

**AGENDA
CITY OF LAKEWOOD
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
PRE-REVIEW MEETING
MARCH 3, 2022 at 4:00 P.M.
VIRTUAL**

Join Zoom Meeting

<https://us06web.zoom.us/j/83137967161?pwd=UEFuVGJsYmRGcjFGV1BtcEVEZnBIZz09>

Meeting ID: 831 3796 7161

Passcode: 755885

One tap mobile

+19292056099,,83137967161# US (New York)

+13017158592,,83137967161# US (Washington DC)

Dial by your location

+1 929 205 6099 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 831 3796 7161

Find your local number: <https://us06web.zoom.us/j/83137967161?pwd=UEFuVGJsYmRGcjFGV1BtcEVEZnBIZz09>

**CITY OF LAKEWOOD
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
MARCH 10, 2022 at 5:30 P.M.
AUDITORIUM
12650 DETROIT AVE.
5:30 P.M.**

1. **ROLL CALL**
2. **APPROVE THE MINUTES OF THE FEBRUARY 10, 2022 MEETING**
3. **OPENING REMARKS**

**NEW BUSINESS
ARCHITECTURAL BOARD OF REVIEW**

4. **Docket No. 03-08-22** **1474 Riverside Dr.**
- | | |
|----------------------------------|--|
| <input type="checkbox"/> Approve | Gary Fischer |
| <input type="checkbox"/> Deny | Fischer & Associates Architects Inc. |
| <input type="checkbox"/> Defer | 554 W. 9 th St.
Lorain, OH 44052 |

Applicant proposes design review of addition and renovation of an existing home. (Page 3)

5. **Docket No. 03-09-22** **1464 Riverside Dr.**
- | | |
|----------------------------------|--------------|
| <input type="checkbox"/> Approve | Gary Fischer |
|----------------------------------|--------------|

- Deny
- Defer

Fischer & Associates Architects Inc.
554 W. 9th St.
Lorain, OH 44052

Applicant proposes Design review of addition and renovation of an existing historic home. (Page 16)

6. Docket No. 03-10-22 16500 Kenneth Dr.

- Approve
- Deny
- Defer

John Schaefer
16500 Kenneth Dr.
Lakewood, OH 44107

Applicant proposes renovations of an existing home. (Page 27)

7. Docket No. 03-11-22 17840 Lake Rd.

- Approve
- Deny
- Defer

Mark Reinhold
Architect
1120 Forest Rd.
Lakewood, OH 44107

Applicant proposes an addition/renovation of an existing garage. (Page 41)

**8. Docket No. 03-12-22 16100 Detroit Ave.
Sweet Designs Chocolatier**

- Approve
- Deny
- Defer

Ines Rehner
Sweet Designs Chocolatier
16100 Detroit Ave.
Lakewood, OH 44107

Applicant proposes replacement of an existing storefront window for one that opens to accommodate express pick-up of pre-ordered product. (Page 48)

ADJOURN



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 03-08-22

Permit No.: BBS22-000005

Applicant Name: Gary Fischer, Fischer Associates Architects Inc.

Project Address: 1474 Riverside Dr.

Project Name: n/a

Project: Applicant proposes design review of addition and renovation of an existing home.

FISCHER & ASSOCIATES



ARCHITECTS INC.

354 West Ninth Street
Lima, Ohio 44052
Tel: (440) 315-2300
E-mail: andrea@fischerarch.com

Fischer & Associates 2008 ©

DATE: 06/13/21

SSS/E: KAL/MLA

PREP: KAL/MLA

PROJECTS:

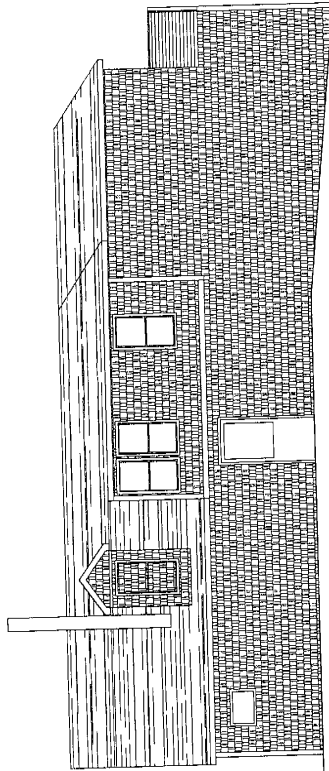
Client Name/Project Name/Address

1474 Riverside Drive
(Alterations)
Lakewood, Ohio

1474 Riverside Drive

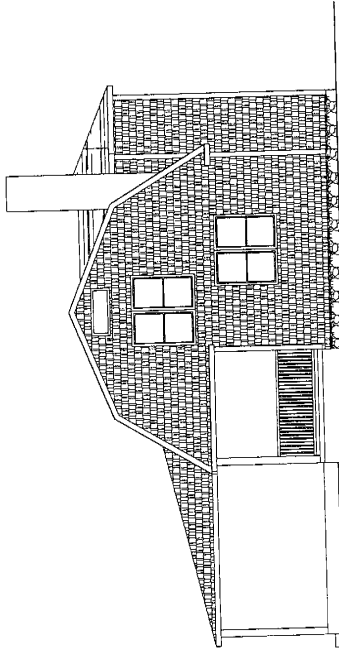
PROPOSED WEST ELEVATION

1/4" = 1'-0"



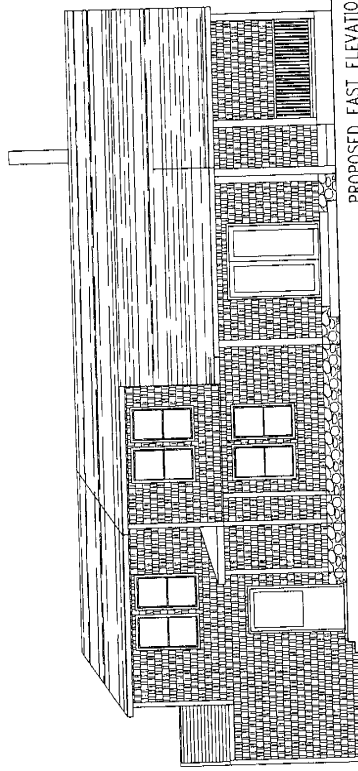
PROPOSED NORTH ELEVATION

1/4" = 1'-0"



PROPOSED EAST ELEVATION

1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



Drawn by Name
DRAWING TITLE

Project Number
20 XXXX

SHEET #

A-100

Scale

PRELIMINARY
NOT FOR
CONSTRUCTION

quick search:

Address

Permit #

Name



Permit Project



File #: 21-004668 ***
1474 RIVERSIDE DR LAKEWOOD OH 44107
Setback and lot coverage variances for new garage

Permits

[Edit Permit: BZA21-000044](#)



Permit #: BZA21-000044
Permit Type: Board of Zoning Appeals
Sub Type: Residential
Work Description: Setback and lot coverage variances for new garage

Applicant:	Fischer & Associates Architects	Application Date:	08/25/2021
Status:	Online Application Received	Approval Date:	
Total Amount:	\$ 25.00	Issue Date:	
Amount Paid:	\$ 25.00	Expiration Date:	
Balance Due:	\$ 0.00	Close Date:	
Valuation:	0.00	Last Inspection:	
Non-Billable:	<input type="checkbox"/>		

REQUEST INFORMATION

Docket Number:
Referred by Building Department: No
Submitted for Plan Review: No
Are you or have you applied for Architectural Board of Review approval? No
Date of Architectural Board of Review Meeting:


Architect: Fischer & Associates Architects
Engineer:

REQUIRED SUBMITTALS

There is a 25MB limit for each document upload

Scaled Site Plan:	<input type="text" value="Select File"/>	<input type="text" value="1474 Riverside Drive-G-100.pdf"/>		
Photos of Existing Conditions:	<input type="text" value="Select File"/>	<input type="text" value="1474 Riverside Rear View .JPG"/>		
		<input type="text" value="1474.JPG"/>		
Design Documents:	<input type="text" value="Select File"/>	<input type="text" value="1474 Riverside Drive-A-100.pdf"/>		
		<input type="text" value="1474 Riverside Drive-A-101.pdf"/>		

AUTHORIZATION FOR PROPERTY ACCESS

Relationship to Applicant: Agent 

Agent Name: Gary R Fischer


Agent Phone: 4403152300


Owner Name: Linda Fredrickson

Owner Phone: 440 669- 9806

Owner Email Address: linfredy@aol.com

|Owner Consent:

Authorization .docx 


Is the property occupied? Yes 

Tenant Name: Linda Fredrickson

Tenant Phone: 440 669-9806

Tenant Email Address: linfredy@aol.com

Tenant Consent:

Any dog(s) on property? No 

Owner Consent:

In order to for a variance request to be approved, applicants must demonstrate how their request meets the Practical Difficulty Test based on the below factors. The Board of Zoning Appeals must consider and weigh each response on its merits.

Please review each of the below 9 points and respond "Not Applicable", "Yes" or "No". If your answer is "Yes" or "No", please provide a brief explanation.

(1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;

: The property is a triangular shape and fronting on two streets. Currently the home has no garage as a former attached garage was removed prior to the current ownership. The owner wishes to construct a new attached garage on the footprint of the former garage. and renovate the interior to accommodate a new kitchen while adding a bedroom over the

(2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;

: No

(3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);

: Without the variances we are denied a garage that all other homes in the area have. Currently we have to park on the street.

(4) Whether the variance(s) is substantial;

: Reasonable given the lot constraints.

(5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);

:

The character will be maintained.

(6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);
: No

(7) Whether the property owner purchased the property with knowledge of the zoning restriction;
: No

(8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and
: No. Due to the lot shape and size.

(9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).
: Yes as the owner will receive the same use as the adjacent properties.

ACKNOWLEDGEMENTS

I certify that I have been exempted by the City's Secretary to this Board/Commission from submitting the required review fee: I have been exempted

By signing below, I authorize members of the City's Building Department and Planning and Development Department access to my property for limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Agent Signature: signature.png

Permit Fees

Quantity	Fee	Description	Amount	Total
	Application Fee			25.00
			Plan Check Fees:	0.00
			Other Fees:	25.00
			Total Fees:	25.00

Payments

Date	Type	Reference	Note	Receipt #	Received From	Amount
08/25/2021	Credit	M-428889057	BZA21-000044	3938	Fischer & Associates Archite	25.00
					Amount Paid:	25.00
					Balance Due:	0.00



PROPOSED WEST ELEVATION
1/4" = 1'-0"



PROPOSED NORTH ELEVATION
1/4" = 1'-0"



PROPOSED EAST ELEVATION
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

1474 Riverside Drive

(Alterations)

1474 Riverside Drive
Lakewood, Ohio

Drawing Name

DRAWING TITLE

Fischer Project Number

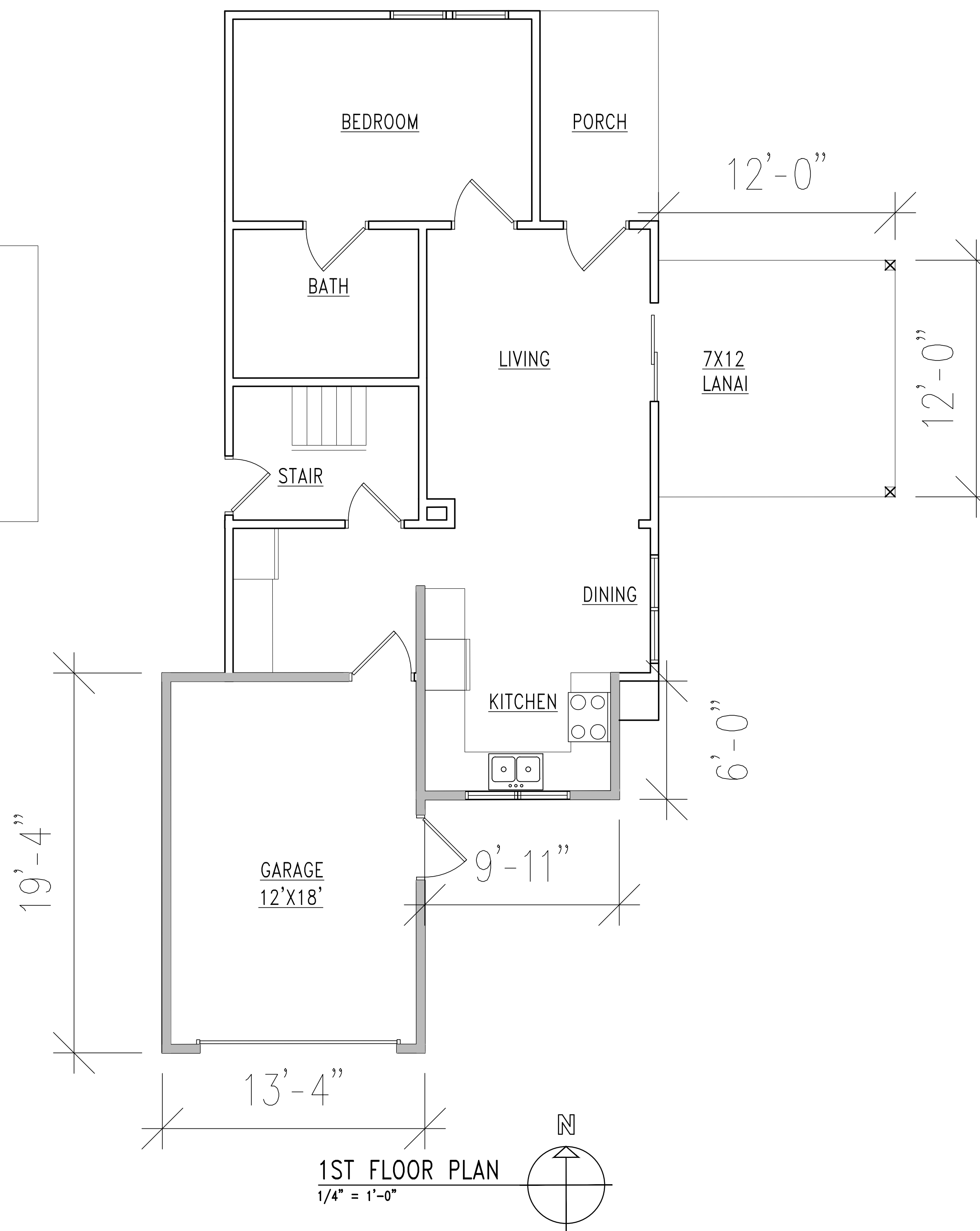
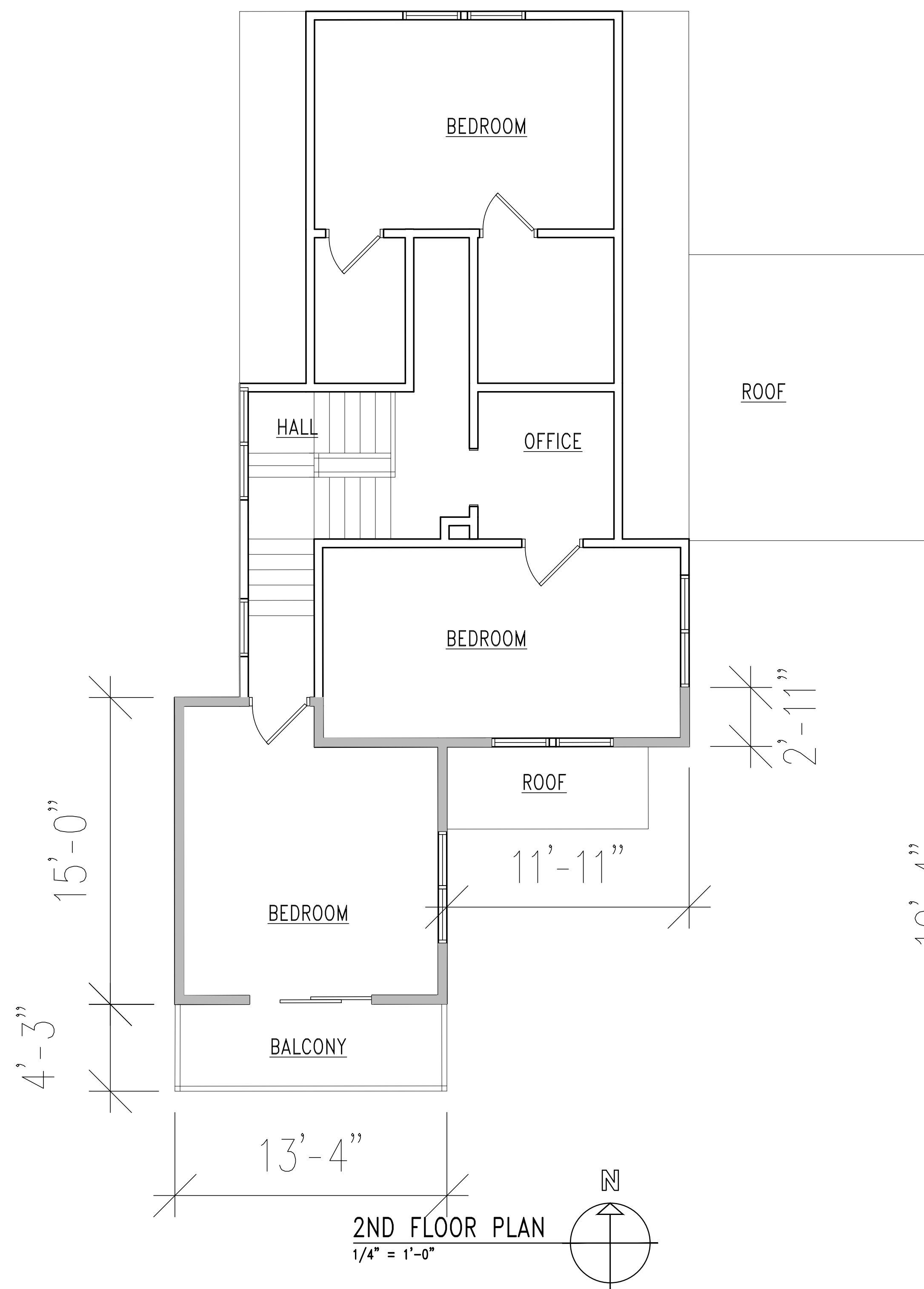
20.XXX

