

- Deny
- Defer

Rolen Brothers Fence Co. Inc.
3445 W. 86th Street
Cleveland, Ohio 44102

Applicant proposes installation of approximately 240 feet of 6-foot high black industrial grade aluminum ornamental fencing. (Page 23)

**REQUEST FOR MODIFICATIONS
SIGN REVIEW**

6. **Docket No. 12-139-20**

**15602 Detroit Avenue
Mishi Lifestyle**

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm, LLC
1593 Wyandotte Avenue
Lakewood, Ohio 44107

Applicant requests modifications to signage approved at the December 10, 2020 meeting. (Page 46)

**NEW BUSINESS
ARCHITECTURAL BOARD OF REVIEW**

7. **Docket No. 03-15-21**

R 1183 Cook Avenue

- Approve
- Deny
- Defer

Carly Shenigo
5461 Waterford Circle
Sheffield Village, Ohio 44035

Applicant proposes the renovation of an enclosed first floor front porch to its original condition, the addition of an awning with metal roof; existing stairs, columns and railings remain. (Page 49)

8. **Docket No. 03-16-21**

R 1553 Rockway Avenue

- Approve
- Deny
- Defer

David Borowske
Borowske Builders Inc.
10428 Abbey Road
North Royalton, Ohio 44133

Applicant proposes renovation of a front porch. (Page 54)

9. **Docket No. 03-17-21**

R 2055 Riverside Drive

- Approve
- Deny
- Defer

Christian Fedor
2055 Riverside Drive
Lakewood, Ohio 44107

Applicant proposes the addition of a front patio. (Page 76)

SIGN REVIEW

10. **Docket No. 03-18-21** **17140 Madison Avenue, Unit A**
Illuminate Salon

- Approve
 - Deny
 - Defer
- Louis Leonette
Illuminate Salon
17140 Madison Avenue, Unit A
Lakewood, Ohio 44107

Applicant proposes vinyl window signage. (Page 142)

11. **Docket No. 03-19-21** **17140 Madison Avenue, Unit B**
Glossy Nails

- Approve
 - Deny
 - Defer
- Megan Dougherty
Glossy Nails
17140 Madison Avenue, Unit B
Lakewood, Ohio 44107

Applicant proposes vinyl window signage. (Page 145)

12. **Docket No. 03-20-21** **18251-55 Detroit Avenue**
Stella & Shay Beauty Bar

- Approve
 - Deny
 - Defer
- Monica Fletcher
Brady Sign Company
1721 Hancock Street
Sandusky, Ohio 44870

Applicant proposes an illuminated wall cabinet sign and blade sign. (Page 149)

13. **Docket No. 03-21-21** **15711 Madison Avenue, Suite 105**
NovaCare Rehabilitation

- Approve
 - Deny
 - Defer
- Andrew Langlois
Graphic Illusions, LLC
786 Olivia Way
Pasadena, MD 21122

Applicant proposes an illuminated cabinet sign and window signage. (Page 153)

14. **Docket No. 03-22-21** **11851 Detroit Avenue**
Cleveland Clinic

- Approve
 - Deny
 - Defer
- James Groh
Brilliant Electric Sign Co LTD
4811 Van Epps Road

Cleveland, Ohio 44131

Applicant proposes the installation of one non-illuminated wall sign. (Page 157)

15. **Docket No. 03-23-21**

**14235 Madison Avenue
Valero**

Approve

Deny

Defer

David Peck

Project CSI

11411 Overlook Drive

Fishers, IN 46037

Applicant proposes signage for a new business. (Page 161)

ADJOURN



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 06-48-19

Permit No.: BBS19-000021

Applicant Name: Jerome Solove, Jerome Solove Development Inc.

Project Address: 13701/13901 Detroit Ave. & 1406 Wyandotte Ave.

Project Name: The View on Detroit East (VODE)

Proposal: Applicant proposes the construction of a mixed-use structure with parking to be evaluated under C3 zoning; ABR review under Chapter 1325.



The View on Detroit East

LAKWOOD, OH

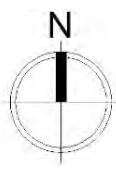
MBC Job No. 21014-11

MIXED USE COMMUNITY
CONCEPTUAL DESIGN

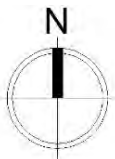
02.26.2021



CONTEXT MAP
Not to Scale



GIS PARCEL MAP
Not to Scale





December 28, 2020

Mr. Alex Solove
Jerome Solove Development, Inc.
470 Olde Worthington Road
Suite 200
Westerville, Ohio 43082

**Re: The View on Detroit East
Lakewood, Ohio
Trip Generation Analysis**

Dear Mr. Solove:

TMS Engineers, Inc. has performed the following trip generation analysis for The View on Detroit East, a proposed residential development in the City of Lakewood, Cuyahoga County, Ohio. The development site is located along the south side of Detroit Avenue between Bunts Road to the west and Wyandotte Avenue to the east (see **Location Map, Figure 1**).

The purpose of the trip generation analyses is to estimate the traffic that will be generated by the proposed residential development. The proposed site plan for The View on Detroit East development can be seen in **Figure 2**.

The following are the results of our trip generation analysis.

TRIP GENERATION

Calculating future total driveway trips requires an estimate of the traffic generated by the proposed development. The most widely accepted method of determining the amount of traffic that the proposed development will generate is to compare the proposed land use with existing facilities of the same use. The Institute of Transportation Engineers (ITE) has prepared a manual titled "**Trip Generation Manual**", which is a compilation of similar traffic generation studies to aide in making such a comparison. The most recent update of this manual is the 10TH edition and was utilized for this analysis.

The proposed development is expected to consist of the following land use:

- **120 Residential Units**

Mr. Alex Solove
December 28, 2020
Page 2

The following table details the development land use from the site plan (**Figure 2**) and the corresponding ITE land use that will be used to forecast the site generated traffic volumes for the expected conditions:

ITE LAND USE CODE				
SITE PLAN DESCRIPTION	SIZE	LAND USE	ITE CODE	ITE DESCRIPTION
Residential Units	120 Units	Residential	221	Multifamily Housing (Mid-Rise)

PROPOSED TRIP GENERATION CALCULATIONS

Trip generation calculations were performed utilizing data contained in the **Trip Generation Manual** and the methods outlined in the (ITE) **Trip Generation Handbook**.

Based on the previously discussed trip generation analysis procedures, the table below shows the estimated site generated traffic during the AM and PM peak hours for the proposed The View on Detroit East development considering the number of dwelling units. A copy of the trip generation worksheet can be found attached to this letter.

NEW TRIP GENERATION - THE VIEW ON DETROIT EAST						
ITE TRIP GENERATION			TRIP ENDS			
ITE CODE	DESCRIPTION	SIZE (Units)	Weekday AM Peak Hour Between 7-9 AM (Enter/Exit)		Weekday PM Peak Hour Between 4-6 PM (Enter/Exit)	
221	Multifamily Housing (Mid-Rise)	120	11	30	32	21
TOTAL NEW TRIPS			41		53	

CONCLUSIONS

The previous table shows that the proposed residential development is expected to generate a total of 41 trips in the AM peak hour and 53 trips in the PM peak hour.

Mr. Alex Solove
December 28, 2020
Page 3

It is our opinion that, when the anticipated changes in traffic volumes are at these levels, the traffic generated by the proposed residential development should not have an impact on the surrounding roadway network based on the following guidance:

- The **Institute of Transportation Engineers (ITE)** recommends that a Traffic Impact Study (TIS) be performed whenever an increase in trips in any peak hour is greater than 100 trips per hour. This recommendation is made because this is the point where a change in roadway capacity may be found and mitigation may or may not be needed.
- The Ohio Department of Transportation (ODOT) **State Highway Access Management Manual** states that a Traffic Analysis (TA) is required for any development that adds 60-200 trips and a Traffic Impact Study (TIS) is required for any development that adds more than 200 trips in an hour. ODOT does not require further analysis when the volume of trips added to the adjacent street is determined to be below 60 trips in an hour. Site generated traffic less than 60 trips in an hour is typically less than the daily variations in the existing volumes on the adjacent street network and should not be perceived by the traveling public.

Since the proposed development is expected to generate less than 60 trips during both the AM and PM peak hours, it is our professional opinion that the amount of site generated traffic will **not** have an impact on the adjacent roadway network nor require additional traffic analyses.

If you have any questions or need additional information, please do not hesitate to contact me.

Very truly yours,

TMS Engineers, Inc.

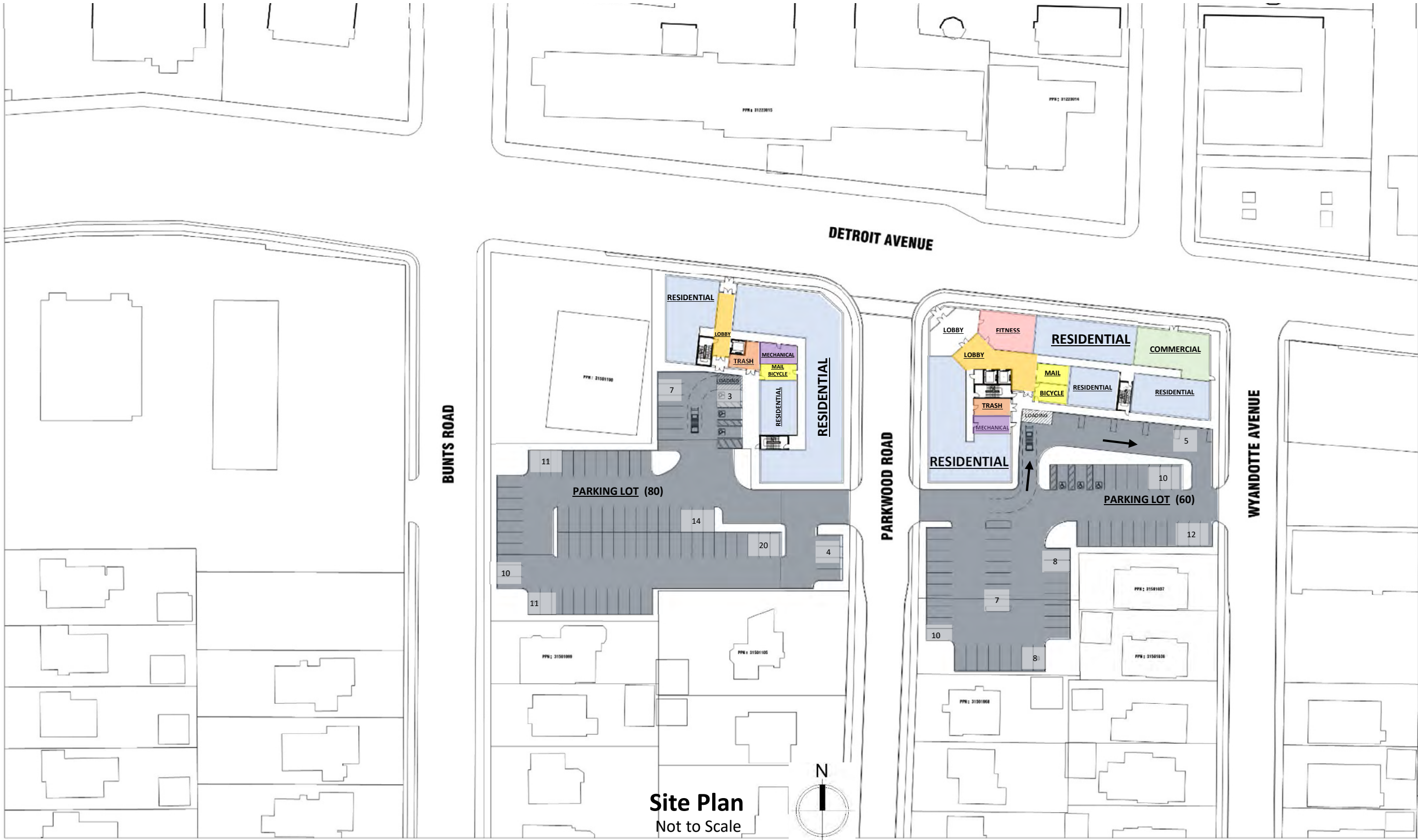
Andrew B. Comer, P.E.
Senior Traffic Engineer

