

- Deny
- Defer

Payto Architects
1220 W. 6th Street, Suite 405
Cleveland, Ohio 44113

Applicant requests modifications to the approval for an addition to the north side of an existing home that was granted at the September 14, 2020 meeting. (Page 22)

**6. Docket No. 01-02-21 C 17806-08 Detroit Avenue
Coffee Consortium**

- Approve
- Deny
- Defer

Adil Altaei
EA Construction Inc
15518 Lanning Avenue
Lakewood, Ohio 44107

Applicant requests modifications to the approval of storefront window replacement that was granted at the January 14, 2021 meeting. (Page 29)

**OLD BUSINESS
ARCHITECTURAL BOARD OF REVIEW**

7. Docket No. 01-05-21 R 17810 Lake Avenue

- Approve
- Deny
- Defer

Dimitrios Gountis
17810 Lake Avenue
Lakewood, Ohio 44107

Applicant proposes the addition of a new enclosed front entry porch, replace existing the front door with windows to match the existing sides and rear parlor windows. (Page 34)

**NEW BUSINESS
ARCHITECTURAL BOARD OF REVIEW**

8. Docket No. 02-08-21 R 1210 West Clifton Boulevard

- Approve
- Deny
- Defer

Laura Dezort
1210 West Clifton Boulevard
Lakewood, Ohio 44107

Applicant proposes design changes to a garage that was approved by the Board of Zoning Appeals at its 2020 meeting. (Page 54)

**9. Docket No. 02-09-21A C 1560 W. 117th Street
KFC**

- Approve
- Deny
- Defer

Mark D. McGluggage, AIA, CCS
Architect
1525 W. Douglas Avenue
Wichita, KS 67211

Applicant proposes an exterior remodel of the existing KFC store. (Page 60)

SIGN REVIEW

10. **Docket No. 02-09-21S**

**1560 W. 117th Street
KFC**

- Approve
- Deny
- Defer

Mark D. McGluggage, AIA, CCS
Architect
1525 W. Douglas Avenue
Wichita, KS 67211

Applicant proposes revised signage for an existing business. (Page 107)

ARCHITECTURAL BOARD OF REVIEW

11. **Docket No. 02-10-21A**

**14203 Madison Avenue
Primoz Pizza**

- Approve
- Deny
- Defer

Aldo Dure
BNext Awnings & Graphics Inc.
5109 Clark Avenue
Cleveland, Ohio 44102

Applicant proposes the installation of new awnings. (Page 121)

SIGN REVIEW

12. **Docket No. 02-10-21S**

**14203 Madison Avenue
Primoz Pizza**

- Approve
- Deny
- Defer

Aldo Dure
BNext Awnings & Graphics Inc.
5109 Clark Avenue
Cleveland, Ohio 44102

Applicant proposes new signage. (Page 126)

ARCHITECTURAL BOARD OF REVIEW

13. **Docket No. 02-11-21A**

**C 1520 W. 117th Street
Dunkin'**

- Approve
- Deny
- Defer

Heidi DeMark
Phillips/Sekanick Architects
142 East Market
Warren, Ohio 44481

Applicant proposes site upgrades to an existing business. (Page 131)

18. **Docket No. 02-13-21**

**17801 Detroit Avenue
Beck Center for the Arts**

- Approve
- Deny
- Defer

Larry Goodpaster
Beck Center for the Arts
17801 Detroit Avenue
Lakewood, Ohio 44107

Applicant proposes a monument sign for Capital Campaign Fundraising. (Page 179)

ADJOURN



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 06-48-19

Permit No.: BBS19-000021

Applicant Name: Jerome Solove, Jerome Solove Development Inc.

Project Address: 13701/13901 Detroit Ave. & 1406 Wyandotte Ave.

Project Name: The View on Detroit East (VODE)

Proposal: Applicant proposes to build a mixed-use structure with parking to be evaluated under C3 zoning; ABR review under Chapter 1325.



The View on Detroit East

LAKWOOD, OH

MBC Job No. 21014-11

MIXED USE COMMUNITY
CONCEPTUAL DESIGN


02.11.2021



CONTEXT MAP
Not to Scale




GIS PARCEL MAP
Not to Scale





Site Plan
Not to Scale





December 28, 2020

Mr. Alex Solove
Jerome Solove Development, Inc.
470 Old Worthington Road
Suite 200
Westerville, Ohio 43082

Re: **The View on Detroit East
Lakewood, Ohio
Trip Generation Analysis**

Dear Mr. Solove:

TMS Engineers, Inc. has performed the following trip generation analysis for The View on Detroit East, a proposed residential development in the City of Lakewood, Cuyahoga County, Ohio. The development site is located along the south side of Detroit Avenue between Bunts Road to the west and Wyandotte Avenue to the east (see **Location Map, Figure 1**).

The purpose of the trip generation analysis is to estimate the traffic that will be generated by the proposed residential development. The proposed site plan for The View on Detroit East development can be seen in **Figure 2**.

The following are the results of our trip generation analysis.

TRIP GENERATION

Calculating future total driveway trips requires an estimate of the traffic generated by the proposed development. The most widely accepted method of determining the amount of traffic that the proposed development will generate is to compare the proposed land use with existing facilities of the same use. The Institute of Transportation Engineers (ITE) has prepared a manual titled "**Trip Generation Manual**", which is a compilation of similar traffic generation studies to aid in making such a comparison. The most recent update of this manual is the 10th edition and was utilized for this analysis.

The proposed development is expected to consist of the following land use:

- **120 Residential Units**

Mr. Alex Solove
December 28, 2020
Page 2

The following table details the development land use from the site plan (**Figure 2**) and the corresponding ITE land use that will be used to forecast the site generated traffic volumes for the expected conditions:

ITE LAND USE CODE				
SITE PLAN DESCRIPTION	SIZE	LAND USE	ITE CODE	ITE DESCRIPTION
Residential Units	120 Units	Residential	Z21	Multifamily Housing (Mid-Rise)

PROPOSED TRIP GENERATION CALCULATIONS

Trip generation calculations were performed utilizing data contained in the **Trip Generation Manual** and the methods outlined in the (ITE) **Trip Generation Handbook**.

Based on the previously discussed trip generation analysis procedures, the table below shows the estimated site generated traffic during the AM and PM peak hours for the proposed The View on Detroit East development considering the number of dwelling units. A copy of the trip generation worksheet can be found attached to this letter.

NEW TRIP GENERATION - THE VIEW ON DETROIT EAST						
ITE TRIP GENERATION			TRIP ENDS			
ITE CODE	DESCRIPTION	SIZE (Units)	Weekday AM Peak Hour Between 7-9 AM (Enter/Exit)	Weekday PM Peak Hour Between 4-6 PM (Enter/Exit)		
Z21	Multifamily Housing (Mid-Rise)	120	11	30	32	21
TOTAL NEW TRIPS			41		53	

CONCLUSIONS

The previous table shows that the proposed residential development is expected to generate a total of 41 trips in the AM peak hour and 53 trips in the PM peak hour.

Mr. Alex Solove
December 28, 2020
Page 3

It is our opinion that, when the anticipated changes in traffic volumes are at these levels, the traffic generated by the proposed residential development should not have an impact on the surrounding roadway network based on the following guidance:

- The Institute of Transportation Engineers (ITE) recommends that a Traffic Impact Study (TIS) be performed whenever an increase in trips in any peak hour is greater than 100 trips per hour. This recommendation is made because this is the point where a change in roadway capacity may be found and mitigation may or may not be needed.
- The Ohio Department of Transportation (ODOT) **State Highway Access Management Manual** states that a Traffic Analysis (TA) is required for any development that adds 60-200 trips and a Traffic Impact Study (TIS) is required for any development that adds more than 200 trips in an hour. ODOT does not require further analysis when the volume of trips added to the adjacent street is determined to be below 60 trips in an hour. Site generated traffic less than 60 trips in an hour is typically less than the daily variations in the existing volumes on the adjacent street network and should not be perceived by the traveling public.

Since the proposed development is expected to generate less than 60 trips during both the AM and PM peak hours, it is our professional opinion that the amount of site generated traffic will not have an impact on the adjacent roadway network nor require additional traffic analyses.

If you have any questions or need additional information, please do not hesitate to contact me.

Very truly yours,

TMS Engineers, Inc.

Andrew B. Comer, P.E.
Senior Traffic Engineer

attachments

Solove-Lakewood Tgen 122820.wpl

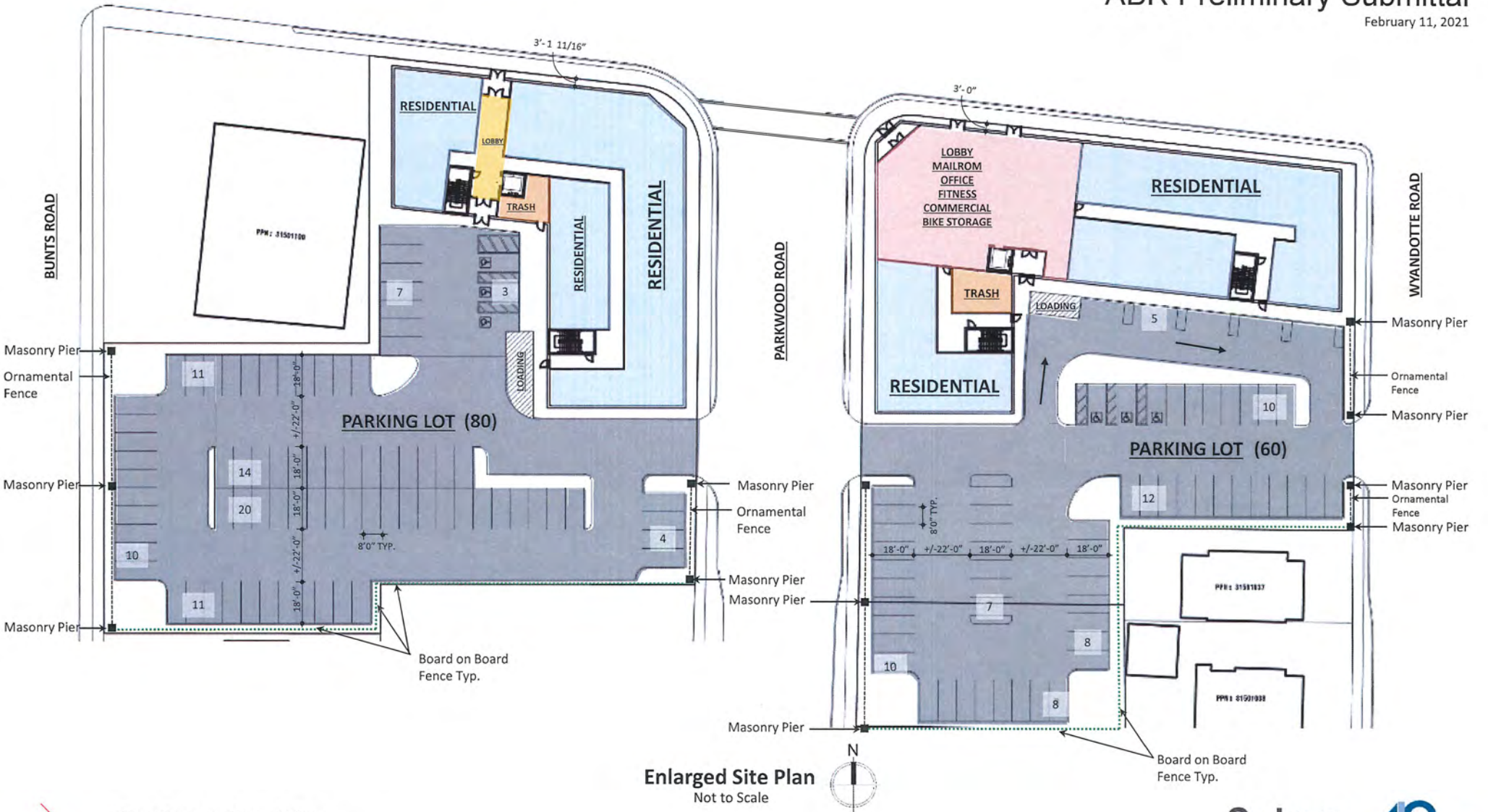
Trip Generation Analysis Letter

The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11



ABR Preliminary Submittal

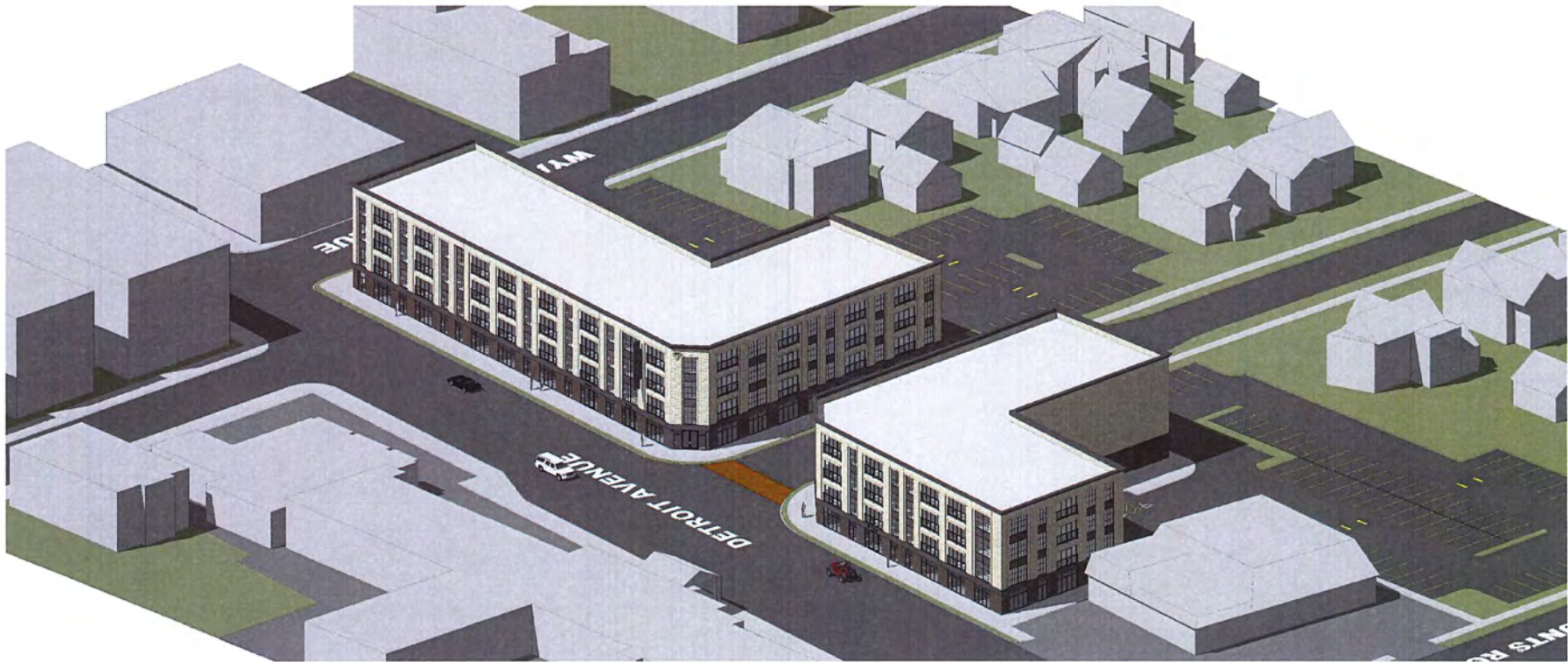
February 11, 2021



Enlarged Site Plan
Not to Scale

The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11

Solove **40**
Real Estate
CELEBRATING 40 YEARS
OF BUILDING EXCELLENCE
Marous Brothers Construction



Site Perspective
Not to Scale





Street View
Not to Scale



Street View
Not to Scale

The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11



WEST BUILDING ELEVATION



EAST BUILDING ELEVATION

BUILDING ELEVATIONS



PROJECT PROXIMITY AERIAL
Not to Scale





Approved JSDI Lakewood Design



Approved JSDI Lakewood Design



EXTERIOR LIGHTING OPTIONS



6' horizontal wood fence

HORIZONTAL WOOD FENCE ALONG BORDERS TO RESIDENTIAL LOTS



FENCE AND PIER CONCEPT



ORNAMENTAL FENCE ALONG STREETSCAPE

SITE PRECEDENT IMAGES

The View on Detroit East
 LAKEWOOD, OH
 MBC Job No. 21014-11

PAINTED ALUMINUM



Technical Information:

- System Depth** - 1 1/4" nominal
- Material** - Aluminum
- Material Thickness** - .080" standard (other gauges available)
- Panel Joints** - 1/2" nominal standard (1/8" - 1" available)
- Finish** - Fluoropolymer, unlimited color palette
- Finish Warranty** - 20 year standard
- Weight** - Less than 2 pounds per square foot


Panel Size Parameters:
These are the recommended maximum size panel guides. If the panel you would like fits inside these guides, Dri-Design can easily manufacture it. For larger sizes, please contact a Dri-Design representative to discuss your specific requirements.

Available in any color, with the ability to match colors of your choice without expensive up charges - Dri-Design Painted Aluminum Panels offer the ultimate design flexibility for exterior and interior applications. Panels are painted using industry leading Fluoropolymer based paints for long lasting finish durability, while our finishers use a 100% air capture system to destroy the VOCs produced, so there is no adverse environmental impact.

METAL PANEL

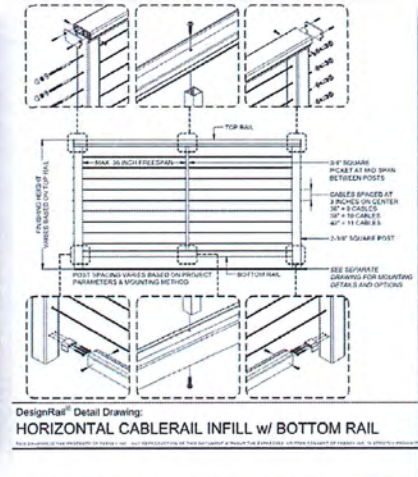
Trifab™ VG (VersaGlaze™)
Trifab™ VG 450, 451 & 4511 (Thermal) Framing Systems & Trifab™ 451UT (Ultra Thermal) Framing System

Design + Performance Versatility with Unmatched Fabrication Flexibility



STOREFRONT WINDOW SYSTEM

BUILDING MATERIAL PRECEDENT IMAGES



CABLE RAILING AT BUILDING BALCONIES



Existing Lakewood Design



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 09-84-20

Permit No.: BBS21-000015

Applicant Name: Jeffrey Foster, Payto Architects

Project Address: 1313 Giel Avenue

Project Name: n/a

Proposal: Applicant proposes modifications to the approval for an addition to the north side of an existing home that was granted at the September 14, 2020 meeting.

FILE COPY

Account: 101-0000-321.30.01

REFERENCE No. BBS20-200091

DOCKET No. 09-84-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Sierputowski Residence

Project Address 1313 Giel Ave.


Applicant Name Jeff Foster

Applicant Address 1220 W. 6th St, Suite 405
(if different than above) Cleveland, 44113

Applicant Contact (216) 241 - 6800

jfoster @ paytoarchitects.com

Brief Project Description Living room and bath addition.

Signature: _____  _____

Date: 7/29/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Jeff Sierputowski

Property Address 1313 Giel Ave

Owner / Agent Contact (216) 241 - 6800

jfoster @ paytoarchitects.com

Owner / Agent Signature _____  _____

Date: 7/29/20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



Chas. Svec, Inc.

"Rocklite" Concrete Masonry Products

- Home
- About Us
- Contact Us
- Products
- Dealers
- SDS Info
- Dealer PO Form

SPLITFACE is our specialty!

We manufacture a high quality split unit which meets or exceeds ASTM standards in 4", 6", 8", 10" and 12" sizes both in full height as well as half-height thru the wall and veneer units. We offer a variety of colors with integral waterproofing in the mix design, or ask about our less expensive non-waterproof gray split unit which are made to be painted or sealed.



Arctic White



Charcoal



Desert Buff



Way White



Smoked Marble



Scarlet



Lite Buff



Earthston



Graystone



Regatta Red



Buff



Korktar



Gray K



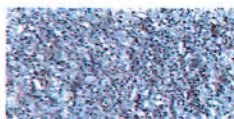
Maple Brown



Sandstone



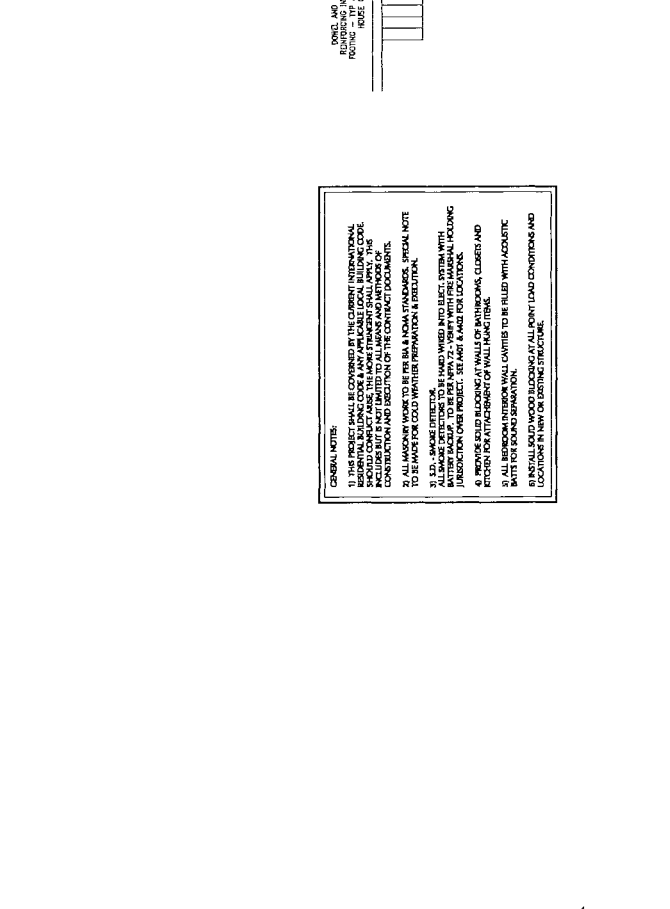
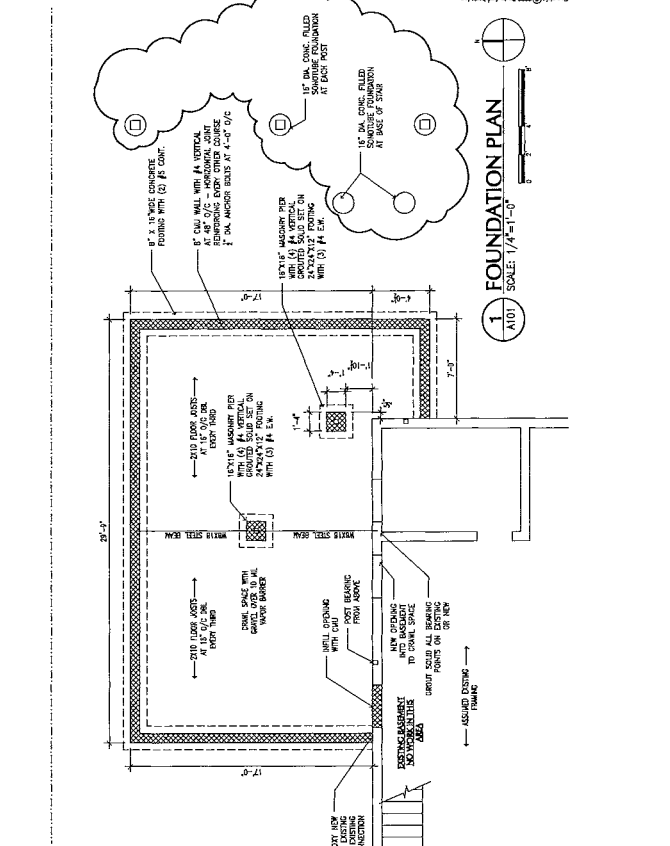
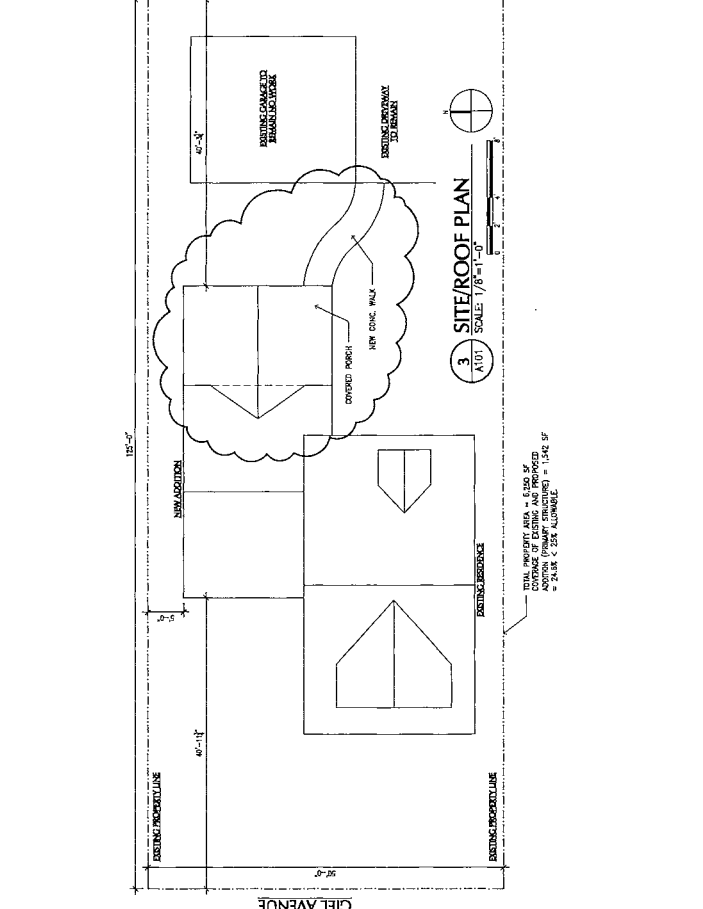
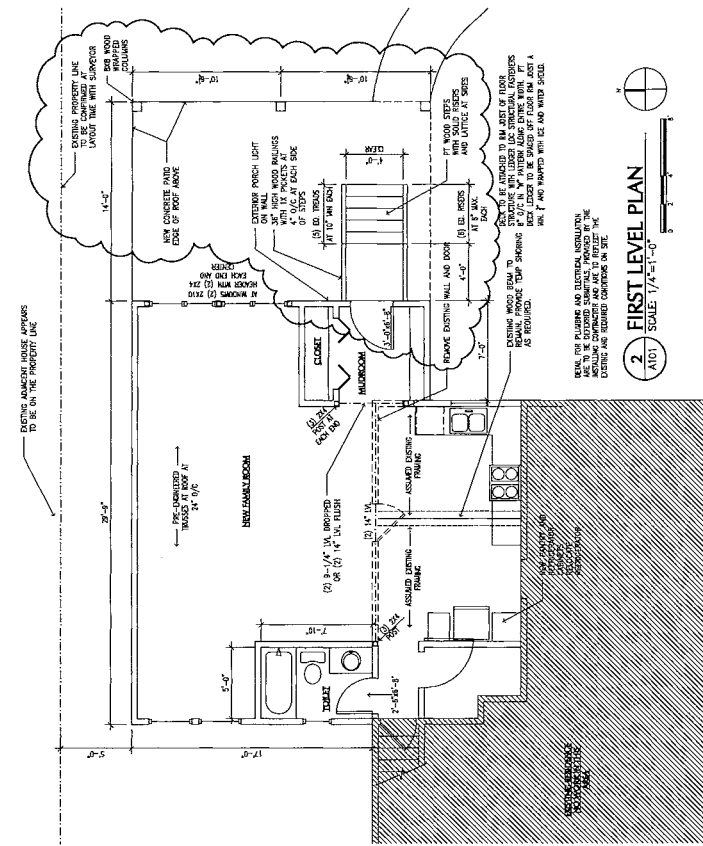
Spanish Br

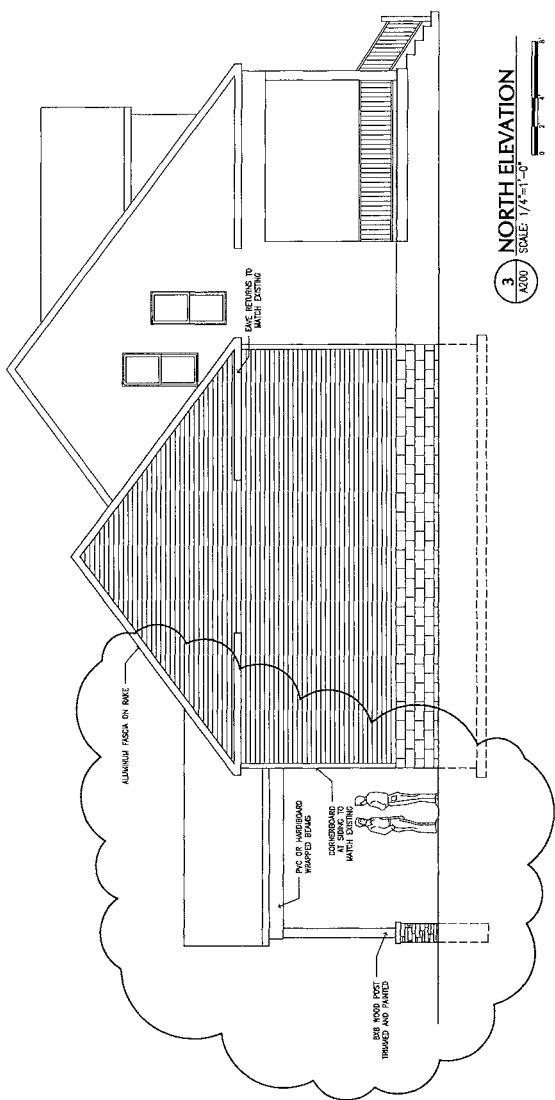


Pewter

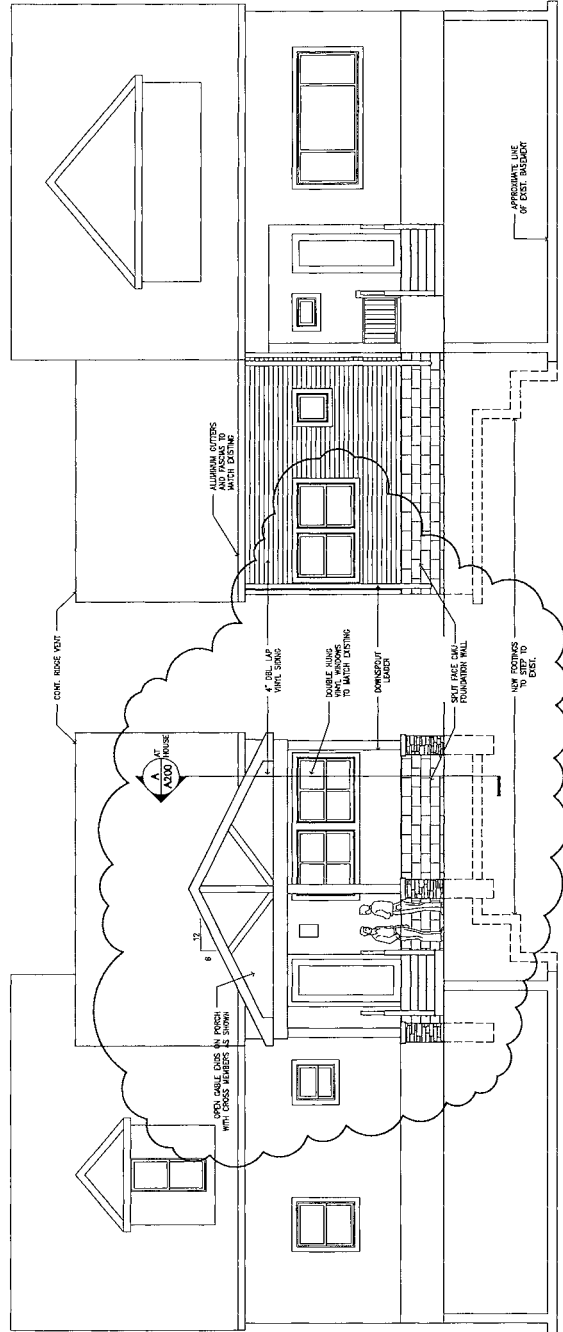


Dark Brown



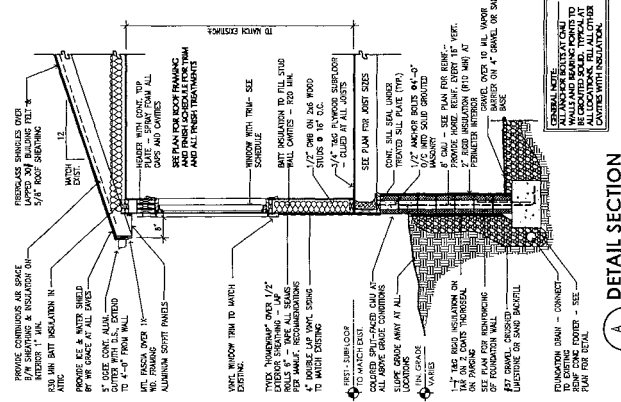


3 NORTH ELEVATION
 SCALE: 1/4"=1'-0"



1 WEST ELEVATION
 SCALE: 1/4"=1'-0"

2 EAST ELEVATION
 SCALE: 1/4"=1'-0"



A DETAIL SECTION
 SCALE: 1/2"=1'-0"

GENERAL NOTES:
 1. THIS PROJECT SHALL BE GOVERNED BY THE MOST RECENT INTERNATIONAL RESIDENTIAL BUILDING CODE & ANY APPLICABLE LOCAL BUILDING CODE. THIS INCLUDES BUT IS NOT LIMITED TO ALL PERMITS AND METHODS OF CONSTRUCTION AND EXECUTION OF THE CONTRACT DOCUMENTS.
 2. ALL MATERIALS TO BE USED SHALL BE APPROVED. SPECIAL NOTE: ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
 4. PROVIDE SLOPE BREAKING AT WALLS OF BATHROOMS, CLOSETS AND BATHS FOR SOUND BATHING.
 5. PROVIDE SOUND BATHING AT WALLS OF BATHROOMS, CLOSETS AND BATHS FOR SOUND BATHING.
 6. PROVIDE SOUND BATHING AT WALLS OF BATHROOMS, CLOSETS AND BATHS FOR SOUND BATHING.
 7. PROVIDE SOUND BATHING AT WALLS OF BATHROOMS, CLOSETS AND BATHS FOR SOUND BATHING.
 8. PROVIDE SOUND BATHING AT WALLS OF BATHROOMS, CLOSETS AND BATHS FOR SOUND BATHING.
 9. PROVIDE SOUND BATHING AT WALLS OF BATHROOMS, CLOSETS AND BATHS FOR SOUND BATHING.
 10. PROVIDE SOUND BATHING AT WALLS OF BATHROOMS, CLOSETS AND BATHS FOR SOUND BATHING.



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Application Cover Page

Docket No.: 01-02-21

Permit No.: BBS21-000019

Applicant Name: Adil Altaei, EA Construction

Project Address: 17806-08 Detroit Avenue

Project Name: Coffee Consortium

Proposal: Applicant requests modifications to the approval of storefront window replacement that was granted at the January 14, 2021 meeting.

WINDOWS REPLACEMENT CONSORTIUM COFFEE LLC 18704-06 DETROIT AVE. LAKEWOOD, OH 44107

GENERAL CONSTRUCTION NOTES:
 DEMO EXISTING BROKEN FRONT WINDOWS AND REMOVE ALL TRIM
 INSTALL NEW ALUMINUM CLADDING WINDOWS OUTSIDE AND PAINTED
 WOOD FOR INSIDE.
 NEW WINDOWS ARE TO MATCH EXISTING WINDOWS IN SIZE AND
 LOCATION NO CHANGE TO EXISTING BRICK FACADE
 NEW WINDOWS CLADDING COLOR PELLA BROWN
 INTERIOR SIDE OF FACADE TO BE PAINTED

CLIENT:
 MAX PARKER
 13 MCKINLEY PL
 LAKEWOOD, OH 44107
 216 496 8858

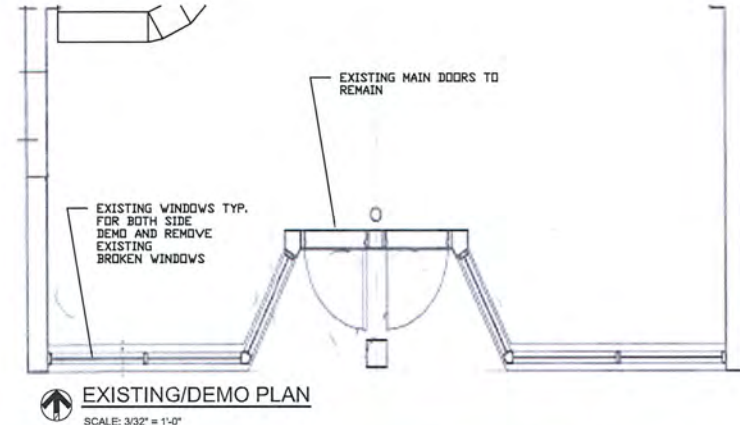
CONTRACTOR:
 EA CONSTRUCTION INC.
 15118 LANNING AVE.
 LAKEWOOD, OH 44107
 216 333 5900
 HOME@EAHOMEREPAIR.COM



**OPTION 1 NEW WINDOWS AND
PAINTING EXISTING DOORS**
 SCALE: N.T.S



OPTION 2 NEW WINDOWS ONLY
 SCALE: N.T.S



EXISTING STREET VIEW
 SCALE: N.T.S



CONSTRUCTION INC.

DESIGN-BUILD CONTRACTOR

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 ideas and designs. These plans, ideas and designs are not to be reproduced, changed or copied to any
 third party without first obtaining the express written permission from EA CONSTRUCTION Inc.
 Written dimensions on these drawings shall have precedence over scaled dimensions.
 Contractors shall verify and be responsible for all dimensions and conditions on the
 job and EA CONSTRUCTION Inc. must be notified in writing of any variations from the dimensions,
 conditions and specifications on these drawings.

**ARCHITECTURE
EXISTING PLAN & ST. VIEWS
NOTES**

DRAWN BY: ARL ALTAI 10/24/2020
 REVISED BY: ARL ALTAI 10/24/2020
 REVISION: ARL ALTAI 11/11

A-1

OVERVIEW

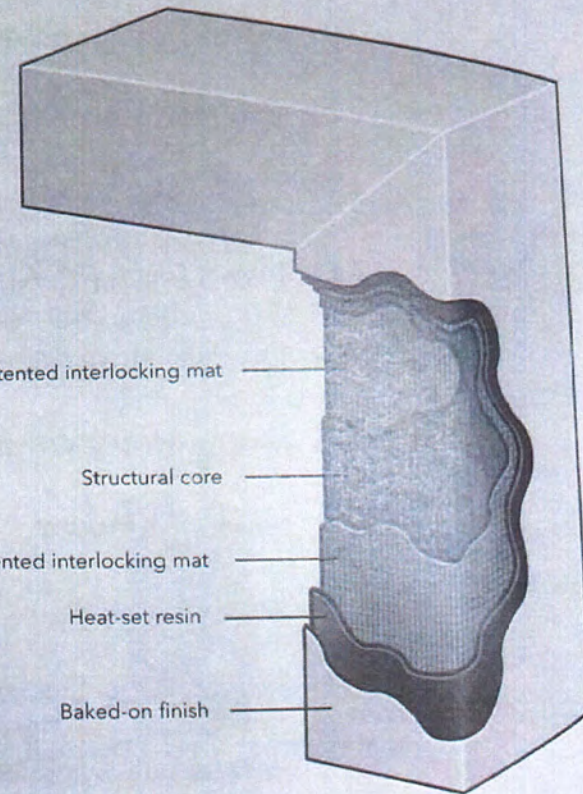
Frame Types



Pella® Impervia® windows and patio doors are made from Duracast® fiberglass composite, sharing the same properties of strength, durability and temperature resistance as materials used in the aerospace industry. They're able to withstand extreme conditions better than windows and doors made from other materials. Duracast fiberglass composite, Pella's patented, five-layer, engineered product, is a highly stable material that resists expanding, warping or sagging in summer heat or shrinking or turning brittle in harsh winter conditions.



Optional High-Density Foam Insulation further improves energy efficiency.



FRAME TYPES

There are many options for installing Pella Impervia fiberglass composite windows in new construction and renovation projects: nailing fins, flanges, block frames with fins, masonry clips or jamb screws and T-subframes.



GRILLES

- Color m
- Grilles a
- Multiple
- Standar
- Prairie
- Pattern
- depen

GRILLE

Awnin

Case

Fix

DETAILED PRODUCT DESCRIPTIONS



PATIO DOOR

FRAME

- Frame is Duracast® fiberglass composite – five-layer pultruded fiberglass material [with optional foam insulation₁] reinforced with a Pella patented interlocking mat.
- Overall frame depth is 4-3/4".
- Nominal wall thickness of Duracast members are .070" to .120" thick.
- Duracast sill powder-coat painted brown with an oak threshold.
- Frame corners are mitered, joined and bonded with nylon corner lock and mechanically fastened. Jamb to head corners sealed with injected polyurethane adhesive.
- Jamb and head contain factory-drilled (counter-bored) installation screw holes when ordered without nail fin.

DOOR PANEL

- Panel is Duracast® fiberglass composite – five-layer pultruded fiberglass material [with optional foam insulation₁] reinforced with a Pella patented interlocking mat.
- All panel members have mitered corners joined and bonded with corner locks, injected with polyurethane adhesive.
- Vent panels have two adjustable permanently-sealed electroplated steel with organic coating ball-bearing rollers, set on stainless steel track.

EXTERIOR / INTERIOR

- Duracast surfaces are factory applied with powder-coat paint finish.
 - Color is [White] [Tan] [Brown] [Black] [Morning Sky Gray].
 - or -
 - Dual-color option [Tan] [Brown] [Black] [Morning Sky Gray] exterior with White interior.

GLAZING SYSTEM

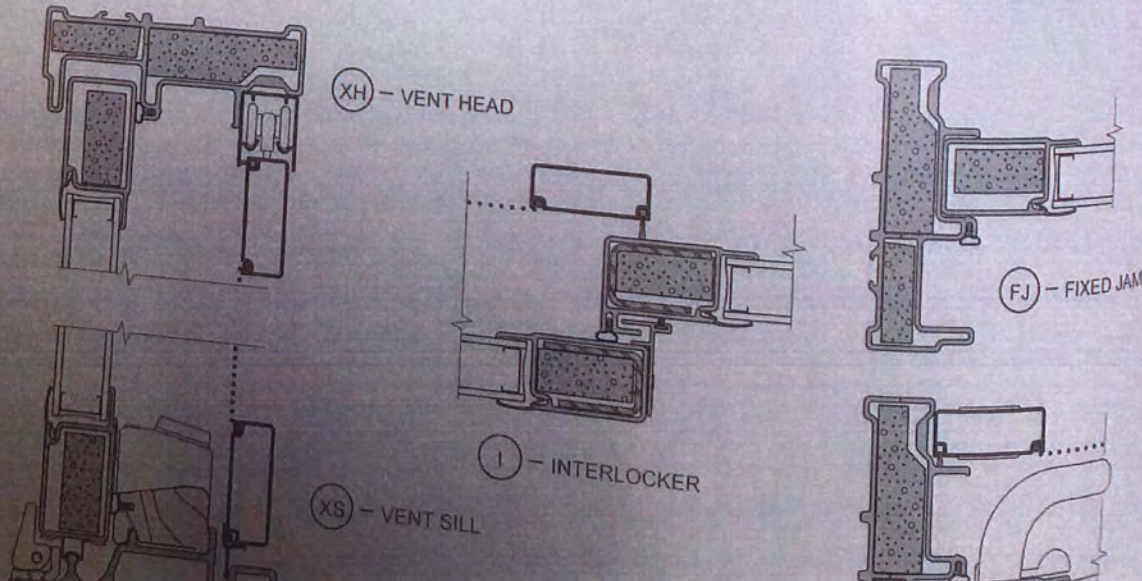
- Quality float glass complying with ASTM C 1036.
- 1" insulating glass tempered [obscure₂] [[clear] [Advanced] [SunDefense™] [AdvancedComfort] [NaturalSun] Low-E coated, with argon]] sealed and bonded to panel.
- High altitude glazing is available.

WEATHERSTRIPPING

- Flexible polymeric bulb section with welded corners and a slip-coating at head, jamb, sill and interlocker.
- Bristle strip rain-screen at vent panel interlocker.

FOAM INSULATION INSERTS,

Sliding Patio Door



HARDWARE

- Interior handle, thumb lock for inside locking is [White] [Tan] [Brown] [Black] [Morning Sky Gray] [Satin Nickel] [Bright Brass] [Antique Brass] [Chrome].
- Exterior handle is powder-coat painted to match exterior finish. Finish on Black, Brown and Gray interior units is Brown. Finish on Tan interior units is White. Foot bolt height is approximately 3" for ventilation.

OPTIONAL PRODUCTS

Screens

- Conventional Black Fiberglass
 - Black vinyl coated 18/16 mesh fiberglass screen with ASTM D 3656 and SMA 1201.
 - Set in aluminum frame and fitted to the inside of the door.
 - Supplied complete with all necessary hardware.
 - Screen finish is baked enamel, color to match exterior interior.
- or -
- InView™ screen
 - Vinyl-coated 18/18 mesh fiberglass screen cloth with SMA 1201, set in aluminum frame fitted to the inside of the door.
 - Set in aluminum frame and fitted to the inside of the door.
 - Supplied complete with all necessary hardware.
 - Screen finish is baked enamel, color to match exterior interior.

Grilles

- Grilles-Between-the-Glass
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - Grilles are factory prefinished [White] [Tan] [Brown] [Morning Sky Gray] to match interior and exterior finish.

Hardware

- Keylock with K-keyway cylinder. Finish is [Chrome].

FIBERGLASS

OVERVIEW

AWNING

BAY / BOW

CASEMENT

FIXED

HINGE

SLIDING WINDOW

SPECIAL SHAPES

DOOR

Special Sizes

6-0/6-10

6-0/6-10
WITH HIGH
PERFORMANCE
RETAINER

8-0/8-0

8-0/8-0
WITH HIGH
PERFORMANCE
RETAINER

PERFORMANCE (VENT SINGLE UNITS ONLY)

Meets or Exceeds AAMA/WDMA Ratings

SD-LC45
Hallmark Certified

SD-LC50
Hallmark Certified

SD-LC30
Hallmark Certified

SD-LC35
Hallmark Certified

Air Infiltration
(cfm/ft² of frame @ 1.57 psf wind pressure)₁

0.04

0.04

0.04

0.04

Design Pressure

45 psf

50 psf

30 psf

35 psf

Water Resistance

6.75 psf

7.5 psf

4.5 psf

5.25 psf

OTHER PERFORMANCE CRITERIA

Forced Entry Resistance Level
(Minimum Security Grade)₂

40/10

40/10

40/10

40/10

Maximum Operating Force (lb)
Initiate Motion/Maintain Motion

25/12

25/12

25/12

25/12

Maximum Locking Force (lb) Lock/Unlock

4/5

4/5

4/5

4/5

Sound Transmission Class and Outdoor-Indoor Transmission Class

Product

Frame Size

Glazing System



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 01-05-21

Permit No.: BBS20-000163

Applicant Name: Dimitrios Gountis

Project Address: 17810 Lake Avenue

Project Name: n/a

Proposal: Applicant proposes the addition of a new enclosed front entry porch, replace existing the front door with windows to match the existing sides and rear parlor windows.









GENERAL CONSTRUCTION NOTES:

MISCELLANEOUS:

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE OHIO RESIDENTIAL CODE OF OHIO, UNLESS LOCAL BUILDING AND ZONING DEPARTMENTS ADHERE TO A SPECIFIC EDITION.

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS.

LIVE LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:
 ROOF/SNOW.....20psf ATTIC.....20psf
 FIRST FLOOR.....40psf SECOND FLOOR.....40psf
 BALCONIES.....60psf BASIC WIND SPEED.....90mph

LUMBER:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES.

TYP. SPF #2 OR BETTER F_h.....875 psi
 ANY MICROLAM (LVL) NOTED ON THESE DRAWINGS MUST MEET THE FOLLOWING DESIGN CRITERIA:
 M.O.E.....1,900,000psi F_b.....2,600psi

WALL STUDS SHALL BE A MINIMUM OF 2x4 @ 16"o.c. AND SHALL BE ONE PIECE FULL HEIGHT AND A MINIMUM OF (2) STUDS AT EACH SIDE OF ALL OPENINGS THROUGH ALL WALLS UNLESS NOTED OTHERWISE.

REFER TO THE TYPICAL WALL SECTION FOR SUBFLOOR AND ROOF SHEATHING THICKNESSES AND MATERIAL TYPES.

CONCRETE:

ALL CONCRETE SHALL COMPLY WITH ACI 318-08 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 308-03 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 psi. ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED PER RCO SECTION 402.2.

STEEL:

ALL STEEL BEAMS AND COLUMNS ARE DESIGNED FOR A992 GR. 50 STEEL. ANCHOR BOLTS SHALL CONFORM TO ASTM A307-07a. ALL REINFORCING STEEL SHALL BE GRADE 60. FOR ALL STEEL COLUMNS, BEARING PLATES AND ANCHOR BOLTS BELOW GRADE, ENCASE WITH A MINIMUM OF 3" CONCRETE COVER.

SOIL BEARING:

FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 1,500 psf. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 55 psf. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN, AND ALSO, DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITHIN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55 psf IS THE CORRECT WALL LOADING. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

GENERAL CODE REQUIREMENTS

Reference sections 1061.3 and chapter 41 of the Residential Code of Ohio

ROOFS:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. FOR A ROOF WITH A 4:12 OR LESS PITCH REFER TO RCO SECTION 905.2. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/60th OF THE AREA TO BE VENTILATED. ALL GREENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

MECHANICALS:

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE 2019 RESIDENTIAL CODE OF OHIO.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIRESTOPPING:

SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT JOISTS, PIPER CABBETS, DROPPED CEILING, ETC. ALSO ABOVE VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

INSULATION:

INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R-WALLS AND LOCATIONS.

SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH 5/8" OSB OR PLYWOOD PER SECTION 600.15. NAILS BY 8d NAILS AT 6" o.c. AT ALL PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS.

FOOTINGS:

ALL FOOTINGS SHALL EXTEND TO OR BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 403.2.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2019 RCO AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

RADON:

IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE CORRECTED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS NOT THE RESPONSIBILITY OF J. KAPELA DESIGNS, INC. TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

PLAN DESIGN & CONSTRUCTION CRITERIA

BASED ON THE FOLLOWING CODES:

- 2019 Residential Code of Ohio (RCO)
- 2017 National Electric Code (NEC)
- 2017 Ohio Mechanical Code (OMC)
- 2017 Ohio Plumbing Code (OPC)
- 2017 International Energy Conservation Code (IECC)

The Gountis Residence
 17810 LAKE RD. - LAKEWOOD, OHIO

FRONT ADDITION



NEW PROPOSED ENCLOSED FRONT ENTRY PORCH. REPLACE EXISTING FRONT DOOR WITH WINDOWS TO MATCH THE EXISTING SIDES AND REAR PARLOR WINDOWS.

REAR ADDITION



REMOVE EXISTING GLASS SOLARIUM AND REPLACE WITH NEW GREAT ROOM / DINING ROOM ADDITION WITH REAR COVERED TERRACE.

GENERAL DISCLAIMER NOTES:

NOTE 1: J. KAPELA DESIGNS, INC. IS NOT A SURVEYING COMPANY. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE A SURVEY AND TO PROVIDE A PLAN FOR THE CONNECTION OF THE "DESIGN PHASE", DURING THE DESIGN PROCESS ANY SITE STUDY DRAWN BY J. KAPELA DESIGNS, INC. WILL BE USED TO DETERMINE AN ESTIMATED BUILDABLE AREA AND AT NO TIME IS J. KAPELA DESIGNS, INC. RESPONSIBLE FOR THE LOCATION OF THE HOUSE ON THE LOT, ANY UTILITIES, BUILDING ELEVATIONS OR GRADING INFORMATION.

NOTE 2: J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND DOES NOT ALWAYS CONSULT WITH A MECHANICAL ENGINEER FOR MECHANICAL SCHEMATICS DRAWN BY J. KAPELA DESIGNS, INC. ALL HVAC, PLUMBING AND/OR ELECTRICAL SCHEMATICS DRAWN BY J. KAPELA DESIGNS, INC. ARE "SUGGESTED" AND FOR USE ONLY TO FULFILL THE BUILDING DEPARTMENT'S PLAN SUBMITTAL REQUIREMENTS. IT WILL BE THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO HAVE ALL ACTUAL MECHANICAL SYSTEMS DESIGNED AND INSTALLED BY LICENSED MECHANICAL SPECIALISTS. J. KAPELA DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR ANY MECHANICAL INSTALLATIONS AND/OR ISSUES RELATED TO THEIR INSTALLATION.

NOTE 3: J. KAPELA DESIGNS, INC. IS NOT A TRUSS MANUFACTURER OR DESIGNER. ENGINEERED ROOF TRUSSES ARE THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER, LUMBER COMPANY AND TRUSS MANUFACTURER. TRUSS DESIGNED ROOF PLANS ARE TO BE REVIEWED BY THE TRUSS MANUFACTURER PRIOR TO PRINTING FINAL CONSTRUCTION SETS. DURING THIS REVIEW PROCESS IT WILL BE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY THAT ALL PLATE HEIGHTS, HELL HEIGHTS AND ROOF PITCHES WILL CREATE A BUILDABLE TRUSS PACKAGE. THE TRUSS MANUFACTURER IS ALSO RESPONSIBLE TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM, POST OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER, BUILDER AND/OR OWNER SHALL CONTACT J. KAPELA DESIGNS, INC. TO UPDATE THE PLAN SET. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO FIELD VERIFY ALL AS-BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES. J. KAPELA DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR TRUSSES ORDERED SOLELY FROM THIS SET OF CONSTRUCTION DOCUMENTS. J. KAPELA DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR ANY CONSTRUCTION SCHEDULE CHANGES OR DELAYS DUE TO ANY ENGINEERED ROOF TRUSS ISSUES.

NOTE 4: J. KAPELA DESIGNS, INC. IS A RESIDENTIAL ONLY DESIGN FIRM AND NOT AN OHIO REGISTERED ARCHITECT. PER OHIO LAW (ORC 3791.04-04) TWO ARCHITECTS STAMP IS REQUIRED FOR ANY PLANS, DRAWINGS, SPECIFICATIONS OR DATA SUBMITTED FOR APPROVAL FOR ANY RESIDENTIAL BUILDINGS UP TO A THREE-FAMILY DWELLING". J. KAPELA DESIGNS, INC. DOES NOT PROVIDE CONSTRUCTION SUPERVISION AND THIS IS NOT RESPONSIBLE FOR ANY STRUCTURAL ELEMENTS OF THE DESIGN. THE BUILDER, SUB-CONTRACTORS AND / OR OWNER ARE RESPONSIBLE TO VERIFY THAT ALL THE BUILT STRUCTURE MATCHES THE PLANS AS DRAWN AND DESIGNED. J. KAPELA DESIGNS, INC. IS NOT RESPONSIBLE FOR STRUCTURAL OR NON-STRUCTURAL ISSUES RELATED TO SOIL CONDITIONS.

NOTE 5: ALL WINDOWS ON PLANS ARE DRAWN IN NOMINAL INCH SIZES. IT IS THE RESPONSIBILITY OF THE BUILDER, WINDOW SALES PERSON AND / OR OWNER TO VERIFY THE ACTUAL WINDOW MANUFACTURERS' CUT SHEET MATCHES THE FLOOR PLANS AND ALSO THE EXTERIOR ELEVATION DRAWINGS. DURING PLAN DESIGNING, SOME FLOOR PLAN NUMBERS DO NOT GET UPDATED TO WHAT THE EXTERIOR ELEVATION DRAWINGS REFLECT AND THIS NEEDS TO BE VERIFIED BY THE WINDOW SALES PERSON. IT IS RECOMMENDED THAT ALL WINDOW CUT SHEETS ARE SENT TO J. KAPELA DESIGNS, INC. FOR REVIEW PRIOR TO ANY WINDOW ORDER BEING PLACED.

NOTE 6: ANY DESIGN, PLAN PLP, SITE STUDY, MECHANICAL OR TRUSS RELATED CHANGES AND/OR ISSUES BROUGHT TO J. KAPELA DESIGNS, INC. AFTER THE PRINTING OF FINAL CONSTRUCTION SETS WILL BE CONSIDERED CHANGES TO THE DRAWINGS AND BILLED.



SQUARE FOOTAGE TABLE:

FIRST FLOOR:	530.00	S.F.
SECOND FLOOR:	57.59	S.F.
REMODEL SQ. FT.:	587.69	S.F.

BUILDING DEPARTMENT USE:

Blank area for Building Department use.

INDEX TO DRAWINGS

SH#	SHEET NAME
C101	COVER SHEET
A101	FOUNDATION PLAN
A102	FIRST FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS
A301	TYP. WALL & BUILDING SECTIONS
M101	MECHANICAL SCHEMATICS
M102	MECHANICAL SCHEMATICS
M103	MECHANICAL SCHEMATICS



CONTACT:
 J. KAPELA DESIGNS, INC.
 2766 Superior Ave. Suite #200
 Lakewood, OH 44124
 330.960.0000
 www.jkapela.com

GOUNTIS RESIDENCE
 17810 LAKE RD. LAKEWOOD, OH 44124
COVER SHEET

12-22-20

JOB # 1924

C101

PLAN DESIGN & CONSTRUCTION CRITERIA
 BASED ON THE FOLLOWING CODES:
 2019 Residential Code of Ohio (RCO)
 2017 National Electric Code (NEC)
 2017 Ohio Mechanical Code (OMC)
 2017 Ohio Plumbing Code (OPC)
 2017 International Energy Conservation Code (IECC)

FOUNDATION NOTES

Reference sections 1603.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- 2x6 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" x 18" ANCHOR BOLTS @ 4'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT R.M.

FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
- (2) #4 REBAR CONTINUOUS THRU WALL FOOTERS.
- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
- ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
- ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:

24"x24"	(2) #4
30"x30"	(3) #4
36"x36"	(3) #4
42"x42"	(4) #4
48"x48"	(4) #4
60"x60"	(5) #4
72"x72"	(5) #5

CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOUSLY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 30 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRAFFIC TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

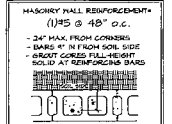
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

STEEL BEAM CHART

SIZE	DEPTH	HEIGHT
M10x22	8 1/8"	8"
M10x22	10 1/8"	8 3/4"
M10x22	12"	9 1/2"

NOTE: DIMENSIONS ARE GIVEN FROM FACE TO FACE UNLESS NOTED OTHERWISE

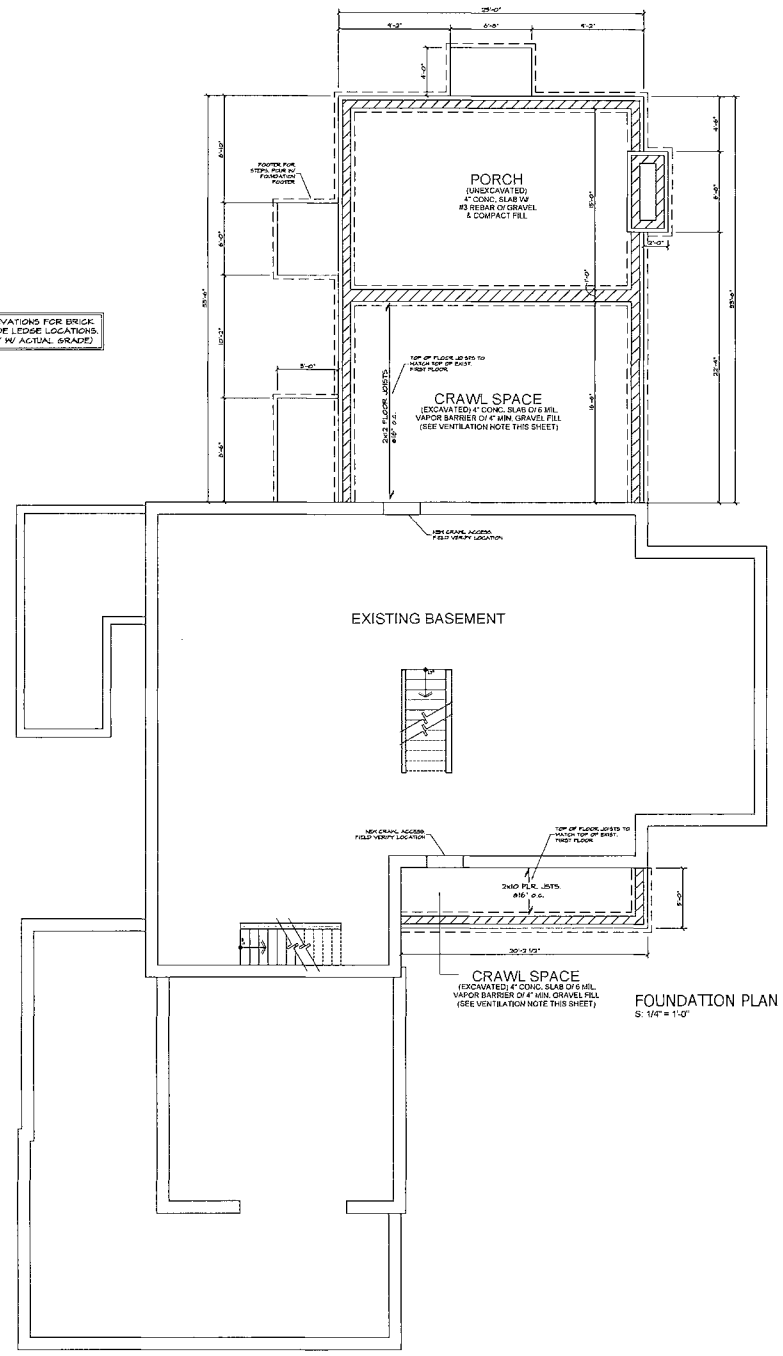
12" CONC. BLOCK REINFORCING DETAIL



DESIGN CRITERIA:
 -36" MINIMUM GRAVEL FILL
 -MAX. LATERAL SOIL PRESSURE OF 50 PSF
 -1500 PSF SOIL BEARING PRESSURE
 -MIN. FLOOR JAM CONCRETE STRENGTH REINFORCING YIELD STRENGTH OF 60,000 PSI

NOTE: THIS DETAIL IS ASSUMING SOIL LAME NO. 3 CONDITIONS. FOR HEAVY OR HEAVY SAND REFER TO RED TABLE A41104

SEE ELEVATIONS FOR BRICE TO BRACE LEDGE LOCATIONS. (VERIFY W/ ACTUAL GRADE)



FOUNDATION PLAN
 S: 1/4" = 1'-0"



CONTACT:
 J. KAPELA DESIGN, LLC
 224 S. GREEN VALLEY RD.
 FLEMING, OHIO 43123
 614.202.1016
 www.jkapela.com

GAUNTIS RESIDENCE
 1760 LAKE RD. #4111
 JAMESVILLE, OHIO 43123
 FOUNDATION PLAN

DATE: 07/14/2024
 12-22-20

COMPILED 2020
 THIS PLAN IS THE PROPERTY OF J. KAPELA DESIGN, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF J. KAPELA DESIGN, LLC IS STRICTLY PROHIBITED.
 JOB # 1924

A101

PLAN DESIGN & CONSTRUCTION CRITERIA
 BASED ON THE FOLLOWING CODES:
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FIRST FLOOR NOTES

Reference sections 1501.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWDED BEFORE PLACEMENT.
- ALL POSTS (●) SHALL BE A MINIMUM OF (3)2x4s OR (2)2x6s UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND IN EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.1 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2019 RCO AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENT(S). IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

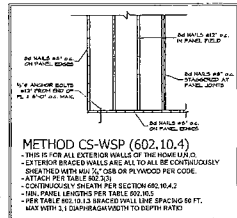
ALL WINDOWS AND SIZES ARE DRAWN IN MINIMAL INCHES.
 WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.
 WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:
 MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
 MINIMUM NET CLEAR OPENING HEIGHT.....44"
 MINIMUM NET CLEAR OPENING WIDTH.....20"
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....0.0
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPENG.

STAIR REQUIREMENTS:

NET STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
 MINIMUM TREAD DEPTH.....9"
 MAXIMUM RISER HEIGHT.....8 1/4"
 MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
 MINIMUM RISING PROJECTION.....1"
 MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
 MINIMUM MAXIMUM HANDRAIL HEIGHT.....34" / 38"
 MAXIMUM BALUSTERS SPACING CLEAR OPENING.....4"
 MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
 MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
 MAXIMUM HAND GRIP WIDTH.....1 1/4"
 MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

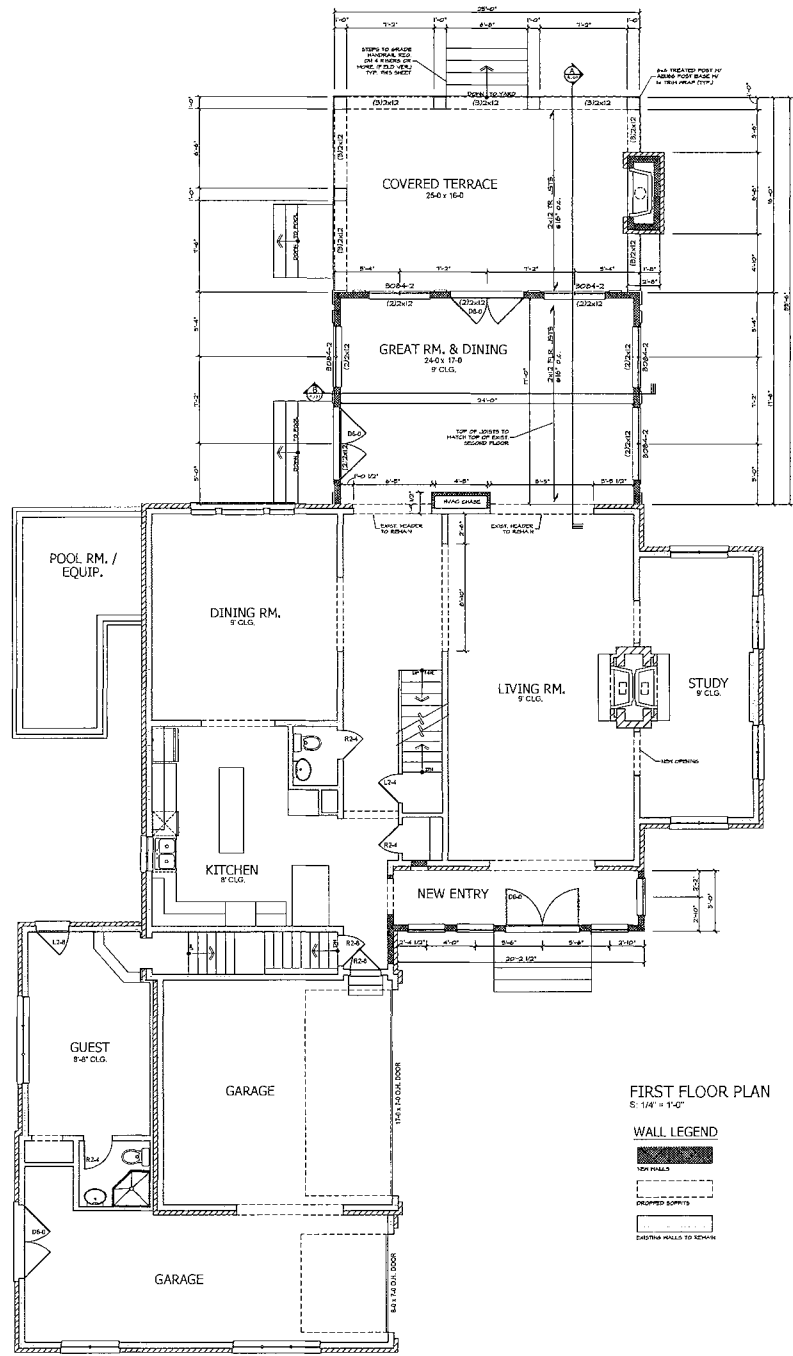
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



BRACED WALL PANELS (NOT TO SCALE)

NOTE: ALL WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED

NOTE: FIELD VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS



FIRST FLOOR PLAN
 S: 1/4" = 1'-0"

WALL LEGEND

[Symbol]	TOP WALLS
[Symbol]	ROOFED BOTTOMS
[Symbol]	EXISTING WALLS TO REMAIN



CONTACT:
 J. KAPELA DESIGN, INC.
 2044 Lakewood Blvd., Suite 200
 Columbus, OH 43234
 614.291.1111
 www.jkapela.com

COUNTIS RESIDENCE
 12225 WOODBURN DR., COLUMBUS, OH 43234
FIRST FLOOR PLAN

DATE: 12-22-20
 12-22-20

JOB # 1924

A102

PLAN DESIGN & CONSTRUCTION CRITERIA
 BASED ON THE FOLLOWING CODES:
 2019 Residential Code of Ohio (RCO)
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ROOF NOTES

Reference sections 1043.1 and chapter 44 of the Residential Code of Ohio

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / 12" FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.2.2.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH HDG 1/2" OSB OR PLYWOOD PER SECTION 905.1.2.1, NAILED W/ #8 NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY AND/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADS THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

OVER-LAY RAFTERS:

USE 2x4s @24" o.c. FOR SPANS UP TO.....6'-0"
 USE 2x6s @24" o.c. FOR SPANS UP TO.....9'-0"
 USE 2x8s @24" o.c. FOR SPANS UP TO.....12'-0"
 USE 2x10s @24" o.c. FOR SPANS UP TO.....15'-0"

LIVE LOADS:

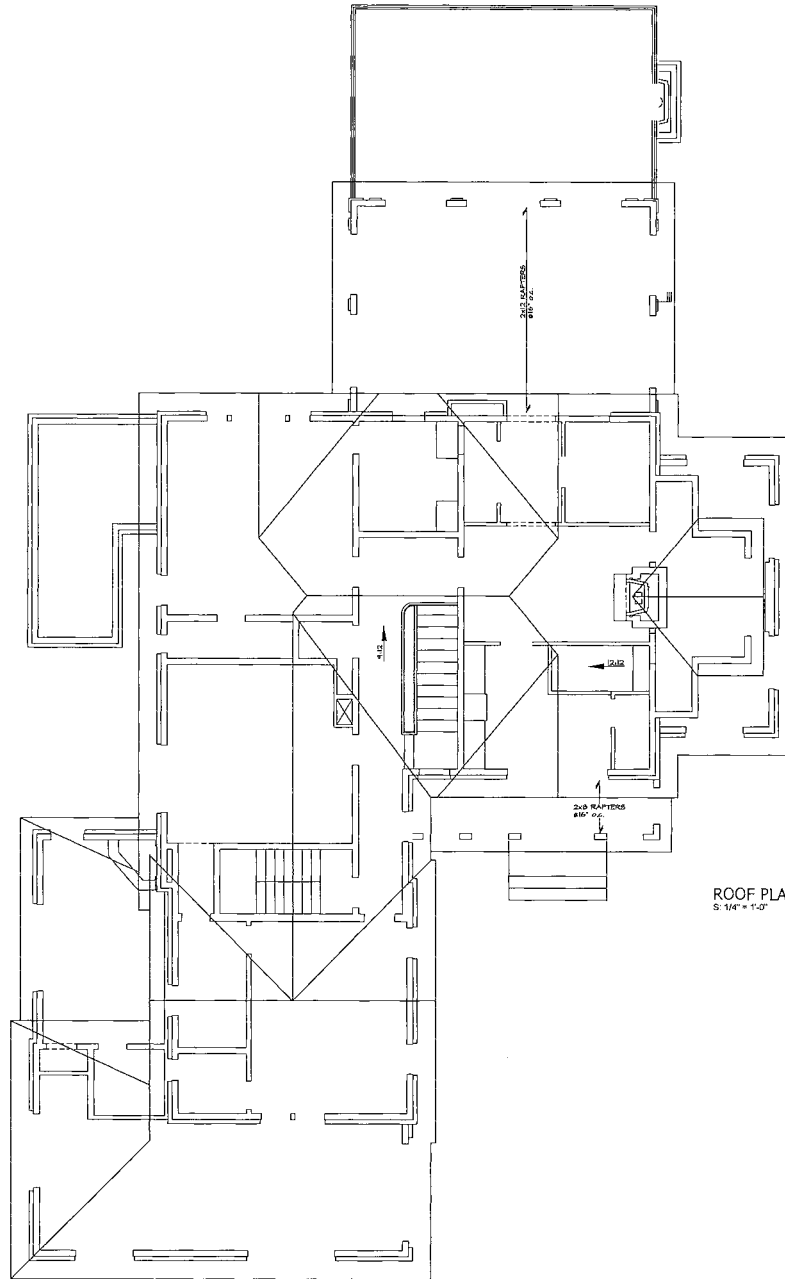
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:
 ROOF SNOW.....20psf ATTIC.....40psf
 FIRST FLOOR.....40psf SECOND FLOOR.....40psf
 BALCONIES.....40psf BASIC WIND SPEED.....90mph

POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



ROOF PLAN
 S: 1/4" = 1'-0"



CONTACT
 J. KAPELA DESIGNS, INC.
 2545 S. STATE ST. SUITE 200
 COLUMBUS, OH 43221
 614.441.1111
 www.jkapela.com

GOUNTIS RESIDENCE
 PREPARED BY:
 J. KAPELA
 DATE: 08-10-19
 ROOF PLAN & TYP. WALL SECTION

DATE
 12-22-20

JOB # 1924

A104

PLAN DESIGN & CONSTRUCTION CRITERIA
 BASED ON THE FOLLOWING CODES:
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 2017 Ohio Mechanical Code (OMC)
 2017 Ohio Plumbing Code (OPC)
 2017 International Energy Conservation Code (IECC)

ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAPPED PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP, MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL GAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAIL DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS OBJECTIVELY EXPECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:

- MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
 - MINIMUM NET CLEAR OPENING HEIGHT.....34"
 - MINIMUM NET CLEAR OPENING WIDTH.....20"
 - MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
 - MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....3.0
- REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR ORIG.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



ALL NEW BORAL TRIM TO BE PAINTED TO MATCH EXISTING HOUSE TRIM COLOR

PLAN DESIGN & CONSTRUCTION CRITERIA
 BASED ON THE FOLLOWING CODES:
 2019 Residential Code of Ohio (RCO)
 2017 National Electric Code (NEC)
 2017 Ohio Mechanical Code (OMC)
 2017 Ohio Plumbing Code (OPC)
 2017 International Energy Conservation Code (IECC)

ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:
 -GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP, MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL CAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 2" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.2.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EXPECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:
 MAXIMUM SILL HEIGHT ABOVE FLOOR.....48"
 MINIMUM NET CLEAR OPENING HEIGHT.....24"
 MINIMUM NET CLEAR OPENING WIDTH.....20"
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPENING.

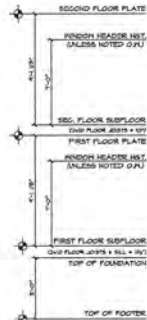
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



LEFT SIDE ELEVATION
 S. 1/4" = 1'-0"



FRONT ELEVATION
 S. 1/4" = 1'-0"



ALL NEW BORAL TRIM TO BE PAINTED TO MATCH EXISTING HOUSE TRIM COLOR

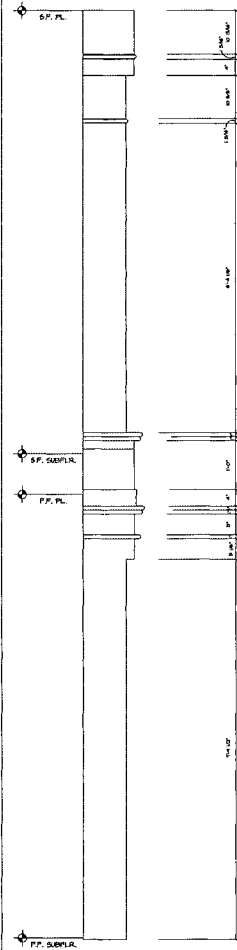


CONTACT:
 J. KAPELA DESIGNS, INC.
 2288 Spangula Way, Suite #300
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 614.294.0125
 www.jkapela.com

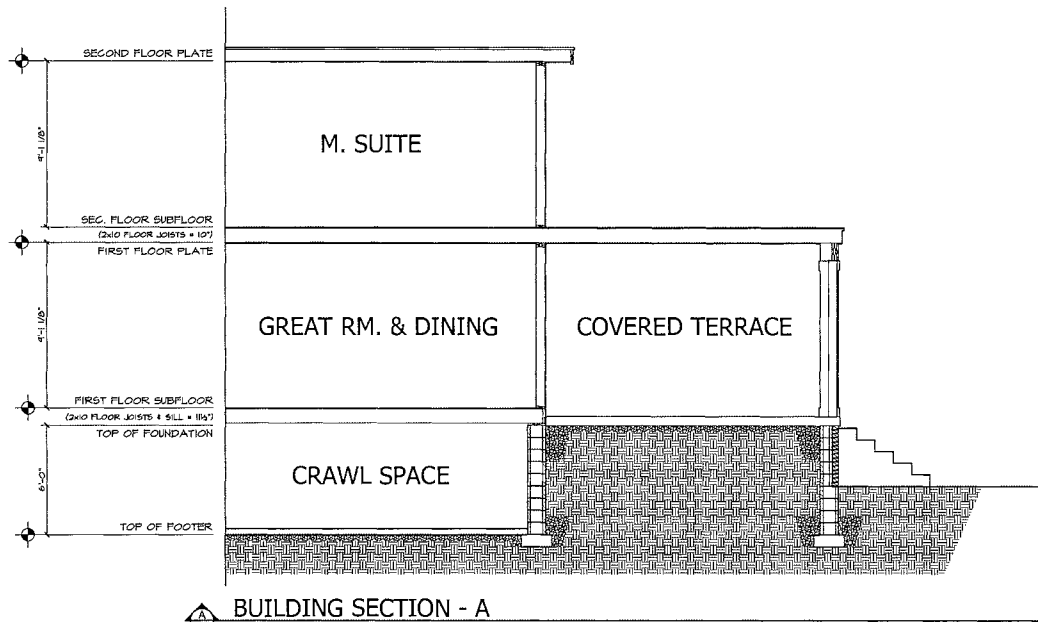
GOUNTIS RESIDENCE
 UTTERANCE RD.
 COLUMBUS, OH 43240
 EXTERIOR ELEVATIONS

DATE: 12-22-20
 12-22-20
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 J. KAPELA DESIGNS, INC.
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM J. KAPELA DESIGNS, INC.
 JOB # 1924

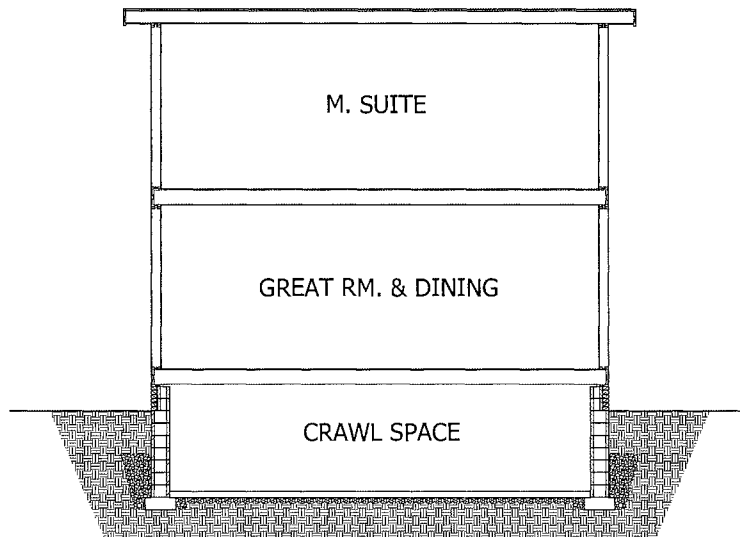
A202



TRIM DETAIL
S: 1" = 1'-0"



BUILDING SECTION - A
S: 3/8" = 1'-0"



BUILDING SECTION - B
S: 3/8" = 1'-0"

ROOF
-2x10 RAFTERS PER PLAN
-CONTINUOUS RIDGE VENT
-SEAL-TAB ROOF SHINGLES
-1/2" ROOF FELT
-1x4x8 OSB DECKING BY GLPS
-ICE GUARD & WATERSHIELD @ ALL RAFTERS & VALLEYS
-BATT INSULATION AS NOTED BY SEC. CHG. IN BATTLES AT SOFFIT
-PROVIDE TRUSS TIE DOWN AT CEILING
-5/8" DRYRALL AT CEILING

SOFFIT
-MATCH EXISTING

EXTERIOR WALL
-WOOD TRIM (SEE DETAIL)
-VARIOUS BANDS
-2x6 FRAMING @ 16" O.C.
-2x6 OSB SHEATHING
-R-19 BATT INSULATION
-1/2" DRYRALL ON INTERIOR

FLOORS
-3/4" T&G OSB - GULFED & NAILSD
-WOOD BASE FILL
-2x10 FLOOR JOISTS @ 16" O.C.
-CONTINUOUS 2-BANDS @ 16" O.C.
-R-19 UNFACED BATT INSULATION ALONG RM JOISTS

FOUNDATION
-12" CONCRETE BLOCK WALL IV
-4" BRICK LEDGE & BRICK TO GRADE
-2x6 PRESSURE TREATED SILL PLATE IV SILL SEALER
-1/2" T&G ANGLE BOLTS @ 6'-0" O.C. AND 12" MAXIMUM FROM CORNER
-EXTER. FOUNDATION INSULATION AS NOTED BY SEC. CHG.
-FOUNDATION WATER PROOFING SYSTEM (10-YEAR)

SLAB
-4" CONCRETE SLAB
-2 MIL VAPOR BARRIER
-4" GRAVEL FILL (MIN)

FOOTING
-8"x12" CONT. CONCRETE FOOTING
-18" MAXIMUM GRAVEL FILL TO 3" MINIMUM ABOVE FOOTING
-4" RIGID FIBER FILL BENEATH DRAIN TILE TO 5/8" (2 CLEAN-OUTS TO GRADE)
-12"x4 REBAR CONT. THRU FOOTING

TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

PLAN DESIGN & CONSTRUCTION CRITERIA
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 2017 International Energy Conservation Code (IECC)

MECHANICAL NOTES

RECEPTACLE LOCATIONS:

PER NEC SECTION 210.12 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERSEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.J AND 315.1.

BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

ELECTRIC SYMBOLS

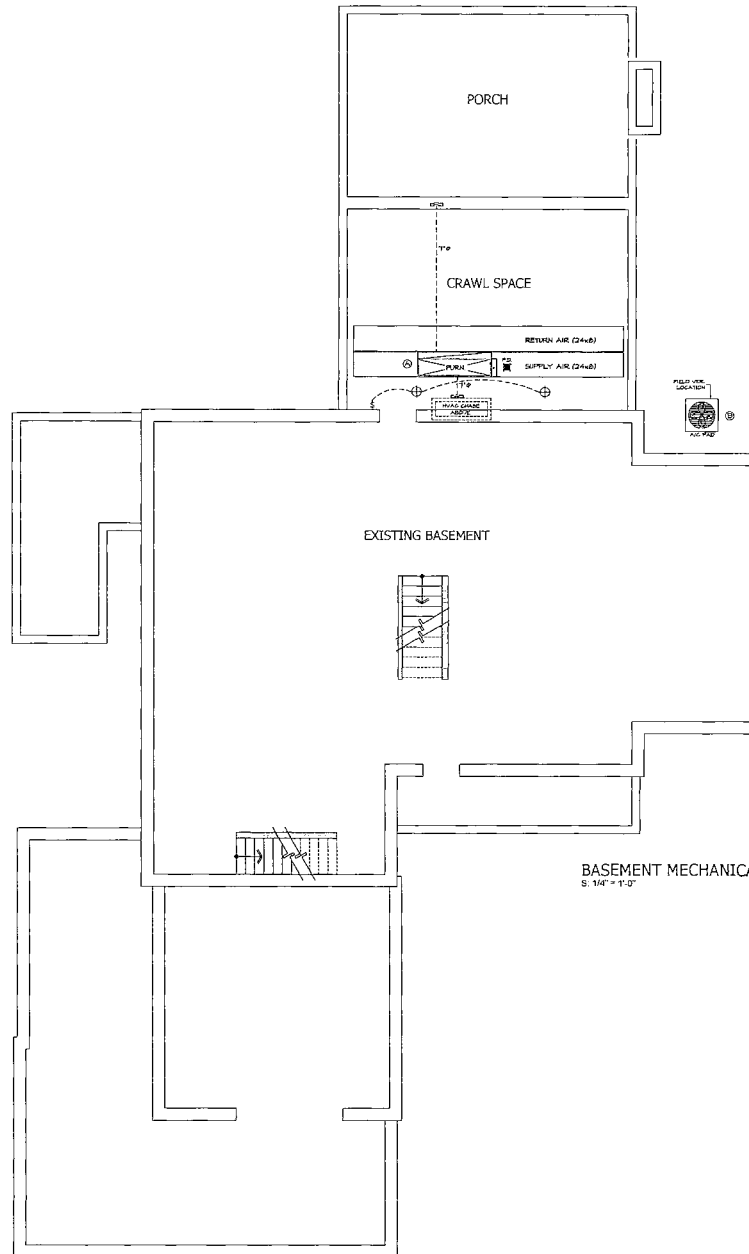
- ⊕ DOUBLE POLE SWITCH
- ⊕ 15 AMP SWITCH
- ⊕ 20 AMP SWITCH
- ⊕ 20 AMP SWITCH W/NO NEUTRAL
- ⊕ 15V CIRCUIT RECEPTACLE
- ⊕ SWITCH PLUG
- ⊕ SPECIAL OUTLET
- ⊕ VENTPIANE OUTLET
- ⊕ GABLE VENTILEY
- ⊕ GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ HEATER/PLUMB
- ⊕ JUNCTION BOX
- ⊕ CEILING LIGHT
- ⊕ WALL LIGHT
- ⊕ CEILING LIGHT (RECESSED PLUMB)
- ⊕ CEILING LIGHT (RECESSED (REBALL) PLUMB)
- ⊕ DOWNSP. FAN
- ⊕ DOWNSP. FAN (NOT TO BE RECESSED OR SURFACE MOUNTED)
- ⊕ CEILING FAN
- ⊕ PLACEMENT PANEL

NOTE: IECC REQUIRES THAT AIR INFILTRATION MOVES FROM A 5 TO A 3

NOTE: ALL DUCTWORK IN UNCONDITIONED SPACES TO HAVE R-8 INSULATION OR R-6 FOR EXHAUST PER RCO 1105.3.2.1

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12

NOTE: PER NEC SECTION 410(D) ALL BATHROOM LIGHTING FIXTURES SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.



- (A) TRANE FURNACE - 150% EFFICIENCY (SIZE PER MECH. CONTRACTOR)
- (B) TRANE CONDENSER - 10 SEER (SIZE PER MECH. CONTRACTOR)

NOTE: LOCKING ACCESS PORT CAPS SHALL BE INSTALLED PER RCO SECTION 1413.6

DISCONNECT & OUTLET SHALL BE INSTALLED WITHIN 25' AND BE GFCI PROTECTED T/R OUTLET



J. KAPELA designs
 Mechanical, Electrical, Plumbing
 4140 W. 19th St.
 Columbus, OH 43224
 www.jkapela.com

GOUNTIS RESIDENCE
 UNFINISHED 1ST FLOOR
 MECHANICAL SCHEMATICS

DATE: 12-22-20

12-22-20

JOB # 1924

M101

PLAN DESIGN & CONSTRUCTION CRITERIA
 BASED ON THE FOLLOWING CODES:
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MECHANICAL NOTES

RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-Fault CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERSEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP, THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

DISCLAIMER:

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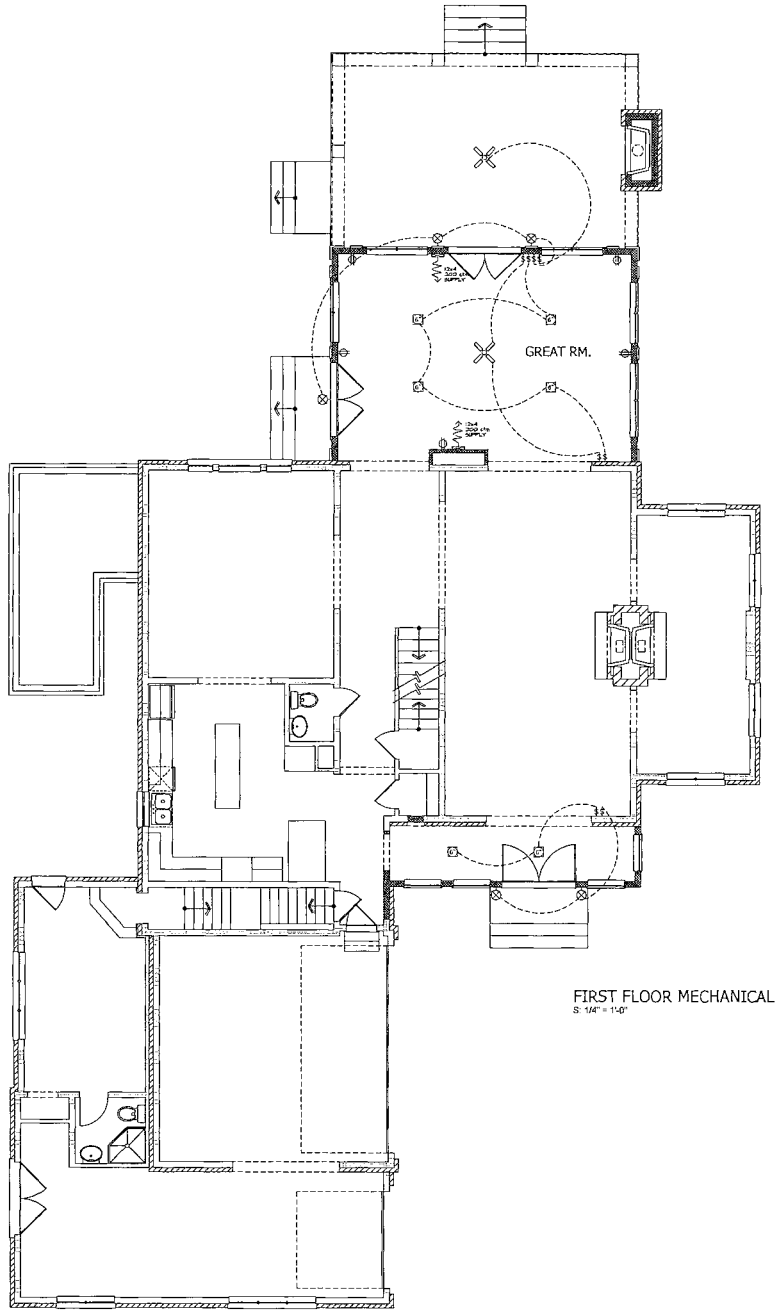
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

ELECTRIC SYMBOLS

- ⬇ SINGLE POLE SWITCH
- ⬇ 2 POLE SWITCH
- ⬆ 4 WAY SWITCH
- ⬆ 3 WAY SWITCH
- ⬆ ANY OTHER WIRE DIAMETER
- ⊕ RHY. OUTLET RECEPTACLE
- ⊕ SWITCH PLUG
- ⊕ SPECIAL OUTLET
- ⊕ TELEPHONE OUTLET
- ⊕ CABLE OUTLET
- ⊕ GROUND FAULT CIRCUIT INTERRUPTER
- ⊕ HEAT THERMOSTAT
- ⊕ JUNCTION BOX
- ⊕ CEILING LIGHT
- ⊕ WALL LIGHT
- ⊕ CEILING OUTLET (RECESSED - FUTURE)
- ⊕ CEILING OUTLET (RECESSED - INSTALLED FINISHED)
- ⊕ EXHHAUST FAN
- ⊕ EXHAUST FAN (NOT TO BE INSTALLED OR SURFACE MOUNTED)
- ⊕ CEILING FAN
- ⊕ FLUORESCENT PANEL

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12

NOTE: PER NEC SECTION 410(D) ALL BATHROOM LIGHTING FIXTURES SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.



FIRST FLOOR MECHANICAL
 S: 1/4" = 1'-0"



J. KAPELA DESIGNS, INC.
 22516 E. STATE ST. #100
 CINCINNATI, OH 45240
 513.586.7100
 www.jkapela.com

GOUNTIS RESIDENCE
 UNFINISHED 2ND FLOOR
 MECHANICAL SCHEMATICS

DATE: 12/22/20
 12-22-20
 JOB # 1924

M102

PLAN DESIGN & CONSTRUCTION CRITERIA
 BASED ON THE FOLLOWING CODES:
 2019 Residential Code of Ohio (RCO)
 2017 National Electric Code (NEC)
 2017 Ohio Mechanical Code (OMC)
 2017 Ohio Plumbing Code (OPC)
 2017 International Energy Conservation Code (IECC)

MECHANICAL NOTES

RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

GFCI LOCATIONS:

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AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

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BATH FANS / VENTS

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DISCLAIMER:

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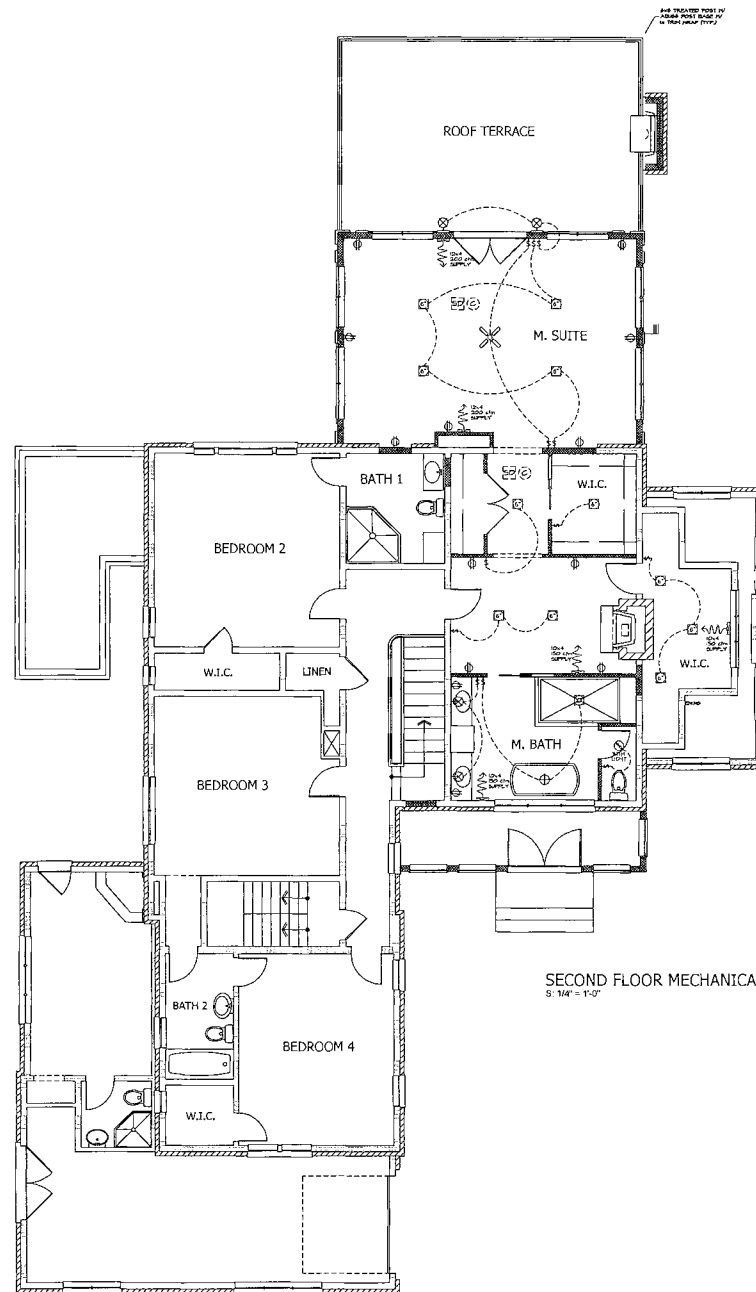
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

ELECTRIC SYMBOLS

- ⊞ SINGLE POLE SWITCH
- ⊞⊞ DOUBLE POLE SWITCH
- ⊞⊞⊞ TRIP BREAKER
- ⊞⊞⊞⊞ 4-POLY BREAKER
- ⊞⊞⊞⊞⊞ AMP SWITCH WITH DISCONNECT
- ⊞⊞⊞⊞⊞⊞ 100V DUPLEX RECEPTACLE
- ⊞⊞⊞⊞⊞⊞⊞ SWITCH PLUG
- ⊞⊞⊞⊞⊞⊞⊞⊞ SPECIAL OUTLET
- ⊞⊞⊞⊞⊞⊞⊞⊞ TELEPHONE OUTLET
- ⊞⊞⊞⊞⊞⊞⊞⊞ CABLE OUTLET
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞ GROUND FAULT CIRCUIT INTERRUPTER
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ HUB
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ JUNCTION BOX
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ CEN-TRAL LIGHT
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ WALL LIGHT
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ CEN-TRAL OUTLET RECESSED FURNITURE
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ CEN-TRAL OUTLET RECESSED SPECIAL FURNITURE
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ EXHAUST FAN
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ RECESSED FAN (MAY BE RECESSED OR SURFACE MOUNTED)
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ CEN-TRAL FAN
- ⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞⊞ FLUORESCENT PANEL

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12

NOTE: PER NEC SECTION 410(D) ALL BATHROOM LIGHTING FIXTURES SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.



SECOND FLOOR MECHANICAL
 S: 14" = 1'-0"



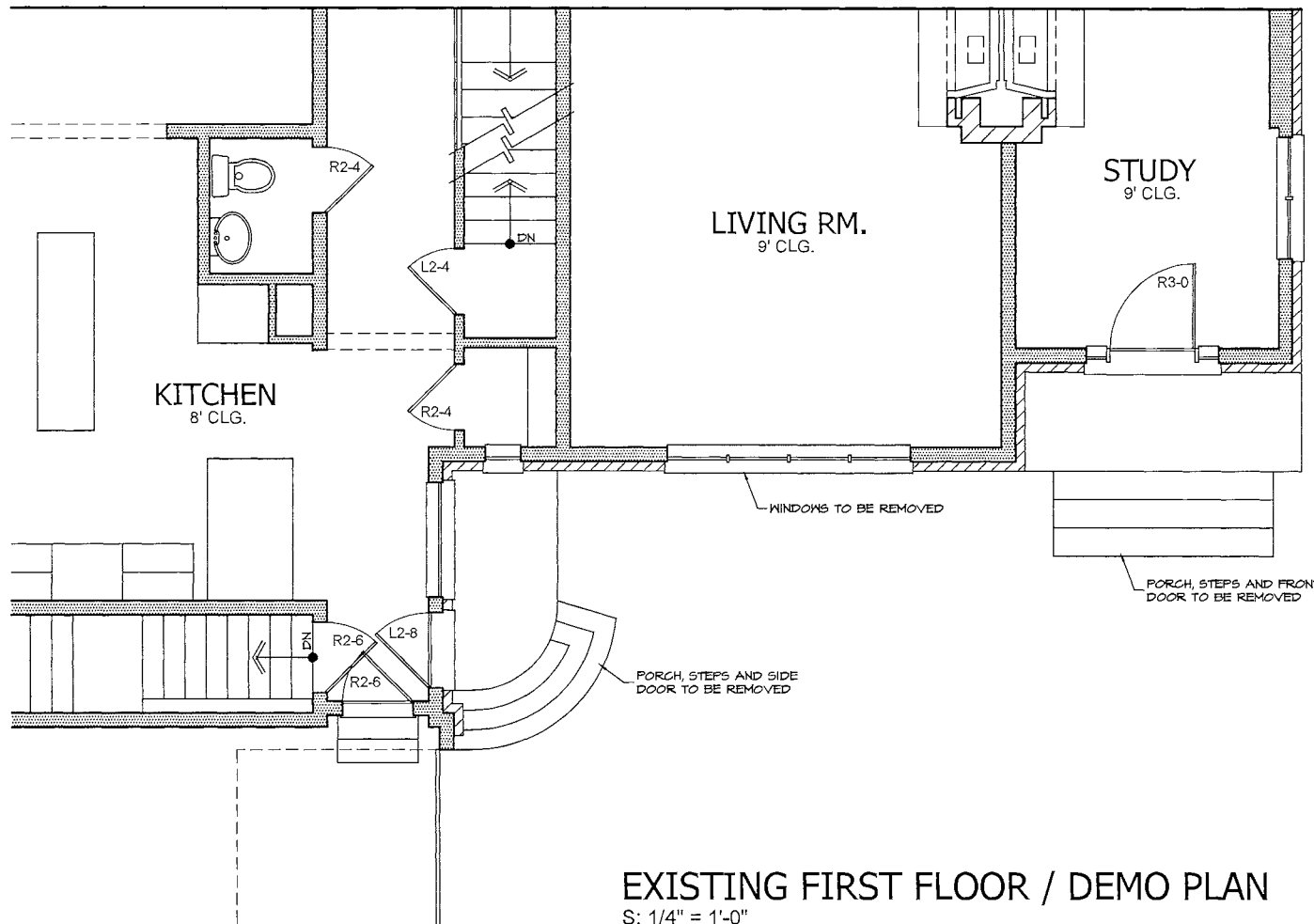
J. KAPELA DESIGNS, INC.
 2005 SHERWOOD BLVD., SUITE 400
 COLUMBUS, OH 43212
 614.891.1112
 www.jkapela.com

GOUNTIS RESIDENCE
 1400 WARD DR., AUSTIN
 MECHANICAL SCHEMATICS

DATE: 12-22-20

JOB # 1924

M103



EXISTING FIRST FLOOR / DEMO PLAN
 S: 1/4" = 1'-0"



CONTACT:
 J. KAPELA DESIGN & CONST.
 4302 John Avenue
 Cleveland, Ohio 44113
 216-862-3525
www.jkapela.com

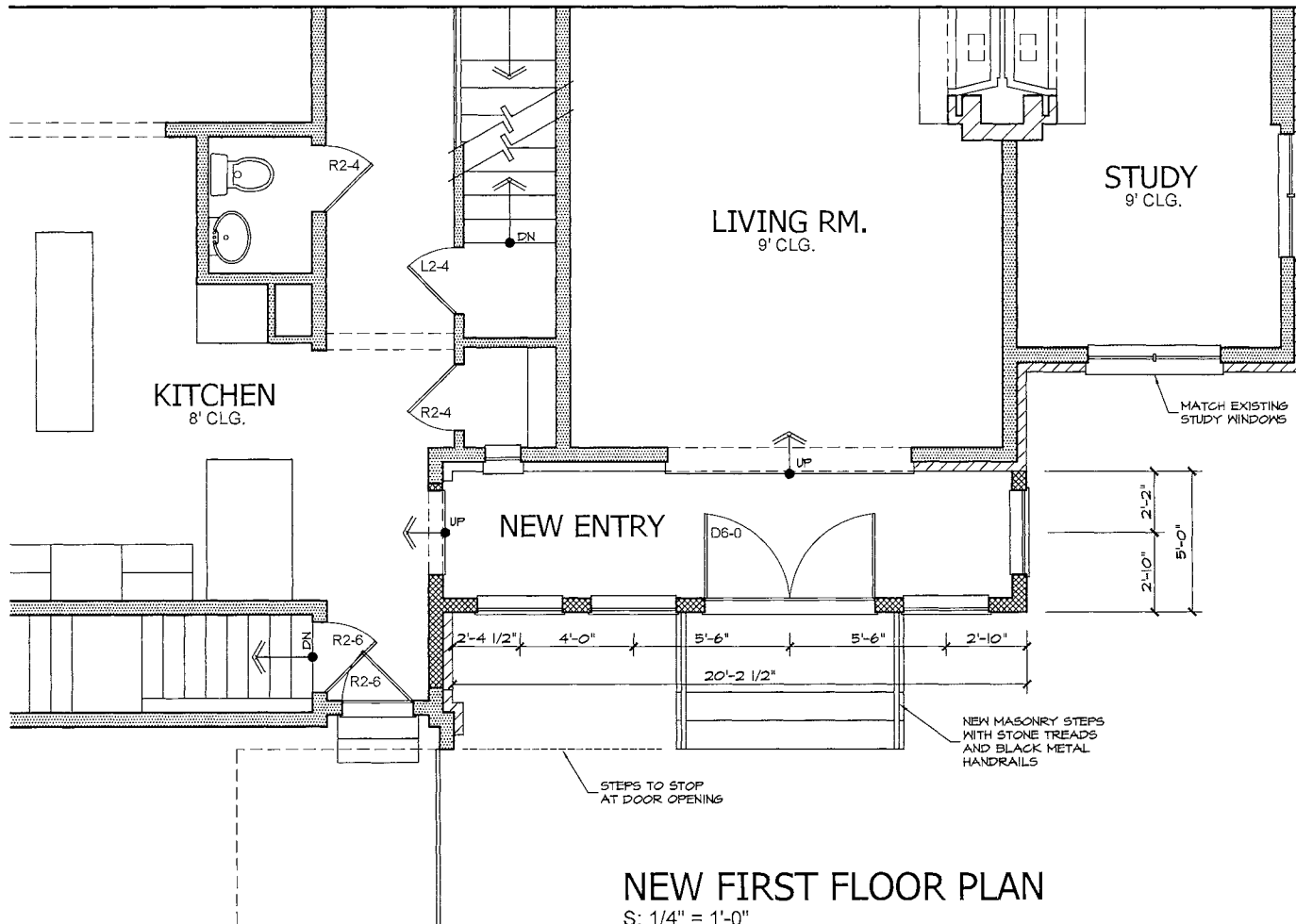
GOUNTIS RESIDENCE
 17810 LAKE RD.
 LAKEWOOD, OH, 44107

EXISTING FLOOR PLAN

DATE
1-13-21

JOB # 2020-03

A101

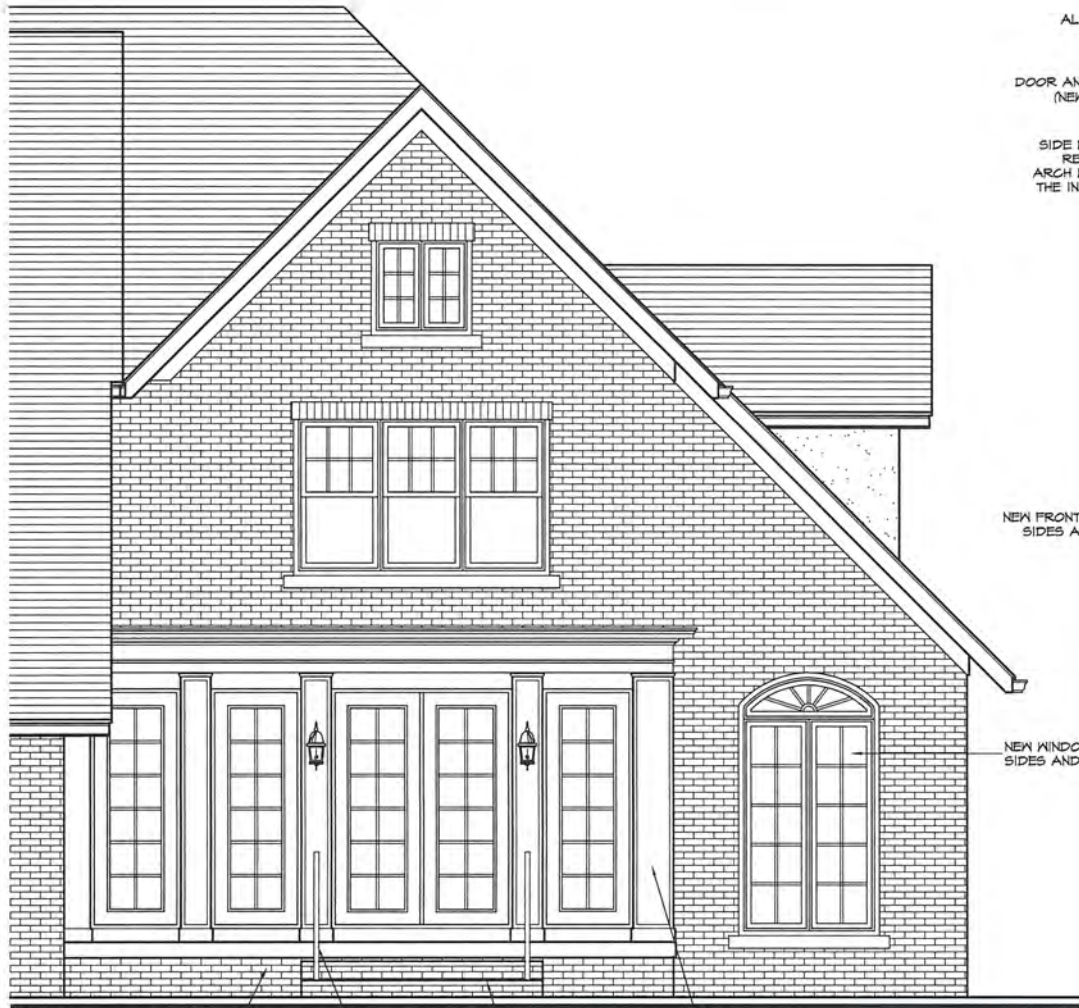


CONTACT:
 J. KAPELA DESIGN & CONST.
 4302 John Avenue
 Cleveland, Ohio 44113
 216-862-3525
www.jkapela.com

GOUNTIS RESIDENCE
 17810 LAKE RD.
 LAKEWOOD, OH, 44107
EXISTING FLOOR PLAN

DATE
1-13-21
 JOB # 2020-03

A102



ALL NEW TRIM COLOR TO MATCH EXISTING TRIM

DOOR AND RAILINGS TO REMAIN. (NEW ROOF FALLS BELOW)

SIDE DOOR AND WINDOW TO REMOVED. SMALL FRONT ARCH WINDOW TO REMAIN ON THE INTERIOR OF NEW ENTRY

NEW FRONT WINDOW TO MATCH SIDES AND REAR OF STUDY

NEW WINDOW TO MATCH SIDES AND REAR OF STUDY

4" BRICK VENEER TO GRADE. MATCH EXISTING AS CLOSE AS POSSIBLE.

RAILINGS

STONE TREADS ON STEPS

ALL NEW BORAL TRIM TO BE PAINTED TO MATCH EXISTING HOUSE TRIM COLOR



FRONT ELEVATION

S: 1/4" = 1'-0"



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Cleveland, Ohio 44113
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GOUNTIS RESIDENCE
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LAKEWOOD, OH, 44107

FRONT ELEVATION

DATE

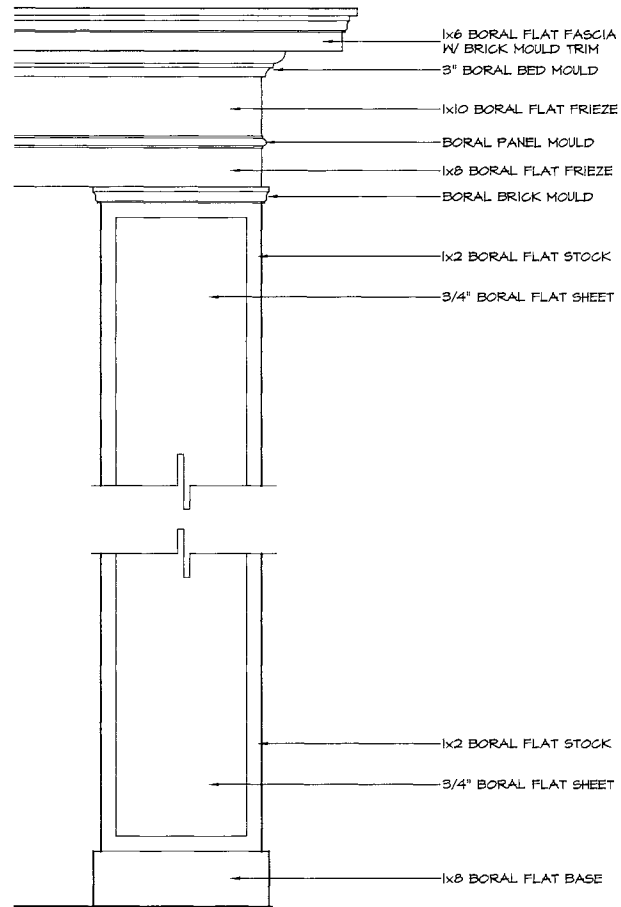
1-13-21

JOB # 2020-03

A103



SIDE ELEVATION
S: 1/4" = 1'-0"



TRIM DETAIL
S: 1" = 1'-0"



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 02-08-21

Permit No.: BBS21-000008

Applicant Name: Laura Dezort

Project Address: 1210 West Clifton Boulevard

Project Name: n/a

Proposal: Applicant proposes design changes to a garage that was approved by the Board of Zoning Appeals at its 2020 meeting.



BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

12/24/2019

Robert E. and Laura Ann E. Dezort
1210 West Clifton Boulevard
Lakewood, Ohio 44107

Re: **Docket No. 12-33-19**
1210 West Clifton Boulevard

Dear Mr. and Mrs. Dezort:

At the 12/19/2019 meeting, the Board of Zoning Appeals considered the request for six variances.

First Variance: The lot size is 6,582 square feet. With the proposed addition the total primary lot coverage will exceed the allowable 25% (1,660 sq. ft) by an additional 2%(134.5 sq. feet) . First variance request is to exceed maximum primary lot coverage by an additional 2% or 134.5 sq. ft. for a total primary lot coverage of 27%. Section 1121.09(a) (Ord. 91-95. Passed 10-7-1996.)

Second Variance: The proposed addition reduces the rear yard setback from the required 40 feet to 36.5 feet. The Second variance request is to reduce the rear yard setback by 3.5 feet. Section 1121.07 (Ord. 91-95. Passed 10-7-1996.)

Third Variance: The proposed garage exceeds the allowable rear lot coverage of 480 sq. ft by 168 sq. ft to cover 37% of the rear yard. The rear lot area is calculated as 1,734 sq. ft. The third variance request is to exceed maximum rear lot coverage by 168 sq. ft. Section 1121.09(c) (Ord. 91-95. Passed 10-7-1996.)

Fourth Variance: The proposed garage has a calculated height of 16 feet and 9 inches. The maximum allowable calculated height for an accessory structure is 15 feet. The fourth variance request is to exceed maximum allowable height of an accessory structure by 21"for a total calculated height of 16 feet 9 inches. Section 1121.05(b) (Ord. 91-95. Passed 10-7-1996.)

Fifth Variance: The proposed garage will be located 1 foot from the rear property line. Wooden garages must be located 3 feet from the rear property line. Fifth variance request is to reduce the side yard setback for an accessory structure to 1 foot. Section 1121.10(1)(a) (Ord. 32-16. Passed 9-6-2016.)

Sixth Variance: The proposed garage will be located 1 foot from the rear property line. Wooden garages must be located 3 feet from the rear property line. Fifth variance request is to reduce the side yard setback for an accessory structure to 1 foot. Section 1121.10(1)(a) (Ord. 32-16. Passed 9-6-2016.)

