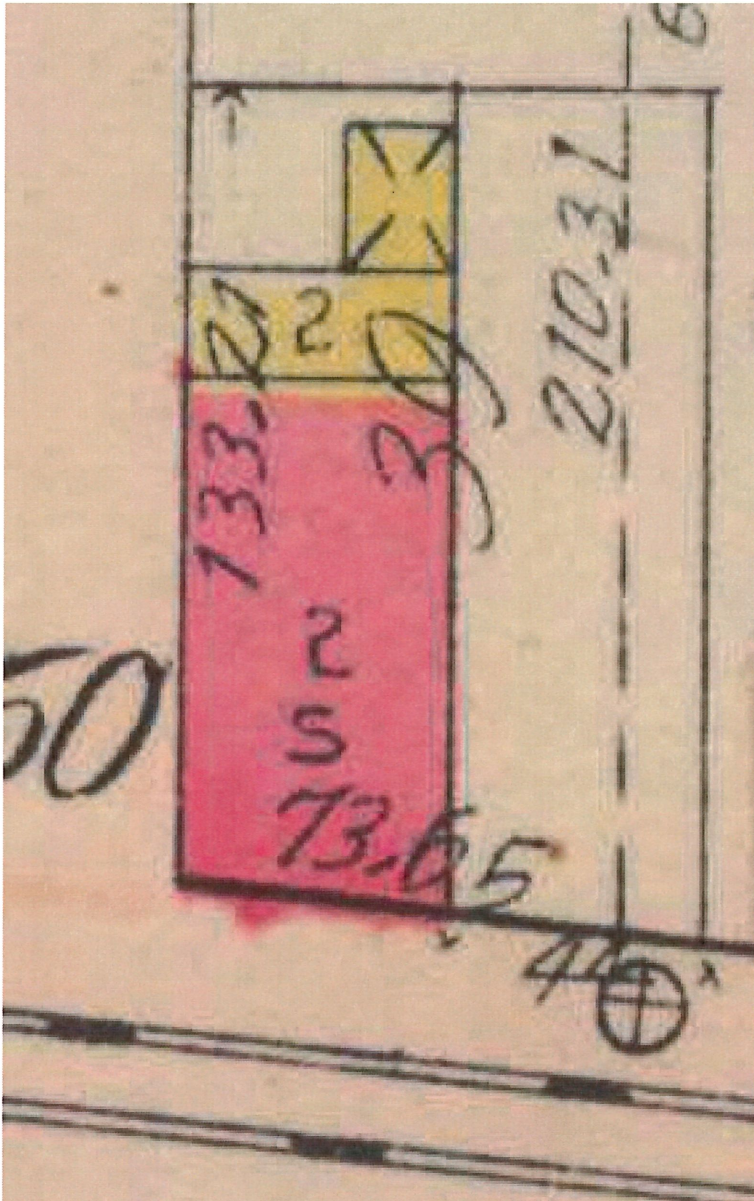


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Figure 3: Hopkins Plat Map, 1912, volume 2, plate 25. Source: Cleveland Public library online.



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Figure 4: Reidy Bros. & Flanigan advertisement, Lifetime Furniture, Plain Dealer, October 20, 1912. Source: Cleveland Public Library online.

**LIFE TIME FURNITURE**

# Wonderful Value

**\$17.50** FOR THIS MASSIVE ARTS AND CRAFTS TABLE; worth \$25.00



**\$17.50**

All quartered oak, made as solid as a rock. Size 28x42 inches, with 4 book shelves and patent desk drawer. The drawer is fitted with large writing bed, ink well, stationery compartment and pen rack. It's mighty nobby and a useful table. Our little expense and careful management help you to lower prices on fine furniture.

**\$15**



**\$15** ENGLISH FIRE-SIDE ROCKER—Covered with genuine leather, spring seat and back; \$20.00 value.

## Young Folks Going to Housekeeping

The average young couple planning housekeeping have their dreams of an ideal home and their happiness would be complete could that dream be realized. This store affords great opportunities to those just starting. Furniture of finest quality made to last and wear is displayed here at prices which mean a big saving of money to you. Come and see. We are always pleased to show you whether you buy or not. **OPEN EVENINGS.**

# Reidy Bros. & Flanigan

**11730-32-34 DETROIT AVENUE**

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Figure 5: Sanborn Fire Insurance Map, 1953, volume 12, sheet 224. Source: Cleveland Public Library online.



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Figure 6: Reidy Bros. & Flanigan advertisement, *Plain Dealer*, December 2, 1928. Source: Cleveland Public Library online.

**MAKE IT A FURNITURE CHRISTMAS**

# Furniture and Radio

*the Ideal Christmas Gifts*

**Buy Your CHRISTMAS Furniture and Radio at CLEVELAND'S FURNITURE HEADQUARTERS**

It isn't every day that 19 Leading Cleveland Merchants co-operate at CHRISTMAS! There must be a good reason why the 19 undersigned merchants are now doing this very thing!

**THERE IS—and here it is!**

These 19 Furniture Merchants BELIEVE that FURNITURE and RADIO make Ideal Christmas Gifts—chiefly because they're more ENDURING than the usual gift—more PERMANENT in their service to the recipient—a reminder of the giver for YEARS instead of days or weeks. And they're all ready and waiting to MAKE GOOD on any and all of these statements.

**CALL TOMORROW on any of the undersigned—TOMORROW TOMORROW—Before the Christmas rush begins—TOMORROW**

<b>Fleming Furniture Co.</b> 13701 St. Clair Ave. Open Evenings	<b>Geo. C. Lang</b> 9437 Lorain and 12235 Lorain Ave. Open Monday, Thursday, Saturday Evenings	<b>Kronheim's</b> 2041-43 East 55th St. 8211-23 Broadway Open Evenings 7:30-9
<b>J. L. Goodman Furniture Co.</b> Open Tuesday, Thursday, Saturday Evenings 8356 Broadway	<b>Leopold Brothers Furn. Co.</b> 3901 Lorain Ave. Open Evenings	<b>Altman's</b> 15012 St. Clair Ave. Open Evenings
<b>The Henke Furniture Co.</b> 3590 Lorain Ave. Open Evenings	<b>Neuberger Furn. Shops, Inc.</b> 8210 Lorain Ave. Open Evenings	<b>Antisdale-Mathys Co.</b> 3784 West 25th St. Open Monday, Thursday, Saturday Evenings
<b>C. L. Kaufman &amp; Sons</b> 3255 West 25th St. Open Monday, Thursday, Saturday Evenings	<b>Reidy Bros. &amp; Flanigan</b> 11730 Detroit Ave. Open Monday, Thursday, Saturday Evenings	<b>John Meckes Sons</b> West 25th & Carroll Ave. Open Evenings
<b>The S. Kohn &amp; Sons Co.</b> St. Clair and East 106th St.	<b>Wm. Wischmeier &amp; Son</b> 2560 W. 25th St. Open Evenings	<b>Clifton Furniture Co.</b> Madison at W. 96th St. Open Evenings
<b>Royal Furniture Co.</b> East 9th and Prospect, Ross Bldg. 4271 Pearl Rd. Open Evenings	<b>Young's</b> 10403 Superior Ave. 14900 Detroit Ave. Open Evenings	<b>Conrad Baisch-Kroehle Co.</b> 6706 Detroit Ave. 2600 Euclid Ave. 352 Broad St., Elyria, O. 7318 Wade Park Ave. 11320 Superior Ave. Open Evenings
<b>Benesch Federman &amp; Co.</b> 5432 Broadway Open Evenings Except Wednesdays		

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Figure 7: Lewis Reidy portrait, *Plain Dealer*, April 17, 1927. Source: Cleveland Public Library online.

*Stress "Home Comfortable"  
Idea in Furniture Week*



LEWIS REIDY  
PRESIDENT



MOFFETT  
ELTON  
VICE PRES

FURNITURE SHOW  
OPENS NEXT WEEK

Dealers' Association Com-  
pleting Plans for  
Local Displays.



MILTON  
BENESCH  
SEC. - TREAS

With Spring Furniture Week starting April 25, officers and directors of the Cleveland Retail Furniture Dealers' Association are rushing


Reidy Bros. & Flanigan Furniture Co.  
Property Name  
11730 Detroit Avenue  
Property Address

Figure 8: Reidy Bros. advertisement, Lakewood Post, July 14, 1939. Source: Lakewood Historical Society files.

**Reidy Bros. Co.**  
FINE FURNITURE

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Many Happy Returns of the Day  
TO LAKEWOOD—ON HER "FIFTIETH BIRTHDAY"!



from LAKEWOOD'S OLDEST STORE

• • • •

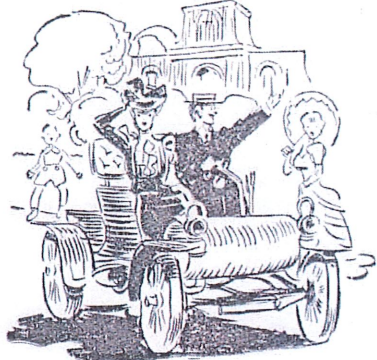
Times Change—But People Don't

When Grandma played Croquet thirty years ago, and Grandpa whizzed along at fifteen miles per hour in his horseless Carriage—REIDY BROS. sold them their brass beds and their Brussels Carpets.

TO THE MODERN AGE

The same friendly, honest dealing and good stylish merchandise that pleased Grandma, brings Daughter and Granddaughter to REIDY BROS. for her smart, colorful, modern or her lovely and graceful eighteenth Century Furniture.

Grandma Was Wise - - -  
- - - Are You?



USE OUR BUDGET PLAN

**Reidy Bros. Co.**  
11730 DETROIT AVENUE

OPEN  
AN  
ACCOUNT

OPEN MON.,  
THURS., SAT.  
EVENINGS

CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Reidy Bros. & Flanigan Furniture Co.  
Property Name  
11730 Detroit Avenue  
Property Address

---

**Considerations for Nomination:** (Check all that apply to the property)

- (1) Has character, interest or value as part of the heritage of the City, region, State of Ohio or United States;
- (2) The location is the site of a significant historic event;
- (3) Associated with a person or persons who significantly contributed to the historic development of the City;
- (4) Exemplifies the cultural, economic, social, archeological, or historic heritage of the City;
- (5) Reflects the environment of a group of people in an era of history characterized by a distinctive architectural style;
- (6) Reflects distinguishing historical characteristics of a group of people in an era of history characterized by a distinctive architectural style;
- (7) The work of an architect or master builder whose individual work has influenced the development of the City;
- (8) Embodies elements of architectural design, detail, materials or craftsmanship which represent a significant architectural style or technological innovation;
- (9) Possesses a unique location or singular physical characteristics representing an established and familiar visual feature of a neighborhood, community or the City;
- (10) The likelihood of yielding information important to the understanding of prehistory or history.

**Additional Considerations:** (Must meet both for eligibility)

- (1) Must have a high degree of historic integrity, without excessive loss of architectural or historic character.
- (2) Must have an internal historic cohesiveness in the sense of a shared common history of its inhabitants, historical development, a shared architectural style or design, or a body of architecture illustrating the evolution of architectural styles over a period of time.


**Lakewood Heritage Advisory Board Review Date:** December 7, 2017    **Action:** Approved

**Date of Planning Commission Review (Eligibility):** \_\_\_\_\_    **Action:** \_\_\_\_\_

**Date of Planning Commission Review (Designation):** \_\_\_\_\_    **Action:** \_\_\_\_\_

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Heritage Advisory Board recommended approval of the nomination and design guidelines (if applicable) to the Planning Commission.

 \_\_\_\_\_    December 7, 2017  
Signature of Heritage Advisory Board Chair    Date

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Planning Commission approved the designation of the historic property or historic district.

\_\_\_\_\_  
Signature of Planning Commission Chair    Date

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**CITY OF LAKEWOOD**  
**HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS**

Reidy Bros. & Flanigan Furniture Co.

Property Name

11730 Detroit Avenue

Property Address

---

Notice of designation was forwarded to the following:

- Mayor's Office                      Date: \_\_\_\_\_
- City Council                              Date: \_\_\_\_\_
- Architectural Board of Review      Date: \_\_\_\_\_
- Building Department                  Date: \_\_\_\_\_
- Other: \_\_\_\_\_                      Date: \_\_\_\_\_

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL17-002171  
DOCKET No. 12-31-17  
FEE PAID \$150.00 js check

**APPLICATION**  
**LAKWOOD PLANNING COMMISSION**

Property Address 13415 Madison Avenue Business/Tenant Name Ohio Wellness LLC  
Property Owner Name Sunshine Development Properties Owner Phone 216-228-8833 ext. 117  
Owner E-mail ta@unitedreaders.com Zoning C-2 Parcel Number 315-16-009  
Project Summary Medical Marijuana Dispensary

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)  
 Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)  
 Planned Development – (\$500)  
 Similar Use – (Commercial \$50, Residential \$25)  
 Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)  
 Variance – (Commercial \$50, Residential \$25)



**Submission Requirements:**

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Fabio Salerno Company Ohio Wellness LLC  
Applicant Address: 7603 Old Rockside Road, Independence, OH 44131  
Phone: 216-328-9278 Fax: 216-447-9844 E-mail: tom@landsongeng.com  
Signature: *Fabio Salerno* Date: 11.13.17

OFFICE USE ONLY: Application Reviewed and Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

File History: \_\_\_\_\_

Bldg. Dept. Remarks: \_\_\_\_\_

ORD. \_\_\_\_\_ SECTION \_\_\_\_\_

**AUTHORIZATION FOR PROPERTY ACCESS**

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? \_\_\_\_\_ Yes  No

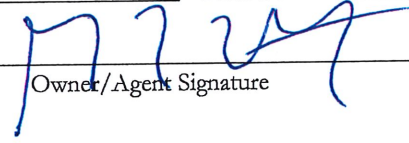
**Please Print or Type:**

Owner/Agent Name: Sunshine Development Corporation Properties

Property Address: 13415 Madison Ave., Lakewood, OH 44107

Owner/Agent Phone: 216-228-8833

Tenant Name George T. Anthony, Member Tenant Phone Attorney 216-225-9394

  
Owner/Agent Signature

**2017 Calendar  
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-21-16	Thursday	01-05-17	Thursday	01-05-17
February	Wednesday	01-18-17	Thursday	02-02-17	Thursday	02-02-17
March	Wednesday	02-15-17	Thursday	03-02-17	Thursday	03-02-17
April	Wednesday	03-22-17	Thursday	04-06-17	Thursday	04-06-17
May	Wednesday	04-19-17	Thursday	05-04-17	Thursday	05-04-17
June	Wednesday	05-17-17	Thursday	06-01-17	Thursday	06-01-17
July	Wednesday	06-21-17	Thursday	07-06-17	Thursday	07-06-17
August	Wednesday	07-19-17	Thursday	08-03-17	Thursday	08-03-17
September	Wednesday	08-23-17	Thursday	09-07-17	Thursday	09-07-17
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November	Wednesday	10-18-17	Thursday	11-02-17	Thursday	11-02-17
December	Wednesday	11-22-17	Thursday	12-07-17	Thursday	12-07-17
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18

**Pre-Review Meetings** for the Commission commence at 6:30 P.M. in the **Council Conference Room**.

**Review Meetings** commence at 7:00 P.M. in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants or a representative (designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review.

23

November 13, 2017

City of Lakewood  
Planning and Development  
12650 Detroit Ave.  
Lakewood, Ohio 44107

**Re: Dispensary Application at 13415 Madison Ave., Lakewood, Ohio**

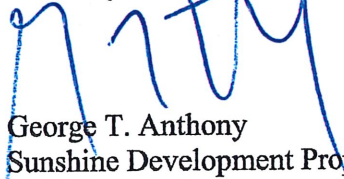
To Whom It May Concern:

Sunshine Development Properties is the owner of 13415 Madison Ave., Lakewood, Ohio and I am a member of the Corporation.

Sunshine Development Properties hereby gives Ohio Wellness LLC authorization to apply to the City of Lakewood for a conditional use permit for the purpose of operating an Ohio Medical Marijuana Dispensary.

If you have any questions, please do not hesitate to contact me at 216-228-8833.

Sincerely,



George T. Anthony  
Sunshine Development Properties

24

OHIO WELLNESS LLC.

