

**AMENDED AGENDA
PLANNING COMMISSION
DECEMBER 7, 2017
LAKEWOOD CITY HALL**

**PRE-REVIEW MEETING
6:30 P.M.
AUDITORIUM**

Review docket items

**REGULAR MEETING
7:00 P.M.
AUDITORIUM**

1. Roll Call
2. Approve the Minutes of the November 2, 2017 meeting
3. Opening Remarks

**NEW BUSINESS
CONDITIONAL USE**

4. **Docket No. 12-30-17
12400 Madison Avenue
Fedor Manor/T-Mobile**

John R. Sindyla, Esq., Sindyla Consulting Group, LLC, applicant requests the review and approval for the installation of nine antennas and one equipment cabinet on the roof of the building, pursuant to section 1157.02 – regulations. The property is located in a C2 - Commercial, Retail district. (Page 3)

5. **Docket No. 12-31-17
13415 Madison Avenue
Ohio Wellness LLC**

Fabio Salerno, Ohio Wellness LLC, applicant requests the review and approval of a Conditional Use in order to operate the Ohio Wellness LLC medical marijuana business; pursuant to Section 1129.02 - principal and conditional permitted uses. The property is located in a C2 - Commercial, Retail district. (Page 25)

6. **Docket No. 12-32-17
13415 Madison Avenue
ATCL-5 dba: Curated Leaf**

Adam Thomarios, ATCL 5 dba Curated Leaf, applicant requests the review and approval of a Conditional Use in order to operate the ATCL 5 dba Curated Leaf medical marijuana business approximately 2,920 sq. ft. with 12 parking spaces on site; pursuant to Section 1129.02 - principal and conditional permitted uses. The property is located in a C2 - Commercial, Retail district. (Page 38)

7. **Docket No. 12-33-17**
13415 Madison Avenue
Galenas Wellness LLC

Geoffrey D. Korff, Galenas Wellness LLC, applicant requests the review and approval of a Conditional Use in order to operate the Galenas Wellness LLC medical marijuana business approximately 2,920 sq. ft. with 12 parking spaces on site; pursuant to Section 1129.02 - principal and conditional permitted uses. The property is located in a C2 - Commercial, Retail district. (Page 77)

8. **Docket No. 12-34-17**
15408 Madison Avenue
The Forest Lakewood

Erik Vaughan, The Forest Lakewood, LLC, applicant requests the review and approval of a Conditional Use in order to operate The Forest Lakewood, LLC medical marijuana business; pursuant to Section 1129.02 - principal and conditional permitted uses. The property is located in a C2 - Commercial, Retail district. (Page 86)

**ADD-ON
COMMUNICATION**

9. **Docket No. 12-35-17**
Communication from Alex Harnocz, Planner Regarding Resiliency Task Force Formation

A Communication will be presented to the Lakewood Planning Commission regarding the formation of the Resiliency Task Force. Resiliency is the ability of a system to absorb internal and external shocks and stressors whether environmental, social or economic. This nine member appointed body will evaluate Lakewood's existing plans, identify gaps in those plans, identify opportunities for inter-connection among the plans, and prioritize projects and policies for implementation. The Task Force will provide occasional updates to the Planning Commission throughout its 18 to 24 month course. The final deliverable of this group will be a report which we anticipate can serve as an addendum or update to the *Community Vision*. (Page 95)

ADJOURN

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL17-002175
DOCKET No. 12-30-17
FEE PAID \$150.00 js check

APPLICATION
LAKWOOD PLANNING COMMISSION

Property Address 12400 Madison Ave Business/Tenant Name Fedor Manor / T-Mobile
Property Owner Name Curt Brosky Owner Phone 216-521-7260 x 130
SSC and M Haven Inc
LSC Service Corp. Multi-family
Owner E-mail cbrosky@lscservice.com Zoning apts Parcel Number 315-12-028
Project Summary Installation of 9 antennas and 1 equipment cabinet
on the roof of the building

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): John R Sindyla, Esq. Company T-Mobile Central LLC
Sindyla Consulting Group, LLC
Applicant Address: 7425 Royalton Rd, N. Royalton, OH 44133
Phone: 440-915-2893 Fax: 440-230-1699 E-mail: jsindyla@hotmail.com
Signature: John R Sindyla Date: 11-20-17

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. 91-95 SECTION 1157.02

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? Yes No

Please Print or Type:

Owner/Agent Name: LSC Service Corp.
SSC and M Haven, Inc / Curt Brosky

Property Address: 12401 Madison Ave

Owner/Agent Phone: 216-521-7260 x 130

Tenant Name T-Mobile / John Sindyla Tenant Phone 440-915-2893

Curt Brosky
Owner/Agent Signature CURT BROSKY,

**2017 Calendar
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-21-16	Thursday	01-05-17	Thursday	01-05-17
February	Wednesday	01-18-17	Thursday	02-02-17	Thursday	02-02-17
March	Wednesday	02-15-17	Thursday	03-02-17	Thursday	03-02-17
April	Wednesday	03-22-17	Thursday	04-06-17	Thursday	04-06-17
May	Wednesday	04-19-17	Thursday	05-04-17	Thursday	05-04-17
June	Wednesday	05-17-17	Thursday	06-01-17	Thursday	06-01-17
July	Wednesday	06-21-17	Thursday	07-06-17	Thursday	07-06-17
August	Wednesday	07-19-17	Thursday	08-03-17	Thursday	08-03-17
September	Wednesday	08-23-17	Thursday	09-07-17	Thursday	09-07-17
October	Wednesday	09-20-17	Thursday	10-05-17	Thursday	10-05-17
November	Wednesday	10-18-17	Thursday	11-02-17	Thursday	11-02-17
December	Wednesday	11-22-17	Thursday	12-07-17	Thursday	12-07-17
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18

Pre-Review Meetings for the Commission commence at 6:30 P.M. in the Council Conference Room.

Review Meetings commence at 7:00 P.M. in the Auditorium at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants or a representative (designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review.



Fedor Manor Apartments

12400 Madison Avenue - Lakewood, OH 44107

216-226-7575 - TTY 216.226.9309

TTY-800.750.0750

November 20, 2017

Lakewood Planning Commission
12650 Detroit Avenue
Lakewood, OH 44107

Lakewood Planning Commission:

Please accept this letter as our authorization for John Sindyla, Esq. to represent Fedor Manor in all matters pertaining to our request to install a T-Mobile rooftop antenna at our property.

Please contact me with any questions.

A handwritten signature in blue ink that reads "Curt Brosky". The signature is written in a cursive style.

Curt Brosky

Managing Agent

216-521-7260 x130



**T-Mobile Central LLC
Rooftop Antenna Installation
Fedor Manor
12400 Madison Avenue**

T-Mobile Central, LLC dba T-Mobile respectfully requests that the City of Lakewood grant zoning approval of its proposal to install nine (9) antennas, ancillary antenna equipment, and one (1) equipment cabinet on a steel platform on the roof of the 11 story apartment building at 12400 Madison Ave.

To catalyze competition into the telecommunications industry, the Federal Communication Commission (FCC) auctioned off radio frequency licenses to entrepreneurial companies including T-Mobile. The FCC requires licensees to provide adequate and reliable service in the licensed area as specified in Title 47, Part 24.103 of the Code of Federal Regulations.

In order to fulfill the requirements for its license, T-Mobile is required to provide continuous, uninterrupted wireless communication services to the neighborhoods and business areas immediately surrounding the subject parcel at 12400 Madison Avenue in Lakewood.

Technical radio frequency requirements determine the optimal antenna location and height of each wireless facility. Sufficient signal strength is required to handover from one site to another. If the site is too far from its neighboring sites, the signal strength is too weak and a coverage hole occurs between sites. Handovers from site to site are not feasible and the call gets dropped. If the site is too close to its neighboring sites, the signal strength is too strong and interference occurs among neighboring sites. Consequently, if a site is too short, the signal is disrupted and interfered with by natural and artificial structures such as tall trees and buildings. Coverage holes and interference cause degradation in voice quality and dropped calls.

The proposed telecommunications site at 12400 Madison Avenue will be located in a similar fashion on the roof as the two existing wireless carriers (Clearwire and Sprint) in order to provide the best possible coverage to this area of Lakewood. The height of T-Mobile's antennas will be lower than all the other antennas currently located on the building. This proposed wireless telecommunications facility complies with all sections of the City of Lakewood Planning and Zoning Code regarding the location of wireless telecommunications installations.

**T-Mobile Central LLC
Rooftop Antenna Installation
Fedor Manor
12400 Madison Avenue**

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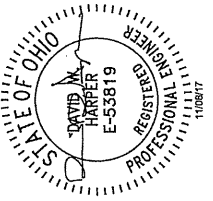
T-Mobile
 6200 OAK TREE BOULEVARD
 SUITE 125
 INDEPENDENCE, OH 44131
 OFFICE: (216) 525-6000
 FAX: (216) 525-6120

T-Mobile

T-MOBILE SITE NUMBER:
CL70988A
 SITE NAME:
**FEDOR MANOR
 ROOFTOP SITE**

**HARPER
 ENGINEERING, INC.**
 TELECOM GROUP
 815 Superior Ave. Suite 1514
 Cleveland, OH 44114
 Phone: (216) 944-9955
 Fax: (216) 944-9956

REV.	DESCRIPTION	DATE
0	TITLE SHEET	
0	BUILDING ROOF PLAN	
0	PARTIAL ROOF PLAN	
0	BUILDING ELEVATION	
0	ANTENNA DETAILS	
0	RF PLUMBING DIAGRAM	
0	PLATFORM FRAMING PLAN & DETAILS	
0	PLATFORM & MISC. DETAILS	
0	UTILITY DETAILS	
0	GROUNDING PLAN & RISER DIAGRAM	
0	GROUNDING & MISC. DETAILS	
0	GENERAL NOTES	
0	GENERAL NOTES	



T-MOBILE
 SITE NUMBER:
CL70988A
 SITE NAME:
FEDOR MANOR
 12400 MADISON AVE.
 LAKEWOOD, OH 44107
 SHEET NAME:
TITLE SHEET
 SCALE AS NOTED
 DRAWN BY: CA
 CHECKED BY: CAB
 DATE: 08/27/10
 FILE: 8-RT-09

SHEET INDEX

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	0
A-1	BUILDING ROOF PLAN	0
A-2	PARTIAL ROOF PLAN	0
A-3	BUILDING ELEVATION	0
RF-1	ANTENNA DETAILS	0
RF-2	RF PLUMBING DIAGRAM	0
S-1	PLATFORM FRAMING PLAN & DETAILS	0
S-2	PLATFORM & MISC. DETAILS	0
E-1	UTILITY DETAILS	0
E-2	GROUNDING PLAN & RISER DIAGRAM	0
E-3	GROUNDING & MISC. DETAILS	0
SP-1	GENERAL NOTES	0
SP-2	GENERAL NOTES	0

APPROVALS

SITE ACQUISITION	DATE
CONSTRUCTION MANAGER	DATE
RF ENGINEER	DATE
PROPERTY OWNER	DATE

SITE INFORMATION

EQUIPMENT ENCLOSURE: EQUIPMENT CABINETS ON STEEL PLATFORM
 CONSTRUCTION TYPE: NONCOMBUSTIBLE (B) USE GROUP "U"
 GOVERNING CODE: OBC 2017 / NEC 2017
 SITE ADDRESS: 12400 MADISON AVE. LAKEWOOD, OH 44107
 COUNTY: CUYAHOGA COUNTY
 PROPERTY OWNER: S & C M LAMEN INS. 12400 MADISON AVENUE LAKEWOOD, OH 44107
 PROPERTY OWNER CONTACT: CURT BROSKY, LSC SERVICE CORP. (216) 821-2800 X138
 PROPERTY PARCEL NUMBER: 316-12-028
 ZONING JURISDICTION: CITY OF LAKEWOOD
 APPLICANT: T-MOBILE 6200 OAK TREE BLVD., SUITE 125 INDEPENDENCE, OH 44131 PHONE: (419) 518-4881
 POWER PROVIDER: FIRST ENERGY - OHIO EDISON (607) 654-4106
 FIBER PROVIDER: TBD

PROJECT TEAM

ENGINEER:
 HARPER ENGINEERING, INC.
 815 SUPERIOR AVE. SUITE 1514
 CLEVELAND, OH 44114
 (216) 344-3885

CONTACT PERSON:
 DAVID W. HARPER
 (216) 344-3885

DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE BEING RESPONSIBLE FOR SAME

HANDICAP REQUIREMENTS
 FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED

OTHER REQUIREMENTS
 - FACILITY HAS NO PLUMBING OR PARKING
 - NO GRADING WILL BE REQUIRED FOR THIS SITE.

VICINITY MAP

NO SCALE

DRIVING DIRECTIONS FROM T-MOBILE OFFICE
 6200 OAK TREE BLVD., SUITE 125 INDEPENDENCE, OH 44131
 Turn right onto Rockwell Road. Take right turn for Lakewood Road. At exit 83, bear right for Tredman Road. Turn left onto Memphis Avenue. Road name changes to W. 117th Street. Turn right onto W. 118th Avenue. Site is located on the right past Ridgewood Avenue.

PENTHOUSE COORDINATES
 LATITUDE: N. 41° 28' 38.53"
 LONGITUDE: W. 81° 46' 31.39"

AREA MAP

NO SCALE

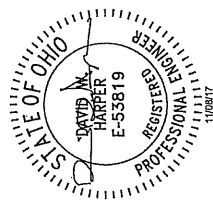
AREA MAP
 The map shows the site location in Cleveland, Ohio, near Rocky Hill and Fashion Park. Major roads like W. 117th St and W. 118th St are visible.

T-Mobile
 6200 OAK TREE BOULEVARD
 SUITE 125
 INDEPENDENCE, OH 44131
 OFFICE: (216) 525-6000
 FAX: (216) 525-6120

HARPER ENGINEERING, INC.
 TELECOM GROUP
 815 Superior Ave. Suite 1514
 Cleveland, OH 44114

Phone: (216) 544-9355
 Fax: (216) 544-9356

Rev.	Description	Date	By
A	For Approval	09/20/17	GJB
B	For Approval	10/30/17	GJB
0	For Construction	11/08/17	GJB

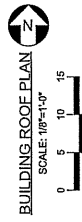
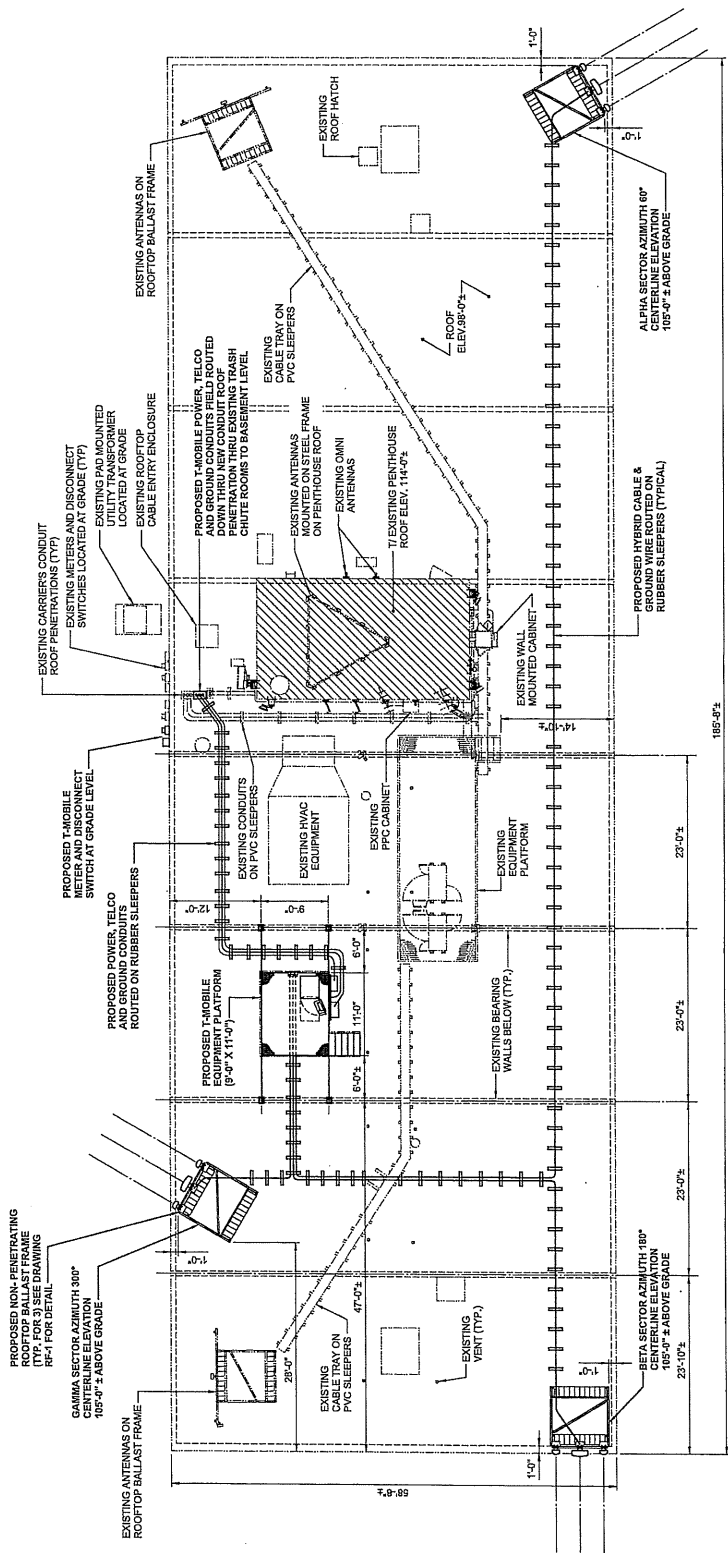


Engineer's Seal
 T-MOBILE
 SITE NUMBER:
 CL 70988A
 SITE NAME:
 FEDOR MANOR
 12400 MADISON AVE.
 LAKEWOOD, OH 44107

SHEET No./Rvw.:
A-1/0
 SCALE AS NOTED
 DRAWN BY: CA
 CHECKED BY: GJB
 DATE: 09/20/17
 FILE: 0107-139

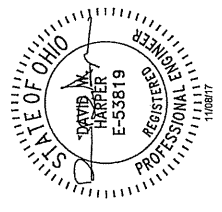
BUILDING ROOF PLAN

- NOTES:**
- ALL WORK TO BE COORDINATED WITH THE BUILDING OWNER/REPRESENTATIVE.
 - WORK THIS DRAWING WITH DRAWINGS A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52 FOR PLATFORM & MISC. DETAILS. SEE DRAWINGS A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100 FOR GENERAL NOTES.



T-Mobile
 6200 OAK TREE BOULEVARD
 SUITE 200
 INDEPENDENCE, OH 44131
 OFFICE: (216) 525-6000
 FAX: (216) 525-6120

HARPER ENGINEERING, INC.
 TELECOM GROUP
 819 Superior Ave. Suite 1514
 Cleveland, OH 44114
 Phone: (216) 944-9955
 Fax: (216) 944-9956

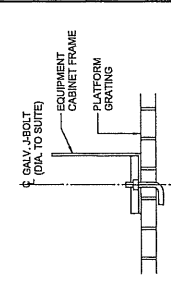


T-MOBILE
 SITE NUMBER:
 CL70988A
 SITE NAME:
 FEDOR MANOR
 12400 MADISON AVE.
 LANGWOOD, OH 44107

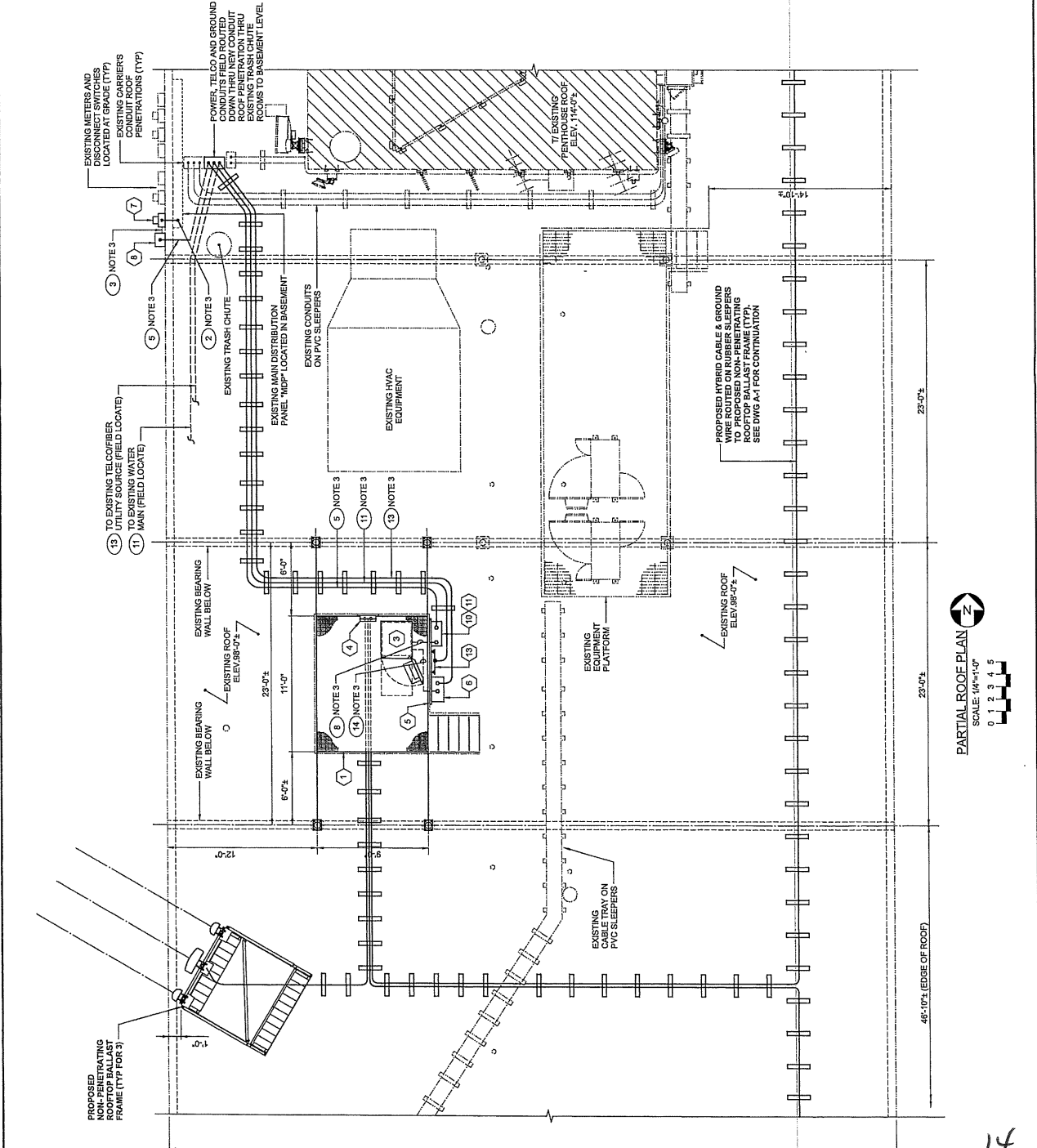
PARTIAL ROOF PLAN
 SHEET NO./REV.:
 A-2/0
 SCALE AS NOTED
 DRAWN BY: DA
 CHECKED BY: GJB
 DATE: 08/2017
 FILE: P-137-138

ITEM	EQUIPMENT LEGEND
①	EQUIPMENT PLATFORM SEE DRAWINGS S-1 & S-2
②	NOT USED
③	SELA CABINET SEE DRAWING E-1
④	UNISTRUT (AS REQUIRED) SEE DRAWING E-1
⑤	AV CABINET SEE DRAWING E-1
⑥	METER SEE DRAWING E-1
⑦	DISCONNECT SWITCH SEE DRAWING S-1
⑧	NOT USED
⑨	PPC CABINET SEE DRAWING E-1
⑩	PPC CABINET GENERATOR RECEPTACLE SEE DRAWING E-1
⑪	NOT USED
⑫	MASTER GROUND BAR (FIELD LOCATE) SEE DRAWINGS S-1 & S-2
⑬	NOT USED
⑭	NOT USED
⑮	NOT USED

- NOTES:**
- ALL WORK TO BE COORDINATED WITH THE BUILDING OWNER/REPRESENTATIVE.
 - WORK THIS DRAWING WITH DRAWINGS A-1, A-2 AND E-1. SEE DRAWINGS RF-1 & RF-2 FOR ANTENNA DETAILS. SEE DRAWINGS S-1 AND S-2 FOR PLATFORM & MISC. DETAILS. SEE DRAWINGS SP-1 & SP-2 FOR GENERAL NOTES.
 - Ⓢ - INDICATES CONDUIT AND CABLE SCHEDULE TAG REFER TO DRAWING E-1. CONDUIT ROUTINGS SHOWN ARE GROUP CONDUIT RUNS TO MINIMIZE SUPPORTS.