SHEET #

A-100

Seal

PRELIMINARY
NOT FOR
CONSTRUCTION



1474 Riverside Drive

(Alterations)

1474 Riverside Drive
Lakewood, Ohio

Drawing Name

DRAWING TITLE

Fischer Project Number

20.XXX

SHEET #

A-101

Seal

PRELIMINARY
NOT FOR
CONSTRUCTION



Permit Project



File #: 21-004668 ...
 1474 RIVERSIDE DR LAKEWOOD OH 44107
 Setback and lot coverage variances for new garage

[Permits](#)
[Reviews](#)
[Inspections](#)
[Violations](#)
[Activities](#)
[Documents](#)
[Contacts](#)
[History](#)

EDIT:
 File

Edit Permit: BZA21-000044



- ADD:
- Activity
 - Address
 - Alert
 - Contact
 - Document
 - Email
 - Inspection
 - Letter
 - Note
 - Payment
 - Permit
 - Route
 - Violation

Permit #: BZA21-000044
Permit Type: Board of Zoning Appeals
Sub Type: Residential
Work Description: Setback and lot coverage variances for new garage
Applicant: Fischer & Associates Architects ...
Status: Online Application Received
Application Date: 08/25/2021
Total Amount: \$ 25.00
Approval Date:
Amount Paid: \$ 25.00
Issue Date:
Balance Due: \$ 0.00
Expiration Date:
Valuation: 0.00
Close Date:
Non-Billable:
Last Inspection:

- REPORTS:
- Custom
 - Detail
 - Summary

REQUEST INFORMATION

Docket Number:
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Submitted for Plan Review: No
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Date of Architectural Board of Review Meeting:
Architect: Fischer & Associates Ar ...
Engineer:

REQUIRED SUBMITTALS


There is a 25MB limit for each document upload

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 1474 Riverside Drive-G-100.pdf

Photos of Existing Conditions:
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 1474.JPG

Design Documents:
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 1474 Riverside Drive-A-101.pdf

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Authorization .docx 
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Tenant Email Address: linfredy@aol.com
Tenant Consent: Select File
Any dog(s) on property?: No
Owner Consent: Select File

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(8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and

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Agent Signature: signature.png

Permit Fees

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			Other Fees:	25.00
			Total Fees:	25.00

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					Amount Paid:	25.00
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**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 03-09-22

Permit No.: BBS22-000006

Applicant Name: Gary Fischer, Fischer Associates Architects Inc.

Project Address: 1464 Riverside Dr.

Project Name: n/a

Project: Applicant proposes design review of addition and renovation of an existing historic home.



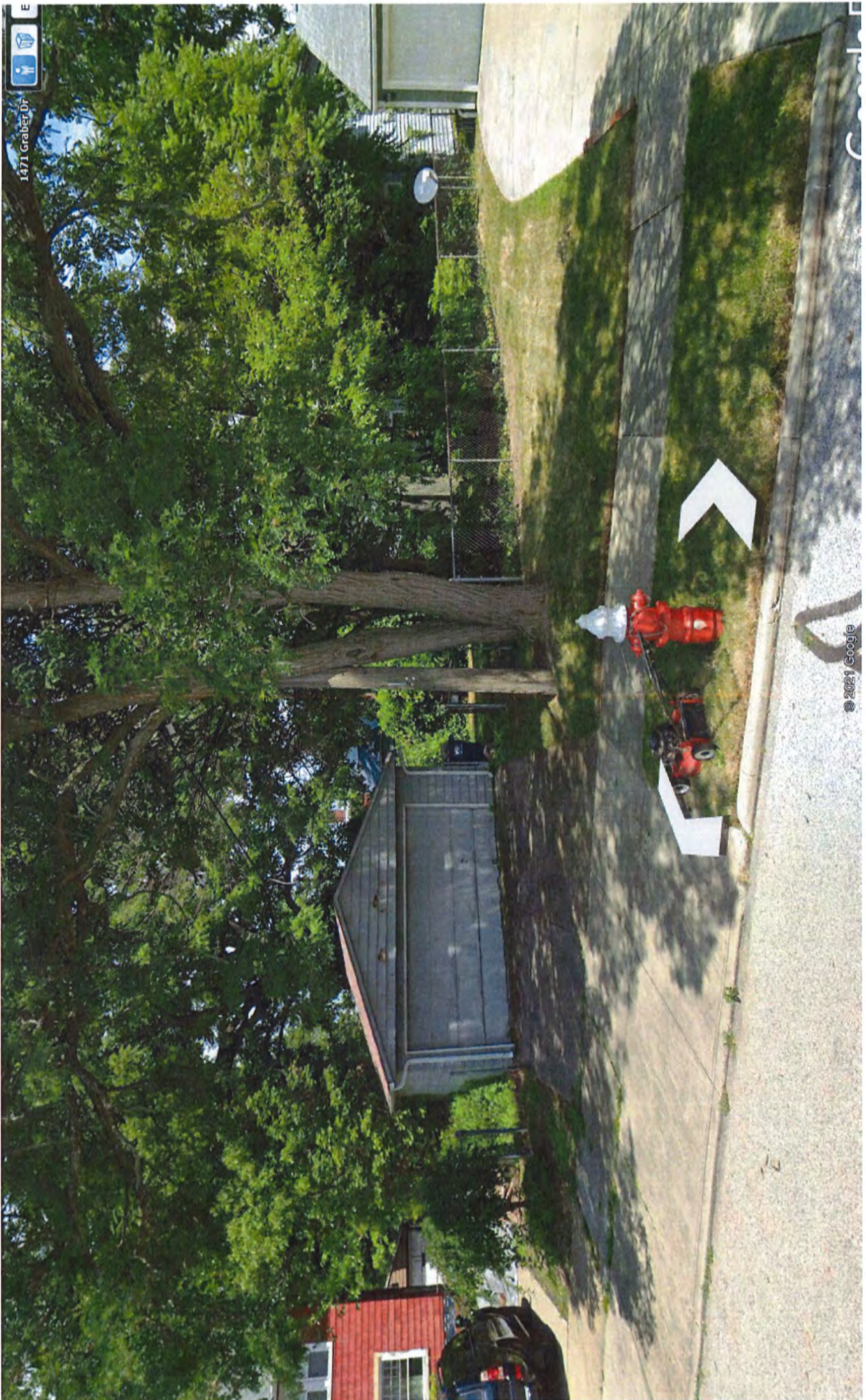
1465 Riverside Dr

Exit Street View

© 2021 Google

Google Earth

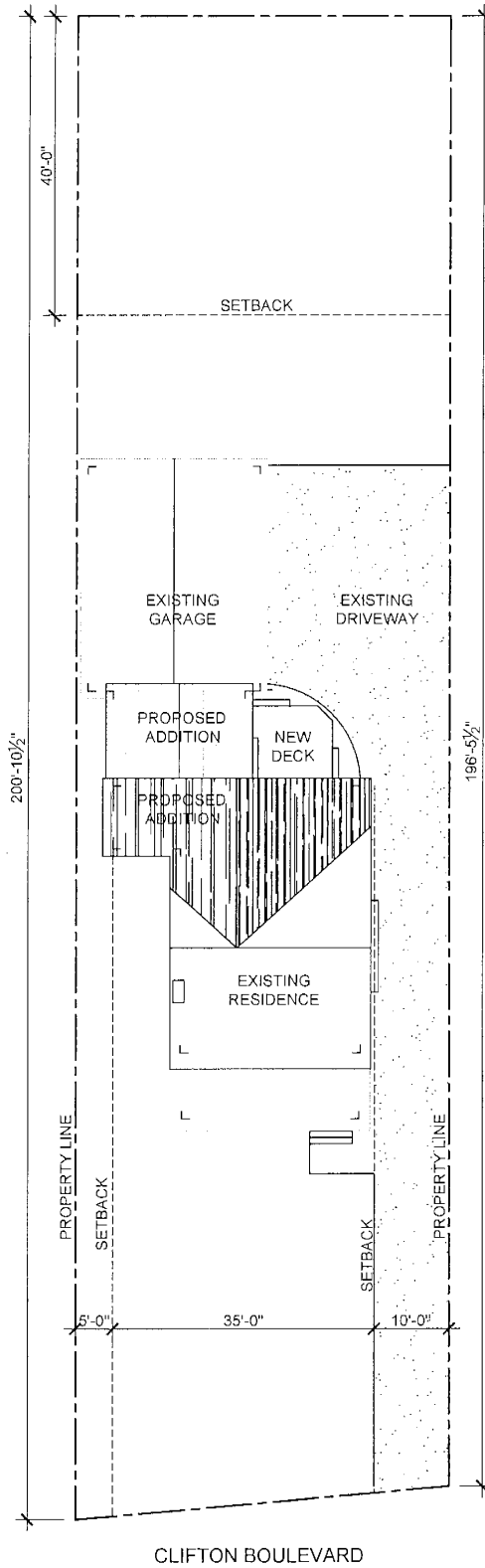
EMERGENCY
NOW REET
PARKING
IN SNOW
20.5 - 4 IN



1471 Grabey Dr



© 2021 Google



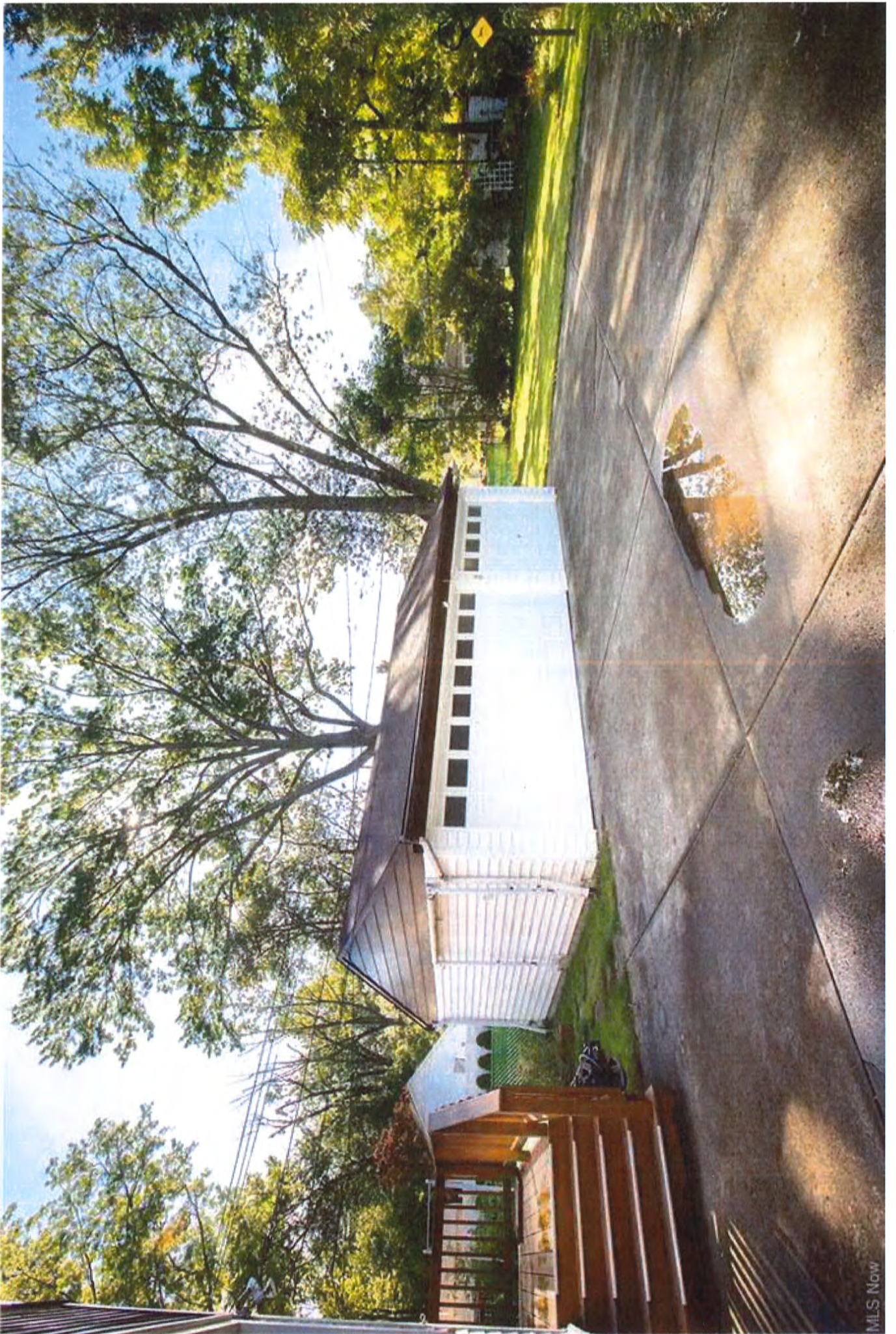
DATE	ISSUE
07.21.2021	BOARD OF ARCHITECTURAL REVIEW