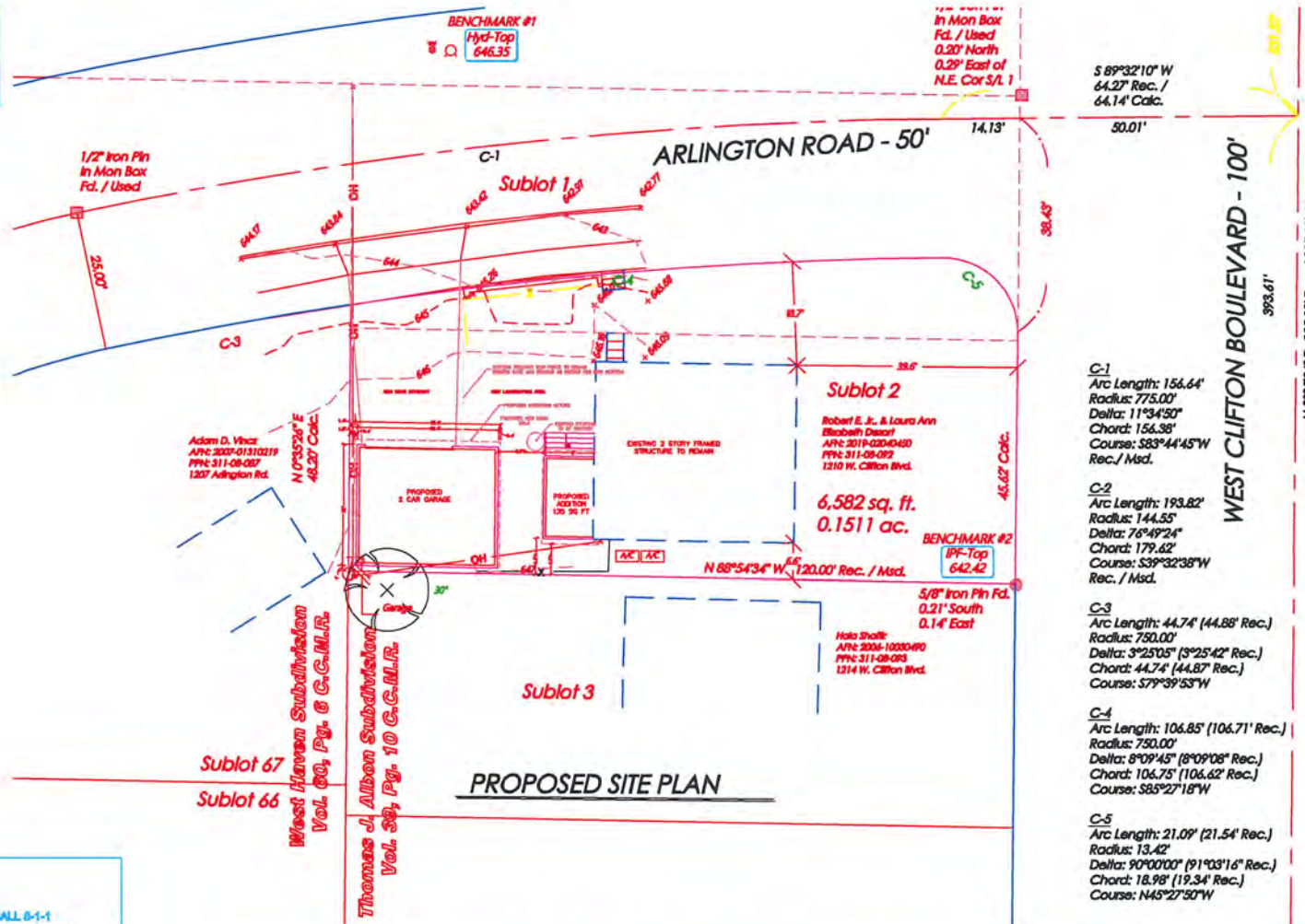
The Board **APPROVED** the request for six variances.

Please contact the Division of Housing and Building with any comments or concerns you may have at (216) 529-6270.

Sincerely,

Michelle Nochta, Board Secretary
Planning and Development

NOTE:
ANYONE USING ELEVATIONS ASSOCIATED WITH THIS PLAN SHALL UTILIZE & CHECK INTO BOTH BENCHMARKS FOR VERTICAL CONTROL. POLARIS SHALL BE NOTIFIED IMMEDIATELY OF ANY IRRREGULARITIES.



PROPOSED SITE PLAN

- C-1**
Arc Length: 156.64'
Radius: 775.00'
Delta: 11°34'50"
Chord: 156.38'
Course: S83°44'45"W
Rec./ Msd.
- C-2**
Arc Length: 193.82'
Radius: 144.55'
Delta: 76°49'24"
Chord: 179.62'
Course: S39°32'38"W
Rec./ Msd.
- C-3**
Arc Length: 44.74' (44.88' Rec.)
Radius: 750.00'
Delta: 3°25'05" (3°25'42" Rec.)
Chord: 44.74' (44.87' Rec.)
Course: S79°39'53"W
- C-4**
Arc Length: 106.85' (106.71' Rec.)
Radius: 750.00'
Delta: 8°09'45" (8°09'08" Rec.)
Chord: 106.75' (106.62' Rec.)
Course: S85°27'18"W
- C-5**
Arc Length: 21.09' (21.54' Rec.)
Radius: 13.42'
Delta: 90°00'00" (91°03'16" Rec.)
Chord: 18.98' (19.34' Rec.)
Course: N45°27'50"W

811 O.U.P.S. REFERENCE
A-905-702-097
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

SYMBOL LEGEND											
⊗	Ex. Clean Out	⊙	Ex. Sanitary Manhole	⊕	Ex. Water Valve	⊞	Ex. Electrical Box	⊗	Ex. Tree	⊞	Ex. Measurement Box
■	Ex. Catch Basin	⊙	Prop. Sanitary Manhole	⊕	Ex. Water Meter	⊞	Ex. Guy Wire	⊗	Ex. Pine Tree	⊞	Cable TV Box
■	Prop. Catch Basin	⊙	Prop. Catch Inlet	⊕	Ex. Fire Hydrant	⊞	Ex. Power Pole	⊗	Ex. Bush	⊞	Sprinkler Control Box
○	Ex. Yard Drain	⊙	Ex. Curb Inlet	⊕	Prop. Hydrant	⊞	Ex. Light Power Pole	⊗	Ex. Mailbox	⊞	Sprinkler Head
○	Ex. Manhole	⊙	Ex. Gas Marker	⊕	Prop. WL Valve	⊞	Ex. Light Pole	⊗	Ex. Sign	⊞	Traffic Signal Pole
○	Ex. Storm Manhole	⊙	Ex. Gas Meter	⊕	Wall	⊞	Prop. Light Pole	⊗	Ex. Telephone Box	⊞	Traffic Signal Box
●	Prop. Storm Manhole	⊙	Ex. Gas Valve	⊕	Test Box	⊞		⊗	Guard Post		



POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD
SUITE D
WILLOUGHBY HILLS, OH 44094
(440) 948-4433
(440) 948-3722 (Fax)
www.polaris-es.com

DATE: 01/08/2009
SCALE: 1"=50'
FOLDER: 090809001
FILENAME: 1210 West Clifton
TAB: 01-Top
DRAWN: JMM

TOPOGRAPHIC SURVEY FOR:
1210 WEST CLIFTON BLVD.
PPN: 311-08-092
CITY OF LAKEWOOD - CUYAHOGA COUNTY - OHIO

PREPARED FOR:
IDS CONSTRUCTION
P.O. BOX 771898
LAKEWOOD, OH 44197
PHONE: (216) 894-9222
CONTACT: David Miller

CONTRACT NO.	
19036	
SHEET	OF
01	01

PROPOSED REMODEL for

Bob & Laura Dezort

1210 W Clifton

Lakewood, Ohio 44107

Independent Design Solutions, LLC
 P.O. Box 471336
 Lakewood, Ohio 44107
 PHONE (216) 536-7322

PROPOSED ADDITION:
 Dezort Residence
 1210 W. Clifton Ave.
 Lakewood, Ohio 44107

GENERAL FRAMING & DESIGN NOTES.

1. WOOD STRESS GRADES:
 SOLID STRUCTURAL FRAMING MEMBERS:
 Fb = 975 PSI
 E = 1,400,000 PSI
 Fy = 175 PSI
2. CONSTRUCTION TO CONFORM TO NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION. FIREBLOCKING SHALL BE INSTALLED IN ALL WALLS PER IRC 302.1.1.
3. FRAMING TIMBER TO BE SOUTHERN YELLOW PINE, NO.2 GRADE OR BETTER.
4. TYPICAL WINDOW AND DOOR HEADER UNTEL (T.L.) TO BE MINIMUM OF (3) 2x 10" WITH (2) 1/2" PLYWOOD PLATES BETWEEN UNLESS NOTED. ALL HEADERS TO HAVE A BEARING OF 4" BOTH SIDES OVER SOLID JACK POSTING (TYP).
5. PROVIDE HEADERS OVER ALL OPENINGS IN NON BEARING WALLS AS FOLLOWS (UNLESS NOTED):
 UP TO 5'-0" 2" x 10"
 5'-0" TO 9'-0" 2" x 10"
 9'-0" TO 11'-0" 2" x 12"
 ADD MEMBERS AND PLYWOOD AS NEEDED TO MATCH WALL THICKNESS.
6. WALLS AND SILLS TO BE ANCHORED TO THE FOUNDATION USING 1/2" x 15" LONG THREADED STEEL ANCHOR BOLTS. BOLTS ARE TO BE INSTALLED A MIN OF 1"2" OFF EACH CORNER AND A MINIMUM OF TWO BOLTS ARE TO BE INSTALLED IN EACH SILL PLATE. ANCHOR BOLTS ARE TO BE SPACED A MAXIMUM OF 60" o/c ELSEWHERE, UNLESS NOTED OTHERWISE. BOLTS TO CONFORM WITH ASTM A-307 AND INCLUDE WASHERS AND NUTS. BOLTS TO HAVE A MINIMUM OF 2" PROJECTION ABOVE SILL PLATE (EXPOSED THREADS).
 NOTE: SIMPSON STRONG TIE # HDU4-SD52.5, OR DESIGNER APPROVED EQUAL, HOLD DOWN ANCHORS MAY BE SUBSTITUTED FOR THE APA WALL DETAILS SHOWN.
7. ALL BUILT-UP POSTS UNDER BEAMS TO BE A MINIMUM (3) NOMINAL 2" x 4" FULL LENGTH STUDS. LVL POST TO BE INSTALLED WHERE NOTED. ALL POSTS TO BE CONTINUOUS FROM SUPPORT BEAM TO FOUNDATION AND FASTENED WITH CLIPS AS NOTED. FIELD FRAMED POSTS TO BE NAILED USING 16d NAILS AT 8" CENTERS BETWEEN EACH INDIVIDUAL MEMBER.
8. CUTTING OF JOIST / BEAMS FOR PIPING SHALL CONFORM TO ACCEPTABLE LUMBER PRACTICES AS OUTLINED IN OHIO RESIDENTIAL CODE OR AS DIRECTED BY DESIGNER. HOLES IN SILLS, OR PLATES OF SHEAR AND BEARING WALLS ARE TO BE CENTERED IN THE MEMBER AND THE DIAMETER SHALL BE NO LARGER THAN 1/3 THE WIDTH OF THE MEMBER. NOTCHING OF THE MEMBER IS NOT PERMITTED. SHOULD A HOLE LARGER THAN THAT NOTED ABOVE BE NEEDED, THE MEMBER IS TO BE CONSIDERED TWO PIECES AND REINFORCING AND ANCHORING SHALL BE INSTALLED ACCORDINGLY.
9. OVERSIZED HOLES (1/2") FOR ALL BOLTS ARE TO BE INSTALLED. WASHERS ARE TO BE USED AT ALL LOCATIONS WHERE THERE IS A NUT AGAINST WOOD. WASHERS ARE TO BE STANDARD PLAIN WASHERS EXCEPT AS NOTED OTHERWISE. BOLTS TO CONFORM TO ASTM A-307 AND TO BE GALVANIZED WHERE EXPOSED TO WEATHER.
10. STUD WALLS ABOVE 8'-0" ARE TO HAVE HORIZONTAL BRIDGING INSTALLED. STUD WALLS SUPPORTING BEAMS ARE TO HAVE SOLID POSTING UNDER THE BEAM BACK TO EITHER THE FOUNDATION OR BEAM SUPPORT.
11. ALL POSTS OR STUD WALLS INTERSECTING WITH CONCRETE OR MASONRY TO HAVE THE END OF THE MEMBER BOLTED WITH 1/2" DIAMETER SLEEVE ANCHORS AND BE PRESSURE TREATED LUMBER OR PROPERLY SEPARATED FROM CEMENT CONTACT.
12. DOUBLE PLATES TO LAP A MINIMUM OF 48" AND TO BE NAILED USING 8-16d NAILS (MINIMUM), OR AS DIRECTED BY DESIGNER OR NOTED. ALL CUTS IN PLATES TO OCCUR OVER BEARING LOCATIONS.
13. JOIST HANGERS, STRAPS, HURRICANE CLIPS, OR OTHER ITEMS NOTED ON THE DRAWING ARE TO BE SUPPLIED BY SIMPSON STRONG TIES, OR DESIGNER APPROVED EQUIVALENT. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL LOCAL AND STATE DESIGN CODES.
14. PARTITION WALLS TO BEAR FULLY ON FLOOR JOIST BELOW (SEE FRAMING PLAN).
15. DOUBLE HEADERS TO BE INSTALLED AT EACH OPENING (FLOOR). DOUBLING OF FLOOR JOISTS UNDER EXCESSIVE LOADS (WHIRLPOOLS, TUBS) ARE TO BE COORDINATED WITH OWNER AND FINAL DESIGN.
16. COORDINATE STAIRS, IF REQUIRED, WITH FINAL SITE LOCATION AND FOUNDATION (SLAB OR BASEMENT). STAIRS RISER NOT TO EXCEED 8.25".
17. EXPOSED LUMBER OR LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED / WOLMANIZED.
18. FIRE STOPPING TO BE INSTALLED IN ACCORDANCE WITH LATEST ADDITION OF LOCAL AND RESIDENTIAL CODE (RCO-302.1.1, 502.1.3).
19. GALZING ADJENT TO DOOR SHALL BE SAFETY GALZING (IRC 308.4.7)
20. FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK. IN THE EVENT OF DISCREPANCY NOTIFY THE DESIGNER FOR CLARIFICATION. ALL CHANGES TO BE IN WRITING.
21. DO NOT SCALE DRAWINGS.
22. DO NOT BACK FILL AGAINST BELOW GRADE WALLS UNTIL THE FIRST FLOOR FRAMING, AND FLOOR SHEETING ARE INSTALLED.
23. THE DESIGN IS BASED ON A SOIL BEARING OF 2,000 PSF (SILTY SAND, CLAYEY, (SW, SP, SM, SC, GM, and GC)).
24. APPLICANT SHALL MEET ALL APPLICABLE REQUIREMENTS OF IRC 1112.010 HOME BUILDERS ASSOCIATION (OHBA) ALTERNATIVE ENERGY CODE, PATH 2 FOR ZONE 5.
25. FINAL GRADE SHALL BE DETERMINED AS A SEPERATE SUBMISSION FROM THIS DOCUMENT AND WILL DEPEND ON THE FOUNDATION BEING INSTALLED (SLAB OR BASEMENT). COORDINATE SLOPE AWAY FROM STRUCTURE (6" DROP TO A POINT 1'0" AWAY). IMPERVIOUS SURFACES SHALL HAVE A 2% SLOPE AWAY FROM STRUCTURE (IRC 401.3)
26. CONCRETE:
 CONCRETE FOR FOUNDATIONS SHALL MEET OR EXCEED ODOT CLASS "C"
27. ELECTRIC PANEL, INSULATION AND HVAC EQUIPMENT SHALL BE PERMANENTLY LABELED PER IRC 1112.1.8, M-1302, AND M-1303
28. ROLLED STEEL SHAPES, PLATES, ANGLES AND BARS SHALL CONFORM TO ASTM A-36
29. STEEL PIPE TO CONFORM TO ASTM A501.
30. WATER LINES TO BE INSULATED PER (IPC 305.4), AND PROTECTED IN CONCEALED SPACES (IPC305.6).
31. WATER SUPPLY LINE TO BE PROPERLY FLUSHED AND TESTED FOR PURITY PRIOR TO PUTTING INTO SERVICE.
32. BATHROOMS REQUIRING EXHAUST FANS SHALL BE VENTED TO THE OUTSIDE. EXHAUSTING INTO ATTIC SPACES OR CRAWL SPACES IS NOT PERMITTED.
33. ALL GUTTERS, DOWNSPOUTS AND STORM DRAINAGE SHALL DISCHARGE INTO APPROVED DISCHARGE MEANS AS APPROVED BY LOCAL AUTHORITY HAVING JURISDICTION. GUTTERS TO BE EXTRUDED ALUMINUM (0.016 GAGE (min)). DOWNSPOUTS TO BE STANDARD 3" RECTANGULAR CORRUGATED. DESIGN LOCATIONS BASED ON 100 YR INTENSITY (5 MIN INTENSITY). FIELD VERIFY LOCATIONS WITH FINAL SITE.
34. CONTRACTOR IS SOLELY RESPONSIBLE TO ASSURE THAT ALL WORK IS COMPLETED ACCORDING TO LOCAL, STATE AND FEDERAL CODES / REGULATIONS. OMISSION OF SUCH DETAILS DO NOT RELIEVE THE CONTRACTOR AND THEIR TRADES FROM COMPLETING THE PROJECT PER CODE.
35. PREPERATION OF THESE DOCUMENTS INCLUDE EVERY ATTEMPT TO CLEARLY DIMENSION AND IDENTIFY THE SCOPE OF WORK REQUIRED TO COMPLETE THE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION AND CORRECT ERRORS AND OMISSIONS. CONTACT THE DESIGNER IF CLARIFICATION IS NEEDED TO CORRECT THE ERROR / OMISSION.
36. WHEN APPLICABLE, ELECTRICAL FIXTURES AND RECEPTALS ARE SHOWN FOR GENERAL INFORMATION ONLY. VERIFY EXACT LOCATION, AND QUANTITY WITH OWNER PRIOR TO COMMENSING WORK. ALL WORK IS TO COMPLY WITH N.E.C., LOCAL AND STATE REGULATIONS.
37. IN ROOMS WHERE TUBS, SINKS OR OTHER WATER SOURCES ARE LOCATED, ALL RECEPTALS ARE TO BE GFCI RATED (GFCI). IN ALL REMAINING RECEPTALS ARE TO BE AFCI RATED (ARC). RECEPTALS ARE TO BE GROUNDED BACK TO THE POWER PANEL COORDINATE COLOR WITH OWNERS. ALL RECEPTALS TO BE INSTALLED 18" ABOVE THE FLOOR, OR AS NOTED ON THE DRAWING. COORDINATE ALL HEIGHT AND OUTLET USE AT CABINET WITH OWNER PRIOR TO WIRING.
38. ALL DUCTS TO BE TESTED FOR TIGHTNESS IN UNCONDITIONED SPACES (IECC 403.2.2).

DESIGN LOADS:

LIVE LOAD DESIGN: 40 PSF (LIVING)
 30 PSF (SLEEPING)

ROOF LOAD: 20 PSF

ROOF SNOW LOAD: MIN SNOW DESIGN PRESSURE IS 20 PSF.

DESIGN WIND CRITERIA:

V = 115 MPH
 I = 1.0
 EXPOSURE = B

SEISMIC CRITERIA:

A_w = 0.057
 A_s = 0.172
 HAZ GROUP = 1
 PERFORMANCE CAT B
 SOIL TYPE: D

SHEAR WALL: R = 4 1/2, CD = 4

INDEX:

SHEET:	DESCRIPTION:
COVER	COVER
1	FOUNDATION/FLOOR PLAN & DETAILS
2	ELEVATIONS
1 of 1	PROPOSED SITE PLAN

NUMBER	DATE	REVISION TABLE	DESCRIPTION

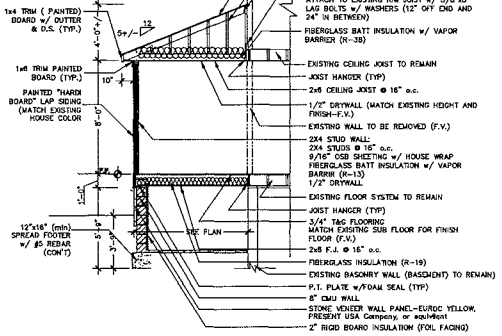
DATE:
 01-18-21

SCALE:
 AS NOTED

SHEET:
 COVER

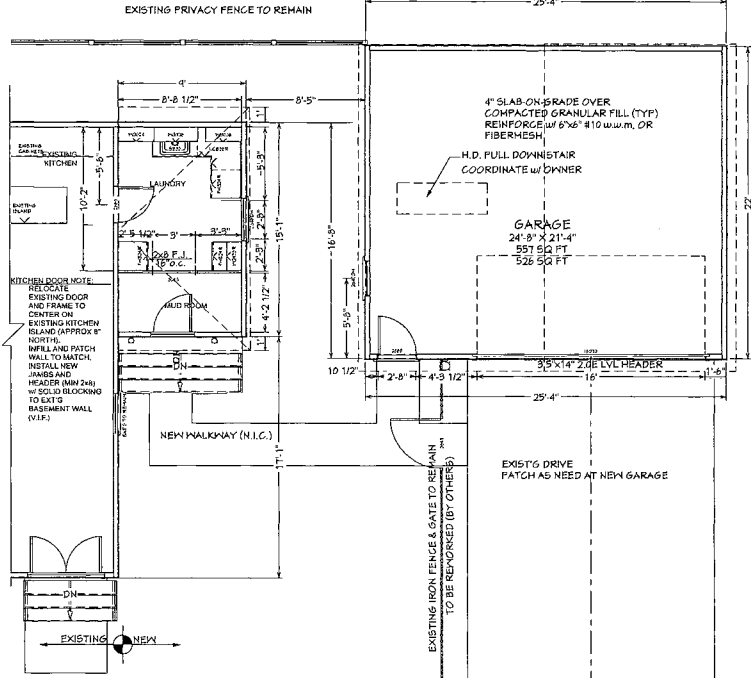
REMOVE EXISTING ROOFING AND REMOVE LOCATION AS NEEDED FOR NEW ROOF TO CLEAR EXISTING WINDOW SILL AND ALLOW FOR PROPER FLASHING (R-13)

REMOVE EXISTING WINDOW IN EXISTING WALL. INFILL WITH 2x4 STUDS @ 16" O.C. AND INSULATION (R-13) UNLESS COVER WITH DRYWALL TO MATCH EXISTING (INTERIOR AND NEW DRYWALL PER AS REQUIRED (R-13))

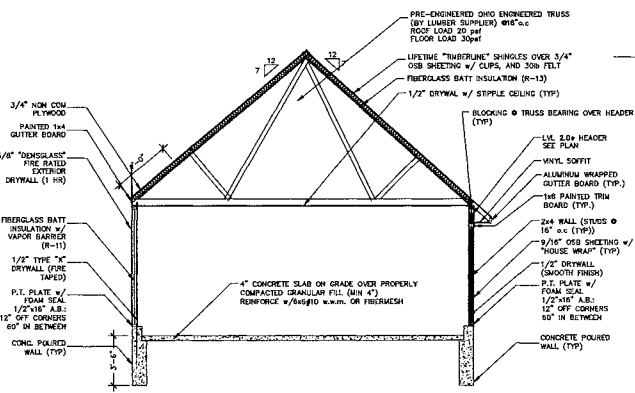


LAUNDRY ROOM SECTION
SCALE: 1/2" = 1'-0"

- LIFETIME "TIMBERLINE" SHINGLES OVER 3/4" OSB SHEETING w/ CLPS, AND 30# FELT
- 2x6 RAFTERS @ 16" o.c. (MAX)
- JOIST HANGER (TYP)
- 1.75"x14" 2x6 L.V. CONCEALED HEADS ATTACH TO EXISTING RM JOIST w/ 3/8"x4" LAP BOLTS w/ WASHERS (12" OFF C/D AND 24" IN BETWEEN)
- FIBERGLASS BATT INSULATION w/ VAPOR BARRIER (R-38)
- EXISTING CEILING JOIST TO REMAIN
- JOIST HANGER (TYP)
- 2x6 CEILING JOIST @ 16" o.c.
- 1/2" DRYWALL (MATCH EXISTING HEIGHT AND FINISH (R-13))
- EXISTING WALL TO BE REMOVED (F.V.)
- 2x4 STUD WALL
- 2x4 STUD @ 16" o.c.
- 9/16" OSB SHEETING w/ HOUSE WRAP
- FIBERGLASS BATT INSULATION w/ VAPOR BARRIER (R-13)
- 1/2" DRYWALL
- EXISTING FLOOR SYSTEM TO REMAIN
- JOIST HANGER (TYP)
- 3/4" TAG FLOORING MATCH EXISTING SUB FLOOR FOR FINISH FLOOR (F.V.)
- 2x6 F.J. @ 16" o.c.
- FIBERGLASS INSULATION (R-19)
- EXISTING BASEMENT WALL (SHEATH) TO REMAIN
- P.T. PLATE w/ FOAM SEAL (TYP)
- 8" CMU WALL
- STONE VENER WALL PANEL-EMERG YELLOW, PRESENT USA COMPANY, or equivalent
- 2" RIGID BOARD INSULATION (POL. FACED)

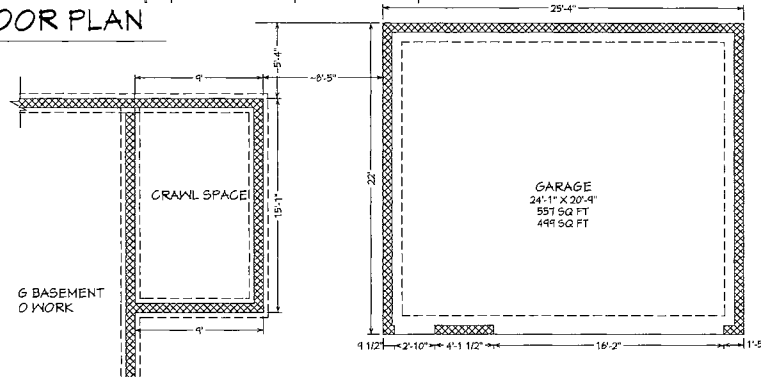


PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



GARAGE SECTION (TYP)
SCALE: 1/2" = 1'-0"

- PRE-ENGINEERED OHIO ENGINEERED TRUSS (BY LUMBER SUPPLIER) W/6" o.c. ROOF LOAD 20 psf FLOOR LOAD 10psf
- LIFETIME "TIMBERLINE" SHINGLES OVER 3/4" OSB SHEETING w/ CLPS, AND 30# FELT
- FIBERGLASS BATT INSULATION (R-13)
- 1/2" DRYWALL w/ STIPPLE CEILING (TYP)
- BLOCKING @ TRUSS BEARING OVER HEADER (TYP)
- LVL 2x6 HEADER SEE PLAN
- VINYL SOFFIT
- ALUMINUM WRAPPED GUTTER BOARD (TYP.)
- 1x4 PAINTED TRIM BOARD (TYP.)
- 2x4 WALL (STUDS @ 16" o.c. (TYP))
- 9/16" OSB SHEETING w/ "HOUSE WRAP" (TYP)
- 1/2" DRYWALL (SMOOTH FINISH)
- P.T. PLATE w/ FOAM SEAL
- 1/2"x8" A.B. 12" OFF CORNERS 60" IN BETWEEN
- CONCRETE POURED WALL (TYP)



PROPOSED FOUNDATION PLAN
SCALE 1/4" = 1'-0"

Independent Design Solutions, LLC
P.O. Box 771536
Lakewood, Ohio 44107
PHONE (216) 536-7332

PROPOSED ADDITION:
Dezort Residence
1210 W. Clifton Ave.
Lakewood, Ohio 44107

REVISION TABLE	DATE	DESCRIPTION

DATE: 01-18-21
SCALE: AS NOTED
SHEET: SHT-1



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 02-09-21A

Permit No.: BBS21-000004

Applicant Name: Mark D. McGluggage, Architect

Project Address: 1560 W. 117th Street

Project Name: KFC

Proposal: Applicant proposes an exterior remodel of the existing KFC store.



16017.20043
 TEMPLATE VERSION:
 AMERICAN SHOWMAN

REVISION	DATE	BY

PROJECT FILE
 PROJECT NO. 16017.20043
 PROJECT NAME: 16017.20043
 PROJECT ADDRESS: 16017.20043
 PROJECT CITY: 16017.20043
 PROJECT STATE: 16017.20043
 PROJECT ZIP: 16017.20043
 PROJECT DATE: 16017.20043
 PROJECT FILE: 16017.20043

16017 WEST 17TH STREET
 TAMPA, FLORIDA 33613
 PROJECT NO. 16017.20043
 PROJECT DATE: 16017.20043
 PROJECT FILE: 16017.20043

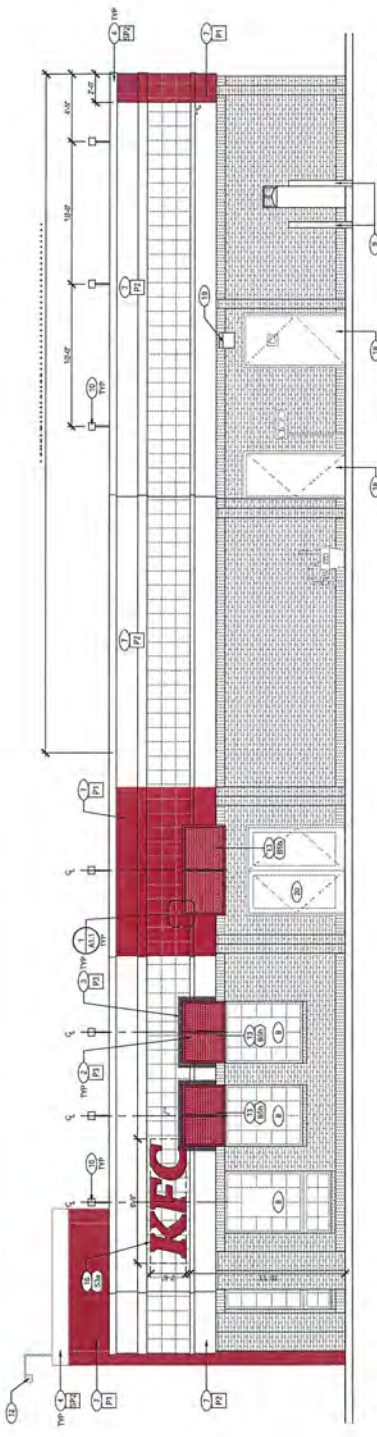
EXTERIOR
 ELEVATIONS
 SHEET NO. A-2.0

FINISH NOTES

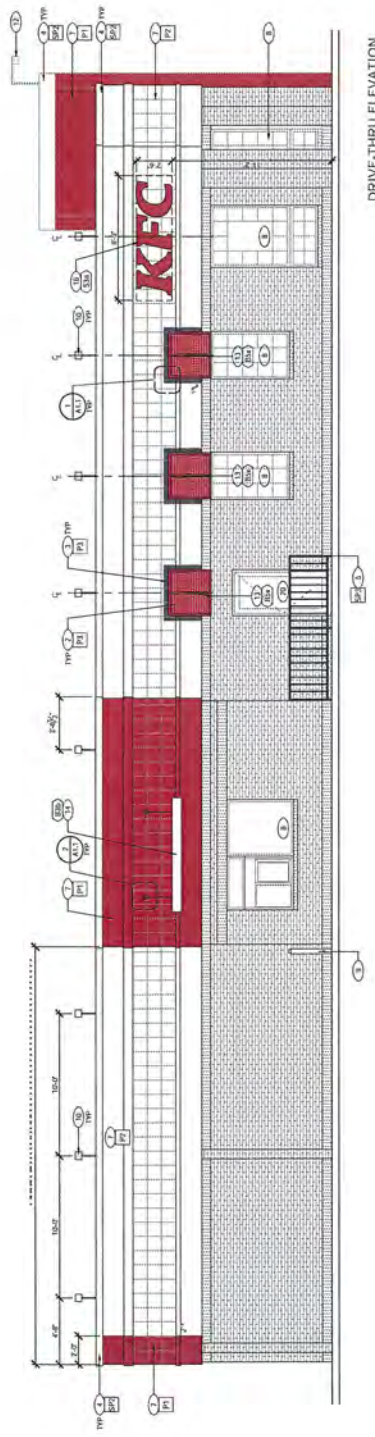
- (1) NOT USED
- (2) PAINT WALL SURFACE BEHIND NEW AWNINGS
- (3) PAINT F-WIDE SIDING WINDOW SURROUNDING AS INDICATED
- (4) EXISTING PAINTWORK TO BE PATCHED, SEALED AND PAINTED
- (5) NOT PAINTED
- (6) NEW EXTERIOR PAINT TREATMENT ON EXISTING FINISH
- (7) EXISTING WINDOW
- (8) EXISTING WINDOW
- (9) EXISTING WINDOW
- (10) EXISTING WINDOW
- (11) EXISTING WINDOW
- (12) EXISTING WINDOW
- (13) EXISTING WINDOW
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- (100) EXISTING WINDOW

SIGNAGE AREA CALCULATIONS

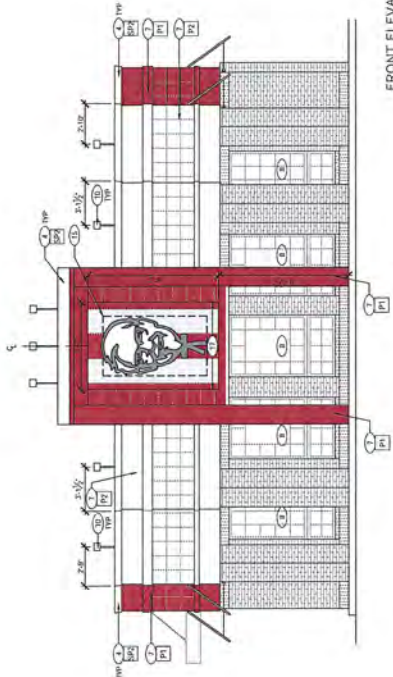
AREA ELEVATIONS = 1 SIGN ALLOWED
 TOTAL SIGN SF = 38 SF PROPOSED / 31,315 SF ALLOWED
 DRIVE-THRU ELEVATIONS = 1 SIGN ALLOWED
 TOTAL SIGN SF = 73.5 SF PROPOSED / 15,131 SF ALLOWED
 DRIVE-THRU ELEVATIONS = 1 SIGN ALLOWED
 TOTAL SIGN SF = 73.5 SF PROPOSED / 15,131 SF ALLOWED



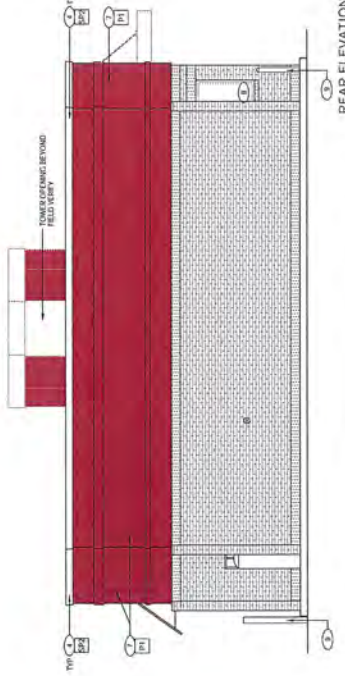
ENTRY ELEVATION
 SCALE: 1/4" = 1'-0"



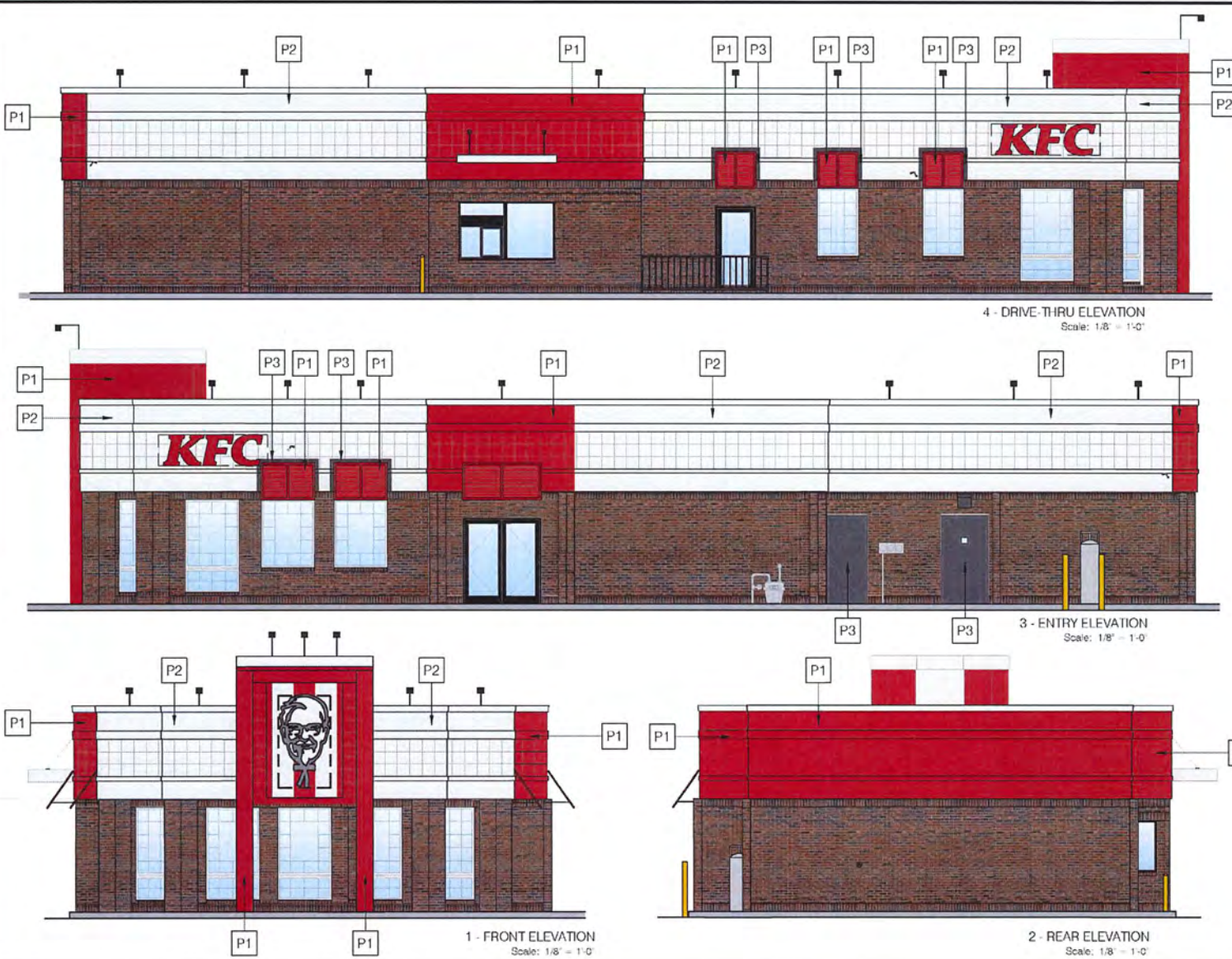
DRIVE-THRU ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



P1 EXOTIC RED 2086-10
BUILDING/AWNING
COLOR



P2 WEDDING VEIL 2125-70
BUILDING COLOR



P3 BLACK HORIZON 2132-30
BUILDING ACCENT
COLOR



MARK D. MCCLUGGAGE, AIA, CCS
ARCHITECT

PRELIMINARY
NOT FOR CONSTRUCTION
The information contained herein is preliminary and is not intended to be used for construction. The drawings are for review purposes only.

16017.20043
TEMPLATE VERSION:
AMERICAN SHOWMAN

REVISIONS:

Mark	Date	By

PROJECT TITLE
CD TEMPLATE
%30 SERIES 8000
TO AMERICAN
SHOWMAN
INCENTIVE SCOPE
1580 WEST 117TH STREET
LAKEWOOD, OHIO 44107
STORE NO. K071184
BLDG SHFT 017002021

EXTERIOR
ELEVATIONS

SHEET NO.
A-2.0

SIGNAGE AREA CALCULATIONS

FRONT ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 30 SF PROVIDED / 57.375 SF ALLOWABLE

SIDE ENTRY ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 21.8 SF PROVIDED / 57.375 SF ALLOWABLE

DRIVE THRU ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 21.8 SF PROVIDED / 57.375 SF ALLOWABLE



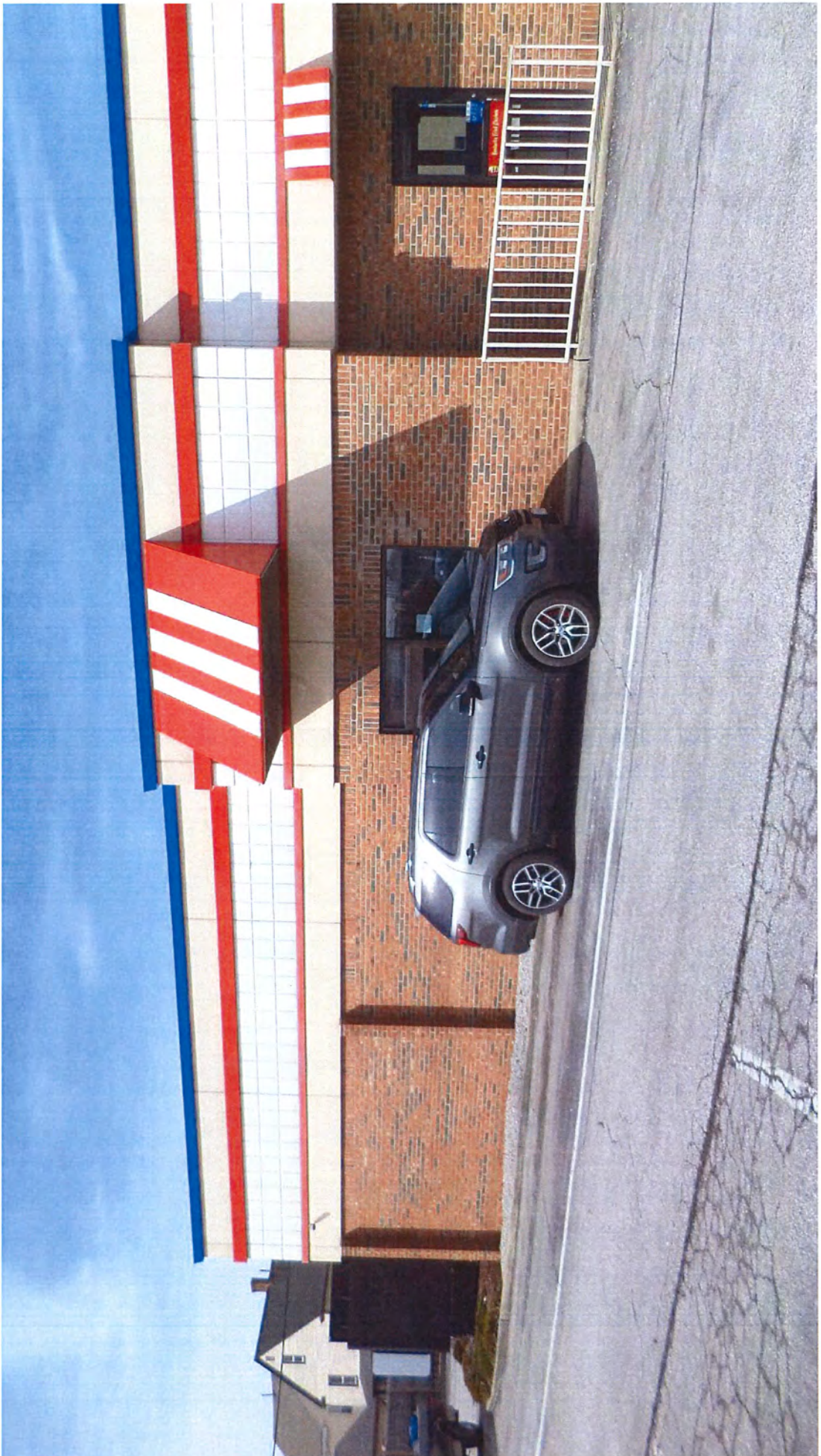
Google











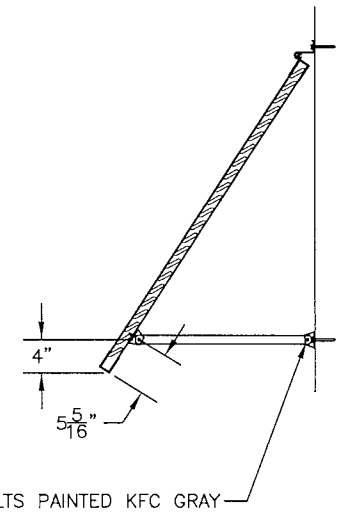
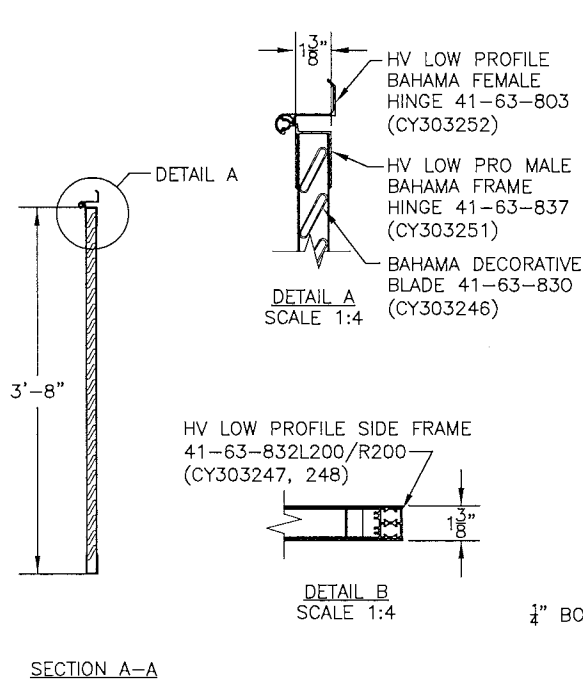
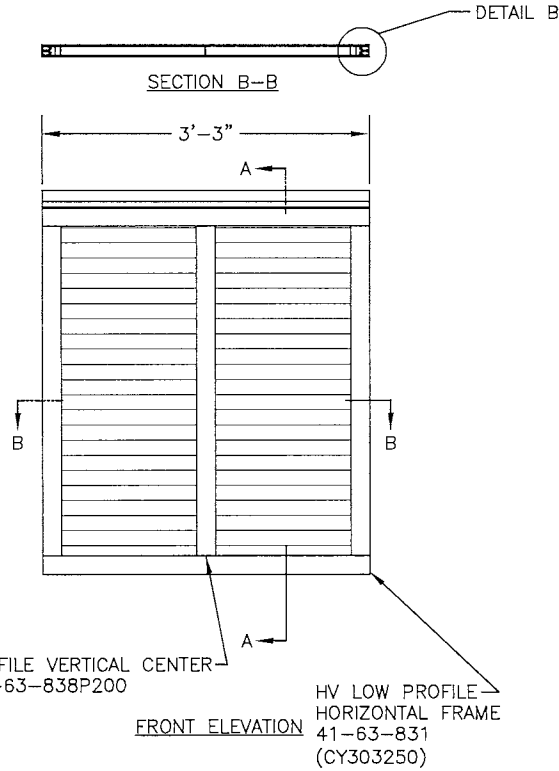






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ECR	REV	REVISIONS	DATE	BY
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COLOR NOTES

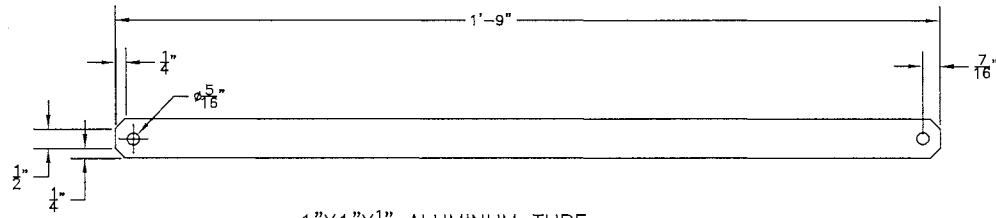
1. SHUTTER IS BENJAMIN MOORE EXOTIC RED 2086-10 KYNAR SATIN 631
2. KICKER BAR AND BRACKETS POWDER COATED TO MATCH KFC GRAY, SATIN FINISH

NOTES:			
 <small>Customer creation through brand innovation</small>		CUSTOMER KFC	
4255 NAPIER FIELD RD DOTHAN, AL 36303 PHONE (334) 873-4700		CODE PAGE LAYOUT	PRESENTATION
DRAWING APPROVED BY		ITEM DESCRIPTION 44" X 39" SHUTTER AWNING	
PROGRAM APPROVED BY		LOCATION VARIOUS	DRAWN BY ECS
RELEASED FOR PROTOTYPE	BY	SCALE 1:12	ENGINEER ERIC SIMMONS
1st RUN	BY	SHEET 1 OF 2	ACCOUNT REPRESENTATIVE -
PRODUCTION	BY	WIND LOAD (MPH)	EST WEIGHT (LBS)
			ITEM NUMBER KV300301
			REV -

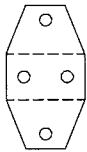
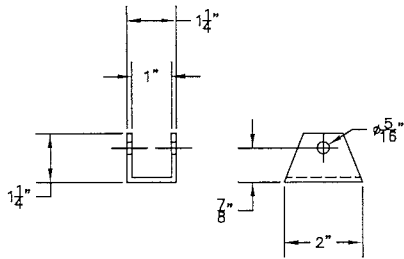
ITEM NUMBER
KV300301

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ECR	REV	REVISIONS	DATE	BY
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1"X1"X1/8" ALUMINUM TUBE
(Q'TY 2)



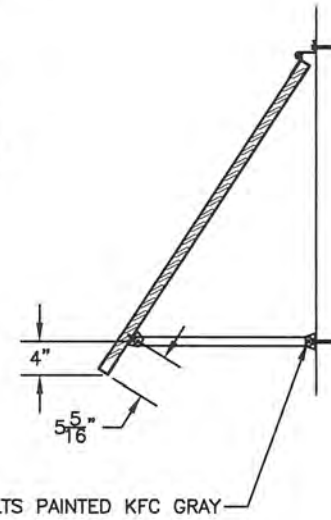
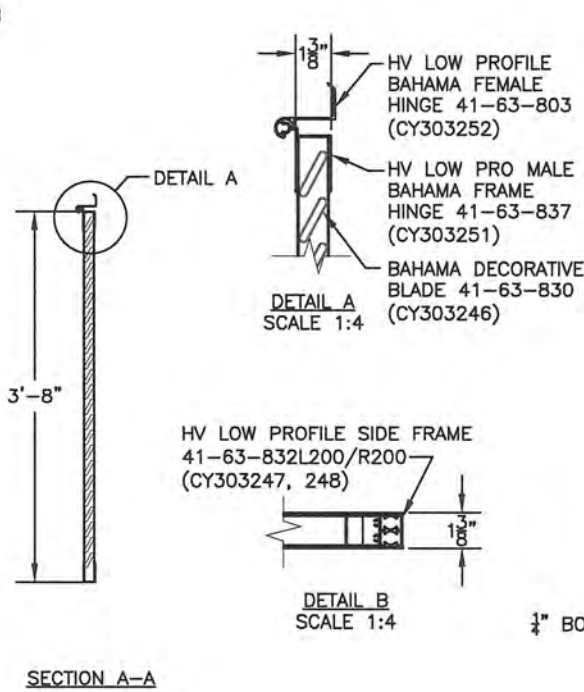
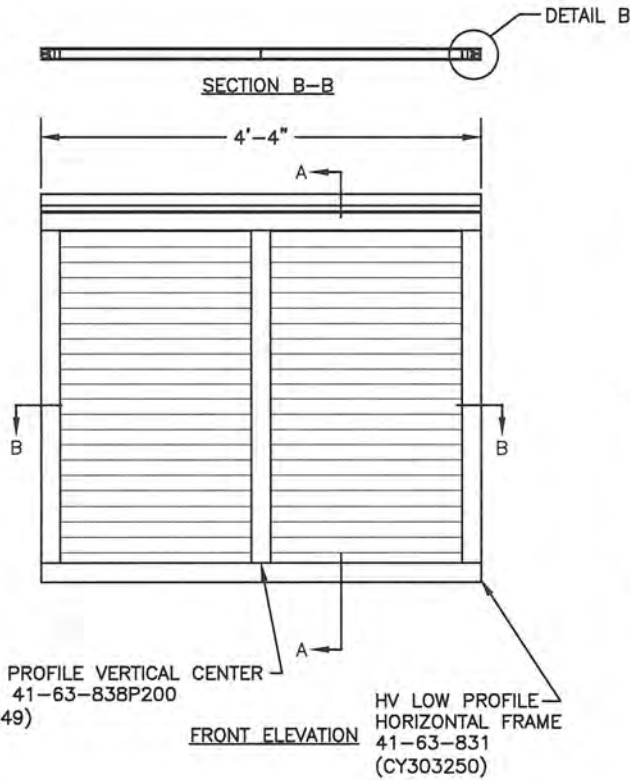
PARTNO: KV3004P0001
 RAWMAT: ALMF125
 ORDQTY: 4

NOTES:

 <small>4255 NAPIER FIELD RD DOTHAN, AL 36303 PHONE: (334) 873-4700</small>		CUSTOMER KFC		ITEM NUMBER KV300302
CODE PAGE LAYOUT		PARTS		
DRAWING APPROVED BY		ITEM DESCRIPTION 44" X 39" SHUTTER AWNING		REV -
PROGRAM APPROVED BY		LOCATION VARIOUS		
PROTOTYPE BY		SCALE ENGINEER ERIC SIMMONS		
1st RUN BY		SHEET 2 OF 2		ACCOUNT REPRESENTATIVE -
PRODUCTION BY		WIND LOAD (MPH) EST WEIGHT (LBS)		
		ITEM NUMBER KV300302		

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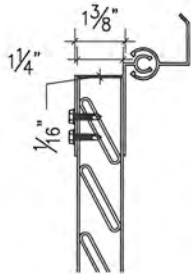
ECR	REV	REVISIONS	DATE	BY
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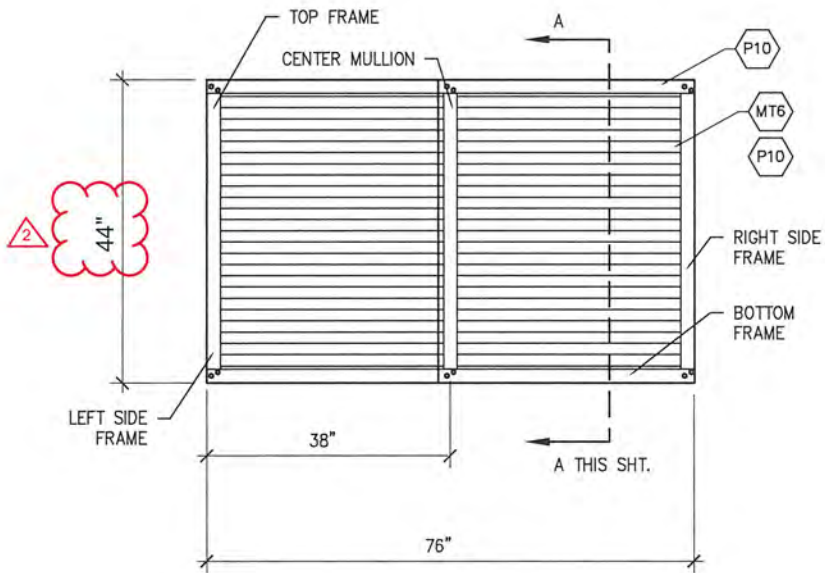
- COLOR NOTES**
1. SHUTTER IS BENJAMIN MOORE EXOTIC RED 2086-10 KYNAR SATIN 631
 2. KICKER BAR AND BRACKETS POWDER COATED TO MATCH KFC GRAY, SATIN FINISH



NOTES:		CUSTOMER		ITEM NUMBER
<p>4255 NAPIER FIELD RD DOTHAN, AL 36303 PHONE: (334) 873-4700 UL #E25302</p>		<p>KFC</p> <p>CODE PAGE LAYOUT</p> <p>PRESENTATION</p>		
<p>DRAWING APPROVED BY</p> <p>PROGRAM APPROVED BY</p> <p>PROTOTYPE BY</p> <p>Tot RUN BY</p> <p>PRODUCTION BY</p>		<p>ITEM DESCRIPTION</p> <p>44" X 52" LOUVER PANEL SHUTTER 300-AS-SHUT-3-8X4-4</p> <p>LOCATION</p> <p>VARIOUS</p> <p>SCALE</p> <p>1:12</p> <p>SHEET</p> <p>1 OF 2</p> <p>WIND LOAD (MPH)</p> <p>EST WEIGHT (LBS)</p> <p>DRAWN BY</p> <p>CRAIG GREEN</p> <p>ACCOUNT REPRESENTATIVE</p> <p>ITEM NUMBER</p> <p>KV301201</p>		REV

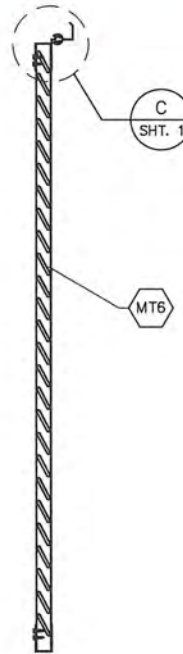


DETAIL "C" - TYP.
Scale: 3" = 1'-0"



SHUTTER "A"
Scale: 1/2" = 1'-0"

Powder Coat - Tiger Drylac
KFC Gray 038/70469



SECTION A-A
Scale: 1" = 1'-0"

BILL OF MATERIALS

TAG	DESCRIPTION
MT6	3/8"x2" LOUVER BLADE
MT7	1x1x.125 ALUM. SQ. TUBE
P10	BENJAMIN MOORE 'EXOTIC RED' 2086-10 KYNAR SATIN 631
PC1	POWDER COAT - RAL 7015 -SATIN FINISH

REVISIONS

NO.	DESCRIPTION	DATE
1		XX-XX-XX
2	AWNING SIZE	3-17



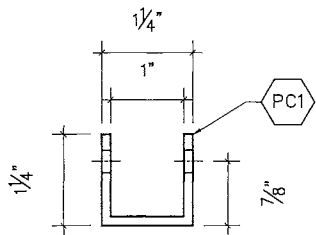
SHUTTER AWNING 6'-4"

AMERICAN
SHOWMAN
JUNE 2015



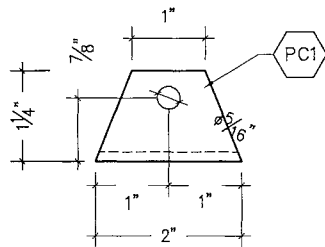
KFC

B5b



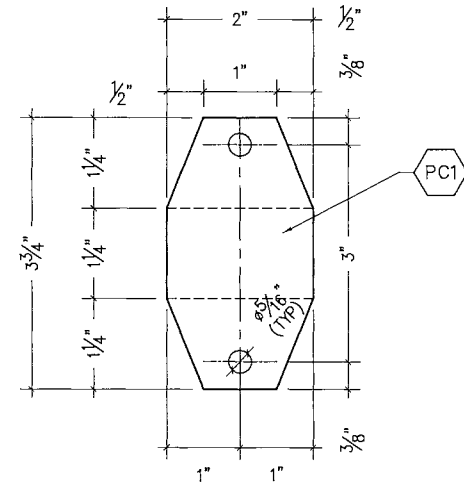
KICKER BRACKET FRONT

Scale: 6" = 1'-0"



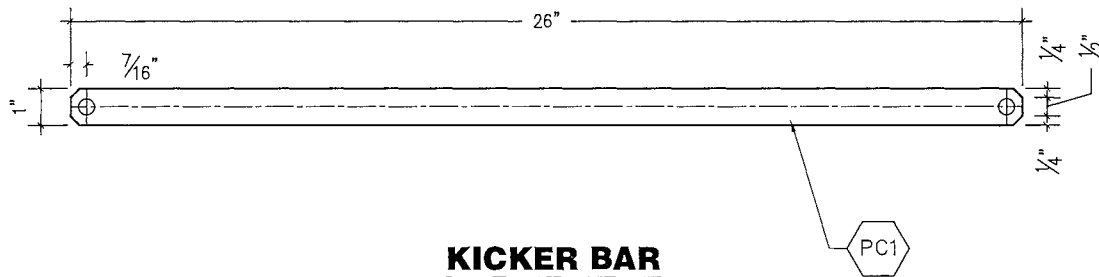
KICKER BRACKET SIDE

Scale: 6" = 1'-0"



KICKER BRACKET FLAT

Scale: 6" = 1'-0"



KICKER BAR

Scale: 3" = 1'-0"

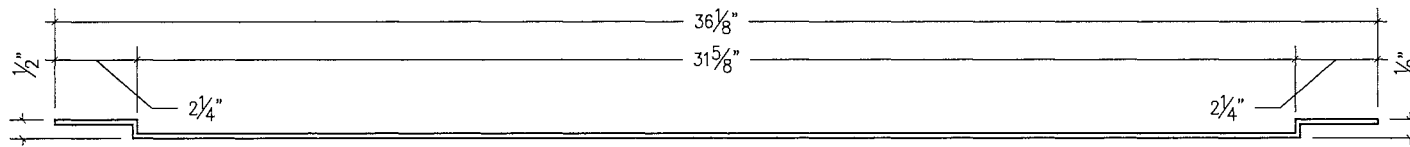
SHUTTER

AMERICAN
SHOWMAN
JUNE 2015

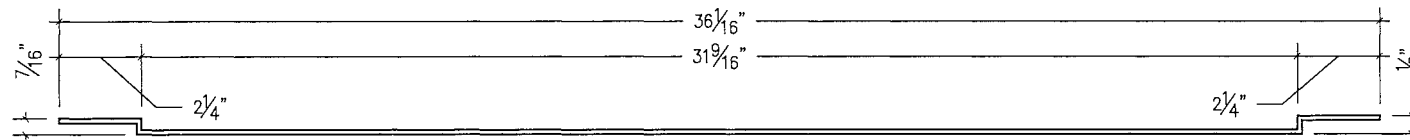


KFC

B5b



RAIN PAN "A"
Scale: 3" = 1'-0"



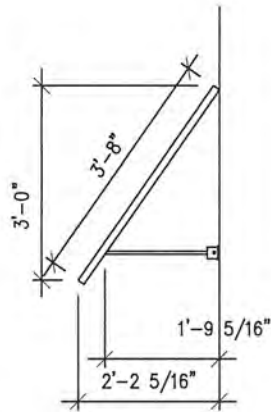
RAIN PAN "B"
Scale: 3" = 1'-0"

AMERICAN
SHOWMAN
JUNE 2015

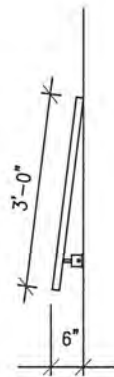


KFC

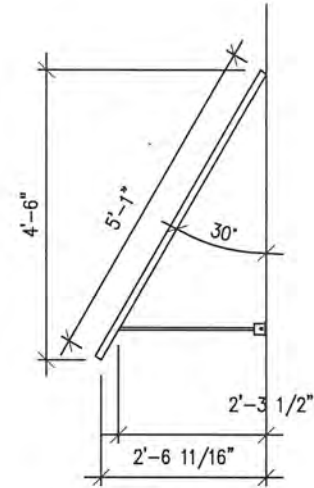
B5b



REMODEL PROJECTS



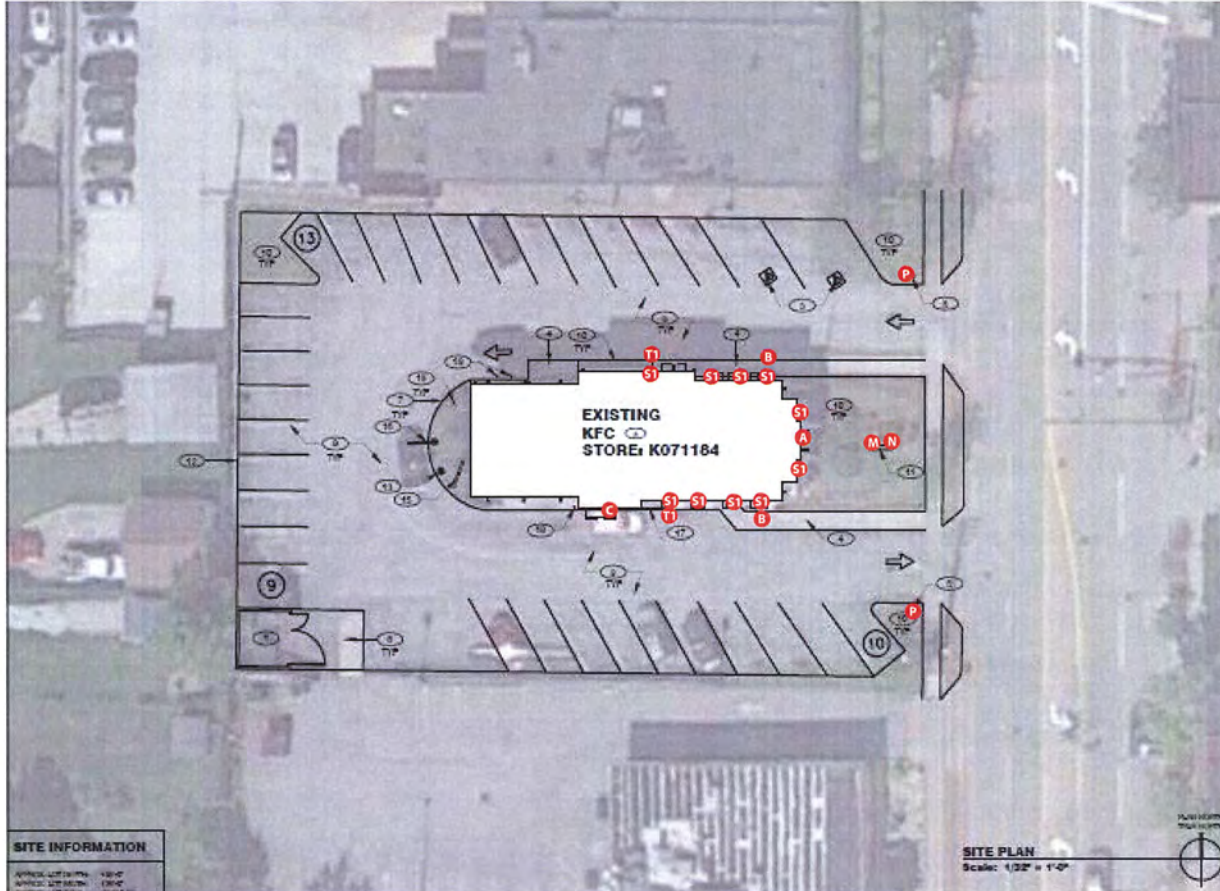
REMODEL PROJECTS
(AWNING FLUSH WITH DT)



NEW CONSTRUCTION

**WIDTH WILL VARIATE TO MATCH WINDOW FRAME SIZE.
BOTTOM OF AWNING TO ALIGN WITH TOP OF WINDOW
FRAME. LARGER AWNING MAY BE USED FOR REMODEL
IF NEEDED TO FIT WITH BUILD HEIGHT**





QTY.	DESCRIPTION	SQ. FT.
A 1	HALF HEIGHT TOWER PANEL	86.6
B 2	24" RED KFC CHANNEL LETTER SET	20.5
C 1	8'DT CANOPY	
S1 10	RED SHUTTER AWNINGS - SIZE T.B.D.	
T 2	SHUTTER AWNING RAIN SCREEN - SIZE T.B.D.	
D 1	RETROFIT CLEARANCE BAR	
M 2	4X7 KFC MONUMENT REPL. FACES	
N 2	ONLINE ORDERING ANCILLARY PANEL	
P 4	D4 DIRECTIONAL FACES	

SITE INFORMATION

APPROX. LOT DIMS. 140' x 100'
 APPROX. LOT AREA 14,000 SQ. FT.
 APPROX. LOT AREA 14,000 SQ. FT.