NOTE:
 VERIFY QUANTITY, DIAMETER, AND LOCATION WITH INSTALLATION DWGS.
 CABINET CONNECTION DETAIL
 SCALE: NONE



PARTIAL ROOF PLAN
 SCALE: 1/8"=1'-0"
 0 1 2 3 4 5

T-Mobile

6200 OAK TREE BOULEVARD
SUITE 125
CLEVELAND, OH 44131
OFFICE: (216) 525-5000
FAX: (216) 525-6120

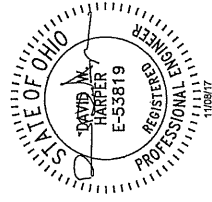
**HARPER
ENGINEERING, INC.**
TELECOM GROUP

815 Superior Ave. Suite 1514
Cleveland, OH 44114

Phone: (216) 544-9355
Fax: (216) 544-9356

DRAWING REVISIONS

Rev.	Description	Date	By
A	For Approval	09/20/17	GSB
B	For Approval	10/30/17	GSB
0	For Construction	11/02/17	GSB



Engineer's Seal

T-MOBILE
SITE NUMBER:
CL70988A

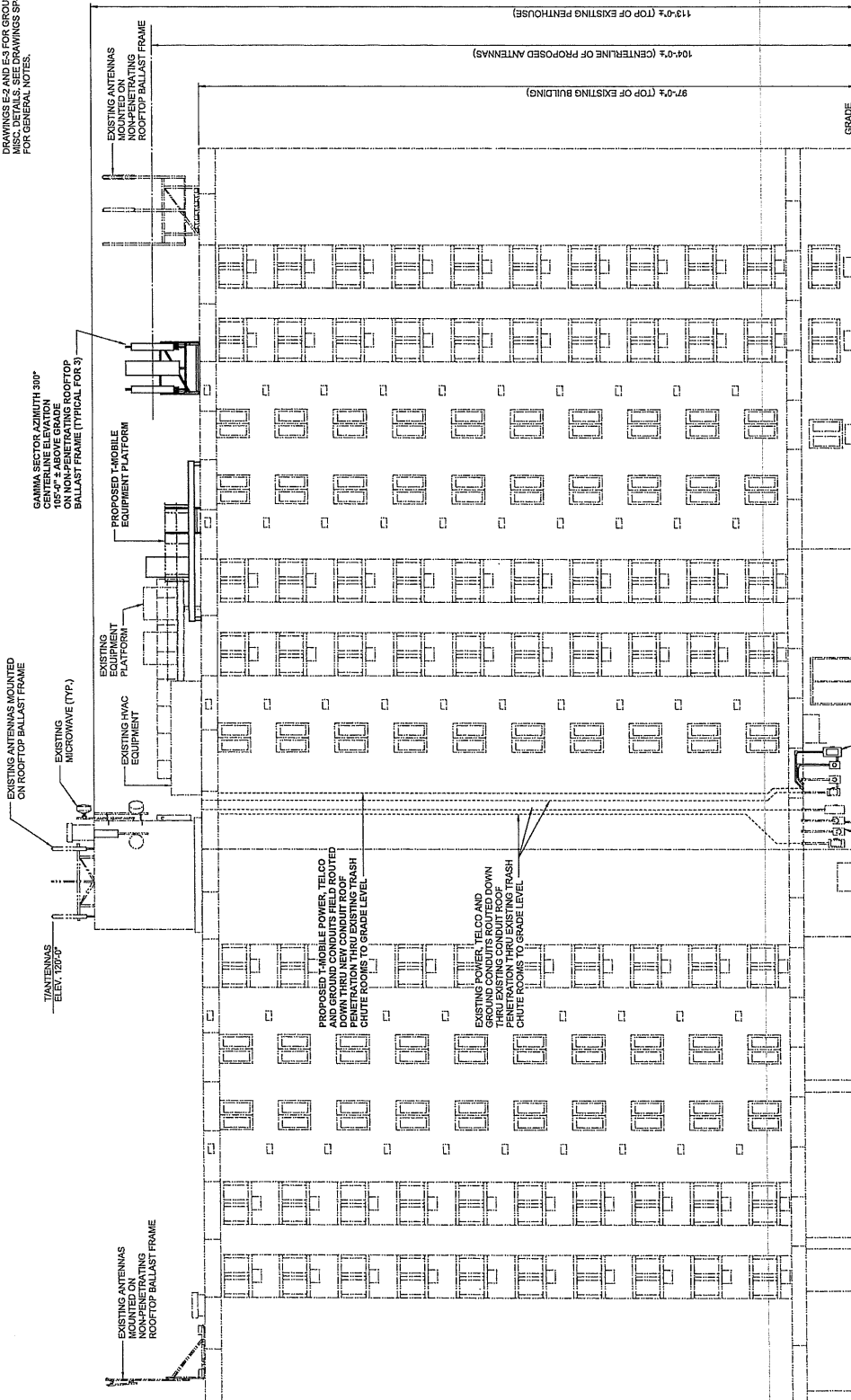
SITE NAME:
FEDOR MANOR
12400 MADISON AVE.
LAKEWOOD, OH 44107

SHEET NAME:

**BUILDING
ELEVATION**

SHEET No./Rev.:	SCALE AS NOTED
A-3/0	DRAWN BY: CA
	CHECKED BY: GSB
	DATE: 08/29/17
	FILE: E-370139

- NOTES:**
- ALL WORK TO BE COORDINATED WITH THE BUILDING OWNER/REPRESENTATIVE.
 - WORK THIS DRAWING WITH DRAWINGS A-1 THROUGH A-4 FOR GENERAL NOTES AND ANTENNA DETAILS. SEE DRAWINGS S-1 AND S-2 FOR PLATFORM & MISC. DETAILS. SEE DRAWINGS E-2 AND E-3 FOR FOUNDING & ANCHORING. SEE DRAWINGS SP-1 & SP-2 FOR GENERAL NOTES.



PROPOSED T-MOBILE METER AND DISCONNECT SWITCH LOCATED AT GRADE. SEE DRAWING E-1

EXISTING PAD MOUNTED ANTENNAS, METER AND DISCONNECT SWITCHES LOCATED AT GRADE

WEST ELEVATION

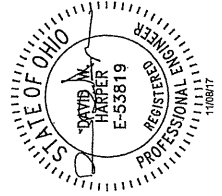
SCALE: 1/8"=1'-0"



T-Mobile
 6200 OAK TREE BOULEVARD
 SUITE 200
 INDEPENDENCE, OH 44131
 OFFICE: (216) 525-6000
 FAX: (216) 525-6120

HARPER ENGINEERING, INC.
 TELECON: 6800P
 919 Superior Ave Suite 1514
 Cleveland, OH 44114
 Phone: (216) 944-9955
 Fax: (216) 944-9956

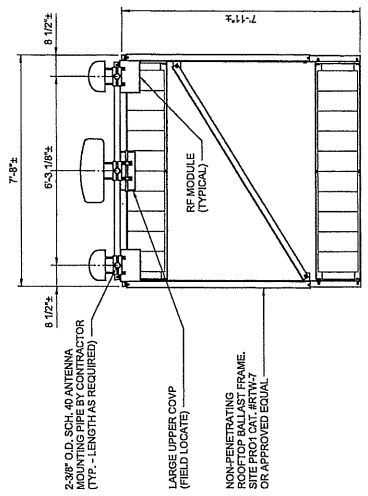
Rev.	Description	Date	By
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C	For Construction	11/08/17	GJB



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 SITE NUMBER:
 CL70988A
 SHEET NAME:
 FEDOR MANOR
 12400 MADISON AVE.
 LAKEWOOD, OH 44107

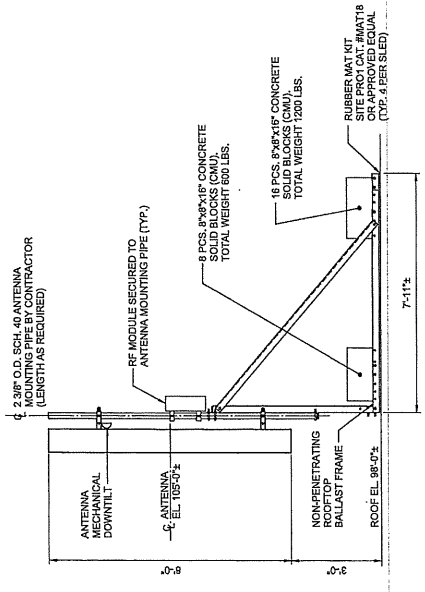
ANTENNA DETAILS

SHEET NO./REV.	SCALE AS NOTED
RF-1/0	DRAWN BY: DA
	CHECKED BY: GJB
	DATE: 09/29/17
	FILE: E-307-138



PLAN VIEW
 SCALE: 1/2"=1'-0"

BALLAST SPECIFICATIONS
 1" SOLID CONCRETE BLOCK (CMU)
 WEIGHT PER BLOCK - 75 LBS.

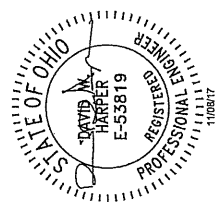


SIDE VIEW
 SCALE: 1/2"=1'-0"

T-Mobile
 6200 OAK TREE BOULEVARD
 INDEPENDENCE, OH 44131
 OFFICE: (216) 525-6000
 FAX: (216) 525-6120

HARPER ENGINEERING, INC.
 TELECOM GROUP
 815 Superior Ave. Suite 1514
 Cleveland, OH 44114
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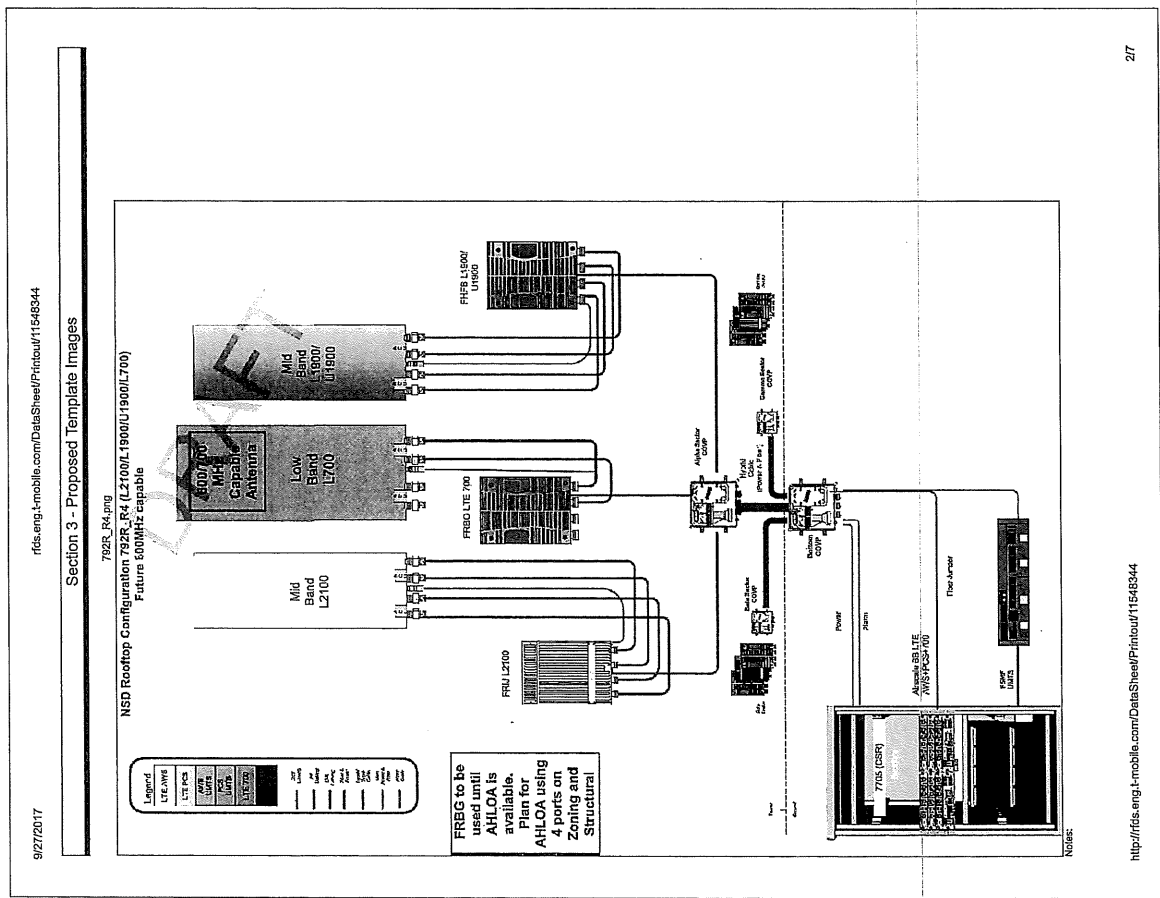
Rev.	Description	Date	By
A	For Approval	08/20/17	GSB
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C	For Construction	11/08/17	GSB



Engineer's Seal
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 SITE NUMBER:
 CL70988A
 SITE NAME:
 FEDOR MANOR
 12400 MADISON AVE.
 LAKEWOOD, OH 44107

SHEET NAME:
**RF PLUMBING
 DIAGRAM**

SHEET NO./REV.	SCALE AS NOTED
RF-2/0	DRAWN BY: CA
	CHECKED BY: LAR
	DATE: 08/20/17
	FILE: 8-107-138

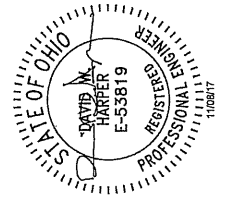


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PLATFORM FRAMING PLAN & DETAILS

SHEET No. Rev.:
S-1/0
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 FILE: E-07-09

NOTES:
 A. FOR ADDITIONAL STRUCTURAL STEEL AND CONCRETE GENERAL NOTES, SEE DRAWING SP-1.
 B. STRUCTURAL STEEL

- STRUCTURAL STEEL SHALL BE AS FOLLOWS:
 A. ASTM A992, GRADE 50, WIDE FLANGE SECTIONS.
 B. CHANNELS, ANGLES, ROOPS, PLATES & ANCHOR BOLTS: ASTM A36.
 C. BOLTS: STRUCTURAL SHOES (RSS); ASTM A500, GRADE B.
 D. BOLTS, BEARING TYPE: ASTM A325.
- STRUCTURAL STEEL SHALL BE DETAILED, FURNISHED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE CURRENT PROVISIONS OF ALL APPLICABLE CODES AND SPECIFICATIONS. THE DESIGNER SHALL PROVIDE A DETAILING MANUAL.
- FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE CONSTRUCTION MANAGER.
- STEEL SHAPES, PLATES, BARS, PIPE, AND CONNECTION BOLTS AND WASHERS SHALL BE HOT-DIP GALVANIZED. TOUCH-UP ALL STEEL AFTER ERECTION IS COMPLETE.
- STRUCTURAL BOLT CONNECTIONS SHALL BE MADE USING A558 BOLTS, WITH THE FOLLOWING SPECIFICATIONS:
 A. A FEW IMPACTS OF AN IMPACT WRENCH.
 B. THE FULL EFFORT OF A PERSON USING A SPUD WRENCH.
- ALL FLOOR GRATING FOR THE PLATFORM SHALL BE 18W4 WITH 1 1/4 x 3/16 BEARING BARS; CROSS BARS AT 4" AND GALVANIZED.
- THE GRATING SHALL BE Banded ON ALL 4 EDGES IN 4" x 4" OF THE DOWNWARD FACING SURFACE TO PROVIDE A MEANS OF ACCESS TO THE DOWNWARD FACING SURFACE FROM THE TIME TO ACCESS CONDUIT AND WIRING BELOW.
- THE PERIMETER OF ALL OPENINGS SHALL BE FINISHED WITH Banded EDGES IN THE GRATING.

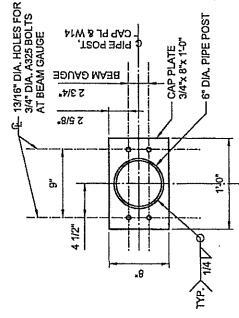
- C. WELDING**
- ALL WELDS SHALL COMPLY WITH THE STRUCTURAL WELDING CODE, AWS D1.1.
 - ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS. CERTIFICATION DOCUMENTS SHALL BE MADE AVAILABLE FOR ENGINEERS AND/OR OWNERS REVIEW IF REQUESTED.
 - WELDING ELECTRODES FOR MANUAL SHIELDED METAL ARC WELDING SHALL CONFORM TO ASTM A538, E7018 SERIES BARE ELECTRODES.
 - FIELD WELDING SHALL BE DONE AS PER AWS D1.1 REQUIREMENTS.
 - ALL WELDS SHALL BE VISUALLY INSPECTED.

HILT MOUNT NOTES:

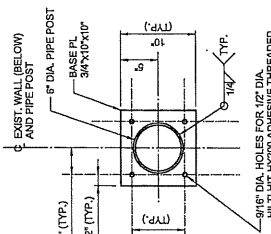
- HILT ANCHOR INSTALLATION INCLUDING HILTS DRILLING, CLEANUP, AND CONCRETE PATCHING SHALL BE DONE BY THE CONTRACTOR. TESTING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S HILT SPECIFICATION. CONTRACTOR TO DO A TURN OF THE NUT TORQUE TEST ON THE EPOXY BONDED ANCHORS AND CHECK FOR DISPLACEMENT.
- NO IMPACT DRILLING SHALL BE PERMITTED THRU MASONRY WALLS. CONTRACTOR SHALL USE ROTARY ACTION TYPE DRILL.

GENERAL REQUIREMENTS

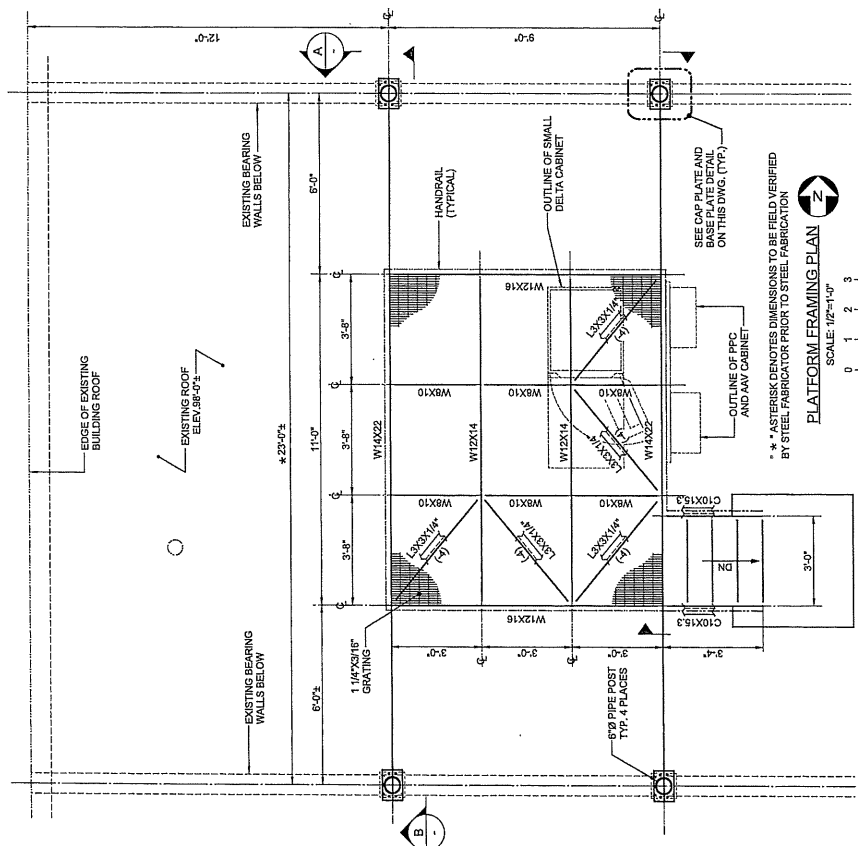
- APPROPRIATE SHORING AND BRACING WILL BE PROVIDED WHERE NECESSARY DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.
- THE LOCATION OF ALL EXISTING UTILITY FEATURES SHALL BE COORDINATED WITH THE LOCAL UTILITY COMPANIES.
- ALL ROOF PENETRATION & FLASHING SHALL BE PERFORMED BY BUILDING OWNERS PREFERRED ROOFING CONTRACTOR (TO MAINTAIN ROOF WARRANTY).
- * - * ASTERISK DENOTES DIMENSIONS TO BE FIELD VERIFIED BY STEEL FABRICATOR PRIOR TO STEEL FABRICATION.