7603 Old Rockside Rd  
Independence, OH 44131  
(216)328-9278 tel.  
(216)447-9844

## MEDICAL MARIJUANA DISPENSARY Written Description of Request

<b>SUBMITTED TO:</b> The City of Lakewood	<b>DATE:</b> 11/12/2017
<b>PROJECT:</b> Medical Marijuana Dispensary	<b>LOCATION:</b> 13415 Madison Avenue Lakewood, OH

Ohio Wellness LLC is applying to the Ohio State Board of Pharmacy for a Medical Marijuana Dispensary license at 13415 Madison Avenue, Lakewood, Ohio. The parcel is .247 acres with an existing building that is 3200 square feet and will require a buildout to meet the State of Ohio's requirements for a dispensary. The attached floor plan and security diagram are detailed and drawn to scale.

Ohio Wellness LLC

By: \_\_\_\_\_

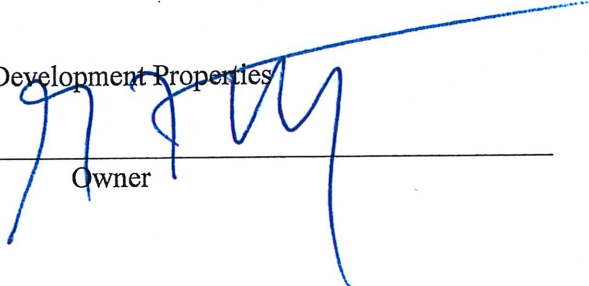
Fabio Salerno



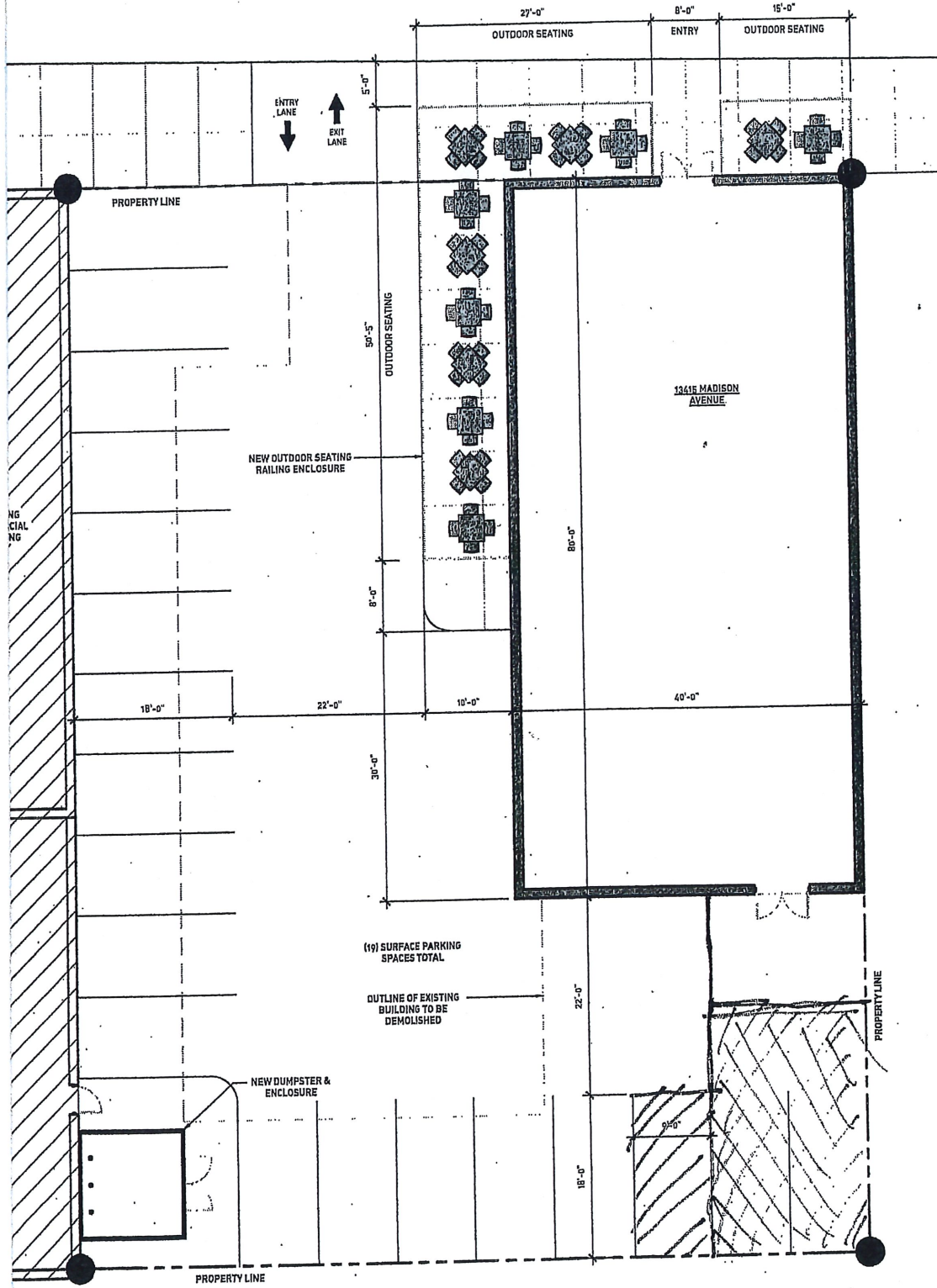
Sunshine Development Properties

Signature: \_\_\_\_\_

Owner



MADISON AVENUE



PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT TITLE: 13415 MADISON AVE.  
 PROJECT: 13415 MADISON AVE, LAKEWOOD, OH 44117  
 ISSUED DATE: 12/15/17  
 AUTHORIZATION: THESE DRAWINGS, DESIGN, AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF A°DK. ANY REPRODUCTION OR ALTERATION OF THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM A°DK IS STRICTLY PROHIBITED.  
 SHEET NO.: 1740  
 SHEET TITLE: JOB NO. 26  
 ARCHITECTURE OFFICE: DAVID PERBS  
 A°DK, INC. • 10th Floor, 13415 Madison Avenue, Lakewood, OH 44117 • P: 216-245-7733 • F: 216-245-7791 • W: www.a°dk.com

2	SITE PLAN
a1.1	

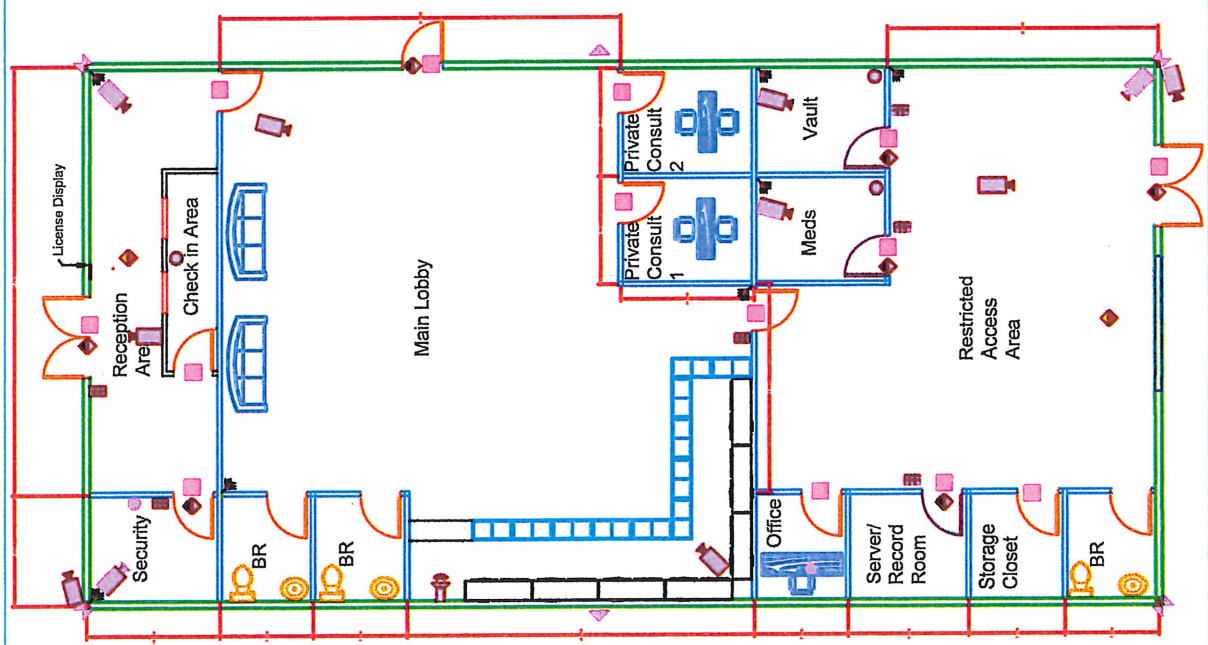
SCALE: 1/16" = 1'-0"



a1.1



Room	Dimensions	Sq Ft
Reception Area	10x31.75	317.6
Security	10x8.25	82.6
Restroom	7x4.25	29.8
Restroom	7x4.25	29.8
Private Consult 1	10x8	80
Private Consult 2	10x8	80
Wait Lobby	30x31.75	953.6
BR	2x6x2.5	30.0
BR	10x15.75	157.5
BR	10x8	80
BR	10x8	80
Storage Closet	7x4.25	30.0
Office	7x4.25	30.0
Server/Record Room	10x8.25	82.6
Restricted Access Area	30x11.5	345.0
Med	20x18	360.0
Vault	320	320



13415 LAKEWOOD AVE.,  
OHIO 44107

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL17-002172  
DOCKET No. 12-32-17  
FEE PAID \$150.00 js check

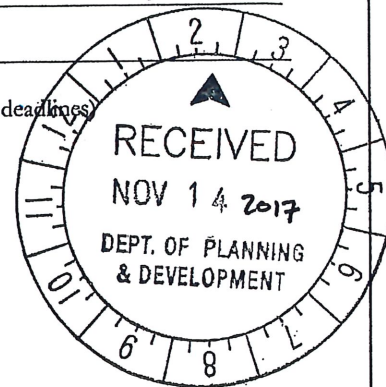
**APPLICATION**  
**LAKEWOOD PLANNING COMMISSION**

Property Address 13415 Madison Ave Business/Tenant Name ATCL-5 dba: Curated Leaf  
Property Owner Name Sunshine Development Owner Phone 305-987-8575  
Owner E-mail anthonygta@aol.com Zoning \_\_\_\_\_ Parcel Number 315-16-009  
Project Summary Medicinal Marijuana Dispensary aprox 2,920 sq feet  
with 12 parking spaces on site.

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)



**Submission Requirements:**

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Adam Thomarios Company ATCL 5 dba: Curated Leaf  
Applicant Address: 1 Canal Square Plaza #1501 Akron, OH 44308  
Phone: 330-813-0268 Fax: 330-670-9993 E-mail: athomarios@thomarios.com  
Signature: [Handwritten Signature] Date: 11/13/17

**OFFICE USE ONLY:** Application Reviewed and Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

File History: \_\_\_\_\_

Bldg. Dept. Remarks: \_\_\_\_\_

ORD. \_\_\_\_\_ SECTION \_\_\_\_\_

## AUTHORIZATION FOR PROPERTY ACCESS

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Any dog(s) on property? \_\_\_\_\_ Yes  No

**Please Print or Type:**

Owner/Agent Name: Sunshine Development Properties / George Anthony / Tony Anthony  
 Property Address: 13415 Madison Ave  
 Owner/Agent Phone: 216-228-8833 or 305-987-8575  
 Tenant Name ATCL 5 dba Curated Leaf Tenant Phone 330-813-0268

  
 \_\_\_\_\_  
 Owner/Agent Signature

### 2017 Calendar Planning Commission

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
	Day	Date	Day	Date	Day	Date
January	Wednesday	12-21-16	Thursday	01-05-17	Thursday	01-05-17
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**Pre-Review Meetings** for the Commission commence at **6:30 P.M.** in the **Council Conference Room**.

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To: Lakewood Planning Commission

Request of 13415 Madison Ave

I Tony E Anthony of Sunshine Development Properties LLC an Ohio LLC,  
it's *Members* of 13415 Madison Ave in Lakewood OH have signed a lease  
agreement contingent upon the State of Ohio's award to ATCL 5 LLC dba: Curated Leaf at 13415  
Madison Ave to operate a medicinal marijuana dispensary.

The request by Adam Thomarios one of the owners of ATCL-5 LLC dba: Curated Leaf is to grant  
conditional use for the location listed above inside the city of Lakewood. It is the state's decision based  
on qualifications and their scoring system of each application to award licensees in the state of Ohio and  
in each respective district. There will be 5 licensees awarded in Cuyahoga County, I have attached the  
district and region maps that shows and how the state has allocated districts and regions. It is Curated  
Leaf's mission statement to provide pharmaceutical grade medical cannabis to the patients who are in  
need of medicine while partnering with local community officials, police and emergency responders to  
provide a safe, responsible and secure retail location all while adhering to strict state/ local compliance  
laws and regulations. Curated Leaf will partner with the community to hire local, train local, and support  
local causes. In addition Curated Leaf will educate patients and the local community on medical effects. I  
have attached a short Bio and background on our group in the following attachment. Our group will be  
present at the next planning commission meeting.

Sincerely,

*Anthony E*

*Tony E. Anthony, Member*

Sunshine Development Properties LLC

Date *11-14-17*

*Adam Thomarios*

*Adam Thomarios owner*

ATCL

Date *11/14/17*

To: Lakewood Planning Commission

Letter of Authorization on Property Use by Owner/ Tenant

11/14/17

I Tony G. Anthony of Sunshine Development Properties LLC an Ohio LLC,  
it's Member of 13415 Madison Ave in Lakewood OH will allow the building  
and parking areas to be used for a medicinal marijuana dispensary. It is Sunshine Development  
Properties intent if awarded by the State of Ohio to lease the building and its parking to ATCL 5 LLC dba:  
Curated Leaf for as such noted above.

Sincerely,



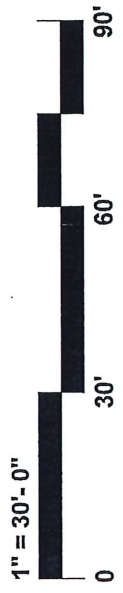
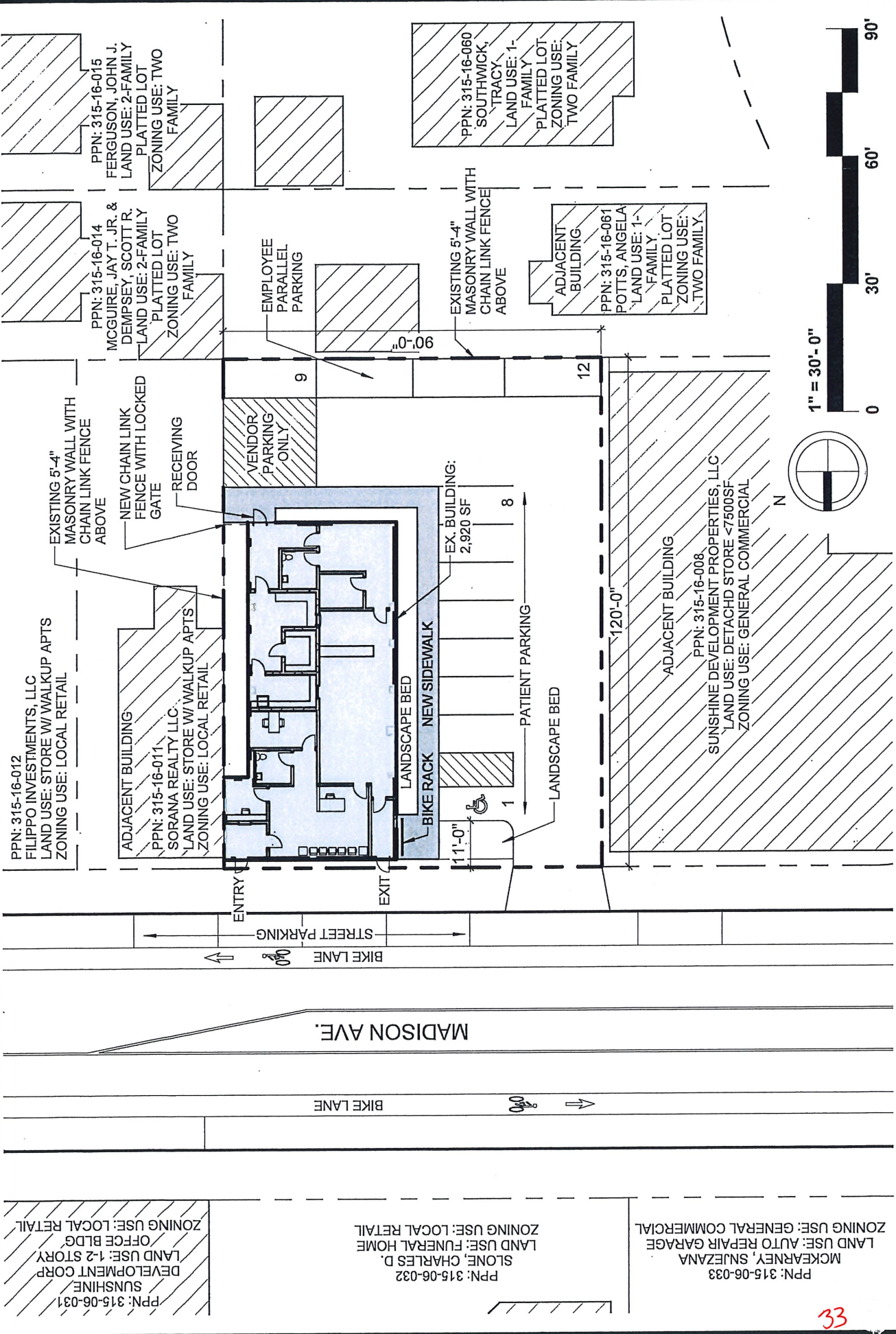
Date 11-14-17

