

**AGENDA
CITY OF LAKEWOOD
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING
FEBRUARY 6, 2020 at 4:00 P.M.
EAST CONFERENCE ROOM**

**REVIEW MEETING
FEBRUARY 13, 2020 at 5:30 P.M.
LAKEWOOD CITY HALL
AUDITORIUM**

1. Roll Call
2. Approve the minutes of the January 9, 2020 Meeting
3. Opening Remarks

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

4. **Docket No. 12-120-19** **R** **Vacant Lot Erie Cliff Drive**
- () Approve Derek Hannah
() Deny 1455 Wyandotte Avenue
() Defer Lakewood, Ohio 44107

Applicant proposes the construction of a new residential home. (Page 6)

5. **Docket No. 01-02-20*** **R** **1464 Riverside Drive**
- () Approve Linda Fredrickson, President
() Deny Judehome LLC
() Defer 2234 Warren Road
Lakewood, Ohio 44107

Applicant proposes the demolition of a single-family home in order to construct of a new home. (Page 13)

***This item is deferred from the February meeting.**

6. **Docket No. 02-09-19*** **C** **13701/13901 Detroit Ave. and 1406 Wyandotte Ave.
Detroit and Bunts Market Rate Apartments**
- () Approve Jerome Solove
() Deny Jerome Solove Development, Inc.
() Defer 470 Olde Worthington Road, Suite 200
Westerville, Ohio 43082

Applicant requests the review and approval of a planned development consisting of two mid-rise apartment buildings and one parking garage on 2.12 acres, pursuant to section 1156 – planned development. The property is in a C3, Commercial, General Business district. (Page 14)

***This item is deferred from the February meeting.**

7. **Docket No. 03-20-19** **C** **16000 and 15801 Detroit Avenue
Market Rate Apartments**
- () Approve Jerome Solove
 () Deny Jerome Solove Development, Inc.
 () Defer 470 Olde Worthington Road, Suite 200
 Westerville, Ohio 43082

Applicant proposes a mixed-use development consisting of approximately 150 market rate, three-story apartments and parking on approximately 2.4 acres, located on the north and south sides of Detroit Avenue between Rosewood and Cranford Avenues. (Page 17)

8. **Docket No. 06-48-19*** **C** **13701/13901 Detroit Ave. and 1406 Wyandotte Ave.
Detroit and Bunts Market Rate Apartments**
- () Approve Jerome Solove
 () Deny Jerome Solove Development, Inc.
 () Defer 470 Olde Worthington Road, Suite 200
 Westerville, Ohio 43082

Applicant proposes to build a mixed-use structure with parking to be evaluated under C3 zoning; ABR review under Chapter 1325. (Page 37)

*This item is deferred from the February meeting.

9. **Docket No. 11-114-19 A** **C** **14019 Madison Avenue
Greek Village Grille**
- () Approve Tommy Karakostas
 () Deny Greek Village Grille
 () Defer 14019 Madison Avenue
 Lakewood, Ohio 44107

Applicant proposes the addition of flagstone on the lower portion of the building exterior and replacement awning with signage. (Page 40)

SIGN REVIEW

10. **Docket No. 12-123-19** **16900 Detroit Avenue
Lakewood Food Truck Park**
- () Approve Daniel Deagan
 () Deny 12700 Lake Avenue, #3005
 () Defer Lakewood, Ohio 44107

Applicant proposes signage for Lakewood Food Truck Park. (Page 41)

NEW BUSINESS
ARCHITECTURAL BOARD OF REVIEW

11. **Docket No. 02-08-20** **R** **12558 Clifton Boulevard**
- () Approve Alexandria Rose
 () Deny 12558 Clifton Boulevard

() Defer Lakewood, Ohio 44107

Applicant proposes the addition of a front porch and deck. (Page 42)

12. **Docket No. 02-09-20** **R** **13000 Edgewater Drive**

() Approve Peggy Sammon and Joe Lobo
() Deny 13000 Edgewater Drive
() Defer Lakewood, Ohio 44107

Applicants propose a one-story addition and expansion of an existing garage. (Page 49)

13. **Docket No. 02-10-20** **R** **15409 Edgewater Drive**

() Approve T. Michael Tomsik
() Deny Tomsik Tomsik Architects
() Defer 921 Literary Road
Cleveland, Ohio 44113

Applicant proposes an addition above existing study. (Page 54)

14. **Docket No. 02-11-20** **R** **1224 Edwards Avenue**

() Approve Azam Kazmi
() Deny YellowLite, Inc
() Defer 1925 St. Clair Avenue, NE
Cleveland, Ohio 44114

Applicant proposes installation of 18 Silfab-320 NL Mono solar modules on the roof of the property. (Page 61)

15. **Docket No. 02-12-20** **R** **1310 Gladys Avenue**

() Approve Cristos Kallas
() Deny 22701 Center Ridge Rd., Apt 214
() Defer Rocky River, Ohio 44116

Applicant proposes the rebuild of a front porch. (Page 79)

16. **Docket No. 02-13-20** **R** **2166 Mars Avenue**

() Approve Azam Kazmi
() Deny YellowLite, Inc
() Defer 1925 St. Clair Avenue, NE
Cleveland, Ohio 44114

Applicant proposes installation of 18 Silfab-320 NL Mono solar modules on the roof of the property. (Page 90)

17. **Docket No. 02-14-20** **R** **1080 Nicholson Avenue**

() Approve Ryan and Alysia McKean

Deny 1080 Nicholson Avenue
 Defer Lakewood, Ohio 44107

Applicants propose a two-story addition at rear of home; a portion of the project is visible from the right-of-way, necessitating review and approval. (Page 101)

18. **Docket No. 02-15-20** **R** **1210 West Clifton Boulevard**

Approve Robert and Laura Dezort
 Deny 1210 West Clifton Boulevard
 Defer Lakewood, Ohio 44107

Applicants propose an addition and garage to rear of home; a corner lot property. (Page 114)

19. **Docket No. 02-16-20** **C** **17801 Detroit Avenue
Beck Center for the Arts**

Approve Lucinda Einhouse
 Deny Beck Center for the Arts
 Defer 17801 Detroit Avenue
Lakewood, Ohio 44107

Applicant proposes the demolition of an annex building on the corner of Detroit and Rockway Avenues to create a public "pocket park". (Page 130)

20. **Docket No. 02-17-20** **C** **18520-24 Detroit Avenue
The Roy Building**

Approve Michael J. Krivosh
 Deny 17479 Clifton Boulevard
 Defer Lakewood, Ohio 44107

Applicant proposes storefront façade rehabilitation with new siding and trim. (Page 143)

21. **Docket No. 02-18-20** **C** **13229 Madison Avenue
Lakewood Public Library**

Approve James Shook
 Deny HBM Architects
 Defer 1382 West Ninth Street, Suite 300
Cleveland, Ohio 44113

Applicant proposes renovation and expansion of existing library, reconfiguration of parking area and drive access, and landscape improvements. (Page 149)

22. **Docket No. 02-19-20** **C** **13368 Madison Avenue
BottleHouse**

Approve Brian Benchek
 Deny Red Shift Properties LLC
 Defer 13368 Madison Avenue
Lakewood, Ohio 44107

Applicant proposes storefront façade rehabilitation and installation of awning. (Page 171)

SIGN REVIEW

23. **Docket No. 02-19-20**

**13368 Madison Avenue
BottleHouse**

- Approve
- Deny
- Defer

Brian Benchek
Red Shift Properties LLC
13368 Madison Avenue
Lakewood, Ohio 44107

Applicant proposes a blade sign and signage on awnings. (Page 171)

COMMUNICATION

24. **Docket No. 02-20-20**

**Public Art: Warren Road Project Phase Two
LakewoodAlive**

LakewoodAlive is excited to communicate with Lakewood's Architectural Board of Review and the Planning Department the status of our Warren Road Project Phase Two, specifically related to public art. This project is funded by a \$50,000 Cuyahoga County Community Development Supplemental Grant, in partnership with the City of Lakewood. (Page 186)

ADJOURN

Account: 101-0000-321.30.01

REFERENCE No. BBS 19-000099
DOCKET No. 12-120-19
FEE PAID \$25.00 js check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name HANNAH RESIDENCE Project Address 3113-113 Erie Cliff Dr.
PAN
Applicant Name Derek Hannah Applicant Address 1955 Wyandotte Ave
216 246 - 4675 (if different than above) Lakewood, OH 44107
Applicant Contact (440) 465 - 0544 greenwaldarchitects @ yahoo.com
Brief Project Description NEW RESIDENTIAL CONSTRUCTION, 4,558 S.F.

Signature: *Derek Hannah* Date: 11-20-19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50; Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Derek Hannah Property Address 3113-113 Erie Cliff Dr.

Owner / Agent Contact (216) 246-4675 greenwaldarchitects @ yahoo.com

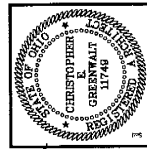
Owner / Agent Signature *Derek Hannah* Date: 11-20-19

Office Use Only: Reviewed and Accepted by: *[Signature]* Date: 12-2-2019

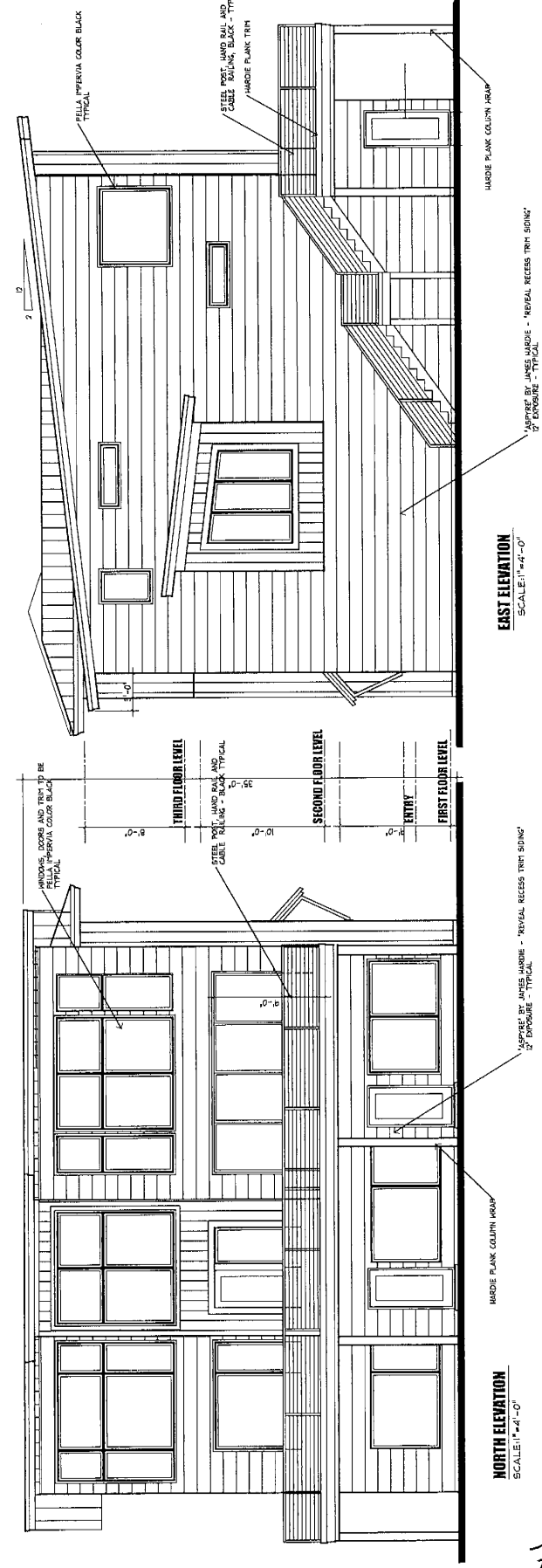
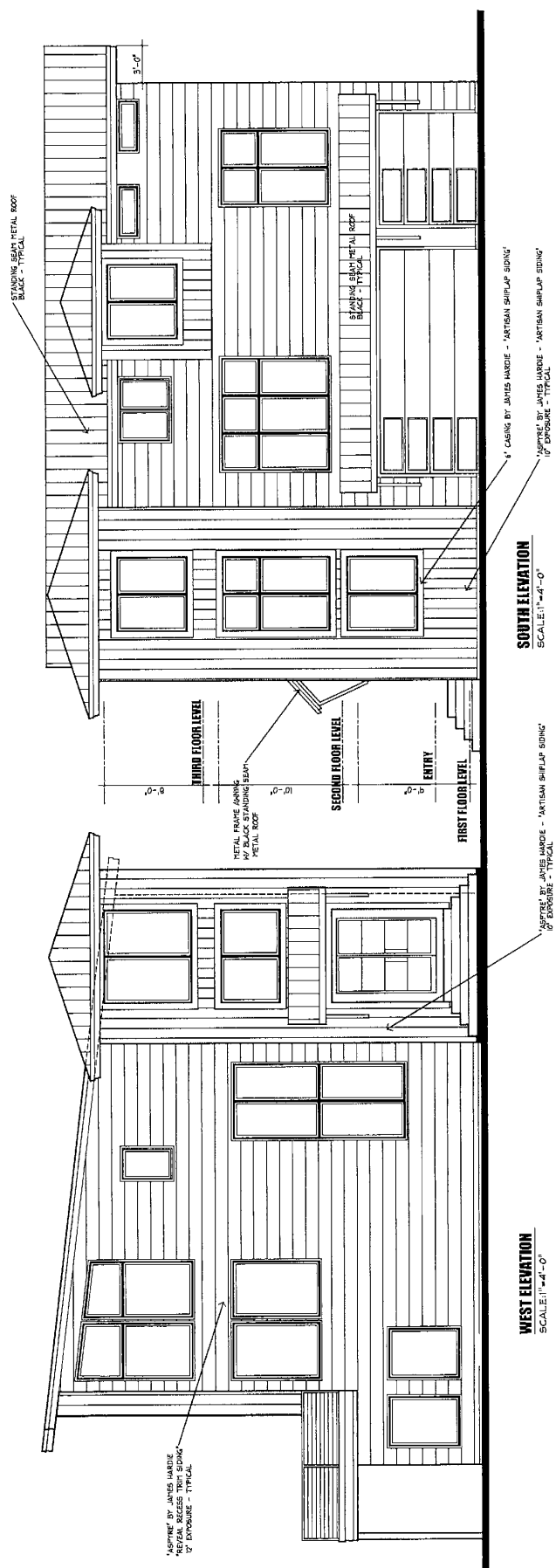
Ordinance 22-00B Section 1325.05 Remarks _____

Revisions	No. / Description	Date

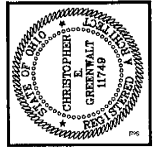
General Notes



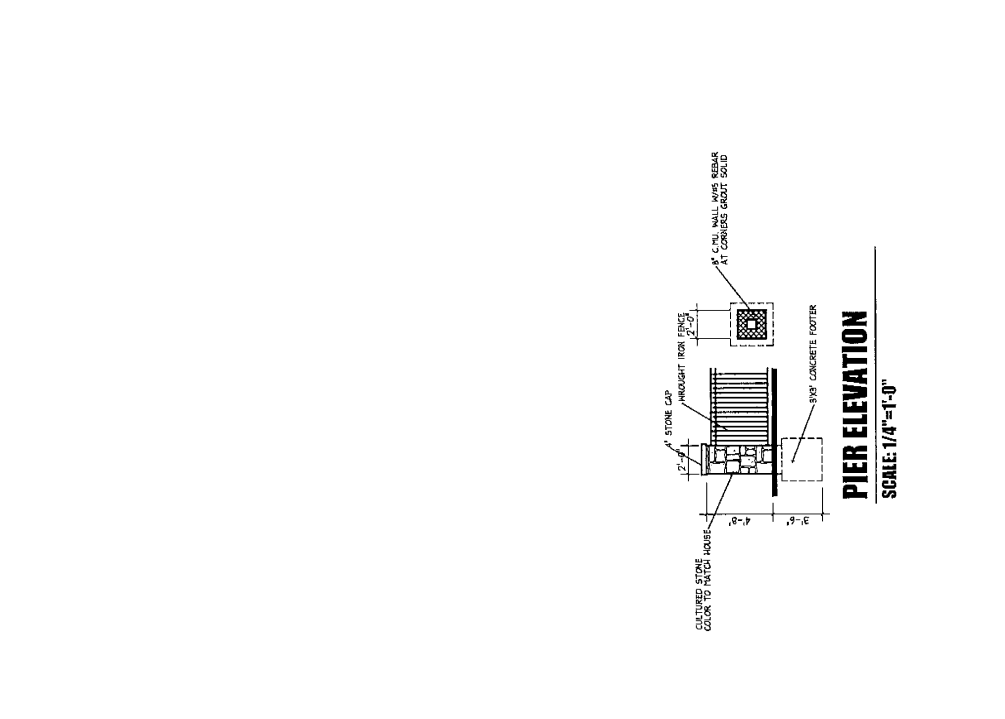
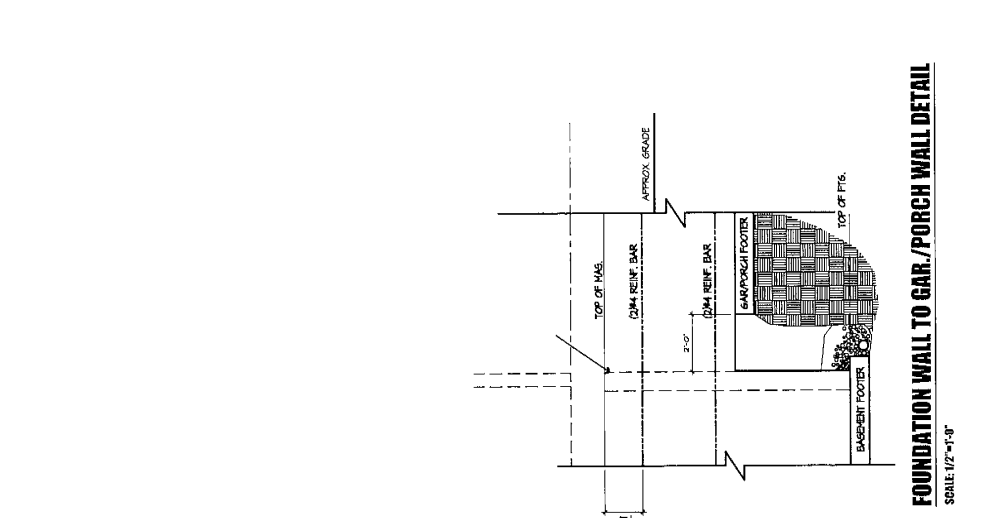
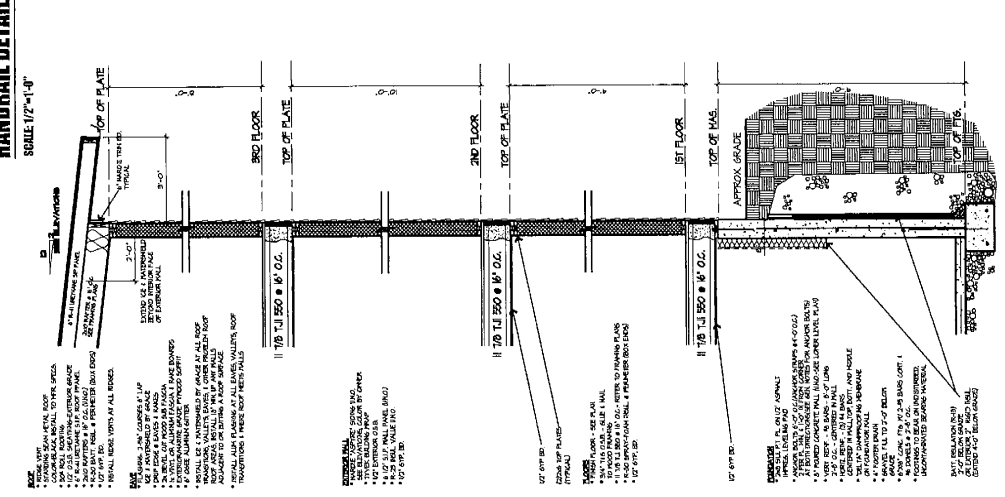
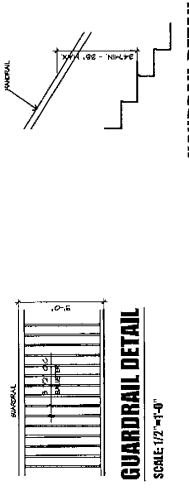
A-3
Main Level Plan
 February 2, 2020
 Schematic Design
 Scale: 1/4" = 1'-0"



No.	Revisions



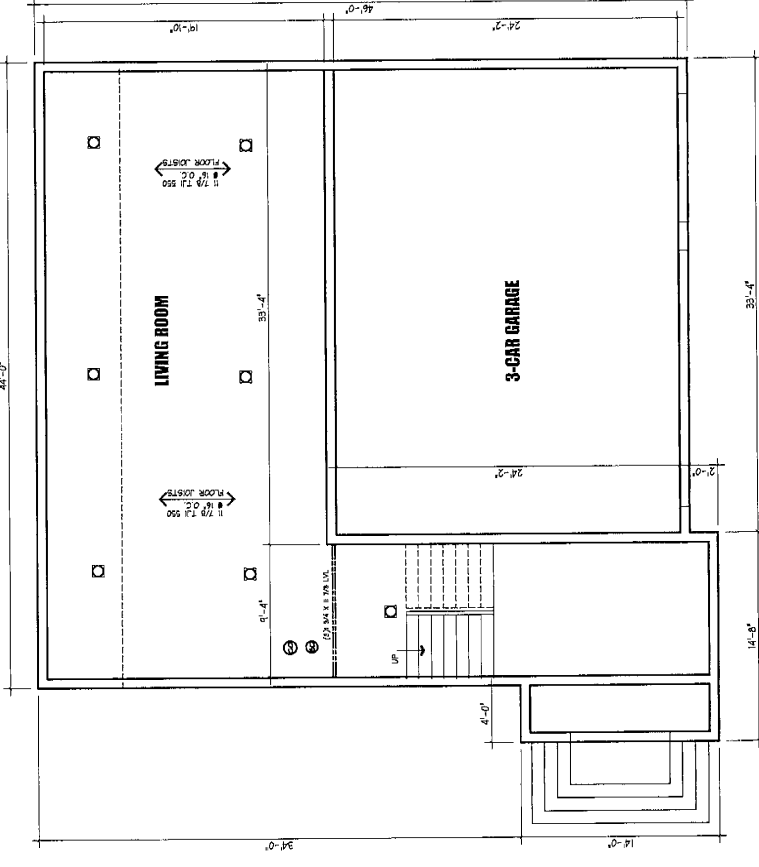
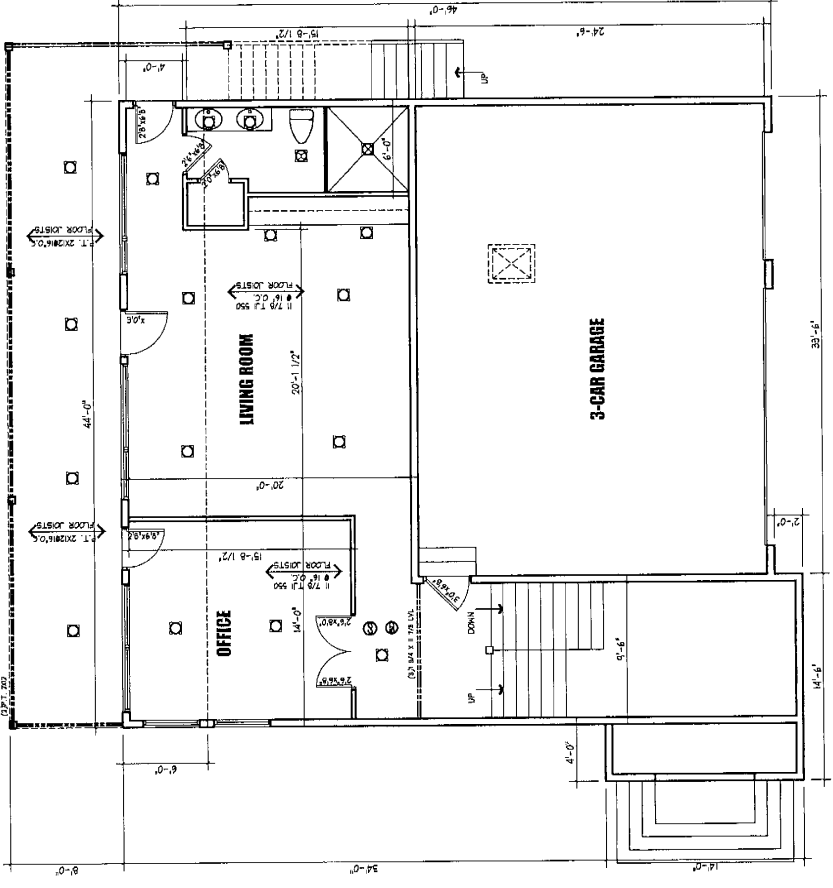
<h1>A-4</h1> <h2>WALL SECTION Stair Elev.</h2>	Schematic Design
	December 11, 2019
	1/4" = 1'-0"



Revisions	Revision Issues	Date



A-1
 Lower Level
 Construction Drawings
 Date: February 2, 2020
 Scale: 1/4" = 1'-0"

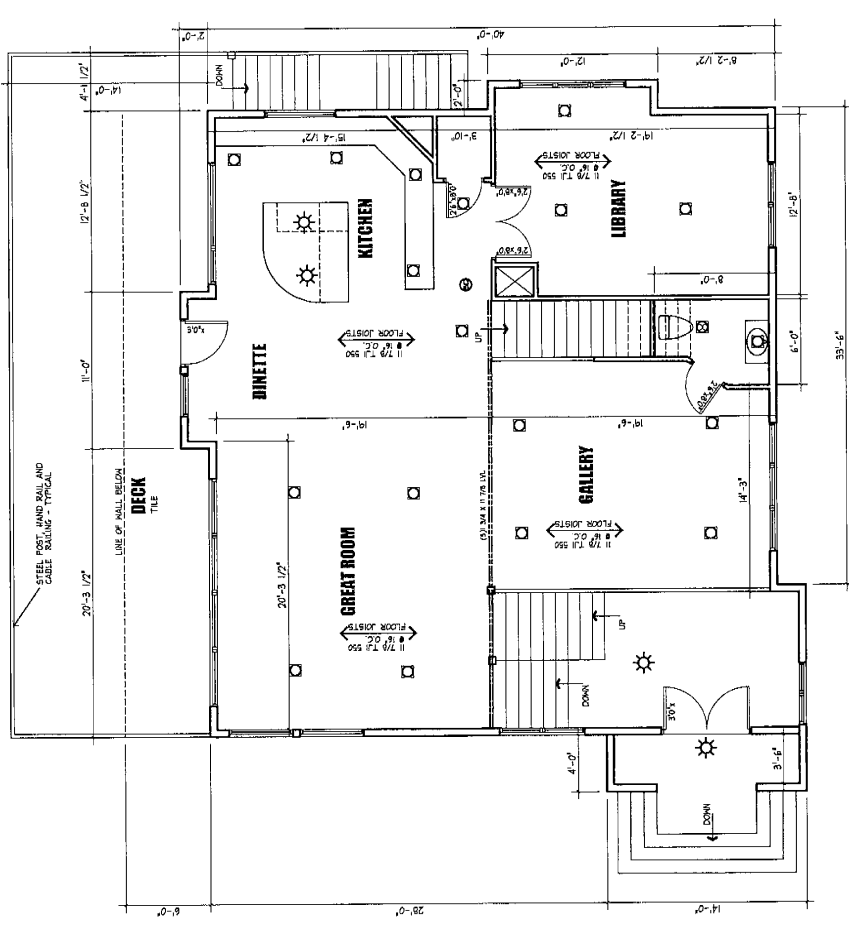
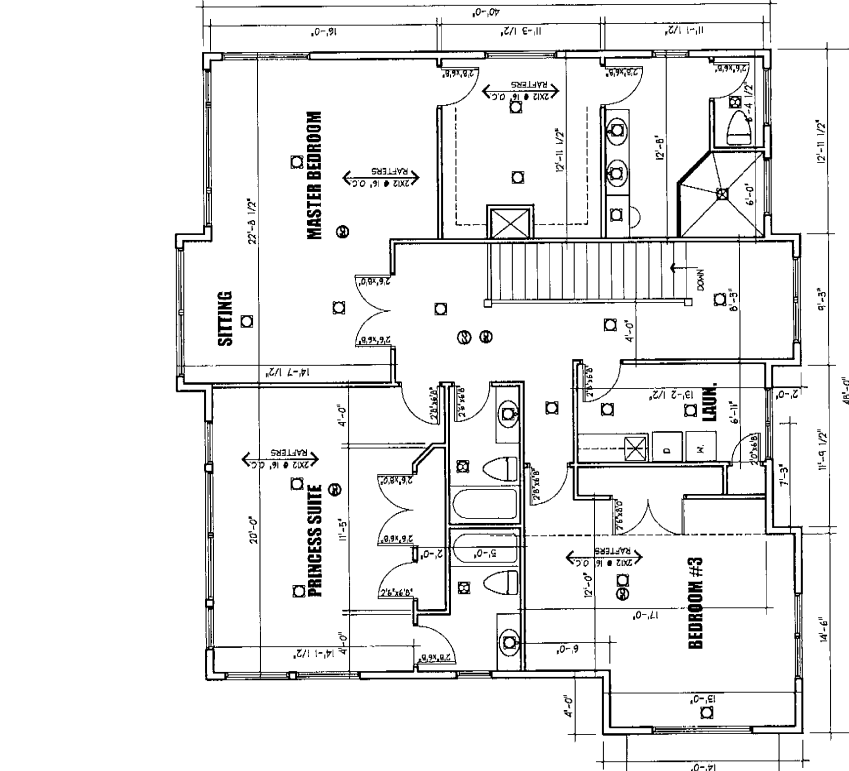


Revisions	No.	Revised/Issue	Date

General Notes



Scale	1/4" = 1'-0"
Date	February 2, 2020
Project	A-2
Plan	Main Level
Designer	Schematic Design



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



LAKE ERIE

N78°32'45"E 96.98'

PARCEL "A"
PP#311-13-113
0.3988 AC.
17,371 SQ.FT.
DEREK R. HANNAH TRUSTEE
DOC 201904150483

PARCEL "B"
PP#311-13-114
JAMES A. & TERESE R. BROWN

EX STS. MH
RIM 629.27
24" INVS 621.96

PP#311-12-074
MEGAN A. NAGEL

EX HOUSE
#1055
F.FL. 632.67
GARAGE
FL. 632.27

EX HOUSE
#1040
F.FL. 634.08
GARAGE
FL. 632.48

EX STS. MH
RIM 631.54
24" INVS 623.29
12" INV 625.46

SECONDARY BENCHMARK
TOP STEM OF HYDRANT
ELEV = 634.33

EX SAS MH
RIM 632.07
8" SW INV 624.96
PROP 6" N INV

EX SAS MH
RIM 632.70

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
CI	27.41'	40.00'	14.27'	26.88'	N70°20'29"W	39°15'43"

- ① = PROP 18" CONC APRON
- ② = EX 5" CONC SIDEWALK TO BE REPLACED
- ③ = EX 5" CONC SIDEWALK

HORIZ. SCALE: 1"=20'	VERT. SCALE:
DRAWN BY: LNE	DATE: 12-11-2019
CHECKED BY: SRL	DRAWING NO.: 20193522
JOB NO.: 20193522	SHEET: 1 OF 2

6425 WARNER ROAD - SUITE 111
VALLEY VIEW, OHIO 44126
440-602-9071 FAX 216-369-0250

ENGINEERING + SURVEYING
Civil Engineering + Land Surveying

LAYOUT PLAN FOR
DEREK HANNAH
PP#311-13-113
DOC. 201904150483
ERIE CLIFF DRIVE
CITY OF LAKEWOOD
CUYAHOGA COUNTY
STATE OF OHIO

NO.	DATE	DESCRIPTION	BY
1	2/20	REV HOUSE	LE

EXHIBIT B

The foregoing conveyance is made subject to the following restrictions, and Grantee, by its acceptance of this Deed, agrees that in order to ensure open views of Lake Erie for the owner of Permanent Parcel #311-13-096 which lies adjacent to the East (the Beneficiary), and said Beneficiary's tenants, successors and assigns and for other aesthetic benefits, the following restrictions shall apply to the area that are on or within five (5) feet of the Eastern property line and on or within forty-five (45) feet of the Northern property line (actual property line, not edge of cliff) of the property hereby conveyed.

No fence, wall, tree, hedge, pergola, or other attached or detached structure shall be erected, placed, replaced, maintained or permitted to remain anywhere in the restricted area until the plans, specifications, design and plot plan showing the location, design, color, and type of materials for said improvement have been approved by the Beneficiary, in writing. Said approval shall not be unreasonably withheld or delayed. The existing chain link fence in place as of this date along the Northern edge of the cliff is excepted, and may remain in place; but these restrictions shall apply to any replacement or partial replacement of said fence. The mature trees that exist within the restricted area as of the date of this conveyance may remain in place as an exception.

No fence is to exceed four feet (4') in height. The heights or elevations of any wall or fences shall be measured from ground level perpendicularly to the top of the fence or wall. Exception: the fence posts may exceed four feet in height, but shall not exceed fifty two (52) inches in height from the ground level to the top of the post.

No fence or wall constructed of chain link or other form of metal wire or wire mesh will be approved. No "board on board", solid, or other similar privacy fences will be approved.

Any fence shall be of an "open design", and shall be constructed so that there are no gaps between the posts constituting said fence that are less than four (4) inches.

A fence shall be constructed of ornamental iron or wood. Grantor may approve materials that have the finished appearance of ornamental iron or wood. Grantor may, at its discretion, request an actual sample of the proposed fence material be submitted for review.

Exception: With respect to the area that is within five (5) feet of the Eastern property line; from a point that commences eighty (80) feet South of the Northern property line and continues South to the Southern property line; hedges, trees, and other shrubbery that exceed four feet (4') in height shall be permitted within the restricted area.

It shall be the Grantee's responsibility to maintain any approved and installed fence or other improvement in good repair.

Further, as depicted on Page 3 of this Exhibit B, a line that commences at the point that is 111.0 feet North of the Southeast corner of Parcel Number 311-13-097 (the "Property"), on the East property line of the Property, and terminates at the Northwest corner of the Property shall be deemed the "Rear Construction Setback Line." No residential structure shall be erected, placed, replaced, maintained or permitted to remain in the area North of this Line. This restriction does not apply to decks, patios, permanent outdoor fireplaces, permanent seating, permanent grills and other similar elements contained in landscaped and hardscaped areas that are not part of the primary residential structure itself.

The foregoing restriction shall be a covenant running with the land, shall be binding upon Grantee and all successor owners and occupants of the Property and shall inure to the benefit of, and be enforceable by action at law or in equity, by Beneficiary and its successors and assigns. A failure of Beneficiary or its successors or assigns to enforce such restriction shall in no event be construed, taken, or held to be a waiver thereof, or acquiescence in or consent to any further or succeeding breach or violation thereof and Beneficiary, its successors and assigns, shall at any and all times have the right to enforce the same. Beneficiary, its successors and assigns, shall be entitled to recover all reasonable legal fees and costs incurred by it in the enforcement of such restriction.

HORIZ. SCALE:	VERT. SCALE:	6485 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44125 440-802-8071 FAX 216-360-0259	DETAIL PLAN FOR DEREK HANNAH PP#311-13-113 ERIE CLIFF DRIVE CITY OF LAKEWOOD CUYAHOGA COUNTY STATE OF OHIO				
DRAWN BY: LNE	DATE: 12-11-2019	 AZTECH ENGINEERING + SURVEYING CMI Engineering + Land Surveying					
CHECKED BY: SRL	DRAWING NO.: 20193522						
JOB NO.: 20193522	SHEET: 2 OF 2						
				NO. DATE DESCRIPTION BY			

Account: 101-0000-321.30.01

REFERENCE No. BBS19-000106

DOCKET No. 01-02-20

FEE PAID \$25.00 js CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name 1464 Riverside ~~West~~ Project Address 1464 Riverview

Applicant Name Linda Fredrickson Demo side Applicant Address 2234 Warren Rd
(if different than above)

Applicant Contact 440,669-9806 linfredy@aol.

Brief Project Description Demo old house, construct new

Signature: 

Date: 12-24-19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Jude home LLC Linda Fredrickson, Pres Property Address 1464 Riverside

Owner / Agent Contact 440 669-9806 linfredy@aol.

Owner / Agent Signature  Date: 12-24-19

Office Use Only: Reviewed and Accepted by:  Date: 12-30-19

Ordinance 22-00B Section 1325.05 Remarks _____

Account: 101-0000-321. 30-01

REFERENCE No. BBS19-000011
PL19-002483
DOCKET No. 02-09-19
FEE PAID \$50.00 js check

APPLICATION
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

Property Address 1406 WYANDOTTE AVENUE
13701 & 13901 Detroit Ave Business Name N/A
Owner Name & Phone Stavash Family LLC/Lakewood Chrysler Plymouth Inc Owner Address 440-452-8765 / 216-403-2712
Project Description See Attached

Incomplete or Late Applications will not be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Board of Building Standards - (\$25.00)**
All requests for variances to the Building Code. See Building Code Chapter 1327 for complete regulations.
- Architectural Board of Review - (Commercial \$50.00, Residential \$25.00)**
Examples: Modifications to the exterior of a building, new construction, commercial landscaping, installation or modification of fencing, parking lot modification. See Building Code Chapter 1327 for complete regulations.
- Sign Review Board - (\$25.00)**
New signs and modifications, replacement or upgrades to existing sign. See Chapter 1329 for sign regulations.

Submission Requirements:

Board of Building Standards: 1-5, 9, 10 **Architectural Board of Review:** 1-7, 9, 10 **Sign Review:** 1-4, 6, 8, 9, 10

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11)
6. Material samples.
7. Manufacturer's cut sheets for lighting, fencing and any other architectural element. (1 copy color, 8.5 x 11)
8. Scaled and dimensioned drawings of all signage including location, colors and materials. (1 copy color, 8.5 x 11)
9. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
10. Fee(s)

Applicant Name (Print Clearly): Jerome Solove Company Jerome Solove Development Inc

Applicant Address: 470 Olde Worthington Road, Suite 200 Westerville, OH 43082

Phone: 614-410-6734 Fax: 8666-218-6067 E-mail: jsolove@solove.com

Signature: [Handwritten Signature] Date: 1-30-19

OFFICE USE ONLY: Application Reviewed and Accepted by: [Handwritten Signature] Date: 1/30/2019

File History: _____

Bldg. Dept. Remarks: Review of Design Principles (1156.05)
under Planned Development Zoning process

ORD. 22-00B SECTION 1325.05
17-17 1156.05

14

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Review/Sign Review Board/ Board of Building Standards applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes X _____ No

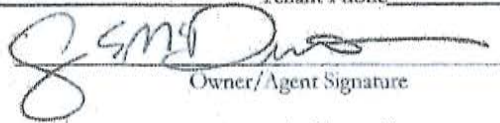
Please Print or Type:

Owner/Agent Name: Stavash Family LLC. Sean McDermott and Bill Craighead

Property Address: 13701 & 1406 Wyandotte Aveune

Owner/Agent Phone: 440-452-8765 / 216-773-0326

Tenant Name Educators Music Tenant Phone 216-272-2548


 Owner/Agent Signature

2019 Calendar

Board of Building Standards / Architectural Board of Review / Sign Review

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
	Day	Date	Day	Date	Day	Date
January	Wednesday	12-26-18	Thursday	01-03-19	Thursday	01-10-19
February	Wednesday	01-30-19	Thursday	02-07-19	Thursday	02-14-19
March	Wednesday	02-27-19	Thursday	03-07-19	Thursday	03-14-19
April	Wednesday	03-27-19	Thursday	04-04-19	Thursday	04-11-19
May	Wednesday	04-24-19	Thursday	05-02-19	Thursday	05-09-19
June	Wednesday	05-29-19	Thursday	06-06-19	Thursday	06-13-19
July	Wednesday	06-26-19	Tuesday	07-02-19	Thursday	07-11-19
August	Wednesday	07-24-19	Thursday	08-01-19	Thursday	08-08-19
September	Wednesday	08-28-19	Thursday	09-05-19	Thursday	09-12-19
October	Wednesday	09-25-19	Thursday	10-03-19	Thursday	10-10-19
November	Wednesday	10-30-19	Thursday	11-07-19	Thursday	11-14-19
December	Wednesday	11-27-19	Thursday	12-05-19	Thursday	12-12-19
January	Wednesday	12-24-19	Thursday	01-02-20	Thursday	01-09-20

PLEASE NOTE: Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings start at **4:00 P.M.** in the **East Conference Room** (adjacent to the auditorium) of Lakewood City Hall. Use the rear northeast entrance to the Auditorium.

Review Meetings will commence at **5:30 P.M.** in the **Auditorium** of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting in order for an application to receive review. Use the rear northeast entrance to the Auditorium.

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Review/Sign Review Board/ Board of Building Standards applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes No

Please Print or Type:

Owner/Agent Name:

Cathy Schuster/Lakewood Chrysler Plymouth Inc. Agent

Property Address:

13901 Detroit Avenue Lakewood, OH 44107

Owner/Agent Phone:

216-403-2712

Tenant Name

N/A

Tenant Phone

N/A

Cathy V. Schuster
Owner/Agent Signature

2019 Calendar

Board of Building Standards / Architectural Board of Review / Sign Review

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
	Day	Date	Day	Date	Day	Date
January	Wednesday	12-26-18	Thursday	01-03-19	Thursday	01-10-19
February	Wednesday	01-30-19	Thursday	02-07-19	Thursday	02-14-19
March	Wednesday	02-27-19	Thursday	03-07-19	Thursday	03-14-19
April	Wednesday	03-27-19	Thursday	04-04-19	Thursday	04-11-19
May	Wednesday	04-24-19	Thursday	05-02-19	Thursday	05-09-19
June	Wednesday	05-29-19	Thursday	06-06-19	Thursday	06-13-19
July	Wednesday	06-26-19	Tuesday	07-02-19	Thursday	07-11-19
August	Wednesday	07-24-19	Thursday	08-01-19	Thursday	08-08-19
September	Wednesday	08-28-19	Thursday	09-05-19	Thursday	09-12-19
October	Wednesday	09-25-19	Thursday	10-03-19	Thursday	10-10-19
November	Wednesday	10-30-19	Thursday	11-07-19	Thursday	11-14-19
December	Wednesday	11-27-19	Thursday	12-05-19	Thursday	12-12-19
January	Wednesday	12-24-19	Thursday	01-02-20	Thursday	01-09-20

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Review Meetings will commence at **5:30 P.M.** in the **Auditorium** of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting in order for an application to receive review. Use the rear northeast entrance to the Auditorium.

Account: 101-0000-321, 30-01

BBS19-000002

REFERENCE No. PL19-002504

DOCKET No. 03-20-19

FEE PAID \$50.00 js check

APPLICATION
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

Property Address 16000 Detroit Ave + 15801 Detroit Ave. Business Name Steve Barry Buick

Owner Name & Phone Fairlane Realty Company Inc Owner Address 16000 Detroit Ave

Project Description See Attached

Incomplete or Late Applications will not be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

Board of Building Standards – (\$25.00)

All requests for variances to the Building Code. See Building Code Chapter 1327 for complete regulations.

Architectural Board of Review – (Commercial \$50.00, Residential \$25.00)

Examples: Modifications to the exterior of a building, new construction, commercial landscaping, installation or modification of fencing, parking lot modification. See Building Code Chapter 1327 for complete regulations.

Sign Review Board – (\$25.00)

New signs and modifications, replacement or upgrades to existing sign. See Chapter 1329 for sign regulations.

Submission Requirements:


Board of Building Standards: 1-5, 9, 10 **Architectural Board of Review:** 1-7, 9, 10 **Sign Review:** 1-4, 6, 8, 9, 10

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11)
6. Material samples.
7. Manufacturer's cut sheets for lighting, fencing and any other architectural element. (1 copy color, 8.5 x 11)
8. Scaled and dimensioned drawings of all signage including location, colors and materials. (1 copy color, 8.5 x 11)
9. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
10. Fee(s)

Applicant Name (Print Clearly): Jerome Solove Company JSDI

Applicant Address: 470 Olde Worthington Rd, Suite 200 Westerville, OH 43082

Phone: 614-410-6734 Fax: 866-218-6067 E-mail: jsolove@solove.com

Signature:  Date: 2-19-19

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. 22-003 SECTION 1325.05

17


AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Review/Sign Review Board/ Board of Building Standards applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes No _____ No

Please Print or Type:

Owner/Agent Name: Fairlane Realty Company Inc / Steve Barry
 Property Address: 16000 Detroit Ave
 Owner/Agent Phone: 440-532-0453
 Tenant Name: Steve Barry Buick Tenant Phone: 440-532-0453



 Owner/Agent Signature

2019 Calendar Board of Building Standards / Architectural Board of Review / Sign Review

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-26-18	Thursday	01-03-19	Thursday	01-10-19
February	Wednesday	01-30-19	Thursday	02-07-19	Thursday	02-14-19
March	Wednesday	02-27-19	Thursday	03-07-19	Thursday	03-14-19
April	Wednesday	03-27-19	Thursday	04-04-19	Thursday	04-11-19
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July	Wednesday	06-26-19	Tuesday	07-02-19	Thursday	07-11-19
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October	Wednesday	09-25-19	Thursday	10-03-19	Thursday	10-10-19
November	Wednesday	10-30-19	Thursday	11-07-19	Thursday	11-14-19
December	Wednesday	11-27-19	Thursday	12-05-19	Thursday	12-12-19
January	Wednesday	12-24-19	Thursday	01-02-20	Thursday	01-09-20

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BARRY
LAKWOOD OH

MIXED USE COMMUNITY
CONCEPTUAL DESIGN
02.04.2020





VIEW LOOKING EAST

3 BARRY | LAKEWOOD, OHIO 44107
02.04.2020





VIEW LOOKING NORTHEAST

BARRY | LAKEWOOD, OHIO 44107
02.24.2020



VIEW OF LOBBY ENTRANCE

BARRY | LAKEWOOD, OHIO 44107
02.04.2020



Solve Real Estate



BB CO
COMMERCIAL REAL ESTATE
RESIDENTIAL REAL ESTATE
CONSTRUCTION MANAGEMENT

DATE: 10/1/2017
DRAWN BY: [blank]
CHECKED BY: [blank]

PROJECT: [blank]
SHEET: [blank]



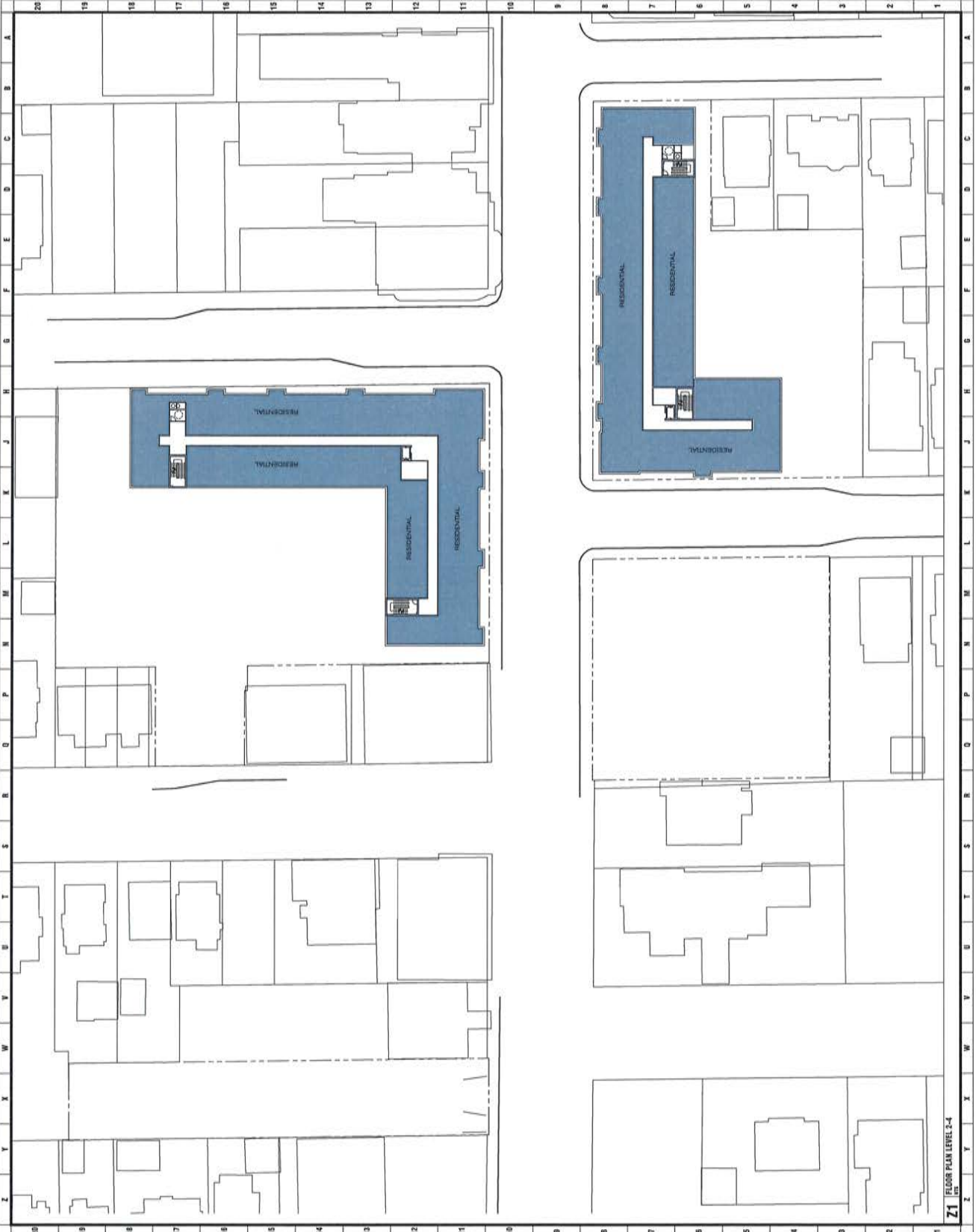
THE VIEW
ON DETROIT
WEST
Dodge Avenue & Grand Ave, Lakewood, OH 44107