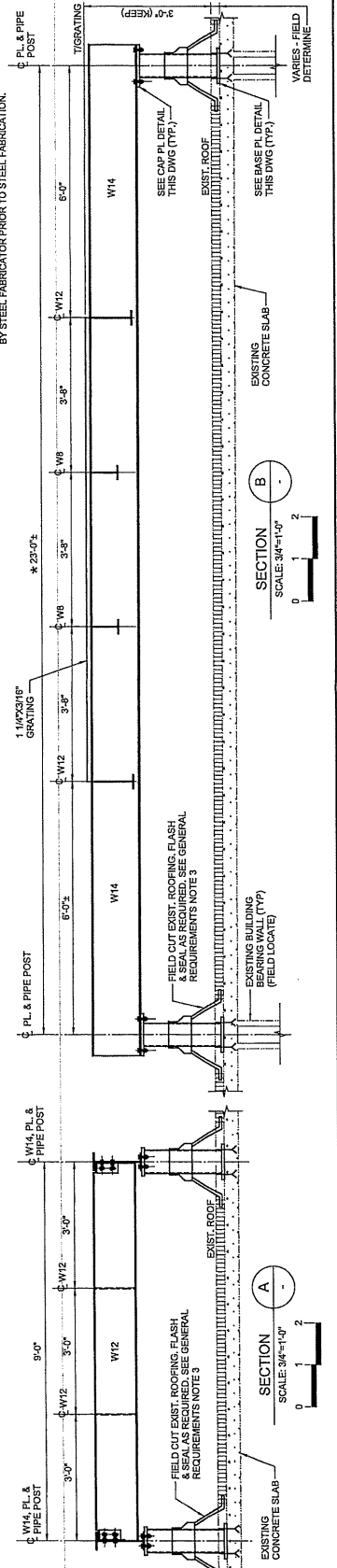
CAP PLATE DETAIL
 SCALE: 1/2\"/>



BASE PLATE DETAIL
 SCALE: 1/2\"/>



PLATFORM FRAMING PLAN
 SCALE: 1/2\"/>



SECTION A
 SCALE: 3/4\"/>

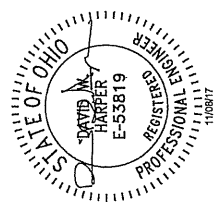
SECTION B
 SCALE: 3/4\"/>

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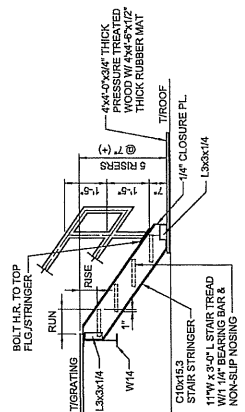
Engineer's Seal
 1108817
 T-MOBILE
 SITE NUMBER:
 CL70988A
 SITE NAME:
 FEDOR MANOR
 12400 MADISON AVE.
 LAKEWOOD, OH 44107

SHEET NAME:
PLATFORM & MISC. DETAILS

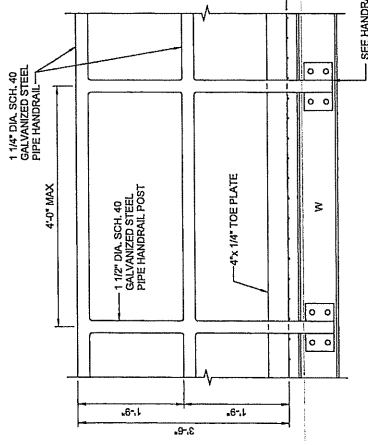
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S-2/0

SCALE(S) NOTED
 DRAWN BY: CA
 CHECKED BY: CAH
 DATE: 09/20/17
 FILE: 8-107-108

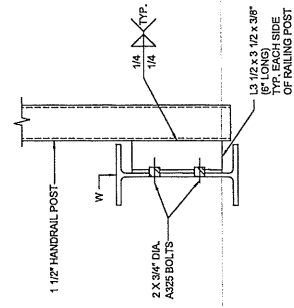
NOTE:
 SEE DRAWING S-1 FOR NOTES



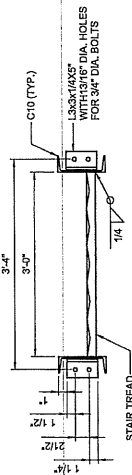
STAIR/HANDRAIL DETAIL
 SCALE: NONE



HANDRAIL ELEVATION
 SCALE: NONE



HANDRAIL CONNECTION DETAIL
 SCALE: NONE

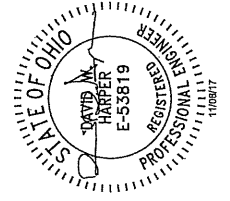


STAIR CONNECTION DETAIL
 SCALE: NONE

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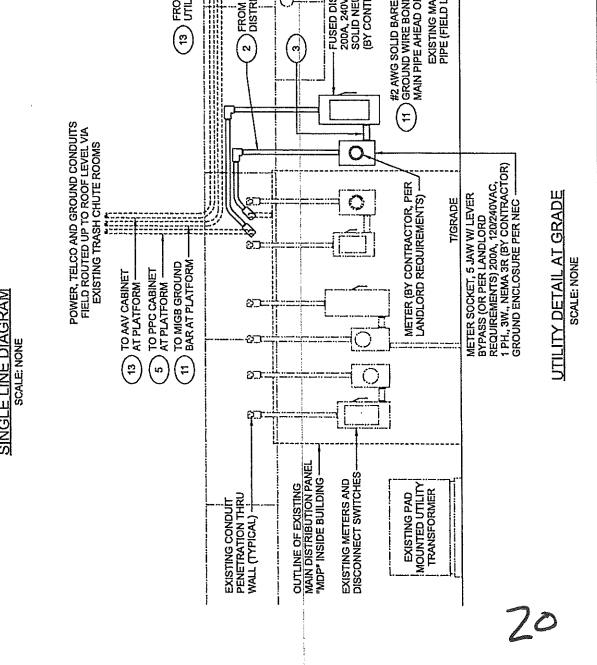
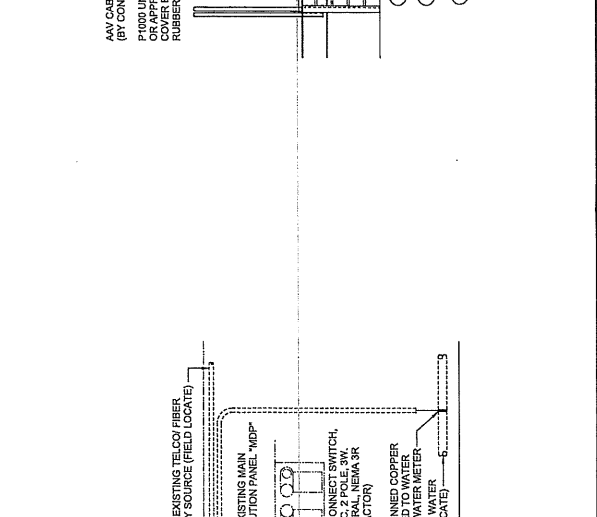
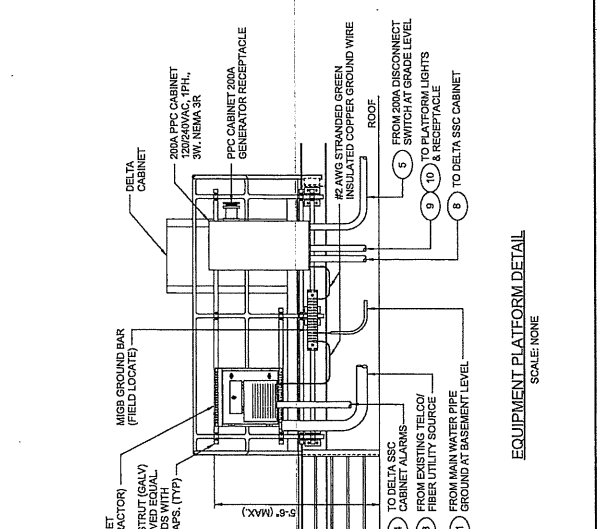
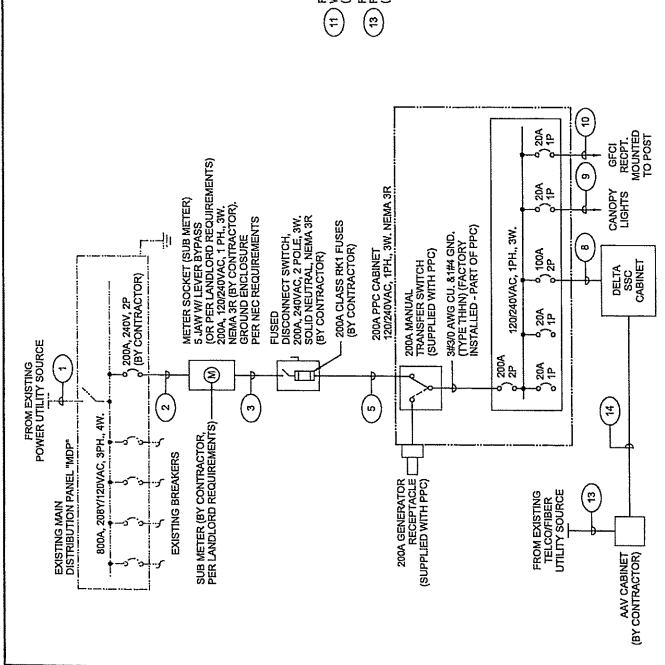
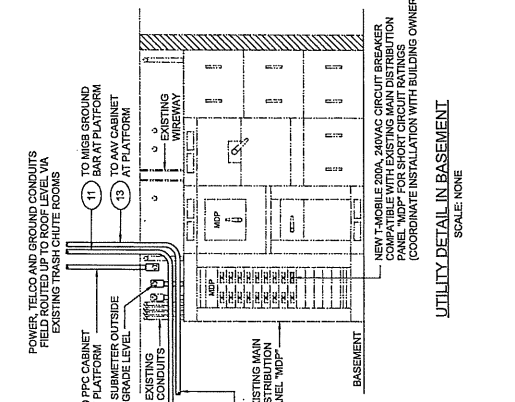
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UTILITY DETAILS
 SHEET No./REV.:
E-1/0
 SCALE AS NOTED
 DRAWN BY: CA
 CHECKED BY: CUB
 DATE: 02/28/17
 FILE: E-107-030

UTILITIES TO BE INSTALLED PER LOCAL UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY WIRE, PULL STRING, CONDUIT SCHEDULE AND ROUTING WITH TOWER OWNER AND T-MOBILE FIELD REPRESENTATIVE PRIOR TO COMMENCING ANY/ALL UTILITY WORK.

CONDUIT TAG	CABLE/CONDUIT	FROM	TO
1	EXISTING CONDUIT & WIRING	EXISTING MAIN UTILITY SOURCE	EXISTING MAIN PANEL "MDP"
2	3/8" AVG CU & 1/2" GND. (TYPE THWN-2)	EXISTING MAIN DISTRIBUTION PANEL "MDP"	SUB METER
3	3/8" AVG CU & 1/2" GND. (TYPE THWN-2)	SUB METER	200A FUSED DISCONNECT SWITCH
4	NOT USED	N/A	N/A
5	3/8" AVG CU & 1/2" GND. (TYPE THWN-2)	200A FUSED DISCONNECT SWITCH	200A MANUAL TRANSFER SWITCH (SUPPLIED WITH PPC)
6	NOT USED	N/A	N/A
7	NOT USED	N/A	N/A
8	3/4" AVG CU & 1/8" GND. (TYPE THWN)	PPC CABINET 1-2P CKT	DELTA SSC CABINET
9	1" PVC SCHED. 40 CONDUIT	PPC CABINET 1P CKT	CANDY LIGHTS
10	2#12 AVG CU & 1#12 GND. (TYPE THWN)	PPC CABINET 1P CKT	GFCI RECEPTACLE MOUNTED TO POST
11	1/2" PVC SCHED. 40 CONDUIT	EXISTING MAIN WATER PIPE	MASTER GROUND BAR (MGB) SEE DRAWING E-2
12	NOT USED	N/A	N/A
13	INCOMING TELCO/FIBER SERVICE (SEE DWG. A-1 AND/OR C-1) CONTRACTOR TO INSTALL CONDUIT WITH NYLON PULL STRING	EXISTING TELCO/FIBER UTILITY SOURCE	AAV CABINET
14	2" PVC SCHED. 40 CONDUIT WITH NYLON PULLSTRING	AAV CABINET	DELTA SSC CABINET

- GENERAL NOTES:**
- FOR ADDITIONAL ELECTRICAL GENERAL NOTES SEE DRAWING SP-2.
 - IN CASE OF CONFLICT BETWEEN THIS DRAWING, PLAN DRAWINGS OR MANUFACTURER SPEC, CONTRACTOR SHALL NOTIFY ENGINEER OR T-MOBILE WIRELESS REPRESENTATIVE.
 - FACE OF EACH PIECE OF EQUIPMENT AND ABOVE THE ELECTRIC METERS "T-MOBILE" ON THE FACE OF EACH PIECE OF EQUIPMENT AND ABOVE THE ELECTRIC METERS.
 - ALL WORK TO BE COORDINATED WITH BUILDING OWNER REPRESENTATIVE.

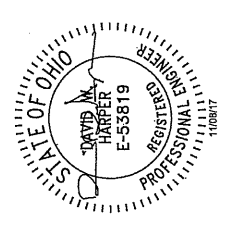


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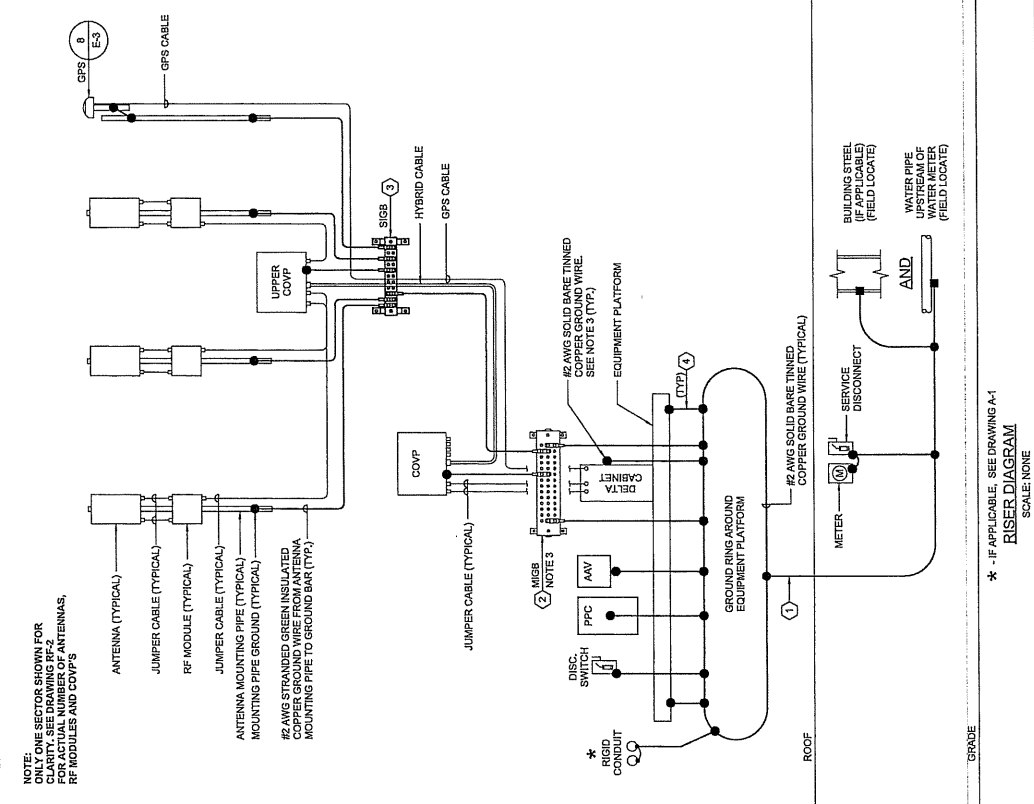
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GROUNDING PLAN & RISER DIAGRAM
 SCALE: AS NOTED
 DRAWN BY: CA
 CHECKED BY: GJB
 DATE: 09/20/17
 SHEET No./REV.:
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 FILE: E-137-138



ELECTRICAL SYMBOLS LEGEND

- ⊗ GROUND ROD
- ⊙ CABLE TYPE CONNECTION
- 2-HOLE LUG COMPRESSION (NESHAWK®) TYPE CONNECTION
- X REFERENCE DETAIL NUMBER
- XX REFERENCE DRAWING NUMBER
- NEW GROUNDING

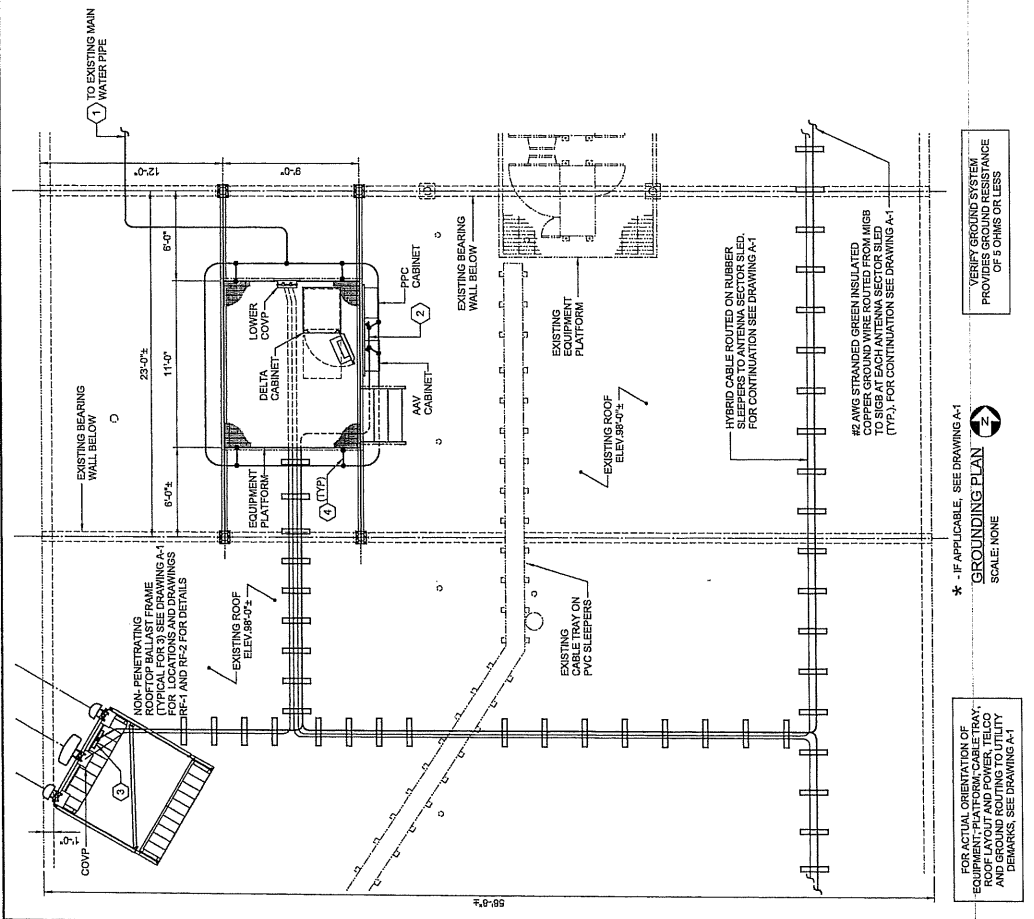
GROUNDING NOTES:

- REFER TO GROUNDING NOTES ON DWG. SP2 FOR TERMINATION, CONDUCTOR, GROUND ROD AND TESTING REQUIREMENTS.
- CONTRACTOR SHALL INSTALL GROUNDING AS SHOWN ABOVE AND PER T-MOBILE STANDARDS AND APPLICABLE CODES BUT SHALL NOT DUPLICATE EXISTING GROUNDING (I.E. FENCE GROUNDING, MULTIPLE GROUND RING ON CONCRETE BRIS) WHICH IS PROPERLY INSTALLED.
- ALL GROUND WIRES SHALL PROVIDE A STRAIGHT CONNECTION FROM POINT TO POINT. ALL GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT. ALL GROUND WIRES THAT TRANSITION FROM BURIED TO EXPOSED ARE TO BE PROTECTED BY 1/2" PVC CONDUIT. ALL PVC TO BE SILICON SEALED AT GRADE LEVEL. (C) PVC TO EXTEND A MINIMUM OF 18" BELOW GRAVEL BASE.

GROUNDING NOTES:

- REFER TO GROUNDING NOTES ON DWG. SP2 FOR TERMINATION, CONDUCTOR, GROUND ROD AND TESTING REQUIREMENTS.
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* - IF APPLICABLE, SEE DRAWING A-1
RISER DIAGRAM
 SCALE: NONE



GROUNDING LEGEND:

- TIEN CONNECTION GROUNDING. EXTEND (1) #2 AWG SOLID BARE TINNED COPPER WIRE IN 1" PVC CONDUIT FROM EXISTING MAIN WATER PIPE (AHEAD OF WATER METER) TO EQUIPMENT PLATFORM GROUND RING AND MAKE APPROPRIATE CONNECTIONS AT EACH END.
- MASTER INSULATED GROUND BAR (MIGB) EQUIPMENT. EXTEND (2) #2 AWG SOLID BARE TINNED COPPER WIRES FROM FROM MIGB TO PLATFORM GROUND RING AND MAKE APPROPRIATE CONNECTIONS AT EACH END. STRAP THE COPPER WIRES TO PLATFORM WITH STAINLESS STEEL MOUNTING MATERIAL. SEE DETAIL BR AND 7 ON DRAWING E-3.
- SECTOR INSULATED GROUND BAR (SIGB) EQUIPMENT. EXTEND (2) #2 AWG SOLID BARE TINNED COPPER WIRES FROM SIGB TO PLATFORM GROUND RING AND MAKE APPROPRIATE CONNECTIONS AT EACH END. STRAP THE COPPER WIRES TO PLATFORM WITH STAINLESS STEEL MOUNTING MATERIAL. SEE DETAIL BR AND 7 ON DRAWING E-3.
- PLATFORM GROUNDING. EXTEND #2 AWG SOLID BARE TINNED COPPER WIRE FROM PLATFORM STEEL TO PLATFORM GROUND RING AND MAKE APPROPRIATE CONNECTIONS AT EACH END.
- GROUND ROD. COPPERCLAD STEEL, 5/8" DIA. TEN (10) FEET LONG.

GROUNDING PLAN
 SCALE: NONE

* - IF APPLICABLE, SEE DRAWING A-1

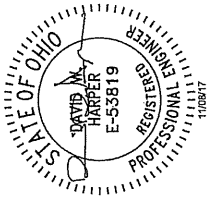
FOR ACTUAL ORIENTATION OF EQUIPMENT PLATFORM, CABLE TRAY, PIPE LAYOUT AND POWER, TELECOM AND DATA DEMANDS, SEE DRAWING A-1

VERIFY GROUND SYSTEM PROVIDED AT EACH END OF 5 OHMS OR LESS

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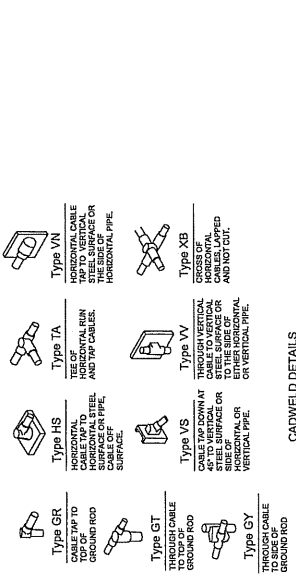


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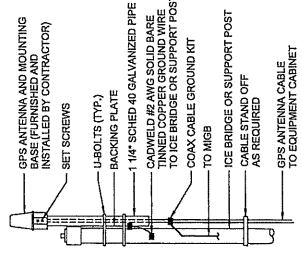
GROUNDING & MISC. DETAILS

SHEET No./Rev.:	E-3/0
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CHECKED BY: CSB	
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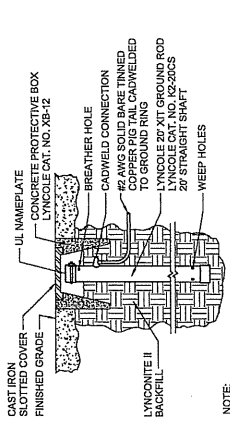
NOTE:
 ALL GROUND WIRES THAT TRANSITION FROM ABOVE GRADE TO BELOW GRADE SHALL BE ROUTED IN A 18" MIN. CONDUIT TO A MINIMUM OF 18" BELOW GRADE. BOTH ENDS OF THE PVC CONDUIT SHALL BE SEALED WITH SILICONE CAULK.



CADWELDED DETAILS
 DETAIL 3
 SCALE: NONE E-2

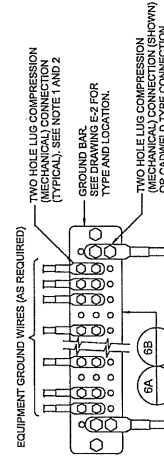


GPS ANTENNA INSTALLATION
 DETAIL 8
 SCALE: NONE E-2



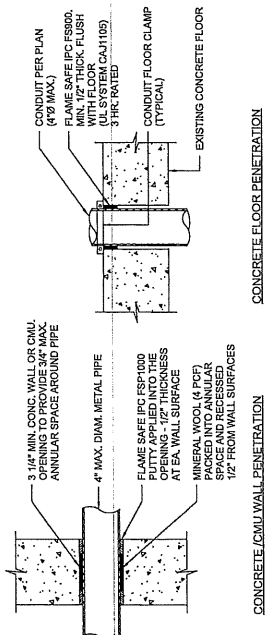
NOTE:
 CONTRACTOR TO PURCHASE & INSTALL IF SOIL RESISTIVITY TEST TO BE DESIGNED BY AND PURCHASED FROM LYNCOLE (1-800-966-2810). INSTALL PER MANUFACTURER'S INSTRUCTIONS.

XIT GROUND ROD STRAIGHT MODEL
 DETAIL 2
 SCALE: NONE E-2



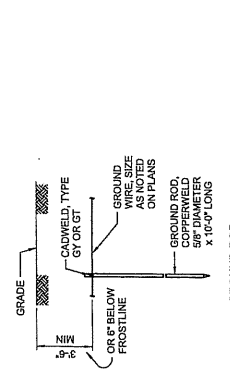
NOTES:
 1. REFER TO RISER DIAGRAM ON DWG E-2 FOR CONNECTIONS.
 2. CONTRACTOR SHALL COAT ALL LUGS WITH AN ANTI-OXIDATION COMPOUND BEFORE ATTACHING GROUND BAR.