Contact: 214-228-8833

ATCL 5 dba: Curated Leaf

Owner

 11/14/17



PROJECT INFORMATION  
 DISPENSARY - 13415 MADISON AVENUE LAKEWOOD, OHIO 44107  
 DATE: NOVEMBER 14, 2017  
 PROJECT NO. 25617

SHEET NAME  
 SITE PLAN

SHEET NO.  
 SK04

33

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL17-002173  
DOCKET No. 12-34-17  
FEE PAID \$150.00 js cc

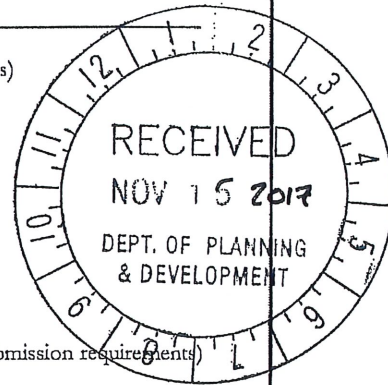
**APPLICATION**  
**LAKEWOOD PLANNING COMMISSION**

Property Address 15408 Madison Avenue Business/Tenant Name The Forest Lakewood  
Property Owner Name Dimitrios I. Gountis Owner Phone 216.526.2437  
Owner E-mail dgountis@gmail.com Zoning Commercial Parcel Number 314-03-032  
Project Summary Written description of the request is attached

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
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1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Erik Vaughan Company The Forest Lakewood, LLC  
Applicant Address: 77 Milford Drive, Suite 232, Hudson, OH 44236  
Phone: 216.262.4445 Fax: — E-mail: evaughan@theforestohio.com  
Signature: [Signature] Date: 11/15/2017

**OFFICE USE ONLY:** Application Reviewed and Accepted by: KZM Date: 11/15/2017

File History: \_\_\_\_\_

Bldg. Dept. Remarks: \_\_\_\_\_

ORD. \_\_\_\_\_ SECTION \_\_\_\_\_

## AUTHORIZATION FOR PROPERTY ACCESS

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Any dog(s) on property? \_\_\_\_\_ Yes  No

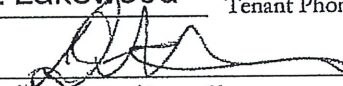
**Please Print or Type:**

Owner/Agent Name: Dimitrios I. Gountis

Property Address: 15408 Madison Avenue

Owner/Agent Phone: 216-526-2431

Tenant Name The Forest Lakewood Tenant Phone 216.262.4445

  
\_\_\_\_\_  
Owner/Agent Signature

### 2017 Calendar Planning Commission

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-21-16	Thursday	01-05-17	Thursday	01-05-17
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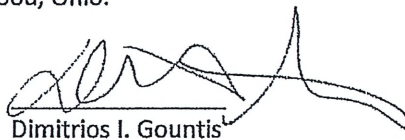
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City of Lakewood, Ohio  
12650 Detroit Road  
Lakewood, OH 44107

To Whom It May Concern:

The applicant, The Forest Lakewood, LLC, has my authorization to apply for a Conditional Use Permit for the property located at 15408 Madison Avenue, Lakewood, Ohio.



Dimitrios I. Gountis

**THE FOREST LAKEWOOD, LLC - DISPENSARY**

House Bill 523, effective on September 8<sup>th</sup>, 2016, legalized medical marijuana in Ohio. From Nov 3<sup>rd</sup> to Nov 17<sup>th</sup>, 2017, the Ohio Board of Pharmacy will accept license applications for a total of sixty (60) Medical Marijuana Retail Dispensary locations across the State of Ohio. Licensed Dispensaries are expected to be open to serve patients on September 8<sup>th</sup>, 2018. The Forest Lakewood, LLC seeks to obtain one (1) of up to five (5) Dispensary licenses available in Cuyahoga County at 15408 Madison Avenue in Lakewood, Ohio.


Erik Vaughan is the CEO of the Forest Lakewood, LLC. Erik joined the Board of Cannabis Insurance Services in 2014, and has served as the company's Chief Financial Officer since February 2017. Prior to joining Cannabisure, Erik was the Head of Macroeconomic Research at Cleveland Research Company.

Brad Maloof is the COO of The Forest Lakewood, LLB. Brad also serves as the President and Owner of Amware Group of Companies which includes: Amware Distribution Warehouses, Amrate, Amware Express, Recycle It, and Cedar Tree Properties. These companies make up a comprehensive logistics and supply chain solution which includes transportation and brokerage services, software, over 750,000 square feet of warehousing and distribution space, commercial real estate, and recycling services.

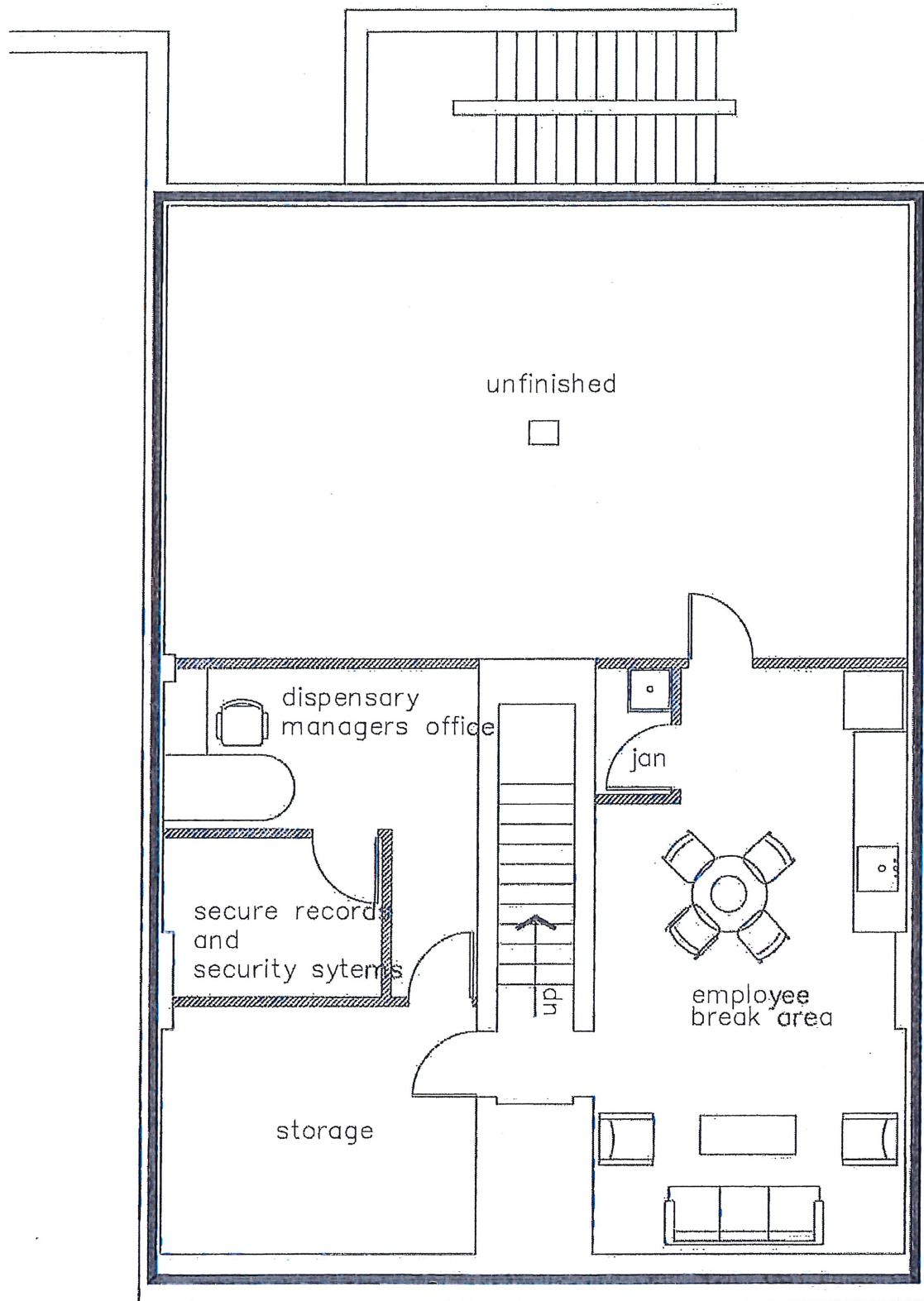
The Forest Lakewood, LLC has engaged Denver Relief Consulting (DRC) as its industry consultant. Since 2010, DRC has been involved in highly successful cannabis operations, including founding the oldest continuously operating dispensary in Denver, and its principals have been progressive industry leaders committed to advancing best practices and the perception of the cannabis community. DRC works with carefully selected clients and partners to develop custom legislative, advocacy and business strategies based on models they've successfully implemented and continuously improved upon in 12 states, Washington, D.C., Puerto Rico and Canada. Through the promotion of government collaboration, industry best practices, hyper-compliance, minority inclusion, environmental stewardship, and community integration, Denver Relief Consulting exists to further progressive, entrepreneurial advocacy in the pursuit of responsible cannabis policy reform.

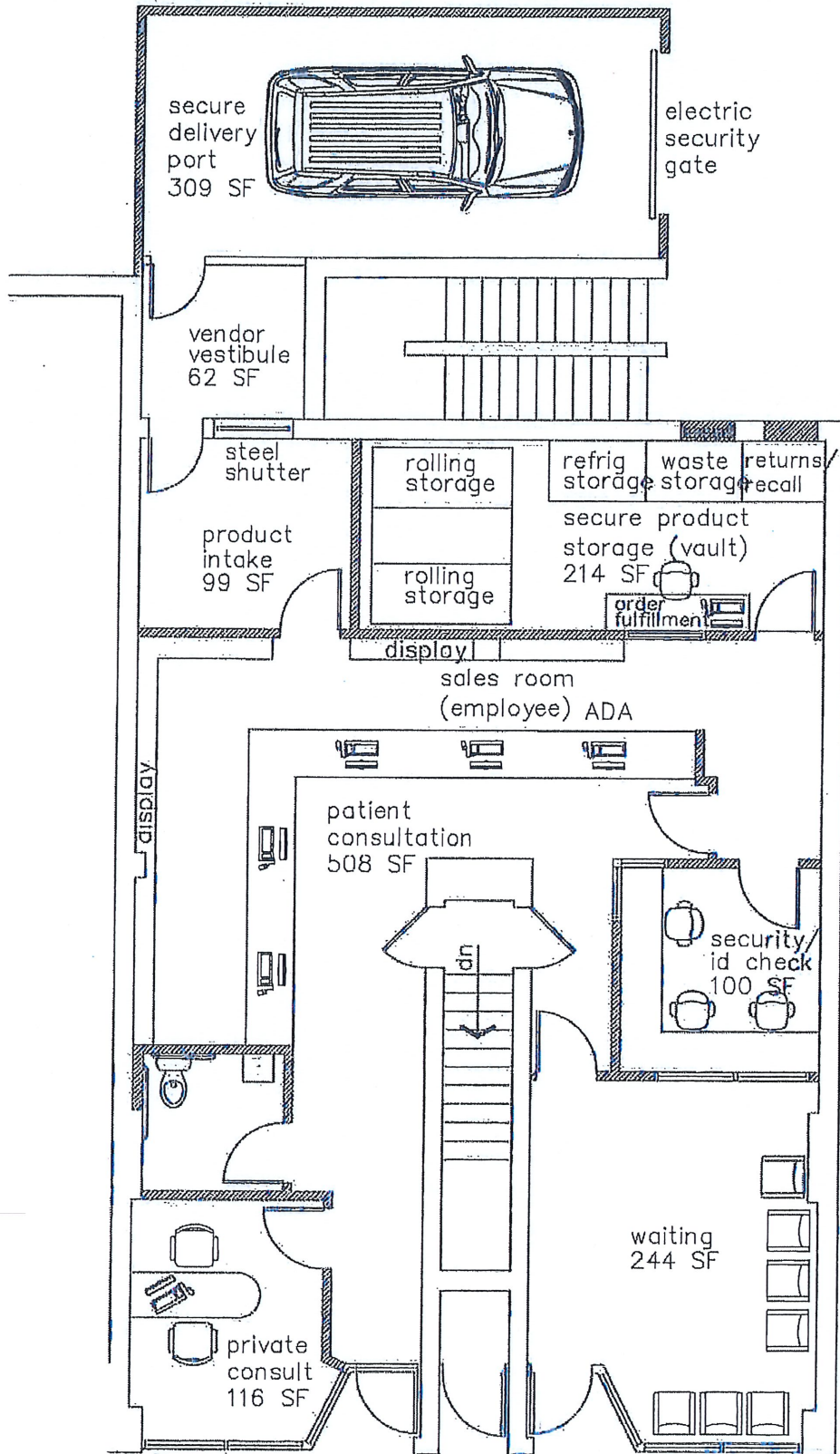
The Forest Lakewood, LLC will see approximately 250-350 patients per day and anticipates that 90%+ will be over 30 years old and 50%+ will be over 51 years old. The average transaction will be approximately \$88. Each patient spends about 20 minutes on site – including check-in with security and one-on-one consultation with dispensary employee. The Forest Lakewood, LLC expects to hire 10-20 employees.

**THE FOREST LAKEWOOD, LLC**



Erik Vaughan, CEO





Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL18-002210  
DOCKET No. 02-04-18  
FEE PAID \$200.00 j's check

**APPLICATION**  
**LAKWOOD PLANNING COMMISSION**

Property Address 11906 Madison Ave. Business/Tenant Name Nelson Berry Property Holdings, LLC  
Property Owner Name Nelson Berry Property Holdings, LLC Owner Phone 440-617-6061  
Owner E-mail DvoraNelson@outlook.com Zoning C-2 Parcel Number 315-15-026; 315-15-027  
Project Summary Consolidation of lots: PPN 315-15-026; PPN 315-15-027

**Late Applications Will Not Be Accepted.** (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)
- Parking Plan Review - (\$150)

**Submission Requirements:**

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Dvora Nelson Jeter Company Nelson Berry Property Holdings, LLC

Applicant Address: 11906 Madison Avenue, Lakewood, Ohio 44107

Phone: 440-617-6061 Fax: 440-617-6065 E-mail: DvoraNelson@outlook.com

Signature:  Date: 1-16-18

**OFFICE USE ONLY:** Application Reviewed and Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

File History: \_\_\_\_\_

Bldg. Dept. Remarks: \_\_\_\_\_

ORD. 24-98 SECTION 1155.06

**AUTHORIZATION FOR PROPERTY ACCESS**

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? \_\_\_\_\_ Yes

X No

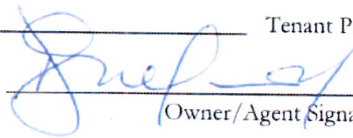
**Please Print or Type:**

Owner/Agent Name: Nelson Berry Property Holdings, LLC

Property Address: 11906 Madison Avenue, Lakewood, Ohio 44107

Owner/Agent Phone: 440-617-6061

Tenant Name N/A Tenant Phone N/A

  
Owner/Agent Signature

**2018 Calendar  
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
	Day	Date	Day	Date	Day	Date
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18
February	Wednesday	01-17-18	Thursday	02-01-18	Thursday	02-01-18
March	Wednesday	02-14-18	Thursday	03-01-18	Thursday	03-01-18
April	Wednesday	03-21-18	Thursday	04-05-18	Thursday	04-05-18
May	Wednesday	04-18-18	Thursday	05-03-18	Thursday	05-03-18
June	Wednesday	05-23-18	Thursday	06-07-18	Thursday	06-07-18
July	Wednesday	06-20-18	Thursday	07-05-18	Thursday	07-05-18
August	Wednesday	07-18-18	Thursday	08-02-18	Thursday	08-02-18
September	Wednesday	08-22-18	Thursday	09-06-18	Thursday	09-06-18
October	Wednesday	09-19-18	Thursday	10-04-18	Thursday	10-04-18
November	Wednesday	10-17-18	Thursday	11-01-18	Thursday	11-01-18
December	Wednesday	11-21-18	Thursday	12-06-18	Thursday	12-06-18
January	Wednesday	12-19-18	Thursday	01-03-19	Thursday	01-03-19

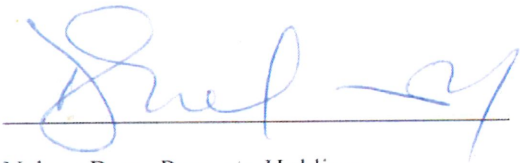
**PLEASE NOTE:** Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

**Pre-Review Meetings** for the Commission start at **6:30 P.M.** in the **Auditorium** unless otherwise indicated. Use the rear northeast entrance to the Auditorium.