FLOOR PLANS
10/1/2017



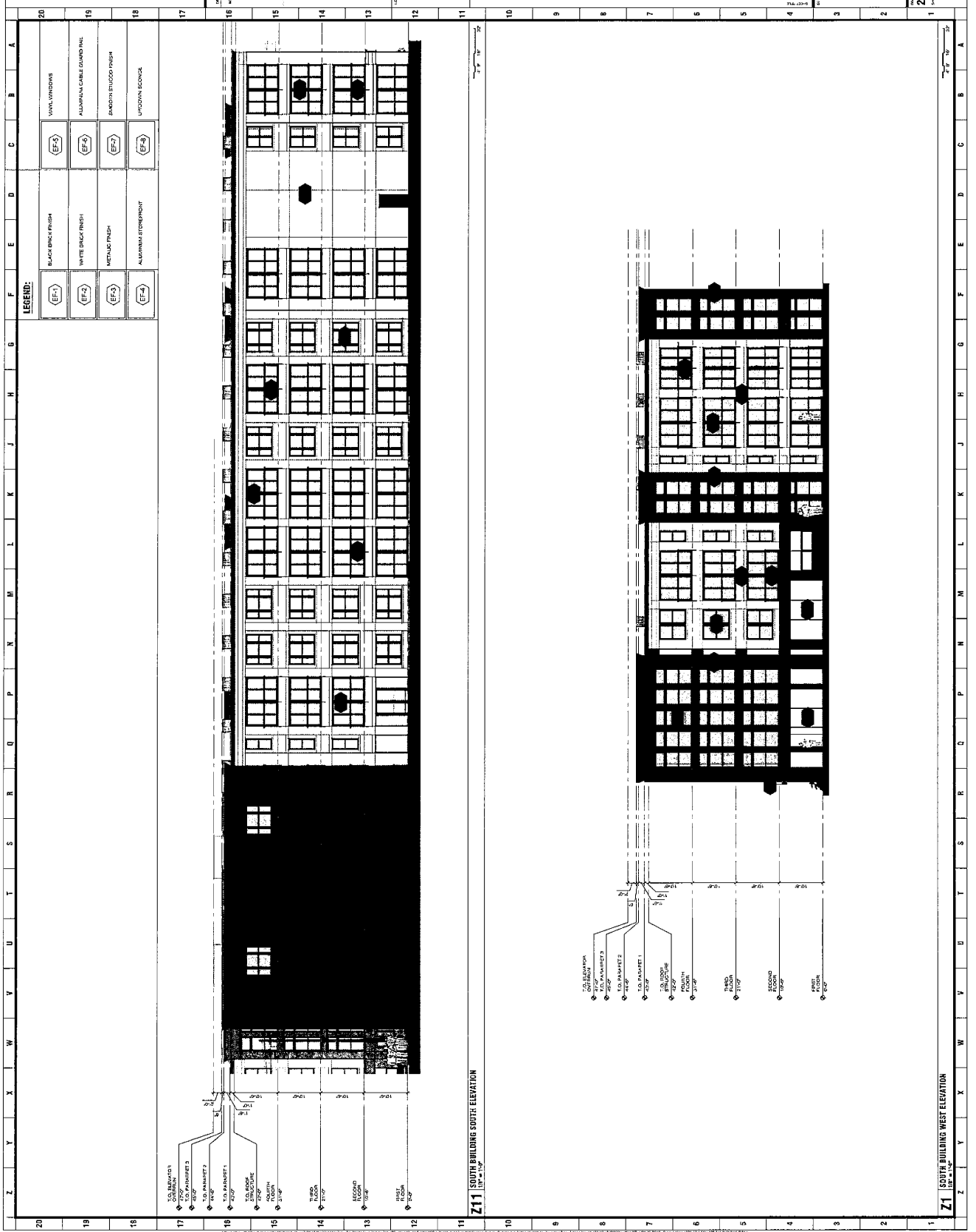
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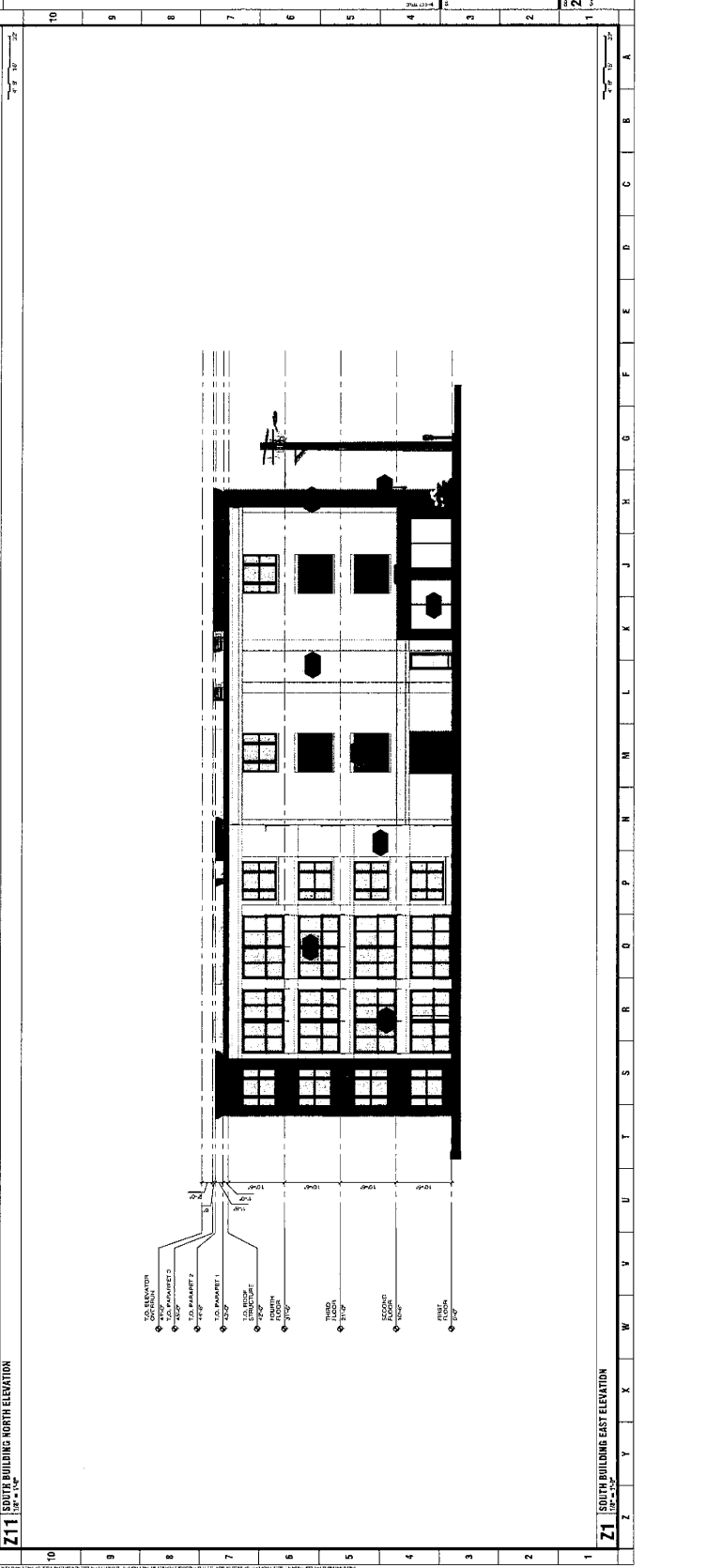
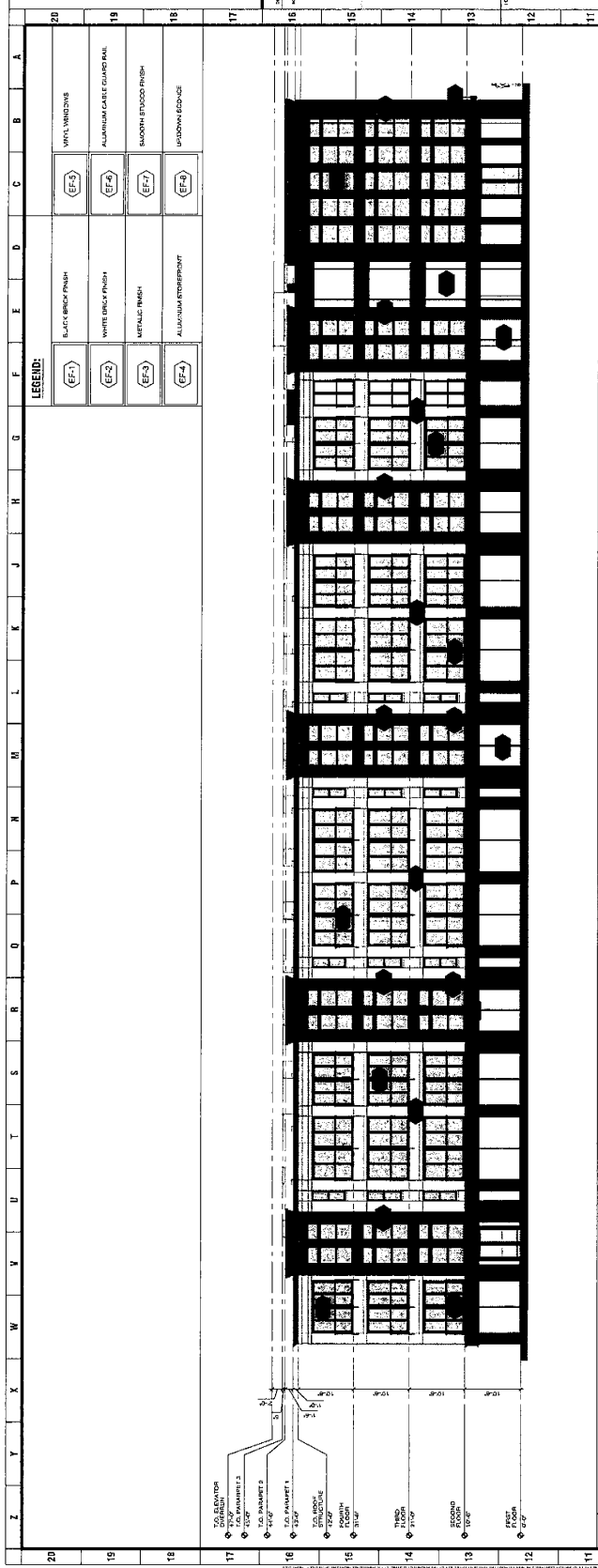
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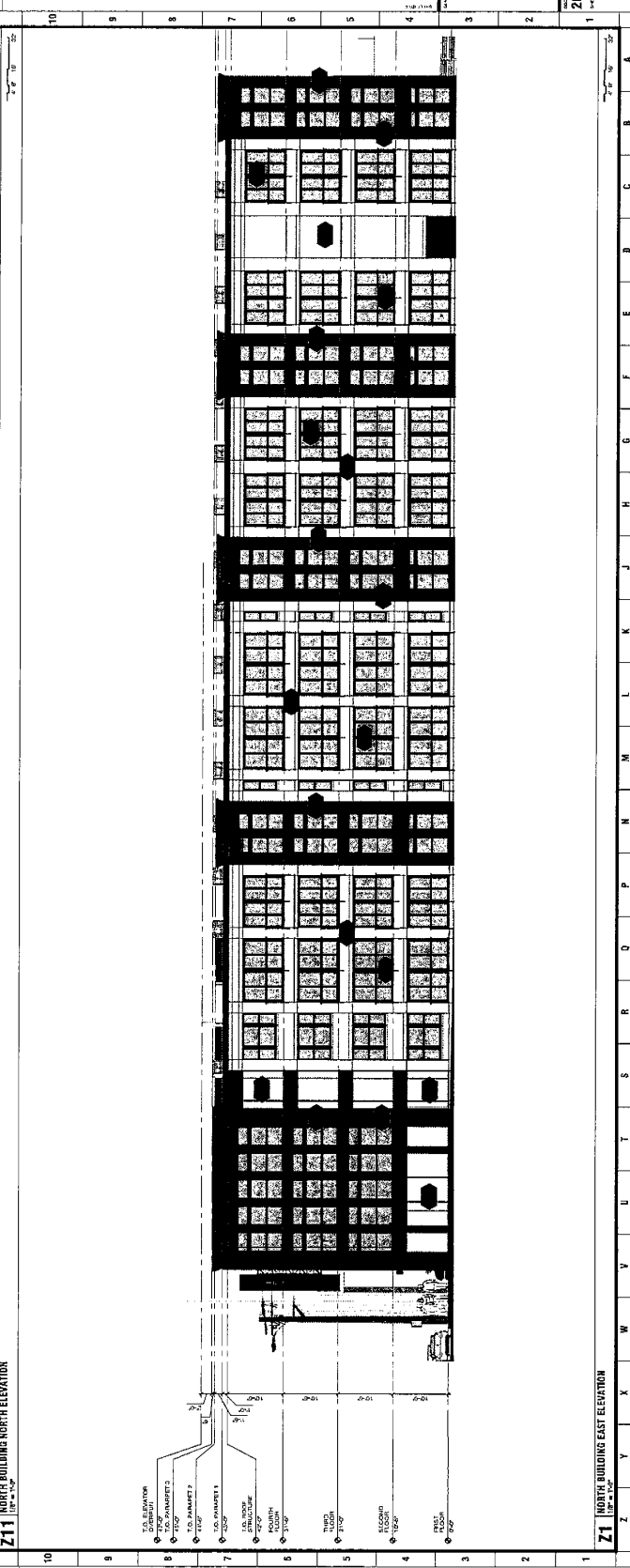
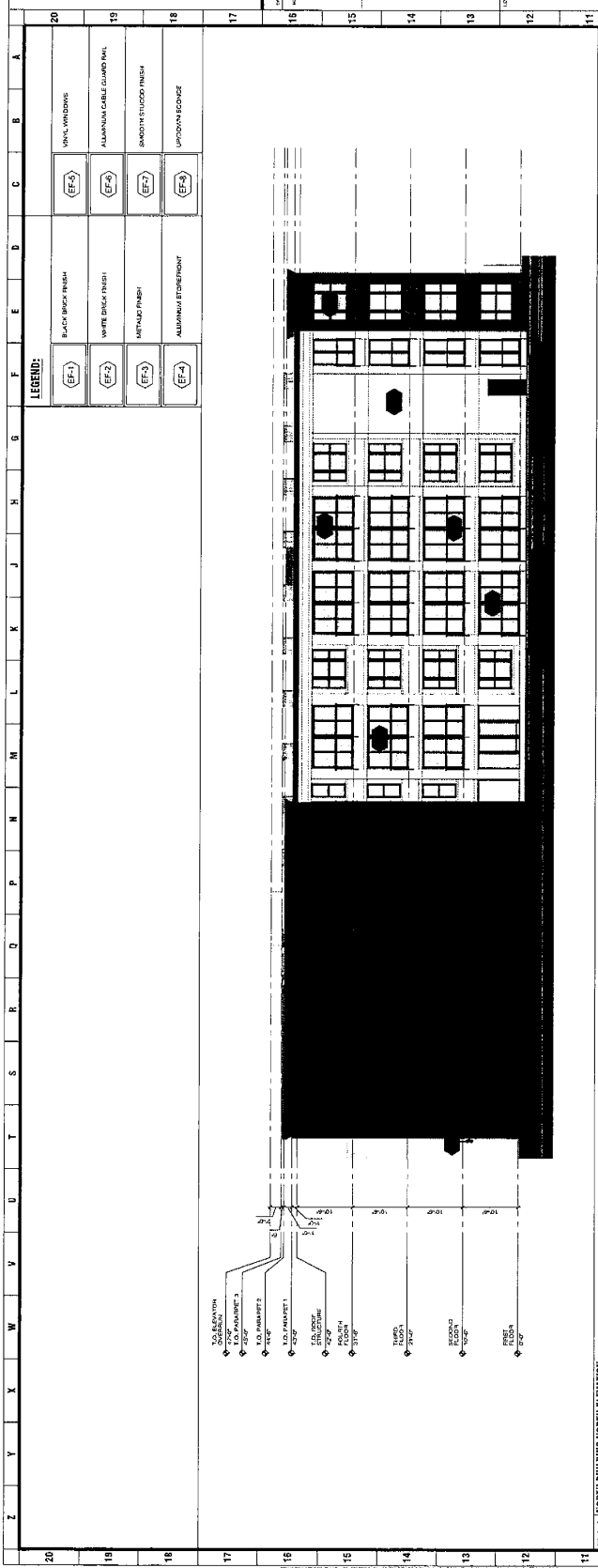


Z1 FLOOR PLAN LEVEL 2-4

25









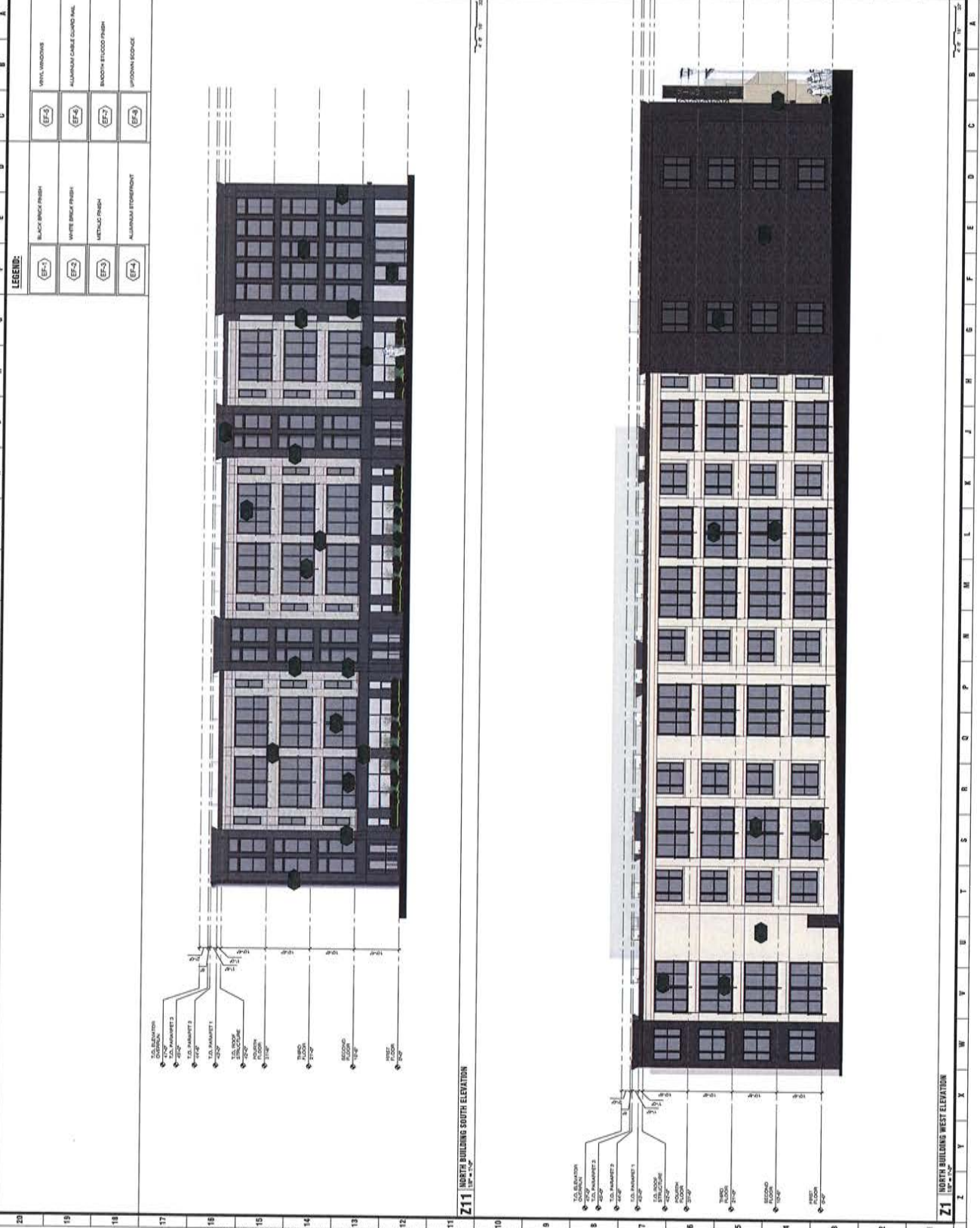
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 PROJECT: THE VIEW
 DRAWING: 2018-07-22

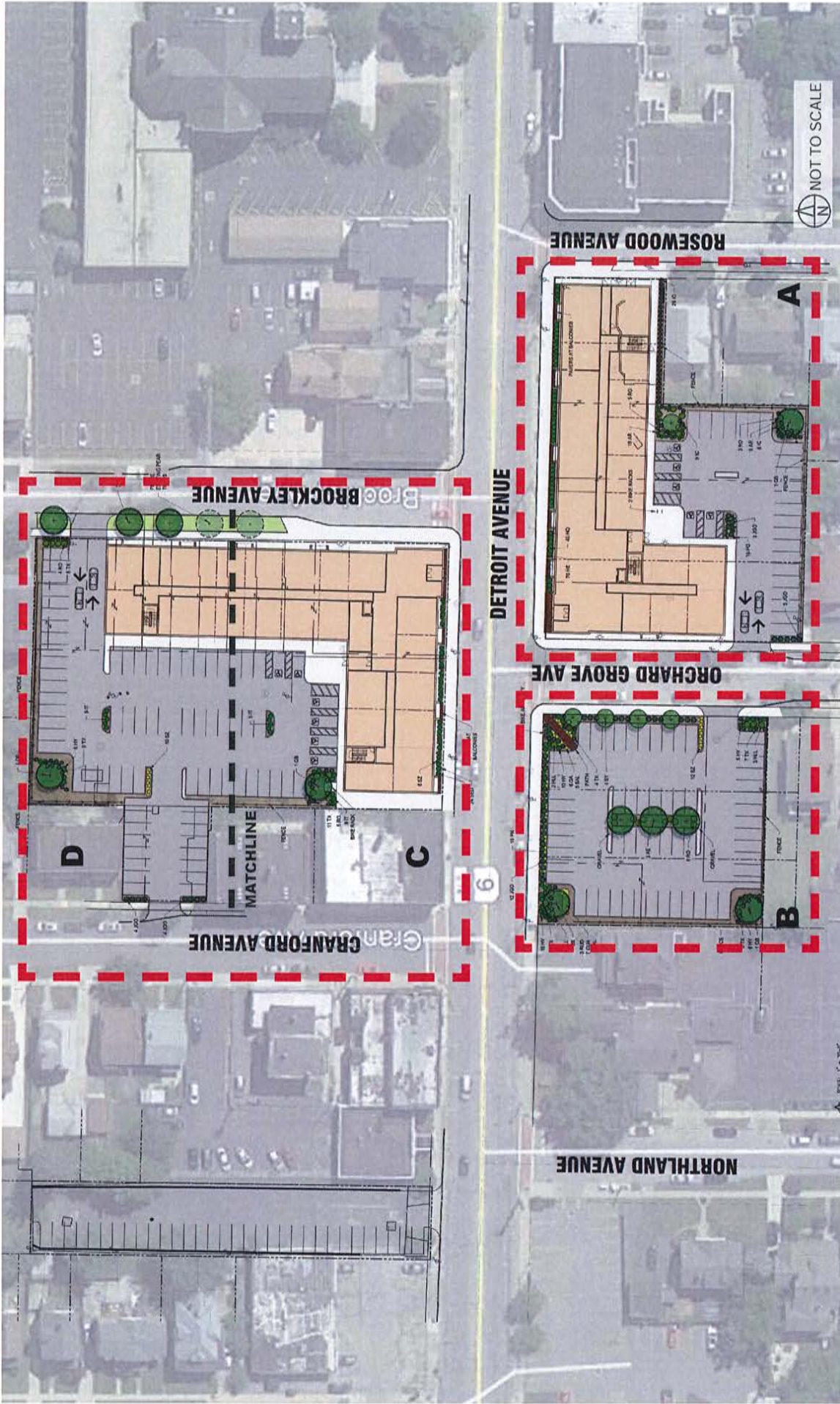
THE VIEW
 ON DETROIT WEST
 20000 West 15th Ave, Lakewood, CO 80407



2017-72
 A-303

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1





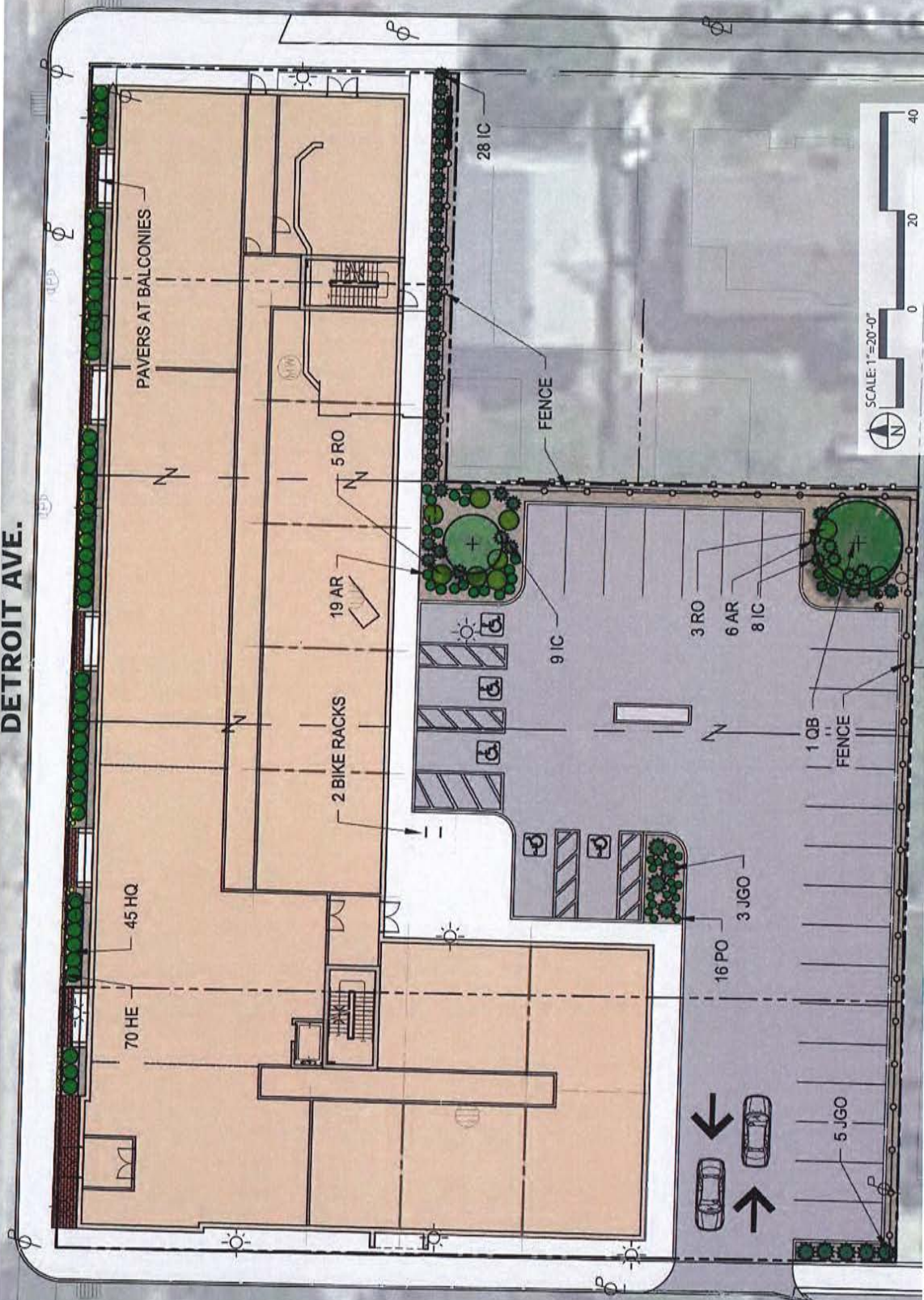
Barry-Solove Development
Overall Site Plan
1.27.2020

DERUlandscape architecture
812 Huron Road E, #411 Cleveland, OH 44115 | 216.465.4355

ORCHARD GROVE AVE

DETROIT AVE.

ROSEWOOD AVENUE



Barry-Solove Development
Enlargement A
1.27.2020

DERUlandscape architecture
812 Huron Road E. #4111 Cleveland, OH 44115 | 216-466-4355

31



ORCHARD GROVE AVE

DETROIT AVE.

Barry-Solove Development
 Enlargement B
 1.27.2020

DERUlandscape architecture
 972 Huron Road E. #4115 | 44115 | 216-466-0355

32



BROCKLEY AVE

DETROIT AVENUE

MATCHLINE

FENCE

11 TX
5 RO
8 IT
BIKE RACK

1 QB

5 IT

6 SZ

PAVERS AT
BALCONIES

9 IT
24 SED

SCALE: 1"=20'-0"



DERUlandscape architecture
872 Huron Road E., #401 Cleveland, OH 44115 | 216.466.4355

Barry-Solove Development
Enlargement C
1.27.2020



Barry-Solove Development
 Enlargement D
 1.27.2020

DERUlandscape architecture
 512 Huron Road E., #401 Cleveland, OH 44115 | 216.466.4335



34



AE: Fort McNair Horsechestnut



QB: Swamp White Oak



SY: Ivory Silk Lilac



AR: Low-scape Mound Chokeberry



HLL: Little Lime Hydrangea



HQ: Applause Oakleaf Hydrangea



HY: Sunburst St. John's Wort



IC: Beehive Japanese Holly



IT: Little Henry



JGO: Grey Owl Juniper



PO: Abbotswood Cinquefoil



RO: Sunny Knockout Rose



TX: Everlow Yew



GUA: Wandflower



HE: Autumn Brite Alum Root



PN: Panicum



RUD: Black Eyed Susan



SAL: May Night Salvia



SED: Yellow Sedum



SZ: Little Bluestem

Fence Options:



6' horizontal wood fence



6' horizontal board on board wood fence



Bike ammenity: Tune-up station

Account: 101-0000-321. 30-01

REFERENCE No. 78519-000021

DOCKET No. 06-48-19

FEE PAID \$50.00 *js check*

APPLICATION
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

Property Address 13701 & 13901 Detroit Ave. Business Name N/A

Owner Name & Phone Stavash Family LLC/Lakewood Chrysler Plymouth Inc. Owner Address 13701 & 13901 Detroit Ave., Lakewood, Ohio

Project Description See Attached

Incomplete or Late Applications will not be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

Board of Building Standards – (\$25.00)
All requests for variances to the Building Code. See Building Code Chapter 1327 for complete regulations.

Architectural Board of Review – (Commercial \$50.00, Residential \$25.00)
Examples: Modifications to the exterior of a building, new construction, commercial landscaping, installation or modification of fencing, parking lot modification. See Building Code Chapter 1327 for complete regulations.

Sign Review Board – (\$25.00)
New signs and modifications, replacement or upgrades to existing sign. See Chapter 1329 for sign regulations.

Submission Requirements:

Board of Building Standards: 1-5, 9, 10 Architectural Board of Review: 1-7, 9, 10 Sign Review: 1-4, 6, 8, 9, 10

1. A detailed written description of the request signed by the applicant/owner.
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4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11)
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7. Manufacturer's cut sheets for lighting, fencing and any other architectural element. (1 copy color, 8.5 x 11)
8. Scaled and dimensioned drawings of all signage including location, colors and materials. (1 copy color, 8.5 x 11)
9. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
10. Fee(s)

Applicant Name (Print Clearly): Jerome Solove Company Jerome Solove Development Inc.

Applicant Address: 14837 Detroit Avenue #339 Lakewood, OH 44107

Phone: 614-425-2104 Fax: _____ E-mail: asolove@solove.com

Signature: *Jerome S. Solove* Date: 5-9-19

OFFICE USE ONLY: Application Reviewed and Accepted by: *ALY g* Date: 5/30/2019

File History: _____

Bldg. Dept. Remarks: _____

ORD. 22-002 SECTION 1325.05

37

AUTHORIZATION FOR PROPERTY ACCESS

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Any dog(s) on property? _____ Yes X No

Please Print or Type:

Owner/Agent Name: Stavash Family LLC. Sean McDermott and Bill Craighead

Property Address: 13701 & 1406 Wyandotte Aveune

Owner/Agent Phone: 440-452-8765 / 216-773-0326

Tenant Name Educators Music Tenant Phone 216-272-2548


Owner/Agent Signature

2019 Calendar

Board of Building Standards / Architectural Board of Review / Sign Review

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
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Any dog(s) on property? _____ Yes No

Please Print or Type:

Owner/Agent Name:

Cathy Schuster/Lakewood Chrysler Plymouth Inc. Agent

Property Address:

13901 Detroit Avenue Lakewood, OH 44107

Owner/Agent Phone:

216-403-2712

Tenant Name

N/A

Tenant Phone

N/A

Cathy V. Schuster
Owner/Agent Signature

2019 Calendar

Board of Building Standards / Architectural Board of Review / Sign Review

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-26-18	Thursday	01-03-19	Thursday	01-10-19
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Account: 101-0000-321.30.01

REFERENCE No. BBS19-000081-Sign
BBS19-000080-ARR
DOCKET No. 11-114-19 A,S
FEE PAID \$75.00 js check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name GREEK VILLAGE GRILLE

Project Address 14019 MADISON AVE

Applicant Name TOMMY KARAKOSTAS

Applicant Address _____
(if different than above)

Applicant Contact (216) 832 - 0472

GREEKVILLAGEGRILLE @ GMAIL.COM

Brief Project Description NEW SIGNAGE AND ADDITION OF 3 FOOT FLAGSTONE

AS MERELY A DECORATIVE ADDITION

Signature: [Signature]

Date: 10/29/19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name JIM LUCAS

Property Address 14019 MADISON AVE

Owner / Agent Contact (216) 521 - 3019

@ _____

Owner / Agent Signature [Signature]

Date: 10/30/19

Office Use Only: Reviewed and Accepted by: [Signature]

Date: 11/4/2019

Ordinance 22-008

Section 1325.05

Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS19-000095

DOCKET No. 12-123-19

FEE PAID cash

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Lakewood Truck Park

Project Address 16900 Detroit Ave

Applicant Name Danuel Deagan

Applicant Address 12700 Lake Ave #3005

(if different than above)

Applicant Contact (216) 470-8495

deagan33 @ yahoo.com

Brief Project Description _____

Signature: 

Date: 11/26/19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

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AUTHORIZATION FOR PROPERTY ACCESS

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Are there any dog(s) on the property? Yes No

Owner Name _____

Property Address _____

Owner / Agent Contact (____) _____ - _____

_____ @ _____

Owner / Agent Signature _____

Date: _____

Office Use Only: Reviewed and Accepted by: 

Date: 12-2-2019

Ordinance 2-16

Section 1329.05
1329.12(d)

Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000001

DOCKET No. 02-08-20

FEE PAID _____ Cash

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name 12558 Clifton

Project Address 12558 Clifton

Applicant Name Alexandria Rose

Applicant Address 12558 Clifton
(if different than above)

Applicant Contact (440) 476-6000

alrose @ LakeRealtyOhio.com

Brief Project Description Deck + Front Porch to replace what was there

Signature: Alexandria Rose

Date: 1/29/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

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Are there any dog(s) on the property? Yes No

Owner Name Alexandria Rose Property Address 12558 Clifton

Owner / Agent Contact (440) 476-6000 alrose @ LakeRealtyOhio.com

Owner / Agent Signature Alexandria Rose Date: 1/29/20

Office Use Only: Reviewed and Accepted by: [Signature] Date: 2/5/2020

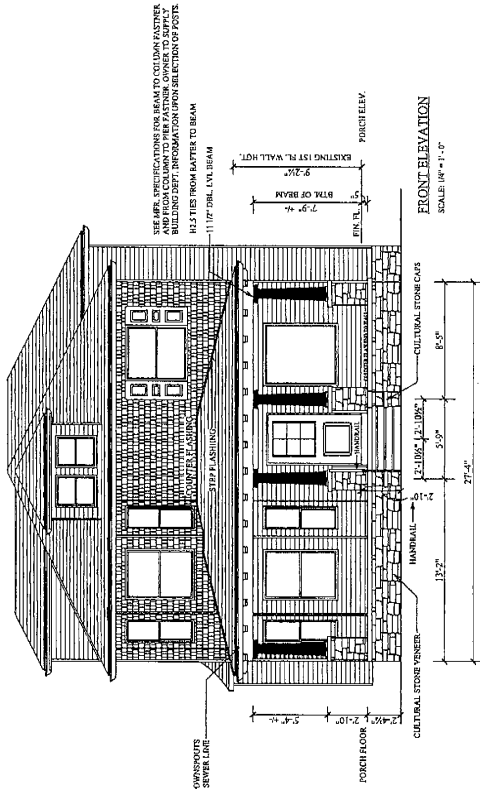
Ordinance 22-00B Section 1325.05 Remarks _____



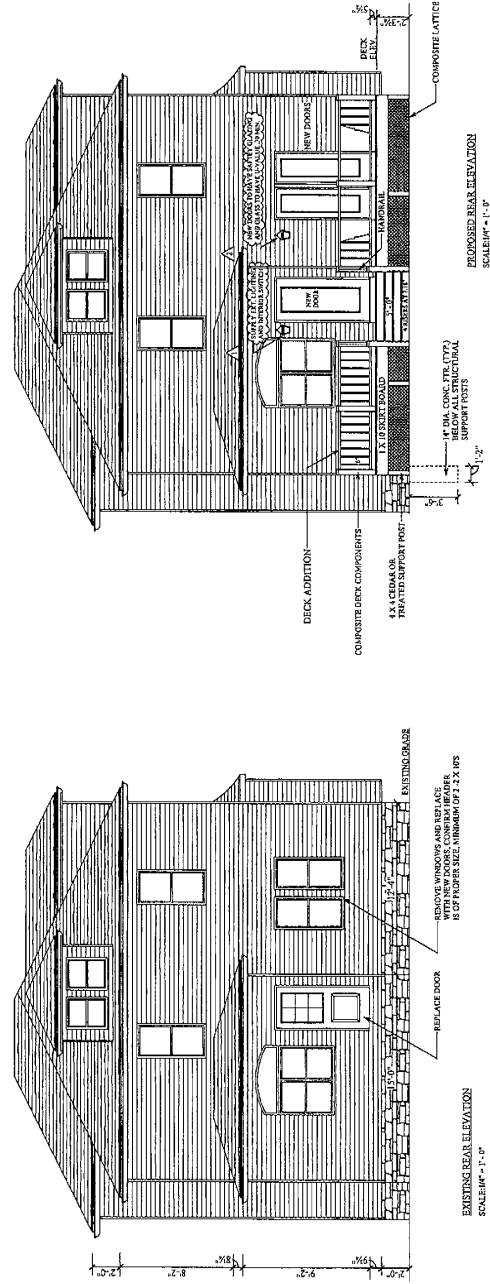
43



FRANKLIN
 RICHARD BEAN
 PHONE: 440-344-1010
 FAX: 440-344-1011
 1711 THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MEET ALL CITY, STATE AND FEDERAL REQUIREMENTS SHALL BE ASSUMED BY THE CONTRACTOR. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING.



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



EXISTING REAR ELEVATION
 SCALE: 1/8" = 1'-0"

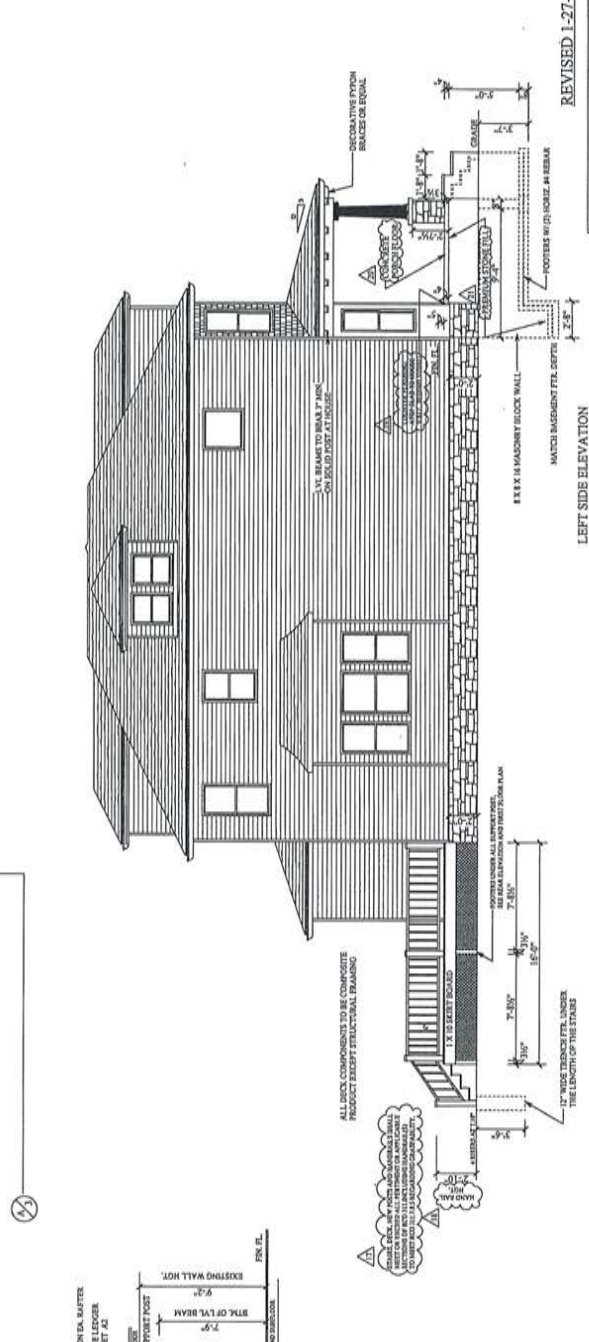
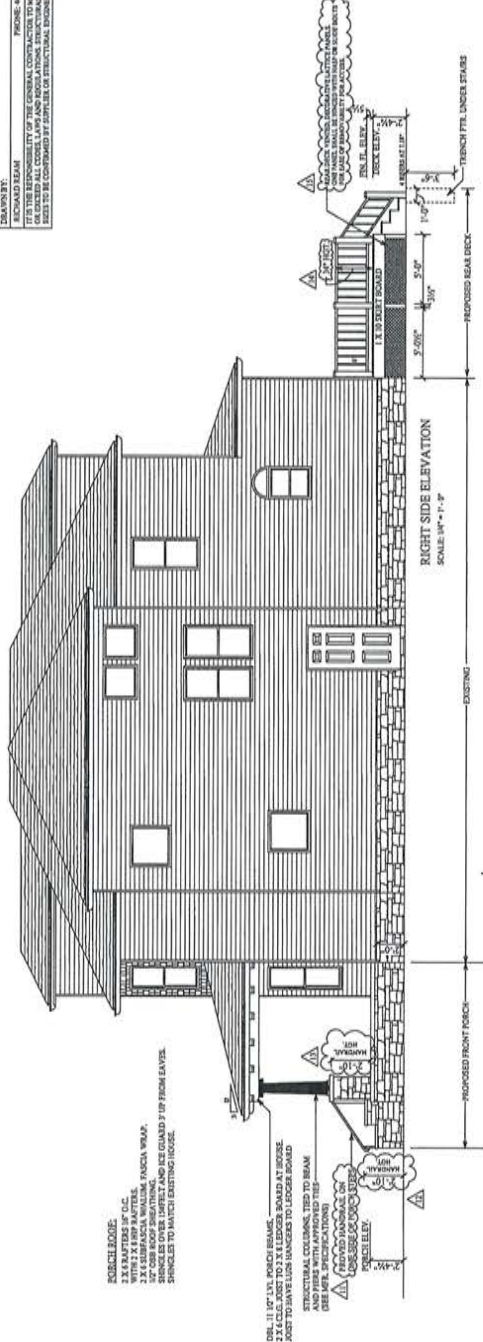
PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS ARE APPROXIMATE. PLANS ARE SUBJECT TO CONSULTATION AND APPROVAL BY THE CITY OF CLEVELAND. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING. THE OWNER IS PROHIBITED FROM MAKING ANY CHANGES TO THE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISED 1-27-20

DESIGN PLUS A3

DRAWN BY: RICHARD REAR
 CHECKED BY: RICHARD REAR
 DATE: 11-13-19
 SCALE: 1/4" = 1'-0"
 THIS DRAWING IS THE PROPERTY OF RICHARD REAR ARCHITECTS AND ENGINEERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF RICHARD REAR ARCHITECTS AND ENGINEERS IS PROHIBITED.



REVISED 1-27-20
 THE 442-332-8888
 A3

SCALE: 1/4" = 1'-0"
 DATE: 11-13-19
 DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CONSTRUCTION
 VARIATIONS. THIS PLAN IS NOT TO BE USED FOR ANY OTHER
 PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF RICHARD
 REAR ARCHITECTS AND ENGINEERS.

ROOF EAVES:
 1/2" OSB SHEATHING OVER 2x4 RAFTERS
 2x6 GYP BOARD WALLS MATCH W/ WAP.
 BRACKETS OVER SHEATHING AND BE GUARDED UP FROM EAVES.
 BRACKETS TO MATCH EXISTING HOUSE.

2x4 LVL BEAMS TO BEAR ON EXISTING
 STRUCTURAL COLUMNS, TIED TO BEAM
 AND BRACKETED TO EXISTING
 CONCRETE FOUNDATION ON
 EXISTING LEVEL.
 2x4x8 LVL BRACKETS TO BEAR ON EXISTING
 STRUCTURAL COLUMNS, TIED TO BEAM
 AND BRACKETED TO EXISTING
 CONCRETE FOUNDATION ON
 EXISTING LEVEL.

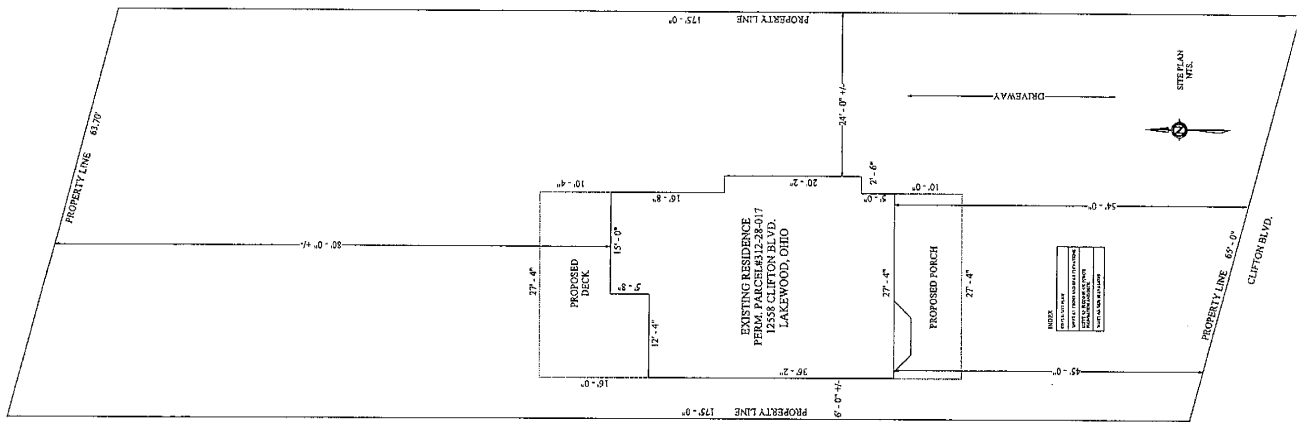
2x4 LVL BEAMS TO BEAR ON EXISTING
 STRUCTURAL COLUMNS, TIED TO BEAM
 AND BRACKETED TO EXISTING
 CONCRETE FOUNDATION ON
 EXISTING LEVEL.
 2x4x8 LVL BRACKETS TO BEAR ON EXISTING
 STRUCTURAL COLUMNS, TIED TO BEAM
 AND BRACKETED TO EXISTING
 CONCRETE FOUNDATION ON
 EXISTING LEVEL.

ALL DECK COMPONENTS TO BE COMPOSITE
 PRODUCT EXCEPT STRUCTURAL FRAMING

2x4 LVL BEAMS TO BEAR ON EXISTING
 STRUCTURAL COLUMNS, TIED TO BEAM
 AND BRACKETED TO EXISTING
 CONCRETE FOUNDATION ON
 EXISTING LEVEL.

2x4 LVL BEAMS TO BEAR ON EXISTING
 STRUCTURAL COLUMNS, TIED TO BEAM
 AND BRACKETED TO EXISTING
 CONCRETE FOUNDATION ON
 EXISTING LEVEL.

47



Account: 101-0000-321.30.01

REFERENCE No. BBS-20-000004

DOCKET No. 02-09-20

FEE PAID _____ Check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name SAMMON RESIDENCE Project Address 13000 EDGEWATER

Applicant Name Peggy Sammon & Joe Lobozzo Applicant Address _____
(if different than above)

Applicant Contact (216) 570-6398 Margaret Sammon @ yahoo.com

Brief Project Description The addition of a 1 story, 553 SF in-law suite and a 7'-8" expansion of existing garage

Signature: Jill [Signature] ARCHITECT Date: 1/22/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

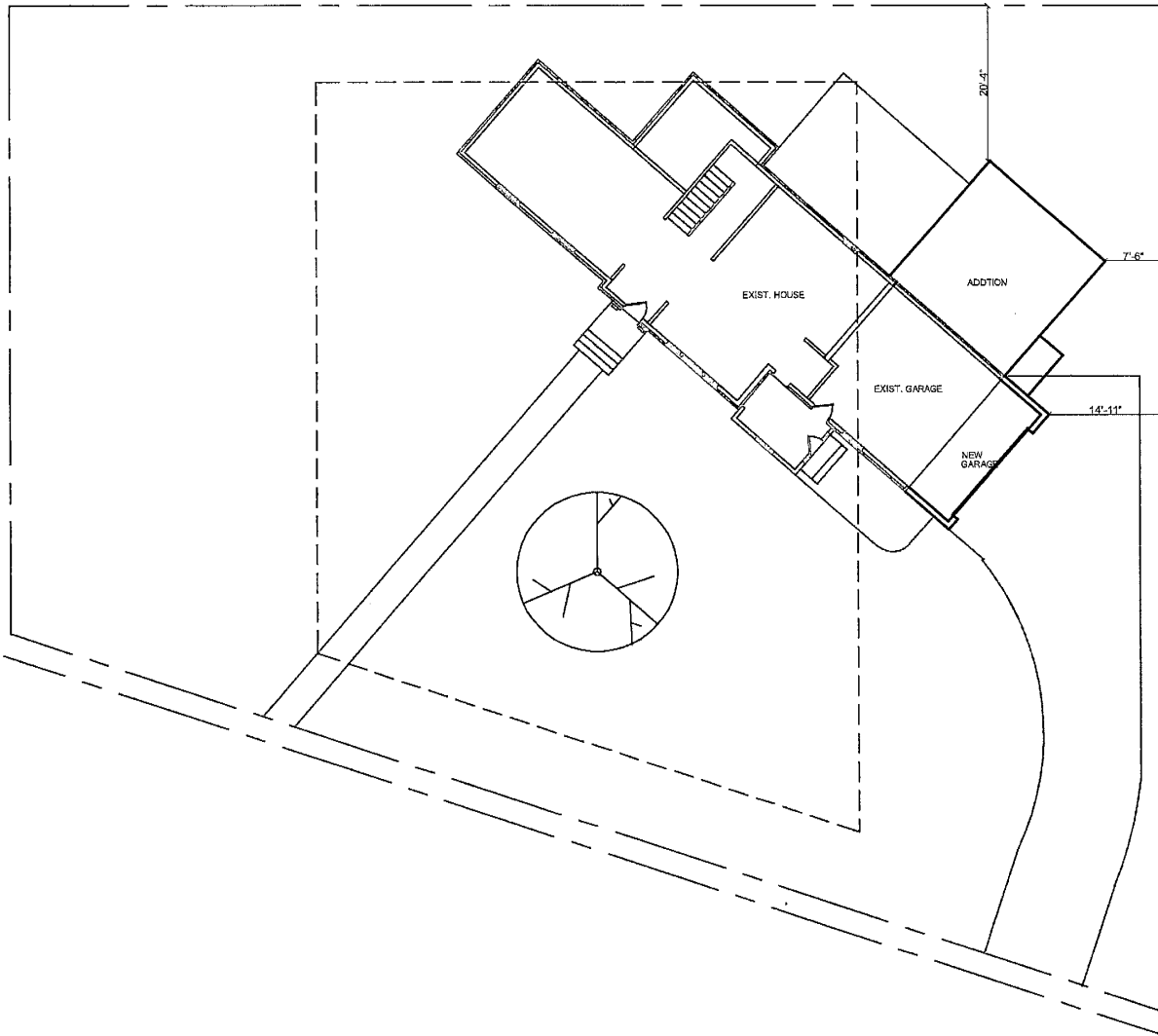
Owner Name Peggy Sammon & Joe Lobozzo Property Address 13000 Edgewater

Owner / Agent Contact (216) 570-6398 Margaret Sammon @ yahoo.com

Owner / Agent Signature Jill [Signature] Date: 1/22/2020

Office Use Only: Reviewed and Accepted by: [Signature] Date: 2/5/2020

Ordinance 22-00B Section 1325.05 Remarks _____

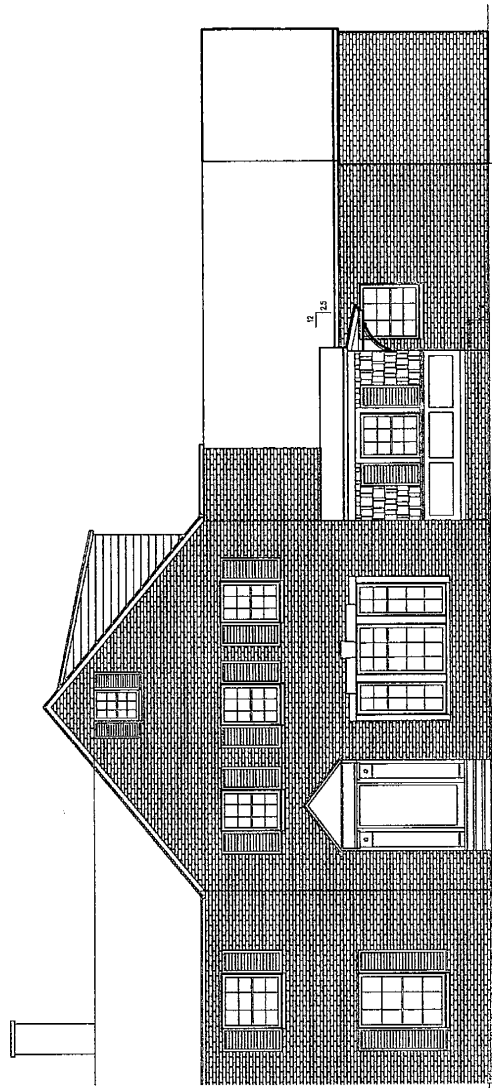


1 SITE PLAN
 C-1 SCALE: 1" = 20'-0"

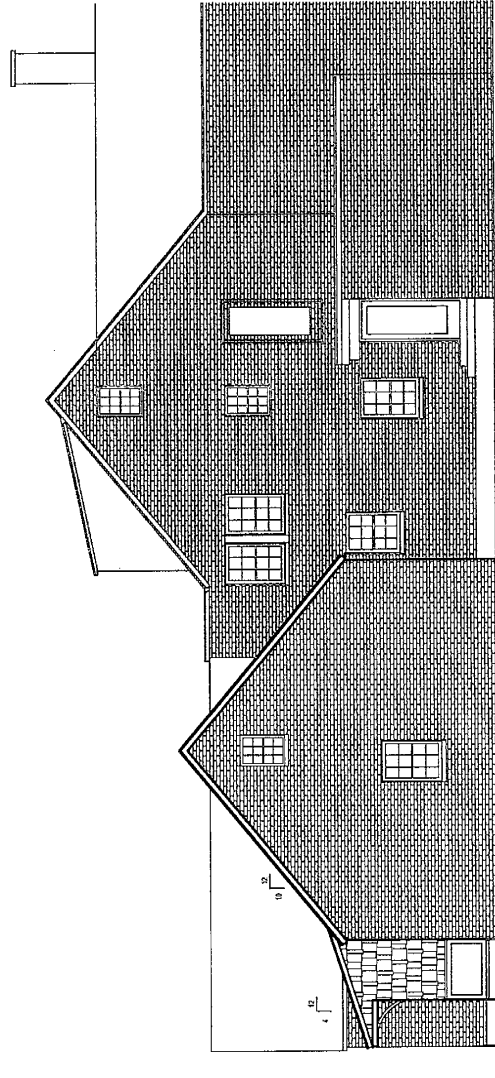


SAMMON-LOBOZZO RESIDENCE
 13000 EDGEWATER DR.