INSTALLATION OF GROUND WIRES TO GROUND BARS
 DETAIL 7
 SCALE: NONE E-2

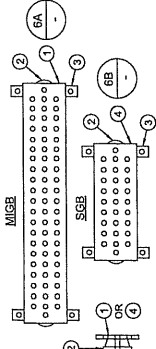


NOTES:
 1. CONTRACTOR TO X-RAY PRIOR TO DRILLING OR CORING TO LOCATE EXISTING RE-BAR. DO NOT CUT RE-BAR.
 2. CONTRACTOR TO INSURE WATER-TIGHTNESS AT ALL WALL AND FLOOR PENETRATIONS.

CONCRETE FLOOR PENETRATION
 DETAIL 6
 SCALE: NONE E-2

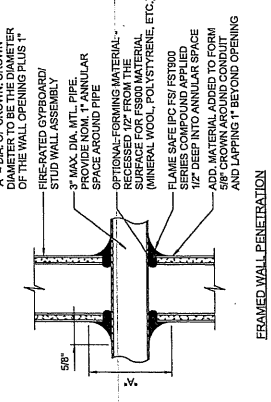


GROUND ROD
 DETAIL 1
 SCALE: NONE E-2



MATERIAL LIST
 1. TINNED COPPER GROUND BAR, 1/4\"/>

MASTER INSULATED GROUND BAR (MIGB) OR SECTOR GROUND BAR (SEB) DETAIL
 DETAIL 6A 6B
 SCALE: NONE E-2 E-2



NOTES:
 1. CONTRACTOR TO X-RAY PRIOR TO DRILLING OR CORING TO LOCATE EXISTING RE-BAR. DO NOT CUT RE-BAR.
 2. CONTRACTOR TO INSURE WATER-TIGHTNESS AT ALL WALL AND FLOOR PENETRATIONS.

FRAMED WALL PENETRATION
 DETAIL 6A 6B
 SCALE: NONE E-2 E-2

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DRAWING REVISIONS

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A	For Approval	08/20/17
B	For Approval	10/30/17
D	For Construction	11/08/17

STATE OF OHIO
 REGISTERED PROFESSIONAL ENGINEER
 11/08/17
 Engineer Seal
 T-MOBILE
 SITE NUMBER:
 CL70988A
 SITE NAME:
 FEDOR MANOR
 12400 MADISON AVE.
 LAKEWOOD, OH 44107
 SHEET NAME:
SP-1/0

GENERAL NOTES

SCALE AS NOTED
 DRAWN BY: DA
 CHECKED BY: CAB
 DATE: 10/27/17
 FILE: R-107-09

DIVISION 2 - SITE WORK

- THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES (WHERE ENCOUNTERED IN THE WORK) SHALL BE PROTECTED AND MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. THIS WORK SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT LIMITED TO:
 - FALL PROTECTION
 - TRIPPING HAZARDS
 - ELECTRICAL SAFETY
 - TRENCHING AND EXCAVATION
- REMOVE FROM SITE OWNERS PROPERTY ALL WASTE MATERIALS, UNUSED EXCAVATED MATERIAL, INCLUDING MATERIAL CLASSIFIED UNSATISFACTORY, CONTAMINATED OR DANGEROUS TRASH AND DEBRIS, AND DISPOSE OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHICH INTERFERE WITH THE EXCAVATION OF THE WORK. UTILITIES WHICH WILL NOT INTERFERE WITH THE EXCAVATION OF THE WORK SHALL BE PROTECTED AND MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. THIS WORK SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT LIMITED TO:
 - FALL PROTECTION
 - TRIPPING HAZARDS
 - ELECTRICAL SAFETY
 - TRENCHING AND EXCAVATION
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEED, AND COVERED WITH MULCH AS SPECIFIED IN THE SPECIFICATION/LANDSCAPE WORK.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL AND OHIO 2017 IBC 2015 STANDARD SUBCHAPTERS FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR IS RESPONSIBLE FOR LAYOUT AND CONSTRUCTION STAKING.
- CONTRACTOR SHALL ESTABLISH GRADE AND LINE STAKES PRIOR TO CONSTRUCTION.
- IF DEVIATION FROM THE SURFACE CONDITIONS NOTED IN THE GEOTECH REPORT ARE OBSERVED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND CONTACT IMMEDIATELY TO DETERMINE IF CHANGES IN THE FOUNDATION DESIGN ARE REQUIRED.

DIVISION 3 - CONCRETE

- MINIMUM UNCOVERED CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS WHEN STANDARD ASTM C172, ASTM C31 AND ASTM C39 UNLESS OTHERWISE NOTED.
- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING:
 - CONCRETE MINIMUM CEMENT CONTENT WITH 4-INCH MAXIMUM SIZE AGGREGATE, SLUMP RANGE 3 TO 5 INCHES, TOTAL AIR CONTENT 4 PERCENT TO 7 PERCENT BY VOLUME, AIR ENTRAINING AGGREGATE SHALL BE USED TO OBTAIN 4 PERCENT TO 7 PERCENT BY VOLUME, AIR ENTRAINING TO OBTAIN 3 TO 5 INCHES.
 - ALL CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI) 308 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND (ACI 301) STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE.
 - REBARS SHALL BE ASTM A-615 DEFORMED TYPE WITH MINIMUM YIELD STRENGTH OF 60,000 PSI (40,000 PSI GRADE MAY BE USED FOR TIES & STIRRUPS), WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. DETAILING SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES (ACI STD-318-99).
 - CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4".
 - REINFORCING STEEL SHALL BE ACCURATELY PLACED AND ADEQUATELY SECURED TO MAINTAIN THE REQUIRED COVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING MINIMUM COVER (INCHES) FOR REINFORCEMENT SHALL BE PROVIDED, EXCEPT AS NOTED ON DRAWINGS.

MINIMUM COVER (INCHES)	
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ... 3"	
#5 BAR AND SMALLER ... 1-1/2"	
- TESTS: CONCRETE MATERIALS AND OPERATIONS SHALL BE TESTED AND INSPECTED BY THE CONSTRUCTION MANAGER AS THE WORK PROGRESSES. FAILURE TO DETECT ANY DEFECTIVE WORK OR MATERIAL WILL NOT BE THE RESPONSIBILITY OF THE ARCHITECT. WHEN SUCH DEFECT IS DISCOVERED, THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S FINAL ACCEPTANCE.
 - FIVE CONCRETE TEST CYLINDERS SHALL BE TESTED AT 7 DAYS, 14 DAYS, 21 DAYS, 28 DAYS, AND 56 DAYS. THE FIFTH CYLINDER SHALL BE KEPT SEPARATELY. IT IS REQUIRED TO BE USED IN THE FUTURE.
 - ONE ADDITIONAL TEST CYLINDER SHALL BE TAKEN DURING COLD WEATHER AND CURED ON SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.
 - ONE SLUMP TEST SHALL BE TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.

DIVISION 4 - STRUCTURAL STEEL

- DETAIL, FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE FOLLOWING:
 - ASTM A992, GRADE 50, W SECTIONS.
 - ASTM A36, GRADE 50, BOLTS.
 - ALL STRUCTURAL STEEL SHALL BE HOT DIPPED GALVANIZED PER ASTM A123.
 - ALL STRUCTURAL BOLTER CONNECTIONS SHALL BE MADE WITH ASTM A325 BOLTS IN BEARING-TYPE CONNECTIONS.
- DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.
- ANY FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE CONSTRUCTION MANAGER.
- TIGHTEN HIGH STRENGTH BOLTS TO A SNUG TIGHT CONDITION WHERE ALL PILES IN A JOINT ARE IN FIRM CONTACT BY EITHER
 - A FEW IMPACTS OF AN IMPACT WRENCH
 - THE FULL EFFECT OF A PERSON USING A SPUD WRENCH.
- WELDING
 - ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS. CERTIFICATION DOCUMENTS SHALL BE MADE AVAILABLE FOR ENGINEERS AND/OR OWNERS REVIEW IF REQUESTED.
 - WELDING ELECTRODES FOR MANUAL SHIELDED METAL ARC WELDING SHALL CONFORM TO ASTM A233, E70 SERIES, BARE ELECTRODES AND GRANULAR FLUX USED IN THE SUBMERGED ARC PROCESS SHALL CONFORM TO AISC SPECIFICATIONS FOR WELDING. INSPECTION IS ACCEPTABLE.
- PROTECTION
 - UPON COMPLETION OF ERECTION, INSPECT ALL GALVANIZED STEEL AND PAINT ANY UNPAINTED AREAS. GALVANIZED BROWS WITH ZINC-BASED PAINT. COLOR TO MATCH THE GALVANIZING PROCESS.

DIVISION 5 - GENERAL REQUIREMENTS

- ALL WORK, MATERIAL AND EQUIPMENT SHALL COMPLY WITH T-MOBILE WIRELESS STANDARD CONSTRUCTION SPECIFICATIONS, ALL REQUIREMENTS OF THE LATEST EDITIONS AND INTERIM AMENDMENTS OF THE NATIONAL ELECTRICAL CODE (N.E.C.), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70E, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PROVIDED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE NEW (EXCEPT WHERE OTHERWISE NOTED) AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITERS LABORATORIES (UL) AND BEAR THE UL LABEL.
- THE OWNER OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH, IN HIS OPINION ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER DELIVERY TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PROVIDED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE NEW (EXCEPT WHERE OTHERWISE NOTED) AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITERS LABORATORIES (UL) AND BEAR THE UL LABEL.
- THE CONTRACTOR SHALL SUPPORT, BRACE AND SECURE EXISTING STRUCTURES AS REQUIRED. CONSTRUCTION IS SOLELY RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS WHICH AFFECT THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY OF THE WORK TO BE COVERED UP OR ENCLOSED UNTIL IT HAS BEEN INSPECTED BY THE GOVERNING AUTHORITIES. ANY WORK THAT IS ENCLOSED OR COVERED UP WITHOUT THE INSPECTION OF THE GOVERNING AUTHORITIES SHALL BE AT THE CONTRACTORS EXPENSE. AFTER IT HAS BEEN INSPECTED, THE CONTRACTOR SHALL RESTORE THE WORK TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION CONCERNING THE LOCATION AND DEPTH OF ALL SAID UTILITIES AND FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PROVIDED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE NEW (EXCEPT WHERE OTHERWISE NOTED) AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITERS LABORATORIES (UL) AND BEAR THE UL LABEL.
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- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE UTILITIES OF THE BUILDING. THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM THE BUILDING PROPERTY OWNER FOR SUCH INTERRUPTION AT LEAST 72 HOURS IN ADVANCE. ANY INTERRUPTION SHALL BE MADE WITH A MINIMUM AMOUNT OF INCONVENIENCE TO THE BUILDING PROPERTY OWNER AND ANY SUCH SHUTDOWN TIME SHALL BE COORDINATED WITH THE BUILDING PROPERTY OWNER.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL AND OHIO 2017 IBC 2015 STANDARD SUBCHAPTERS FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTORS SHALL SUBMIT AT THE END OF THE PROJECT A COMPLETE SET OF AS-BUILT DRAWINGS TO THE OWNER AND/OR PROJECT MANAGER.

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- CONTRACTORS SHALL SUBMIT AT THE END OF THE PROJECT A COMPLETE SET OF AS-BUILT DRAWINGS TO THE OWNER AND/OR PROJECT MANAGER.

1 App.

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL17-002171
DOCKET No. 12-31-17
FEE PAID \$150.00 js check

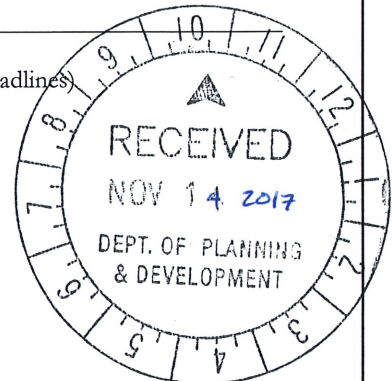
**APPLICATION
LAKEWOOD PLANNING COMMISSION**

Property Address 13415 Madison Avenue Business/Tenant Name Ohio Wellness LLC
Property Owner Name Sunshine Development Properties Owner Phone 216-228-8833 ext. 117
Owner E-mail ta@unitedreaders.com Zoning C-2 Parcel Number 315-16-009
Project Summary Medical Marijuana Dispensary

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)



Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Fabio Salerno Company Ohio Wellness LLC

Applicant Address: 7603 Old Rockside Road, Independence, OH 44131

Phone: 216-328-9278 Fax: 216-447-9844 E-mail: tom@landsongeng.com

Signature: *Fabio Salerno* Date: 11-13-17

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. _____ SECTION _____

25

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes No

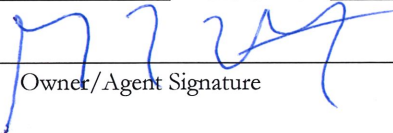
Please Print or Type:

Owner/Agent Name: Sunshine Development Corporation Properties

Property Address: 13415 Madison Ave., Lakewood, OH 44107

Owner/Agent Phone: 216-228-8833

Tenant Name George T. Anthony, Member Tenant Phone Attorney 216-225-9394



Owner/Agent Signature

**2017 Calendar
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-21-16	Thursday	01-05-17	Thursday	01-05-17
February	Wednesday	01-18-17	Thursday	02-02-17	Thursday	02-02-17
March	Wednesday	02-15-17	Thursday	03-02-17	Thursday	03-02-17
April	Wednesday	03-22-17	Thursday	04-06-17	Thursday	04-06-17
May	Wednesday	04-19-17	Thursday	05-04-17	Thursday	05-04-17
June	Wednesday	05-17-17	Thursday	06-01-17	Thursday	06-01-17
July	Wednesday	06-21-17	Thursday	07-06-17	Thursday	07-06-17
August	Wednesday	07-19-17	Thursday	08-03-17	Thursday	08-03-17
September	Wednesday	08-23-17	Thursday	09-07-17	Thursday	09-07-17
October	Wednesday	09-20-17	Thursday	10-05-17	Thursday	10-05-17
November	Wednesday	10-18-17	Thursday	11-02-17	Thursday	11-02-17
December	Wednesday	11-22-17	Thursday	12-07-17	Thursday	12-07-17
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18

Pre-Review Meetings for the Commission commence at **6:30 P.M.** in the **Council Conference Room**.

Review Meetings commence at **7:00 P.M.** in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants or a representative (designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review.

2

November 13, 2017

City of Lakewood
Planning and Development
12650 Detroit Ave.
Lakewood, Ohio 44107

Re: Dispensary Application at 13415 Madison Ave., Lakewood, Ohio

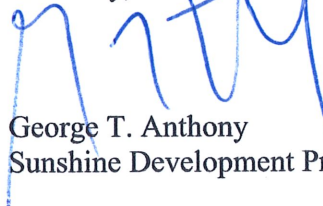
To Whom It May Concern:

Sunshine Development Properties is the owner of 13415 Madison Ave., Lakewood, Ohio and I am a member of the Corporation.

Sunshine Development Properties hereby gives Ohio Wellness LLC authorization to apply to the City of Lakewood for a conditional use permit for the purpose of operating an Ohio Medical Marijuana Dispensary.

If you have any questions, please do not hesitate to contact me at 216-228-8833.

Sincerely,



George T. Anthony
Sunshine Development Properties

27

OHIO WELLNESS LLC.

7603 Old Rockside Rd
Independence, OH 44131
(216)328-9278 tel.
(216)447-9844

MEDICAL MARIJUANA DISPENSARY Written Description of Request

SUBMITTED TO: The City of Lakewood	DATE: 11/12/2017
PROJECT: Medical Marijuana Dispensary	LOCATION: 13415 Madison Avenue Lakewood, OH

Ohio Wellness LLC is applying to the Ohio State Board of Pharmacy for a Medical Marijuana Dispensary license at 13415 Madison Avenue, Lakewood, Ohio. The parcel is .247 acres with an existing building that is 3200 square feet and will require a buildout to meet the State of Ohio's requirements for a dispensary. The attached floor plan and security diagram are detailed and drawn to scale.

Ohio Wellness LLC

By: _____

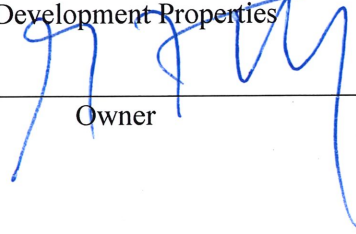
Fabio Salerno



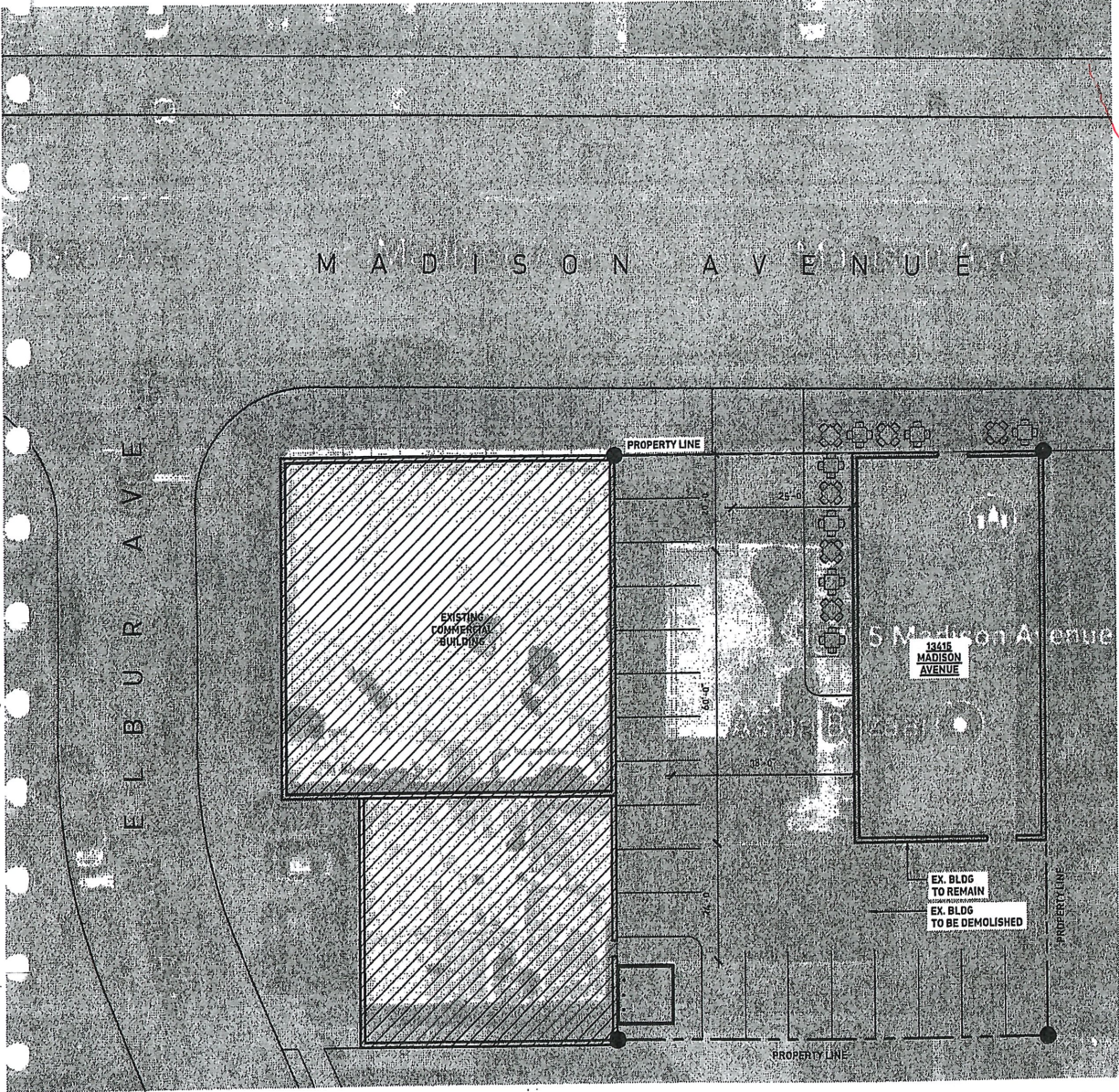
Sunshine Development Properties

Signature: _____

Owner



3



Not to Scale

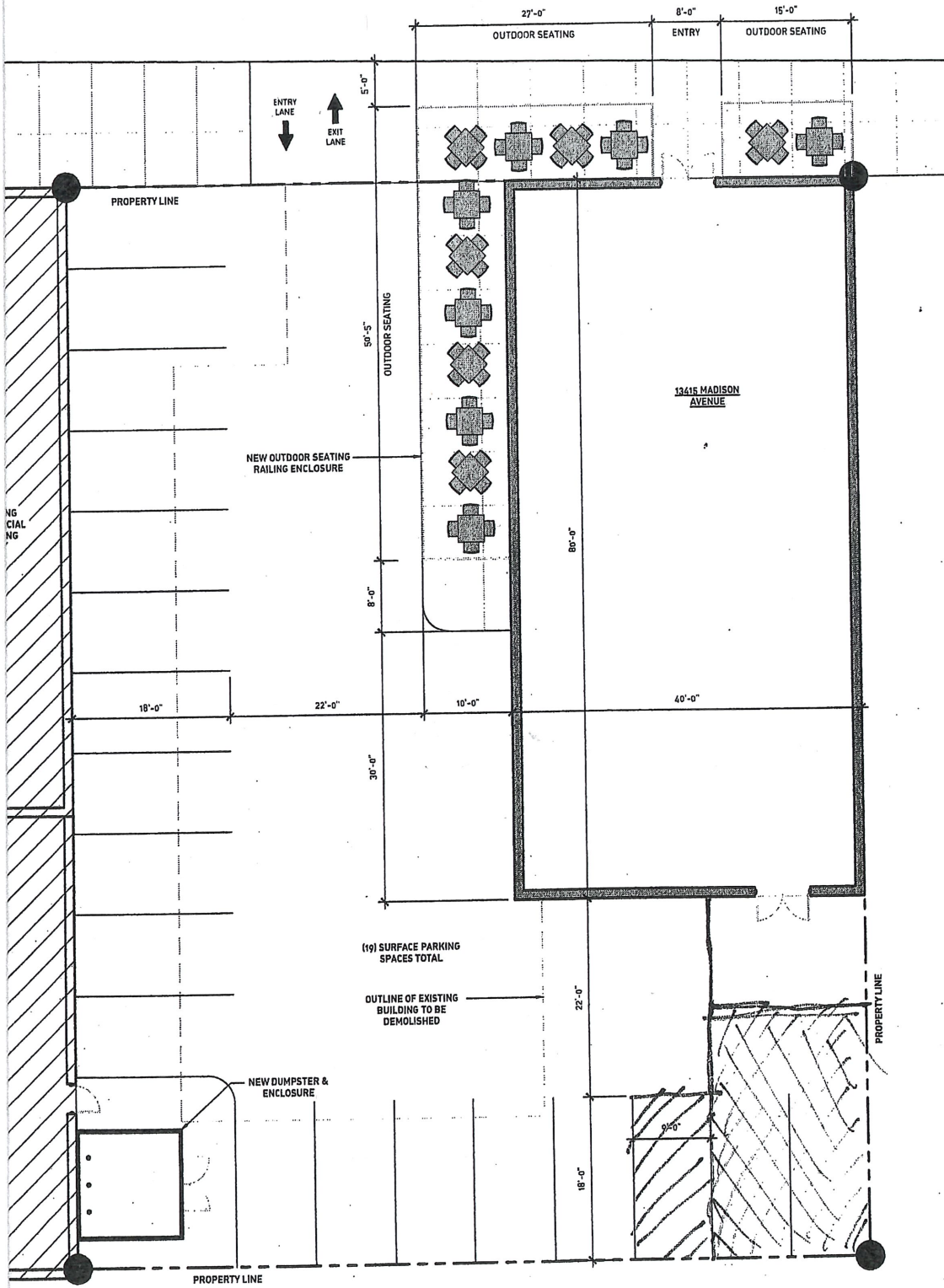
29

1
81.1

OVERALL SITE PLAN
SCALE: 1/16" = 1'-0"



MADISON AVENUE



a°dk

PRELIMINARY
NOT FOR CONSTRUCTION

ARCHITECTURE OFFICE: DAVID MORRIS
ADK, INC. - (IA) - 17266 Madison Avenue, Lakewood, OH 44137 - (P) - 314.771.1921 - (F) - 314.771.1973 - (W) - www.adkinc.com

PROJECT TITLE:
13415 MADISON AVE.

