

**AGENDA  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
EAST CONFERENCE ROOM  
FEBRUARY 2, 2023  
4:00 P.M.**

**REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
FEBRUARY 9, 2023  
5:30 P.M.**

1. OATH: CHRIS EGERVARY
2. ROLL CALL
3. APPROVE THE MINUTES OF THE JANUARY 12, 2023 MEETING
4. OPENING REMARKS

**OLD BUSINESS**

**ARCHITECTURAL BOARD OF REVIEW – RESIDENTIAL**

5. **Docket No. 11-76-22  
1655 Roosevelt Ave.**

<input type="checkbox"/> Approve	Christopher Walling
<input type="checkbox"/> Deny	14225 Cedarwood Ave.
<input type="checkbox"/> Defer	Lakewood, OH 44107

Applicant proposes the construction of a new garage. (Page 4)

6. **Docket No. 01-02-23  
2160 Overbrook Ave.**

<input type="checkbox"/> Approve	Michael Horton
<input type="checkbox"/> Deny	Horton Harper Architects
<input type="checkbox"/> Defer	812 Huron Rd. E., Ste. 301 Cleveland, OH 44115

Applicant proposes the construction of a new home. (Page 10)

**NEW BUSINESS**

**ARCHITECTURAL BOARD OF REVIEW – RESIDENTIAL**

**7. Docket No. 02-15-23  
17899 Lake Rd.**

- Approve
- Deny
- Defer

David J. Maniet AIA  
Maniet Architects  
1315 Bunts Rd.  
Lakewood, OH 44107

Applicant proposes a two-story addition on the south side of an existing home. (Page 18)

**8. Docket No. 02-16-23  
1464 Riverside Dr.**

- Approve
- Deny
- Defer

Gary Fischer  
Fischer & Associates Architects Inc.  
554 West 9<sup>th</sup> St.  
Lorain, OH 44052

Applicant proposes the construction of a new home. (Page 31)

**ARCHITECTURAL BOARD OF REVIEW – COMMERCIAL**

**9. Docket No. 02-17-23  
13370 Madison Ave.  
Benchek Building**

- Approve
- Deny
- Defer

David J. Maniet AIA  
Maniet Architects  
1315 Bunts Rd.  
Lakewood, OH 44107

Applicant proposes façade renovation. (Page 41)

**10. Docket No. 02-18-23  
15322 Detroit Ave.  
Crumb & Spigot**

- Approve
- Deny
- Defer

Tommy Chesnes  
Onyx Creative  
25001 Emery Rd., Suite #400.  
Cleveland, OH 44128

Applicant proposes façade renovation and outdoor dining. (Page 71)

## SIGN REVIEW

**11. Docket No. 02-1923**  
**15322 Detroit Ave.**  
**Crumb & Spigot**

- Approve
- Deny
- Defer

Jeff Clark  
Easy Sign Group  
9478 Ravenna Rd.  
Twinsburg, OH 44087

Applicant requests wall signage at the front and rear entrances. (Page 83)

## ADJOURN

*"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 [michelle.nochta@lakewoodoh.net](mailto:michelle.nochta@lakewoodoh.net)."*



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-76-22**

**Permit No.: BBS22-000099**

**Applicant Name: Christopher Walling**

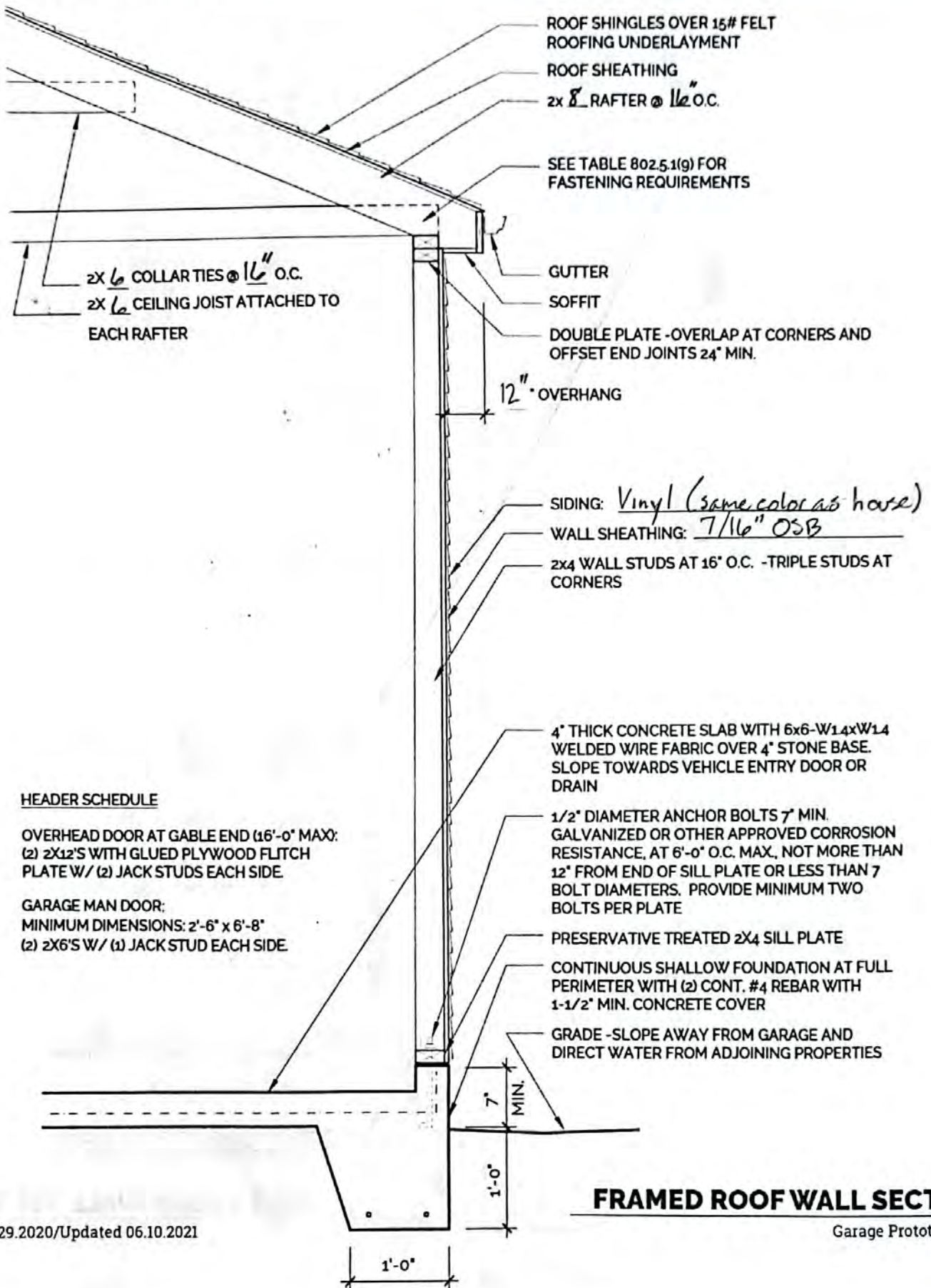
**Project Address: 1655 Roosevelt Ave.**

**Project Name:**

**Project: Applicant proposes the construction of a new garage.**

# DETACHED GARAGE PROTOTYPE SECTIONS

PROPERTY ADDRESS: 1655 Roosevelt



**HEADER SCHEDULE**

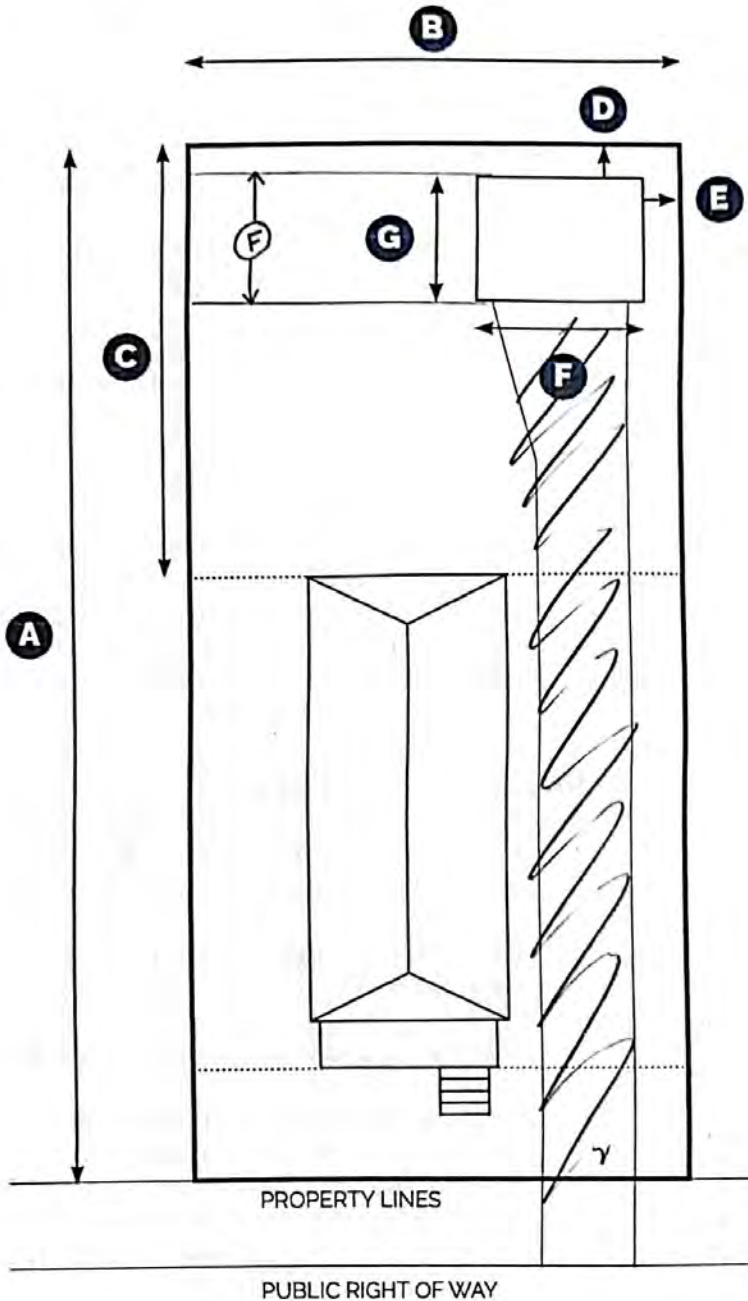
OVERHEAD DOOR AT GABLE END (16'-0" MAX):  
 (2) 2x12'S WITH GLUED PLYWOOD FLITCH  
 PLATE W/ (2) JACK STUDS EACH SIDE.

GARAGE MAN DOOR:  
 MINIMUM DIMENSIONS: 2'-6" x 6'-8"  
 (2) 2x6'S W/ (1) JACK STUD EACH SIDE.

**FRAMED ROOF WALL SECTION**

# DETACHED GARAGE PLACEMENT PLACEMENT WORKSHEET (RIGHT-HAND OPTION)

PROPERTY ADDRESS: 11655 Roosevelt Ave, Lakewood, OH 44107



**ORIENTATION**

NORTH  
 (INDICATE DIRECTION)



**DETACHED GARAGE (IN FEET)**

<b>A</b>	LOT DEPTH	<u>114.97'</u>
<b>B</b>	LOT WIDTH	<u>40'</u>
<b>C</b>	REAR YARD DEPTH	<u><del>24</del> 10'</u>
<b>D</b>	REAR SETBACK	<u><del>10</del> 3'</u>
<b>E</b>	SIDE SETBACK	<u>1'</u>
<b>F</b>	GARAGE WIDTH	<u>24' <del>20'</del> <del>18'</del></u>
<b>G</b>	GARAGE DEPTH	<u>20'</u>

GARAGE AREA (WIDTH X DEPTH)  
480 SF ~~371.62~~ SF

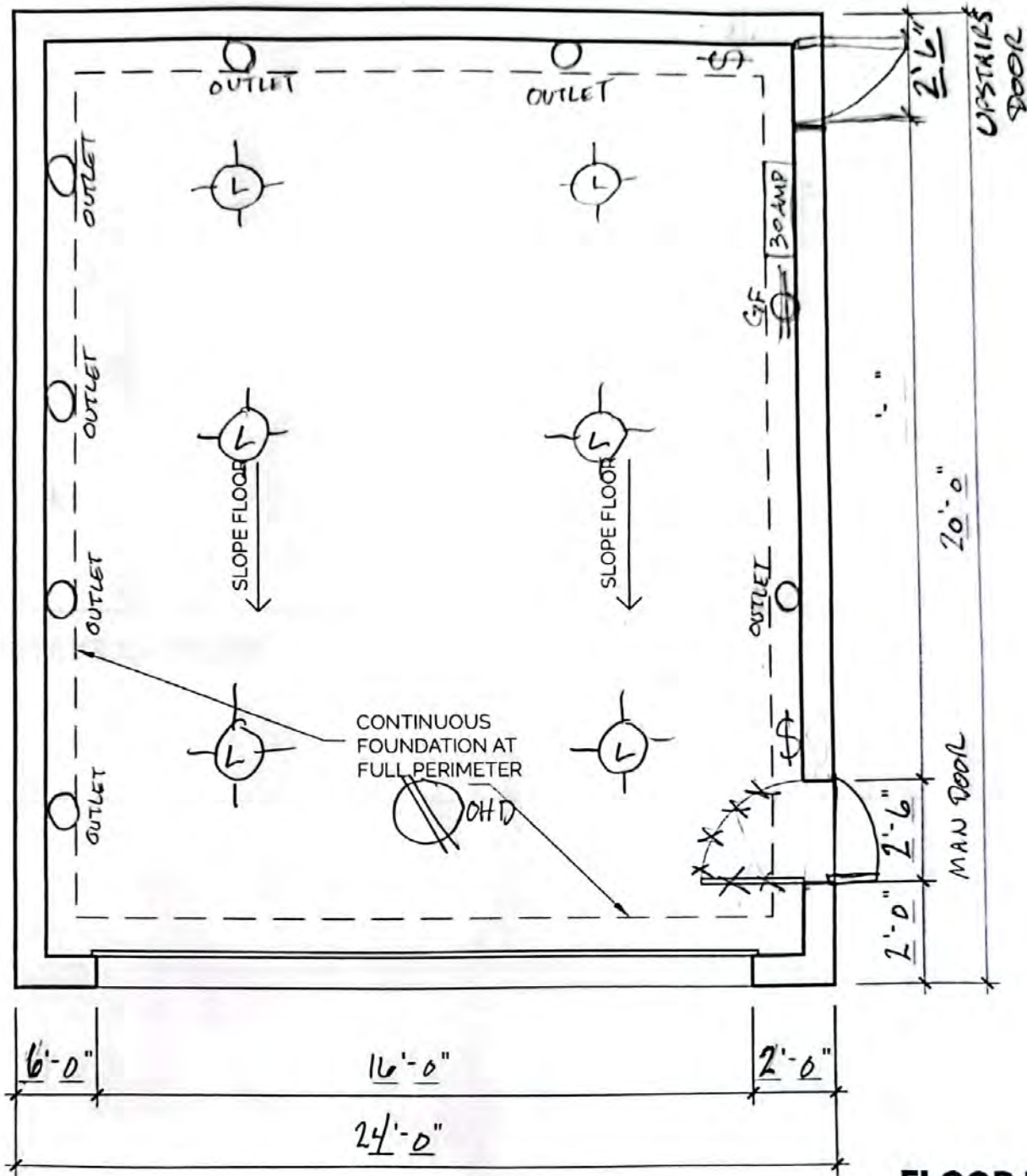
**DRIVE WAY**

REPLACEMENT	<u>Y / <input checked="" type="radio"/> N</u>
DRAIN	<u>Y / <input checked="" type="radio"/> N</u>

**SITE PLAN**

**DETACHED GARAGE PROTOTYPE  
 FLOOR PLAN (LEFT-HAND OPTION)**

PROPERTY ADDRESS: 1655 Roosevelt Ave, Lakewood, OH 44107



**FLOOR PLAN**

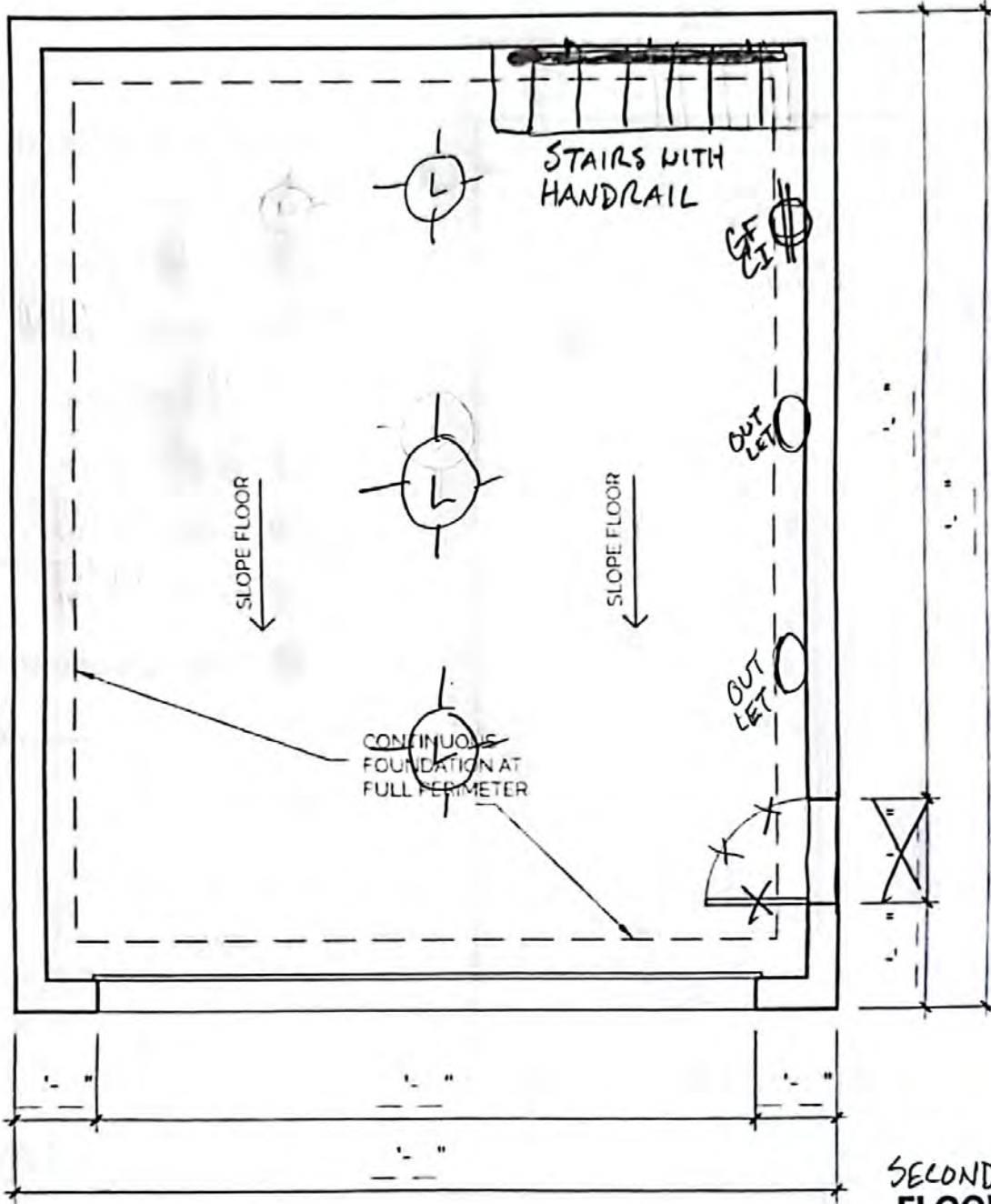
**ELECTRICAL SYMBOL LEGEND**

- |     |  |  |   |  |        |  |                                  |
|-----|--|--|---|--|--------|--|----------------------------------|
| OHD | 110V DUPLEX CEILING MOUNTED DOOR OPERATOR RECEPTACLE |  | LIGHT SWITCH                                |  | 30 AMP |  | SUB-PANEL WITH DISCONNECT RATING |
|     | 110V GFCI RECEPTACLE                                 |  | LIGHTS: RECESSED, SURFACE MOUNT, WALL MOUNT |  |        |  |                                  |

**DETACHED GARAGE PROTOTYPE  
 FLOOR PLAN (LEFT-HAND OPTION)**

PROPERTY ADDRESS: 1655 Roosevelt ave, Lakewood, OH 44107

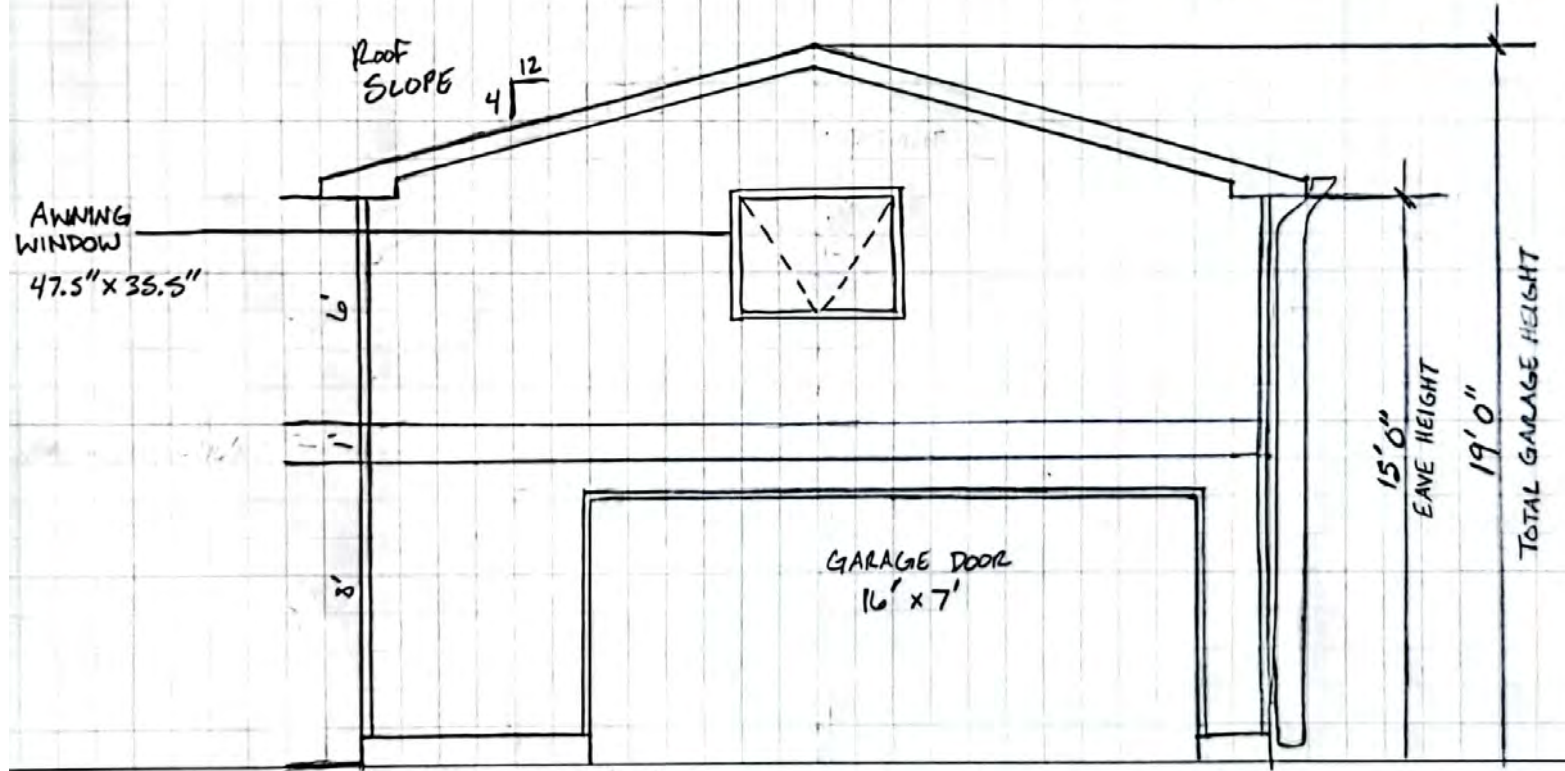
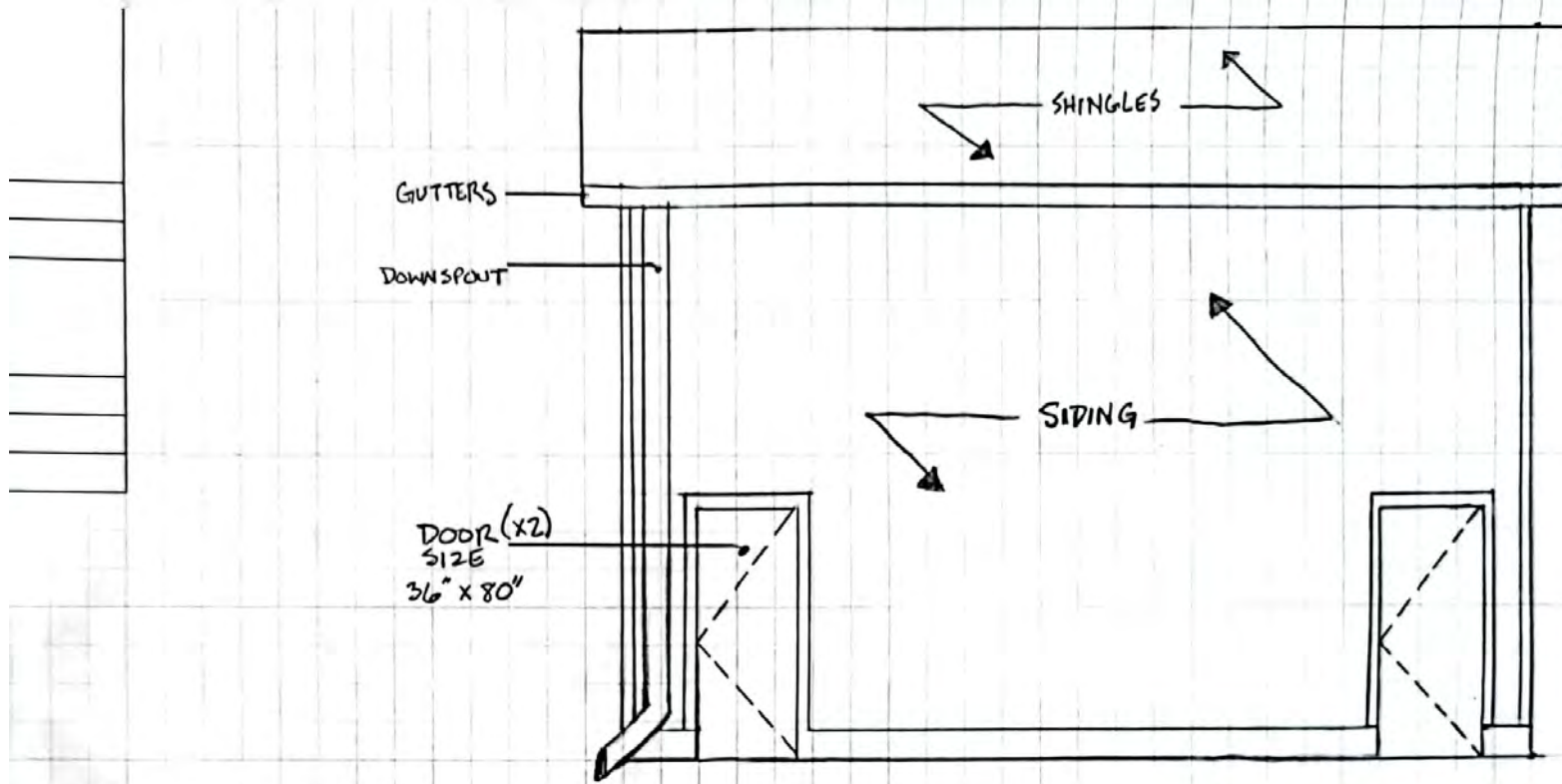
SECOND FLOOR



**SECOND FLOOR  
 FLOOR PLAN**

**ELECTRICAL SYMBOL LEGEND**

<b>OHD</b> 110V DUPLEX CEILING MOUNTED DOOR OPERATOR RECEPTACLE	LIGHT SWITCH	<b>30 AMP</b>	SUB-PANEL WITH DISCONNECT RATING
<b>GF</b> 110V GFCI RECEPTACLE	LIGHTS: RECESSED, SURFACE MOUNT, WALL MOUNT		





**BOARD OF BUILDING STANDARDS  
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## **Application Cover Page**

**Docket No.: 01-02-23**

**Permit No.: BBS22-000126**

**Applicant Name: Michael Horton, Horton Harper Architects**

**Project Address: 2160 Overbrook Ave.**

**Project Name:**

**Project: Applicant proposes the construction of a new home.**

# 2160 OVERBROOK

2160 OVERBROOK AVE, LAKEWOOD, OH 44107

## Project Team

<b>OWNER:</b> 2160 OVERBROOK LLC 2160 OVERBROOK AVE. LAKEWOOD, OH 44107 216.276.3816 INFO@BERGESLLC.COM	<b>ARCHITECT:</b> HORTON HARPER ARCHITECTS 812 HURON ROAD E., STE. 305 CLEVELAND, OH 44115 216.600.9028 HORTONHARPER.COM	<b>BUILDER:</b> BERGES LLC 2030 W 19TH STREET CLEVELAND, OH 44113 216.276.3816 INFO@BERGESLLC.COM	<b>CIVIL:</b> RIVERSTONE COMPANY 3800 LAKESIDE AVENUE CLEVELAND, OH 44114 216.491.2000
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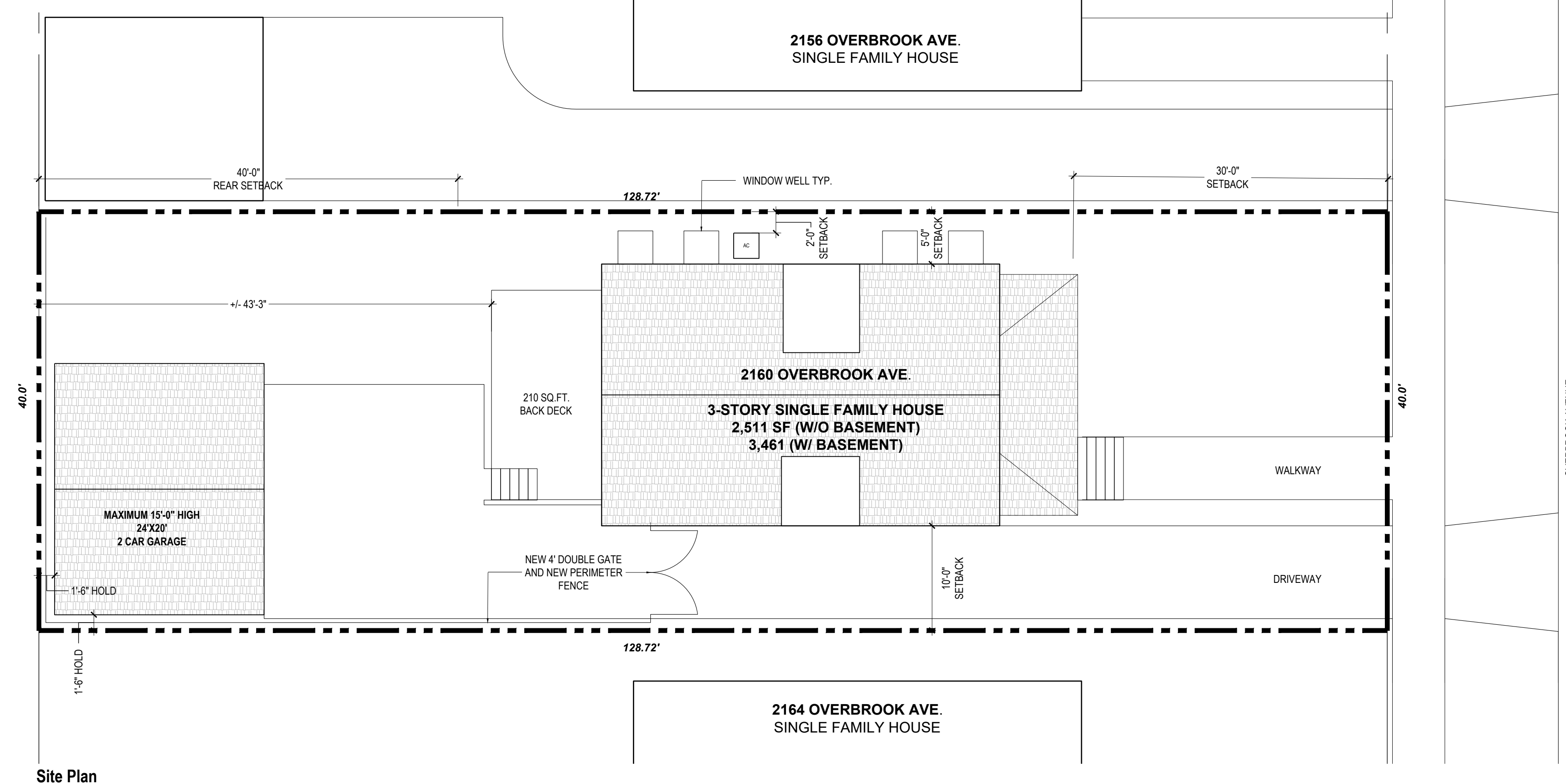
## Project Description

NEW 2511 SQUARE FOOT, THREE STORY HOUSE, ON A VACANT LOT. THE HOUSE HAS A COVERED FRONT PORCH WITH A REAR DECK AND GARAGE.