RENOVATION OF AND ADDITION TO THE
METRI RESIDENCE LOCATED AT
17473 CLIFTON BLVD
LAKEWOOD, OH 44107













**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 03-10-22

Permit No.: BBS22-000008

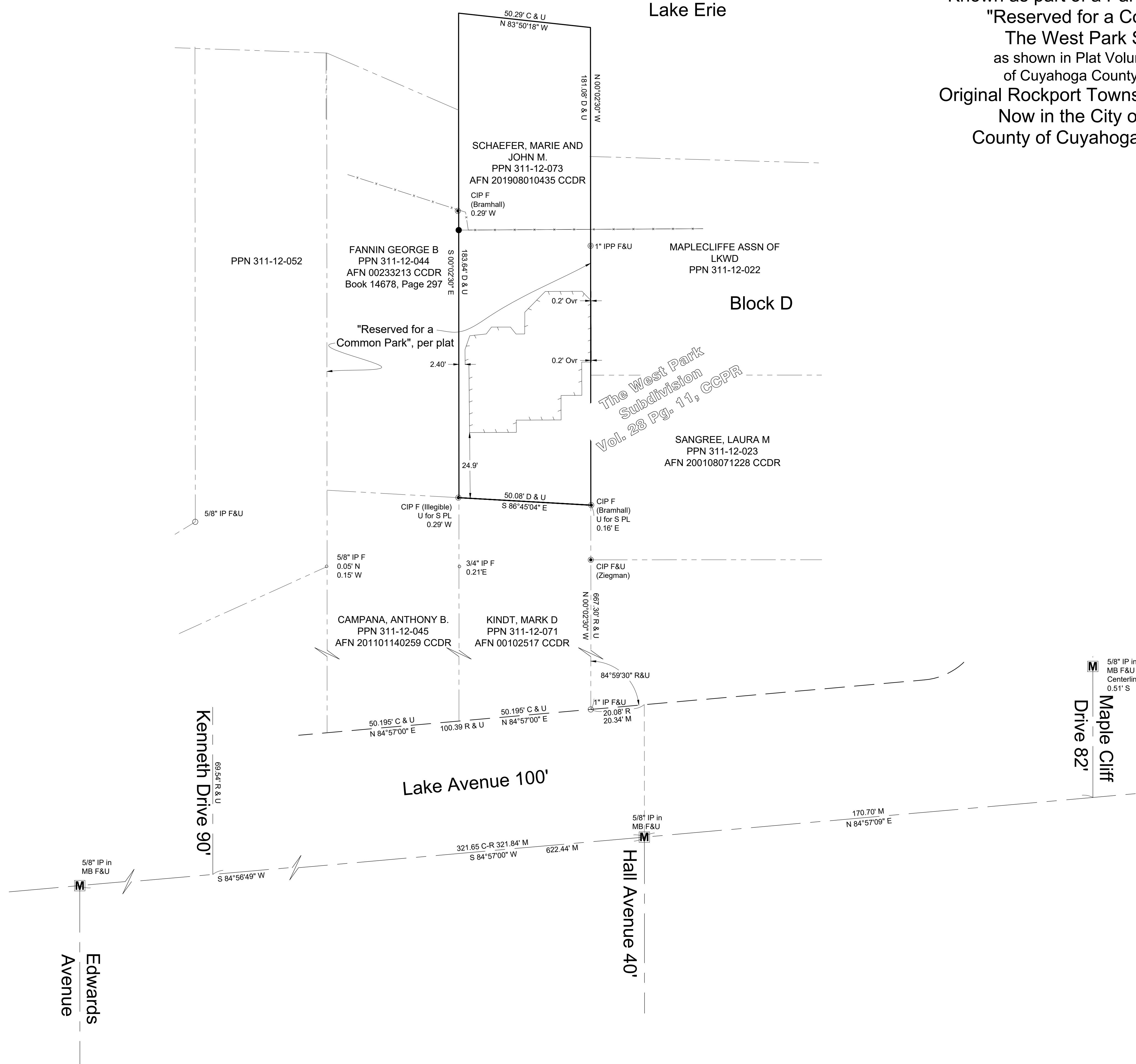
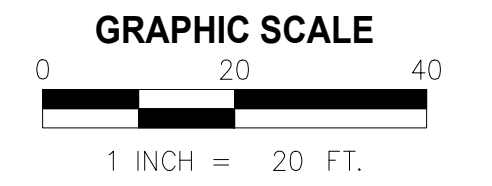
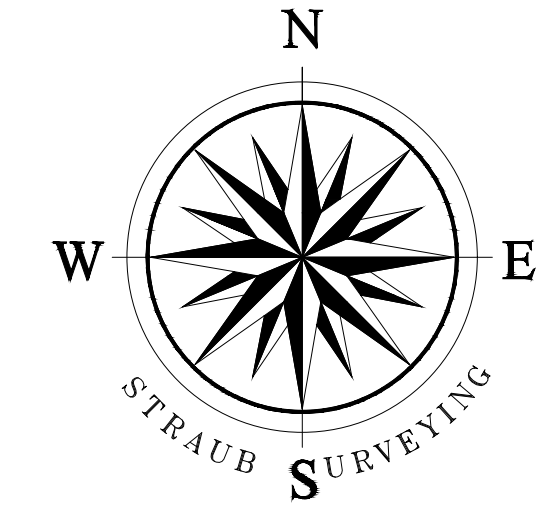
Applicant Name: John Schaefer

Project Address: 16500 Kenneth Dr.

Project Name: n/a

Project: Applicant proposes renovation of an existing home.

Known as part of a Parcel Designated as
 "Reserved for a Common Park"
 The West Park Subdivision
 as shown in Plat Volume 28, Page 11
 of Cuyahoga County Plat Records
 Original Rockport Township Section No. 23
 Now in the City of Lakewood
 County of Cuyahoga, State of Ohio



Survey Legend

M	Measured	CCDR	Cuyahoga County Deed Records
F	Found	CCPR	Cuyahoga County Plat Records
U	Used	PPN	Permanent Parcel Number
R	Record	N	North
P	Plat	S	South
C	Calculated	E	East
MB	Monument Box	W	West
●	Capped Iron Pin Found	CLR	Clear of PL
●	Capped Iron Pin (CIP) Set	OVR	Over PL
○	Iron Pin (IP) Found as Described	PL	Property Line

- Centerline
- Right of Way (ROW) Line
- Record Property Line
- Building Line
- Fence Line

Basis of Bearings:
 The centerline of Lake Avenue as shown.

References:
 Cuyahoga County GIS,
 Plat of The West Lake Subdivision Vol. 28, Pg. 11
 Lake Cliff Estates Subdivision Vol. 79, Pg. 24
 Subject Deed
 Adjoining deeds
 Courtesy Map from Bramhall Engineering & Surveying
 Courtesy Map from Johh R. Hoy & Associates

Surveyor's Notes:
 This map was prepared without the benefit of a Title Report and is not intended to reflect all easements, encumbrances, or other items affecting the title to the property shown hereon.
 A full topographic survey was not performed. Building(s) and fences were located.
 The basis of bearings for this survey, as shown, is the centerline of Lake Avenue, based on The West Park Subdivision, Plat Vol. 28 Pg. 11 and is to an assumed meridian used to denote angles only. Distances are in feet and decimal parts thereof. CIP set are 5/8" x 30" rebar with yellow cap stamped PS#7055. References used are listed hereon. This map was prepared from a survey performed by me or under my direction in August, 2021, and meets the requirements defined in Chapter 4733-37 of the Ohio Revised Code, *Minimum Standards for Boundary Surveys*.

STRAUB SURVEYING, LLC
 PROFESSIONAL LASER SCANNING AND SURVEYING SERVICES

12815 DETROIT AVENUE LAKEWOOD, OHIO 44107
 PHONE: 440-333-1700 INFO@STRAUBSURVEYING.COM

Date of Survey: August 19, 2021
 Field Book 52 Pg. 77
 Survey By: E Straub, K Kallio
 Drawn By: J Yetzer
 Checked By: M Straub

Project No. 21-120
 DWG: 21-120 Schaefer Boundary.dwg

Revisions			
NO.	DATE	DESCRIPTION	BY
0	9/23/21	Original Issue	JY

Boundary Survey
 16500 Kenneth Lane
 Lakewood, Ohio

Prepared For
John Schaefer
 16500 Kenneth Lane
 Lakewood, OH 44107

Sht.
 1
 of
 1



America's Favorite Doors™

WHERE TO BUY



- CANYON RIDGE
- RESERVE
- COACHMAN
- GRAND HARBOR
- GALLERY STEEL
- BRIDGEPORT STEEL
- CLASSIC STEEL
- MODERN STEEL
- AVANTE
- CLASSIC WOOD

HOME / RESIDENTIAL GARAGE DOORS / CANYON RIDGE CARRIAGE HOUSE (5-LAYER)

INSULATED CARRIAGE HOUSE GARAGE DOORS



CANYON RIDGE® CARRIAGE HOUSE (5-LAYER)

★★★★ 4.8 (19) Write a review

insulated carriage house garage doors with faux wood-look composite overlays.



Add character and charm to your home with Clopay's Canyon Ridge® Carriage House (5-Layer) garage door. Enjoy the authentic look of swinging carriage doors paired with the modern-day

ENTER TO WIN \$1,000!

CHAT WITH US +



America's Favorite Doors™

RESERVE CLASSIC WOOD

HOME / GARAGE DOORS

Garage Doors

imagine loving your garage



CANYON RIDGE® CARRIAGE HOUSE (5-LAYER)

INSULATED CARRIAGE HOUSE GARAGE DOORS WITH FAUX WOOD-LOOK COMPOSITE OVERLAYS.

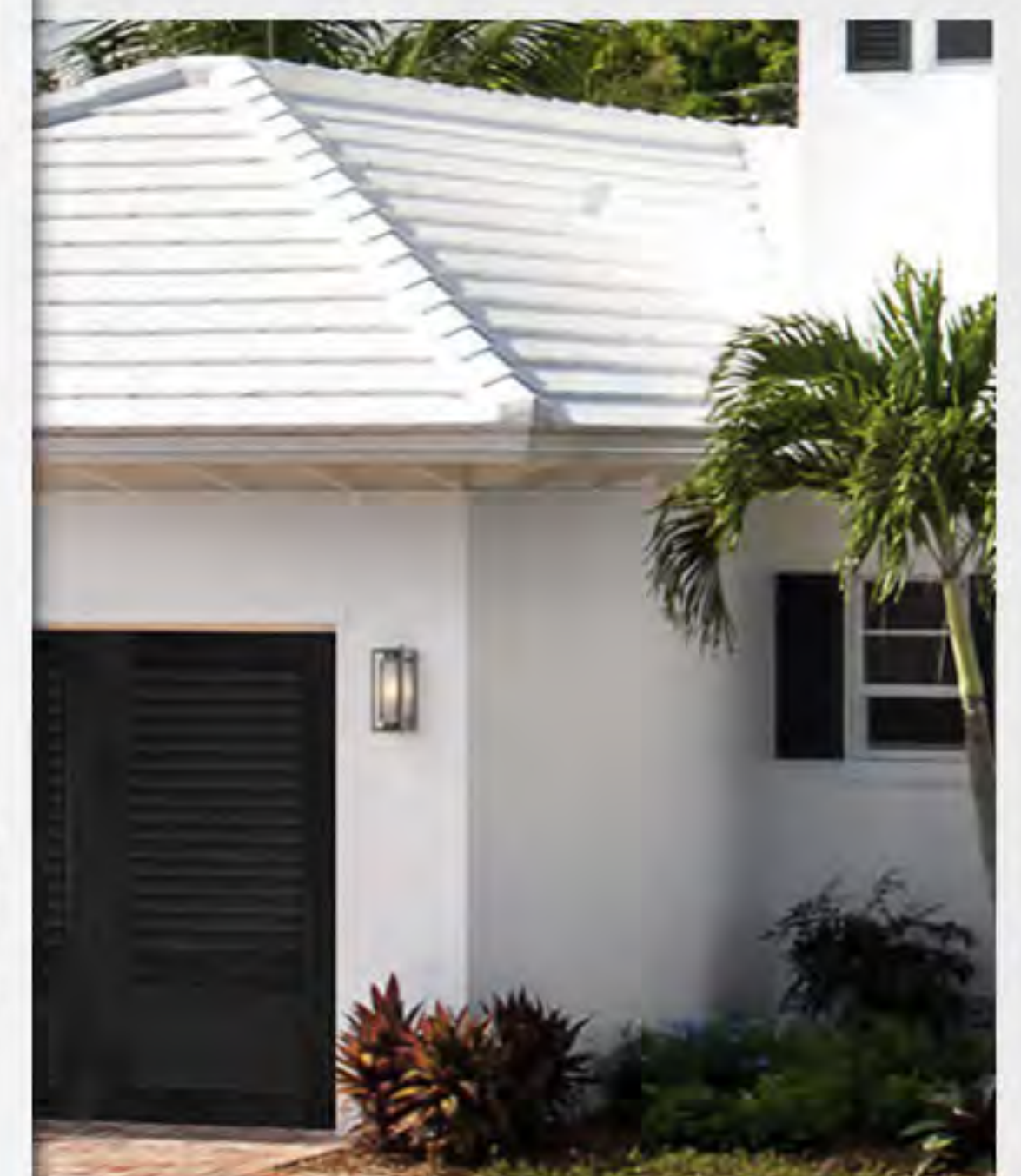
Add character and charm to your home with Clopay's Canyon Ridge® Carriage House (5-Layer) garage door. Enjoy the authentic look of swing-out coach house doors paired with the modern-day functionality of upward operation. Not only beautiful, these doors provide quiet operation and energy efficiency for years to come.



★★★★★ 4.8 (19)

Canyon Ridge® Carriage House (5-Layer)

BY STYLE:



★★★★★ 5 (2)

Canyon Ridge® Louver



COMPARE SELECTED DOORS NOW >

CHAT WITH US +



America's Favorite Doors™

WHERE TO BUY



ARBOR GROVE RUSTIC CRAFTSMAN SMOOTH FIBERGLASS STEEL

HOME / ENTRY DOOR COLLECTIONS / CRAFTSMAN COLLECTION

CRAFTSMAN-STYLE FIBERGLASS ENTRY DOORS



CRAFTSMAN COLLECTION

a clean simple design and warm fir graining emphasize handcrafted originality.

This distinctive Craftsman-style fiberglass entry door design offers the look and feel of wood with the lasting durability and energy efficiency benefits of fiberglass. These fiberglass entry doors are the perfect design for Mission, Bungalow or Transitional-style architecture.



WHERE TO BUY

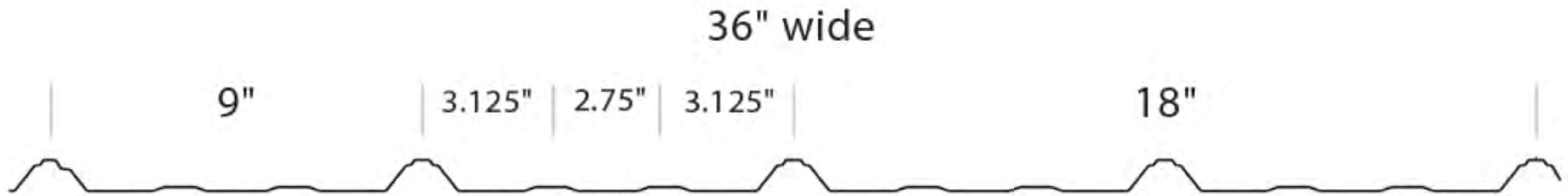
SEE ON MY HOUSE

CHAT WITH US +



Premier Rib Metal Roofing & Siding Specs

Premier Rib Metal is a low profile metal that is customizable for roofing and siding applications. With a coverage width of 36 inches, it is custom made for each job up to 46 feet long.



Premier Rib Metal Roofing & Siding Colors

Weather XL® (Siliconized Modified Polyester)

29 Gauge Weather XL™ Colors





PRODUCTS AVAILABLE NEAR ZIP CODE:

44107

Some colors unavailable due to COVID-19 disruption, check with a local contractor for current options.



STERLING GRAY













IMPALA LS
YAK
OHIO
GJZ 1942

1850



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 03-11-22

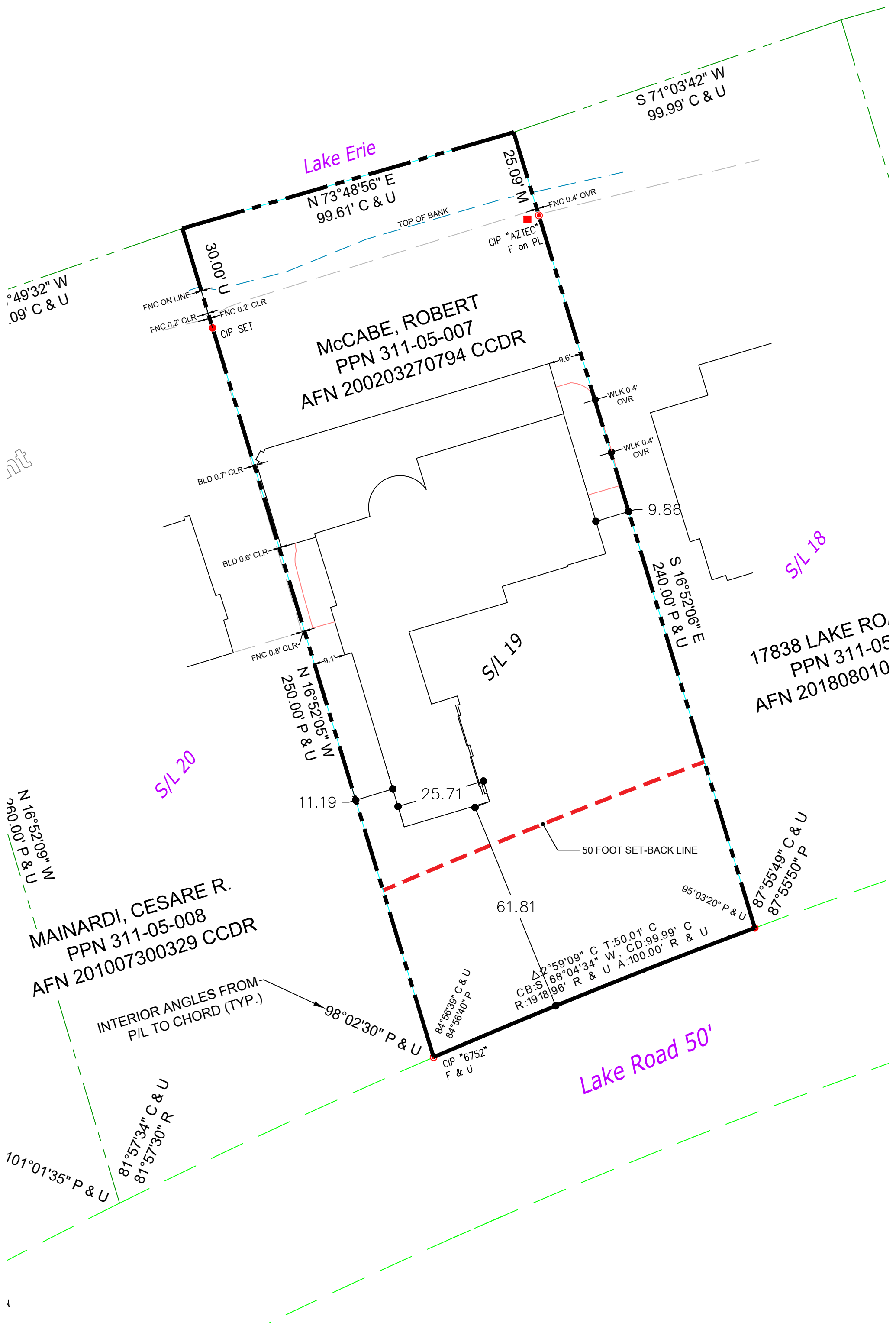
Permit No.: BBS22-000009

Applicant Name: Mark Reinhold, Architect

Project Address: 17840 Lake Rd.