**Review Meetings** start at **7:00 P.M.** in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review. Use the rear northeast entrance to the Auditorium.

Written Description of Request for Lot Consolidation

Nelson Berry Property Holdings, LLC, an Ohio limited liability company ("Nelson Berry"), requests the Lakewood Planning Commission's approval for a lot consolidation of PPN 315-15-026 and PPN 315-15-027. Nelson Berry purchased the property, located at 11906 Madison Avenue on October 18, 2017. A single-tenant commercial building is located on both parcels and Nelson Berry is in the process of renovating and improving the building. A previous owner combined the parcels for tax purposes only, and Nelson Berry requests to consolidate the parcels into one parcel, as described in the attached Exhibit A.



Nelson Berry Property Holdings  
By: Dvora Nelson Jeter  
Its: Member

Dated: 1/17/18.



LEGAL DESCRIPTION  
OF  
PARCEL "A"  
11906 MADISON AVENUE  
P.P.N. 315-15-026  
P.P.N. 315-15-027  
CITY OF LAKEWOOD, OHIO

Situated in the City of Lakewood, County of Cuyahoga and State of Ohio and known as being all of Sublot No. 57 and part of Sublot No. 58 in the J.T. Newman Allotment of part of the Original Rockport Township Lot No. 60, Section No. 21 as shown by the plat recorded in Volume 18, Page 6 of Cuyahoga County Map Records and further bounded and described as follows:

Beginning at 3/4" iron pin found in a monument box (0.70 feet north, 0.00 feet east) at the intersection of the centerline of Newman Avenue (60 feet wide) and the extended northerly right of way of Madison Avenue (formerly West Madison Avenue) (Width Varies);

Thence North 89°29'20" West along the said extended northerly right of way of Madison Avenue, 30.00 feet to the intersection of the westerly right of way of Newman Avenue and the northerly right of way of Madison Avenue;

Thence North 89°29'20" West along the northerly right of way of Madison Avenue, 59.68 feet to the southwest corner of Sublot No. 56 as shown in said J.T. Newman Allotment and also being the southeasterly corner of land conveyed to the City of Lakewood by the deed recorded in Volume 6079, Page 674 of Cuyahoga County Deed Records;

Thence North 00°13'02" West along the westerly line of said Sublot No. 56 and the easterly line of land so conveyed to the City of Lakewood, 12.00 feet to a drill hole set on the northerly right of way of Madison Avenue and being the **Principal Place of Beginning** of the premises herein described;

43



# RIVERSTONE

LAND SURVEYING • ENGINEERING • DESIGN

Thence North 89°29'20" West along the northerly right of way of Madison Avenue and the northerly line of land so conveyed to the City of Lakewood, 89.52 feet to a 5/8" iron pin set at the southeasterly corner of land conveyed to Attila Kossanyi, Sheila Pavlos, Patricia H. Gamble, and the Estate of Maria A. Kruiensky by the deed recorded in Auditor's File No. 201705190580 of Cuyahoga County Deed Records;

Thence North 00°13'02" West along the easterly line of land so conveyed to Attila Kossanyi, Sheila Pavlos, Patricia H. Gamble, and the Estate of Maria A. Kruiensky, 158.76 feet to the southerly line of land conveyed to Evangelos T. Tsolakis by the deed recorded in Auditor's File No. 201508120472 of Cuyahoga County Deed Records, referenced by a 5/8" iron pin set North 89°29'20" East at 1.00 foot due to existing building;

Thence South 89°29'20" East along the southerly line of land so conveyed to Evangelos T. Tsolakis, 89.52 feet to a 5/8" iron pin set at the northwesterly corner of said Sublot No. 56 and the northwesterly corner of land conveyed to the City of Lakewood by the deed recorded in Auditor's File No. 201204200567 of Cuyahoga County Deed Records;

Thence South 00°13'02" East along the westerly line of said Sublot No. 58 and the westerly line of land so conveyed to the City of Lakewood, 158.76 feet to the northerly right of way of Madison Avenue and the **Principal Place of Beginning** and containing 0.3262 acres of land, as surveyed and described by Peter John Gauriloff, P.S. No. 8646 of The Riverstone Company in December 2017, subject to all legal highways, restrictions, reservations and easements of record.

### Deeds of Reference:

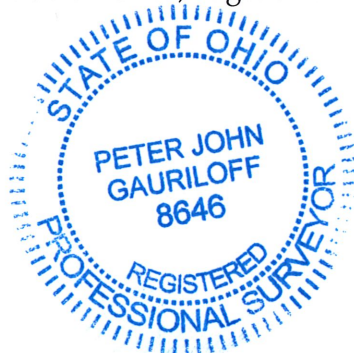
Land conveyed to Nelson Berry Properties Holdings, LLC by deed dated October 18, 2017 and recorded in Auditor's File No. 201710180542 of Cuyahoga County Deed Records.

### Basis of Bearing:

The centerline of Madison Avenue as North 89°29'20" West as shown in the Sarubar Re-Subdivision as recorded in Volume 205, Pages 51 of Cuyahoga County Map Records.



Peter J. Gauriloff



P.S. No. 8646

December 5, 2017

Date

44



**LEGAL DESCRIPTION and PLAT  
REVIEW COMMENTS**

To: Bob Greytak PE

Regarding: 11906 Madison Ave Lot Consolidation Plat

From: Thomas M. Meeks PS

Date: 1/2/2017

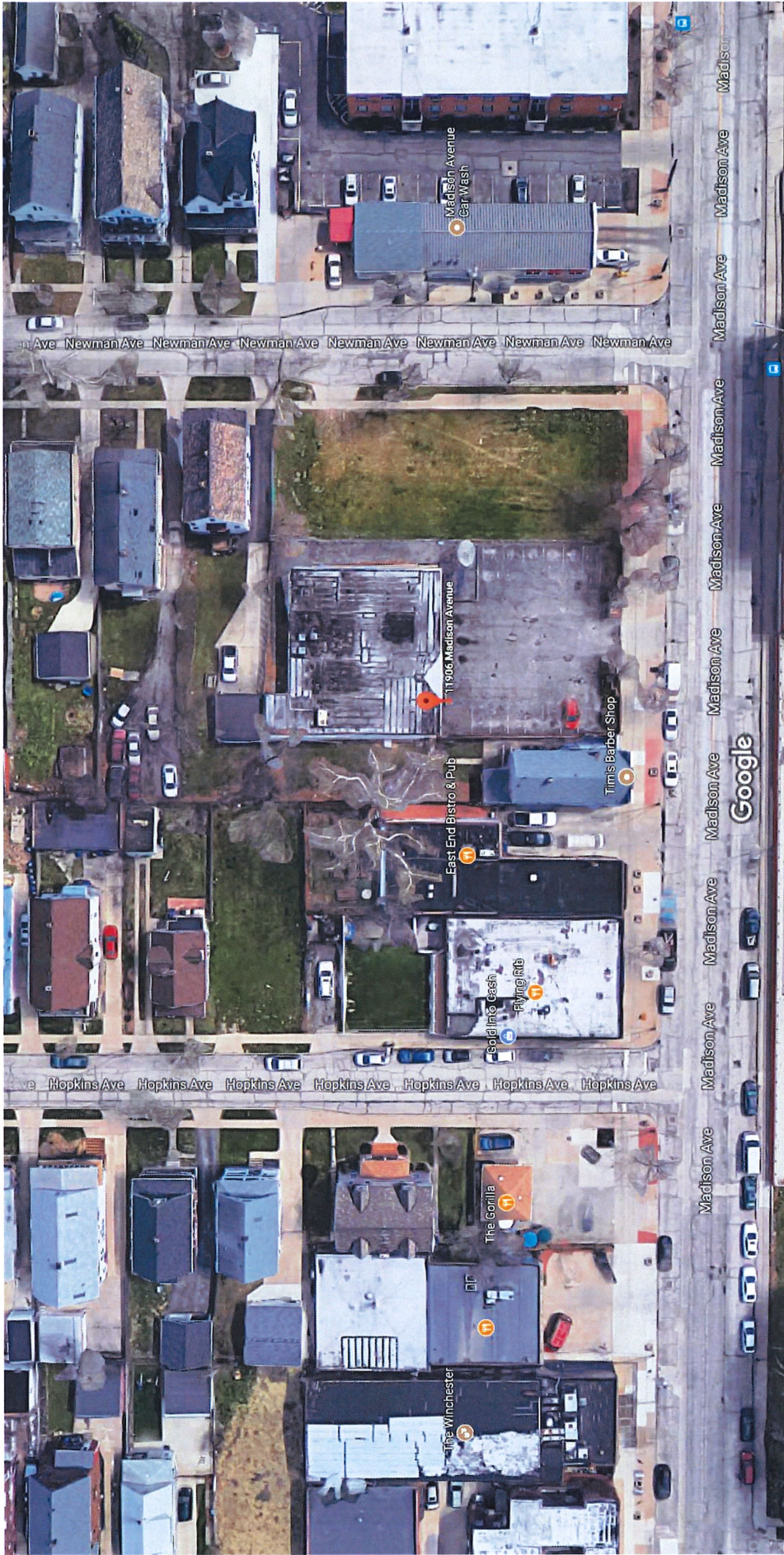
We have found nothing that would preclude approval and the documents can be accepted as submitted.

We require changes be made on the submittal documents for the items listed below.

The submitted documents have been revised addressing previous review comments.



11906 Madison Ave



Imagery ©2017 Google, Map data ©2017 Google United States 20 ft

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL18-002208  
DOCKET No. 02-05-18  
FEE PAID \$150.00 js check

**APPLICATION**  
**LAKWOOD PLANNING COMMISSION**

Property Address 18401 DETROIT AVE Business/Tenant Name \_\_\_\_\_  
Property Owner Name DETROIT MAILE REALTY Co. LLC Owner Phone (216) 221-5200  
Owner E-mail ajcoudris@americanrestoration.com Zoning \_\_\_\_\_ Parcel Number 311-19-004  
Project Summary Porch Deck Addition

**Late Applications Will Not Be Accepted.** (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division** – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split** – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development** – (\$500)
- Similar Use** – (Commercial \$50, Residential \$25)
- Conditional Use** – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance** – (Commercial \$50, Residential \$25)
- Parking Plan Review** – (\$150)

**Submission Requirements:**

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): GONZALO EGOZCUE Company GELATO STAR  
Applicant Address: 18401 DETROIT AVENUE LAKWOOD OH 44107  
Phone: (216) 470-7991 Fax: \_\_\_\_\_ E-mail: contact@eatmoltoebene.com  
Signature: \_\_\_\_\_ Date: 1/17/18

**OFFICE USE ONLY:** Application Reviewed and Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

File History: \_\_\_\_\_

Bldg. Dept. Remarks: \_\_\_\_\_

ORD. 17-15 SECTION 1129.02

**AUTHORIZATION FOR PROPERTY ACCESS**

(In signing this application,) I authorize members of the City’s Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? \_\_\_\_\_ Yes  No

**Please Print or Type:**

Owner/Agent Name: DETROIT MAILE REALTY CO., LLC / ANGELO COUTAIS, MEMBER

Property Address: 18401 DETROIT AVENUE

Owner/Agent Phone: (216) 221-5200

Tenant Name \_\_\_\_\_ Tenant Phone \_\_\_\_\_

*Angelo Coutais, member*  
Owner/Agent Signature

**2018 Calendar  
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
	Day	Date	Day	Date	Day	Date
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18
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January	Wednesday	12-19-18	Thursday	01-03-19	Thursday	01-03-19

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**DETROIT MAILE REALTY CO., LLC**

16926 Detroit Avenue

Lakewood, OH 44107

(216) 221-5200

RE: 18401 Detroit Avenue

To Whom It May Concern:

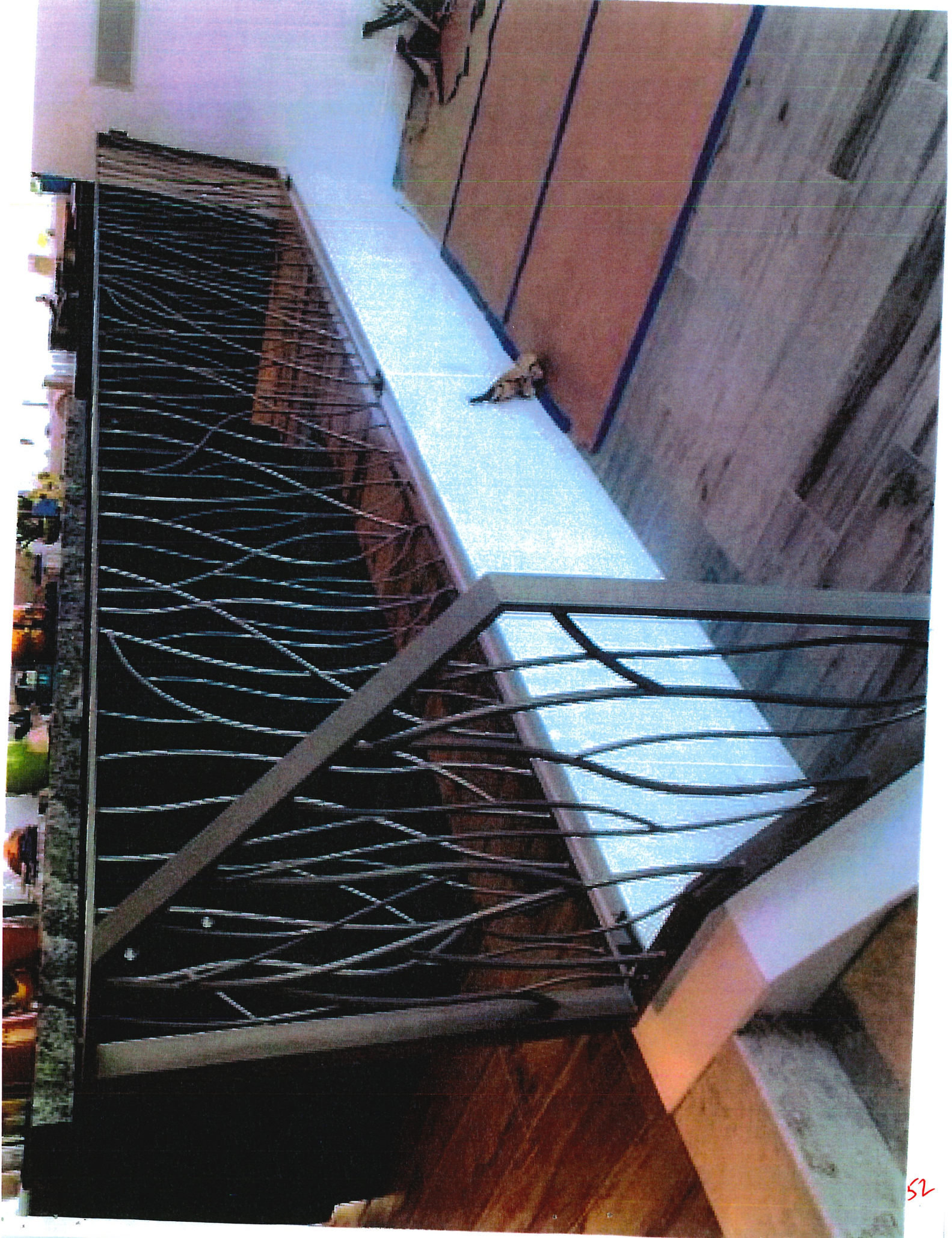
Please accept this letter as authorization for the deck porch addition to be added to 18401 Detroit Avenue by Gonzalo Egozcue for MoltoBene Italian Eatery.