FLOOR	TOTAL	SF
1	950	
2	950	
3	611	SF
	2511	SF

## Lot Coverage Calculation

COVERED FRONT PORCH	175 SQ. FT.
FIRST FLOOR	950 SQ. FT.
TOTAL PRIMARY BUILDING	1,125 SQ. FT.
TOTAL LOT	5,148 SQ. FT.
TOTAL LOT COVERAGE	22%



Site Plan  
Scale: 1/8" = 1'-0" N=0

DRAWING INDEX		ISSUE NAME/DATE	
NO.	DRAWING NAME		
		LAKELAND DESIGN REVIEW	
		JANUARY 12, 2023	
CS1.00	COVER SHEET		
A1.00	FLOOR PLANS		
A3.00	BUILDING ELEVATIONS		
A3.01	BUILDING ELEVATIONS		
A3.02	GARAGE PLAN, ELEVATION, AND SECTION		
A4.00	BUILDING SECTIONS		
A9.00	DESIGN REVIEW MATERIALS		

ARCHITECTURAL ABBREVIATIONS				LEGEND INDICATIONS	
ACT - ACOUSTIC TILE	EWC - ELECTRIC WATER COOLER	MAS - MASONRY	STD - STANDARD	0	DETAIL NO
A.F.F. - ABOVE FINISHED FLOOR	EXIST. - EXISTING	MECH. - MECHANICAL	STL - STEEL	0	SHEET OUT
ALT - ALTERNATE	EXP - EXPANSION	MFR - MANUFACTURER	STRUCT. - STRUCTURAL/STRUCTURE	0	SEC LETTER
ALUM - ALUMINUM	EXT - EXTERIOR	MH - MANHOLE	SUSP - SUSPENDED	0	SHEET OUT
APPROX. - APPROXIMATELY	FD - FLOOR DRAIN	MC - MICROWAVE	T/ - TOP OF	0	ELEVATION
ARCH. - ARCHITECT/ARCHITECTURAL	FE - FIRE EXTINGUISHER	MIN. - MINIMUM	T.B.D. - TO BE DETERMINED	0	SHEET DRAWN
AWB - AIR & WATER BARRIER	FIN - FINISH	MISC. - MISCELLANEOUS	TERR. - TERRAZZO	0	EXISTING COLUMN BUBBLE
BLDG - BUILDING	FLR - FLOOR	MO - MASONRY OPENING	THRESH. - THRESHOLD	0	COLUMN BUBBLE
BLK - BLOCK	FDN - FOUNDATION	MR - MOISTURE RESISTANT	TYP. - TYPICAL	1	MATERIAL KEYNOTE/CALLOUT
B.M. - BENCH MARK	FPBH - FROST PROOF HOSE BIBB	MTL - METAL	UNO - UNLESS NOTED OTHERWISE	X#	WINDOW CALLOUT
BSM - BEAM	FR - FIRE RATED	N.I.C. - NOT IN CONTRACT	VCT - VINYL COMPOSITION TILE	X#	DOOR NUMBER
BN - BULLNOSE	FTG - FOOTING	NO. - NUMBER	VERT. - VERTICAL	100	KITCHEN ROOM NUMBER
BOD - BASIS OF DESIGN	FURR - FURRING	NTS - NOT TO SCALE	V.I.F. - VERIFY IN FIELD	X#	WALL TYPE
BP - BENT PLATE	FVC - FIRE VALVE CABINET	OA - OVERALL	WC - WATER CLOSET	X#	KEY NOTE
BI - BOTTOM OF	GA - GAUGE	OC - ON CENTER	WD - WOOD	#	REVISION
BTM - BOTTOM	GALV. - GALVANIZED	OD - OUTSIDE DIAMETER	WP - WORK POINT, WOOD POST		
CAB - CABINET	GC - GENERAL CONTRACTOR	OH - OVERHEAD	WT - WEIGHT		
C.B. - CATCH BASIN	GEN. - GENERAL	OPP - OPPOSITE	WAP - WALL ACCESS PANEL		
CEM - CEMENT	GFRG - GLASS FIBER REINFORCED CONC.	PR - PAIR	WWF - WELDED WIRE FABRIC		
CJ - CONTROL JOINT	GFRG - GLASS FIBER REINFORCED GYPSUM	PC - PRE-CAST			
CL - CENTERLINE	GL - GLASS/GLAZING	PL - PLATE			
CLR - CLEAR	G.S. - GRAVEL STOP	PLAM - PLASTIC LAMINATE			
CLG - CEILING	GYP. BD. - GYPSUM BOARD	PLUMB. - PLUMBING/PLUMBER			
CM - CONSTRUCTION MANAGER	H.B. - HOSE BIBB	PLYWD - PLYWOOD			
CMT - CERAMIC MOSAIC TILE	HC - HANDI-CAP	POL - POLISHED			
CMU - CONCRETE MASONRY UNIT	HDW - HARDWARE	PRE FIN. - PREFINISHED			
COL - COLUMN	HDWD - HARDWOOD	PROJ. - PROJECTED/PROJECTION			
CONC. - CONCRETE	HM - HOLLOW METAL	P.S. - PARAPET STEP			
CONSTR. - CONSTRUCTION	HORIZ. - HORIZONTAL	P.T. - PRESSURE TREATED			
CONT. - CONTINUOUS	H.P. - HIGH POINT	PTD - PAINTED			
CONTR. - CONTRACTOR	HR - HOUR	R - RADIUS			
CRS - COURSE	HTG - HEATING	RAD - RADIUS			
CT - CERAMIC TILE	HYD - HYDRANT	R.D. - ROOF OVER/LOW DRAIN			
CNTR. - COUNTER	ID - INSIDE DIAMETER	RTU - ROOF TOP UNIT			
CPT - CARPET	INFO - INFORMATION	SS - SLOPESERVICE SINK			
CTR - CENTER	INSUL - INSULATION/INSULATING	SHT. - SHEET			
DET - DETAIL	INT - INTERIOR	SM - SIMILAR			
DF - DRINKING FOUNTAIN	INV - INVERT	SPEC - SPECIFICATION(S)			
DIA - DIAMETER	JAN. - JANITOR	SQ - SQUARE			
DIM - DIMENSION	JST - JOIST	S.STL. - STAINLESS STEEL			
DO - DOOR OPENING	JST BRG - JOIST BEARING	ST - SUITE			
DS - DOWNSPOUT	JT - JOINT				
DW - DISH WASHER	LAV - LAVATORY				
DWG - DRAWING	LG - LONG				
EIFS - EXTERIOR INSULATION & FINISH SYS.	LLH - LONG LEG HORIZONTAL				
EL - ELEVATION	LLV - LONG LEG VERTICAL				
ELEV. - ELEVATOR	L.P. - LOW POINT				
ELEC - ELECTRICAL	LT - LIGHT				
EJ - EXPANSION JOINT					

Stamp

Client

2160 OVERBROOK LLC

2160 Overbrook Ave.  
Lakewood, OH 44107

Project

2160 Overbrook

2160 Overbrook Ave  
Lakewood, OH 44107

Revisions

Original Permit Sub. Date 00/00/00

Submission

- Progress
- Design Review
- Lot Split
- Planning
- Zoning
- Schematic Design
- Design Development
- Building Permit
- Bidding
- Construction

Current Date 01/12/2023

Drawn By ZB

Checked By MVH

Job Number 22028

Sheet

COVER SHEET

Discipline & Number

CS1.00

Stamp

Client

**2160 OVERBROOK LLC**

2160 Overbrook Ave.  
 Lakewood, OH 44107

Project

**2160 Overbrook**

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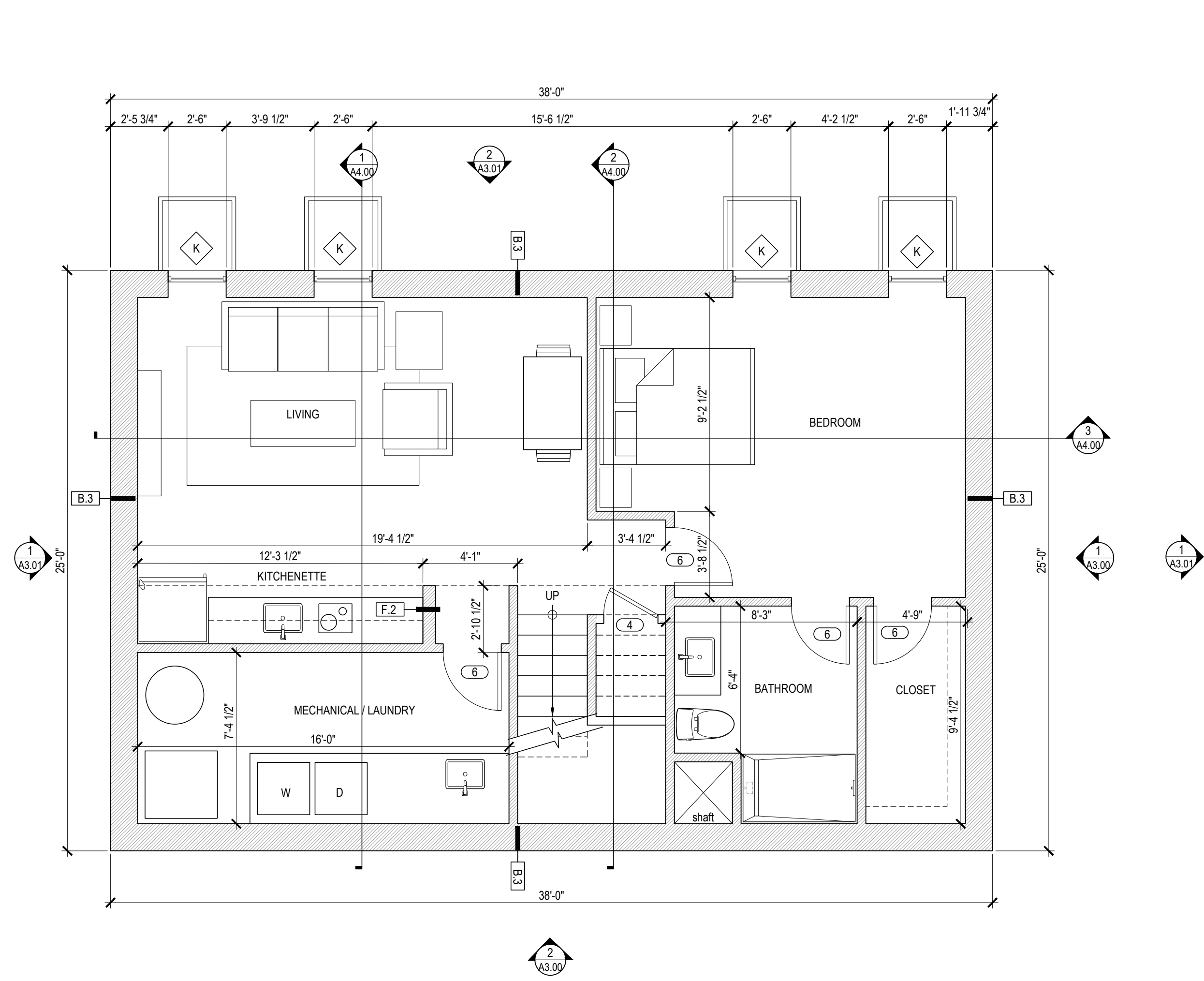
Job Number 22028

Sheet

**FLOOR PLANS**

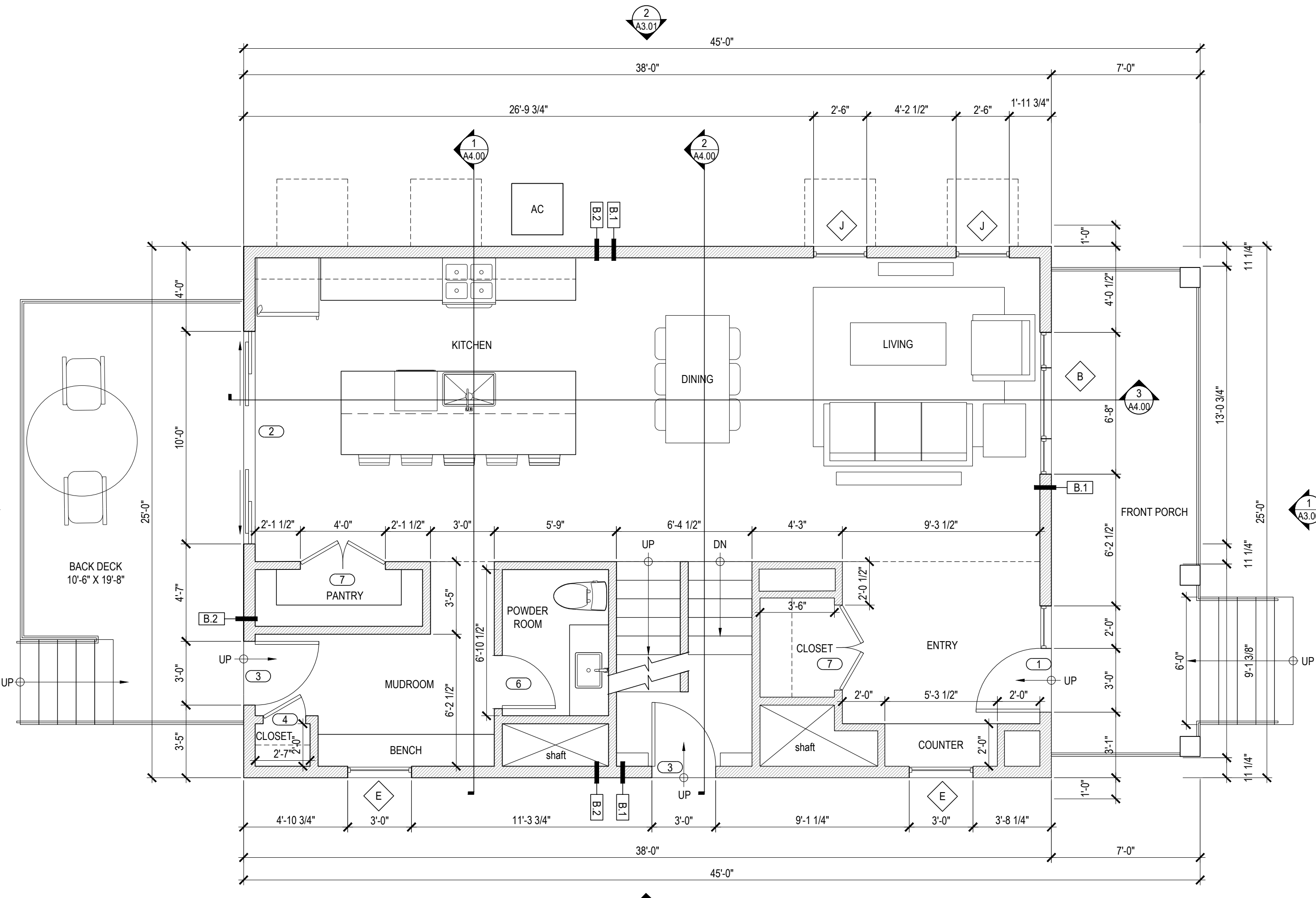
Discipline & Number

**A1.00**



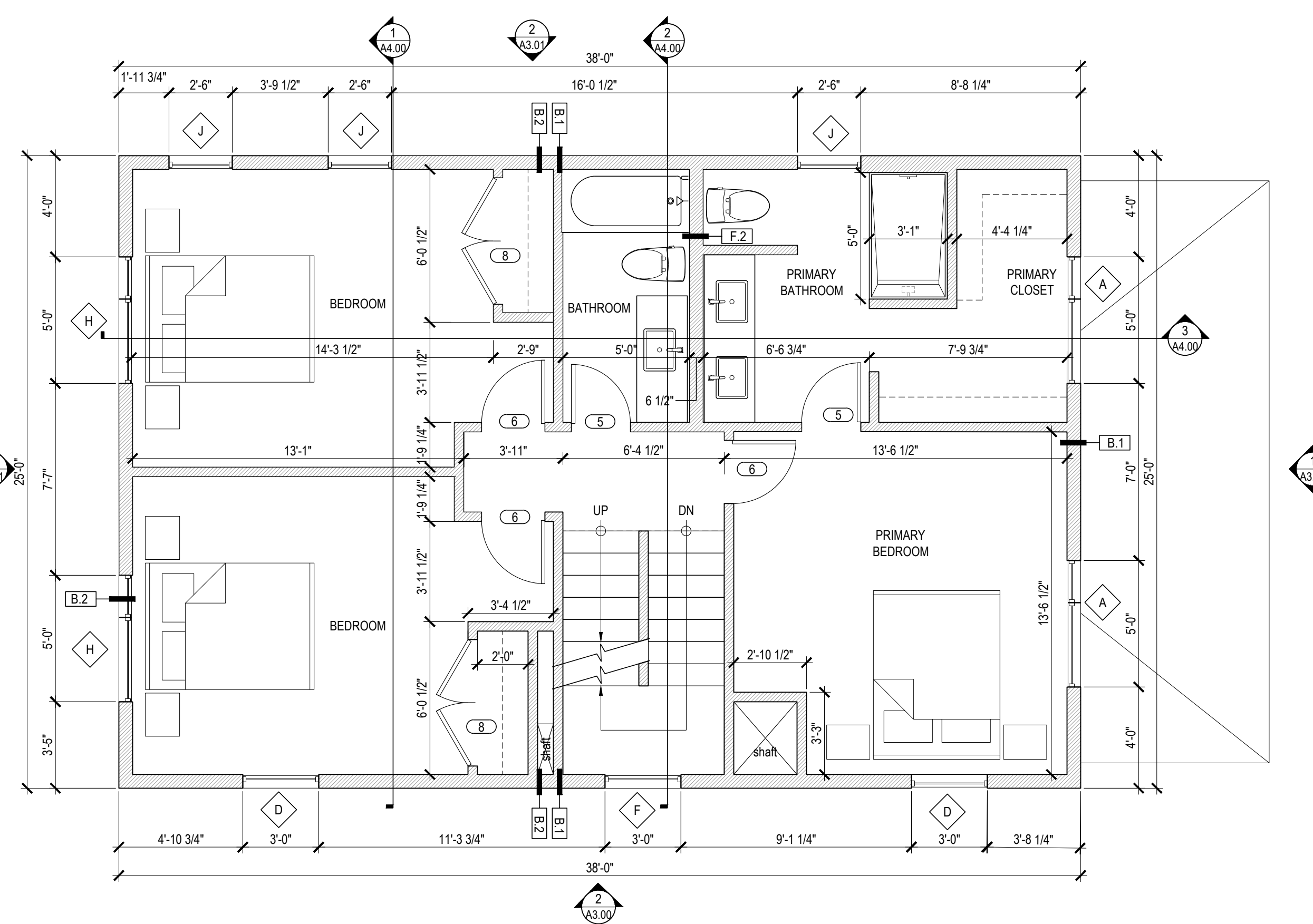
**1 - Basement Floor Plan**

Scale: 1/4" = 1'-0" N/D



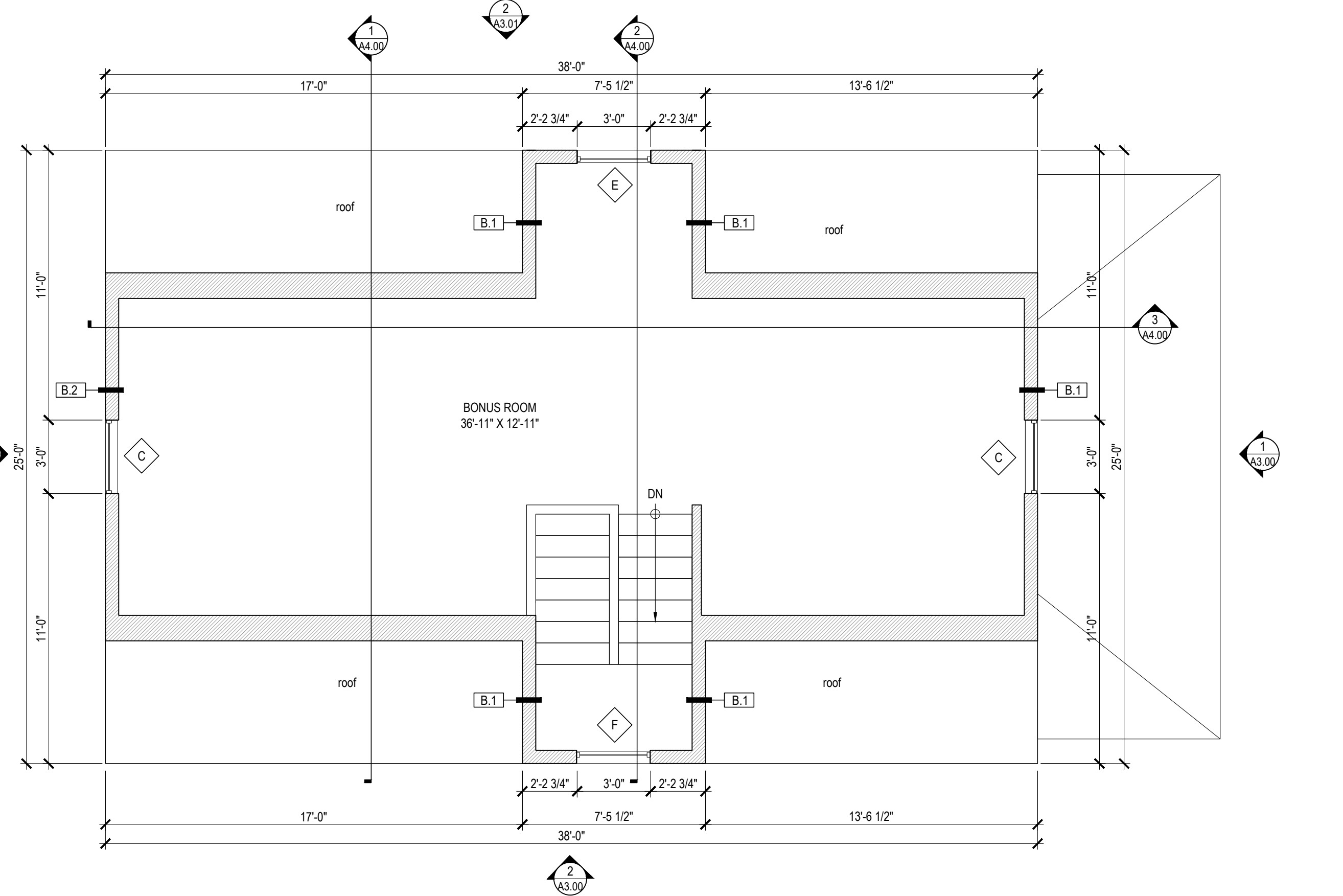
**2 - First Floor Plan**

Scale: 1/4" = 1'-0" N/D



**3 - Second Floor Plan**

Scale: 1/4" = 1'-0" N/D



**4 - Third Floor Plan**

Scale: 1/4" = 1'-0" N/D

Stamp

**EXTERIOR MATERIALS LEGEND**

GENERAL NOTE:  
 1. ALL MATERIAL SPECIFICATIONS, INSTALLATION, & FINISHES SHALL COMPLY WITH ENTERPRISE GREEN COMMUNITY REQUIREMENTS. G.C. IS RESPONSIBLE FOR ENSURING ALL MATERIALS MEET REQUIREMENTS AS NEEDED INCLUDING BUT NOT LIMITED TO V.O.C. LIMITS, RECYCLED CONTENT REQ., DURABILITY REQ., ROOFING LIGHT REFLECTANCE REQ., ETC.

MARK	MATERIAL	COLOR / FINISH / EXPOSURE	MANUF / FABRICATOR	FASTENER TYPE / PATTERN	REMARKS
C-1	CAST-IN-PLACE CONCRETE, SMOOTH	COLOR: N/A	TBD	NA	
D-1	FIBERGLASS ENTRY DOOR	COLOR: BLACK	THERMATRU	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED AT FRONT AND REAR DOOR
F-1	FIBER CEMENT BOARD LAP SIDING	COLOR: COUNTRY BEIGE EXPOSURE: 6"	JAMES HARDIE HARDIE PLANK	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	ALUMINUM CORNER CAPS. SIDING TO RETURN TO DOOR AND WINDOW FRAMES
F-2	FIBER CEMENT BOARD PANEL	COLOR: BLACK	JAMES HARDIE HARDIE PANEL	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
F-3	VINYL SIDING	COLOR: COUNTRY BEIGE EXPOSURE: TO MATCH F-1	ROYAL BUILDING PRODUCTS	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	3 1/2" LINEAL WINDOW TRIM AROUND WINDOWS, TYP. 3 1/2" VINYL CORNER POST AT CORNERS, TYP.
F-4	METAL RAILINGS	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	FABRICATED METAL RAILING USED ON PORCHES AND STEPS
F-5	1X8 SHIPLAP CYPRESS	COLOR: BLACK	TBD	INSTALL PER ARCHITECTURAL & STRUCTURAL DETAILS	USED ON FRONT / REAR PORCH
F-6	ASPHALT SHINGLE ROOF	STYLE: TRUE DEFINITION DURATION COLOR: BLACK	OWENS CORNING	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
F-7	FIBER CEMENT BOARD TRIM	COLOR: BLACK / COBBLESTONE	JAMES HARDIE HARDIE TRIM	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
F-8	MEMBRANE ROOF	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
L-1	EXTERIOR FLUSH MOUNT CEILING LIGHT	COLOR: BLACK	MAXIM	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED IN FRONT PORCH CEILING
L-2	OUTDOOR WALL SCONCE	COLOR: BLACK	DWELED / CALIBER	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED AT FRONT AND REAR DOOR
M-1	DOWNSPOUTS AND GUTTERS	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	TYPICAL FOR PROJECT
W-1	WINDOWS	COLOR: BLACK	ANDERSON 100 SERIES - FIBREX	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	TYPICAL FOR PROJECT

Client

**2160 OVERBROOK LLC**

2160 Overbrook Ave.  
Lakewood, OH 44107

Project

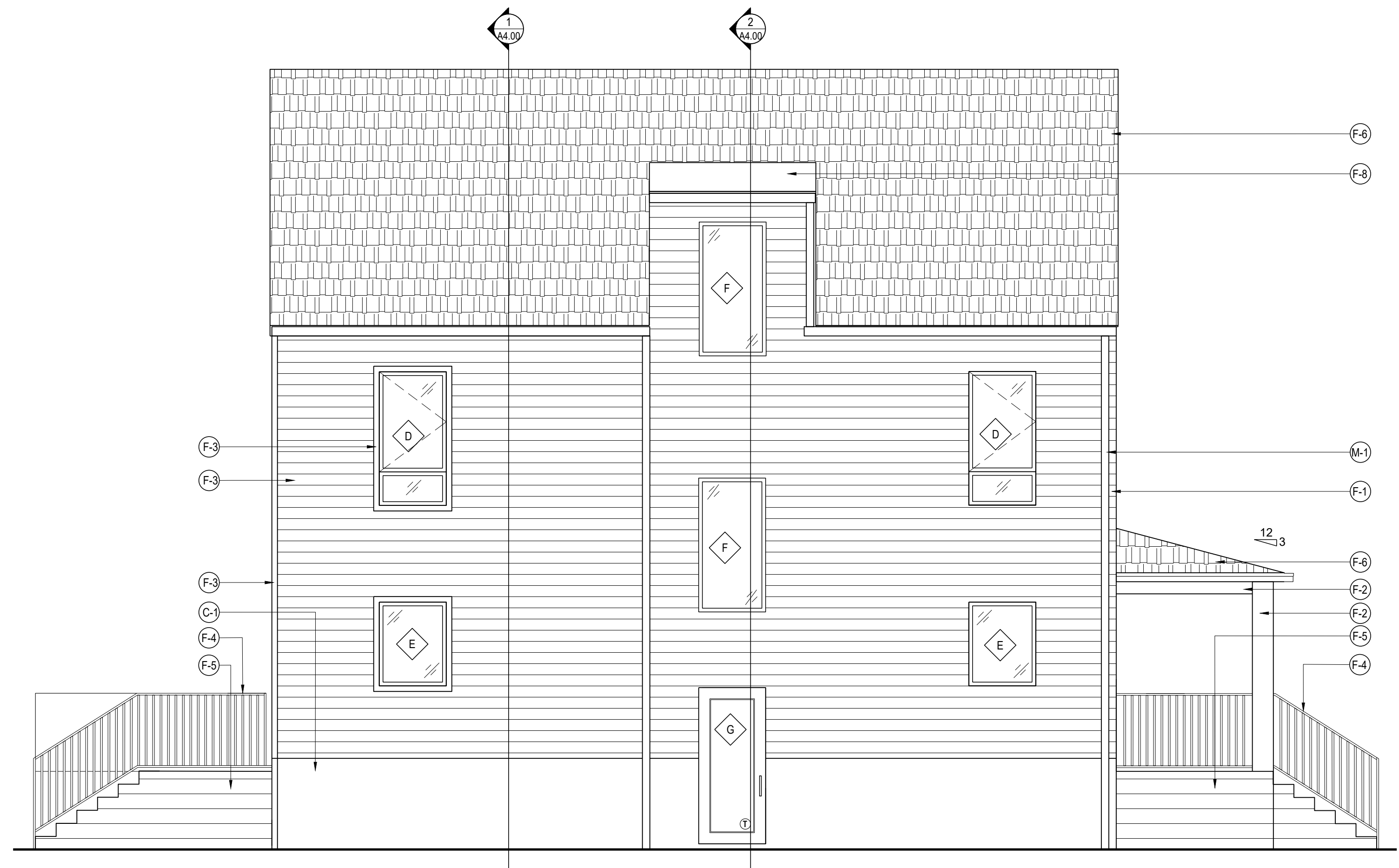
**2160 Overbrook**

2160 Overbrook Ave  
Lakewood, OH 44107

Revisions



**1 - East Elevation**  
 Scale: 1/4" = 1'-0"



**2 - South Elevation**  
 Scale: 1/4" = 1'-0"

Original Permit Sub. Date 00/00/00

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Current Date 01/12/2023  
 Drawn By ZB  
 Checked By MVH  
 Job Number 22028

Sheet  
**BUILDING ELEVATIONS**

Discipline & Number

**A3.00**

Stamp

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Client

2160 OVERBROOK LLC

2160 Overbrook Ave.  
Lakewood, OH 44107

Project

2160 Overbrook

2160 Overbrook Ave  
Lakewood, OH 44107

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Sheet  
**BUILDING ELEVATIONS**

Discipline & Number

**A3.01**

Stamp

Client

**2160 OVERBROOK LLC**

2160 Overbrook Ave.  
 Lakewood, OH 44107

Project

**2160 Overbrook**

2160 Overbrook Ave  
 Lakewood, OH 44107

Revisions

Original Permit Sub. Date 00/00/00

- Submission
- Progress
  - Design Review
  - Lot Split
  - Planning
  - Zoning
  - Schematic Design
  - Design Development
  - Building Permit
  - Bidding
  - Construction

Current Date 01/12/2023  
 Drawn By ZB  
 Checked By MVH  
 Job Number 22028

Sheet  
**GARAGE PLAN,  
 ELEVATION, AND SECTION**

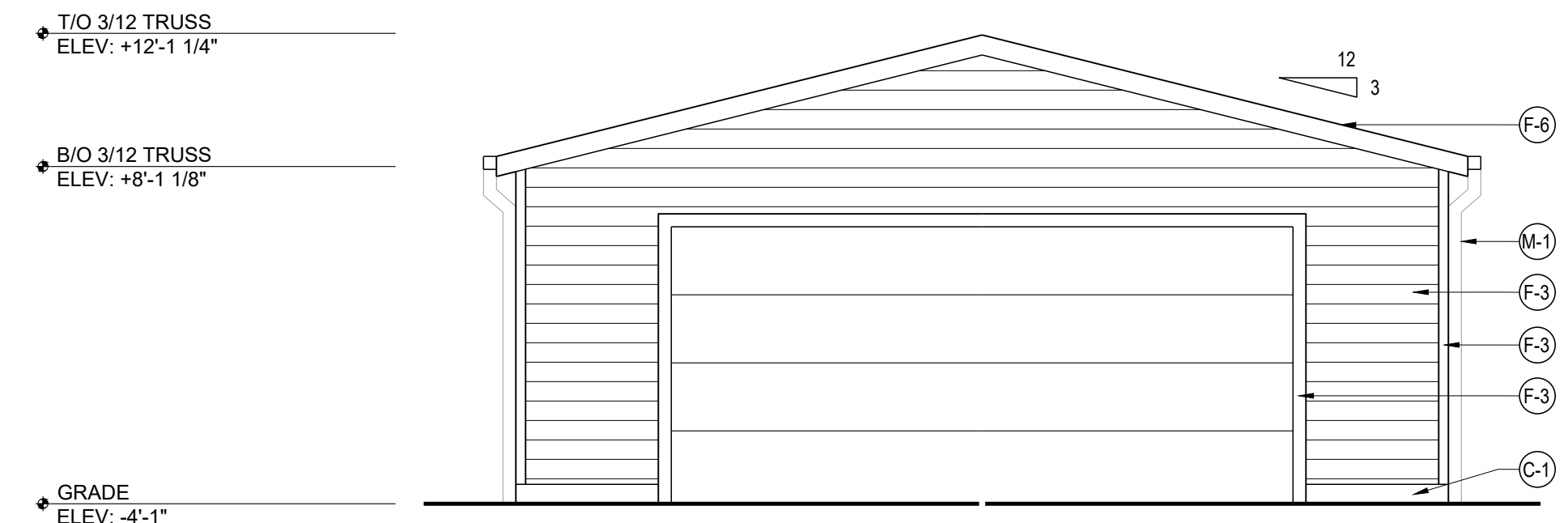
Discipline & Number

**A3.02**

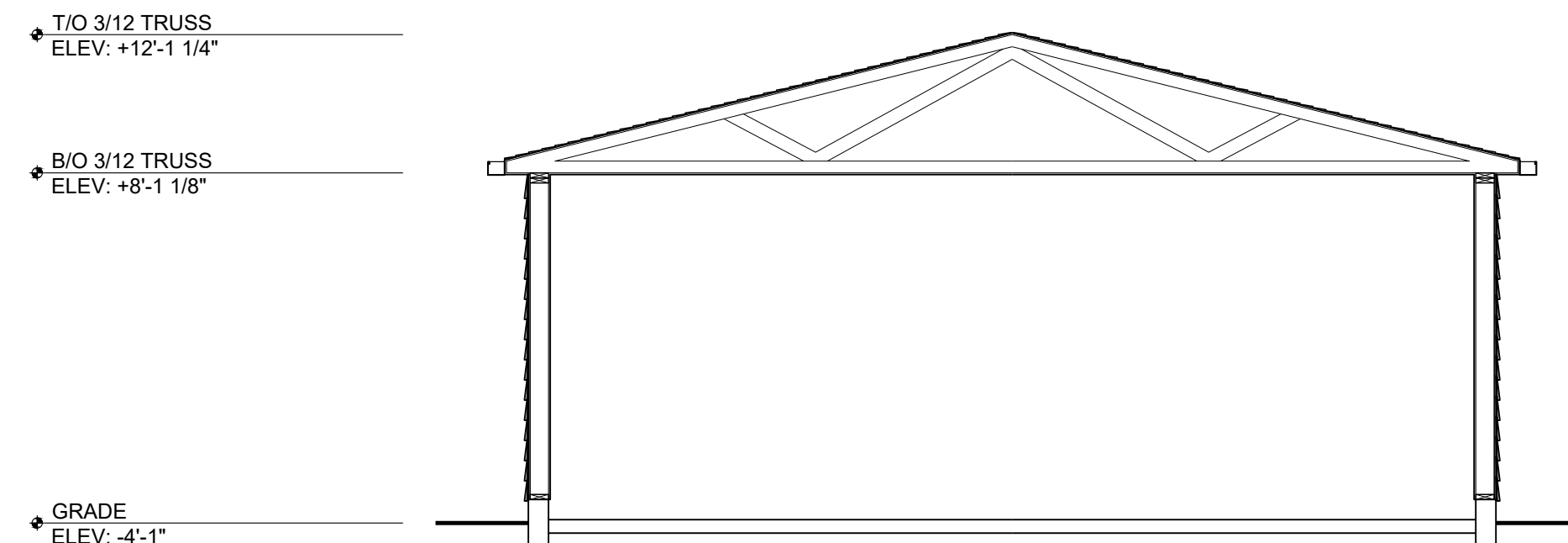
**EXTERIOR MATERIALS LEGEND**

GENERAL NOTE:  
 1. ALL MATERIAL SPECIFICATIONS, INSTALLATION, & FINISHES SHALL COMPLY WITH ENTERPRISE GREEN COMMUNITY REQUIREMENTS. G.C. IS RESPONSIBLE FOR ENSURING ALL MATERIALS MEET REQUIREMENTS AS NEEDED INCLUDING BUT NOT LIMITED TO V.O.C. LIMITS, RECYCLED CONTENT REQ., DURABILITY REQ., ROOFING LIGHT REFLECTANCE REQ., ETC.