PROJECT:
13415 MADISON AVE.
LAKEWOOD, OH 44137

ISSUE DATE:

THESE DRAWINGS, DESIGN, COPY AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF ADK. THEY ARE FOR CONSTRUCTION AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION, REPRODUCTION OF THE DOCUMENT AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM ADK, INC.

AUTHORIZATION:

SHEET NO.: 17.60

30

SHEET NO.:

a1.1

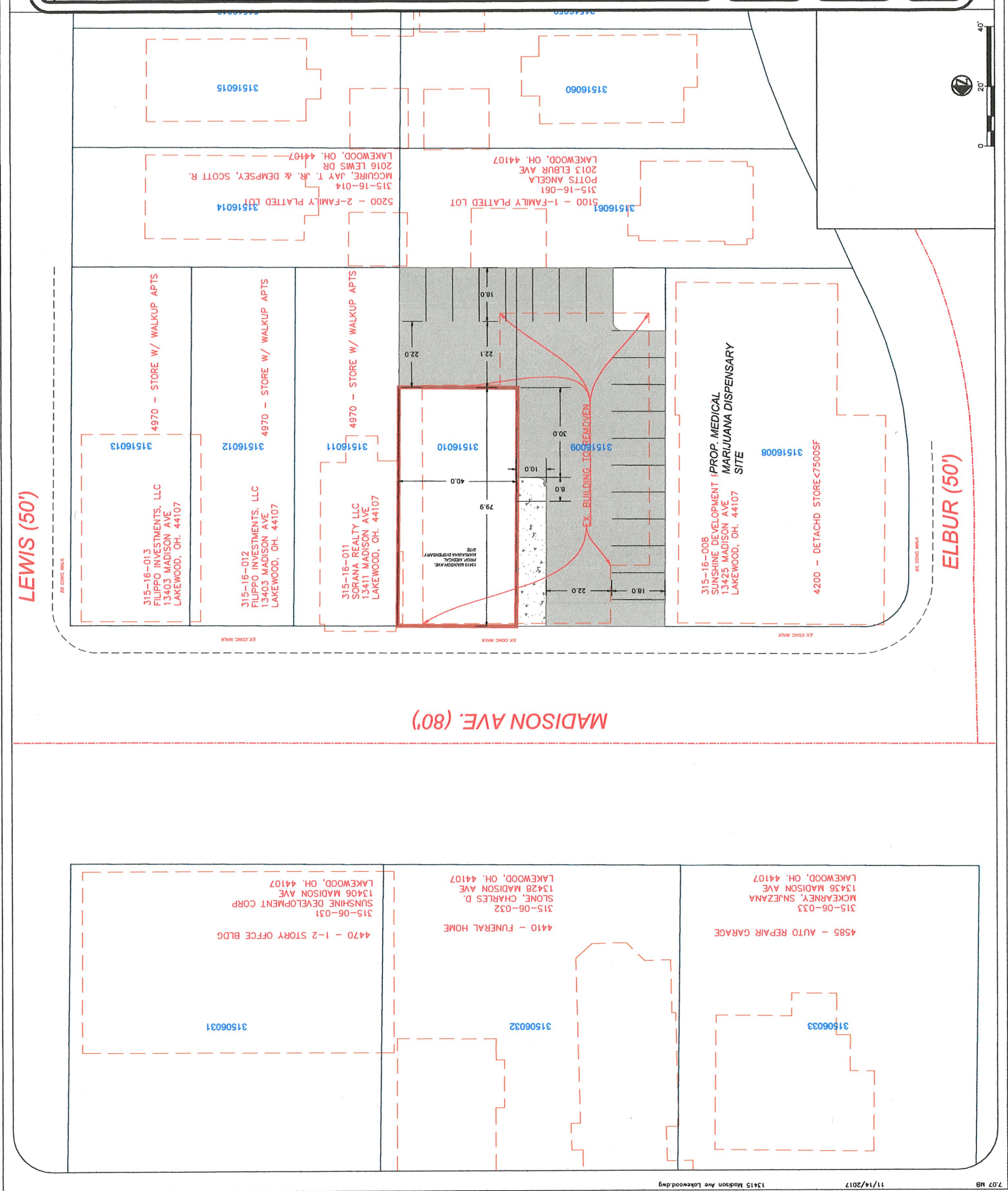
SITE PLAN

SCALE: 1/16" = 1'-0"



2
a1.1

2



MADISON AVE. (80')

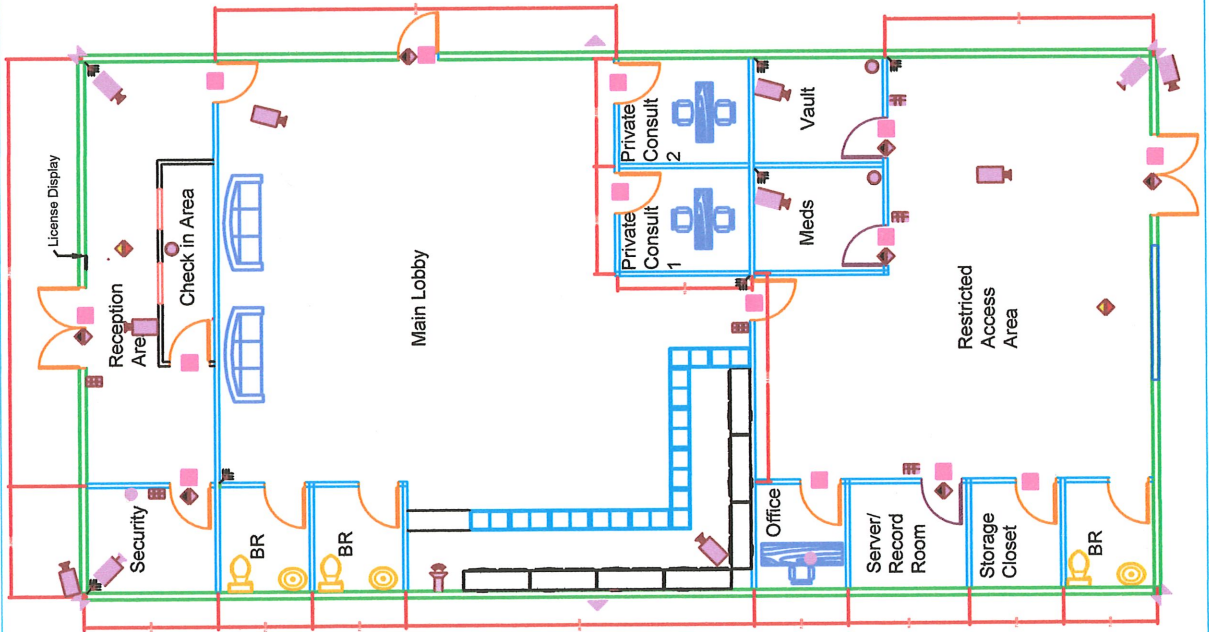
LEWIS (50')

ELBUR (50')



Not to Scale

Room	Dimensions	Sq Ft
Reception Area	10x61.75	317.5
Security	10x6.25	62.5
Bathroom	7x8.25	57.75
Bathroom	7x8.25	57.75
Private Consult 1	10x8	80
Private Consult 2	10x8	80
Main Lobby	30x43.75	952.5
BR	28x8.25	214.5
BR	10x13.75	137.5
Meds	10x8	80
Office	10x8	80
Storage Closet	7x8.25	57.75
Server/Record Room	7x8.25	57.75
Storage Closet	10x8.25	74.25
Restricted Access Area	30x16.5	495
Total	226x118	320



Check in counter	Rollup/delivery doors
Glass display counter	Double Doors
Sofa	Single Doors
Desk/table	Level 2 Doors
Chairs	Flood Lights
Toilets	Access Controls Doors
Sinks	4MP Fixed Camera
Rollup/delivery doors	Door Contact
Double Doors	Glass Break Detector
Single Doors	Motion Detector
Level 2 Doors	Panic Button
Flood Lights	Keypad
Access Controls Doors	Siren
4MP Fixed Camera	
Door Contact	
Glass Break Detector	
Motion Detector	
Panic Button	
Keypad	
Siren	

13415 LAKEWOOD AVE.,
OHIO 44107



Front View of Building at 13415 Madison Avenue, Lakewood



Side and Front View of Building at 13415 Madison Avenue, Lakewood



Side View of Building at 13415 Madison Avenue, Lakewood



Side View of Building at 13415 Madison Avenue, Lakewood



Back View of Building at 13415 Madison Avenue, Lakewood



Interior View of Building at 13415 Madison Avenue, Lakewood



Interior View of Building at 13415 Madison Avenue, Lakewood



Interior View of Building at 13415 Madison Avenue, Lakewood



Interior View of Building at 13415 Madison Avenue, Lakewood



Interior View of Building at 13415 Madison Avenue, Lakewood

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL13-002172
DOCKET No. 12-32-17
FEE PAID \$150.00 js check

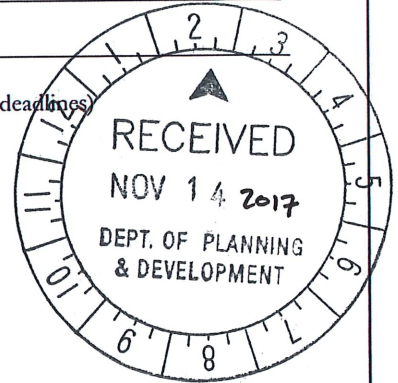
APPLICATION
LAKEWOOD PLANNING COMMISSION

Property Address 13415 Madison Ave Business/Tenant Name ATCL-5 dba: Curated Leaf
Property Owner Name Sunshine Development Owner Phone 305-987-8575
Owner E-mail anthonygta@aol.com Zoning _____ Parcel Number 315-16-009
Project Summary Medicinal Marijuana Dispensary approx 2,920 sq feet
with 12 parking spaces on site.

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)



Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Adam Thomarios Company ATCL 5 dba: Curated Leaf
Applicant Address: 1 Canal Square Plaza #1501 Akron, OH 44308
Phone: 330-813-0268 Fax: 330-670-9993 E-mail: athomarios@thomarios.com
Signature: [Signature] Date: 11/13/17

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. _____ SECTION _____

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes _____ No


Please Print or Type:

Owner/Agent Name: Sunshine Development Properties / George Anthony / Tony Anthony

Property Address: 13415 Madison Ave

Owner/Agent Phone: 216-228-8833 or 305-987-8575

Tenant Name ATCL 5 dba Curated Leaf Tenant Phone 330-813-0268


Owner/Agent Signature

**2017 Calendar
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-21-16	Thursday	01-05-17	Thursday	01-05-17
February	Wednesday	01-18-17	Thursday	02-02-17	Thursday	02-02-17
March	Wednesday	02-15-17	Thursday	03-02-17	Thursday	03-02-17
April	Wednesday	03-22-17	Thursday	04-06-17	Thursday	04-06-17
May	Wednesday	04-19-17	Thursday	05-04-17	Thursday	05-04-17
June	Wednesday	05-17-17	Thursday	06-01-17	Thursday	06-01-17
July	Wednesday	06-21-17	Thursday	07-06-17	Thursday	07-06-17
August	Wednesday	07-19-17	Thursday	08-03-17	Thursday	08-03-17
September	Wednesday	08-23-17	Thursday	09-07-17	Thursday	09-07-17
October	Wednesday	09-20-17	Thursday	10-05-17	Thursday	10-05-17
November	Wednesday	10-18-17	Thursday	11-02-17	Thursday	11-02-17
December	Wednesday	11-22-17	Thursday	12-07-17	Thursday	12-07-17
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18

Pre-Review Meetings for the Commission commence at **6:30 P.M.** in the **Council Conference Room**.

Review Meetings commence at **7:00 P.M.** in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants or a representative (designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review.

To: Lakewood Planning Commission

Request of 13415 Madison Ave

I Tony E Anthony of Sunshine Development Properties LLC an Ohio LLC,
it's *Adam Thomarios* of 13415 Madison Ave in Lakewood OH have signed a lease
agreement contingent upon the State of Ohio's award to ATCL 5 LLC dba: Curated Leaf at 13415
Madison Ave to operate a medicinal marijuana dispensary.

The request by Adam Thomarios one of the owners of ATCL-5 LLC dba: Curated Leaf is to grant
conditional use for the location listed above inside the city of Lakewood. It is the state's decision based
on qualifications and their scoring system of each application to award licensees in the state of Ohio and
in each respective district. There will be 5 licensees awarded in Cuyahoga County, I have attached the
district and region maps that shows and how the state has allocated districts and regions. It is Curated
Leaf's mission statement to provide pharmaceutical grade medical cannabis to the patients who are in
need of medicine while partnering with local community officials, police and emergency responders to
provide a safe, responsible and secure retail location all while adhering to strict state/ local compliance
laws and regulations. Curated Leaf will partner with the community to hire local, train local, and support
local causes. In addition Curated Leaf will educate patients and the local community on medical effects. I
have attached a short Bio and background on our group in the following attachment. Our group will be
present at the next planning commission meeting.

Sincerely,

Tony E. Anthony

Tony E. Anthony, Member

Sunshine Development Properties LLC

Date *11-14-17*

Adam Thomarios

Adam Thomarios owner

ATCL

Date *11/14/17*

To: Lakewood Planning Commission

Letter of Authorization on Property Use by Owner/ Tenant

11/14/17

I Tony G. Anthony of Sunshine Development Properties LLC an Ohio LLC,
it's Member of 13415 Madison Ave in Lakewood OH will allow the building
and parking areas to be used for a medicinal marijuana dispensary. It is Sunshine Development
Properties intent if awarded by the State of Ohio to lease the building and its parking to ATCL 5 LLC dba:
Curated Leaf for as such noted above.

Sincerely,



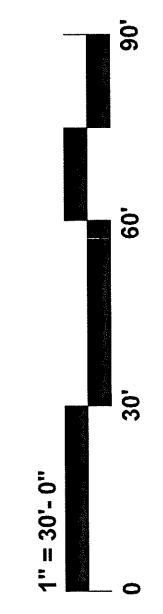
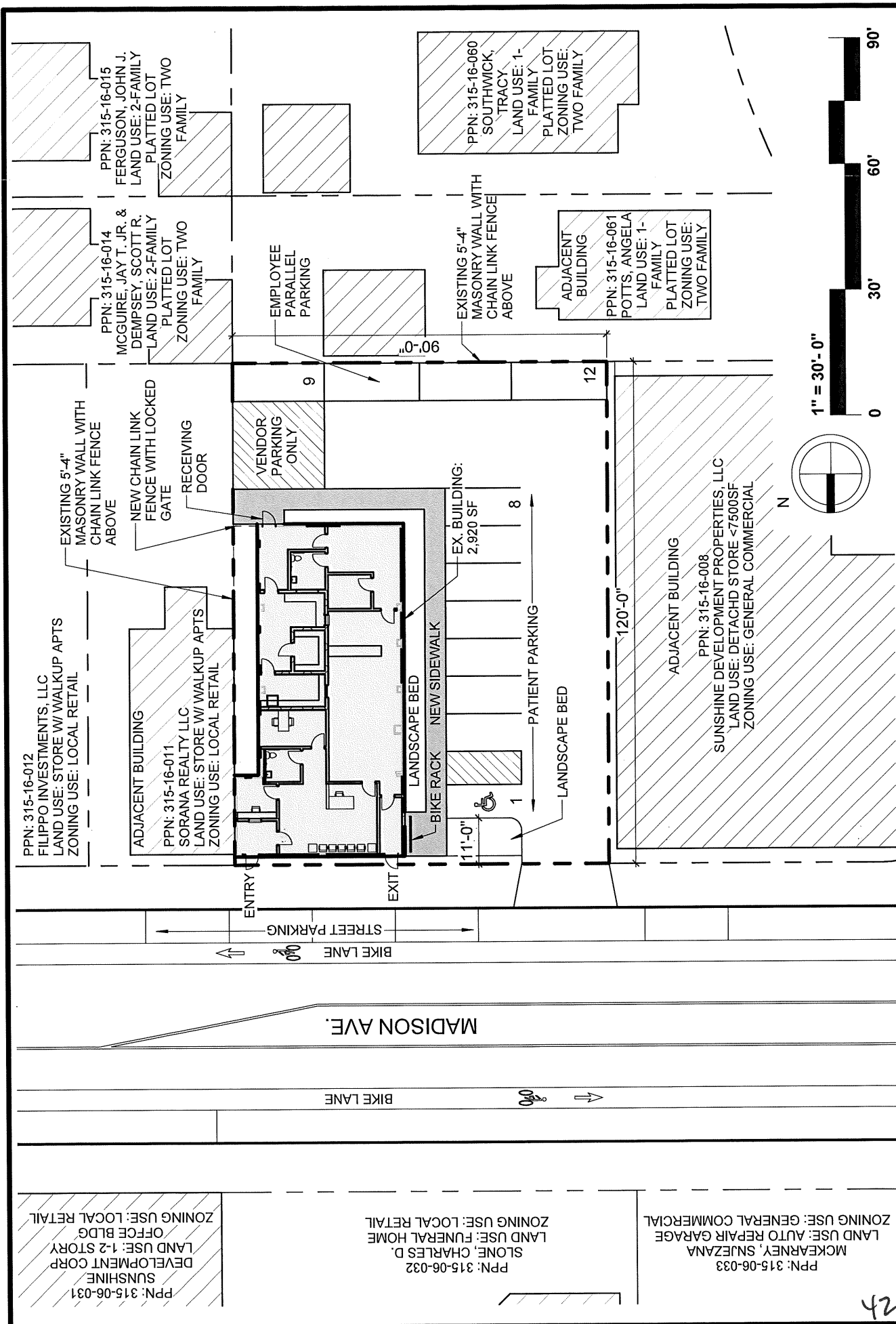
Date 11-14-17

Contact: 214-228-8833

ATCL 5 dba: Curated Leaf

Owner

 11/14/17



PROJECT INFORMATION
 DISPENSARY - 13415 MADISON AVENUE LAKEWOOD, OHIO 44107
 DATE: NOVEMBER 14, 2017
 PROJECT NO. 25617

SHEET NAME: SITE PLAN
 SHEET NO.: SK04

42

PPN: 315-06-031
 SUNSHINE
 DEVELOPMENT CORP
 LAND USE: 1-2 STORY
 OFFICE BLDG
 ZONING USE: LOCAL RETAIL

PPN: 315-06-032
 SLONE, CHARLES D.
 LAND USE: FUNERAL HOME
 ZONING USE: LOCAL RETAIL

PPN: 315-06-033
 MCKEARNY, SNJEZANA
 LAND USE: AUTO REPAIR GARAGE
 ZONING USE: GENERAL COMMERCIAL

PPN: 315-16-012
 FILIPPO INVESTMENTS, LLC
 LAND USE: STORE W/ WALKUP APTS
 ZONING USE: LOCAL RETAIL

PPN: 315-16-011
 SORANA REALTY LLC
 LAND USE: STORE W/ WALKUP APTS
 ZONING USE: LOCAL RETAIL

PPN: 315-16-014
 MCGUIRE, JAY T. JR. &
 DEMPSEY, SCOTT R.
 LAND USE: 2-FAMILY
 PLATTED LOT
 ZONING USE: TWO
 FAMILY

PPN: 315-16-015
 FERGUSON, JOHN J.
 LAND USE: 2-FAMILY
 PLATTED LOT
 ZONING USE: TWO
 FAMILY

PPN: 315-16-060
 SOUTHWICK,
 TRACY
 LAND USE: 1-
 FAMILY
 PLATTED LOT
 ZONING USE:
 TWO FAMILY

PPN: 315-16-061
 POTTS, ANGELA
 LAND USE: 1-
 FAMILY
 PLATTED LOT
 ZONING USE:
 TWO FAMILY

PPN: 315-16-008
 SUNSHINE DEVELOPMENT PROPERTIES, LLC
 LAND USE: DETACHED STORE <7500SF
 ZONING USE: GENERAL COMMERCIAL



State of Ohio Board of Pharmacy Dispensary Districts

Overview

As one of three state agencies responsible for developing, implementing and overseeing the Ohio Medical Marijuana Control Program, the Board of Pharmacy is tasked with determining where medical marijuana dispensaries will be located. To assist in making this determination, the Board developed dispensary districts.

The dispensary districts were created after considering the following:

- **Established rules and regulations in other state medical marijuana programs**
- **Patient populations**
- **Consultation with regulators in other states**
- **Ohio's population**
- **Existing compliance resources for the State Board of Pharmacy**
- **Access to major Ohio roadways**

The following pages include five maps. The first map depicts the entire state divided into the four quadrants that comprise the Board's compliance regions. The maps on pages 3 through 6 break out the dispensary districts within each region and provide the maximum number of dispensaries in each district.

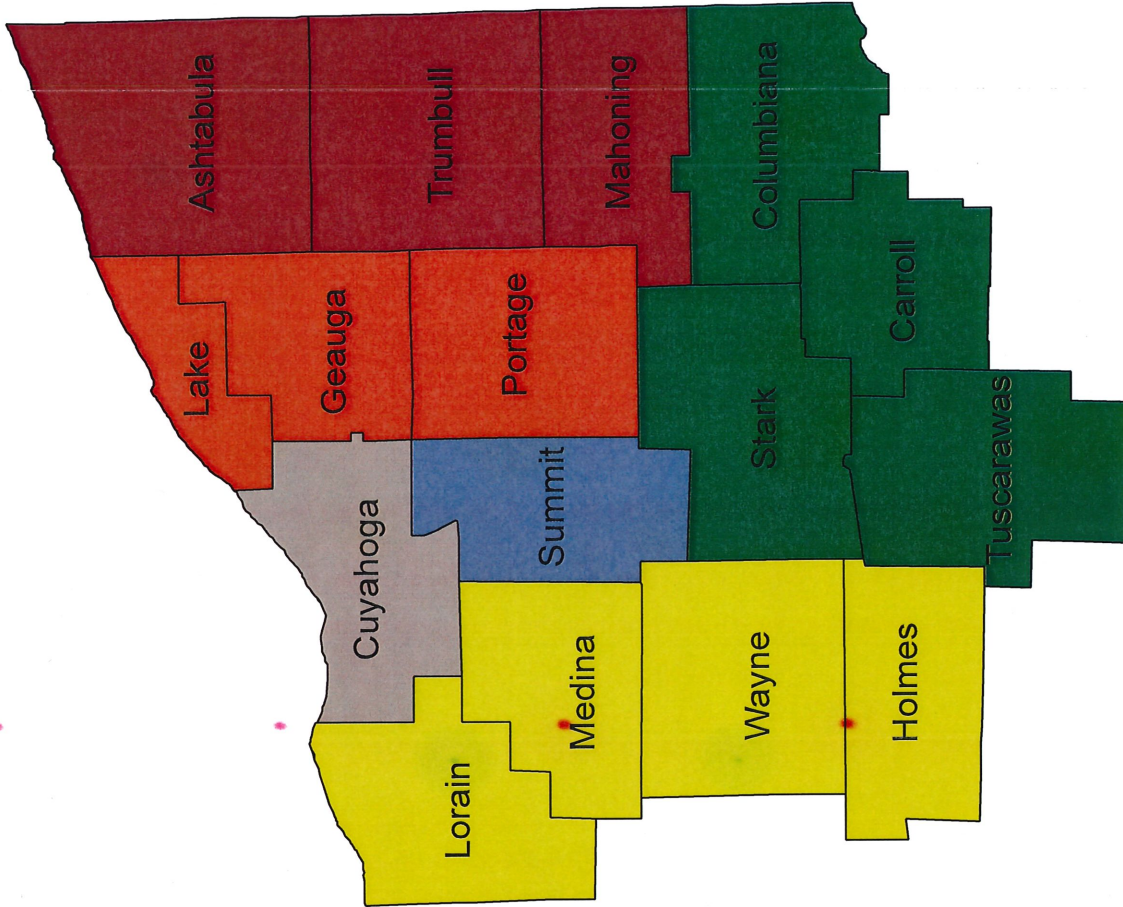
An initial draft of the dispensary districts was published for public comment from July 26, 2017 to August 11, 2017. As a result of evidence received during that period the maximum number of dispensary licenses available in Northeast District 5 was increased from 1 to 2 and the maximum number of dispensary licenses available in Northeast District 6 was decreased from 3 to 2.