A handwritten signature in blue ink, appearing to read "A. Coutris, member".

Angelo J. Coutris, Member

Detroit Maile Realty Co., LLC





**SCOPE OF WORK**

- A. Existing one-story wood frame former house. New first floor wrap around front porch deck and handrails, for an existing ice cream restaurant.
- B. **Zoning:** Local Retail
- C. **Use Group:** Existing 'M' - Mercantile
- D. **Square Feet:** 9x39x23', 546 square feet
- E. **Height:** 34'-10" to top of Ridge
- F. **Construction Class:** III C Unprotected
- G. **Owner:** Mr Egozcue Gonzalo, 216.470-7991
- H. **Architect:** **Tribe Architects,**  
**Daryl Mapson**  
1300 East 187<sup>th</sup> Street,  
Cleveland, Ohio 44110  
216.205-5259  
OH Reg. #9510  
Daryl.mapson@gmail.com

**J. DESIGN LIVE LOADS:**

- 1. Floor Live Loads = 100 Pounds per Square Foot
- 2. Wind Live Load = 90 MPH Basic Wind Speed
- 3. Roof Live Load = 30 PSF + Drifting-Snow
- 4. Hand Rail - 200 PSF horizontal and 100 PSF vertical

**K. MATERIALS**

- 1. **Foundation:** 18 and 24" diameter Sonotube concrete footing for deck beam post.
- 2. **Deck:** 5/4 x 6" board on 2x8's at 16" on center. 2-2x12 wood beams and 6x6 beam and handrail post
- 3. **Handrail:** Metal top and bottom rail with #5 bar pickets at 4" maximum space between and 6x6 wood support post. Solar powered newel post lamps.

**18401**

**DETROIT AVENUE  
Porch DECK**

Addition to

**MOLTO BENE ITALIAN EATERY**

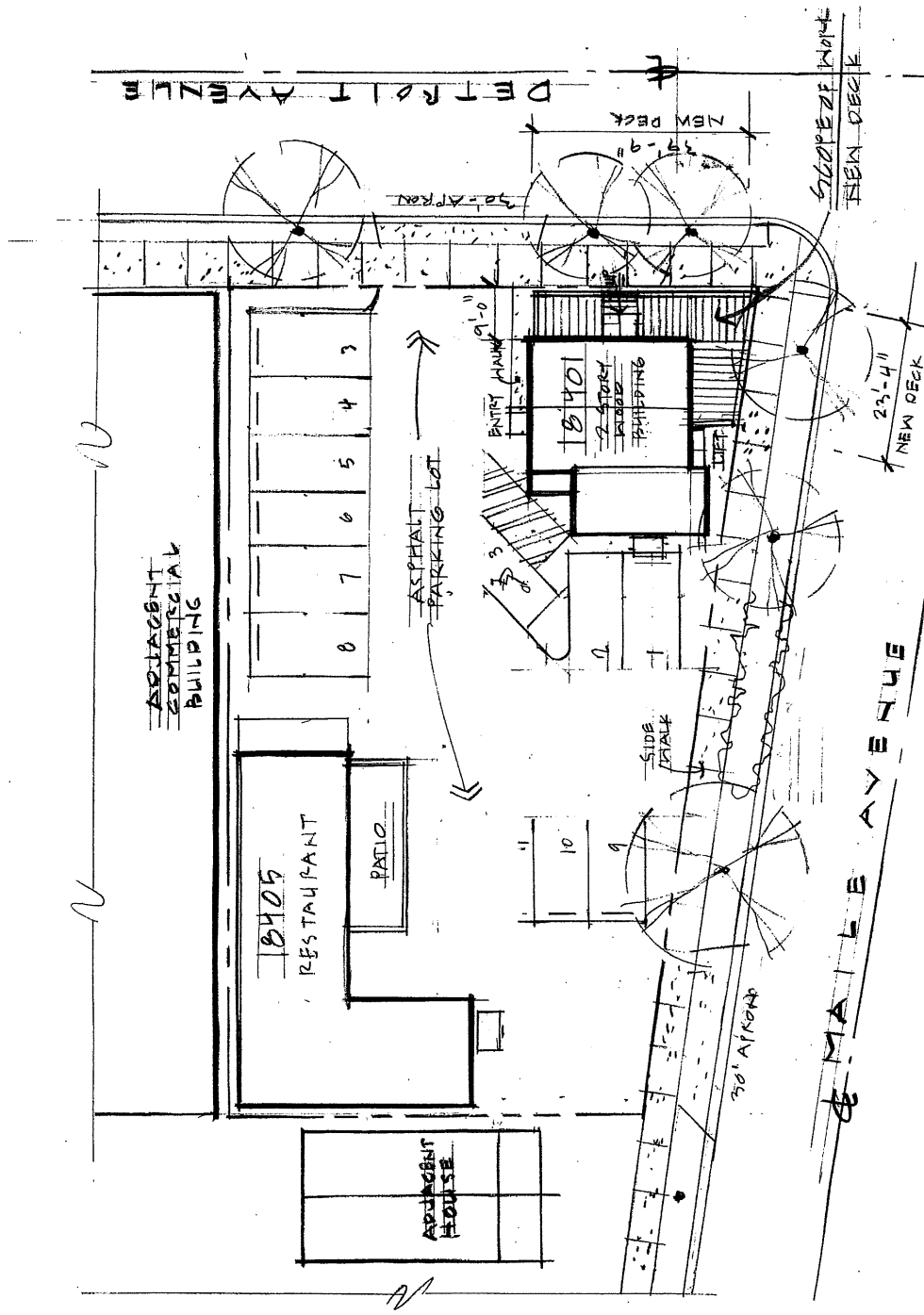
Lakewood, Ohio

**PORCH DRAWING LIST**

- T-1 Title Sheet and Scope of Work
- SP-1 Site Plan
- A-1 Porch Foundation Plan
- A-2 Porch Framing Plan
- A-3 Porch Floor Plan
- A-4 Porch Detail Section
- A-5 Detroit Ave. Elevation
- A-6 Maile Ave. Elevation
- A-7 Porch Seating Plan

SP-1

18401  
DETROIT ROAD  
Porch Deck  
MOLTO BENE ITALIAN EATERY  
Tribe Architects

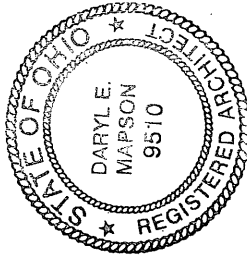


EXISTING  
SITE PLAN  
5-2-2010



A-1

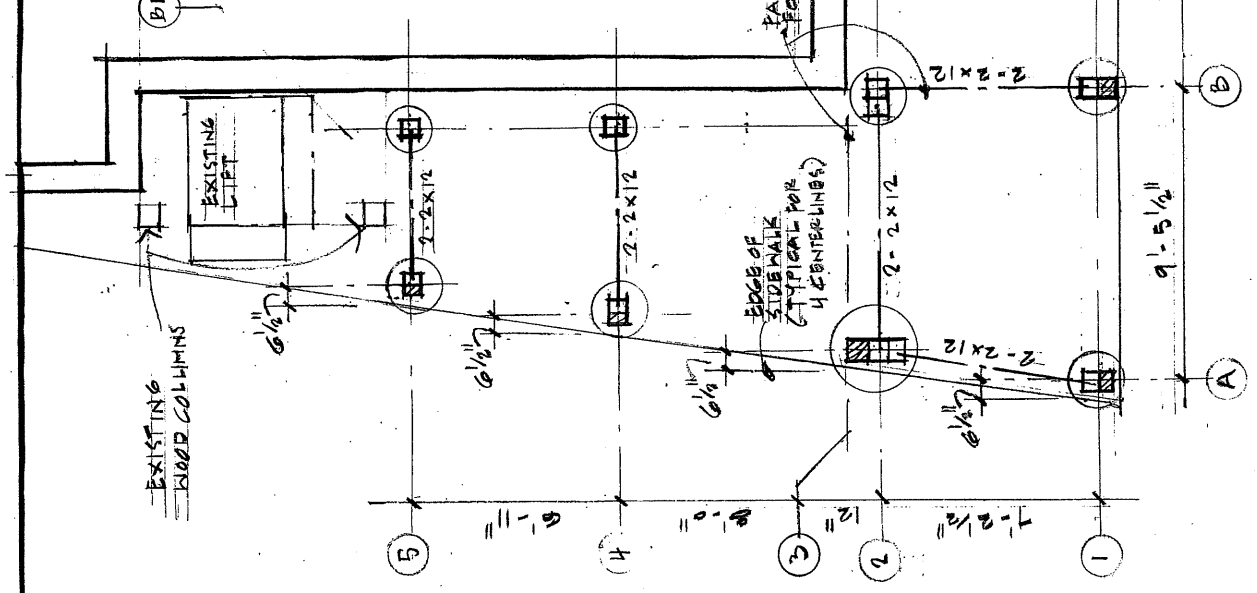
18401  
DETROIT ROAD  
Porch Deck  
MOLTO BENE ITALIAN EATERY  
Tribe Architects



# DECK FOUNDATION PLAN

EXISTING  
BASEMENT

SCALE: 1/4" = 1'-0"



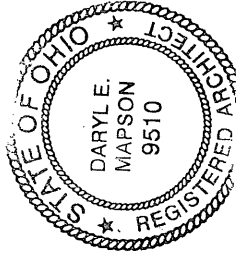
A-2

18401

DETROIT ROAD  
Porch Deck

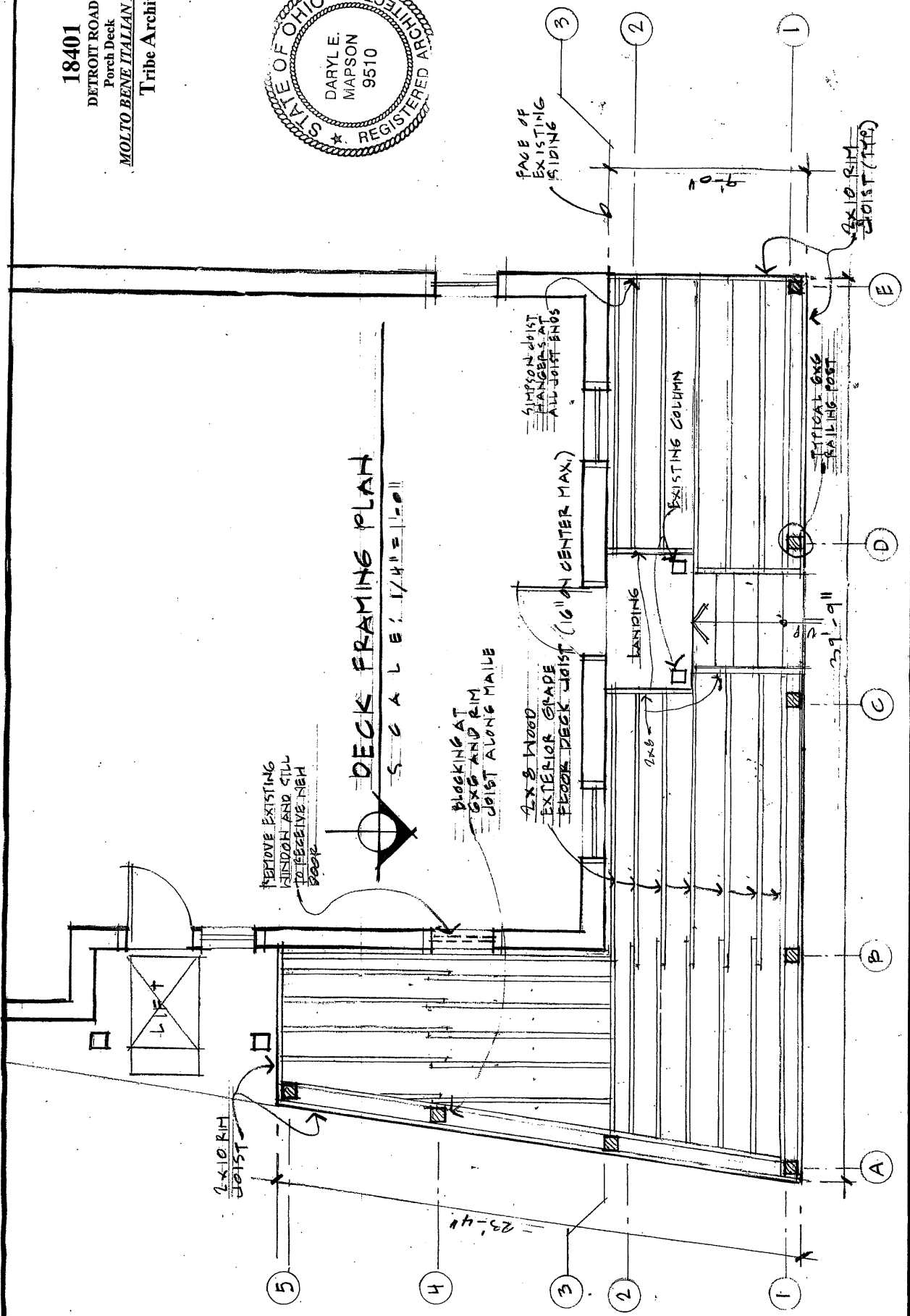
MOLTO BENE ITALIAN EATERY

Tribe Architects



# DECK FRAMING PLAN

SCALE 1/4" = 1'-0"



REMOVE EXISTING  
RIM JOIST AND GILL  
TO RECEIVE NEW  
RIM JOIST



BLOCKING AT  
GIR AND RIM  
JOIST ALONG MALE

2x8 WOOD  
EXTERIOR GRADE  
FLOOR DECK JOIST (16\"/>

SIMPSON JOIST  
HANGERS AT  
ALL JOIST ENDS

EXISTING COLUMN

BANDING

2x9-9\"/>

TYPICAL GIG  
NAILING FOOT

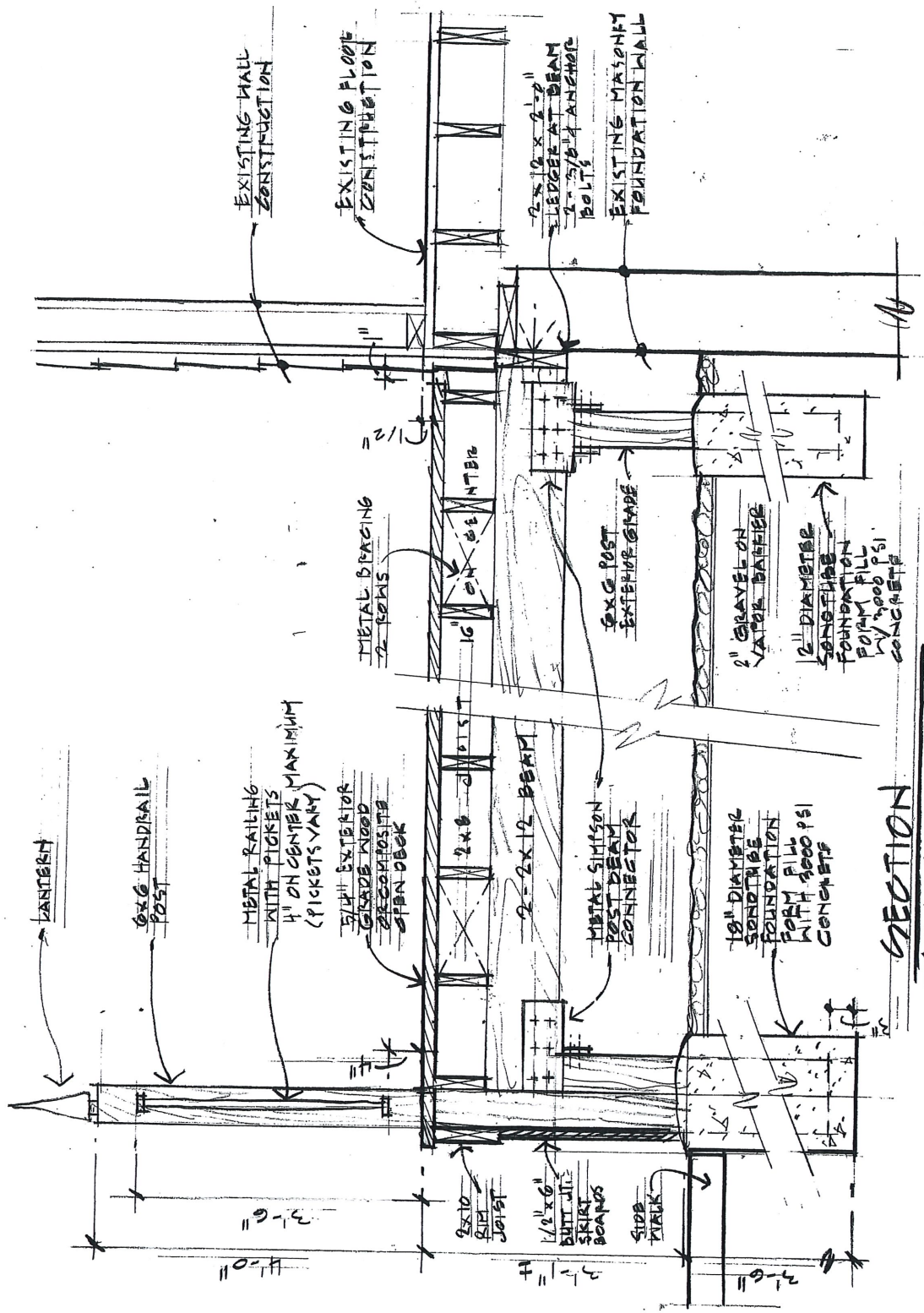
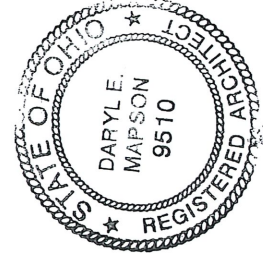
FACE OF  
EXISTING  
SIDING