attachments

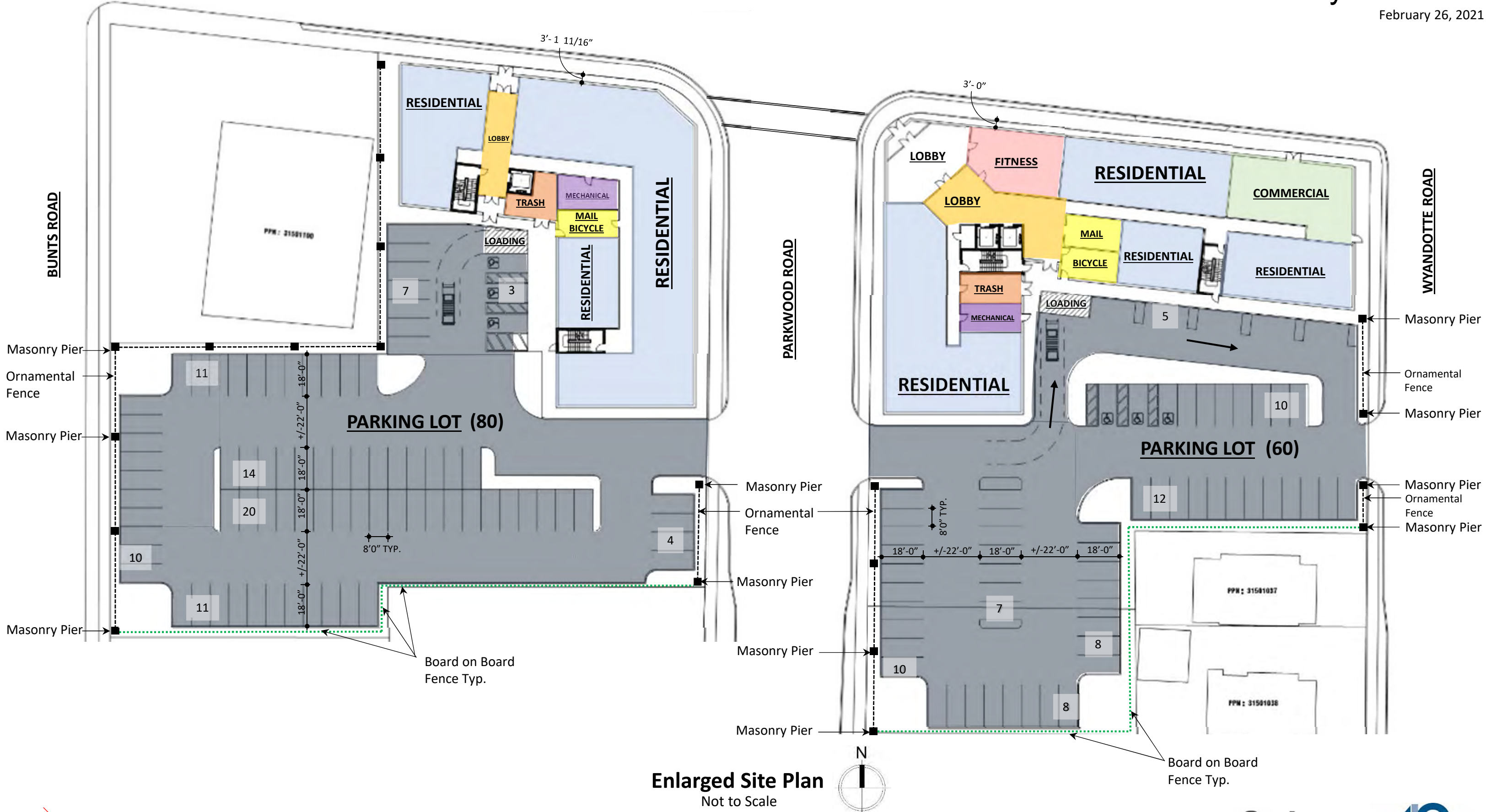
Solove-Lakewood Tgen 122820.wpd

Trip Generation Analysis Letter

The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11



Site Plan
Not to Scale





KEY

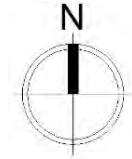
- PROPOSED DECIDUOUS TREE
- PROPOSED FLOWERING TREE
- PROPOSED SHRUB
- PROPOSED EVERGREEN SHRUB
- PROPOSED PERENNIALS & ORNAMENTAL GRASSES

SCALE: 1" = 20'-0"

0' 10' 20' 40'

Preliminary Landscape Plan

Not to Scale



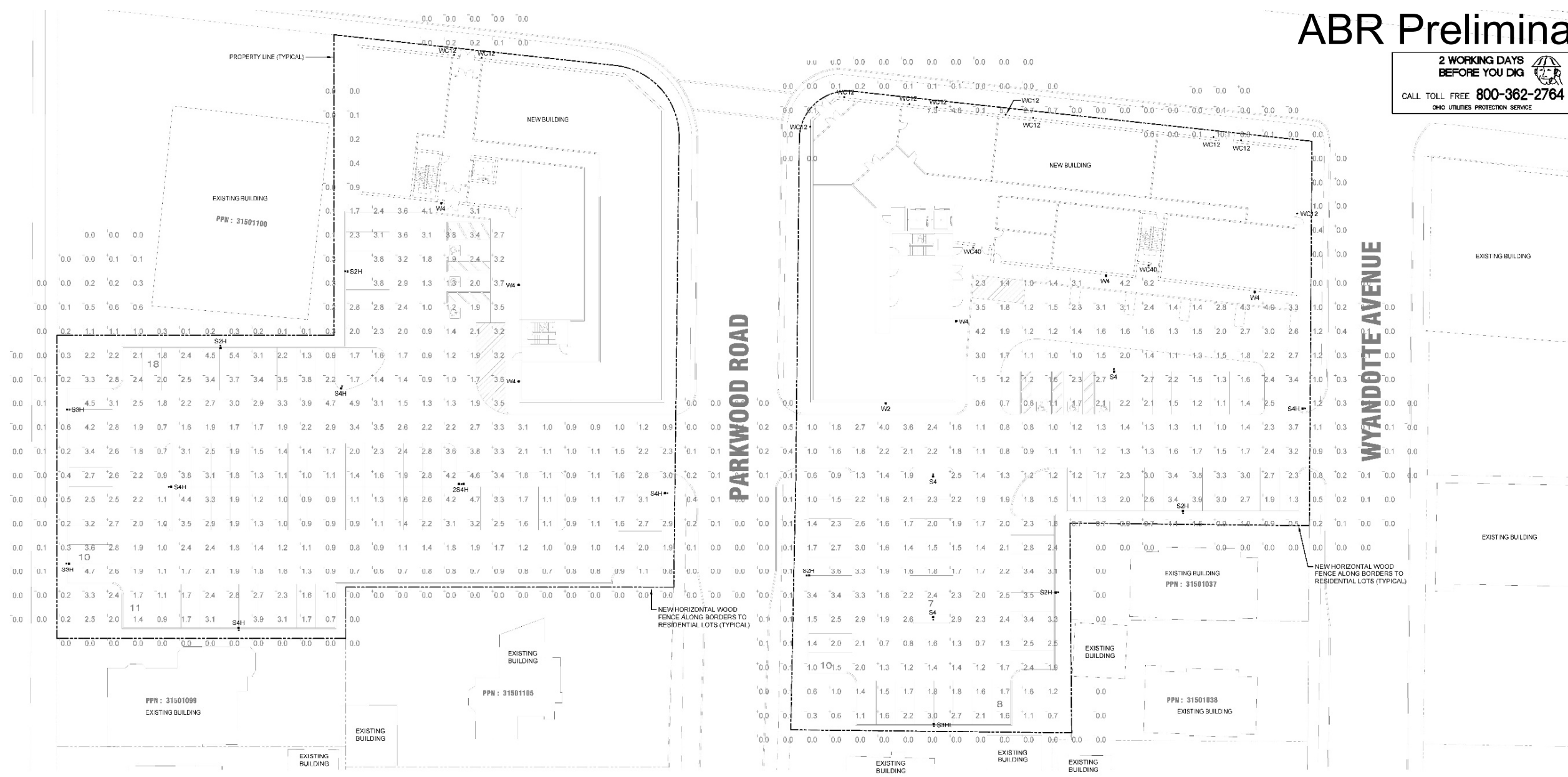
The View on Detroit East
 LAKEWOOD, OH
 MBC Job No. 21014-11

**2 WORKING DAYS
BEFORE YOU DIG**
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

BUNTS ROAD

PARKWOOD ROAD

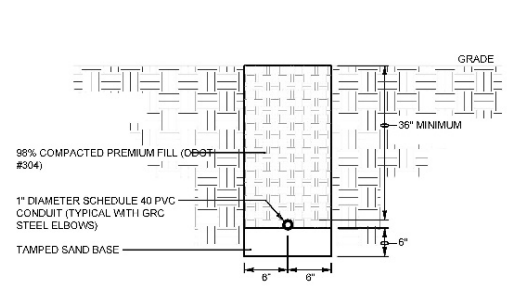
WYANDOTTE AVENUE



SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

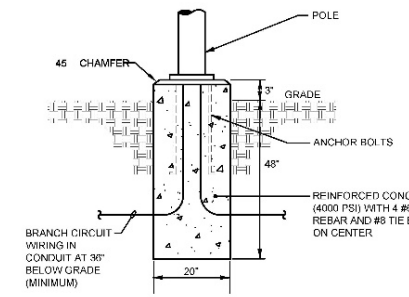
ELECTRICAL SYMBOLS

0.5 SITE LIGHTING PHOTOMETRIC CALCULATION POINT WITH ILLUMINATION LEVEL OF 0.5 FOOT-CANDELS, OR AS INDICATED ON PHOTOMETRIC PLAN.



UNDERGROUND CONDUIT DETAIL
NO SCALE

NOTE: PROVIDE 6" CONCRETE COVER WHEN ROUTED BELOW DRIVES AND PARKING AREAS.



LIGHTING POLE BASE DETAIL
NO SCALE

NOTE: POSITION EDGE OF BASE AT 12" MINIMUM FROM ADJACENT SIDEWALK.