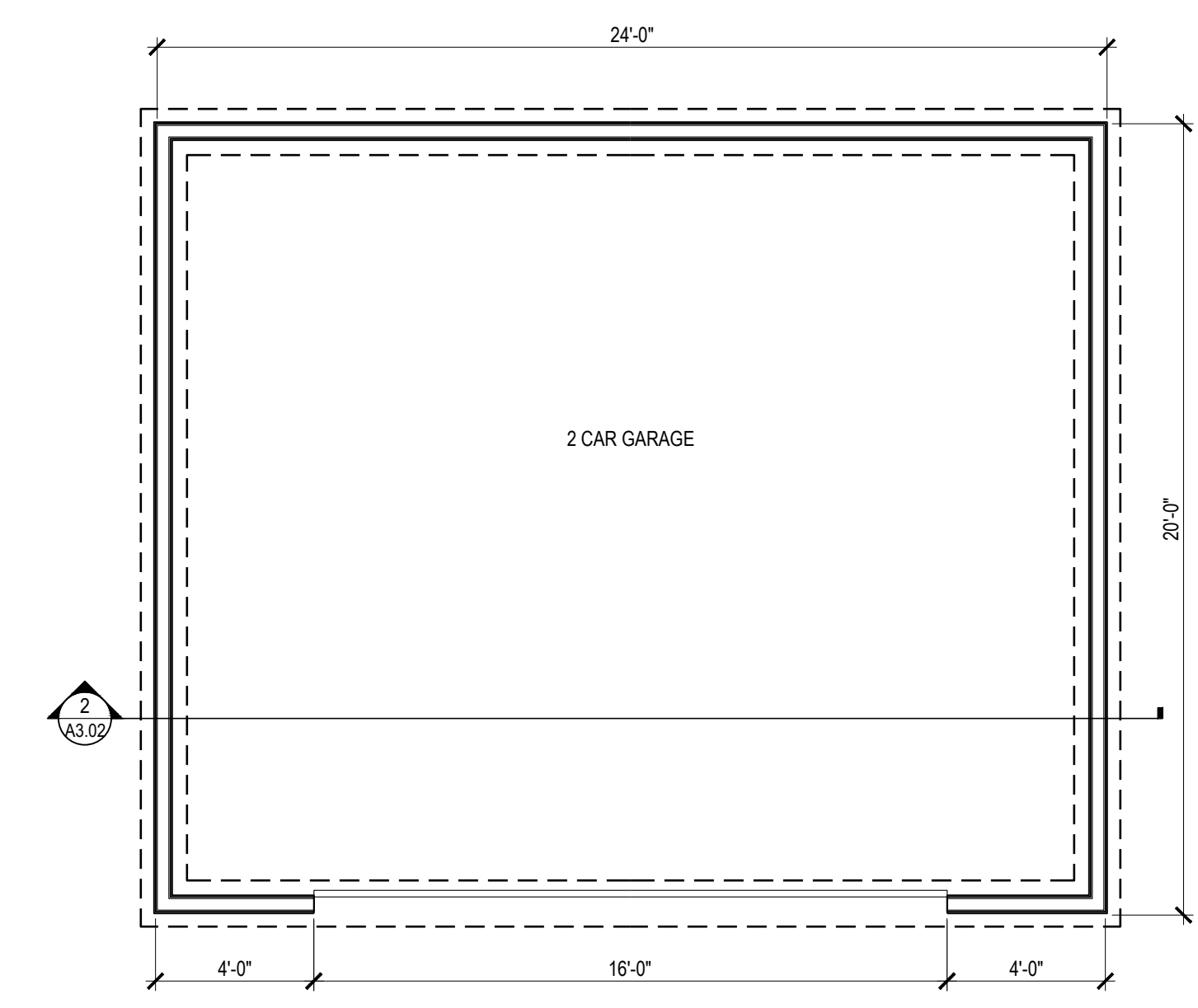
MARK	MATERIAL	COLOR / FINISH / EXPOSURE	MANUF / FABRICATOR	FASTENER TYPE / PATTERN	REMARKS
C-1	CAST-IN-PLACE CONCRETE, SMOOTH	COLOR: N/A	TBD	NA	
D-1	FIBERGLASS ENTRY DOOR	COLOR: BLACK	THERMATRU	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED AT FRONT AND REAR DOOR
F-1	FIBER CEMENT BOARD LAP SIDING	COLOR: COUNTRY BEIGE EXPOSURE: 6"	JAMES HARDIE HARDIE PLANK	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	ALUMINUM CORNER CAPS. SIDING TO RETURN TO DOOR AND WINDOW FRAMES
F-2	FIBER CEMENT BOARD PANEL	COLOR: BLACK	JAMES HARDIE HARDIE PANEL	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
F-3	VINYL SIDING	COLOR: COUNTRY BEIGE EXPOSURE: TO MATCH F-1	ROYAL BUILDING PRODUCTS	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	3 1/2" LINEAL WINDOW TRIM AROUND WINDOWS, TYP. 3 1/2" VINYL CORNER POST AT CORNERS, TYP.
F-4	METAL RAILINGS	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	FABRICATED METAL RAILING USED ON PORCHES AND STEPS
F-5	1X8 SHIPLAP CYPRESS	COLOR: BLACK	TBD	INSTALL PER ARCHITECTURAL & STRUCTURAL DETAILS	USED ON FRONT / REAR PORCH
F-6	ASPHALT SHINGLE ROOF	STYLE: TRUE DEFINITION DURATION COLOR: BLACK	OWENS CORNING	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
F-7	FIBER CEMENT BOARD TRIM	COLOR: BLACK / COBBLESTONE	JAMES HARDIE HARDIE TRIM	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
F-8	MEMBRANE ROOF	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
L-1	EXTERIOR FLUSH MOUNT CEILING LIGHT	COLOR: BLACK	MAXIM	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED IN FRONT PORCH CEILING
L-2	OUTDOOR WALL SCONCE	COLOR: BLACK	DWELED / CALIBER	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED AT FRONT AND REAR DOOR
M-1	DOWNSPOUTS AND GUTTERS	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	TYPICAL FOR PROJECT
W-1	WINDOWS	COLOR: BLACK	ANDERSON 100 SERIES - FIBREX	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	TYPICAL FOR PROJECT



**1 - East Elevation**  
 Scale: 1/4" = 1'-0"



**2 - Section**  
 Scale: 1/4" = 1'-0"



**3 - Floor Plan**  
 Scale: 1/4" = 1'-0"

Stamp

Client

**2160 OVERBROOK LLC**

2160 Overbrook Ave.  
 Lakewood, OH 44107

Project

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Revisions

Original Permit Sub. Date 00/00/00

- |                       |                    |
|-----------------------|--------------------|
| Submission            | Progress           |
| <input type="radio"/> | Design Review      |
| <input type="radio"/> | Lot Split          |
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| <input type="radio"/> | Schematic Design   |
| <input type="radio"/> | Design Development |
| <input type="radio"/> | Building Permit    |
| <input type="radio"/> | Bidding            |
| <input type="radio"/> | Construction       |

Current Date 01/12/2023

Drawn By ZB

Checked By MVH

Job Number 22028

Sheet

**BUILDING SECTIONS**

Discipline & Number

**A4.00**

RIDGE  
 ELEV: +30'-10 1/2" (34'-11 1/2" ABOVE GRADE)

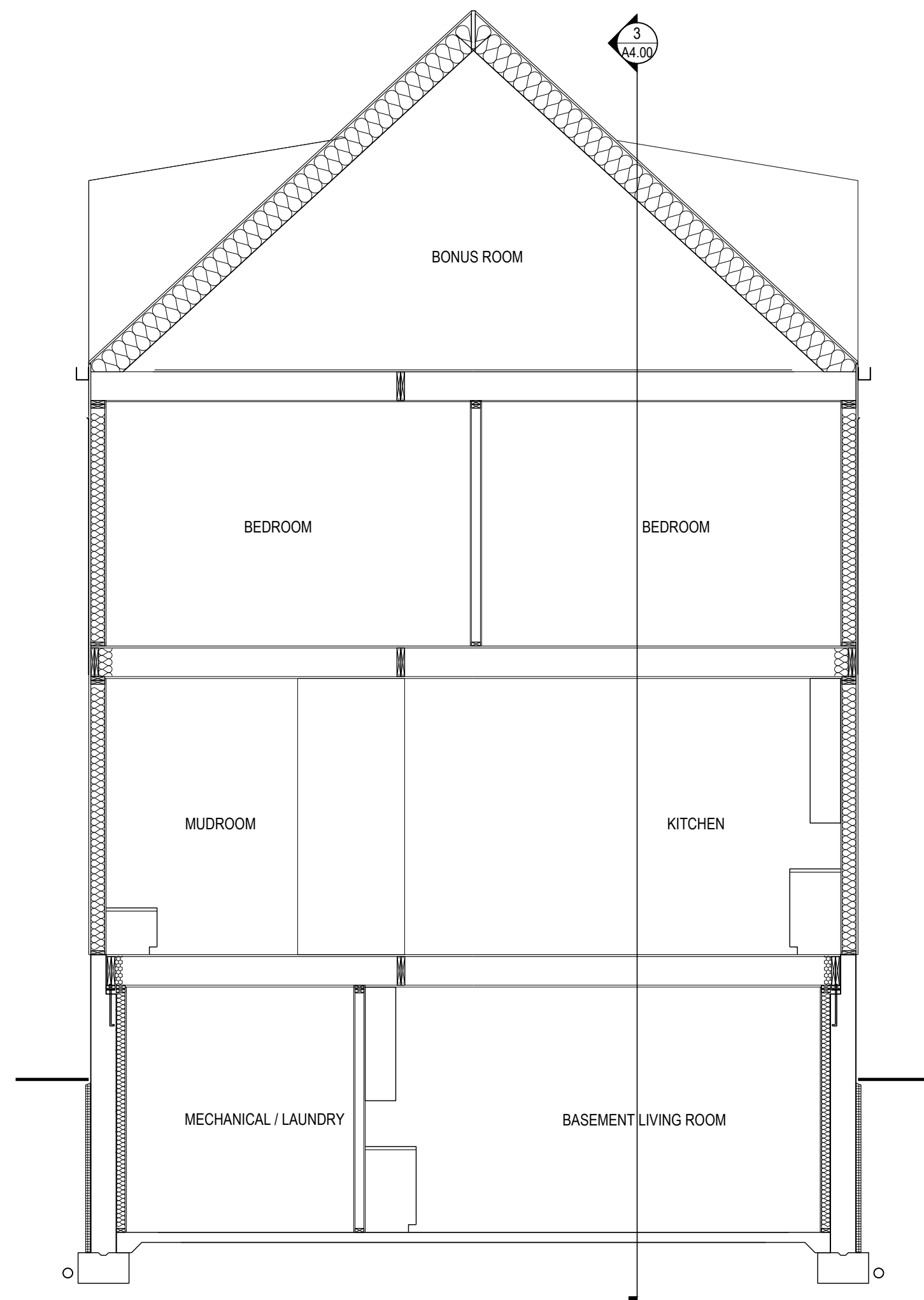
B/O ATTIC JOISTS  
 ELEV: +18'-2 1/4"

T/O 2nd FLOOR SHEATHING  
 ELEV: +10'-1 1/8"

T/O 1st FLOOR SHEATHING  
 ELEV: 0'-0"  
 T/O PORCH  
 ELEV: -0'-7"

GRADE  
 ELEV: -4'-1"

T/O BASEMENT SLAB  
 ELEV: -9'-1"



**1 - Building Section**

Scale: 1/4" = 1'-0"

RIDGE  
 ELEV: +30'-10 1/2" (34'-11 1/2" ABOVE GRADE)

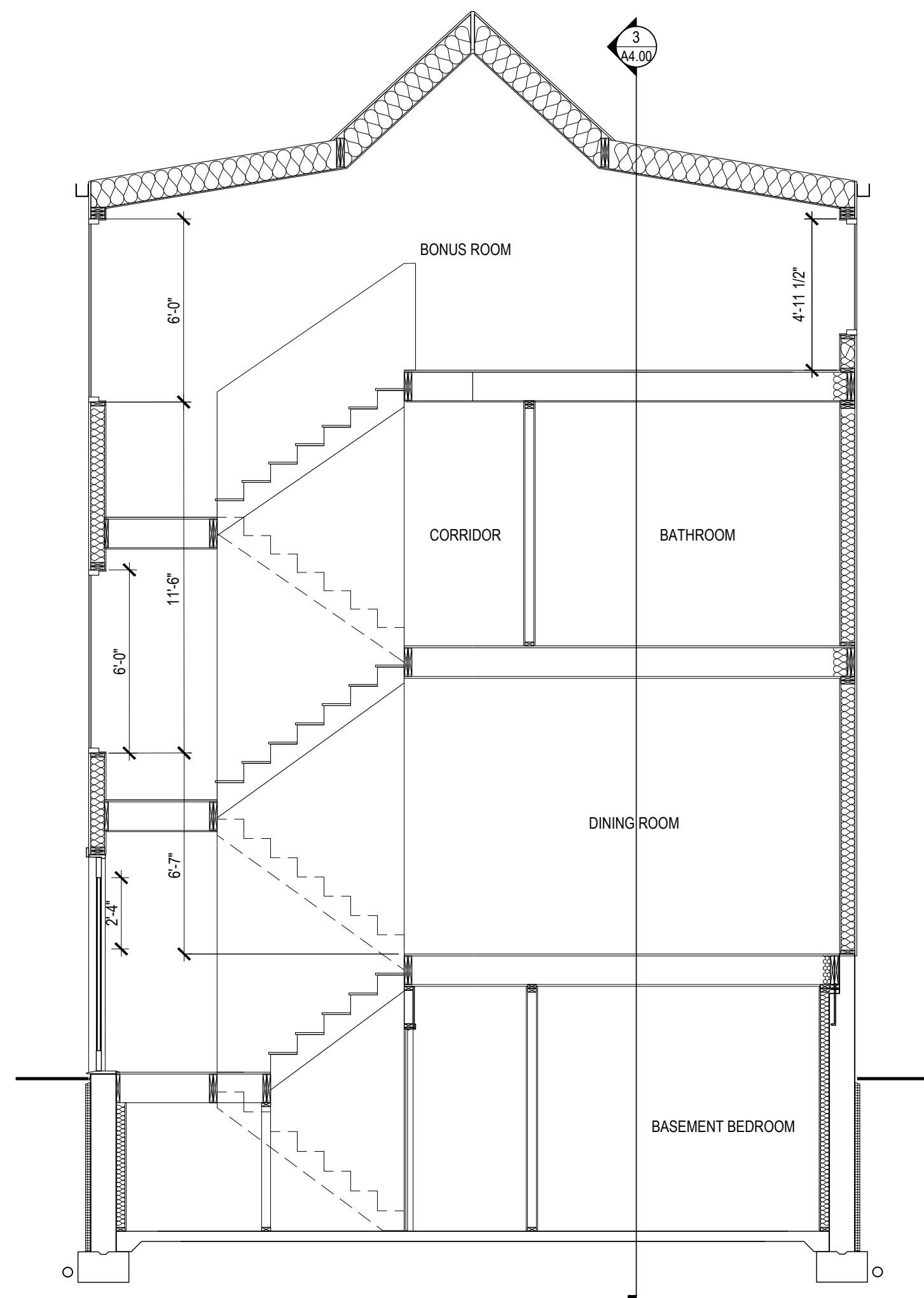
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 ELEV: +18'-2 1/4"

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 ELEV: +10'-1 1/8"

T/O 1st FLOOR SHEATHING  
 ELEV: 0'-0"  
 T/O PORCH  
 ELEV: -0'-7"

GRADE  
 ELEV: -4'-1"

T/O BASEMENT SLAB  
 ELEV: -9'-1"



**2 - Building Section**

Scale: 1/4" = 1'-0"

RIDGE  
 ELEV: +30'-10 1/2" (34'-11 1/2" ABOVE GRADE)

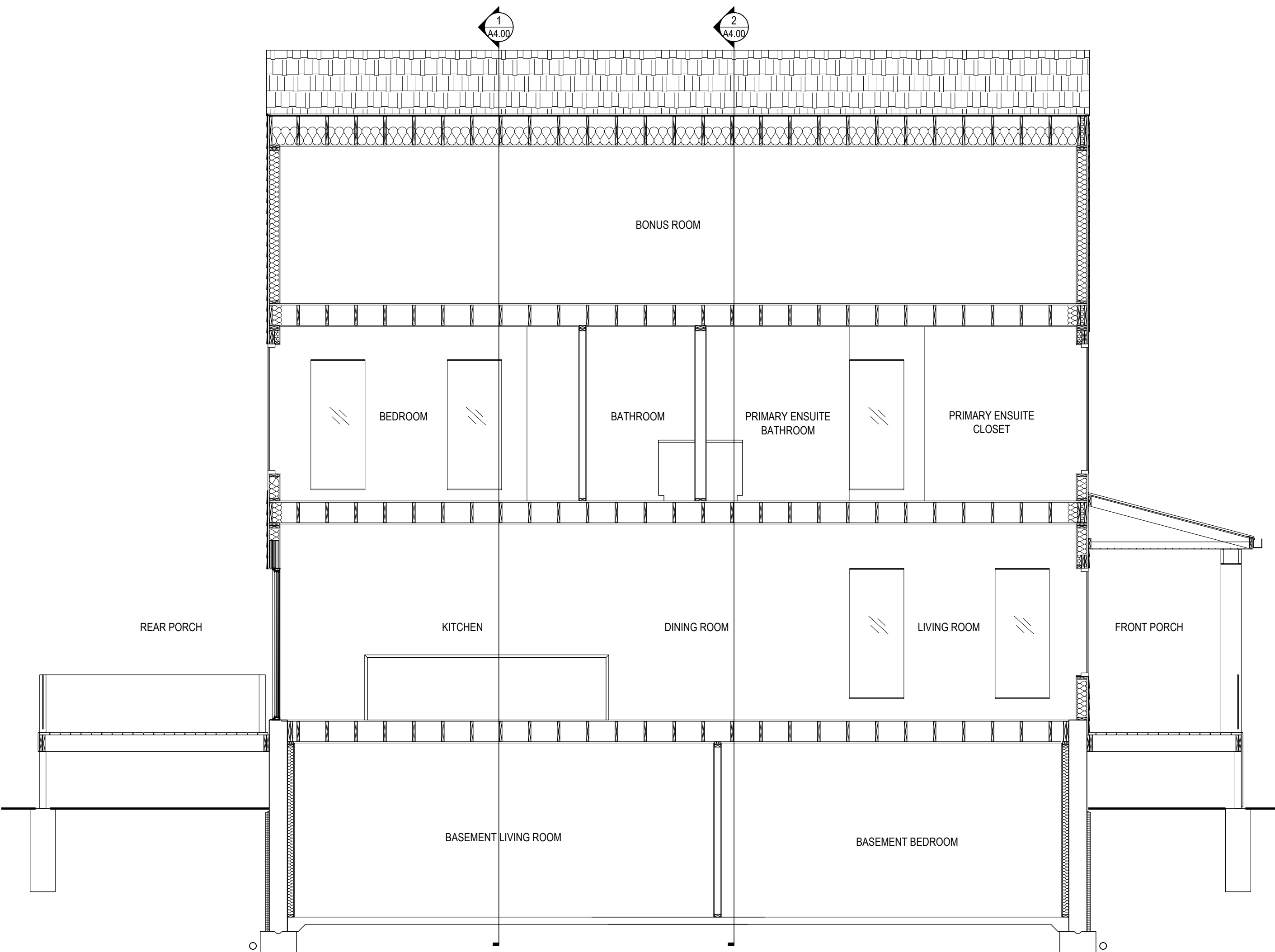
B/O ATTIC JOISTS  
 ELEV: +18'-2 1/4"

T/O 2nd FLOOR SHEATHING  
 ELEV: +10'-1 1/8"

T/O 1st FLOOR SHEATHING  
 ELEV: 0'-0"  
 T/O PORCH  
 ELEV: -0'-7"

GRADE  
 ELEV: -4'-1"

T/O BASEMENT SLAB  
 ELEV: -9'-1"



**3 - Building Section**

Scale: 1/4" = 1'-0"





**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 02-15-23**

**Permit No.: BBS23-000001**

**Applicant Name: David J. Maniet AIA, Maniet Architects**

**Project Address: 17899 Lake Rd.**

**Project Name: n/a**

**Project: Applicant proposes a two-story addition on the south side of an existing home.**



17899













## Project Data

1. HOME OWNER'S NAME: MAILING ADDRESS: CITY, STATE, ZIP: PHONE: E-MAIL:	JIM AND KARI MIKETO 17899 LAKE ROAD LAKEWOOD, OHIO 44107 1.440.866.5836 JIM@ FORESTCITYSHUFFLE.COM
2. PROJECT ADDRESS: PPN#	17899 LAKE ROAD 311-07-037
3. CONTRACTOR: CONTACT PERSON: MAILING ADDRESS: CITY, STATE, ZIP: E-MAIL: REGISTRATION NUMBER:	TO BE DETERMINED
4. AUTHOR OF PLANS: CONTACT: MAILING ADDRESS: CITY, STATE, ZIP: PHONE: E-MAIL:	MANIET ARCHITECTS LLC DAVID MANIET 1315 BUNTS RD LAKEWOOD, OH 44107 1.412.720.0424 DAVID.MANIET@GMAIL.COM
5. NATURE OF CONSTRUCTION: NUMBER OF FLOORS: SQUARE FOOTAGE:	RENOVATION - SINGLE FAMILY HOME 2 STORY WITH BASEMENT 1456 SQ FT
6. TYPE OF CONSTRUCTION:	WOOD FRAME ROOF WOOD FRAME WALL MASONRY FOUNDATION
7. USE GROUP:	SINGLE FAMILY HOME
8. ZONING:	R2- RESIDENTIAL
8. SCOPE OF WORK:	RENOVATION OF SOUTHERN SUNROOM TO PROVIDE SECOND LEVEL ADDITION FOR NEW MASTER BATHROOM

## Code Data

- 2019 RESIDENTIAL CODE OF OHIO: NO CONSTRUCTION SHALL START ON THIS PROJECT WITHOUT THE APPROVAL AND INSPECTION OF THE RESPECTIVE CITY DEPARTMENTS. OWNER IS LIABLE FOR VIOLATION OF THIS CODE SECTION.
- PLAN CONFORMITY: ALL WORK SHALL CONFORM WITHOUT CHANGE TO PROJECT CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT.
- INSPECTION: ALL WORK SHALL BE PERFORMED STRICTLY PER THE PLANS AS APPROVED BY THE CITY BUILDING DEPARTMENT.
- ALL HEATING, VENTILATION AND AIR CONDITIONING MATERIALS AND INSTALLATION METHODS WILL COMPLY WITH INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL FUEL GAS CODE, EQUIPMENT'S UNDERWRITERS APPROVAL, THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS AND GOOD ENGINEERS' PRACTICES.
- ALL ELECTRICAL WORK WILL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), NFPA 70-14, RCO APPROVED EDITION AND IS SUBJECT TO APPROVAL OF THE LOCAL ELECTRICAL INSPECTOR OR AS ASSIGNED BY THE LOCAL BUILDING DEPARTMENT.
- ALL PLUMBING TO CONFORM TO RESIDENTIAL CODE OF OHIO, CHAPTER 25.
- JOB SET OF PLANS: ONE SET OF PLANS WHICH HAS BEEN APPROVED SHALL BE KEPT AT THE SITE OF THE WORK AND SHALL BE AVAILABLE FOR REFERENCE BY THE BUILDING OFFICIAL AT ALL TIMES DURING WORKING HOURS WHILE SUCH WORK IS IN PROGRESS.
- ALL INTERIOR FINISHES TO CONFORM TO THE REQUIREMENTS OF 2019 RESIDENTIAL CODE OF OHIO.
- EVERY CONTRACTOR AND SUB-CONTRACTOR IS REQUIRED TO COMPLY WITH ALL OSHA SAFETY AND HAZARD PREVENTION STANDARDS AND SHALL BE RESPONSIBLE TO DEVELOP, IMPLEMENT AND MAINTAIN SAFETY CONDITIONS AND EDUCATIONAL PROGRAMS TAILORED TO FIT EACH CONTRACTOR'S PARTICULAR TRADE (NOT ONLY FOR ITS' OWN EMPLOYEES BUT FOR VISITORS AS WELL.).
- CODE REGULATED ENERGY EFFICIENCY SHALL COMPLY WITH CHAPTER 11 OF THE RCO 2019.
  - CUYAHOGA COUNTY - CLIMATE ZONE 5A
    - FENESTRATION U-FACTOR - MAX 0.30
      - USED - 0.30
    - CEILING R-VALUE - MIN R-38 (R-49)
      - USED - R38
    - WOOD WALL R-VALUE - 13+5 / 20
      - USED - R20 BATT
    - BASEMENT WALL - R10 (CONTINUOUS)
      - USED - R10 INTERIOR
    - PRE PROGRAMMED THERMOSTAT FOR FORCE AIR SYSTEM
      - MINIMUM 50% HIGH EFFICACY LIGHTING
      - USED - 100% LED LIGHTING

Design Loads PER RCO TABLE 301.5	UNIFORM/CONCENTRATED USE (PSF) /(LBS)	
UNINHABITABLE ATTICS WITHOUT STORAGE	10/-	
UNINHABITABLE ATTICS WITH STORAGE	20/-	
HABITABLE ATTICS OR WITH FIXED STAIRS	30/-	
BALCONIES (EXTERIOR) AND DECKS	40/-	
ROOMS OTHER THAN SLEEPING AREAS	40/-	
SLEEPING ROOMS	30/-	
STAIRS	40/-	
GUARD AND HAND RAILS	-200	

## General Notes

- THE LATEST EDITION OF AIA DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION IS CONSIDERED TO BE PART OF THIS SET OF DRAWINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE PROJECT AND THE CONTRACT DOCUMENTS. IF THE CONTRACTOR FEELS THERE IS ANY AMBIGUITY IN THE CONTRACT DOCUMENTS, IT IS HIS RESPONSIBILITY TO HAVE SUCH ISSUES CLARIFIED PRIOR TO SUBMITTING HIS PROPOSAL.
- COMMENCEMENT OF WORK BY THE CONTRACTOR SHALL INDICATE THAT THE EXISTING CONDITIONS IN THE FIELD ARE SUCH THAT THE TOTAL INTENT OF THE DRAWINGS CAN BE MET.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND THE REQUIREMENTS OF GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED TESTS, INSPECTIONS AND PERMITS AS REQUIRED FOR THIS PROJECT.
- ALL WORK SHALL BE GUARANTEED TO BE INSTALLED FREE OF DEFECT IN MATERIAL, WORKMANSHIP AND OPERATION FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE, UNLESS A LONGER PERIOD IS STIPULATED. CONTRACTOR SHALL REPAIR OR REPLACE AT NO EXTRA COST, ANY MATERIAL, CONSTRUCTION, OR EQUIPMENT THAT IS DEFECTIVE.
- CONTRACTOR SHALL FURNISH ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THIS PROJECT AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- MATERIALS PROVIDED AND COMPLETED WORK WHICH, IN THE JUDGMENT OF THE ARCHITECT, IS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS DESIGN INTENT SHALL BE REPAIRED OR REPLACED AS DIRECTED, WITH NO ADDITIONAL COMPENSATION.
- UNLESS OTHERWISE SPECIFIED, WHENEVER AN ALLOWANCE ITEM IS INCLUDED, THE ALLOWANCE AMOUNT IS FOR THE MATERIAL ONLY. ALL OTHER CHARGES, INCLUDING INCIDENTAL HARDWARE, FASTENERS, ACCESSORIES, AND ETC., AS WELL AS LABOR, DELIVERY AND TAXES ARE TO BE INCLUDED IN THE BASE BID.
- PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL TURN OVER TO THE ARCHITECT ALL GUARANTEES, WARRANTIES, PRODUCT INFORMATION, CLEANING REQUIREMENTS, PRODUCT RESTRICTIONS, ETC. FOR ALL MATERIALS, APPLIANCES, FIXTURES, AND SUCH USED ON THIS PROJECT. TO BE INCLUDED ARE ITEM SUCH AS FAUCETS, FURNACES, COMPRESSORS, BUILDING MATERIALS, HARDWARE, DOORS, WOOD, PAINT, ETC.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL SUBMIT A WORK PLAN AND SCHEDULE.
- CONTRACTOR IS TO PROVIDE DUST BARRIERS AND TAKE OTHER PROTECTIVE MEASURES AS REQUIRED TO CONTAIN AND ELIMINATE DAMAGES, DUST, AND DEBRIS TO AREAS WHERE LITTLE OR NO WORK IS TAKING PLACE. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND REPAIRING TO ORIGINAL CONDITION ANY SUCH DAMAGE OR REMOVAL OF DEBRIS.
- ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS OR EXISTING FIELD CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR NOT TO SCALE DRAWINGS.
- REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL PLANS FOR COORDINATION OF WORK. IN CASE OF DISCREPANCIES, THE LOCATIONS SHOWN ON THE ARCHITECTURAL PLANS SHALL PREVAIL UNLESS PERMITTED OTHERWISE BY ARCHITECT.
- ALL DIMENSIONS ARE TO THE FINISHED FACE WALL, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, ALL EXPOSED EXISTING SURFACES SHALL BE PATCHED TO MATCH ADJACENT FINISHES WHEREVER EXISTING PARTITIONS, DOORS, OR OTHER BUILDING ELEMENTS HAVE BEEN REMOVED.
- UNLESS OTHERWISE NOTED, ALL EXISTING SURFACES WHICH WILL REMAIN EXPOSED AND WHICH HAVE TO BE DISTURBED TO INSTALL NEW EQUIPMENT, CONDUIT, PIPES, ETC., SHALL BE REPAIRED TO MATCH THE EXISTING FINISHES BY THE CONTRACTOR HAVING CAUSED THE CUTTING THE WORK. HOWEVER, SHALL BE SUBLET TO AND COORDINATED BY THE GENERAL CONTRACTOR.
- WHERE EXISTING PARTITIONS, CEILING TILE, OR OTHER ITEMS HAVE TO BE REMOVED USE CONSIDERABLE CARE NOT TO DAMAGE ADJACENT WALL AND CEILING SURFACES WHICH ARE TO REMAIN IN PLACE.
- PROTECT ALL EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT WHICH IS TO REMAIN IN PLACE.
- THE GENERAL CONTRACTOR MUST COORDINATE ALL TRADES TO PROVIDE ALL THAT MUST BE COVERED UNDER PROJECT. (I.E., ELECTRICAL WIRING, ELEVATOR, ETC.) THIS COORDINATION IS CRITICAL.
- CONTRACTOR SHALL COORDINATE WITH OWNER NEW MASTER KEY SYSTEM FOR ALL NEW AND EXISTING DOORS.
- ALL DIMENSIONS SHALL BE FIELD CHECKED, SPECIFICALLY FOR THE SELECTION AND MANUFACTURE OF CASEWORK, WINDOWS, FLOOR FINISHES, ETC.
- CONTRACTOR SHALL INSTALL ALL PRODUCTS AND FINISH MATERIALS PER MANUFACTURER'S INSTRUCTIONS. IF THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE DIFFERENT THAN THE MANUFACTURERS THEN THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING TO REVIEW THE METHOD OF INSTALLATION.