SITE PLAN

Scale: 1/32" = 1'-0"

**KFC 3007356
 LAKEWOOD, OH**

**DRAWING NO:
 105303.00**

DATE: 1-14-2021

S. Hawke



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CUSTOMER APPROVAL:

DATE: _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____





FRONT ELEVATION
SCALE: 1/8" = 1'-0"

QTY.	DESCRIPTION	SQ. FT.
A 1	HALF HEIGHT TOWER PANEL	86.6
B 2	24" RED KFC CHANNEL LETTER SET	20.5
C 1	8' DT CANOPY	
S 10	RED SHUTTER AWNINGS - SIZE T.B.D.	
T 2	SHUTTER AWNING RAIN SCREEN - SIZE T.B.D.	
D 1	RETROFIT CLEARANCE BAR	
M 2	4X7 KFC MONUMENT REPL. FACES	
N 2	ONLINE ORDERING ANCILLARY PANEL	
P 4	D4 DIRECTIONAL FACES	



DRIVE-THRU ELEVATION
SCALE: 1/8" = 1'-0"

KFC 3007356
LAKEWOOD, OH

DRAWING NO:
105303.00

DATE: 1-14-2021
S. Hawke



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CUSTOMER APPROVAL:

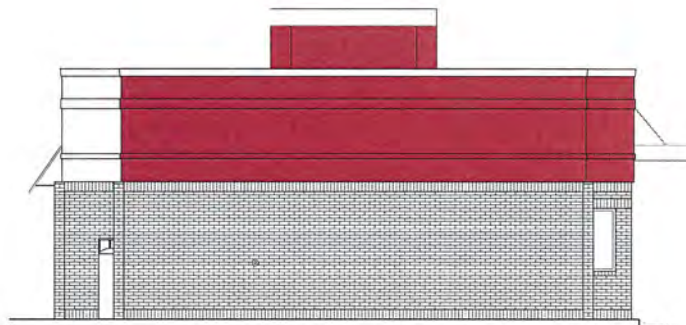
DATE: _____

Rev. #	DATE	BY
Rev. #1	_____	_____
Rev. #2	_____	_____
Rev. #3	_____	_____

Rev. #	DATE	BY
Rev. #4	_____	_____
Rev. #5	_____	_____
Rev. #6	_____	_____

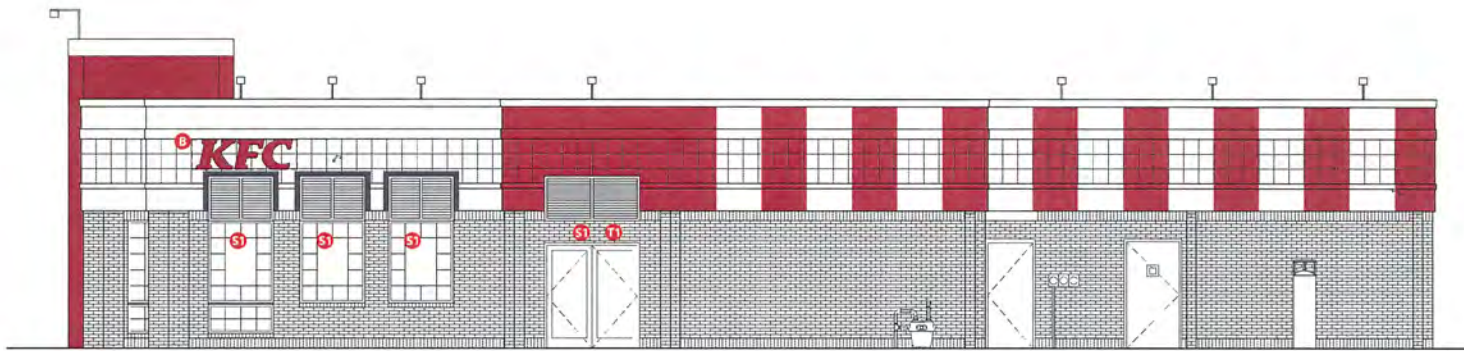


THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT



REAR ELEVATION
SCALE: 1/8" = 1'-0"

QTY.	DESCRIPTION	SQ. FT.
A 1	HALF HEIGHT TOWER PANEL	86.6
B 2	24" RED KFC CHANNEL LETTER SET	20.5
C 1	8' DT CANOPY	
S 10	RED SHUTTER AWNINGS - SIZE T.B.D.	
T 2	SHUTTER AWNING RAIN SCREEN - SIZE T.B.D.	
D 1	RETROFIT CLEARANCE BAR	
M 2	4X7 KFC MONUMENT REPL. FACES	
N 2	ONLINE ORDERING ANCILLARY PANEL	
P 4	D4 DIRECTIONAL FACES	



ENTRY ELEVATION
SCALE: 1/8" = 1'-0"

KFC 3007356
LAKEWOOD, OH



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CUSTOMER APPROVAL:

DATE: _____

DATE BY

Rev. #1 _____

Rev. #2 _____

Rev. #3 _____

DATE BY

Rev. #4 _____

Rev. #5 _____

Rev. #6 _____



DRAWING NO:
105303.00

DATE: 1-14-2021

S. Hawke



KFC

TOWER GRAPHICS

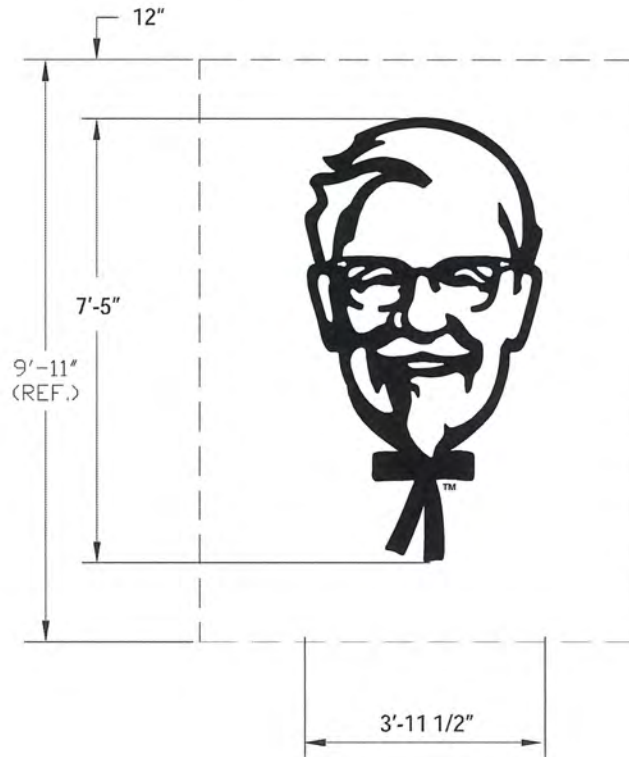
A

8' 8"

10'



Scale: 1/2" = 1'



SIGN SPECIFICATIONS

MATERIALS:

- COLONEL IMAGE BACKGROUND:
3M 7725-30 MATTE WHITE FILM.
- COLONEL IMAGE SHADOWS & OUTLINES & TEXT:
3M 3632GPS-22 BLACK OPAQUE FILM
- FILM TO BE ON TRANSFER PAPER TO BE SHIPPED TO SITE & INSTALLED.

PART # 300-AS19-TWRDECAL-HH



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CUSTOMER APPROVAL:

DATE: _____

Rev.#	DATE	BY	Rev.#	DATE	BY
Rev.#1	_____	_____	Rev.#4	_____	_____
Rev.#2	_____	_____	Rev.#5	_____	_____
Rev.#3	_____	_____	Rev.#6	_____	_____



DRAWING NO:

95947G

DATE: 11-29-2018

S. Hawke

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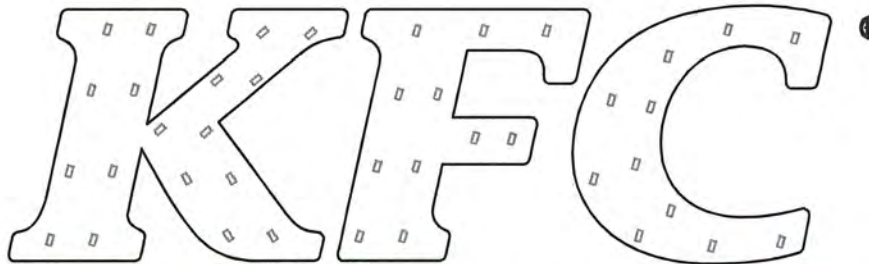
KFC

24" ILLUMINATED LETTER SET

B



SCALE: 1" = 1'-0"



LED MODULE	AGILIGHT LS-PROCLR-TRD-2B5 EN600021 TRUE RED			-
LETTERS	K	F	C	
LED TOTAL	18	11	11	40 TOTAL LEDS
LEDS PER CHANNEL	40			
POWER SUPPLIES	(1) ES500500			.9 TOTAL AMPS

SIGN SPECIFICATIONS

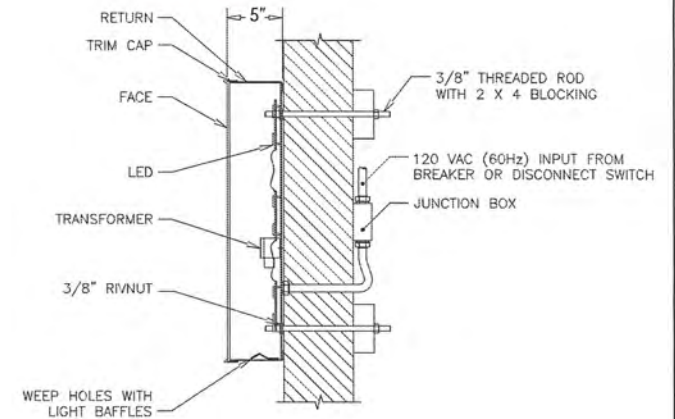
MATERIALS:

- .150 #7328 WHITE ACRYLIC WITH 3M 3630-53 RED VINYL APPLIED TO FIRST SURFACE.
- 1" GREY JEWELITE TRIM CAP
- RED LED ILLUMINATION
- .063 ALUMINUM BACKS PAINTED TO MATCH RETURNS
- .050 ALUMINUM RETURNS PAINTED KFC GREY.
- REGISTRATION MARK .125 ALUMINUM PAINTED WHITE WITH 3M 3630-53 RED SCOTCHCAL APPLIED 1ST SURFACE.

ELECTRICAL:

TOTAL AMPS: .9A
 TOTAL CIRCUITS: (1) 20 AMP
 VOLTS: 120V

3M 3630-53



PART # 300-AS19-CL24-RED-SC



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CUSTOMER APPROVAL:

DATE: _____

DATE	BY	DATE	BY
Rev. #1	_____	Rev. #4	_____
Rev. #2	_____	Rev. #5	_____
Rev. #3	_____	Rev. #6	_____



DRAWING NO:

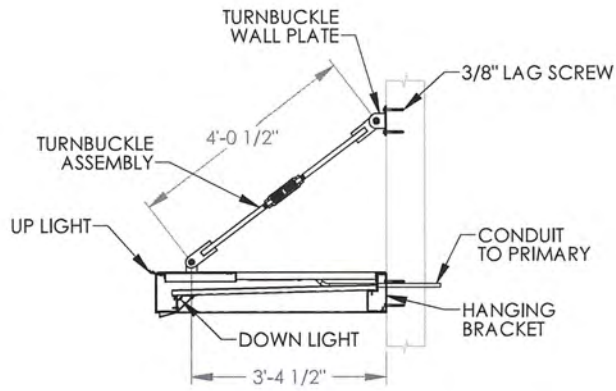
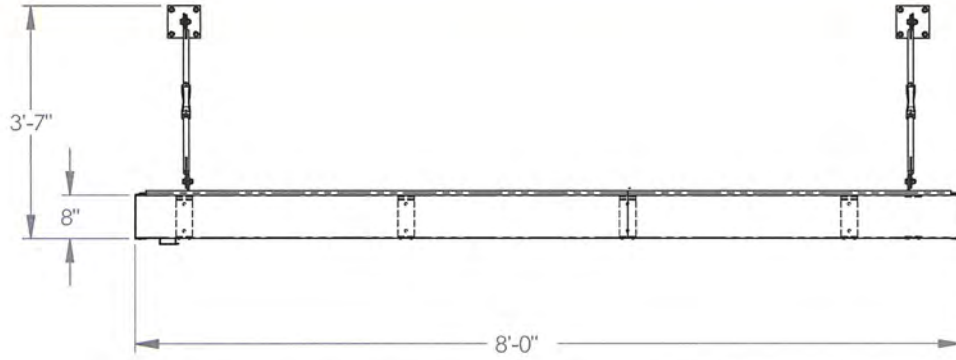
95947D

DATE: 11-29-2018

S. Hawke

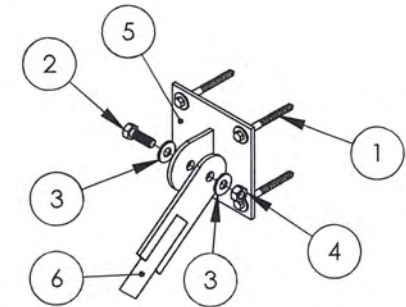
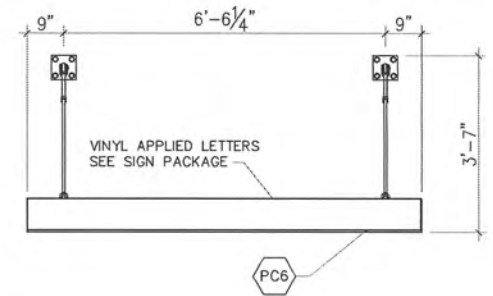
THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT.

E



SIGN SPECIFICATIONS

- ALUMINUM CANOPY, STEEL TURNBUCKLES & WALL PLATES POWDER COATED BENJAMIN MOORE WEDDING VEIL 2125-70 SATIN 631.
- LED DOWNLIGHTING.



TURNBUCKLE DETAIL

ARTWORK SHOWN FOR PRESENTATION PURPOSES ONLY.
ACTUAL SIZE & DESIGN MAY VARY.
NOT FOR MANUFACTURING.

PART # 300-AS-8FT-DT-CNPY



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DATE: _____

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Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:

85647.00

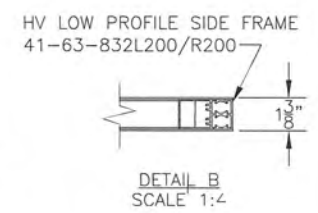
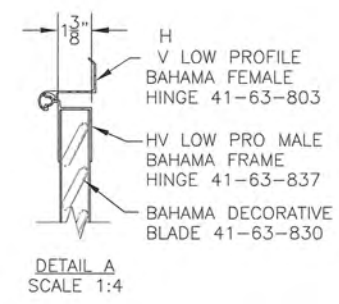
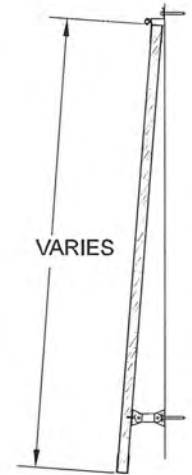
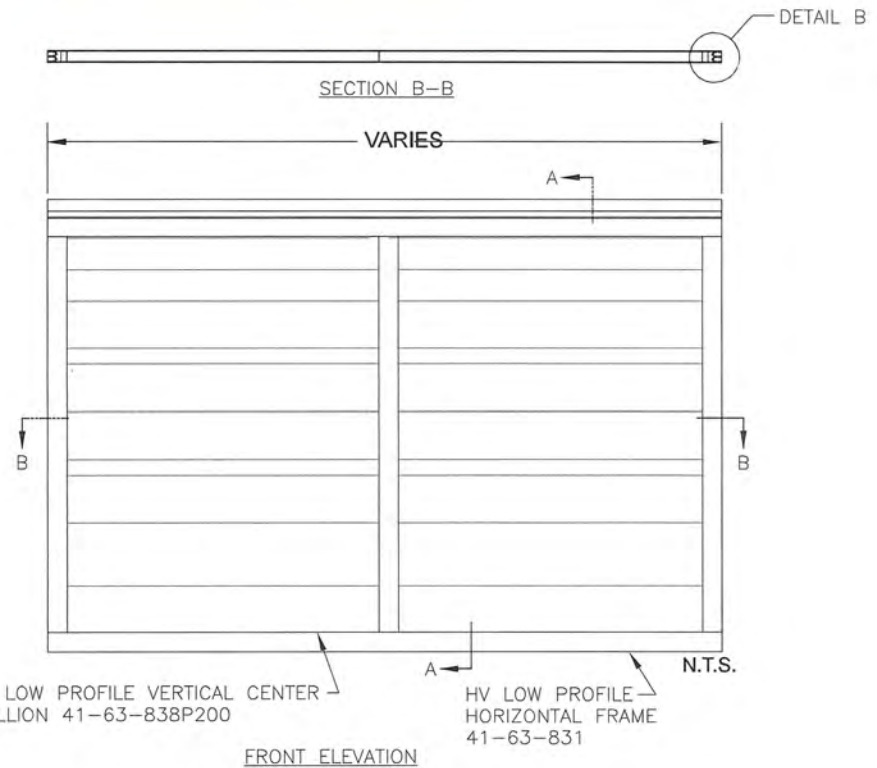
DATE: 9-23-2016

R. Gaines

S1 TYPICAL DETAIL - LENGTHS VARY

SIGN SPECIFICATIONS

- SHUTTER IS BENJAMIN MOORE EXOTIC RED 2086-10 KYNAR SATIN 631.
- KICKER BAR & BRACKETS POWDER COATED TO MATCH RAL 7015, SATIN FINISH.



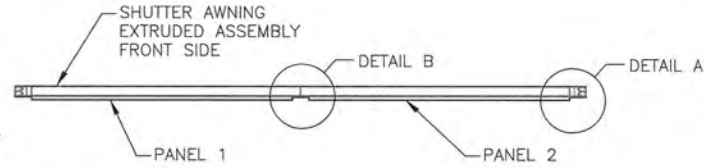
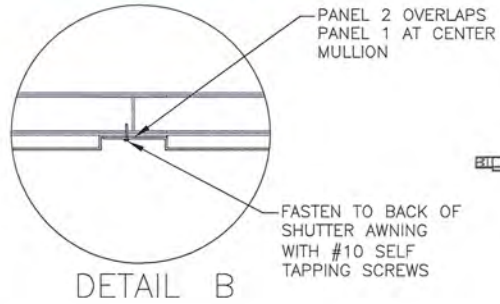
N.T.S.

SHUTTERS MAY BE BLACK OR RED

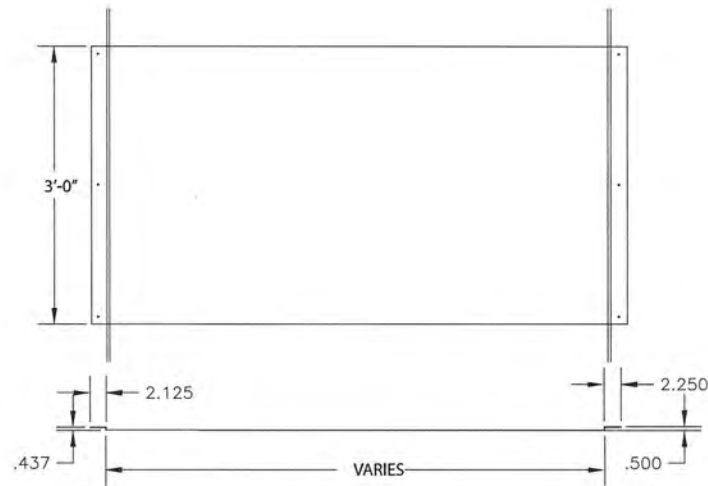
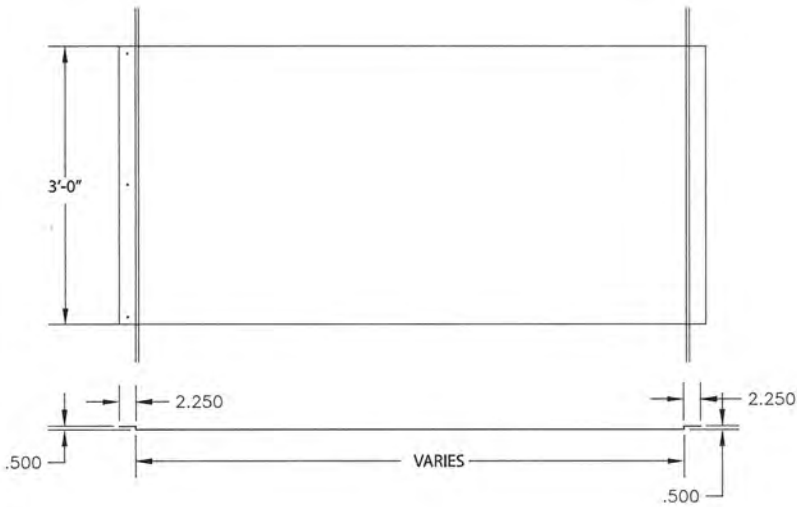
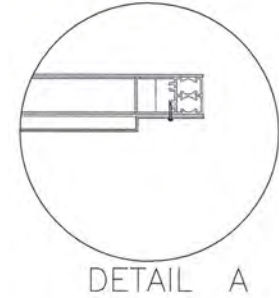
<p>THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY CUMMINGS SIGNS. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIES, OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF CUMMINGS SIGNS.</p>	<p>CUSTOMER APPROVAL:</p> <p>DATE:</p>	<p>DATE</p> <p>BY</p>	<p>DATE</p> <p>BY</p>		<p>DRAWING NO:</p>
		<p>Rev. #1</p> <p>Rev. #2</p> <p>Rev. #3</p>	<p>Rev. #4</p> <p>Rev. #5</p> <p>Rev. #6</p>		<p>DATE</p> <p>DATE</p>

TYPICAL DETAIL - LENGTHS VARY

T1



- RAIN SCREEN PAINTED RED
BENJAMIN MOORE EXOTIC RED 2086-10
KYNAR SATIN 631.



N.T.S.



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CUSTOMER APPROVAL:

DATE: _____

	DATE	BY		DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____

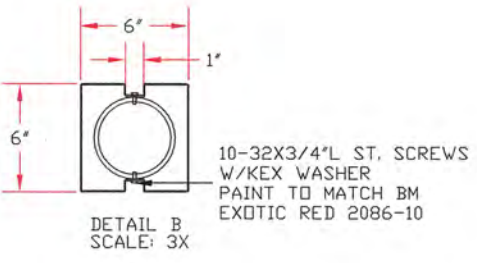
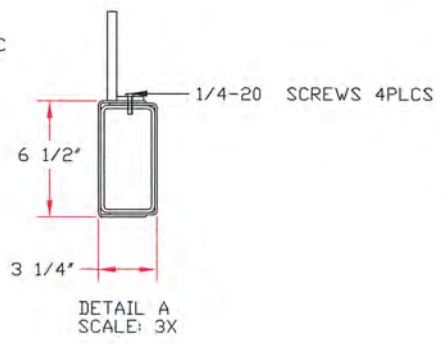
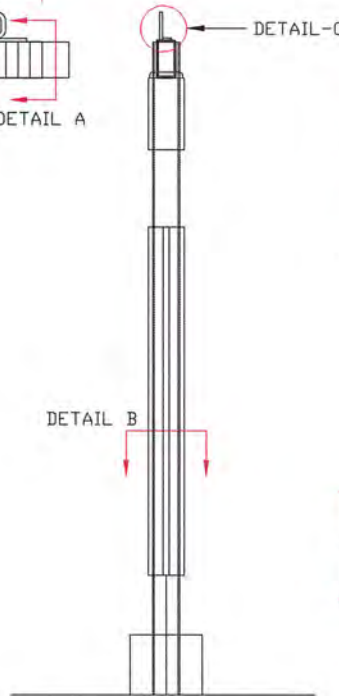
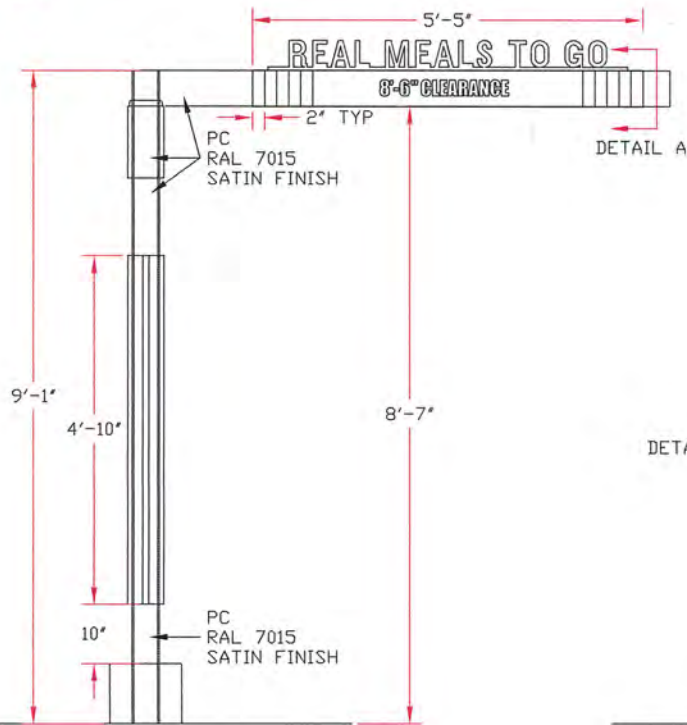


DRAWING NO:

DATE

S. Hawke

R



- SPECIFICATIONS**
- COLOR NOTES:
- ALUMINUM PANEL PRE PAINTED BENJAMIN MOORE EXOTIC RED 2086-10 KYNAR SATIN 631.
 - EXISTING STEEL POWDER COATED RAL 7015 SATIN FINISH
 - REAL "MEALS TO GO" POWDER COATED TO MATCH BENJAMIN MOORE WEDDING VEIL 2125-70 SATIN
 - STRIPES & "CLEARANCE" - WHITE

PART # 300-AS-DTCBAR-RETRO



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CUSTOMER APPROVAL: _____
DATE: _____

Rev.#	DATE	BY	Rev.#	DATE	BY
Rev.#1	_____	_____	Rev.#4	_____	_____
Rev.#2	_____	_____	Rev.#5	_____	_____
Rev.#3	_____	_____	Rev.#6	_____	_____



DRAWING NO:
82374C
DATE: 3-1-2016
S. Hawke

D



opposite face



SPECIFICATIONS

PAN FORMED POLYCARBONATE FACE DECORATED WITH 1ST SURFACE GRAPHICS.



LED RETROFIT KIT REQUIRED.

SCALE: 1" = 1'-0"



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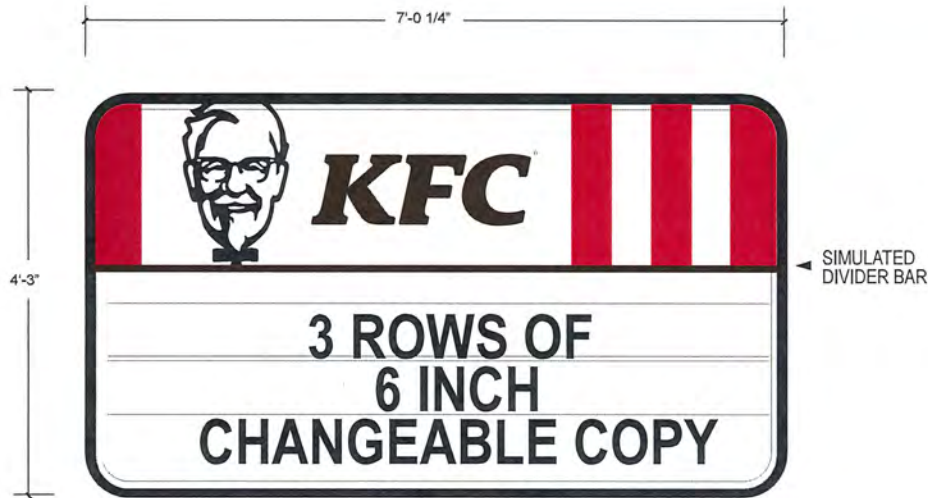
CUSTOMER APPROVAL:
DATE: _____ BY: _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
96802.01A
DATE: 6-18-2019
S. Hawke

P



SIGN SPECIFICATIONS

ALUMINUM CASE & RETAINER PAINTED BLACK
 PAN FORMED .177 WHITE SG-100 SOLAR GRADE
 POLYCARBONATE FACE WITH FLAT
 GRAPHICS - NO EMBOSMENT.
 1st SURFACE VINYL OR SCREEN DECORATION

COLOR SPECIFICATIONS



PAN FORMED POLYCARBONATE FACES
 DECORATED WITH FLAT GRAPHICS.



EXISTING



PROPOSED

- NOTES:**
- FLOOD FACE COLORS TO ALL EDGES OF FACE.
 - 3.5" FLANGE - MINIMUM

PART # T.B.D.



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CUSTOMER APPROVAL:

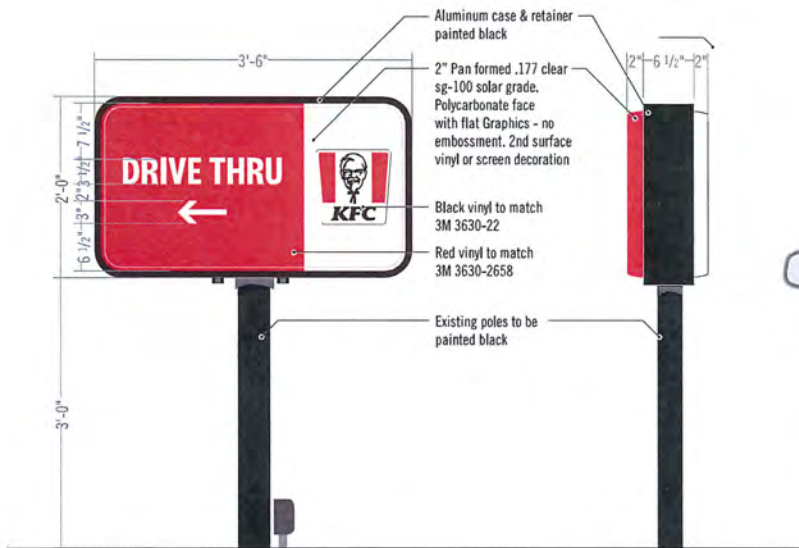
DATE: _____

	DATE	BY
Rev. #1	_____	_____
Rev. #2	_____	_____
Rev. #3	_____	_____

	DATE	BY
Rev. #4	_____	_____
Rev. #5	_____	_____
Rev. #6	_____	_____

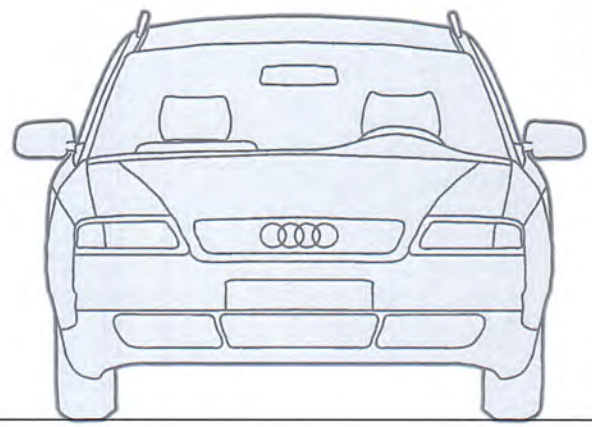


DRAWING NO:
105303.OOP
 DATE: 1-14-2021
 S. Hawke



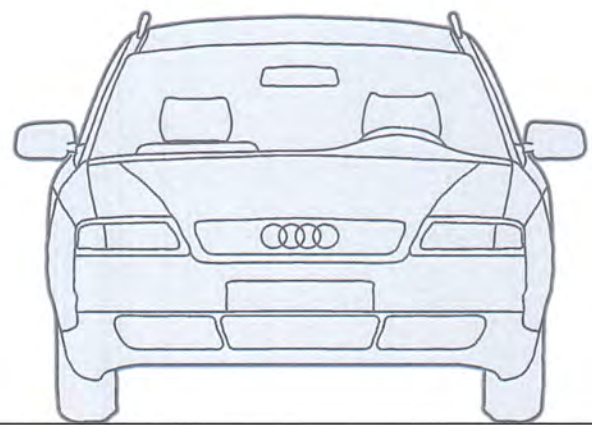
A Elevation-Large Front
Scale: 1/4"=1'

B Elevation-Large Side
Scale: 1/4"=1'

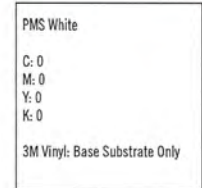


C Elevation-Small Front
Scale: 1/4"=1'

D Elevation-Small Side
Scale: 1/4"=1'



- Notes**
- Prototype sample to be provided of all proposed material for review.
 - Verify and coordinate with GC all necessary blocking and installation for all hardware and electrical.
 - Coordinate and verify zoning per site
 - This document is to express design intent only. Not for construction.
 - Contractor/ fabricator to provide shop drawings for owner/designer approval.
 - Fabricator to verify and confirm all site conditions and details.



FRCH NELSON
A NELSON BRAND

311 ELM STREET, SUITE 400
CINCINNATI, OH 45202
513 241 3000
WWW.FRCHNELSON.COM
WWW.NELSONWORLDWIDE.COM

KFC

CLIENT INFORMATION

KFC

CONTACT
Joe Dye
Joseph.Dye@dyum.com

1900 Colburn Sanders Lane
Louisville, KY 40213
p. 688.286.6986

ISSUE INFORMATION

03.01.2019

REVISIONS

▲ 03.08.2019

▲ 03.19.2019

THESE DRAWINGS ARE FOR THE SOLE PURPOSE OF EXPRESSING VISUAL DESIGN INTENT ONLY AND ARE NOT INTENDED FOR ACTUAL FABRICATION PURPOSES. SIGN CONTRACTOR ACCEPTS TOTAL RESPONSIBILITY FOR MATERIALS, FABRICATION AND INSTALLATION.

PROJECT INFORMATION

KFC

Project #: 036251.000

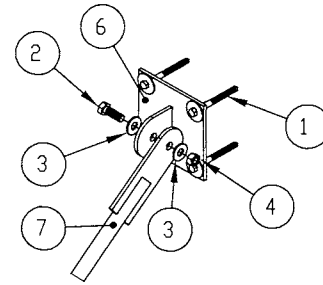
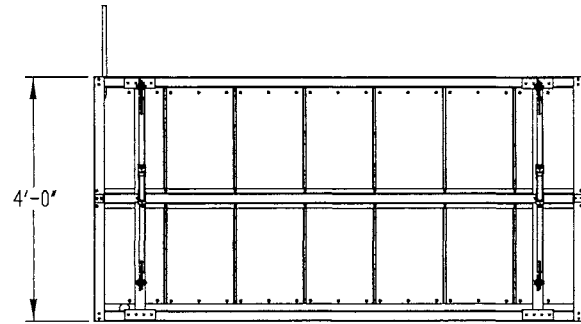
GRAPHIC DESCRIPTION

Existing
Directional
Signage Reface

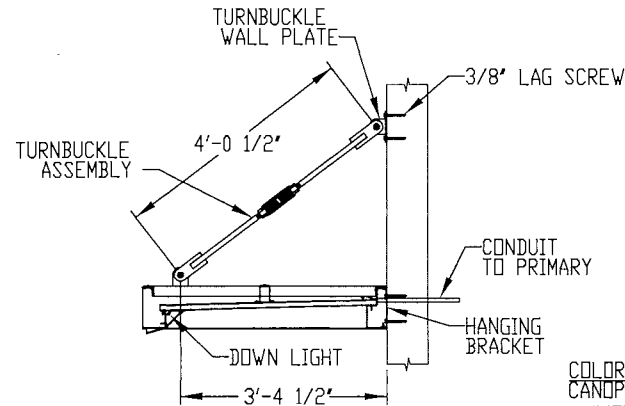
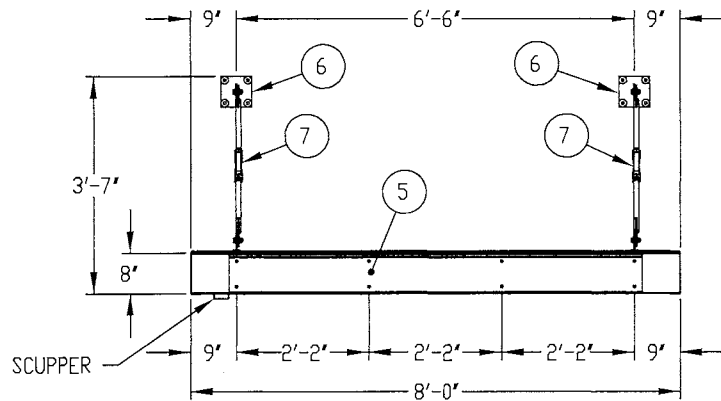
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REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY
20180018	A	LED COLOR CHANGE TO 4100K	8/7/18	ECS



TURNBUCKLE DETAIL
SCALE 1 : 4



COLOR NOTES :
 CANOPY - ALUMINUM, POWDER COAT TO MATCH BENJAMIN MOORE 'WEDDING VEIL' 2125-70 SATIN 631
 TURNBUCKLES & WALL PLATES - STEEL, POWDER COAT TO MATCH BENJAMIN MOORE 'WEDDING VEIL' 2125-70 SATIN 631
 LED DOWN LIGHT LENS - .150 CLEAR SOLAR GRADE POLYCARBONATE
 LED DOWN LIGHTING - AGILIGHT LSPR0260-41K-2G3
 WHITE LED MODULES

ELECTRICAL NOTES:

TOTAL AMPS - .9A
 TOTAL CIRCUITS - 1 20A REQUIRED
 VOLTS - 120V

THIS SIGN WILL BE UL OR CUL LISTED AND IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. **Ø 1/4" DRAINAGE/WEEP HOLES Ø 1/4" ON CENTERS OR AS REQUIRED BY UL. MIN 12 MTW/THN 1011/1015/1230/1335 600V or 1032 1000V 105C WIRE. PER UL REQUIREMENT, ALL ELECTRICAL COMPONENTS AND WIRING MUST BE FIXED & SUPPORTED A MINIMUM OF 1/2" ABOVE THE BOTTOM OF SIGN

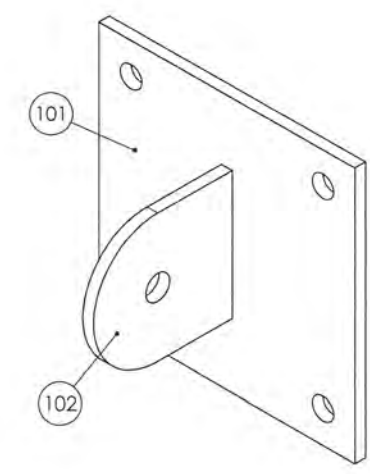
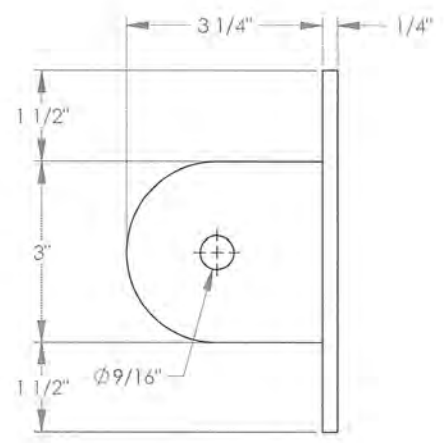
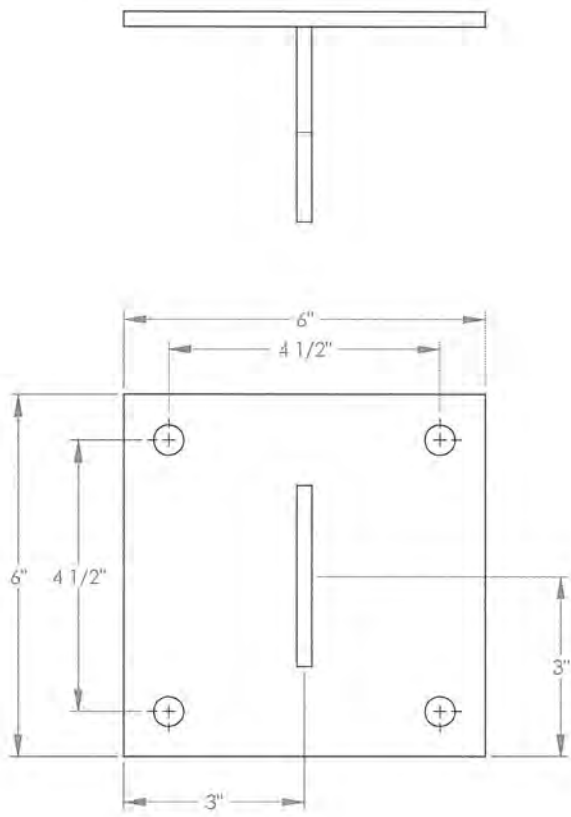
SHIPPING LIST

ITEM NO.	RAW MATERIAL NO.	OPTIMIZATION PART NO.	DESCRIPTION	LENGTH	MATERIAL	QUANTITY
1	-	-	SCREW, LAG, 3/8", WITH 1 1/2" OD FLAT WASHER	5'	ZINC PLT STL	16
2	-	-	BOLT, HEX, 1/2"-13	1 1/2'	STEEL	4
3	-	-	WASHER, FLAT, 1/2"	-	STEEL	8
4	-	-	NUT, HEX 1/2"-13	-	ZINC PLT STL	4
5	-	-	CANOPY ASSEMBLY	-	-	1
6	-	-	TURNBUCKLE WALL PLATE WELDMENT	-	-	2
7	-	-	TURNBUCKLE ASSEMBLY	-	STEEL	2

NOTES		CUSTOMER		ITEM NUMBER
		KFC		
4525 HAMPER FIELD RD DUBLIN, VA 22028 PHONE: (540) 963-8000 FAX: (540) 963-5100		CODE	PAGE LAYOUT	
DRAWING APPROVED BY		PRESENTATION		REV
PROGRAM APPROVED BY		8' X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)		
PROTOTYPE BY		LOCATION	DRAWN BY	-
1st RUN BY		VARIOUS	ERIC ELLENBURG	
RELEASED FOR PRODUCTION 04/21/2016 BY E.E.		SCALE	ENGINEER	ACCOUNT REPRESENTATIVE
		1:24	ERIC SIMMONS	ERIC RICE
		SHEET 1 OF 12	BOXED SQ FT	ITEM NUMBER
		WIND LOAD (MPH)	EST WEIGHT (LBS)	KV543701
			175	

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REVISIONS				
ECK	REV	DESCRIPTION	DATE	BY



PARTS LIST & DRAWING SHOW (1) TURNBUCKLE WALL PLATE WELDMENT. (2) TURNBUCKLE WALL PLATE WELDMENTS REQUIRED

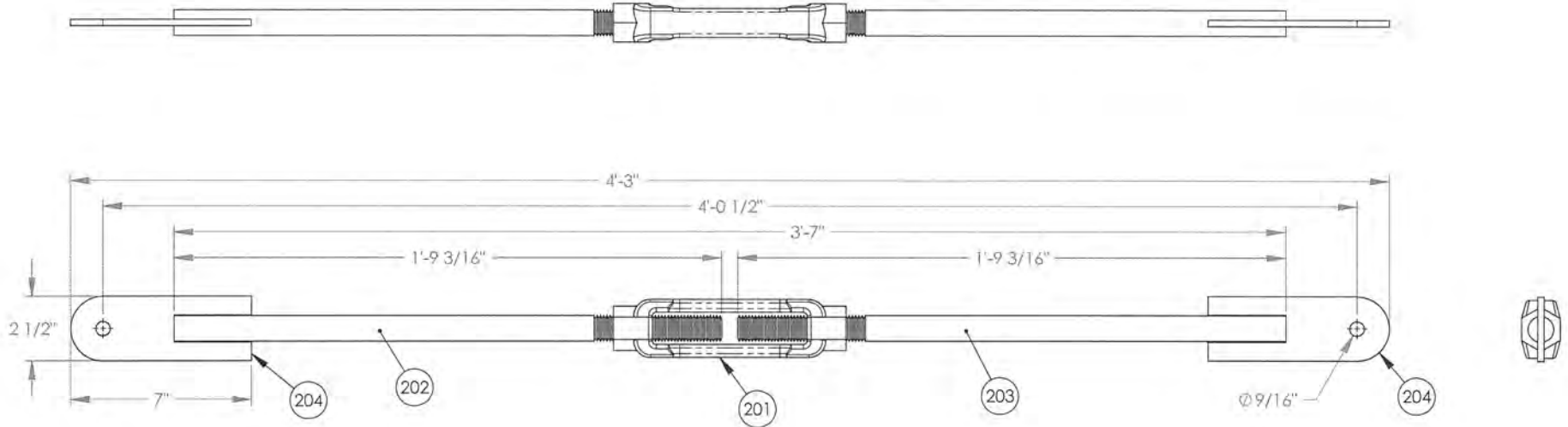
ITEM NO.	RAW MATERIAL NO.	OPTIMIZATION PART NO.	DESCRIPTION	LENGTH	MATERIAL	QUANTITY
101	SR025000	KV5437T1	TURNBUCKLE WALL PLATE	-	1/4" STL PLT	1
102	SR025000	KV5437T2	TURNBUCKLE WALL PLATE TAB	-	1/4" STL PLT	1

NOTES:

 <small>4255 NAPHER FIELD RD DOTHAN, AL 36320 PHONE: (334) 983-8000 FAX: (334) 983-5100</small>	CUSTOMER KFC		REVISION NUMBER KV543702
	CODE VARIOUS	PAGE LAYOUT TURNBUCKLE WALL PLATE WELDMENT	
DRAWING APPROVED BY	ITEM DESCRIPTION 8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)		
PROGRAM APPROVED BY	LOCATION VARIOUS	DRAWN BY ERIC ELLENBURG	
PROTOTYPE BY	SCALE 1:2	ENGINEER ERIC SIMMONS	ACCOUNT REPRESENTATIVE ERIC RICE
1st RUN BY	SHEET 2 OF 12	BOXED SQ FT	ITEM NUMBER KV543702
RELEASED TO PRODUCTION BY	WIND LOAD (MPH) 04/21/2016	EST WEIGHT (LBS) 175	REV -

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REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY



PARTS LIST & DRAWING SHOW (1) TURNBUCKLE ASSEMBLY. (2) TURNBUCKLE ASSEMBLIES REQUIRED

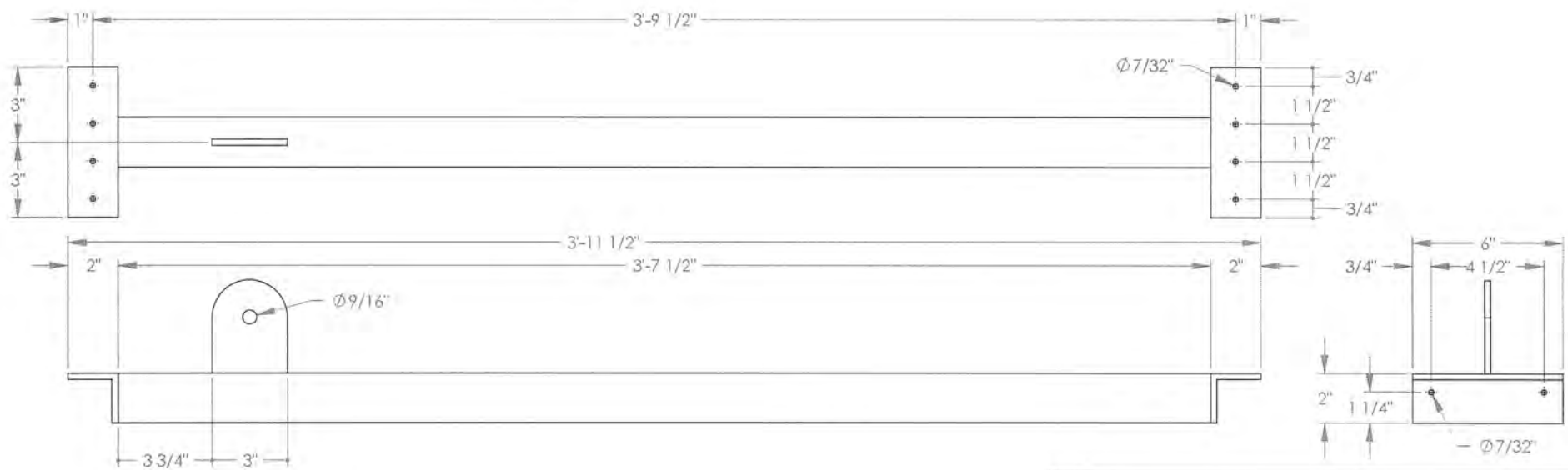
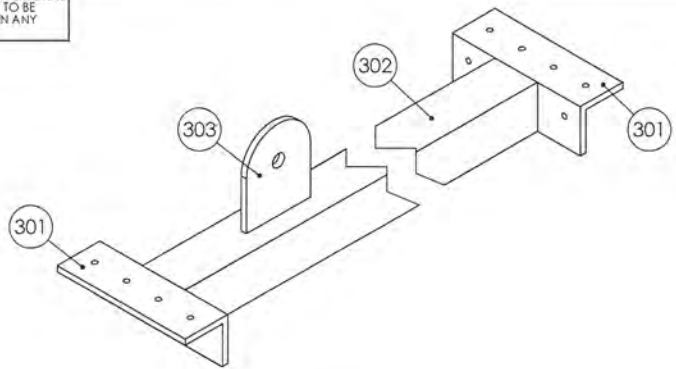
ITEM NO.	RAW MATERIAL NO.	OPTIMIZATION PART NO.	DESCRIPTION	LENGTH	MATERIAL	QUANTITY
201	XY900215	-	TURNBUCKLE BODY, 1" X 6"	-	-	1
202	XY900216	-	1" X 32.125" STUD W/ 6" RIGHT THREAD	-	-	1
203	XY900217	-	1" X 32.125" STUD W/ 6" LEFT THREAD	-	-	1
204	SR025000	TB5437T3	TURNBUCKLE ROD TAB PLATE	-	1/4" STL PLT	2

NOTES:

 4355 NAPIER FIELD RD DOTHAN, AL 36303 PHONE: (334) 983-8000 FAX: (334) 983-5100	CUSTOMER		ITEM NUMBER KV543703
	KFC		
	CODE	PAGE LAYOUT	
	TURNBUCKLE ASSEMBLY		
DRAWING APPROVED		ITEM DESCRIPTION	
BY		8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)	
PROGRAM APPROVED		LOCATION	DRAWN BY
BY		VARIOUS	ERIC ELLENBURG
PROTOTYPE		SCALE	ENGINEER
BY		1:4	ERIC SIMMONS
1ST RUN		SHEET	ACCOUNT REPRESENTATIVE
BY		3 OF 12	
PRODUCTION		WIND LOAD (MPH)	EST WEIGHT (LBS)
04/21/2016		BY	175
		EE	ITEM NUMBER
			KV543703
			REV
			1