2x10 RIM  
JOIST (TTC)



A-4

18401  
DETROIT ROAD  
Porch Deck  
MOLTO BENE ITALIAN EATEL  
Tribe Architects



EXISTING WALL CONSTRUCTION

EXISTING FLOOR CONSTRUCTION

2x10 x 2-2" LEDGER AT BEAM LEVEL w/ 5/8" ANCHOR BOLTS

EXISTING MASONRY FOUNDATION WALL

METAL BRACING w/ 2 BOLTS

2x6 POST EXTERIOR GRADE

2" GRAVEL ON VAPOR BARRIER

2" DIAMETER SONDREBE FOUNDATION FORM FILL w/ 3000 PSI CONCRETE

LANTERN

2x6 HANDRAIL POST

METAL RAILING WITH PICKETS 4" ON CENTER MAXIMUM (PICKETS VARY)

5/4" EXTERIOR GRADE WOOD COMPOSITE DECKING OPEN DECK

2x6 JOISTS

2-2x12 BEAM

METAL SIMPSON POST BEAM CONNECTOR

18" DIAMETER SONDREBE FOUNDATION FORM FILL WITH 3000 PSI CONCRETE

SECTION

SCALE: 1/4" = 1'-0"

A-5

18401

DETROIT ROAD

Porch Deck

MOLTO BENE ITALIAN EATERY

Tribe Architects

EXISTING ASPHALT SHINGLES

EXISTING ANNING

LANTERN

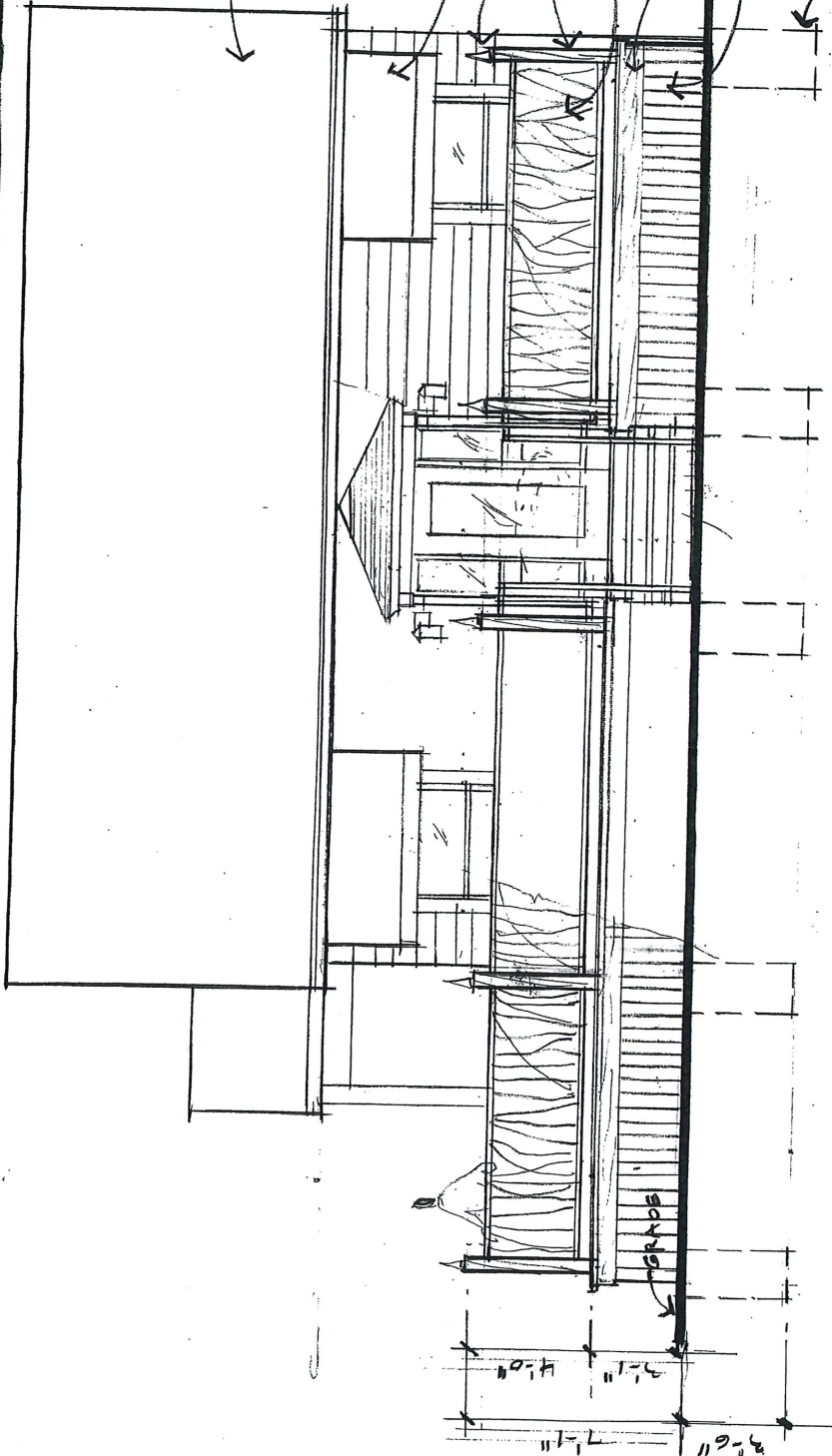
6x6 POST

METAL HANDRAIL WITH VERTICAL #3 BAR PICKETS (BRANCH LIKE)

2x10 SIM JOIST

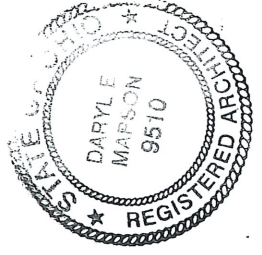
17/2" x 11" SKIET BOARDS, BUTT JOINT

50# TUBE FOUNDATION



DETROIT ELEVATION

SCALE: 1/4" = 1'-0"



A-

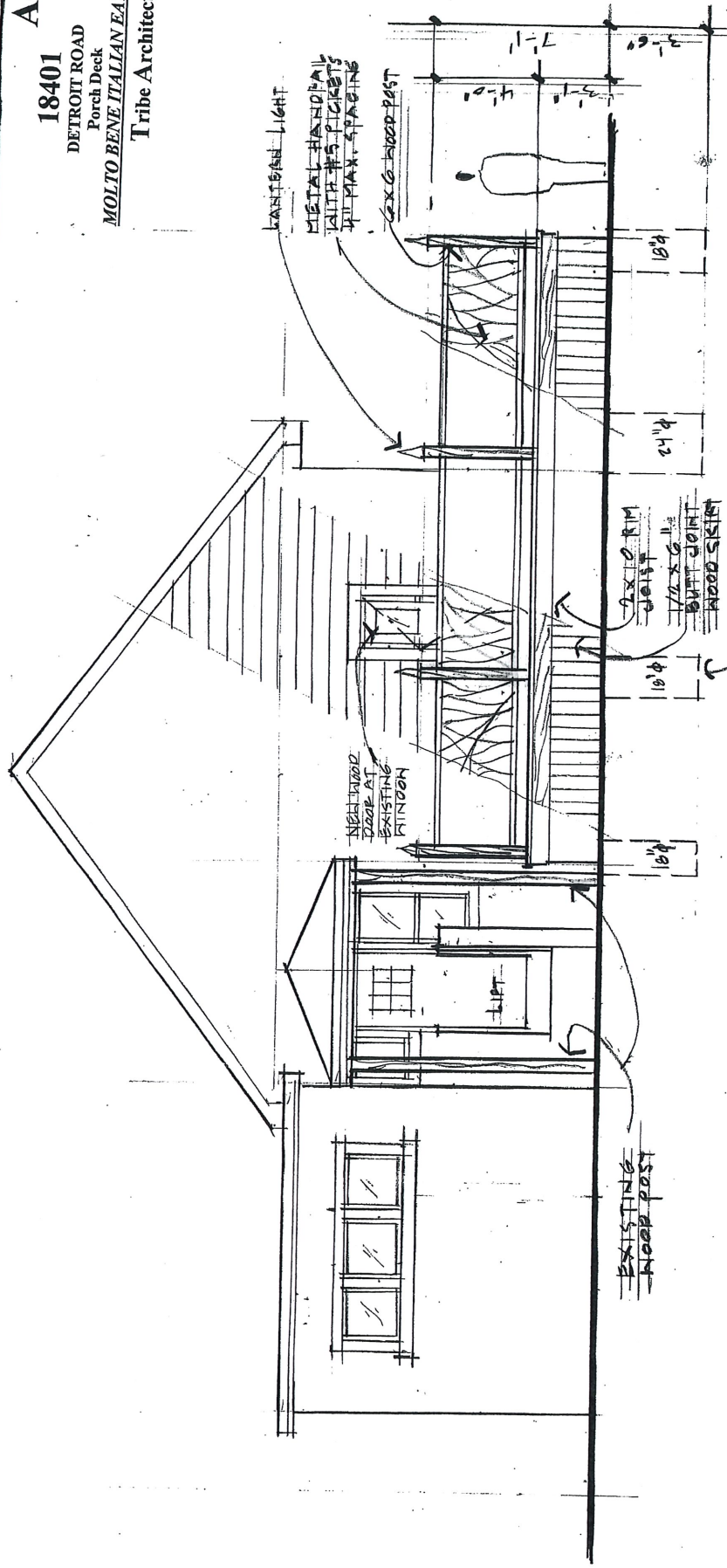
18401

DETROIT ROAD

Porch Deck

MOLTO BENE ITALIAN EAT

Tribe Architects



MAILE ELEVATION

SCALE: 1/4" = 1'-0"



Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL18-002209  
DOCKET No. 02-06-18  
FEE PAID \$150.00 js check

**APPLICATION**  
**LAKEWOOD PLANNING COMMISSION**

Property Address 13457 MADISON AVE. Business/Tenant Name TOM KARAKOSTAS  
Property Owner Name ANTHONY ANTHONY Owner Phone 216-228-8833  
Owner E-mail TA@UNITEDREADERS.COM Zoning 223/223 Parcel Number 315-16-008  
Project Summary TATTOO SHOP

**Late Applications Will Not Be Accepted.** (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)
- Parking Plan Review – (\$150)

**Submission Requirements:**

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): TOM KARAKOSTAS Company \_\_\_\_\_

Applicant Address: 1444 WESTWOOD AVE.

Phone: 216-832-0472 Fax: 216-228-4978 E-mail: GREEKVILLAGEGRILLE@GMAIL.COM

Signature: *Tom Karakostas* Date: 1/17/18

**OFFICE USE ONLY:** Application Reviewed and Accepted by: KZM Date: 1/18/2018

File History: \_\_\_\_\_

Bldg. Dept. Remarks: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

ORD. 31-17 SECTION 1129.02

**AUTHORIZATION FOR PROPERTY ACCESS**

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? \_\_\_\_\_ Yes  No

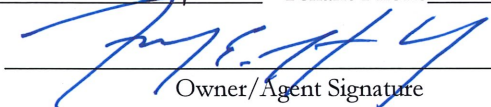
**Please Print or Type:**

Owner/Agent Name: TONY E. ANTHONY

Property Address: 13457 MADISON AVE.

Owner/Agent Phone: 216-228-8833

Tenant Name TOM KARAKOSTAS Tenant Phone 216-832-0472

  
Owner/Agent Signature

**2018 Calendar  
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
	Day	Date	Day	Date	Day	Date
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18
February	Wednesday	01-17-18	Thursday	02-01-18	Thursday	02-01-18
March	Wednesday	02-14-18	Thursday	03-01-18	Thursday	03-01-18
April	Wednesday	03-21-18	Thursday	04-05-18	Thursday	04-05-18
May	Wednesday	04-18-18	Thursday	05-03-18	Thursday	05-03-18
June	Wednesday	05-23-18	Thursday	06-07-18	Thursday	06-07-18
July	Wednesday	06-20-18	Thursday	07-05-18	Thursday	07-05-18
August	Wednesday	07-18-18	Thursday	08-02-18	Thursday	08-02-18
September	Wednesday	08-22-18	Thursday	09-06-18	Thursday	09-06-18
October	Wednesday	09-19-18	Thursday	10-04-18	Thursday	10-04-18
November	Wednesday	10-17-18	Thursday	11-01-18	Thursday	11-01-18
December	Wednesday	11-21-18	Thursday	12-06-18	Thursday	12-06-18
January	Wednesday	12-19-18	Thursday	01-03-19	Thursday	01-03-19

**PLEASE NOTE:** Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

**Pre-Review Meetings** for the Commission start at **6:30 P.M.** in the **Auditorium** unless otherwise indicated. Use the rear northeast entrance to the Auditorium.

**Review Meetings** start at **7:00 P.M.** in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review. Use the rear northeast entrance to the Auditorium.

To Whom It May Concern:

This letter is in regards to the request for conditional use of the retail space of 13427 Madison Ave. , Lakewood, Ohio 44107 and our request for usage as a tattoo shop. My name is Tom Karakostas and I will be a co-owner with my partner and manager, David Nutter. Our partnership will be myself in control of the business portion of the tattoo shop and my partner is the tattoo artist and floor manager. David has over 8 years work experience as a tattoo artist and manager at several tattoo shops in his history.

Our plan is to be open as Lakewood's first tattoo shop and to be a viable business in the Lakewood community as I have done so for the last 9 years within my own business here in Lakewood, Greek Village Grille. Our initial idea is to be open 6 to 7 days a week within the hours of operation as allowable by the city. The name of our business will be Cleveland Tattoo Company. We plan on employing 3 to 4 other tattoo artists that will go through a stringent interview process and make sure that all our employees follow our vision of the business, as well as our rules and regulations. Our outdoor sign will be produced company by Brilliant Electric. Our medical waste for disposable needles with be controlled by company MedPro. We plan on following all rules as dictated by the city of Lakewood for construction and operation of our tattoo shop.

We thank you for the opportunity to possibly be the first tattoo shop in Lakewood Ohio.

Sincerely,

A handwritten signature in black ink, appearing to read "Tom Karakostas", written in a cursive style.

Tom L. Karakostas

# DAVID NUTTER

76 N. Rocky River Dr Berea, Oh 44017 · 216.312.6398

[ilovesnackcakes@gmail.com](mailto:ilovesnackcakes@gmail.com)

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## SKILLS

Experienced Manager and Tattoo Professional with strong leadership skills and people-management/relationship building skills.