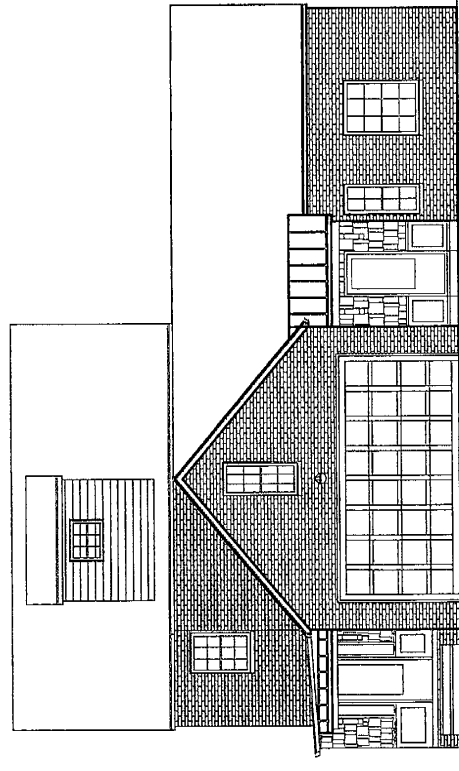
1/15/2020



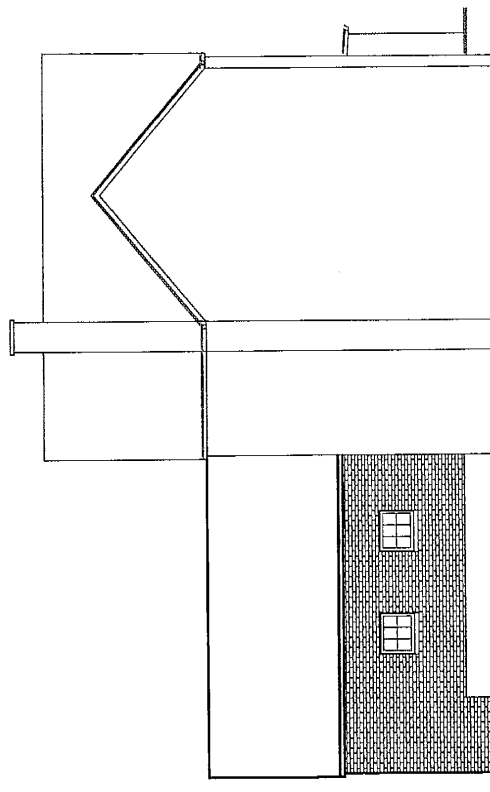
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

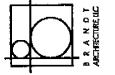


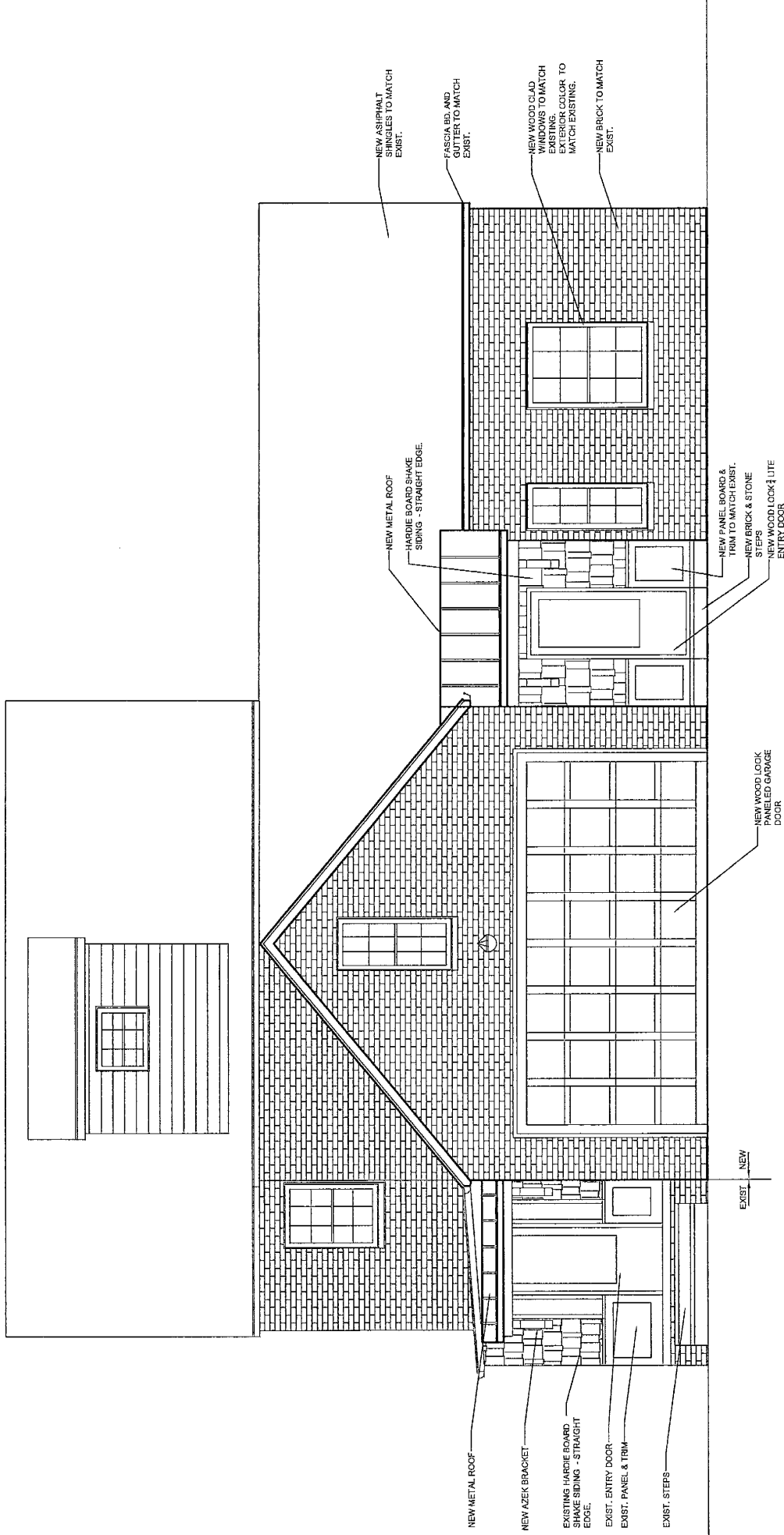
1 EAST ELEVATION OPT BRICK
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

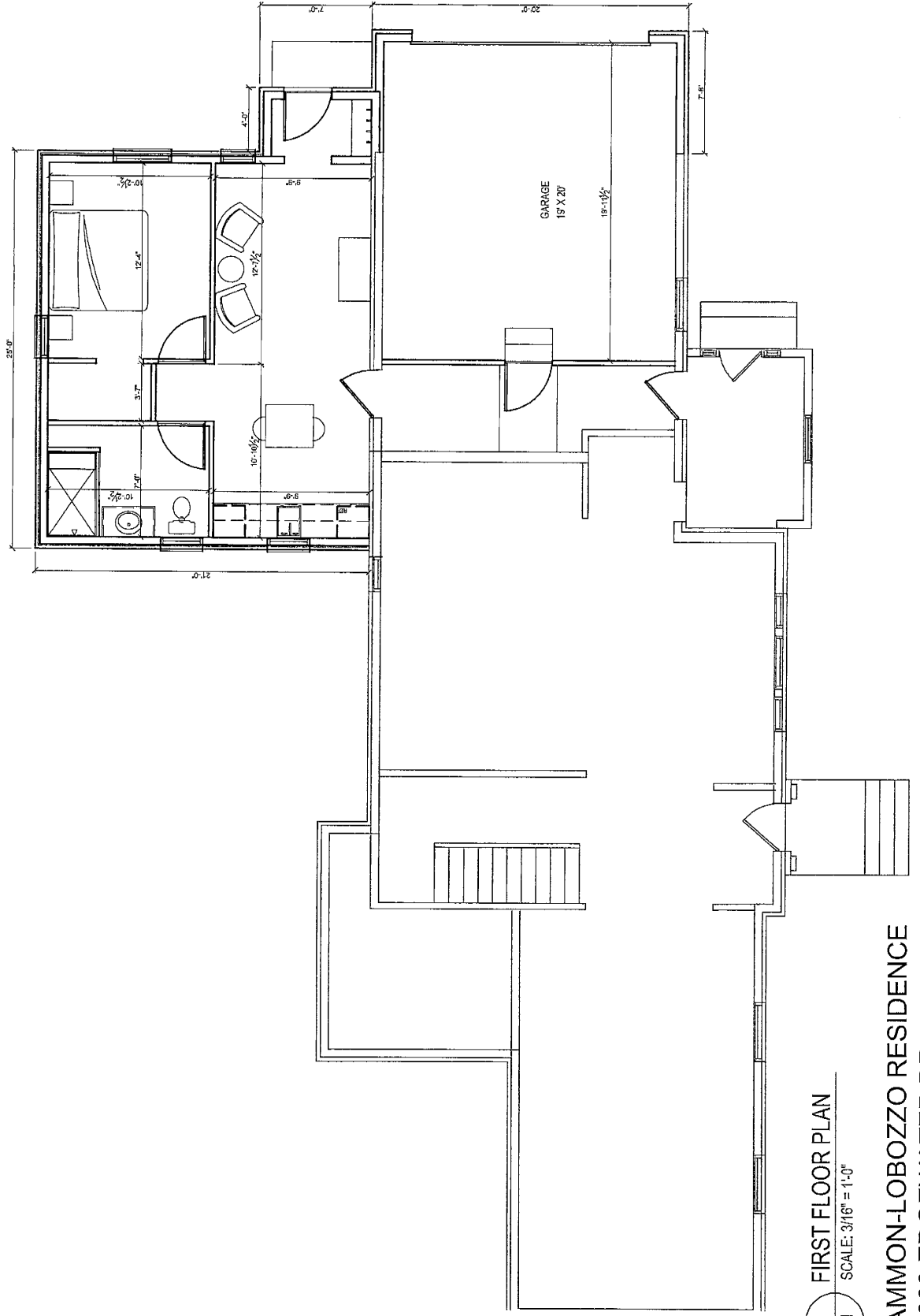
SAMMON-LOBOZZO RESIDENCE
13000 EDGEWATER DR.
1/18/2020





1 EAST ELEVATION
 A-2 SCALE: 1/4" = 1'-0"





1
A-1
FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

SAMMON-LOBOZZO RESIDENCE
13000 EDGEWATER DR.
 1/18/2020

ARCHITECTURE

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000006

DOCKET No. 02-10-20

FEE PAID _____ check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name KELLY RESIDENCE ADDITION Project Address 15409 EDGEWATER

Applicant Name T. MICHAEL TOMSIK Applicant Address 921 LITERARY RD
(if different than above) CLEVE. 44113

Applicant Contact (216) 346 - 0237 tmichael @ tomsik.com

Brief Project Description ADDITION ABOVE EXISTING STUDY. ADDITION

WILL BE A PORCH. ALL MATERIALS WILL MATCH EXISTING.

Signature: [Signature] Date: 01/27/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name NATHAN & KATIE KELLY Property Address 15409 EDGEWATER

Owner / Agent Contact (216) 346 - 0237 tmichael @ tomsik.com

Owner / Agent Signature [Signature] Date: 01/27/2020

Office Use Only: Reviewed and Accepted by: [Signature] Date: 2/5/2020

Ordinance 22-00B Section 1325.05 Remarks _____

January 27, 2019

City of Lakewood
Architectural Review Board
12650 Detroit Avenue
Lakewood, OH 44107

RE: Letter of Authorization for Michael Tomsik, Tomsik -Tomsik Architects/Planners, Ltd.

To Whom it May Concern:

I am writing to confirm that Michael Tomsik is authorized as the architect for the enclosed application for a bedroom addition at 15409 Edgewater Avenue, and that he is submitting this application on our behalf. We grant Michael Tomsik the authorization to act on our behalf as the property owners in this application.

Sincerely,

Katie and Nathan Kelly

W.R.WALLACE LLC
 Land Surveying Services
 www.wrwallacesurveying.com

1077 Middlefield Trail
 Brunswick, Ohio 44212
 (216) 789-4135

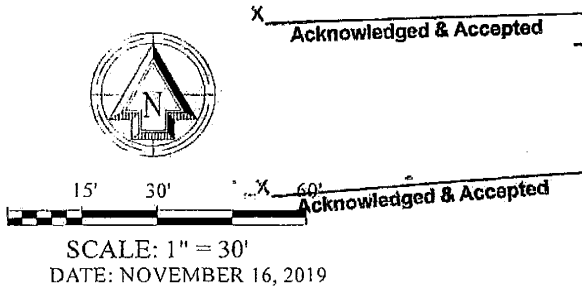


EVEREST LAND TITLE AGENCY, Ltd

PRESENT OWNER: FORTNER
 NEW OWNER: KELLY
 ORDER NO: 19-OH-5615
 IMPROVEMENTS: NONE

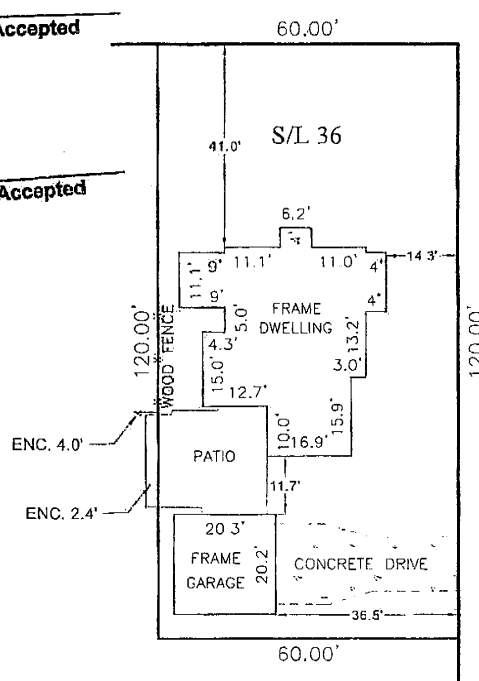
ADDRESS: 15409 EDGEWATER RIVE, LAKEWOOD, OHIO
 SUBLOT(S): 36
 ORIGINAL LOT NO(S): 22
 SUBDIVISION: THE SYLVANHURST SUBDIVISION
 ORIGINAL TOWNSHIP: BROOKLYN
 PLAT VOL. NO: 51 PAGE: 36
 RECORDED IN CUYAHOGA COUNTY RECORDS
 PERMANENT PARCEL NO:

EDGEWATER DRIVE 54'



ENCROACHMENT

SUBJECT'S FENCE ENCLOSES OVER THE WEST PROPERTY LINE BY 4.0' AS SHOWN
 SUBJECT'S PATIO ENCLOSES OVER THE WEST PROPERTY LINE BY 2.4' AS SHOWN



SYLVAN AVENUE 44'

I hereby declare that the building(s) situated in the described real estate are located on and within the boundaries of said premises unless shown otherwise. This survey was not performed for the purpose of establishing boundary lines, and should not be used as a boundary or land survey. This Mortgage Location Survey is in Accordance with the Ohio Administrative Codes 4733-38 and 4733-37.

William R. Wallace

WILLIAM R. WALLACE P.S.
 Registered Professional Surveyor No. 8288
 Job No. 11141



Thomas M. Tomash - License # 1890
 Expiration Date 02/27/2008
 ISSUED FOR: DATE:
 REVIEW: 01-27-2008

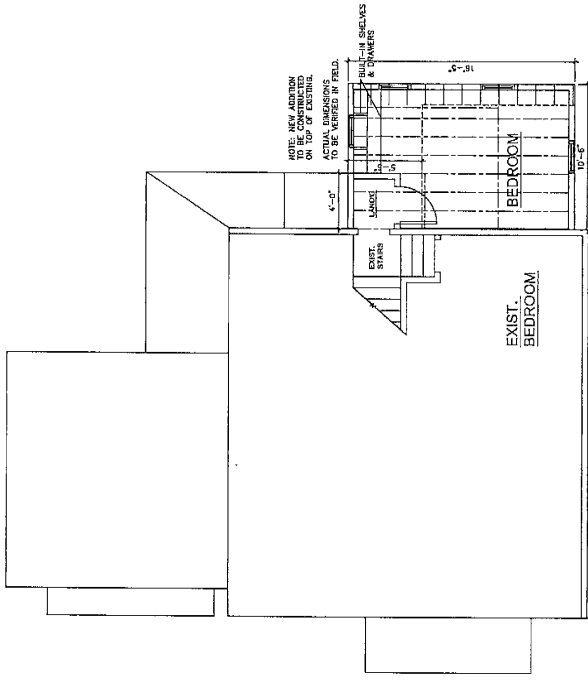
ADDITION TO
 SINGLE FAMILY HOME
 15409 EDGEWATER DRIVE
 LAKEWOOD, OHIO 44107

921 LITERARY ROAD
 CLEVELAND, OHIO 44113-4440
 216/781-7385 FAX 216/781-7387
 ARCHITECTS, INC.
 T O M S I K

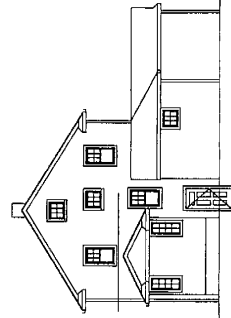
EXTERIOR ELEVATIONS
 FLOOR PLAN

A-1

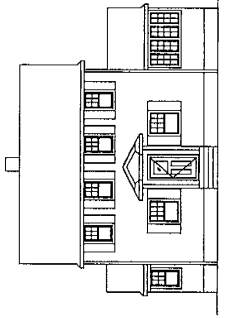
PROJECT NO. 2018-XX



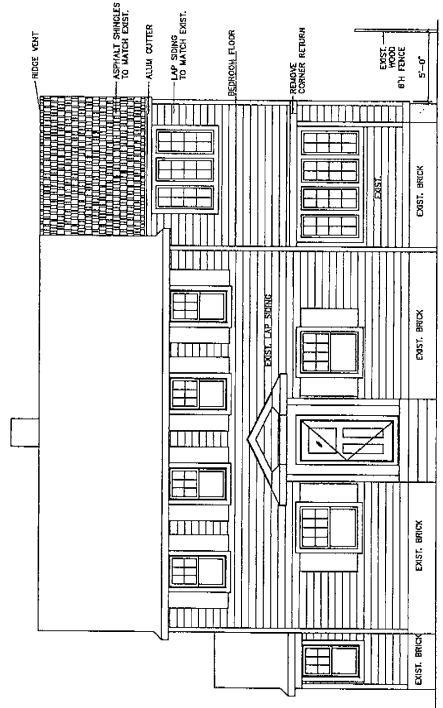
PROPOSED 2ND FLOOR PLAN
 1/4"=1'-0"
 NORTH



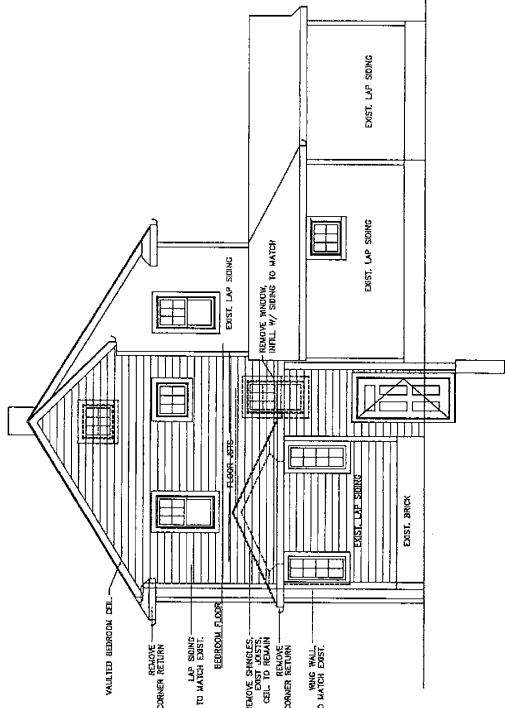
EXIST. WEST ELEVATION
 1/8"=1'-0"



EXIST. NORTH ELEVATION
 1/8"=1'-0"



PROPOSED NORTH ELEVATION
 1/4"=1'-0"



PROPOSED WEST ELEVATION
 1/4"=1'-0"



58



59



60

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000007

DOCKET No. 02-11-20

FEE PAID _____ CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Solar Installation

Project Address 1224 Edwards Ave, Lakewood, OH 44107

Applicant Name Azam Kazmi

Applicant Address 1925 St Clair Ave, NE Cleveland, OH 44114
(if different than above)

Applicant Contact (216) 309 - 0304

a.hakeem @ yellowlite.com

Brief Project Description Installation of 18 Silfab -320 NL Mono solar modules on the roof of the property

Signature: 

Date: 12-31-2019

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.


Are there any dog(s) on the property? Yes No

Owner Name April Stoltz

Property Address 1224 Edwards Ave, Lakewood, OH 44107

Owner / Agent Contact (216) 309 - 0304

a.hakeem @ yellowlite.com

Owner / Agent Signature 

Date: 12-31-2019

Office Use Only: Reviewed and Accepted by:  Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____



SIL-320 NL



60 Cell Monocrystalline PV Module



CHUBB

* Chubb provides error and omission insurance to Silfab Solar Inc.

INDUSTRY LEADING WARRANTY

All our products include an industry leading 25-year product workmanship and 30-year performance warranty.

35+ YEARS OF SOLAR INNOVATION

Leveraging over 35+ years of worldwide experience in the solar industry, Silfab is dedicated to superior manufacturing processes and innovations such as Bifacial and Back Contact technologies, to ensure our partners have the latest in solar innovation.

NORTH AMERICAN QUALITY

Silfab is the largest and most automated solar manufacturer in North America. Utilizing premium quality materials and strict quality control management to deliver the highest efficiency, premium quality PV modules 100% made in North America.



■ BAA / ARRA COMPLIANT

Silfab panels are designed and manufactured to meet Buy American Act Compliance. The US State Department, US Military and FAA have all utilized Silfab panels in their solar installations.

■ LIGHT AND DURABLE

Engineered to accommodate low load bearing structures up to 5400Pa. The light-weight frame is exclusively designed for wide-ranging racking compatibility and durability.

■ LOWEST DEFECT RATE

Total automation ensures strict quality controls during the entire manufacturing process at our ISO certified facilities. 48.18 ppm as per December 2018.

■ DOMESTIC PRODUCTION

Silfab Solar manufactures our PV modules in two automated locations within North America. Our 300+ North American team is ready to help our partners win the hearts and minds of customers, providing customer service and product delivery that is direct, efficient and local.

■ AESTHETICALLY PLEASING

All black sleek design, ideal for high-profile residential or commercial applications.

■ PID RESISTANT

PID Resistant due to advanced cell technology and material selection. In accordance to IEC 62804-1

Electrical Specifications		SIL-320 NL mono PERC	
Test Conditions		STC	NOCT
Module Power (Pmax)	Wp	320	242
Maximum power voltage (Vpmax)	V	32.88	29.59
Maximum power current (Ipmax)	A	9.74	8.18
Open circuit voltage (Voc)	V	40.10	37.09
Short circuit current (Isc)	A	10.32	8.46
Module efficiency	%	18.8	17.8
Maximum system voltage (VDC)	V		1000
Series fuse rating	A		20
Power Tolerance	Wp		-0/+10

Measurement conditions: STC 1000 W/m² • AM 1.5 • Temperature 25 °C • NOCT 800 W/m² • AM 1.5 • Measurement uncertainty ± 3%
 • Sun simulator calibration reference modules from Fraunhofer Institute. Electrical characteristics may vary by ±5% and power by -0/+10W.

Temperature Ratings		SIL-320 NL mono PERC	
Temperature Coefficient Isc	%/oC		0.064
Temperature Coefficient Voc	%/oC		-0.28
Temperature Coefficient Pmax	%/oC		-0.36
NOCT (± 2°C)	°C		45
Operating temperature	°C		-40/+85

Mechanical Properties and Components		SIL-320 NL mono PERC	
Module weight (± 1 kg)	kg		19
Dimensions (H x L x D; ± 1mm)	mm		1700 x 1000 x 38 mm
Maximum surface load (wind/snow)*	N/m ²		4000 Pa rear load / 5400 Pa front load
Hail impact resistance			Ø 25 mm at 83 km/h
Cells			60 - Si mono-PERC - 5 busbar - 158.75 x 158.75 mm
Glass			3.2 mm high transmittance, tempered, DSM anti-reflective coating
Backsheet			High durability, superior hydrolysis resistance, multi-layer dielectric film
Frame			Anodized Al (Black)
Bypass diodes			3 diodes, 20SQ040 (45V/20A)
Cables and connectors			1200 mm Ø 5.7 mm (4 mm ²), MC4 compatible (refer to installation manual)
Junction Box			UL 3730 Certified, IP67 rated

Warranties		SIL-320 NL mono PERC	
Module product workmanship warranty			25 years**
Linear power performance guarantee			30 years
		≥ 97% end 1 st year	≥ 90% end 12 th year ≥ 82% end 25 th year ≥ 80% end 30 th year

Certifications		SIL-320 NL mono PERC	
Product			ULC ORD C1703, UL 1703, IEC 61215, IEC 61730-1 and IEC 61730-2 Certified. FSEC and CEC listed. IEC 62716 Ammonia Corrosion, IEC 61701:2011 Salt Mist Corrosion Certified
Factory			UL Fire Rating: Type 2 ISO9001:2015

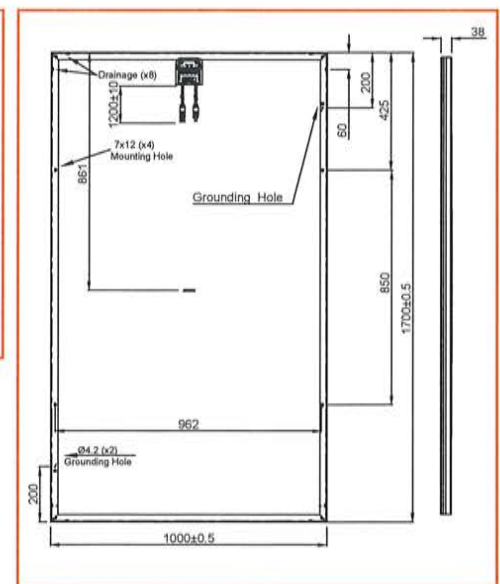
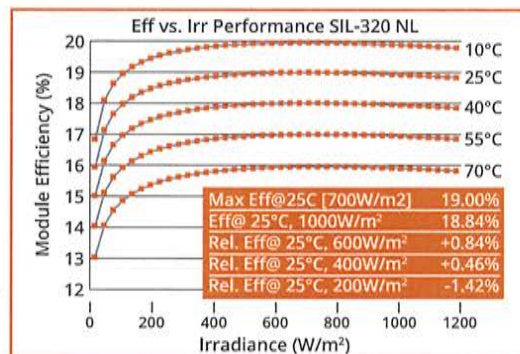
- Modules Per Pallet: 26
- Pallets Per Truck: 36
- Modules Per Truck: 936

*Please refer to the Safety and Installation Manual for mounting specifications.

**12 year extendable to 25 years subject to registration and conditions outlined under "Warranty" at www.silfabsolar.com.

▲ Warning: Read the Installation and User Manual before handling, installing and operating modules.

Third-party generated pan files from Fraunhofer-Institute for Solar Energy Systems ISE are available for download at: www.silfabsolar.com/downloads



Silfab Solar Inc.
 240 Courtneypark Drive East
 Mississauga ON L5T 2Y3 Canada
 Tel +1 905-255-2501 | Fax +1 905-696-0267
 info@silfabsolar.com | www.silfabsolar.com



Silfab Solar Inc.
 800 Cornwall Ave
 Bellingham WA 98225 USA
 Tel +1 360-569-4733

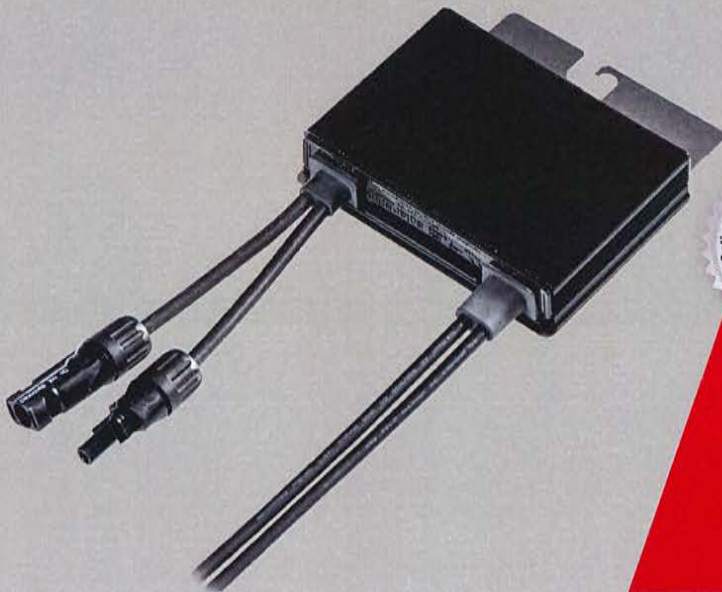




SolarEdge Power Optimizer

Module Add-On For North America

P300 / P320 / P400 / P405



POWER OPTIMIZER

PV power optimization at the module-level

- Up to 25% more energy
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch losses, from manufacturing tolerance to partial shading
- Flexible system design for maximum space utilization
- Fast installation with a single bolt
- Next generation maintenance with module-level monitoring
- Module-level voltage shutdown for installer and firefighter safety



SolarEdge Power Optimizer

Module Add-On for North America

P300 / P320 / P400 / P405

	P300 (for 60-cell modules)	P320 (for high-power 60-cell modules)	P400 (for 72 & 96-cell modules)	P405 (for thin film modules)	
INPUT					
Rated Input DC Power ⁽¹⁾	300	320	400	405	W
Absolute Maximum Input Voltage (Voc at lowest temperature)	48		80	125	Vdc
MPPT Operating Range	8 - 48		8 - 80	12.5 - 105	Vdc
Maximum Short Circuit Current (Isc)	10	11	10.1		Adc
Maximum DC Input Current	12.5	13.75	12.63		Adc
Maximum Efficiency				99.5	%
Weighted Efficiency				98.8	%
Overvoltage Category				II	
OUTPUT DURING OPERATION (POWER OPTIMIZER CONNECTED TO OPERATING SOLAREEDGE INVERTER)					
Maximum Output Current				15	Adc
Maximum Output Voltage	60			85	Vdc
OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM SOLAREEDGE INVERTER OR SOLAREEDGE INVERTER OFF)					
Safety Output Voltage per Power Optimizer				1	Vdc
STANDARD COMPLIANCE					
EMC	FCC Part15 Class B, IEC61000-6-2, IEC61000-6-3				
Safety	IEC62109-1 (class II safety), UL1741				
RoHS	Yes				
INSTALLATION SPECIFICATIONS					
Maximum Allowed System Voltage	1000				Vdc
Compatible inverters	All SolarEdge Single Phase and Three Phase inverters				
Dimensions (W x L x H)	128 x 152 x 27.5 / 5 x 5.97 x 1.08		128 x 152 x 35 / 5 x 5.97 x 1.37	128 x 152 x 48 / 5 x 5.97 x 1.89	mm / in
Weight (including cables)	760 / 1.7		830 / 1.8		gr / lb
Input Connector	MC4 Compatible				
Output Wire Type / Connector	Double Insulated; MC4 Compatible				
Output Wire Length	0.95 / 3.0		1.2 / 3.9		m / ft
Operating Temperature Range	-40 - +85 / -40 - +185				°C / °F
Protection Rating	IP68 / NEMA6P				
Relative Humidity	0 - 100				%

⁽¹⁾ Rated STC power of the module. Module of up to +5% power tolerance allowed.

PV SYSTEM DESIGN USING A SOLAREEDGE INVERTER ⁽²⁾	SINGLE PHASE	THREE PHASE 208V	THREE PHASE 480V	
Minimum String Length (Power Optimizers)	8	10	18	
Maximum String Length (Power Optimizers)	25	25	50	
Maximum Power per String	5250	6000	12750	W
Parallel Strings of Different Lengths or Orientations	Yes			

⁽²⁾ It is not allowed to mix P405 with P300/P400/P600/P700 in one string.



65

Single Phase Inverter with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US



Optimized installation with HD-Wave technology

- / Specifically designed to work with power optimizers
- / Record-breaking efficiency
- / Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- / Fixed voltage inverter for longer strings
- / Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- / UL1741 SA certified, for CPUC Rule 21 grid compliance
- / Extremely small
- / Built-in module-level monitoring
- / Outdoor and indoor installation
- / Optional: Revenue grade data, ANSI C12.20 Class 0.5 (0.5% accuracy)

/ Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/
SE7600H-US / SE10000H-US / SE11400H-US

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
APPLICABLE TO INVERTERS WITH PART NUMBER	SEXXXXH-XXXXXBXX4							
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5 ⁽¹⁾							Hz
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A
Power Factor	1, adjustable -0.85 to 0.85							
GFDI Threshold	1							A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes							
INPUT								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W
Transformer-less, Ungrounded	Yes							
Maximum Input Voltage	480							Vdc
Nominal DC Input Voltage	380				400			Vdc
Maximum Input Current @240V ⁽²⁾	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V ⁽²⁾	-	9	-	13.5	-	-	27	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600k ω Sensitivity							
Maximum Inverter Efficiency	99	99.2						%
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption	< 2.5							W

⁽¹⁾ For other regional settings please contact SolarEdge support

⁽²⁾ A higher current source may be used; the inverter will limit its input current to the values stated

/ Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/
SE7600H-US / SE10000H-US / SE11400H-US

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
ADDITIONAL FEATURES								
Supported Communication Interfaces	RS485, Ethernet, ZigBee (optional), Cellular (optional)							
Revenue Grade Data, ANSI C12.20	Optional ⁽³⁾							
Inverter Commissioning	with the SetApp mobile application using built-in Wi-Fi station for local connection							
Rapid Shutdown - NEC 2014 and 2017 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect							
STANDARD COMPLIANCE								
Safety	UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M-07							
Grid Connection Standards	IEEE1547, Rule 21, Rule 14 (HI)							
Emissions	FCC Part 15 Class B							
INSTALLATION SPECIFICATIONS								
AC Output Conduit Size / AWG Range	3/4" minimum / 14-6 AWG			3/4" minimum /14-4 AWG				
DC Input Conduit Size / # of Strings / AWG Range	3/4" minimum / 1-2 strings / 14-6 AWG			3/4" minimum / 1-3 strings / 14-6 AWG				
Dimensions with Safety Switch (HxWxD)	17.7 x 14.6 x 6.8 / 450 x 370 x 174			21.3 x 14.6 x 7.3 / 540 x 370 x 185				in / mm
Weight with Safety Switch	22 / 10	25.1 / 11.4	26.2 / 11.9	38.8 / 17.6			lb / kg	
Noise	< 25			<50			dB(A)	
Cooling	Natural Convection							
Operating Temperature Range	-40 to +140 / -40 to +60 ⁽⁴⁾						*F / °C	
Protection Rating	NEMA 4X (Inverter with Safety Switch)							

⁽³⁾ Revenue grade inverter P/N: SExxxxH-US000BNC4

⁽⁴⁾ Full power up to at least 50°C / 122°F; for power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>

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Attn: Corey Geiger, COO, IronRidge Inc.

Date: September 7th, 2018

Re: Structural Certification and Span Tables for IronRidge Flush Mount System

This letter addresses the structural performance and code compliance of IronRidge's Flush Mount System. The Flush Mount System is a proprietary rooftop mounting system used to support photovoltaic (PV) modules installed in portrait or landscape orientation and set parallel to the underlying roof surface. PV modules are supported by extruded aluminum XR Rails and secured to the rails with IronRidge mounting clamps. The XR Rails are side mounted to a selected roof attachment with 3/8" stainless steel bonding hardware and then attached directly to the roof structure or to a stanchion that is fastened to the underlying roof structure. Assembly details of a typical Flush Mount installation and its core components are shown in Exhibit EX-0015.

The IronRidge Flush Mount System is designed and certified to the structural requirements of the reference standards listed below, for the load conditions and configurations tabulated in the attached span tables.

- ASCE/SEI 7-10 Minimum Design Loads for Buildings and Other Structures (ASCE 7-10)
- 2015 International Building Code (IBC-2015)
- 2015 Aluminum Design Manual (ADM-2015)

The tables included in this letter provide the maximum allowable spans of XR Rails in the Flush Mount System for the respective loads and configurations listed, covering wind exposure categories B, C, & D, roof zones 1, 2 & 3, and roof slopes from 0° to 45°. The span tables are applicable provided that the following conditions are met:

1. *Span* is the distance between two adjacent roof attachment points (measured at the center of the attachment fastener)
2. The underlying roof pitch, measured between roof surface and horizontal plane, is 45° or less.
3. The *mean roof height*, defined as the average of the roof eave height and the roof ridge height measured from grade, does not exceed 30 feet.
4. Module length shall not exceed the listed maximum dimension provided for the respective span table and module width shall not exceed 48".
5. All Flush Mount components shall be installed in a professional workmanlike manner per IronRidge's *Flush Mount installation manual* and other applicable standards for general roof construction practice.

The parameters and adjustments allowed in the span tables are defined as the following:

1. The Flush Mount System is designed as a Risk Category II structure as defined by ASCE 7-10 Chart 1.5-1.
2. When designing with a roof slope not listed in the span tables, but no greater than 45°, the lesser of the two span values listed immediately below and above the desired slope shall be used. For instance, if one is designing to a roof slope of 12°, use the lesser of the two span values associated with 10° and 15°.
3. The wind speed selection shall conform to ASCE 7-10 Fig. 26.5-1A (Risk Category II wind) and any state & local county/city amendments to the IBC. No special wind topographic features are included in the span tables and the topographic coefficient (K_{zt}) is taken as 1.0.
4. The snow load used in the span tables is the *ground snow* and shall conform to ASCE 7-10 Fig. 7-1. If a more restrictive snow load is imposed by a local building code/amendment to the IBC, such snow load requirement shall also be complied with. If the local jurisdiction specified snow load is in the format of a flat roof snow load, it shall first be converted to a ground snow following the local building code/amendment before the application of the attached span tables. No special snow conditions are considered including unbalanced, drifting, sliding or ponding snow. Snow load conditions presented in the span tables do not include buildings which are intentionally kept below freezing, kept just above freezing, or unheated.
5. The span tables reflect the ASCE 7 prescribed earthquake loads with the maximum magnitudes being:
 - 1) For ground snow no greater than 42psf: $S_s \leq 2.0g$ for Site Class A, B, C, or D.
 - 2) For ground snow greater than 65psf: $S_s \leq 1.0g$ for Site Class A, B, C, or D.
 - 3) For ground snow between 42 and 65psf: $S_s \leq 1.5g$ for Site Class A, B, C, or D.
6. Roof zone size and definition conforms to ASCE 7-10 Fig. 30.4-2A.
7. Allowable span length in the charts may be multiplied by a factor of 1.08 if the rails are continuous over a minimum of three spans.
8. An array to roof clearance of 2" minimum must be provided.
9. The maximum cantilever length measured from the rail end to the nearest attachment point shall not exceed 40% of the *allowable span* provided for the respective load & configuration condition from the span tables.
10. No rail splices are allowed in the cantilever, outer 2/3 of end spans, or middle 1/3 of interior spans.
11. For shaded cells of the span tables, UFO Mid Clamps shall not be installed closer than 20" to the shaded cell's associated Roof Zone.
12. When a roof attachment listed in IronRidge's Flush Mount *installation manual* is considered, the span values provided in this letter can be adjusted using IronRidge's online Design Assistant by checking the capacity of the selected roof attachment against the reaction forces provided in Design Assistant.

13. Systems using CAMO module clamps shall be installed with the following guidance:

- 1) For single module installations (“orphan modules”) using modules with a length greater than 67.5”, CAMO clamps shall not be installed in regions that experience ground snow loads of 70psf and greater: such scenarios are shown by asterisks in the applicable span table.
- 2) CAMO will function within a module’s design load ratings. Be sure the specific module being used with CAMO is listed in IronRidge’s installation manual, is suitable for the environmental conditions of a particular project, and meets the dimensional requirements shown in the figure below.

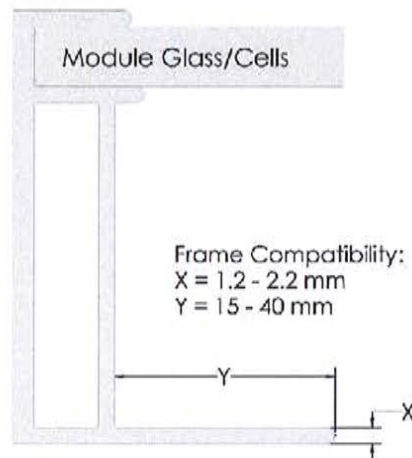


Figure 1: CAMO Module Frame Dimensional Requirements

The span tables provided in this letter are certified based on the structural performance of IronRidge XR Rails only with no consideration of the structural adequacy of the chosen roof attachments, PV modules, or the underlying roof supporting members. It is the responsibility of the installer or system designer to verify the structural capacity and adequacy of the aforementioned system components in regards to the applied or resultant loads of any chosen array configuration.

Sincerely,

A handwritten signature in blue ink that reads "Gang Xuan".

Date:

2018.09.18

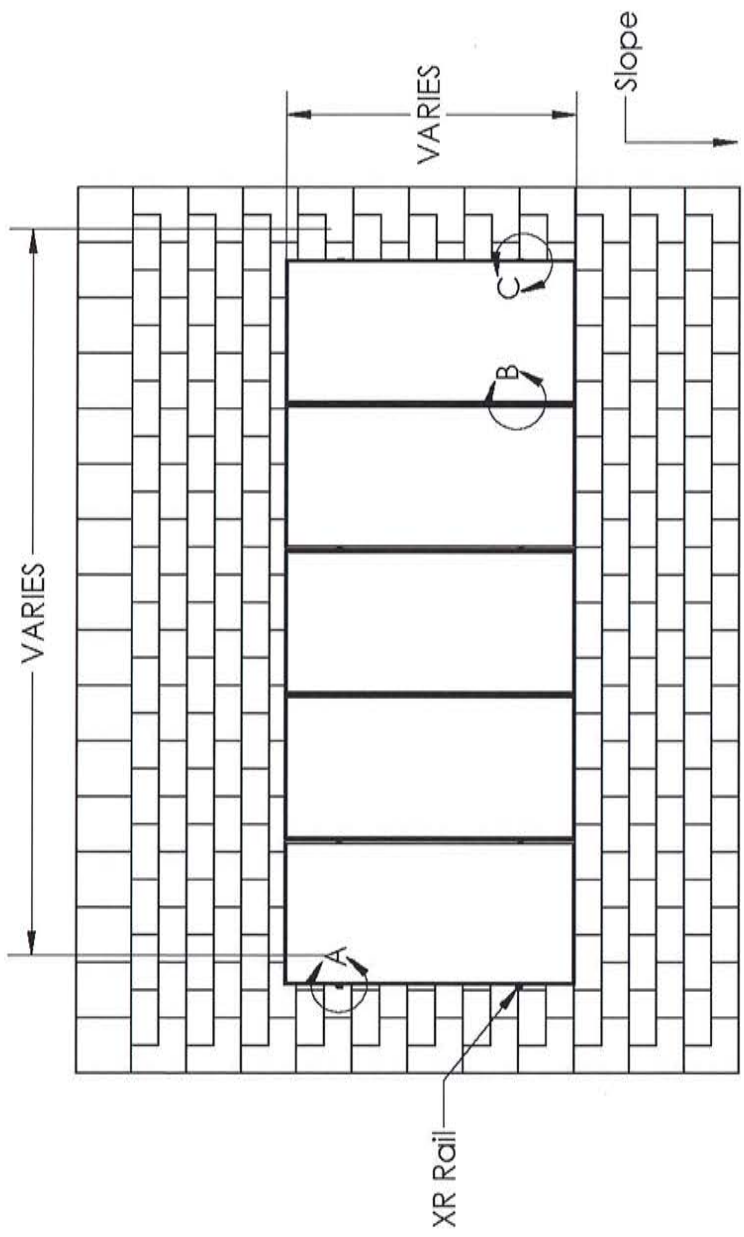
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Gang Xuan, PE, LEED AP
Senior Structural Engineer

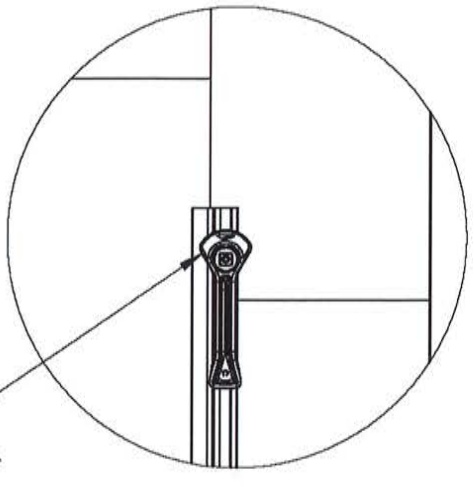
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05/25/2018

Module Mounting System
 Bonding End Clamp (CAMO)

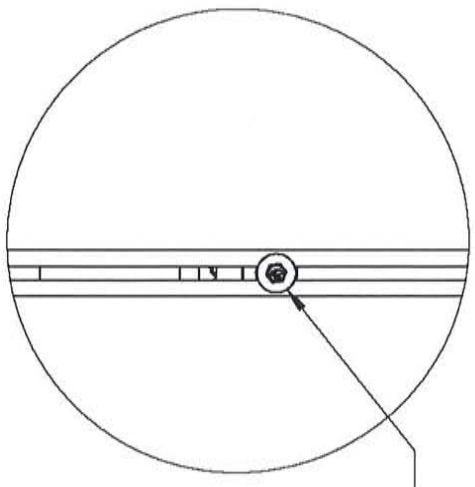


PLAN VIEW



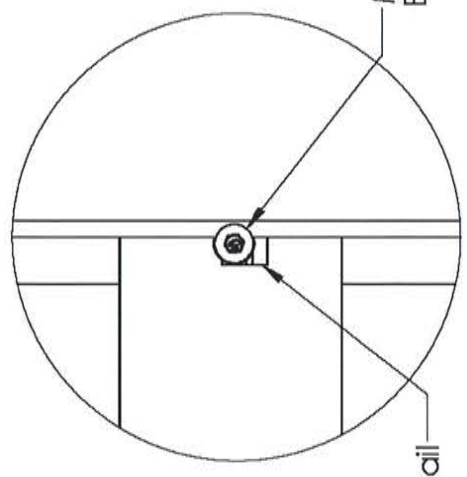
DETAIL C

(Module Removed for Clarity)



DETAIL B

Module Mounting System
 Bonding Mid Clamp



DETAIL A

Module Mounting System
 Bonding End Clamp (UFO)

XR Rail

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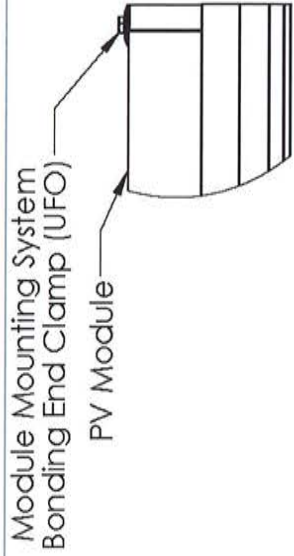
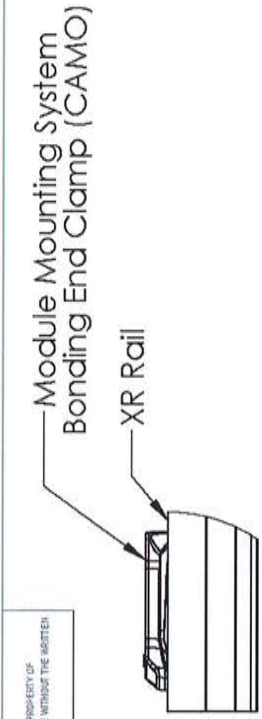


FLUSH MOUNT SYSTEM

SIZE DWG. NO. EX-0015

SCALE: NTS WEIGHT: N/A

SHEET 1 OF 3

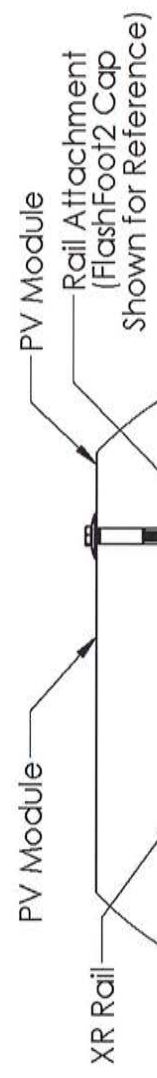
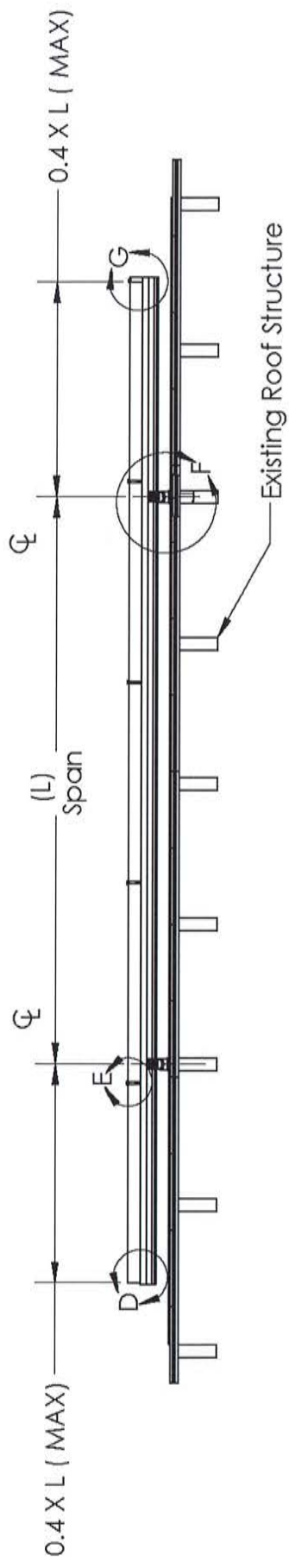


05/25/2018

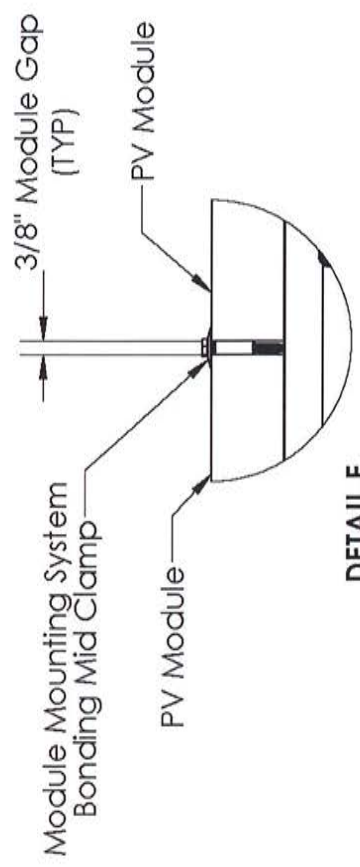
DETAIL D
 (Module Removed For Clarity)

DETAIL G

PLAN VIEW



DETAIL F



DETAIL E



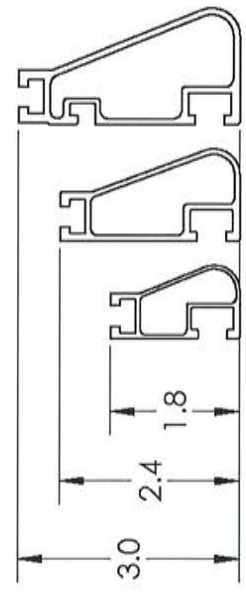
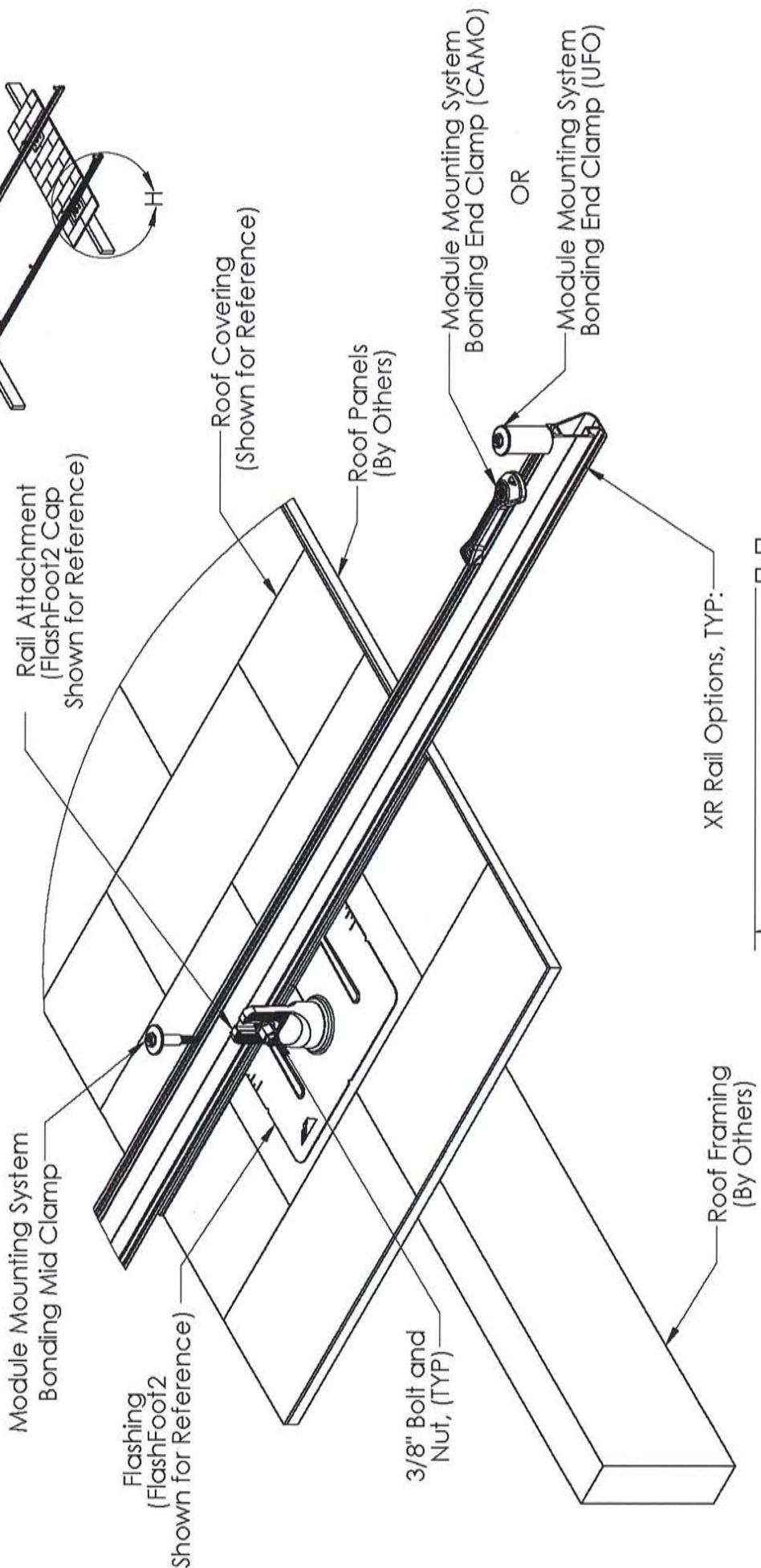
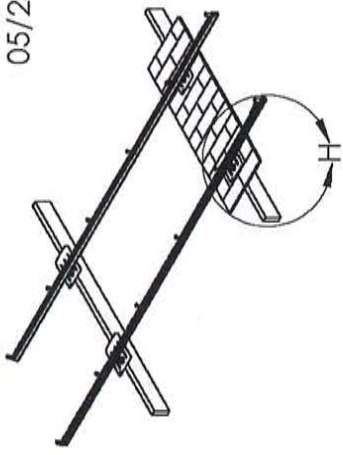
FLUSH MOUNT SYSTEM

SIZE	DWG. NO.	EX-0015
SCALE: NTS	VDG: H: N/A	SHEET 2 OF 3

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05/25/2018



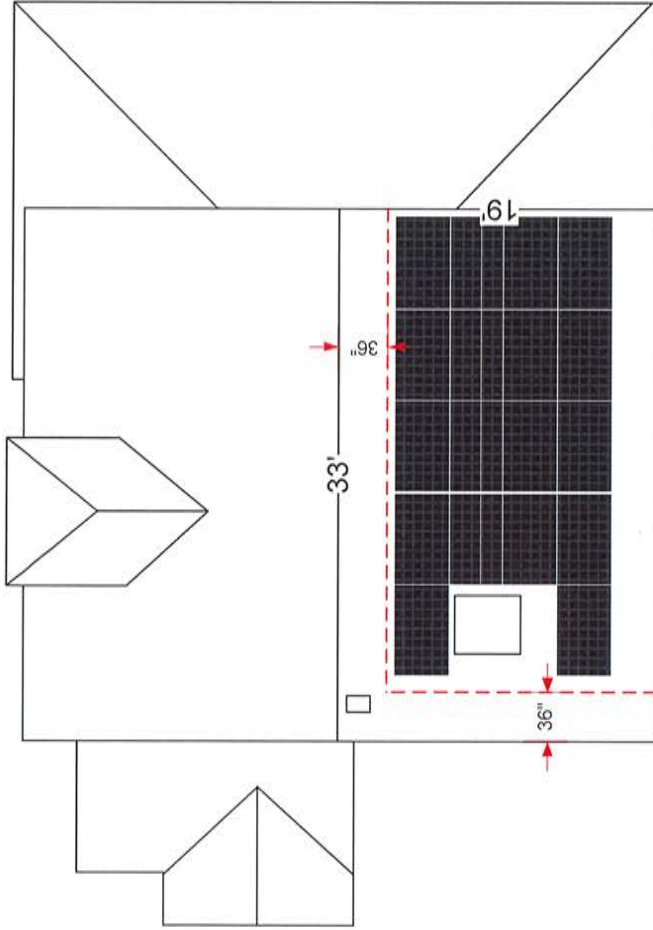
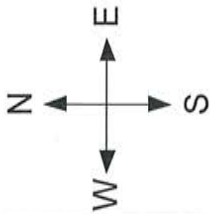
DETAIL H



FLUSH MOUNT SYSTEM

SIZE	DWG. NO.	WEIGHT: N/A	SHEET 3 OF 3
---	EX-0015		

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Roof 1: South
18 x Modules

Legend



Utility Meter &
AC Disconnect (TBD)

Inspection Notes for Crew

Silfab
SIL-320 NL



66.9 x 39.4 x 1.5 in

System Details:

- Residential 5.76kW grid tied (photovoltaic) system
- This system has been designed in accordance with all current and applicable NEC, OBC, and RCO codes
- Height of the Array: 3-4in above the roof, parallel to the roof
- Weight of the Array: Less than 4lbs/ft²
- Total Area of Array: 5.6ft x 3.3ft x 18 = 333 sq. ft.
- Weight of the Array on Roof: 41.4lbs x 18 = 745.2 lbs
- Stress of Array on entire roof: 745.2 lbs./333 sq.ft. = 2.24 lbs/sq. ft.
- No fencing or trenching would be needed with this project

SYSTEM: 18 x Silfab SIL-320 NL @ 320W – 5.76 kW • AZIMUTH: R1: 181° • PITCH: R1: 45°

Customer Signature

April Stoltz
1224 Edwards Ave,
Lakewood, OH 44107
PH: (216) 571-0282

PV Layout
5.76 kW Solar Photovoltaic
Project: 1070 – AS



PV Installation
Professional
Fida Aziz
Cert# PV-102216-015307



1925 St. Clair Ave NE
Cleveland, Ohio 44114
Phone: 216-333-1364
www.yellowlite.com

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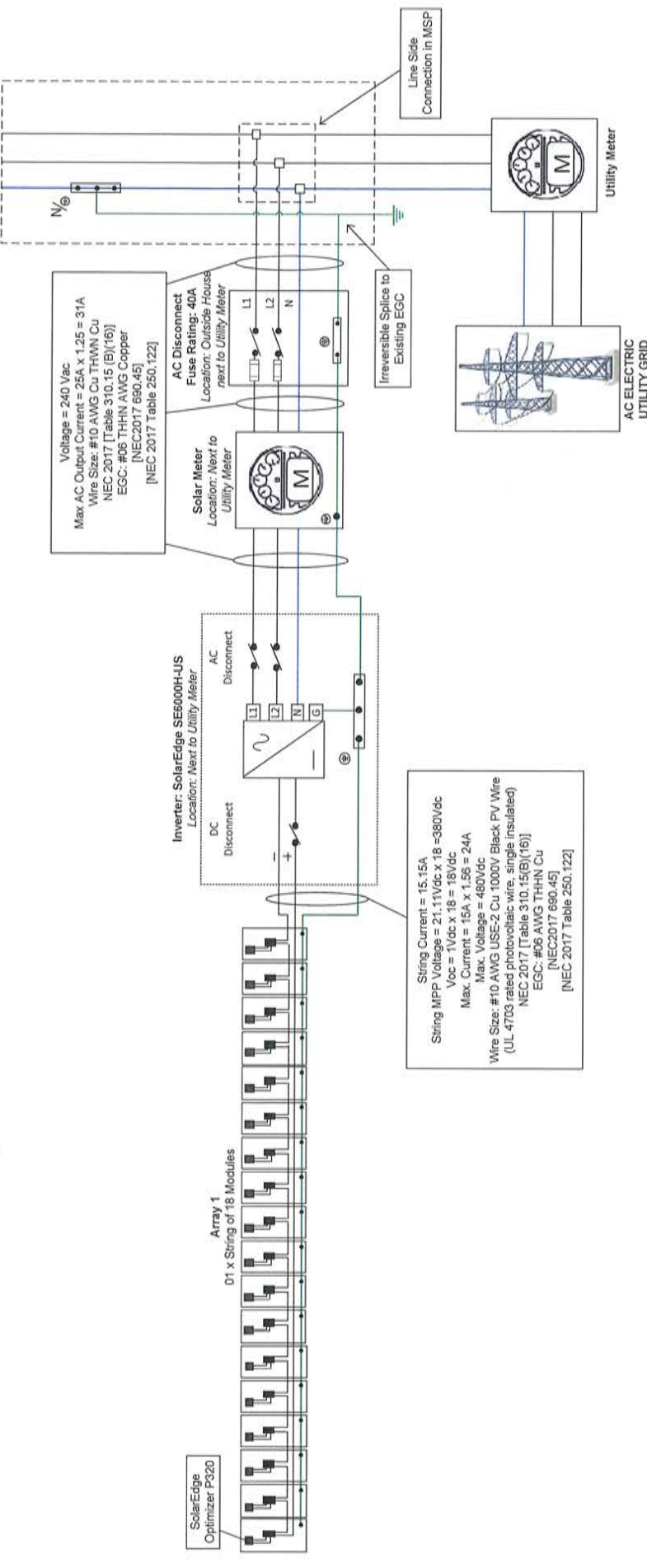
Module Specifications:
 Model: Silfab SIL-320 NL Mono
 Module Power (Pmax): 320W
 Maximum Power Voltage (Vpmax): 32.88V
 Maximum Power Current (Ipmax): 9.74A
 Open Circuit Voltage (Voc): 40.10V
 Short Circuit Current (Isc): 10.32A
 Module efficiency (%): 18.84
 Max Series Fuse Rating: 20A
 Power Tolerance: 0 / +10W
 Cell Type: Mono-crystalline
 Number of cells: 60
 Weight of Module: 19kg
 Dimensions (L x W x H mm): 1700 x 1000 x 38
 Listing: UL1703, UL1703, IEC 61215, IEC 61730-1 & IEC 61730-2 Certified, CEC Listed, UL Fire Rating: Type 2.