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REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY



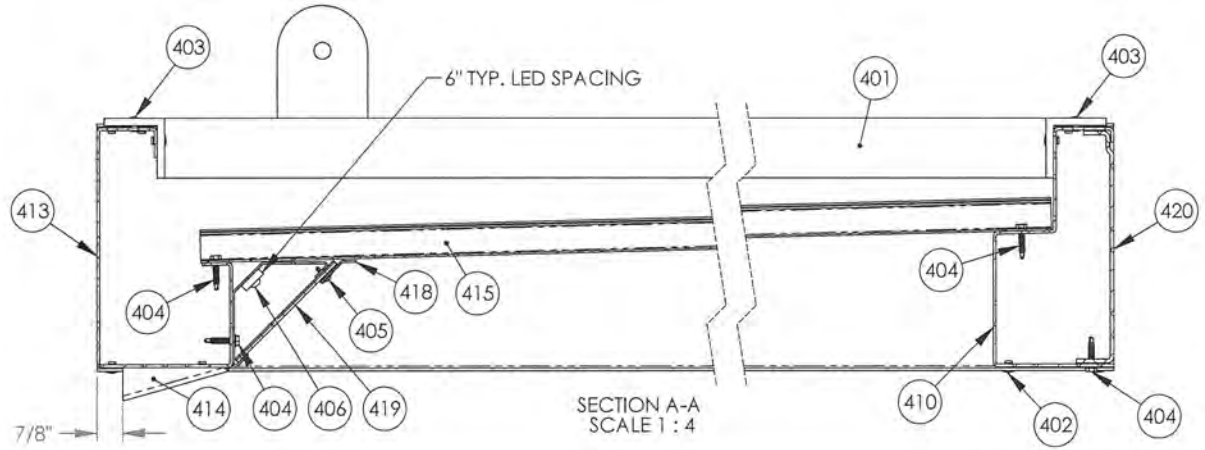
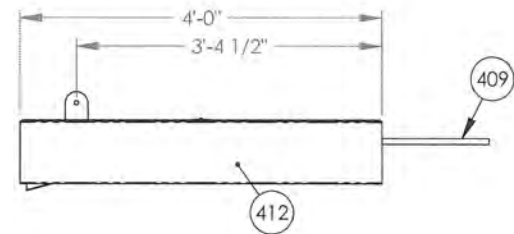
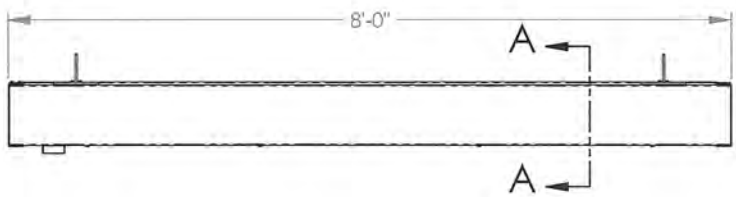
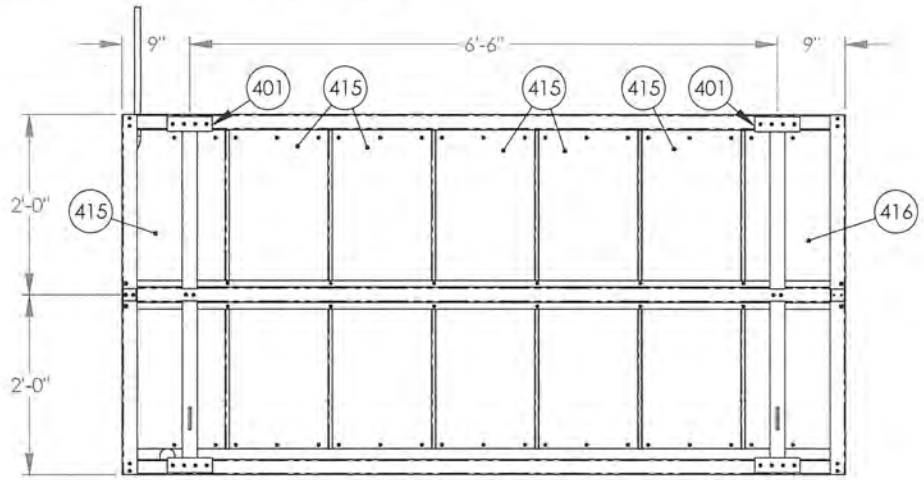
PARTS LIST & DRAWING SHOW (1) COMPRESSION BAR WELDMENT. (2) COMPRESSION BAR WELDMENTS REQUIRED


ITEM NO.	RAW MATERIAL NO.	OPTIMATHION PART NO.	DESCRIPTION	LENGTH	MATERIAL	QUANTITY
301	AB320150	-	A-1203, 2 X 2 X 1/4, 6063, T5, AE	6"	ALUM ANGLE	2
302	CG100935	-	2 X 2 X 1/4, 6063, T5, AE	3'-7 1/2"	ALUM TUBE	1
303	CC250030	KV5437T4	TURNBUCKLE CANOPY TAB PLATE	-	1/4" ALUM PLT	1

NOTES:		CUSTOMER		ITEM NUMBER
		KFC		
<small>4255 NAHER FIELD RD DOTHAN, AL 36303 PHONE: (334) 983-3000 FAX: (334) 983-5100</small>		CODE COMPRESSION BAR WELDMENT	PAGE LAYOUT COMPRESSION BAR WELDMENT	
DRAWING APPROVED BY PROGRAM APPROVED BY		ITEM DESCRIPTION 8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-BFT-DI-CNPY)		REV -
PROTOTYPE BY 1st RUN BY PRODUCTION 04/21/2016 BY		LOCATION VARIOUS	DRAWN BY ERIC ELLENBURG ACCOUNT REPRESENTATIVE ERIC RICE	
SCALE 1:4		ENGINEER ERIC SIMMONS	BOXED 32 FT 175	ITEM NUMBER KV543704
SHEET 4 OF 12		WIND LOAD (MPH) 175	BT WEIGHT (LBS)	REV -

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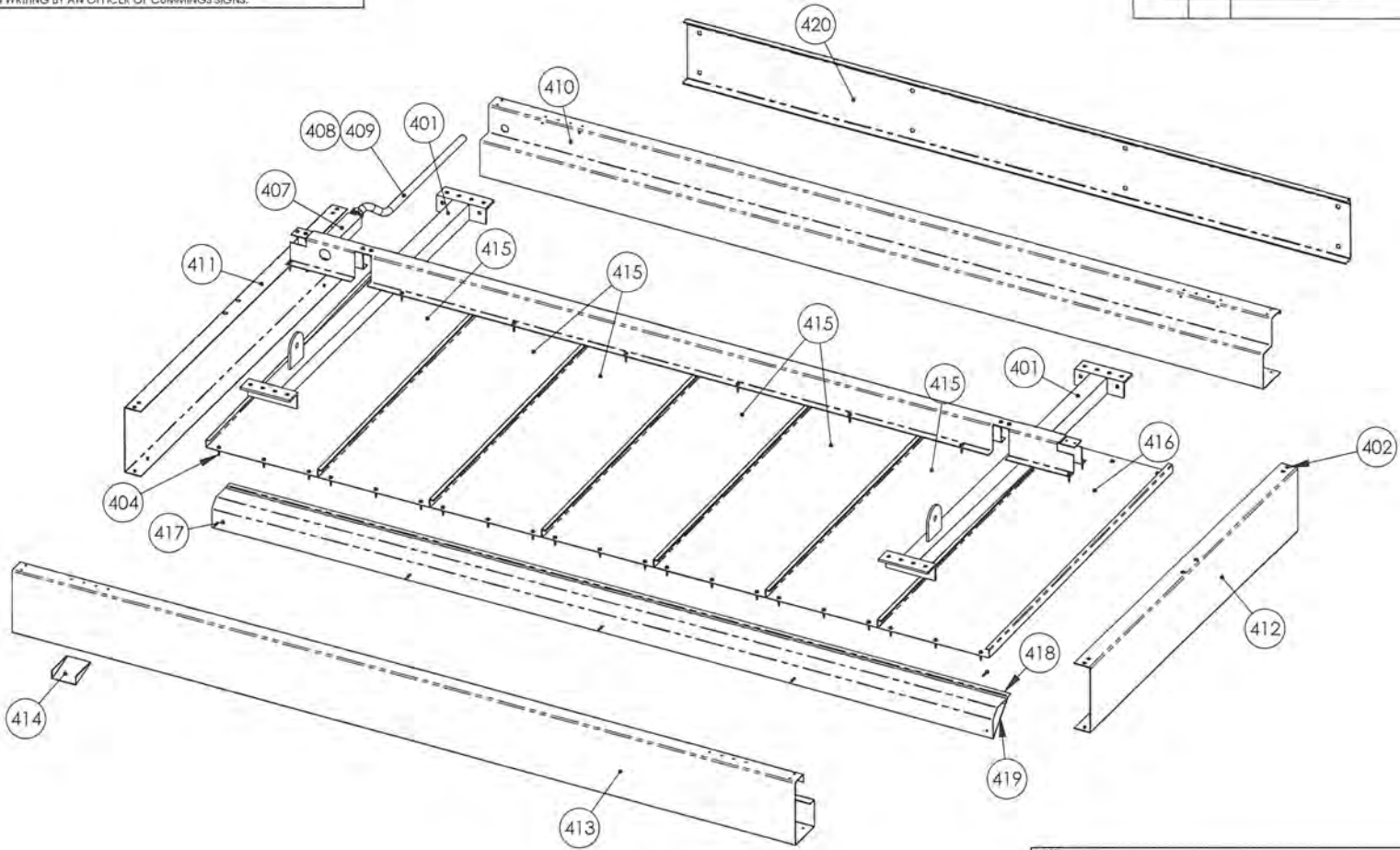
REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY




NOTES:			
 <small>4255 NAPIER FIELD RD DOTHAN, AL 36303 PHONE: (334) 983-8000 FAX: (334) 983-5100</small>	CUSTOMER KFC		<small>REVISIONS</small> KV543705
	<small>CODE</small> PAGE LAYOUT	CANOPY ASSEMBLY	
<small>DRAWING APPROVED</small> BY	<small>ITEM DESCRIPTION</small> 8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)	<small>DRAWN BY</small> ERIC ELLENBURG	<small>REV</small> -
<small>PROGRAM APPROVED</small> BY	<small>LOCATION</small> VARIOUS	<small>ACCOUNT REPRESENTATIVE</small> ERIC RICE	
<small>PROTOTYPE</small> BY	<small>SCALE</small> 1:16	<small>ENGINEER</small> ERIC SIMMONS	<small>ITEM NUMBER</small> KV543705
<small>1TH RUN</small> BY	<small>SHEET</small> 5 OF 12	<small>BOXED SQ FT</small> 175	
<small>PRODUCTION</small> 04/21/2016	<small>BY</small> EE	<small>WIND LOAD (MPH)</small> 175	<small>EST WEIGHT (LBS)</small> 175

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REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY




NOTES:		CUSTOMER		ITEM NUMBER KV543706
 4355 HANER FIELD RD. DOTHAN, AL 36303 PHONE: (205) 953-8000 FAX: (205) 953-5100		KFC CODE PAGE LAYOUT CANOPY ASSEMBLY		
DRAWING APPROVED		ITEM DESCRIPTION		DRAWN BY ERIC ELLENBURG ACCOUNT REPRESENTATIVE ERIC RICE
BY		8' X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)		
PROGRAM APPROVED		LOCATION		ENGINEER ERIC SIMMONS BOXED SQ FT ITEM NUMBER KV543706
BY		VARIOUS		
PROTOTYPE		SCALE		WIND LOAD (MPH) 175
BY		1:12		
1TH RSH		SHEET		REV 1
BY		6 OF 12		
PRODUCTION		BY WEIGHT (LBS)		175
04/21/2016		BY		

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REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY
20190018	A	LED COLOR CHANGE TO 4100K	8/7/18	ECS

ITEM NO.	RAW MATERIAL NO.	OPTIMIZATION PART NO.	DESCRIPTION	LENGTH	MATERIAL	QUANTITY
401	-	-	COMPRESSION BAR WELDMENT	-	-	2
402	-	-	3/16' DOMED RIVET STEEL .126-.250 GRIP RANGE	-	-	16
403	-	-	3/16' DOMED RIVET STEEL .251-.375 GRIP RANGE	-	-	24
404	-	-	SCREW, SELF DRILL, HWH W/ SEALING WASHER, #10-16	1'	STAINLESS STL	73
405	-	-	SCREW, SELF DRILL, PAN WASHER HEAD, #8-18	1/2'	STAINLESS STL	5
406	EN600007	-	LED MODULE, AGILIGHT, LSPRD260-41K-2G3	-	-	16
407	ES500500	-	AGILIGHT, QA6012SLUNV PS12-60WSL-100-277V	-	LED PWR SUPPLY	1
408	EE218961	-	#WCP471, CONNECTOR, 1/2' STRAIGHT NYLON	-	-	1
409	ED276120	-	CONDUIT, CARFLEX, 1/2"	6'-0"	-	1
410	CD120050	KV5437P0001	REAR CHANNEL	-	.090 ALUM	1
411	CD120050	KV5437P0004	SIDE CHANNEL (LEFT)	-	.090 ALUM	1
412	CD120050	KV5437P0005	SIDE CHANNEL (RIGHT)	-	.090 ALUM	1
413	CD120050	KV5437P0006	FRONT CHANNEL	-	.090 ALUM	1
414	CD120050	KV5437P0009	SCUPPER	-	.090 ALUM	1
415	CD100050	KV5437P0010	DRAIN PAN (COMMON)	-	.063 ALUM	6
416	CD100050	KV5437P0011	DRAIN PAN (RIGHT)	-	.063 ALUM	1
417	CD100050	KV5437P0014	LED DOWNLIGHT CHANNEL	-	.063 ALUM	1
418	CD100050	KV5437P0015	LED DOWNLIGHT RETAINER	-	.063 ALUM	1
419	PH515000	KV5437P0016	LED DOWN LIGHT LENS	-	.150 CLR PCB	1
420	CD130050	KV5437P0017	HANGING BRACKET	-	.125 ALUM	1
421	CD120050	KV5437P0018	DRAIN PAN SUPPORT HAT CHANNEL	-	.090 ALUM	1

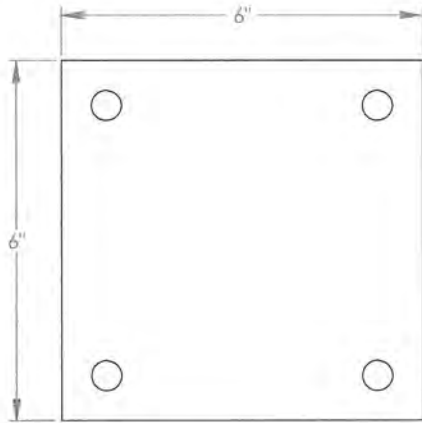
NOTES:

 <small>4205 MAPLE FIELD RD DOTHAN, AL 36060 PHONE (334) 962-5000 FAX (334) 962-5108</small>	CUSTOMER KFC		ITEM NUMBER KV543707
	CODE	PAGE LAYOUT CANOPY ASSEMBLY	
DRAWING APPROVED BY		ITEM DESCRIPTION 8' X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-BFT-DT-CNPY)	
PROGRAM APPROVED BY		LOCATION VARIOUS	DRAWN BY ERIC ELLENBURG
PROTOTYPE BY		SCALE 1/12	ACCOUNT REPRESENTATIVE ERIC RICE
1st RUN BY		SHEET 7 OF 12	ITEM NUMBER KV543707
RELEASED FOR PRODUCTION 04/21/2016 BY		WIND LOAD ORHP EST WEIGHT (LBS) 175	

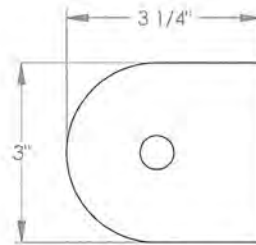
ITEM NUMBER
KV543707
REV
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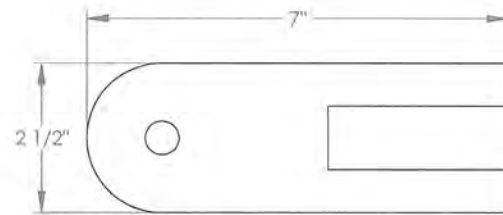
REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY



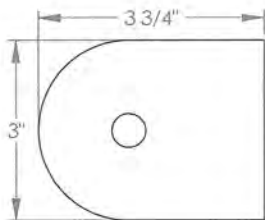
KV5437T1
1/4" STEEL PLATE
CUT 2X



KV5437T2
1/4" STEEL PLATE
CUT 2X



KV5437T3
1/4" STEEL PLATE
CUT 4X



KV5437T4
1/4" ALUMINUM PLATE
CUT 2X

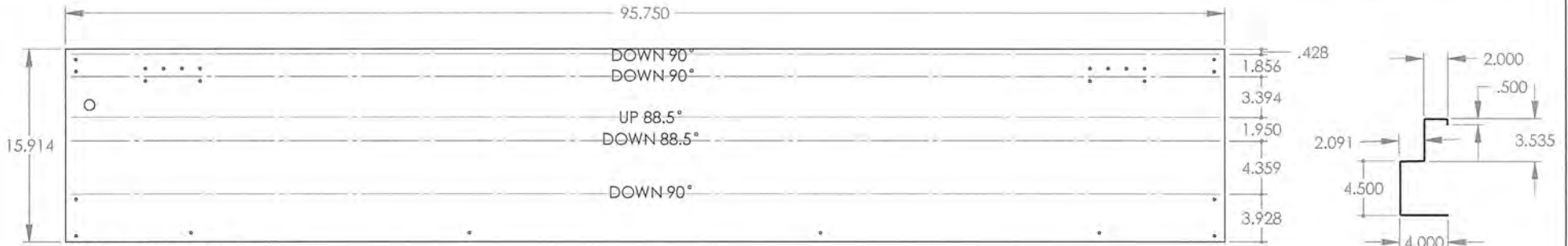
NOTES:		CUSTOMER		DRAWN BY	ACCOUNT REPRESENTATIVE
 <small>Customer created through Inroad Innovation.</small> 4255 NAPIER FIELD RD DOTHAN, AL 36303 PHONE: (334) 983-8000 FAX: (334) 983-5100		KFC			
DRAWING APPROVED		BY	CODE	PAGE LAYOUT	
PROGRAM APPROVED		BY	PLASMA PARTS		
PROTOTYPE		BY	ITEM DESCRIPTION		
T11 RUN		BY	8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)		
PRODUCTION		BY	LOCATION	SCALE	ENGINEER
04/21/2016		EE	VARIOUS	1:2	ERIC SIMMONS
			SHEET	BOXED SQ FT	ITEM NUMBER
			8 OF 12		KV543708
			PRODUCTION	WIND LOAD (MPH)	EST WEIGHT (LBS)
			04/21/2016	175	175

PART NUMBER
KV543708

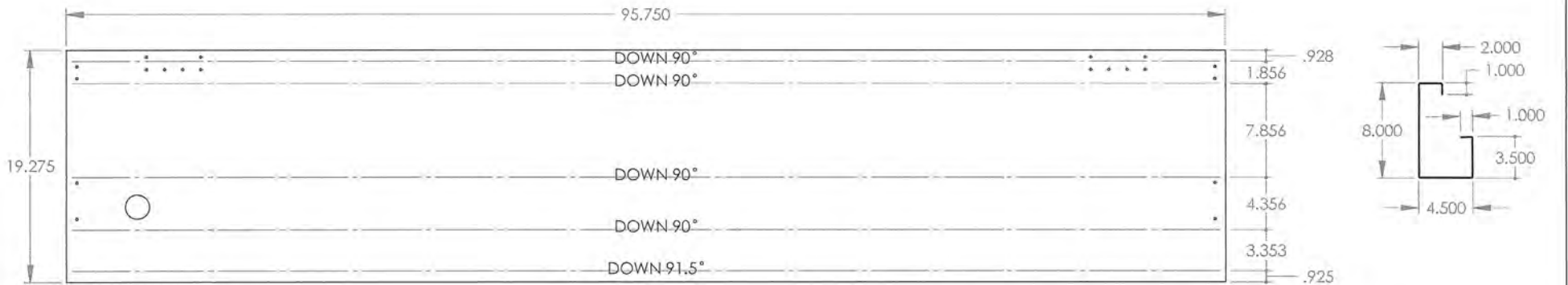
REV
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REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY



PARTNO: KV5437P0001
 RAWMAT: ALMF090
 ORDQTY: 1

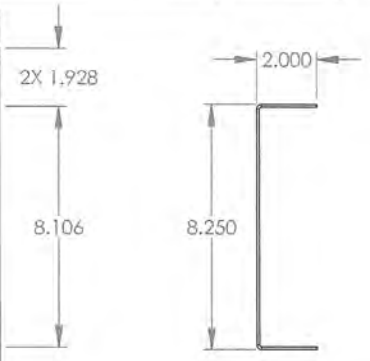
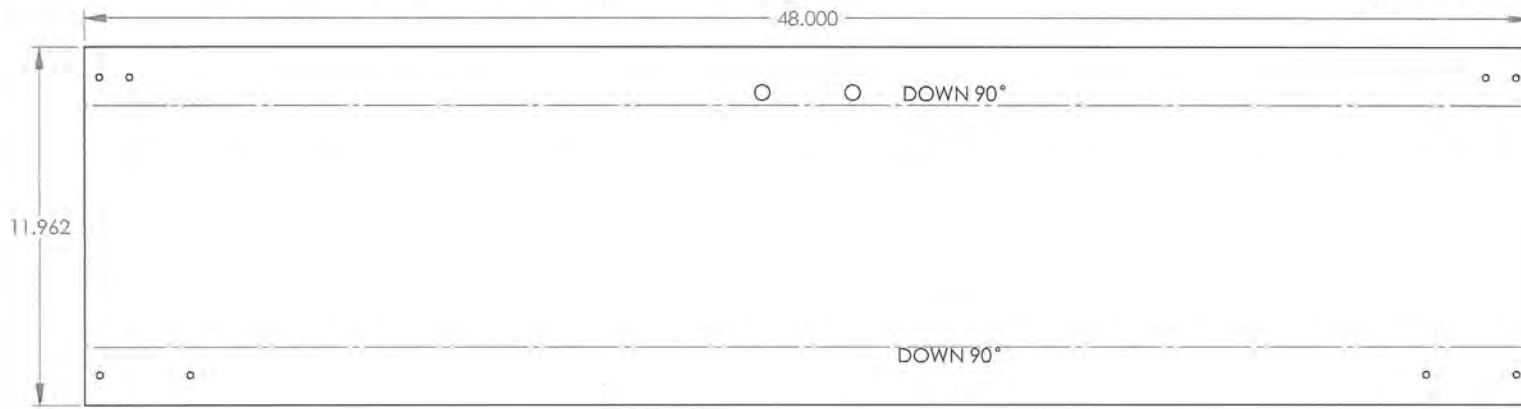


PARTNO: KV5437P0006
 RAWMAT: ALMF090
 ORDQTY: 1

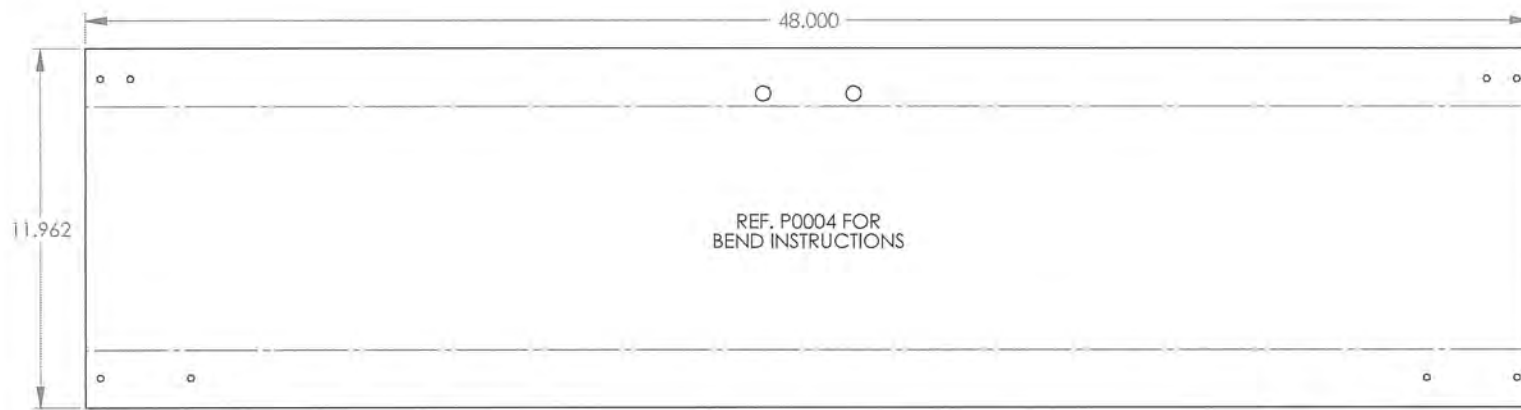
NOTES:					
 4255 NAHER FIELD RD DOTHAN, AL 36303 PHONE: (334) 983-8000 FAX: (334) 983-5100		CUSTOMER KFC			PART NUMBER KV543709
		CODE OPTIMIZATION PARTS	PAGE LAYOUT OPTIMIZATION PARTS		
DRAWING APPROVED BY	BY	LOCATION VARIOUS	DRAWN BY ERIC ELLENBURG		
PROGRAM APPROVED BY	BY	SCALE 1:8	ENGINEER ERIC SIMMONS		
PROTOTYPE BY	BY	SHEET 9 OF 12	ACCOUNT REPRESENTATIVE ERIC RICE		
1st RUN BY	BY	BOXED SQ FT	ITEM NUMBER KV543709		
PRODUCTION 04/21/2016	BY EE	WIND LOAD (MPH) 175	REV -		

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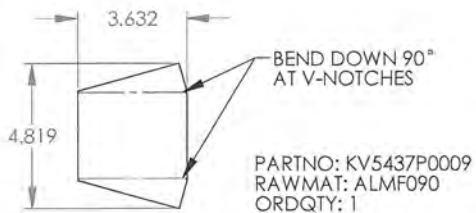
REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY



PARTNO: KV5437P0004
 RAWMAT: ALMF090
 ORDQTY: 1



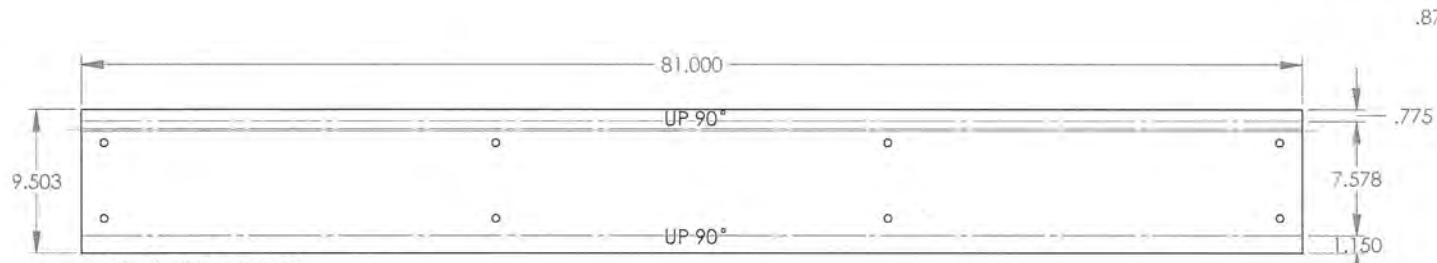
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 RAWMAT: ALMF090
 ORDQTY: 1



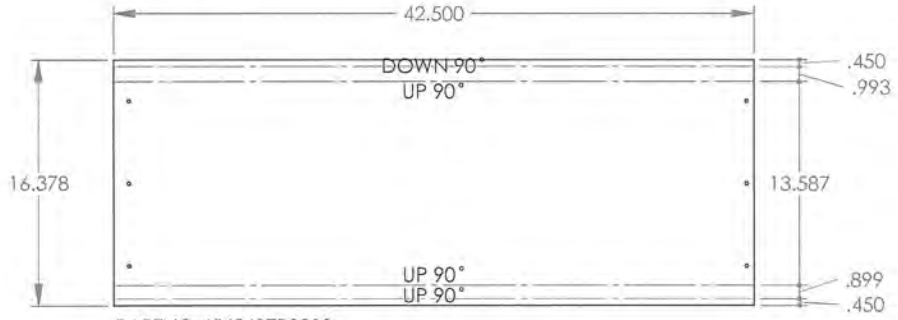
NOTES:		CUSTOMER		DRAWN BY	ACCOUNT REPRESENTATIVE
 <small>4355 NAPIER FIELD RD DOTHAN, AL 36303 PHONE: (334) 783-8000 FAX: (334) 783-5100</small>		KFC			
DRAWING APPROVED		BY	CODE	PAGE LAYOUT	
PROGRAM APPROVED		BY	OPTIMIZATION PARTS		
PROTOTYPE		BY	ITEM DESCRIPTION		
1st RUN		BY	8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)		
PRODUCTION		BY	LOCATION	SCALE	ENGINEER
04/21/2016		EE	VARIOUS	1:4	ERIC SIMMONS
RELEASED FOR		BY	SHEET	BOXED SQ FT	ITEM NUMBER
			10 OF 12		
			WIND LOAD (MPH)	EST WEIGHT (LBS)	
				175	
<div style="text-align: right; font-size: 24pt; font-weight: bold;">KV543710</div>					REV
					-

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REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY



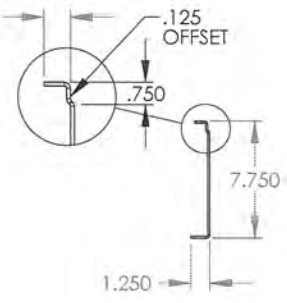
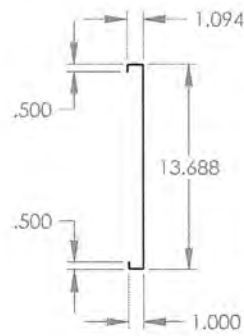
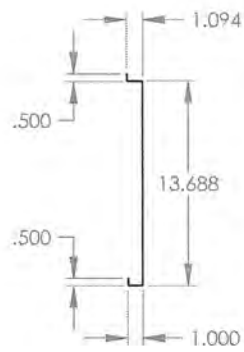
PARTNO: KV5437P0017
 RAWMAT: ALMF125
 ORDQTY: 1




PARTNO: KV5437P0010
 RAWMAT: ALMF063
 ORDQTY: 6



PARTNO: KV5437P0011
 RAWMAT: ALMF063
 ORDQTY: 1

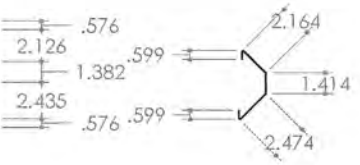
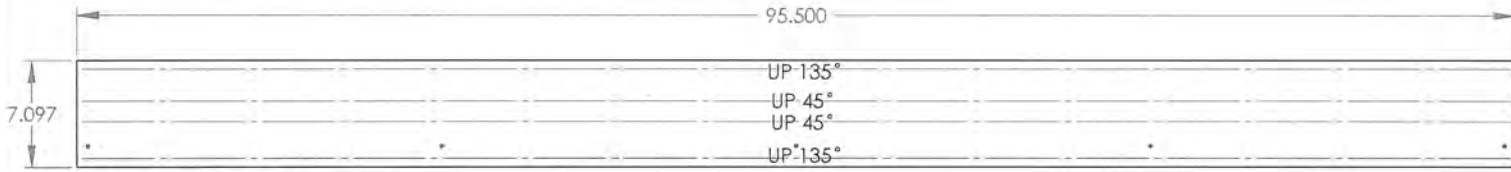


NOTES:		CUSTOMER KFC		DRAWN BY ERIC ELLENBURG
		PAGE LAYOUT OPTIMIZATION PARTS		
4255 NAPIER FIELD RD DOTHAN, AL 36303 PHONE: (334) 983-3000 FAX: (334) 983-5100		ITEM DESCRIPTION 8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPY)		ACCOUNT REPRESENTATIVE ERIC RICE
DRAWING APPROVED	BY	LOCATION VARIOUS	ENGINEER ERIC SIMMONS	ITEM NUMBER KV543711
PROGRAM APPROVED	BY	SCALE 1:8	SHEET 11 OF 12	REV
PROTOTYPE	BY	WIND LOAD (APFH)	EST WEIGHT (LBS)	
1st RUN	BY	04/21/2016	175	
PRODUCTION	BY	EE		

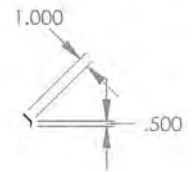
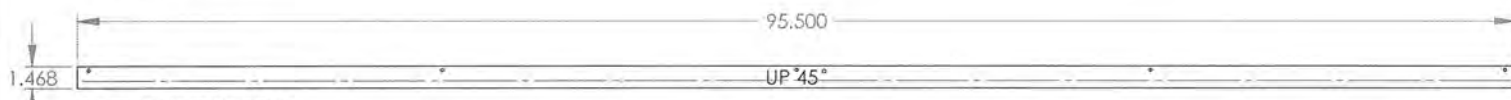
DRAWING NUMBER
KV543711

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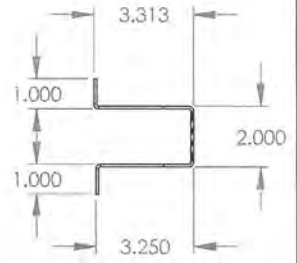
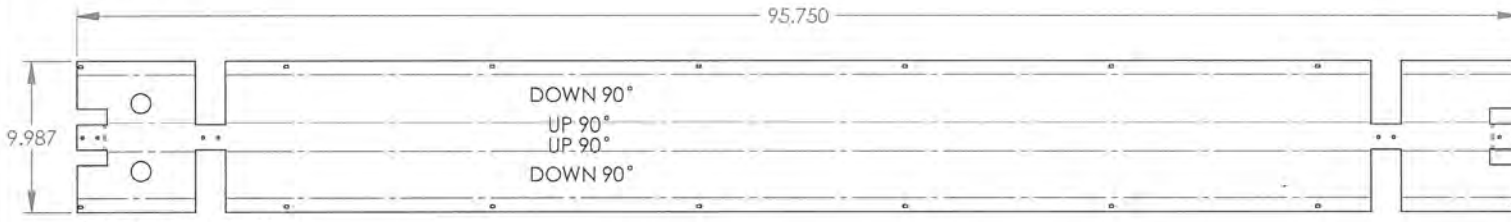
REVISIONS				
ECR	REV	DESCRIPTION	DATE	BY



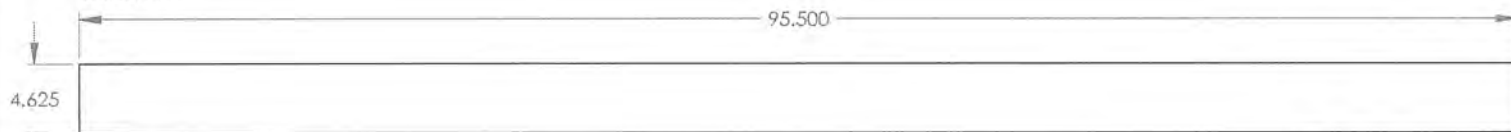
PARTNO: KV5437P0014
 RAWMAT: ALMF063
 ORDQTY: 1



PARTNO: KV5437P0015
 RAWMAT: ALMF063
 ORDQTY: 1



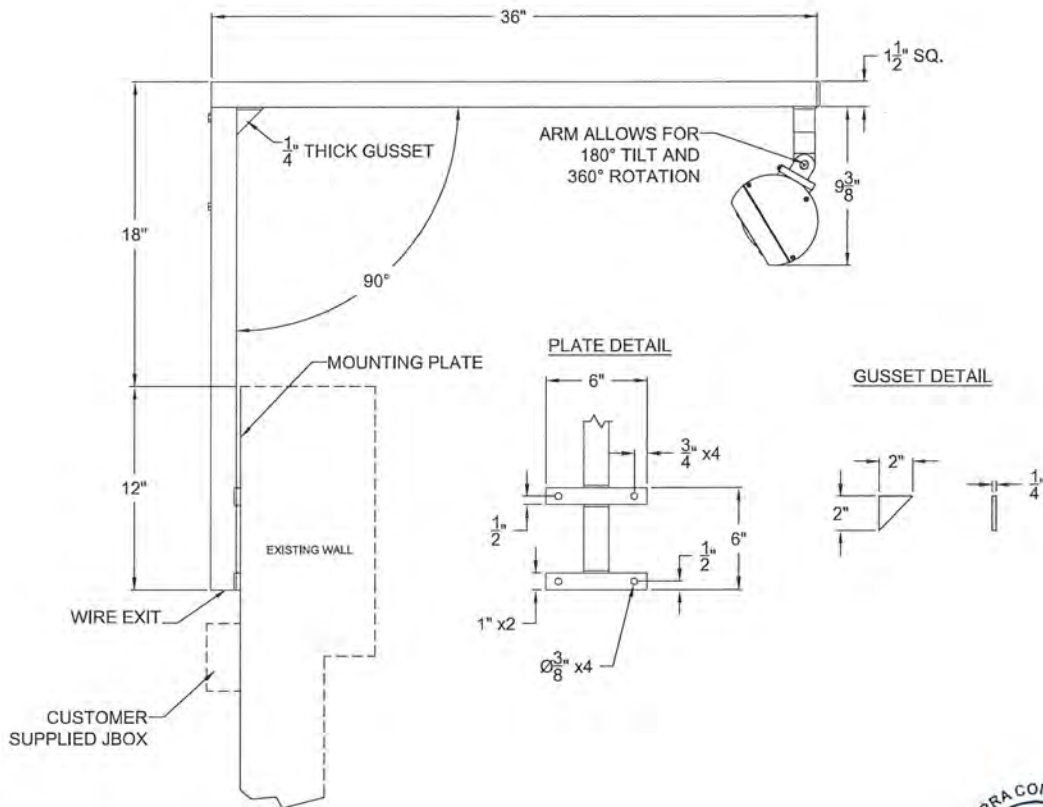
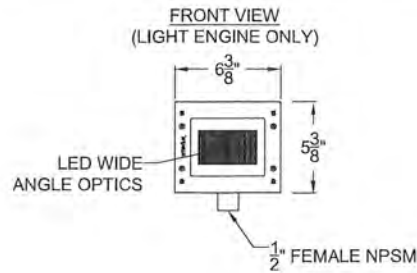
PARTNO: KV5437P0018
 RAWMAT: ALMF090
 ORDQTY: 1



PARTNO: KV5437P0016
 RAWMAT: PCCLEAR150
 ORDQTY: 1

NOTES:		CUSTOMER KFC		ITEM NUMBER KV543712
		CODE PAGE LAYOUT OPTIMIZATION PARTS		
4355 NAPIER FIELD RD DOTHAN, AL 36503 PHONE: (334) 983-0000 FAX: (334) 983-5100		ITEM DESCRIPTION 8" X 8'-0" X 4'-0" DRIVE THRU CANOPY (300-AS-8FT-DT-CNPNY)		
DRAWING APPROVED	BY	LOCATION VARIOUS	DRAWN BY ERIC ELLENBURG	
PROGRAM APPROVED	BY	SCALE 1:8	ACCOUNT REPRESENTATIVE ERIC RICE	
PROTOTYPE	BY	ENGINEER ERIC SIMMONS	SHEET	
1st RUN	BY	SHEET 12 OF 12	BOXED SQ FT	ITEM NUMBER
PRODUCTION	BY	WIND LOAD (MPH)	EST WEIGHT (LBS)	KV543712
04/21/2016	EE		175	


WAF1.5/BLDG MNT/WAF1/30/BLK



Approved By _____ Date _____

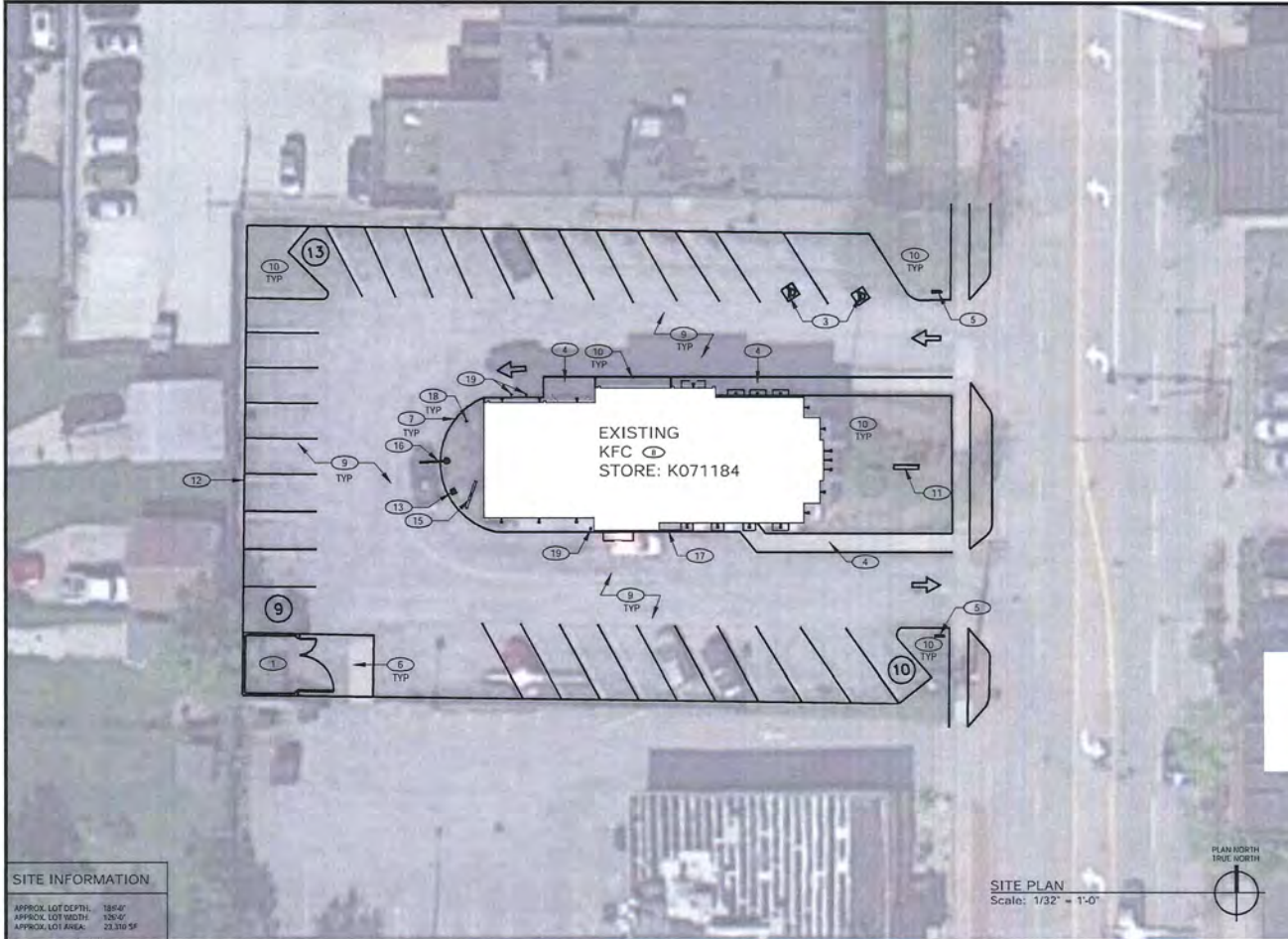
NOTICE: THIS DRAWING IS FOR REFERENCE ONLY. CHECK FOR LATEST REVISION PRIOR TO ORDERING. THIS DRAWING SHOULD ACCOMPANY YOUR ORDER. THANK YOU



DATE 11/19/2015	PART STRING WAF1.5/BLDG MNT/WAF1/30/BLK		FILE NAME KFC_35083.dwg
QUOTE #/ SO # 35083			NOTES
JOB NAME: KFC			
www.amerluxexterior.com 5220 SHANK ROAD PEARLAND, TX. 77581 PHONE:(281)997-5400 FAX:(281) 997-5441 TOLL FREE: (800) 364-0098	LIGHT SOURCE ● LED	VOLTAGE ● 120-277V	
	FINISH ● BLK SMOOTH ● SATIN BLACK		DRAWN BY HT
			REVISION 2
			GENERAL: EXTERIOR HARDWARE WILL BE STAINLESS STEEL. ELECTRICAL COMPONENTS WILL BE ETL LISTED "SUITABLE FOR WET LOCATIONS."



Client: YUM BRANDS		Type E1
Fixture Manufacturer: AMERLUX	Lamp Manufacturer: N/A	
Cat#: WAF1/BLDG MNT/WAF/30/BLK	Cat#: N/A	
Capitol Light is not responsible for inaccuracies in manufacturers published specifications		



SITE INFORMATION

APPROX. LOT DEPTH:	184'-0"
APPROX. LOT WIDTH:	130'-0"
APPROX. LOT AREA:	23,310 SF

SITE PLAN
Scale: 1/32" = 1'-0"

SITE WORK KEY NOTES

SEE MASTER SCHEDULE (SCHD-1) FOR ALL LIGHTING, FINISH AND COMPONENT TAGS

- 1 EXISTING DUMPSTER ENCLOSURE
- 2 NOT USED
- 3 EXISTING A.D.A. SIGNAGE
- 4 EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 5 REFACE EXISTING PARKING LOT DIRECTIONAL SIGNAGE, RELAMP WITH LED LIGHTS, AND PAINT CABINET AND POLE, SP3. COORDINATE WITH SIGN VENDOR
- 6 EXISTING CONCRETE PAVEMENT TO BE PROTECTED DURING CONSTRUCTION
- 7 EXISTING CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 8 EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 9 EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 10 EXISTING LANDSCAPING TO REMAIN
- 11 REFACE EXISTING MONUMENT SIGN AND READER BOARD, RELAMP WITH LED LIGHTS AND PAINT CABINETS, SP3. COORDINATE INSTALLATION AND PAINTING WITH SIGN VENDOR.
- 12 EXISTING PERIMETER FENCE. INSTALL NEW SCREEN SLATES BEHIND RESIDENTIAL PROPERTY AS NEEDED AND MATCH EXISTING COLOR.
- 13 EXISTING SPEAKER POST TO BE PAINTED & DRIVE THRU HOURS GRAPHIC APPLIED. INSTALL NEW HEARING IMPAIRED SIGNAGE, PAINT BASE, SP3.
- 14 NOT USED
- 15 EXISTING MENU BOARD, PAINT BASE, SP3.
- 16 EXISTING CLEARANCE BAR AND FOOTING TO RECEIVE NEW SLEEVE AND FINISH, SP3
- 17 PAINT EXISTING HANDRAIL, SP3
- 18 EXISTING LIGHT BOLLARDS SHALL REMAIN. PAINT SP3 TO APPEAR LIKE NEW.
- 19 EXISTING BOLLARD SHALL BE PAINTED DOT YELLOW, STRAIGHTEN BOLLARDS AS NEEDED.



PRELIMINARY NOT FOR CONSTRUCTION
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16017.20043
TEMPLATE VERSION
AMERICAN SHOWMAN

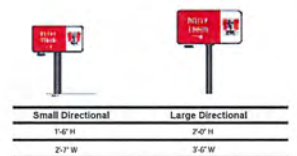
REVISION:

Mark	Date	By

PROJECT TITLE
CD TEMPLATE
"K00" SERIES 8000
TO AMERICAN
SHOWMAN"
INCENTIVE SCOPE
1560 WEST 117TH STREET
LAKEWOOD, OHIO 44107
STORE NO.: K071184
ISSUE DATE: 01/20/2021
SHEET TITLE

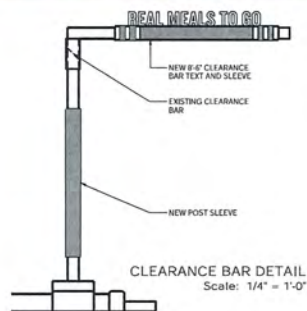
SITE PLAN

SHEET NO.
A-2.0



INCLUDED FOR DESIGN INTENT FOR REFERENCE ONLY - COORDINATE SIGNAGE WITH SIGN VENDOR

REFACE DIRECTIONAL SIGN
Scale: NTS



CLEARANCE BAR DETAIL
Scale: 1/4" = 1'-0"

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BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 02-09-21S

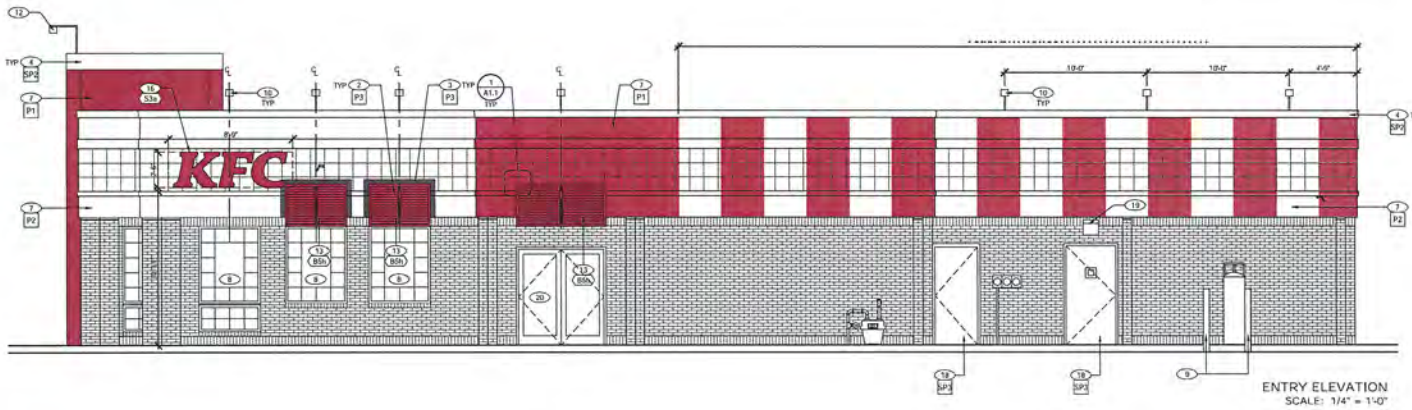
Permit No.: BBS21-000005

Applicant Name: Mark D. McGluggage, Architect

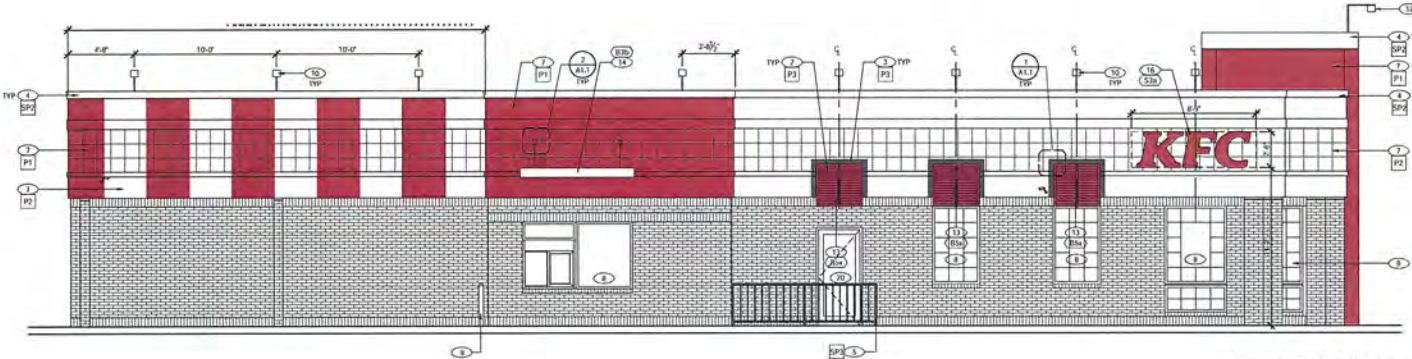
Project Address: 1560 W. 117th Street

Project Name: KFC

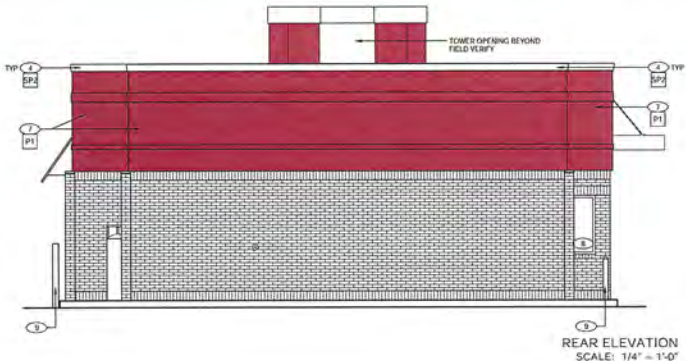
Proposal: Applicant proposes revised signage for an existing business.



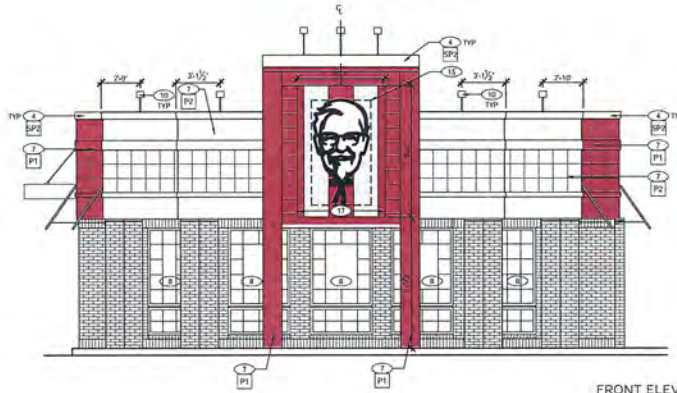
ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



DRIVE-THRU ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FINISH NOTES

- 1 NOT USED
- 2 PAINT WALL SURFACE BEHIND NEW AWNINGS
- 3 PAINT 4" WIDE BORDER WINDOW SURROUND AS INDICATED
- 4 EXISTING PARAPET COPING TO BE PATCHED, SEALED AND PAINTED
- 5 EXISTING BANDING TO BE PAINTED SP3
- 6 NOT USED
- 7 NEW EXTERIOR PAINT TREATMENT ON EXISTING FINISH
- 8 EXISTING WINDOWS
- 9 EXISTING ECOLARD SAND AND PAINT TO MATCH ADJACENT
- 10 NEW PREFINISHED EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION PATCH AND BE PER ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT
- 11 NOT USED
- 12 NEW SIGNAGE ACCENT LIGHT FIXTURE. REFER TO LIGHT FIXTURE SCHEDULE
- 13 NEW PREFINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE MAIN GUTTERING)
- 14 NEW DRIVE-THRU CANOPY
- 15 NEW VINYL GRAPHICS APPLIED TO NEW TOWER PANELS
- 16 NEW 4FC INDIVIDUAL LETTER FACES AND CABINET CASES
- 17 NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER. TOP OF PANELING TO ALIGN WITH BOTTOM OF COPING.
- 18 PAINT EXISTING EXTERIOR DOOR FRAME AND BUILDING MOUNTED EQUIPMENT
- 19 NEW EXTERIOR WALL LIGHT, M-3
- 20 EXISTING STOREFRONT

SIGNAGE AREA CALCULATIONS

FRONT ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 30 SF PROVIDED / 51,375 SF ALLOWED

SIDE ENTRY ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 21.8 SF PROVIDED / 51,375 SF ALLOWED

DRIVE THRU ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 21.8 SF PROVIDED / 51,375 SF ALLOWED



MARK D. MCCLUGGAGE, AIA, CCS
LEADS ARCHITECTS
www.gm.com

PRELIMINARY
NOT FOR CONSTRUCTION

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16017.20043
TEMPLATE VERSION:
AMERICAN SHOWMAN

REVISION	Mark	Date	By

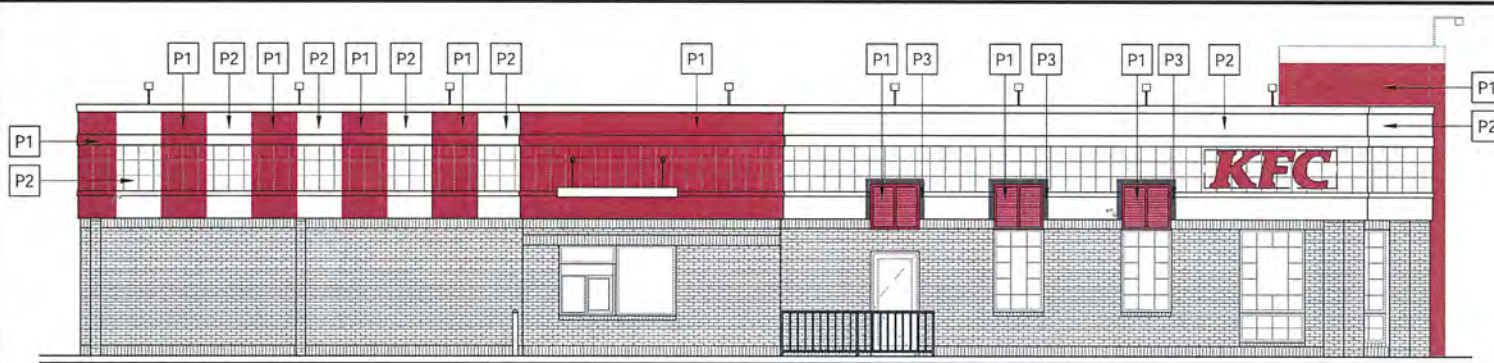
PROJECT TITLE
CD TEMPLATE
"K-30 SERIES 6000
TO AMERICAN
SHOWMAN"

1500 WEST 117TH STREET
LAKEWOOD, OHIO 44107
STORE NO. K071184
ISSUE DATE 1/08/2021

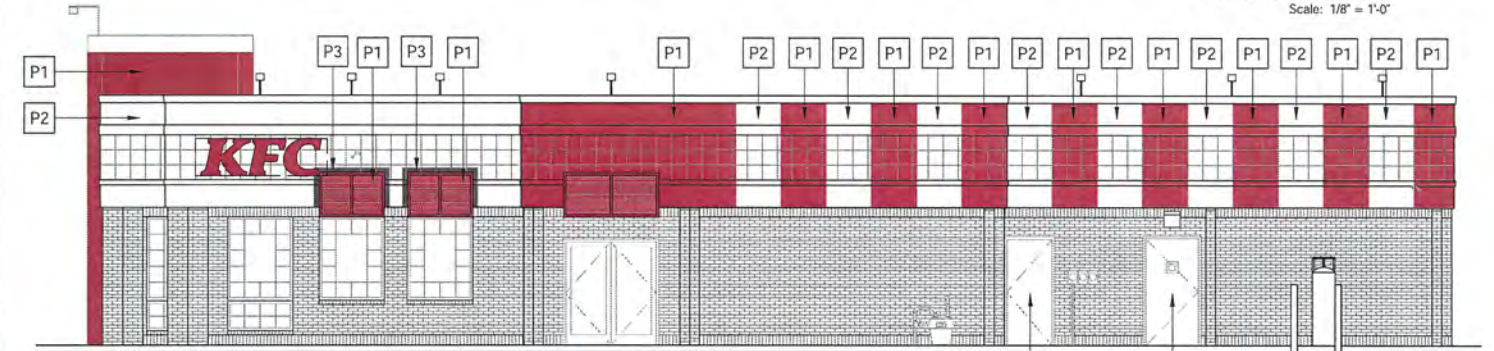
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NO.
A-2.0

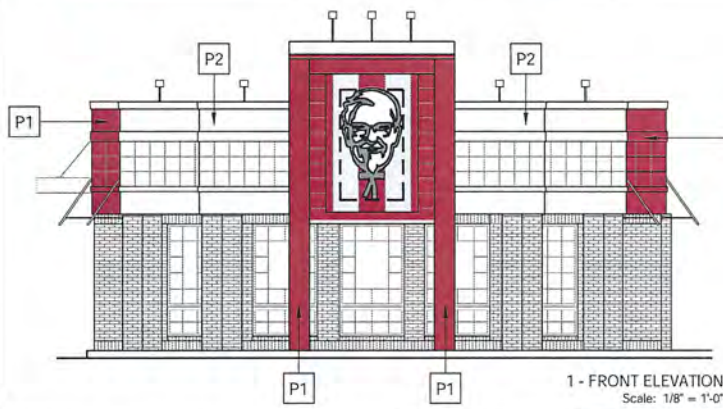
REPRODUCTION OF THIS DOCUMENT IS PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM LEADS ARCHITECTS, IS PROHIBITED. © 2021 LEADS ARCHITECTS



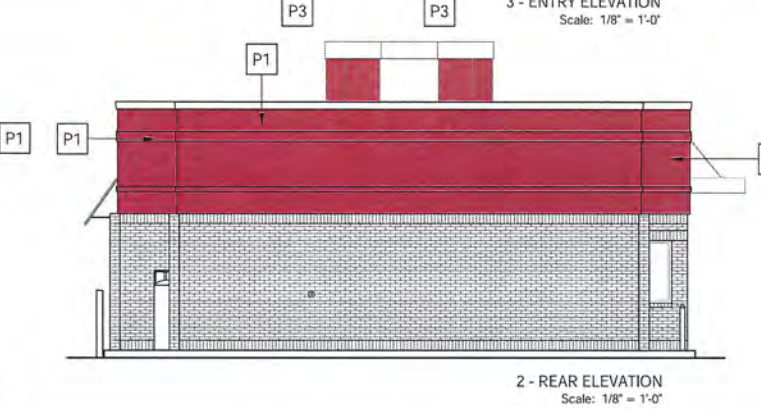
4 - DRIVE-THRU ELEVATION
Scale: 1/8" = 1'-0"



3 - ENTRY ELEVATION
Scale: 1/8" = 1'-0"



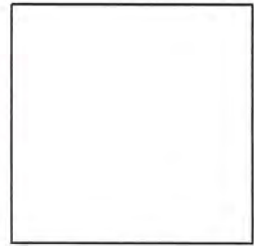
1 - FRONT ELEVATION
Scale: 1/8" = 1'-0"



2 - REAR ELEVATION
Scale: 1/8" = 1'-0"



P1 EXOTIC RED 2086-10
BUILDING/AWNING
COLOR



P2 WEDDING VEIL 2125-70
BUILDING COLOR



P3 BLACK HORIZON 2132-30
BUILDING ACCENT
COLOR



MARK D. MCCLUGGAGE, AIA, CCS
1871 South State St., 4th Fl.
Columbus, OH 43260
614.291.1111

PRELIMINARY
NOT FOR CONSTRUCTION
This document is a preliminary design. The information contained herein is not intended to be used for construction. This drawing is for review purposes only.