- CONTRACTOR TO PHOTOGRAPH MECHANICAL, ELECTRICAL, AND PLUMBING ROUGH-INS AND SEND COPIES TO ARCHITECT PRIOR TO INSTALLING FINISH MATERIALS.
- ONE WEEK BEFORE COMPLETION OF JOB, CONTRACTOR SHALL ORGANIZE A WALK-THROUGH EXAMINATION OF THE PROJECT WITH THE ARCHITECT, OWNER AND CONTRACTOR. AT THIS MEETING, CONTRACTOR SHALL DEMONSTRATE USE OF ALL ITEMS (LOCKS, TOILETS, HVAC SYSTEM, LIGHTS, ETC.) INSTALLED, AND A COMPLETE PUNCH LIST WILL BE DEVELOPED BY THE ABOVE PARTIES.
- FINAL PAYMENT WILL NOT BE APPROVED WITHOUT:
  - ALL WARRANTIES/ MANUALS/ INSTALLATION INSTRUCTIONS FOR ALL INSTALLED FIXTURES AND EQUIPMENT/ APPLIANCES SUPPLIED TO OWNER.
  - OWNER RECEIVED LIEN WAIVER FROM CONTRACTOR.
- HANDRAILS AND GUARDS (PER IRC SEC. 301.5) HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS THE STRUCTURE. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING.
- WOOD
  - STRUCTURAL WOOD TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AWC DESIGN SPECIFICATIONS AND THE GOVERNING BUILDING CODE.
  - KILN DRIED 19% MAX. MOISTURE CONTENT SELECT STRUCTURAL OR BETTER.
  - ALL STRUCTURAL FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (SPF) NO. 1/ NO. 2 OR BETTER.
  - SILL PLATES, LINTELS, GROUNDS AND OTHER MEMBERS EXPOSED TO WEATHER, MOISTURE, CONCRETE, MASONRY OR THE GROUND SHALL BE PRESSURE TREATED WITH A NON-STAINING PRESERVATIVE.
  - CONNECTIONS SHALL BE NAILED, BOLTED, OR JOINED WITH METAL FRAMING DEVICES.
  - HANGERS AS REQUIRED.
  - BRACE CORNERS WITH SIMPSON STRONG-TIE WALL BRACE PRODUCT AND FULL SHEET PLYWOOD SHEATHING.
  - PROVIDE FIRE STOPS AND BRIDGING AS REQUIRED.
  - ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE FIRE RETARDANT TREATED.
- FRAMING NOTES
  - DBL. 2X12 HEADERS @ ALL OPENINGS UNLESS NOTED OTHERWISE.
  - SOLID BLOCKING AND / OR MASONRY @ ALL BEAM BEARING LOCATIONS.
  - DBL. ALL FL. JOISTS BELOW PARTITIONS.
  - DBL. EVERY OTHER FL. JOIST @ WHIRLPOOL / BATH LOCATIONS.
  - STL. JOIST HANGERS REQUIRED @ ALL FLUSH JOIST/ BEAM APPLICATIONS.
  - STL. FLITCH PL. REQUIRED @ ALL HEADERS W/ 12'-0" SPAN AND OVER.
  - ALL LUMBER SHALL HAVE A MIN. 1500 PSI RATING FOR REPETITIVE MEMBERS. (NO. 2 DOUG FIR OR SOUTHERN PINE).
  - ALL PASSAGE WAYS BETWEEN ROOMS SHALL BE CASED OPENINGS UNLESS NOTED OTHERWISE.
  - 2X6 WD. STUDS @ 16" O.C. BALLOON FRAME @ ALL PARTITIONS 10'-0" AND OVER.

- WOOD LINTEL SCHEDULE
  - FOR OPENINGS UP TO 3'-0" USE TWO (2) 2X4S WITH 1/2" PLYWOOD FLITCH PLATE
  - FOR OPENINGS 3'-0" TO 5'-0" USE TWO (2) 2X6S WITH 1/2" PLYWOOD FLITCH PLATE
  - FOR OPENINGS 5'-0" TO 7'-0" USE TWO (2) 2X8S WITH 1/2" PLYWOOD FLITCH PLATE.
  - FOR OPENINGS 7'-0" TO 8'-0" USE TWO (2) 2X10S WITH 1/2" PLYWOOD FLITCH PLATE.
  - FOR OPENINGS 8'-0" TO 9'-0" USE TWO (2) 2X12S WITH 1/2" PLYWOOD FLITCH PLATE.
  - FOR OPENINGS OVER 9'-0" SEE ARCHITECT.
  - PROVIDE 5/8" BOLTS @ 16" O.C. IN "W" PATTERN FOR FLITCH BEAMS.
  - ALL LINTEL BEARINGS TO BE 3" MINIMUM.

- LOOSE STEEL LINTEL SCHEDULE
  - THIS SCHEDULE IS TO BE USED FOR MASONRY OPENING LINTELS UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
  - FOR OPENINGS UP TO 4'-0" USE 3" X 3" X 5/16" ANGLE
  - FOR OPENINGS FROM 5'-0" TO 6'-0" USE 5" X 3" X 5/16" L.L.V.
  - FOR OPENINGS FROM 6'-0" TO 7'-0" USE 6" X 3" X 5/16" L.L.V.
  - USE ONE (1) ANGLE FOR EACH 4" WIDTH OF MASONRY.
  - ALL LINTELS SHALL HAVE A BEARING AT EACH END OF ONE (1) INCH PER FOOT OF OPENING WITH A MINIMUM OF 6".
  - ALL LINTELS SHALL BEAR ON 16" SOLID MASONRY EXTENDING 16" BEYOND END OF LINTEL.

- STRUCTURAL STEEL
  - STRUCTURAL STEEL TO BE ASTM-A36.
  - EXPOSED STRUCTURAL STEEL TO BE HOT DIPPED GALVANIZED OR COATED WITH EPOXY BASED PRIMER AND FINISH COATING AS WELL AS ANY MEMBER CALLED OUT IN DRAWINGS.
  - ALL BOLTING TO BE 7" DIAMETER. A325 UNLESS NOTED OTHERWISE. MINIMUM CONN-4 BOLTS.
  - ALL WELDING TO BE E70XX (SHOP AND FIELD) AND CONFORM TO AWS D1.1.
  - ALL WELDERS TO HAVE CURRENT QUALIFICATION.
  - PROVIDE A MINIMUM OF 8" OF SOLID MASONRY UNDER MASONRY BEARING BEAMS.
  - ALL WORK TO BE PER CURRENT A.I.S.C. MANUAL OF STEEL CONSTRUCTION, 14TH EDITION (PLUS LATEST REVISIONS).

- GENERAL ROOFING NOTES
  - MINIMUM SLOPES SHALL BE 1/4" PER FOOT.
  - ROOF EDGE AT CHIMNEYS AND INTERSECTING WALLS SHALL BE AT A CONSTANT HIGH POINT.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM ALL SKYLIGHTS.
  - ROOF ELEVATION BREAKS, PARAPETS, WALLS, AND ANY ROOF PENETRATIONS: PROVIDE FLASHING AT THESE LOCATIONS.
  - REVIEW ALL ROOF DRAINAGE SIZES AND LOCATIONS WITH ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.

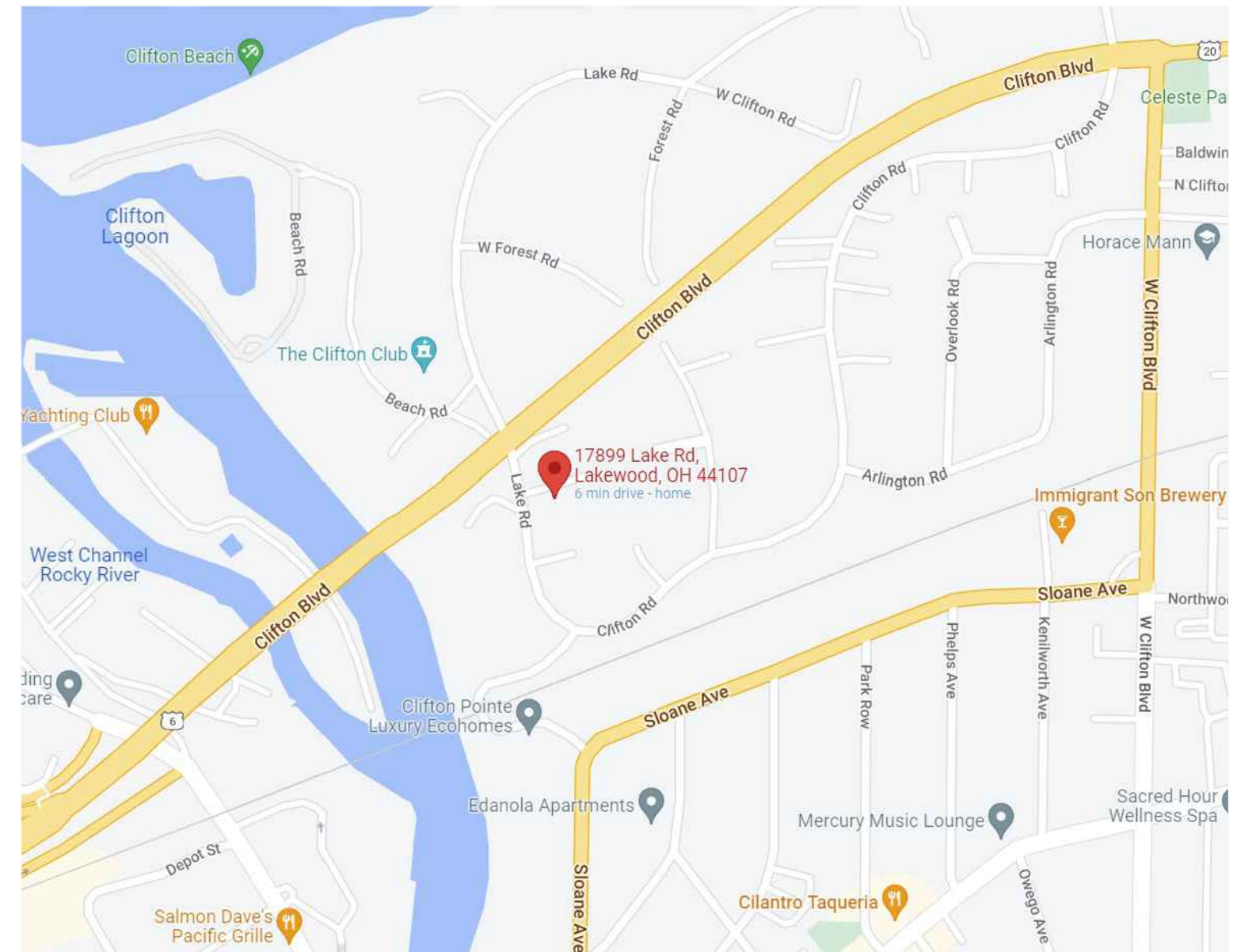
- GLASS
  - ALL GLASS SHALL BE THERMAL-PANE LOW-E ARGON FILLED AND SAFETY GLASS WHERE REQUIRED BY CODE.

- DEMOLITION
  - IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE DOWNS MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

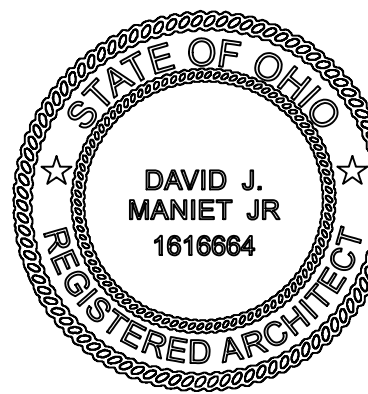
- ENGINEERED WOOD
  - ALL ENGINEERED WOOD PRODUCT MEMBERS SHALL BE FRAMED WITH SIMPSON STRONG-TIE CONNECTORS, OR APPROVED EQUAL.
  - ENGINEERED I-JOISTS AND LVL (LAMINATED VENEER LUMBER) SHALL CONFORM TO STANDARDS SET FORTH IN NEW REPORTS NER-200 AND 451 RESPECTIVELY.
  - PRODUCTS SHALL BE PROVEN BY TESTING AND EVALUATION IN ACCORDANCE WITH THE PROVISIONS OF ASTM D-5055



Existing Front Photo



Location Map  
NOT TO SCALE



# ABR Set

David J Maniet Jr  
License # 1616664  
Exp. 12/31/2023



4 1 2 . 7 2 0 . 0 4 2 4  
DavidJManiet@gmail.com

Name / Project Address  
Miketo Residence  
17899 Lake Road  
Lakewood, OH 44107

Issue for Client Review	Sheet
Date	1/16/2023
Drawn By	DJM
	T1



**Site Plan**  
 1/32" = 1'-0"  
 NOTE: SITE PLAN BASED ON CUYAHOGA COUNTY GIS DATA



Existing Area of Work



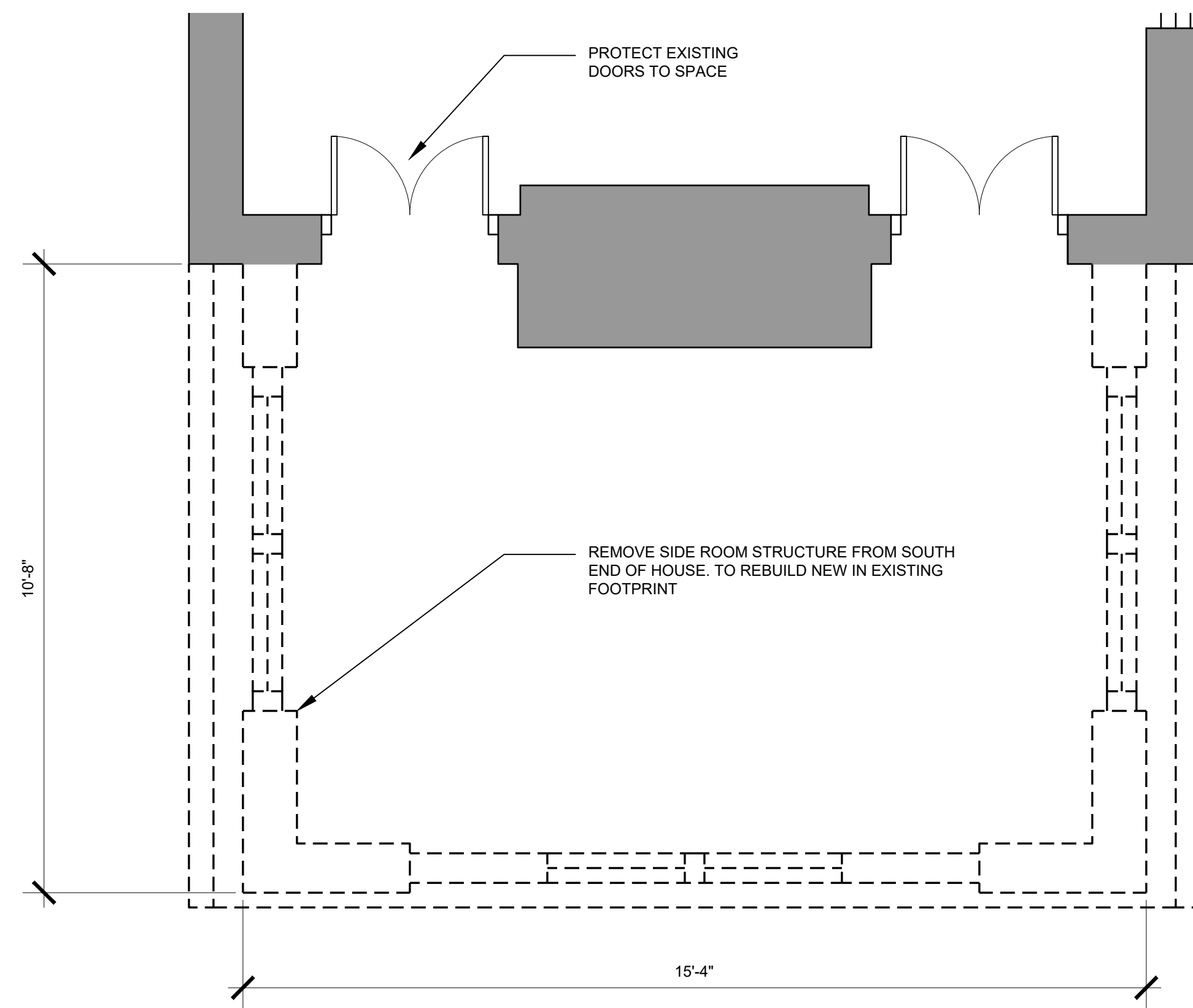
Detailing Reference Photo  
 (North Side of Home)

**MA**  
**MANIET**  
 ARCHITECTS

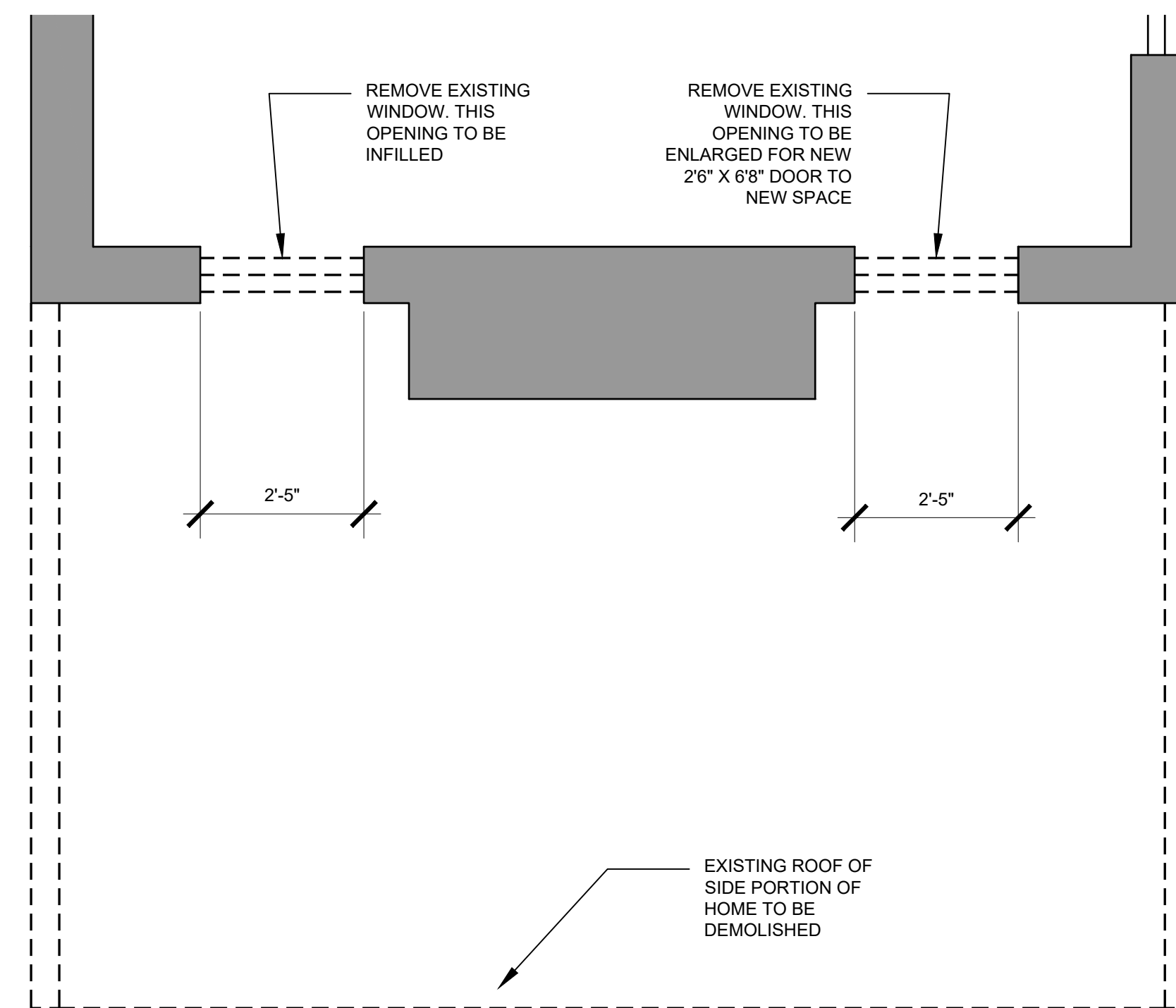
4 1 2 . 7 2 0 . 0 4 2 4  
 DavidJManiet@gmail.com

Name / Project Address  
**Miketo Residence**  
 17899 Lake Road  
 Lakewood, OH 44107

Issue for Client Review	Sheet
Date 1/16/2023	<b>S1</b>
Drawn By DJM	



**Existing First Floor Plan**  
 $\frac{1}{4}'' = 1'-0''$



**Existing Second Floor Plan**  
 $\frac{1}{4}'' = 1'-0''$

**WALL TYPES**

- 1 EXISTING MASONRY WALL WITH PLASTER OR GYPSUM FINISH ON INTERIOR
- 2 NEW 2X6 WOOD STUD WALL @ 16" O.C. WITH GYPSUM FINISH INTERIOR AND PLYWOOD EXTERIOR SHEATHING ON EXTERIOR. R5 CONTINUOUS INSULATION ON EXTERIOR OF STUDS WITH R13 SPRAY FOAM INSULATION BETWEEN STUDS
- 3 NEW 2X4 WOOD STUD WALL @ 16" O.C. WITH GYPSUM FINISH INTERIOR AND PLYWOOD EXTERIOR SHEATHING ON EXTERIOR. R5 CONTINUOUS INSULATION ON EXTERIOR OF STUDS WITH R13 SPRAY FOAM INSULATION BETWEEN STUDS
- 4 NEW 2X4 WOOD STUD WALL @ 16" O.C. WITH GYPSUM BOTH SIDES

NOTE: USE GREEN BOARD GYPSUM IN BATHROOMS AND KITCHEN

NOTE: COORDINATE ALL FINISHES WITH CLIENT

**WALL LEGEND**

- DEMOLITION
- ===== EXISTING STUD WALL
- NEW STUD WALL
- ▨ FOUNDATION WALL

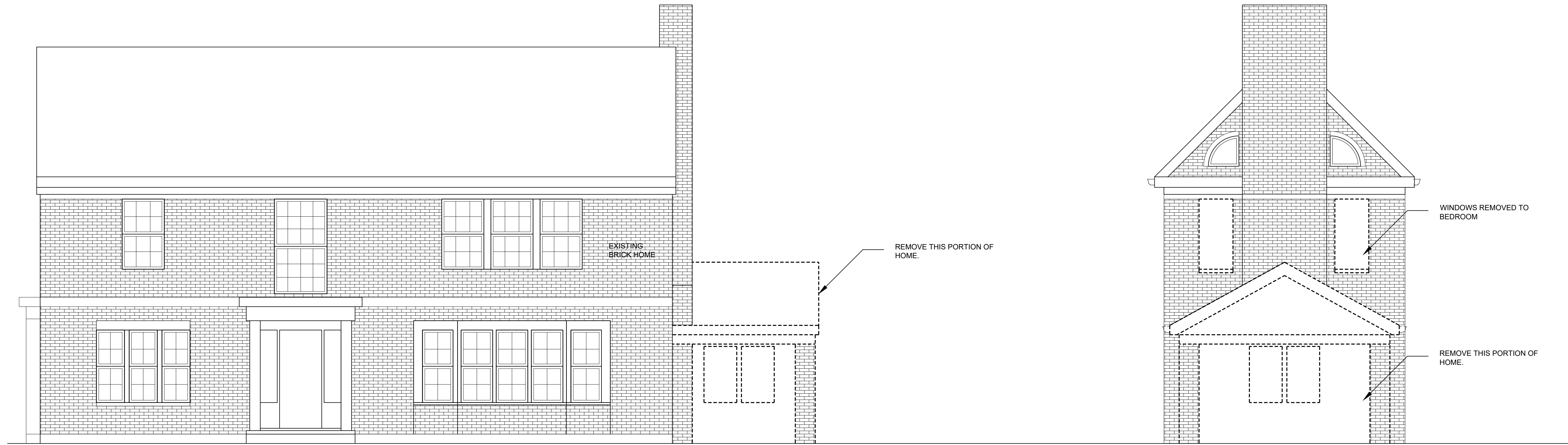


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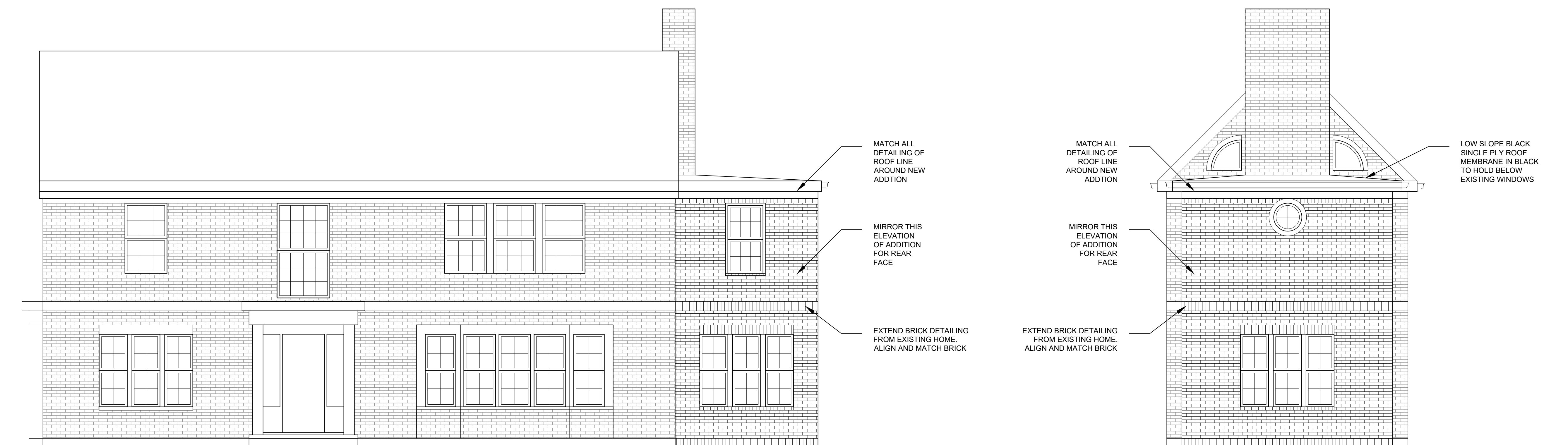
Issue for Client Review	<b>A1</b>
Date 1/18/2023	
Drawn By DJM	





Existing West Elevation  
 $\frac{1}{4}'' = 1'-0''$

Existing Side (South) Elevation  
 $\frac{1}{4}'' = 1'-0''$



Proposed West Elevation  
 $\frac{1}{4}'' = 1'-0''$

Proposed Side (South) Elevation  
 $\frac{1}{4}'' = 1'-0''$



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 DavidJManiet@gmail.com

Name / Project Address  
 Miketo Residence  
 17899 Lake Road  
 Lakewood, OH 44107

Issue for Client Review	Sheet
Date	A3
1/18/2023	
Drawn By	
DJM	



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 02-16-23**

**Permit No.: BBS23-000002**

**Applicant Name: Gary Fischer, Fischer & Associates Architects Inc.**

**Project Address: 1464 Riverside Dr.**

**Project Name: n/a**

**Project: Applicant proposes the construction of a new home.**



2506





Turn down  
the volume



*Foundations  
Sells  
Iron*

CENTURY

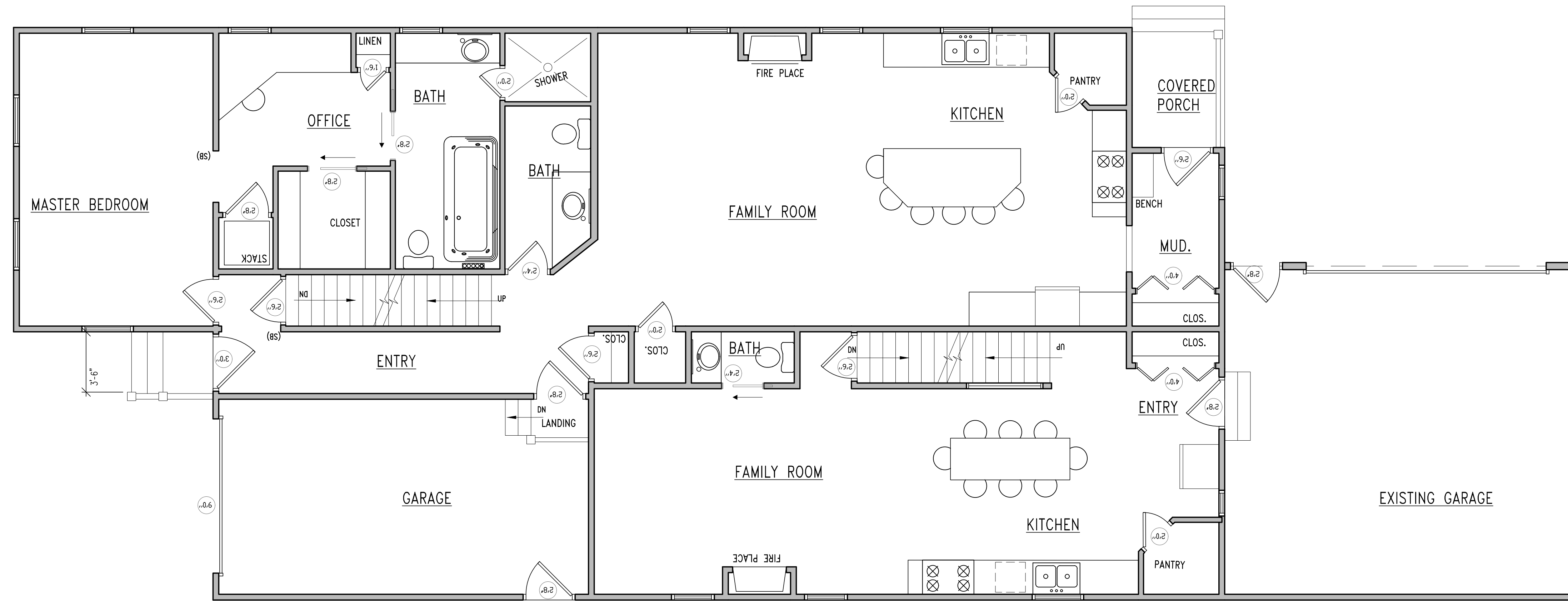




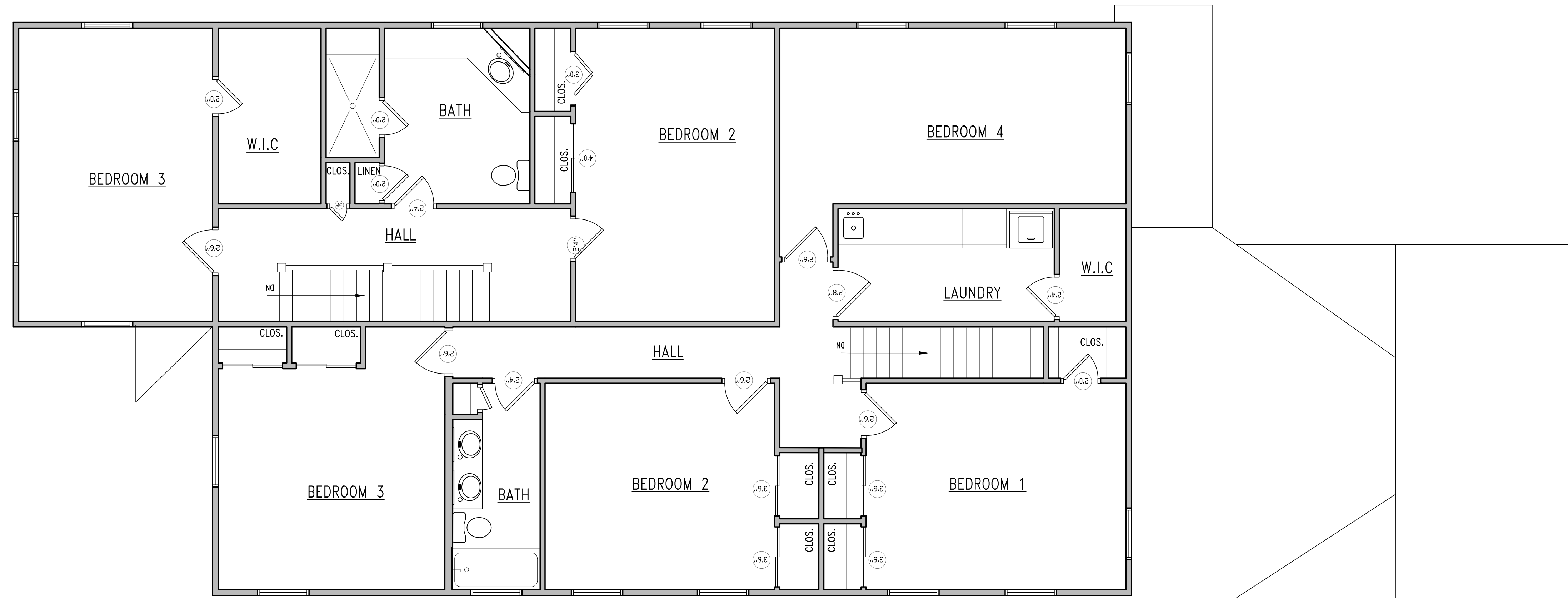
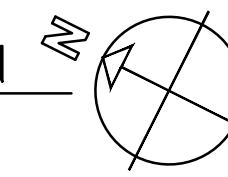


Fischer & Associates	© 2021
ISSUE:	DATE:
PRELIM	05/12/21
PROGRESS	12/07/21
FINAL REVIEW	12/20/21
FINAL REVIEW CLIENT REV.-PERMIT	04/01/22
CODE COMPLIANT PERMIT REVISION 1	08/14/22
COMPLETE NEW HOUSE REV. -PERMIT	09/21/22

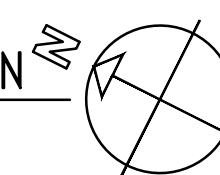
Client Name/Project Name/Address



FIRST FLOOR PLAN  
1/4" = 1'-0"