Inverter Specifications:
 Model: SolarEdge SE6000H-US (240)
 Nominal AC Power Output: 6000VA
 Max. AC Output Power: 6000VA
 AC Nom. Frequency @240V: 60Hz
 AC Max. Output Current @240V: 25A
 DC Max. Power: 9300W
 DC Max. Input Voltage: 480V
 Nom. DC Input Voltage: 380V @240V
 DC Max. Input Current: 16.3A
 Max. Input Short Circuit Current: 45A
 Peak Inverter Efficiency: 99.2%
 Weight: 25.3lb / 11.5kg
 Dimensions: W/H/D (in): 17.7 / 14.6 / 6.8
 Listing: UL1741, UL1741 SA, UL1699B, CSA C22.2
 Safety: NEMA3R / IP14,
 Grid Connection Standards: IEEE 1547, Rule 21, Rule 14 (HI)
 Emissions: FCC Part 15 Class B

Optimizer Specifications:
 Model: SolarEdge Optimizer P320
 Rated Input DC Power: 320W
 Absolute Maximum Input Voltage: 48V
 MPPT Operating Range: 8-48V
 Maximum Short Circuit Current: 11A
 Maximum DC Input Current: 13.75A
 Maximum efficiency (%): 99.5%
 Maximum Output Current: 15A
 Maximum Output Voltage: 60V
 Safety Output Voltage per Optimizer: 1V
 Dimensions (W x L x H) in: 5 x 5.97 x 1.08
 Weight of Module: 1.7 lbs.
 Connector Type: MC4 Compatible
 Protection Rating: IP68 / NEMA6P
 Listing: FCC Part 15 Class B, IEC61000-6-2, IEC61000-6-3, IEC62109-1 (class II safety), UL1741

System Specifications:
 System Type: Grid-Tied
 Mounting Method: Roof-Top
 Power rating of system: 5.76 kW
 Number of panels: 18
 Number of inverters: 1
 Online Monitoring: Wireless Zigbee

AC Disconnect:
 Model: Eaton DG222NRB, 2-Pole, NEMA 3R
 Rating: 60A, 240 VAC
 Type: Fusible Fuse Rating: 40A
 Dimensions: H: 14.38", W: 6.69", D: 4.21"
 Compliant with 690.13(B) & (C) and 690.15(A) & (B)



Grounding will be done via IronRidge Grounding Mid-clamps and WEEB Bonding Jumpers so the rail and panels will be continuously grounded. Rapid shut down is included in Inverter and Optimizers. See the attached files. The load center/disconnect will be visible, lockable, accessible to utility linemen and will be properly labeled as per NEC requirements. It will be located on the exterior wall of the building.



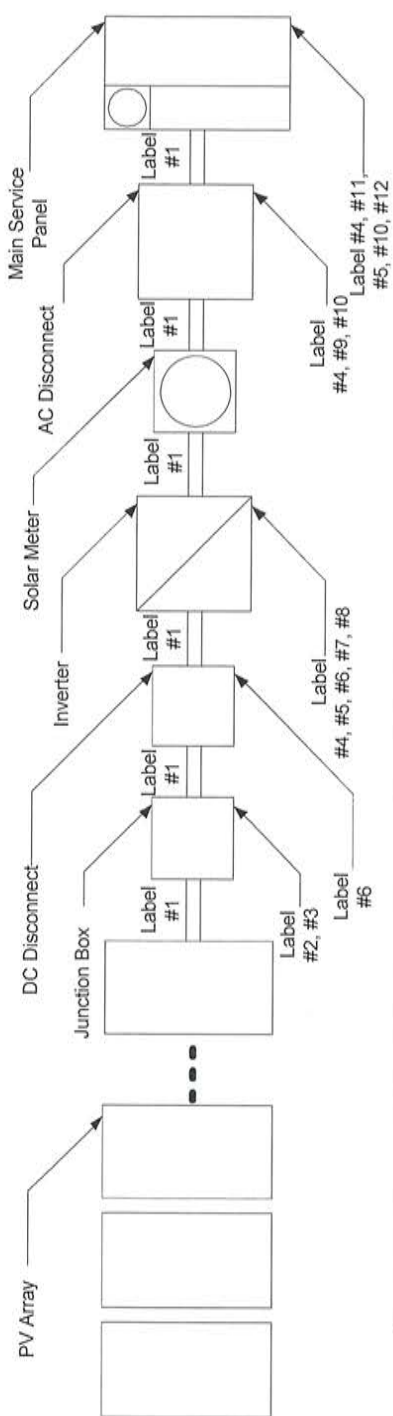
April Stoltz
 1224 Edwards Ave,
 Lakewood, OH 44107

Three Line Diagram
 5.76 kW Solar Photovoltaic
 Project: 1070 - AS

NABCEP CERTIFIED
 PV Installation Professional
 Fida Aziz
 Cert# PV-102216-015307

Confidential Information: The contents of this document are subject to Non-Disclosure Agreement and shall not be disclosed.

77



LABELS

PV Installation Professional
Fida Aziz
Cert# PV-102216-015307

Confidential Information: The contents of this document are subject to Non-Disclosure Agreement and shall not be disclosed.

April Stoltz
1224 Edwards Ave,
Lakewood, OH 44107

Three Line Diagram
5.76 KW Solar Photovoltaic
Project: 1070 - AS

1925 St. Claire Ave NE
Cleveland, Ohio 44114
Phone: 216-333-1364
www.yellowlite.com

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000002

DOCKET No. 02-12-20

FEE PAID _____ cash

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Front Porch

Project Address 1310 Gladys Ave

Applicant Name Cristos Kallas

Applicant Address 22701 Center Ridge RD. APT 214
(if different than above) Rocky River, OH 44116

Applicant Contact (440) 454-1973

Cristokallas @ gmail.com

Brief Project Description Buildig the front porch

Signature: 

Date: 1/29/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.


Are there any dog(s) on the property? Yes No

Owner Name Cristo Kallas

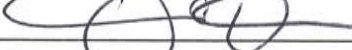
Property Address 1310 Gladys Ave

Owner / Agent Contact (440) 454-1973

@ _____

Owner / Agent Signature 

Date: 1/29/2020

Office Use Only: Reviewed and Accepted by: 

Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____



DIVISION OF HOUSING AND BUILDING
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107 • 216/529-6270 • FAX 216/529-5930
Website: www.onelakewood.com

JOSEPH A. MEYERS
BUILDING COMMISSIONER
216/529-6293

CHRISTOPHER S. PARMELEE
ASSISTANT BUILDING COMMISSIONER
216/529-6295

MARK D. JEWITT
PROPERTY MAINTENANCE SUPERVISOR
216/529-6291

CERTIFICATE OF PLAN APPROVAL

APPLICATION NUMBER: RB19-000662

Property Address 1310 GLADYS AVE
Parcel Number 31214039
Project Description Alterations to front porch per plans.
Approval Date January 27, 2020

OWNER

KALLAS, CRISTOS G.
1310 GLADYS AVE
LAKEWOOD, OH 44107-2512
440-454-1973

Conditions of Approval

1. Apply for and obtain Lakewood Architectural Board of Review (ABR) approval [Lakewood Codified Ordinances (LCO) Part Thirteen, Title Three, Chapter 1325]. Application deadline's 12/24/19 for 1/2&9/20 meetings. Application form's on Lakewood's website at http://www.onelakewood.com/wp-content/uploads/2019/12/2020_ABR-Application-Fillable.pdf Staff member assigned to Lakewood ABR's David Baas, ph 216-529-6637, e-mail David.Baas@lakewoodoh.net

This approval certifies that submitted construction documents are approved in conformance with Section 105 of the Residential Code of Ohio, subject to the conditions specified above.

Christopher Parmelee
Assistant Building Commissioner

This certificate and one set of approved drawings, manufacturers' installation instructions and product information shall be kept at the work site and available for use by inspectors.

If work specified in this plan approval is not commenced within twelve (12) months of the approval date it shall expire. One extension shall be granted for an additional twelve-month period if requested by the owner at least ten days in advance of the expiration of the approval.

If substantive changes to the building are contemplated during construction, those changes must be submitted to the residential building official for review and approval prior to those changes being executed. 90

THIS DOCUMENT IS ONLY TO CERTIFY APPROVAL OF THE CONSTRUCTION DOCUMENTS IN CONFORMANCE WITH THE RESIDENTIAL CODE OF OHIO AND IS NOT A PERMIT TO START WORK. PERMITS MUST BE OBTAINED IN CONFORMANCE WITH THE LAKEWOOD CODE OF ORDINANCES BASED UPON THIS PLAN APPROVAL.

81

Google Maps 1309 Gladys Ave



Image capture: Aug 2017 © 2020 Google

Lakewood, Ohio

Google

Street View

82

Google Maps 1309 Gladys Ave



Image capture: Jun 2011 © 2020 Google

Lakewood, Ohio

Google

Street View

83

Google Maps 1319 Gladys Ave



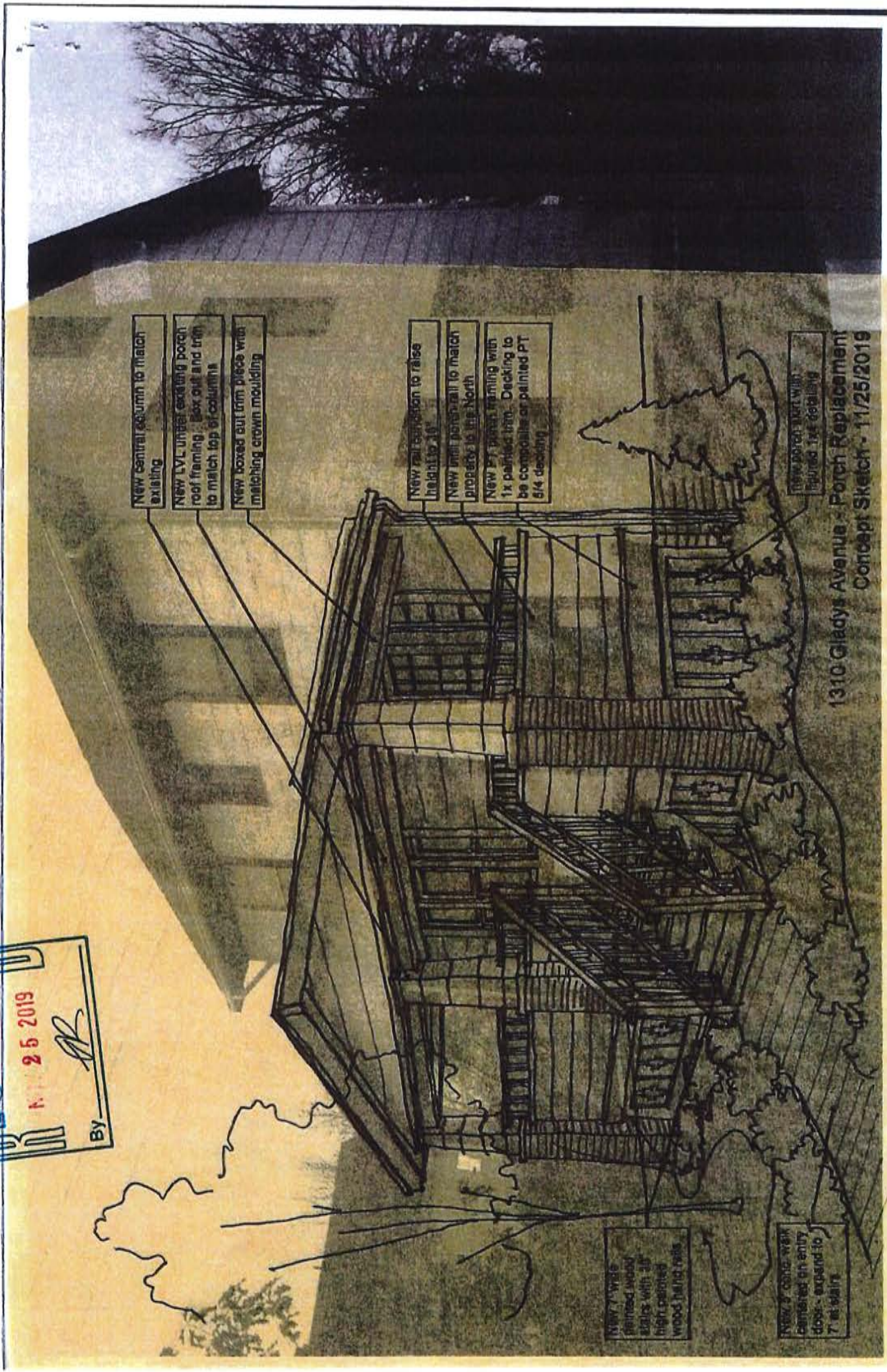
Lakewood, Ohio

Google

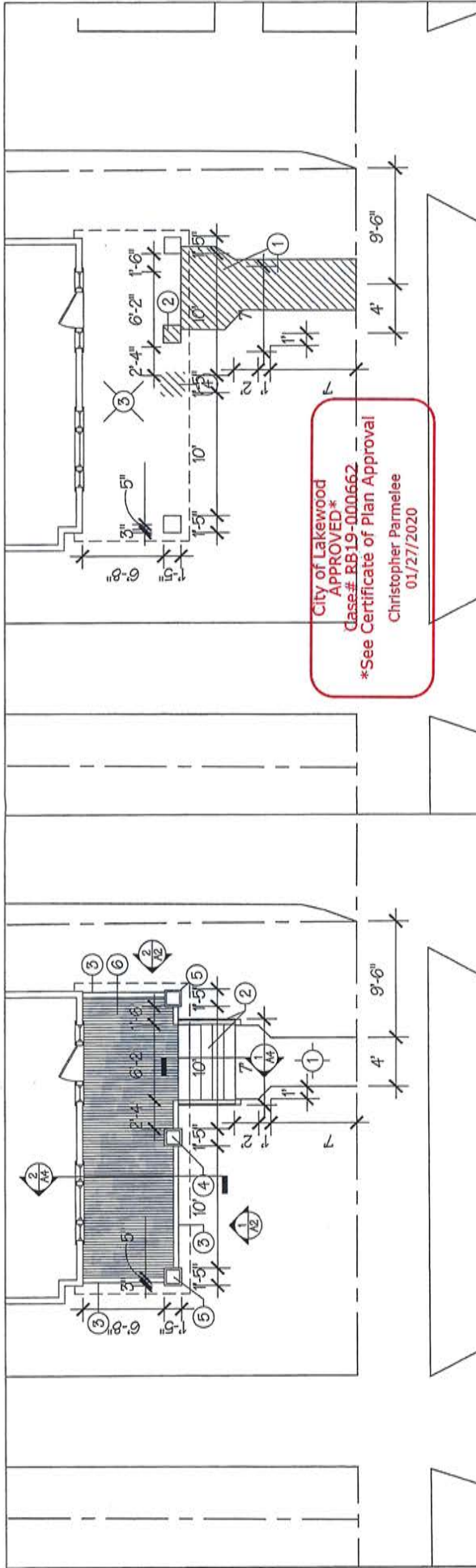
Street View

84

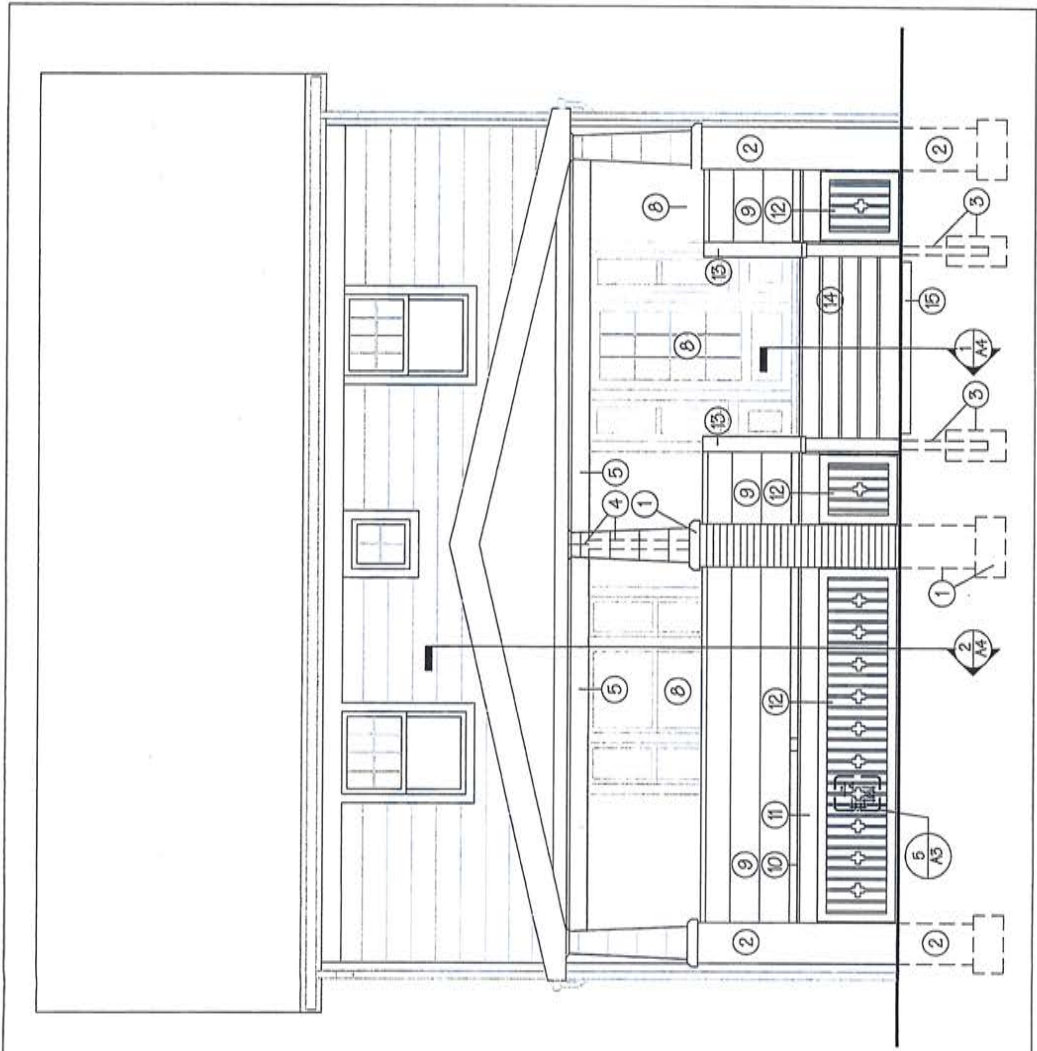
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NOV 25 2019
By: *AR*



1310 Gladys Avenue - Porch Replacement
Concept Sketch - 11/25/2019



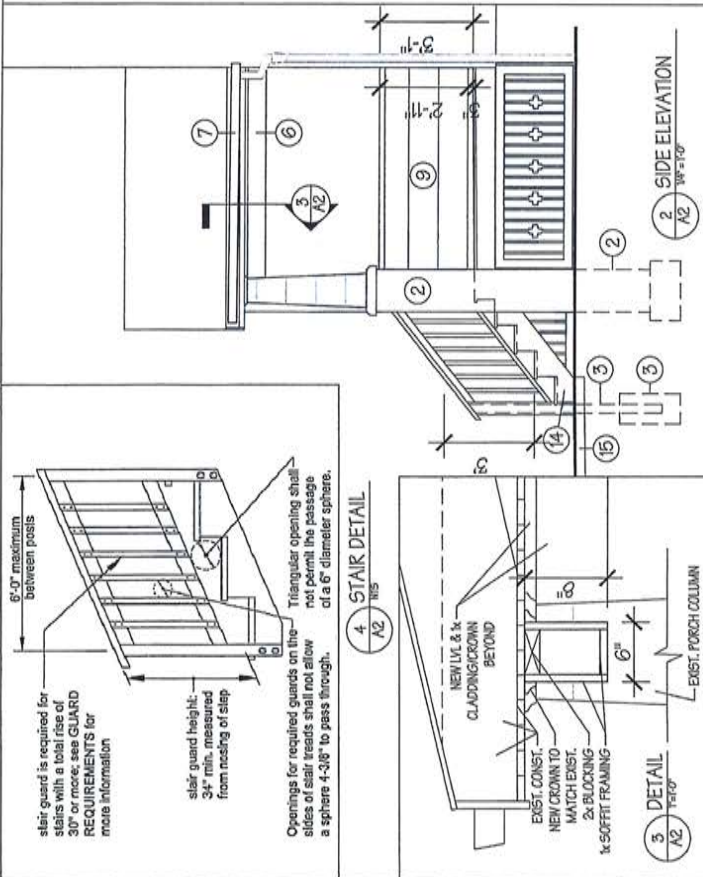
<p>PROJECT INFORMATION:</p> <p>OWNER: CHRISTOPHER G. KALLAS 1310 GLADYS AVE LAKENWOOD, OH 44107 (440) 464-1973</p> <p>DESIGNER: JIM PTACEK LITTLE BIRD DESIGN, LLC 1687 BUNTS ROAD #2 LAKENWOOD, OH 44107 jptacek@lbd.com 216.544.3647</p>	<p>PROJECT INFORMATION:</p> <p>1310 GLADYS AVENUE LAKENWOOD, OHIO 44107 PPN: 212-14-039</p> <p>CONST. TYPE: V6 USE GROUP: R2 SQ. FT. NEW: 248 SF SQ. FT. RENO: 200 SF</p> <p>FLOOR LIVE LOAD: 40 PSF FLOOR DEAD LOAD: 10 PSF ROOF LIVE LOAD: 50 PSF GROUND SNOW LOAD: 50 PSF WIND LOAD: 20 PSF WIND SPEED: 90 MPH WIND EXPOSURE CAT: B SEISMIC DESIGN CAT: B SOIL BEARING PRESSURE: 2000 PSF (MIN)</p>	<p>DEMO PLAN 1/8" = 1'-0"</p> <p>PROPOSED PLAN 1/8" = 1'-0"</p> <p>2 SITE VICINITY MAP</p> <p>3 DEMO PLAN 1/8" = 1'-0"</p> <p>4 PROPOSED PLAN 1/8" = 1'-0"</p>	<p>PROPOSED NOTES:</p> <ol style="list-style-type: none"> REMOVE EXIST. WALK & PORTION OF NEW POURED SIDEWALK BACK TO MAIN SIDEWALK. PREP AREA FOR NEW WALK TO ALIGN WITH EXIST. CURB ON MAIN FOUNDATION AS REQD. CONTRACTOR OPTION TO SALVAGE BRICK FOR NEW COLUMN LOCATION. SWEETEN UP FOR REUSE AT NEW COLUMN. REMOVE EXIST. PORCH FRAMING, STAIRS, RAILING & FLOORING HAS PREVIOUSLY BEEN REMOVED. EXCAVATE FOR NEW FOUNDATION FOR NEW WOODSPAN COLUMN LOCATION. <p>PROPOSED NOTES:</p> <ol style="list-style-type: none"> PROVIDE NEW 4" CONC. WALK W/ 616 #4 W/ 4" COMPACTED GRAVEL BASE. EXPANSION JOINTS AT MAX 5'-0" (OR COMPOSITE). NEW FT. 2x4 LUMBER STAIR STRINGERS WITH FT RIBBERS & TREADS (OR COMPOSITE) FOR NEW STAIRS. PROVIDE NEW FT RAILING TO MATCH EXIST. WITH RAILING ABOVE. MATCH SOING TO EXISTING HOUSE. NEW LON PORCH WALL WITH RAILING ABOVE. MATCH SOING TO EXISTING HOUSE. NEW BRICK PORCH COLUMN - MATCH TO EXISTING CONSTRUCTION. USE EXIST. C&P STONE. PROVIDE NEW TAPERED COLUMN TO MATCH EXISTING COLUMN TO REMAIN. NEW BRICK COLUMN - MATCH TO EXISTING CONSTRUCTION. USE EXIST. C&P STONE. PROVIDE NEW TAPERED COLUMN. NEW PORCH FLOOR FT. 1x6 OR COMPOSITE OVER NEW FT PORCH FRAMING.
<p>SCOPE OF WORK:</p> <p>REPLACE PORCH FRAMING & FLOORING. ADD NEW STRUCTURAL SUPPORTS TO EXISTING PORCH ROOF FRAMING. ADD NEW PILLASTER & FOUNDATION & ADD NEW STAIR & WALK TO EXISTING PUBLIC SIDEWALK. NOTE EXISTING PORCH FRAMING, DECK & STAIRS HAS PREVIOUSLY BEEN REMOVED.</p>		<p>LIST OF DRAWINGS:</p> <p>A1 COVER SHEET - SITE / LOCATION PLAN / DEMO & FLOOR PLANS, CODE INFO. A2 ELEVATION & DETAILS A3 FRAMING PLAN & DETAILS A4 SECTIONS & DETAILS</p>	
<p>REVISIONS:</p> <p>1 2 3 4</p>		<p>ISSUED FOR PERMIT 8 JANUARY 2020</p>	
<p>1310 GLADYS AVENUE PORCH REPLACEMENT</p>		<p>1 SITE PLAN 1/8" = 1'-0"</p>	
<p>RECEIVED JAN 21 2020 By RB 19-000662</p>		<p>RECEIVED JAN 21 2020 By RB 19-000662</p>	
<p>LITTLE BIRD DESIGN</p>		<p>A1 LOCATION MAP, SITE PLAN, PORCH & ROOF PLANS & NOTES</p>	



1 FRONT ELEVATION
A2 VP=10°

A2
ELEVATIONS &
DETAILS

ISSUED FOR PERMIT
8 JANUARY 2020



slat guard is required for stairs with a total rise of 30° or greater. SEE CODE REQUIREMENTS for more information.

slat guard height: 3" min. measured from nosing of step

Triangular opening shall not permit the passage of a 4-3/8" sphere to pass through.

1 STAIR DETAIL
A2 N/S

2 SIDE ELEVATION
A2 VP=10°

3 DETAIL
A2 TH=10°

PROPOSED NOTES

1. NEW 24" x 24" x 12" CONCRETE FOUNDATION - 3'-6" DEEP. PROVIDE NEW CHAIRBRICK COLUMN TO MATCH EXIST. RE-USE EXIST. STONE CAP AT EXIST. MASONRY PER TO REMAIN.
2. NEW 12" DIA. FOUNDATION - MIN. 3'-6" BELOW GRADE - MIN. 2" HIGH. EMBED 4x4 PT POST MIN. 1' - OPTIONAL SIMPSON ATTACHMENT.
3. NEW PORCH POST - MATCH EXISTING EXTERIOR. NEW 4x4 PT STRUCTURAL POST - ANCHOR WITH SIMPSON ANCH44Z TO TOP OF MASONRY PER. PROVIDE SIMPSON BC52-24XZ POST CAP TO ANCHOR TOP OF POST TO NEW LVL SUPPORT BEAMS.
4. NEW 2x4 FRAMING - 15/16" x 7/16" MODULAM LVL. SPAN BETWEEN EXISTING AND NEW POSTS.
5. NEW 1/2" x 1/2" x 1/2" NEW FRAMING - PROVIDE TAG TREATED WOOD, COMPOSITE OR SIMILAR MATERIAL. PAINT OR SEAL AS REQ'D BY FINAL MATERIAL SELECTION.
6. NEW 1/2" x 1/2" x 1/2" NEW FRAMING - PROVIDE TAG TREATED WOOD, COMPOSITE OR SIMILAR MATERIAL. PAINT OR SEAL AS REQ'D BY FINAL MATERIAL SELECTION.
7. RE-USE EXIST. OSB & GYPSUM - REPLACE AS REQ'D BY EXIST. CONDITIONS.
8. NEW 1/2" x 1/2" x 1/2" NEW FRAMING - PROVIDE TAG TREATED WOOD, COMPOSITE OR SIMILAR MATERIAL. PAINT OR SEAL AS REQ'D BY FINAL MATERIAL SELECTION.
9. NEW 1/2" x 1/2" x 1/2" NEW FRAMING - PROVIDE TAG TREATED WOOD, COMPOSITE OR SIMILAR MATERIAL. PAINT OR SEAL AS REQ'D BY FINAL MATERIAL SELECTION.
10. NEW 1/2" x 1/2" x 1/2" NEW FRAMING - PROVIDE TAG TREATED WOOD, COMPOSITE OR SIMILAR MATERIAL. PAINT OR SEAL AS REQ'D BY FINAL MATERIAL SELECTION.
11. NEW 1/2" x 1/2" x 1/2" NEW FRAMING - PROVIDE TAG TREATED WOOD, COMPOSITE OR SIMILAR MATERIAL. PAINT OR SEAL AS REQ'D BY FINAL MATERIAL SELECTION.
12. NEW CUSTOM PORCH SWIRT - 1/4" FRAME WITH 1/4" VERTICAL SLATS IN DECORATIVE DESIGN. PROVIDE HINGED ACCESS ON SIDE PANEL.
13. NEW CUSTOM HAND RAIL - 1/4" FRAME WITH 1/4" VERTICAL SLATS IN DECORATIVE DESIGN. PROVIDE HINGED ACCESS ON SIDE PANEL.
14. NEW STAIRS - PROVIDE NEW PT 2x FRAMING, STAIR TREAD & RISER TO MATCH TO FINAL PORCH FLOOR MATERIAL.
15. NEW 4" REINFC. CONCRETE SIDEWALK ON MIN. 4" COMPACTED GRAVEL SUBBASE. USE MIN. 6x6 W-4x4x4.

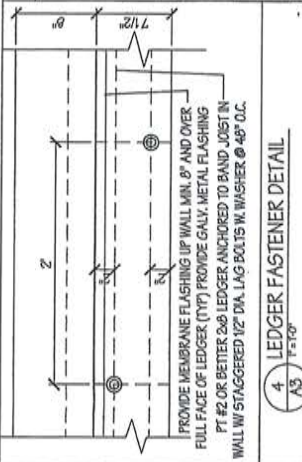
1310 GLADYS AVENUE
PORCH REPLACEMENT



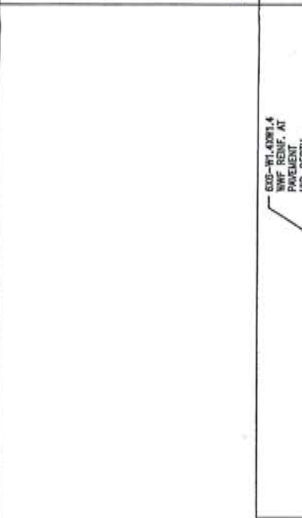
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PROPOSED NOTES

1. NEW (PA) PT 2x6 LUMBER - PROVIDE SIMPSON JOIST HANGER HUC28-22 AT NEW LEDGER BOARD, POCKET INTO EXIST. PILLAR AT OUTSIDE EDGE.
2. NEW 2x6 BLOCKING ON SIMPSON LUS JOIST HANGER FOR ATTACHMENT OF DECK.
3. RESTRAINING DEVICE, SIMPSON DITZZ IN TWO LOCATIONS.
4. NEW PT 2x6 LEDGER BOARD ATTACHED TO EXIST. HOME RUN BOARD.
5. PAIR OF 2x6 PT MIDSPAN FRAMING FROM LEDGER TO NEW MASONRY PILLASTER. PROVIDE SIMPSON LUS28-2 TO LEDGER.
6. PAIR OF PT 2x6 FRAMING AT 19" O.C. PROVIDE SIMPSON LUS28-2 JOIST HANGERS.
7. 2'-0" X 2'-0" X 1'-0" FOOTING WITH NEW CMU 7 BRICK PILLASTER TO MATCH EXIST.
8. 2x2 PT STRONGER @ 16" O.C. PROVIDE LUS1020 HANGERS, ANCHOR TO NEW SLAB WITH SIMPSON TUS50.
9. NEW 12" DIA. 16" DEEP FOUNDATION FOR NEW PT 4x4 POST, MIN. 5'-0" BELOW GRADE. NEW 12" DIA. 16" DEEP FOUNDATION FOR NEW 4" X 4" POST. PROVIDE 4" X 4" X 16" SURFACE MOUNT WITH ANCHOR BOLT, OR SIMPSON PFS WITH ANCHOR SET DURING CONSTRUCTION.
10. PT 2x6 BLOCKING @ MIDSPAN CONDITION (TYP.)



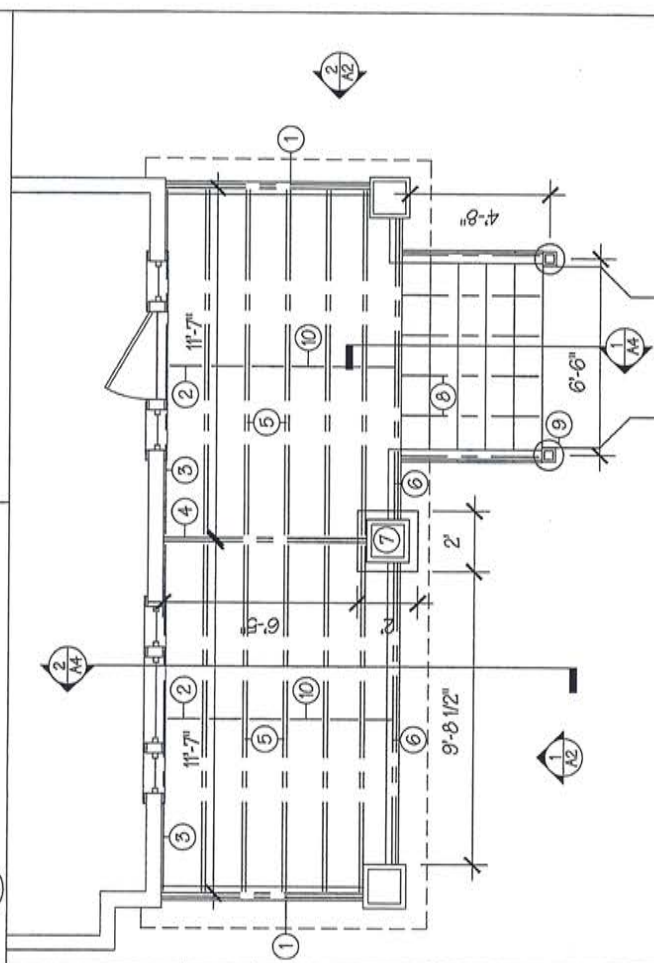
4. LEDGER FASTENER DETAIL
1"=1'-0"



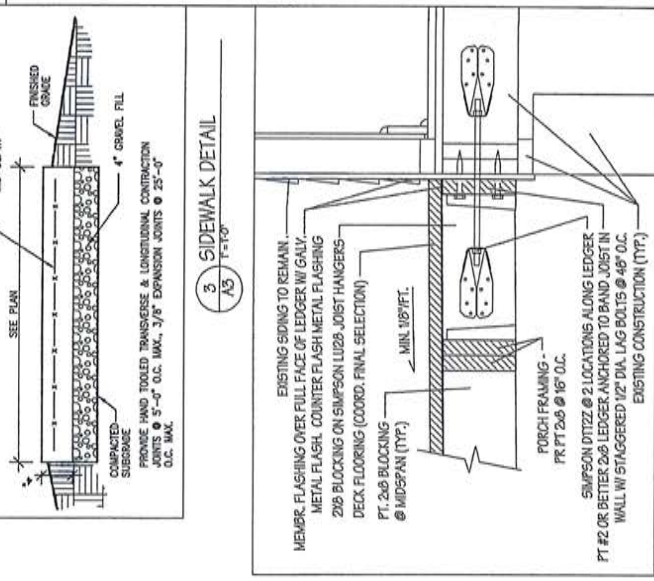
3. SIDEWALK DETAIL
1"=1'-0"



5. PORCH SCREEN DETAIL
1/8\"/>



1. PORCH FRAMING PLAN
1/8\"/>



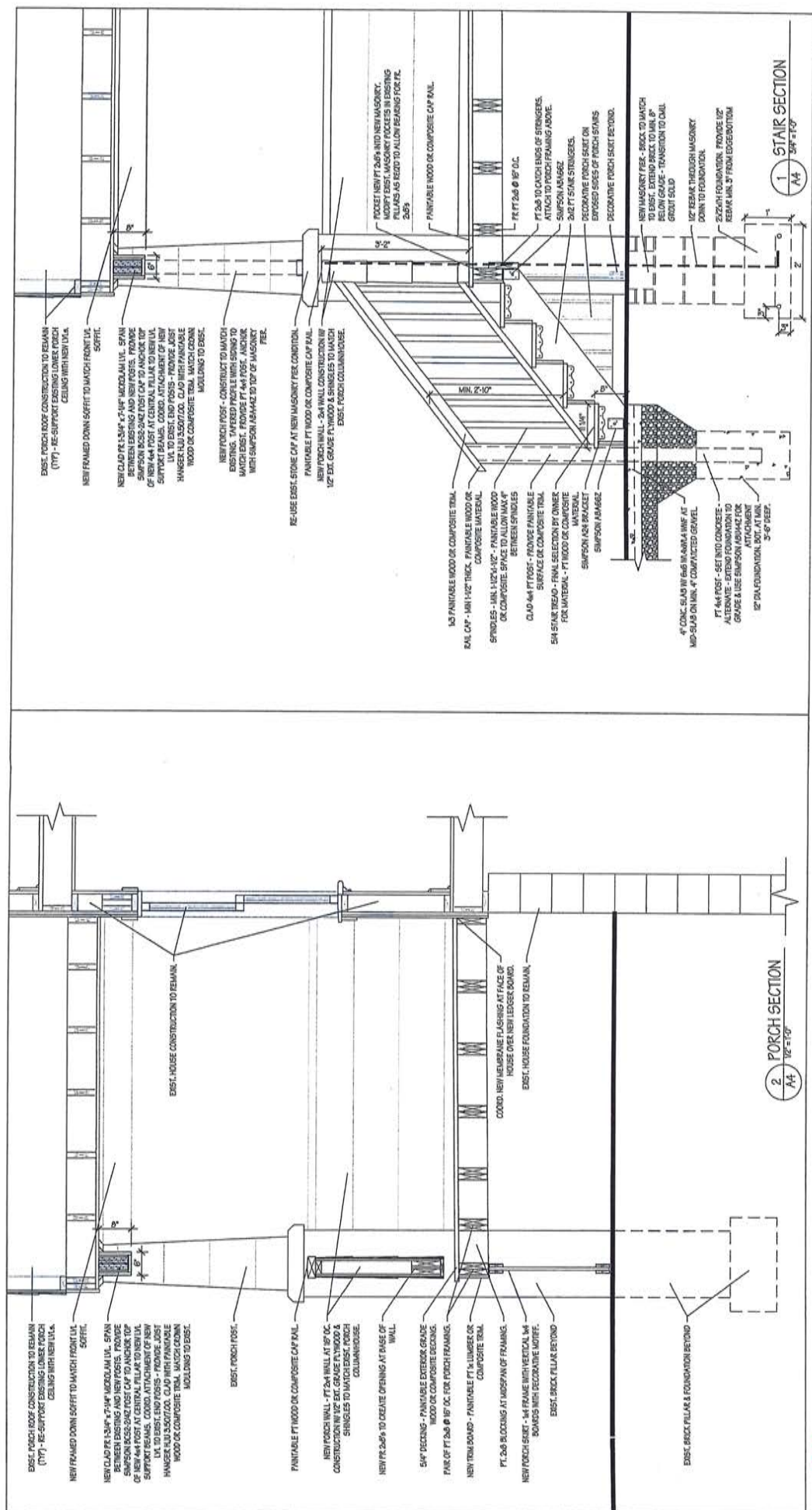
2. PORCH ATTACHMENT PLAN
1/8\"/>

A3
FLOOR FRAMING
PLAN AND DETAILS

ISSUED FOR PERMIT	
8 JANUARY 2020	

**1310 GLADYS AVENUE
PORCH REPLACEMENT**





A4

SECTIONS & DETAILS

ISSUED FOR PERMIT
6 JANUARY 2020

**1310 GLADYS AVENUE
PORCH REPLACEMENT**



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Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000008
DOCKET No. 02-13-20
FEE PAID CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Solar Installation Project Address 2166 Mars Ave. Lakewood, OH 44107

Applicant Name Azam Kazmi Applicant Address 1925 St Clair Ave, NE Cleveland, OH 44114
(if different than above)

Applicant Contact (216) 309 - 0304 a.hakeem @ yellowlite.com

Brief Project Description Installation of 35 Silfab SIL-320 NL Mono solar modules on the roof of the property

Signature:  Date: 01-28-2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

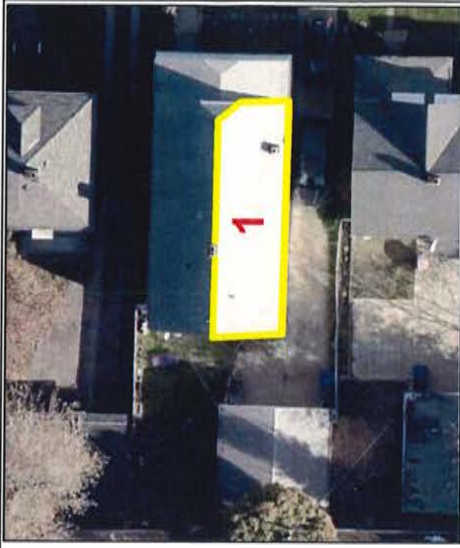
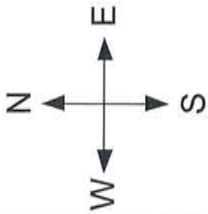
Owner Name Andree Kinnee Property Address 2166 Mars Ave. Lakewood, OH 44107

Owner / Agent Contact (216) 309 - 0304 a.hakeem @ yellowlite.com

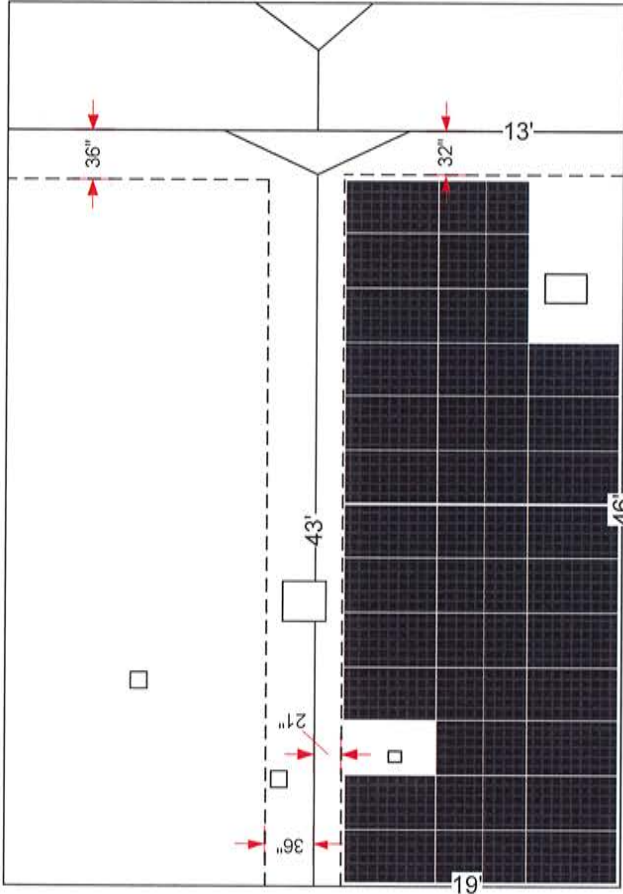
Owner / Agent Signature  Date: 01-28-2020

Office Use Only: Reviewed and Accepted by:  Date: 2/5/2020

Ordinance 22-00B Section 1325.05 Remarks ?



Legend	
	Utility Meter & AC Disconnect(TBD)



Roof 1: South
35 x Modules

Inspection Notes for Crew

Silfab
SIL-320 NL



66.9 x 39.4 x 1.5 in

NABCEP CERTIFIED
PV Installation Professional
Fida Aziz
Cert# PV-102216-015307

System Details:

- Residential 11.2kW grid tied (photovoltaic) system
- This system has been designed in accordance with all current and applicable NEC, OBC, and RCO codes
- Height of the Array: 3-4in above the roof, parallel to the roof
- Weight of the Array: Less than 4lbs/ft²
- Total Area of Array: 5.6ft x 3.3ft x 35 = 647 sq. ft.
- Weight of the Array on Roof: 41.4lbs x 35 = 1449 lbs
- Stress of Array on entire roof : 1449 lbs./647 sq.ft.= 2.24 lbs/sq. ft.
- No fencing or trenching would be needed with this project

Customer Signature

Andree Kinnee
2166 Mars Ave.
Lakewood, OH 44107
PH: (216) 905-4875

PV Layout
11.2 kW Solar Photovoltaic
Project: 1082 - AK



1925 St. Clair Ave NE
Cleveland, Ohio 44114
Phone: 216-333-1364
www.yellowlite.com

SYSTEM: 35 x Silfab SIL-320 NL @ 320W – 11.2 kW • AZIMUTH: R1: 181° • PITCH: R1: 45°

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Module Specifications:

Model: Silfab SIL-320 NL Mono
Maximum Power (Pmax): 320W
Maximum Power Voltage (Vmpmax): 32.88V
Maximum Power Current (Impmax): 9.74A
Open Circuit Voltage (Voc): 40.10V
Short Circuit Current (Isc): 10.32A
Module efficiency (%): 18.8
Max. Series Fuse Rating: 20A
Power Tolerance: 0/+10W
Cell Type: Mono-crystalline
Number of cells: 60
Weight of Module: 19kg
Dimensions (L x W x H mm): 1700 x 1000 x 38
Listing: UL1703, UL1703, IEC 61215, IEC 61730-1 & IEC 61730-2 Certified, CEC Listed, UL Fire Rating: Type 2

Inverter Specifications:

Model: SolarEdge SE11400H-JUS
Nom. AC Power Output: 11400VA @ 240V
Max. Output Power: 11400VA
Nom. AC Frequency: 60Hz
Max. Continuous Output Current: 47.5A
Maximum DC Power (STC): 17650W
Max. Input Voltage: 480V
Nom. DC Input Voltage: 400 @ 240V
Max. Input Current: 30.5A @ 240V
Max. Input Short Circuit Current: 45A
Maximum Inverter Efficiency: 99.2%
Dimensions H / W / D: 21.3 / 14.6 / 7.3 inches
Weight: 88.4lb / 38.8kg
Listing: UL1741, UL1699B, UL1988, CSA 22.2

Optimizer Specifications:

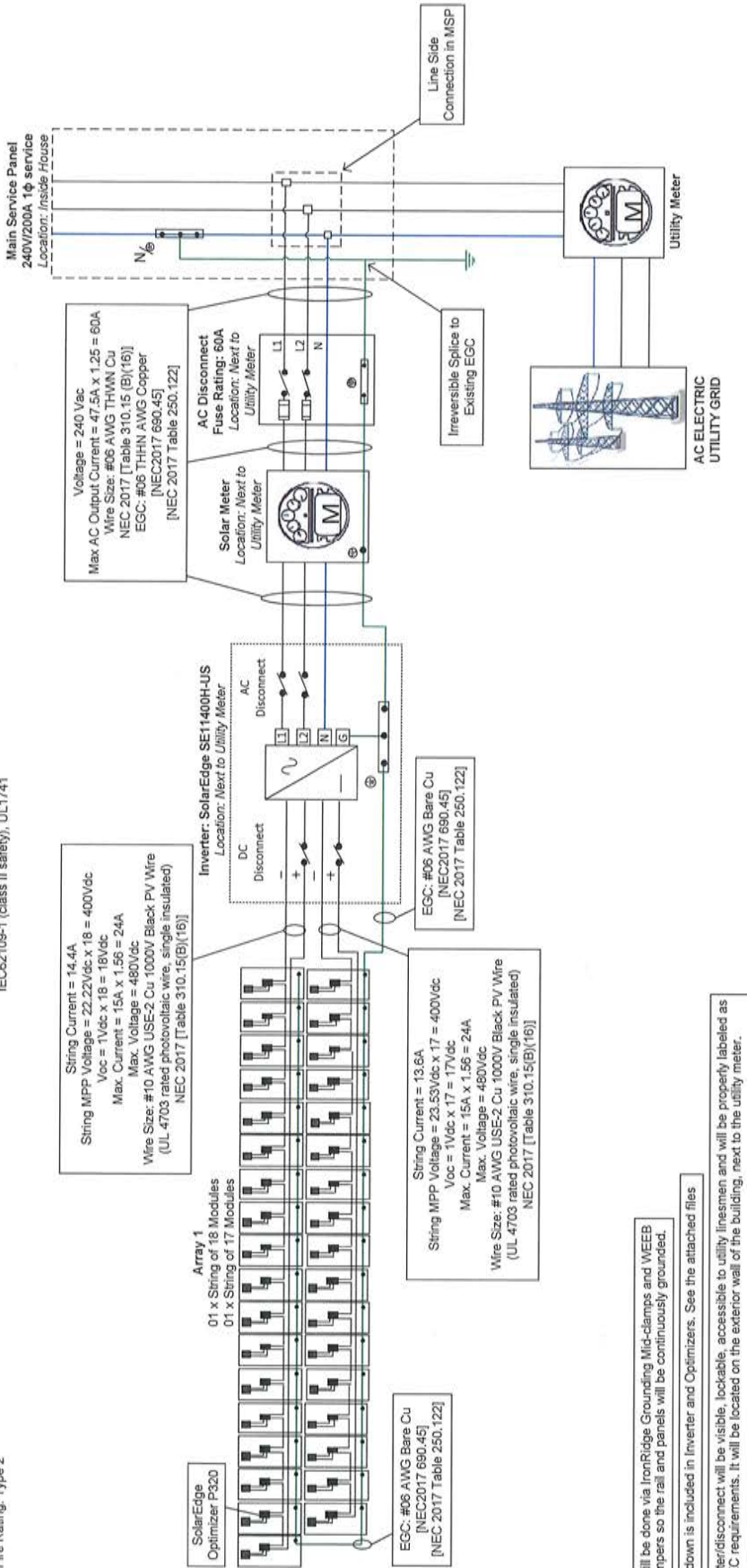
Model: SolarEdge Optimizer P320
Rated Input DC Power: 320W
Absolute Maximum Input Voltage: 48V
MPPT Operating Range: 8-48V
Maximum Short Circuit Current: 11A
Maximum DC Input Current: 13.75A
Maximum efficiency (%): 99.5%
Maximum Output Current: 15A
Maximum Output Voltage: 60V
Safety Output Voltage per Optimizer: 1V
Dimensions (W x L x H) in: 5.5 x 9.7 x 1.08
Weight of Module: 1.7 lbs.
Connector Type: MC4 Compatible
Protection Rating: IP68 / NEMA6P
Listing: FCC Part 15 Class B, IEC61000-6-2, IEC61000-6-3, IEC62109-1 (class II safety), UL1741

System Specifications:

System Type: Grid-Tied
Mounting Method: Roof-Top
Power rating of system: 11.20kW
Maximum number of panels: 35
Number of inverters: 01
Online Monitoring: Wireless Zigbee

AC Disconnect:

Model: Eaton DG222NRB, 2-Pole, NEMA 3R
Rating: 60A, 240 VAC
Type: Fusible, Fuse Rating: 60A
Dimensions: H-14.38" W-8.69" D-4.21"
Compliant with 690.13(B) & (C) and 690.15(A) & (B)



Grounding will be done via IronRidge Grounding Mid-clamps and WEEB Bonding Jumpers so the rail and panels will be continuously grounded.
Rapid shut down is included in Inverter and Optimizers. See the attached files
The load center/disconnect will be visible, lockable, accessible to utility linemen and will be properly labeled as per NEC requirements. It will be located on the exterior wall of the building.