GENERAL NOTES

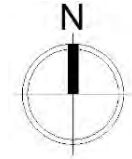
- THE ELECTRICAL INSTALLATION MUST MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ANY APPLICABLE STATE OR LOCAL CODES, AS INTERPRETED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
- EXACT POLE BASE LOCATIONS AND UNDERGROUND CONDUIT/DUCT BANK ROUTINGS TO BE COORDINATED WITH CIVIL PLANS AND DETERMINED IN THE FIELD FOR COORDINATION WITH ALL OTHER UTILITIES.
- PROGRAM THE LIGHTING CONTROL PANEL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. FIXTURES MUST ILLUMINATE AT DUSK, REDUCE TO 50% OUTPUT AT 11PM AND TURN OFF AT DAWN.
- MINIMUM SIZE OF OUTDOOR UNDERGROUND SCHEDULE 40 PVC CONDUIT SHALL BE 1". ALL UNDERGROUND CONDUIT SHALL BE DIRECTLY BURIED AT 36" BELOW GRADE. CONDUIT IS PERMITTED TO RISE TO SHALLOWER DEPTHS AT HAND HOLES AND SPICE BOXES AS PERMITTED BY NEC ARTICLE 300.7.
- ALL WIRE SHALL BE 600 VOLT XHHW, 90 DEGREE INSULATED AND SHALL BE COPPER. MINIMUM SIZE OF OUTDOOR CONDUCTOR SHALL BE #10 AWG INCLUDING GROUNDING CONDUCTOR TO ACCOMMODATE VOLTAGE DROP. INCREASE BRANCH CIRCUIT WIRE SIZE TO #8 AWG WHEREVER BRANCH CIRCUIT RUN EXCEEDS 500'
- ALL WIRING SHALL HAVE DEDICATED GROUNDING CONDUCTOR THAT SHALL BE BOND TO METAL POLES, ANCHOR BOLTS AND ALL METAL SUPPORTS FOR ELECTRICAL EQUIPMENT AND WIRING.
- ALL ELECTRICAL EQUIPMENT SHALL BE U.L. LISTED OR LABELED.

LUMINAIRE SCHEDULE

TYPE	LUMINAIRE WATTS	LUMINAIRE VOLTS	LAMP TYPE	DESCRIPTION	QUANTITY	MANUFACTURER	CATALOG NUMBER	REMARKS
S2H	50	120	LED 4000K 70CRI	LED AREA PEDESTRIAN POLE MOUNTED FIXTURE WITH 1000MA DRIVER, TYPE II SPILL CONTROL DISTRIBUTION AND HOUSE SIDE SHIELD, WA VELINK OUTDOOR CONTROL MODULE AND FINISH TO BE SELECTED BY ARCHITECT. 16" STRAIGHT SQUARE STEEL POLE DISTRIBUTION.	16' POLE	MOGRAW EDISON	GPC-SA1C-740-U-SL2-QM-FINISH-HSS-PR7 / WOLC-7P-10A	(1) (2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
S3H	59	120	LED 4000K 70CRI	SAME AS TYPE 'S2H' EXCEPT WITH TYPE II SPILL CONTROL DISTRIBUTION.	16' POLE	MOGRAW EDISON	GPC-SA1C-740-U-SL3-QM-FINISH-HSS-PR7 / WOLC-7P-10A	(1) (2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
S3HL	34	120	LED 4000K 70CRI	SAME AS TYPE 'S3H' EXCEPT WITH TYPE IV FORWARD THROW DISTRIBUTION AND NO HOUSE SIDE SHIELD.	16' POLE	MOGRAW EDISON	GPC-SA1A-740-U-SL3-QM-FINISH-HSS-PR7 / WOLC-7P-10A	(1) (2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
S4	34	120	LED 4000K 70CRI	SAME AS TYPE 'S3HL' EXCEPT WITH TYPE IV FORWARD THROW DISTRIBUTION AND NO HOUSE SIDE SHIELD.	16' POLE	MOGRAW EDISON	GPC-SA1A-740-U-SL4-QM-FINISH-HSS-PR7 / WOLC-7P-10A	(1) (2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
S4H	59	120	LED 4000K 70CRI	SAME AS TYPE 'S4' EXCEPT WITH TYPE IV SPILL CONTROL DISTRIBUTION, HOUSE SIDE SHIELD AND 1000MA DRIVER.	16' POLE	MOGRAW EDISON	GPC-SA1C-740-U-SL4-QM-FINISH-HSS-PR7 / WOLC-7P-10A	(1) (2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
2S4H	118	120	LED 4000K 70CRI	SAME AS TYPE 'S4H' EXCEPT WITH TWO HEADS MOUNTED AT 180 DEGREES AND NO HOUSE SIDE SHIELDS.	16' POLE	MOGRAW EDISON	GPC-SA1C-740-U-SL4-QM-FINISH-PR7 / WOLC-7P-10A	(1) (2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
W2	34	120	LED 4000K 70CRI	WALL MOUNT PEDESTRIAN FIXTURE WITH 615MA DRIVER, TYPE II SPILL CONTROL DISTRIBUTION, WA VELINK OUTDOOR CONTROL MODULE AND FINISH TO BE SELECTED BY ARCHITECT.	WALL MOUNT 12'-0" A.F.G.	MOGRAW EDISON	GPC-SA1A-740-U-SL2-FINISH-PR7 / WOLC-7P-10A	(2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
W4	34	120	LED 4000K 70CRI	SAME AS TYPE 'W2' EXCEPT WITH TYPE IV SPILL CONTROL DISTRIBUTION.	WALL MOUNT 12'-0" A.F.G.	MOGRAW EDISON	GPC-SA1A-740-U-SL4-FINISH-PR7 / WOLC-7P-10A	(2) EQUALS INCLUDE VISIONAIRE VSX ARRAY AND LIGMAN MARTINI
WC12	20	120	LED 4000K 70CRI	WALL MOUNT CYLINDER DOWN LIGHT FIXTURE WITH 12 DEGREE BEAM SPREAD AND FINISH TO BE SELECTED BY ARCHITECT.	WALL MOUNT 10'-0" A.F.G.	MOGRAW EDISON	FC0818W-UNV-940-20L-FINISH-D12	
WC40	20	120	LED 4000K 70CRI	SAME AS TYPE 'WC12' EXCEPT WITH 40 DEGREE BEAM SPREAD.	WALL MOUNT 10'-0" A.F.G.	MOGRAW EDISON	FC0818W-UNV-940-20L-FINISH-D40	

LUMINAIRE SCHEDULE NOTES

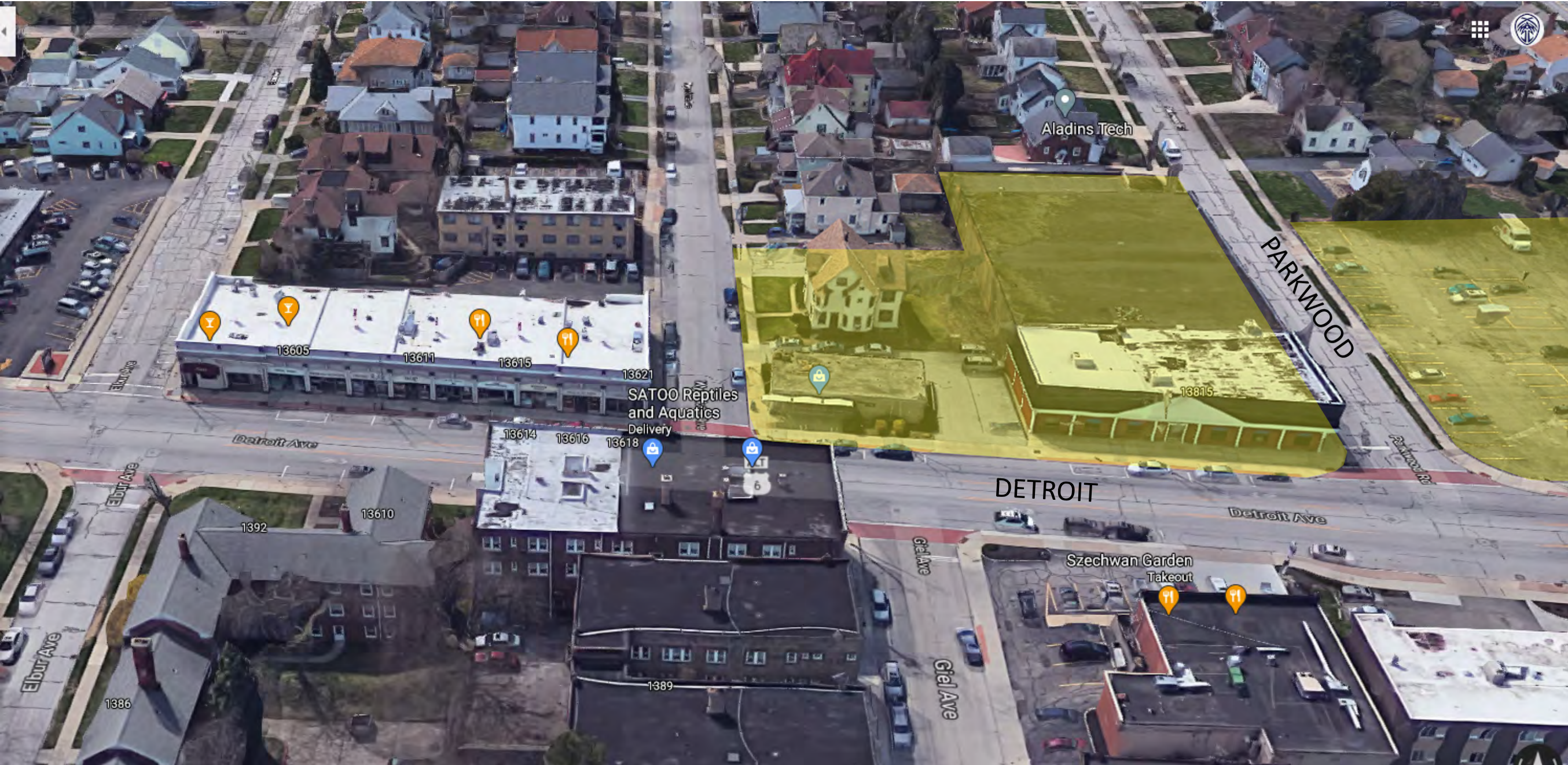
- STEEL POLE WALL THICKNESS SHALL BE DETERMINED BY POLE MANUFACTURER.
- PROVIDE COOPER WAVELINK CONTROLLER IN NEARBY BUILDING. PROGRAM TO DIM FIXTURES TO 50% OUTPUT AT 11PM.



Preliminary Site Photometrics Plan

Not to Scale

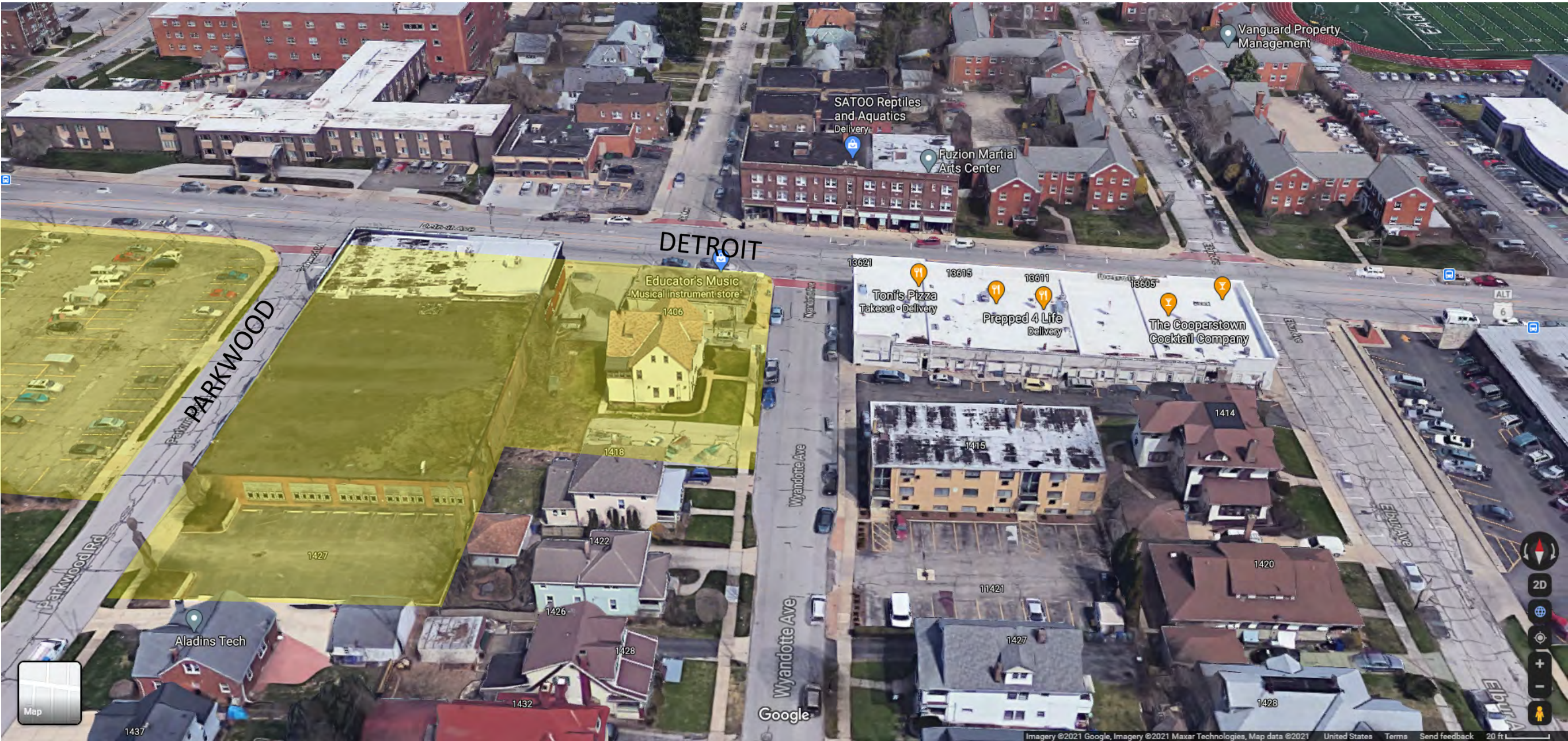
The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11