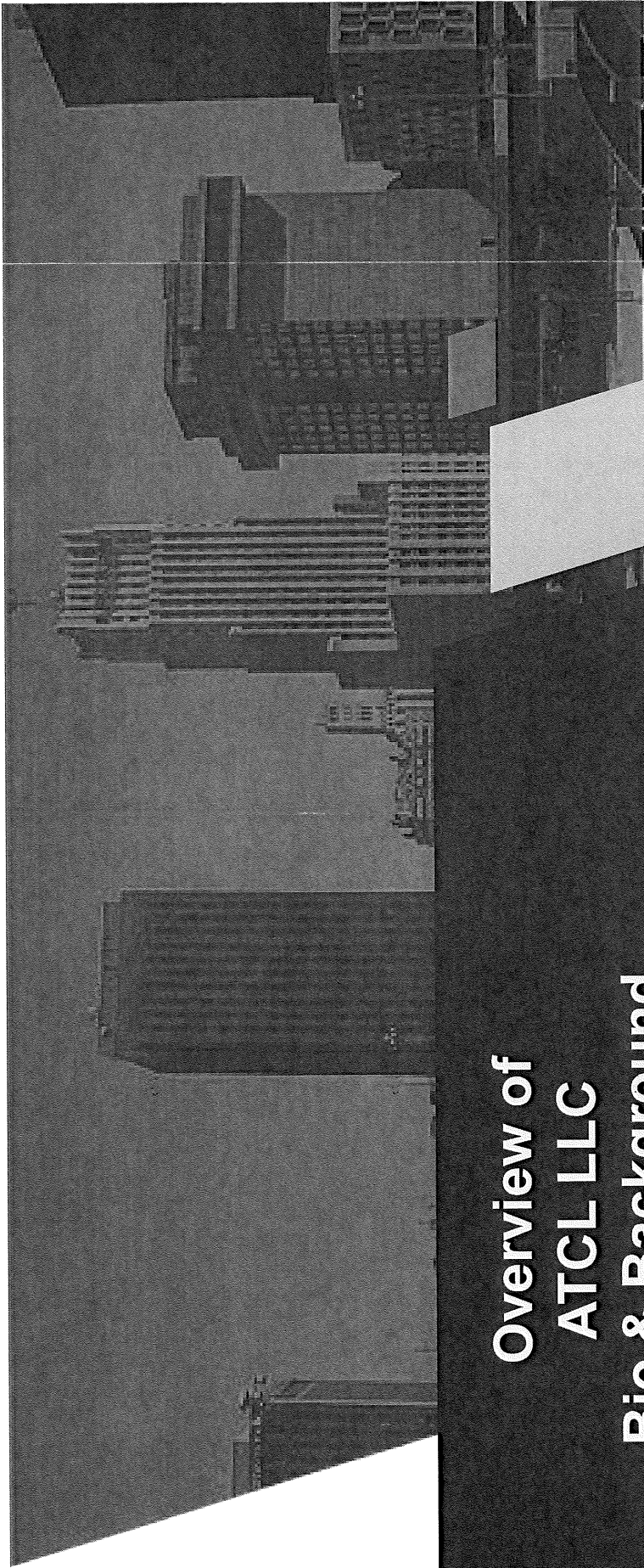


NORTHEAST

18 Total Dispensaries

- NE DISTRICT 1**
- 3 Dispensaries
- NE DISTRICT 2**
- 5 Dispensaries
- NE DISTRICT 3**
- 3 Dispensaries
- NE DISTRICT 4**
- 3 Dispensaries
- NE DISTRICT 5**
- 2 Dispensary
- NE DISTRICT 6**
- 2 Dispensaries





**Overview of
ATCL LLC
Bio & Background**

October, 2017

Executive Team & Qualifications

- Our diverse expert team has experience working at some of the top business and non-profit organizations in their respective fields.



CEDARS-SINAI MEDICAL CENTER



BARCLAYS



ING FINANCIAL PARTNERS

THOMARIOS



CYNVENIO
biosystems



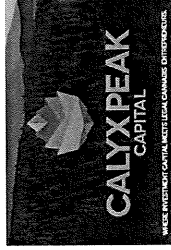
COURAGE
CAMPAIGN



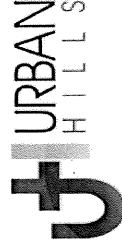
Dignity Health
California Hospital
Medical Center



MACQUARIE



CALYXPEAK
CAPITAL



URBAN
HILLS

Connecting Markets East & West

NOMURA



THE
CURATED
LEAF

Licensed Nevada Medical Marijuana
Establishment since 2014

Our Team

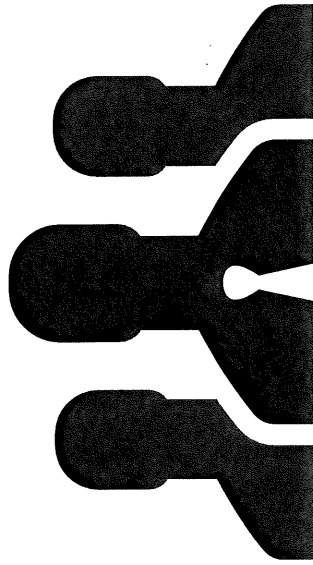


Adam Thomarios Founder & President

Vice President – Thomarios Corporation

20+ years in the construction industry, specializing in General Construction and Commercial Industrial Coatings. Accredited certified coatings inspector with over 5 years of nuclear construction experience managing projects, as well inspections and safety training.

BA from The Ohio State University



Michael Bang CEO & CFO

CEO & CIO of Calyx Peak Capital – a Cannabis-Centric Investment Funding Company

CFO & COO of Urban Hills Nevada –Registered Medical Marijuana Establishment

CEO of Curated Leaf – Non-Profit in process of obtaining 3 Registered Medical Dispensaries, 1 cultivation and 1 production facility in Massachusetts

Principal and Founder of 2116284 Ontario Ltd – specializes in commercial real estate investments

Prior to his roles at Calyx Peak Capital & Urban Hills Nevada, Michael was a highly accomplished global finance professional with over 18 years of experience at leading global investment banks with his last role as Managing Director at Goldman Sachs specializing in Technology Sector Equity Research.

Our Team



Dr. Paul Y. Song M.D. Chief Medical Officer

Chief Medical Officer of ATGen Global & Cynvenio

Chief Medical Advisor to Curated Leaf (Massachusetts), a Medical Cannabis Non-Profit (pending)

National Board of Physicians for a Health Program & Co-Chair for a Campaign for a Healthy California

Recently left Cedars-Sinai Medical Center – Radiation Oncology and currently volunteers his time seeing Medicaid & the uninsured at Dignity California Hospital. Previously served as Executive Chairman (2013-2016) of the Courage Campaign, a progressive organization of 1,200,000 members.

Dr. Song is a strong proponent of medicinal marijuana and has actively integrated it into his medical practice for nearly a decade.

He is very concerned about the overwhelming problem of opioid addiction and abuse, and has substituted medicinal marijuana for opioids whenever possible.

BA in Biological Sciences with Honors from University of Chicago & MD from George Washington University. Residency in Radiation Oncology at University of Chicago Medical Center and served as Chief Resident



Robin Guter Medical Advisor

Currently a Manager at the Cleveland Clinic in Cleveland OH with a specialty in compound pharmacy.

Registered Licensed Pharmacist

Certificates:

- Training for Cannabis and Medical Dispensary Jobs in Pennsylvania (Hempstaff)
- Six Sigma Lean/DFSS Green Belt Certification (Aveta Business Institute)
- Board Certificate in Pharmacotherapy Specialty (American College of Clinical Pharmacists)
- Acute Cardiac Life Support Provider (AHA)
- Immunization Certification (University of Findlay & the Ohio State Board of Pharmacy)

Ms. Guter has several leadership roles within the Cleveland Clinic and the Ohio Pharmacy Industry.

MBA Ursuline College

BA University of Findlay – College of Pharmacy

Our Team



Store Management Team

Our dispensary management team members are all currently operating in highly regulated medical marijuana states with credentials with a combined 30 years of experience in the cannabis space. Collectively they have over 1,000,000 patient transactions under their supervision at their respective roles.

- **Sabrina Andrews:** Vice President of Frosted Leaf (Denver, CO)
- **Grace Noe:** Manager of LivWell (Denver, CO)
- **Rachel Martinez:** Manager of Sweet Leaf Marijuana Centers (Denver, CO)
- **James Williams:** Principal of CompliantC LLC – Cannabis Consulting Company, Manager of High Street Growers (Denver, CO), Green Solution (Denver, CO)
- **Stan Sullivan:** Manager of Seed & Smith (Denver, CO), Colorado Moonrocks (Denver, CO)



Technical Operations

- **Quality Assurance:** David Zalewski is an accomplished scientist with prior roles in the US Air Force, Eli Lilly & Smith Detection with a Master in Science Chemistry & BS in Chemistry.
- **Compound Pharmacist:** Monica Vialpando, PH.D. is a compound pharmacist and current founder and CTO of Casually Baked, a cannabis infused topical line out of California.
- **Pharmacists:** Jenna Steinbach, Andy Laymon, Kris Hansen and John Komara are all experienced retail pharmacy retail managers locally in Ohio. They all have backgrounds working in large scale pharmacy stores.
- **Head of Security:** Drew Alexander is a retired Summit County Sheriff and is the advisor/officer to ATCL.

Capital Investment Partners



Calyx Peak Capital

- Calyx Peak Capital is a cannabis centric investment group headed by Michael Bang (CEO) & where Dr. Paul Song serves as a general partner and Chief Medical Officer of the company.
- Collectively Calyx Peak Capital has gathered over \$7.5million in capital committals from investors for the expansion and build out of the ATCL operations in Ohio in the event of procurement of Dispensary Permits by the state of Ohio.
- Calyx Peak Capital currently holds significant stakes in:
 - Nevada: a 22,000 square foot state of the art cultivation facility permitted by the Nevada DPBH.
 - California: extraction facility in pending status
 - Ohio: Pending Application for;
 - 1 Cultivation, 5 Dispensaries & 1 Manufacturing Permit
 - Massachusetts: Pending Provisional Permit for;
 - 3 Dispensaries, 1 cultivation and 1 Manufacturing Permit
 - Healy: a cloud based telemedicine medical card platform & marketplace
 - Pending purchase.
 - California: 220,000 square foot greenhouse medical marijuana farm.
 - PRE-ICO Dispensary + cultivation in Los Angeles.

Mission Statement & Objective

- **Mission Statement:**
 - To provide pharmaceutical grade medicinal cannabis to the local community
 - Affordable prices that promote patient access
 - Partner with the Community: Hire local, train local, support local
 - Educate patients and the local community on medical effects
- **Objective:**
 - Providing medical cannabis with targeted medicinal impact
 - Best business practices
 - Environmentally sound
 - Strict compliance and the highest safety standards



FOR LEASE
 BARGAIN RESTAURANT AND CONSTRUCTION MATERIALS
 1 UNIT - 40' X 80' - 2 UNITS - 20' X 40'
 2 UNITS - 40' X 80' - OR - 2 UNITS - 20' X 40'
 210 2nd Street, S.W. 33177-08
 813-981-2073 FAX
 813-981-2073 FAX
DISCOUNT PAINTING

Lycamobile
GORKHALI GROCERY
 210 2nd Street
 33177-08
 \$3.99
 a specialty grocery store
 29¢
 29¢

WE ACCEPT
EBT



FOR LEASE
COMMERCIAL/RETAIL
COMPLETELY RENOVATED
20' X 20' OF 2 UNITS - 20' X 20'
CALL TODAY
202-279-1100
10000000000





FOR LEASE
COMMERCIAL/RETAIL
AVAILABLE FOR LEASE
SUITABLE FOR 2 UNITS, 30 X 40
CALL FOR MORE INFO
CONTACT: 214-358-4411
214-358-4411