NABCEP CERTIFIED
PV Installation Professional
Fida Aziz
Cert# PV-102216-015307

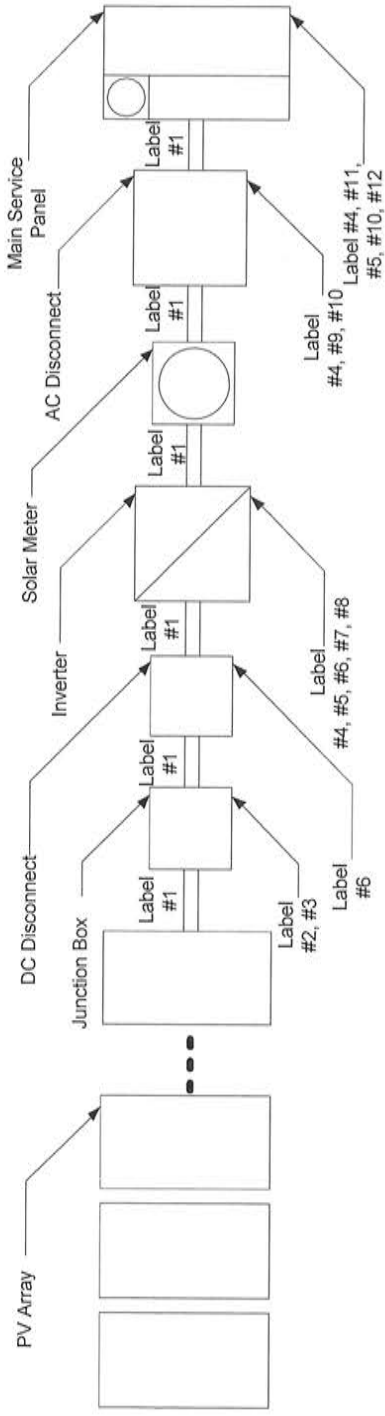
Andree Kinnee
2166 Mars Ave.
Lakewood, OH 44107

Three Line Diagram
11.20kW Solar Photovoltaic
Project: 1082 - AK

yellowlite
Innovating Solar Energy
1925 St. Claire Ave NE
Cleveland, Ohio 44114
Phone: 216-333-1364
www.yellowlite.com

Confidential Information: The contents of this document are subject to Non-Disclosure Agreement and shall not be disclosed.

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LABELS

#1		#5		#9	
#2		#6		#10	
#3		#7		#11	
#4		#8		#12	



Andree Kinnee
2166 Mars Ave.
Lakewood, OH 44107

Three Line Diagram
11.20KW Solar Photovoltaic
Project: 1082 - AK



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SIL-320 NL



60 Cell Monocrystalline PV Module



CHUBB
*Chubb provides fire and corrosion insurance to Silfab Solar Inc.

INDUSTRY LEADING WARRANTY

All our products include an industry leading 25-year product workmanship and 30-year performance warranty.

35+ YEARS OF SOLAR INNOVATION

Leveraging over 35+ years of worldwide experience in the solar industry, Silfab is dedicated to superior manufacturing processes and innovations such as Bifacial and Back Contact technologies, to ensure our partners have the latest in solar innovation.

NORTH AMERICAN QUALITY

Silfab is the largest and most automated solar manufacturer in North America. Utilizing premium quality materials and strict quality control management to deliver the highest efficiency, premium quality PV modules 100% made in North America.

BAA / ARRA COMPLIANT

Silfab panels are designed and manufactured to meet Buy American Act Compliance. The US State Department, US Military and FAA have all utilized Silfab panels in their solar installations.

LIGHT AND DURABLE

Engineered to accommodate low load bearing structures up to 540ppa. The light-weight frame is exclusively designed for wide-ranging racking compatibility and durability.

LOWEST DEFECT RATE

Total automation ensures strict quality controls during the entire manufacturing process at our ISO certified facilities. 48.18 ppm as per December 2018.



DOMESTIC PRODUCTION

Silfab Solar manufactures our PV modules in two automated locations within North America. Our 300+ North American team is ready to help our partners win the hearts and minds of customers, providing customer service and product delivery that is direct, efficient and local.

AESTHETICALLY PLEASING

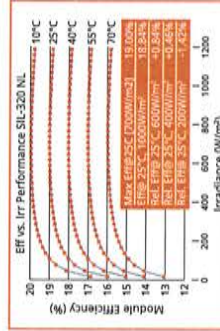
All black sleek design, ideal for high-profile residential or commercial applications.

PID RESISTANT

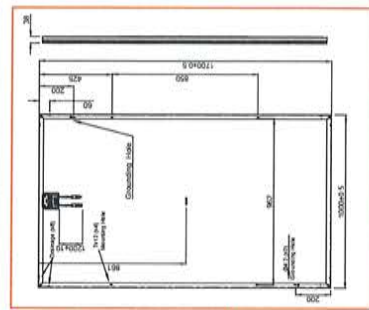
PID Resistant due to advanced cell technology and material selection. In accordance to IEC 62804-1

Printed on recycled paper. ♻️

Electrical Specifications		SIL-320 NL mono PERC	
Test Conditions			
STC	NOCT		
Module Power (Pmax)	320	242	
Maximum power voltage (Vpmax)	32.88	29.59	
Maximum power current (Ipmax)	9.74	8.18	
Open circuit voltage (Voc)	40.10	37.09	
Short circuit current (Isc)	10.32	8.46	
Module efficiency	18.8	17.8	
Maximum system voltage (VDC)	1000	A	
Series fuse rating	A	20	
Power Tolerance	Wp	-0/+10	
Measurement conditions: STC, 1000 W/m ² , AM 1.5, Temperature 25°C, NOCT 800 W/m ² , AM 1.5, Maximum Irradiance 1000 W/m ² , 15% *Sun simulator calibration reference modules from Fraunhofer Institute. Electrical characteristics may vary by 15% and power by 20/+10W.			
Temperature Ratings			
Temperature Coefficient Isc	%/°C	0.064	
Temperature Coefficient Voc	%/°C	-0.28	
Temperature Coefficient Pmax	%/°C	-0.36	
NOCT (± 2°C)	°C	45	
Operating Temperature	°C	-40/+85	
Mechanical Properties and Components			
Module weight (± 1 kg)	kg	19	
Dimensions (H x L x D; ± 1mm)	mm	1700 x 1000 x 38	
Maximum surface load (wind/snow)*	N/m ²	4000 Pa rear load / 5400 Pa front load ± 25 mm at 83 km/h	
Hail impact resistance		60-SI mono-PERC-5 busbar-158.75 x 158.75 mm	
Glass		3.2 mm high transmittance, tempered, DSM anti-reflective coating	
Backsheet		High durability, superior hydrolysis resistance, multi-layer dielectric film	
Frame		Anodized Al (Black)	
Bypass diodes		3 diodes, 20SQ040 (45V/20A)	
Cables and connectors		1200 mm Ø 5.7 mm (4 mm ²), MC4 compatible (refer to installation manual)	
Junction Box		UL 3730 Certified, IP67 rated	
Warranties			
Module product workmanship warranty		SIL-320 NL mono PERC 25 years**	
Linear power performance guarantee		30 years ≥ 97% end 1 st year ≥ 90% end 12 th year ≥ 82% end 25 th year ≥ 80% end 30 th year	
Certifications			
Product		ULC ORD C1703, UL 1703, IEC 61215, IEC 61730-1 and IEC 61730-2 Certified, PSEEC and CEC listed, IEC 62716 Ammonia Corrosion, IEC 61701:2011 Salt Mist Corrosion Certified	
Factory		UL Fire Rating: Type 2 ISO9001:2015	



Modules Per Pallet: 26
 Pallet Per Truck: 36
 Modules Per Truck: 936
 *Please refer to the Silfab and Installation Manual for mounting specifications.
 **12 year extendable to 35 years subject to registration and conditions outlined under "Warranty" at www.silfabolar.com.
 ⚠️ Warning: Read the installation and User Manual before handling, installing and operating modules.
 Third-party generated panel files from Fraunhofer-Institute for Solar Energy Systems (ISE) are available for download at: www.silfabolar.com/downloads



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 Tel +1 905-255-2501 | Fax +1 905-696-0267
 info@silfabolar.com | www.silfabolar.com



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 800 Cornwell Ave
 Bellingham WA 98225 USA
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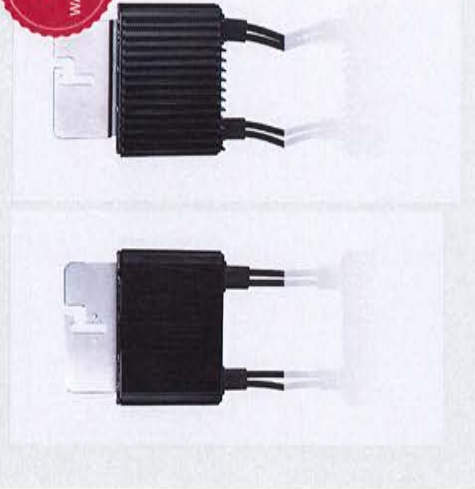


POWER OPTIMIZER

Power Optimizer For North America

P320 / P340 / P370 / P400 / P405 / P505

25
YEAR
WARRANTY



PV power optimization at the module-level

- Specifically designed to work with SolarEdge inverters
- Up to 25% more energy
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch losses, from manufacturing tolerance to partial shading
- Flexible system design for maximum space utilization
- Fast installation with a single bolt
- Next generation maintenance with module-level monitoring
- Meets NEC requirements for arc fault protection (AFCI) and Photovoltaic Rapid Shutdown System (PVRSS)
- Module-level voltage shutdown for installer and firefighter safety

solaredge.com

solaredge

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Power Optimizer For North America

P320 / P340 / P370 / P400 / P405 / P505

Optimizer model (typical module compatibility)	P320 (for 60-cell modules)	P340 (for higher-power 60-cell modules)	P370 (for higher-power 60 and 72-cell modules)	P400 (for thin film modules)	P405 (for thin film modules)	P505 (for higher current modules)
Rated Input DC Power ¹	320	340	370	400	405	505
Absolute Maximum Input Voltage (Isc at lowest temperature)	48	60	60	80	125 ²	83 ²
MPPT Operating Range	8 - 48	8 - 60	8 - 60	8 - 80	12.5 - 105	12.5 - 83
Maximum Short Circuit Current (Isc)	11			10.1		14
Maximum DC Input Current	13.75			12.5		17.5
Maximum Efficiency	99.5					
Weighted Efficiency	98.8					
Overvoltage Category	II					
Maximum Output Current	15					
Maximum Output Voltage	85					

INPUT

OUTPUT DURING OPERATION (POWER OPTIMIZER CONNECTED TO OPERATING SOLAREEDGE INVERTER)						
Maximum Output Current	15					
Maximum Output Voltage	85					

OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM SOLAREEDGE INVERTER OR SOLAREEDGE INVERTER OFF)

Safety Output Voltage per Power Optimizer	1 ± 0.1					
EMC	FCC Part15 Class B, IEC61000-6-2, IEC61000-6-3					
Safety	IEC62709-7 (class II safety), UL1741					
Material	UL94 V-0, UV Resistant					
RoHS	No					

STANDARD COMPLIANCE

Maximum Allowed System Voltage	1000
--------------------------------	------

INSTALLATION SPECIFICATIONS

Compatible Inverters	All SolarEdge Single Phase and Three Phase Inverters					
Dimensions (W x L x H)	129 x 153 x 27.5 / 5.1 x 6 x 1.1	129 x 153 x 33.5 / 5.1 x 6 x 1.3	129 x 153 x 40.5 / 5.1 x 6 x 1.6	129 x 153 x 47.5 / 5.1 x 6 x 1.9	129 x 153 x 54.5 / 5.1 x 6 x 2.1	129 x 153 x 61.5 / 5.1 x 6 x 2.4
Weight (including cables)	630 / 1.4	750 / 1.7	865 / 1.9	980 / 2.2	1095 / 2.4	1210 / 2.7
Input Connector	MC4 ³					
Input Wire Length	0.96 / 0.52					
Output Wire Type / Connector	Double Insulated / MC4					
Output Wire Length	0.9 / 2.95					
Operating Temperature Range ⁴	-40 ~ +85 / -40 ~ +85					
Protection Rating	IP65 / NEMA4 ⁵					
Relative Humidity	0 - 100					

¹ Based power of the module at 5% will not exceed the optimizer "Rated Input DC Power". Modules with up to +5% power tolerance are allowed.
² For all versions for parallel connection of two modules use the P405. In the case of an odd number of PV modules in one string, install one P405 dual version power optimizer.
³ For other connector type, please contact SolarEdge.
⁴ For ambient temperature above +35°C (+85°F) power derating is applied. Refer to Inverter Connection Temperature Derating Technical Note for more details.
⁵ For other ambient temperature above +35°C (+85°F) power derating is applied. Refer to Inverter Connection Temperature Derating Technical Note for more details.

PV System Design Using a SolarEdge Inverter ^{6,7,8}	Single-Phase HD-Wave	Single-Phase	Three-Phase for 208V grid	Three-Phase for 277/480V grid
Minimum String Length (Power Optimizers)	8	8	10	18
Maximum String Length (Power Optimizers)	6	6	8	14
Maximum Power per String	6750 (600V-MH) 6750 (60V-SE-1400-150)	25	25	50 ⁹
Parallel Strings of Different Lengths or Orientations	Yes			

⁶ For detailed string design information refer to http://www.solaredge.com/resources/string_design.
⁷ For detailed string design information refer to http://www.solaredge.com/resources/string_design.
⁸ For string with more than 20 optimizers does not meet NEC rapid shutdown requirements, safety voltage will be above the 300V requirement.
⁹ For 208V grid it is allowed to install up to 6,500W per string when the maximum power difference between each string is 1,000W.
¹⁰ For 277/480V grid it is allowed to install up to 11,500W per string when the maximum power difference between each string is 2,000W.

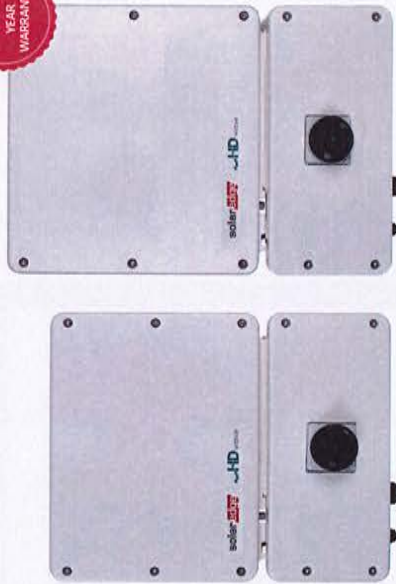
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INVERTERS

Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US



Optimized installation with HD-Wave technology

- ! Specifically designed to work with power optimizers
- ! Record-breaking efficiency
- ! Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- ! Fixed voltage inverter for longer strings
- ! Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- ! UL1741 SA certified, for CPUC Rule 21 grid compliance
- ! Extremely small
- ! Built-in module-level monitoring
- ! Outdoor and indoor installation
- ! Optional: Revenue grade data, ANSI C12.20 Class 0.5 (0.5% accuracy)

solaredge.com



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Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US

TYPE CABLE TO INVERTERS WITH PART NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US
OUTPUT							
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V
AC Output Voltage Min.-Nom.-Max. (1-240 / 208)	✓	✓	✓	✓	✓	✓	✓
AC Output Voltage Min.-Nom.-Max. (183 / 208 / 229)	-	✓	-	✓	-	-	✓
AC Frequency (Nominal)	93.3 - 101 - 60.15 ^h						
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5
Power factor	1, adjustable -0.85 to 0.85						
GFDI Threshold	1						
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes						
INPUT							
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650
Maximum DC Power @208V	-	5300	-	7750	-	-	15500
Transformer-less, Ungrounded	Yes						
Maximum Input Voltage	480						
Nominal DC Input Voltage	380						
Maximum Input Current @240V ^a	8.5	10.5	13.5	16.5	20	27	30.5
Maximum Input Current @208V ^a	-	9	-	13.5	-	-	27
Max. Input Short Circuit Current	45						
Reverse-Polarity Protection	Yes						
Ground-Fault Isolation Detection	6000 ^b Sensitivity						
Maximum Inverter Efficiency	99						
CEC Weighted Efficiency	99						
Nighttime Power Consumption	< 2.5						
%	99 @ 240V 98.3 @ 208V						
W	W						

^a For other regional settings please contact SolarEdge support.
^b A higher current source may be used; the inverter will limit its input current to the values stated.

Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE11400H-US / SE14000H-US



1495 Zephyr Avenue
Hayward, CA 94544
1-800-227-9523
IronRidge.com

Attn: Corey Geiger, COO, IronRidge Inc.
Date: September 7th, 2018

Re: Structural Certification and Span Tables for IronRidge Flush Mount System

This letter addresses the structural performance and code compliance of IronRidge's Flush Mount System. The Flush Mount System is a proprietary rooftop mounting system used to support photovoltaic (PV) modules installed in portrait or landscape orientation and set parallel to the underlying roof surface. PV modules are supported by extruded aluminum XR Rails and secured to the rails with IronRidge mounting clamps. The XR Rails are side mounted to a selected roof attachment with 3/8" stainless steel bonding hardware and then attached directly to the roof structure or to a stanchion that is fastened to the underlying roof structure. Assembly details of a typical Flush Mount installation and its core components are shown in Exhibit EX-0015.

The IronRidge Flush Mount System is designed and certified to the structural requirements of the reference standards listed below, for the load conditions and configurations tabulated in the attached span tables.

- ASCE/SEI 7-10 Minimum Design Loads for Buildings and Other Structures (ASCE 7-10)
- 2015 International Building Code (IBC-2015)
- 2015 Aluminum Design Manual (ADM-2015)

The tables included in this letter provide the maximum allowable spans of XR Rails in the Flush Mount System for the respective loads and configurations listed, covering wind exposure categories B, C, & D, roof zones 1, 2 & 3, and roof slopes from 0° to 45°. The span tables are applicable provided that the following conditions are met:

1. Spans are the distance between two adjacent roof attachment points (measured at the center of the attachment fastener)
2. The underlying roof pitch, measured between roof surface and horizontal plane, is 45° or less.
3. The mean roof height, defined as the average of the roof eave height and the roof ridge height measured from grade, does not exceed 30 feet.
4. Module length shall not exceed the listed maximum dimension provided for the respective span table and module width shall not exceed 48".
5. All Flush Mount components shall be installed in a professional workmanlike manner per IronRidge's Flush Mount installation manual and other applicable standards for general roof construction practice.

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE11400H-US / SE14000H-US	
Supported Communication Interfaces	RS-485, Ethernet, ZigBee (optional), Cellular (optional)
Revenue Grade Data, ANSI C12.20	Optional
Inverter Commissioning	with the SetApp mobile application using built-in Wi-Fi station for local connection
Rapid Shutdown - NEC 2014 and 2017 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect
STANDARD COMPLIANCE	
Safety	UL1741, UL1741SA, UL1699R, CSA C22.2, Canadian AHCI according to TLL M-07
Grid Connection Standards	IEEE1547, Rule 21, Rule 44 (PH)
Emissions	FCC Part 15 Class B
INSTALLATION SPECIFICATIONS	
AC Output Conduit Size / AWG Range	3/4" minimum / 14-6 AWG
DC Input Conduit Size / # of Strings / AWG Range	3/4" minimum / 1-3 strings / 14-6 AWG
Dimensions with Safety Switch (mm)	17.7 x 14.6 x 6.8 / 450 x 370 x 174
Weight with Safety Switch	27 / 10
Noise	25.1 / 11.4
Codeing	26.2 / 11.9
Operating Temperature Range	< 25
Protection Rating	Natural Connection -40 to +140 / -40 to +60° NEMA 4X (Inverter with Safety Switch)
	3/4" minimum / 14-4 AWG
	3/4" minimum / 1-3 strings / 14-6 AWG
	21.3 x 14.6 x 7.3 / 540 x 370 x 185
	38.8 / 17.5
	< 50
	°F / °C

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The parameters and adjustments allowed in the span tables are defined as the following:

1. The Flush Mount System is designed as a Risk Category II structure as defined by ASCE 7-10 Chart 1.5-1.
2. When designing with a roof slope not listed in the span tables, but no greater than 45°, the lesser of the two span values listed immediately below and above the desired slope shall be used. For instance, if one is designing to a roof slope of 12°, use the lesser of the two span values associated with 10° and 15°.
3. The wind speed selection shall conform to ASCE 7-10 Fig. 26.5-1A (Risk Category II wind) and any state & local county/city amendments to the IBC. No special wind topographic features are included in the span tables and the topographic coefficient (Kzt) is taken as 1.0.
4. The snow load used in the span tables is the ground snow and shall conform to ASCE 7-10 Fig. 7-1. If a more restrictive snow load is imposed by a local building code/amendment to the IBC, such snow load requirement shall also be complied with. If the local jurisdiction specified snow load is in the format of a flat roof snow load, it shall first be converted to a ground snow following the local building code/amendment before the application of the attached span tables. No special snow conditions are considered including unbalanced, drifting, sliding or ponding snow. Snow load conditions presented in the span tables do not include buildings which are intentionally kept below freezing, kept just above freezing, or unheated.
5. The span tables reflect the ASCE 7 prescribed earthquake loads with the maximum magnitudes being:
 - 1) For ground snow no greater than 42psf: $S_s \leq 2.0g$ for Site Class A, B, C, or D.
 - 2) For ground snow greater than 42psf: $S_s \leq 1.0g$ for Site Class A, B, C, or D.
 - 3) For ground snow between 42 and 65psf: $S_s \leq 1.5g$ for Site Class A, B, C, or D.
6. Roof zone size and definition conforms to ASCE 7-10 Fig. 30.4-2A.
7. Allowable span length in the charts may be multiplied by a factor of 1.08 if the rails are continuous over a minimum of three spans.
8. An array to roof clearance of 2' minimum must be provided.
9. The maximum cantilever length measured from the rail end to the nearest attachment point shall not exceed 40% of the allowable span provided for the respective load & configuration condition from the span tables.
10. No rail splices are allowed in the cantilever, outer 2/3 of end spans, or middle 1/3 of interior spans.
11. For shaded cells of the span tables, UFO Mid Clamps shall not be installed closer than 20" to the shaded cell's associated Roof Zone.
12. When a roof attachment listed in IronRidge's Flush Mount installation manual is considered, the span values provided in this letter can be adjusted using IronRidge's online Design Assistant by checking the capacity of the selected roof attachment against the reaction forces provided in Design Assistant.

13. Systems using CAMO module clamps shall be installed with the following guidance:

- 1) For single module installations ("orphan modules") using modules with a length greater than 67.5", CAMO clamps shall not be installed in regions that experience ground snow loads of 70psf and greater; such scenarios are shown by asterisks in the applicable span table.
- 2) CAMO will function within a module's design load ratings. Be sure the specific module being used with CAMO is listed in IronRidge's installation manual, is suitable for the environmental conditions of a particular project, and meets the dimensional requirements shown in the figure below.

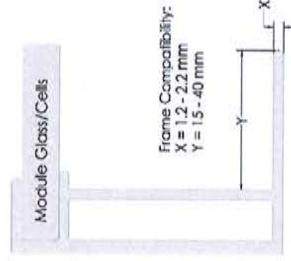


Figure 1: CAMO Module Frame Dimensional Requirements



1485 Zephyr Avenue
Hayward, CA 94544
1-800-227-9523
ironridge.com

The span tables provided in this letter are certified based on the structural performance of IronRidge XR Rails only with no consideration of the structural adequacy of the chosen roof attachments, PV modules, or the underlying roof supporting members. It is the responsibility of the installer or system designer to verify the structural capacity and adequacy of the aforementioned system components in regards to the applied or resultant loads of any chosen array configuration.

Sincerely,



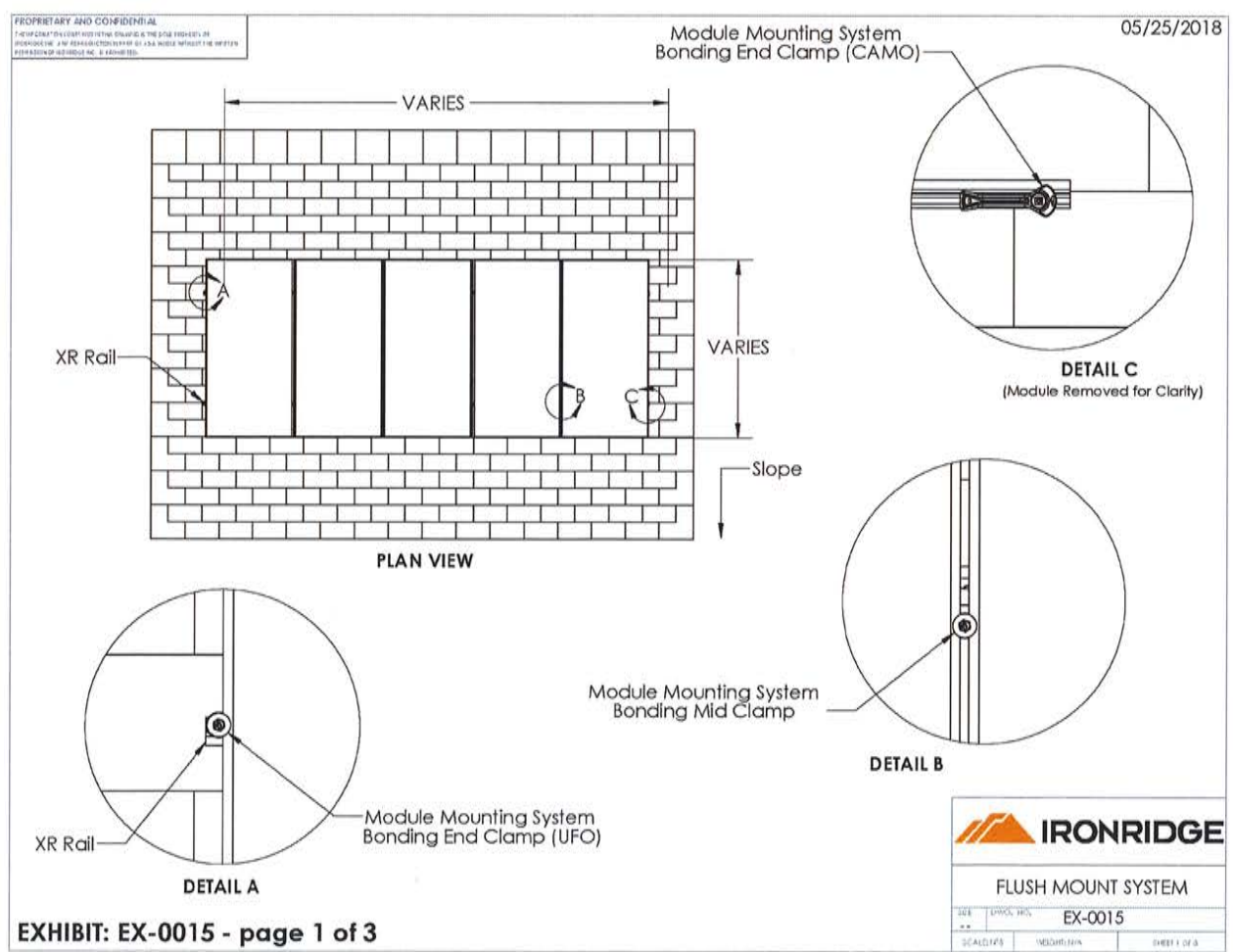
Gang Xuan, PE, LEED AP
Senior Structural Engineer

Date: *Gang Xuan*
2018.09.18
09:57:24 -07'00'

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OH Flush Mount System Certification Letter - 4

66



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05/25/2018

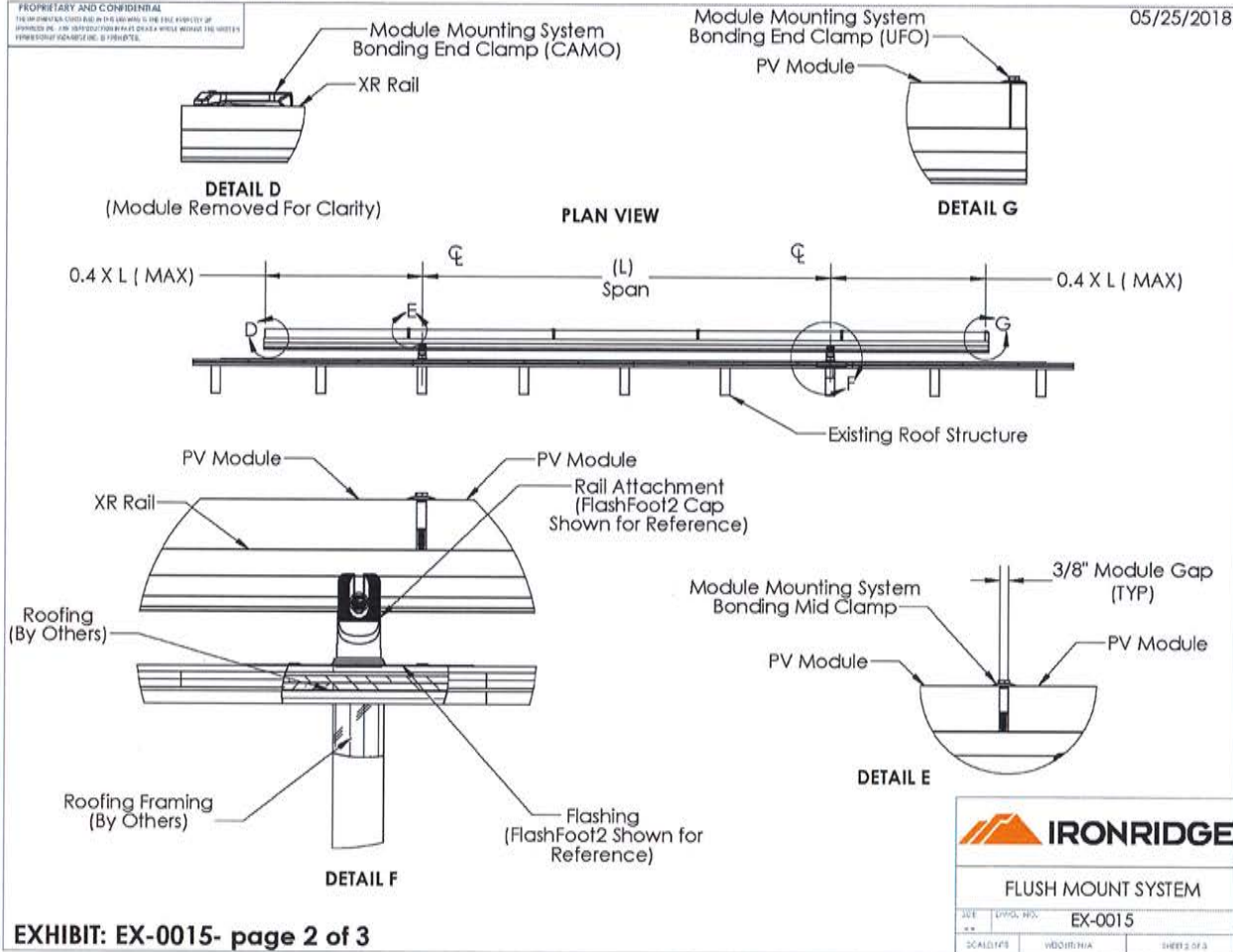


EXHIBIT: EX-0015- page 2 of 3

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05/25/2018

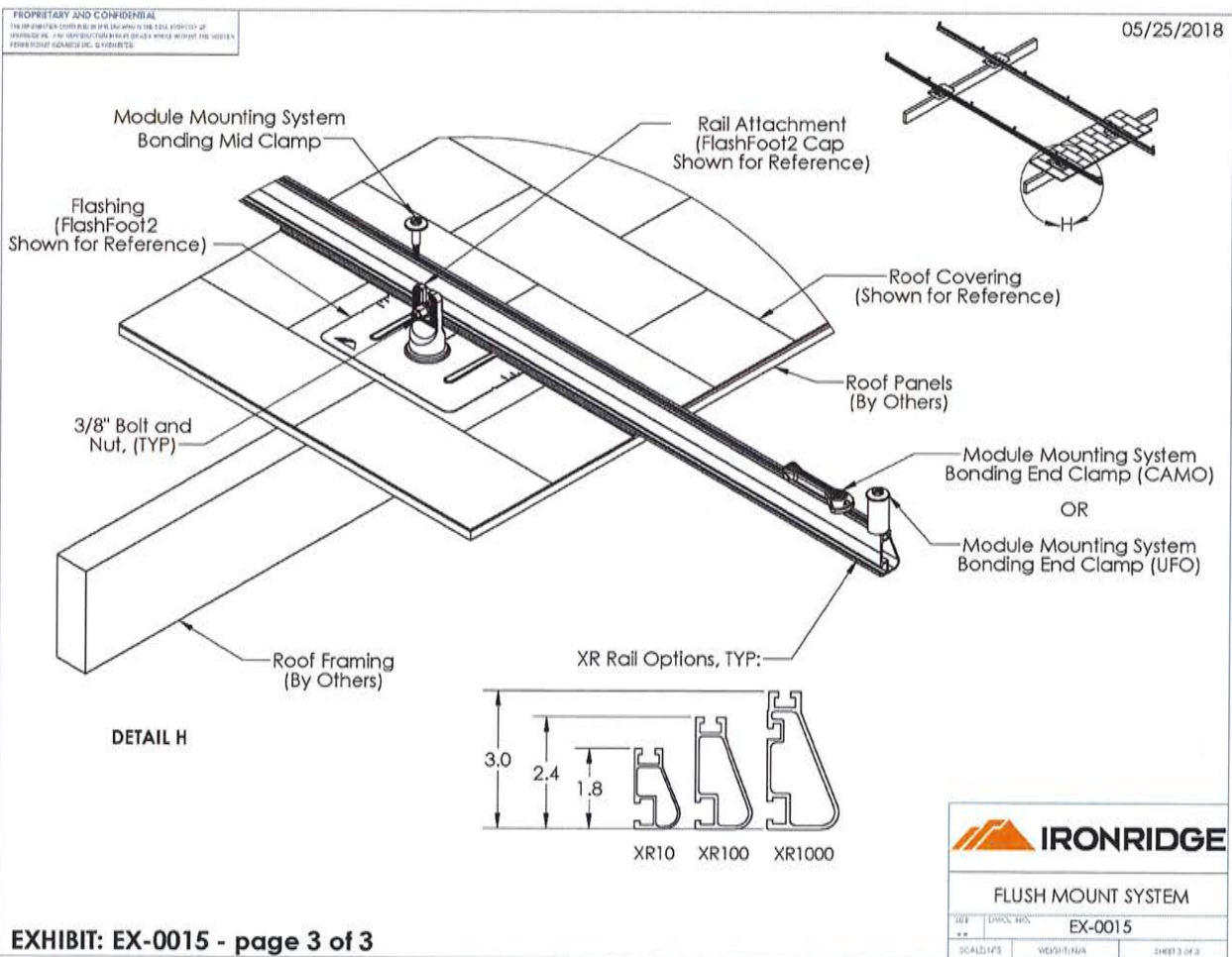


EXHIBIT: EX-0015 - page 3 of 3

100

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000003

DOCKET No. 02-14-20

FEE PAID check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name MCKEAN RESIDENCE

Project Address 1080 NICHOLSON AVE.

Applicant Name RYAN & ALYSIA MCKEAN

Applicant Address _____
(if different than above)

Applicant Contact (440) 976 - 3987

alysia 0818 @ yahoo.com

Brief Project Description 2-STORY ADDITION AT REAR OF HOUSE INCLUDING
FAMILY ROOM AND MASTER SUITE

Signature: Alysia Mckean

Date: 1/28/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name RYAN & ALYSIA MCKEAN

Property Address 1080 Nicholson Ave

Owner / Agent Contact (440) 552 - 0168

@ _____

Owner / Agent Signature Ryan Mckean

Date: 1/28/20

Office Use Only: Reviewed and Accepted by: [Signature]

Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____

DIMIT ARCHITECTS

architecture + interiors + urban design

January 29, 2020

Department of Planning and Development

City of Lakewood
12650 Detroit Ave
Lakewood, OH 44107
Phone: 216-521-7580

**RE:
McKean Residence**

Dear City of Lakewood Department of Planning and Development,

On behalf of our clients, Ryan and Alysia McKean, we would like to submit to be on the agenda for the February Architectural Board of Review. The McKean family would like to discuss the design of their proposed new addition at 1080 Nicholson Ave, Parcel 312-07-017.

The addition consists of nine-hundred-thirty-four (934) square feet of interior space, a one-hundred-eighty-nine (189) square foot covered porch, and a thirty (30) square foot covered rear entry porch. The existing brick patio will be relocated west of the covered deck. The driveway, garage, curb cut, and existing fencing will not be relocated or affected.

The addition will provide a family room, mud room, and pantry on the first floor as well as an outdoor covered porch to provide an area with shade and protection from the elements and a new rear entry with a direct path to the driveway. On the second level, it will provide a new master suite, complete with a master bedroom, bathroom, and closet space.

The addition will match the existing cladding, shingles, gutters, soffits and window types of the existing structure. The new cladding and trim will be painted to match the existing. The wood porch railing will be wood picket railing to match the composite wood deck and stair, and the new metal railings will be a black finish similar to those existing at the front entry.

We look forward to meeting with the Architectural Board of Review to further discuss the project.

If you have any additional questions or comments, please feel free to contact us directly.

Sincerely,

Claire Beskitt
Dimit Architects, LLC
14414 Detroit Avenue
Lakewood, Ohio 44107
Telephone – 216-221-9021
Email – cbeskitt@dimitarchitects.com



REAR FACADE



FRONT FACADE (NICHOLSON AVENUE)

Drawing Number:

1.1

Drawing Title:

**EXISTING
CONDITIONS
IMAGES**

General Notes:

**McKean
Residence
Addition**

1080 Nicholson Avenue
Lakewood, Ohio 44107

Drawn by:

CB

Checked by:

SMD / AND

Approved:

SMD

Job Number:

19-036

ISSUES: DATE: BY:

ABR SUBMISSION 001-29-2006 SMD

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o o

o o

o o

o o

o o

103

**DIMIT
ARCHITECTS**
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021



SOUTH FACADE



NORTHWEST VIEW



Drawing Number:
1.2

Drawing Title:
**EXISTING
CONDITIONS
IMAGES**

General Notes:
**McKean
Residence
Addition**

1080 Nicholson Avenue
Lakewood, Ohio 44107

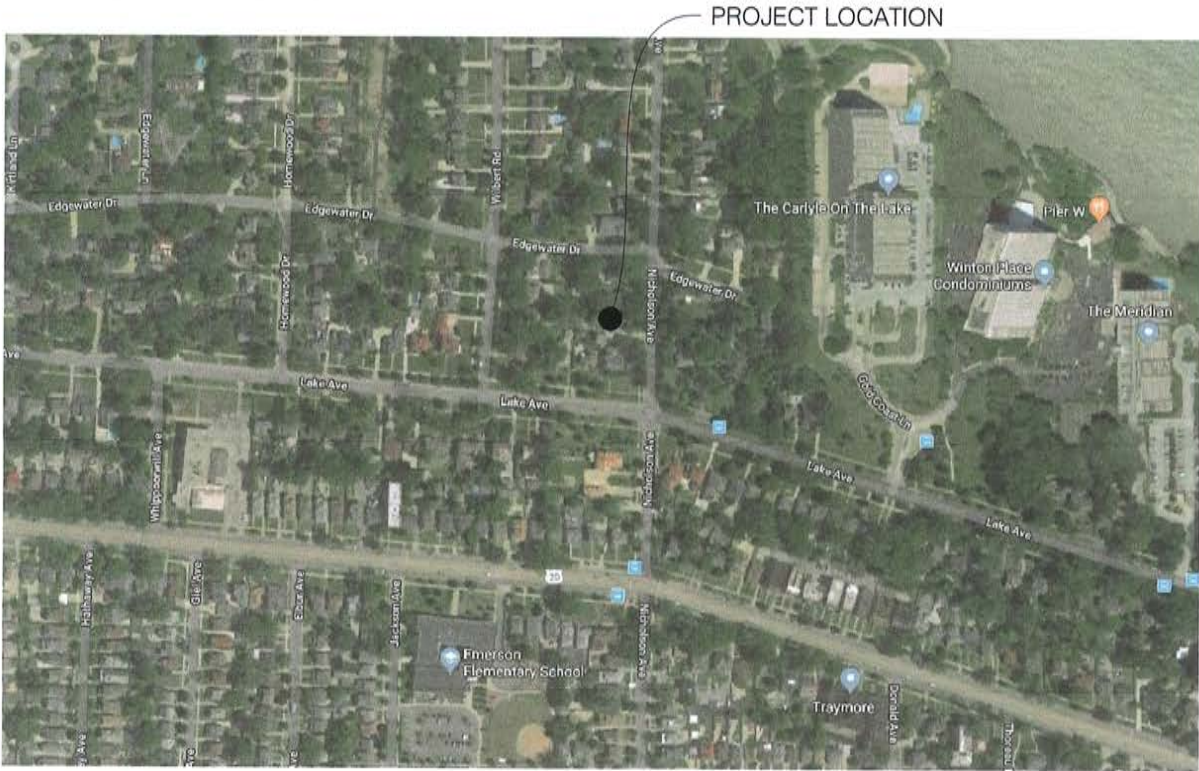
Drawn by:
CB
Checked by:
SMD / AND
Approved:
SMD
Job Number:
19-036

ISSUES:	DATE:	BY:
ADR SUBMISSION	001-29-200	SMD
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104

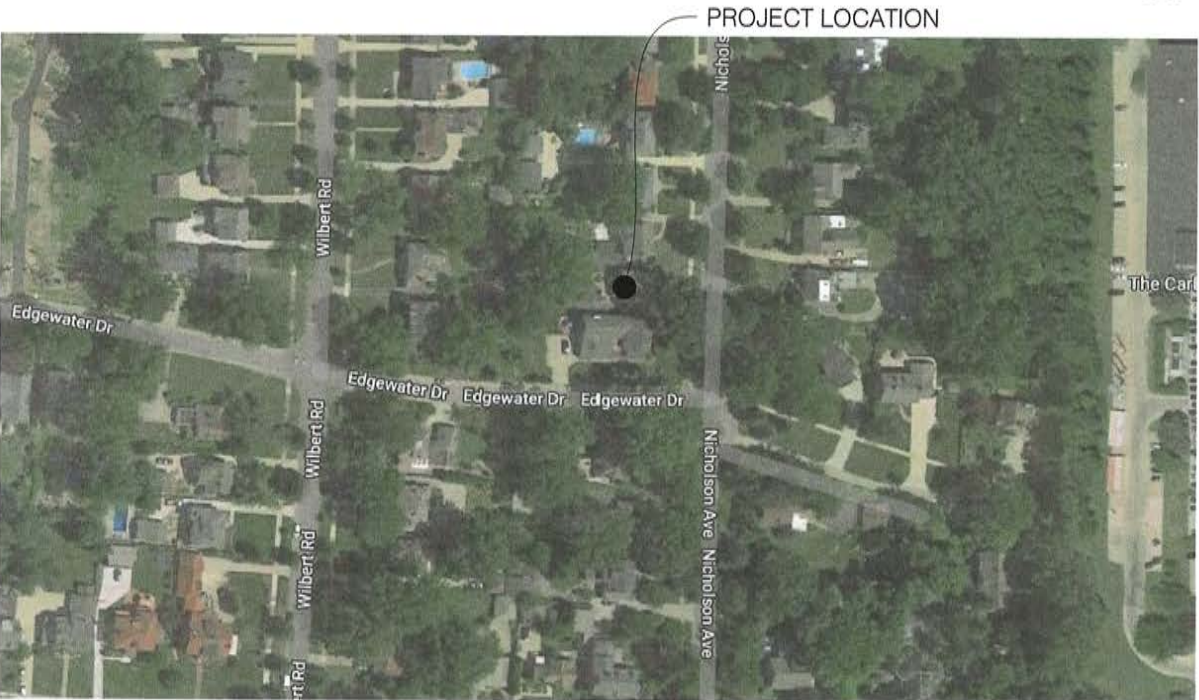
**DIMIT
ARCHITECTS**
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021



PROJECT LOCATION

NEIGHBORHOOD



PROJECT LOCATION

IMMEDIATE NEIGHBORHOOD



Drawing Number:
1.3

Drawing Title:
**AERIAL
ROAD
MAPS**

General Notes:
**McKean
Residence
Addition**

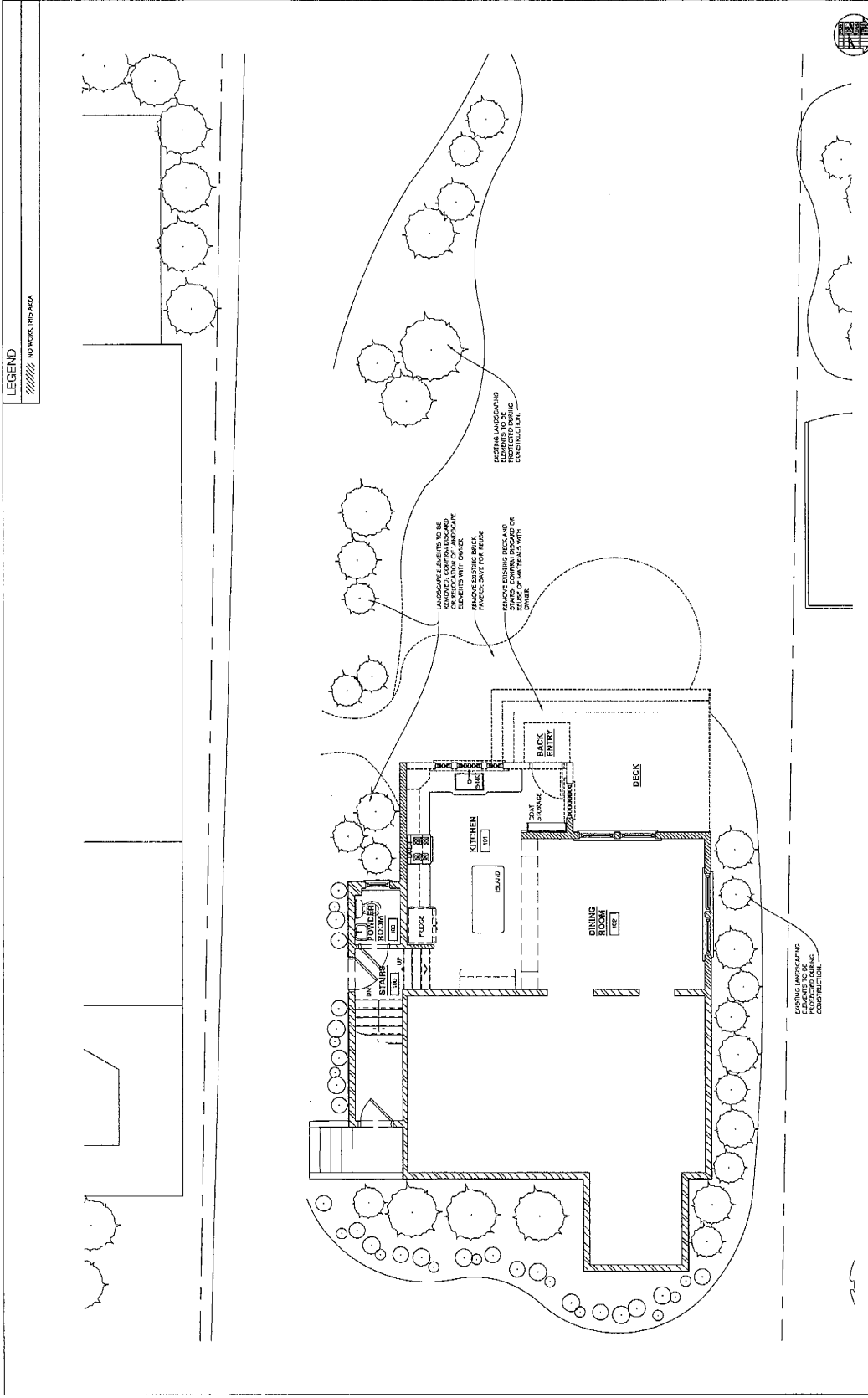
1080 Nicholson Avenue
Lakewood, Ohio 44107

Drawn by: CB	ISSUES:	DATE:	BY:
Checked by: SMD / AND	ABR SUBMISSION	01-29-20	SMD
Approved: SMD			
Job Number: 19-036			

105

DIMIT
ARCHITECTS
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14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021



LEGEND
 ///// NO WORK THIS AREA

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL VERIFY THE SITE AND ALL UTILITIES FROM THE CITY RECORDS AND FIELD SURVEY TO SHOW THE GENERAL SCOPE OF WORK AND TO DETERMINE THE SPACES TO BE DEMOLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
2. CONTRACTOR TO VERIFY ALL APPLICABLE REGULATIONS AND ORDINANCES WITH ALL LOCAL, STATE AND FEDERAL AGENCIES AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING DEMOLITION WORK.
3. CONTRACTOR TO PREPARE MOVEMENT OR REMOVAL OF EXISTING STRUCTURES, UTILITIES, AND MECHANICAL EQUIPMENT THAT IS TO BE DEMOLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
4. CONTRACTOR SHALL REMOVE FROM THE SITE AND ALL UTILITIES FROM THE LOCAL JURISDICTIONS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
5. CONTRACTOR SHALL REMOVE FROM THE SITE AND ALL UTILITIES FROM THE LOCAL JURISDICTIONS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
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7. CONTRACTOR SHALL REMOVE FROM THE SITE AND ALL UTILITIES FROM THE LOCAL JURISDICTIONS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

KEY

- INDICATES EXISTING CONSTRUCTION
- INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED AND REMOVED

McKeen Residence Addition
 1080 Richfield Avenue
 Lakewood, Ohio 44107

DIMIT ARCHITECTS
 14414 Detroit Ave., #3306
 Lakewood, Ohio 44107
 216-221-9021

SITE DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

DATE: 11-26-2020
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: DS-01

106

Shed

LEGEND

NO WORK THIS AREA
EXISTING WALLS

Review	Date	By
SCHEMATIC REVIEW	07-25-09	S.D.M.D.
AIR EMISSION	07-28-09	S.D.M.D.
	0	0
	0	0
	0	0
	0	0
	0	0
	0	0
	0	0
	0	0
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	0	0
	0	0

DIMIT
ARCHITECTS
14414 Detroit Ave., #204
Lakewood, Ohio 44107
216-221-9021

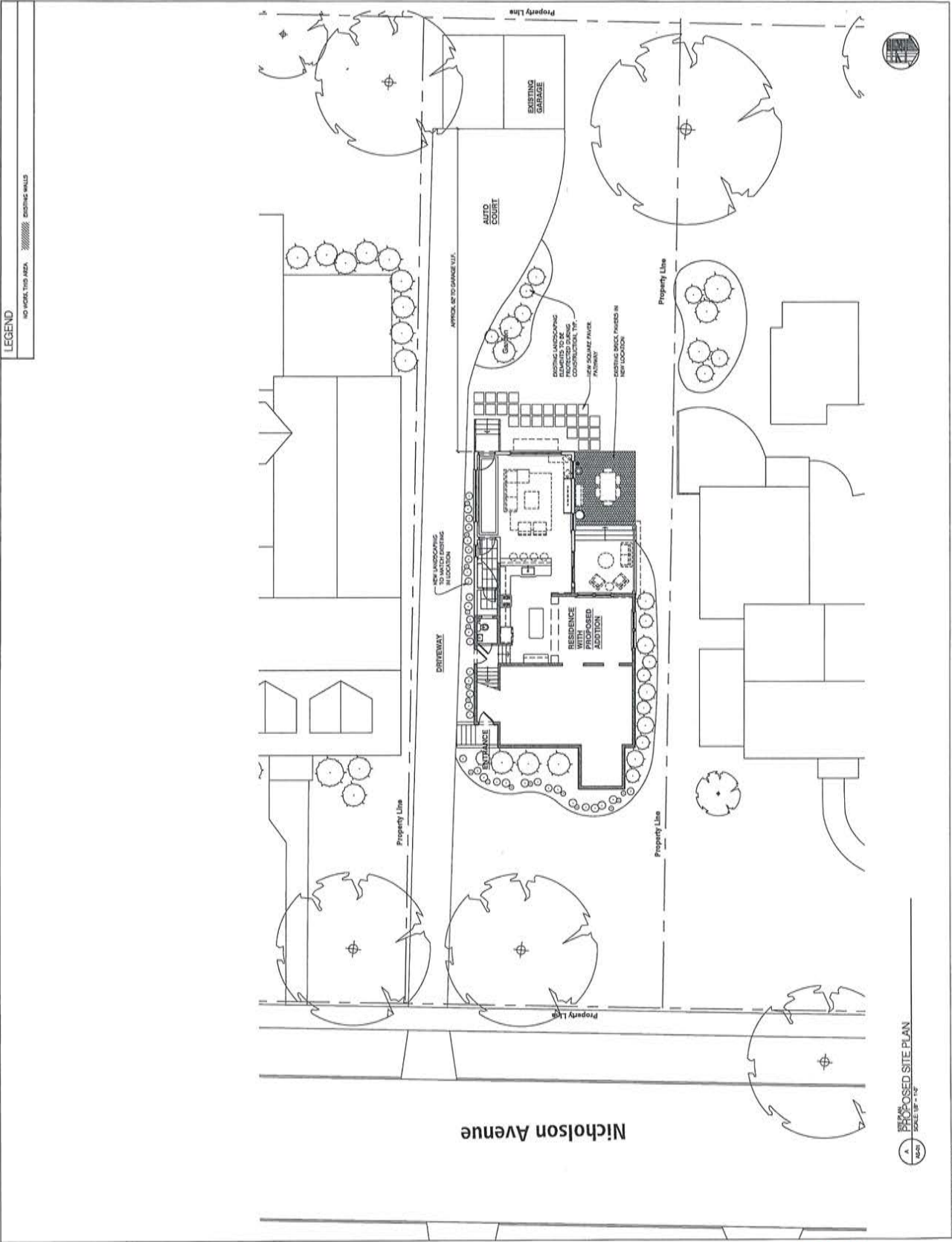
**McKean
Residence
Addition**

1330 Nicholson Avenue
Lakewood, Ohio 44107

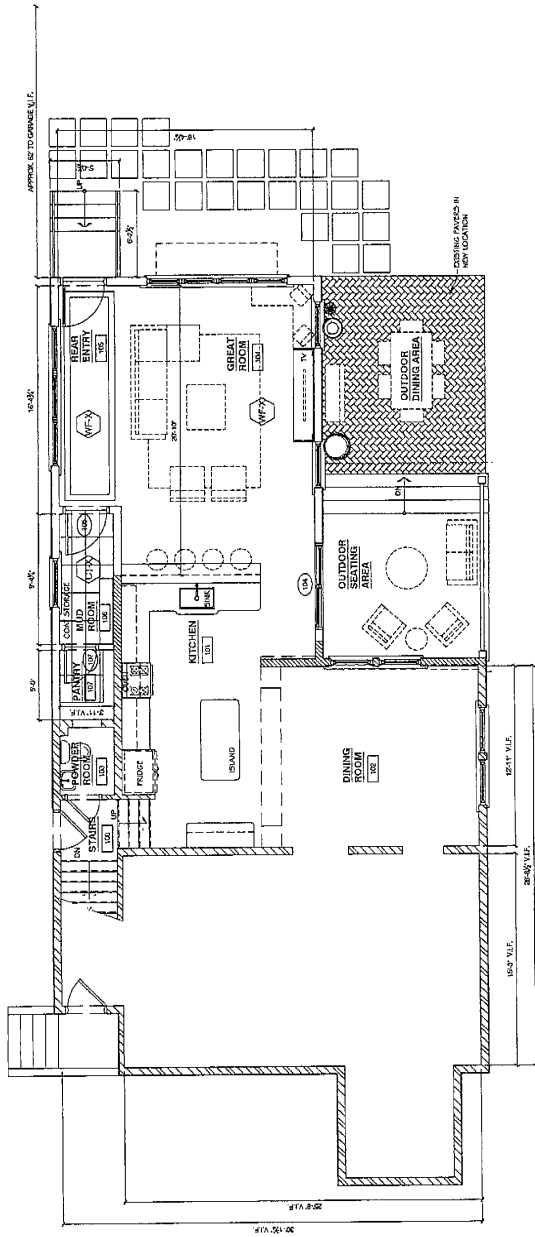
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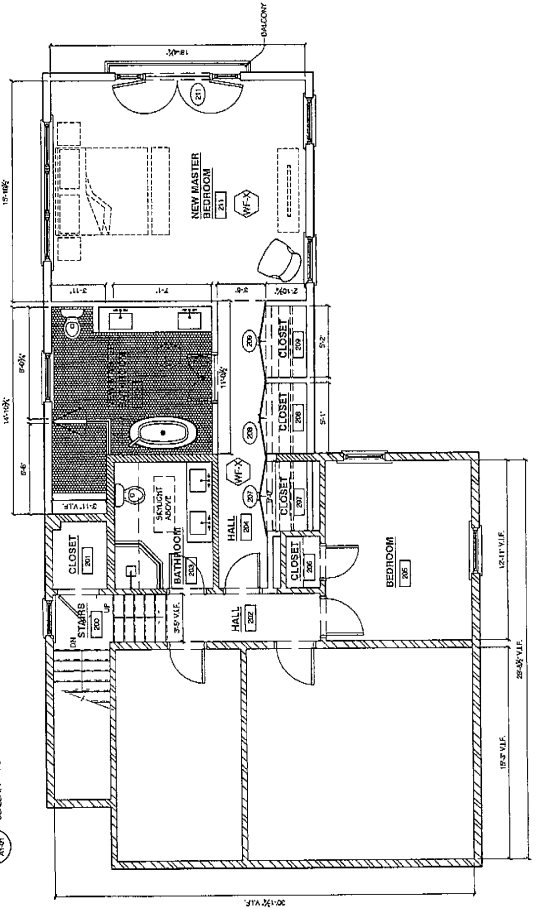
Sheet No:
AS-01



LEGEND
 NO WALK THIS AREA
 EXISTING WALL



A PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



B PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Title Block 01-18-2020 15-03E	Drawing Title PROPOSED FIRST AND SECOND FLOOR PLANS	Project Name A1-01	Client McKean Residence Addition	Architect DIMIT ARCHITECTS 14414 DETROIT AVE., #5106 LAKEWOOD, OHIO 44107 216-221-9021	Issues Date By SCHEMATIC REVIEW 05/01/18 G.SAD A/R SUBMISSION 0 0 0 0 0 0 0 0 0 0 0
-------------------------------------	--	-----------------------	-------------------------------------	---	--

Small

1 WEST ELEVATION
 SCALE 1/4" = 1'-0"
2 EAST ELEVATION
 SCALE 1/4" = 1'-0"
3 SOUTH ELEVATION
 SCALE 1/4" = 1'-0"
4 NORTH ELEVATION
 SCALE 1/4" = 1'-0"
LEGEND
 NO WORK THIS AREA

Issued	Date	By
SCHEMATIC REVIEW	03/01/19	SJW
AIR SUBMISSION	01/28/20	SJW

REMOVE WINDOW AND GLASS TO
 OWNERS FOR POSSIBLE FUTURE
 REUSE. REMOVE WINDOW AND GLASS
 FROM INTERIOR AND PRESERVE
 FOR FUTURE REUSE.
 REMOVE WINDOW AND GLASS TO
 OWNERS FOR POSSIBLE FUTURE
 REUSE. REMOVE WINDOW AND
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 SAWS AND ALL
 MATERIALS WITH OWNER.