## EXPERIENCE

American Outlaw Tattoo  
164 Park Ave Amherst, Oh  
Tattoo Artist and Shop Manager  
January 2016-October 2017

\*Participated in the opening of a successful new shop location.

\*Worked a booth at the Cleveland Tattoo convention, annually.

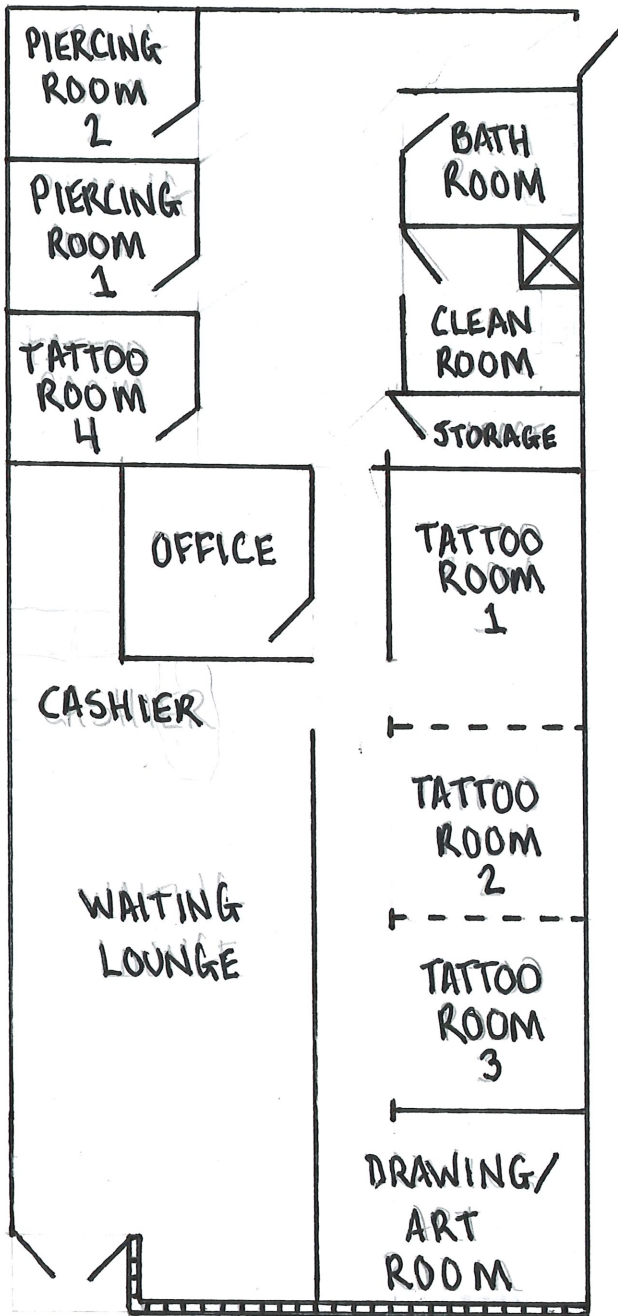
Tattoo Café  
2141 Broadview Rd Cleveland, Oh  
Tattoo Artist and Shop Manager  
January 2015-January 2016

Bombshell Tattoo  
16467 Brook Park Rd Brook Park, Oh  
Tattoo Artist  
February 2013- February 2015

Art in Motion  
415 S. Broadway St Medina, Oh  
Tattoo Artist and Shop Manager  
April 2008-February 2013




## EDUCATION

HIGH SCHOOL DIPLOMA  
BLOODBORNE PATHOGENS CERTIFICATION  
CPR CERTIFIED  
FIRST AID TRAINING CERIFICATION



# CLEVELAND TATTOO CO.

13427 MADISON AVE  
LAKEWOOD OH

-  WINDOWS
-  HALF WALL
-  WASH BASIN

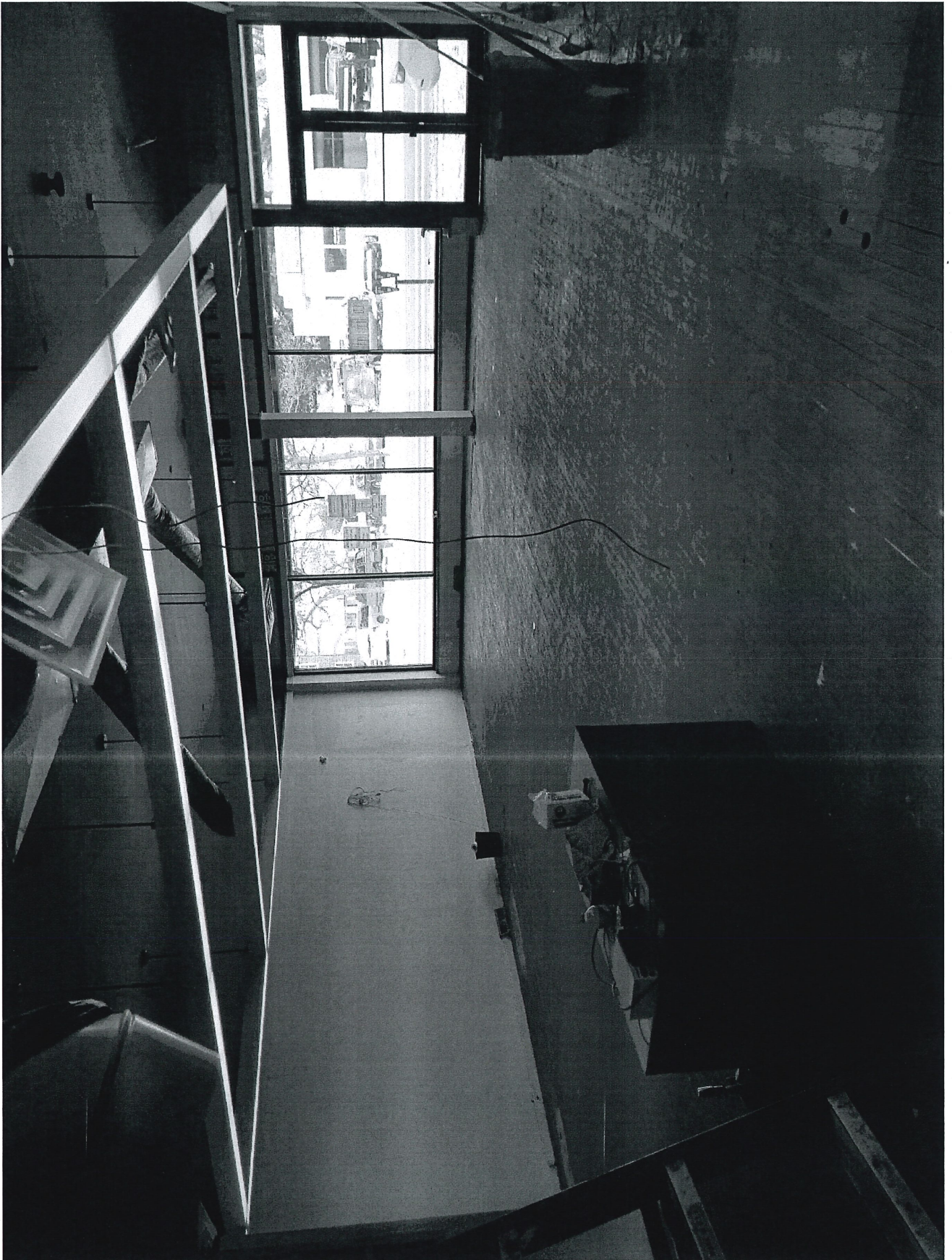
SCALE - 1 INCH = 10 FEET

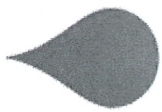
GENEVA AND  
BOYNTON BOOK

**GENEVARD**  
**COULTER**  
**TATTOO**









**American Academy of CPR & First Aid, Inc.**

*This is to certify that*

**DAVID NUTTER**

*has completed the course in*

**Basic First Aid Course**

*This individual has successfully completed the above mentioned course, and has demonstrated proficiency in the subject by passing the examination, in accordance with the terms and condition of American Academy of CPR and First Aid, Inc.*

**AB900247-FA**

**01/09/2018**

**01/09/2020**

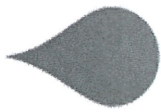
Certification Number

Issue Date

Renewal Date

*J. Gowani MD*

*Director of Training  
Jehangir Gowani, MD*



**American Academy of CPR & First Aid, Inc.**

*This is to certify that*

**DAVID NUTTER**

*has completed the course in*

**Adult CPR**

*This individual has successfully completed the above mentioned course, and has demonstrated proficiency in the subject by passing the examination, in accordance with the terms and condition of American Academy of CPR and First Aid, Inc.*

**AB635063-ADL**

**02/23/2016**

**02/23/2018**

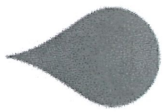
*Certification Number*

*Issue Date*

*Renewal Date*

*J. Gowari MD*

*Director of Training  
Jehangir Gowari, MD*



**American Academy of CPR & First Aid, Inc.**

*This is to certify that*

**DAVID NUTTER**

*has completed the course in*

**Blood Borne Pathogens**

*This individual has successfully completed the above mentioned course, and has demonstrated proficiency in the subject by passing the examination, in accordance with the terms and condition of American Academy of CPR and First Aid, Inc.*

**AB900247-BBP**

**01/09/2018**

**01/09/2019**

Certification Number

Issue Date

Renewal Date

*J. Gowani MD*

*Director of Training  
Jehangir Gowani, MD*

# *Sunshine Development Properties, LLC*

*13400 Madison Avenue  
Lakewood, Ohio 44107  
Business 216.228.8833 Fax 216.228.4264*

January 15, 2018

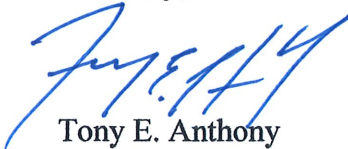
To whom it may concern,

This letter is in regards to our property located at 13427 Madison Avenue, Lakewood, Ohio 44107 and its sole purpose of business. Though I have known Tom Karakostas for over 10 years, I was very excited for him to take the initiative to pursue our aforementioned location for Lakewood's first Tattoo Shop. It's my opinion that this new business venture would bring additional job opportunities and be well received by our community.

As you are aware, Tom Karakostas currently owns and operates the well known Greek Village Grille located on Madison Avenue. This certainly proves he is devoted to the city of Lakewood and is more than capable of operating yet another first-rate establishment. Therefore, I have provided Tom Karakostas with a lease and authorized him to occupy this space for the purpose of opening and operating a Tattoo Shop. With this said, I hope that the committee shares the same enthusiasm and approves this new business to our city.

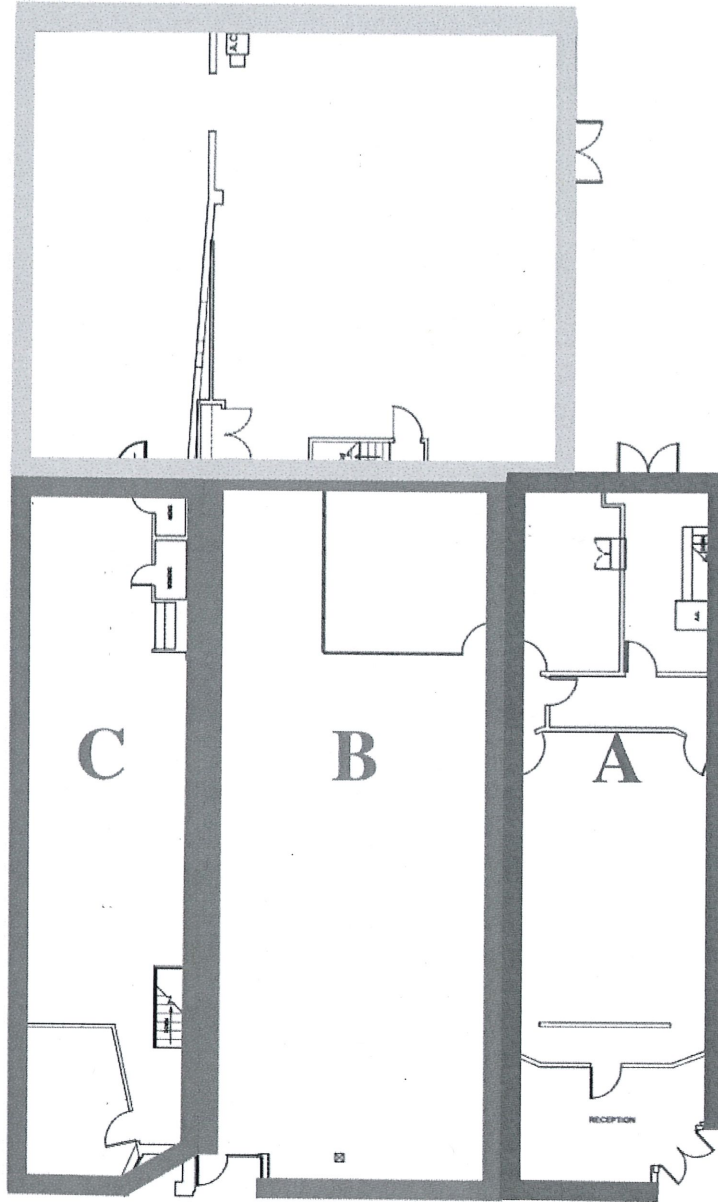
Should you have any questions, please do not hesitate to call me. I may be reached at the numbers listed above.

Sincerely,



Tony E. Anthony  
Member

EXHIBIT A



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building  
Property Name  
13314 Detroit Avenue  
Property Address

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CITY OF LAKEWOOD  
Department of Planning and Development  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

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**Property Being Nominated:**

Historic Name (if applicable) Detroit-Clarence Medical Building

Property Address 13314 Detroit Avenue

*Property is in the process of being sold*

Current Property Owner(s) 13314 Detroit Ave., LLC

Owner Address 13314 Detroit Avenue, Lakewood, Ohio 44107

Phone \_\_\_\_\_ Email \_\_\_\_\_

Incoming Property Owner(s) Lakewood Historical Society

Owner Address 14710 Lake Avenue, Lakewood, Ohio 44107

Phone 216-221-7343 Email \_\_\_\_\_

Private Ownership       Public Ownership

**Description of Property Being Nominated:**

Residential (check all that apply; provide description as needed to fully communicate nomination intent)

House     Garage     Apartment Building     Associated Land

Other: \_\_\_\_\_

Number of Contributing Buildings: \_\_\_\_\_    Number of Non-Contributing Buildings: \_\_\_\_\_

Commercial

Office/Retail/Mixed Use     Religious     Institutional     Associated Land     Interior

Other: \_\_\_\_\_

Number of Contributing Buildings: 1    Number of Non-Contributing Buildings: 0

Historic District

Residential     Commercial     Mixed Use

Number of Contributing Buildings: \_\_\_\_\_    Number of Non-Contributing Buildings: \_\_\_\_\_

Other

Site     Structure     Object

Number of Contributing Buildings: \_\_\_\_\_    Number of Non-Contributing Buildings: \_\_\_\_\_

**CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS**

Detroit-Clarence Medical Building  
Property Name  
13314 Detroit Avenue  
Property Address

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**Verbal Boundary Description:**

The building is located on the north side of Detroit Avenue between Clarence and Nicholson Avenues. The property is identified as Permanent Parcel Number 312-31-052.

**Nomination Prepared By:**

Name For the Lakewood Historical Society: Heather Rudge, President, Historic Preservation Group, LLC; Marcia E. Moll and Richard J. Sicha, Principals, PlaceMark Collaborative LLC.

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The following contact information is for Historic Preservation Group LLC:

Address 2425 West 11<sup>th</sup> Street, Suite 4, Cleveland, Ohio 44113

Phone 216-302-3510 Email heather@hpgroup-llc.com

Date January 23, 2018

**Historic Functions**

(List known uses over the building's/district's history)

Medical Office

**Current Functions**

(List present building uses)

Vacant

**Architectural Description:** Describe the historic appearance and current appearance and condition of the property/district. Use Continuation Sheets as needed.