SECOND FLOOR PLAN  
1/4" = 1'-0"



1464 Riverside Drive

(NEW DUPLEX)

1464 Riverside Drive  
Lakewood, Ohio 44107

Drawing Name

DEMOLITION FLOOR PLANS-  
ADDITIONS & REVISIONS FIRST & SECOND  
FLOOR PLANS

Fischer Project Number

21.046A

SHEET #

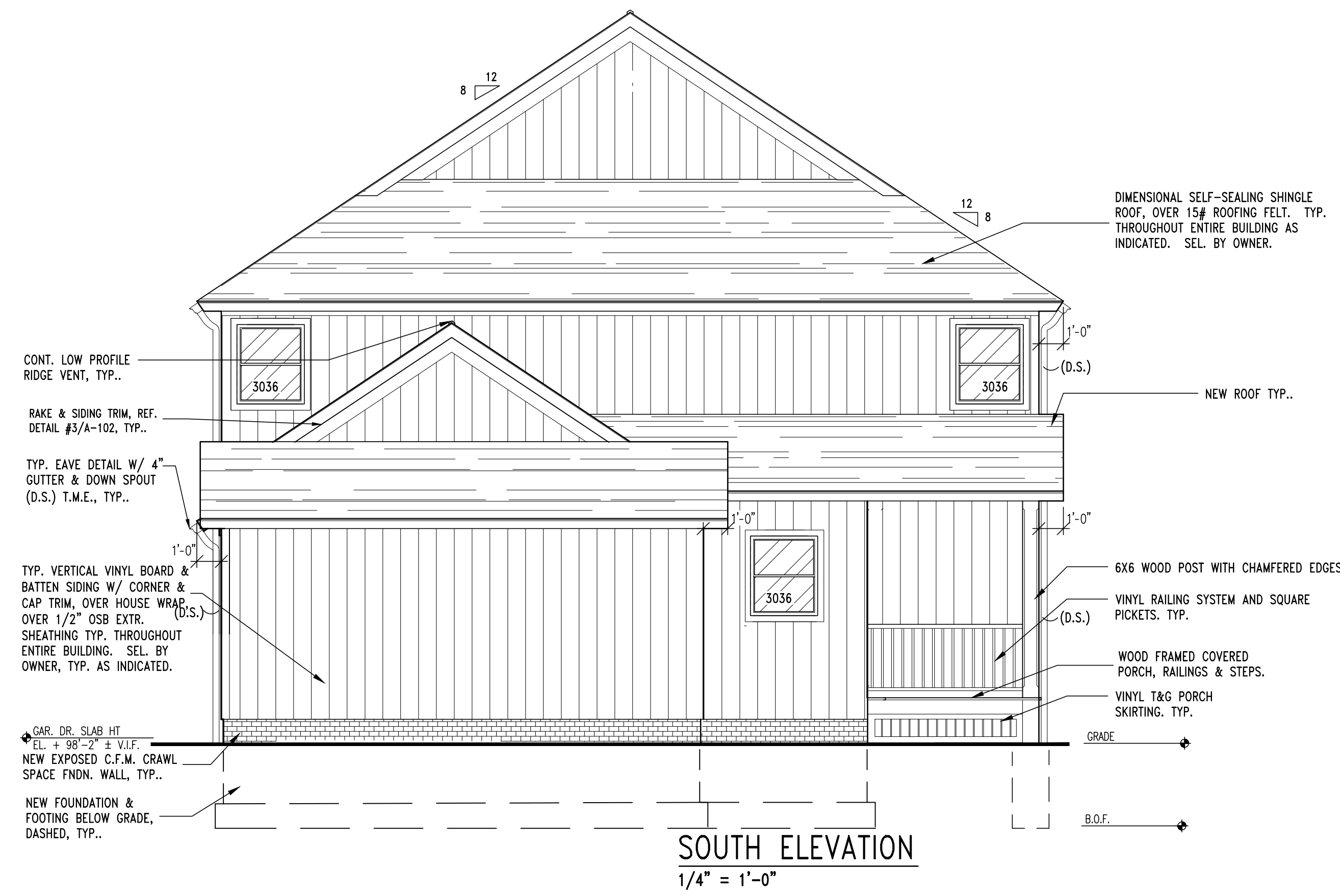
A-101

Seal

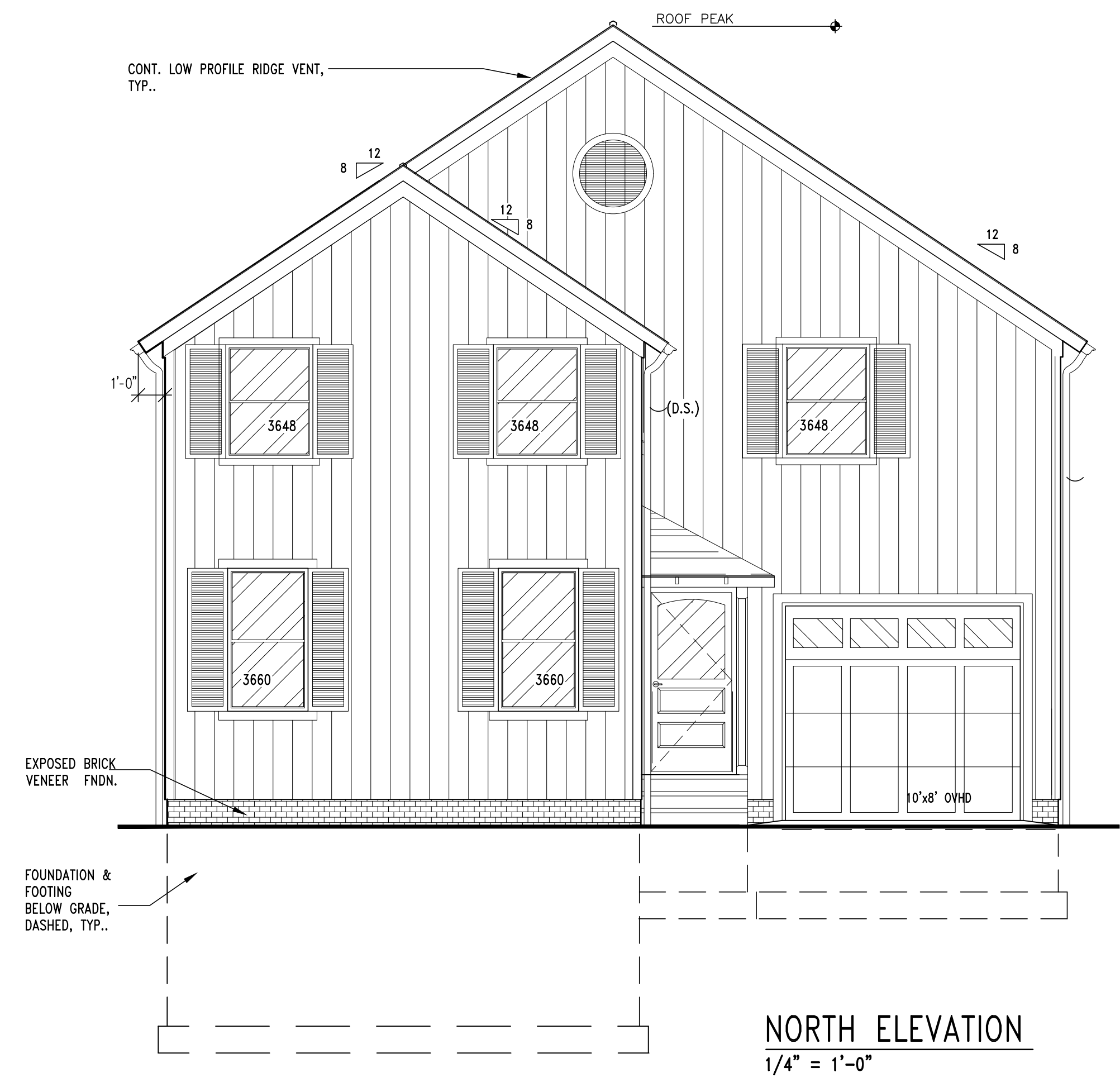


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COMPLETE NEW HOUSE REV. -PERMIT	09/21/22

Client Name/Project Name/Address



**SOUTH ELEVATION**  
1/4" = 1'-0"



**NORTH ELEVATION**  
1/4" = 1'-0"

1464 Riverside Drive

(NEW DUPLEX)

1464 Riverside Drive  
Lakewood, Ohio 44107

Drawing Name  
ELEVATIONS

Fischer Project Number  
21.046A  
SHEET #

A-103

Seal

# 1464 RIVERSIDE DRIVE

## (Alterations & Additions)

1464 Riverside Drive – Lakewood, Ohio 44107

### GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

GOVERNING CODE: LATEST (R.C.O. 2019 RESIDENTIAL BUILDING CODE INCLUDING AMENDMENTS GROUPS AND ALL APPLICABLE STATE & LOCAL APPLICABLE STATE OF OHIO AND LOCAL CODES AND ORDINANCES.

IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDINGS/ APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.

ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN PROVIDED BY OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF ANY WORK.

USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL & ELECTRICAL INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENT BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTORS RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATIONS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

### DEMOLITION:

PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. SECURE ALL WORK TO REMAIN. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED. REF. DEMO. PLAN & NOTES/G-100.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILINGS AS REQUIRED TO ACCOMMODATE NEW LAYOUT, WHERE APPLICABLE. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTING AND/OR NEW ADJACENT WALLS, FLOORS AND CEILINGS IN A MANOR TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.

### STRUCTURAL NOTES: (GENERAL)

- THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND TIE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

### DESIGN CRITERIA:

- DEAD LOAD 1ST. FLOOR – 10 PSF      LIVE LOAD FLOOR – 40 PSF
- DEAD LOAD 2ND. FLOOR/PORCH – 10 PSF      LIVE LOAD FLOOR – 30 PSF
- DEAD LOAD ROOF – 20 PSF      LIVE LOAD ROOF – 25 PSF
- WIND LOAD 115 MPH EXPOSURE B
- GROUND SNOW LOAD – 30 PSF
- SEISMIC – SITE CLASSIFICATION (C) USE GROUP (1) DESIGN (A) (WIND LOAD GOVERNS)

### CONCRETE AND MASONRY

- CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
- CAST IN PLACE CONC. FOOTINGS TO BE SET ON MIN. 1,500 PSF SOIL BEARING.
- EXTERIOR CONC. FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF 3'-6" BELOW FINISHED GRADE.
- ALL REINFORCING SHALL BE A.S.T.M. A-36.
- CONC. BLOCK: ASTM C90 (HOLLOW)      ASTM C145 (SOLID).
- MORTAR: TYPE S, MIN. COMPRESSIVE STRENGTH: 1,800 PSI.
- CORE FILL: ASTM C476, COARSE TYPE.
- JOINT REINFORCING: STANDARD DURAWALL, MILL GALVANIZED FINISH.
- ALL C.M.U. SHALL BE MADE USING DRY BLOCK.
- PROVIDE UNITS OF SIZE INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE OR FINISH CANNOT BE PRODUCED FROM STANDARD SHAPES. TYPICAL ALL BRICK VENEER THROUGHOUT, WHERE APPLICABLE.

### ROUGH CARPENTRY

- SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
  - NATIONAL DESIGN SPECIFICATION FOR WOOD & METAL FRAME CONSTRUCTION.
  - U.S. PRODUCT STANDARDS PS-1 FOR CONSTRUCTION & INDUSTRIAL PLYWOOD.
  - APA CONSTRUCTION GUIDE – RESIDENTIAL.
- CONNECTIONS:
  - PLYWOOD TO RAFTERS/JOISTS      ROOFS & FLOORS – USE BD NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS.

### ROUGH CARPENTRY (CONTINUED)

- ALL CONNECTIONS OF STRUCTURAL BEAMS & RIDGE MEMBERS SHALL BE MADE UTILIZING HIGH STRENGTH (MIN. 14 GA.) HURRICANE STRENGTH, METAL FRAMING HANGERS/CONNECTORS WITH NAILING AT ALL HOLES.
- ANY LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE AND/OR MASONRY MUST BE TREATED. ALL FASTENERS MUST BE COMPATIBLE WITH SELECTED WOOD OR METAL TREATMENT MATERIAL UTILIZED USING HDC. OR SS WHERE APPLICABLE.
- CORNER BRACING TO BE METAL T STRIP DIAGONAL BRACING, SIMPSON TWB OR EQUAL. LOCATE AT ALL BUILDING CORNERS AND UNINTERRUPTED SPANS OF 8'-0" OR GREATER.
- ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL UTILIZE MIN. 3Ø 2"x8" HEADER WITH 2Ø 2"x6" JAMB BLOCKING EACH END OF OPENING UNLESS OTHERWISE INDICATED. ALL INTERIOR DOOR, DOORWAY, WINDOW AND PASS THRU OPENINGS SHALL UTILIZE MIN. 2Ø 2"x6" HEADER WITH 2Ø 2"x4" BLOCKING EACH END OF OPENING. TYPICAL UNLESS OTHERWISE INDICATED.
- ALL SOLID BLOCKING, (S.B.) AT EXTERIOR OPENINGS, BEARING POINTS AND EXTERIOR CORNERS AS REQUIRED AND SHOWN ON DRAWINGS SHALL BE 3Ø2" x 6", FOR INTERIOR 3Ø2x4 WALLS, STRUCT. SET ALL ON SOLID BEARING. SOLID BLOCKING AT BEARING POINTS HIDDEN IN WALLS SHALL HAVE 2x4 LATERAL BRACING TO NEXT STUDS Ø2'-0" O.C. HORIZONTAL.
- PROVIDE ALL NECESSARY MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT AND ACCESSORIES INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS AND HARDWARE, CABINETS, COUNTERS AND KITCHEN, LAUNDRY ROOM AND ACCESSORIES.
- DOUBLE JOISTS UNDER PARTITIONS, AT FLOOR OPENINGS IN A MANOR TO AFFORD STRUCTURAL INTEGRITY.
- ALL NEW INTERIOR AND EXTERIOR STAIRS AND STEPS SHALL HAVE MAX. 8.25" RISERS AND MIN. 10" TREADS, TYP. U.O.N.. V.I.F. ALL ELEVATION CHANGES PRIOR TO START OF ANY WORK.
- ALL NEW EXTERIOR WALL INSULATION SHALL BE MIN. R-20. ALL NEW EXTERIOR ROOF INSULATION SHALL BE MIN R-49. FLOOR ABOVE CRAWL SPACE & BELOW GARAGE SHALL BE R-30. TYP. IN A MANOR COMPLETE BUILDING ENVELOPE.
- WHERE BEAMS MAY END ON OPEN POCKET, PROVIDE BEAM ATTACHMENT BY WELDING OR BOLTED CLIP ANGLE EACH SIDE W/ NOT LESS THAN ONE ½" BEAM BOLT AND ONE ½" WALL ANCHOR PER ANGLE, AS REQUIRED FOR ADEQUATE STRUCT. SUPPORT, WHERE MAY BE APPLICABLE.

### FINISHES

- ALL FINISH MATERIALS AND COLORS, EXTERIOR AND INTERIOR, NOT SPECIFIED SHALL BE TO MATCH EXISTING OR SELECTION BY OWNER.
- ALL WINDOWS ARE SHOWN WITH NOMINAL DESIGNATIONS. MATCH EXISTING OR COORDINATE WITH OWNER FOR MANUF. AND ACCESSORIES.
- ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED OR ARCHITECT APPROVED EQUIVALENT. ANY SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FINAL SELECTION.

### CUSTOM FINISH SPECIAL NOTES:

- ALL INTERIOR FLOOR FINISH SHALL BE T.M.E. OR SELECTION BY OWNER.
- ALL INTERIOR TRIM SHALL BE FINISH WOOD INCLUDING BUT NOT LIMITED TO BASE, DOOR TRIM AND WINDOW TRIM T.M.E. OR SELECTION BY OWNER.
- ALL COUNTER TOPS SHALL BE PER OWNERS SELECTION.
- ALL KITCHEN & OTHER CABINETS/VANITIES SHALL BE FULL CUSTOM.
- ALL EXTERIOR WINDOWS AND DOORS SHALL BE INSUL. & T.M.E., OR AS SELECTED BY OWNER
- ALL EXTERIOR FINISHES SHALL BE NEW TO REPLACE EXT'G. SELECTED BY OWNER INCLUDING BUT NOT LIMITED TO SIDING, TRIM, DECKING & ROOFING U.O.N..
- COORDINATE ALL WITH OWNER, U.O.N..

### SHOP DRAWINGS

- MIN. 4 COPIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION FOR THE ITEMS LISTED BELOW INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- MASONRY UNITS, MORTAR, GROUT, REINFORCEMENT & ACCESSORIES
  - WINDOWS, DOORS AND HARDWARE
  - CABINETS & COUNTERS PER OWNERS SELECTION
  - MECHANICAL & ELECTRICAL FIXTURES, EQUIPMENT & ACCESSORIES
  - KITCHEN COUNTERS, CABINETS, FIXTURES & ACCESSORIES
  - STAIRS, RAILING, GUARD & HAND RAILS.
  - FLASHING, CAULKING & SEALANTS
  - INTERIOR AND EXTERIOR TRIM/MOLDED MILLWORK
  - EXTERIOR FINISHES.
  - ROOFING, ROOFING MATERIALS, GUTTERS & DOWNSPOUTS

### GENERAL CONSTRUCTION NOTES:

- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- NEW WET AREAS. USE MOISTURE RESISTANT G.W.B. AT ALL NEW WET WALLS ON THE SIDE OF THE WALL THAT RECEIVES A FIXTURE WITH A WATER HOOKUP.
  - ALL DIMENSIONS REFERENCE FROM CONCRETE/MASONRY WALLS ARE FROM FACE OF MASONRY AND NOT FROM FURRED GYP. BD.
  - BRACE ALL INTERIOR PARTITIONS TO STRUCT. OF ADJACENT WALLS, FLOOR BELOW, CEILING &/OR ROOF ABOVE CEILING AS REQUIRED TO PREVENT WALLS FROM FLEXING.
  - ALL NEW DOOR & WINDOW HEADS SHALL BE AT 6"-8" A.F.F. U.O.N..
  - ALL NEW DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
  - FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED IN WALLS AND ROUGH OPENINGS, AS REQUIRED, FOR ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, CLOSET SHELVING/RODS, BATHROOM FIXTURES & ACCESSORIES, ETC..
  - CABINET/MILLWORK CONTRACTOR SHALL VERIFY ARCHITECTS OPENING DIMENSIONS FOR REFRIGERATORS, MICROWAVES, CABINETS, FURNITURE AND OTHER EQUIPMENT TO ENSURE ADEQUATE FIT, CLEARANCE AND VENTILATION.
  - VERIFY ALL ROUGH OPENINGS OF ALL NEW DOORS AND WINDOWS WITH THE SELECTED MANUFACTURER'S REQUIREMENTS.
  - IN AREAS WHERE EXISTING FLOORING MATERIALS ARE TO BE REMOVED. PREP FLOORS TO RECEIVE NEW FINISHES IN A MANOR TO MAINTAIN LEVEL UNIFORM TRANSITION.

### ENGINEERING COORDINATION

#### PLUMBING:

COORD. WITH FLOOR PLANS/A-100 FOR SCHEMATIC PLUMBING FIXTURE LOCATIONS. REFERENCE SPECS. & RISER DIAGRAMS /MPE-100.

#### H.V.A.C.:

PROVIDE H.V.A.C. ADDITIONS & ALTERATIONS AS REQUIRED TO ACCOMMODATE BUILDING RENOVATION LAYOUT. INSTALL PER SELECTED MANUF. SPECS. & INSTALLATION INSTRUCTIONS. COORD. WITH OWNER FOR NUMBER AND LOCATION OF ZONES. REF. MECHANICAL SPECS/MPE-100. FILED UNDER SEPARATE PERMIT.

#### ELECTRICAL:

COORDINATE WITH FLOOR PLANS/A-100 FOR SCHEMATIC ELECTRICAL FIXTURE LOCATIONS & ELECTRICAL ENGINEERING SPECS. & SCHEDULE/MPE-100.

### SPECIAL CONTRACTORS NOTE:

ARCHITECT IS RESPONSIBLE FOR ARCHITECTURAL DESIGN AND DRAFTING ONLY. ALL INFORMATION SUPPLIED BY OWNER.  
VERIFY ALL DETAILS INCLUDING BUT NOT LIMITED TO SITE CONDITIONS, CITY UTILITY REQUIREMENTS & STANDARDS, AND STRUCTURAL LOADS AND BEARING (WHERE APPLICABLE).

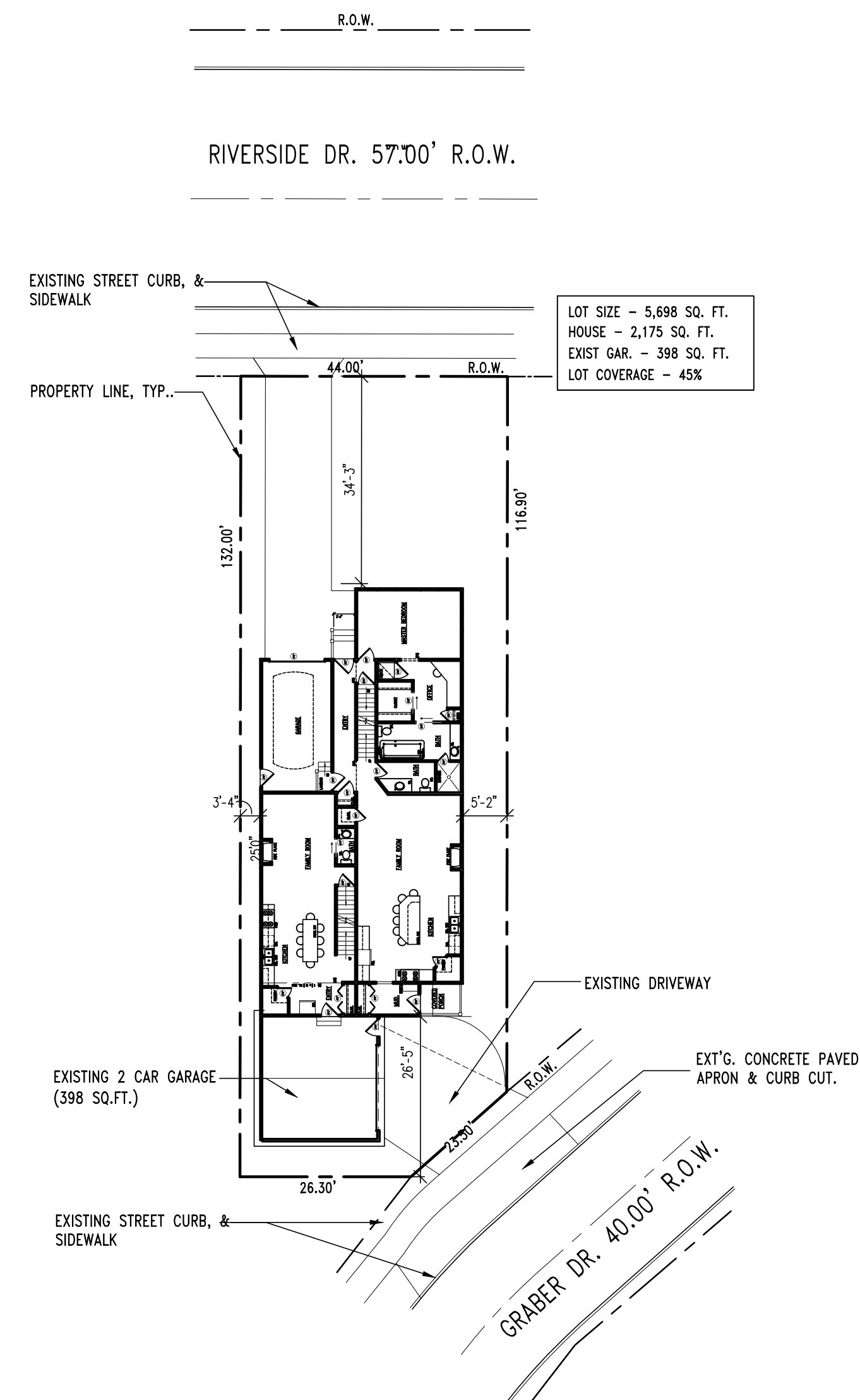
### GENERAL DEMOLITION NOTES:

- ALL SAFEGUARDS FOR DEMOLITION SHALL FOLLOW O.B.C. CHAPTER 33.
- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
- ALL DEMOLITION DIMENSIONS ARE TO BE FIELD VERIFIED AND COORDINATED WITH FLOOR PLAN INFORMATION.
- COORDINATE ALL ASPECTS OF DEMOLITION WITH NEW FLOOR AND ENGINEERING PLANS, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DWGS.
- CONTRACTOR SHALL VISIT JOB SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH WILL AFFECT THE EXECUTION OF WORK. IF ADDITIONAL INTERPRETATION IS REQUIRED REGARDING THE SCOPE DEMOLITION INTENT, CONTACT THE ARCHITECT PRIOR TO START OF WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO OBTAIN THIS INFORMATION.
- PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE RENOVATION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTAINING FOLLOWING DURING WORK:
  - FIRE DETECTORS IN COMPLIANCE WITH LOCAL BUILDING CODE AND FIRE MARSHALL
  - DEBRIS DISPOSAL AND DUMPSTER
  - INTERIOR AND EXTERIOR DUST CONTROL/SANITARY SAFEGUARDS
  - EXISTING STRUCTURAL ELEMENTS
- PROVIDE SHORING/BRACING AS REQUIRED AT ALL AREAS OF DEMOLITION. STRUCTURE SHALL BE SELF-SUPPORTING AFTER DEMOLITION IS COMPLETE.
- INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, AND PERMITS NECESSARY FOR COMPLETION OF THE DEMOLITION WORK. PROVIDE PROTECTION FOR ALL ADJACENT AREAS BEFORE, DURING AND AFTER EXECUTION OF THE DEMOLITION WORK.
- PROVIDE ALL CUTTING OF EXISTING WALLS, FLOORS & CEILINGS AS REQUIRED TO ACCOMMODATE EXISTING BUILDING NEW RENOVATION LAYOUT.
- CAP OFF OR DISCONNECT ALL UNUSED PLUMBING, HVAC & ELECTRICAL BEHIND WALLS, ABOVE CEILING OR UNDER FLOORS.
- CONTRACTOR SHALL ENSURE THAT ALL EXTERIOR OPENINGS ARE CLOSED OFF AS REQUIRED TO SECURE AGAINST INTRUSION, WEATHER, ETC. DURING ALL PHASES OF THE DEMOLITION WORK.
- CONTRACTOR SHALL GIVE OWNER FIRST RIGHT TO SALVAGE ANY AND ALL EXISTING ITEMS, EQUIPMENT, MATERIALS, ETC. ALL ITEMS TO BE SALVAGED BY THE OWNER SHALL BE CAREFULLY REMOVED AND STORED ON SITE BY THE CONTRACTOR FOR SALVAGE BY THE OWNER. ALL OTHER MATERIALS, EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
- IN THE REMOVAL OF ANY PART OF A DRAINAGE SYSTEM, DEAD ENDS SHALL BE PROHIBITED. CLEANOUT EXTENSIONS AND APPROVED FUTURE DRAINAGE SHALL NOT BE CONSIDERED AS DEAD ENDS PER OHIO PLUMBING CODE SECTION 704.5.
- COORDINATE UTILITY SERVICE OUTAGES WITH THE APPLICABLE LOCAL UTILITY COMPANIES.
- ALL ITEMS NOT INDICATED AS TO BE REMOVED OR RELOCATED SHALL REMAIN. PLEASE VERIFY WITH ARCHITECT PRIOR TO REMOVAL OF ANY ITEMS WHICH HAVE NOT BEEN IDENTIFIED ON ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS.



### AERIAL SITE LOCATION MAP

1" = 30'-0"



### ARCHITECTURAL SITE PLAN

1" = 20'-0"

### SITE PLAN NOTES:

- ARCHITECTURAL SITE PLAN IS DIAGRAMMATICAL FOR REFERENCE ONLY AND SHOULD NOT BE CONSTRUED AS AN ACTUAL SURVEY.
- COORD. W/ LOCAL UTILITY COMPANIES FOR LOCATION OF ANY UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. CALL (811)
- THE ALL NEW BUILDING UTILITY LINES TO EXISTING AND OR NEW HOUSE UTILITIES. COORDINATE WITH ENGINEERING DRAWINGS, LOCAL RESPECTIVE UTILITY COMPANIES AND LOCAL APPLICABLE CITY FOR REQUIREMENTS AND STANDARDS.
- CONTRACTOR RESPONSIBLE FOR ALL UTILITY COORDINATION AND INSTALLATION.
- ALL LANDSCAPING AND LAWNS SHOWN ARE EXISTING IN NATURE. ANY LAWN AND LANDSCAPING INSTALLATION SHALL BE BY OTHERS FILED UNDER SEPARATE PERMIT, WHERE APPLICABLE.
- COORDINATE WITH CIVIL DRAWINGS BY SELECTED CIVIL ENGINEER FOR ALL SITE RELATED INFO. INCLUDING BUT NOT LIMITED TO PAVING AND GRADING., WHERE APPLICABLE.

INDEX TO DRAWINGS	
G-100	COVER SHT.-GENERAL NOTES-ARCH. SITE PLAN-AERIAL SITE MAP
A-103	ELEVATIONS

### GENERAL COORDINATION NOTES:

- CONTRACTORS SHALL SCHEDULE ALL WORK TO BE EXECUTED IN SUCH A MANNER AS TO MAINTAIN ALL OUTSIDE TENANT OPERATIONS AS WELL AS ACCESS AND EGRESS FOR ALL TENANTS/CUSTOMERS WITH RESPECT TO ALL APPLICABLE CODE REGULATIONS, A.D.A. REQUIREMENTS, THE SAFETY OF ALL PERSONS IN AND AROUND THE BUILDING AND BUILDING SECURITY. ALL WORK MUST BE COORDINATED WITH OWNER/TENANT REPRESENTATIVES AND CONFORM TO FEDERAL REGULATIONS.
- CONTRACTORS WILL BE RESPONSIBLE TO SUBMIT A DETAILED PROJECT SCHEDULE TO OWNER/TENANT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF ALL WORK.
- CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN THE BUILDING IN A SECURE AND WATERTIGHT CONDITION DURING CONSTRUCTION, WHERE APPLICABLE.
- CONTRACTORS SHALL BE RESPONSIBLE TO MAINTAIN ALL EXISTING SERVICES AND UTILITIES.

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street

Lorain, Ohio 44052

Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2021

ISSUE: DATE:

PRELIM 05/12/21

PROGRESS 12/07/21

FINAL REVIEW 12/20/21

FINAL REVIEW CLIENT REV.-PERMIT 04/01/22

CODE COMPLIANT PERMIT REVISION 1 08/14/22

COMPLETE NEW HOUSE REV. -PERMIT 09/21/22

Client Name/Project Name/Address

1464 Riverside Drive

(NEW DUPLEX)

1464 Riverside Drive

Lakewood, Ohio 44107

Drawing Name

COVER SHEET-GENERAL NOTES-

ARCH. SITE PLAN-AERIAL SITE MAP

Fischer Project Number

21.046A

SHEET #

G-100

Seal



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 02-17-23**

**Permit No.: BBS22-000136**

**Applicant Name: David J. Maniet AIA, Maniet Architects.**

**Project Address: 13370 Madison Ave.**

**Project Name: Benchek Building**

**Project: Applicant proposes façade renovation.**



David Maniet <djmoneit@gmail.com>

---

## Updated Plans

---

**Brian B** <brianbenchek@gmail.com>  
To: David Maniet <davidjmaniet@gmail.com>

Thu, Dec 22, 2022 at 2:02 PM

Thanks David.

This email is confirming that David Maniet has been authorized to submit and discuss the ABR application for 13380 Madison Ave.

Brian Benchek, owner  
[Quoted text hidden]

**General Notes Continued**

GN22. ALL DIMENSIONS SHALL BE FIELD CHECKED, SPECIFICALLY FOR THE SELECTION AND MANUFACTURE OF CASEWORK, WINDOWS, FLOOR FINISHES, ETC.

GN23. CONTRACTOR SHALL INSTALL ALL PRODUCTS AND FINISH MATERIALS PER MANUFACTURER'S INSTRUCTIONS. IF THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE DIFFERENT THAN THE MANUFACTURERS THEN THE CONTRACTOR SHALL CONTACT THE ARCHITECT BEFORE PROCEEDING TO REVIEW THE METHOD OF INSTALLATION.

GN24. ALL GAPS OR PENETRATIONS IN RATED WALLS SHALL BE FIRE CAULKED AND COMPLY WITH ALL REQUIREMENTS OF OBC SECTIONS 713.

GN25. CONTRACTOR TO PHOTOGRAPH MECHANICAL, ELECTRICAL, AND PLUMBING ROUGH-INS AND SEND COPIES TO ARCHITECT PRIOR TO INSTALLING FINISH MATERIALS.

GN26. ONE WEEK BEFORE COMPLETION OF JOB, CONTRACTOR SHALL ORGANIZE A WALK-THROUGH EXAMINATION OF THE PROJECT WITH THE ARCHITECT, OWNER AND CONTRACTOR. AT THIS MEETING, CONTRACTOR SHALL DEMONSTRATE USE OF ALL ITEMS (LOCKS, TOILETS, HVAC SYSTEM, LIGHTS, ETC.) INSTALLED, AND A COMPLETE PUNCH LIST WILL BE DEVELOPED BY THE ABOVE PARTIES.

GN27. FINAL PAYMENT WILL NOT BE APPROVED WITHOUT:  
 - ALL WARRANTIES/ MANUALS/ INSTALLATION INSTRUCTIONS FOR ALL INSTALLED FIXTURES AND EQUIPMENT/ APPLIANCES SUPPLIED TO OWNER.  
 - OWNER RECEIVED LIEN WAIVER FROM CONTRACTOR.