SOUTH SIDE CONTEXT IMAGES (EAST BUILDING)



SOUTH SIDE CONTEXT IMAGES (WEST BUILDING)



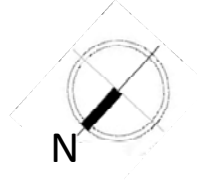
NORTH SIDE CONTEXT IMAGES (EAST BUILDING)



NORTH SIDE CONTEXT IMAGES (WEST BUILDING)



Site Perspective
Not to Scale





Street View
Not to Scale



Street View
Not to Scale



WEST BUILDING ELEVATION



EAST BUILDING ELEVATION

BUILDING ELEVATIONS



**GPC GALLEON
PEDESTRIAN
COMPANION**

1-2 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

WaveLinx



EXTERIOR LIGHTING OPTIONS



6' horizontal wood fence

HORIZONTAL WOOD FENCE ALONG BORDERS TO RESIDENTIAL LOTS



GETGO ACROSS THE STREET

UAF-200 FLAT TOP Residential & Commercial (rescomfences.html) / UAF-200 Flat Top



FENCE AND PIER CONCEPT

ORNAMENTAL FENCE ALONG STREETScape

SITE PRECEDENT IMAGES

PAINTED ALUMINUM



Technical Information:

System Depth - 1 1/4" nominal

Material - Aluminum

Material Thickness - .080" standard (other gauges available)

Panel Joints - 1/2" nominal standard (1/8" - 1" available)

Finish - Fluoropolymer, unlimited color palette

Finish Warranty - 20 year standard

Weight - Less than 2 pounds per square foot

Panel Size Parameters:

These are the recommended maximum size panel guides. If the panel you would like fits inside these guides, Dri-Design can easily manufacture it. For larger sizes, please contact a Dri-Design representative to discuss your specific requirements.

Available in any color, with the ability to match colors of your choice without expensive up charges – Dri-Design Painted Aluminum Panels offer the ultimate design flexibility for exterior and interior applications. Panels are painted using industry leading Fluoropolymer based paints for long lasting finish durability, while our finishers use a 100% air capture system to destroy the VOCs produced, so there is no adverse environmental impact.



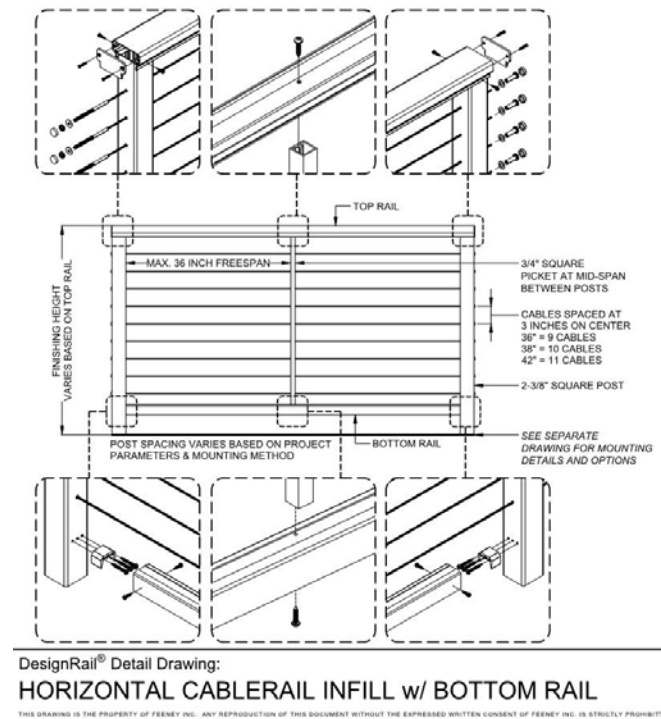
METAL PANEL

Trifab™ VG (VersaGlaze™)
 Trifab™ VG 450, 451 & 451T (Thermal) Framing Systems & Trifab™ 451UT (Ultra Thermal) Framing System

Design + Performance Versatility with Unmatched Fabrication Flexibility

Trifab® - Louisville, KY
 Architect: Miller & Associates Architects PLLC, Louisville, KY
 Glazing Contractor: Kentucky Mirror & Plate Glass Company, Louisville, KY

STOREFRONT WINDOW SYSTEM



CABLE RAILING AT BUILDING BALCONIES

BUILDING MATERIAL PRECEDENT IMAGES

The View on Detroit East
 LAKEWOOD, OH
 MBC Job No. 21014-11



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 03-14-20

Permit No.: BBS21-000012

Applicant Name: Bobby Rolen, Rolen Brother Fence Co. Inc.

Project Address: 12600 Berea Road

Project Name: Summerhill Storage

Proposal: Installation of approximately 240 feet of 6-foot high black industrial grade aluminum ornamental fencing.

12600 BEREA ROAD IMPROVEMENTS PROPOSED GATE LOCATION

NEWLY
CONSTRUCTED
BUILDING

NEWLY
CONSTRUCTED
BUILDING

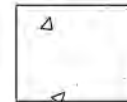
LEGEND



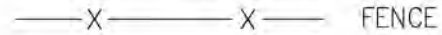
IMPERMEABLE PAVERS



GRASS



CONCRETE



FENCE

PROPOSED 20'
SLIDE GATE

EX. CONC. APPROACH

~ BEREA ROAD ~



STRAUB SURVEYING, LLC
PROFESSIONAL LASER SCANNING AND SURVEYING SERVICES
12815 DETROIT AVENUE
LAKWOOD, OHIO 44107
PHONE: 440-333-1700
INFO@STRAUBSURVEYING.COM



PROJECT :
20-087 12600 Berea Road

Drawn By:
MS

Date:
2/22/21

Account: 101-0000-321. 30-01

FILE COPY

REFERENCE No. BBS19-000067

DOCKET No. 10-98-19

FEE PAID \$50.00 js cc

APPLICATION
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

Property Address 12600/12508 Berea Rd Business Name NSC Lakewood LLC

Owner Name & Phone Adam Pogoda (Owner's agent) Owner Address 30500 Northwestern Hwy., Suite 525, Farmington Hills, MI 48334

Project Description Proposed demolition of building at 12508 Berea Rd

Incomplete or Late Applications will not be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

Board of Building Standards – (\$25.00)
All requests for variances to the Building Code. See Building Code Chapter 1327 for complete regulations.

Architectural Board of Review – (Commercial ~~\$50.00~~, Residential \$25.00)
Examples: Modifications to the exterior of a building, new construction, commercial landscaping, installation or modification of fencing, parking lot modification. See Building Code Chapter 1327 for complete regulations.

Sign Review Board – (\$25.00)
New signs and modifications, replacement or upgrades to existing sign. See Chapter 1329 for sign regulations.

Submission Requirements:

Board of Building Standards: 1 -5, 9, 10 Architectural Board of Review: 1-7, 9, 10 Sign Review: 1-4, 6, 8, 9, 10

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11)
6. Material samples.
7. Manufacturer's cut sheets for lighting, fencing and any other architectural element. (1 copy color, 8.5 x 11)
8. Scaled and dimensioned drawings of all signage including location, colors and materials. (1 copy color, 8.5 x 11)
9. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
10. Fee(s)

Applicant Name (Print Clearly): Jim Jakubus Company National Storage Centers

Applicant Address: 30500 Northwestern Hwy., Suite 525, Farmington Hills, MI 48334

Phone: 623-707-6722 Fax: _____ E-mail: jjakubus@pogodaco.com

Signature: Jim Jakubus Date: 9/17/2019

OFFICE USE ONLY: Application Reviewed and Accepted by: Alp Date: 9/26/2019

File History: _____

Bldg. Dept. Remarks: Need front elevation

ORD. 22-003 SECTION 1325.05



Any new brick to match existing

Current State of Brick

Architectural Board of Review
Approved as set forth in the minutes

of OCT 10 2019 meeting.