16017.20043
TEMPLATE VERSION
AMERICAN SHOWMAN

REVISION	Mark	Date	By

PROJECT TITLE
CD TEMPLATE
"K-30 SERIES 6000
TO AMERICAN
SHOWMAN"
INCENTIVE SCOPE
1560 WEST 117TH STREET
LAKEWOOD, OHIO 44107
STORE NO. K071184
ISSUE DATE: 01/20/2021

EXTERIOR
ELEVATIONS

SHEET NO.
A-2.0

SIGNAGE AREA CALCULATIONS

FRONT ELEVATION =
TOTAL SIGN SF = 30 SF PROVIDED / 57.375 SF ALLOWABLE

SIDE ENTRY ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 21.8 SF PROVIDED / 57.375 SF ALLOWABLE

DRIVE THRU ELEVATION = 1 SIGN ALLOWED
TOTAL SIGN SF = 21.8 SF PROVIDED / 57.375 SF ALLOWABLE

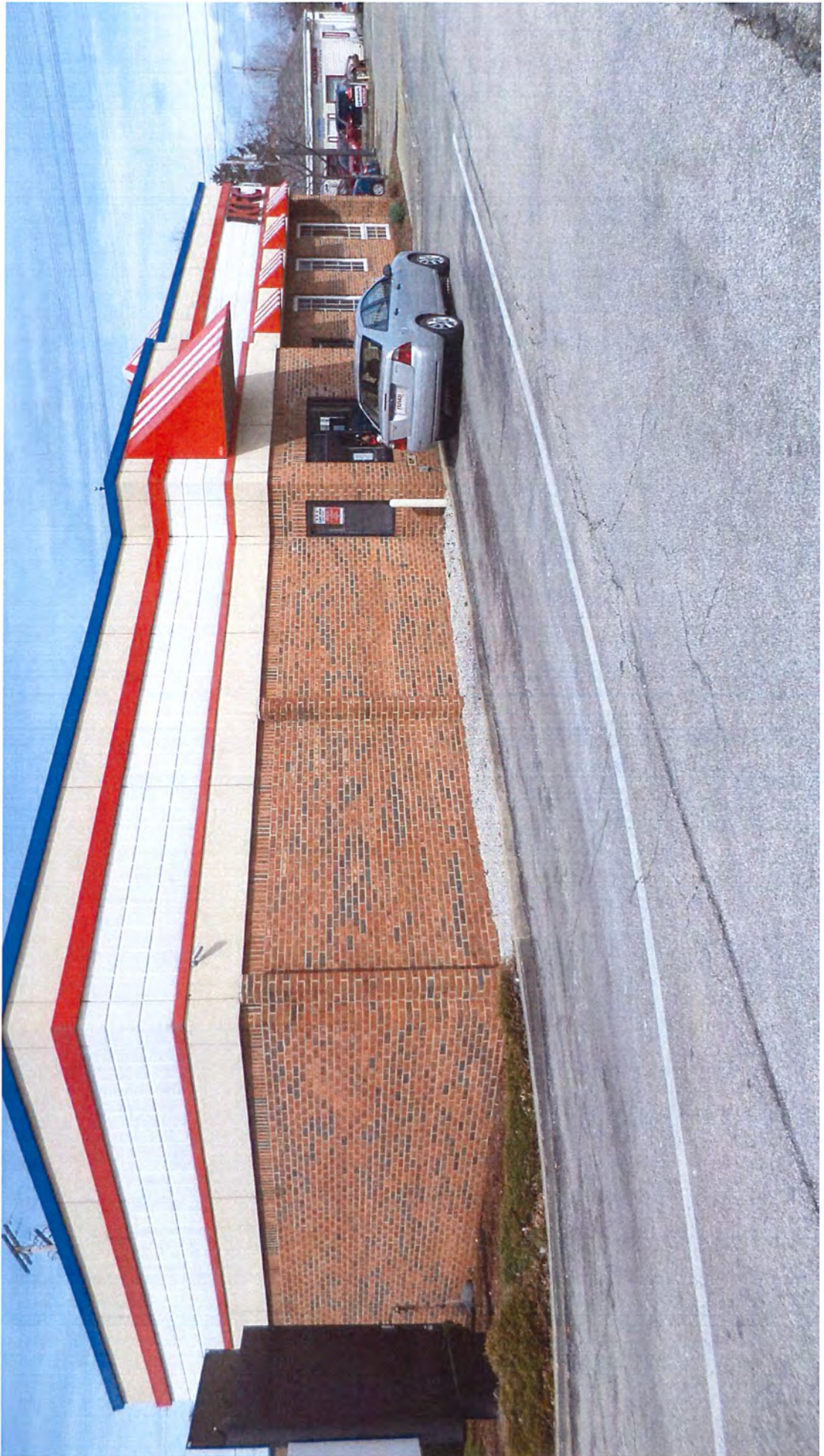


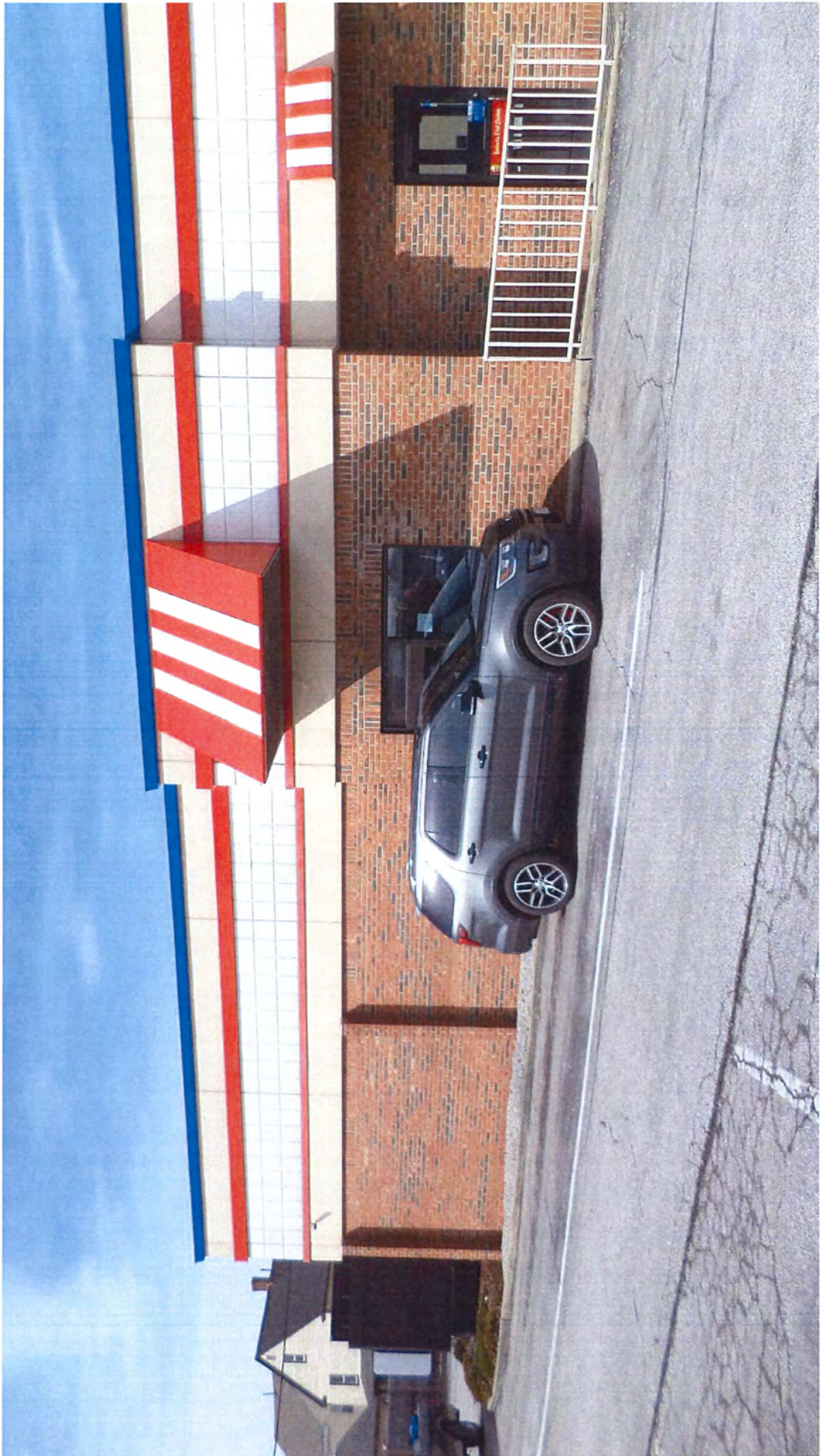




















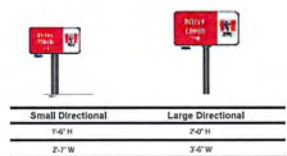
SITE INFORMATION

APPROX. LOT DEPTH: 188'-0"
 APPROX. LOT WIDTH: 130'-0"
 APPROX. LOT AREA: 23,310 SF

SITE WORK KEY NOTES

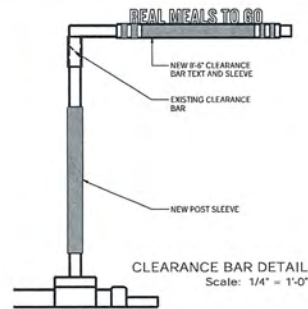
SEE MASTER SCHEDULE (SCHD-1) FOR ALL LIGHTING, FINISH AND COMPONENT TAGS

- 1 EXISTING DUMPSTER ENCLOSURE
- 2 NOT USED
- 3 EXISTING A.D.A. SIGNAGE
- 4 EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 5 REFACE EXISTING PARKING LOT DIRECTIONAL SIGNAGE, RELAMP WITH LED LIGHTS, AND PAINT CABINET AND POLE, SP3. COORDINATE WITH SIGN VENDOR
- 6 EXISTING CONCRETE PAVEMENT TO BE PROTECTED DURING CONSTRUCTION
- 7 EXISTING CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 8 EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 9 EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 10 EXISTING LANDSCAPING TO REMAIN
- 11 REFACE EXISTING MONUMENT SIGN AND READER BOARD, RELAMP WITH LED LIGHTS AND PAINT CABINETS, SP3. COORDINATE INSTALLATION AND PAINTING WITH SIGN VENDOR.
- 12 EXISTING PERIMETER FENCE. INSTALL NEW SCREEN SLATES BEHIND RESIDENTIAL PROPERTY AS NEEDED AND MATCH EXISTING COLOR.
- 13 EXISTING SPEAKER POST TO BE PAINTED & DRIVE THRU HOURS GRAPHIC APPLIED. INSTALL NEW HEARING IMPAIRED SIGNAGE, PAINT BASE, SP3.
- 14 NOT USED
- 15 EXISTING MENU BOARD, PAINT BASE, SP3.
- 16 EXISTING CLEARANCE BAR AND FOOTING TO RECEIVE NEW SLEEVE AND FINISH, SP3
- 17 PAINT EXISTING HANDRAIL, SP3
- 18 EXISTING LIGHT BOLLARDS SHALL REMAIN. PAINT SP3 TO APPEAR LIKE NEW.
- 19 EXISTING BOLLARD SHALL BE PAINTED DOT YELLOW, STRAIGHTEN BOLLARDS AS NEEDED.



INCLUDED FOR DESIGN INTENT FOR REFERENCE ONLY - COORDINATE SIGNAGE WITH SIGN VENDOR

REFACE DIRECTIONAL SIGN
Scale: NTS



16017.20043
 TEMPLATE VERSION
 AMERICAN SHOWMAN

REVISION	Mark	Date	By

PROJECT TITLE
 CD TEMPLATE
 "K-30" SERIES 8000
 TO AMERICAN
 SHOWMAN"
 INCENTIVE SCOPE
 1560 WEST 117TH STREET
 LAKEWOOD, OHIO 44107
 STORE NO. K071184
 ISSUE DATE: 01/20/2021
 SHEET TITLE
SITE PLAN

SHEET NO.
A-2.0



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 02-10-21A

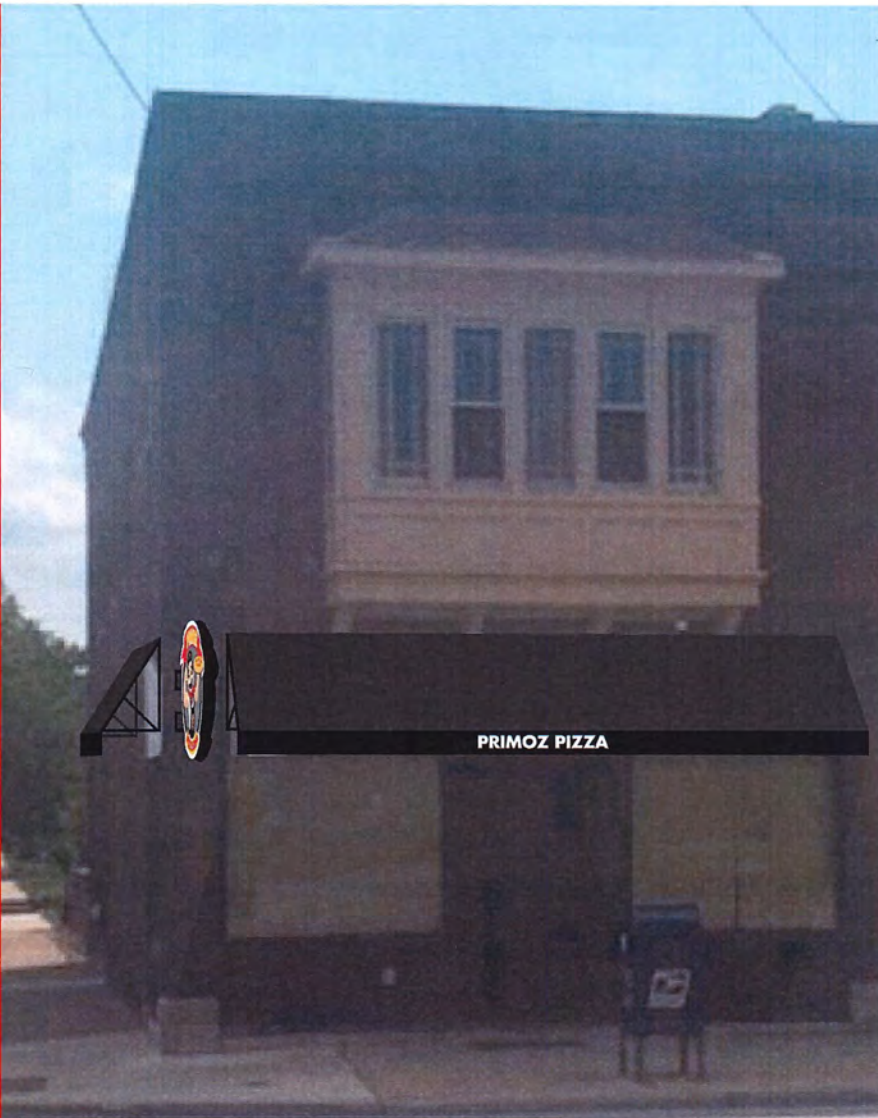
Permit No.: BBS21-000021

Applicant Name: Aldo Dure, BNext Awnings & Graphics Inc.

Project Address: 14203 Madison Avenue

Project Name: Primoz Pizza

Proposal: Applicant proposes the installation of new awnings.



OPEN ENDED AWNINGS
 1" x 1" BLACK PAINTED METAL FRAMES
 BLACK SUNBRELLA FABRIC
 PAINTED WHITE GRAPHICS

FRONTAGE: 20'
ELEVATION: 10'



*** THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES ***

REVISION DATE	
1	6
2	7
3	8
4	9
5	10

RENDERED BY:
 AKS

PAGE:
 1 of 1

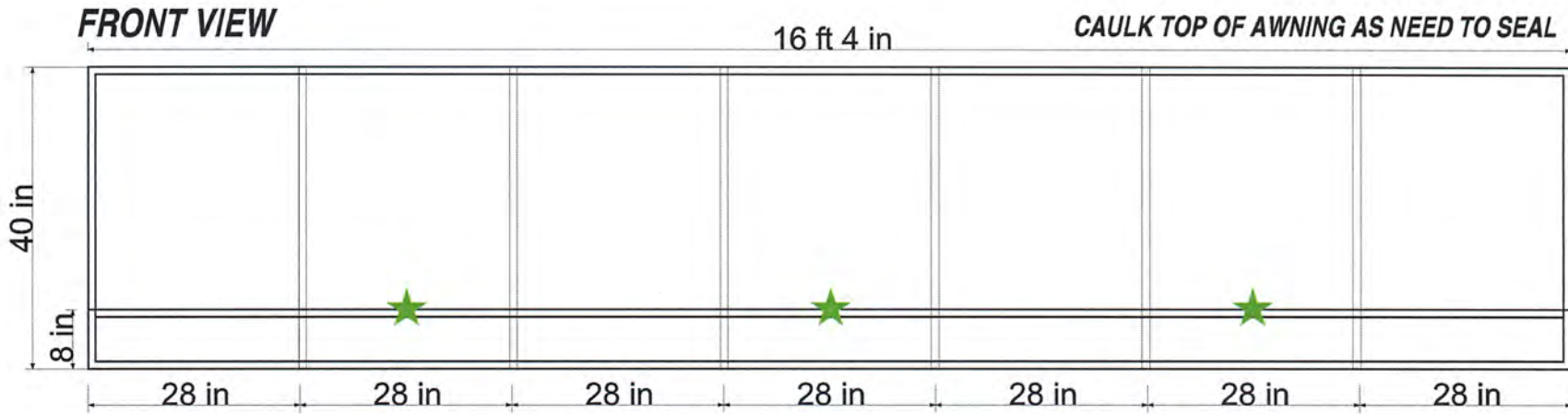
PROJECT #/ NAME
 awnings

DATE
 2/3/21

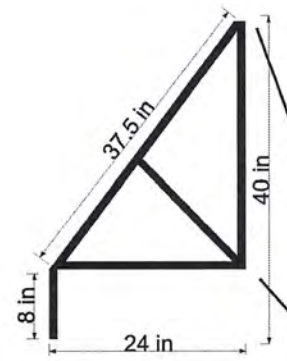
SALESPERSON: Aldo

PROJ. MANAGER: Katty

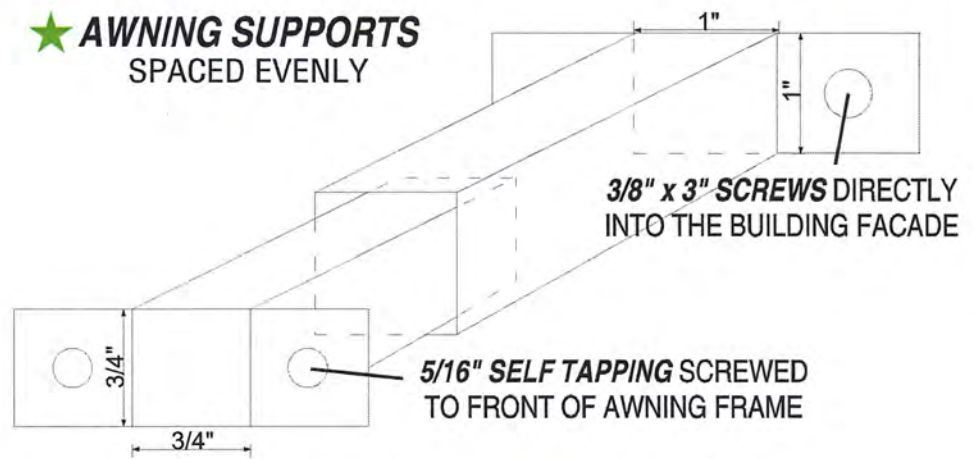
JOB LOCATION: 14201 Madison Ave
 Lakewood, Ohio



SIDE VIEW



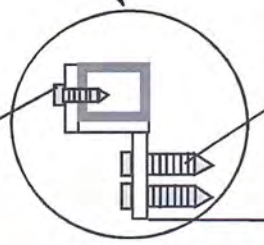
★ AWNING SUPPORTS SPACED EVENLY



3/8" x 3" SCREWS DIRECTLY INTO THE BUILDING FACADE

5/16" SELF TAPPING SCREWED TO FRONT OF AWNING FRAME

MOUNTING DETAIL



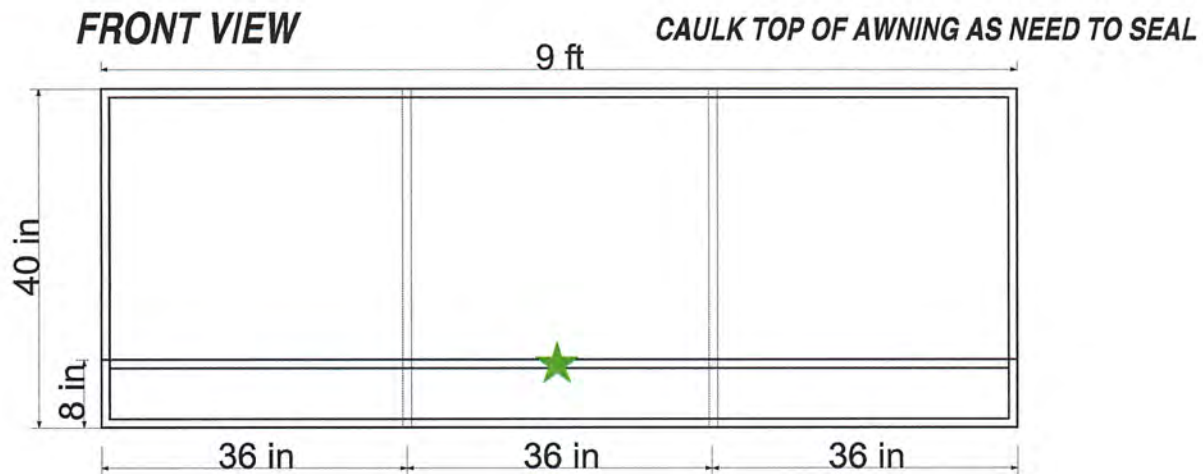
#14 SELF TAPPING SCREWS

LARGE DIAMETER TAPCON (LDT)
MOUNTING (Z) STEEL BRACKETS

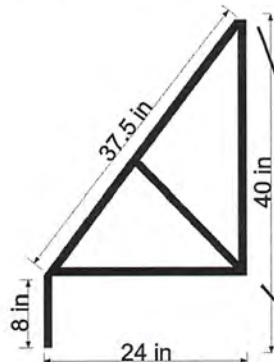
LDT Anchors		Ultimate Tension and Shear Values			
ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	f _c = 2000 PSI (13.8 MPa)			
		TENSION Lbs. (kN)	SHEAR Lbs. (kN)		
3/8 (9.5)	1-1/2 (38.1)	1,336 (5.9)	2,108 (9.4)		
	2 (50.8)	1,492 (6.6)	3,036 (13.5)		
	2-1/2 (63.5)	3,732 (16.6)	3,312 (14.7)		
	3-1/2 (88.9)	5,396 (24.0)	3,312 (14.7)		

*** THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES***

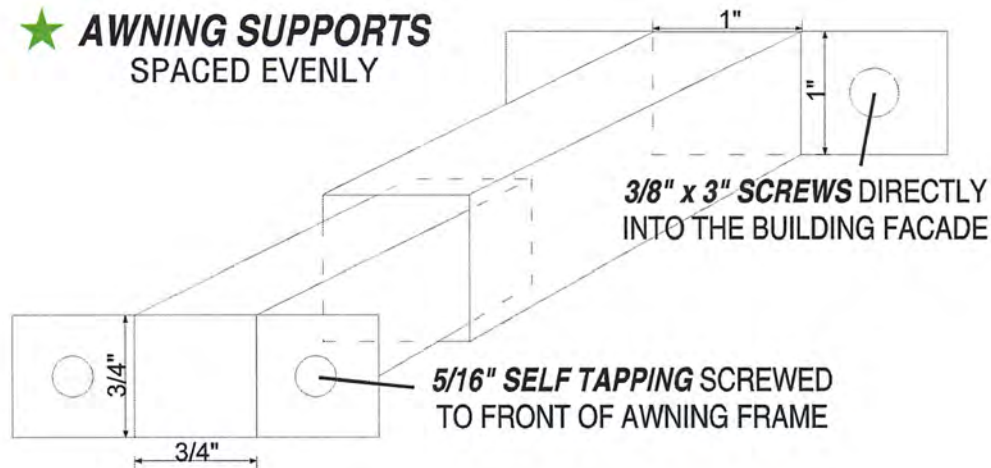
REVISION DATE	
1	6
2	7
3	8
4	9
5	10



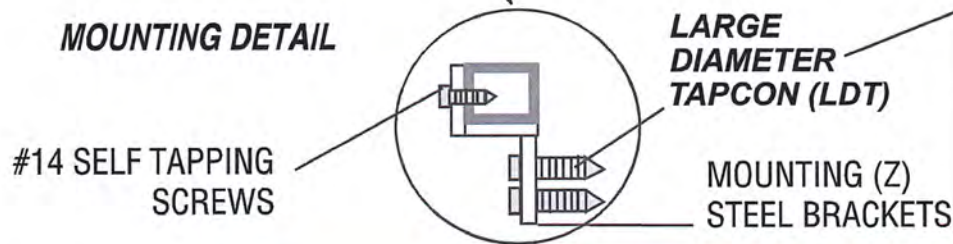
SIDE VIEW



★ **AWNING SUPPORTS SPACED EVENLY**



MOUNTING DETAIL



LDT Anchors		Ultimate Tension and Shear Values	
ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	f _c = 2000 PSI (13.8 MPa)	
		TENSION Lbs. (kN)	SHEAR Lbs. (kN)
3/8 (9.5)	1-1/2 (38.1)	1,336 (5.9)	2,108 (9.4)
	2 (50.8)	1,492 (6.6)	3,036 (13.5)
	2-1/2 (63.5)	3,732 (16.6)	3,312 (14.7)
	3-1/2 (88.9)	5,396 (24.0)	3,312 (14.7)

*** THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES***

REVISION DATE	
1	6
2	7
3	8
4	9
5	10

CONCEPT DRAWING

SITE PLAN
 14201 Madison Ave
 Lakewood, OH

- 1 FRONT AWNING
- 2 SIDE AWNING



*** THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES ***

BNEXT
 ARCHITECTURAL IMAGING
 SIGNS • AWNINGS • LIGHTING

address: 5109 Clark Ave.
 Cleveland Ohio 44102
 telephone: 216.688.1800
 web: bnexdesign.com

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REVISION DATE	
1	5
2	6
3	9
4	9
5	10

RENDERED BY:
AKS

PAGE:
1 of 1

PROJECT #/NAME
PROJECTING SIGN

DATE
5/3/20

SALESPERSON: Aldo

PROJ. MANAGER: Katty

JOB LOCATION: 14201 Madison Ave
 Lakewood, OH



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 02-10-21S

Permit No.: BBS21-000003

Applicant Name: Aldo Dure, BNext Awnings & Graphics Inc.

Project Address: 14203 Madison Avenue

Project Name: Primoz Pizza

Proposal: Applicant proposes new signage.

CONCEPT DRAWING

SITE PLAN
 14201 Madison Ave
 Lakewood, OH

- 1 FRONT AWNING
- 2 SIDE AWNING



*** THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES ***

BNEXT
 ARCHITECTURAL IMAGING
 SIGNS • AWNINGS • LIGHTING

address: 5109 Clark Ave.
 Cleveland Ohio 44102
 telephone: 216.688.1800
 web: bnexdesign.com



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3	5
4	5
5	16

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AKS

PAGE:
1 of 1

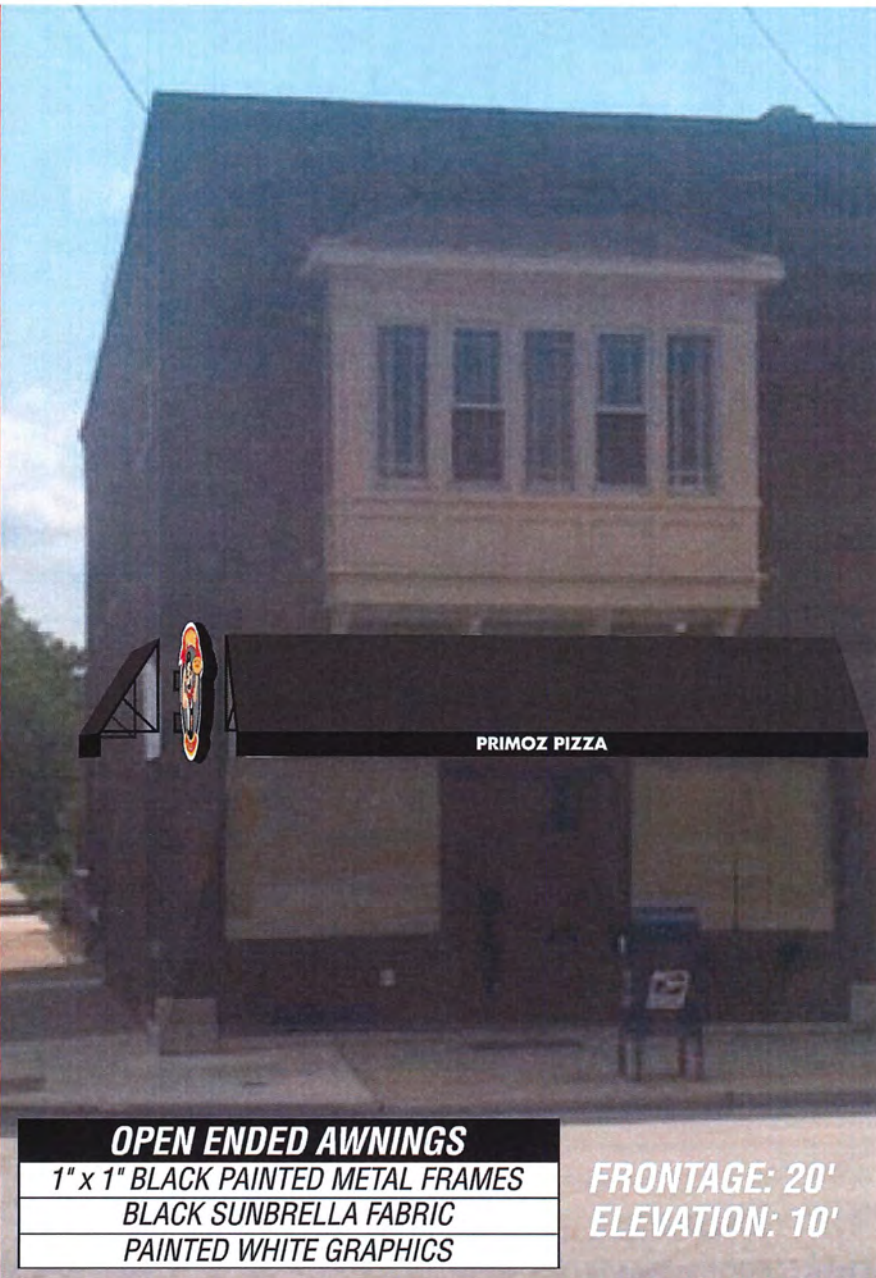
PROJECT # / NAME
PROJECTING SIGN

DATE
5/3/20

SALESPERSON: Aldo

PROJ. MANAGER: Kathy

JOB LOCATION: 14201 Madison Ave
 Lakewood, OH



OPEN ENDED AWNINGS
 1" x 1" BLACK PAINTED METAL FRAMES
 BLACK SUNBRELLA FABRIC
 PAINTED WHITE GRAPHICS

FRONTAGE: 20'
 ELEVATION: 10'

* THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES*

BNEXT
 ARCHITECTURAL IMAGING
 SIGNS • AWNINGS • LIGHTING

address: 5109 Clark Ave.
 Cleveland Ohio 44102
 telephone: 216.688.1800
 web: bnextdesign.com

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3	8
4	9
5	10

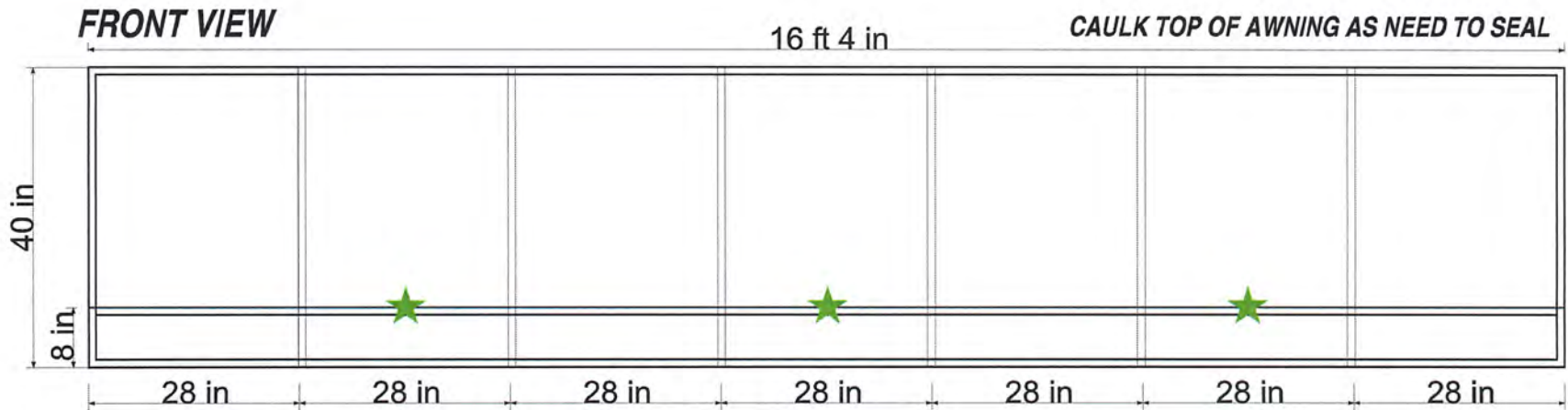
RENDERED BY:
 AKS

PAGE:
 1 of 1

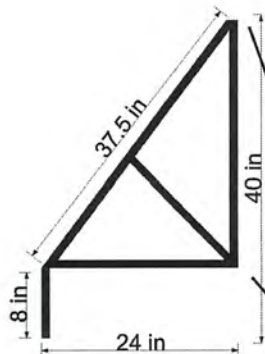
PROJECT #/ NAME
 awnings

DATE
 2/3/21

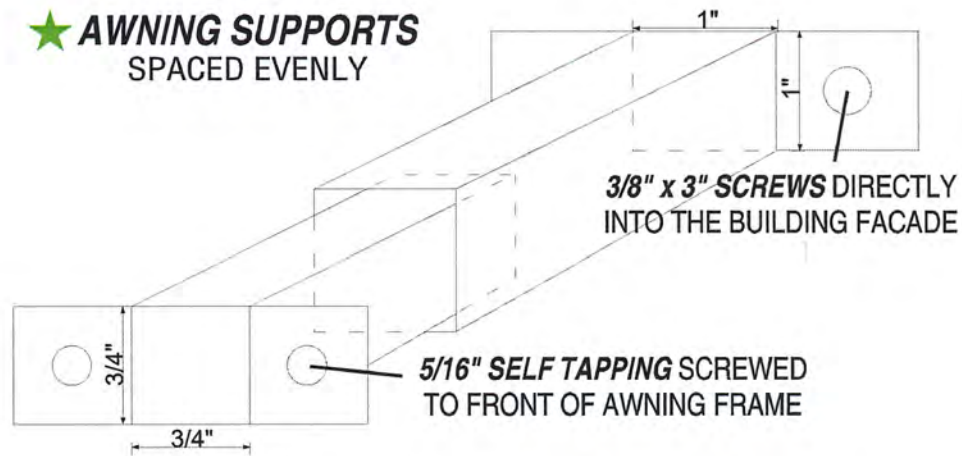
SALESPERSON: Aldo
 PROJ. MANAGER: Katty
 JOB LOCATION: 14201 Madison Ave
 Lakewood, Ohio



SIDE VIEW



★ **AWNING SUPPORTS**
SPACED EVENLY

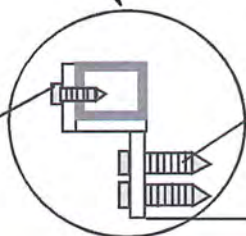


3/8" x 3" SCREWS DIRECTLY INTO THE BUILDING FACADE

5/16" SELF TAPPING SCREWED TO FRONT OF AWNING FRAME

MOUNTING DETAIL

#14 SELF TAPPING SCREWS



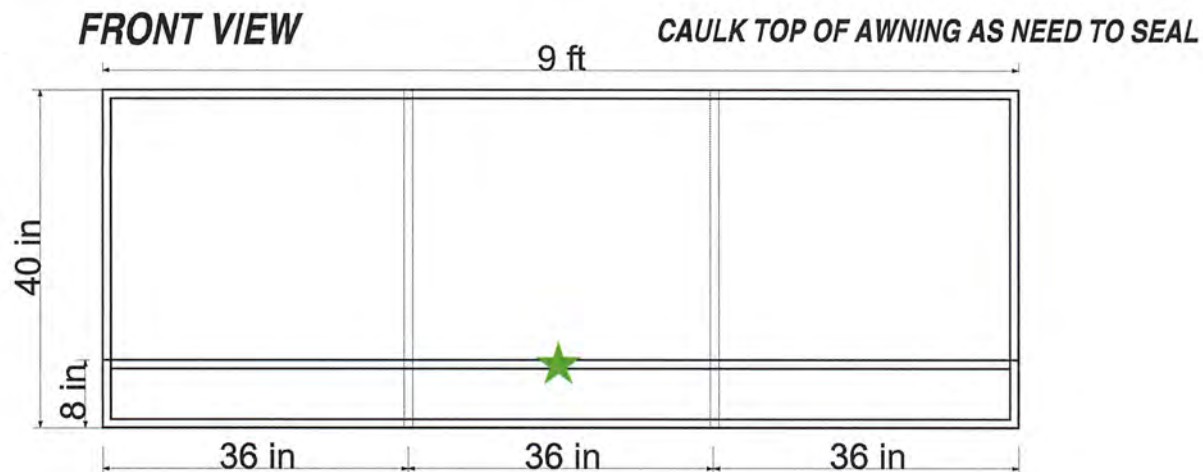
LARGE DIAMETER TAPCON (LDT)

MOUNTING (Z) STEEL BRACKETS

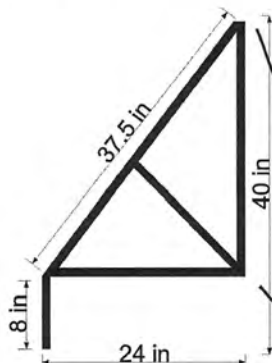
LDT Anchors		Ultimate Tension and Shear Values		
ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	f _c = 2000 PSI (13.8 MPa)		
		TENSION Lbs. (kN)	SHEAR Lbs. (kN)	
3/8 (9.5)	1-1/2 (38.1)	1,336 (5.9)	2,108 (9.4)	
	2 (50.8)	1,492 (6.6)	3,036 (13.5)	
	2-1/2 (63.5)	3,732 (16.6)	3,312 (14.7)	
	3-1/2 (88.9)	5,396 (24.0)	3,312 (14.7)	

*** THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES***

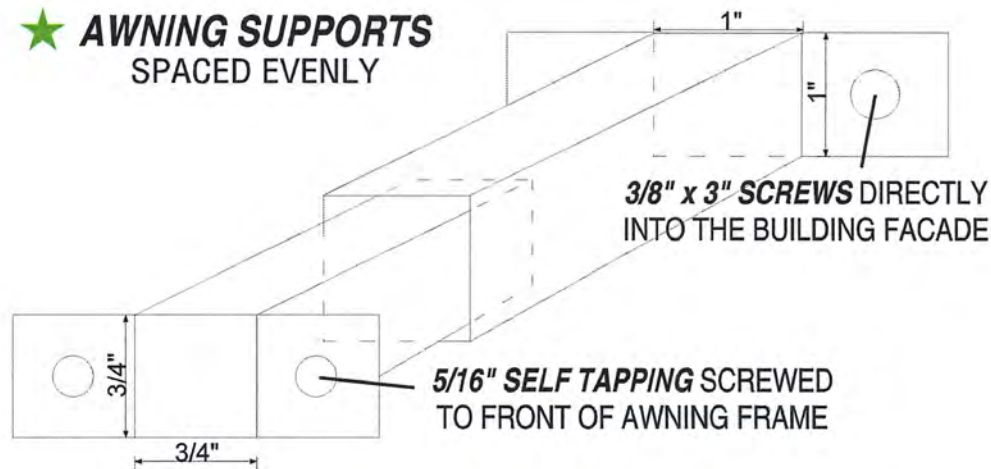
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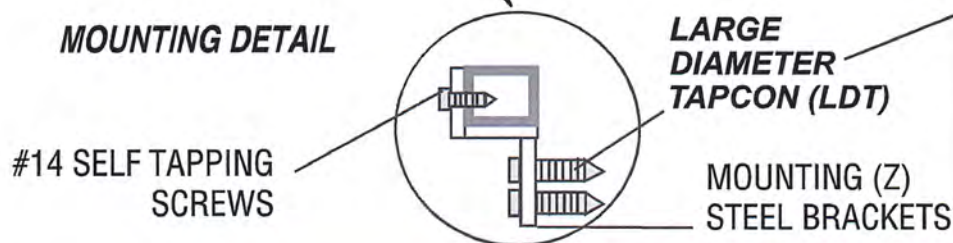
SIDE VIEW



★ **AWNING SUPPORTS SPACED EVENLY**



MOUNTING DETAIL



LDT Anchors		Ultimate Tension and Shear Values	
ANCHOR DIA. In. (mm)	EMBEDMENT DEPTH In. (mm)	f _c = 2000 PSI (13.8 MPa)	
		TENSION Lbs. (kN)	SHEAR Lbs. (kN)
3/8 (9.5)	1-1/2 (38.1)	1,336 (5.9)	2,108 (9.4)
	2 (50.8)	1,492 (6.6)	3,036 (13.5)
	2-1/2 (63.5)	3,732 (16.6)	3,312 (14.7)
	3-1/2 (88.9)	5,396 (24.0)	3,312 (14.7)

*** THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES***

REVISION DATE	
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2	7
3	8
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5	10



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 02-11-21A

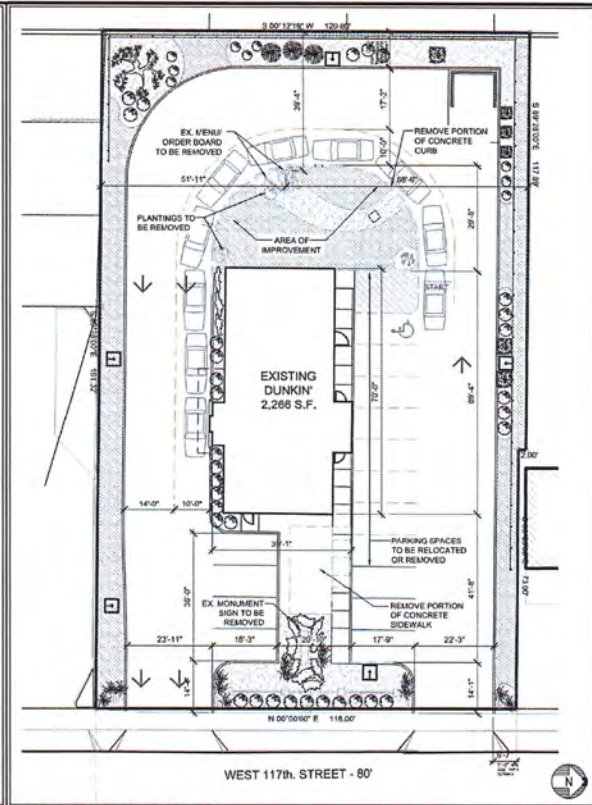
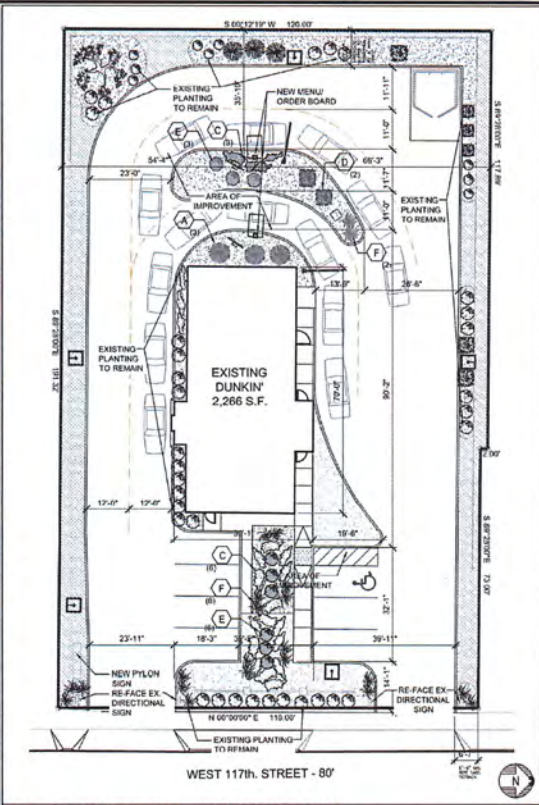
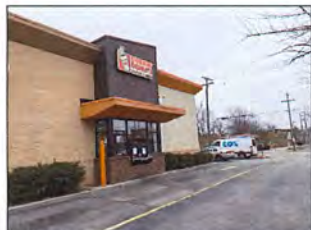
Permit No.: BBS21-000009

Applicant Name: Heidi DeMark, Phillips/Sekanick Architects

Project Address: 1520 W. 117th Street

Project Name: Dunkin'

Proposal: Applicant proposes site upgrades to an existing business.



2 PROPOSED IMPROVEMENT SITE PLAN
1/8" = 1'-0" NOTE

1 EXISTING SITE PLAN
1/8" = 1'-0" NOTE

SITE CALCULATIONS

EXISTING CONDITIONS	PROPOSED IMPROVEMENTS	IMPROVEMENT EFFECT
AREA OF SITE: 22,783 S.F.		
IMPERVIOUS: 14,006 S.F.	IMPERVIOUS: 13,835 S.F.	IMPERVIOUS: - 171 S.F.
BUILDING: 2,266 S.F.	BUILDING: 2,265 S.F.	BUILDING: N/A
PERVIOUS: 6,511 S.F.	PERVIOUS: 6,882 S.F.	PERVIOUS: + 171 S.F.

TREE AND SHRUB SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
3	A	THUJA OCCIDENTALIS	ARBORVITAE	48" HEIGHT	B & B
9	C	JUNIPERUS HORIZONTALIS	BLUECHIP JUNIPER	12"-15" HEIGHT	#3 CONTAINER
2	D	EMONYLUS ALATA 'COMPACTA'	BURNING BUSH	36" HEIGHT	B & B
9	E	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	36" HEIGHT	B & B

GRASSES, PERENNIALS, AND FERNS

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
8	F	HEMEROCALLIS	STELLA D'ORO DAYLILIES	10" - 12"	CONTAINER

NOTES

1. 15 1/2" x 68" x 1 1/2" ALUMINUM SPACER FRAME
2. FLAT ALUMINUM RETAINER
3. ALUMINUM ANGLE FRAME SUPPORT
4. GE TEMA MAX TRUCK WHITE LEDS, AS REQUIRED (OR GE REPLACEMENT EQUIVALENTS)
5. LED POWER SUPPLY, AS REQ'D W/ 4" INTERNAL DISCONNECT SWITCH
7. SUPPORT TUBE
8. FACES TO BE FLAT CLEAR SOLAR GRADE POLYCARBONATE 2ND SURFACE PAINTED DECORATION
9. "DUNKIN'" LETTERS TO BE EMBOSSED
10. REGISTERED "W" AND "DRIVE THRU" TO BE FLAT GRAPHIC
11. 3M 4300-3123 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE
12. 3M 4300-1795 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
13. BACKGROUND COLOR #53 WHITE BACK-SPRAY
- 13A. OPTION SIGN FACE 2ND SURFACE WHITE FACE / NIGHT FACE BACKGROUND COLOR #53 WHITE BACK-SPRAY, BACKED UP WITH OPAQUE SILVER FOR COMPLETE, OPAQUE FINISH FOR NIGHT

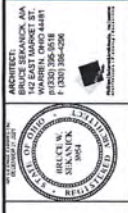
ADDITIONAL NOTES:

- ARTWORK FONT BY "DUNKIN' SANS DISPLAY"
- EXTERIOR FINISH PAINT: PANTONE 2940C
- INTERIOR FINISH: PAINTED REFLECTIVE WHITE
- ACCENT FINISH: 1 1/2" CABINET W/ RETAINER PAINT PANTONE 2940C
- RETAINERS / FACE REMOVABLE FOR SERVICE ACCESS
- HANGAR BAR INCLUDED ON 6" x 12" FACE
- PLATE SIZE: 3/4" x 12" x 12"
- BOLT PATTERN: 16" X 16"
- ELECTRICAL: (1) 20-AMP / 120 VOLT CIRCUIT
- PERIMETER ANGLE: 1 1/2" x 1 1/2" x 3/16" 1 - U.L. LISTED

H1	W1	D1	S.F. (BOX)
72.5"	147.5"	18"	74.22



3 NEW SIGN- PYLON TYPE
1/4" = 1'-0" NOTE



DUNKIN' DONUTS-
REMODEL
1520 W. 117th STREET
LAKEWOOD, OH 44107
P.C.#: D492487

DATE	SCALE	AS NOTED	DESIGNED	BY	DATE	APPROVED	BY	DATE
12/02/2020	AS NOTED		BRUNN	HD				

DHRUMIL CORPORATION
7825 METNOR AVE., UNIT 2
MENTOR, OH 44060

SITE PLAN AND
DETAILS

PROJECT
#20-0000

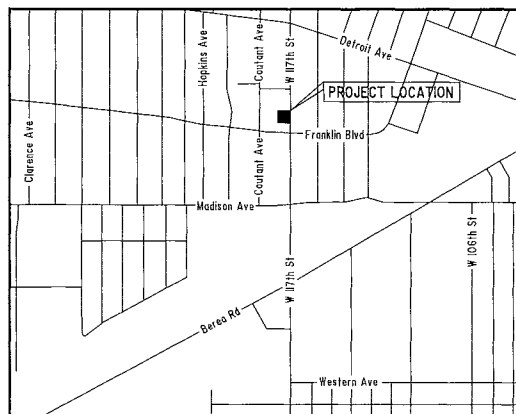
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IMPROVEMENT PLANS FOR 1520 WEST 117TH. STREET DUNKIN DONUTS, LAKEWOOD

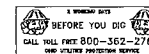
THE CITY OF LAKEWOOD, COUNTY OF
CUYAHOGA AND STATE OF OHIO

INDEX TO DRAWINGS

TITLE PAGE	1
EXISTING CONDITIONS/DEMOLITION PLAN	2
GENERAL PLAN	3
GRADING PLAN	4
NOTES & DETAILS	5-6
ABBREVIATED SWPPP LAYOUT PLAN	7
ABBREVIATED SWPPP NOTES & DETAILS	8



VICINITY MAP
NO SCALE



THE EXISTING UNDERGROUND UTILITIES AS SHOWN WERE OBTAINED FROM A COMBINATION OF FIELD LOCATION AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. WHERE PROVIDED, THESE UTILITIES, THEIR LOCATION AND THEIR ACTIVE OR INACTIVE STATUS, SHALL BE VERIFIED BY THE CONTRACTOR THROUGH THE OHIO UTILITY PROTECTION SERVICE (OUPS) PRIOR TO CONSTRUCTION. LOCATION, SIZE, DEPTH AND STATUS OF THE ABE SHOWN AS ACCURATE AS POSSIBLE WITH THE AVAILABLE EXISTING DATA AS OF DATE WHEN FOR BARRINGTON CONSULTING GROUP, INC. DOES NOT GUARANTEE THE COMPLETENESS, NOR ACCURACY THEREOF.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL OVERHEAD AND UNDERGROUND UTILITIES WITHIN THE AREA OF CONSTRUCTION FOR THE DURATION OF CONSTRUCTION.
MEMBERS MUST BE CONTACTED DIRECTLY.