camobile
Call the world for less
ALLI GROCERY
6 - 744 - 7506

Community
BAZZAR
grocery store

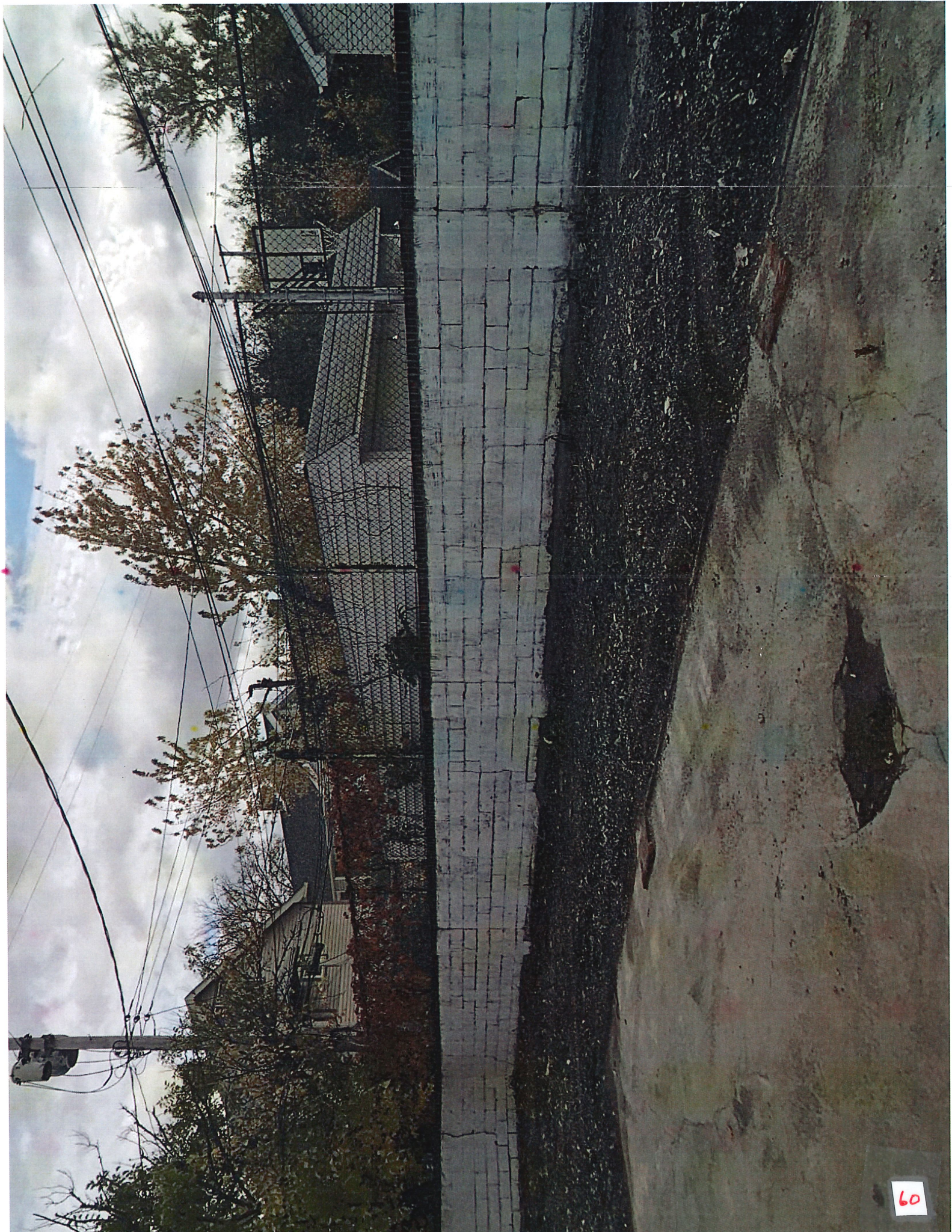


FOR LEASE
CALL 744-7506

13427



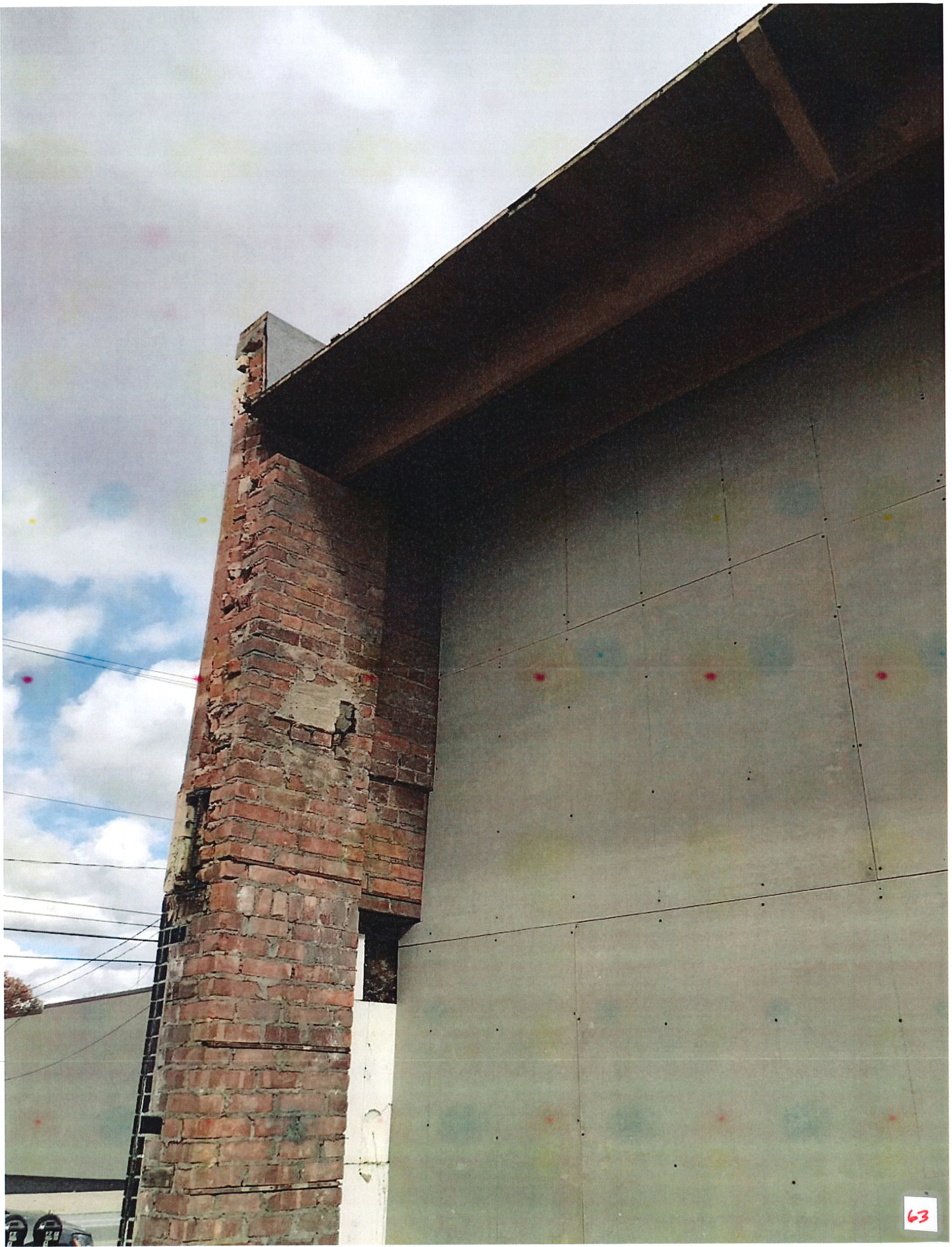


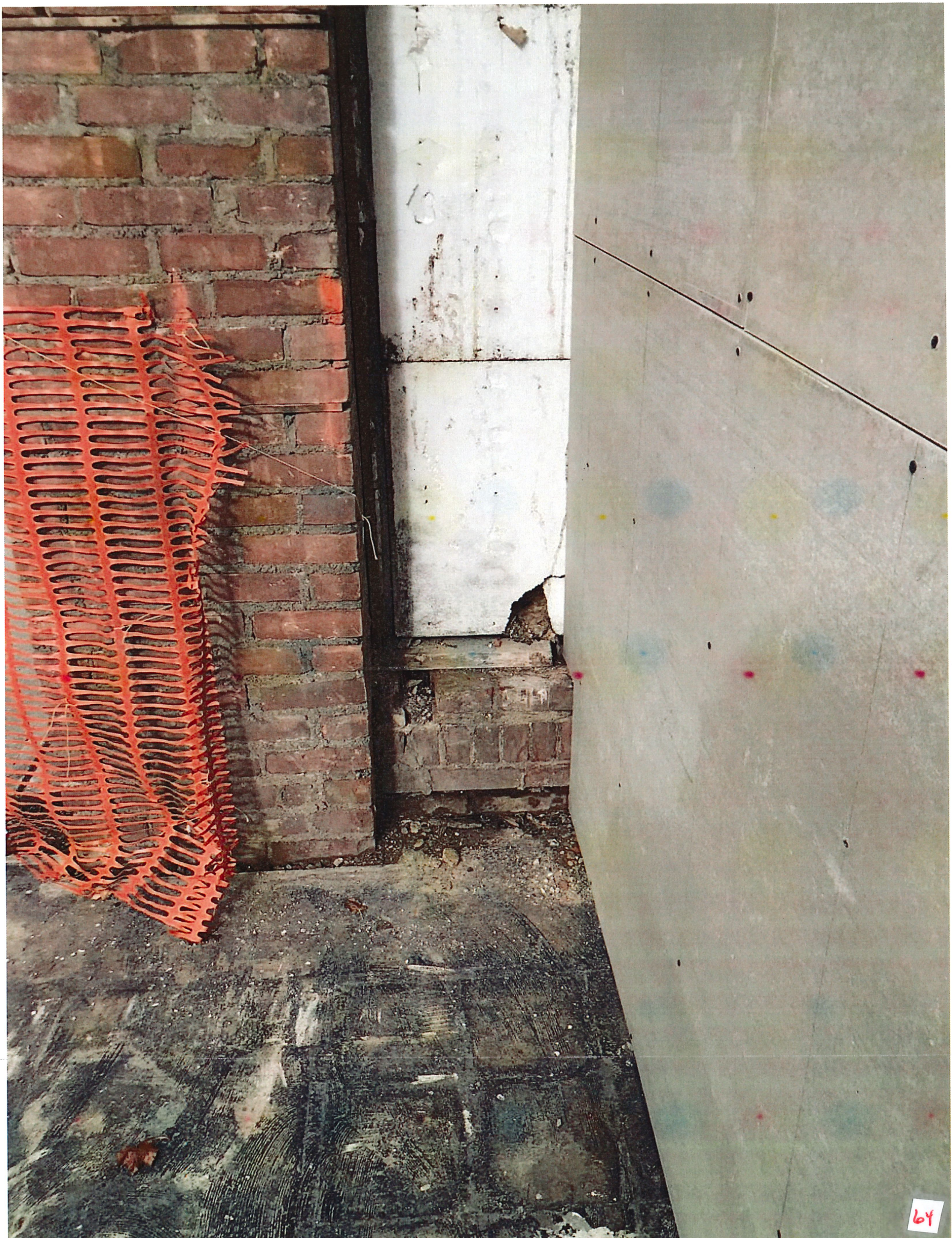




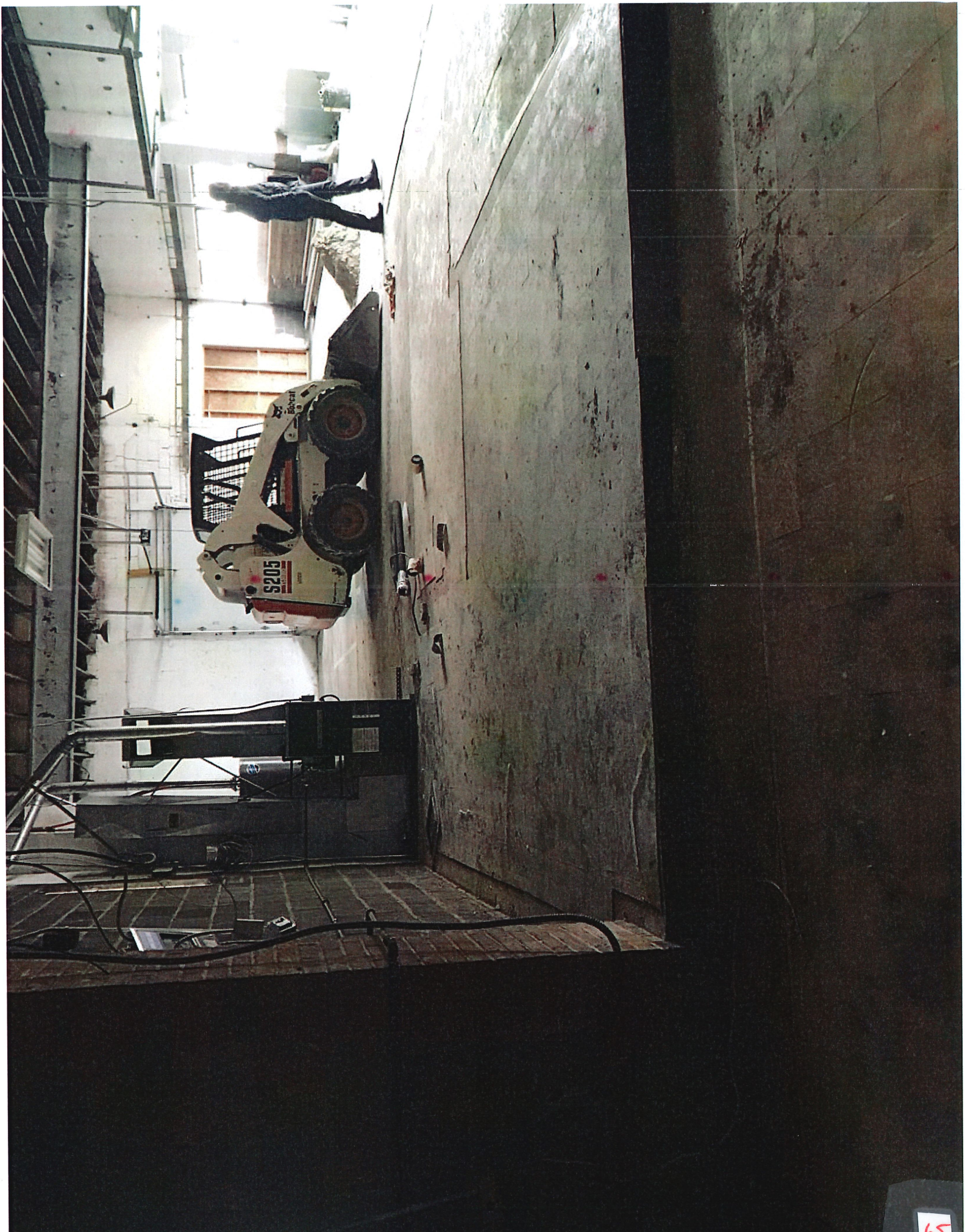
61







64

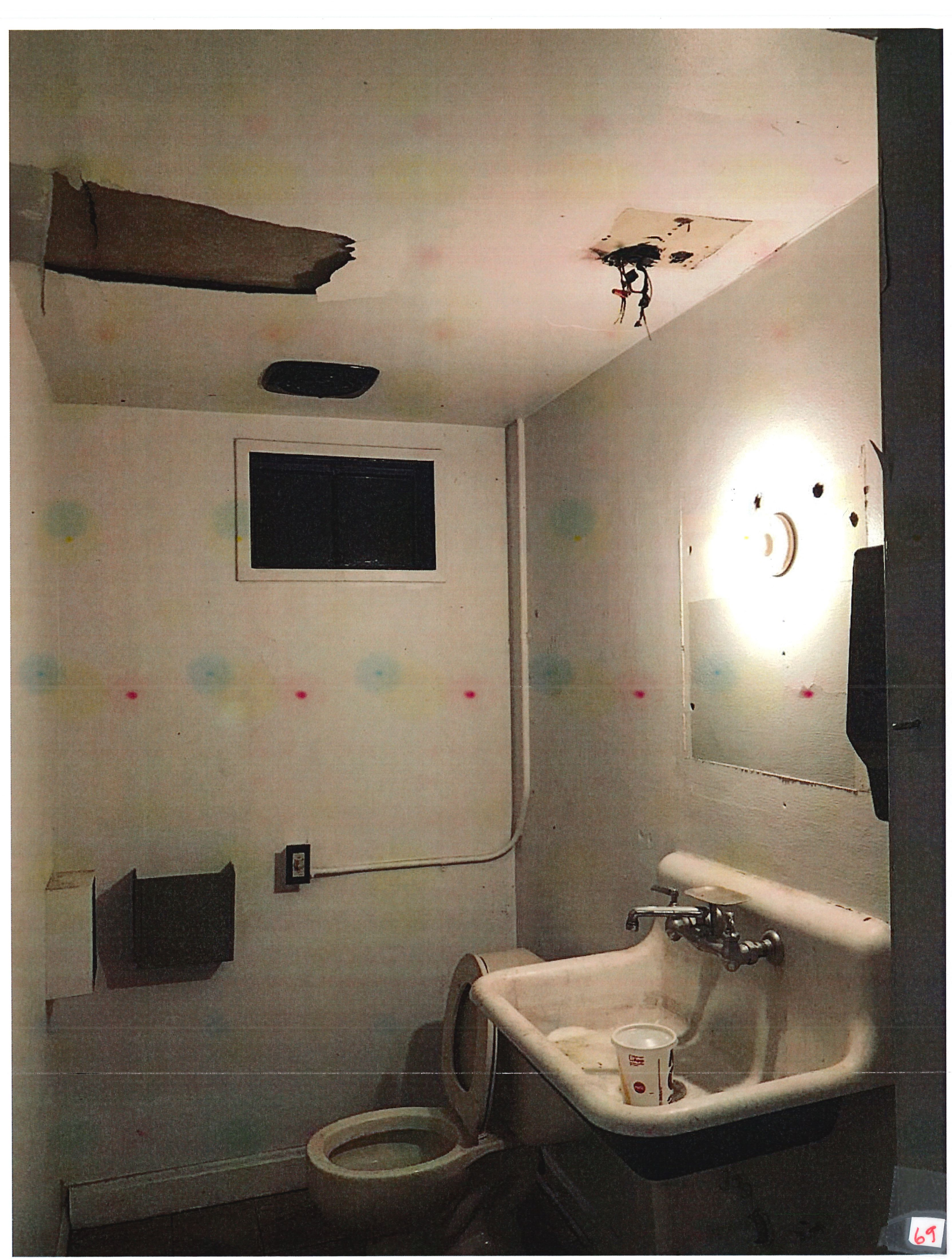








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71





73



74



STATE OF OHIO
BOARD OF PHARMACY

**Ohio Medical Marijuana Control Program
Dispensary Application**



NOTICE OF PROPER ZONING FORM

(Attachment to Application Section C-2.2)

This form must be signed by an individual with authority to sign on behalf of the local government or zoning office where the Applicant proposes to locate its dispensary. The form must be printed and signed with an original, wet-ink signature. Electronic or digital signatures are not acceptable. Scan and attach a copy of the signed form, in PDF format, in response to Question C-2.2 of the online Application.

To be Completed by Applicant			
Business Name of Applicant:			
ATCL 5 LLC		CURATED LEAF	
Physical Address and Name of Proposed Medical Marijuana Dispensary:			
13415 MADISON AVE			
City:		County:	
LAKWOOD		CUYAHOGA	
State:	Zip Code:	Phone Number:	
Ohio	44107	330-813-0268	
To be Completed by Zoning Authority or Local Government			
Jurisdiction of Zoning Office or Local Government			
Moratorium (Required to check one box)			
<input type="checkbox"/> The area of _____ HAS NOT enacted a local moratorium or taken other action that would prohibit the applicant from operating as a medical marijuana Dispensary.			
<input type="checkbox"/> The area of _____ HAS enacted a local moratorium or taken other action that would prohibit the applicant from operating as a medical marijuana Dispensary. (Note: This will lead to disqualification of the application)			
Zoning (Required to check one box)			
<input type="checkbox"/> The area of _____ HAS NO zoning in place at this time. <i>*If Applicant checks this box, Applicant must also include a professionally prepared survey which demonstrates that the Applicant is not in violation of restrictions pertaining to prohibited facilities and is not located within 500 feet of a community addiction services provider as defined under section 5119.01 of the Revised Code.</i>			
<input type="checkbox"/> The area of _____ HAS zoning in place at this time and applicant's proposed facility appears to be planned in accordance with complying with all local zoning laws and regulations in place at the time of completion of this application.			

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STATE OF OHIO
BOARD OF PHARMACY

Ohio Medical Marijuana Control Program Dispensary Application



Permit (Required to check one box) <input type="checkbox"/> The Applicant has received local zoning approval and was issued a permit. <i>*If Applicant checks this box, Applicant must attach the permit issued.</i> <input type="checkbox"/> The Applicant has applied for local zoning approval, but was not yet issued a permit. <input type="checkbox"/> No zoning approval was applied for and no permit was received at this time.	
Printed Name of Local Government Representative:	Title:
Signature:	Date:

76

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL17-002174
DOCKET No. 12-33-17
FEE PAID _____

APPLICATION
LAKEWOOD PLANNING COMMISSION

Property Address 13415 Madison Ave Business/Tenant Name Galenas Wellness LLC

Property Owner Name Sunshine Development Owner Phone 305-987-8575

Owner E-mail anthonygta@aol.com Zoning _____ Parcel Number 315-16-009

Project Summary Medicinal Marijuana Dispensary aprox 2,920 sq feet
with 12 parking spaces on site

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Geoffrey D Korff Company Galenas Wellness LLC.

Applicant Address: 310 East Euclid Avenue, Salem, OH 44460

Phone: (614) 551 - 7035 Fax: _____ E-mail: gkorff@qccast.com

Signature:  Date: 11/14/2017

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: 11/14/2017

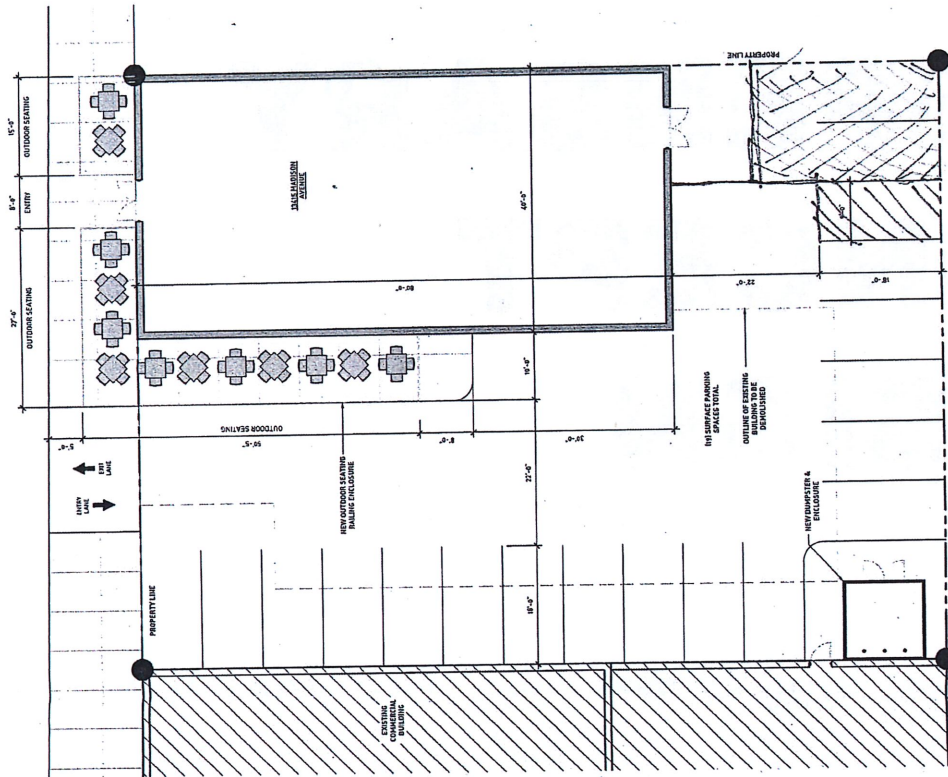
File History: _____

Bldg. Dept. Remarks: _____

ORD. _____ SECTION _____

77

MADISON AVENUE



adk

PRELIMINARY
NOT FOR CONSTRUCTION

13415 MADISON AVE.

PROJECT TITLE: 13415 MADISON AVE. PROJECT NO.: 13415-01 SHEET NO.: 01 OF 01 DATE: 01/15/2018

a1.1



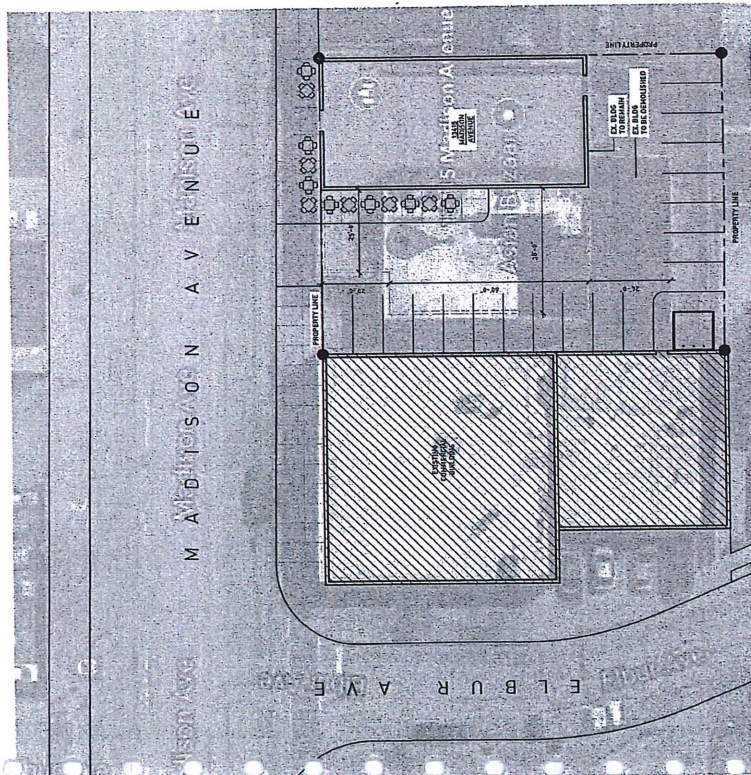
SITE PLAN
SCALE: 1/8" = 1'-0"

1 1/4"



OVERALL SITE PLAN
SCALE: 1/8" = 1'-0"

1 1/4"



78A



DISPENSARY CONCEPT DESIGN



EXAMPLE LOCATION

DESIGN CONCEPT
EXTERIOR

+



+

The exterior uses iconic materials and lighting to display a safe and highly visible presence.



+

A security vestibule welcomes patients into the dispensary with calming visuals.

78C

DESIGN CONCEPT DISPENSARY ROOM

+

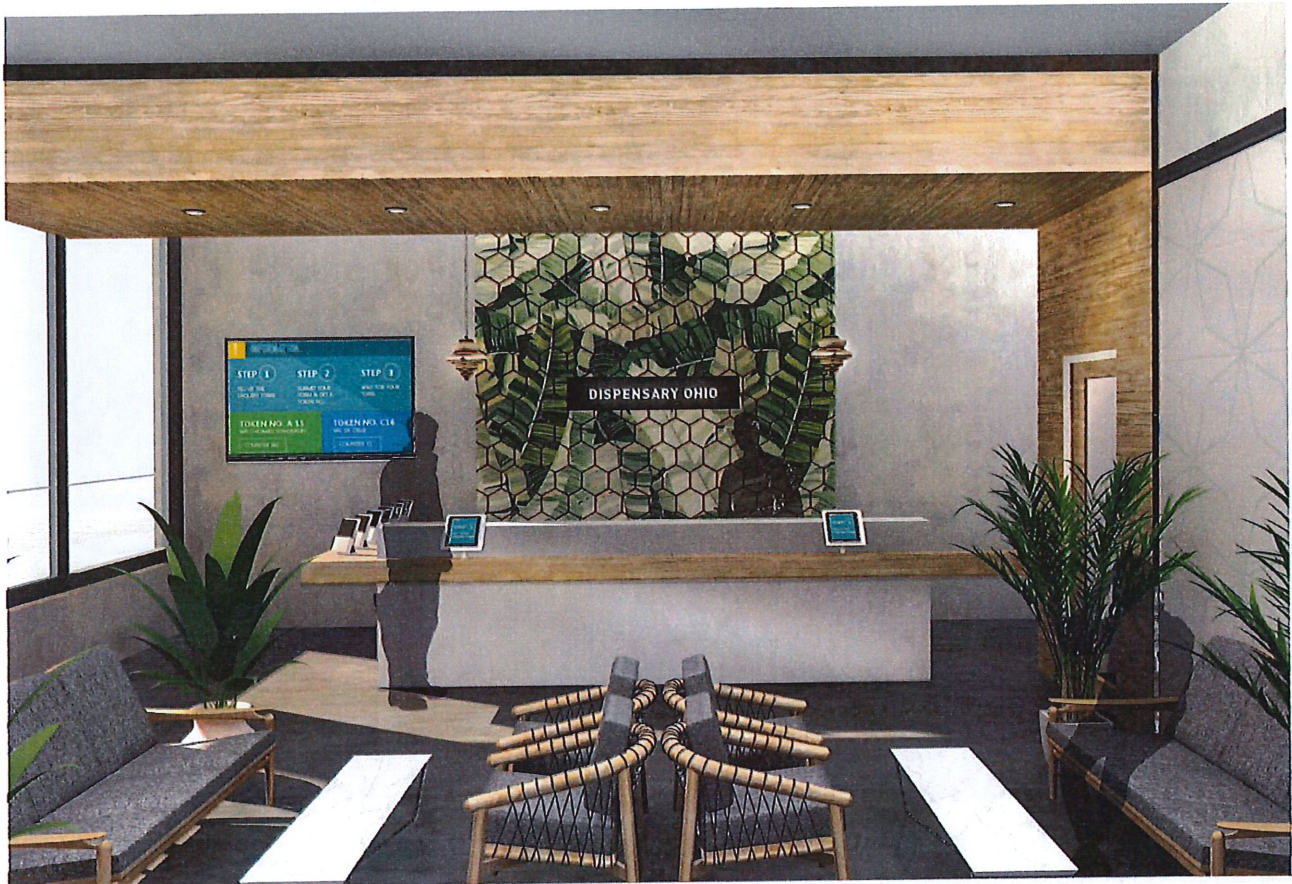


+
The main dispensary room centralizes the care giving operations. Patients are directed to either their scheduled consultation room, or their assigned dispensary desk.

+
Each dispensary desk has a display case presenting medicinal varieties.

DESIGN CONCEPT CHECK-IN/WAITING ROOM

+



+

New patients are invited to fill out personal information on a digital tablet and asked to wait for a care giver in the waiting area. The monitor on the wall displays the queuing order.

+

Reception service employee is also available to help with any question or concerns.

+

Waiting area displays educational materials.



DESIGN CONCEPT CONSULTATION ROOMS

+



+

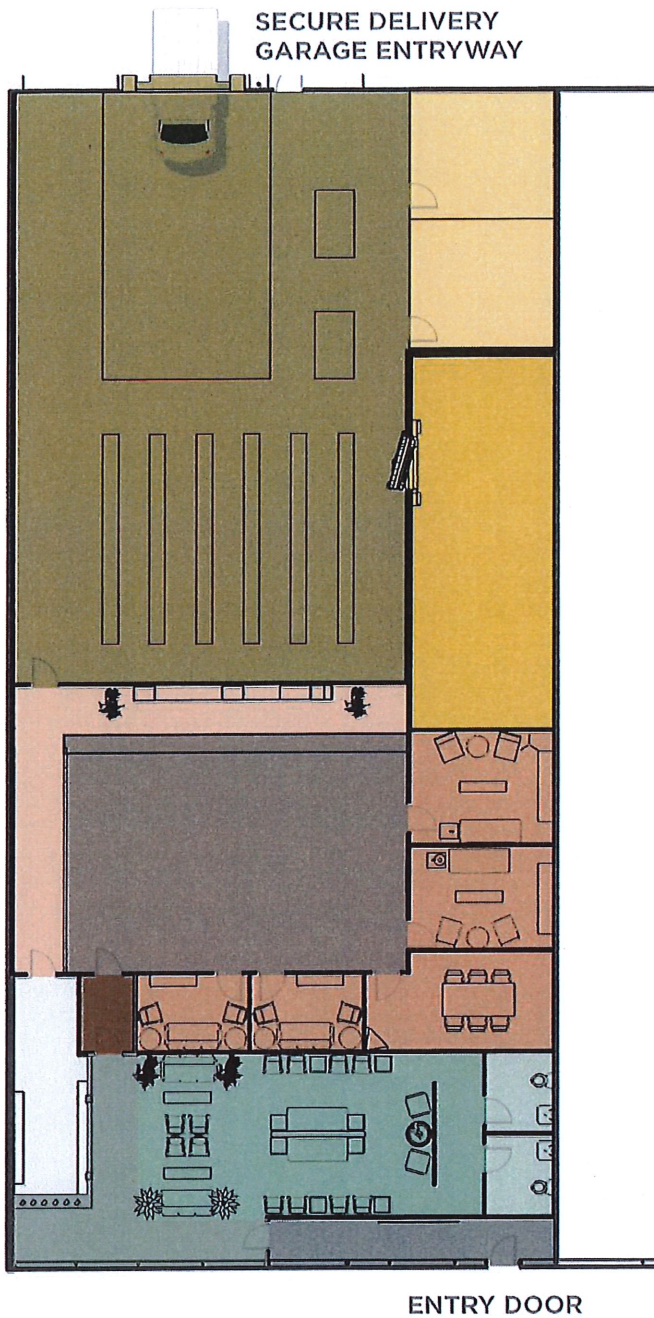
Consultation rooms are designed to vary in style and amenities to accommodate differing comfort styles and consultation requirements.

+

Digital monitors are present in all rooms to support additional education media, and for direct personal physician conferencing.

DESIGN CONCEPT FLOOR PLAN

+



BACK OF HOUSE

- SECURED LOADING DELIVERY AND INSPECTION AREA
- 600 SF VAULT
- OFFICES

DISPENSARY & CONSULTATION

- SECURITY ACCESS TO DISPENSARY ROOM
- DISPENSARY ROOM
- CONSULTATIONS ROOMS
- DISPENSERS/STAFF ONLY

WELCOME & WAITING ROOM

- WELCOME AREA / SECURITY VESTIBULE
- CHECK-IN DESK AREA
- WAITING AREA
- RESTROOMS
- RECEPTION AREA







LEASE
COMMERCIAL/RETAIL
COMPLETE
2 UNITS - 20' X 80'
CALL TONY
316-228-1836 Ext. 117 (cell)
316-786-7923 (off.)

LEASE
BAR/RESTAURANT
COMPLETE
1 UNIT - 40' X 80'
CALL TONY
316-228-1836 Ext. 117 (cell)
316-786-7923 (off.)