Am/ouy
CHAIRMAN



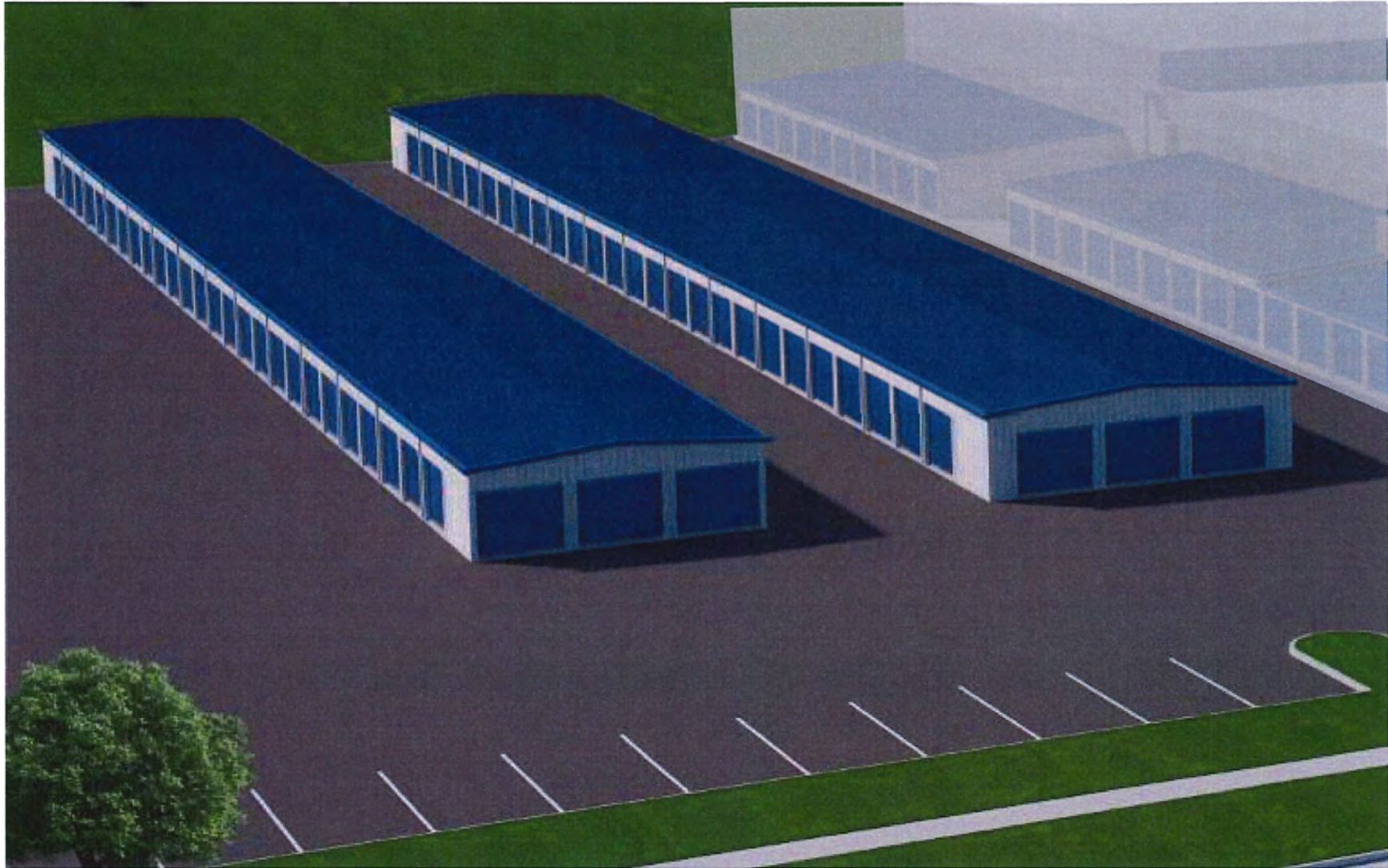
6' Aluminum Fence



LED Wallpack Light



Typical Building to Be Constructed

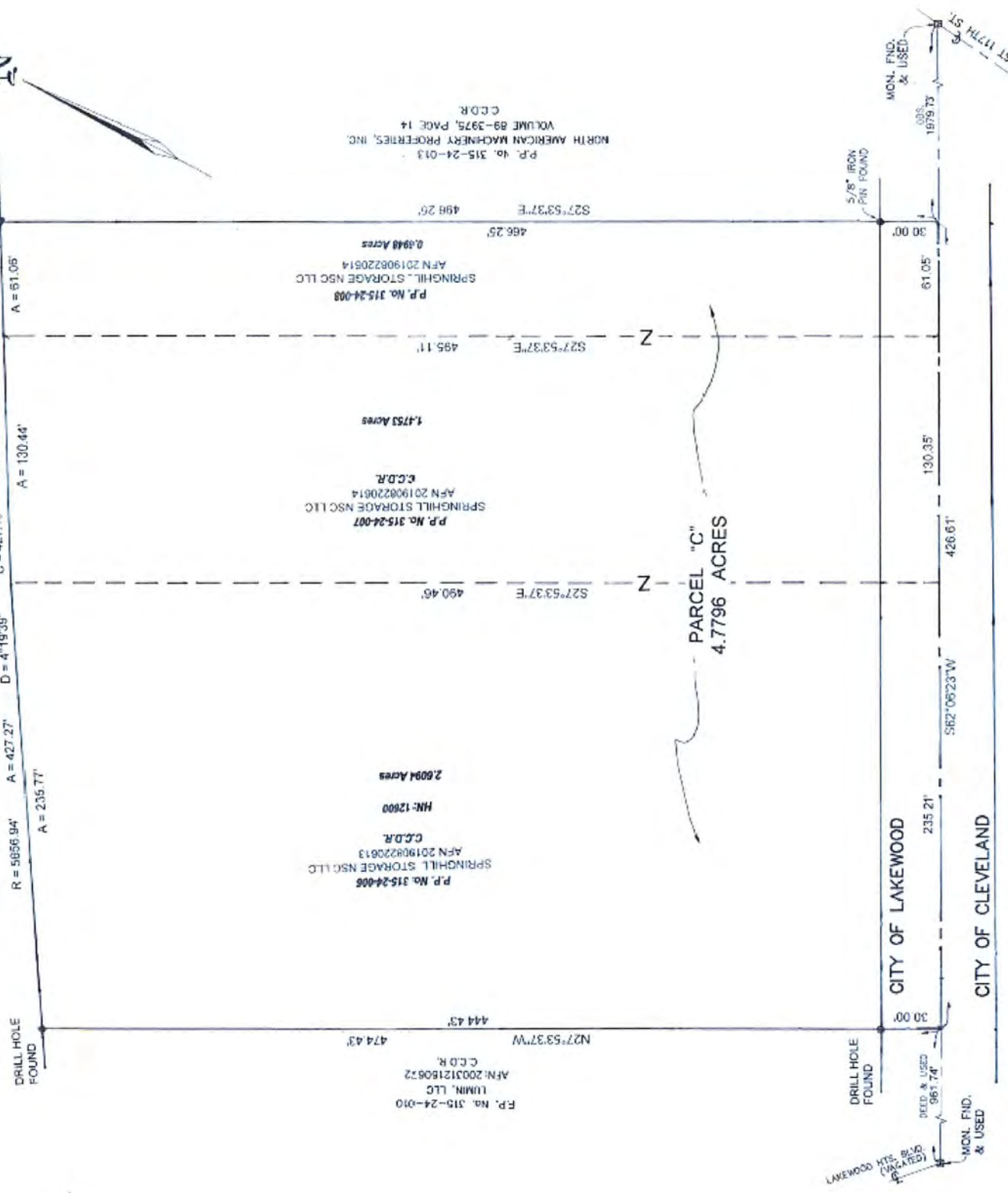


Example Rendering



Buildings to Be Demolished

P.P. No. 315-24-003
 CSX
 FORMERLY THE LAKE SHORE AND MICHIGAN SOUTHERN RAILWAY COMPANY
 VOLUME 1327, PAGE 519
 C.C.D.R.



J.

P.P. No. 315-24-013
 NORTH AMERICAN MACHINERY PROPERTIES, INC.
 C.C.D.R.
 VOLUME 89-3975, PAGE 14

P.P. No. 315-24-008
 SPRINGHILL STORAGE NSC LLC
 AFN 201908220614
 C.C.D.R.

P.P. No. 315-24-007
 SPRINGHILL STORAGE NSC LLC
 AFN 201908220614
 C.C.D.R.

P.P. No. 315-24-006
 SPRINGHILL STORAGE NSC LLC
 AFN 201908220613
 C.C.D.R.
 HN-12600

P.P. No. 315-24-010
 LUMIN, LLC
 AFN: 200312180612
 C.C.D.R.

PARCEL "C"
 4.7796 ACRES

MON. FND. & USED

5/8" IRON PIN FOUND

CITY OF LAKEWOOD

CITY OF CLEVELAND

DRILL HOLE FOUND

DEED & USED

MON. FND. & USED

MON. FND. & USED

MAP OF CONSOLIDATION
FOR
SPRINGHILL STORAGE NSC LLC

P.P. No. 315-24-003
CSX
FORMERLY THE LAKE SHORE AND MICHIGAN SOUTHERN RAILWAY COMPANY
VOLUME 1327, PAGE 519
C.C.D.R.

5/8" IRON PIN
FOUND

SITUATED IN THE CITY OF LAKEWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL ROCKPORT SECTION NO. 20.

The Western Reserve Surveying Co.

CLEVELAND, OHIO
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

ACCEPTANCE:

I, THE UNDERSIGNED OWNER OF LAND SHOWN HEREON, DO ACCEPT THIS MAP OF CONSOLIDATION.

WITNESS _____ OWNER _____

COUNTY OF CUYAHOGA)
STATE OF OHIO) S.S.

BEFORE ME, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED WHO ACKNOWLEDGED THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL AT _____ OHIO THIS _____ DAY OF _____ 2019.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

APPROVALS:

THIS PLAT IS HEREBY APPROVED BY THE PLANNING COMMISSION OF THE CITY OF LAKEWOOD, THIS _____ DAY OF _____ 2019.

CHAIRMAN _____ SECRETARY _____

THIS PLAT IS HEREBY APPROVED BY THE ENGINEER OF THE CITY OF LAKEWOOD, THIS _____ DAY OF _____ 2019.

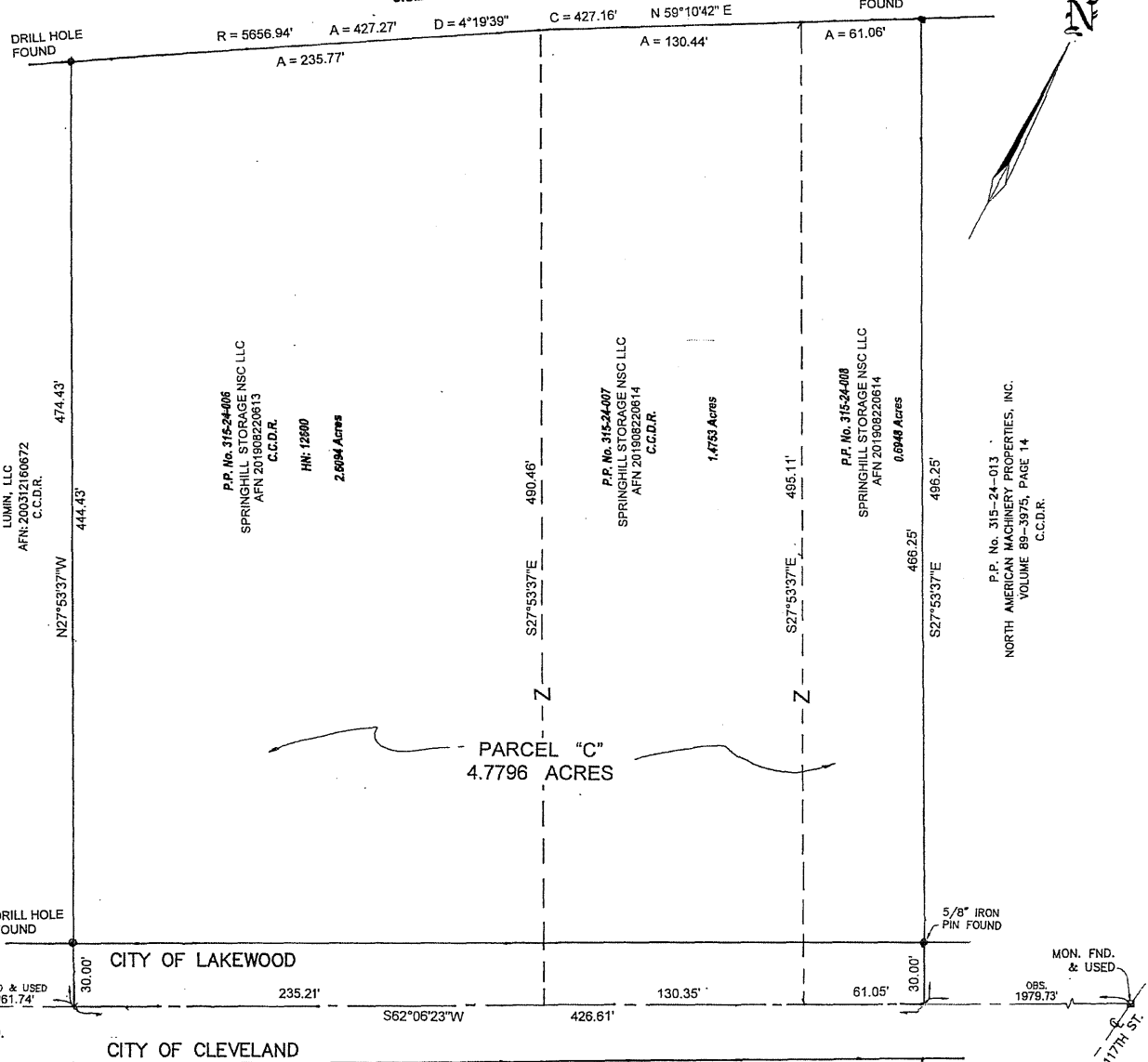
CITY ENGINEER _____

DISTANCES SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND MONUMENTS WERE FOUND AS SHOWN. BEARINGS ARE TO AN ASSUMED MERIDIAN. * INDICATES 5/8" * IRON PIN WITH CAP SET UNLESS NOTED.