REMOVE AND DISCARD EXISTING
 ROOF SHINGLES, ROOF GUTTERS,
 FLASHING AND DOWNSPouts.
 REMOVE WINDOW AND GLASS TO
 OWNERS FOR POSSIBLE FUTURE
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 REMOVE WINDOW AND GLASS TO
 OWNERS FOR POSSIBLE
 FUTURE REUSE. REMOVE WINDOW
 AND GLASS FROM INTERIOR AND
 DISCARD FROM INTERIOR AND
 EXTERIOR.
 REMOVE AND DISCARD
 RAILING AND TRAILER.
 REMOVE EXISTING ROOF
 FLASHING AND DISCARD OR
 DISCARD OR REUSE OF
 MATERIALS WITH OWNER.

**McKean
Residence
Addition**

1600 Nicholson Avenue
Lakewood, Ohio 44107

Crawing Title

EXISTING EXTERIOR
ELEVATIONS

1600 Nicholson Avenue
Lakewood, Ohio 44107

Crawing Title

EXISTING EXTERIOR
ELEVATIONS

1600 Nicholson Avenue
Lakewood, Ohio 44107

Crawing Title

EXISTING EXTERIOR
ELEVATIONS

**McKean
Residence
Addition**

1600 Nicholson Avenue
Lakewood, Ohio 44107

Crawing Title

EXISTING EXTERIOR
ELEVATIONS

1600 Nicholson Avenue
Lakewood, Ohio 44107

Crawing Title

EXISTING EXTERIOR
ELEVATIONS

1600 Nicholson Avenue
Lakewood, Ohio 44107

Crawing Title

EXISTING EXTERIOR
ELEVATIONS

Sheet

Issued	Date	By
SCHEMATIC REVIEW	09/07/18	S.SAD
AIR SUBMISSION	09/25/18	S.SAD
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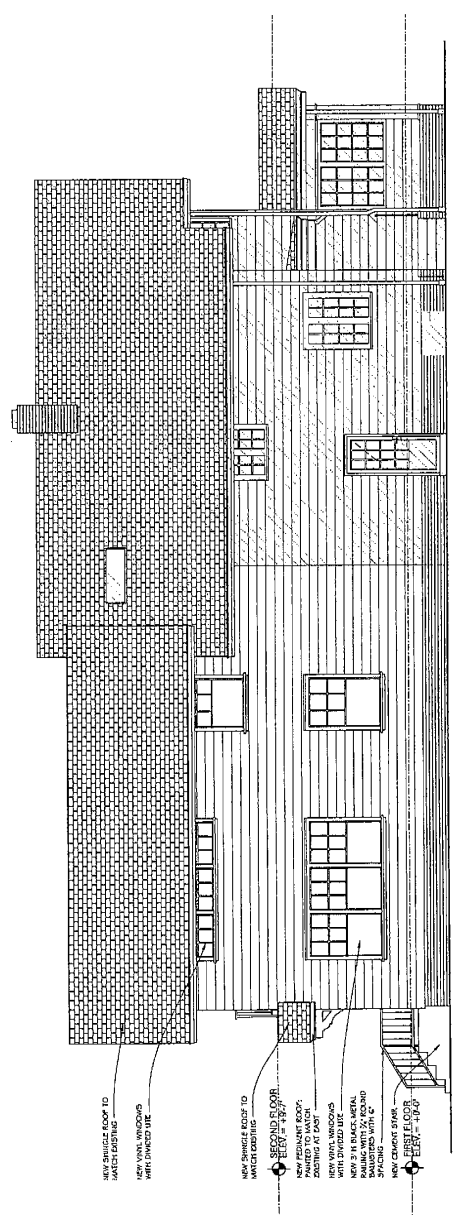
DIMIT
 ARCHITECTS
 14414 Detroit Ave., #306
 Lakewood, Ohio 44107
 216-221-9021

**McKean
 Residence
 Addition**

1880 Nicholson Avenue
 Lakewood, Ohio 4107

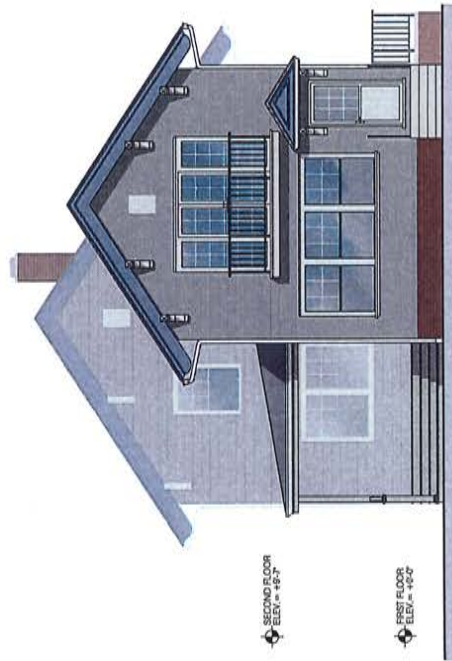
Proposed
 EXTERIOR
 ELEVATIONS

Date	01-28-2020	Project	18-008
Drawn by	CH	Checked by	
Scale	AS SHOWN	Project No.	
Sheet No.	A2-02	Client	



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

LEGEND
 100 WORK THIS AREA



SECOND FLOOR
ELEV. = +8'-0"

FIRST FLOOR
ELEV. = +0'-0"

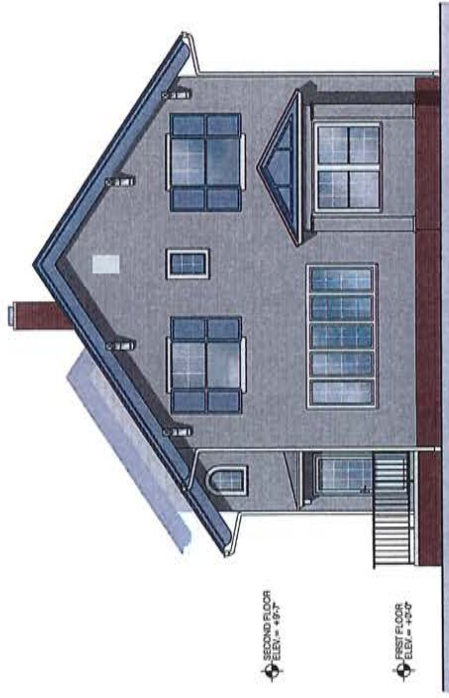
EXTERIOR ELEVATION
WEST ELEVATION
SCALE: 1/4" = 1'-0"



SECOND FLOOR
ELEV. = +8'-0"

FIRST FLOOR
ELEV. = +0'-0"

EXTERIOR ELEVATION
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SECOND FLOOR
ELEV. = +8'-0"

FIRST FLOOR
ELEV. = +0'-0"

EXTERIOR ELEVATION
EAST ELEVATION
SCALE: 1/4" = 1'-0"



SECOND FLOOR
ELEV. = +8'-0"

FIRST FLOOR
ELEV. = +0'-0"

EXTERIOR ELEVATION
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000005

DOCKET No. 02-15-20

FEE PAID _____ CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Dezort Garage and Addition

Project Address 1210 West Clifton Blvd.

Applicant Name Robert and Laura Dezort

Applicant Address _____
(if different than above)

Applicant Contact (____) 440 - 320-3134

Laura.dezort @ Yahoo.com

Brief Project Description New garage and addition to back of house

Signature: *Jamalen Dezort*
Robert E. Dezort

Date: January 26, 2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Robert and Laura Dezort

Property Address 1210 West Clifton Blvd.

Owner / Agent Contact (____) 440 - 320-3134

laura.dezort @ yahoo.com

Owner / Agent Signature *Jamalen Dezort*
Robert E. Dezort

Date: January 26, 2020

Office Use Only: Reviewed and Accepted by: _____

Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____

Description of Dezort Project: 1210 West Clifton Boulevard, Lakewood, Ohio 44107

The proposed project is the replacement of an existing garage with a two and a half car garage with storage space above and the replacement of an existing entry porch with a modestly larger space which will be used for a laundry room, pantry and entryway. Required variances were sought and obtained at the December 19, 2019 meeting of the Board of Zoning Appeals. The intent is to match the outward style and appearance of the existing, almost 100 year old home, while adding modern amenities to the property.



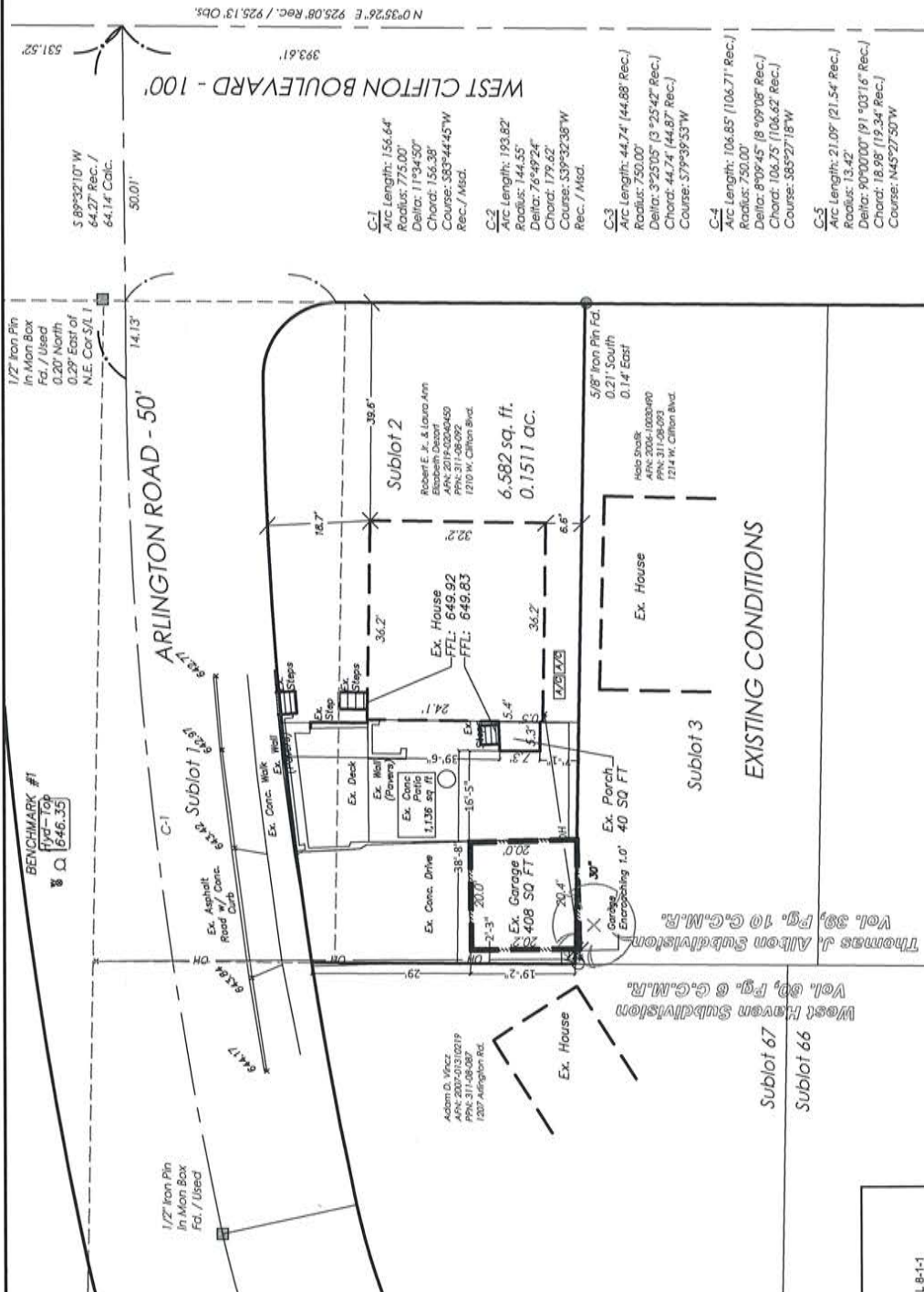
POLARIS ENGINEERING & SURVEYING, INC.
 34698 CHARDON ROAD
 SUITE D
 WILLOUGHBY HILLS, OH 44094
 (440) 944-3722 (Fax)
 (440) 944-3722 (Tel)
 www.polaris-es.com

DATE: 03-25-19
 SCALE: 1"=20'
 FOLDER: DWGS/SURV
 FILENAME: SUTX03.BAS
 TAB: 01-0300
 DRAWN: RJK

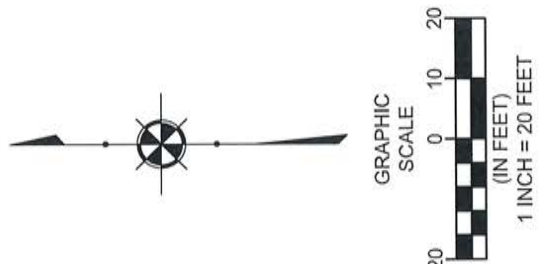
TOPOGRAPHIC SURVEY FOR:
1210 WEST CLIFTON BLVD.
 PPN: 311-08-092
 CITY OF LAKEWOOD - CUYAHOGA COUNTY - OHIO

PREPARED FOR:
IPS CONSTRUCTION
 P.O. BOX 771596
 LAKEWOOD, OH 44107
 PHONE: (216) 536-7322
 CONTACT: ISHAWD.MBR

CONTRACT NO.	19036
SHEET	01
OF	02



NOTE:
 ANYONE USING ELEVATIONS ASSOCIATED WITH THIS PLAN SHALL UTILIZE & CHECK INTO BOTH BENCHMARKS FOR VERTICAL CONTROL. POLARIS SHALL BE NOTIFIED IMMEDIATELY OF ANY IRREGULARITIES.



SYMBOL LEGEND

	Ex. Electrical Box		Ex. Monument Box
	Ex. Cable TV Box		Ex. Sprinkler Control Box
	Ex. Gas Valve		Ex. Traffic Signal Pole
	Ex. Storm Manhole		Ex. Telephone Box
	Ex. Catch Basin		Ex. Guard Post
	Ex. Water Meter		Ex. Sign
	Ex. Fire Hydrant		Ex. Light Pole
	Ex. Gas Meter		Ex. Power Pole
	Ex. Gas Valve		Ex. Light Pole
	Ex. Gas Valve		Ex. Light Pole

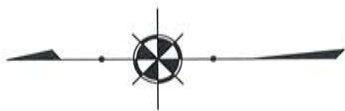
811
 O.U.P.S. REFERENCE
 A-905-702-097
 2 WORKING DAYS BEFORE YOU DIG CALL 811-1
 OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
 MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
 THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

116

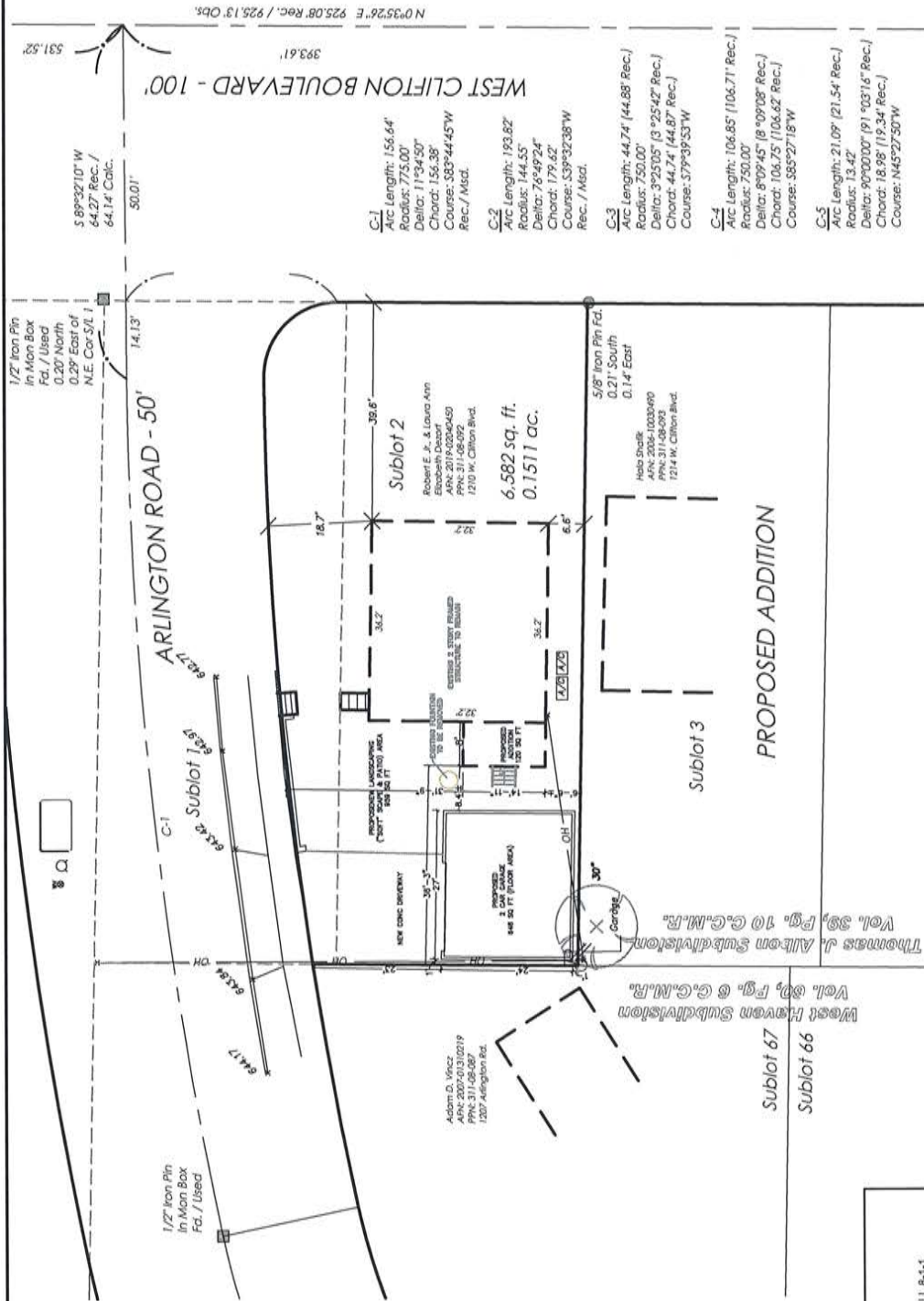
NOTE:
ANYONE USING ELEVATIONS ASSOCIATED WITH THIS PLAN SHALL UTILIZE & CHECK INTO BOTH BENCHMARKS FOR VERTICAL CONTROL. POLARIS SHALL BE NOTIFIED IMMEDIATELY OF ANY IRREGULARITIES.



GRAPHIC SCALE



(IN FEET)
1 INCH = 20 FEET



polaris
POLARIS ENGINEERING & SURVEYING, INC.
2488 CHARDON ROAD
SUITE D
WILLOUGHBY HILLS, OH 44094
(440) 944-4433
www.polaris-survey.com

DATE: 12-2-19
SCALE: 1"=20'
FOLDER: DWG/Survey
FILENAME: Survey Base
TAB: 917599
DRAWN: BMK

TOPOGRAPHIC SURVEY FOR:
1210 WEST CLIFTON BLVD.
PPN: 311-08-092
CITY OF LAKEWOOD - CUYAHOGA COUNTY - OHIO

PREPARED FOR:
IDS CONSTRUCTION
P.O. BOX 771986
LAKEWOOD, OH 44107
PHONE: (216) 592-7322
CONTACT: David Miller

SHEET	02
OF	02
CONTRACT NO. 190036	

SYMBOL LEGEND

Ex. Sanitary Manhole	Ex. Water Valve	Ex. Tree	Ex. Monument Box
Prop. Sanitary Manhole	Ex. Water Meter	Ex. Pipe Tree	Cable TV Box
Ex. Catch Basin	Ex. Fire Hydrant	Ex. Bush	Sprinkler Control Box
Prop. Catch Basin	Prop. Hydrant	Ex. Mailbox	Sprinkler Head
Ex. Yard Drain	Prop. W. Valve	Ex. Sign	Traffic Signal Pole
Ex. Manhole	Prop. W. Valve	Ex. Telephone Box	Traffic Signal Box
Ex. Storm Manhole	Wall	Guard Post	
Prop. Storm Manhole	Test Bore		
Ex. Chain Out	Ex. Gas Valve		
Ex. Clean Out	Prop. Light Pole		
Prop. Sanitary Manhole	Ex. Light Pole		
Prop. Catch Basin	Prop. Light Pole		
Ex. Yard Drain	Ex. Light Pole		
Ex. Manhole	Ex. Light Pole		
Ex. Storm Manhole	Prop. Light Pole		
Prop. Storm Manhole	Prop. Light Pole		
Ex. Electrical Box	Ex. Electrical Box		
Ex. Guy Wire	Ex. Guy Wire		
Ex. Power Pole	Ex. Power Pole		
Ex. Light Power Pole	Ex. Light Power Pole		
Ex. Light Pole	Ex. Light Pole		
Prop. Light Pole	Prop. Light Pole		

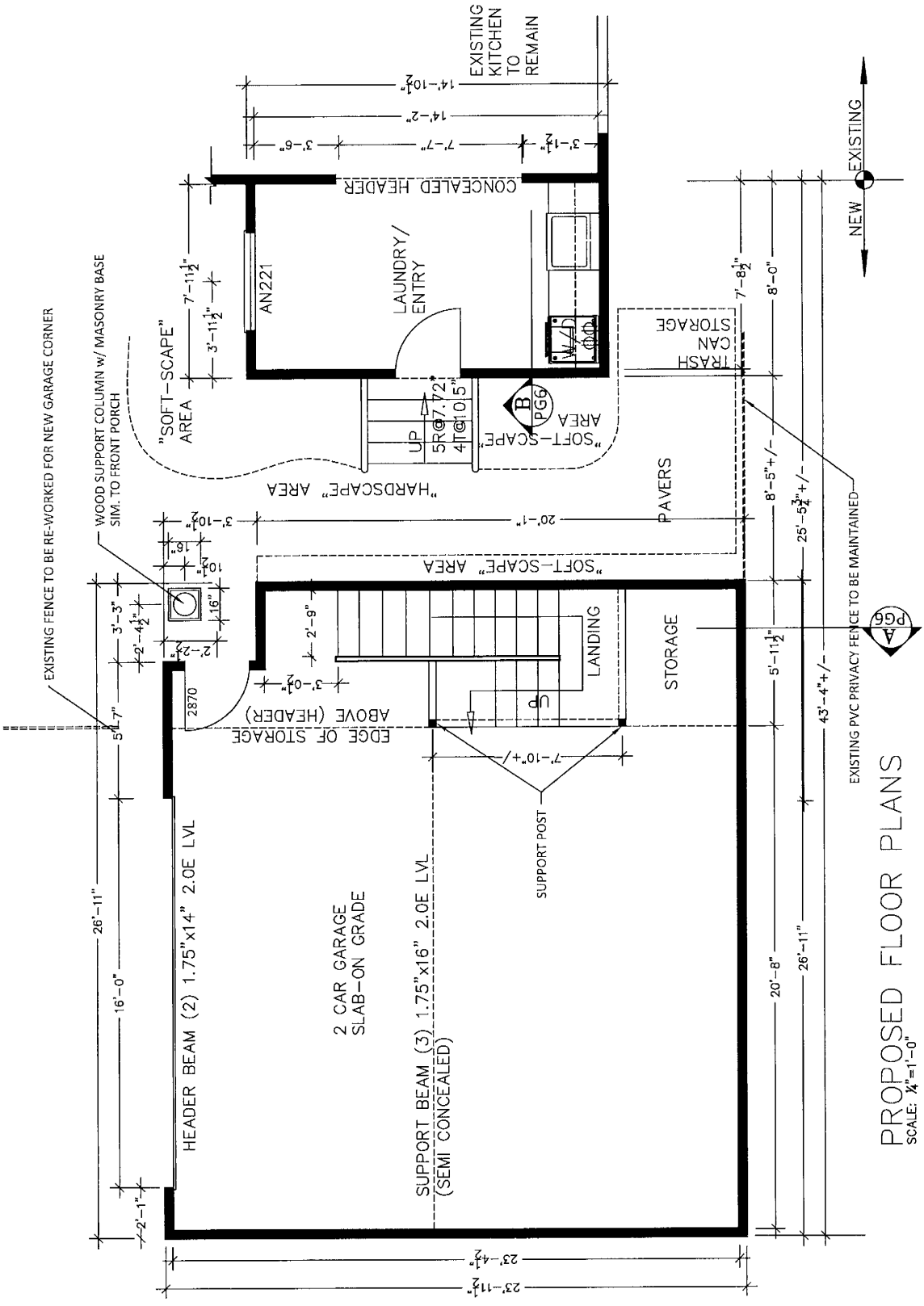
O.U.P.S. REFERENCE
A-805-702-087

2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

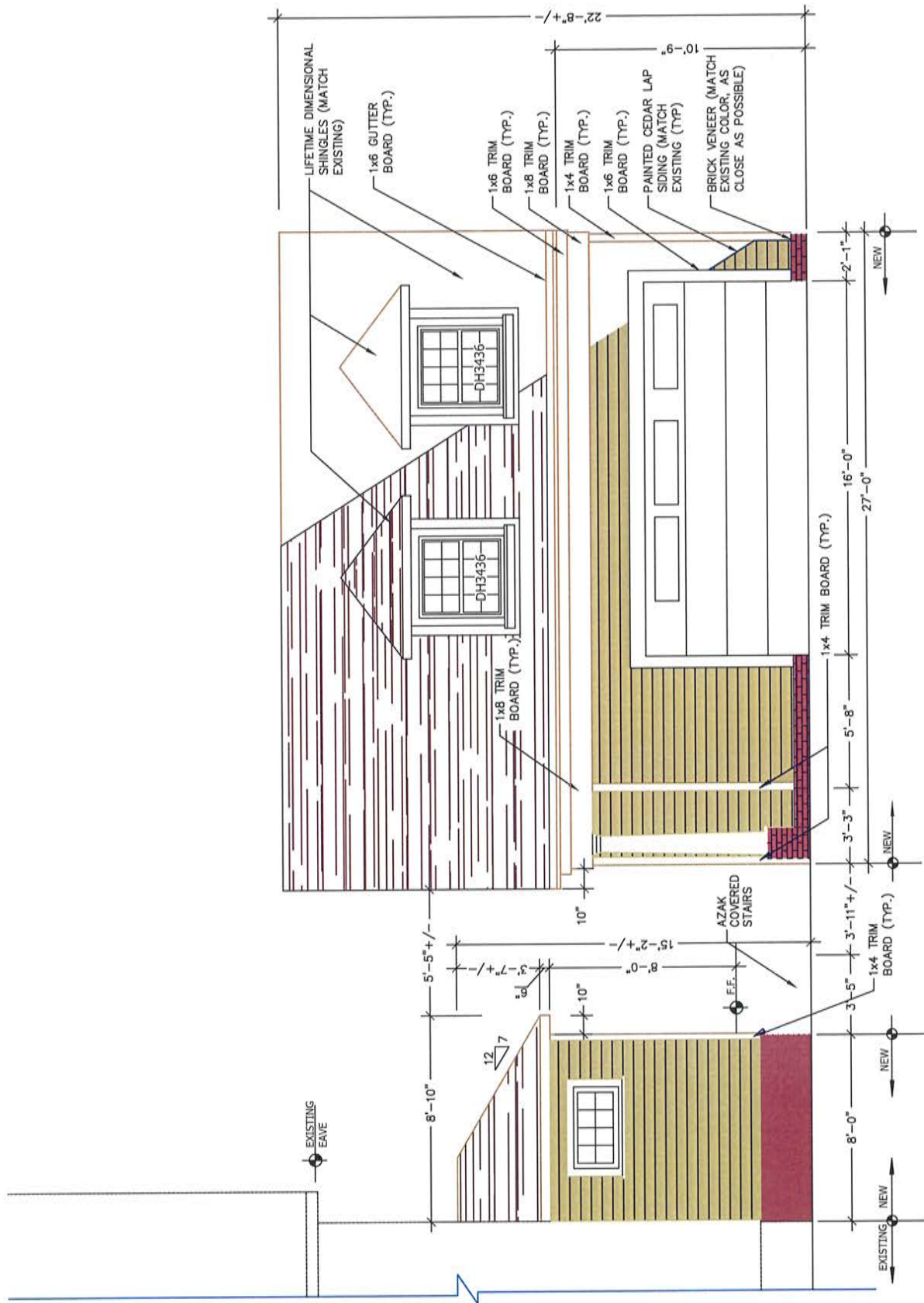
NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

711



PROPOSED FLOOR PLANS
 SCALE: 1/8"=1'-0"

811



PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"

111

Independent Design Solutions, LLC
Bringing Construction Concepts to Reality
P.O. Box 771596
Lakewood, Ohio 44107
PHONE (216) 536-7322

DEZORT RESIDENCE
1210 W Clifton Blvd
Lakewood, Ohio 44107

21012181
NOV 22, 2019
AS NOTED
DJM
PAGE 2

Independent Design Solutions, LLC
 Bringing Construction Concepts to Reality
 P.O. Box 771596
 Lakewood, Ohio 44107
 PHONE (216) 536-7322



DEZORT RESIDENCE
 1210 W Clifton Blvd
 Lakewood, Ohio 44107

PROJECT NO.

21612181

DATE

NOV 22, 2019

SCALE

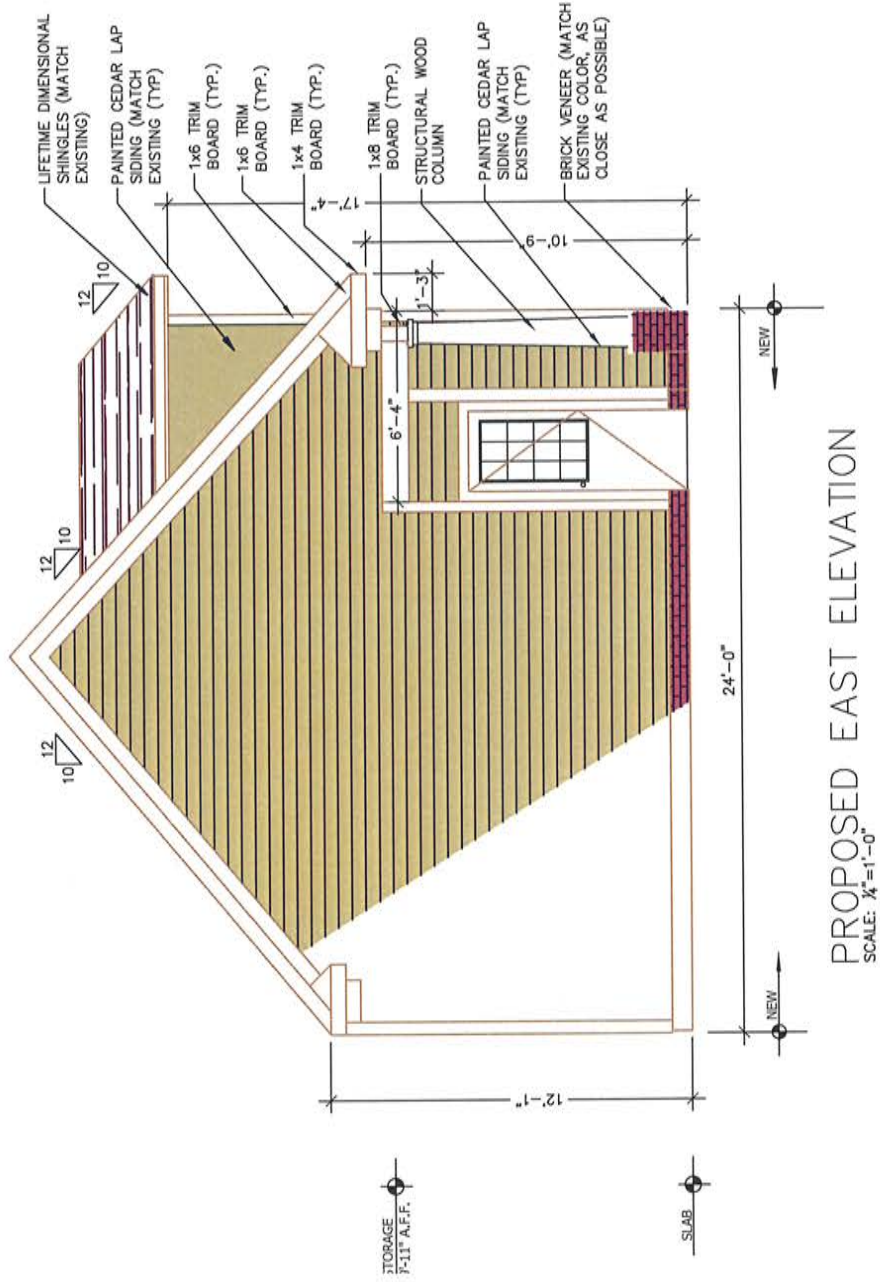
A5 NOTED

DESIGN BY

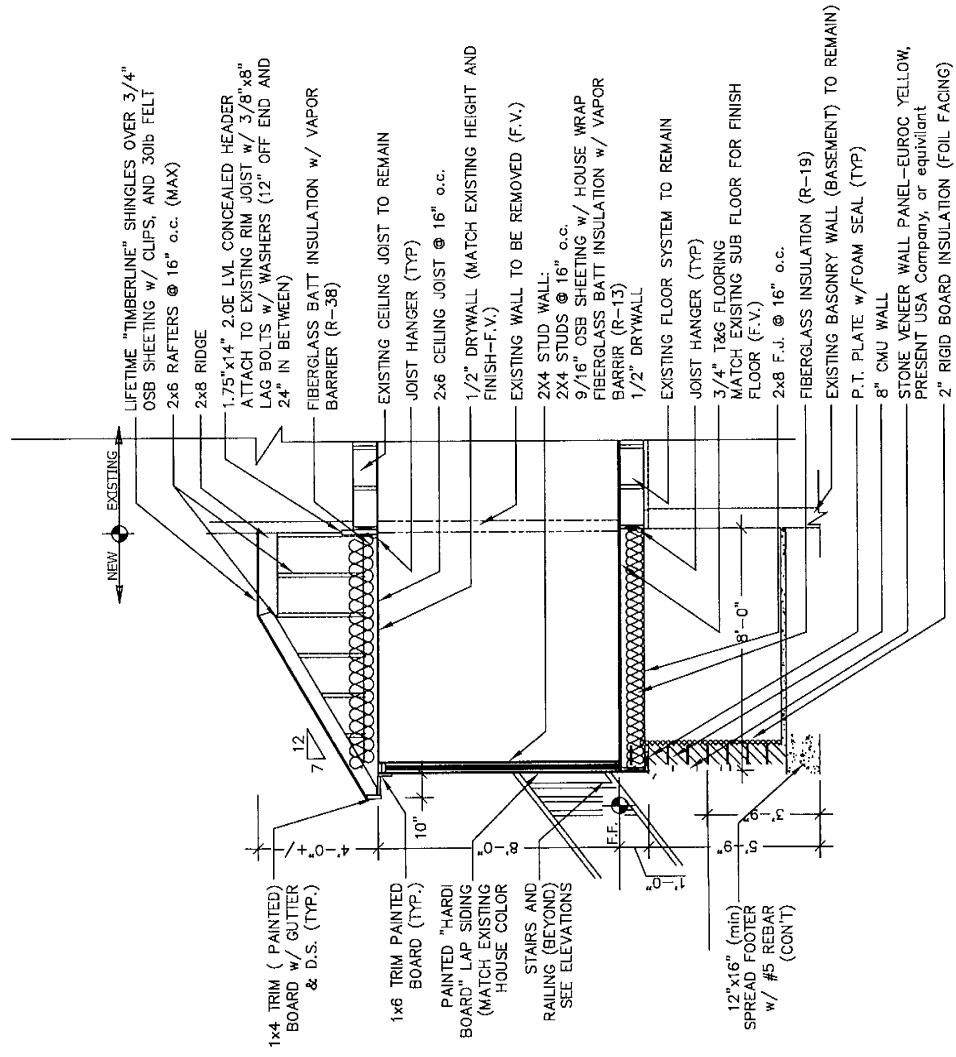
DJM

CHECK BY

PAGE 3




021



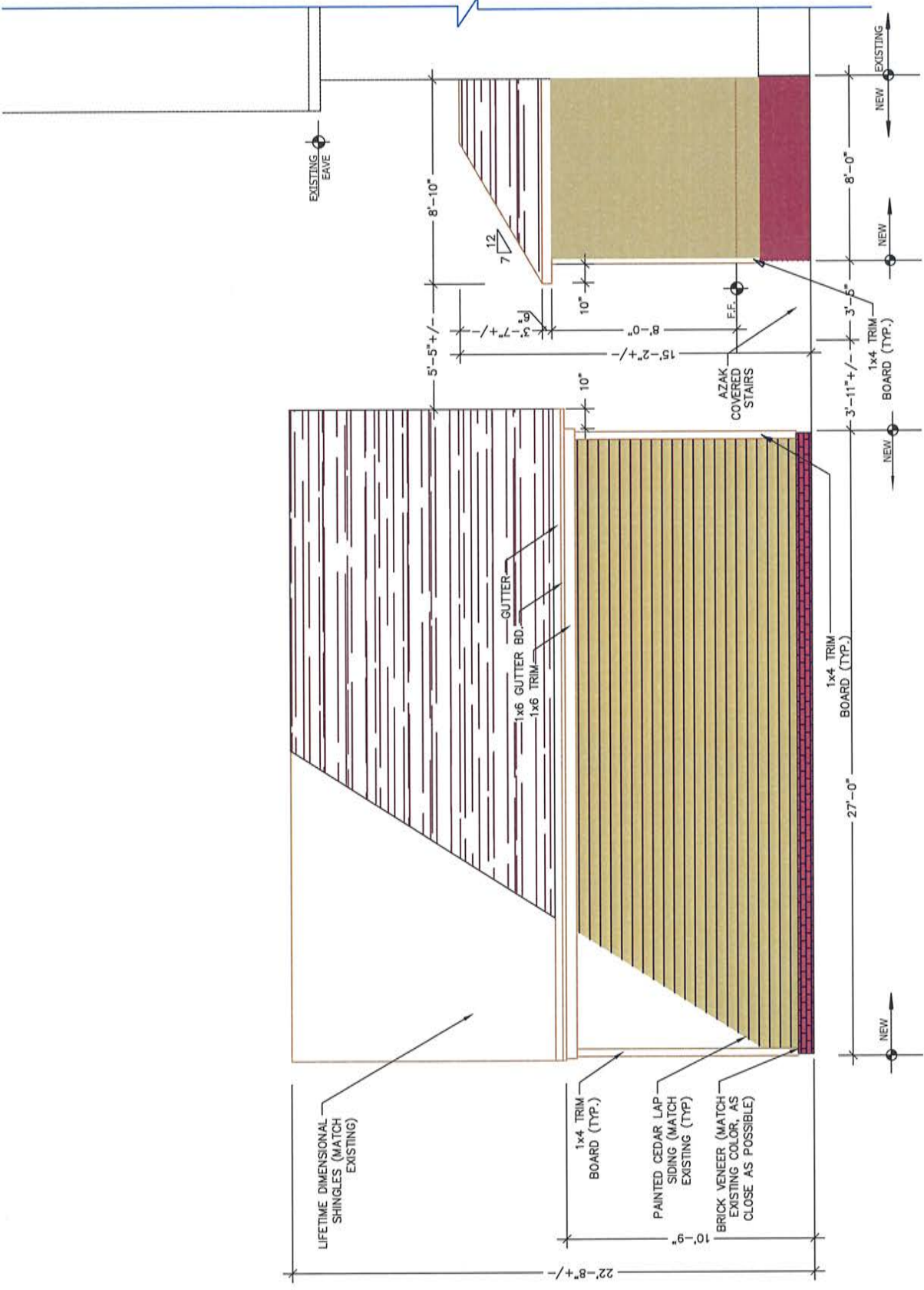
LAUNDRY ROOM SECTION B
 SCALE: 1/4" = 1'-0"

121


 Independent Design Solutions, LLC
 Bringing Construction Concepts to Reality
 P.O. Box 771596
 Lakewood, Ohio 44107
 PHONE (216) 536-7322


DEZORT RESIDENCE
 1210 W Clifton Blvd
 Lakewood, Ohio 44107

PROJECT NO. 21612181
 DATE NOV 22, 2019
 DRAWN BY AS NOTED
 CHECKED BY DJM
 SCALE 1/8" = 1'-0"
PAGE 4



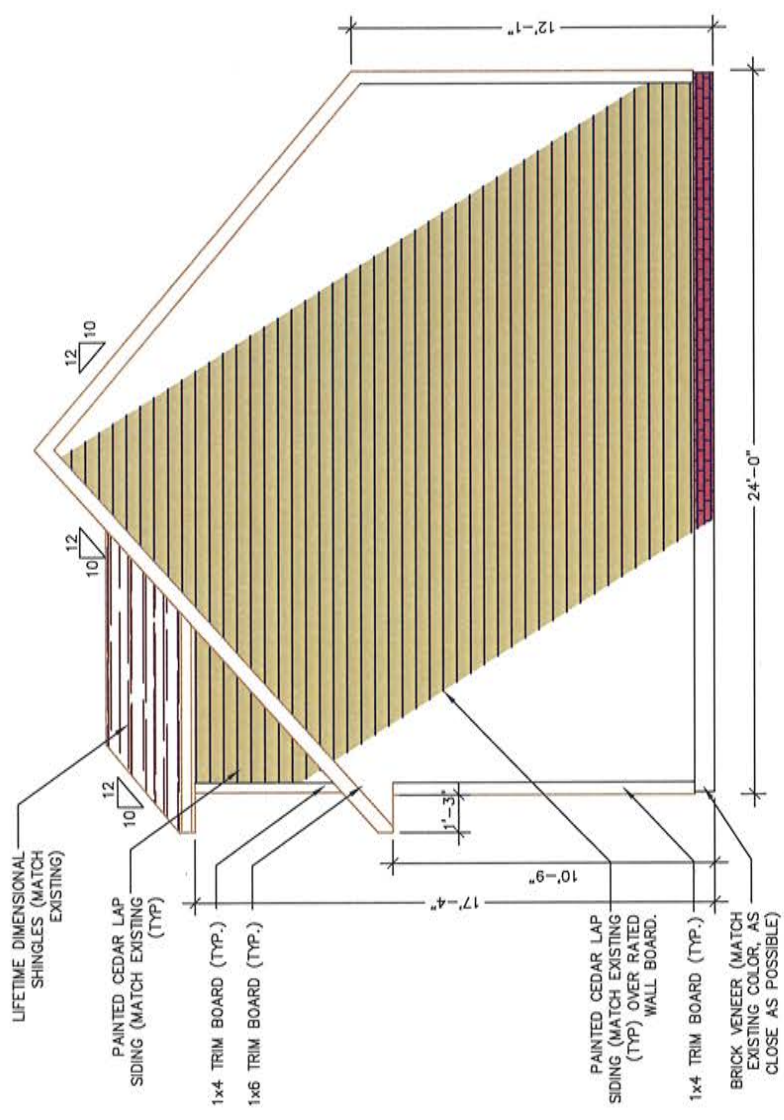
PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

221


 Independent Design Solutions, LLC
 Bringing Construction Concepts to Reality
 P.O. Box 771596
 Lakewood, Ohio 44107
 PHONE (216) 536-7322

DEZORT RESIDENCE
 1210 W Clifton Blvd
 Lakewood, Ohio 44107

PROJECT NO. 21612161
 DATE NOV 22, 2019
 DRAWN BY AS NOTED
 CHECKED BY DJM
 SHEET NO. PAGE 5



PROPOSED WEST ELEVATION
 SCALE: 1/4"=1'-0"

123

DRAFT

**MINUTES
BOARD OF ZONING APPEALS
DECEMBER 19, 2019
LAKEWOOD CITY HALL**

**PRE-REVIEW MEETING
6:00 P.M.
EAST CONFERENCE ROOM**

**REVIEW MEETING
6:30 P.M.
AUDITORIUM**

1. Roll Call

Members Present

Michael Alexander
James Amendola, Vice Chair
Christopher Bindel, Chair
Jillian Bolino
Megan Otter

Other

Michelle Nochta, Planner, Secretary
Charles Huber, Plans Examiner
Andrew Fleck, City Prosecutor

2. Approve the minutes of the November 21, 2019 meeting

A motion was made by Mr. Bindel seconded by Ms. Bolino to **APPROVE** the November 21, 2019 meeting minutes. All the members voting yea, the motion passed.

3. Opening Remarks

Administrative staff ("staff") read the Opening Remarks into record.

OLD BUSINESS

4. Docket No. 11-32-19 1302 Westlake Avenue

Chad Thompson, Devolver Corporation, applicant proposes constructing a new two-family structure on a 3,500 sq. ft lot. The proposed structure would cover 980 Sq. Ft. and the rear of the structure would be 19 feet from the rear property line. The foundation of the front porch would be 12 feet from the public right of way. To build the structure as proposed will require 5 variances. Property is located in the R2 Single and Two-Family Residential District.

- First Variance: Maximum lot coverage for a primary structure is 25% of the 3,500 SQ. Ft. lot or 875 Sq. Ft. The first variance request is to exceed maximum lot coverage by a primary structure by 105 Sq. Ft. and cover 28% of the total lot. Section 1123.07(Ord. 91-95. Passed 10-7-1996.)
- Second Variance: The primary structure's rear foundation wall is required to be 40 feet or more from the rear property line. The second variance request is to place the rear foundation wall at 19 feet from the rear property line reducing the depth of the rear yard by 21 feet. Section 1123.07(Ord. 91-95. Passed 10-7-1996.)

124

DRAFT

- Third Variance: The primary structure's front foundation wall is required to be placed at or behind the Building Line, which on the west side of Westlake Avenue is 20 feet from the public right of way. The third variance request is to reduce the depth of the front yard by 8 feet by placing the front foundation wall 12 feet from the public right of way. Section 1123.07(Ord. 91-95. Passed 10-7-1996.)
- Fourth Variance: **No action required as building plan had been verified as being in compliance.** No measurement has been provided for the height of the primary structure. Before the meeting the applicant is to supply the elevation showing the height of the structure and if it is in excess of 35 feet the applicant must request a variance. Section 1123.05(a) (Ord. 91-95. Passed 10-7-1996.)
- Fifth Variance: **No action required as building plan had been verified as being in compliance.** No measurement has been provided for the height of the accessory structure. Before the meeting the applicant is to supply the elevation showing the height of the structure and if it is in excess of 15 feet (calculated height) the applicant must request a variance. Section 1123.05(a) (Ord. 91-95. Passed 10-7-1996.)

(Page 3)

Chad Thompson, Devolver Corporation, applicant, and John Waddell, Erbach Waddell Architects were present to explain the request for three variances. Administrative staff ("staff") stated there was an element of practical difficulty due to the small size of the lot, provided an analysis of each variance, addressed the public written comments received prior to the meeting (made part of record). The Board members ("Board") asked for details. Dialogue among the staff, Board and architect, and applicant continued about each variance. Public comment was not taken as no one addressed the issue.

A motion was made by Mr. Amendola, seconded by Mr. Alexander to **APPROVE** the requests. All the members voting yea, the motion passed.

NEW BUSINESS

5. Docket No. 12-33-19 1210 West Clifton Boulevard

Property owners Robert E. and Laura Ann E. Dezort propose the demolition of the existing two car garage and small addition and the reconstruction of a two-story,two-car garage and a 120 square foot addition on the primary structure. The proposed garage would cover 646 sq. ft. of the rear yard and be placed 1 foot from the side and rear lot lines. The proposed garage would be 16 feet 9 inches tall(calculated height) .The proposed single-story addition is 8 feet wide and 15 feet long. The addition would reduce the rear yard setback to 36.5 feet and exceed the allowable primary lot coverage by 134.5 sq. ft. Property is located in the R1M Single Family Medium Density Residential District.

- First Variance: The lot size is 6,582 square feet. With the proposed addition the total primary lot coverage will exceed the allowable 25% (1,660 sq. ft) by an additional 2%(134.5 sq. feet) . First variance request is to exceed maximum primary lot coverage by an additional 2% or 134.5 sq. ft. for a total primary lot coverage of 27%. Section 1121.09(a) (Ord. 91-95. Passed 10-7-1996.)
- Second Variance: The proposed addition reduces the rear yard setback from the required 40 feet to 36.5 feet. The Second variance request is to reduce the rear yard setback by 3.5 feet. Section 1121.07 (Ord. 91-95. Passed 10-7-1996.)

125

DRAFT

- Third Variance: The proposed garage exceeds the allowable rear lot coverage of 480 sq. ft by 168 sq. ft to cover 37% of the rear yard. The rear lot area is calculated as 1,734 sq. ft. The third variance request it to exceed maximum rear lot coverage by 168 sq. ft. Section 1121.09(c) (Ord. 91-95. Passed 10-7-1996.)
- Fourth Variance: The proposed garage has a calculated height of 16 feet and 9 inches. The maximum allowable calculated height for an accessory structure is 15 feet. The fourth variance request is to exceed maximum allowable height of an accessory structure by 21" for a total calculated height of 16 feet 9 inches. Section 1121.05(b) (Ord. 91-95. Passed 10-7-1996.)
- Fifth Variance: The proposed garage will be located 1 foot from the rear property line. Wooden garages must be located 3 feet from the rear property line. Fifth variance request is to reduce the side yard setback for an accessory structure to 1 foot. Section 1121.10(1)(a) (Ord. 32-16. Passed 9-6-2016.)
- Sixth Variance: The proposed garage will be located 1 foot from the rear property line. Wooden garages must be located 3 feet from the rear property line. Fifth variance request is to reduce the side yard setback for an accessory structure to 1 foot. Section 1121.10(1)(a) (Ord. 32-16. Passed 9-6-2016.)

(Page 10a)

Robert E. and Laura Ann E. Dezort, property owners were present to explain the requests. Staff provided a background of the project; the existing structures are located on a corner lot. The parcel has a large front yard and a small backyard, due to the shape of the lot and the placement and size of the original home. The house and garage are also on a small hill. Fire rating and requirements were outlined by the Plans Examiner. Maintenance of the garage was addressed. Discussion continued about the proposed garage height. Public comment was not taken as no one addressed the issue. No comments were received prior to the meeting. There was further discussion about stormwater, elevations of the proposed garage.

A motion was made by Mr. Amendola, seconded by Ms. Bolino to **APPROVE** the requests. All the members voting yea, the motion passed.

ADJOURN

A motion was made by Mr. Bindel, seconded by Mr. Amendola to **ADJOURN** the meeting at 7:06 P.M. All the members voting yea, the motion passed.

Signature

Date

126

GAF **TIMBERLINE HD**
LIFETIME HIGH DEFINITION SHINGLES

Timberline HD® Shingles

Made to protect your home. Your story. And those of over 50 million of your fellow Americans!

Timberline HD® Shingles Provide These Unique Benefits:

Great Value
Architecturally stylish, but practically priced.

Dimensional Look
Features GAF proprietary color blends and enhanced shadow effect for a genuine wood-shake look.

**Highest Roofing
Fire Rating**
UL Class A, Listed to ANSI/UL 790

High Performance
Designed with Advanced Protection® Single Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS/ to learn more)

Stays in Place

Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h)

StainGuard® Protection
Helps ensure the beauty of your roof against unsightly blue-green algae*

Peace of Mind

Lifetime Ltd. transferable warranty with Smart Choice® Protection (iron-protected material and installation labor coverage) for the first ten years†

Perfect Finishing Touch

For the best look, use Timberline® Premium Ridge Cap Shingles or Ridgglaze® Premium Ridge Cap Shingles‡

*This wood shingle coverage requires special maintenance with GAF StainGuard® Protection. See www.gaf.com/stainguard for details.
‡GAF StainGuard® Protection is available only on shingles with SmartChoice® Protection. See www.gaf.com/stainguard for details.
†Warranty coverage is limited to the original manufacturer's warranty. See www.gaf.com/warranty for details.
‡Ridgglaze® Premium Ridge Cap Shingles are available only on shingles with SmartChoice® Protection. See www.gaf.com/ridgglaze for details.
*This product is not available in all areas. See www.gaf.com/stainguard for details.

Colors & Availability

Regional Availability
Northeast, Southeast, Southwest,
West and Central Areas



Applicable Standards & Protocols

- UL Listed to ANSI/UL 790 Class A
- Miami-Dade County Product Control approved
- State of Florida approved
- UL 997 modified to 110 mph
- Classified by UL in accordance with ICC-ES AC408
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018, Type 1
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Texas Department of Insurance listed
- CSA A123.5†
- ENERGY STAR® Certified (White Only) [U.S. Only]
- Rated by the CRRR
- Can be used to comply with Title 24 cool roof requirements
- Meets the cool roof requirements of the Los Angeles Green Building Code (Birchwood, Copper Canyon, Golden Amber, and White Only)

Product/System Specifics³

- Fiberglass Asphalt Construction
- Dimensions (approx.): 13 1/4" x 39 3/8" (337 x 1,000 mm)

Installation

Detailed installation instructions are provided on the inside of each bundle wrapper of Timberline HD® Shingles. Installation instructions may also be obtained at gaf.com.