Project Name: n/a

Project: Applicant proposes an addition/renovation of an existing garage.



Lake Erie

S 71°03'42" W
99.99' C & U

N 73°48'56" E
99.61' C & U

25.09' M

N 49°32' W
.09' C & U

FNC ON LINE
FNC 0.2' CLR
FNC 0.2' CLR

CIP "AZTEC"
F on PL

FNC 0.4' OVR

McCABE, ROBERT
PPN 311-05-007
AFN 200203270794 CCDR

nt

BLD 0.7' CLR

9.6'

WLK 0.4' OVR

WLK 0.4' OVR

9.86

S/L 18

S 16°52'06" E
240.00' P & U

17838 LAKE ROAD
PPN 311-05
AFN 201808010

S/L 19

N 16°52'05" W
250.00' P & U

S/L 20

11.19

25.71

50 FOOT SET-BACK LINE

61.81

MAINARDI, CESARE R.
PPN 311-05-008
AFN 201007300329 CCDR

95°03'20" P & U

87°55'49" C & U
87°55'50" P

INTERIOR ANGLES FROM
P/L TO CHORD (TYP.)

98°02'30" P & U

84°56'39" C & U
84°56'40" P

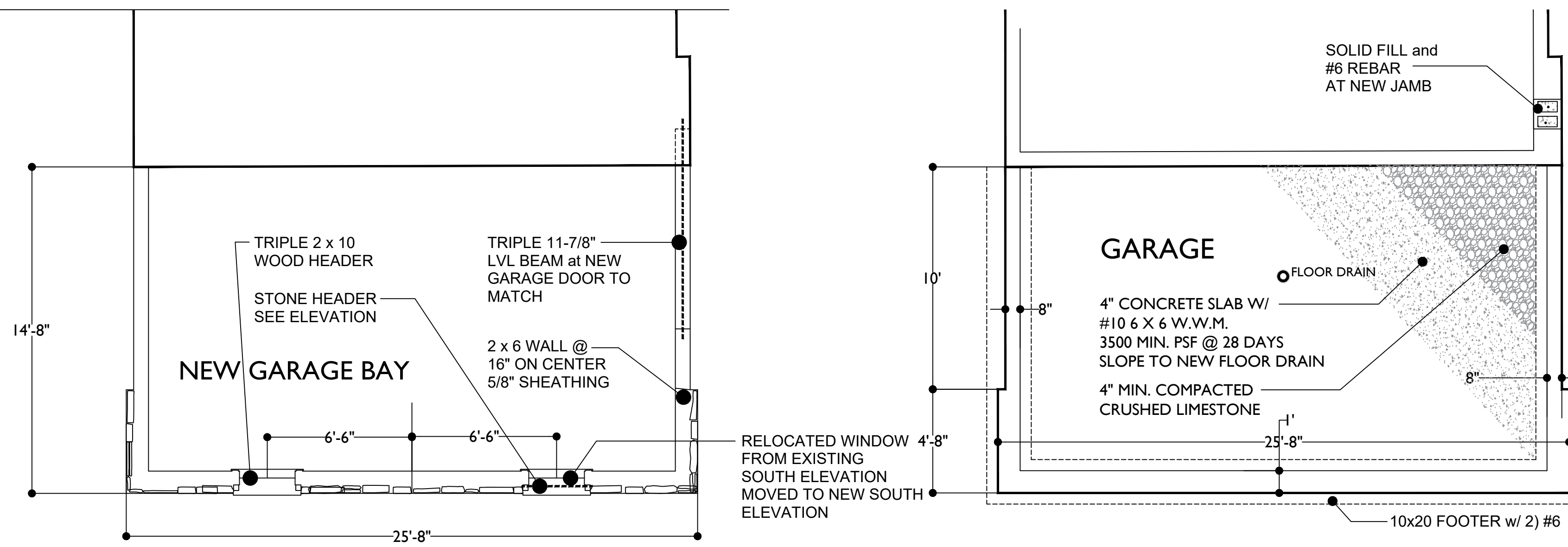
Δ 2°59'09" C T:50.01' C
CB:S 68°04'34" W, CD:99.99' C & U
R:1918.96' R & U A:100.00' R & U

CIP "6752"
F & U

Lake Road 50'

101°01'35" P & U

81°57'34" C & U
81°57'30" R



ROBERT McCABE RESIDENCE
17840 LAKE ROAD, LAKEWOOD, OHIO 44107
TERRY OSTER CONTRACTOR
CONTACT: (216)-570-2082

PROPOSED FLOOR PLAN
1/4" EQUALS 1'-0"

ROBERT McCABE RESIDENCE
17840 LAKE ROAD, LAKEWOOD, OHIO 44107
TERRY OSTER CONTRACTOR
CONTACT: (216)-570-2082

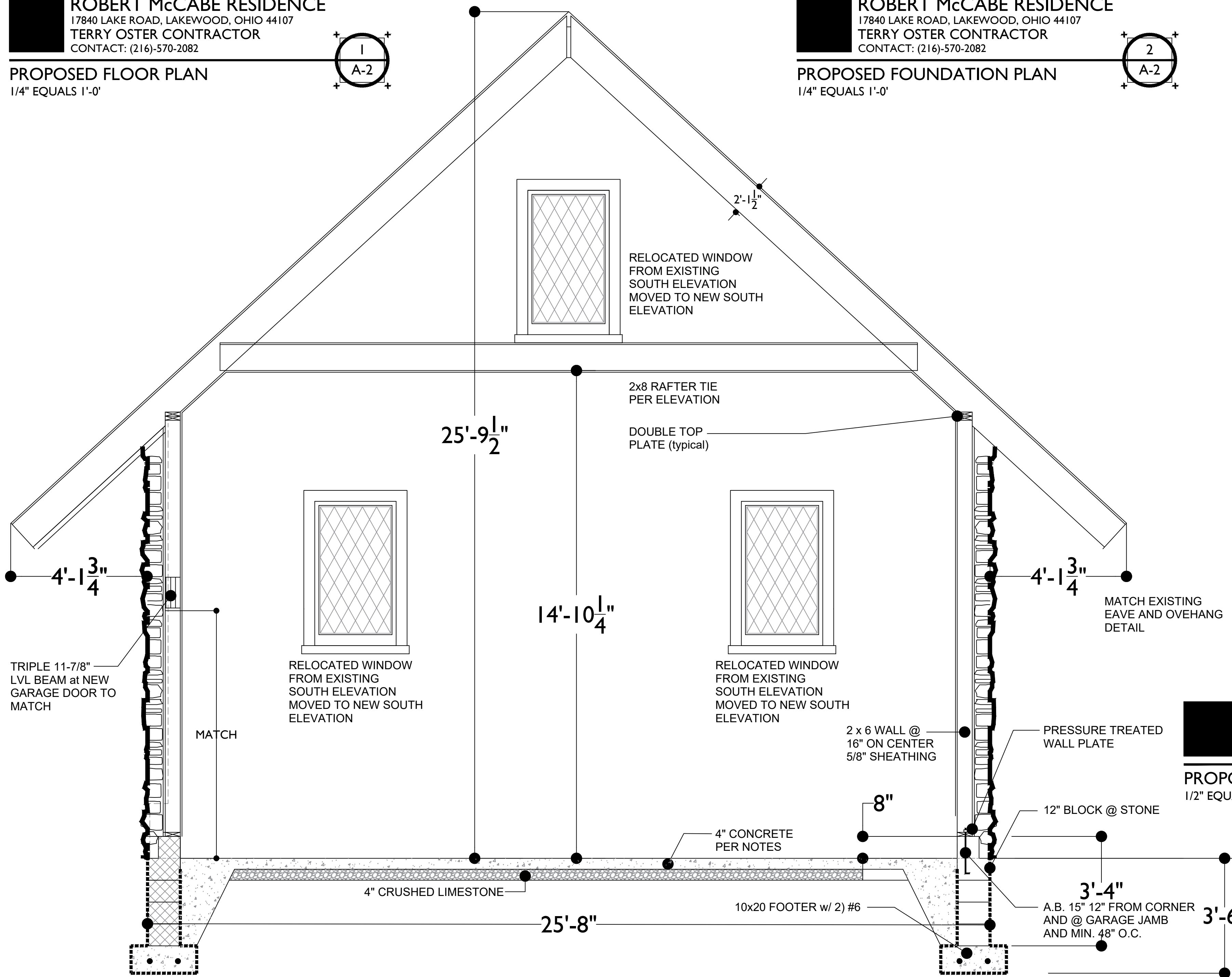
PROPOSED FOUNDATION PLAN
1/4" EQUALS 1'-0"

TYPICAL CONSTRUCTION NOTES

- GENERAL CONTRACTOR TO REPORT ALL DISCREPANCIES OF THE FOLLOWING NOTES WITH ANY CONFLICT IN THE CONTRACT DOCUMENTS
- FOOTINGS TO BE 10" X 20 MIN UNLESS NOTED (SEE DWGS.)
- ALL CRAWLSPACE FOUNDATIONS TO BE 8" THICK
- VENT ALL CRAWLSPACES PER CODE
- ANCHOR SILL PLATE TO FOUNDATION @ 4" O.C.
- PROVIDE SILL SEAL PER CODES
- SILL PLATE TO BE 2 X 8 MIN. (PRESSURE TREATED)
- BRIDGE ALL JOIST SPANS AT MID-SPAN MINIMUM.
- WALL PLATE TO MATCH WALL THICKNESS TYP. NAIL TO RIM JOIST AT 8" O.C.
- JOISTS SPANS ARE AS NOTED ON DRAWINGS
- SUB-FLOOR TO BE 3/4" PLYWOOD TYPICAL
- FINISH FLOOR PER DRAWINGS
- WALL STUDS TO BE @ 16" ON CENTER ALIGN ALL JOISTS, STUDS AND CEILING JOISTS WHERE POSSIBLE
- TIE ALL TOP WALL PLATES TO STUDS AT CORNER WITH (1) SHEET MIN. PLYWOOD CONTINUOUS DIAGONAL BRACING
- DOUBLE TOP PLATES TYP. TIE ALL TOP WALL PLATES TO PERPENDICULAR WALLS BY OVERLAPPING ALTERNATE PLATES
- PROVIDE SMOKE DETECTORS PER LOCAL CODES LOCATION: _____ QTY: _____ DOES NOT APPLY
- WALL INSULATION TO BE R-21, 5 1/2" MIN. UNLESS NOTED
- ROOF INSULATION TO BE R-38, 11 1/4" MIN. UNLESS NOTED
- FOR ROOF RAFTER SIZING SEE PLANS
- G.C. TO PROVIDE CONTINUOUS SOFFIT VENT AT ALL ROFFS G.C. TO PROVIDE CONTINUOUS RIDGE VENT
- ROOF SHEATHING IS TYPICALLY 5/8" PLYWOOD

TYPICAL CONSTRUCTION NOTES (CONTINUED)

- ROOF SHINGLES ARE 300 POUND ASPHALT SHINGLES TO MATCH EXISTING ON 30 LB. BUILDERS FELT PROVIDE ICE AND WATER SHIELD @ GUTTER
- AT ROOF CONNECTION TO EXISTING SIDE WALLS G.C. TO PROVIDE ALUMINUM STEP FLASHING TYP. AT ALL VALLEY(S) PLANNED AT ROOF G.C. TO PROVIDE ALUMINUM FLASHING TYP.
- G.C. TO SCHEDULE DIE TEST FOR PERIMETER STORM DRAIN CONNECTION PER LAKEWOOD. CODES ONLY ALL SCHEDULED PERIMETER DRAINS TO CONNECTED TO EXISTING DRAINS ARE TO SLOPE TO TO EXISTING CITY STORM DRAIN TYPICAL. IF THIS CONDITION DOES NOT EXIST G.C. IS TO INFORM ARCHITECT AND CITY OF BAY VILLAGE
- G.C. IS TO PROVIDE GUTTERS AND DOWNSPOUTS (PER OWNER) AND TO CONNECT TO PERIMETER DRAIN
- SIDING IS PER ELEVATIONS G.C. IS TO PROVIDE TYVEK HOUSE WRAP
- SEE PLANS FOR LIGHT AND VENTILATION REQUIREMENTS
- NEW CEILING HEIGHT IS 8'-0" MIN
- LIGHTING CIRCUIT TYPICAL (1) PER CODE 15 AMP CIRCUIT LIGHTING ON THIS PROJECT NOT TO EXCEED 1650w. TOTAL WATTAGE TYPICAL LIGHTING WIRING TO MEET LOCAL AND NATIONAL ELECTRICAL CODES MINIMUM WIRING FOR LIGHTING CIRCUIT TO BE 14/3 GROUNDED CIRCUIT
- POWER CIRCUITS TYPICAL PER CODE 20 AMP CIRCUIT ON THIS PROJECT NOT TO EXCEED 8 NEW DUPLEX OUTLETS TYPICAL POWER WIRING TO MEET LOCAL AND NATIONAL ELECTRICAL CODES MINIMUM WIRING FOR POWER CIRCUIT TO BE 12/3 GROUNDED CIRCUIT

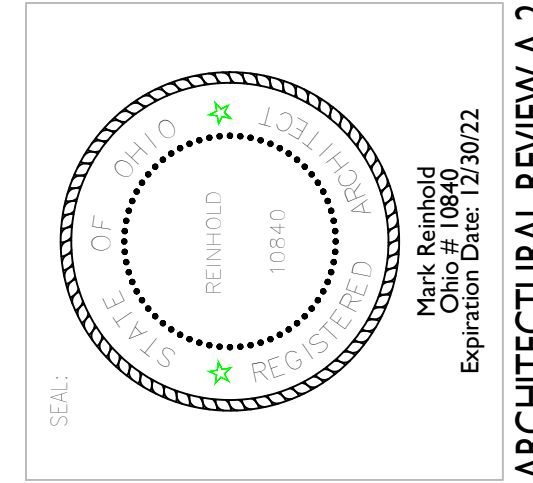


ROBERT McCABE RESIDENCE
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PROPOSED SECTION
1/2" EQUALS 1'-0"

ROBERT McCABE RESIDENCE
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TERRY OSTER CONTRACTOR
CONTACT: (216)-570-2082

PROPOSED WEST ELEVATION
1/4" EQUALS 1'-0"



TERRY OSTER
CONTRACTOR
01-15-2022
APPROVAL

1120 Forest Road, Lakewood, Ohio 44107 (216) 906-7097

17840 LAKE ROAD, LAKEWOOD, OHIO 44107



ARCHITECTURAL REVIEW A-2

MARK REINHOLD architect

ROBERT McCABE RESIDENCE

GENERAL NOTES:

PERMITS AND REGULATIONS:

CONTRACTORS ARE RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AND REGISTRATIONS REQUIRED BY LOCAL GOVERNING AUTHORITIES.

SUB-CONTRACTORS AND CONTRACTORS SHALL MEET ALL LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS OF DEMOLITION, SAFETY AND SANITARY PRECAUTIONS DURING BUILDING OPERATIONS INCLUDING "OHIO UTILITIES PROTECTION SERVICE."

SURVEY, GRADING, AND SITE INFO:

ROUGH GRADE AROUND BUILDING SHALL BE GRADED TO PITCH AWAY FROM THE FOUNDATION WALLS AT MIN. 1/4" PER FOOT FOR A MIN. DISTANCE OF 10 FEET FROM FOUNDATION WALLS BEFORE TOP SOIL (FIN. GRADE) IS PLACED.

CONTRACTORS ARE TO COORDINATE WITH OWNER FOR ACCESS TO SITE FOR DELIVERY OF MATERIALS AND EQUIPMENT, STORAGE OF MATERIALS.

NOTES APPLYING TO ALL CONTRACT DRAWINGS:

EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AT THE JOB AND SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF HIS WORK THERE TO.

MATERIAL INDICATIONS, NOTES, AND ETC. ARE TYPICAL FOR ALL CONTRACT DRAWINGS UNLESS NOTED OTHERWISE.

ALL EXISTING MATERIALS, EQUIPMENT, AND CONSTRUCTION ARE IDENTIFIED ON DRAWINGS BY THE WORD "EXISTING" OR "EXIST": UNLESS STATED OTHERWISE, ALL NOTES REFERS TO NEW MATERIALS, EQUIPMENT, AND CONSTRUCTION INSTALLED UNDER EACH CONTRACT.