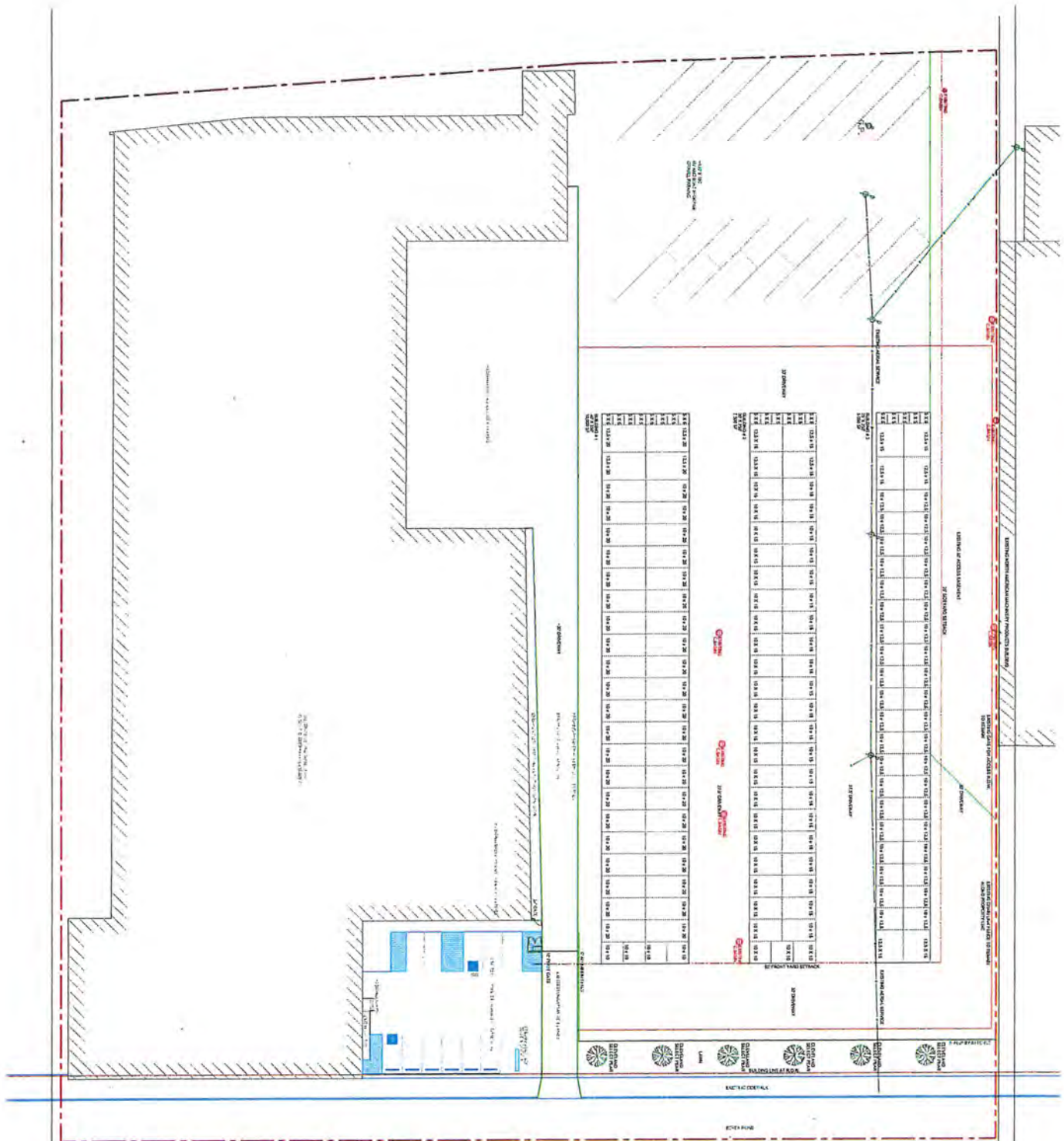
RICHARD F. HANTEL
S-5129

SEPTEMBER, 2019



A - 3947 - C1

42



SITE PLAN
 REFER ALIST TO MAP OF COORDINATION
 DATED SEPTEMBER 2018
 CONCEPT DRAWING

SHEET NO.
 SD-01.01

PROPOSED SELF STORAGE BUILDINGS
 NATIONAL STORAGE CENTERS
 12600 BEREA ROAD
 LAKEWOOD, OHIO

ARCHITECT
 OWNER
 CONTRACTOR

JPF ARCHITECTS
 PO BOX 474
 CHAGRIN FALLS, OHIO 44022 440-247-0590



NO.	DESCRIPTION	DATE	BY	CHKD BY
1	PRELIMINARY	08/15/18	JPF	JPF
2	REVISED	08/15/18	JPF	JPF
3	REVISED	08/15/18	JPF	JPF
4	REVISED	08/15/18	JPF	JPF
5	REVISED	08/15/18	JPF	JPF
6	REVISED	08/15/18	JPF	JPF
7	REVISED	08/15/18	JPF	JPF
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98	REVISED	08/15/18	JPF	JPF
99	REVISED	08/15/18	JPF	JPF
100	REVISED	08/15/18	JPF	JPF

42a



Detailed description of request

9/17/2019

This request is to demolish and remove completely from site current buildings at 12508 Berea Rd.

1. Disconnect, cut and cap all utilities to both buildings.
2. Remove all roofs, walls, floors and foundations for both buildings, see attached photographs of existing buildings.
3. See proposed site plan to replace buildings with drive up storage buildings symmetrical with the current use of adjacent property.
4. See lot consolidation survey supporting the new site plan.
5. Attached photograph elevation of a typical storage building(s) proposed for this location.

Respectfully submitted,



Jim Jakubus

National Storage Centers

							10 X 10
15	10 X 15	10 X 15	10 X 15	10 X 15	10 X 15	10 X 15	10 X 10

50' FRONT YARD

30' DRIVEWAY

EXISTING RIVEWAY C.BASIN

EXISTING C.BASIN

20	10 x 20	10 x 20	10 x 20	10 x 20	10 x 20	10 x 20	10 x 10
							10 x 10
							10 x 10
20	10 x 20	10 x 20	10 x 20	10 x 20	10 x 20	10 x 20	10 x 10



BUILDING LINE AT R.O.Y

EXISTING SIDEWALK

BEREA ROAD

6' ALUMINUM FENCE

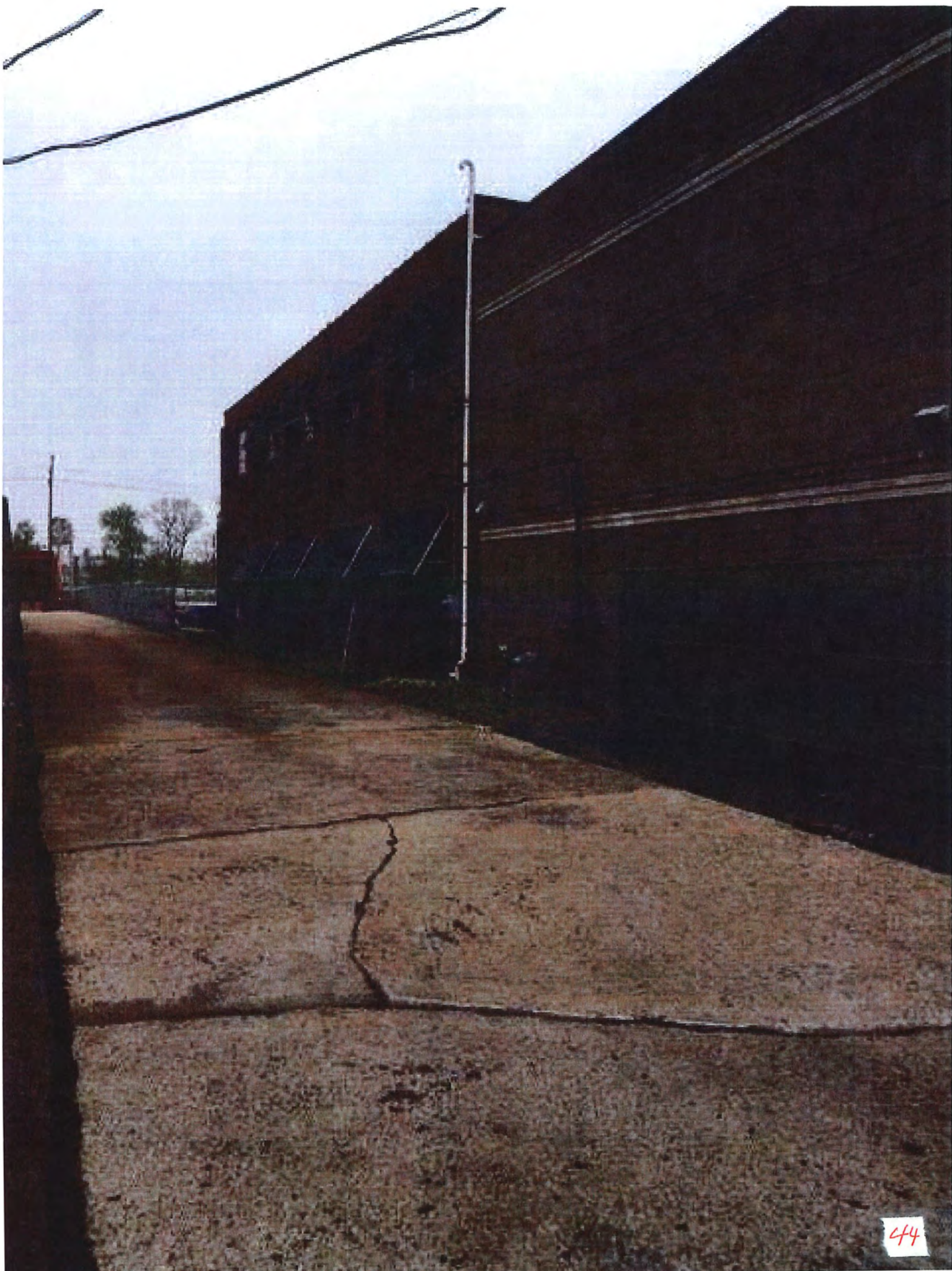
EXISTING DRIVEWAY TO REMAIN

18" PIVOT GATE

REMAIN

36" GATE

EXISTING SIGNAGE TO BE MODIFIED



44



45

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Review/Sign Review Board/ Board of Building Standards applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes No

Please Print or Type:

Owner/Agent Name: Jim Jakubus

Property Address: 12600/12508 Berea Rd.