84



85

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL17-002173
DOCKET No. 12-34-17
FEE PAID \$150.00 js cc

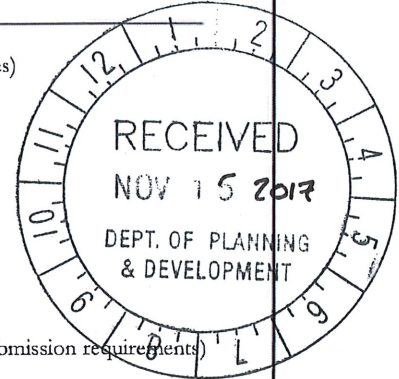
APPLICATION
LAKEWOOD PLANNING COMMISSION

Property Address 15408 Madison Avenue Business/Tenant Name The Forest Lakewood
Property Owner Name Dimitrios I. Gountis Owner Phone 216.526.2437
Owner E-mail dgountis@gmail.com Zoning Commercial Parcel Number 314-03-032
Project Summary Written description of the request is attached

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)



Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Erik Vaughan Company The Forest Lakewood, LLC
Applicant Address: 77 Milford Drive, Suite 232, Hudson, OH 44236
Phone: 216.262.4445 Fax: — E-mail: evaughan@theforestohio.com
Signature: [Signature] Date: 11/15/2017

OFFICE USE ONLY: Application Reviewed and Accepted by: KZM Date: 11/15/2017

File History: _____
Bldg. Dept. Remarks: _____

ORD. _____ SECTION _____

86

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes X No

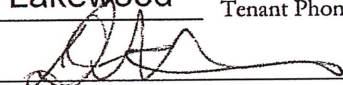
Please Print or Type:

Owner/Agent Name: Dimitrios I. Gountis

Property Address: 15408 Madison Avenue

Owner/Agent Phone: 216-526-2437

Tenant Name The Forest Lakewood Tenant Phone 216.262.4445



Owner/Agent Signature

2017 Calendar Planning Commission

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-21-16	Thursday	01-05-17	Thursday	01-05-17
February	Wednesday	01-18-17	Thursday	02-02-17	Thursday	02-02-17
March	Wednesday	02-15-17	Thursday	03-02-17	Thursday	03-02-17
April	Wednesday	03-22-17	Thursday	04-06-17	Thursday	04-06-17
May	Wednesday	04-19-17	Thursday	05-04-17	Thursday	05-04-17
June	Wednesday	05-17-17	Thursday	06-01-17	Thursday	06-01-17
July	Wednesday	06-21-17	Thursday	07-06-17	Thursday	07-06-17
August	Wednesday	07-19-17	Thursday	08-03-17	Thursday	08-03-17
September	Wednesday	08-23-17	Thursday	09-07-17	Thursday	09-07-17
October	Wednesday	09-20-17	Thursday	10-05-17	Thursday	10-05-17
November	Wednesday	10-18-17	Thursday	11-02-17	Thursday	11-02-17
December	Wednesday	11-22-17	Thursday	12-07-17	Thursday	12-07-17
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18

Pre-Review Meetings for the Commission commence at 6:30 P.M. in the **Council Conference Room**.

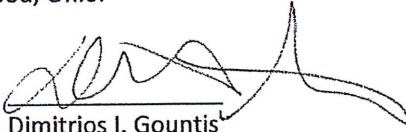
Review Meetings commence at 7:00 P.M. in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants or a representative (designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review.

87

City of Lakewood, Ohio
12650 Detroit Road
Lakewood, OH 44107

To Whom It May Concern:

The applicant, The Forest Lakewood, LLC, has my authorization to apply for a Conditional Use Permit for the property located at 15408 Madison Avenue, Lakewood, Ohio.



Dimitrios I. Gountis

THE FOREST LAKEWOOD, LLC - DISPENSARY

House Bill 523, effective on September 8th, 2016, legalized medical marijuana in Ohio. From Nov 3rd to Nov 17th, 2017, the Ohio Board of Pharmacy will accept license applications for a total of sixty (60) Medical Marijuana Retail Dispensary locations across the State of Ohio. Licensed Dispensaries are expected to be open to serve patients on September 8th, 2018. The Forest Lakewood, LLC seeks to obtain one (1) of up to five (5) Dispensary licenses available in Cuyahoga County at 15408 Madison Avenue in Lakewood, Ohio.

Erik Vaughan is the CEO of the Forest Lakewood, LLC. Erik joined the Board of Cannabis Insurance Services in 2014, and has served as the company's Chief Financial Officer since February 2017. Prior to joining Cannabisure, Erik was the Head of Macroeconomic Research at Cleveland Research Company.

Brad Maloof is the COO of The Forest Lakewood, LLB. Brad also serves as the President and Owner of Amware Group of Companies which includes: Amware Distribution Warehouses, Amrate, Amware Express, Recycle It, and Cedar Tree Properties. These companies make up a comprehensive logistics and supply chain solution which includes transportation and brokerage services, software, over 750,000 square feet of warehousing and distribution space, commercial real estate, and recycling services.

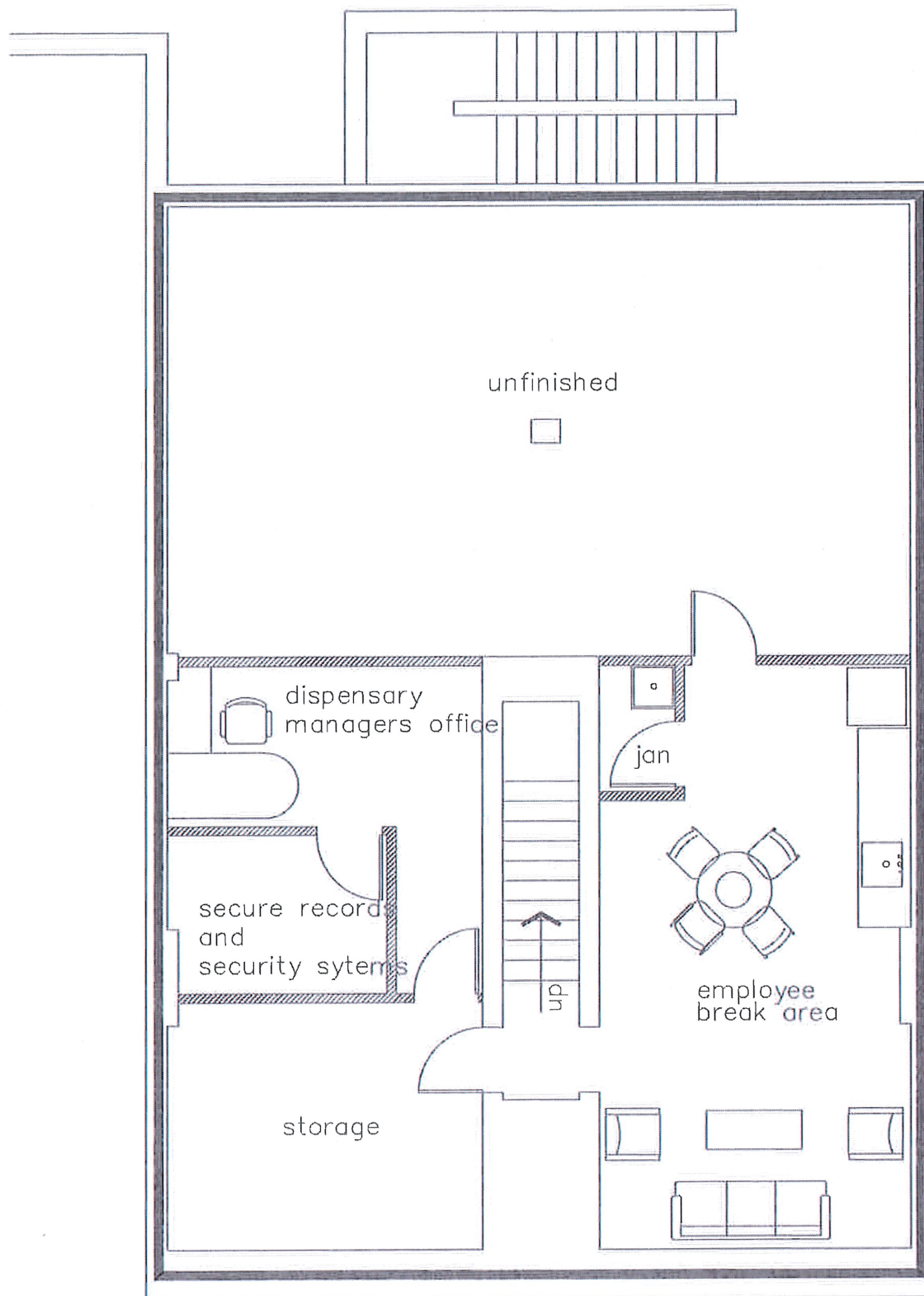
The Forest Lakewood, LLC has engaged Denver Relief Consulting (DRC) as its industry consultant. Since 2010, DRC has been involved in highly successful cannabis operations, including founding the oldest continuously operating dispensary in Denver, and its principals have been progressive industry leaders committed to advancing best practices and the perception of the cannabis community. DRC works with carefully selected clients and partners to develop custom legislative, advocacy and business strategies based on models they've successfully implemented and continuously improved upon in 12 states, Washington, D.C., Puerto Rico and Canada. Through the promotion of government collaboration, industry best practices, hyper-compliance, minority inclusion, environmental stewardship, and community integration, Denver Relief Consulting exists to further progressive, entrepreneurial advocacy in the pursuit of responsible cannabis policy reform.

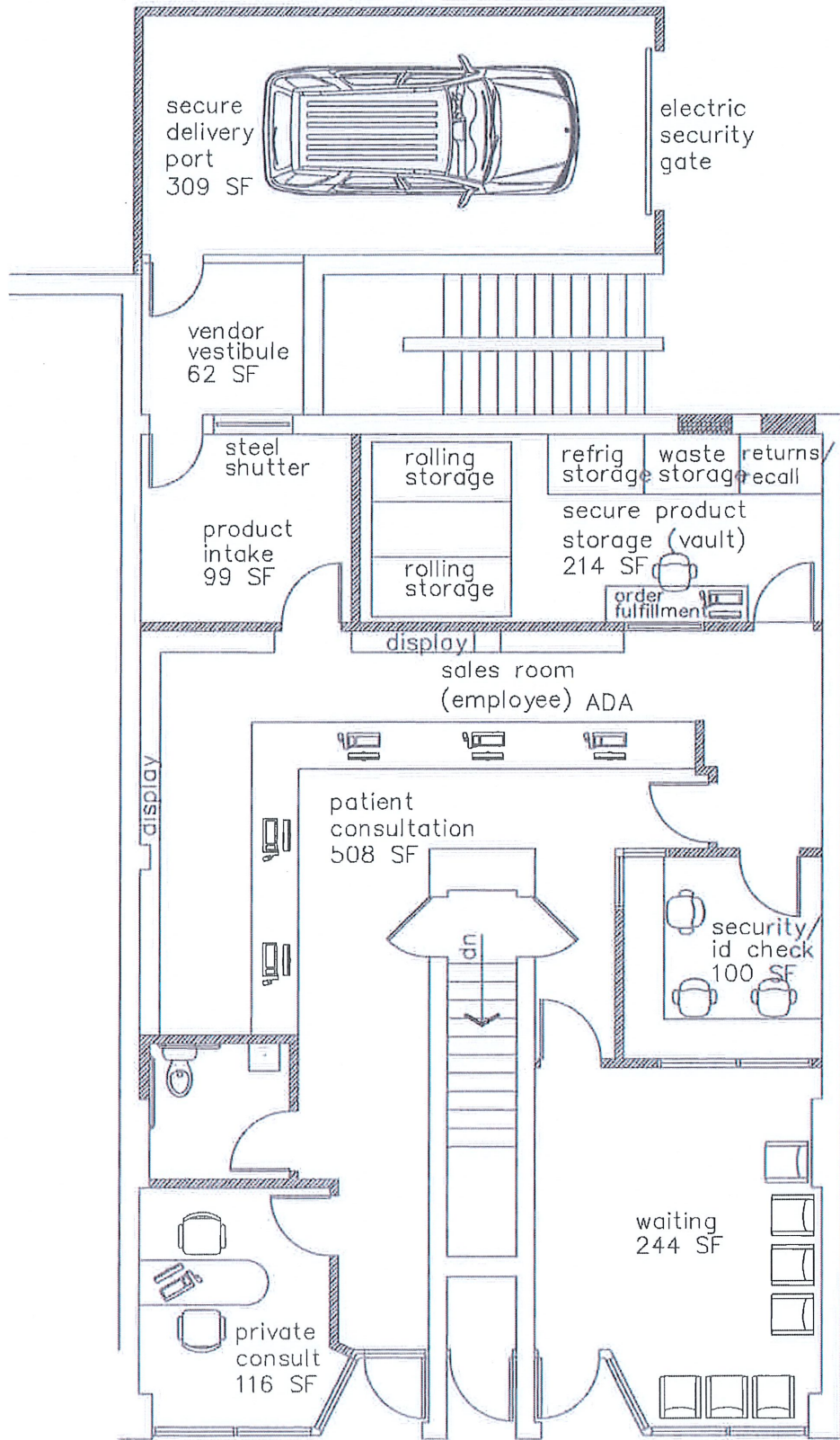
The Forest Lakewood, LLC will see approximately 250-350 patients per day and anticipates that 90%+ will be over 30 years old and 50%+ will be over 51 years old. The average transaction will be approximately \$88. Each patient spends about 20 minutes on site – including check-in with security and one-on-one consultation with dispensary employee. The Forest Lakewood, LLC expects to hire 10-20 employees.

THE FOREST LAKEWOOD, LLC



Erik Vaughan, CEO





PARCEL #	OWNER	ADDRESS	DESCRIPTION
1	31403090	ABOU-SAMIEH, AKRAM	1642 ELMWOOD AVE, LAKEWOOD, OH, 44107
2	31327012	NORTHLAKE 15610 MADISON I, LLC	1-FAMILY PLATTED LOT
3	31416067	MOSSBRUGER, WILLIAM J.	WALK-UP APTS 20-39 U
4	31414008	MUNTEAN, JOHN S	2-FAMILY PLATTED LOT
5	31403037	STANLEY, MARYANN A.	WALK-UP APTS 7-19 U
6	31414061	SAFRANEK, DEBORAH D.	1-FAMILY PLATTED LOT
7	31403054	RELIEF PROPERTIES, INC.	1-FAMILY PLATTED LOT
8	31327010	CITY OF LAKEWOOD	2-FAMILY PLATTED LOT
9	31403062	DUBBER, KEVIN EMERSON TRUSTEE	MUNI-OWNED PROP NEC
10	31414004	AUBLE INC	2-FAMILY PLATTED LOT
11	31414013	QUICK, LISA M.	1-2 STORY OFFICE BLDG
12	31327119	BENO, JOSEPH J. & BENO, JENNIF	1-FAMILY PLATTED LOT
13	31414001	IGEN, LLC	STORE W/ WALKUP APTS
14	31414055	ESHBAUGH, JONATHAN PAUL & ESHB	1-FAMILY PLATTED LOT
15	31403029	MADISON AVENUE APARTMENTS, LLC	STORE W/ WALKUP APTS
16	31403064	RCN PROPERTY MANAGEMENT LLC	2-FAMILY PLATTED LOT
17	31403070	ROWE DALE A	1-FAMILY PLATTED LOT
18	31403028	CHRISTOU BROTHERS	STORE W/ WALKUP APTS
19	31403038	SIKES ROBERT K. JR..	1-FAMILY PLATTED LOT
20	31403053	GOSKY, GLORIA J	1-FAMILY PLATTED LOT
21	31403069	PAPCUM, THOMAS M	2-FAMILY PLATTED LOT
22	31414010	LESICK, JOHN W. JR.	2-FAMILY PLATTED LOT
23	31416001	RNEL LTD LLC	WALK-UP APTS 20-39 U
24	31403026	REKRO, ANDREW.	STORE W/ WALKUP APTS
25	31403066	HYND, JAMES C.	2-FAMILY PLATTED LOT
26	31416069	CREADON, KATHLEEN	2-FAMILY PLATTED LOT
27	31403031	BEDROK LLC	STORE W/ WALKUP APTS
28	31403092	IMAYBERRY HOLDINGS, LLC	2-FAMILY PLATTED LOT
29	31403071	REBEC, MIHAILO	2-FAMILY PLATTED LOT
30	31414065	KVASNICKA ERIC & PAM	1-FAMILY PLATTED LOT
31	31327006	BAER, ADAM E. JR.	1-FAMILY PLATTED LOT
32	31403093	STOLITZA RANDALL R - TRUSTEE	2-FAMILY PLATTED LOT
33	31414011	HAMED ABEDALMGEAD TRUSTEE	2-FAMILY PLATTED LOT
34	31403050	PETTAT, ANDREW J. AND STRUNK,	2-FAMILY PLATTED LOT
35	31403087	VOLPE, RICHARD	1-FAMILY PLATTED LOT
36	31327004	MCCLINTOCK, MARY JANE L	1-FAMILY PLATTED LOT
37	31403082	GOUNTIS, DIMITRIOS I.	STORE W/ WALKUP APTS
38	31403034	BRUSH, DONALD TRUSTEE	STORE W/ WALKUP APTS
39	31414002	SPECIAL K PROPERTIES LLC	WALK-UP APTS 7-19 U
40	31403036	WHITE, KATHY S.	1-FAMILY PLATTED LOT
41	31403072	METRI, ANTOINETTE	3-FAMILY PLATTED LOT
42	31414108	BROWNELL GERALDINE W	1-FAMILY PLATTED LOT
43	31416068	SOLTESZ EDWARD P	2-FAMILY PLATTED LOT
44	31327124	CANANT, BETTY LOU	1-FAMILY PLATTED LOT
45	31327008	DASO PROPERTIES LLC.	1-FAMILY PLATTED LOT
46	31414110	G.T. BROTHERS AUTOMOTIVE	FULL SVC GAS STATION
47	31403044	WEBBER, ELEANOR A. TRS.	1-FAMILY PLATTED LOT
48	31403030	GOUNTIS PROPERTIES, LLC	STORE W/ WALKUP APTS

49	31403057	BENTOSKE, ELIZABETH HEATHER	1654 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
50	31403063	KAUFMAN, DUSKO & PIZIR, MIRJAN	1651 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
51	31414056	RELIEF PROPERTIES, INC	2031 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
52	31414058	GRANO, JEFFREY A.	2021 ARTHUR AVE, LAKEWOOD, OH, 44107	2-FAMILY PLATTED LOT
53	31403035	KURGAN, MICHAEL A.	1691 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
54	31414057	LEASURE GERALD H & THERESA M	2027 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
55	31414059	MUNTEAN, JOHN S	2015 ARTHUR AVE, LAKEWOOD, OH, 44107	WALK-UP APTS 7-19 U
56	31403055	MILLUS, BRADLEY J & KATELYN	1642 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
57	31414054	LECIEJEWSKI JEFFREY A.	2041 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
58	31416071	SNOW, LEE W JR. & MCCONNELL-SN	2018 ELMWOOD AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
59	31327003	CANAMT, BETTY LOU	0 ARTHUR AVE, LAKEWOOD, OH, 44107	RES VACANT LAND
60	31414109	WILLIAMS, BRENDA L.	2019 LAKELAND AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
61	31403042	FRIEDRICH HARALD	15501 HILLIARD RD, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
62	31403051	Cox, Matthew R & Diane	1618 MARS AVE, LAKEWOOD, OH, 44107	2-FAMILY PLATTED LOT
63	31403068	VELASCO, MARTIN H	1629 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
64	31327007	GAUL, COLLEEN M.	1690 ARTHUR AVE, LAKEWOOD, OH, 44107	2-FAMILY PLATTED LOT
65	31403065	O'KEEFE, ELAINE M.	1645 MARS AVE, LAKEWOOD, OH, 44107	2-FAMILY PLATTED LOT
66	31403040	CARR, DARLENE A.	1667 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
67	31403033	MADISON 15500 LLC	15500 MADISON AVE, LAKEWOOD, OH, 44107	STORE W/ WALKUP APTS
68	31327009	TAYLOR, JACKIE F	15528 MADISON AVE, LAKEWOOD, OH, 44107	STORE W/ WALKUP APTS
69	31403094	STOLITZA JOSEPH P	1658 ELMWOOD AVE, LAKEWOOD, OH, 44107	WALK-UP APTS 7-19 U
70	31416003	NORTHLAKE 15031 MADISON I, LLC	15031 MADISON AVE, LAKEWOOD, OH, 44107	WALK-UP APTS 7-19 U
71	31403060	MADISON AVENUE APARTMENTS, LLC	1665 MARS AVE, LAKEWOOD, OH, 44107	WALK-UP APTS 7-19 U
72	31414107	MCNALLY, BRETT J. & STEPHANIE	2025 LAKELAND AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
73	31403088	PRETZ-ANDERSON, MARIKKA LYNNE	1634 ELMWOOD AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
74	31403089	ZKIAB, SIMON & GEORGINA	1636 ELMWOOD AVE, LAKEWOOD, OH, 44107	2-FAMILY PLATTED LOT
75	31403067	KAUFMAN, DUSKO	1633 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
76	31327011	PRESSWALA, NURUDDIN J & RASHI	15600 MADISON AVE, LAKEWOOD, OH, 44107	1-2 STORY OFFICE BLDG
77	31414006	FENCL, BONNIE L	15307 MADISON AVE, LAKEWOOD, OH, 44107	OTHER RETAIL NEC
78	31414060	AUBLE INC	2010 ARTHUR AVE, LAKEWOOD, OH, 44107	1-2 STORY OFFICE BLDG
79	31403058	COGAR,TUBAL & KAREN S	1658 MARS AVE, LAKEWOOD, OH, 44107	1-2 STORY OFFICE BLDG
80	31403091	SABBAR, AMIAD AL	1646 ELMWOOD AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
81	31403043	OLAH, KATHY LEATRS	15445 HILLIARD RD, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
82	31403052	HYND, JAMES	1622 MARS AVE, LAKEWOOD, OH, 44107	2-FAMILY PLATTED LOT
83	31403086	SHUTY, KRISTOPHER	1624 ELMWOOD AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
84	31416070	JANOTA RAYMOND	2014 ELMWOOD AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
85	31414014	ONIONS, VERA	2038 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
86	31414063	MARTINI, MICHAEL C	2032 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
87	31327005	BUTKO, MONICA A.	1678 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
88	31416066	MOONEY, PAMELA C. & DAVID W.	2031 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
89	31414003	LESZKOWICZ, ROLAND A.	15531 MADISON AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
90	31403061	BENTLEY, JOHN V JR	1661 MARS AVE, LAKEWOOD, OH, 44107	STORE W/ WALKUP APTS
91	31414012	MCINTYRE, MAUREEN	2030 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
92	31403039	SIKES ROBERT K, JR.,	1673 ARTHUR AVE, LAKEWOOD, OH, 44107	RES VACANT LAND
93	31403027	REKRO III ANDREW F	15204 MADISON AVE, LAKEWOOD, OH, 44107	STORE W/ WALKUP APTS
94	31414007	15217 MADISON, LLC	15217 MADISON AVE, LAKEWOOD, OH, 44107	STORE W/ WALKUP APTS
95	31414005	WRIGHT, ROBERT A. & KATHY	15315 MADISON AVE, LAKEWOOD, OH, 44107	FRANCHISE FD SITDOWN
96	31416004	GOUNTIS PROPERTIES, LLC	15023 MADISON AVE, LAKEWOOD, OH, 44107	STORE W/ WALKUP APTS
97	31414062	COFFEY JOHN P.	2026 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
98	31403056	MILLUS, BRADLEY J & KATELYN	0 MARS AVE, LAKEWOOD, OH, 44107	RES VACANT LAND
99	31414064	BOOSE, JORGE S.	2038 ARTHUR AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
100	31414009	KEVDZIJA, MARY L	2016 MARS AVE, LAKEWOOD, OH, 44107	1-FAMILY PLATTED LOT
101	31327305	*RESIDENTIAL CONDO UNITS*	15555 HILLIARD RD, LAKEWOOD, OH, 44107	RESIDENTIAL CONDO



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

December 7, 2017

Planning Commission
Lakewood City Hall
12650 Detroit Avenue
Lakewood, Ohio 44107

**Re: Communication from Alex Harnocz, Planner
Resiliency Task Force Formation**

Dear Members of the Planning Commission:

A Communication will be presented to the Lakewood Planning Commission regarding the formation of the Resiliency Task Force. Resiliency is the ability of a system to absorb internal and external shocks and stressors whether environmental, social or economic. This nine member appointed body will evaluate Lakewood's existing plans, identify gaps in those plans, identify opportunities for inter-connection among the plans, and prioritize projects and policies for implementation. The Task Force will provide occasional updates to the Planning Commission throughout its 18 to 24 month course. The final deliverable of this group will be a report which we anticipate can serve as an addendum or update to the *Community Vision*.

Sincerely,

Katelyn Milius, Planner
Commission Secretary