TYPICAL EXTERIOR WALL CONSTR. NOTES:

VAPOR BARRIER - 1.0 PERM OR LESS PLACE V.B. BETWEEN INTERIOR FACE OF STUDS AND BACK OF INTERIOR WALL BOARD. MAKE SEAL TIGHT; NO BREAKS OR LEAKS. 4 MIL VISQUEEN TYPICAL

BUILDING PAPER - AIR INFILTRATION BARRIER OF SIMILAR TO "TYVEK" BY DUPONT, PLACED OVER 5/8" EXT. PLYWOOD SHEATHING.

1/2" SHEATHING BOARD - PERMEABLE TYPE WITH MOISTURE RESISTANT SEAL AND TAPE ALL JOINTS.

R21 INSULATION - SHALL BE FIBERGLASS INSULATION AS MFR. BY OWENS-CORNING (OCF). TYPICALLY PLACED IN SIDE WALLS BETWEEN WALL STUDS. MAX PER WALL SECTION (2 X 6 WALLS TYP)

TYPICAL ROOFING NOTES:

GUTTERS AND DOWNSPOUTS - SHALL BE ALUMINUM (COLOR PER OWNER), COLOR BY GENERAL CONTRACTOR.

ASPHALT SHINGLES - ON 30# ROOFING FELT TO SELF SEALING AND INSTALLED PER MFG. RECOMMENDATIONS ON 5/8" EXTERIOR GRADE PLYWOOD DECK.

R-38 INSULATION - INSTALL BELOW 2X12 RAFTERS. HOLD 1" AIR SPACE MIN. NEXT TO THE ROOF SHEATHING FOR VENTILATION/CIRCULATION. PROVIDE RAFT-R-MATE AS REQUIRED

RIGID VENT - TO BE VINYL (DO NOT USE ALUM. RIGID VENT)

PROVIDE ROOF VENTS AS SHOWN ON DRAWINGS FOR FALSE CEILING AREA INDICATED

PROVIDE CONTINUOUS SOFFT VENT PER DRAWINGS (VENT REQUIRED AT ALL EAVES) @ ENTIRE HOUSE (even if not noted)

INTERIOR GENERAL NOTES:

ALL WALLS AND CEILINGS TO BE DRYWALL UNLESS OTHERWISE NOTED. FINISHES OF PAINT, WALLPAPER, ETC. PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.

WATER RESISTANT DRYWALL TO BE USED ON ALL WALLS AND CEILINGS OF BATHRM., TOILET, UTILITY ROOM. (CEMENT BOARD @ SHOWERS)

ALL CABINETS (BASE WALL CABINETS, COUNTER TOPS, ETC.) IN KITCHEN AND BATH; AND ALL BUILT-IN KITCHEN EQUIPMENT, SINKS, APPLIANCES; AND ALL BATHROOM ACCESSORIES, PLUMBING FIXTURES, TRIM ETC. PURCHASED BY OWNER, INSTALLED BY G.C.

COLOR, TRIM AND ACCESSORIES FOR FIXTURES SHOWN IN BATH SHALL BE APPROVED BY OWNER BEFORE ORDERING. BATH SHALL SIT ON FLOOR UNDERLAYMENT AND BE INSTALLED PER MFG. INSTRUCTIONS.

ALL INTERIOR WOOD TRIM INCLUDING BASE, WINDOW, DOOR, ETC. AND WOOD TRIM FINISH (PAINT, STAIN, ETC.) SHALL BE PER AGREEMENT BETWEEN OWNER AND CONTRACTOR. REPLACE ALL DOORS TYPICAL)

ALL INTERIOR WOOD DOORS, TYPE, WIDTH, QUALITY AND FINISH SHALL BE PER AGREEMENT BETWEEN OWNER AND CONTRACTOR (INCLUDING TYPE, QUALITY AND FUNCTION OF HARDWARE FOR EACH DOOR). (REPLACE ALL DOORS ANF HARDWARE)

CONTRACTOR SHALL SUBMIT WRITTEN BREAK-DOWNS OF MATERIAL HE/SHE INTENDS TO FURNISH OWNER REGARDING DOORS AND TRIM.

WALL DRYWALL SHALL BE 1/2" THICK DRYWALL

CEILING DRYWALL TO BE 5/8" THICK DRYWALL. STRUCTURAL NOTES:

VERIFY ALL "FIRST FLOOR" PLAN DIMENSIONS WITH "FOUNDATION" PLAN DIMENSIONS BEFORE STARTING ANY WORK.

PROVIDE DOUBLE FLOOR JOIST UNDER ALL PARALLEL RUNNING BEARING PARTITIONS AND ALL 2'-8" OR LONGER NON-BEARING PARTITIONS RUNNING PARALLEL.

ALL STRUCTURAL BUILT WOOD BEAMS SHALL HAVE MIN. EXTREME FIBER STRESS (F) OF 1,600 PSI AND A MODULAS OF ELASTICITY (E) OF 1,600,000.

ALL OTHER STRUCTURAL WOOD INCLUDING WOOD JOISTS, RAFTERS, STUDS, ETC. SHALL HAVE MIN. (F) OF 1,200 PSI AND (E) 1,600,000.

4X12 STRUCTURAL WOOD BEAM SHALL HAVE MIN. (F) OF 1,800 PSI AND (E) OF 1,600,000.

ALL STEEL TO BE DETAILED, FABRICATED AND ERRECTED IN ACCORDANCE WITH THE LATEST AISC AND AWS SPECIFICATIONS. ALL STEEL SHALL BE ASTM A-36.

ALL STEEL TO BE THOROUGHLY CLEANED AND PAINTED WITH ONE SHOP PRIME PAINT.

STRUCTURAL WOOD FRAMING:

1. DESIGN LOADS USED FOR CALCULATIONS

TYPICAL FLOOR LIVE LOAD -- 40 PSF
TYPICAL FLOOR DEAD LOADS -- 10 PSF

TOTAL FLOOR LOADS = 50 PSF
MINIMUM COMPLIANCE

2. ALL FLOOR JOISTS AND ROOF RAFTERS (INCLUDING BUILT-UP BEAMS, LINTELS, ETC.) TO BE SOUTHER YELLOW PINE. SELECT STRUCT. LUMBER NO. 2 OR BETTER; (THIS IS A MIN. SPE.)

3. ALL STUDS, HEADERS, ETC. - MIN. f = 500 PSI ; E = 1,200,000 PSI

4. NA

5. ALL STRUCTURAL FRAMING MEMBERS ARE DESIGNED FOR 1/480 DEFLECTION.

6. ALL FRAMING LUMBER SHALL: BE DIMENSIONAL LUMBER AND MEET ASTM D2555; D245 AND (SPR) 16 STANDARDS; BEAR AITC INSPECTION GRADE MARKINGS; BE KILN-DRIED, NOT TO EXCEED 19% MOISTURE CONTENT.

7. ALL KILN-DRIED LUMBER STORED OUTSIDE MUST BE PROTECTED FROM GETTING WET. PROTECT WITH TARPS. IF PLASTIC IS USED, LEAVE ENOUGH ROOM AT BOTTOM OF PILE FOR AIR FLOW. DO NOT STORE LUMBER ON THE GROUND. KEEP LUMBER OFF MUD AND GROUND WITH SUPPORTS UNDER LUMBER.

STRUCTURAL STEEL AND ANCHOR BOLTS:

1. ALL STRUCTURAL STEEL BEAMS SHALL BE NEW AND TYPE ASTM A36; SHALL COMPLY WITH AISC STANDARDS. BEAMS ARE DESIGNED TO 1/480 DEFLECTION. ANCHOR BEAMS SECURELY TO MASONRY WALLS AND PIERS (MIN. 15" INTO MASONRY) WITH 1/2" X 18" ANCHOR BOLTS.

2. ALL ANCHOR BOLTS (AB) SHALL BE 1/2" X 18" WIT EITHER 2" WASHER AT HEAD OF BOLT OR 1 1/2" BENT END. 12" LONG AB MAY BE USED WHERE APPROVED (SEE NOTE 3 BELOW).

3. WOOD SILL PLATES SHALL BE ANCHORED TO MASONRY FOUNDATION WALLS IN THE FOLLOWING MANNER: WITHIN 12" OF CORNERS AND INTERMEDIATE INTERVALS NOT MORE THAN 4 FEET. AB SHALL BE 1/2" X 18" AND EMBEDDED MIN. 15" INTO MASONRY UNITS. WHERE APPROVED BY ARCHITECT AND ALLOWED BY LOCAL AUTHORITIES, AB MAY BE EMBEDDED 8" INTO MASONRY.

4. MORTAR FOR ALL MASONRY WORK AND GROUT SETTING BEDS: TYPE M OR S WITH MIN. 1,800 PSI. TOP MASONRY COURSE UNDER SILL PLATES SHALL BE FILLED WITH MORTAR OR GROUT UNLESS DRAWINGS CALL FOR A SOLID CMU.

TYPICAL FOUNDATION WALL AND GRADE NOTES:

FOOTING DRAIN TILE - WITH LOOSE STONE OR GRAVEL FILL EXTEND MIN. 24" ABOVE DRAIN TILE. BACK FILL WITH GRAVEL TO 8" BELOW FINISHED GRADE

FOUNDATION WALL FLASHING - TYPE AND INSTALLATION AS RECOMMENDED BY WASCO. PROVIDE WEEP HOLES HORIZONTALLY AT 2'-0" CENTERS IMMEDIATELY ABOVE FLASHING.

FOUNDATION WALL - NO EXPOSED CONCRETE BLOCK OR WATERPROOFING. ALL EXPOSED MASONRY SHALL BE FACE BRICK.

FOR CRAWL SPACE (ONLY AS SHOWN) FLOOR USE 3" CONCRETE MUD SLAB ON 6 MILL "VISQUEEN" V.P. ON WELL TAMPED POUROUS FILL.

PROVIDE THOMAS WATERPROOFING DAMTITE FOUNDATION COATING AND DOW CORNING FOUNDATION INSULATION AT FOUNDATION AT EXTERIOR (OR APPROVED EQUAL) AND THOROSEAL AT BASEMENT INTERIOR

PROVIDE 2" FOAM FOUNDATION INSULATION BY DOW CORNING OR APPROVED EQUAL

SOIL AND FOOTING NOTES:

1. ALL CONCRETE FOOTINGS TO BE PLACED ON FIRM UNDISTURBED SOIL. BOTTOM OF FOOTERS SHALL BE MIN. 3'-6" BELOW FINISH GRADE.

2. SOIL BEARING CAPACITY SHALL BE MIN 2,000 PSF.

3. CONCRETE DESIGN FOR FOOTINGS SHALL BE MINIMUM 3,000 PSI AT 28 DAYS.

4. CONCRETE DESIGN FOR INTERIOR FLOOR SLABS SHALL BE MINIMUM 3,500 PSI AT 28 DAYS.

TYPICAL FLOOR CONSTRUCTION NOTES:

JOIST HANGERS - FOR WOOD JOISTS SHALL BE (SIMILAR TO JB212 JOIST HANGER BY SIMPSON CO.) 18 GA. GALVANIZED STEEL AND SHALL BE INSTALLED PER MFG. INSTRUCTIONS.

FIN. FLOOR AT OWNER'S OPTION - 3/4" T&G PLYWOOD SUB FLOOR GLUED AND NAILED TO FLOOR JOISTS.

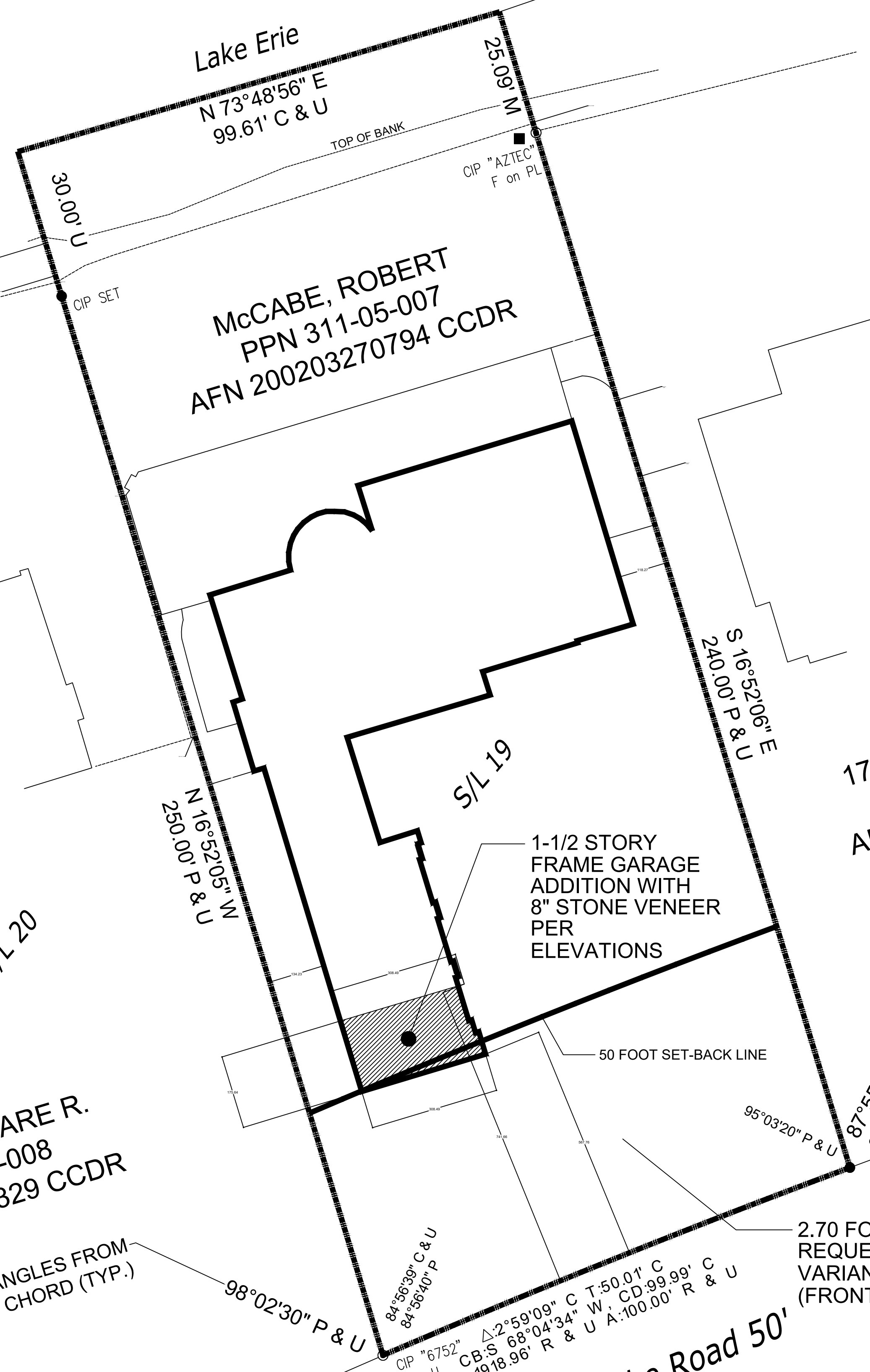
FLOORING AND SHEATHING:

1. FLOORING SHALL BE 23/32" L-P INNER SEAL OSB T&G STRUCT.-I PANELS CONFORMING TO STANDARDS OF APA STURD-I-FLOOR. FLOORING SHALL BE GLUED AND NAILED. TYPICAL 3/4" T-G PLYWOOD SUB-FLOOR PER DRAWINGS TYPICAL

2. WALL AND ROOF SHEATHING SHALL BE 9/16" L-P INNER-SEAL OSB STRUCTURAL EXP.-I PANELS APA RATED. OR TYPICAL 5/8" PLYWOOD AS NOTED PER DRAWINGS TYPICAL

3. FLOORING AND SHEATHING INSTALLATION SHALL COMPLY WITH APA "RESIDENTIAL AND COMMERCIAL" DESIGN/CONSTRUCTION GUIDE PROCEDURES. PER DRAWINGS TYPICAL

S 70°49'32" W
99.09' C & U

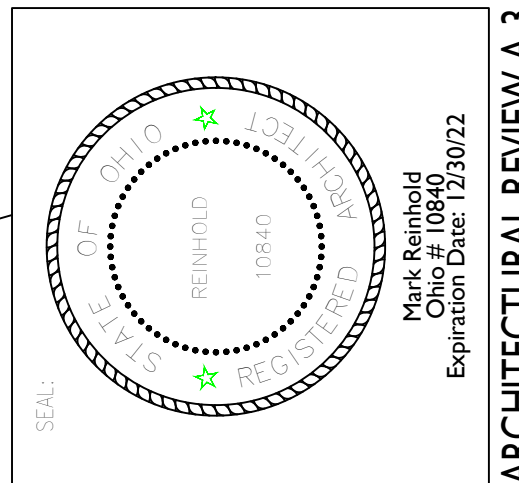


McCABE, ROBERT
PPN 311-05-007
AFN 200203270794 CCDR

17838 LAKE ROAD, LLC
PPN 311-05-006
AFN 201808010440 CCDR

CESARE R.
05-008
00329 CCDR

The Clifton Park Land & Improvement
Company's Allotment
Vol. 29 Pg. 11, CCPR



TERRY OSTER
CONTRACTOR
01-15-2022
APPROVAL

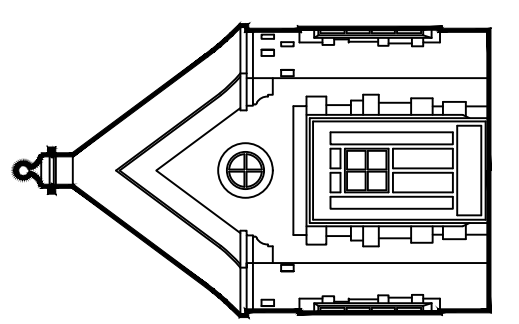
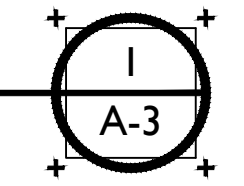
MARK REINHOLD architect
1120 Forest Road, Lakewood, Ohio 44107 (216) 906.7097