GN28. HANDRAILS AND GUARDS (PER OBC SEC. 1607.8) HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS THE STRUCTURE. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING.

GN29. GRAB BARS, (PER OBC SEC 1607.7) GRAB BARS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 POUNDS APPLIED IN ANY DIRECTIONS AT ANY POINT.

GN30. ICC A117.1 COMPLIANT SIGNAGE NOTES:  
 LETTERS AND NUMERALS SHALL BE RAISED 1/32", UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2" PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSIONS OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT.

THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGG-SHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE BASELINE OF THE BRAILLE AND THE BASELINE OF THE HIGHEST TACTILE CHARACTER. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3' OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR BY PROVIDING AN 18"x18" CLEAR FLOOR SPACE CENTERED ON THE SIGN, BEYOND THE SWING OF THE DOOR.

FACILITIES AND ELEMENTS REQUIRED TO BE IDENTIFIED AS ACCESSIBLE SHALL USE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.

TACTILE SIGNS STATING "EXIT" SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE

GN31. FRAMING NOTES

1. DBL. 2X12 HEADERS @ ALL OPENINGS UNLESS NOTED OTHERWISE.
2. SOLID BLOCKING AND / OR MASONRY @ ALL BEAM BEARING LOCATIONS.
3. DBL. ALL FL. JOISTS BELOW PARTITIONS.
4. STL. FLITCH PL. REQUIRED @ ALL HEADERS W/ 12'-0" SPAN AND OVER.
5. ALL PASSAGE WAYS BETWEEN ROOMS SHALL BE CASED OPENINGS UNLESS NOTED OTHERWISE.

GN32. COLD FORMED METAL FRAMING

- DESIGN OF METAL STUD FRAMING SHOWN IS BASED ON CSI TYPE (1 5/8") FLANGE STUDS WITH DEIRICH INDUSTRIES SECTION PROPERTIES AND ALLOWABLE RESISTANCE MOMENT CAPACITY. ALTERNATE MANUFACTURERS' FRAMING SIDE SHALL MEET THE MINIMUM SECTION PROPERTIES AND ALLOWABLE RESISTING MOMENT CAPACITY OF THE MEMBERS INDICATED ON THE DESIGN DRAWINGS. ADDITIONAL COSTS FOR AN INCREASE IN STUD SIZE OR GAUGE IS PROHIBITED.
- ALL COLD-FORMED FRAMING SHALL BE DESIGNED IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE COLD FORMED STEEL DESIGN MANUAL AS REFERENCED BY THE 2011 OBC.
- ALL FRAMING MEMBERS 16 GAUGE AND HEAVIER SHALL BE FORMED FROM STEEL WITH A MINIMUM YIELD STRENGTH OF 33 KSI.
- ALL FRAMING SHALL BE GALVANIZED.
- ALL CONNECTIONS SHALL BE SCREWED OR WELDED. POWER FASTENERS ARE NOT ACCEPTABLE FOR ANY STRUCTURAL APPLICATIONS.
- ALL WELDS SHALL BE TOUCHED UP WITH ZINC-RICH PAINT.

GN33. GENERAL ROOFING NOTES

- MINIMUM SLOPES SHALL BE 1/4" PER FOOT.
- ROOF EDGE AT CHIMNEYS AND INTERSECTING WALLS SHALL BE AT A CONSTANT HIGH POINT.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL SKYLIGHTS, ROOF ELEVATION BREAKS, PARAPETS, WALLS, AND ANY ROOF PENETRATIONS. PROVIDE FLASHING AT THESE LOCATIONS.
- REVIEW ALL ROOF DRAINAGE SIZES AND LOCATIONS WITH ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.

GN34. MASONRY

- CONCRETE MASONRY UNITS ASTM C90, TYPE 1 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI, EACH UNIT, NET CROSS-SECTIONAL AREA.
- MORTAR ASTM C270, TYPE S WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN 28 DAYS.
- GROUT FILL F'C=2500PSI @ 28 DAYS, PEA GRAVEL.
- TEMPORARILY BRACE ALL MASONRY WALLS TO PROVIDE STABILITY DURING CONSTRUCTION UNTIL THE DESIGNED STRUCTURE IS COMPLETE AND CAN STABILIZE THE WALLS.

GN35. GENERAL FINISH NOTES

CEILING AND WALL FINISHES SHALL CONFORM TO OBC FLAMESPREAD AND SMOKE DEVELOPMENT INDEX = CLASS C.

PROVIDE SAMPLES OF ALL FINISH MATERIALS TO BUILDING DEPARTMENT FOR REVIEW.

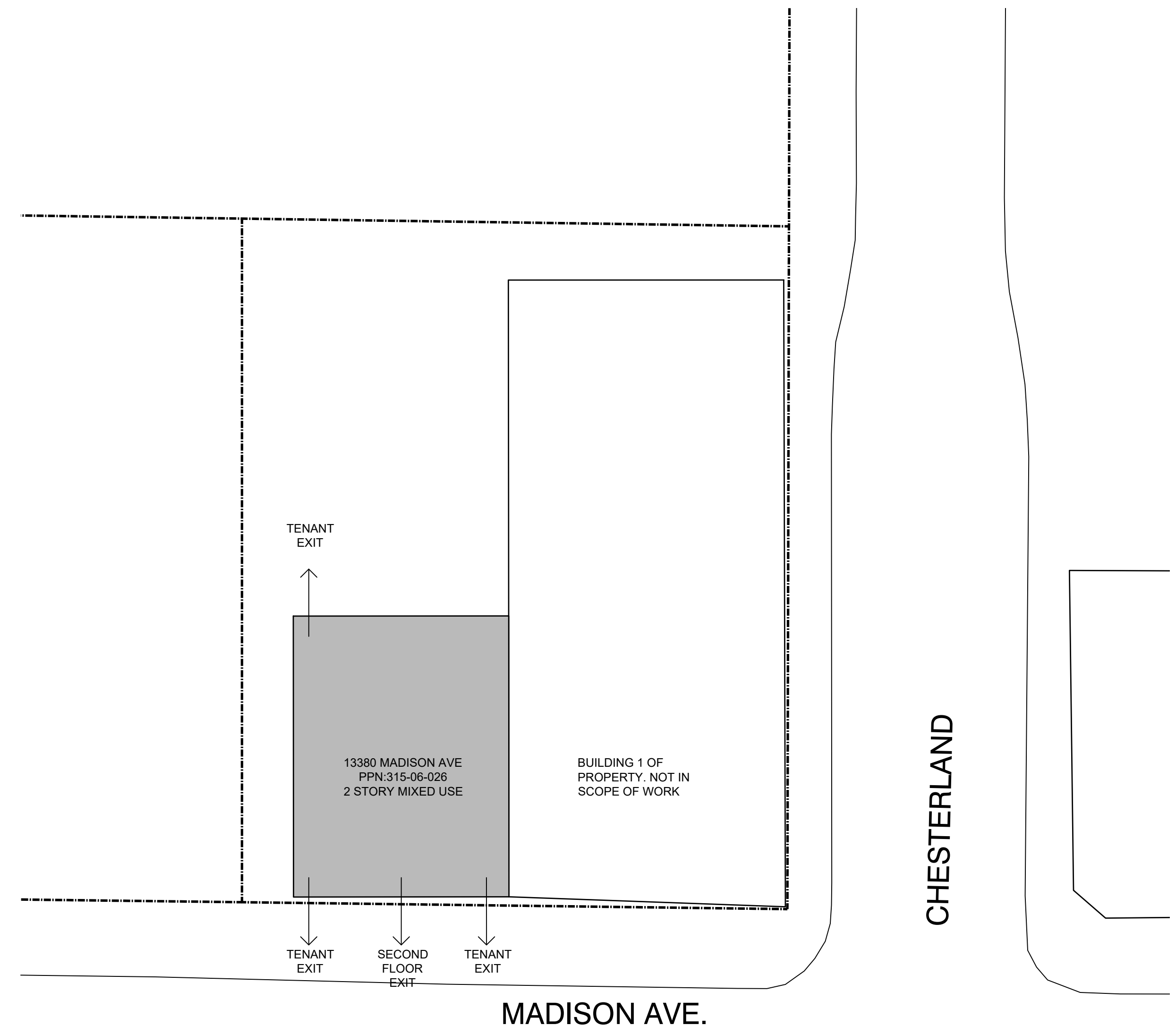
GN36. GLASS

ALL GLASS SHALL BE THERMAL-PANE LOW-E ARGON FILLED AND SAFETY GLASS WHERE REQUIRED BY CODE.

GN37. DEMOLITION

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE DOWNS MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL SUPPORT, BRACE AND SECURE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE EXISTING BUILDING DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS AND CONDITIONS WHICH AFFECT THE NEW CONSTRUCTION.



**Site Plan**  
 1/8" = 1'-0"

SITE PLAN NOTES:  
 PROPERTY LINES LOCATED FROM CLIENT PROVIDED SURVEY.  
 DATED: OCT 25, 2016 AND COMPLETED BY EXACTA OHIO

**Drawing Index**

- T1 Project Data  
Code Data  
Location Map  
General Notes
- T2 Site Plan  
General Notes Continued
- A1 Storefront Plans and Elevations
- A2 Second Floor Plans
- P1 Plumbing Notes  
Plumbing Riser Diagrams  
Plumbing Connection Schedule  
Plumbing Equipment Schedule
- E1 Electrical Notes  
Light Fixture Schedule
- E2 Electrical Plans

4 1 2 . 7 2 0 . 0 4 2 4  
 DavidJManiet@gmail.com

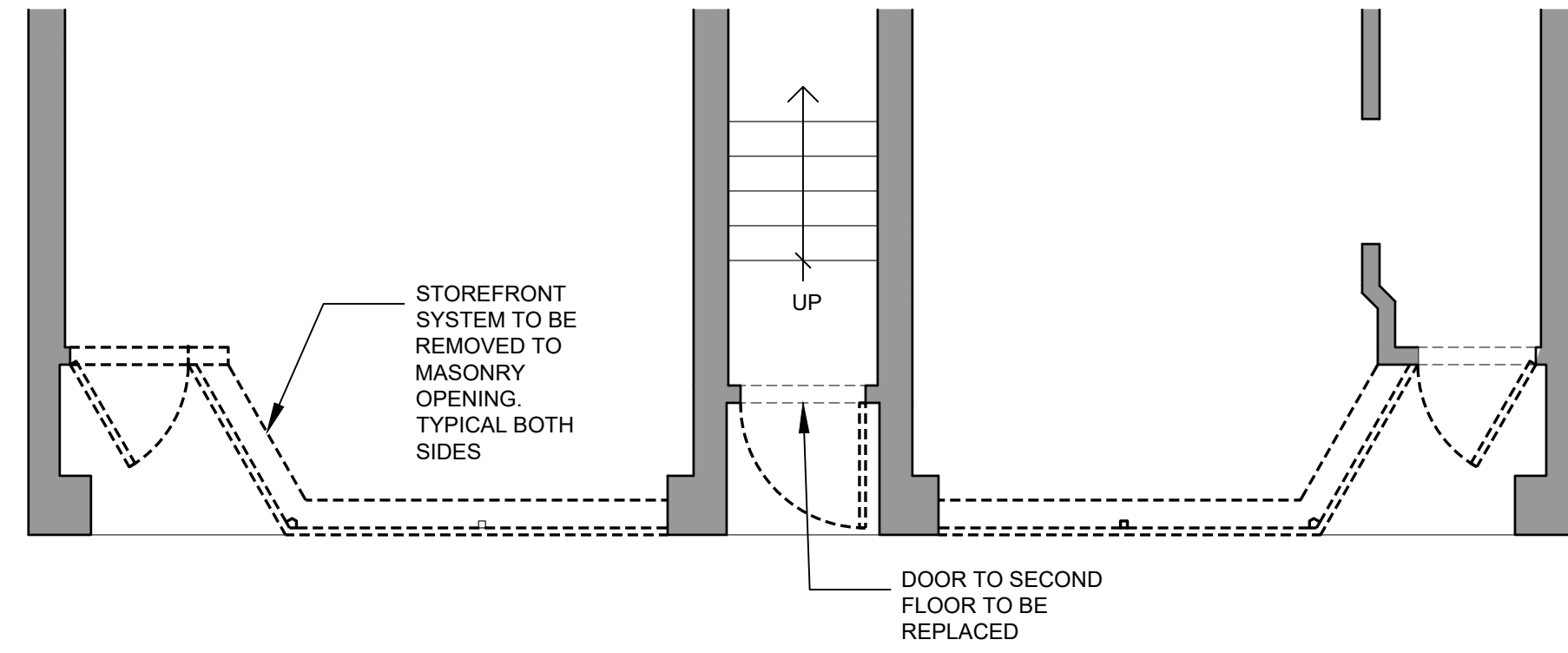
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Name / Project Address  
**Benchek Apartments**  
 13380 Madison Avenue  
 Lakewood, Ohio 44107

Issue for Client Review	Sheet
Date	<b>T2</b>
Drawn By	
DJM	

**Drawing Index**

- T1 Project Data  
Code Data  
Location Map  
General Notes
- T2 Site Plan  
General Notes Continued
- A1 Storefront Plans and Elevations
- A2 Second Floor Plans
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Plumbing Riser Diagrams  
Plumbing Connection Schedule  
Plumbing Equipment Schedule
- E1 Electrical Notes  
Light Fixture Schedule
- E2 Electrical Plans



**Existing Storefront Plan with Demolition Notes**  
1/4" = 1'-0"

**Existing Storefront Elevation with Demolition Notes**  
1/4" = 1'-0"

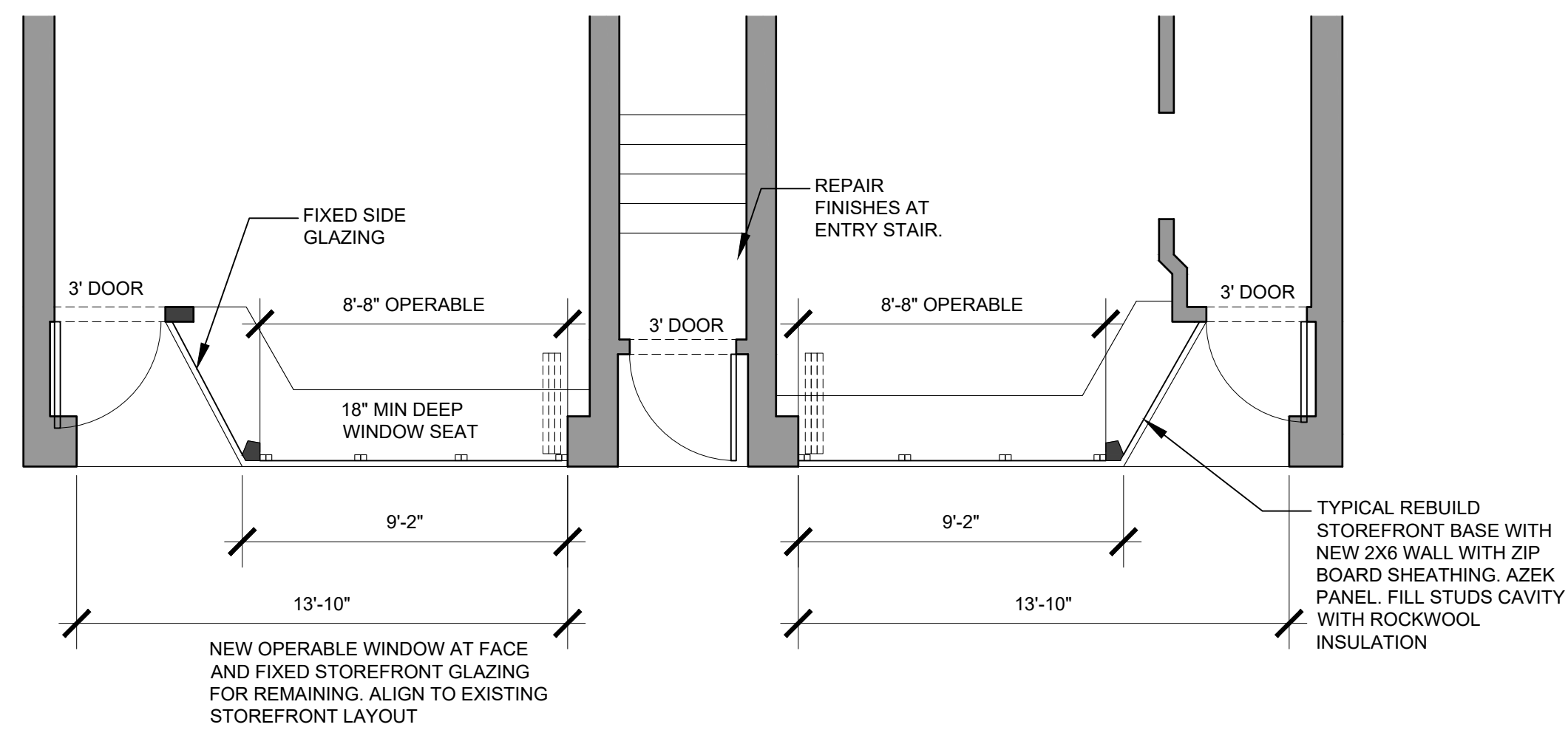
**WALL TYPES**

- 1 EXISTING DOUBLE WYTHE BRICK EXTERIOR WALL. NEW 2X4 METAL STUD WALL @ 16" O.C. WITH ONE LAYER 5/8" GYPSUM BOARD ON INTERIOR AND ROCKWOOL SAFE "N" SOUND INSULATION. (2X6 WHERE NOTED)
- 2 NEW 2X4 METAL STUD WALL WITH 5/8" TYPE X GYPSUM FINISH OVER EXISTING MASONRY INTERIOR WALL. INSTALL ROCKWOOL SAFE "N" SOUND BETWEEN STUDS
- 3 EXISTING PLASTERED MASONRY WALL. REPAIR FINISHES AS REQUIRED.
- 4 NEW 2 X 4 METAL STUD WALL WITH 5/8" GYPSUM BOTH SIDES. INTERIOR PARTITION

NOTE: USE GREEN BOARD GYPSUM IN BATHROOMS AND KITCHEN

**WALL LEGEND**

- DEMOLITION
- █ EXISTING WALL
- █ NEW STUD WALL



**Proposed Storefront Plan**  
1/4" = 1'-0"

**Proposed Storefront Elevation**  
1/4" = 1'-0"

**MA**  
**MANIET**  
ARCHITECTS

4 1 2 . 7 2 0 . 0 4 2 4  
DavidJManiet@gmail.com

Name / Project Address  
**Benchek Renovation**  
13380 Madison Avenue  
Lakewood, Ohio 44107

Issue for Client Review	Sheet
Date 12/16/2022	<b>A1</b>
Drawn By DJM	

# COMMERCIAL FOLDING GLASS WALLS



## HARPERS LANDING BAR & GRILL

PROJECT ID  
12-09-180

**LOCATION**

Oakville, Ontario, Canada

**SERIES**

All Wall Folding Glass Wall System, Straight Eave  
Lean-to Canopy and Curtain Walls

**GLAZING**

1" LoE 272 Insulated Tempered

**FINISH**

AAMA 2603 Bronze

**GLASS SQUARE FOOTAGE**

4,658 sq. ft

**NUMBER OF PANELS**

15



## SANDS CAPITAL MANAGEMENT

PROJECT ID  
15-04-181

**LOCATION**

Arlington, Virginia

**SERIES**

Three Split Wall G3 Folding Glass Wall Systems  
and One Mid Wall G3 Folding Glass Wall System

**GLAZING**

1" LoE 272 Insulated Tempered

**FINISH**

Class I Clear Anodized

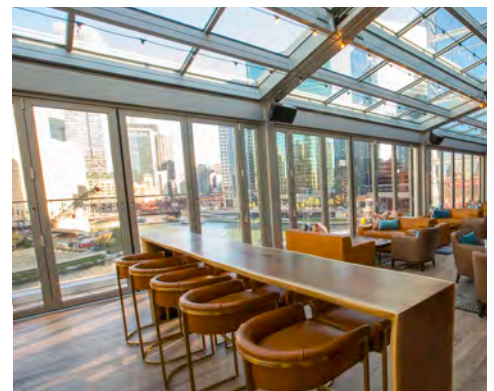
**GLASS SQUARE FOOTAGE**

608 sq. ft

**NUMBER OF PANELS**

20

## COMMERCIAL FOLDING GLASS WALLS



### RIVER POINT TOWER

PROJECT ID  
15-07-461

#### LOCATION

Chicago, Illinois

#### SERIES

Two Split Wall Center Pivot G3 Folding Glass Wall Systems

#### GLAZING

1" Optiwhite Heat Soaked VE-85 Insulated Tempered

#### FINISH

Custom "Light Grey"

#### GLASS SQUARE FOOTAGE

558 sq. ft

#### NUMBER OF PANELS

14



### PAYCHEX SAWGRASS DINING PAVILION

PROJECT ID  
17-01-028

#### LOCATION

Rochester, New York

#### SERIES

Three Split Wall G2 Nonthermal Folding Glass Wall Systems

#### GLAZING

¾" Clear Tempered Monolithic

#### FINISH

AAMA 2603 Black

#### GLASS SQUARE FOOTAGE

402 sq. ft

#### NUMBER OF PANELS

18

# COMMERCIAL FOLDING GLASS WALLS



## PAYCHEX JOHN ST. DINING PAVILION

PROJECT ID  
14-05-093

**LOCATION**

West Henrietta, New York

**SERIES**

Three Split Wall G2 Nonthermal Folding Glass Walls Systems

**GLAZING**

¼" Clear Tempered Monolithic

**FINISH**

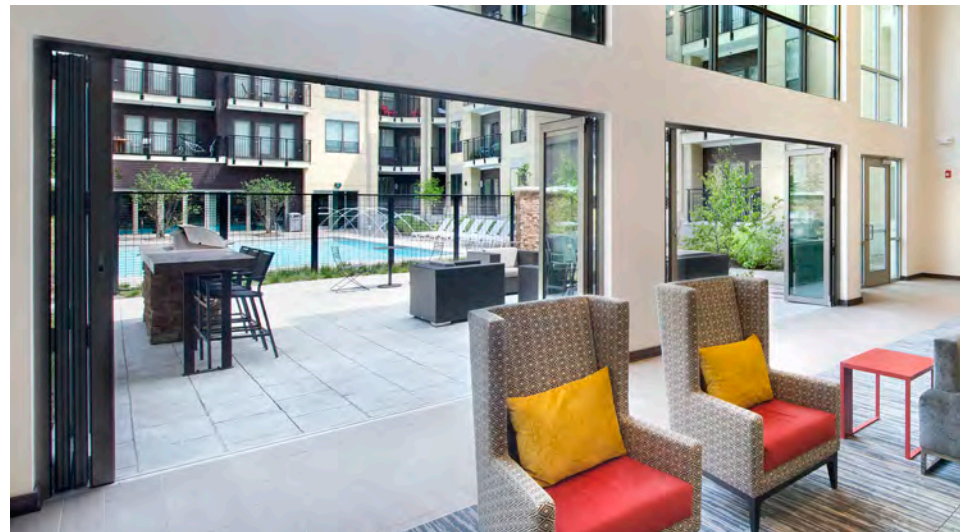
AAMA 2603 Black

**GLASS SQUARE FOOTAGE**

557 sq. ft

**NUMBER OF PANELS**

16



## AXIS APARTMENTS

PROJECT ID  
13-03-055

**LOCATION**

Indianapolis, Indiana

**SERIES**

Three Split Wall G2 Folding Glass Wall Systems

**GLAZING**

1" Insulated

**FINISH**

Custom "Champagne"

**GLASS SQUARE FOOTAGE**

481 sq. ft

**NUMBER OF PANELS**

16

# COMMERCIAL FOLDING GLASS WALLS



## LODGE AT CLASSIC MOTORS

PROJECT ID  
13-05-072

**LOCATION**

Allentown, Pennsylvania

**SERIES**

Three All Wall G3 Marine Glazed (Extra Narrow)  
Folding Glass Wall Systems

**GLAZING**

1" LoE 272 Insulated Tempered

**FINISH**

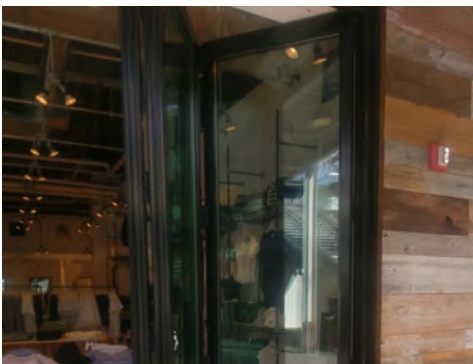
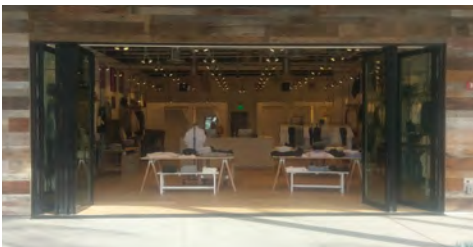
Custom "Gray"

**GLASS SQUARE FOOTAGE**

1,534 sq. ft

**NUMBER OF PANELS**

17



## BRANDY MELVILLE RETAIL STORE

PROJECT ID  
16-04-272

**LOCATION**

Huntington Beach, California

**SERIES**

G3 Narrow Folding Glass Wall System

**GLAZING**

1" LoE 366 Insulated Tempered

**FINISH**

Dark Bronze Anodized

**GLASS SQUARE FOOTAGE**

240 sq. ft

**NUMBER OF PANELS**

8

# COMMERCIAL FOLDING GLASS WALLS



## BROOKFIELD ZOO

PROJECT ID  
14-02-407

**LOCATION**

Brookfield, Illinois

**SERIES**

Split Wall G2 Folding Glass Wall System

**GLAZING**

¼" Solarban 60 Insulated Tempered

**FINISH**

Custom "Silver Shadow"

**GLASS SQUARE FOOTAGE**

167 sq. ft

**NUMBER OF PANELS**

6



## BEAR CREEK MOUNTAIN RESORT

PROJECT ID  
06-12-020

**LOCATION**

Macungie, Pennsylvania

**SERIES**

Eight Split Wall G2 Folding Glass Wall Systems

**GLAZING**

1" LoE 272 Insulated Tempered

**FINISH**

Custom "Bear Creek Red"

**GLASS SQUARE FOOTAGE**

496 sq. ft

**NUMBER OF PANELS**

33

## COMMERCIAL FOLDING GLASS WALLS



**PARKWAY CAFE**

PROJECT ID  
10-03-096



**LOCATION**

Cinnaminson, New Jersey

**SERIES**

Two Split Wall Folding Glass Wall Systems

**GLAZING**

1" Insulated

**FINISH**

Custom "Quaker Gray"

**NUMBER OF PANELS**

8



**CANTINA LAREDO**

PROJECT ID  
14-01-047

**LOCATION**

Chicago, Illinois

**SERIES**

All Wall and Split Wall Folding Glass Wall Systems

**GLAZING**

1" Bronze Tint Insulated Tempered

**FINISH**

Custom "Castle Grey"

**GLASS SQUARE FOOTAGE**

762 sq. ft.

**NUMBER OF PANELS**

31

# COMMERCIAL FOLDING GLASS WALLS



## NIKE RETAIL STORE

PROJECT ID  
13-12-174

**LOCATION**

Los Angeles, California

**SERIES**

G3 Folding Glass Wall System

**GLAZING**

1" Starphire VE-2M Insulated Tempered

**FINISH**

Custom "CNC Grey"

**GLASS SQUARE FOOTAGE**

370 sq. ft

**NUMBER OF PANELS**

8



## BARLEY FLATS APARTMENT

PROJECT ID  
15-06-378

**LOCATION**

Grand Rapids, Michigan

**SERIES**

Three Split Wall G2 Folding Glass Wall Systems

**GLAZING**

1" Insulated

**FINISH**

AAMA 2603 Bronze

**GLASS SQUARE FOOTAGE**

360 sq. ft

**NUMBER OF PANELS**

15

## COMMERCIAL FOLDING GLASS WALLS



**CANTINA 1910**

PROJECT ID  
14-04-118



**LOCATION**

Chicago, Illinois

**SERIES**

Three All Wall G3 Folding Glass Wall Systems

**GLAZING**

1" Insulated

**FINISH**

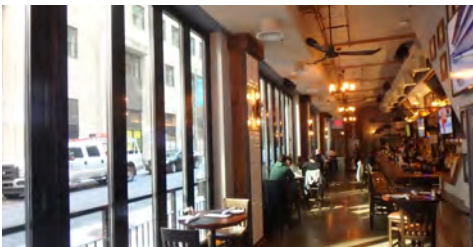
Dark Bronze Anodized

**GLASS SQUARE FOOTAGE**

511 sq. ft

**NUMBER OF PANELS**

9



**BROADSTONE BAR & KITCHEN**

PROJECT ID  
14-02-454

**LOCATION**

New York, New York

**SERIES**

Nine G3 Folding Glass Wall Systems

**GLAZING**

1" LoE 272 Insulated Tempered

**FINISH**

Dark Bronze Anodized

**GLASS SQUARE FOOTAGE**

2,348 sq. ft

**NUMBER OF PANELS**

72

# COMMERCIAL FOLDING GLASS WALLS



**GEORGETOWN'S FILLMORE SCHOOL** PROJECT ID 17-01-410

**LOCATION**

Washington D.C.

**SERIES**

All Wall G2 Folding Glass Wall System and Swing Doors

**GLAZING**

1" LoE 272 Insulated Tempered

**FINISH**

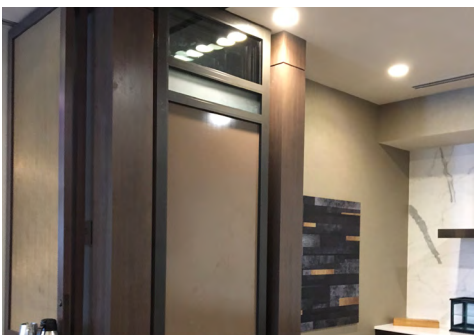
AAMA 2603 Black

**GLASS SQUARE FOOTAGE**

369 sq. ft

**NUMBER OF PANELS**

9



**MARRIOTT HOTEL**

PROJECT ID 16-09-246

**LOCATION**

Columbus, Ohio

**SERIES**

Split Wall Center Pivot G2 Nonthermal Folding Glass Wall System

**GLAZING**

3/8" Clear Tempered Monolithic

**FINISH**

AAMA 2603 Bronze

**GLASS SQUARE FOOTAGE**

427 sq. ft

**NUMBER OF PANELS**

12

# COMMERCIAL FOLDING GLASS WALLS



## STEEL STACKS

PROJECT ID  
10-03-050

**LOCATION**

Bethlehem, Pennsylvania

**SERIES**

Two Split Wall G2 Thermal Folding Glass Wall Systems

**GLAZING**

1" Solarban 60 Insulated Tempered

**FINISH**

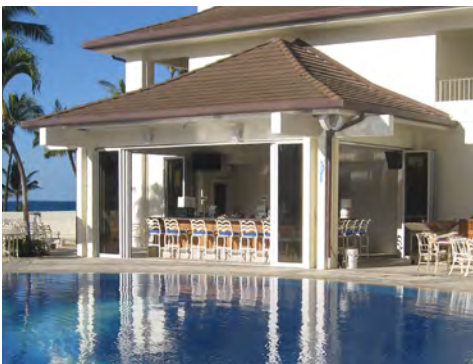
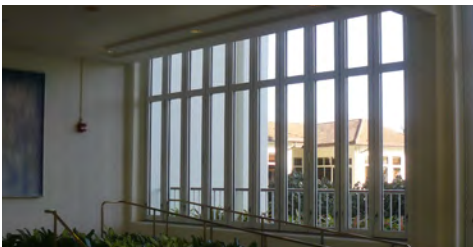
Custom "Charcoal Grey"

**GLASS SQUARE FOOTAGE**

3,383 sq. ft

**NUMBER OF PANELS**

302



## MARRIOTT RESORT & SPA

PROJECT ID  
10-08-272

**LOCATION**

Kapolei, Hawaii

**SERIES**

Four Split Wall Center Pivot Folding Glass Wall Systems, Four All Wall Folding Glass Wall Systems, Curtain Wall and Multi-Track Sliding Glass Door System

**GLAZING**

3/4" Bronze Tinted Monolithic

**FINISH**

AAMA 2603 White

**GLASS SQUARE FOOTAGE**

872 sq. ft

**NUMBER OF PANELS**

64

# COMMERCIAL FOLDING GLASS WALLS



## KONA GRILL

PROJECT ID  
10-04-432

**LOCATION**

Baltimore, Maryland

**SERIES**

Six All Wall G2 Thermal Folding Glass Wall Systems

**GLAZING**

1" LoE 272 Insulated Tempered

**FINISH**

Dark Bronze Anodized

**GLASS SQUARE FOOTAGE**

574 sq. ft

**NUMBER OF PANELS**

28



## LIBERTY WHARF

PROJECT ID  
09-09-430

**LOCATION**

Boston, Massachusetts

**SERIES**

Three Mid Wall G2 Thermal Folding Glass Wall Systems

**GLAZING**

1" Viracron VEI-2M Insulated Tempered

**FINISH**

Custom "Charcoal"

**GLASS SQUARE FOOTAGE**

483 sq. ft

**NUMBER OF PANELS**

24

# COMMERCIAL FOLDING GLASS WALLS



## ALBION HIGHLAND PARK

PROJECT ID  
19-09-093

**LOCATION**

Highland Park, Illinois

**ARCHITECT**

Clark Construction

**SERIES**

G2 Folding Glass Wall System

**GLAZING**

¼" Clear Tempered Monolithic

**FINISH**

AAMA-611-12 Clear Anodized

**GLASS SQUARE FOOTAGE**

154 sq. ft

**NUMBER OF PANELS**

4

# FOLDING GLASS WALL SYSTEMS



## The most versatile doors in the industry

Folding Glass Walls, (Bi-fold Doors or Accordion-Style Doors), have been a signature product of Solar Innovations® since 2004. Designed and manufactured in the USA, our Folding Glass Walls are custom manufactured to fit virtually any rough opening and be configured to operate dozens of ways, with any number of panels. These operable walls offer a flexible and customizable opening that can be incorporated into any residential or commercial project including covered patios, living rooms, decks, enclosed porches, and pool houses. Swing doors can be integrated into the system, allowing the user to easily enter or exit a room without opening all of the panels. The endless possibilities — including custom color finishes, custom hardware, and decorative grids — coupled with the highest performance in the industry, make our Folding Glass Walls the perfect solution for any application.