"I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF"

David W. Novak
DAVID W. NOVAK, P.E. No. 7507

"I HEREBY CERTIFY THAT THIS PLAN WAS REVIEWED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF"

Reynard S. Depuy
REYNARD S. DEPUY, P.E. No. 42855

REVISIONS	BY
4/18/12	TDR

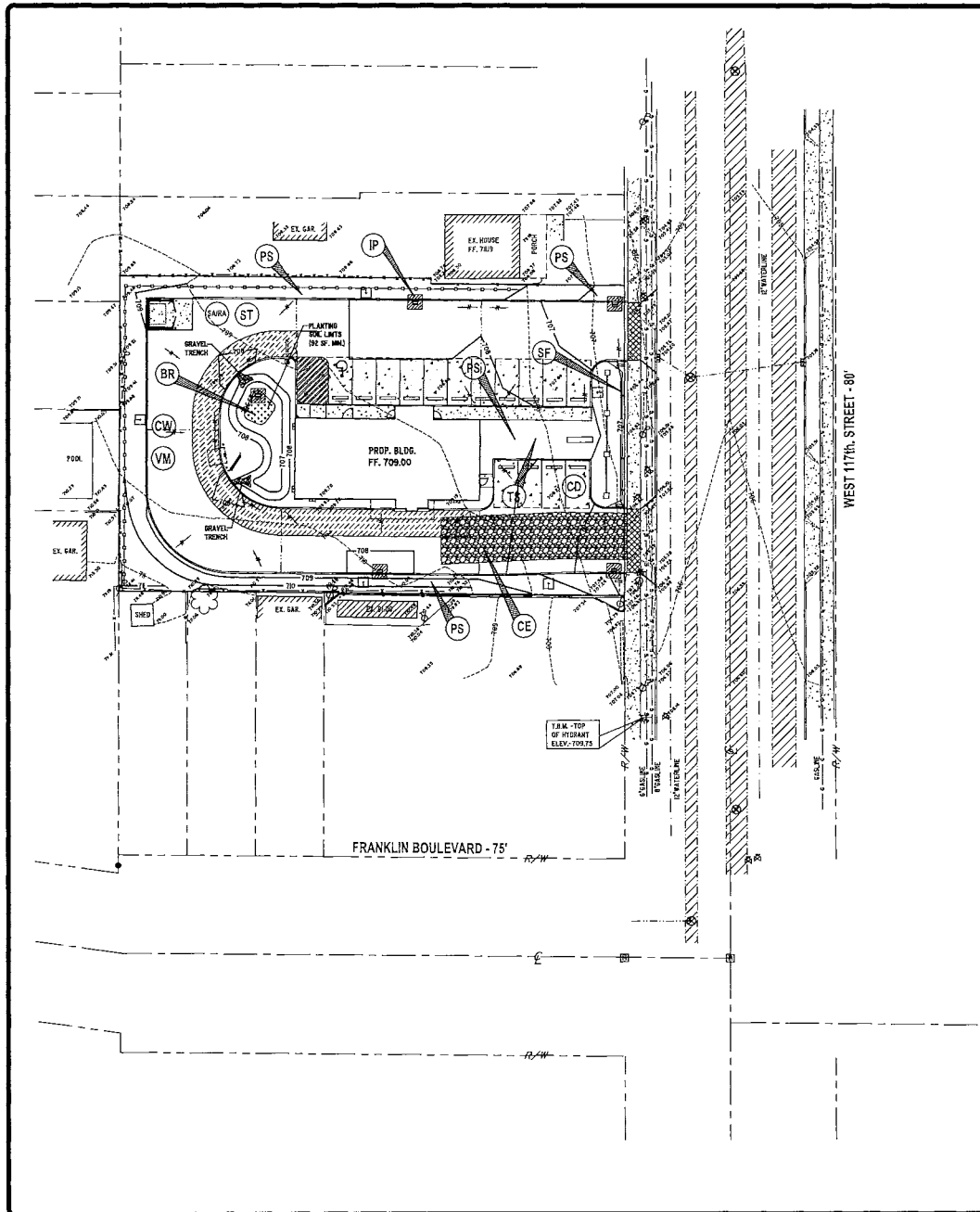
Barrington
CONSULTING GROUP, INC.
9114 TYLER BLVD., MENTOR, OHIO 44060
PHONE 440.205.1260 FAX 440.205.1262
www.BarringtonCGI.com

PSA, INC.
BRUCE SEKANICK
142 EAST MARKET STREET
WARREN, OHIO 44461-1121
330.395.9518 PH. 330.395.4295 FAX

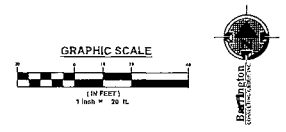
DUNKIN DONUTS
1520 WEST 117TH STREET
LAKEWOOD, OHIO 44107

TITLE PAGE

DATE	
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DATE	12/22/11
SCALE	NONE
COR. NO.	11106
SHEET	



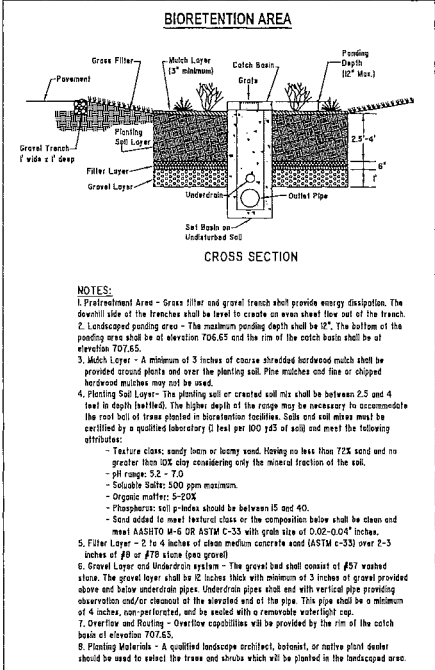
- EROSION CONTROL LEGEND**
- (VM) VEHICLE MAINTENANCE & REFUELING AREA
 - (TS) TEMPORARY SEEDING
 - (CW) CONCRETE WASHOUT
 - (PS) PERMANENT SEEDING
 - (SF) SILT FENCE
 - (IP) INLET PROTECTION (AT ALL INLETS)
 - (CD) COVERED DUMPSTER
 - (CE) CONSTRUCTION ENTRANCE
 - (ST) AREA FOR STORAGE OR DISPOSAL OF SOLID, SANITARY AND TOXIC WASTE
 - (SAR) STAGING AREA & AREA FOR RECYCLING OF USED OR UNUSED HAZARDOUS MATERIAL AND AREA FOR MIXING AND STORAGE OF COMPOUNDS
 - (BR) BIORETENTION AREA



STORM WATER MANAGEMENT NOTES:
 THE EXISTING STORM WATER FROM THE SITE FLOWS FROM THE SOUTHWEST TO THE NORTHEAST AND ENTERS THE CITY OF LAKEWOOD COMBINED SEWER SYSTEM AT A CURB INLET ON THE WEST SIDE OF THE ROAD. THE SITE WAS CREATED BY COMBINING 4 SEPARATE PARCELS OF PROPERTY. THE 4 PARCELS PREVIOUSLY HAD HOUSES ON THEM. FOR RUNOFF COEFFICIENT ESTIMATION, THE EXISTING CONDITION WILL BE CONSIDERED AS WHEN THERE WERE FOUR HOUSES AND DRIVEWAYS AT THE SITE. THE ESTIMATED EXISTING RUNOFF COEFFICIENT IS .83 (PERVIOUS AREA OF 0.490 ACRES, IMPERVIOUS AREA OF 0.04 ACRES). BASED ON THE PROPOSED SITE PLAN, THE ESTIMATED PROPOSED RUNOFF COEFFICIENT IS .92 (PERVIOUS AREA OF 0.067 ACRES, IMPERVIOUS AREA OF 0.3624 ACRES).

SITE DESCRIPTION:
 COMMERCIAL - RESTAURANT
 TOTAL AREA - 0.520 ACRES
 PRE-DEV. RUNOFF COEFF - .83
 AREA TO BE CLEARED - 0.000 ACRES
 AREA TO BE EXCAVATED/DISTURBED - 0.520 ACRES
 POST-DEV. RUNOFF COEFF - .92

SITE LOCATION INFORMATION:
 CITY OF LAKEWOOD
 CUYAHOGA COUNTY
 STATE OF OHIO
 NAME OF WATERSHED/RECEIVING STREAM - CITY OF LAKEWOOD SEWERS
 SITE ADDRESS - 1500 WEST 17TH STREET
 LATITUDE - 41° 28' 48.47"
 LONGITUDE - 81° 46' 08.85"



The requirements of the ODM Rainwater and Land Development Manual (Latest Edition) shall be adhered to for all aspects of the site's Stormwater Pollution Prevention Plan.

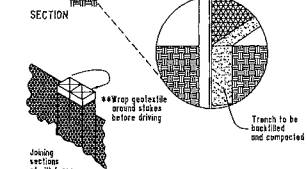
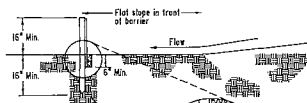
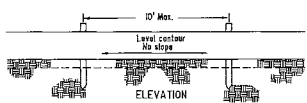
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Barrington
 CONSULTING GROUP, INC.
 9141 TYLER BLVD., NENTON, OHIO 44160
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PSA, INC.
 BRUCE SEKANICK
 142 EAST MARKET STREET
 WYANDOT, OHIO 44144-1474
 330.395.9518 PH. 330.395.4296 FAX

DUNKIN DONUTS
 4200 WEST 17TH STREET
 LAKEWOOD, OHIO 44107
 ABBREVIATED SWPPP - LAYOUT PLAN

4200 WEST 17TH STREET
 DUNKIN DONUTS
 12/22/11
 SCALE: 1" = 20'
 JOB NO. 11106
 SHEET

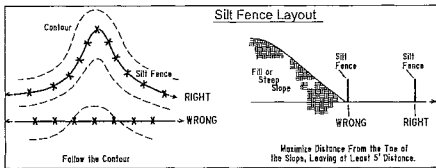


SILT FENCE

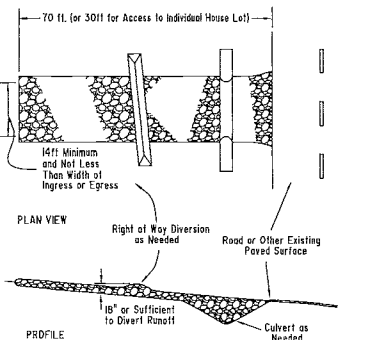
- Silt fence shall be constructed before upstate load disturbance begins.
- All silt fence shall be placed as close to the contour as possible so that water will not concentrate in low points on the fence and so that small cracks or depressions that may carry small concentrated flows to the silt fence are disrupted along its length.
- Ends of the silt fences shall be brought upstate slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
- Silt fence shall be placed on the flattest area available.
- Where possible, vegetation shall be preserved for 3 feet for as much as possible upstate from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
- The height of the silt fence shall be a minimum of 18 inches above the original ground surface.
- The silt fence shall be placed in an excavated or sliced trench cut to a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, string machine, or other suitable device that will assure an adequately uniform trench depth.
- The silt fence shall be placed with the fabric on the downstate side of the geotextile. A minimum of 8 inches of geotextile must be below the ground surface. Excess material that lies on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
- Seams between sections of silt fence shall be applied together only if a support post with a minimum 6-in. cavity prior to drifting into the ground, (see detail).
- Minimums: Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. It must not over-top the silt fence, flow under the fabric or around the fence ends, or in any other way allow a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed, 2) accumulated sediment shall be removed, or 3) other practices shall be installed.
- Sediment deposits shall be routinely removed when the deposit reaches approximately one-half of the height of the silt fence.
- Silt fence shall be inspected after each rainfall and at least daily during prolonged rainfall. The location of existing silt fence shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.
- Criteria for silt fence materials:
 - Fabric post - The length shall be a minimum of 32 inches. Wood posts will be 2-3/4"-2 1/2" nominal diameter hardwood of round quality. They shall be free of knots, splits and other visible imperfections, that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 15 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
 - Silt fence fabric - See chart below.

Table 6.3.2: Minimum criteria for Silt Fence Fabric (0007, F009)

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lb. (335 N)	ASTM D 4632
Minimum Elongation at 60 lbs	30%	ASTM D 4632
Minimum Puncture Strength	50 lbs. (220 N)	ASTM D 4855
Minimum Tear Strength	40 lbs. (182 N)	ASTM D 4533
Apparent Opening Size	≤ 0.08 mm	ASTM D 4751
Minimum Permeability	1 x 10 ⁻² sec ²	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM D 4355

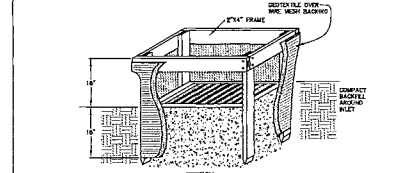


Specifications for Construction Entrance

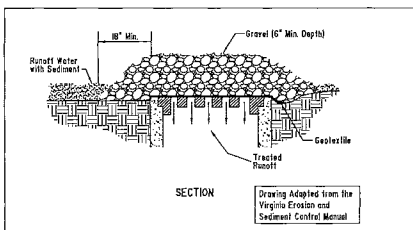


- Stone Size-0007 #2 (0.5-2.5 inch) stone shall be used, or recycled concrete equivalent.
- Length-The Construction Entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (exception: apply 10 ft. minimum to single lane lots).
- Thickness-The stone layer shall be at least 6 inches thick for light duty entrances or at least 10 inches for heavy duty use.
- Width-The entrance shall be at least 14 feet wide, but not less than the full width of points where ingress or egress occurs.
- Geotextile-A geotextile shall be laid over the entire area prior to placing stone. It shall be composed of strong rot-proof polymeric fibers and meet the following specifications:

Geotextile Specification for Construction Entrance	
Minimum Tensile Strength	200 lbs.
Minimum Puncture Strength	80 psi.
Minimum Tear Strength	50 psi.
Minimum Burst Strength	320 psi.
Minimum Elongation	20%
Equivalent Opening Size	100 < 0.075 mm
Minimum Permeability	1 x 10 ⁻² sec ²
- Maintenance-Top dressing of additional stone shall be applied as conditions demand. Mud applied, dropped, washed or tracked onto public roads, or any other surface (except the entrance) it not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by sweeping or sweeping.
- Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.
- Removed-entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.



- GEOTEXTILE INLET PROTECTION**
- INLET PROTECTION SHALL BE CONSTRUCTED OTHER BEFORE UPSTATE LOAD DISTURBANCE BEGINS OR BEFORE THE BUILT ARECES COMMENCE.
 - THE FABRIC AROUND THE MESH SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
 - THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE SPACED 16 INCHES ON CENTER WITH THE CORNERS AT 90 DEGREES. THE TOP SURFACE OF THE FRAME SHALL BE APPROXIMATELY 2 INCHES ABOVE THE FINISHED GROUND SURFACE. THE TOP OF THE FRAME SHALL BE AT LEAST 18 INCHES BELOW ANY OTHER POINTS OF POTENTIAL WATER FLOW. A 1/2\"/>



- Inlet protection shall be constructed either before upstate load disturbance begins or before the inlet becomes functional.
- Geotextile and/or wire material shall be placed over the top of the stone cover and approximately 6-8 (8) inches of 2-inch or smaller clean aggregate placed on top. Extra support for geotextile is provided by piling hardware.
- Maintenance must be performed regularly, especially after storm events. When clogging of the stone or geotextile occurs, the material must be removed and replaced.

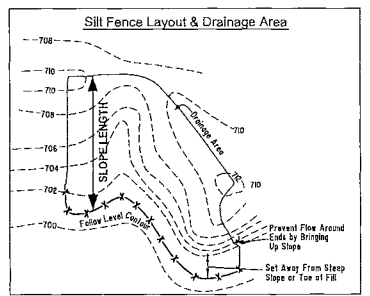
Table 3: Temporary Stabilization

Area requiring permanent stabilization	Time frame to apply erosion controls
Any disturbed areas within fifty (50) feet of a stream and not of final grade	Within two (2) days of the most recent disturbance if the area will remain idle for twenty-one (21) days or more
Disturbed areas that will be dormant for more than 21 days but less than one (1) year and not within fifty (50) feet of a stream	Within seven (7) days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

Table 2: Permanent Stabilization

Area requiring permanent stabilization	Time frame to apply erosion controls
Any areas that will be dormant for one (1) year or more	Within seven (7) days of the most recent disturbance
Any areas within (50) feet of a stream end of final grade	within two (2) days of reaching final grade
Any other areas of final grade	Within seven (7) days of reaching final grade within that area

Seed Mix	Seeding Rate		Notes:
	Lbs./acre	Lbs./1,000 Sq. Feet	
General Use			
Creeping Red Fescue	20-40	1/2-1	For class mowing & for lawns with <2.0 ft/sec velocity
Domestic Ryegrass	10-20	1/4-1/2	
Kentucky Bluegrass	20-40	1/2-1	
Tall Fescue	40-50	1-1/4	
Turf-Type (Dwarf) Fescue	50	2 1/4	
Steep Banks or Cut Slopes			
Tall Fescue	40-50	1-1/4	
Crown Vetch	10-20	1/4-1/2	Do not seed later than August
Tall Fescue	20-50	1/2-3/4	
Flat Top	20-25	1/2-3/4	Do not seed later than August
Tall Fescue	20-30	1/2-3/4	
Road Ditches and Swales			
Tall Fescue	40-50	1-1/4	
Turf-Type (Dwarf) Fescue	50	2 1/4	
Kentucky Bluegrass	5	0.1	
Lawns			
Kentucky Bluegrass	100-120	2	
Paranoid Ryegrass	100-120	2	
Kentucky Bluegrass	100-120	2	
Creeping Red Fescue		1-1/2	For shaded areas



Seeding Date	Species	Lb./1000 ft ²	Lb./Acre
March 1 to August 15	Oats	3	125 (4 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Paranoid Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
August 16th to November	Oats	3	125 (3 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Paranoid Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
November 1 to Feb. 29	Oats	3	125 (2 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Paranoid Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40

REVISIONS	BY

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 9114 TAYLOR BLVD., AUSTIN, TX 78753
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PSA, INC. - BRUCE SEKANICK
 142 EAST MARKET STREET
 WARREN, OHIO 44481-1121
 330.935.9518 PH. 330.935.4296 FAX

DUNKIN DONUTS
 1520 WEST 11TH STREET
 LAKEWOOD, OHIO 44107
 SWPPP - NOTES & DETAILS

SWPPP SHEET
 SHEET NO. 11106



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 02-11-21S

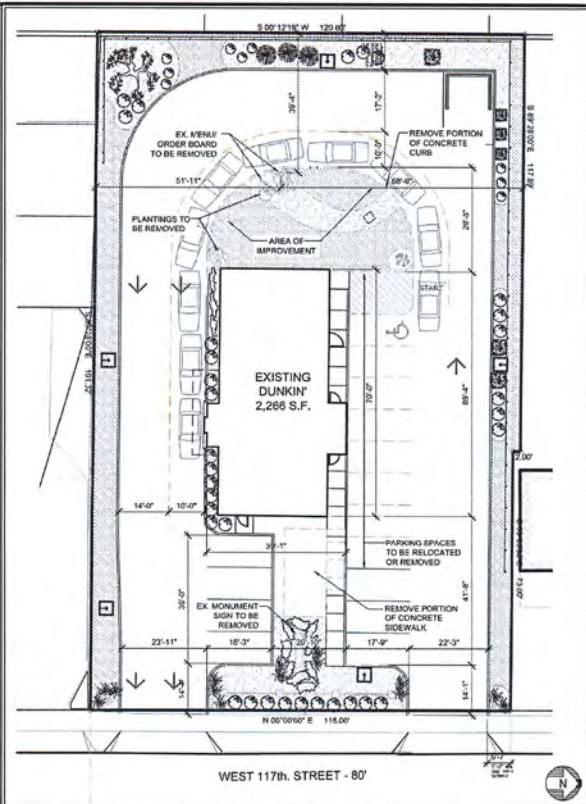
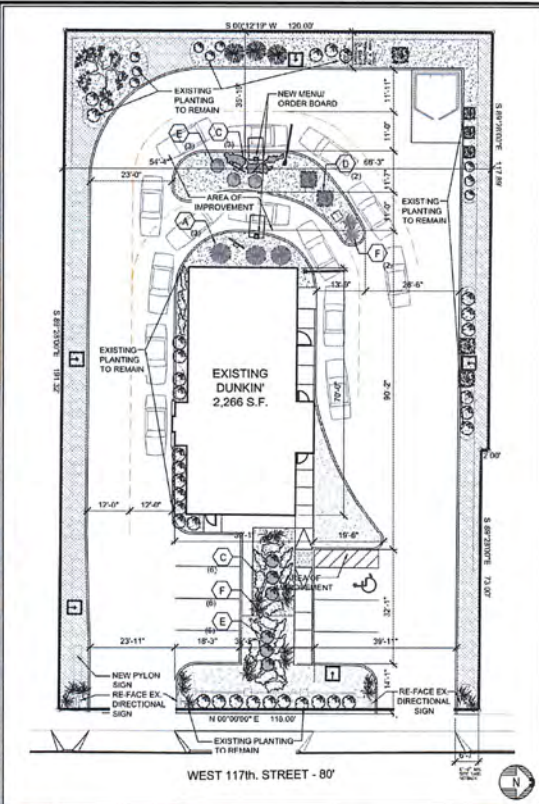
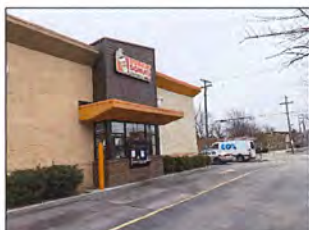
Permit No.: BBS21-000018

Applicant Name: Heidi DeMark, Phillips/Sekanick Architects

Project Address: 1520 W. 117th Street

Project Name: Dunkin'

Proposal: Applicant proposes new signage for an existing business.



2 PROPOSED IMPROVEMENT SITE PLAN
1/8" = 1'-0" NOTE

1 EXISTING SITE PLAN
1/8" = 1'-0" NOTE

SITE CALCULATIONS

EXISTING CONDITIONS	PROPOSED IMPROVEMENTS	IMPROVEMENT EFFECT
AREA OF SITE: 22,783 S.F.		
IMPERVIOUS: 14,066 S.F.	IMPERVIOUS: 13,835 S.F.	IMPERVIOUS: - 171 S.F.
BUILDING: 2,266 S.F.	BUILDING: 2,265 S.F.	BUILDING: N/A
PERVIOUS: 6,511 S.F.	PERVIOUS: 6,682 S.F.	PERVIOUS: + 171 S.F.

TREE AND SHRUB SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
3	A	THUJA OCCIDENTALIS	ARBORVITAE	48" HEIGHT	B & B
9	C	JUNIPERUS HORIZONTALIS	BLUECHIP JUNIPER	12"-15" HEIGHT	#3 CONTAINER
2	D	EMONYMUS ALATA 'COMPACTA'	BURNING BUSH	36" HEIGHT	B & B
9	E	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	36" HEIGHT	B & B

GRASSES, PERENNIALS, AND FERNS

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
8	F	HEMEROCALLIS	STELLA D'ORO DAYLILIES	10" - 12"	CONTAINER

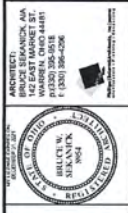
NOTES

- 1 15 1/2" X 60" X 1 1/2" ALUMINUM SPACER FRAME
- 2 FLAT ALUMINUM RETAINER
- 3 ALUMINUM ANGLE FRAME SUPPORT
- 4 GE TETRA MAX TROCK WHITE LEDS, AS REQUIRED (OR GE REPLACEMENT EQUIVALENT)
- 5 LED POWER SUPPLY, AS REQUIRED
- 6 INTERNAL DISCONNECT SWITCH
- 7 SUPPORT TUBE
- 8 FACES TO BE FLAT CLEAR SOLAR GRADE POLYCARBONATE 2ND SURFACE PAINTED DISCREETLY
- 9 "DUNKIN'" LETTERS TO BE EMBOSSED
- 10 REGISTERED "®" AND "TM" TO BE FLAT GRAPHIC
- 11 3M 4800-5123 DUNKIN' ORANGE TRANSLUCENT FILM 2ND SURFACE
- 12 3M 4800-1793 DUNKIN' PINK TRANSLUCENT FILM 2ND SURFACE
- 13 BACKGROUND COLOR #03 WHITE BACK-SPRAY
- 13A. OPTION: SIGN FACE 2ND SURFACE WHITE FACE / NIGHT FACE BACKGROUND COLOR #03 WHITE BACK-SPRAY, BACKED UP WITH OPAQUE SILVER FOR COMPLETE OPAQUE FINISH FOR NIGHT

HT	WT	D1	S.F. (BOX)
72.5"	147.5"	18"	74.22



3 NEW SIGN-PYLON TYPE
1/4" = 1'-0" NOTE



DUNKIN' DONUTS - REMODEL
1520 W. 117th STREET
LAKewood, OH 44107
P.C.#: D019407

DATE	SCALE AS NOTED	DESIGN	HD	CVD	APPD	REVISIONS
12/04/2020						

DHRUMIL CORPORATION
7825 METTOR AVE., UNIT 2
MENTOR, OH 44060

PROJECT #20-0000

SP-1.0

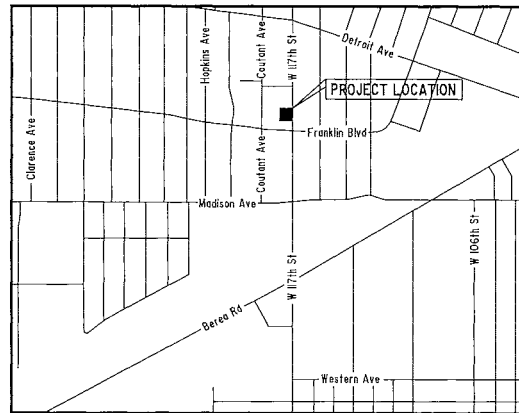
SITE PLAN AND DETAILS

IMPROVEMENT PLANS FOR 1520 WEST 117TH. STREET DUNKIN DONUTS, LAKEWOOD

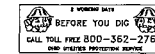
THE CITY OF LAKEWOOD, COUNTY OF
CUYAHOGA AND STATE OF OHIO

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GENERAL PLAN	3
GRADING PLAN	4
NOTES & DETAILS	5-6
ABBREVIATED SWPPP LAYOUT PLAN	7
ABBREVIATED SWPPP NOTES & DETAILS	8



VICINITY MAP
NO SCALE



THE EXISTING UNDERGROUND UTILITIES AS SHOWN WERE OBTAINED FROM A COMPARISON OF FIELD LOCATION AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, WHERE PROVIDED. THESE UTILITIES, THEIR LOCATION AND THEIR ACTIVE OR INACTIVE STATUS, SHALL BE VERIFIED BY THE CONTRACTOR THROUGH THE OHIO UTILITY PROTECTION SERVICE (OUP.S.) PRIOR TO CONSTRUCTION. LOCATION, SIZE, DEPTH AND STATUS OF USE ARE SHOWN AS ACCURATE AS POSSIBLE WITH THE AVAILABLE EXISTING DATA AS OF OCTOBER FOR BARRINGTON CONSULTING GROUP, INC. DOES NOT GUARANTEE THE COMPLETENESS, NOR ACCURACY THEREOF.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL OVERHEAD AND UNDERGROUND UTILITIES WITHIN THE AREA OF CONSTRUCTION FOR THE DURATION OF CONSTRUCTION.
NON-MEMBERS MUST BE CONTACTED DIRECTLY.



"I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF"

David W. Novak
DAVID W. NOVAK, P.S. No. 7507



"I HEREBY CERTIFY THAT THIS PLAN WAS REVIEWED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF"

Reynard S. DePuy
REYNARD S. DEPUY, P.E. No. 42955

REVISIONS	BY
4/18/12	TDR

Barrington
CONSULTING GROUP, INC.
914 TYLER BLVD., MENTOR, OHIO 44060
PHONE 440.205.1260 FAX 440.205.1262
www.barringtonCCI.com

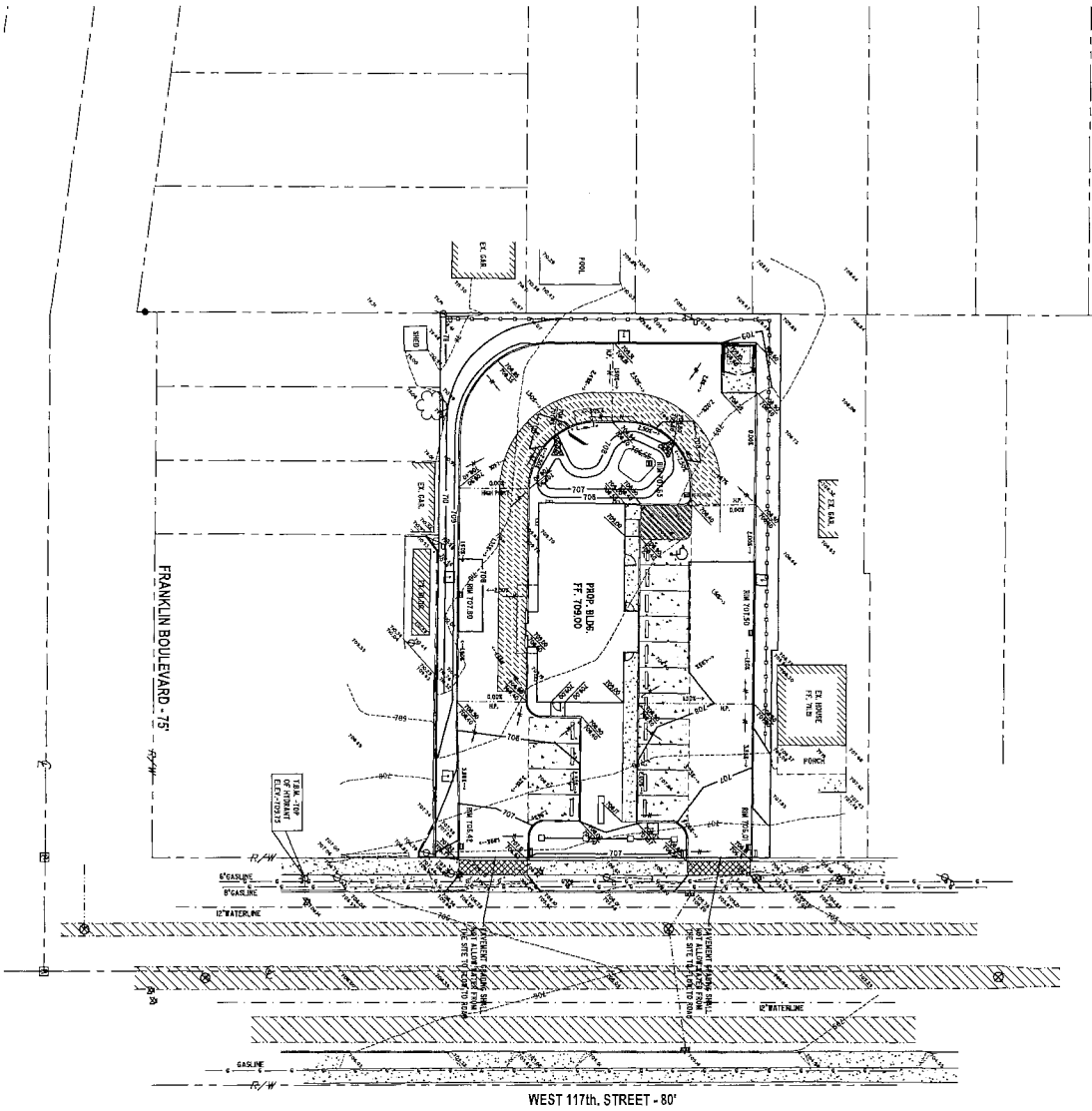
PSA, INC.
BRUCE SEKANICK
142 EAST MARKET STREET
WARREN, OHIO 44481-1121
330.395.9578 PH. 330.395.4596 FAX

DUNKIN DONUTS
1520 WEST 117TH STREET
LAKEWOOD, OHIO 44101

TITLE PAGE

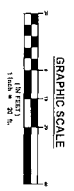
DATE CHECKED BY TDR DWN
12/12/11
SCALE NONE
JOB NO. 11106
SHEET 3

OF SHEETS



FRANKLIN BOULEVARD - 75'

WEST 117th STREET - 80'



THE ENGINEER'S RESPONSIBILITY IS TO DESIGN THE GRADING PLAN TO BE CONFORMANT WITH THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL REGULATORY AGENCIES. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE DATA PROVIDED TO HIM BY THE CLIENT. THE ENGINEER'S DESIGN IS BASED ON THE ASSUMPTIONS AND CONDITIONS SET FORTH IN THE NOTES AND SPECIFICATIONS. THE ENGINEER'S DESIGN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER'S DESIGN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



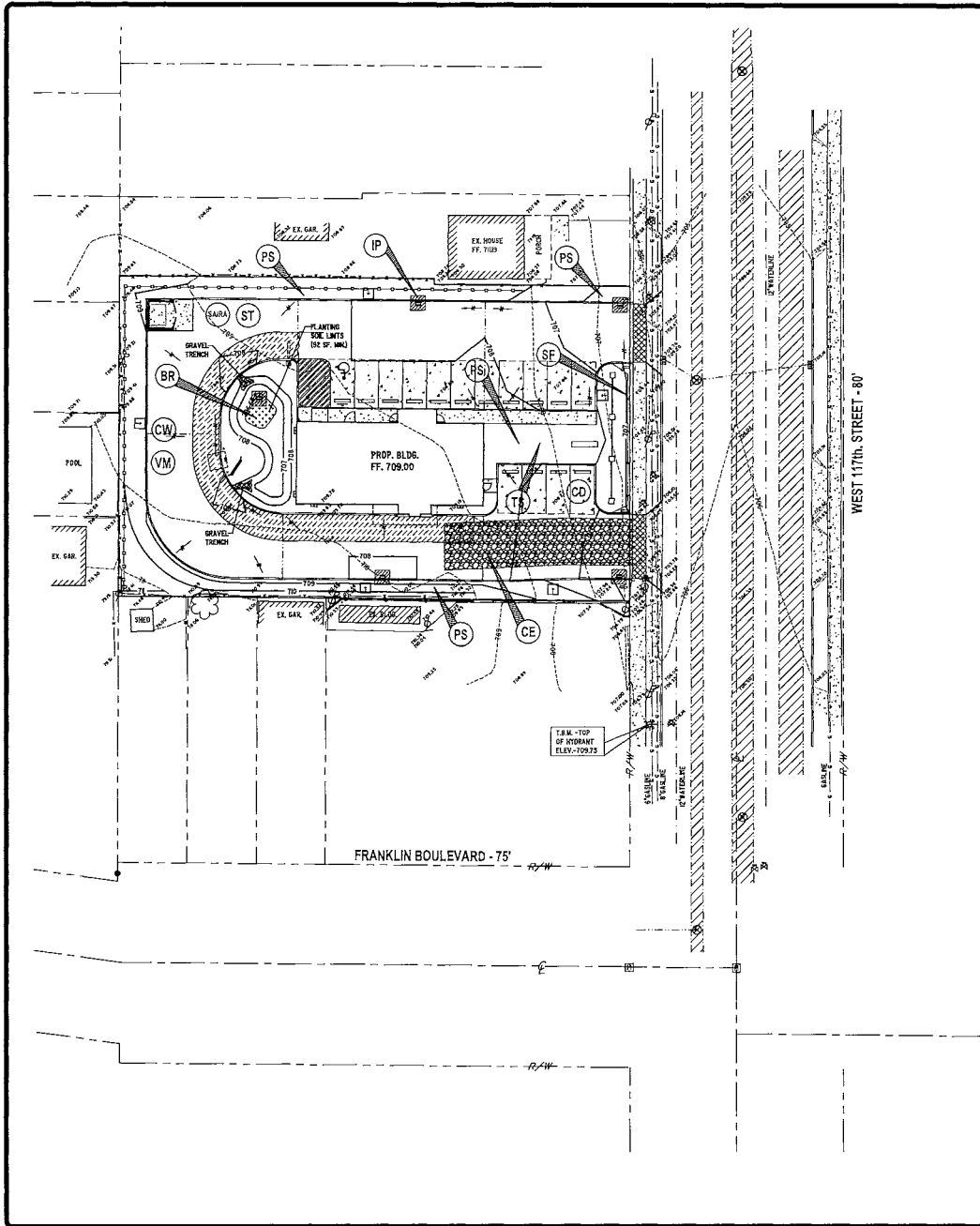
DATE	12/27/11
BY	BRUCE SEKANICK
CHECKED BY	DAVID J. HARRIS
SCALE	AS SHOWN
PROJECT NO.	11106
SHEET NO.	01
TOTAL SHEETS	11

DUNKIN' DONUTS
 1520 WEST 117th STREET
 LAKEWOOD, OHIO 44107
GRADING PLAN

PSA, INC.
 BRUCE SEKANICK
 142 EAST MARKET STREET
 WARREN, OHIO 44481-1121
 330.395.9518 PH. 330.395.4296 FAX

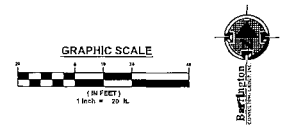
Barrington
 CONSULTING GROUP, INC.
 9114 TYLER BLVD., MENTOR, OHIO 44060
 PHONE 440.205.1260 FAX 440.205.1262
 www.BarringtonCGI.com

NO.	DESCRIPTION



EROSION CONTROL LEGEND

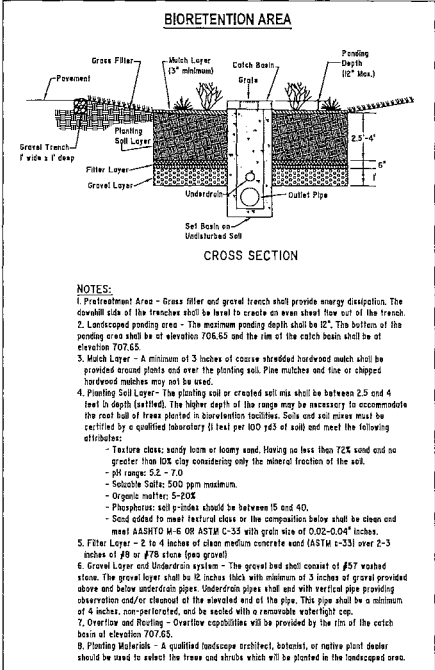
- (VM) VEHICLE MAINTENANCE & REFUELING AREA
- (TS) TEMPORARY SEEDING
- (CW) CONCRETE WASHOUT
- (PS) PERMANENT SEEDING
- (SF) SILT FENCE
- (IP) INLET PROTECTION (AT ALL INLETS)
- (CD) COVERED DUMPSTER
- (CE) CONSTRUCTION ENTRANCE
- (ST) AREA FOR STORAGE OR DISPOSAL OF SOIL, SANITARY AND TOXIC WASTE
- (SARA) STAGGING AREA & AREA FOR RECYCLING OF USED OR UNUSED HAZARDOUS MATERIAL AND AREA FOR MIXING AND STORAGE OF COMPOUNDS
- (BR) BIORETENTION AREA



STORM WATER MANAGEMENT NOTES:
 THE EXISTING STORM WATER FROM THE SITE FLOWS FROM THE SOUTHWEST TO THE NORTHEAST AND ENTERS THE CITY OF LAKEWOOD COMBINED SEWER SYSTEM AT A CURB INLET ON THE WEST SIDE OF THE ROAD. THE SITE WAS CREATED BY COMBINING 4 SEPARATE PARCELS OF PROPERTY. THE 4 PARCELS PREVIOUSLY HAD HOUSES ON THEM. FOR RUNOFF COEFFICIENT ESTIMATION, THE EXISTING CONDITION WILL BE CONSIDERED AS WHEN THERE WERE FOUR HOUSES AND DRIVEWAYS AT THE SITE. THE ESTIMATED EXISTING RUNOFF COEFFICIENT IS 0.59 (PERVIOUS AREA OF 0.8180 ACRES, IMPERVIOUS AREA OF 0.044 ACRES). BASED ON THE PROPOSED SITE PLAN, THE ESTIMATED PROPOSED RUNOFF COEFFICIENT IS 0.29 (PERVIOUS AREA OF 0.5657 ACRES, IMPERVIOUS AREA OF 0.3243 ACRES).

SITE DESCRIPTION:
 COMMERCIAL - RESTAURANT
 TOTAL AREA - 0.5231 ACRES
 PRE-DEV. RUNOFF COEFF - 0.59
 AREA TO BE CLEARED - 0.0000 ACRES
 AREA TO BE EXCAVATED/TURBED - 0.5231 ACRES
 POST-DEV. RUNOFF COEFF - 0.29

SITE LOCATION INFORMATION:
 CITY OF LAKEWOOD
 CUYAHOGA COUNTY
 STATE OF OHIO
 NAME OF WATERSHED/RECEIVING STREAM - CITY OF LAKEWOOD SEWERS
 SITE ADDRESS - 1600 WEST 17TH STREET
 LATITUDE - 41° 48' 46.47"
 LONGITUDE - 81° 45' 08.95"



The requirements of the ODMR Rainwater and Land Development Manual (Latest Edition) shall be adhered to for all aspects of the site's Stormwater Pollution Prevention Plan.

REVISIONS	BY

Barrington
 CONSULTING GROUP, INC.
 9114 TYLER BLVD., MENTOR, OHIO 44060
 PHONE 440-265-1260 FAX 440-265-1262
 www.barringtonCGI.com

PSA, INC.
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 WILHELM, OHIO 44811-1121
 330.959.9518 PH. 330.959.4296 FAX

DUNKIN DONUTS
 4620 WEST 17TH STREET
 LAKEWOOD, OHIO 44107
 ABBREVIATED SWPPP - LAYOUT PLAN

SCALE	1" = 20'
DATE	12/12/11
SCALE	1" = 20'
JOB NO.	11106
SHEET	07



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 02-12-21A

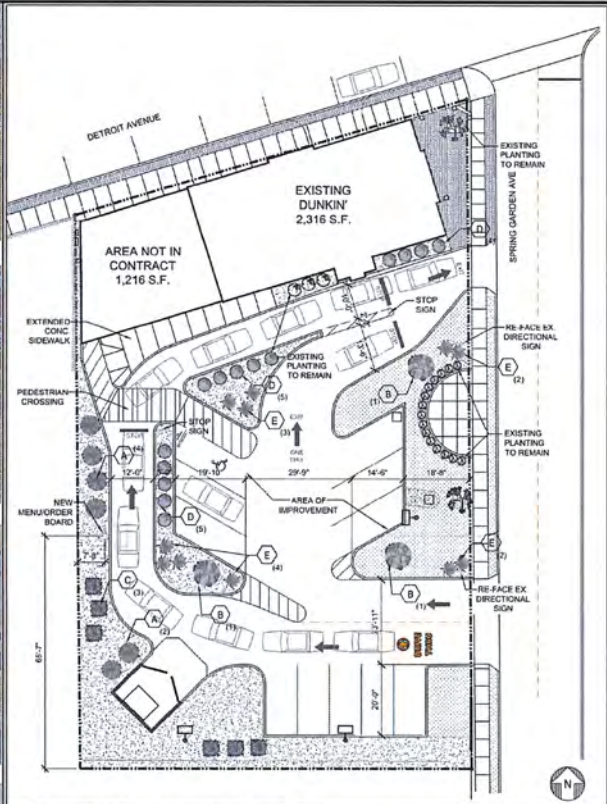
Permit No.: BBS21-000007

Applicant Name: Heidi DeMark, Phillips/Sekanick Architects

Project Address: 17609 Detroit Avenue

Project Name: Dunkin'

Proposal: Applicant proposes site upgrades to an existing business.



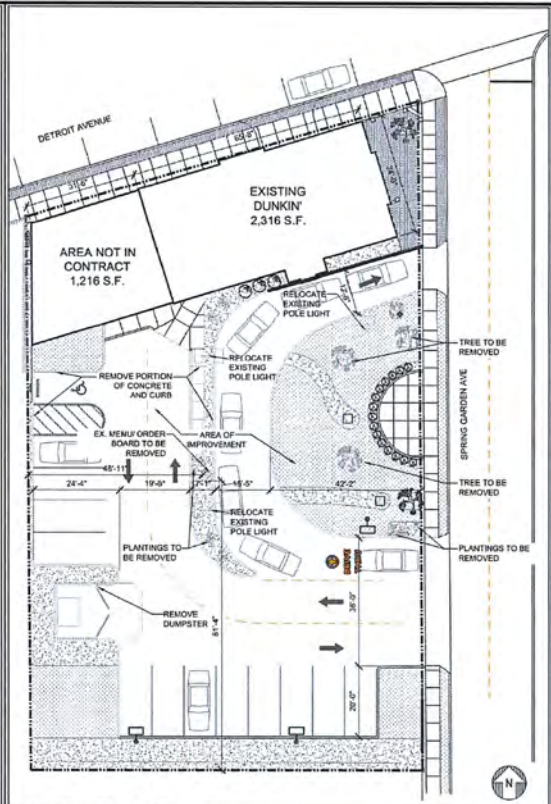
2 PROPOSED SCHEMATIC SITE PLAN
 1/8"=1'-0" NOTE: SEE SHEET 01 FOR NOTES

TREE AND SHRUB SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
6	A	THUJA OCCIDENTALIS	ARBORVITAE	48" HEIGHT	B & B
3	B	TREE TO MATCH EXISTING	TREE TO MATCH EX.	2" CALIPER	B & B
3	C	EMONYMUS ALATA COMPACTA	BURNING BUSH	36" HEIGHT	B & B
14	D	TAXUS MEDIA DENSIFORMIS	DENSE YEW	36" HEIGHT	B & B

GRASSES, PERENNIALS, AND FERNS

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
11	E	HEMEROCALLIS	STELLA D'OR DAYLILIES	10" - 12"	CONTAINER



1 EXISTING SITE PLAN
 1/8"=1'-0" NOTE: SEE SHEET 01 FOR NOTES

SITE CALCULATIONS

EXISTING CONDITIONS	PROPOSED IMPROVEMENTS	IMPROVEMENT EFFECT
AREA OF SITE: 19,019 S.F.		
IMPERVIOUS: 10,376 S.F.	IMPERVIOUS: 9,803 S.F.	IMPERVIOUS: - 572 S.F.
BUILDING: 3,532 S.F.	BUILDING: 3,532 S.F.	BUILDING: N/A
PERVIOUS: 5,112 S.F.	PERVIOUS: 5,684 S.F.	PERVIOUS: + 572 S.F.



ARCHITECT: PARTH DONUTS, INC.
 7625 METNOR AVE., UNIT 2
 MENTOR, OH 44060
 P: (330) 996-4206
 F: (330) 996-4206

DUNKIN DONUTS-REMODEL
 17689 DETROIT AVE
 LAKEWOOD, OH 44107
 PCH: Ddps2404631

DATE	SCALE	AS NOTED	DRAWN	CHK'D	APP'D	NO.	DESCRIPTION	DATE	REVISIONS
03/13/20			HD						

PARTH DONUTS, INC.
 7625 METNOR AVE., UNIT 2
 MENTOR, OH 44060
SITE PLAN AND DETAILS

PROJECT #20-0202

SP-1.0

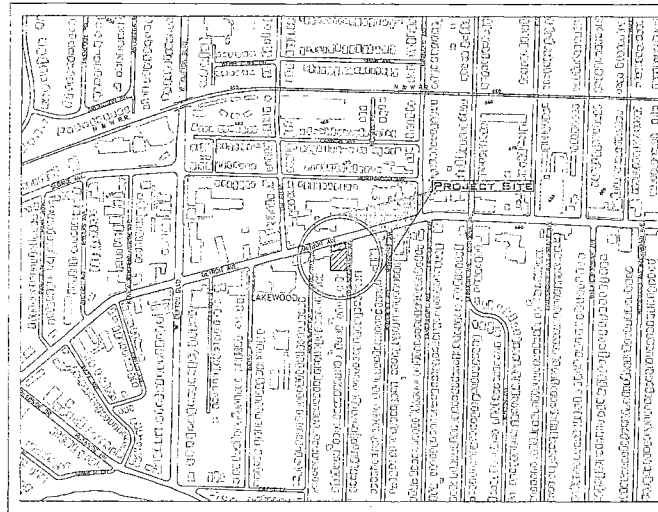
SUBMITTAL DATES:
1ST SUBMITTAL 06-10-2009

IMPROVEMENT PLANS FOR 17609 DETROIT AVENUE DUNKIN DONUTS, LAKEWOOD

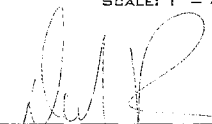
THE CITY OF LAKEWOOD, COUNTY OF
CUYAHOGA AND STATE OF OHIO

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GRADING PLAN	4
NOTES & DETAILS	5-6
SWPPP NOTES & DETAILS	7-8



VICINITY MAP
SCALE: 1" = 400'


DAVID PIETRANTONE P.E. #61756

6/10/09
DATE



PREPARED FOR:
PHILLIPS/BEKANICK ARCHITECTS
142 EAST MARKET STREET
WARREN, OHIO 44481
PHONE 330-396-9518
FAX 330-395-4296



LAND SURVEYING - ENGINEERING - DESIGN
2818 NORTH MORELAND BOULEVARD
CLEVELAND, OHIO 44120
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09-115, PAGE 1 OF 8

EXISTING CONDITIONS OF 17609 DETROIT AVE DUNKIN DONUTS, LAKEWOOD

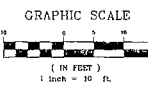
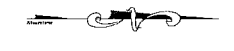
- NOTES:
- CATCH BASIN TO BE REPLACED. OUTLET PIPE SHALL BE EXPOSED PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN THE OUTLET PIPE IS EXPOSED TO VERIFY THE SIZE, LOCATION AND DIRECTION OF THE OUTLET PIPE.
 - CATCH BASIN TO BE REMOVED. OUTLET PIPE SHALL BE REMOVED TO THE POINT OF CONNECTION TO THE STORM SEWER. IF PIPE ENERS DETROIT AVENUE, THE PIC SHALL BE CAPPED AT THE RIGHT-OF-WAY.

LEGEND

⊠	Monument Box Found	⊙	Spot Elevation Tag
○	5/8" Iron Pin Set and Copied Riverstone Company Utility 928743	⊕	Hydrant
+	P.K. Nail	⊕	Water Service Valve
⊕	Gas Meter	⊕	Water Meter
⊕	Gas Valve	⊕	Reducer
⊕	Utility Pole	⊕	Storm Manhole
⊕	Light Pole	⊕	Sanitary Manhole
⊕	Curb Anchor & Line	⊕	Curb Inlet
⊕	Telephone Box	⊕	Catch Basin
⊕	Electric Box	⊕	Property Line
⊕	Cable Box	⊕	Barrier
⊕	Manhole / Test Tee	⊕	Contour

---	1/4" Natural Line	---	Existing
---	Original Sublot Line	---	PROPOSED
---	Original Lot Line	---	Electric Line
---	Centerline	---	Gas Line
---	Property Line	---	Sanitary/Combination Sewer
---	Right-of-way Line	---	Storm Sewer
---	Easement Line	---	Waterline
---	Railroad Tracks	---	Fence Line (Wooden)
---		---	Fence Line (Chain-Link)
---		---	Overhead

Ac.	Acres	Inv.	Invert
Adj.	Adjacent	L.C.A.	Limited Common Area
A.F.M.	Asphalt's File Number	L.F.	Local Feet
Ap.	Asphalt	Mess./M.	Measure
B.F.	Backsight Floor	M.H.	Manhole
Bw.	Bottom of No. 8	Obs.	Observed
Calc./C.	Calculations	P.P.M.	Parts Per Million
C.B.	Catch Basin	P.P.M.	Permanent Parcel Number
C.C.A.R.	Cayuga County Map	Prop.	Proposed
C.L.F.	Chain-Link Fence	R/W	Right-of-way
Cl.	Clean	S.M.	Sanitary
C.O.	Clean Out	S.F.	Square Feet
C.G.	Combination	S.M.	Sublot
Conc.	Concrete	S.M.	Storm
Conn.	Connection	S.M.	Storm
D.H.	Duct Iron Water	S.M.	Storm
D.W.M.	Ductile Iron Water	T.B.M.	To Be Removed
Ele.	Electric	T/C	Top of Curb
Ele.	Elevation	T/C	Top of Gutter
Emr.	Encroachment	T.T.	Top of Footing
Ex.	Excavation	T.W.	Top of Wall
F.F.	Finished Floor	Ty.	Type
OUT	Gutter	Val.	Value
		Wt.	Water



SPRING GARDEN AVENUE 40' (A PUBLIC RIGHT-OF-WAY)

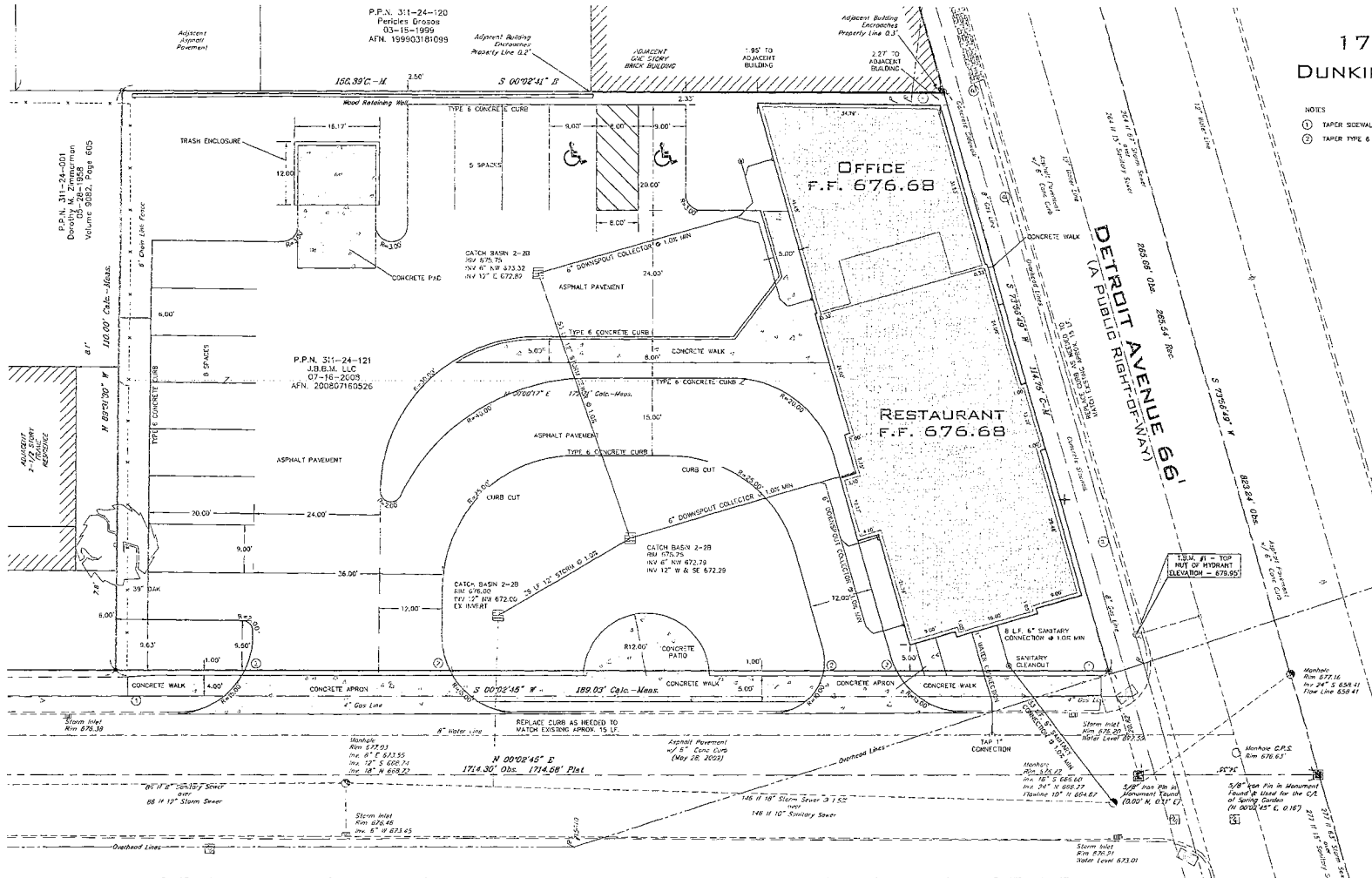


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LAND SURVEYING & ENGINEERING DESIGN
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PHONE: (216) 491-2000 FAX: (216) 491-9640
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GENERAL PLAN OF 17609 DETROIT AVE DUNKIN DONUTS, LAKEWOOD

- NOTES
- ① TAPER SIDEWALK TO MATCH EXISTING WALK OVER 5'.
 - ② TAPER TYPE 6 CONCRETE CURB PER END DETAIL SHEET 5 OF 8.