17840 LAKE ROAD, LAKEWOOD, OHIO 44107

ROBERT McCABE RESIDENCE

ROBERT McCABE RESIDENCE
17840 LAKE ROAD, LAKEWOOD, OHIO 44107
TERRY OSTER CONTRACTOR
CONTACT: (216)-570-2082

PROPOSED SITE PLAN
1/16" EQUALS 1'-0"



ARCHITECTURAL REVIEW A-3









**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 03-12-22

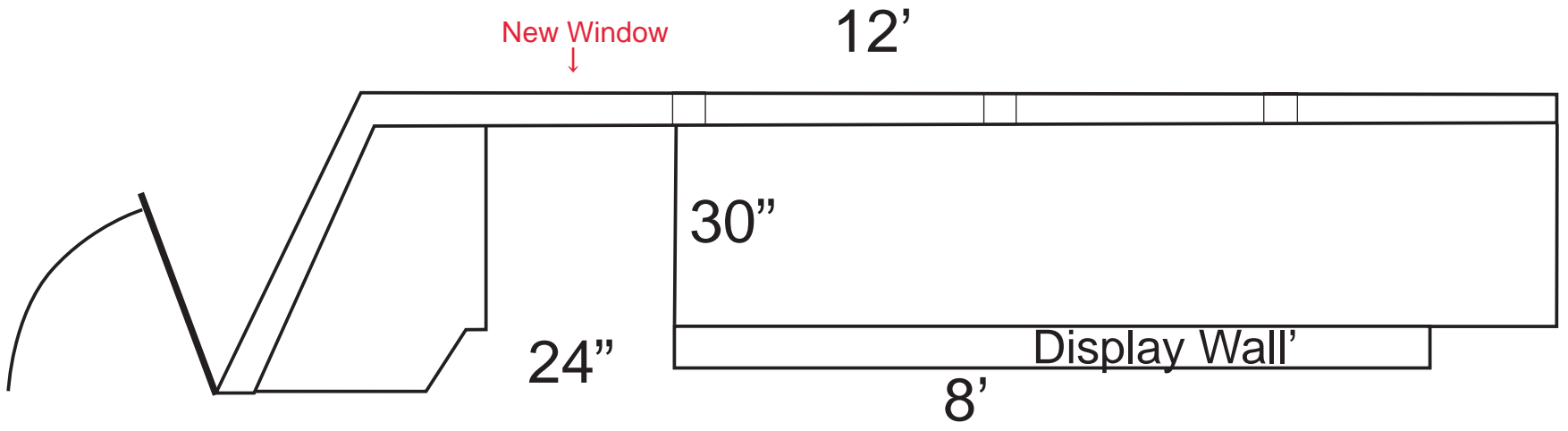
Permit No.: BBS22-000007

Applicant Name: Ines Rehner, Sweet Designs Chocolatier

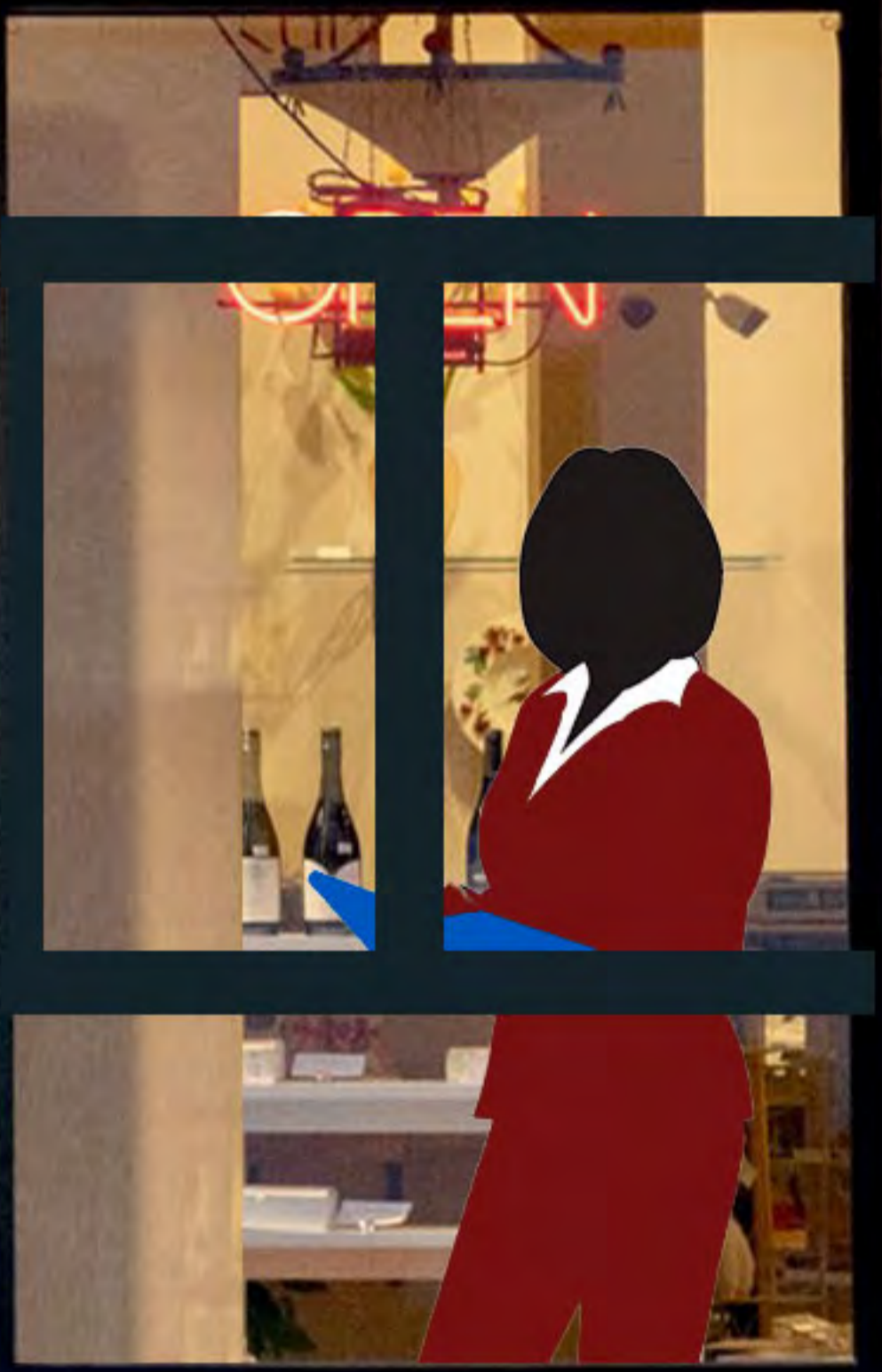
Project Address: 16100 Detroit Ave.

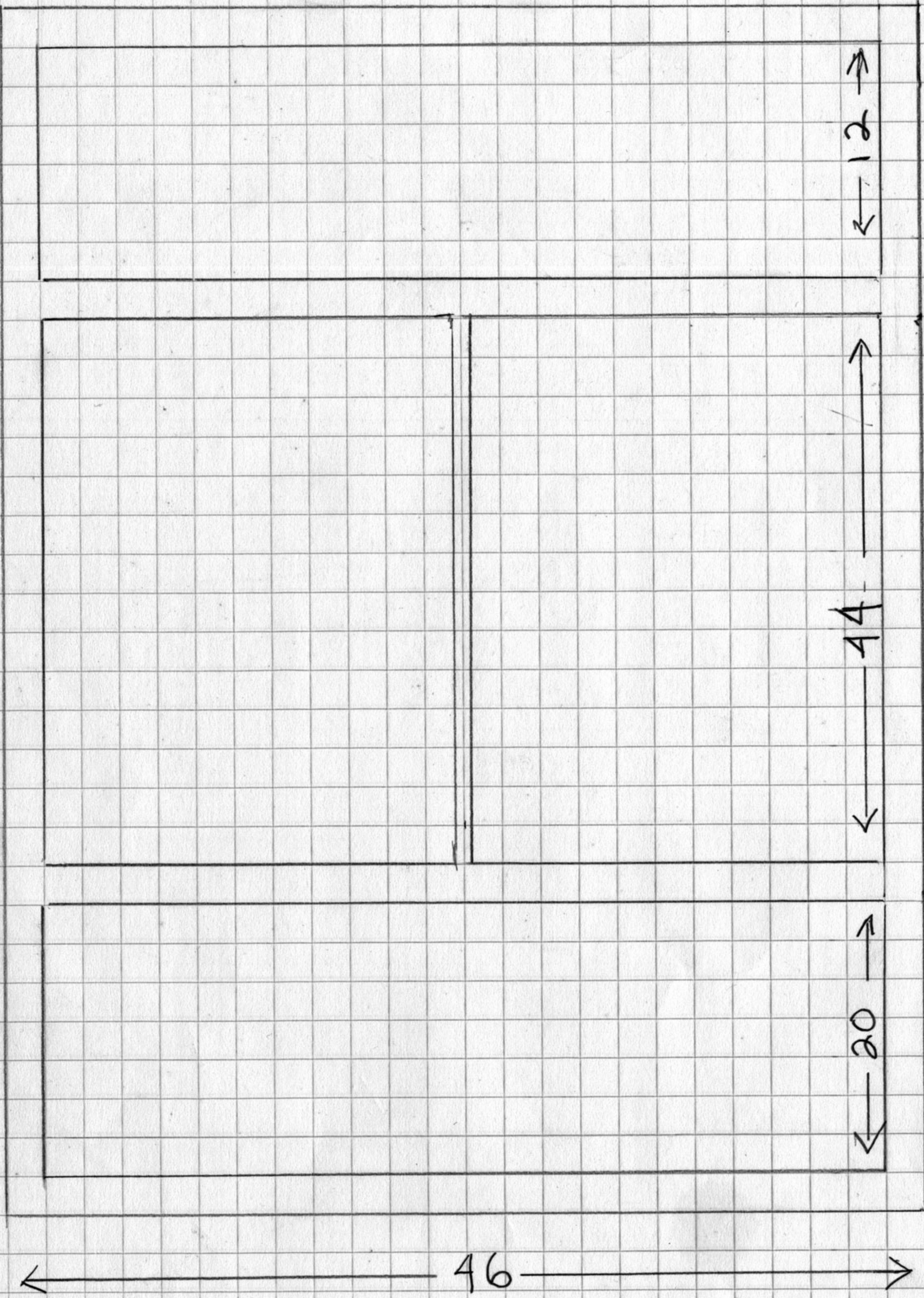
Project Name: Sweet Designs Chocolatier

Project: Applicant proposes replacement of an existing storefront window for one that opens to accommodate express pick-up of pre-ordered product.



SWEET DESIGNS CHOCOLATIER





Advance Glass Sales Service LLC

P.O. Box 770544
 Lakewood OH 44107
 216-849-3375

Estimate

Date	Estimate #
2/13/2022	1114

Name / Address
Sweet Design 16100 Detroit Ave Lakewood OH 44107

Project

Description	Qty	Rate	Total
<p>We are pleased to submit our proposal to furnish Labor and Material for the following:</p> <p>Installation of [1] 46 x 76 Picture window/2-Lite Slider/Picture window stacked and mulled together as [1] unit. Top 34 x 32 Middle 34 x 24 Bottom 34 x 20</p> <p>Window frame will be Black Aluminum with 7/8 clear insulated glass.</p> <p>Frame will installed into existing aluminum storefront after existing insulated glass unit is removed for storage.</p> <p>The new window will require stops on the interior and exterior to hold in place.</p>	1	2,500.00	2,500.00T

Deposit 50% for Materials Balance due upon completion.	Subtotal	\$2,500.00
	Sales Tax (8.0%)	\$200.00
	Total	\$2,700.00

SERIES 2300 HORIZONTAL SLIDING WINDOWS

TEST SIZE W x H	AAMA RATING	AIR INFILTRATION	DESIGN PRESSURE	WATER RESISTANCE	U-VALUE	SHGC	VT
71" x 59 ¹ / ₄ "	CW-PG50	≤0.30 cfm/ft ²	50 psf	7.5 psf	0.39-0.61	0.17-0.60	0.31-0.62



TABLE OF CONTENT

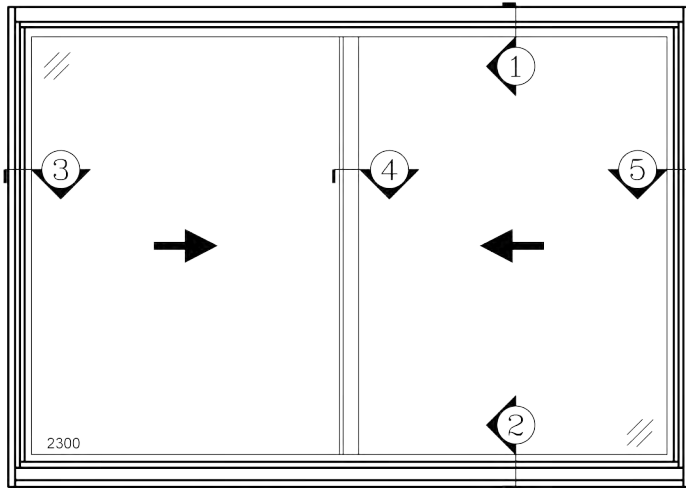
- INTRODUCTION -P1
- TWO LITE SLIDER -P2
- THREE LITE SLIDER -P3
- MULLION -P4-P5
- NAIL FIN -P6
- FACE FLANGE -P7-P8