Manufactured by independent and licensed facilities in accordance with ASTM D2463 at one of our manufacturing facilities in the United States or Canada.

†See our consumer published literature for details.

‡Ridgglaze® Premium Ridge Cap Shingles are available only on shingles with SmartChoice® Protection. See www.gaf.com/ridgglaze for details.

NOTE: It is difficult to reproduce the color fidelity and detail of these products. Before selecting your color, please ask to see several full-size samples.



CART

Home / STONE VENEER / Thin Manufactured Stone Veneer Euroc Yellow Sand, Box 5.38 sq. ft.

Thin Manufactured Stone Veneer Euroc Yellow Sand, Box 5.38 sq. ft.

Stone Design

\$42.99

[Write a Review](#)

UPC:

8711434155083

Availability:

Ships in 1-2 business days

Shipping:

Calculated at Checkout

Free Shipping:

Free shipping on orders over \$2500. Orders between \$2500 - \$1500: \$199 shipping fee. Orders < \$1500: \$349 shipping fee

Sample:

Please see the sample section of this website

Price per sq.ft.:

\$7.99



THE AZEK ADVANTAGE

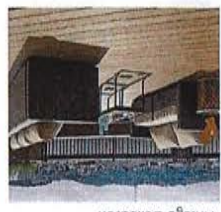
- Capped polymer core with premium Alloy Armour Technology
- 30-Year Fade & Stain Limited Warranty
- Limited Lifetime Residential Warranty
- Extremely durable & low-maintenance

- Mild, mildew & moisture resistant
- Stain, scratch & insect resistant
- Will not splinter, rot, crack or warp
- Superior heat dissipation
- Compatible with traditional & hidden fasteners

DECK PRODUCTS	12"	16"	20"	24"
HARVEST COLLECTION Kona	•	•	•	•
HARVEST COLLECTION Brownstone, Slate Gray	•	•	•	•
HARVEST COLLECTION Island Oak, Autumn Chestnut	•	•	•	•
ARBOR COLLECTION Silver Oak, Hazelwood, Acacia, Mountain Redwood	•	•	•	•
VINTAGE COLLECTION Dark Hickory, Cypress, Mahogany	•	•	•	•



AZEK® Porch



Vintage Collection®



Arbor Collection®



Harvest Collection®



100% SMARTER THAN WOOD™

128



RAILING BUILT TO LAST

Every contractor knows finishing touches can make a project go from ordinary to extraordinary. That's why AZEK Building Products offers the most superior options available. AZEK, our AZEK and TimberTech decking products, our railing is also made of high-performance composites and aluminum materials to complement all of our decking collections.

Classic Rail Styles

Premier Rail™

The classic Victorian profile of Premier Railing combines the beauty and feel of real wood with the added strength of performance materials for a high-end look that endures.



Trademark Rail™ & Reserve Rail™

Trademark Railing offers understated elegance, combining the classic clean lines of a traditional colonial profile with the promise of lasting beauty. Reserve Railing with an extra-wide top rail and expansive caps, creates an impressive profile for porches, balconies, and large-scale decks for a lasting impression.



Trademark and Reserve Rail styles are only available in select markets.

RadianceRail®

With traditional smooth lines and available hardware, RadianceRail is available in six classic colors allowing you to mix and match posts, colors, and baluster options for a custom look.



RadianceRail® Express

Available in three color options with composite balusters, RadianceRail Express offers faster installation steps with exposed brackets and routed baluster holes.



Contemporary Rail Styles

Impression Rail™

AZEK® Building Products now offers a sleek aluminum rail system in Black and Bronze with streamlined rectangular balusters and options for rail height and post style.



Evolutions Rail® Contemporary

A modern rail profile with a continuous flat top rail is available in two colors and is compatible with all infill options.



Evolutions Rail® Builder

This modern rail profile is designed to work with a TimberTech® or AZEK® square-shouldered deck board as a top rail. Available in two colors with glass infill or round metal balusters look.



CUSTOMIZE YOUR RAIL

RAILING STYLE	POSTS	INFILLS	TOP RAILS	POST CAPS	BRACKET

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000009

DOCKET No. 02-16-20

FEE PAID _____ Check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Beck Center for the Arts

Project Address 17801 Detroit Ave.

Applicant Name Lucinda Einhouse

Applicant Address 17801 Detroit Ave.

(if different than above)

Applicant Contact (216) 521 - 2540, x24

lucinda.einhouse @ beckcenter.org

Brief Project Description demolition of annex building on corner of Detroit and Rockway avenues, to create a public "pocket park"

Signature: Lucinda B Einhouse
Digitally signed by Lucinda B Einhouse
Date: 2019.12.17 10:21:14 -05'00'

Date: 12/17/19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Lucinda Einhouse


Property Address 17801 Detroit Ave.

Owner / Agent Contact (216) 521 - 2540, 24

lucinda.einhouse @ beckcenter.org

Owner / Agent Signature Lucinda B Einhouse
Digitally signed by Lucinda B Einhouse
Date: 2019.12.17 10:22:26 -05'00'

Date: 12/17/19

Office Use Only: Reviewed and Accepted by: 

Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____

130



SITE CONCEPT PLAN
 BECK CENTER RENOVATION PROJECT
 LAKEWOOD, OHIO

LANGAN
 6000 Larchbush Center, Suite 210
 Cleveland OH 44131
 Phone: 216.328.3300 Fax: 216.328.3301

BECK CENTER FOR THE ARTS



SITE DEMOLITION PLAN

BECK CENTER RENOVATION PROJECT
LAKEWOOD, OHIO

LANGAN

6000 Lombardi Center, Suite 210
Cleveland OH 44131
Phone: 216.328.3300 Fax: 216.328.3301

BECK CENTER FOR THE ARTS



0 5 10
SCALE IN FEET

31 JANUARY 2020

LANGAN
6000 Lumberk Center, Suite 210
Cleveland, OH 44131
Phone: 216.328.3300 Fax: 216.328.3301

CORNER PARK CONCEPT
BECK CENTER RENOVATION PROJECT
LAKEWOOD, OHIO

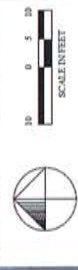
BECK CENTER FOR THE ARTS

HARDSCAPE MATERIALS

- (A) CONCRETE PAVEMENT**
- (B) ASPHALT DRIVE**
with pavement markings
- (C) STAINED CONCRETE PIANO NOTES**
Manufacturer: Scofield
Style - Revive Exterior Concrete Stain
Color - Charcoal
- (D) SECURITY BOLLARDS**
Manufacturer - Belkon Outdoors
Style - Dwyer Series
Material - Powder-coated Steel
Color - Black
Size - 6" Square x 36" height
- (E) PAVERS** with potential for engraved donor recognition
- (F) PARK BENCHES**
Manufacturer - Landscape Forms
Model - Arcata
Materials - Powdercoated Steel & Wood
Length - 74"
- (G) BIKE RACKS**
Manufacturer - Belkon Outdoors
Model - Music Note Bike Rack CR-MN1-FT-EXP
Material - Steel
Color - Multiple Powercoat Colors Available

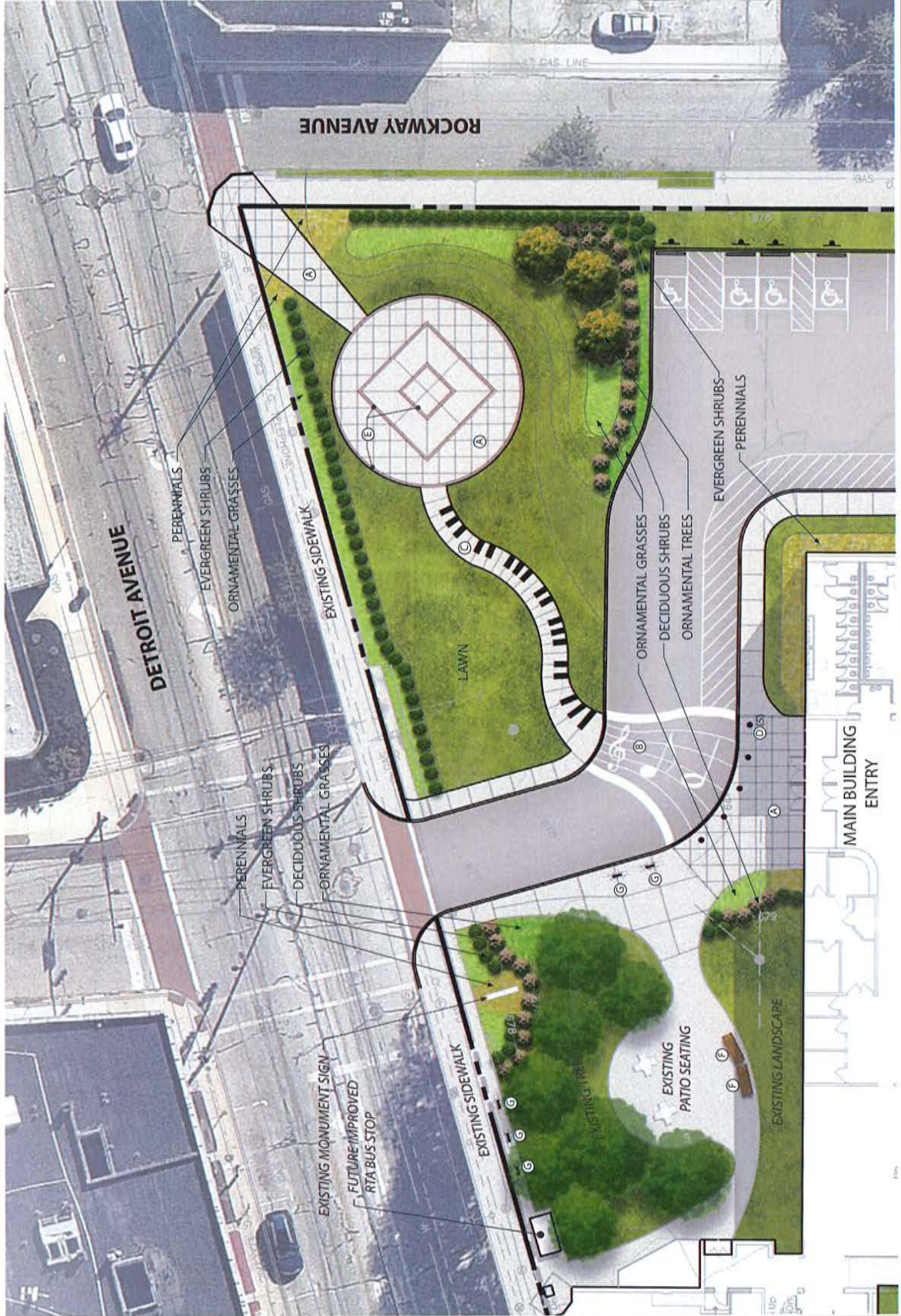
LANDSCAPE MATERIALS

- ORNAMENTAL TREES**
WHITE FRAGMINTREE
- EVERGREEN SHRUBS**
WINTER GEM BOXWOOD
- PERENNIALS**
PURPLE CONSELLOWER
- ORNAMENTAL GRASSES**
PRAIRIE DROPSEED
- DECIDUOUS SHRUBS**
HONEY HALO DOGWOOD
- PERENNIALS**
LITTLE BELLY SWEETSPICE
- ORNAMENTAL GRASSES**
HAPPY RETURN DANTLEY
- PERENNIALS**
FOUNTAIN GRASS



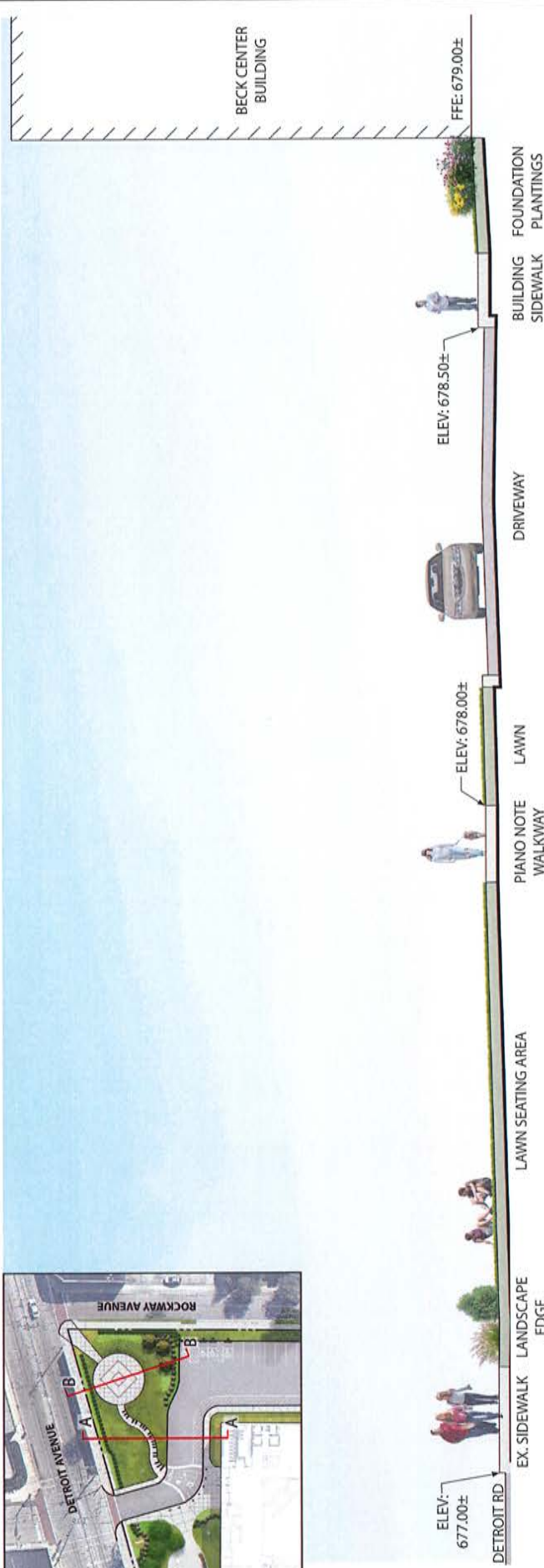
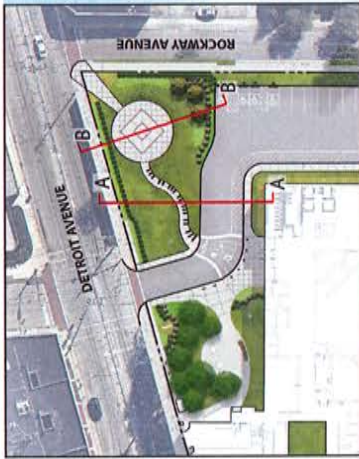
31 JANUARY 2020

LANGAN
6000 Lumber Center, Suite 210
Cleveland OH 44131
Phone: 216.328.1300 Fax: 216.328.1300

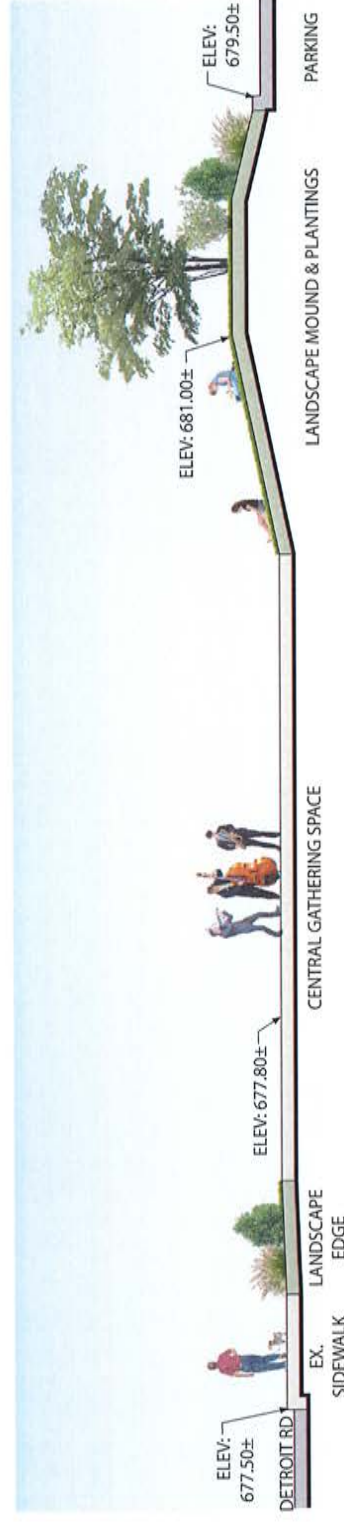


SITE MATERIAL SELECTION
BECK CENTER RENOVATION PROJECT
LAKEWOOD, OHIO

BECK CENTER FOR THE ARTS



SECTION A: LAWN SEATING AREA & PIANO NOTE WALKWAY TO BECK CENTER



SECTION B: CENTRAL GATHERING SPACE TO LANDSCAPE MOUND



31 JANUARY 2020

BECK CENTER FOR THE ARTS

CORNER PARK SECTIONS
 BECK CENTER RENOVATION PROJECT
 LAKEWOOD, OHIO

LANGAN
 6000 Larchbank Center, Suite 210
 Cleveland OH 44131
 Phone: 216.328.3300 Fax: 216.328.3301

ARCATA®

Product Data Sheet



Bold and beautiful. Robust structure and visual sweep. Arcata meets the measure of expansive outdoor spaces. Designed by Kipp Stewart, renders the classic slatted-seat bench in contemporary form and materials. Its utility and flair are a fine fit for city parks, riverfronts and corporate and university campuses. Arcata with back and arms embodies stability and comfort. Backless, it expresses pure sculptural form.

Bench

- Arcata bench is 74" long and is available backed or backless.
- The backed bench is available with arms.
- Seat and back surfaces are available in a variety of woods, aluminum or PolySite™ recycled plastic timbers.
- Bench may be surface mounted or embedded.

Finishes

- Interior woods are finished with Landscape Forms' exclusive LF-80 wood finish, a clear, catalyzed acrylic catalyzed acrylic lacquer.
- Exterior woods are unfinished and will weather to a soft pewter gray, requiring no future maintenance.
- Metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading.
- A wide array of optional colors may be specified for an upcharge.

To Specify

- Select Arcata bench in backless or backed and embedded or surface mount support.
- If backed, choose with or without arms.
- Specify wood type, aluminum or PolySite seat material.
- Select powdercoat color, and PolySite color if specified.
- Benches may be specified in FSC certified woods.

Designed by Kipp Stewart

	STYLE	DEPTH	LENGTH	HEIGHT	PRODUCT WEIGHT
	backless embedded	17"	74"	18"	alum = 161 lbs poly = 152 lbs jarrah = 156 lbs
	backed surface mount	24"	74"	32"	alum = 253 lbs poly = 239 lbs jarrah = 248 lbs
	backed with arms embedded	24"	75"	32"	alum = 234 lbs poly = 220 lbs jarrah = 229 lbs

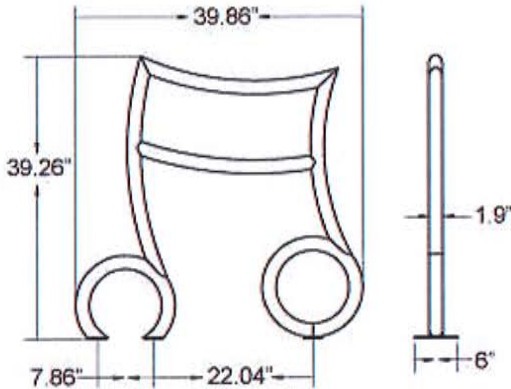
Visit our landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level. ©2016 Landscape Forms, Inc. Printed in U.S.A.

Music Note Bicycle Rack



Rolling to A Tune

Strike the right note with music enthusiasts while also making a big bicycle friendly hit. Passersby will pick up the beat and take measure of this street art helping to amplify pedal community awareness and traffic.



Model CR-MN1-FT-EXP

Tuned with all-steel construction and ultra-durable finish, the Music Note bicycle rack is composed to accommodate the demands of high volume use with continued exposure to seasonal conditions and elements.

Powder-Coated Color Options



▼ Item Specific Details Available on Linked Model Numbers Below



Tweet

Music Note Bicycle Rack

Qty

CR-MN1-FT-EXP

Choose Color

(50 lbs)

\$924.00

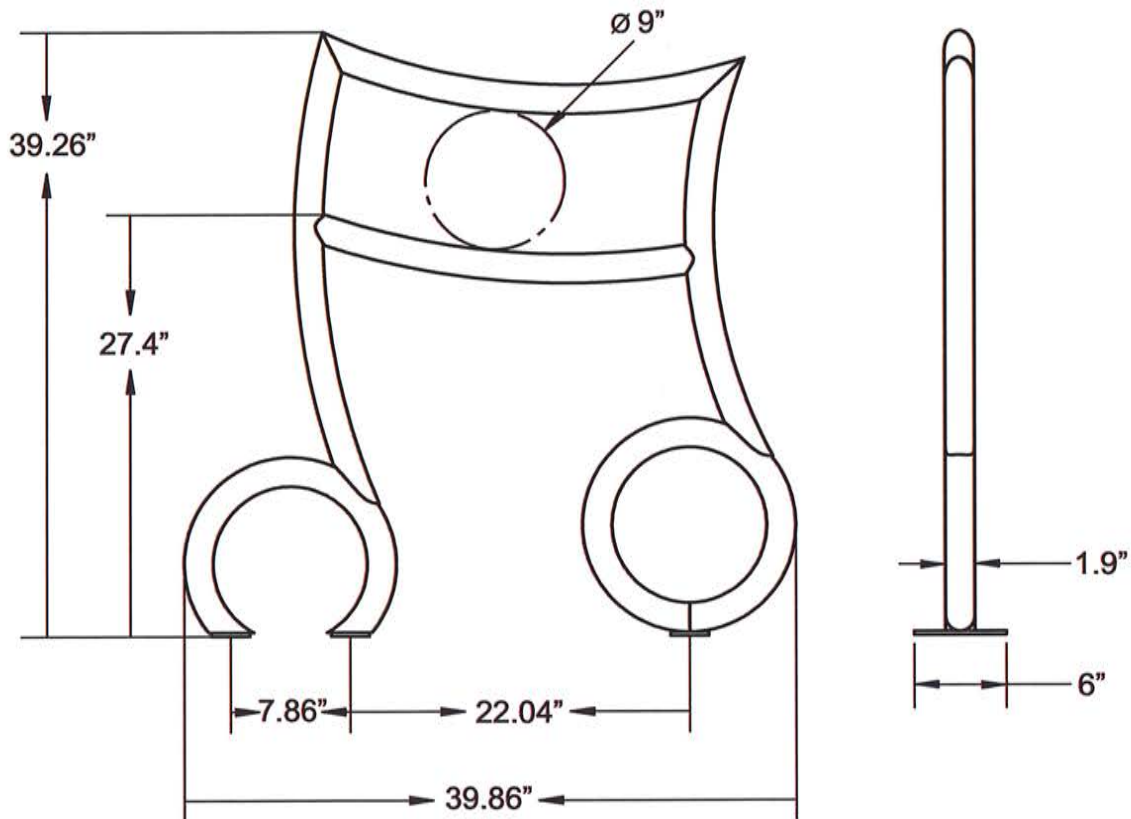
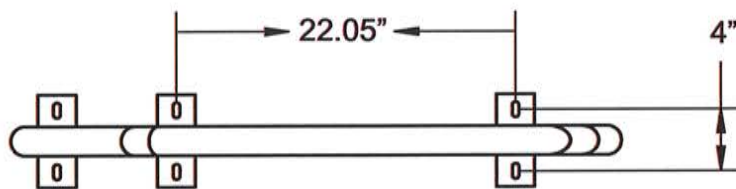
(Prices F.O.B. Origin)

[Bulk Inquiry](#)

[Add to Cart](#)

Related Products

MUSIC NOTE BICYCLE RACK



Dover Series Steel Bollards



Smart & Secure

Traditional styling of the Dover Series Steel Bollards offer smart visual appeal and sturdy deterrence that helps regulate traffic flow—ensuring greater onsite safety and security.



Model 2023SM-PRE

Dimensions

Model 2023 - 6"Sq. x 36"H

Model 2024 - 6"Sq. x 48"H

Engineered for exceptional strength and longevity, all-steel construction with an ultra-resilient powder-coating finish that prevents wear and corrosion. Available in a popular selection of color options, these versatile 3' and 4' bollards are ready to complement a wide range of architectural and landscapes designs.

Premium Powder-Coated Color Options



Powder-Coated Color Options



▼ Item Specific Details Available on Linked Model Numbers Below



Tweet

Dover Series Steel Bollards						Qty
2023S	3' Height	In-ground Mount	Choose Color ▼	(67 lbs) \$399.00		<input type="text"/>
2023SM	3' Height	Surface Mount	Choose Color ▼	(67 lbs) \$381.00		<input type="text"/>
2024S	4' Height	In-ground Mount	Choose Color ▼	(77 lbs) \$417.00		<input type="text"/>
2024SM	4' Height	Surface Mount	Choose Color ▼	(77 lbs) \$405.00		<input type="text"/>

Dover Series Steel Bollards Premium Color Options						Qty
2023S-PRE	3' Height	In-ground Mount	Premium Color ▼	(67 lbs) \$407.00		<input type="text"/>
2023SM-PRE	3' Height	Surface Mount	Premium Color ▼	(67 lbs) \$389.00		<input type="text"/>



PRODUCT DATA SHEET

SCOFIELD® Revive Exterior Concrete Stain

SCOFIELD REVIVE EXTERIOR CONCRETE STAIN IS A PIGMENTED, READY-TO-USE SOLVENT-BASED PENETRATING POLYSILOXANE STAIN

PRODUCT DESCRIPTION

SCOFIELD® Revive Exterior Concrete Stain is a semi-opaque, pigmented, ready-to-use solvent-based penetrating polysiloxane stain designed to add new color to uncolored concrete, or to renew color intensity and uniformity to aged, weathered, or patched, concrete surfaces. It is ideal for unifying the appearance of partial slab replacements, patches, job continuations, or slabs of different composition or mix design.

When properly applied, SCOFIELD® Revive Exterior Concrete Stain will deeply penetrate properly prepared newly placed concrete, old concrete, concrete pavers, or unglazed ceramics. It will dry to a flat low-luster finish with excellent weather, water, slip, and ultraviolet light resistance, without significant film build or developing a paint-like appearance.

SCOFIELD® Revive Exterior Concrete Stain must be topcoated with a quality Scofield sealer such as CEMENTONE® Clear Concrete Sealer, SCOFIELD® Cureseal-W™, SCOFIELD® Selectseal Plus™, or SCOFIELD® Repello® FPS.

USES

- Refresh color of aged concrete slabs and pavers.
- Improve color match of job continuations.
- Add color to existing concrete.

CHARACTERISTICS / ADVANTAGES

- Deeply penetrates
- Resistant to ultraviolet light.
- Semi-opaque color helps blend patches and repairs.

PRODUCT INFORMATION

Chemical Base	Solvent based polysiloxane
Packaging	1-gallon (3.8 L) cans, and 5-gallon (18.9 L) pails.
Appearance / Color	SCOFIELD® Revive Exterior Concrete Stain is available in colors to approximate all colors depicted on Scofield's Color Chart A-442. Colors are designed to produce opaque unified effects. Light applications of less than full opacity are not advised.

Shelf Life

18 months from date of manufacture.

Storage Conditions

Store in tightly closed containers at 35°F to 120°F (2°C - 49°C).

APPLICATION INSTRUCTIONS

When using spray equipment, always wear protective respirator, and mask adjacent areas to protect property from overspray. Dried material will be difficult to remove. Remove overspray immediately with hot water and detergent.

Coverage Rates

Do not thin. Coverage will depend upon method of application, surface porosity, and the texture of the substrate. Coverage on flat finished concrete is typically 100–300 ft²/gal (2.5-7.4 m²/L). Porous, broomed, or textured finishes will require more stain and coverages of 50 - 200 ft²/gal (1.2 - 4.9 m²/L) is typical.

Equipment

Apply SCOFIELD® Revive Exterior Concrete Stain by brush or acetone compatible pump-sprayer. Always wear protective clothing, goggles, gloves, and particulate respirators. Clean equipment with acetone taking care to follow all acetone safety requirements.

Spray Applicator Guidelines:

Acetone Compatible Pump Sprayer: Use conical tip.

Airless spray: Not advised.

HVLP spray: Not advised.

Substrate Preparation

Before applying stain, surfaces must be made porous and be dry and clean of all prior sealers, curing compound, oils, or other foreign materials that might prevent penetration or adhesion, and meet a Concrete Surface Profile (CSP) of 1, as determined by the International Concrete Repair Institute, (ICRI), Alexandria, VA. Grind, acid etch, power wash, or scrub surfaces with stiff bristle brushes and strong detergents to remove these undesired materials and any loose concrete laitance that may harm adhesion.

Always rinse concrete surfaces and allow them to completely dry prior to application. Plan carefully and divide work areas into sections using walls, joint lines, or other stationary features to provide natural stopping points of the application.

Preparation and Mixing:

Using a wooden paint stick suited for your package size, hand-stir settled pigment from the bottom of the can until all the material is off the bottom and the stain reaches a streak-free uniform color. This will take approximately 3 to 5 minutes. If using more than one container on a large job, or material from different lot numbers, mix or “box” together to minimize any possible color variation.

SCOFIELD® Revive Exterior Concrete Stain is low in viscosity to maximize substrate penetration. As a result, periodically stir or shake the material to be applied every 5 minutes during application. Transfer mixed material into a roller pan or spray applicator rated for use with

Acetone containing products. Remix to insure all pigment is suspended immediately before beginning application.

Warning: Do not use a power drill or other spark creating device to mix the material. This could ignite solvent vapors and cause a fire. Close container after each use.

Jobsite Test Sections

Prior to general application, representative Jobsite Test Section(s) must be produced and approved for each individual concrete surface, and for each color, stain, and sealer combination that will be created. Use Jobsite Test Sections to verify system suitability, surface preparation methods, adhesion, safety, performance, wet and dry slip resistance, application techniques, color, visual appearance, and product coverage. Do not proceed with products, techniques, or finishing systems that do not meet required specifications or meet with site owner approval.

Selected Jobsite Test Sections should be in close proximity to the larger job area, and made from the same concrete ingredients and mix design that will be later be placed. Test sections should be sized to be representative of the finished project, and be produced by the same workers who will place the concrete and apply the curing compound/sealer system. All test sections should be presented to owners for visual and performance approval prior beginning main project areas.

Stain Application

Avoid unsightly lap marks by applying stain to full opacity at coverage rates described using a brush, or acetone resistant sprayer.

Stir or shake containers at least every 5 minutes during application to ensure pigments are uniformly applied to the surface. Apply only when temperatures are between 40 °F (4 °C) and 95 °F (35 °C), and avoid application to surfaces heated above 95 °F (35 °C) from strong direct sunlight.

The preferred method of application is to saturate the surface to be stained with a pump sprayer, and work material into the substrate with a soft bristle broom until all liquid solvent has evaporated from the surface or penetrated into the substrate. Work the broom in random directions while moving from newly deposited wet areas back into the areas previously stained. Maintain a wet edge to the project to avoid lap marks. Do not allow material to dry while puddled.

If color residue remains after treatment has cured for one day, gently scrub and rinse with water to avoid tracking residual color to adjacent areas.

Product Data Sheet

SCOFIELD® Revive Exterior Concrete Stain
May 2019, Version 02.01
02140507100000066



Dry and Cure Times:

Allow four to eight hours drying time before permitting foot traffic. Drying time will depend on temperature and surface porosity. Do not pressure wash or use aggressive cleaning methods for two weeks after application.

Clean tools and equipment with acetone, taking care to following the acetone manufacturer's instructions and safety requirements.

AVAILABILITY/WARRANTY

Availability

SCOFIELD® Revive Exterior Concrete Stain is marketed internationally through strategically located dealers, and representatives. Scofield offers a complete line of engineered systems for coloring, texturing, and improving performance of architectural concrete. These include coloring admixtures, color hardeners, colored cementitious toppings, stains, curing compounds, sealers, coatings, repair products and texturing tools. Visit the Scofield website at www.scofield.com for further information.

LIMITATIONS

SCOFIELD® Revive Exterior Concrete Stain will not hide variations in porosity or texture, surface blemishes or construction errors. It must only be applied at temperatures between 40 °F (4 °C) and 95 °F (35 °C). It will not penetrate wet surfaces or frozen substrates. Do not apply if rain or surface condensation is expected within 24 hours after installation.

Surfaces to be stained must be properly prepared for this product to work. Previously applied curing membranes, coatings, sealers, oil and food residues must first be removed, or color variations may occur. Caulks, sealants, non-porous concrete, polymeric patches, or concrete made with polymeric admixtures can restrict stain penetration and develop a different look compared to regular concrete, and may not permanently stain at all.

BASIS OF PRODUCT DATA

Results may differ based upon statistical variations depending upon mixing methods and equipment, temperature, application methods, test methods, actual site conditions and curing conditions.

OTHER RESTRICTIONS

See Legal Disclaimer.

ENVIRONMENTAL, HEALTH AND SAFETY

For further information and advice regarding transportation, handling, storage and disposal of chemical products, user should refer to the actual Safety Data Sheets containing physical, environmental, toxicological and other safety related data. User must read the current actual Safety Data Sheets before using any products. In case of an emergency, call CHEMTREC at 1-800-424-9300, International 703-527-3887.

DIRECTIVE 2004/42/CE - LIMITATION OF EMISSIONS OF VOC

VOC = 332 g/l

LEGAL DISCLAIMER

- KEEP CONTAINER TIGHTLY CLOSED
- KEEP OUT OF REACH OF CHILDREN
- NOT FOR INTERNAL CONSUMPTION
- FOR INDUSTRIAL USE ONLY
- FOR PROFESSIONAL USE ONLY

Prior to each use of any product of Sika Corporation, its subsidiaries or affiliates ("SIKA"), the user must always read and follow the warnings and instructions on the product's most current product label, Product Data Sheet and Safety Data Sheet which are available at usa.sika.com or by calling SIKA's Technical Service Department at 800-933-7452. Nothing contained in any SIKA literature or materials relieves the user of the obligation to read and follow the warnings and instructions for each SIKA product as set forth in the current product label, Product Data Sheet and Safety Data Sheet prior to use of the SIKA product.

SIKA warrants this product for one year from date of installation to be free from manufacturing defects and to meet the technical properties on the current Product Data Sheet if used as directed within the product's shelf life. User determines suitability of product for intended use and assumes all risks. User's and/or buyer's sole remedy shall be limited to the purchase price or replacement of this product exclusive of any labor costs. **NO OTHER WARRANTIES EXPRESS OR IMPLIED SHALL APPLY INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. SIKA SHALL NOT BE LIABLE UNDER ANY LEGAL THEORY FOR SPECIAL OR CONSEQUENTIAL DAMAGES. SIKA SHALL NOT BE RESPONSIBLE FOR THE USE OF THIS PRODUCT IN A MANNER TO INFRINGE ON ANY PATENT OR ANY OTHER INTELLECTUAL PROPERTY RIGHTS HELD BY OTHERS.**

Sale of SIKA products are subject to the Terms and Conditions of Sale which are available at

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000011

DOCKET No. 02-17-20

FEE PAID _____ *check*

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name The Roy Building

Project Address 18520-24 Detroit Ave.

Applicant Name Michael J. Krivosh

Applicant Address 17479 Clifton Blvd.

Applicant Contact (216) 440 3257

mickeyatc @ gmail.com

Brief Project Description Replace current wood building front facades with new siding and trim molding made of a more durable material known as Azek.

Signature: 

Date: 1-29-20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Michael J Krivosh

Property Address 18520-24 Detroit Ave.

Owner / Agent Contact (216) 440 3257

mickeyatc @ gmail.com

Owner / Agent Signature 

Date: 1-29-20

Office Use Only: Reviewed and Accepted by:  Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____



144



145





147



Account: 101-0000-321.30.01

REFERENCE No. BBS20-000010
DOCKET No. 02-18-20
FEE PAID _____ CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Madison Branch Library Project Address 13229 Madison Ave

Applicant Name James Shook - HBM Architects Applicant Address 1382 West Ninth St. Suite 300

(if different than above)

Applicant Contact (216) 241 1100 jshook @ HBMarchitects.com

Brief Project Description Renovation & expansion of existing library, reconfiguration of parking area and drive access, and landscape improvements.

Signature:  Date: 01/29/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

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Are there any dog(s) on the property? Yes No

Owner Name Lakewood Public Library Property Address 13229 Madison Ave

Owner / Agent Contact (216) 226 8275 ext.101 jcrawford @ lakewoodpubliclibrary.org

Owner / Agent Signature  Date: 01/29/2020

Office Use Only: Reviewed and Accepted by:  Date: 2/5/2020

Ordinance 22-00B Section 1325.05 Remarks _____

149



15425 Detroit Avenue | Lakewood, Ohio 44107

January 21, 2020

City of Lakewood
Lakewood City Hall
12650 Detroit Avenue
Lakewood, OH 44107

Re: Letter of Authorization

Dear Sir/Madam,

This shall confirm that Mr. James Shook, RA and the employees of HBM Architects are authorized to act on the Lakewood Public Library's behalf in all matters that may come before the City of Lakewood and the Public Works, Housing and Building, and Planning and Development Departments.

Sincerely,


James Crawford
Director

JC/jw

149a

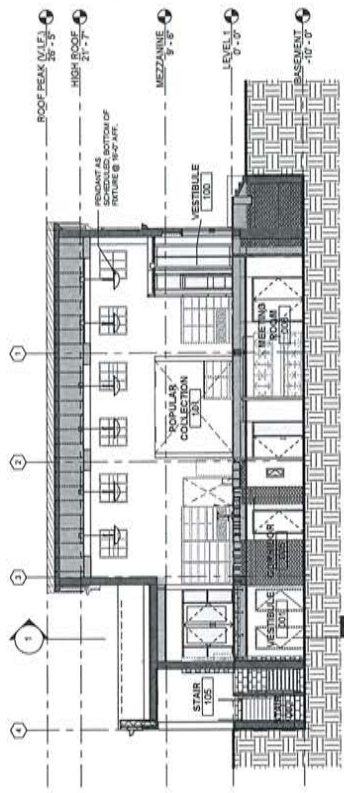


3D VIEW - ENTRY

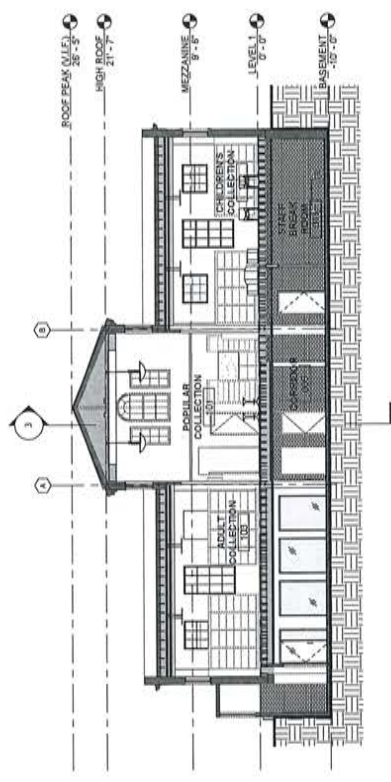
150

LAKWOOD PUBLIC LIBRARY
MADISON BRANCH
HBMARCHITECTS, LLC

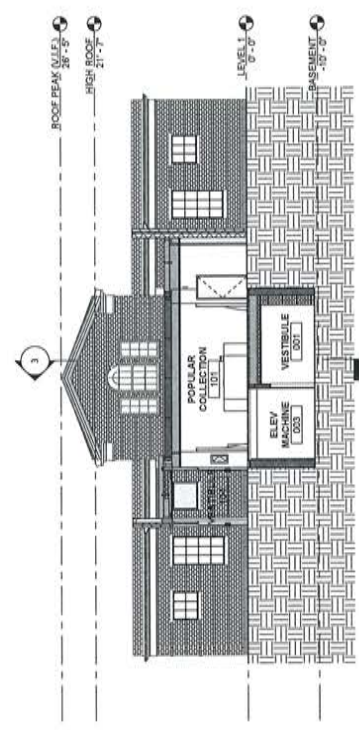
HBMARCHITECTS
INTERIOR DESIGNERS



1 BUILDING SECTION - LONGITUDINAL
1/12" = 1'-0"



2 BUILDING SECTION - LATITUDINAL
1/12" = 1'-0"

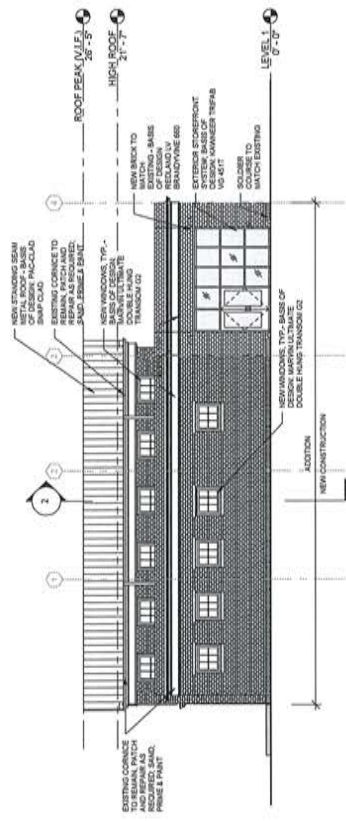


3 BUILDING SECTION - ADDITION
1/12" = 1'-0"

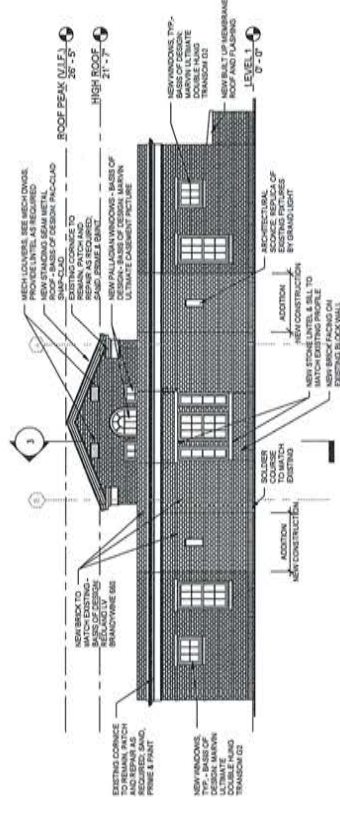
LAKEMOOD PUBLIC LIBRARY
MADISON BRANCH

BUILDING SECTIONS
1/12" = 1'-0"

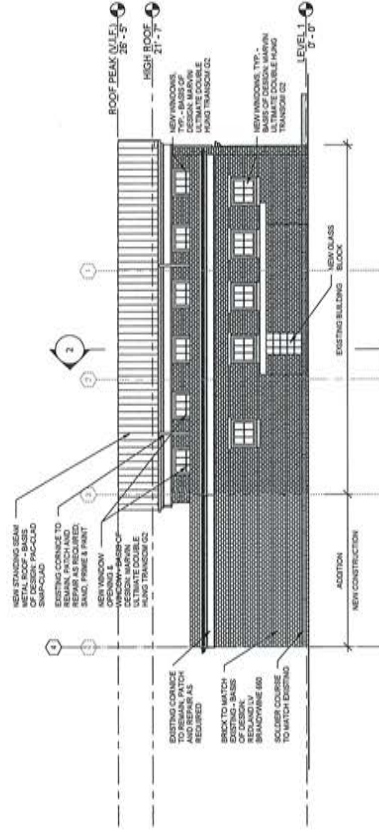
151



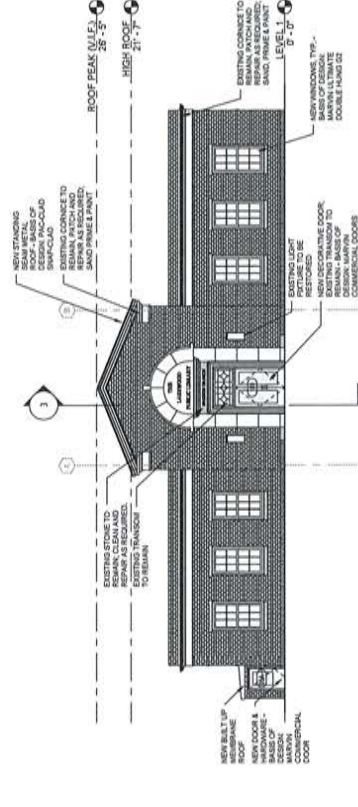
4 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS



LAKWOOD PUBLIC LIBRARY
MADISON BRANCH

HBM ARCHITECTS, LLC

HBM ARCHITECTS
INTERIOR DESIGNERS

01/29/2020

152



EXISTING LANDSCAPE TO REMAIN

BUFFER TO KEEP PEDESTRIANS AND CARS SEPARATE

UNILOCK "RIDGECLEIFF" PAVERS IN "PEBBLE TAUPE"

EXISTING TREE EVENTUALLY REMOVED BY CITY

BIKE RACKS

PLAYGROUND CONNECTOR WALK. KEEP OUT OF SWING PATH. ADJUST EXISTING BENCH AS NECESSARY.

ENHANCED NATIVE PLANTING BETWEEN DRIVE AND MAIN WALK

NEW EXIT DRIVE

EXISTING TREES REMAIN

BOOK DROP

CONNECTOR TO MAIN WALK

PLANTS THAT WILL TOLERATE DRAINAGE FROM PARKING LOT

NATIVE TREE GROVE

SITE PLAN
Proposed Landscape Improvements
Lakewood Public Library - Madison Branch
DERUlandscape architecture
 812 Huron Road E. #411 Cleveland, OH 44115 | 716.466.8355
 January 17, 2020



BETTY MAGNOLIA



VIRGINIA SWEETSPIRE



GREY OWL JUNIPER



LIRIOPE



SPIREA



BAYBERRY



HOP HORNBEAM



CAROLINA ALLSPICE



SWEETBAY MAGNOLIA



BLACKGUM



JAPANESE HOLLY



SPIREA



MOONGLOW JUNIPER



GREY OWL JUNIPER



PURPLE LOVE GRASS

PLANT PALETTE
Proposed Landscape Improvements
Lakewood Public Library - Madison Branch

DERlandscape architecture
812 Huron Road E., #411, Cleveland, OH 44115 | 216.466.4355

January 17, 2020



LV Brandywine (660)

SPL ID: 10005512

Color Range: Red

C216 Type: FBA **Texture:** Sanded Velour (15)

C1088 Type: TBA

Cleaning Recommendation

[Cleaning Guide for All Redland Brick Types](#)



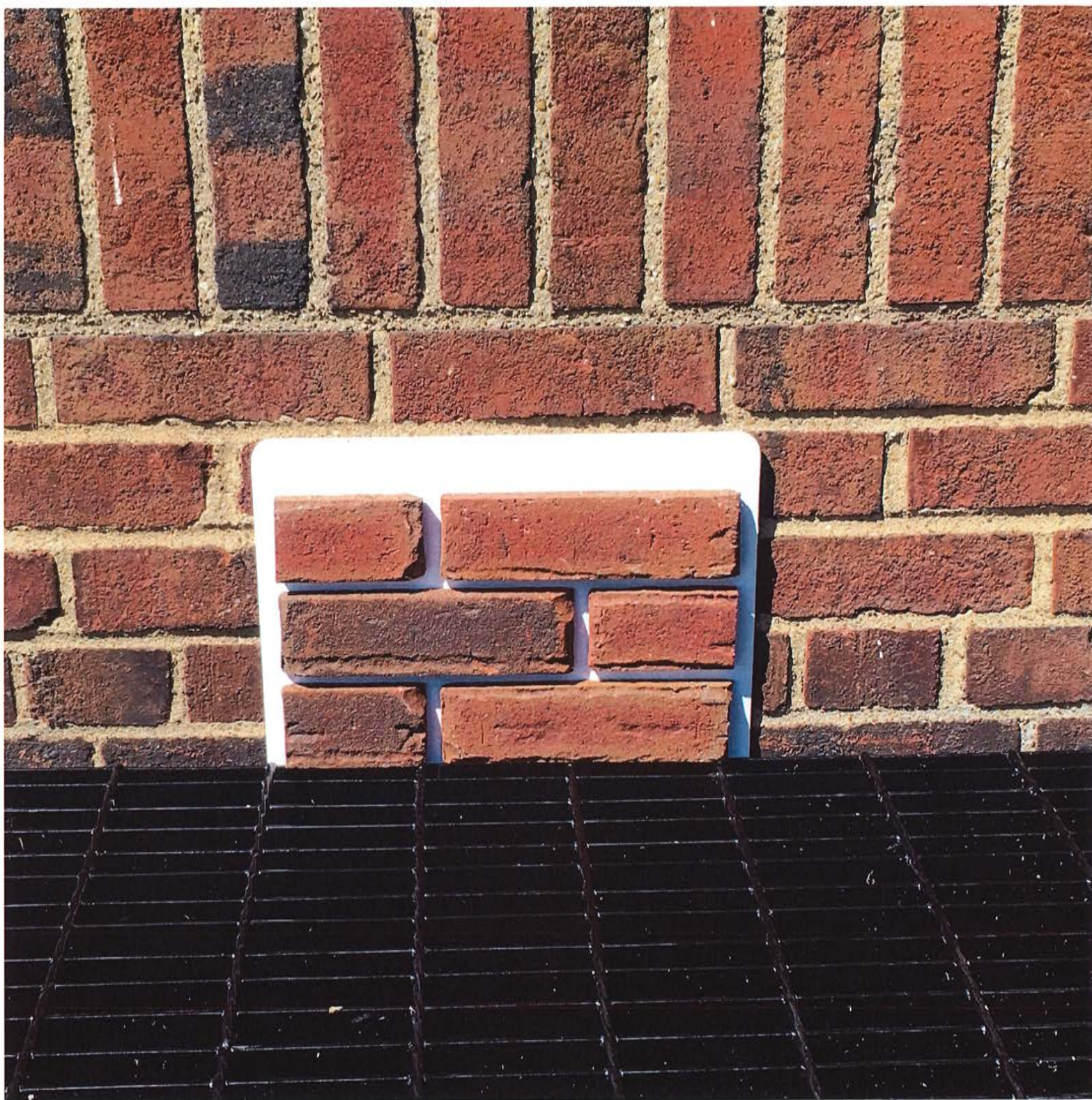
Red Brick

18 photos



SIZES	WIDTH	HEIGHT	LENGTH	THINBRICK	TRU-BRIX	UNITS / SQ. FT.
Modular 3-9/16	3 9/16" / 90mm	2 1/4" / 57mm	7 5/8" / 194mm	9/16" / 14mm	9/16" / 14mm	6.86
Jumbo(OS) Modular 3-9/16	3 9/16" / 90mm	2 3/4" / 70mm	7 5/8" / 194mm	9/16" / 14mm	9/16" / 14mm	5.76

Any size not listed is unavailable

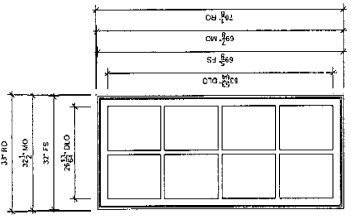


ORDERING PRODUCTS WITH RESPECT TO SHOP DRAWINGS:
 Before ordering Marvin Windows and Door products, please consult with the
 distributor to ensure that the products are ordered in accordance with the
 approved shop drawings. Marvin Windows and Door assumes no
 responsibility in engineering model coordination with the drawings.

REVISION:
 CREATED: 01/26/2020

PK VERSION: 0002.28.00
 QUOTE#: GTDU0P0
 DRAWN: JIM HETTINGA

PROJECT: BHM Architects / Lakewood Public Library

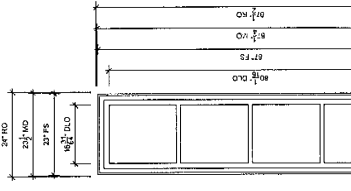


TYPE B
 SCALE 3/8" = 1'-0"

Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 31 1/2" x 48 1/2"
 Head: \odot Jamb: \odot Divided Lite

SPECIFICATIONS
 Qty: 2, Unit: Type B
 Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 31 1/2" x 48 1/2"
 Head: \odot Jamb: \odot Divided Lite
 Screen Color: None
 Screen Material: None
 Screen Finish: None
 Screen Color: None
 Screen Material: None
 Screen Finish: None
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 Screen Color: None
 Screen Material: None
 Screen Finish: None

FOR REPRESENTATIVE ONLY, NOT FOR MANUFACTURE

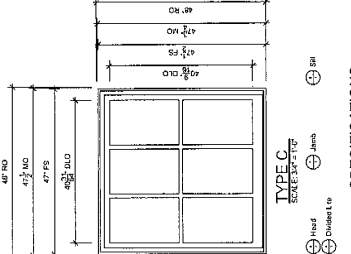


TYPE F
 SCALE 3/8" = 1'-0"

Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 31 1/2" x 48 1/2"
 Head: \odot Jamb: \odot Divided Lite

SPECIFICATIONS
 Qty: 2, Unit: Type F
 Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 31 1/2" x 48 1/2"
 Head: \odot Jamb: \odot Divided Lite
 Screen Color: None
 Screen Material: None
 Screen Finish: None
 Screen Color: None
 Screen Material: None
 Screen Finish: None
 Screen Color: None
 Screen Material: None
 Screen Finish: None

FOR REPRESENTATIVE ONLY, NOT FOR MANUFACTURE

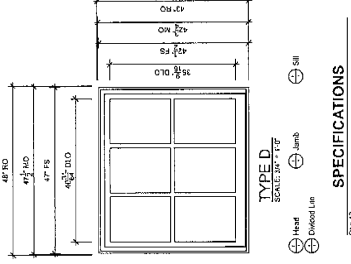


TYPE C
 SCALE 3/8" = 1'-0"

Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 41 1/2" x 42 1/2"
 Head: \odot Jamb: \odot Divided Lite

SPECIFICATIONS
 Qty: 12, Unit: Type C
 Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 41 1/2" x 42 1/2"
 Head: \odot Jamb: \odot Divided Lite
 Screen Color: None
 Screen Material: None
 Screen Finish: None
 Screen Color: None
 Screen Material: None
 Screen Finish: None
 Screen Color: None
 Screen Material: None
 Screen Finish: None

FOR REPRESENTATIVE ONLY, NOT FOR MANUFACTURE

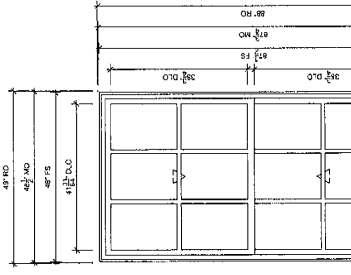


TYPE D
 SCALE 3/8" = 1'-0"

Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 41 1/2" x 42 1/2"
 Head: \odot Jamb: \odot Divided Lite

SPECIFICATIONS
 Qty: 12, Unit: Type D
 Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 41 1/2" x 42 1/2"
 Head: \odot Jamb: \odot Divided Lite
 Screen Color: None
 Screen Material: None
 Screen Finish: None
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 Screen Material: None
 Screen Finish: None
 Screen Color: None
 Screen Material: None
 Screen Finish: None

FOR REPRESENTATIVE ONLY, NOT FOR MANUFACTURE



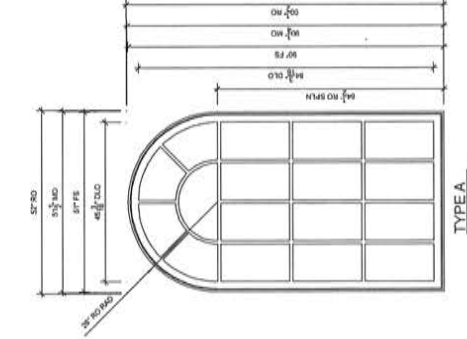
TYPE E-DH FRONT ELEVATION
 SCALE 3/8" = 1'-0"

Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 41 1/2" x 42 1/2"
 Head: \odot Jamb: \odot Divided Lite

SPECIFICATIONS
 Qty: 2, Unit: Type E-DH Front Elevation
 Product Line: Ultra
 Project Line: Ultra
 Memory Opening: 41 1/2" x 42 1/2"
 Head: \odot Jamb: \odot Divided Lite
 Screen Color: None
 Screen Material: None
 Screen Finish: None
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 Screen Finish: None

FOR REPRESENTATIVE ONLY, NOT FOR MANUFACTURE

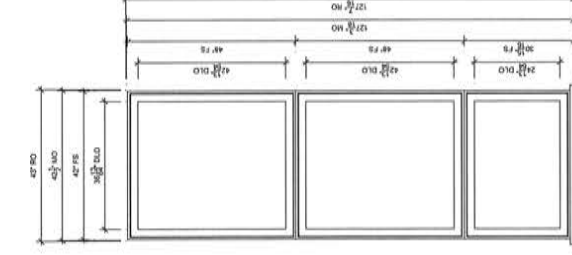
ORDERING PRODUCTS WITH REFERENCE TO THIS DRAWING.
 Please contact the Marvin Window and Door products literature with
 approved options or alterations. The customer must be advised of the
 impact on the warranty and product performance.
 This drawing is a conceptual drawing and does not represent an
 approved design. The customer must be advised of the impact of
 this drawing on the product performance and warranty.