Owner/Agent Phone: 623-707-6722

Tenant Name National Storage Centers Tenant Phone 216-333-1133

Jim Jakubus

Owner/Agent Signature

2019 Calendar

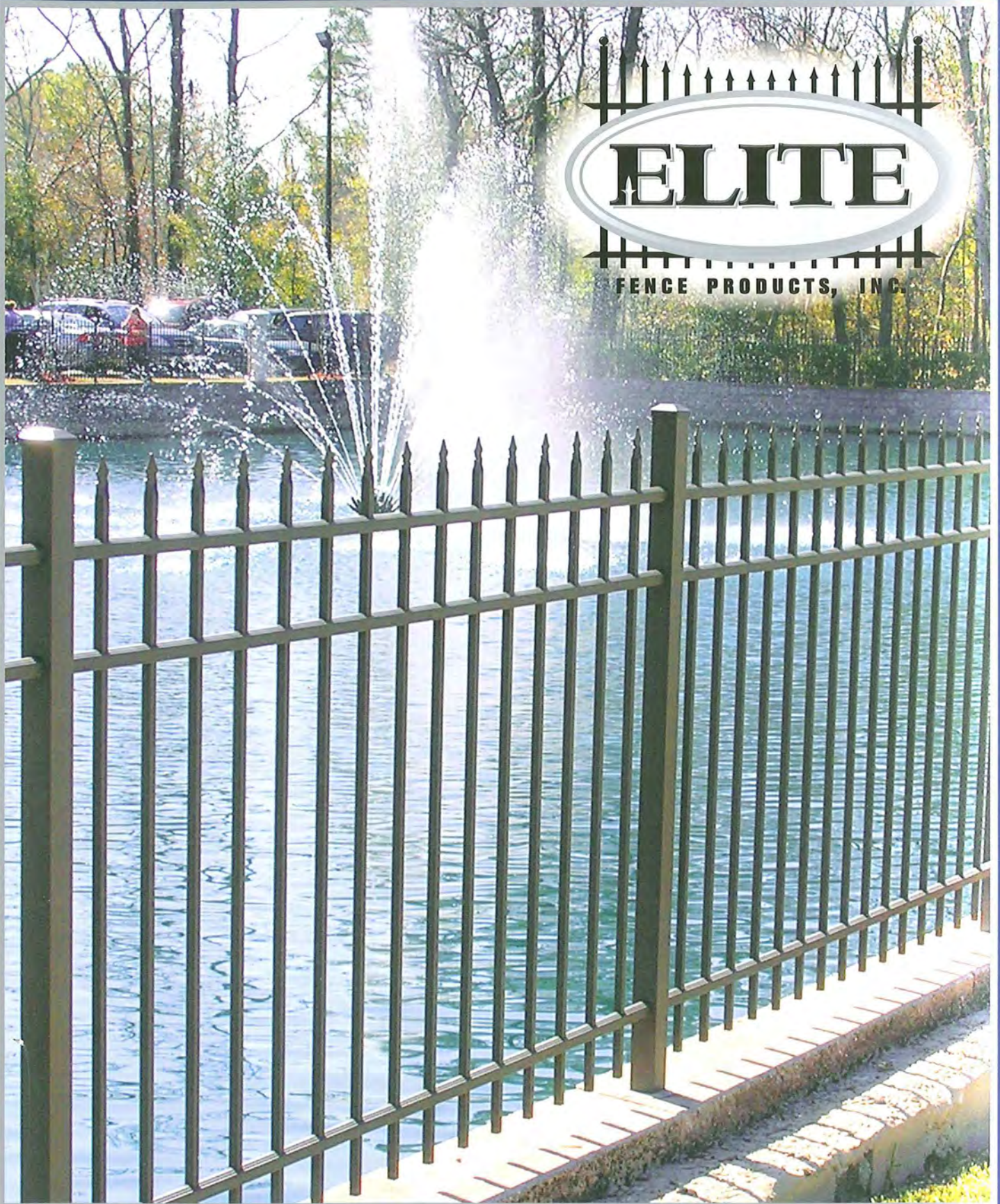
Board of Building Standards / Architectural Board of Review / Sign Review

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-26-18	Thursday	01-03-19	Thursday	01-10-19
February	Wednesday	01-30-19	Thursday	02-07-19	Thursday	02-14-19
March	Wednesday	02-27-19	Thursday	03-07-19	Thursday	03-14-19
April	Wednesday	03-27-19	Thursday	04-04-19	Thursday	04-11-19
May	Wednesday	04-24-19	Thursday	05-02-19	Thursday	05-09-19
June	Wednesday	05-29-19	Thursday	06-06-19	Thursday	06-13-19
July	Wednesday	06-26-19	Tuesday	07-02-19	Thursday	07-11-19
August	Wednesday	07-24-19	Thursday	08-01-19	Thursday	08-08-19
September	Wednesday	08-28-19	Thursday	09-05-19	Thursday	09-12-19
October	Wednesday	09-25-19	Thursday	10-03-19	Thursday	10-10-19
November	Wednesday	10-30-19	Thursday	11-07-19	Thursday	11-14-19
December	Wednesday	11-27-19	Thursday	12-05-19	Thursday	12-12-19
January	Wednesday	12-24-19	Thursday	01-02-20	Thursday	01-09-20

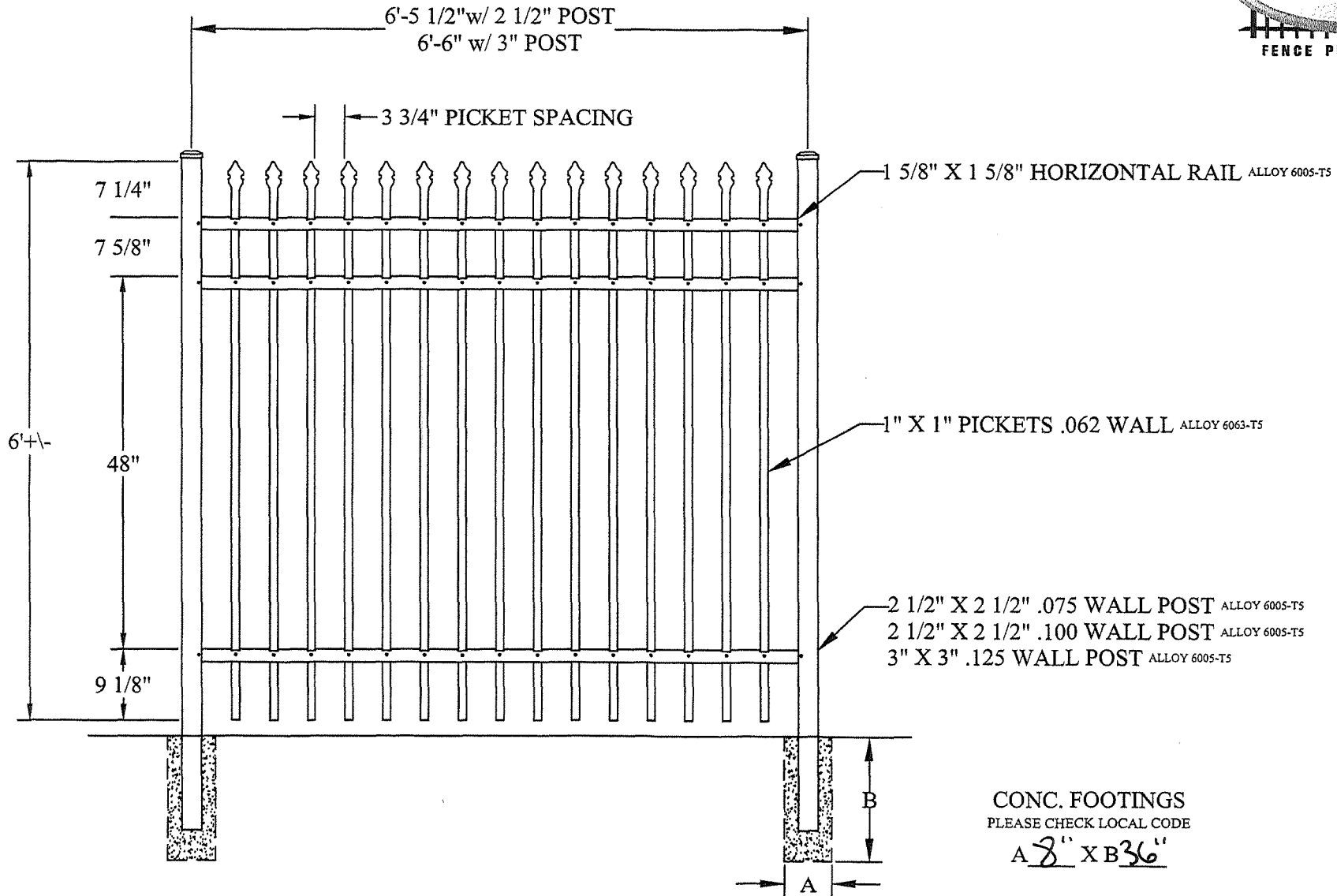
PLEASE NOTE: Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings start at **4:00 P.M.** in the **East Conference Room** (adjacent to the auditorium) of Lakewood City Hall. Use the rear northeast entrance to the Auditorium.

Review Meetings will commence at **5:30 P.M.** in the **Auditorium** of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting in order for an application to receive review. Use the rear northeast entrance to the Auditorium.



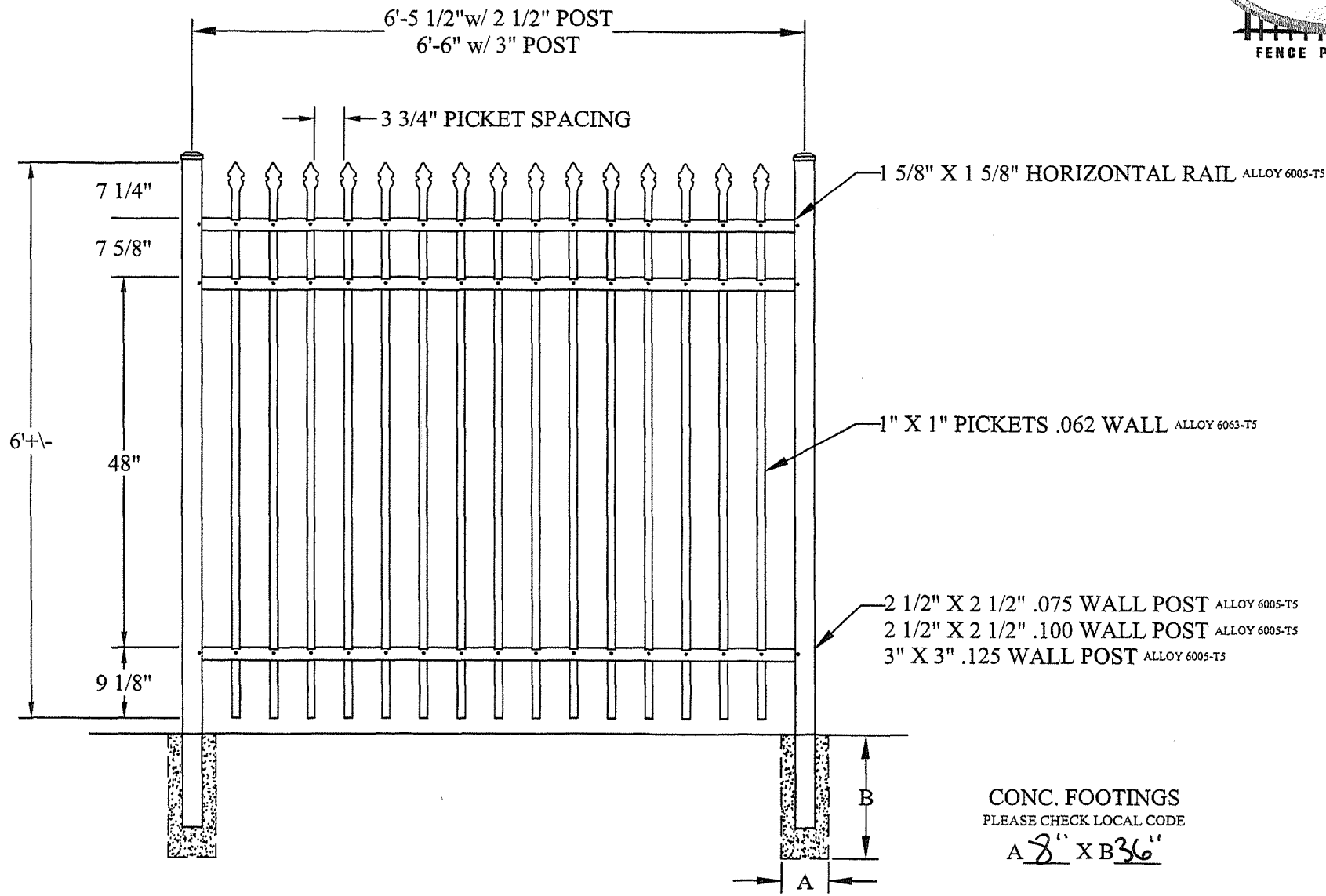
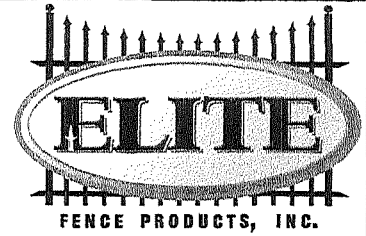
Buy American, Be American™ 



NOTE: DRAWING NOT TO SCALE. ALL SECTIONS COME FULLY ASSEMBLED.