FEATURES

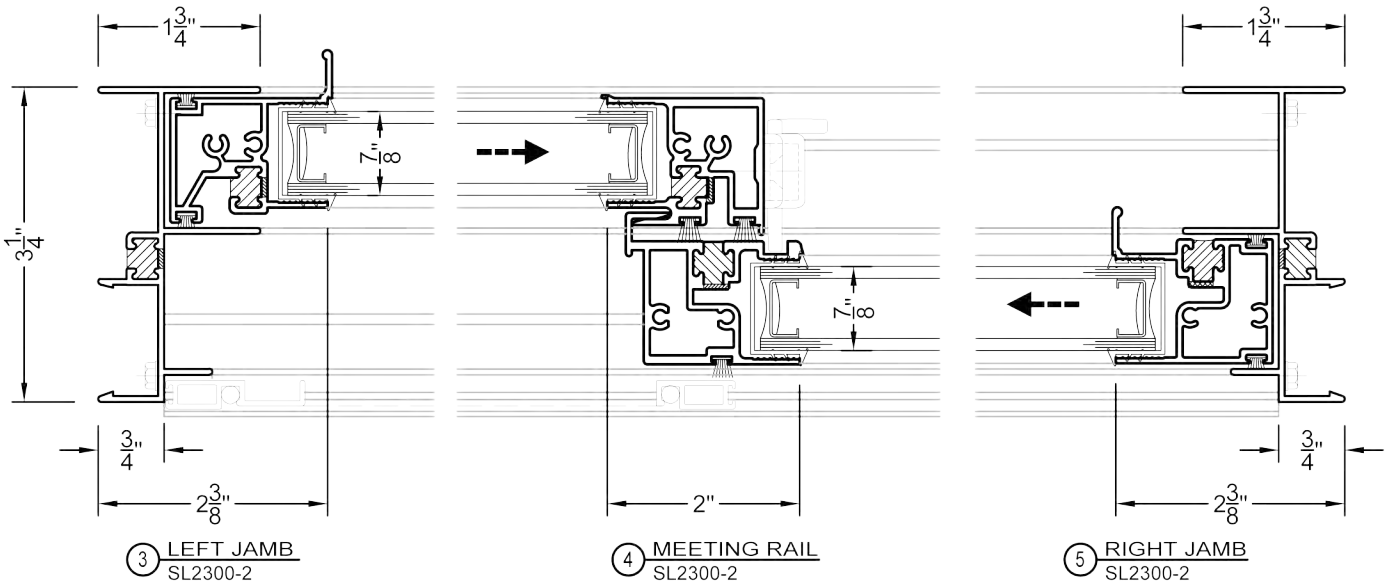
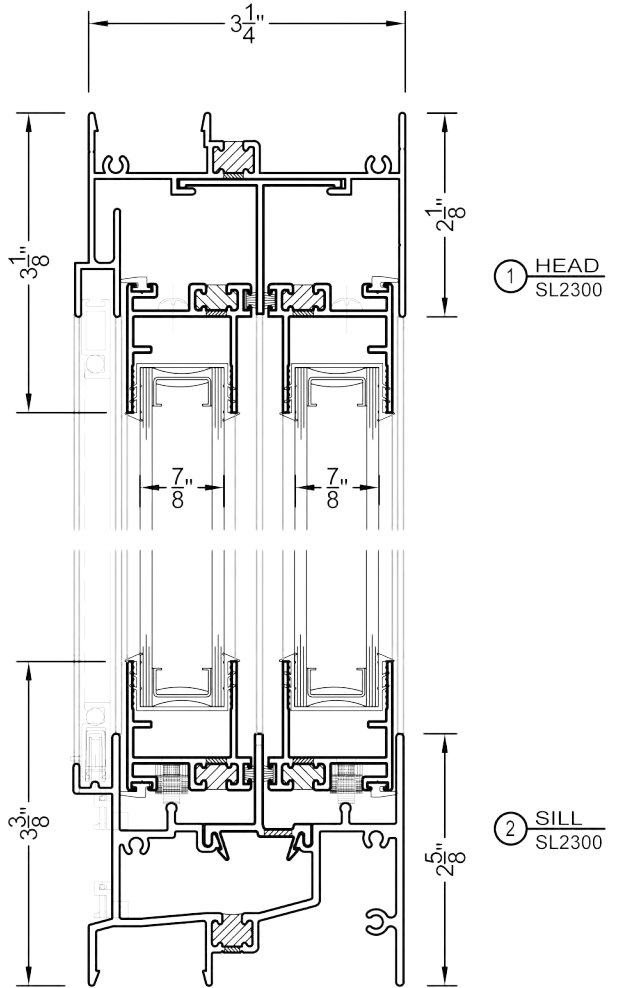
- ALUMINUM THERMAL-BREAK HORIZONTAL SLIDING WINDOW
- 3-1/4" FRAME DEPTH
- 7/8" DOUBLE PANE INSULATED GLASS
- AAMA 2604 POWDER COAT PAINT
- CORROSION RESISTANT TWO-WHEEL BRASS ROLLERS
- REMOVABLE SASHES
- MEETING RAIL LOCK(S)
- HALF SCREEN

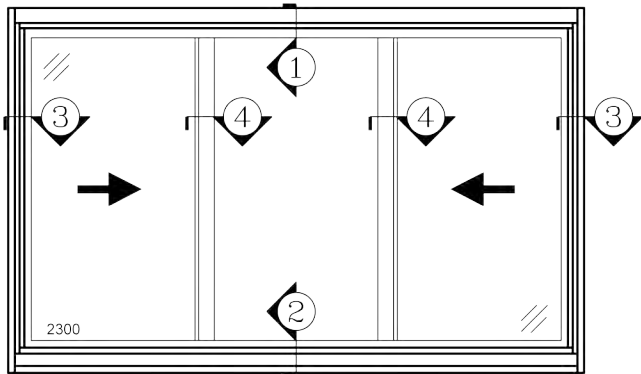
OPTIONAL SELECTIONS

- LOW-E COATING & ARGON FILLED IGU
- 1-1/2" NAILING FIN (1-1/8" SETBACK)
- 1-1/2" OR 2-1/2" FACE FLANGE
- CUSTOM FINISH AND CUSTOM COLOR
- GRIDS
- VINYL SASH STOPS
- FULL SCREEN
- OTHER OPTIONAL ACCESSORIES

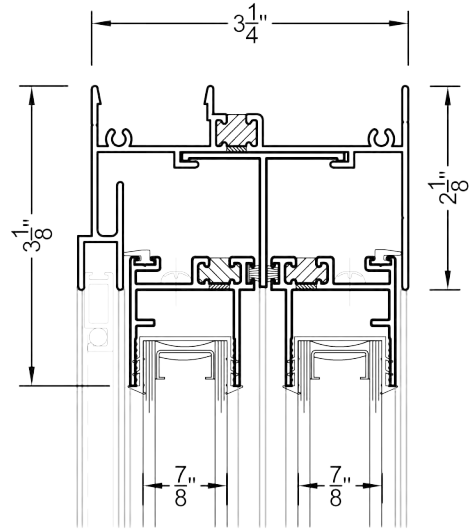


2300-2 TWO LITE SLIDER

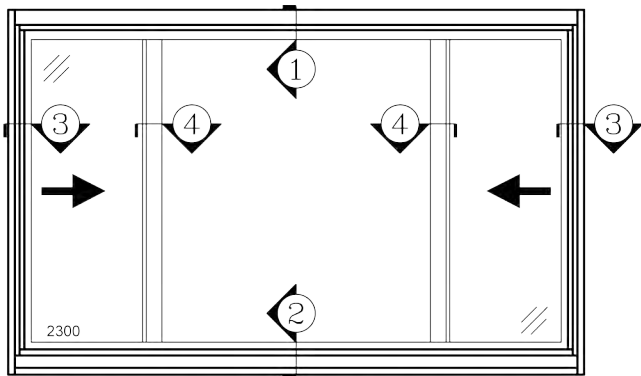




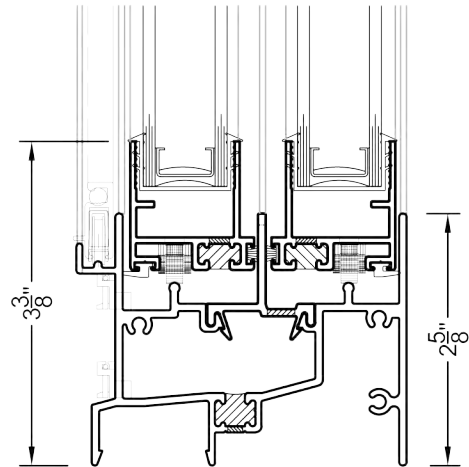
2300-3 THREE LITE SLIDER EQUAL LITE (X-O-X)



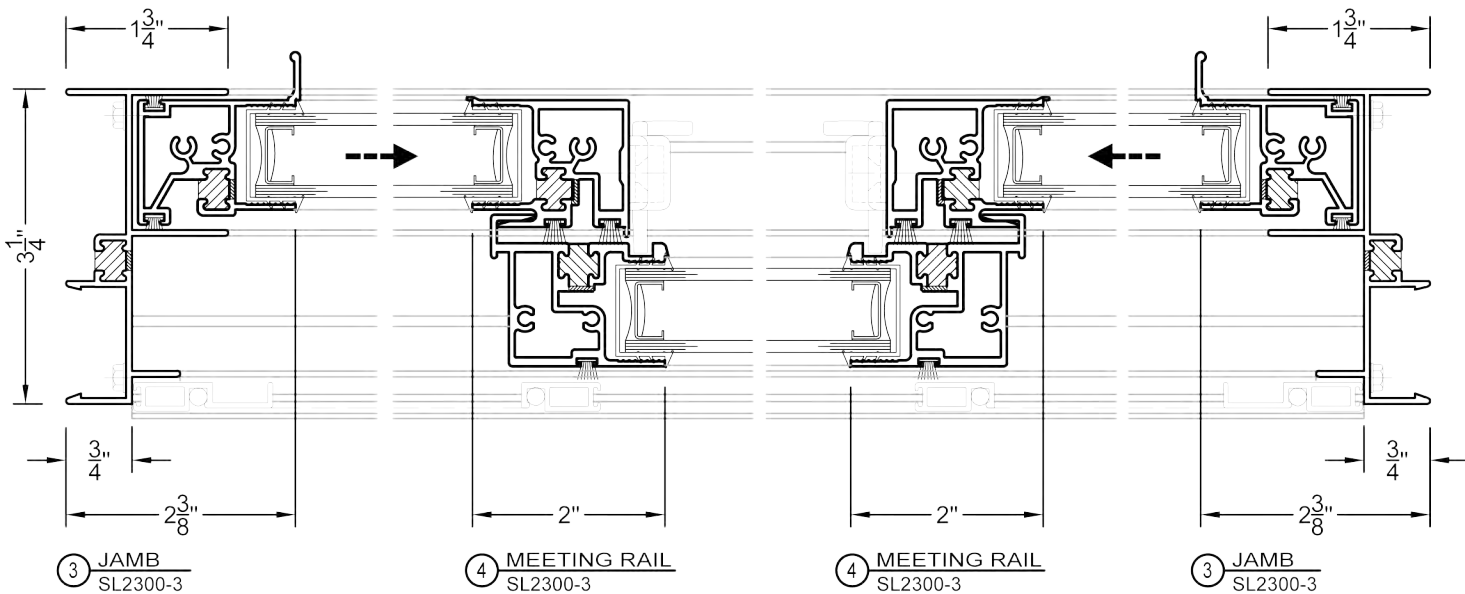
① HEAD
SL2300



2300-3 THREE LITE SLIDER UNEQUAL LITE (X-O-X)



② SILL
SL2300

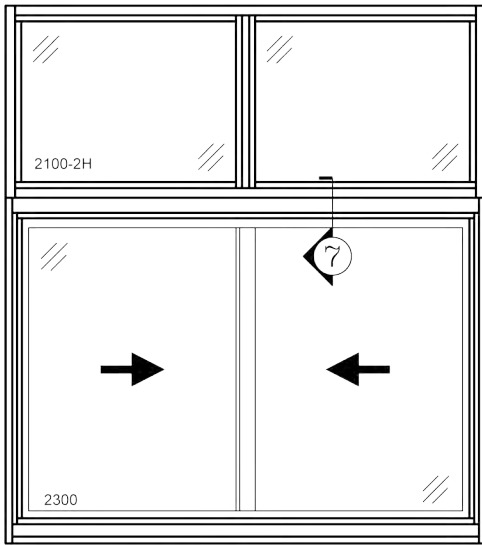


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SL2300-3

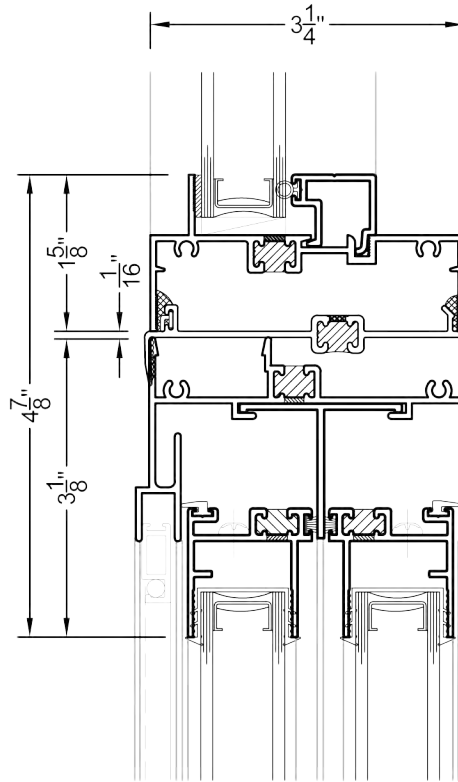
④ MEETING RAIL
SL2300-3

④ MEETING RAIL
SL2300-3

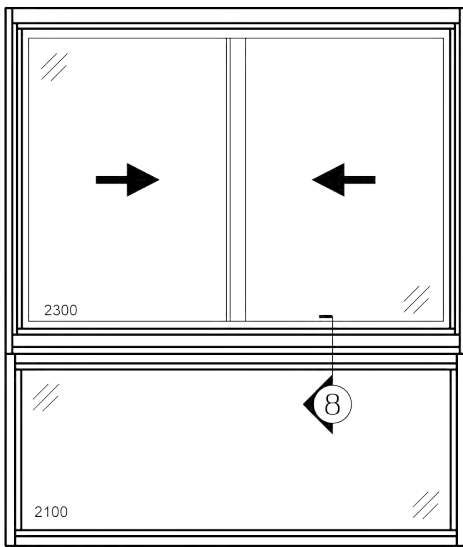
③ JAMB
SL2300-3



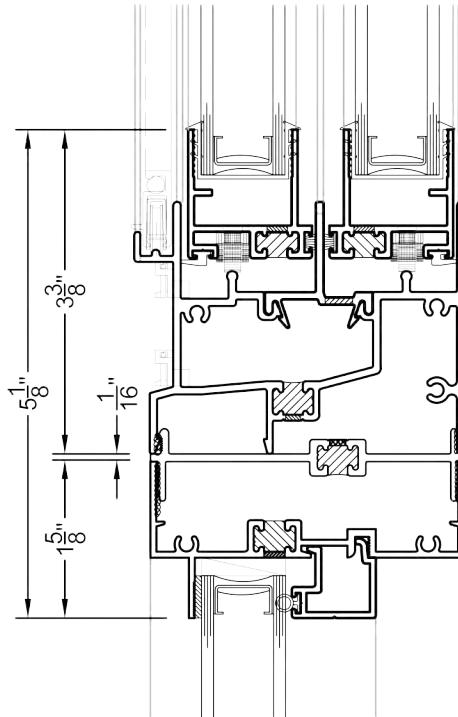
PW2100T OVER SL2300-2



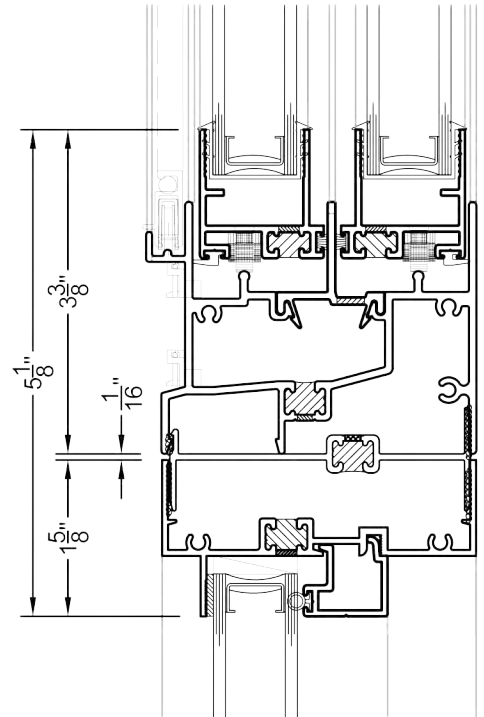
7 STACK MULLION
 PW2100 OVER SL2300



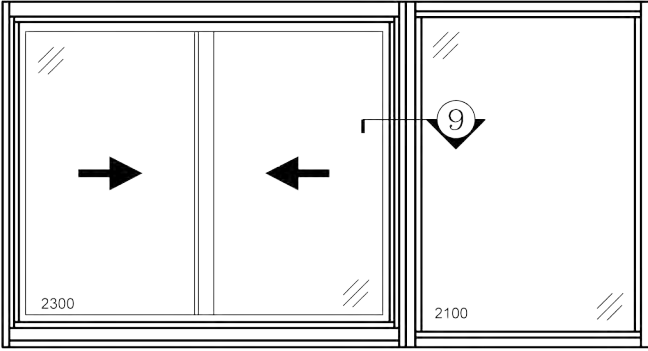
SL2300-2 & PW2100



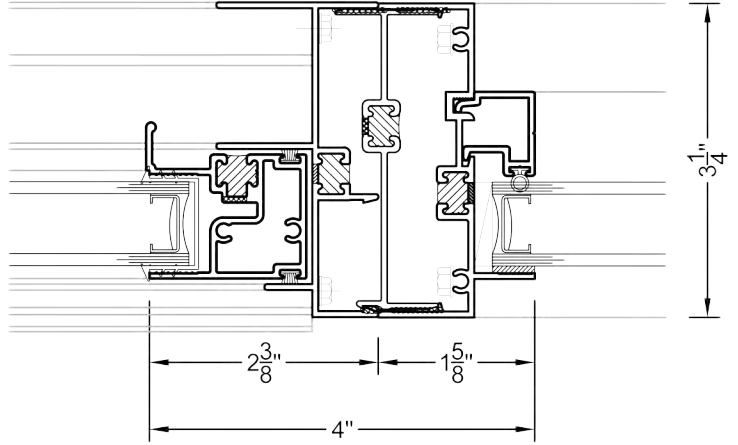
8 SHORT LEG STACK MULLION
 SL2300 OVER PW2100