*This designation applies only to the exterior of the building. This designation does not include any interior spaces.*

The Detroit-Clarence Medical Building, constructed in 1959, is a one-story building with a basement located on the north side of Detroit Avenue between Clarence and Nicholson Avenues, on a lot approximately 85 feet wide and 133 feet deep. The building itself is situated on the northeast corner of the lot, with the driveway and off-street parking located on the west and north (rear) portions of the property. The building is L-shaped, with the stem of the "L," about 62 feet in length, oriented in a north-south direction along the east lot line, and the foot of the "L," about 51 feet in width, extending in an east-west direction. The building is set back approximately ten feet from the sidewalk. In terms of size, the first floor is 2,632 square feet, and the basement is 1,316 square feet.<sup>1</sup> The building cost \$65,000 to construct.<sup>2</sup> All of the exterior components are original, except for a side door on the west elevation.

The building exterior illustrates design features of the International Style, which originated in Europe in the 1920s and remained popular throughout the world into the 1970s. The most common characteristics of the style are the creation of volumes of space using rectilinear forms, avoiding symmetrical designs, and the use of flat surfaces with no applied ornamentation or decoration. The International Style also features in its designs the prominent use of familiar mid-20<sup>th</sup> century modern materials, such as the glass, aluminum, stone, and brick of the Detroit-Clarence Medical Building.

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<sup>1</sup> Cuyahoga County Fiscal Office.

<sup>2</sup> Building Permit, City of Lakewood, Ohio, Division of Building Inspection, September 18, 1958.

CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

Property Name

13314 Detroit Avenue

Property Address

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The façade of the building uses only two geometric shapes – rectangles and squares – varied in size, orientation, and material to create a design appropriate to the function of the rooms immediately behind the wall (Photos 1 – 7 and Figures 1 and 2).

The façade design is divided into approximately a 60-40 ratio (Photos 1 – 3). The east portion is the dominant feature: a continuous wall of six, tall, aluminum-framed, plate glass windows, which flood the original waiting room with natural light (Photo 4). Above and below the plate glass windows are metal spandrel panels painted light green. The seventh bay is a centrally located aluminum entrance door, with the same light green metal spandrel panel above it. The entire assembly rests on an exposed concrete base. All seven bays are recessed within a boldly projecting, rectangular frame of variegated rose marble slabs with rose mortar. This frame creates a deep overhang to shade the interior from summer sunlight, but allows winter sunlight into the interior for passive solar heating. The horizontal member of the rectangular frame tilts upward (Photo 5), creating a dramatic effect and improving winter sunlight penetration into the interior by considering the angle of the sun.

As a design counterpoint to the wall of glass, buff Roman brick with matching color mortar, laid in a stack bond pattern, dominates the west side of the façade (Photo 6). The west section of the façade is the location of original physician offices. Immediately to the left of the central entrance, a large rectangular slab of brick forms the tallest section of the façade. Abutting it to the west is the shortest of the three façade sections. This wall section is almost square in proportion and repeats, on a smaller scale, the projecting wall (here constructed in sandstone slabs) and overhang feature of the east side of the façade (Photo 7). A stone planter extends across the wall. Each of the two wall sections contains a pair of aluminum-framed awning windows flanked top and bottom with light green spandrel panels, sized appropriately for the office space inside and recalling the window unit design of the east side of the façade.

The west, north, and east exterior walls consist of tan Roman brick laid in a running bond pattern. The west wall contains aluminum-framed awning windows, plus a non-original entrance door (Photo 8). On the north and east walls (Photos 9 and 10), the windows are panels of translucent glass blocks with an aluminum-framed hopper window in the center. All windows on these three elevations have sandstone sills.

### **Building Interior**

*This designation does not include any interior spaces. The purpose of this paragraph is to record information about the interior features and design details of this mid-20<sup>th</sup> century building type.*

On the interior, the original room arrangement, corridor, and ceiling heights remain intact, and many original mid-century modern features still exist. The centrally located entrance opens to the waiting room in the southeast corner of the building. An opening in the north wall of the room connects to the reception counter in the middle of the building. This design funnels the circulation of patients along the eastern portion of the building, separated from the three private physician offices located in the southwest corner of the building. Adjacent to the reception counter, the centrally situated corridor extends in a north-south direction and ends with a short extension to the west, creating an L-shape. This configuration allows patient rooms to be placed along the east, north, and west walls. Original interior features throughout the building include blond wood interior doors with matching blond wood door frames and casings, plus metal door hardware; marble window sills; wood storage units, square ceiling tiles with a perforated design; and square, flush-mounted, ceiling lights designed in chrome and frosted glass. There is also a built-in desk and a wall-mounted intercom speaker inside a wood cabinet.

**CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS**

Detroit-Clarence Medical Building  
Property Name  
13314 Detroit Avenue  
Property Address

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**Significant Dates or Periods of Construction**

1959

**Architect/Builder**

Architect: Adelbert B. Kleine, Caxton Building,  
812 Huron Ave., Cleveland  
Builder: Schaefer Bros. Inc.  
1600 Fall St., Cleveland

Building Permit, City of Lakewood, Ohio, Division of  
Building Inspection, September 18, 1958.

**Narrative Statement of Significance:**

Explain the historic and architectural significance of the property/district to Lakewood's history. Statement can include association with events that have made a significant contribution to the broad patterns of our history; association with lives of persons significant in our past; or property that illustrates the distinctive characteristics of a type, period, or method of construction; or is noted for its craftsmanship or architectural design. Include periods of significance (i.e. 1905-1920) and specific significant dates. Use Continuation Sheets as needed.

**Summary**

The 1959 Detroit-Clarence Medical Building is a small-scale, mid-20<sup>th</sup> century example of a medical office building, a new building type developed in that period. Architecturally, it is the most high style example of its type in Lakewood, combining the crisp, asymmetrically arranged, geometric forms of the International Style with a palette of materials consisting of glass, aluminum, stone, and brick that are a familiar part of mid-20<sup>th</sup> century modern design. The Detroit-Clarence Medical Building also retains the most original features of its building type in Lakewood, a densely populated city of approximately 66,000 residents with its own large hospital at the time this medical office building was constructed.

**Period of Significance**

The Period of Significance is 1959 – 1968.

The Period of Significance begins in 1959, when three physicians, Carl W. Hahn, John R. Sylvester, and David N. Wood, had the Detroit-Clarence Medical Building designed and constructed to house their growing medical practice.

The Period of Significance ends in 1968, a customary measure representing fifty years prior to the year of this document.

The medical practice, with a gradually evolving roster of physicians, remained at 13314 Detroit through 1989. After being vacant for most of the next five years, Ehren Chiropractic Center occupied the building from 1994 into 2017.

**Building Development and History**

Prior to the 1940s, physician offices outside of hospital buildings were located in a variety of settings, such as the upper floors of mixed-use buildings, office buildings, or single-family homes. For example, the 1930 *Cleveland City Directory* listings for physicians in Lakewood showed that most physicians had offices in The Detroit-Warren Rd.

CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

Property Name

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Property Address

---

building, 14805 Detroit Avenue (21 physicians, 19 dentists) or the Medical Building, 15707 Detroit Avenue (16 physicians, 7 dentists). The remaining physicians, scattered around the city, had offices in apartments or office space above retail storefronts, or operated offices out of their homes.

The freestanding medical office building emerged as a building type specifically for physicians to better meet the needs of their patients and administer their practices. Rather than adapting to the size and configuration of an existing space such as an office, apartment, or room in a house, physicians were able to design a building to accommodate the number of doctors and patient load of their practice and contained areas with specific functions, such as a waiting room, reception counter, exam rooms, and administrative spaces for offices, medical supplies, and patient records. In addition, a freestanding medical office building improved patient accessibility compared to older office locations. The Detroit-Clarence Medical Building provided off-street parking spaces adjacent to the building, a short walk to the entrance door, and a compact, efficient interior layout, all without stairs. In addition, the building was located on a heavily used bus route.<sup>3</sup>

The Detroit-Clarence Medical Building was designed for three physicians: Carl W. Hahn (1904-1989), John R. Sylvester (1931-1982), and David N. Wood (1925-2012). Drs. Hahn and Wood practiced together at 13620 Detroit Avenue, Apts. 202 and 203, which is the mixed-use building at the northeast corner of Detroit and Giel Avenues. They expanded their practice with the new building, adding Dr. Sylvester, who had just completed his residency. They named the new building the Detroit-Clarence Medical Building for the street on which it was located (Detroit Avenue) and a nearby cross street (Clarence Avenue). The 1966 *Cleveland West Suburban Directory* listed five doctors in the practice. Drs. Hahn and Sylvester were staff members at Lakewood Hospital and Lutheran Hospital, and it is likely Dr. Wood held similar posts. Carl Hahn retired in the late 1970s, and John Sylvester died unexpectedly in 1982.<sup>4</sup> David Wood remained, and with other physicians continued to work at 13314 Detroit through 1989, the final year of the practice (*Haines Criss Cross Directory*).

The building was vacant from 1990 through 1994, except briefly in 1992 when the Ronco Construction Company occupied it. In 1994 the building became the home of Ehren Chiropractic Center, Inc., owned by Dennis R. Ehren, which remained in business until his death in 2017.

### Architect

Adelbert B. Kleine (1911-1992), a European trained architect, designed the building. After graduating from the School of Architecture, Czernovitz, Austria (now Chernivtsi, Ukraine), Kleine had his own office in Budapest, Hungary for six years. He did postgraduate study at the British Institute of Technology and then joined the British Army, serving with the Royal Engineers during World War II in Egypt, North Africa, Italy and Austria. After the war he worked for the American War Crimes Commission, utilizing his ability to speak six languages. After arriving in the U.S. in 1948, he worked initially in North Carolina and then spent several years with the firm Fulton, Krinsky &

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<sup>3</sup> There were five medical office buildings constructed in Lakewood in the fifteen years following World War II that remain intact today in terms of their exterior design. In addition to 13314 Detroit, they are: 13535 Detroit Ave., Pierson Medical Bldg. (1956): 6 physicians, 2 dentists, 1 physiotherapist, 1 ophthalmologist, 1 x-ray facility, 1 lab, and 1 prescription shop; 13708 Detroit Ave., (1957): 2 physicians, 1 dentist; 15644 Madison Ave., Madison Square Medical Bldg. (1949): 29 physicians, 2 dentists; and 15700 Madison Ave. (1958): 3 physicians, 1 dentist. Although these four other buildings have recognizable 1950s design details, none compare to the architectural quality of 13314 Detroit Ave. All tenant counts are from the 1960 Lakewood City Directory, except 15644 Madison Avenue (1953 Lakewood City Directory).

<sup>4</sup> *The Plain Dealer*, April 18, 1982, obituary of John Sylvester, and February 21, 1989, obituary of Carl Hahn.

**CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS**

Detroit-Clarence Medical Building  
Property Name  
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DelaMotte in Cleveland. He became a licensed architect in Ohio in 1952 and opened his own office in downtown Cleveland's Caxton Building the same year.<sup>5</sup>

Kleine became best known during the 1960s for designing luxury apartment buildings throughout Cuyahoga County. In addition to being the architect, Kleine was often an investor in the project. His documented works include:<sup>6</sup>

Year	City	Address	Name	No. Bldgs.	Total Units
1958	Parma	5245 Hauserman Rd.	Parkside Villas	4	68
1961	Fairview Park	20123 Lorain Rd.	Park Tower	1	72
1963	Rocky River	22455 Lake Rd.	Beachcliff Place	6	218
1964	Cleveland	11212 Clifton Blvd.	n/a	1	46
1964	Shaker Heights	3333 Warrensville Center Rd.	Thornton House	1	58
1964	North Randall	4520 Warrensville Center Rd.	Randall Park Apts.	6	327
1967	Rocky River	3400 Wooster Rd.	Continental West	1	131

Non-residential projects designed by Kleine include:

Year	City	Address	Name
1959	Lakewood	13314 Detroit Ave.	Detroit-Clarence Medical Building
1959	Cleveland	1720 East 30th St.	Plumbers Union Local 55 Headquarters
1965	Rocky River	Center Ridge Rd just east of Linden Rd.	Loew's Theater, Rockport Square Shopping Center (demolished)
1970/1971	Parma Heights	6315/6325 Pearl Rd.	York Executive Mark I and Mark II office buildings

**Major Bibliographical References:**

**Documentation on file:** Nomination on file with the City of Lakewood Planning and Development Department.

**Primary location of additional data:**

- Lakewood Public Library
- Cleveland Public Library

<sup>5</sup> It appears that Kleine did not join the American Institute of Architects. He is not listed in the 1956, 1962, or 1970 AIA member directories.

<sup>6</sup> Project information obtained from articles in *The Plain Dealer*, various dates. Biographical material from *The Plain Dealer*, September 7, 1952.

**CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS**

Detroit-Clarence Medical Building

Property Name

13314 Detroit Avenue

Property Address

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**Bibliography**

Cite the books, articles, and other sources used in preparing this form.

Ancestry.com

City of Lakewood Building Department – address files.

Cleveland Memory Project, Cleveland State University, Michael Schwartz Library (clevelandmemory.org).

Cleveland Public Library – online Research Database – *The Plain Dealer*.

Find A Grave (findagrave.com).

Lakewood Heritage Advisory Board – Commercial/Industrial Survey.

Lakewood Public Library – Cleveland City Directories, Cleveland West Suburban City Directories, and Lakewood City Directories.

**Additional Documentation:**

**Photographs and Figures**

Photographer: Heather Rudge, Historic Preservation Group, LLC.

Photographs taken January, 2018.

Photo 1: South elevation, looking north, 2018.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

Property Name

13314 Detroit Avenue

Property Address

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Photo 2: South elevation, looking northeast, 2018.



Photo 3: South elevation, looking northwest, 2018.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

Property Name

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Property Address

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Photo 4: South elevation, detail of eastern section, looking northwest, 2018.



Photo 5: South elevation, glass wall detail, looking west, 2018.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

Property Name

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Property Address

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Photo 6: South elevation, detail of western section, looking north, 2018.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

Property Name

13314 Detroit Avenue

Property Address

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Photo 7: South elevation, detail of southwest corner, looking northeast, 2018.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

Property Name

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Photo 8: West elevation, looking east, 2018.



Photo 9: North and west elevations, looking southeast, 2018.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

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Photo 10: East elevation, looking southwest, 2018.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

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Figure 1: Detroit Avenue looking east from Nicholson Avenue, 1967. Source: Cleveland Memory Project.



CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Detroit-Clarence Medical Building

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Figure 2: South elevation, looking northeast, circa 1990. Source: Cleveland Memory Project.



**CITY OF LAKEWOOD  
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS**

Detroit-Clarence Medical Building  
Property Name  
13314 Detroit Avenue  
Property Address

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**Considerations for Nomination:** (Check all that apply to the property)

- (1) Has character, interest or value as part of the heritage of the City, region, State of Ohio or United States;
- (2) The location is the site of a significant historic event;
- (3) Associated with a person or persons who significantly contributed to the historic development of the City;
- (4) Exemplifies the cultural, economic, social, archeological, or historic heritage of the City;
- (5) Reflects the environment of a group of people in an era of history characterized by a distinctive architectural style;
- (6) Reflects distinguishing historical characteristics of a group of people in an era of history characterized by a distinctive architectural style;
- (7) The work of an architect or master builder whose individual work has influenced the development of the City;
- (8) Embodies elements of architectural design, detail, materials or craftsmanship which represent a significant architectural style or technological innovation;
- (9) Possesses a unique location or singular physical characteristics representing an established and familiar visual feature of a neighborhood, community or the City;
- (10) The likelihood of yielding information important to the understanding of prehistory or history.

**Additional Considerations:** (Must meet both for eligibility)

- (1) Must have a high degree of historic integrity, without excessive loss of architectural or historic character.
- (2) Must have an internal historic cohesiveness in the sense of a shared common history of its inhabitants, historical development, a shared architectural style or design, or a body of architecture illustrating the evolution of architectural styles over a period of time.

**Lakewood Heritage Advisory Board Review Date:** January 25, 2018      **Action:** Approved

**Date of Planning Commission Review (Eligibility):** \_\_\_\_\_ **Action:** \_\_\_\_\_

**Date of Planning Commission Review (Designation):** \_\_\_\_\_ **Action:** \_\_\_\_\_

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Heritage Advisory Board recommended approval of the nomination and design guidelines (if applicable) to the Planning Commission.

  
\_\_\_\_\_  
Signature of Heritage Advisory Board Chair

January 25, 2018  
\_\_\_\_\_  
Date

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Planning Commission approved the designation of the historic property or historic district.

\_\_\_\_\_  
Signature of Planning Commission Chair

\_\_\_\_\_  
Date

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