TYPE A
 SCALE: 3/4" = 1'-0"

- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset

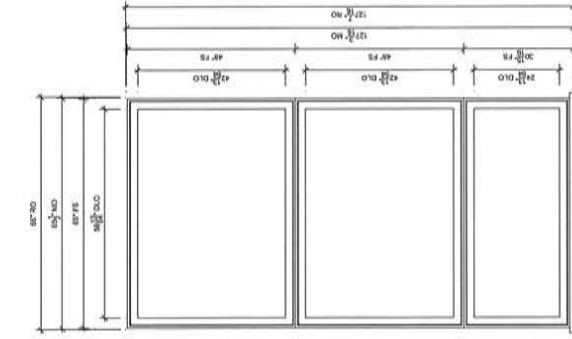
FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.



TYPE G
 SCALE: 3/4" = 1'-0"

- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
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- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset

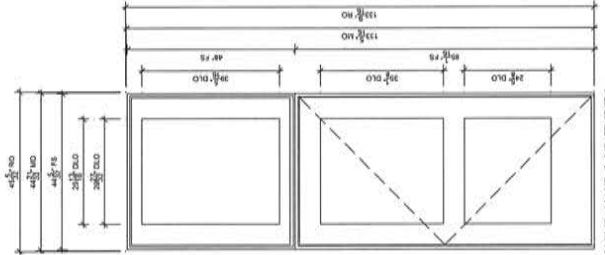
FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.



TYPE H
 SCALE: 3/4" = 1'-0"

- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset

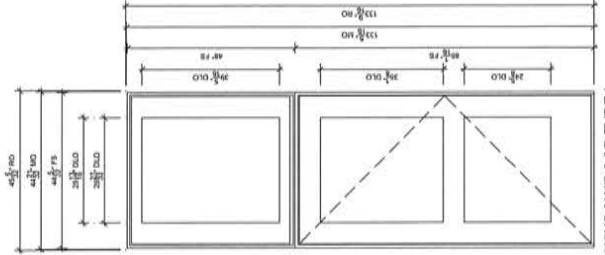
FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.



WINDOW DOOR TYPE I
 SCALE: 3/4" = 1'-0"

- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset

FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.



WINDOW DOOR TYPE I
 SCALE: 3/4" = 1'-0"

- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
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- Product Line: Ultimate Inset
- Product Line: Ultimate Inset
- Product Line: Ultimate Inset

FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.

851

TRIFAB™ VG (VERSAGLAZE™)
TRIFAB™ VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB™ 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance Versatility with Unmatched Fabrication Flexibility



Preston Pointe
Louisville, Kentucky
ARCHITECT
Potter & Associates Architects PLLC, Louisville, Kentucky
GLAZING CONTRACTOR
Kentucky Mirror & Plate Glass Company, Louisville, Kentucky
PHOTOGRAPHER
© Moberly Photography Inc.

Trifab™ VersaGlaze™ is built on the proven and successful Trifab™ platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The Trifab™ VersaGlaze™ family's newest addition, the Trifab™ 451UT (Ultra Thermal) Framing System, is designed for the most demanding thermal performance and employs a dual Isolock™ thermal break.

AESTHETICS

Trifab™ VersaGlaze™ Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of design possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab™ VersaGlaze™ 450 has 1-3/4" sightlines, while Trifab™ VersaGlaze™ 451/451T and Trifab™ 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent™ visually frameless ventilators, Trifab™ VersaGlaze™ can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

ECONOMY

Trifab™ VersaGlaze™ 450/451/451T Framing Systems offer four fabrication choices to suit your project (Trifab™ 451UT is available as screw spline fabrication only):

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation.
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units.
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite.
- **Type B** – Same fabrication benefits as shear block except the head and sill run through.



Brighton Landing
Cambridge, Massachusetts
ARCHITECT
ADD Inc., Cambridge, Massachusetts
GLAZING CONTRACTOR
Ipswich Bay Glass Company, Inc., Rowley, Massachusetts
PHOTOGRAPHER
© Gordon Schend, Jr.

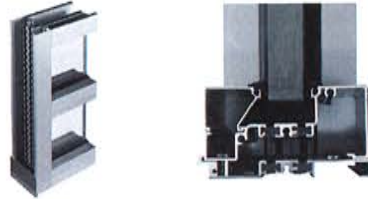
All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab™ VersaGlaze™ 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

PERFORMANCE

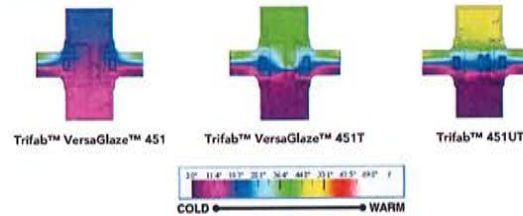
Kawneer's Isolock™ thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab™ VersaGlaze™ 451T. For even greater thermal performance, a dual Isolock™ thermal break is used on Trifab™ 451UT.



Trifab™ 451UT uses a dual Isolock™ thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

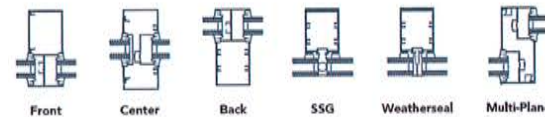
U-factor, CRF values and STC ratings for Trifab™ VersaGlaze™ vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425



© Kawneer Company, Inc. 2003-2019
Form 18, March 17-22/18
Trifab™, VersaGlaze™, Isolock™,
GLASSview™ and Performance™ are
trademarks of Kawneer Company, Inc.

SNAP-CLAD PANEL

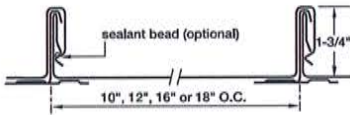
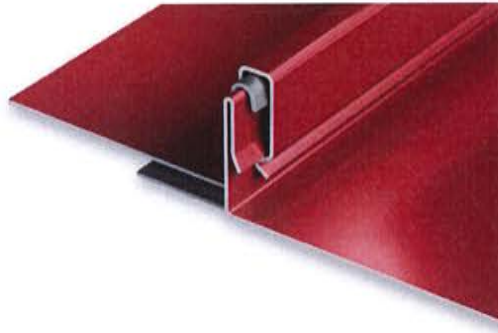
MATERIALS

.032 aluminum 24 gauge steel
 .040 aluminum 22 gauge steel

SPECS

10", 12", 16" or 18" O.C. 1-3/4" High

UL-90



PRODUCT FEATURES

- ▶ Architectural/structural panel
- ▶ Herr-Voss corrective leveled
- ▶ Factory-applied sealant available
- ▶ Continuous interlock
- ▶ Labor-saving one-piece design
- ▶ Stiffener beads upon request
- ▶ Striations upon request
- ▶ Factory eave notching available
- ▶ 30-year-non-prorated finish warranty
- ▶ Maximum factory-produced panel length is 64' (check w/factory for longer lengths)

- ▶ Weathertightness warranty available
- ▶ 43 stocked colors (24 gauge steel)
- ▶ 15 stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 22 stocked colors (.040 aluminum)
- ▶ Panels available in Galvalume Plus

UL CLASSIFICATION

- ▶ UL-580 Class 90 wind uplift
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated

- ▶ UL-2218 impact resistance rated
- ▶ UL-90 rated aluminum panel up to 16" O.C.

ASTM TESTS

- ▶ ASTM E1592 tested
- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.

Note: UL 90 is available on steel panels up to 18" on center, and on aluminum panels up to 16" on center.



Burnished Slate



800 PAC CLAD | PAC-CLAD.COM

©2017 Petersen Aluminum Corporation

161



TYPE 1 - EXISTING FIXTURES AS SHOWN TO BE RESTORED
TYPE 2 - REPLICA OF EXISTING FIXTURE

162

RICHCLIFF®

Inspired by the texture of natural cut flagstone, Richcliff offers superior durability and timeless appeal for driveways, patios, walkways and commercial projects. A multitude of stone textures were cast using Reala™ Technology, which ensures that finished projects will have a completely random, and natural appearance. And unlike natural stone, which can crack, split and fade, Richcliff is virtually indestructible. Ultima™ Concrete Technology makes Richcliff up to four times stronger than conventional poured concrete. A new large rectangle size is now available for use on its own or in combination with the traditional 3-stone random bundle for expanded patterning options and a larger scale look.



SMOKE SHALE



PEBBLE TAUPE



DAWN MIST



DAWN MIST/PEBBLE TAUPE

SOLD SEPARATELY/BLENDED ON SITE



LARGE RECTANGLE
52.8 CM X 30.2 CM X 6 CM
20.75" X 11.875" X 2.375"
SOLD SEPERATELY

Random Bundle



RECTANGLE
30 CM X 22.6 CM X 6 CM
11.75" X 8.875" X 2.375"

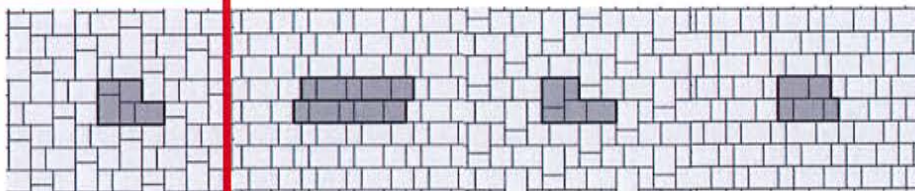


SQUARE
22.6 CM X 22.6 CM X 6 CM
8.875" X 8.875" X 2.375"



SMALL RECTANGLE
15 CM X 22.6 CM X 6 CM
5.875" X 8.875" X 2.375"

Stones & Bundling	Unit	SqFt Per			Per Bundle		Sailor LnFt Per		Units Per		Lbs Per		
		Thickness	Bundle	Layer	Stone	Layers	Sections	SqFt	Bundle	SqFt	Bundle	Layers	Bundle
Random Bundle			90.3	11.29		8	8	0.673	134.2	1.77	160	309	2472
Rectangle	2-3/8" (6cm)				0.73			0.741	64	1.37	64		
Square	2-3/8" (6cm)				0.55			0.741	23.7	1.82	32		
Small Rectangle	2-3/8" (6cm)				0.365			0.492	47.5	2.74	64		
Large Rectangle	2-3/8" (6cm)	82.39	10.3	1.716						0.58	48	301	2411



Richcliff A
Random Bundle (100%)

Richcliff B
Random Bundle (100%)

Richcliff C
Random Bundle (100%)

Richcliff D
Random Bundle (100%)

163



MADISON AVE.

CLARENCE AVE.

TURKISH CULTURAL CENTER

(9) PARKING SPACES
 MAX 2.5 SPACES PER 1,000 SF
 9,300 SF = 24 MAX SPACES ALLOWED

PLAYGROUND

LAKWOOD PUBLIC LIBRARY
 MADISON BRANCH

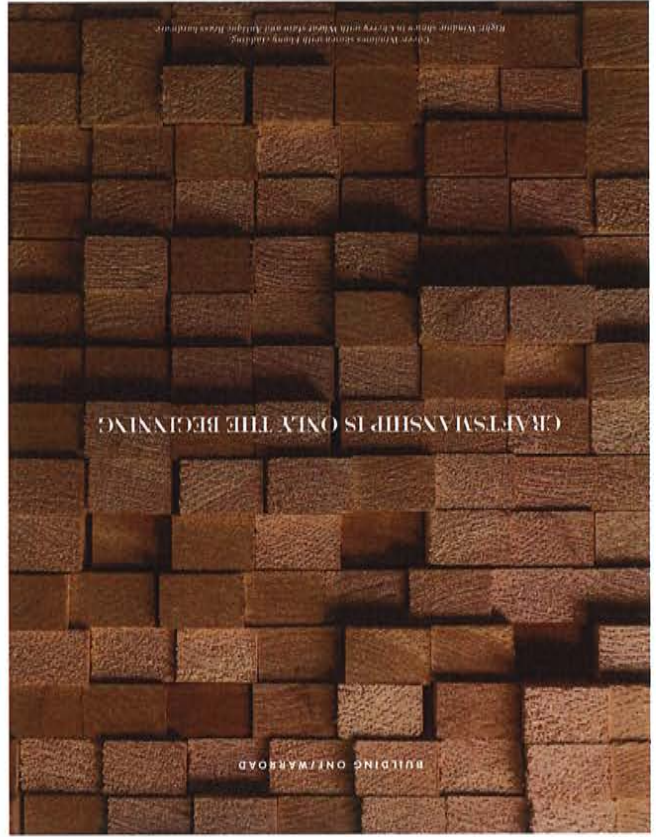
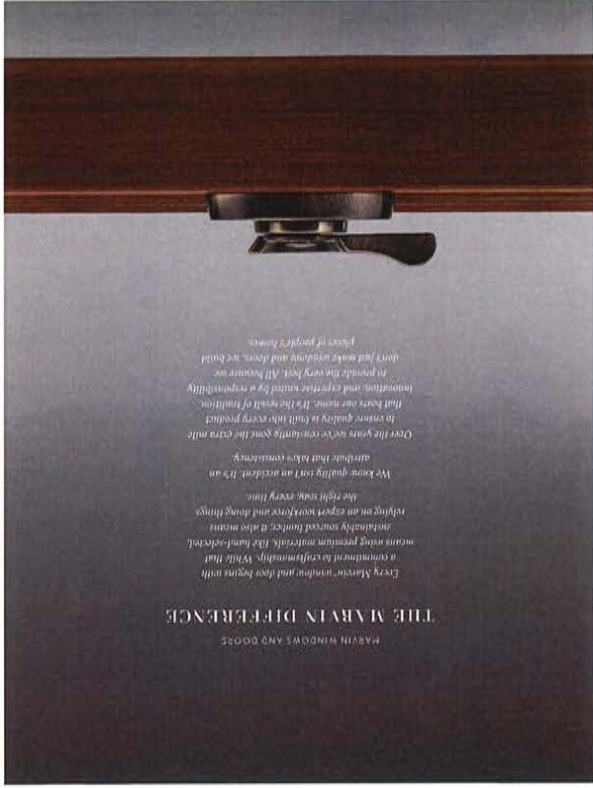
HBMARCHITECTS, LLC

HBMARCHITECTS
 INTERIOR DESIGNERS

PROPOSED ADDITION PLAN



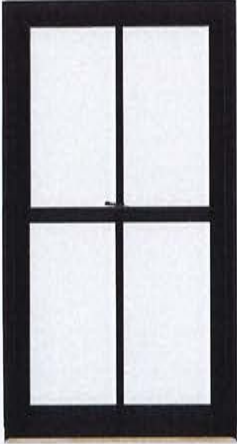
164



991



ULTIMATE DOUBLE HUNG NEXT GENERATION



A CONTEMPORARY CLASSIC

The Ultimate Double Hung Next Generation Window is an embodiment of our dedication to the trade of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and each detail is carefully considered.

Window above shown in Designer Black painted exterior finish with Matte Black hardware. Right window shown with White painted interior finish and Satin Chrome hardware.



166

791

INTERIOR PRODUCT FEATURES
DESIGNED TO INSPIRE

- 1 **RICH WOOD INTERIOR**
Offers beauty and warmth with six standard wood species and ten interior finish options.
- 2 **NARROW CHECKRAIL**
Provides a sleek aesthetic to maximize daylight opening while maintaining historical accuracy.
- 3 **DESIGN VERSATILITY**
With an array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and hundreds of roundup sizes.
- 4 **EXCLUSIVE AUTOLOCK**
Activates when the sashes are closed, locking the window.
- 5 **FIRST-RATE ENERGY EFFICIENCY**
Meets ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates and weather needs.
- 6 **SASH BALANCE SYSTEMS**
Enable smooth operation even at the largest sizes.

EXTERIOR PRODUCT FEATURES
ENGINEERED FOR PERFORMANCE

- 7 **DURABLE EXTERIOR CLADDING**
Made with the industry's highest level of certified or AA-MA 2005 extruded aluminum and backed by a 20-year warranty against chalking and fading.
- 8 **ALUMINUM INTER-LOCK**
Eliminates drafts and improves the window's overall structural integrity.
- 9 **EXPANSIVE SIZES**
Up to 5 feet wide by 10 feet high.
- 10 **TRADITIONAL SILL BEVEL**
The 14-degree bevel provides optimal water management while maintaining a classic look.
- 11 **SUPERIOR WEATHER PERFORMANCE**
The window's performance ratings are top in class, including CW-7C30 through CW-PG50 and LC-PG50 on most sizes and I2.3 certified coastal options.

Left window shown in Cherry with Walnut stain and Antique Brass hardware.

Right window shown in Steel aluminum cladding.

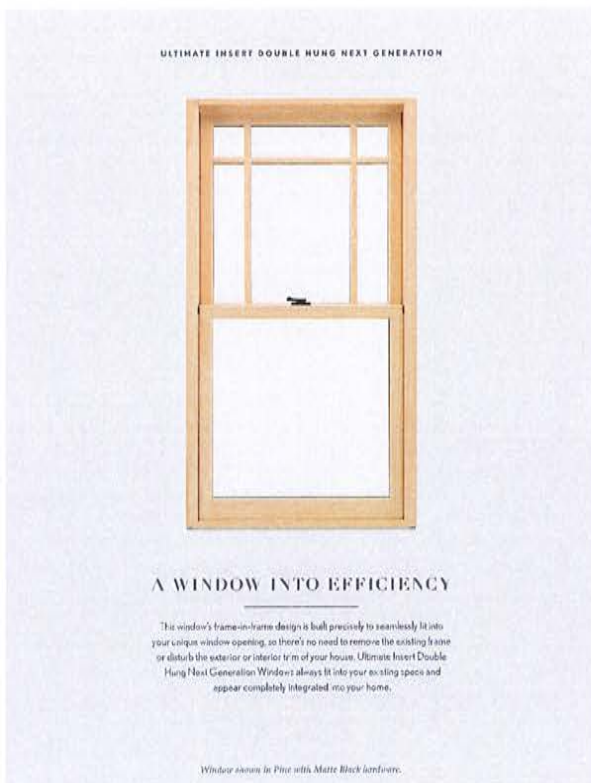
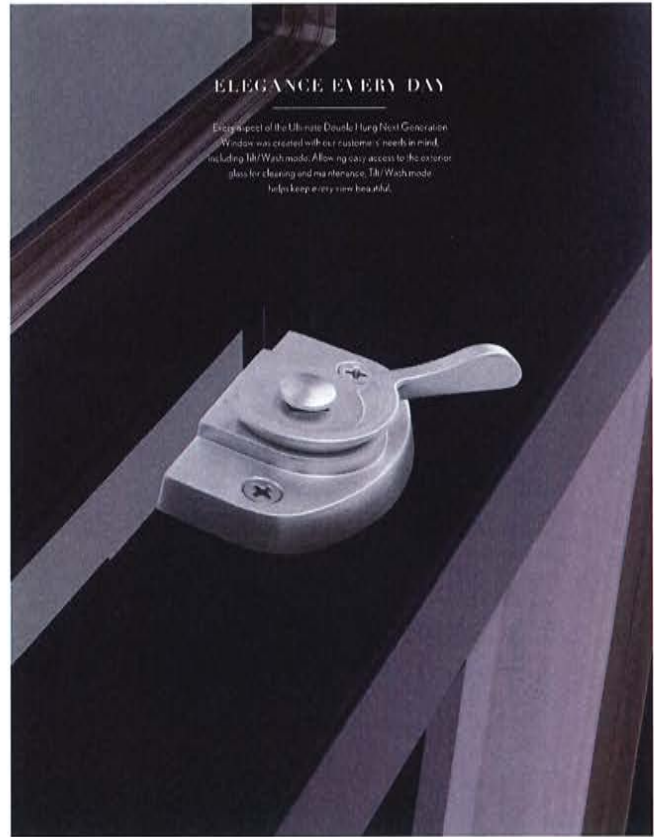


GENERATIONS OF TIMELESS DESIGN.

Ultimate Double Hung, Next Generation Windows and Climate Shield™
Please visit www.crownwindow.com for more information.

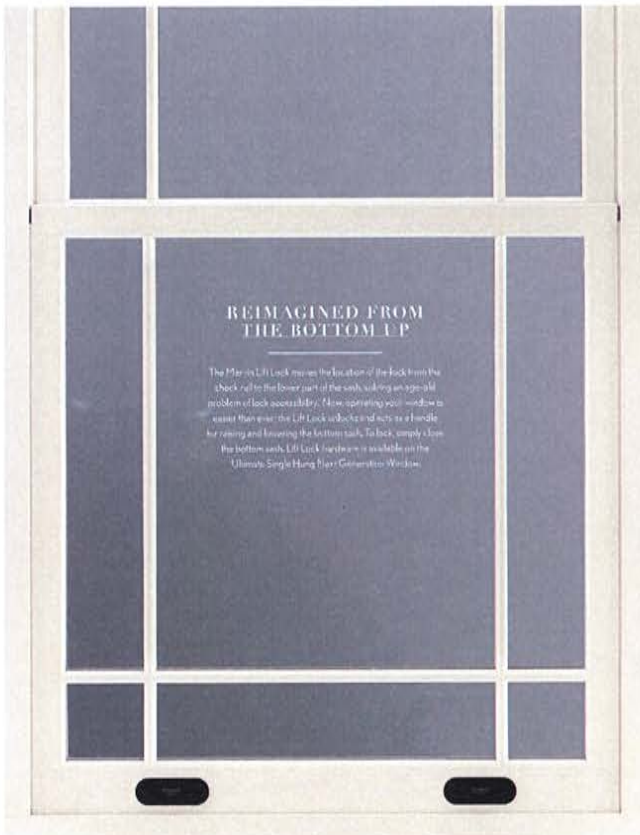
167

891



168

691



169

21

ULTIMATE DOUBLE HUNG NEXT GENERATION




SUPERIOR SCREENS

Because no two projects are the same, Marvin offers a variety of retractable screen and storm window options designed to blend into your window, meet the performance needs of your project, and match the beauty of your home.

RETRACTABLE SCREEN
FULL OR HALF SCREEN
TWO-LIFE STORM SASH OR SCREEN
STORM & SCREEN COMBINATIONS

Windows shown with full screen and Studio aluminum cladding.

ULTIMATE DOUBLE HUNG NEXT GENERATION



SHADED IN SERENITY

From the amount of light to give your home to the amount of privacy to give yourself, what you need throughout the day changes. Marvin's interior shades are seamlessly integrated into the window with no edge gaps for light to bleed through and feature top-down/bottom-up operation, letting you choose your exact amount of daylight or privacy. With finish options to match your windows or doors, a precision fit with no visible cords or pulleys, these shades blend into the background when unrolled. Offering three light-filtering shade colors and five colors that block out light, Marvin's shades are designed to accommodate every need. These shades are made with a durable material that holds its pleat through normal use and we offer a 10-year warranty on all fabrics.

Windows shown in Pine with Honey stain and Almond shades.

ALUMINUM CLADDING

BEAUTY THAT DOESN'T FADE

Our cladding offers color flexibility to meet design goals with durability to protect against the elements. Backed by a 20-year warranty, Marvin's impact resistant extruded aluminum cladding is 3x thicker and much stronger than the industry standard roll-form aluminum. Standing out for its exceptional durability in sixteen spectacular colors, all finished in commercial-grade paint for superior resistance to chalking and fading, our aluminum cladding is designed to last.





WOOD SPECIES

Every master woodworker knows that one of the most important choices when crafting a new piece is selecting the right wood species for the project. With variations in grain, hardness and warmth, each one of our six standard wood species has something unique to offer.



INTERIOR FINISH OPTIONS

As part of our commitment to only creating the highest-quality windows and doors, every single piece of wood in each of our made-to-order products is conditioned, sanded, and baked during our integrated conditioning and staining process to provide an elegant and lasting finish. With nine stain and paint options to choose from, our customers can receive stunning, ready-to-install windows and doors without the mess, fumes, or inconvenience.



* Professional Aluminum Cladding
** Some colors may not qualify for the 20-year warranty. For details contact your local dealer. For a copy of the warranty, see MarvinWindows.com

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Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000013-Sign
BBS 20-000012-ABR
DOCKET No. 02-19-20 A+S
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name BottleHouse Project Address 13368 Madison Ave

Applicant Name Brian Benchek Applicant Address _____
(if different than above)

Applicant Contact (216 214 2120) _____ @ _____

Brief Project Description Remove rotten wooden pink facade. Install awnings and a new sign.

Signature:  Date: 1/25/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Red Shift Properties LLC Property Address 13368 Madison Ave

Owner / Agent Contact (216 214 2120) _____ @ _____

Owner / Agent Signature  Date: 1/25/20

Office Use Only: Reviewed and Accepted by:  Date: 2/5/2020

Ordinance 22-00B-ABR Section 1325.05 Remarks _____
2-16 - Signage 1329.05
1329.12(b) 171

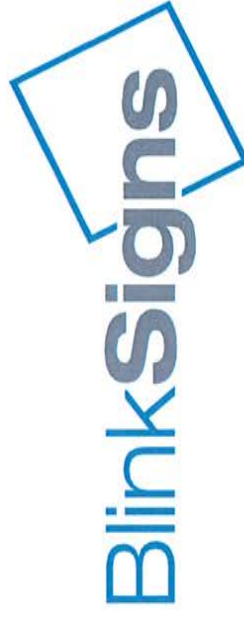




Mead Hall

STOP

173



THE BOTTLEHOUSE BREWERY AND MEADERY
13368 MADISON AVE.
LAKEWOOD, OH 44107

EXTERIOR SIGNAGE SUBMITTAL

PROJECT NUMBER: 7884
DATE CREATED: 01.17.2020





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ESTERLAK

CONCEPT DRAWING NOT SUITABLE FOR PRODUCTION PURPOSES

SIGN 1: D/F ILLUMINATED BLADE SIGN - Rendering

QTY - 1



EXISTING CONDITION
SCALE: NOT TO SCALE



REVISED CONDITION



1925 St. Clair Ave NE
Cleveland, OH 44114
(877) 433-4466
(216) 500-2568
www.blinksigns.com

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DATE	REVISION

DESIGNER	Miranda Peters	PROSPECT/CLIENT	The BottleHouse Brewery And Meadery PROJECT	PROJECT NUMBER	7884
PROJECT MANAGER	Philip Swan	PROJECT LOCATION	13368 Madison Ave, Lakewood, OH 44107	DATE CREATED	01.17.2020
SALES REP	Kevin	PAGE	3		

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SIGNAGE SITE PLAN



LEGEND	QTY
1 D/F ILLUMINATED BLADE SIGN	1

KEY

- SIGN LOCATION —
- BUILDING OUTLINE - - - - -



1925 St. Clair Ave NE
Cleveland, OH 44114
(877) 433-4466
(216) 503-2968
www.blinksigns.com

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DATE	REVISION

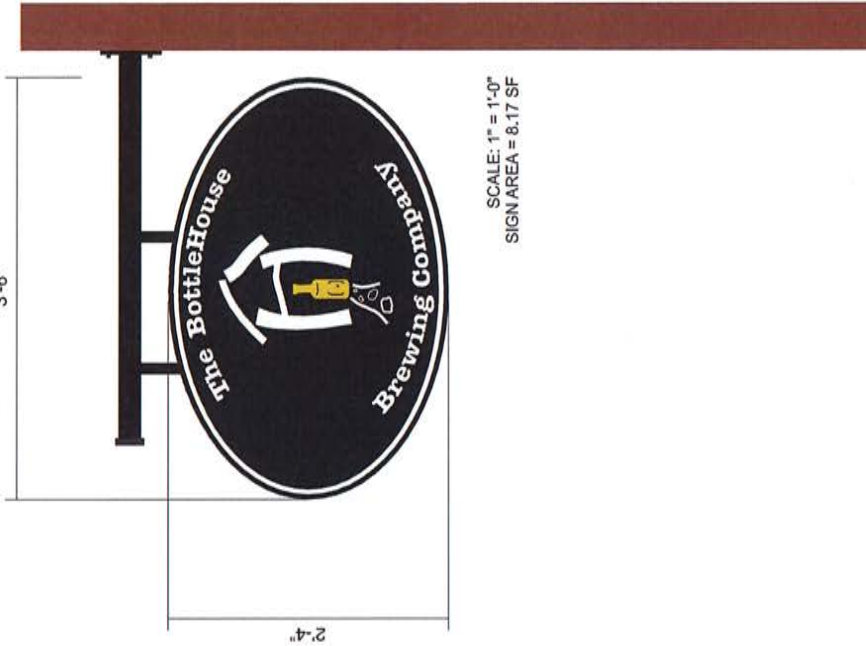
DESIGNER	Miranda Pieters	PROSPECT/CLIENT	The BottleHouse Brewery And Meadery PROJECT	PROJECT NUMBER	7884
PROJECT MANAGER	Philip Swan	PROJECT LOCATION	13368 Madison Ave, Lakewood, OH 44107	DATE CREATED	01.17.2020
SALES REP	Kevin	PAGE	2		

CONCEPT DRAWING NOT SUITABLE FOR PRODUCTION PURPOSES

SIGN 1: D/F ILLUMINATED BLADE SIGN - Fabrication Detail

QTY - 1

NOTE: PRIMARY ELECTRICAL TO BE RUN BY OTHERS & ACCESSIBLE WITHIN 5'-0"
 NOTE: INSTALLER TO BE PREPARED FOR CONDUIT RUN TO AN EXTERIOR POWER SOURCE.
 NOTE: PMS COLOR TBV



SCOPE OF WORK:
 -Manufacture & Install (1) D/F Illuminated Blade Sign
 -Mounting Bracket

SIGN SPECS:
 D/F Illuminated Blade Sign:
 -3" Deep Aluminum Returns: Painted Black
 -Trim Caps: Painted Black
 -Poly-carbonate facets with 1st surface digitally printed graphics
 -Mounting Bracket
 ■ Black
 ■ White
 ■ Pantone 116C - TBV

CITY CRITERIA:

LANDLORD CRITERIA:

ADDITIONAL NOTES:



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 Cleveland, OH 44114
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DATE	REVISION	DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
		Miranda Peters	The BottleHouse Brewery And Meadery PROJECT	7884
		Philip Swan	Exterior Signage	DATE CREATED 01.17.2020
		SALES REP Kevin	PROJECT LOCATION 13368 Madison Ave, Lakewood, OH 44107	PAGE 4

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CONCEPT DRAWING NOT SUITABLE FOR PRODUCTION PURPOSES

SIGN 1: D/F ILLUMINATED BLADE SIGN - Section Detail

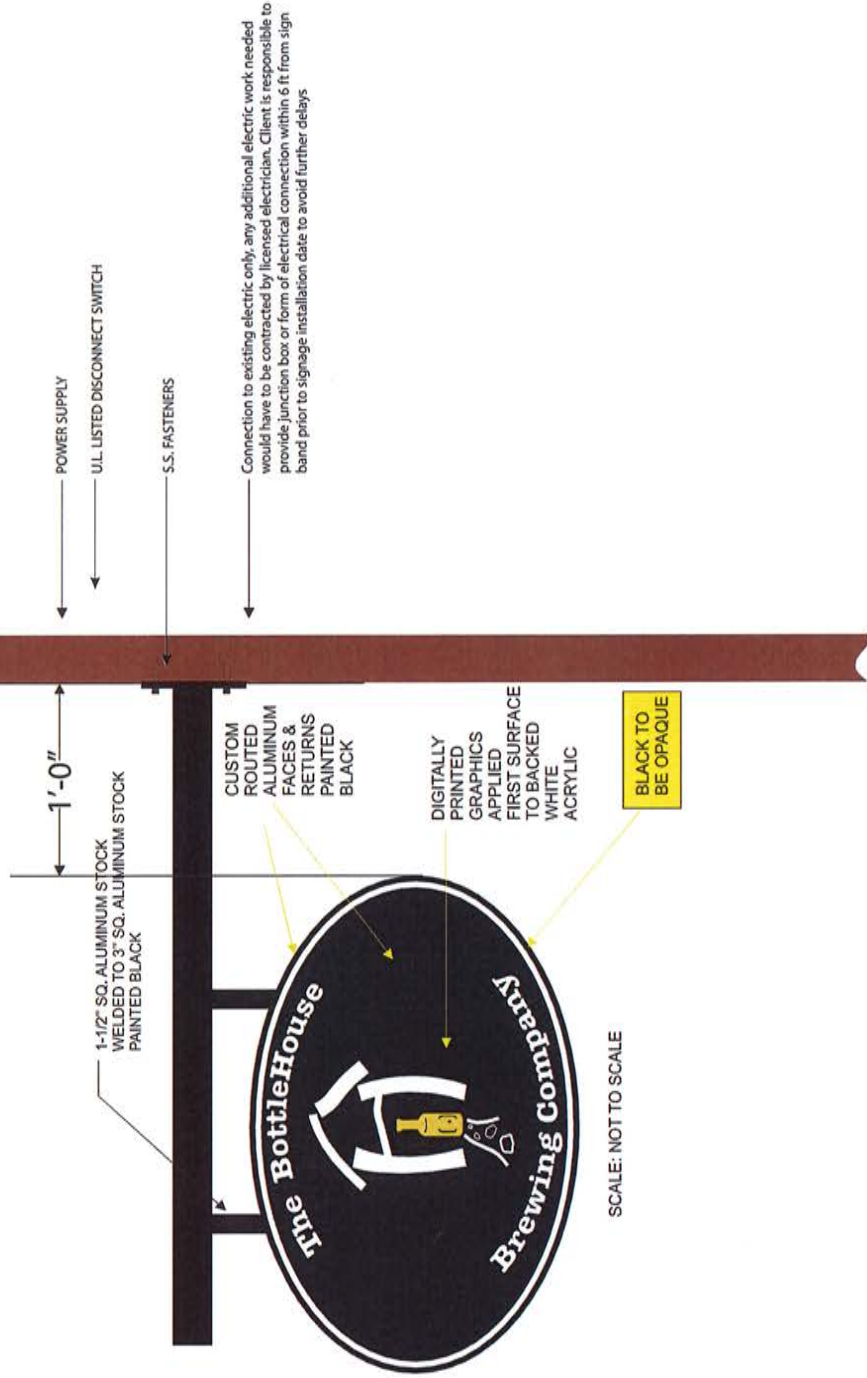
QTY - 1

SCOPE OF WORK:
-Manufacture & Install (1) D/F Illuminated Blade Sign
-Mounting Bracket

SIGN SPECS:
Please refer to illustration on the right.

COLOR SPECS:

 Black
 White
 Pantone 116C - TBV

NOTE: PRIMARY ELECTRICAL TO BE RUN BY OTHERS & ACCESSIBLE WITHIN 5'-0".
 NOTE: INSTALLER TO BE PREPARED FOR CONDUIT RUN TO AN EXTERIOR POWER SOURCE.



SCALE: NOT TO SCALE



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DATE	REVISION
01/17/20	Revised details - mcp

DESIGNER	PROSPECT/CLIENT	PROJECT NUMBER
Miranda Peters	The BottleHouse Brewery And Meadery PROJECT	7884
PROJECT MANAGER	DATE CREATED	
Philip Swan	01.17.2020	
SALES REP	PROJECT LOCATION	PAGE
Kevin	13368 Madison Ave, Lakewood, OH 44107	5

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PROPOSED SHED STYLE AWNINGS WITH GRAPHICS OVER STOREFRONT WINDOWS

MADISON AVENUE ELEVATION

1 @ 20'-0"W X 3'-0"H X 3'-0"P

1 @ 15'-8"W X 3'-0"H X 3'-0"P

CHESTERLAND AVENUE ELEVATION

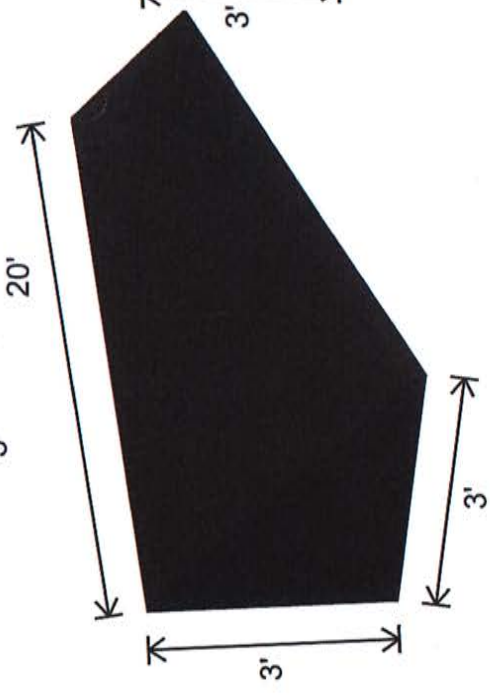
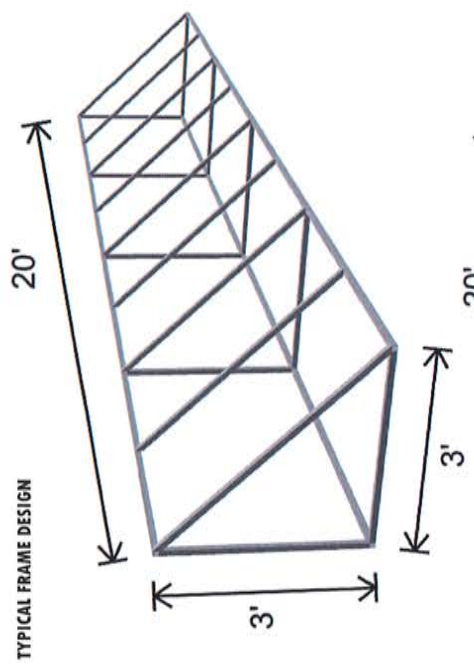
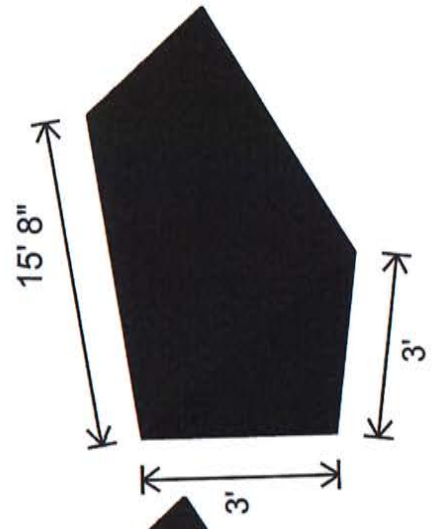
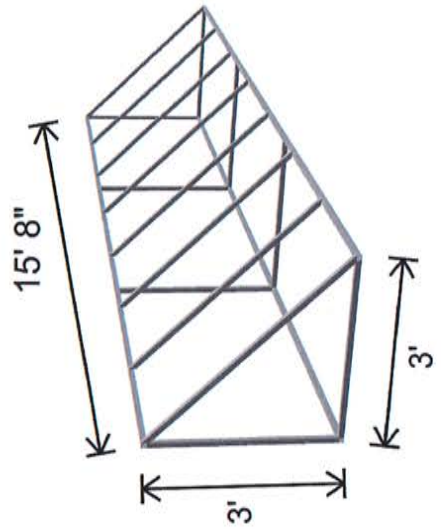
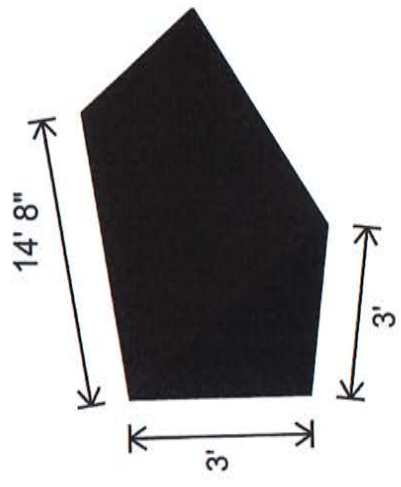
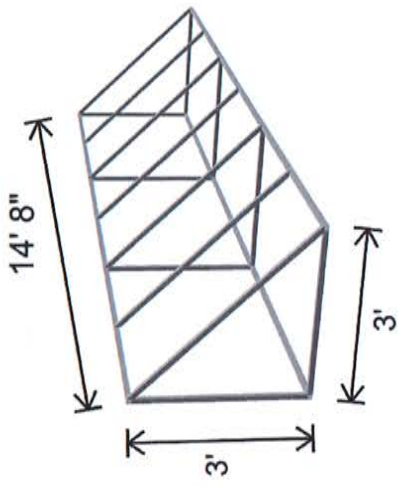
1 @ 14'-8"W X 3'-0"H X 3'-0"P



PLAN INDEX
CS COVER SHEET
A1 FRAME AND FABRIC DETAILS
A2 ELEVATION
A3 VICINITY PLAN
A4 GRAPHICS



<p>OHIO AWNING & MANUFACTURING COMPANY (216) 861-2400 ohioawning.com Kevin@ohioawning.com</p>	<p>DESIGNED AND MANUFACTURED BY: Ohio Awning & Manufacturing 5777 Grant Avenue Cleveland, OH 44105</p>	<p>CS</p> <p>BottleHouse Brewery 1368 Madison Avenue Lakewood OH 44107</p>
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TYPICAL FRAME DESIGN

- FRAME/FABRIC NOTES**
1. FRAMEWORK TO BE CONSTRUCTED OF WELDED 1" SQ. (D.090 WALL 6063-T6), MILL FINISHED, ALUMINUM TUBING.
 2. RIGID SHED FRAME HAS CLOSED LEFT / RIGHT ENDS W/ 1"-4" DOUBLE FRONT BAR (DFB).
 3. FABRIC ATTACHMENT: STAPLE
 4. FABRIC MFG / COLOR: SUNBRELLA BLACK 82008
- FOR THE PURPOSE OF ANALYSIS THIS AWNING / CANOPY STRUCTURE HAS BEEN LOADED AS FOLLOWS AS PER OBC 1607.12.4:
- LIVE LOAD 5.0 PSF OBC 1607.1 & TABLE 1607.1.2.6
 - WIND LOAD 20.7 PSF (90 mph) OBC

A2

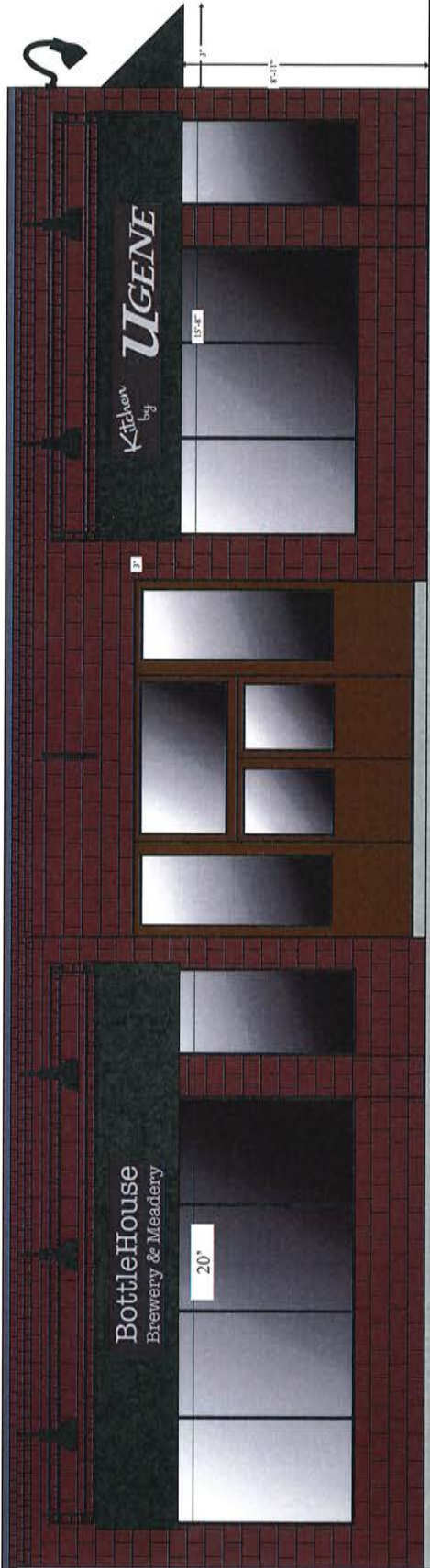
BottleHouse Brewery
13368 Madison Avenue
Lakewood OH 44107

OHIO AWNING
& MANUFACTURING COMPANY
(216) 861-2400

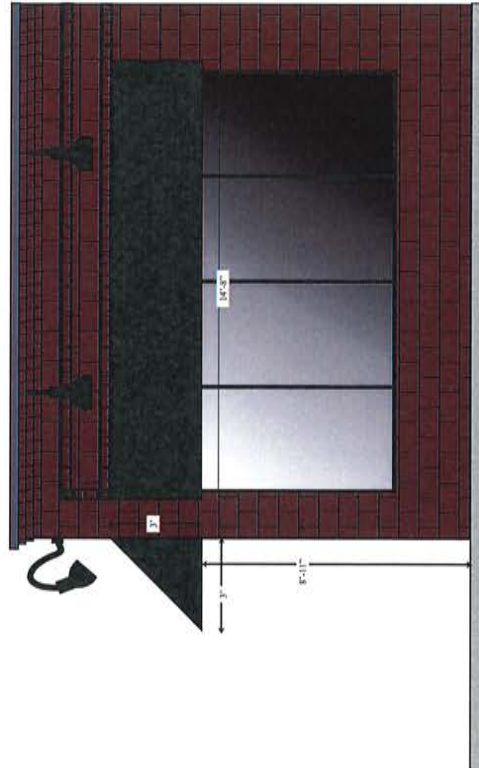
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Cleveland, OH 44105
ohioawning.com
kevin@ohioawning.com

150 years
of craftsmanship & innovation

SOUTH ELEVATION



EAST ELEVATION



A3

BottleHouse Brewery
13368 Madison Avenue
Lakewood OH 44107

**OHIO AWNING
& MANUFACTURING COMPANY**
(216) 861-2400

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Ohio Awning & Manufacturing
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Cleveland, OH 44105
ohioawning.com
Kevin@ohioawning.com

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VICINITY / PLAN VIEW

184

A4

BottleHouse Brewery
13368 Madlson Avenue
Lakewood OH 44107



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5777 Grant Avenue
Cleveland, OH 44105
ohioawning.com
Kevin@ohioawning.com

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DESIGNED AND MANUFACTURED BY:



GRAPHICS PAINTED ON DECK OF AWNING

COLOR: LIGHT GREY

SIZE:
BOTTLEHOUSE APPROXIMATELY 2'-0" HIGH X 8'-0" WIDE

KITCHEN BY UGENE APPROX. 2'-0" H X 11'-9" W



February 3, 2020

David Baas
City Planner
City of Lakewood
12650 Detroit Avenue
Lakewood, OH 44107

Dear Mr. Baas,

LakewoodAlive is excited to communicate with Lakewood's Architectural Board of Review and the Planning Department the status of our Warren Road Project Phase Two, specifically related to public art. This project is funding by a \$50,000 Cuyahoga County Community Development Supplemental Grant, in partnership with the City of Lakewood.

Warren Road currently serves as the primary north-south corridor connecting the Downtown and Uptown Lakewood business districts to the Interstate 90 commercial corridor. As a gateway into the City of Lakewood, its vibrant business districts and diverse housing stock, over 14,000 cars and 200 pedestrians pass through the intersection. While census information for cyclist traffic at the intersection is not available, it is anticipated this investment in Warren Gateway Phase 2 (The Project) shall increase cyclist and pedestrian traffic.

Lakewood's Uptown District (defined as Madison Avenue from Warren Road to Hilliard Boulevard) has seen significant investment by property owners, business owners, and the City of Lakewood of approximately \$22.4 million over the past few years. Madison Avenue has seen various improvements to its streetscape, it is anticipated that more improvements and investments will be made after the completion of Warren Gateway Phase 2 to create a more pedestrian-friendly walkable environment while also providing opportunities for reinvestment, promoting healthy multi-modal forms of transportation, and improving the urban environment for the next generation of Lakewoodites.

In late 2018, LakewoodAlive applied for a Cuyahoga County Supplemental Grant Program. The grant monies would be an initial investment in improving the quality of Warren Road, a multi-phase effort over numerous years. It was determined during the grant application that the effort shall be referred to as the Warren Gateway, thereby highlighting the importance of Warren's connection to and throughout Lakewood. LakewoodAlive received the full Cuyahoga County Community Development Supplemental Grant Program amount in February 2019.

In August 2019, LakewoodAlive released a Request for Proposal (RFP) for artists to create murals/public art at:

- The north-facing façade of the Fifth Third Bank at northwest intersection of Madison-Warren and one (1) bus wrap for the adjacent RTA Brasco transit shelter.
- The west-facing side façade of Doughnut Pantry, due east of the intersection of Warren and Madison.

The response led to 14 proposals of which an ad-hoc committee comprised of stakeholders, city planning staff and design committee members reviewed to narrow. Subsequently, interviews of those selected were conducted and ultimately narrowed to two artists.

Artist April Bleakney was chosen to create a mural on the rear of Fifth Third Bank and a compatible wrap on the bus shelter.

Artist Stephanie Crossen was chosen to create a mural on the side of the Donut Pantry.

Scherba Industries of Brunswick was chosen as the vendor to print and adhere the murals. RTA will assist City of Lakewood Public Works staff with installation of the bus shelter wrap.

Partners at Fifth Third, RTA and the Donut Pantry have been involved in every step of the process and have worked with their respective artists.

Lastly, the Warren Road Phase Two project has led to/will lead to:

- Planting 12 trees along Warren Road in residential tree lawns to fill in the gaps, completed by Public Works in Spring 2019.
- Creation of 14 street tree pits and planting of 14 new trees. This was completed by Public Works in November 2019.
- Purchase of a new bus shelter to replace the existing shelter. The new shelter was received in November 2019, will be internally illuminated via solar cell, and will be installed in Spring 2020.
- Purchase of four new waste receptacles for the four corners of the Warren-Madison intersection, which currently is void of such containers. They were delivered in late December 2019.
- Future installation of thermoplast crosswalks running north/south to mimic brick thereby "completing" all four crosswalks to be brick/brick-like. Installation once snow (and salting) will no longer occur this Spring.

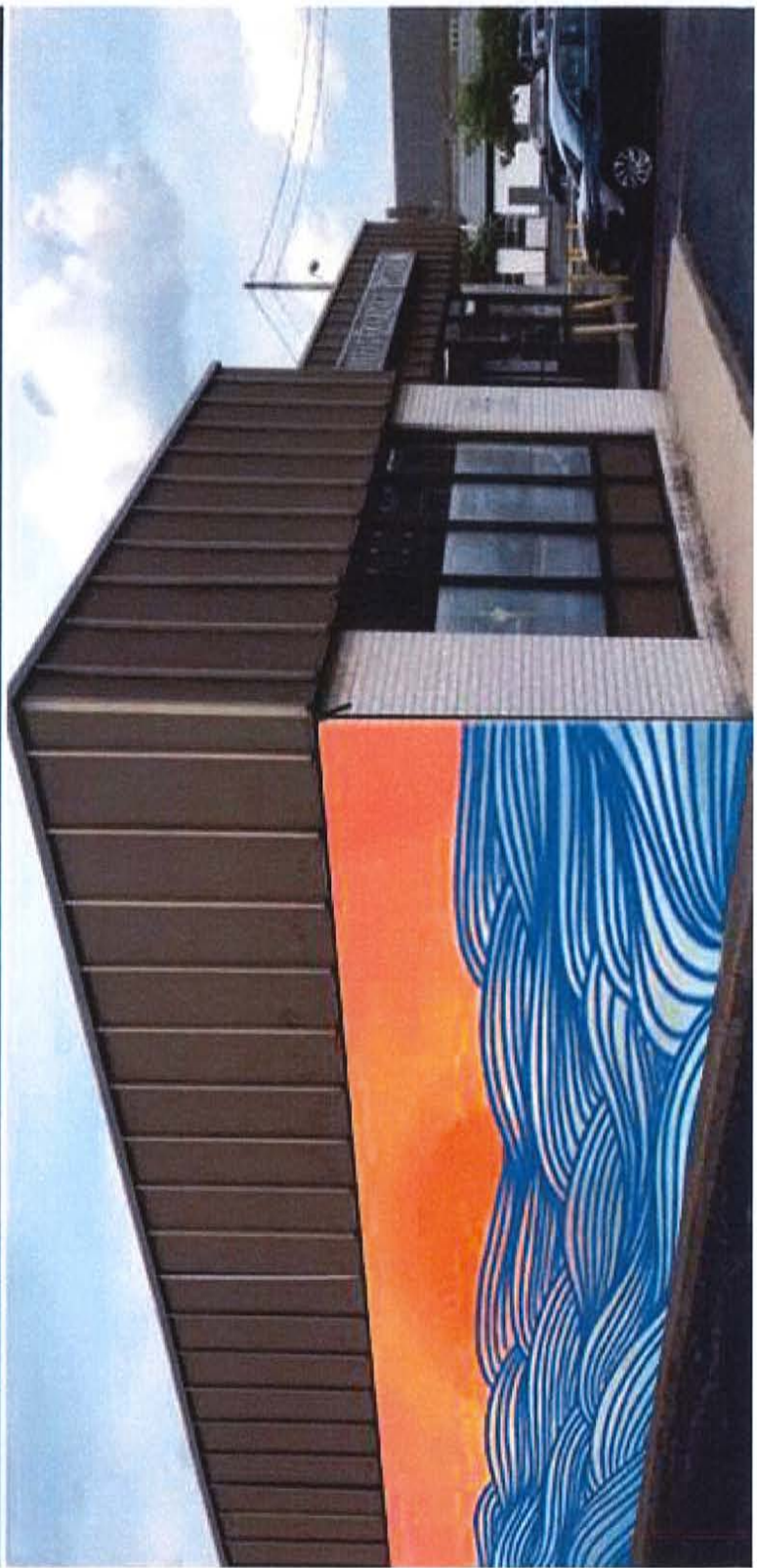
Please see the attached renderings which show the proposals that the committee reviewed and accepted. Modest modifications are likely to be made to the artwork. City staff will be kept apprised and informed throughout the process.

Thank you for reviewing and we are happy to discuss any questions you have.

Sincerely,



Ian Andrews
Executive Director



is under
Electronic
Surveillance

Contact with
Transit Police

Hotline:
216-566-5163

crime tip app
iPhone & Android

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