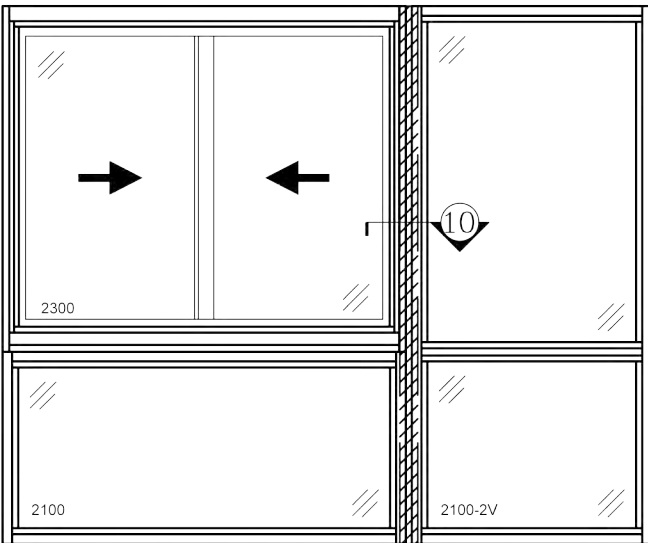
8A SHORT LEG H MULLION
 SL2300 OVER PW2100



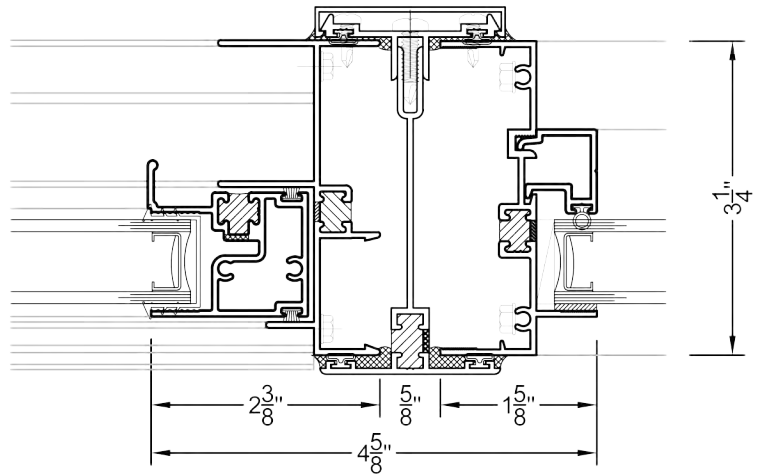
SL2300-2 & PW2100



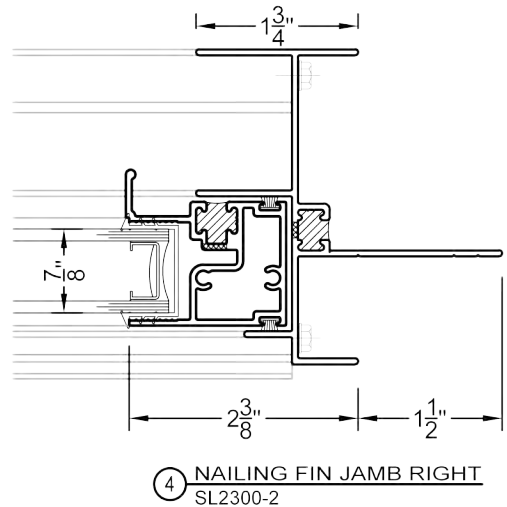
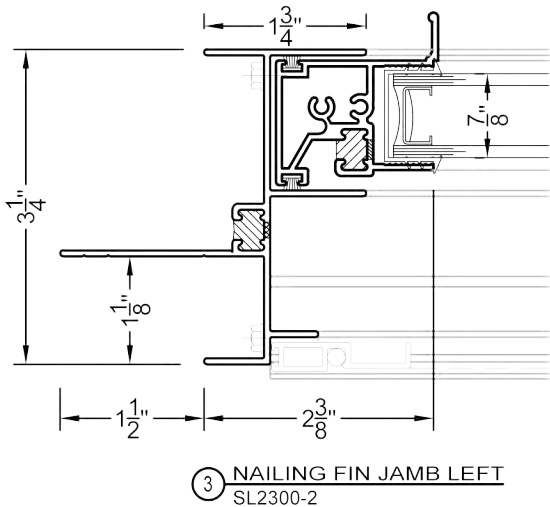
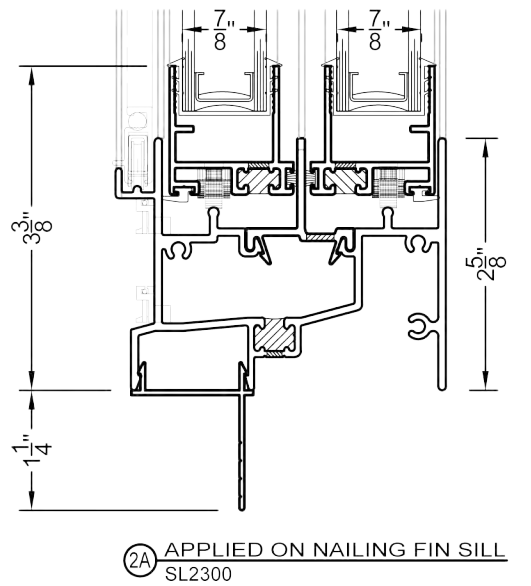
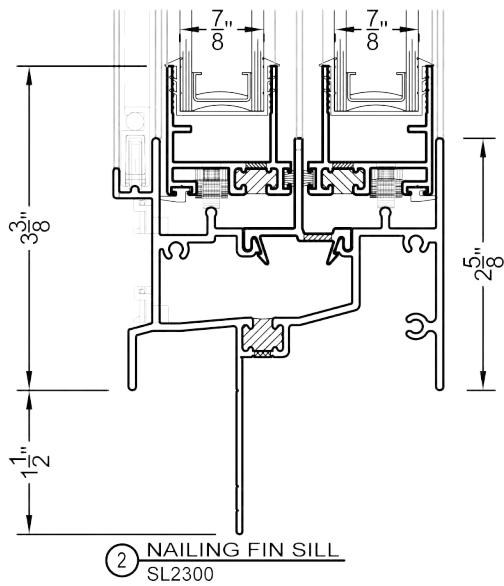
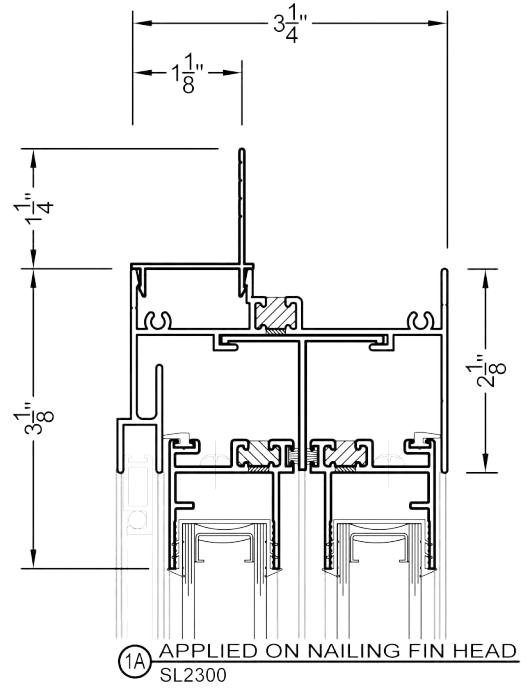
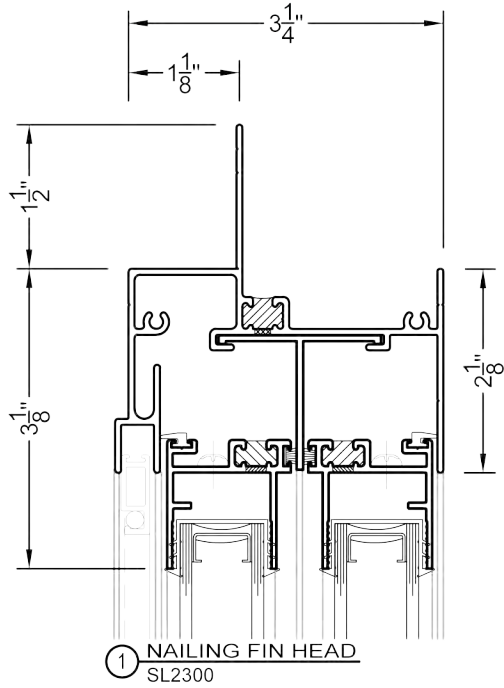
9 SHORT LEG H MULLION
 SL2300 & 2100 PW



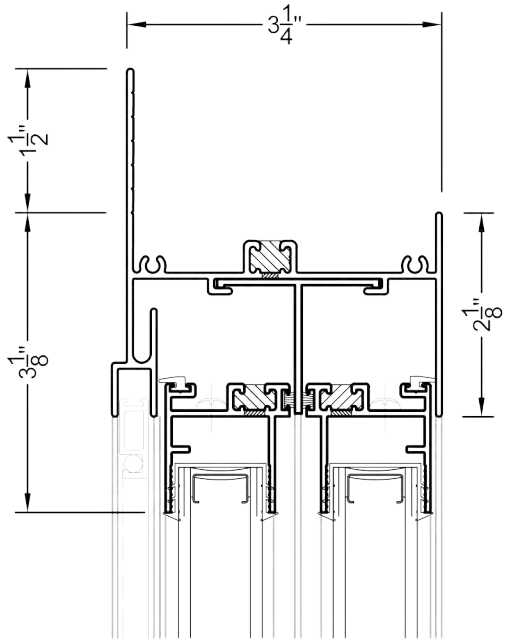
SL2300 OVER PW2100 & PW2100-2V
 W/ 3PC MULLION



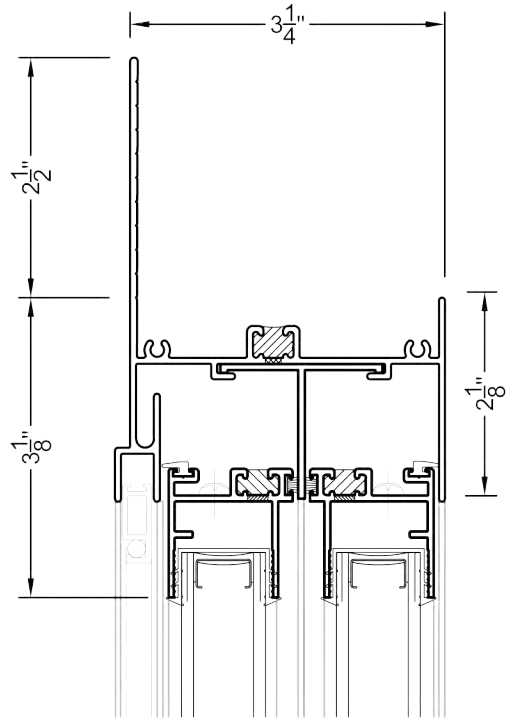
10 3PC MULLION
 SL2300 & 2100 PW



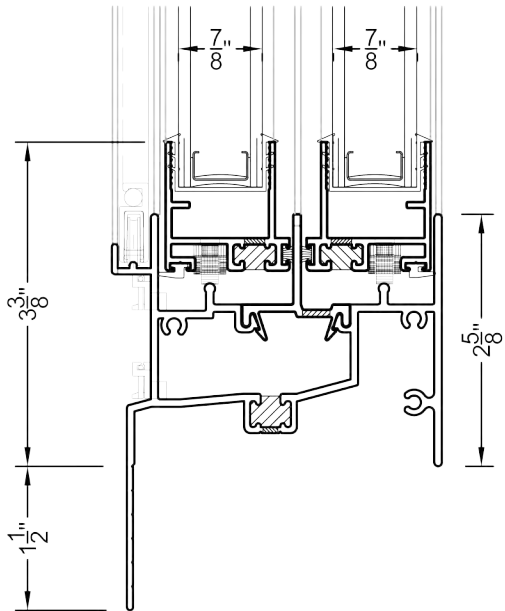
VER: 2020.03



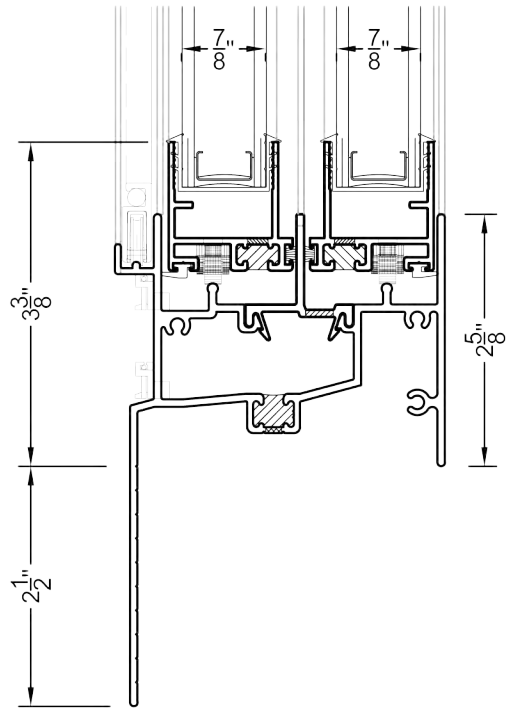
① 1-1/2" FLANGE HEAD
 SL2300



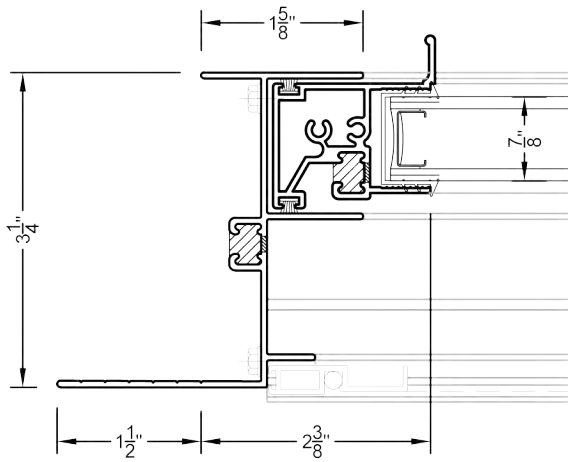
①A 2-1/2" FLANGE HEAD
 SL2300



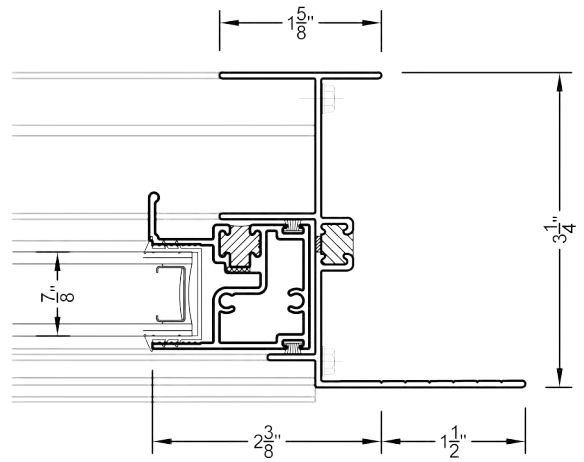
② 1-1/2" FLANGE SILL
 SL2300



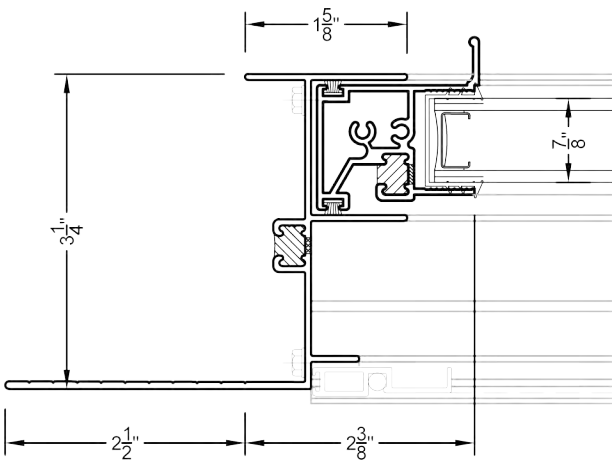
②A 2-1/2" FLANGE SILL
 SL2300



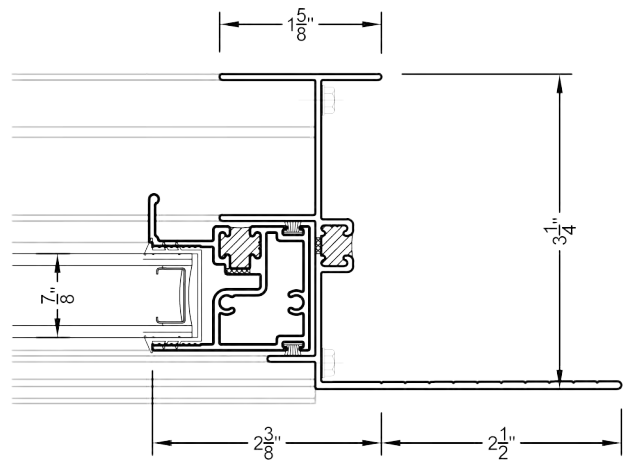
③ 1-1/2" FLANGE JAMB LEFT
 SL2300



④ 1-1/2" FLANGE JAMB RIGHT
 SL2300



③A 2-1/2" FLANGE JAMB LEFT
 SL2300



④A 2-1/2" FLANGE JAMB RIGHT
 SL2300