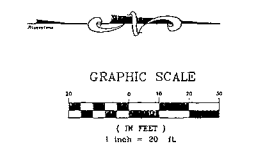
LEGEND

⊠	Minuteman Box Found	⊙	Spot Elevation Top
⊙	Iron Pin or Pipe Found	⊙	Hydrant
⊙	3/8" Iron Pin Set and Coated Bluestone Company Ducty #50747	⊙	Water Service Valve
⊙	Gas Meter	⊙	Water Valve
⊙	Gas Valve	⊙	Water Meter
⊙	Utility Pole	⊙	Reducer
⊙	Light Pole	⊙	Storm Manhole
⊙	Gas Meter & Line	⊙	Sanitary Manhole
⊙	Telephone Box	⊙	Curb Inlet
⊙	Cable Box	⊙	Catch Basin
⊙	Electric	⊙	Property Line
⊙	Gas	⊙	Centerline
⊙	Storm / Test Tee		

---	Ex. Parcel Line	---	Existing
---	Original Subdiv. Line	---	PROPOSED
---	Original Lot Line	---	
---	Centerline	---	
---	Property Line	---	
---	Right-of-way Line	---	
---	Easement Line	---	
---	Business Front	---	

---	Electric Line	---	Sanitary/Combination Sewer
---	Storm Sewer	---	Waterline
---	Fence Line (Wooden)	---	Fence Line (Durable)
---	Geogrid		

Adj.	Adjacent	Inv.	Invert
Adj. No.	Adjacent's File Number	L.F.A.	Limited Common Area
Asp.	Asphalt	Meas.	Measured
B.F.	Basement Floor	Manhole	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	P.P.M.	Permanent Parcel
C.C.M.R.	Cuyahoga County Map Records	Prop. No.	Prop. Number
C.L.F.	Chain Link Fence	R/W	Right-of-way
Cl.	Clear	Process	Process
C.O.	Clear Out	S.F.	Square Feet
Comb.	Combination	S.A.	Storm
Conn.	Connection	Stm.	Storm
D.H.	Duct Hole	Stm. H.	Storm Manhole
D.W.K.	Ductile Iron Water	T.M.	To Be Removed
Elec.	Electric	T.C.	Top of Curb
Elev.	Elevation	T.F.	Top of Finish
Floor.	Floor	T.F.	Top of Footing
Found.	Found	Top of Wall	Top of Wall
Landing	Landing	Top of Water	Top of Water
P.F.	Finished Floor	Wall	Wall
OUT	Gutter	Wall	Wall



SPRING GARDEN AVENUE 40'
(A PUBLIC RIGHT-OF-WAY)

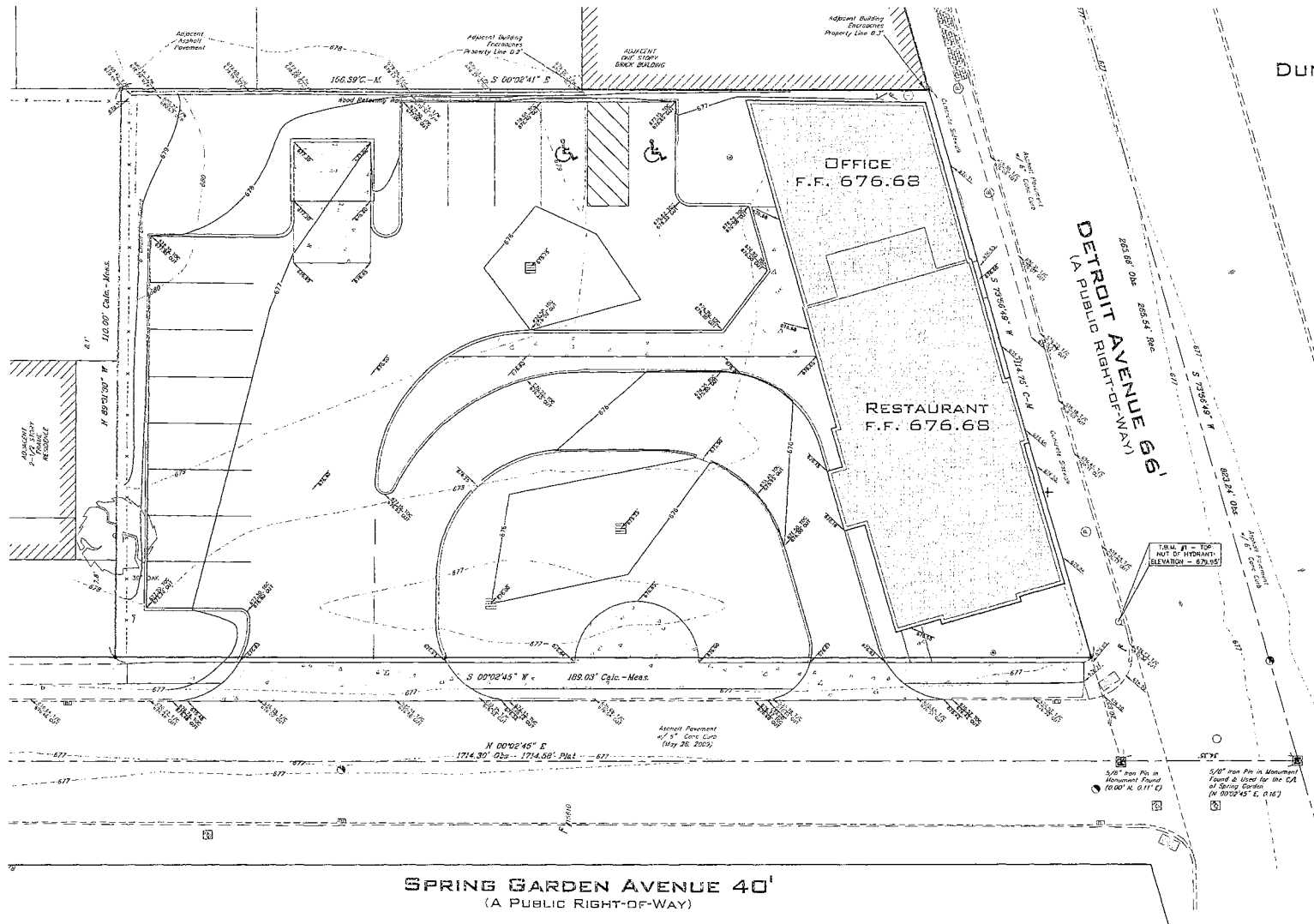


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CLEVELAND - OHIO - 44120
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09-115, PAGE 3 OF 8

GRADING PLAN OF 17609 DETROIT AVE DUNKIN DONUTS, LAKEWOOD



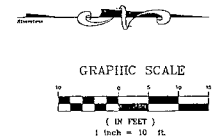
LEGEND

⊠	Monument Box Found	○	Spot Elevation Top
⊙	Iron Pin or Pipe Found	⊕	Hydrant
⊕	5/8" Iron Pin Set and Colored Obsolete Company Duffey P56747	⊕	Water Service Valve
+	P.C. Mark	⊕	Water Meter
⊕	Gas Meter	⊕	Reducer
⊕	Gas Valve	⊕	Storm Manhole
⊕	Utility Pipe	⊕	Sanitary Manhole
⊕	Light Pole	⊕	Curb Inlet
⊕	City Meter & Line	⊕	Catch Basin
⊕	Telephone Box	⊕	Property Line
⊕	Electric Box	⊕	Centerline
⊕	Cable Box		
⊕	Barbed		
⊕	Proposed / Test Line		

---	Ex. Parcel Line	---	PROPOSED
---	Original Sublot Line	---	PROPOSED
---	Original Lot Line	---	PROPOSED
---	Centerline	---	PROPOSED
---	Property Line	---	PROPOSED
---	Right-of-Way Line	---	PROPOSED
---	Easement Line	---	PROPOSED
---	Roadway Traces	---	PROPOSED

---	Electric Line	---	PROPOSED
---	Gas Line	---	PROPOSED
---	Sanitary/Combination Sewer	---	PROPOSED
---	Storm Sewer	---	PROPOSED
---	Waterline	---	PROPOSED
---	Fence Line (Hudson)	---	PROPOSED
---	Fence Line (Chain-Link)	---	PROPOSED
---	Quarrel	---	PROPOSED

Ac.	Acres	Inv.	Invert
Adj.	Adjacent	L.C.A.	Levelled Common Area
A.J.N.	Adjutor's File Number	L.F.	Local Feet
A.S.	Adjacent Road	M.S.A./U.	Measure
B.F.	Bottom of Foot	Mo.	Month
Bot.	Bottom of Foot	Obs.	Observed
CB	Catch Basin	P.P.M.	Permanent Parcel
C.C.M.R.	Cleveland County Map Records	Prop.	Proposed
C.L.F.	Centerline Fence	Rec.	Record
Cl.	Clear	R/W	Right-of-way
C.O.	Clear	S.F.	Sanitary
Comb.	Combination	S.F.	Scupper Feet
Conc.	Concrete	S.M.	Sublot
Conc.	Concrete	Strom.	Storm
Cur.	Curb	T.B.M.	Temporary Bench Mark
D.U.W.	Ditch Under Water	T.C.	To be Removed
Dec.	Electric	T.F.	Top of Foot
Dir.	Direction	T.F.	Top of Floor
Elev.	Elevation	T.F.	Top of Wall
Exc.	Excavation	Typ.	Typical
F.F.	Finished Floor	Val.	Valve
GUT	Gutter	Wall	Wall



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09-115 - DUNKIN DONUTS, LAKEWOOD



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Application Cover Page

Docket No.: 02-12-21S

Permit No.: BBS21-000017

Applicant Name: Heidi DeMark, Phillips/Sekanick Architects

Project Address: 17609 Detroit Avenue

Project Name: Dunkin'

Proposal: Applicant proposes new signage for an existing business.

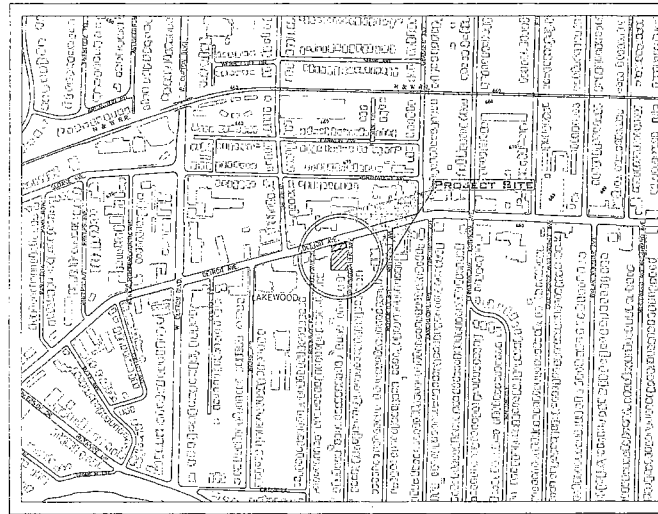
SUBMITTAL DATES:
1ST SUBMITTAL 06-10-2009

IMPROVEMENT PLANS FOR 17609 DETROIT AVENUE DUNKIN DONUTS, LAKEWOOD

THE CITY OF LAKEWOOD, COUNTY OF
CUYAHOGA AND STATE OF OHIO

INDEX TO DRAWINGS

TITLE PAGE	1
EXISTING CONDITIONS	2
GENERAL PLAN	3
GRADING PLAN	4
NOTES & DETAILS	5-6
SWPPP NOTES & DETAILS	7-8



VICINITY MAP
SCALE: 1" = 400'


DAVID PIETRANTONE P.E. #61756

6/10/09
DATE



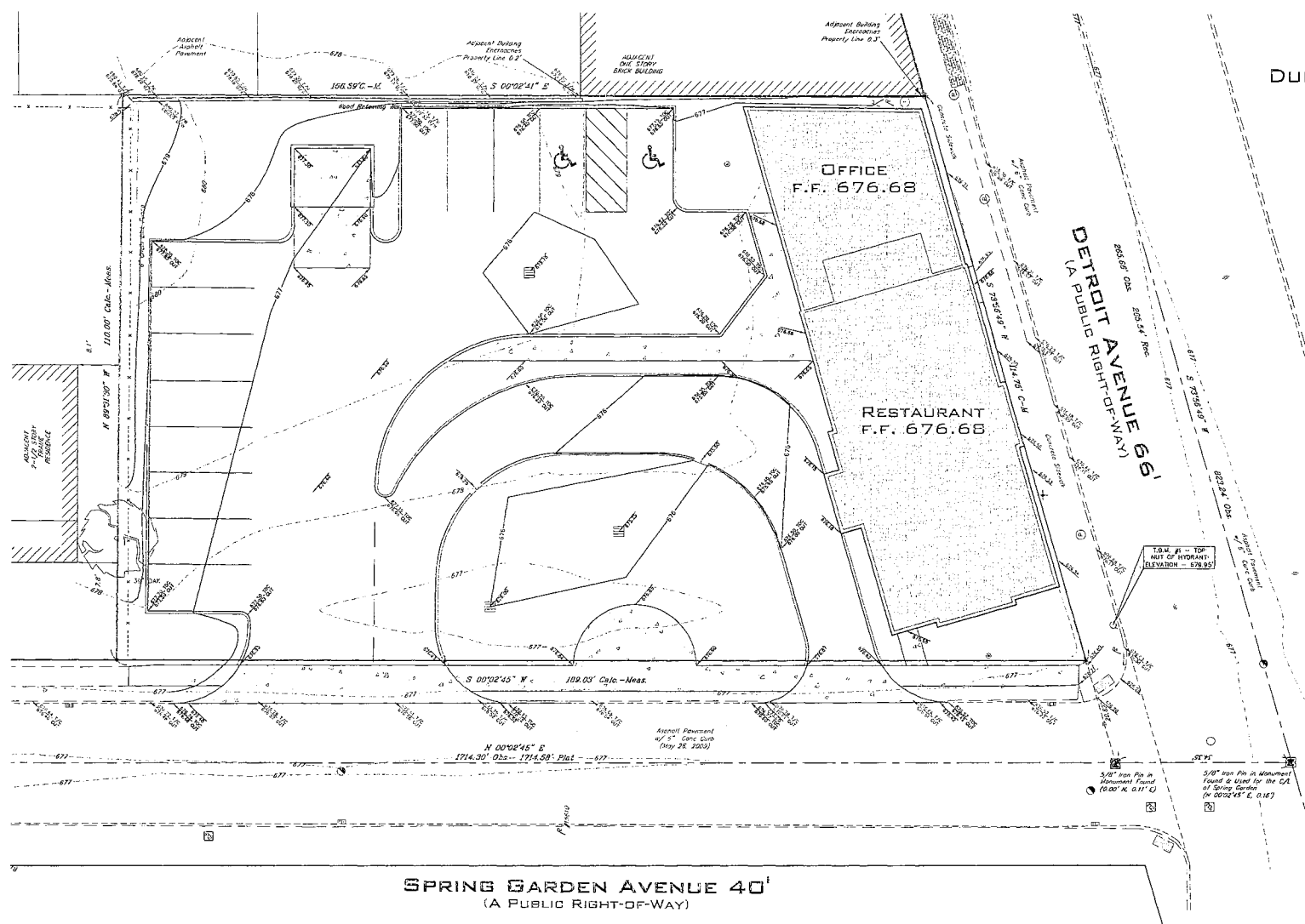
PREPARED FOR:
PHILLIPS/SEKANICK ARCHITECTS
142 EAST MARKET STREET
WARREN, OHIO 44481
PHONE 330-356-9518
FAX 330-356-4256



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09-115, PAGE 1 OF 8

GRADING PLAN OF 17609 DETROIT AVE DUNKIN DONUTS, LAKEWOOD



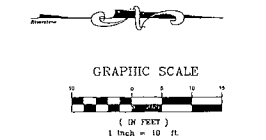
LEGEND

⊠	Monument Box Found	⊠	Spot Elevation Tag
○	Iron Pin or Pipe Found	⊠	Hydrant
●	5/8" Iron Pin Set and Capped (Sherrill Company Duct # P55747)	⊠	Water Service Valve
+	P.C. Mark	⊠	Water Valve
⊠	Gas Meter	⊠	Water Meter
⊠	Gas Valve	⊠	Repeater
⊠	Utility Pole	⊠	Storm Manhole
⊠	Light Pole	⊠	Sanitary Manhole
⊠	Ray Anchor & Line	⊠	Curb Inlet
⊠	Telephone Box	⊠	Catch Basin
⊠	Electric Box	⊠	Property Line
⊠	Cable Box	⊠	Centerline
⊠	Board		
⊠	Obstacle / Seal Top		

---	Ex. Parcel Line	---	Existing
---	Original Sublot Line	---	PROPOSED
---	Original Lot Line		
---	Centerline		
---	Property Line		
---	Right-of-way Line		
---	Easement Line		
---	Roadway Tracks		

---	Electric Line	---	Sanitary/Combination Sewer
---	Gas Line	---	Storm Sewer
---	Waterline	---	Fence Line (Wooden)
---	Fence Line (Chain-link)	---	Fence Line (Chain-link)
---	Guardrail		

Ac.	Acres	Invt.	Invert	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Level Feet	L.P.	Level
A.F.N.	Auditor's File Number	Lot	Lot	Lot	Lot
Asp.	Asphalt	Meas./N.	Measured	Obs.	Observed
B.F.	Basement Floor	Page	Page	P.P.N.	Permanent Parcel
B.W.	Bottom of Rip	Prop.	Proposed	Recd.	Record
Calc./C.	Calculated	R/W	Right-of-way	Revised	Revised
CS	Catch Basin	Sq.	Sq.	Sq. Ft.	Square Feet
C.C.M.R.	Cuyahoga County Map Records	S/L	Sublet	Stn.	Station
C.L.F.	Chain-link Fence	T.B.M.	Temporary Bench Mark	To Be Removed	To Be Removed
Cl.	Close	T/C	Top of Curb	Tele.	Telephone
C.O.	Conc. Curb	T.F.	Top Of Footer	T.L.	Top of Lot
Comb.	Combination	T.L.	Top of Wall	Top	Top
Conc.	Concrete	Vol.	Volume	Wall	Wall
Conn.	Connection	Vol.	Volume	Wall	Wall
D.H.	Ditch Hole				
D.W.M.	Double Iron Water Main				
Map	Map				
Elec.	Electric				
Elev.	Elevation				
Enter.	Entrances				
Ex.	Existing				
F.F.	Finished Floor				
GUT	Gutter				



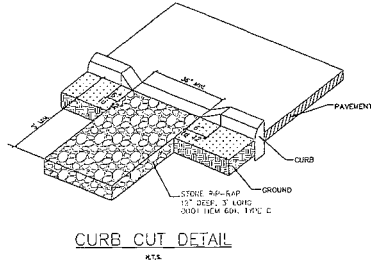
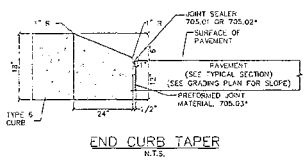
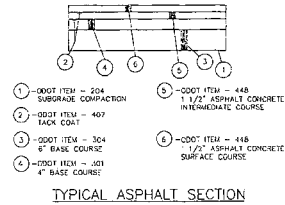
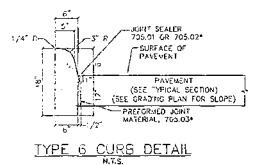
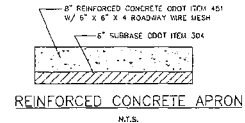
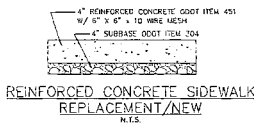
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09-115 - DUNKIN DONUTS, LAKEWOOD

DETAILS & NOTES

FOR
17609 DETROIT AVENUE
DUNKIN DONUTS, LAKEWOOD



GENERAL NOTES

- 1.) A PRE-CONSTRUCTION CONFERENCE SHOULD BE HELD PRIOR TO START OF ANY WORK. IN ADDITION, THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO THE CITY ENGINEER PRIOR TO BEGINNING WORK TO ARRANGE FOR INSPECTION.
- 2.) ANY AND ALL CHANGES IN PLAN QUANTITIES OR MATERIALS SHALL BE APPROVED BY WRITING BY THE DEVELOPER PRIOR TO IMPLEMENTATION IN THE WORK.
- 3.) **EARTHWORK QUANTITIES**
 - A.) ALL STUMPS, TREES AND OTHER CONSTRUCTION DEBRIS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF-SITE.
 - B.) THE CONTRACTOR SHALL GRADE AND COMPACT ALL SUITABLE FILL MATERIAL EXCAVATED DURING HIS CONSTRUCTION OPERATIONS WITHIN THE FILL AREAS DESIGNATED ON THE GRADING PLAN AND/OR AS DIRECTED BY THE DEVELOPER AND/OR WAIVED OFF-SITE AT THE DEVELOPER'S DISCRETION.
 - C.) NO DISPOSAL SITE WITHIN THE PROJECT LIMITS SHALL BE UTILIZED.
 - D.) SEEDING AND MULCHING, EROSION CONTROL, SHALL BE ACCOMPLISHED BY SECTIONS AND MULCHING IMMEDIATELY UPON COMPLETION OF EXCAVATION OR FILL AND FINISHED GRADING IN ACCORDANCE WITH ITEM 650.040 DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS OR AS DIRECTED BY THE ENGINEER.
 - E.) ALL TRENCHES IN PAVED AREAS SHALL BE BACKFILLED WITH GRANULAR MATERIALS FROM THE TOP OF THE TRENCH READING BACKFILL TO BE MECHANICALLY COMPACTED. SLAG NOT ALLOWED.
 - F.) ROOT BRANS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SYSTEM PROHIBITED.
- 4.) PRIOR TO CONNECTION CONSTRUCTION, CONTRACTOR TO VERIFY LOCATIONS, SIZE AND DEPTH OF EXISTING SEWER & WATER IN-T.S.
- 5.) THE UTILITY OWNERSHIPS ARE AS FOLLOWS:

OHIO UTILITIES PROTECTION SERVICE 100 WEST RIVER - ROOM 427 YOUNGSTOWN, OHIO 44651 PH: (800) 342-2784	DUNKIN DONUTS OHIO GAS CO. 1200 EAST 65TH ST PARMA, OHIO 44136 PH: (216) 535-3355
CITY OF LAKEWOOD ENGINEERING & CONSTRUCTION 12000 BERRY AVENUE LAKEWOOD, OHIO 44107 PH: (216) 339-5855	DOMINION EAST OHIO GAS CO. 1200 EAST 65TH ST CLEVELAND, OHIO 44103 PH: (877) 542-2830
THE ILLUMINATING COMPANY 8886 MILLER ROAD, SUITE 101 BROOKDALE, OHIO 44111 PH: (216) 622-9900	AT&T 13630 LORAIN AVENUE, ROOM 200 CLEVELAND, OHIO 44111 PH: (216) 882-6291

- 6.) THE LOCATION OF UNDERGROUND UTILITIES ARE PLOTTED ACCORDING TO THE INFORMATION FURNISHED BY THE UTILITIES CONCERNED AND THE ENGINEER DOES NOT GUARANTEE THE ACCURACY THEREOF.
- 7.) ALL WORK CONTEMPLATED UNDER THIS CONTRACT SHALL COMPLY WITH U.S. DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT, THE STANDARD SPECIFICATIONS OF THE CITY OF LAKEWOOD AND THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS LATEST EDITION, EXCEPT WHERE SPECIFICALLY STIPULATED IN THESE PLANS.
- 10.) IT IS THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO MAKE HIS OWN INVESTIGATION OF SUBSURFACE CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL.
- 11.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MATERIAL TESTING AND ALL PERMITS REQUIRED FOR THIS PROJECT.
- 12.) THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY FACILITIES ARE SHOWN ON THE PLANS FROM DATA AVAILABLE AT THE TIME OF THE FIELD SURVEY IN ACCORDANCE WITH SECTION 153.6.4 OF THE OHIO REVISED CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF THE EXISTING UTILITY OWNER AND UTILITY PROTECTION SERVICE LISTED ABOVE IN ACCORDANCE WITH SECTION 153.6.4 OF THE OHIO REVISED CODE AND AS OBLIGED IN PROJECT SPECIFICATIONS.
- 13.) ALL WORK CONTEMPLATED SHALL BE GOVERNED BY THE RULES, REGULATIONS AND SPECIFICATIONS OF THE CITY OF LAKEWOOD ENGINEER AND AT ALL TIMES BE SUBJECT TO THEIR DIRECT SUPERVISION AND INSPECTION.
- 14.) ALL SEWER CONNECTIONS SHALL BE 8" DIAMETER PIPE OR 1.0X MINIMUM AS PER THE APPROVED PIPES LISTED UNDER THE NOTES FOR SANITARY AND STORM SEWERS.
- 15.) ALL EXISTING CONNECTIONS SHALL BE TESTED WITH DYE AND CAMERA BEFORE TYING IN FOR USE WITH PROPOSED LOTS.
- 16.) COLOR VHS FORMAT VIDEO TAPES OF THE SANITARY AND STORM SEWERS (6" AND GREATER) SHALL BE GIVEN TO THE CITY OF LAKEWOOD SEWER DEPARTMENT.
- 17.) COST OF REMOVAL, FILING, ABANDONING AND DISPOSAL OF EXISTING SEWERS & CONNECTIONS TO BE INCLUDED IN PRICES BID UNDER OTHER ITEMS (IF SPECIFICATIONS) AND NO ADDITIONAL COMPENSATION WILL BE MADE.
- 18.) TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION BY THE CONTRACTOR.
- 19.) ALL SANITARY AND STORM MAIN LINE SEWERS & HOVSE CONNECTIONS SHALL HAVE PREMIUM JOINTS.
- 20.) FLEXIBLE CURBS SHALL BE PROVIDED AT ALL SANITARY AND STORM MANHOLES.
- 21.) FOR CURB INLET MANHOLE, INCH MAY BE USED TO FIT CASTING.

ENVIRON. IMPACT NOTES

- 1.) IF, DURING THE COURSE OF CONSTRUCTION, EVIDENCE OF ANY DEPOSIT OF HISTORICAL AND/OR ARCHAEOLOGICAL INTEREST IS FOUND, CEASE OPERATIONS AFFECTING THE FIND AND NOTIFY THE OHIO HISTORIC PRESERVATION OFFICE AT (614) 297-2470. NO FURTHER DISTURBANCE OF THE DEPOSITS SHALL OCCUR UNTIL THE CONTRACTOR HAS BEEN ADVISED BY THE OWNER THAT HE OR SHE MAY PROCEED. THE OWNER WILL ISSUE THE PERMITS TO PROCEED ONLY AFTER THE STATE OHIO FEDERAL HAS SURVEYED THE FIND AND MADE SUCH A DETERMINATION.
- 2.) ACCESS FOR EMERGENCY VEHICLES MUST BE PROVIDED AT ALL TIMES.
- 3.) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING LOCAL ACCESS TO ALL RESIDENCES AND BUSINESSES, AND TO PROVIDE, HOWEVER, TEMPORARY MATERIALS ARE NECESSARY TO PROVIDE A SAFE, ACCURATE DRIVE SURFACE.
- 4.) NO MANHOLE OR SEWER EXCAVATION WILL BE LEFT OPEN AWAITING CONNECTION OR REMOVAL AT A LATER DATE BY THE CONTRACTOR'S FORCE, OR OTHERS BUT SHALL BE TEMPORARILY BACKFILLED AND REPAIRED, IF APPLICABLE, WITH A TEMPORARY PAVEMENT PASSABLE TO TRAFFIC.
- 5.) SAFE FLYER DICES SHALL BE PLACED AROUND ALL STORM SEWER CATCH BASINS LOCATED IN PROXIMITY TO CONSTRUCTION.
- 6.) NO MORE THAN 200 TO 300 FEET OF SEWER TRENCH SHALL REMAIN OPEN AT ONE TIME. MATERIALS EXCAVATED DURING TRENCHING SHALL BE PILED ON THE UPSHILL SIDE OF THE TRENCH.
- 7.) SCHEDULED DUSTION AND FILL MATERIALS SHALL BE PROTECTED WITH EROSION CONTROL BARRIERS OR TEMPORARY SEEDING, EXCESS SOIL THAT IS DISPOSED MUST BE EITHER REMOVED OR REGRADED WITHIN 15 DAYS OF THE COMPLETION OF CONSTRUCTION.
- 8.) IF TREE REMOVAL IS NECESSARY, TREES SHALL BE FELLEED IN A MANNER THAT AVOIDS DAMAGE TO ADJACENT REMAINING TREES. WHERE ROOT DAMAGE CANNOT BE AVOIDED, PRUNING AND PAINTING AS APPROPRIATE TO COMPENSATE FOR DAMAGE WILL BE DONE BY AN AUTHORIZED ARBORIST.

PROOF ROLL

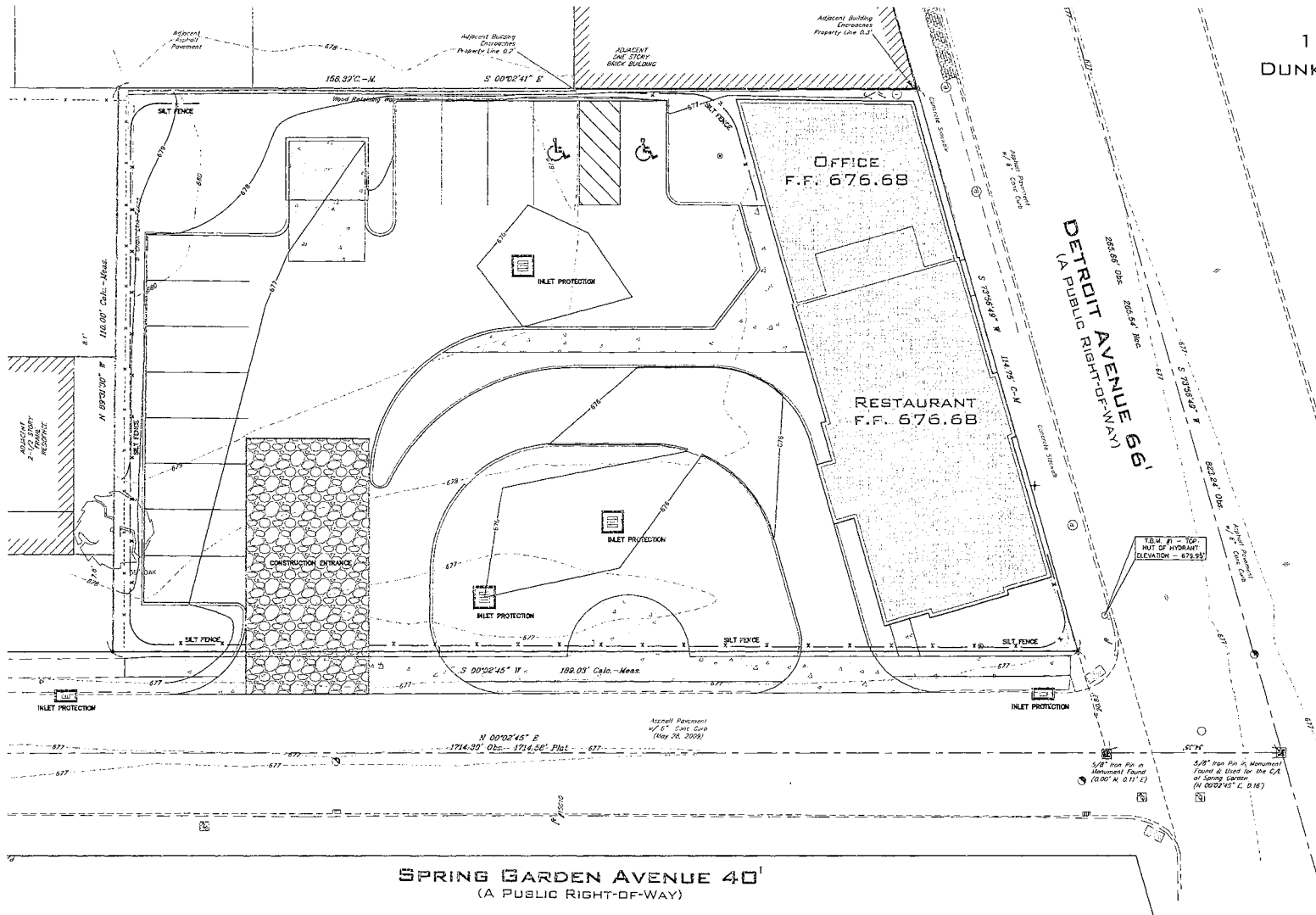
A MINIMUM OF TWO (2) PROOF ROLLS WILL BE REQUIRED AS DIRECTED BY THE ENGINEER BEFORE PAVING. THE FIRST PROOF ROLLING SHALL BE PERFORMED AFTER THE INSTALLATION OF ALL UNDERGROUND IMPROVEMENTS AND ROUGH GRADING HAS BEEN COMPLETED. AFTER FINISH GRADING, JUST PRIOR TO PAVING, THE SUBGRADE SHALL BE PROOF ROLLED AGAIN. A PROOF ROLLING SHALL CONSIST OF TRAVELING THE ENTIRE AREA OF THE PREPARED SUBGRADE WITH A FULLY LOADED TANKER AXLE DUMP TRUCK PROVIDED BY THE CONTRACTOR. MOISTURE CONTENT ADJUSTMENT MEMORANDUM USED AT THE TIME OF PROOF ROLLING SHALL CONFORM TO SECTION 203.13 OF THE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. WHERE THIS OPERATION SHOWS THE SUBGRADE TO BE UNSTABLE OR TO HAVE NON-UNIFORM CHARACTERISTICS, THE CONTRACTOR SHALL CORRECT THE UNSTABLE AREAS AS DIRECTED BY THE ENGINEER. THE MINIMUM EQUIPMENT SHALL CONSIST OF A SINGLE UNIT, TANKER AXLE DUMP TRUCK CAPABLE OF LEAVING A GROOVE OF ONE (1) INCH OR MORE ANGLE AND 6.000 POUND COM. THE PRESSURE SHALL BE MAINTAINED AT 90 PSI OR AS SPECIFIED UNDER SECTION 203.14 OF ODOT SPECIFICATIONS. ANY AREA PERMITTING THE TEST VEHICLE TIRES TO LEAVE A GROOVE OF ZERO (0) TO ONE-HALF (1/2) INCH DEEP SHALL BE ACCEPTABLE. ANY AREA PERMITTING THE TEST VEHICLE TIRES TO LEAVE A GROOVE OF ONE-HALF (1/2) INCH TO ONE (1) INCH DEEP SHALL BE AT THE ENGINEER'S DISCRETION.



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09-115 - DUNKIN DONUTS, LAKEWOOD

SWPPP
OF
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DUNKIN DONUTS, LAKEWOOD

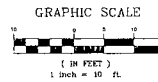


LEGEND

⊕	Monument Box Found	⊕	Spot Elevation Top
⊙	Iron Pin or Pipe Found	⊕	Hydrant
⊙	5/8" Iron Pin Set and Ground Observation Company Dulley P50747	⊕	Water Service Valve
⊕	P.C. Box	⊕	Water Meter
⊕	Gas Meter	⊕	Reducer
⊕	Gas Valve	⊕	Storm Manhole
⊕	Utility Pole	⊕	Sanitary Manhole
⊕	Light Pole	⊕	Curb Inlet
⊕	Clay Anchor & Line	⊕	Catch Basin
⊕	Telephone Box	⊕	Property Line
⊕	Electric Box	⊕	Centerline
⊕	Cable Box		
⊕	Water		
⊕	Cleanout / Test Line		

---	Ex. Parcel Bdr	---	Original Subpl. Line
---	Original Lot Line	---	Centerline
---	Centerline	---	Property Line
---	Right-of-Way Line	---	Exem. Lot
---	Exem. Lot	---	Street Trees
---	Street Trees	---	Electric Line
---	Electric Line	---	Gas Line
---	Gas Line	---	Sanitary/Combination Sewer
---	Sanitary/Combination Sewer	---	Storm Sewer
---	Storm Sewer	---	Waterline
---	Waterline	---	Fence Line (Wooden)
---	Fence Line (Wooden)	---	Fence Line (Chain-Link)
---	Fence Line (Chain-Link)	---	Driveway

A.	Acres	Inv.	Invent
Adj.	Adjacent	L.C.A.	Limited Common Area
A.F.A.	Asphalt	L.F.	Lineal Feet
Asp.	Asphalt	Mess./U.	Mess./U.
B.F.	Basement Floor	Manhole	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculation	P.	Proposed
CB	Catch Basin	P.P.M.	Permanent Parcel
C.C.M.R.	Cuyahoga County Map	Prop.	Proposed
C.L.F.	Chain-Link Fence	R/W	Right-of-Way
Cl.	Clear	S.F.	Square Feet
C.O.	Clear Out	S.M.	Square Meter
Comb.	Combination	Stn.	Station
Conn.	Connection	S.W.	South West
Conc.	Concrete	Stn.	Station
D.H.	Ditch Hole	S.W.	South West
D.W.A.	Duct-Iron Water	T.B.M.	Temporary Bench Mark
Dec	Electric	T.C.	To Be Homeed
Ele	Elevation	T.F.	Top of Footing
Encr.	Enclosures	T.T.	Top of Trench
Env	Environment	Top of Wall	Top of Wall
F.F.	Finished Floor	Typ.	Typical
GUT	Gutter	Vol.	Volume
		Wtr.	Water



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09-115 - DUNKIN DONUTS, LAKEWOOD

SILT FENCE

DESCRIPTION:

SILT FENCE IS A SEDIMENT-TRAPPING PRACTICE UTILIZING A GEOTEXTILE FENCE, TOPOGRAPHY AND VEGETATION TO CAUSE SEDIMENT DEPOSITION. SILT FENCE REDUCES RUNOFF AND IT TRANSPORTS SEDIMENT BY FORMING RUNOFF AND DEPOSITING SMALL BULKS OF CONCENTRATED FLOW INTO DOWNHILL SLOPE FLOW.

CONDITIONS WHERE PRACTICE APPLIES:

SILT FENCE IS USED WHERE RUNOFF BECOMES A SHEET FLOW OR WHERE FLOW THROUGH SMALL BARS CAN BE CONVERTED TO SHEET FLOW. SILT FENCE CAN BE EFFECTIVELY USED IN COLLIES, DITCHES OR CHANNELS. FOR MORE SPECIFIC CONDITIONS SEE SPECIFICATIONS FOR TEMPORARY DIVERSIONS, SEDIMENT TRAPS AND SEDIMENT BARRIERS.

PLANNING CONSIDERATIONS:

SILT FENCE VS. TEMPORARY DIVERSIONS AND SEDIMENT PONDS - TO TREAT SHEET FLOW RUNOFF, SILT FENCE IS USED OR OVERSLOPES ARE CONSTRUCTED TO DIRECT FLOW TO A SEDIMENT POND. SILT FENCE IS MOST APPLICABLE FOR RELATIVELY SMALL AREAS WITH FLAT TOPOGRAPHY. SILT FENCE ALSO REQUIRES LESS SPACE AND CAUSES LESS OBSTRUCTION. A SYSTEM OF OVERSLOPES AND SETTLING PONDS, ON THE OTHER HAND, HAS GREATER INERTIA. COMPARED TO SILT FENCE, THEY CAN HANDLE MUCH GREATER FLOWS AND ARE MORE DURABLE AND EASIER TO CONSTRUCT CORRECTLY. AS A RESULT, EARTH OVERSLOPES AND SETTLING PONDS GENERALLY ARE RECOMMENDED OVER SILT FENCE.

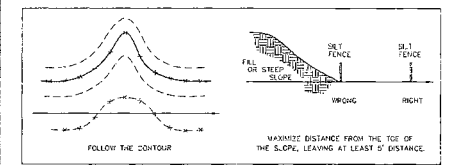
DESIGN CRITERIA:

SILT FENCE AS A SEDIMENT CONTROL PRACTICE CONSISTS NOT ONLY OF THE FENCE ITSELF BUT, JUST AS IMPORTANTLY, IT DEMANDS TOPOGRAPHY. THIS IS A CRITICAL CONSIDERATION BECAUSE THE SEDIMENT TRAPPING PROCESS RELIES ON DEPRESSION NOT THE FLOW, AS OFTEN ASSUMED. SILT FENCE WORKS BY DISPERSED FLOW, FORMING RUNOFF AND BREAKING FLOW. HOWEVER, IF SILT FENCE IS USED WITHOUT REGARD TO A SITE'S TOPOGRAPHY, IT WILL TYPICALLY CONCENTRATE RUNOFF, INCREASE ITS ABILITY TO TRANSPORT SEDIMENT RATHER THAN CAUSING DEPOSITION.

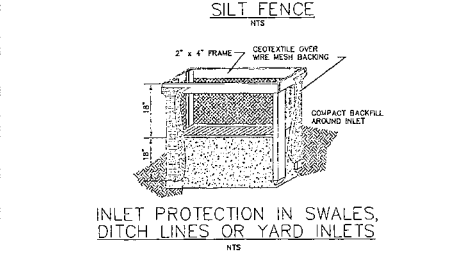
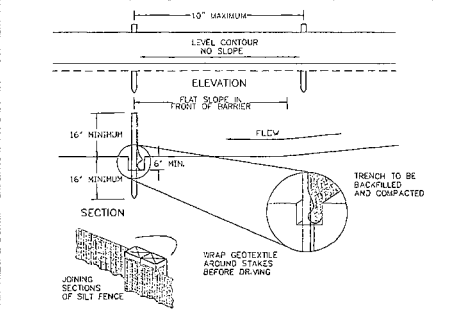
LEVEL CONTROL - FOR SILT FENCE TO ENHANCE DEPOSITION, IT MUST BE PLACED ON THE LEVEL CONTOUR OF THE LAND SO FLOWS ARE DEPOSITED IN THE WINDING SHEET FLOW, WHICH HAS LITTLE ENERGY FOR TRANSPORTING SEDIMENT. SILT FENCE SHOULD NEVER CONCENTRATE RUNOFF, WHICH WILL RESULT IF IT IS PLACED UP AND DOWN SLOPES RATHER THAN ON THE LEVEL CONTOUR.

FLAT SLOPES - SILT FENCE MUST ALSO BE USED ON FLAT AREAS AVAILABLE. BECAUSE OF THE GREAT IMPACT OF FLOW ON WATER'S ABILITY TO TRANSPORT SEDIMENT, SILT FENCE SHOULD NEVER BE PLACED EXACTLY AT THE TOE OF A SLOPE IF THIS IS ALL POSSIBLE TO PLACE IT SEVERAL FEET AWAY. SILT FENCE SHOULD BE PLACED ON THE FLATTEST AREA AVAILABLE TO INCREASE THE SHALLOW PONDING OF RUNOFF AND MAXIMIZE SPACE AVAILABLE FOR DEPOSITING SEDIMENT.

VEGETATION - VEGETATION ALSO HAS THE EFFECT OF DISPERSED FLOW ENERGIES AND CAUSING SEDIMENT DEPOSIT ON. SEDIMENT-TRAPPING EFFICIENCY WILL BE ENHANCED WHEN A SUCCESS STAND OF VEGETATION OCCURS FOR SEVERAL FEET BOTH UPWARD AND IN FRONT OF A SILT FENCE.



FABRIC PROPERTIES	VALUES	TEST METHOD
GRASS TENSILE STRENGTH	50 LB. MINIMUM	ASTM J 1882
TWILLEN BURST STRENGTH	190 PS. MINIMUM	ASTM J 3785
SEMI-FLUX RATE	0.3 GAL./MIN./SQ. FT. MAXIMUM	
EQUIVALENT OPENING SIZE	40-80 MICRONS	ISO 570; SIEVE COT-02215
ULTRAVIOLET RADIATION STABILITY	50% MINIMUM	ASTM G-26



INLET PROTECTION IN SWALES, DITCH LINES OR YARD INLETS

SPECIFICATIONS FOR SILT FENCE:

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UP-SLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCES SHALL BE PLACED AT AN ANGLE TO THE CONTOUR AS NEARLY AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SHOULDS OR DEPRESSIONS WHICH MAY CAUSE SMALL CONCENTRATION FLOWS TO THE SILT FENCE ARE DISPERSED ALONG ITS LENGTH.
- TO PREVENT WATER SCOUR BY THE SILT FENCE FROM FORMING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UP-SLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 6 FT. OR AN INCH AS POSSIBLE UP-SLOPE FROM THE FENCE. IF VEGETATION IS REMOVED, IT SHALL BE RE-ESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 18 IN. ABOVE THE ORIGINAL SURFACE.
- THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 IN. DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE SHANK MACHINERY OR OTHER SURFACE DEVICE WHICH WILL EXHIBIT AN ADEQUATELY UNIFORM WIDTH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNHILL SIDE OF THE GEOTEXTILE AND SO THAT 3 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS WATER SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
- MAINTENANCE - SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF EXCEEDS THE SILT FENCE'S FLOW LENGTH OF AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

CRITERIA FOR SILT FENCE MATERIALS:

- FRAME POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 IN. LONG. WOOD POSTS WILL BE 2-1/2" X 2 IN. HOLLOWED SQUARE CLOTH. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT.
- SILT FENCE FABRIC USE CHART BELOW:
- RACE PROTECTIVE SHALL BE CONSTRUCTED EITHER BEFORE UP-SLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BEGINS OPERATION.
- THE LAYIN AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH OF AT LEAST 18 IN.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-1/2" X 4" CONSTRUCTION-GRADE LUMBER. THE END SPACERS SHALL BE SHOWN 1 FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP OF THE FRAME SHALL BE ASSEMBLED TOGETHER AT THE TOP OF THE FRAME. THE TOP OF THE FRAME SHALL BE AT LEAST 6 IN. BELOW ADJACENT GROUND IF FLOODED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WINDS FULLY IMPROVED HEIGHTS. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED TO THE FRAME.
- GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE (EOS) OF 20-40 MICRONS AND BE RESISTANT TO SUBLIMATION. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED TO THE FRAME. THE GEOTEXTILE SHALL SHALLOW ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POSTS.
- EACH END SHALL BE IN REAR AROUND THE INLET BY OVERLAPPING 4 TO 6 LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH BANK OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH END BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF A RAINY SPRINGING THE INLET WILL NOT FLOW TO A SUFFICIENT FLOW. THE TOP OF EARTH BANKS SHALL BE AT LEAST 6 IN. HIGHER THAN THE TOP OF THE FRAME.

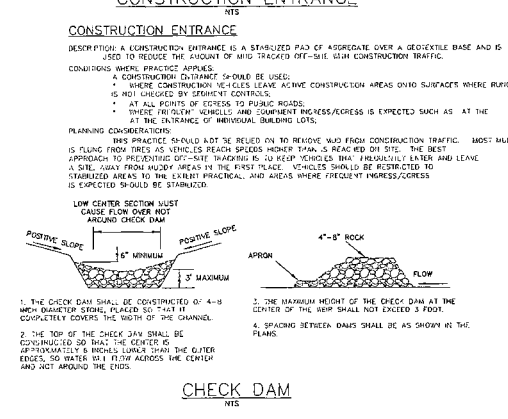
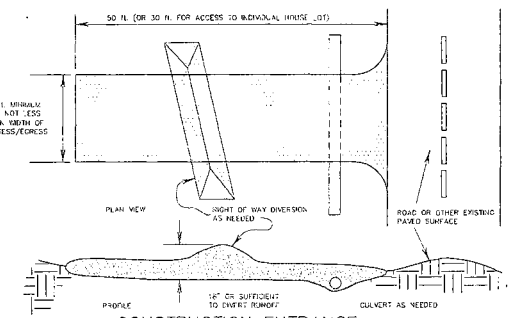
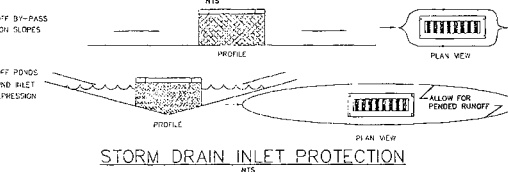
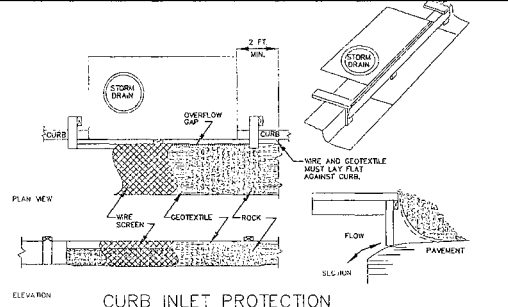
DRAINAGE AREA:

- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UP-SLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BEGINS OPERATION.
- THE WOODEN FRAME IS TO BE CONSTRUCTED OF 2-1/2" X 4" CONSTRUCTION-GRADE LUMBER. THE END SPACERS SHALL BE A MINIMUM OF 1 FT. BEYOND BOTH ENDS OF THE THROAT OPENING. THE ANCHORS SHALL BE SHOWN 12" INTO THE GROUND ON THE OPPOSITE SIDE OF THE CURB.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC AND STONE. IT SHALL BE A CONTINUOUS 2" X 2" WITH A MINIMUM WIDTH OF 30 IN. AND 4 FT. LONGER THAN THE THROAT LENGTH OF THE INLET. 2 FT. ON EACH SIDE.
- GEOTEXTILE CLOTH SHALL HAVE AN EQUIVALENT OPENING SIZE (EOS) OF 20-40 MICRONS AND BE RESISTANT TO SUBLIMATION. IT SHALL BE AT LEAST THE SAME SIZE AS THE WIRE MESH.
- THE WIRE MESH AND GEOTEXTILE CLOTH SHALL BE FORMED TO THE CONCRETE CURB AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET AND SECURELY FASTENED TO THE 2-1/2" X 4" FRAME.
- 2-1/2" X 4" STONE SHALL BE PLACED OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER AS TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE CLOTH.

DISPERSED FLOW - PROPER APPLICATIONS OF SILT FENCE WILL ALLOW ALL THE INTERCEPTED RUNOFF TO PASS AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. RUNOFF SHOULD NEVER EXCEED SILT FENCE FLOW BEHIND THE ENDS, OR IN ANY OTHER WAY FLOW AS CONCENTRATED FLOW FROM THE STRUCTURE. IF THIS DOES OCCUR, MAINTENANCE ALTERNATIVE SILT FENCE LAYOUT OR OTHER PRACTICES ARE NEEDED.

SILT FENCE MAXIMUM DRAINAGE AREA BASED ON SLOPE AND SLOPE LENGTH		
SLOPE	FLATTER THAN 5:1	SLOPE LENGTH (FT.)
0% - 2%		250
2% - 4%	5:1 - 10:1	125
4% - 7%	1:1 - 5:1	75
7% - 10%	1:1 - 3:1	50
10% - 15%	1:1 - 2:1	25
> 15%	> 2:1	25

NOTE: 1) FOR CHECK DAMS, MAXIMUM DRAINAGE AREA SHALL BE 25% OF THE ABOVE VALUES.
2) FOR CHECK DAMS, MAXIMUM DRAINAGE AREA SHALL BE 25% OF THE ABOVE VALUES.



SWPPP NOTES & DETAILS
FOR
17609 DETROIT AVENUE
DUNKIN DONUTS, LAKEWOOD

STORM DRAIN INLET PROTECTION

DESCRIPTION:

A STORM DRAIN INLET IS TO BE USED TO PREVENT SEDIMENT-LADEN WATER FROM ENTERING A STORM DRAIN SYSTEM. IT REDUCES THE RISK AT WHICH SEDIMENT-LADEN WATER ENTERING THE DRAIN CAUSING BLOCKING AND SETTLING OF SEDIMENT.

CONDITIONS WHERE PRACTICE APPLIES AND PLANNING CONSIDERATIONS

THIS PRACTICE IS NOT GENERALLY RECOMMENDED AS A PRIMARY MEANS OF SEDIMENT CONTROL. IT SHOULD ONLY BE USED IF IT IS NOT POSSIBLE TO TEMPORARILY COVER THE STORM DRAIN OUTLET WITH A SEDIMENT TRAP OR SEDIMENT BASKIN OR IF IT IS TO BE USED ONLY FOR A SHORT PERIOD OF TIME DURING THE CONSTRUCTION PROCESS.

INLET PROTECTION IS EFFECTIVE BLOCKS STORM DRAIN INLETS. THE RESULT FROM BLOCKING STORM DRAIN INLETS MAY HAVE ON THE SITE'S DRAINAGE WILL BE CONSIDERABLE. LOW SLOPING STREETS OR AREAS BEHIND WITH SEVERAL FEET ABOVE THE GROUND MAY HAVE A SIGNIFICANT AMOUNT OF SURFACE FLOW ACCUMULATE IF INLET PROTECTION IS USED. IN LOW AREAS, A FLOOD MAY FORM AROUND INLETS. PROTECTIVE IS NECESSARY FOR PREVENTING SCOUR FROM RUNOFF AND SHOULD BE ENFORCED IN COMPLIANCE WITH INLET PROTECTION.

SPECIFICATIONS FOR CURB INLET PROTECTION:

- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UP-SLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BEGINS OPERATION.
- THE WOODEN FRAME IS TO BE CONSTRUCTED OF 2-1/2" X 4" CONSTRUCTION-GRADE LUMBER. THE END SPACERS SHALL BE A MINIMUM OF 1 FT. BEYOND BOTH ENDS OF THE THROAT OPENING. THE ANCHORS SHALL BE SHOWN 12" INTO THE GROUND ON THE OPPOSITE SIDE OF THE CURB.
- THE WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC AND STONE. IT SHALL BE A CONTINUOUS 2" X 2" WITH A MINIMUM WIDTH OF 30 IN. AND 4 FT. LONGER THAN THE THROAT LENGTH OF THE INLET. 2 FT. ON EACH SIDE.
- GEOTEXTILE CLOTH SHALL HAVE AN EQUIVALENT OPENING SIZE (EOS) OF 20-40 MICRONS AND BE RESISTANT TO SUBLIMATION. IT SHALL BE AT LEAST THE SAME SIZE AS THE WIRE MESH.
- THE WIRE MESH AND GEOTEXTILE CLOTH SHALL BE FORMED TO THE CONCRETE CURB AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET AND SECURELY FASTENED TO THE 2-1/2" X 4" FRAME.
- 2-1/2" X 4" STONE SHALL BE PLACED OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER AS TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE CLOTH.

EROSION NOTES

SEDIMENT PONDS/TRAPS AND PERMITTER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE STABILIZED.

DISBURSED AREAS WITHIN 50 FEET OF A SIBLING, WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OF WORK SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER APPROPRIATE MEANS WITHIN 7 DAYS.

DISBURSED AREAS WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 31 DAYS OR MORE SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER APPROPRIATE MEANS WITHIN 7 DAYS.

EROSION CONTROL BARRIERS WILL BE USED ON SLOPES GREATER THAN 1:0.5 AND ALL OTHER SLOPES GREATER THAN 4:1.

DISBURSED AREAS THAT WILL BE OVER WATER SHALL BE STABILIZED PRIOR TO HOISTING L. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

OFF-SITE VEHICLE TRACKING SEDIMENT SHALL BE MINIMIZED. CONSTRUCTION WORKERS ARE LIMITED TO THE CONSTRUCTION ACCESS ROADS NOTED ON THE PLAN.

ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO RAINWATER AND LAND DEVELOPMENT HANDBOOK (1095).

OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. A TEMPORARY EXCAVATION OF STORM WELLS OR OTHER BARE GROUND THROUGHOUT THE DURATION OF THE PROJECT IS EFFECTIVE MEANS OF MINIMIZING EROSION. A STOCKPILE OF STRAW BALES SHALL BE ON HAND.

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. TEMPORARY RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN BY A 24-HOUR PERIOD. PROVIDE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTION AND CORRECTIVE MEASURES TAKEN.

SPECIFICATIONS FOR CONSTRUCTION ENTRANCE:

- STONE SIZE - TWO-INCH STONE SHALL BE USED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 30 FT. (EXCEPT ON SINGLE RESIDENCE LOT WHERE A 30-FT. MINIMUM LENGTH APPLIES).
- THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6 IN. THICK.
- WIDTH - THE ENTRANCE SHALL BE AT LEAST 10 FT. WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE WIDENING AND REDUCES OCCURS.
- BEDDING - A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL HAVE A TENSILE STRENGTH OF AT LEAST 200 LB. AND A MINIMUM BULK STRENGTH OF AT LEAST 150 LB.
- CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DEFLECTED OUT DOWD PAVED SURFACES.
- WATER BAR - A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT DOWD PAVED SURFACES.
- MAINTENANCE - TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS WARRANT AND SPILLED, DROPPED, WASHED OR TRACKED INTO PUBLIC ROADS, OR ANY SURFACE WHERE TRAFFIC IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SMOOTHER.
- CONSTRUCTION ENTRANCES SHALL NOT BE HELD UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.

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09-115 - DUNKIN DONUTS, LAKEWOOD



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 12-137-20

Permit No.: BBS20-000150

Applicant Name: Aldo Dure, BNext Awnings & Graphics Inc.

Project Address: 18260 Detroit Avenue

Project Name: Cilantro Taqueria

Proposal: new cabinet sign on an existing pole sign.

SITE PLAN

18260 Detroit Ave
Lakewood, Ohio

1 SIGN LOCATION



* THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES *

BNEXT
ARCHITECTURAL IMAGING
SIGNS • AWNINGS • LIGHTING

address: 5109 Clark Ave.
Cleveland Ohio 44102
telephone: 216.688.1800
web: bnextdesign.com

UL ncc2008

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REVISION DATE	
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2	7
3	8
4	9
5	10

RENDERED BY:
AKS

PAGE:
1 of 1

PROJECT #/ NAME
SIGN

DATE
10/6/20

SALESPERSON: Aldo

PROJ. MANAGER: Katty

JOB LOCATION: 18260 Detroit Ave
Lakewood, Ohio





D/S POLE SIGN REFACING
 3/16" WHITE POLYCARBONATE FACES
 DIGITAL PRINT VINYL APPLIED

SF: 12.5
FRONTAGE: 82'
ELEVATION: 10'

* THIS DRAWING IS NOT SUITABLE FOR PRODUCTION PURPOSES*

REVISION DATE	
1	6
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4	9
5	10

RENDERED BY:
 AKS

PAGE:
 1 of 1

PROJECT #/ NAME
 SIGN

DATE
 10/6/20

SALESPERSON: Aldo

PROJ. MANAGER: Katty

JOB LOCATION: 18260 Detroit Ave
 Lakewood, Ohio





BOARD OF BUILDING STANDARDS
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Application Cover Page

Docket No.: 02-13-21

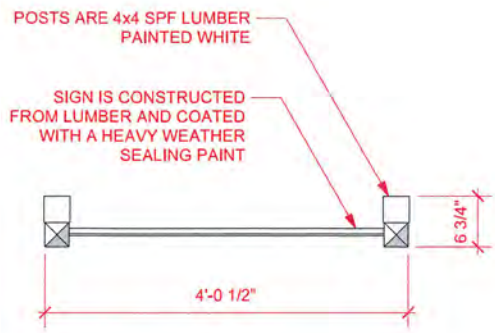
Permit No.: BBS21-000006

Applicant Name: Larry Goodpaster, Beck Center for the Arts

Project Address: 17801 Detroit Avenue

Project Name: Beck Center for the Arts

Proposal: Applicant proposes a monument sign for Capital Campaign Fundraising.



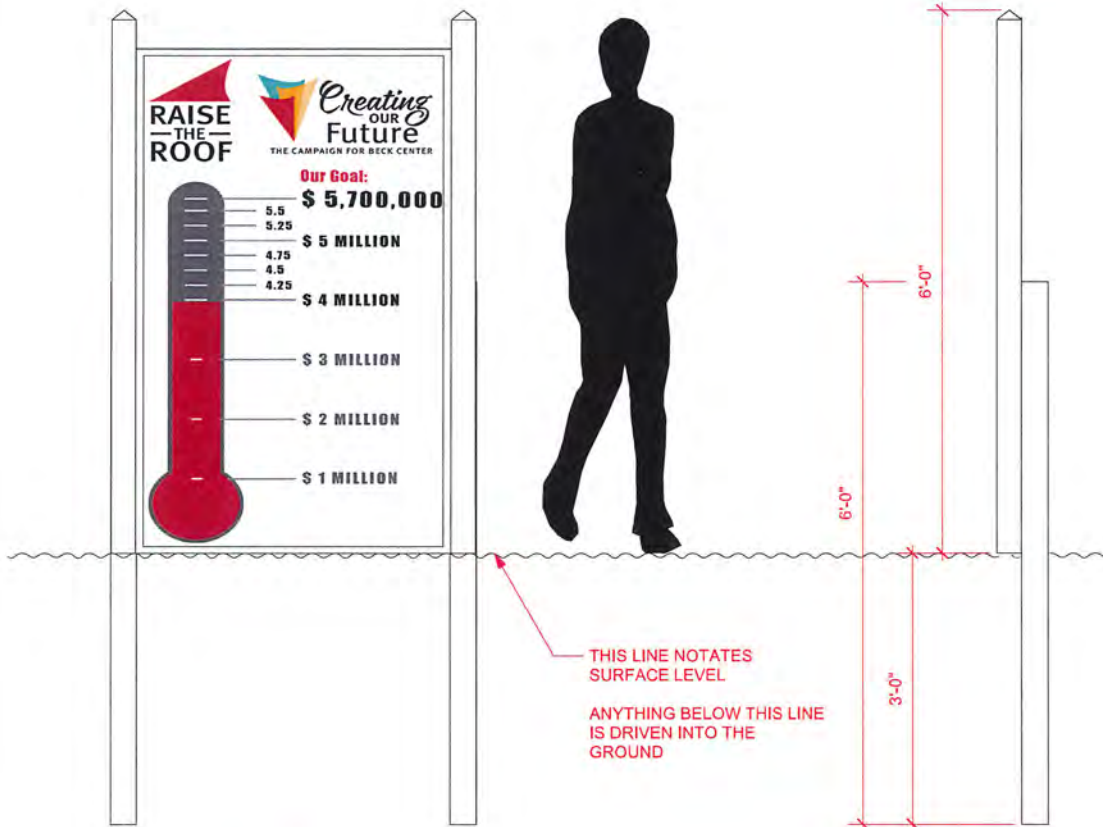
TOP VIEW



FRONT ISOMETRIC
1/4" = 1'-0" SCALE



REAR ISOMETRIC
1/4" = 1'-0" SCALE



FRONT VIEW

RIGHT VIEW



BECK CENTER - RAISE THE ROOF CAMPAIGN
THERMOMETER FUNDRAISING SIGN

DRAFTED BY: TIM CHRISMAN; ATD

1/15/2021

1" = 1'-0" SCALE

REV 2



Existing conditions



16' to bus shelter

2.5' set forward of tree
2.5' set back from sidewalk





West placement

COMING SOON ...
BECKCENTER.ORG/GIVE

Beck Center
FOR THE ARTS

The Changing
FUTURE

BLOOMING
HILLS