## FEATURES

### OPERATION:

- Top or bottom load
- In-fold or out-fold operation
- Endless configurations possible
- Swing door integration
- No corner post setup available
- Center pivot option

### FRAMING:

- Aluminum, wood or vinyl
- Frame widths: 3 $\frac{3}{8}$ ", 2 $\frac{7}{16}$ ", and 1 $\frac{5}{8}$ " (G3 only)
- Up to 3' x 15' panels and larger
- Standard, high performance and ADA compliant sills
- Matching sidelites and transoms
- LEED friendly system including recycled content

### HARDWARE:

- Multiple handle styles and finishes
- Panic hardware and closer options available
- Roller assemblies designed to minimize and simplify panel maintenance
- Zero-maintenance extruded aluminum hinges with stainless steel pins
- Custom manufactured pulls and locks
- Closers (overhead)

### GLAZING:

- Designed to accommodate almost any glazing infill including glass, acrylic, polycarbonate and solid panels, from  $\frac{3}{16}$ " to 1 $\frac{9}{16}$ "

### PERFORMANCE:

- Air, water, structural, impact, acoustical and thermally tested options

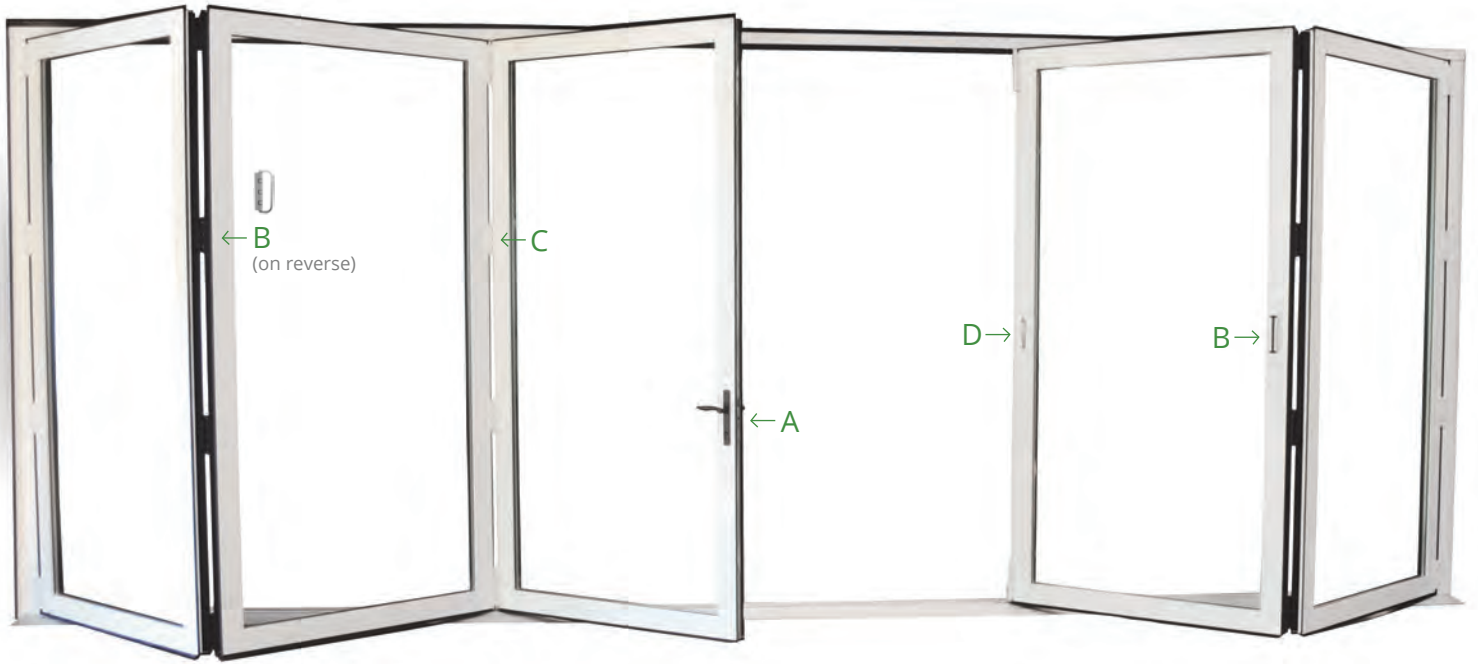
### FINISHES:

- Standard finishes:
  - AAMA 2603: Black, White, Sandstone, Natural Clay, Bronze and Hartford Green
  - AAMA 611 Class I Anodized: Clear, Dark Bronze
- Designer finishes:
  - AAMA 2604: Black, White, Sandstone, Natural Clay, Bronze and Hartford Green
- Custom finishes:
  - Powder coat finish: AAMA 2604, 2605
  - Fluoropolymer (50% or 70%): AAMA 2604, 2605
  - Faux wood
  - Dual finish — interior/exterior applications

### OPTIONS:

- Wood veneer or metal cladding
- Framed and cartridge retractable screen options
- Manufacturer-installed sill drain tubes, if required
- Mullions, decorative muntins, simulated divided lites (SDLs), interior and exterior grids

# HARDWARE



## A: Handles

### SOLID BRASS — COASTAL APPLICATIONS\*



Toronto  
Standard

A G  
C H  
E I



Atlanta

G H



Dallas

A I  
G I  
H



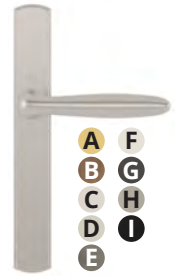
München

A G  
B H  
C I  
E J



Ródos

B G  
C H  
E I



Verona

A F  
B G  
C H  
D I  
E

#### Finish Options

**A** Polished Brass

**B** Antique Brass

**C** Brushed Chrome\*

**D** Polished Chrome\*

**E** Oil Rubbed Brass

**F** White

**G** Matte Black

**H** Satin Nickel\*

**I** Rustic Umber

**J** Dark Bronze Metallic

\*Coastal applications are only available with select finish options.

### ALUMINUM — INLAND APPLICATIONS



Frankfurt



London

Pure White

Pure Silver

### ZAMAC/BRASS — INLAND APPLICATIONS (G2 ONLY)



Allegro



Torino



Venice

Satin Chrome

Polished Chrome\*

Polished Brass

Antique Brass

Oil Rubbed Bronze

Dark Bronze PC

Black PC

White PC

Satin Nickel

Dark Bronze

Pewter

\* Not available for Torino

Additional handle styles, colors, and back plate options available upon request. Non-standard handle options may increase lead times and/or cost. All handles available with thumbturn interior lock with lever exterior, lever interior and exterior, and thumbturn interior lock with keyed exterior options.

## B: Pull Hardware



**Recessed Pull**  
(In-Fold)

**Extruded Hinge Pull**  
(Out-Fold)

**Low Profile Handle**

## C: Hinges



**Semi-Concealed Hinge**

**Surface Mount Hinge**

## D: Locks



**Two-Point Locking Handle**

**Two-Point Keyed Locking Handle\***

**Thumb Turn Lock**

**Standard Flush Bolt**

\* Additional cost

### Pull Hardware, Hinge, and Lock Finish Options



Custom color options are also available with engineering approval.

## Closer, Catch, & Limiter



**D Series 7414 Door Closer**



**D Series TS93 Door Closer**



**C Series PR82 Door Closer**



**Adjustable Door Catch**



**Door Limiter**

**Door Closer Finishes:** Aluminum Painted, Bronze, and Black

**Adjustable Door Catch Finishes:** Clear Anodized, Dark Bronze Anodized, White Painted, and Bronze Painted.

## Commercial Panic Hardware Options



**Exterior Entry Trim Square**

**Mortise Panic**

**Impact Panic**



**Push/Pull**

**Push Only**

Wire Pulls

## Passive Hardware Sets



**Square Commercial**

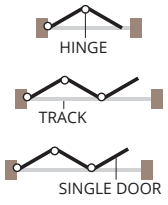
**Toronto**

Concealed vertical rod available.

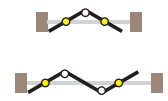
**Please Note:** All hardware is subject to vendor availability. Custom finishes may be available upon request at additional lead time and/or cost. Solar Innovations® reserves the right to discontinue any hardware option at any time. Please be sure to visit [solarinnovations.com](http://solarinnovations.com) for additional product information.

# CONFIGURATIONS/OPERATION

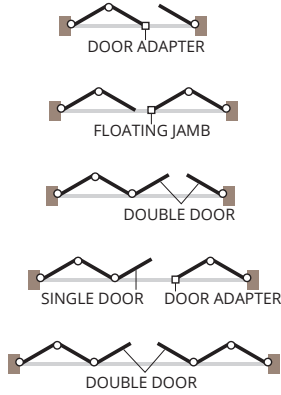
## Single Direction (All Wall)



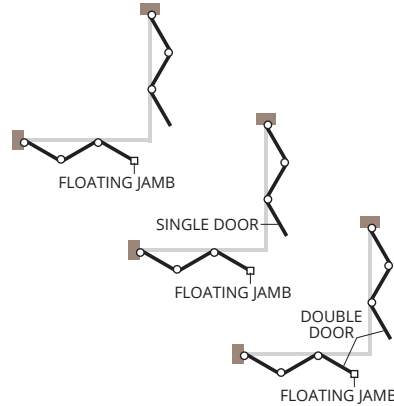
## Center Pivot



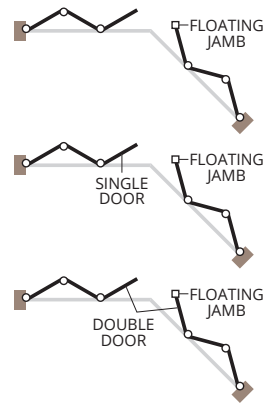
## Split Wall



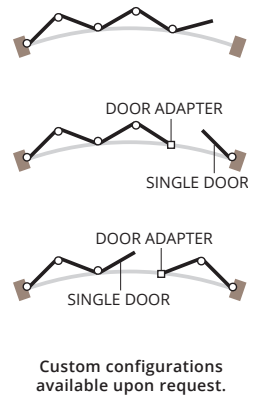
## 90 Degree No Post



## 135 Degree No Post

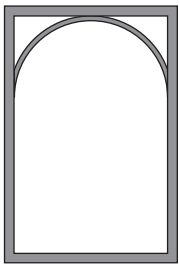


## Segmented Radius

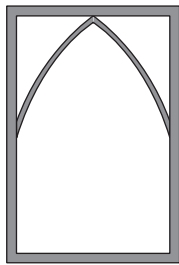


Custom configurations available upon request.

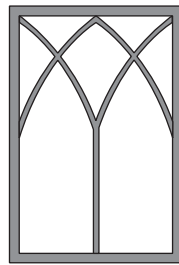
# GRID OPTIONS



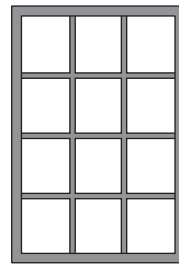
Arched Grid



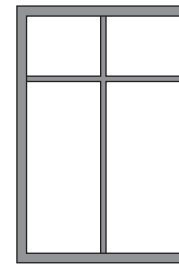
Gothic Grid



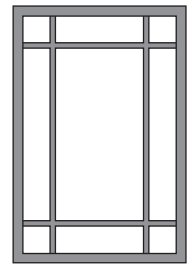
Double Gothic Grid



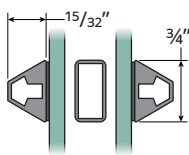
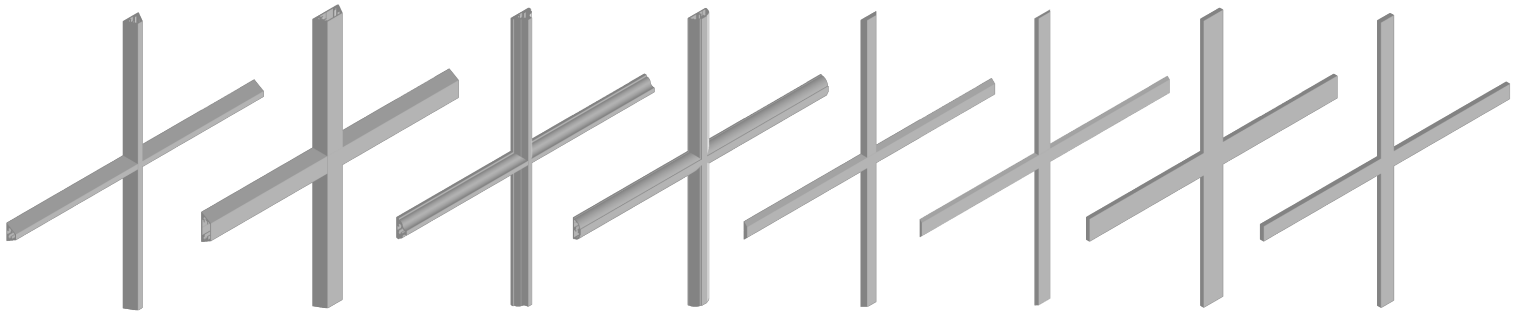
Traditional Grid



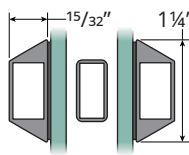
Cross Grid



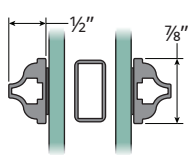
English Grid



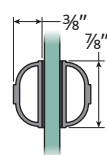
Traditional with SDL



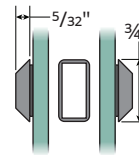
Wide Traditional with SDL



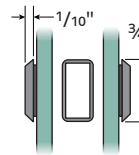
Ogee with SDL



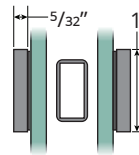
Colonial on Monolithic Glass



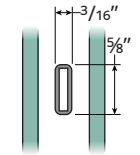
Low Profile with SDL



Thin Low Profile with SDL



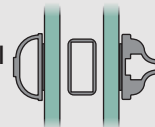
Simulated Steel with SDL



Interior Muntin in Insulated Glass

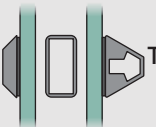
Like-sized grids can be mixed and matched, for example:

Colonial Interior



Ogee Exterior

Low Profile Interior



Traditional Exterior

# FINISH OPTIONS

**Paint STANDARD** - AAMA 2603 (5 year warranty). Finishes available while in stock.



**Anodized** Additional cost



**Paint DESIGNER** - AAMA 2604 (5 year warranty), AAMA 2605 (10 year; up to 20 year warranty). Scratch & fade resistant; contains no VOCs.\*



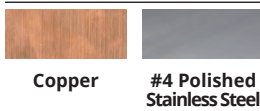
**Powder Coat Solids** AAMA 2605 (10 year; up to 20 year warranty). Scratch & fade resistant; contains no VOCs.\*†



**Powder Coat Metallics** AAMA 2604, AAMA 2605\*



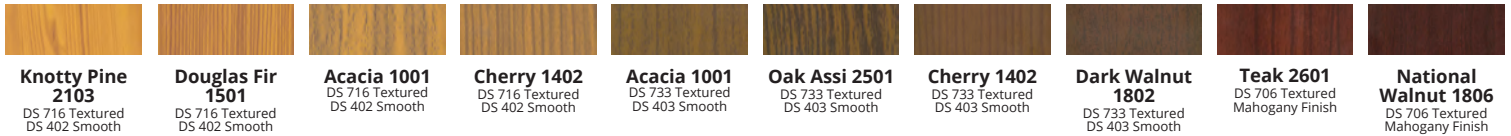
**Metal Clad STANDARD\***



**Metal Clad DESIGNER\***



**Decoral Finishes (Powder Coat)\***



**Wood Veneering (Unfinished) STANDARD\***



**Wood Veneering (Unfinished) DESIGNER\***



**NOTE: WOOD VENEERING IS FOR INTERIOR APPLICATIONS ONLY. AVAILABLE ON A LIMITED BASIS DUE TO VENDOR SUPPLY.**

**Wood/Glulam STANDARD\***



**Wood/Glulam DESIGNER\***



\*Adds one to three weeks to lead time. † Dependent on shelf life, some AAMA 2604 & 2605 finishes may be unavailable; Hartford Green is being phased out.

Note: Depending upon color selection, additional charges and increased lead times may apply. Extended warranties and service plans are available for an additional charge. Examples are shown as accurate as photography and printing processes allow. Final finish selection should be made from a physical sample; contact Solar Innovations® for samples. Product and finish options are subject to vendor availability. Solar Innovations® reserves the right to discontinue any option at any time without notice. Additional options, including custom color match, are available; contact Solar Innovations® for details. FSC options available.

To find out more about the features and options of our folding glass walls, visit our website at [solarinnovations.com/folding-glass-walls/](http://solarinnovations.com/folding-glass-walls/) or contact one of our sales designers at 800 618 0669.

# SILL COMPARISONS

Folding Glass Wall Sill Type	Application	Top Load	Bottom Load	Recessed	Surface Mount	ADA Compliant	Florida Impact Tested	Water Performance	Max. Panel Height	Max. Frame Width	Max. Header Deflection	
<b>G2 System</b>												
	<b>G2 Recessed with Ramps</b>	Interior or Exterior	Yes	Yes	Yes	No	Yes, with Sill Fill	Yes	Limited*	Varies	Varies	3/16"
	<b>G2 Recessed Flush</b>	Interior or Exterior	Yes	Yes	Yes	Yes	Yes, with Sill Fill	Yes	9psf	Varies	Varies	3/16"
	<b>G2 Recessed Standard</b>	Interior or Exterior	Yes	Yes	Yes	No	No	Yes	12psf Outfold 9psf Infold	Varies	Varies	3/16"
	<b>G2 Standard</b>	Interior or Exterior	Yes	Yes	No	Yes	No	Yes	12psf Outfold 9psf Infold	Varies	Varies	3/16"
<b>G3 System</b>												
	<b>G3 Recessed with Ramps</b>	Interior or Exterior	Yes	Yes	Yes	No	Yes, with Sill Fill	Yes	Limited*	Varies	Varies	3/16"
	<b>G3 Recessed Flush</b>	Interior or Exterior	Yes	Yes	Yes	Yes	Yes, with Sill Fill	Yes	9psf	Varies	Varies	3/16"
	<b>G3 Recessed Standard</b>	Interior or Exterior	Yes	Yes	Yes	No	No	Yes	12psf Outfold 9psf Infold	Varies	Varies	3/16"
	<b>G3 Standard</b>	Interior or Exterior	Yes	Yes	No	Yes	No	Yes	12psf Outfold 9psf Infold	Varies	Varies	3/16"
	<b>G3 Stepped with Ramps</b>	Interior or Exterior	Yes	Yes	Yes	No	Yes	No	Limited*	Varies	Varies	3/16"
<b>Both G2 &amp; G3 Systems</b>												
	<b>Recessed Flush Hat</b>	Interior or Exterior	Yes	No	Yes	No	Yes, with Sill Fill	No	Limited*	10' 6"	Varies	3/16"
	<b>ADA Recessed Flush Hat</b>	Interior or Exterior	Yes	No	Yes	No	Yes	No	Limited*	10'	Varies	3/16"
	<b>Surface Mount</b>	Interior or Exterior	Yes	No	No	Yes	No	No	Limited*	10' 6"	Varies	3/16"
	<b>ADA Surface Mount</b>	Interior or Exterior	Yes	No	No	Yes	Yes	No	Limited*	10' 6"	Varies	3/16"
	<b>Thermal ADA</b>	Interior or Exterior	Yes	No	No	Yes	Yes	No	Limited*	8'	16'	3/32"
	<b>Recessed Thermal ADA</b>	Interior or Exterior	Yes	No	Yes	No	Yes	No	Limited*	10'	Varies	1/4"

\*Limited air and water performance similar to a commercial door

# G2 FOLDING GLASS WALLS



## G2 Thermal System

G2 Aluminum Folding Glass Wall Systems are a great way to open your environment to the outdoors. The frame uses a thermal strut system that separates the interior metal from the exterior metal. By including a thermal break, the temperature transfer between the outdoors and indoors is minimized.



The frames are available in two vertical stile widths: narrow and standard. The widths can be combined over multiple units for a unique style or kept consistent throughout. This flexibility allows multiple sightline and bottom rail configurations that can be retrofitted to match an existing opening or accommodate specific structural requirements.

## G2 Nonthermal System

G2 Nonthermal Aluminum Folding Glass Wall Systems are ideal for mild climates and indoor uses. This system is popular for conference rooms, interior commercial entryways, and classrooms, as well as residential and commercial room dividers. Frames are available in two vertical stile widths: narrow and standard. These can be combined over multiple units for a unique style or kept consistent throughout.

### Panels

- Minimum panel size: 18" wide; smaller panels may be available upon request
- Panel size up to 3' x 10'; larger panel options may be available depending on application

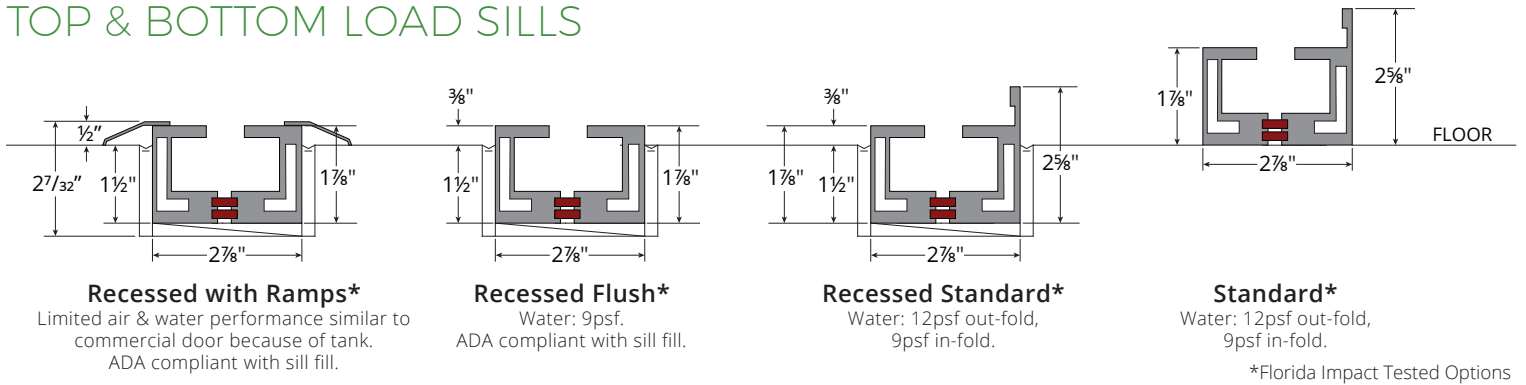
### Glazing

- Designed to accommodate almost any monolithic, insulated, laminated, decorative, polycarbonate, or solid panel infill from  $\frac{3}{16}$ " to  $1\frac{1}{4}$ "

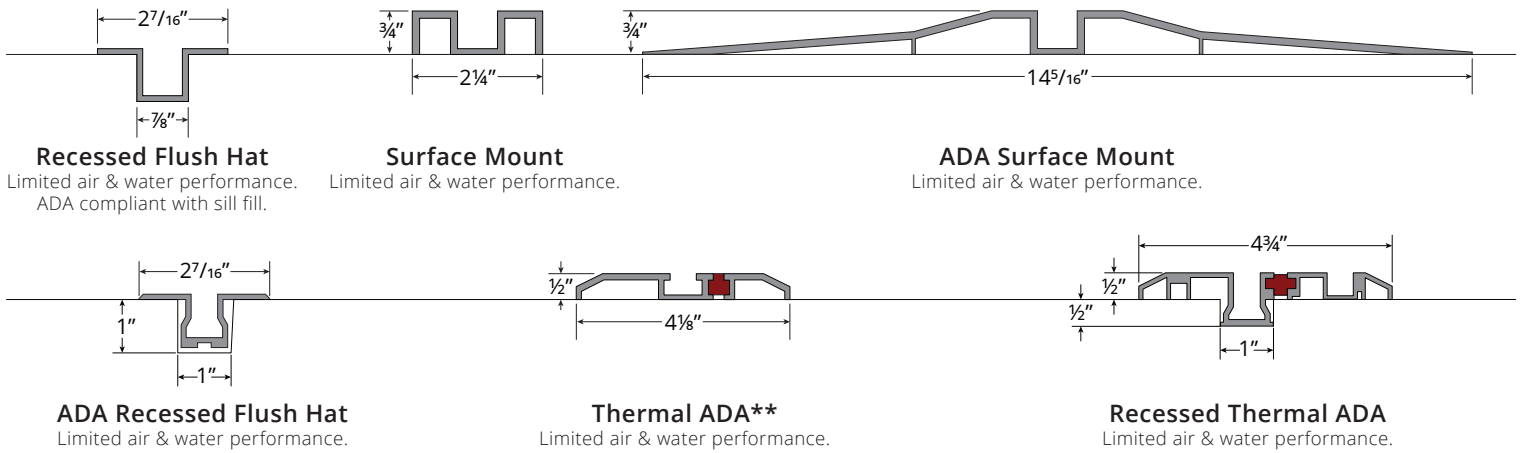
### Performance

- Water performance up to 12psf, depending on sill choice and configuration
- Structurally tested up to a design pressure of 80psf
- Higher design pressure ratings available with engineering approval
- Test results available upon request

## TOP & BOTTOM LOAD SILLS



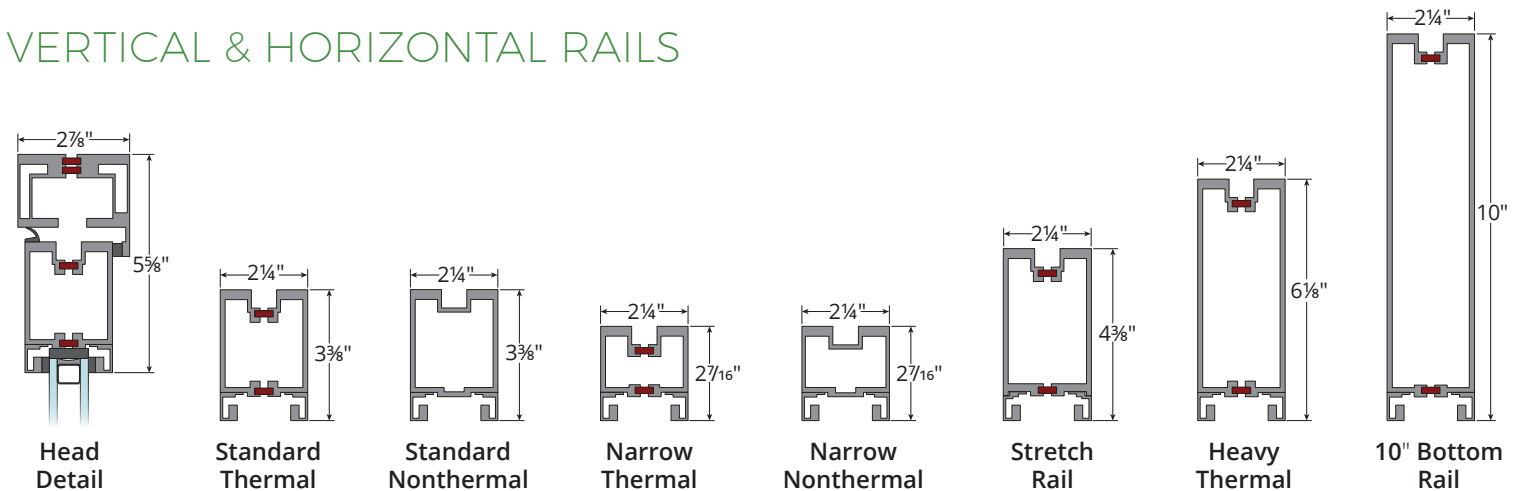
## TOP LOAD ONLY SILLS



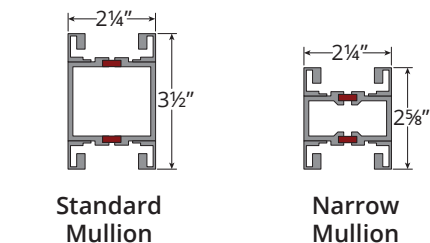
Note: Center Pivot Folding Glass Walls will get limited air and water performance.

\*\* 8' maximum panel height, 16' maximum frame width, 3/32" maximum allowable header deflection.

## VERTICAL & HORIZONTAL RAILS

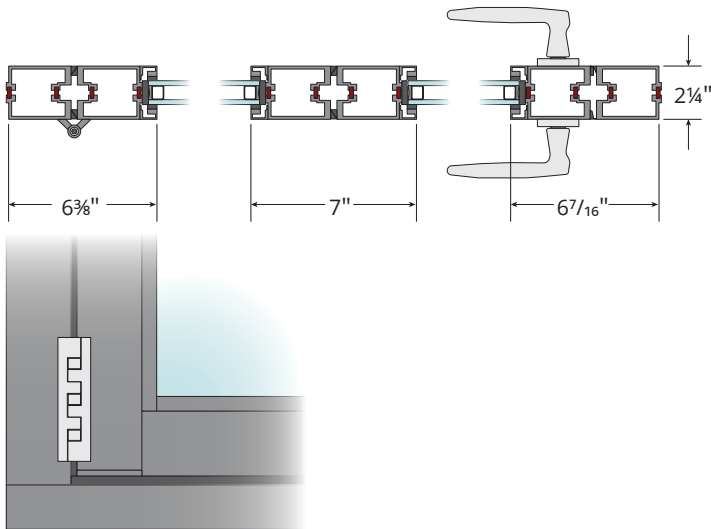


## MULLIONS (True Divided Lites)

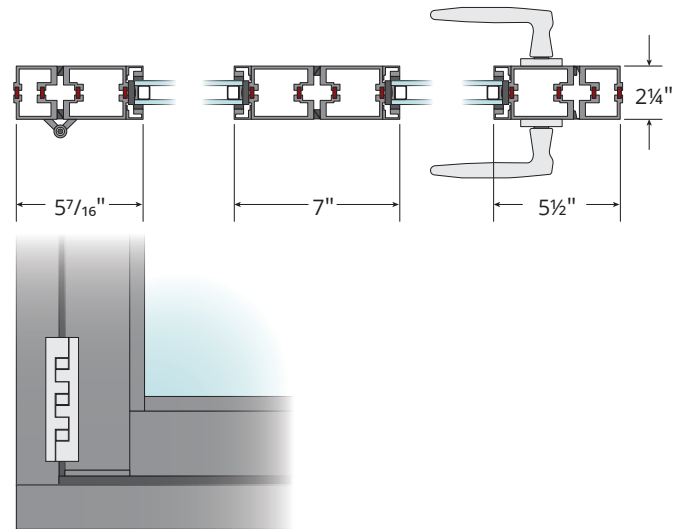


Please note: All mullions offered by Solar Innovations® include thermal break, regardless of the system.

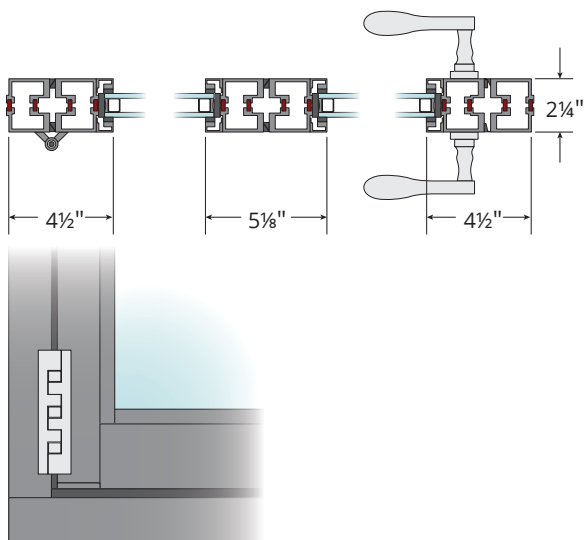
# JAMB DETAILS



Standard G2 Jamb & Frame



Narrow G2 Jamb & Standard G2 Frame

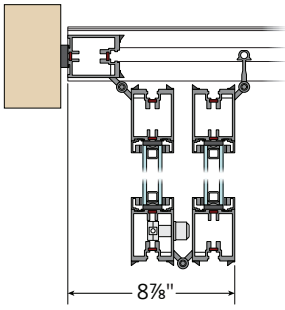


Narrow G2 Jamb & Frame

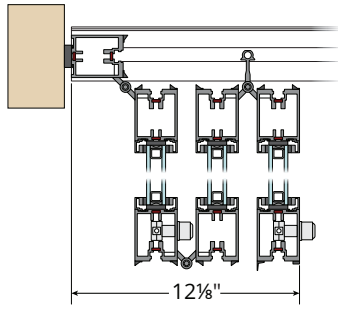
Top and bottom horizontals unable to utilize narrow framing. Options dependent upon desired size and engineering requirements.

# STACKED WALL DIMENSIONS

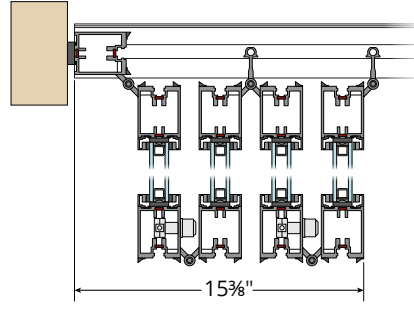
Standard Jamb. Subtract  $1\frac{5}{16}$ " for Narrow Jamb.



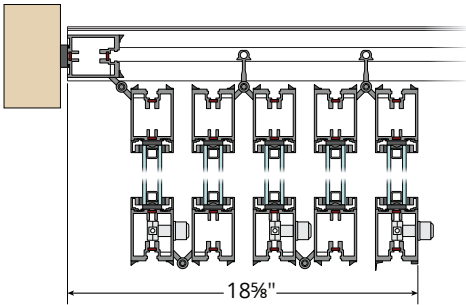
2 Panels



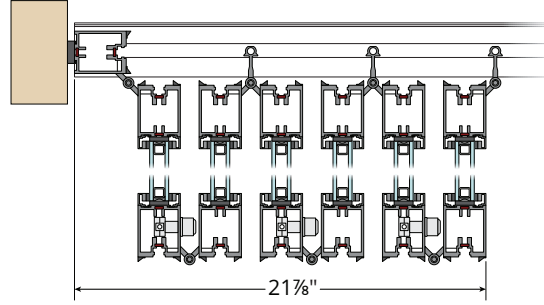
3 Panels



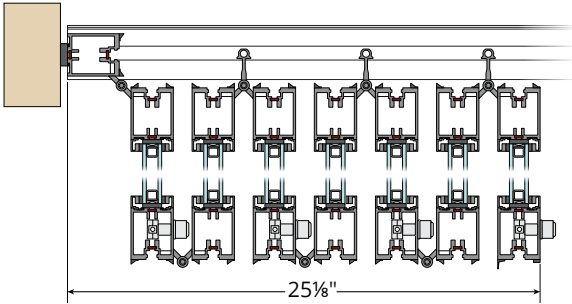
4 Panels



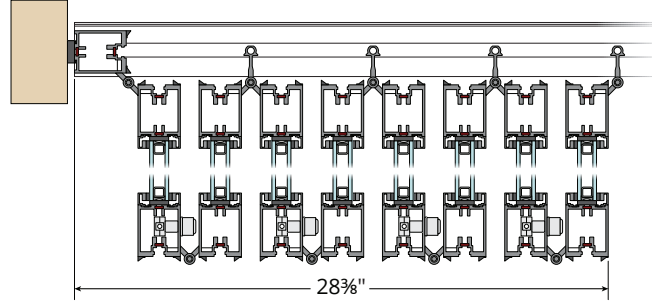
5 Panels



6 Panels



7 Panels



8 Panels

# G3 FOLDING GLASS WALLS



## G3 Thermal System

G3 Aluminum Folding Glass Wall Systems are designed for commercial and residential applications that require higher design pressures. This system has been designed to support larger glass sizes while maintaining the ease of operation as our G2 System. The G3 System offers exceptional air, water, structural, acoustical, and thermal performance using a thermal strut system that separates the interior metal from the exterior metal. By including this thermal break, the temperature transfer between the outdoors and indoors is minimized.

Frames are available in three vertical stile widths: standard, narrow, and xtra narrow. You can select a consistent vertical width or mix and match the three stile widths to create a truly unique design. This system was created with similar sightlines to the G2 Systems so that the two could be used together, if desired. The flexibility of both systems allows multiple sightline and bottom rail configurations that can be retrofitted to match an existing opening or accommodate specific structural requirements.

### Panels

- Minimum panel width: 24"; smaller panels may be available based upon request
- Panel size up to 3' x 15'; larger panel options may be available depending on application

### Glazing

- Designed to accommodate almost any monolithic, insulated, laminated, decorative, polycarbonate, or solid panel infill from ¼" to 1½"

### Performance

- Water performance up to 12psf, depending on sill choice and configuration
- Structural tested up to a design pressure of 100psf
- Higher water and structural performance available with engineering approval
- Test results available upon request

## G3 Nonthermal System

The G3 Nonthermal System is ideal for applications that do not require thermal performance, including mild climates and indoor uses — this system is popular for interior entryways and room dividers.

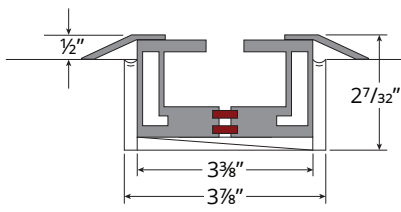
## G3 Marine Glazed System

Our G3 Extra Narrow Marine Glazed Folding Glass Wall System optimizes the view of the outdoors by minimizing the vertical stiles. It uses a patented design to combine vertical marine glazing with horizontal stop glazing in order to create a much narrower vertical frame than conventional stop glazed doors. The G3 Extra Narrow Marine Glazed System is the narrowest four-sided thermally broken glazed bi-fold door in the market.



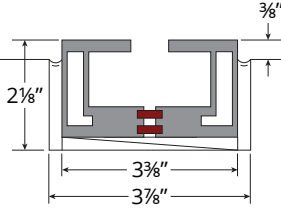
Performance does not apply to G3 Narrow or Marine Glazed System.

## TOP & BOTTOM LOAD SILLS



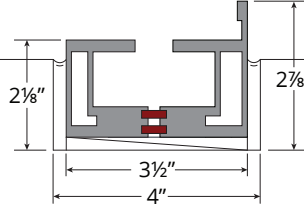
### Recessed with Ramps\*

Limited air & water performance similar to commercial door because of tank.  
ADA compliant with sill fill.



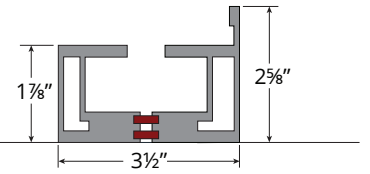
### Recessed Flush\*

Water: 9psf.  
ADA compliant with sill fill.



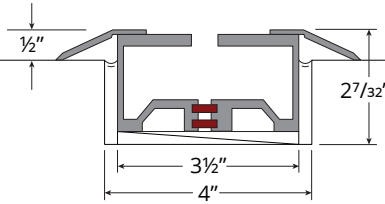
### Recessed Standard\*

Water: 12psf out-fold,  
9psf in-fold.



### Standard\*

Water: 12psf out-fold,  
9psf in-fold.

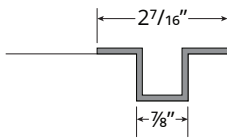


### G3 Stepped

Limited air & water performance similar to commercial door because of tank.  
ADA compliant.

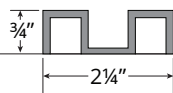
\*Florida Impact Tested Options

## TOP LOAD ONLY SILLS



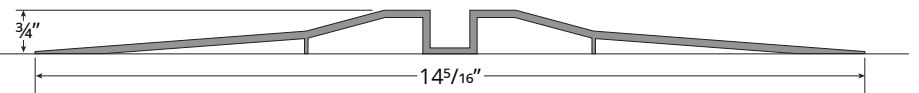
### Recessed Flush Hat

Limited air & water performance.  
ADA compliant with sill fill.



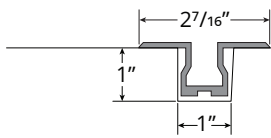
### Surface Mount

Limited air & water performance.



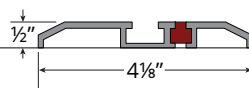
### ADA Surface Mount

Limited air & water performance.



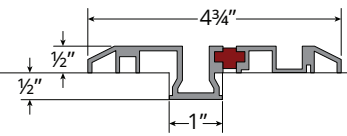
### ADA Recessed Flush Hat

Limited air & water performance.



### Thermal ADA\*\*

Limited air & water performance.



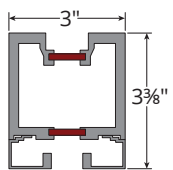
### Recessed Thermal ADA

Limited air & water performance.

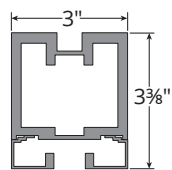
Note: Center Pivot Folding Glass Walls will get limited air and water performance.

\*\* 8' maximum panel height, 16' maximum frame width, 3/32" maximum allowable header deflection.

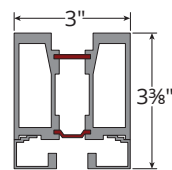
## VERTICAL & HORIZONTAL RAILS



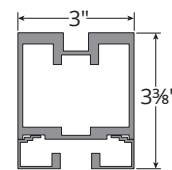
Standard Thermal



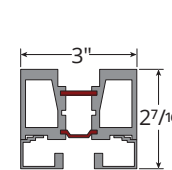
Standard Nonthermal



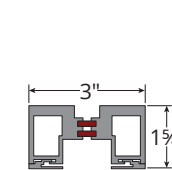
LT Thermal



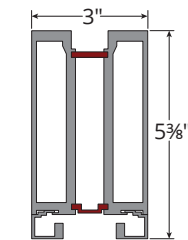
LT Nonthermal



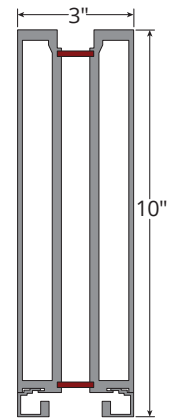
LT Narrow Thermal



Extra Narrow Thermal  
(Vertical)

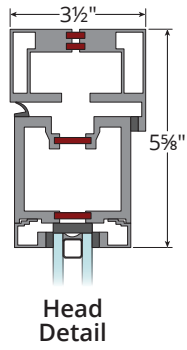


Stretch Rail



10" Bottom Rail

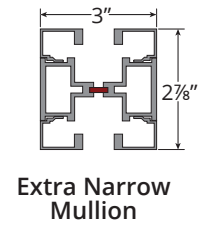
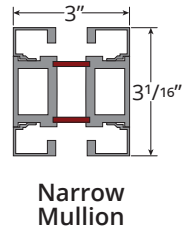
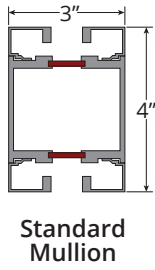
# HEAD



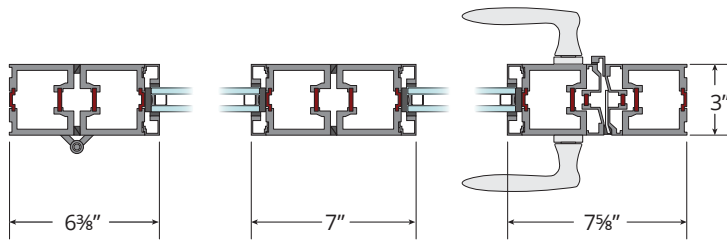
# MULLIONS

(True Divided Lites)

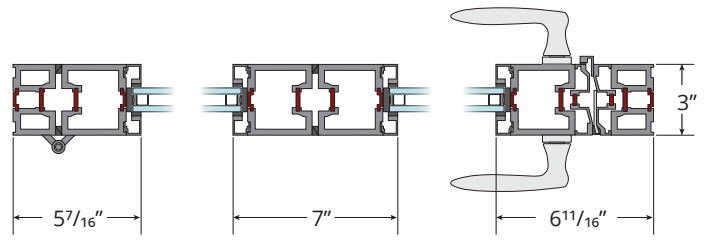
Please note: All mullions offered by Solar Innovations® include thermal break, regardless of the system.



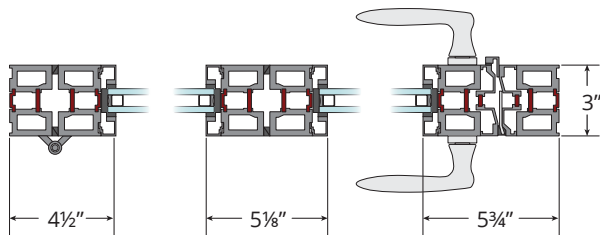
# JAMB DETAILS



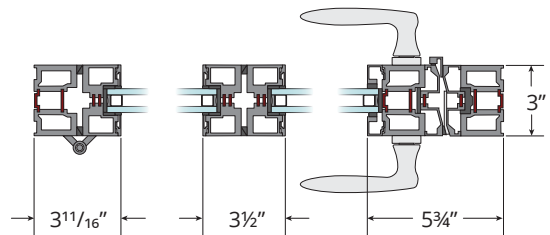
Standard G3 Jamb & Frame



Narrow G3 Jamb & Standard G3 Frame



Narrow G3 Jamb & Frame

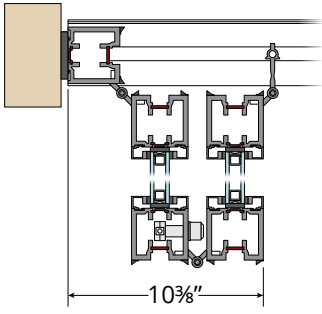


Extra Narrow G3 Jamb & Frame

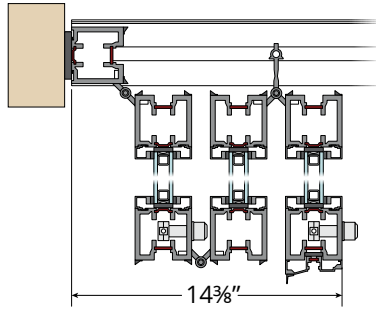
Top and bottom horizontals unable to utilize narrow or xtra narrow framing. Options dependent upon desired size and engineering requirements.

# STACKED WALL DIMENSIONS

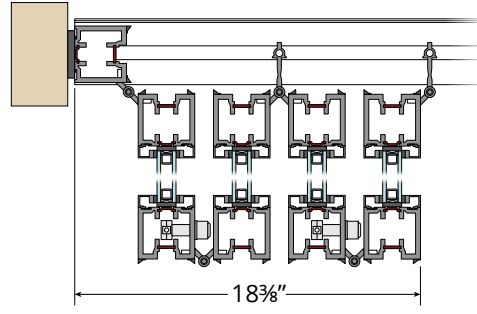
Standard Jamb. Subtract  $\frac{15}{16}$ " for Narrow Jamb.



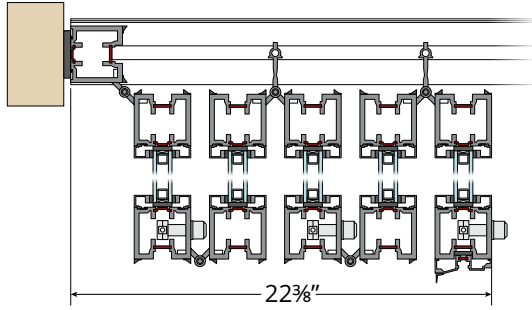
2 Panels



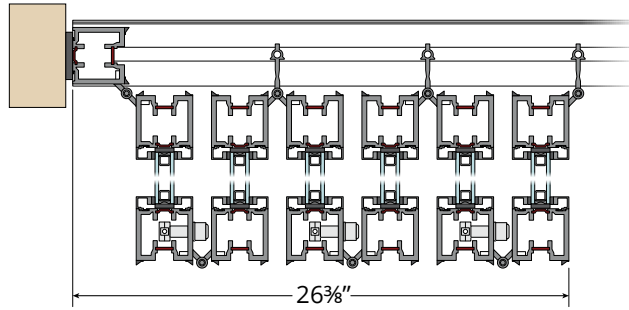
3 Panels



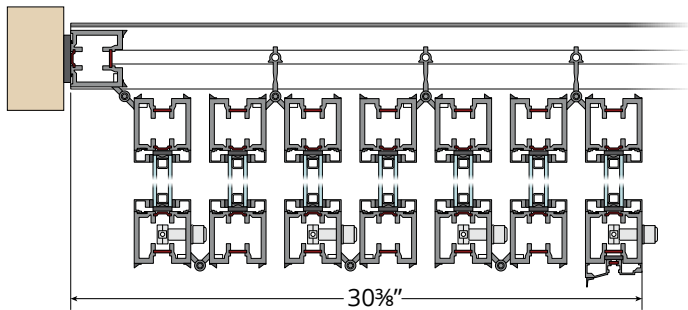
4 Panels



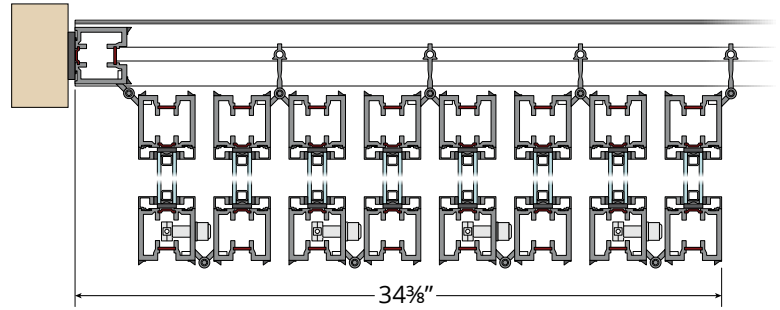
5 Panels



6 Panels



7 Panels



8 Panels



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## **Application Cover Page**

**Docket No.: 02-18-23**

**Permit No.: BBS23-000003**

**Applicant Name: Tommy Chesnes, Onyx Creative**

**Project Address: 15322 Detroit Ave.**

**Project Name: Crumb & Spigot**

**Project: Applicant proposes façade renovation and outdoor dining.**



SOUTH ELEVATION  
FRONT



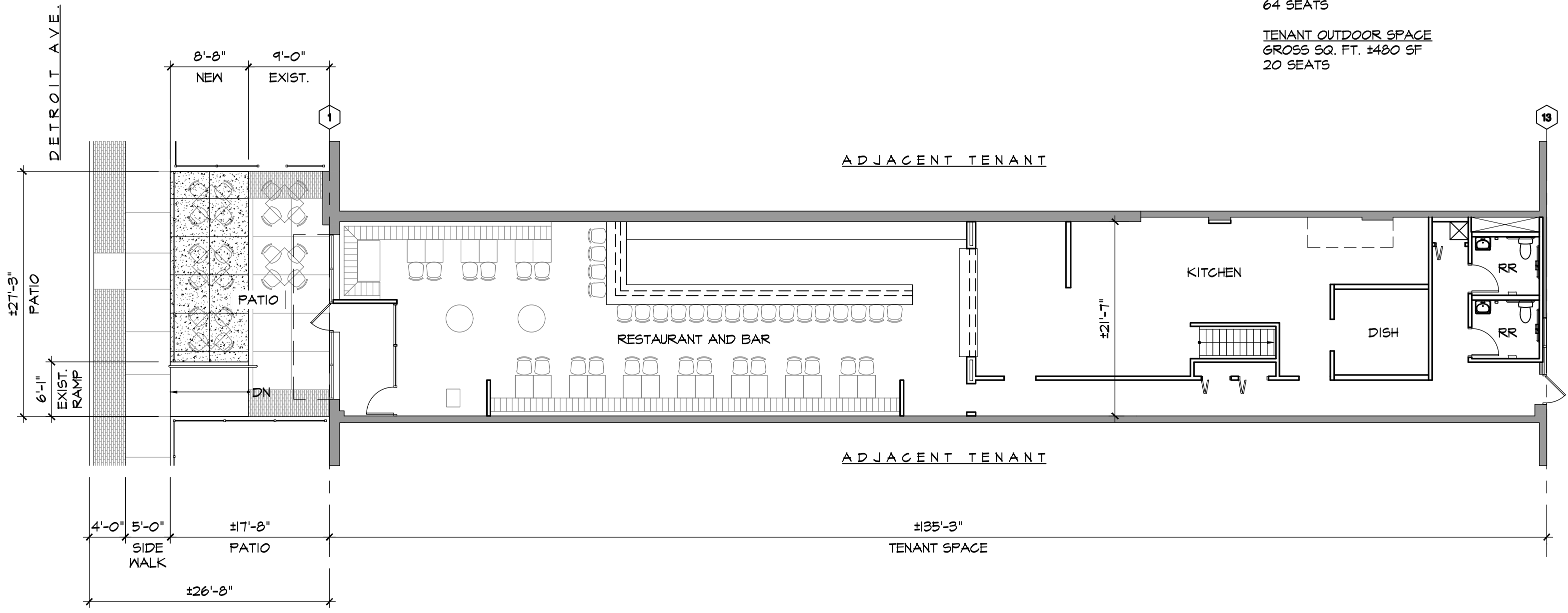
NORTH ELEVATION  
REAR



SOUTH ELEVATION  
FRONT



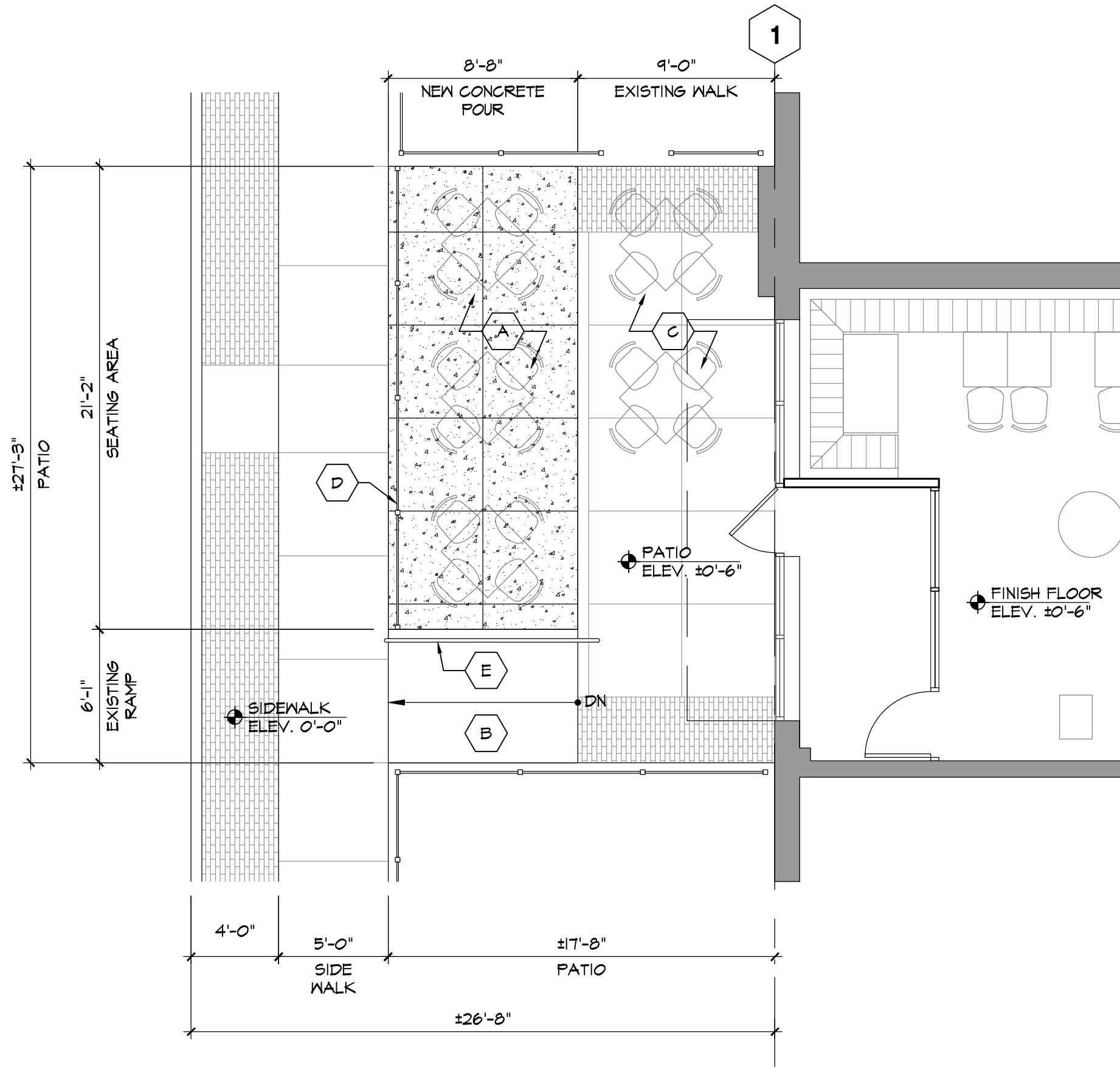
Google Earth



TENANT INTERIOR SPACE  
 GROSS SQ. FT. ±3,000 SF  
 64 SEATS

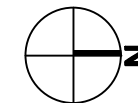
TENANT OUTDOOR SPACE  
 GROSS SQ. FT. ±480 SF  
 20 SEATS

 **FLOOR PLAN**  
 3/32" = 1'-0"



**KEYNOTES**

- A** NEW CONCRETE PATIO POUR OVER EXISTING CONCRETE. SLOPE AWAY FROM BUILDING, MAX SLOPE 2%. MAKE FLUSH WITH EXISTING UPPER PATIO. ALIGN JOINTS WITH EXISTING SIDEWALK JOINTS ALONG STOREFRONT.
- B** EXISTING ADA RAMP TO REMAIN
- C** EXISTING CONCRETE WALK TO REMAIN
- D** NEW ALUMINUM POWDER COATED FENCE. 36" TALL FENCE, BLACK, STYLE TO MATCH ADJACENT TENANT TO EAST, "TAPSTER"
- E** EXISTING ADA RAMP RAILING TO REMAIN



**PATIO PLAN**  
3/16"=1'-0"





TUNA  
GRAND LOUNGE



CRUMB & SPIGOT

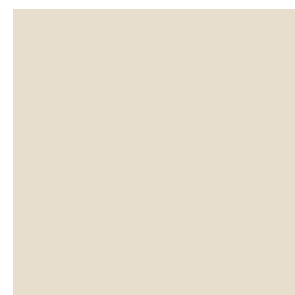




**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



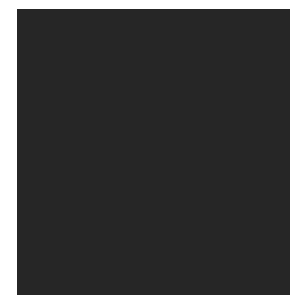
EIFS-1  
Sherwin Williams  
SW 9180 Aged White



EIFS-2  
Sherwin Williams  
SW 7729 Edamame



AWN-1  
Awning Fabric on  
existing frame  
Sunbrella  
Charcoal



PD-1  
Mtl Fence Powder Coat  
Black  
36" tall fence to match  
adjacent "Tapster"

**NOTE:**  
Medallion and text signage by  
sign vendor under separate  
application. Shown for elevation  
design intent only.



SOUTH ELEVATION  
FRONT



NORTH ELEVATION  
REAR



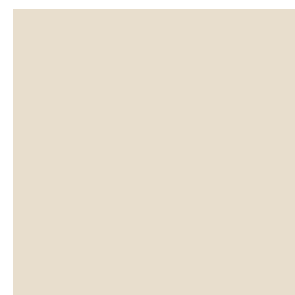
SOUTH ELEVATION  
FRONT



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



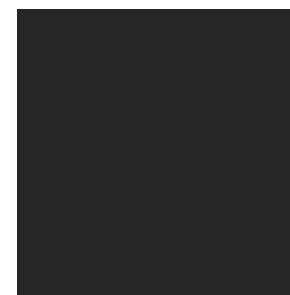
EIFS-1  
Sherwin Williams  
SW 9180 Aged White



EIFS-2  
Sherwin Williams  
SW 7729 Edamame

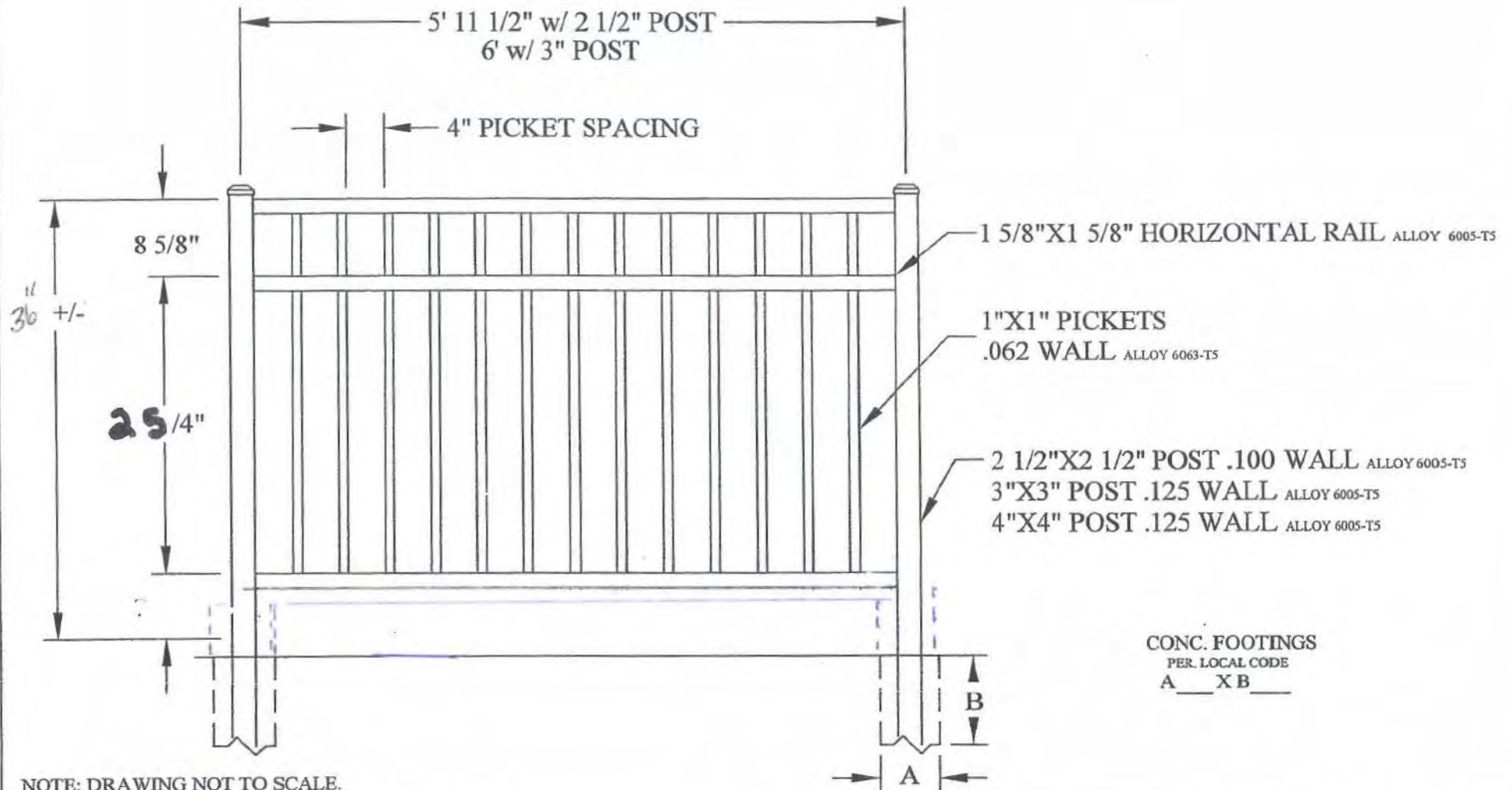


AWN-1  
Awning Fabric on  
existing frame  
Sunbrella  
Charcoal



PD-1  
Mtl Fence Powder Coat  
Black  
36" tall fence to match  
adjacent "Tapster"

**NOTE:**  
Medallion and text signage by  
sign vendor under separate  
application. Shown for elevation  
design intent only.



NOTE: DRAWING NOT TO SCALE.

**EFF-20**  
 INDUSTRIAL

COLOR

PROJECT

OWNER/CONTRACTOR

DATE





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## **Application Cover Page**

**Docket No.: 02-19-23**

**Permit No.: BBS23-000004**

**Applicant Name: Jeff Clark, Easy Sign Group**

**Project Address: 15322 Detroit Ave.**

**Project Name: Crumb & Spigot**

**Project: Applicant proposes wall signage at the front and rear entrances.**

PLAN DRAWING B-MS0063 CRUMB & SPIGOT LAKEWOOD, SOUTH ELEVATION



Backer board of 1/2" MDO

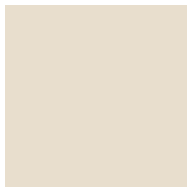
1" ogee molding

10" x 1/2" flat cut acrylic-matte black stud-mounted letters with 1/2" spacers

Dimensional carved faux-wood applied to backer panel

Background green wall painted by others

COLORS



EIFS-1  
Sherwin Williams  
SW 9180 Aged White



EIFS-2  
Sherwin Williams  
SW 7729 Edamame



IMPOSED DRAWINGS ARE NOT TO EXACT SCALE AND ARE PROVIDED FOR REPRESENTATIONAL PURPOSES ONLY.



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easysigngroup.com

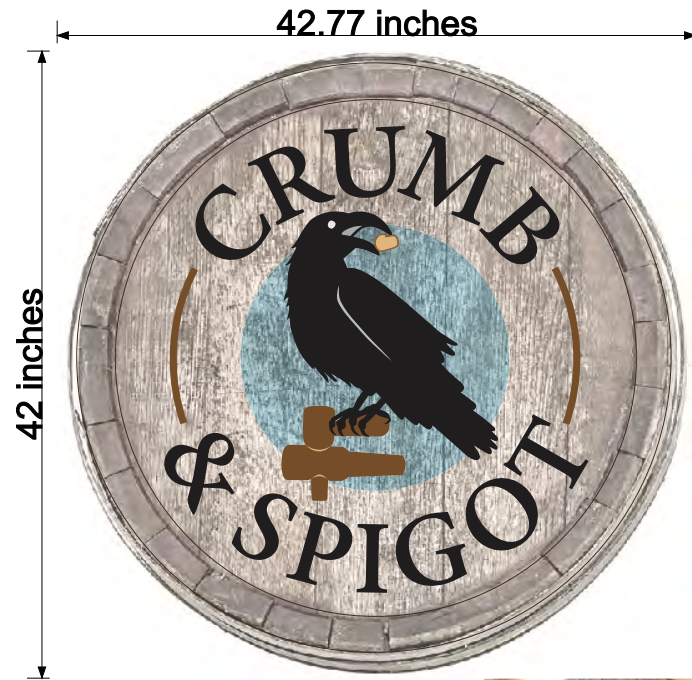
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Project # B-MS0063  
Date 1.18.23  
Sales Rep MARY ANN  
Designer JMARY ANN

**CRUMB & SPIGOT**  
15233 Detroit  
Lakewood, OH

PLAN DRAWING B-MS0064 CRUMB & SPIGOT LAKEWOOD, NORTH ELEVATION

Dimensional carved HDU faux-wood sign installed with cleat mounting



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A VISUAL FOR EVERY VISION

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Date 1.18.23  
Sales Rep MARY ANN  
Designer JMARY ANN

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