This drawing is the property of Elite Fence Products, Inc.. It is not to be reproduced, copied, or traced in whole or part without written permission. See product specifications for installation requirements.

EFS-10 INDUSTRIAL	6' HIGH 3-RAIL ALUMINUM FENCE PANEL	CONTRACTOR: Belga Brothers Fence Co., Inc.	COLOR: Black		50925 RICHARD W. BLVD CHESTERFIELD TOWNSHIP, MI 48051 WWW.ELITEFENCE.COM 1-800-783-1331
	1-1-16 V.1.0 KS KS STD DRAWING	PROJECT: Pagoda	DATE: 1-13-2021		



CONC. FOOTINGS
PLEASE CHECK LOCAL CODE
A 8" X B 36"

This drawing is the property of Elite Fence Products, Inc.. It is not to be reproduced, copied, or traced in whole or part without written permission. See product specifications for installation requirements.

NOTE: DRAWING NOT TO SCALE. ALL SECTIONS COME FULLY ASSEMBLED.

EFS-10 INDUSTRIAL	6' HIGH 3-RAIL ALUMINUM FENCE PANEL	CONTRACTOR: <i>Polga Brothers Fence Co., Inc.</i>	COLOR: <i>Black</i>		50925 RICHARD W. BLVD CHESTERFIELD TOWNSHIP, MI 48051 WWW.ELITEFENCE.COM 1-800-783-1331
	1-1-16 V.1.0 KS KS STD DRAWING	PROJECT: <i>Pagoda</i>	DATE: <i>1-13-2021</i>		

CODE DATA

OCCUPANT LOAD:

EXISTING BUILDING:	81,460 SQ. FT.	(OCC. LOAD = 163)
PROPOSED BUILDING #1:	5,400 SQ. FT.	(OCC. LOAD = 11)
PROPOSED BUILDING #2:	7,200 SQ. FT.	(OCC. LOAD = 15)
PROPOSED POLE BLDG #3:	1,680 SQ. FT.	(OCC. LOAD = 4)
TOTAL:	95,740 SQ. FT.	(193 PERSONS)

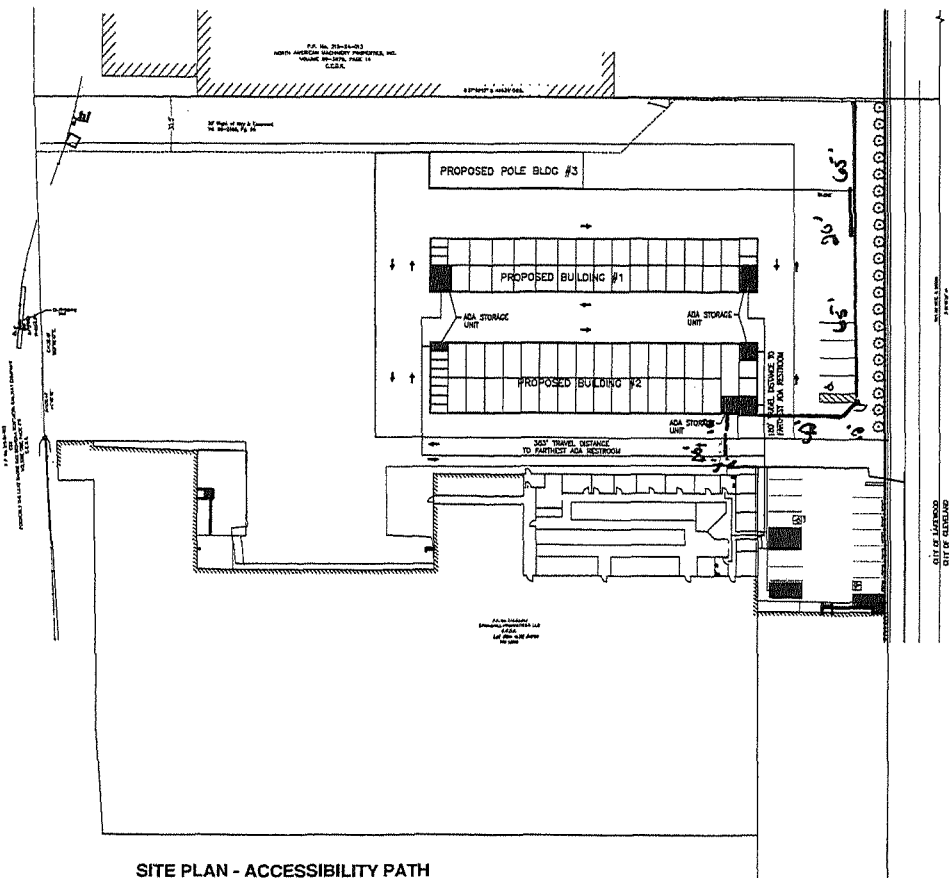
500 SQ. FT./PERSON PER TABLE 1004.1.2
 95,740 SQ. FT./500 = 192 PERSONS
 INDIVIDUAL BUILDING
 CALCULATION = 193 PERSONS

PLUMBING FIXTURES:

1 W.C./100 PERSONS PER TABLE 2002.2	
96 MEN = 1 WATER CLOSET	
96 WOMEN = 1 WATER CLOSET	
TOTAL:	2 REQ'D
PROVIDED:	2

DRAWING INDEX

CVR	COVER SHEET, CODE DATA, DRAWING INDEX
CS1 of 3	BETCO COVER SHEET
CS2 of 3	BUILDING NOTES
CS3 of 3	BUILDING NOTES
S1 of 3	BUILDING ELEVATIONS
S1A of 3	BUILDING ELEVATIONS
S2 of 3	FLOOR PLANS & NOTES, BUILDINGS #1 & #2
S3 of 3	CROSS SECTIONS, NOTES, BUILDINGS #1 & #2
S4 of 3	ROOF BEAM FRAMING, BUILDINGS #1 & #2
S5 of 3	WIND CLAMP PLANS, BUILDINGS #1 & #2
F1 of 2	FOUNDATION PLANS, NOTES, BUILDINGS #1 & #2
F2 of 2	FOUNDATION DETAILS, BUILDINGS #1 & #2
BETCO "ERC" DETAILS	016X, 100X, 105X, 110X, 115X 125NXT, 200X, 201X, 202X, 203X 207X, 208X, 302X, 410NXT, 505NXT 507NXT, 700NXT, 710NXT
S1	POLE BARN COVER SHEET
S2	SIDEWALL ELEVATIONS
S2A	ENDWALL ELEVATIONS
S3	FLOOR PLAN, COLUMN/FOOTING SCHEDULE
S4	ROOF FRAMING PLAN, COLUMN SCHEDULE
S5	SIDEWALL SECTION & DETAILS
S6	END WALL SECTION & DETAILS
S7	STEEL APPLICATION DETAILS
P1.1	PLUMBING PLAN, NOTES & DETAILS
E-1	ELECTRICAL SCHEDULE
E-2	LIGHTING & POWER PLAN
E-3	ELECTRICAL DETAILS
E-4	ELECTRICAL SPECIFICATIONS
C-1	CIVIL TITLE SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS
C-4	PROPOSED LAYOUT
C-5	SWP-3
C-6	DETAILS & NOTES



SITE PLAN - ACCESSIBILITY PATH
 SCALE: 1" = 30'-0"

BEREA ROAD 60 FT.



REVISIONS

Δ	9-0-2022

**COVER SHEET, CODE DATA
 DRAWING INDEX**

SPRINGHILL STORAGE
 12800 BEREA ROAD
 CITY OF LAKEWOOD, OHIO

craig m. Dixon
 & associates
 architects



77324 harrington rd ct.
 westlake, ohio 44143
 telephone: 440-922-7275
 fax: 440-922-7445



DATE 4-28-2022
 SCALE: AS NOTED
 DRAWN JP
 JOB #2012



CRAIG M. DIXON, LICENSE #7282
 EXPIRATION DATE: 12/31/2021





**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 12-139-20

Permit No.: BBS21-000014

Applicant Name: Steven Foster, The Sign & Graphics Firm

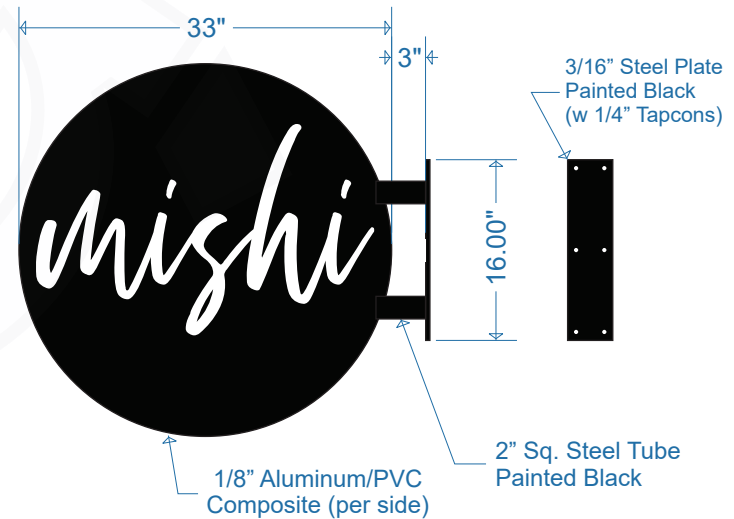
Project Address: 15602 Detroit Avenue

Project Name: Mishi Lifestyle

Proposal: Modifications to signage approved at the December 10, 2020 meeting.



AFTER



PROPOSED WINDOW VINYL

PROPOSED BLADE SIGN

Revisions:
 11/30/20 Updated blade, added window vinyl
 12/9/20 Revised design of blade face and window vinyl; removed illumination option.
 01/18/21 Updated designs of blade face and window vinyl

NOTE: Renderings are approximate representations of final production.

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

THE SIGN & GRAPHICS FIRM
 Steven Foster
 216.390.0198
 sgfoster09@gmail.com

BUSINESS NAME:
 Mishi Lifestyle

ADDRESS:
 15602 Detroit Rd.
 Lakewood, OH 44107

1
 01-20-21



BEFORE



AFTER



This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

1
12-9-20

ADDRESS:
15602 Detroit Rd.
Lakewood, OH 44107

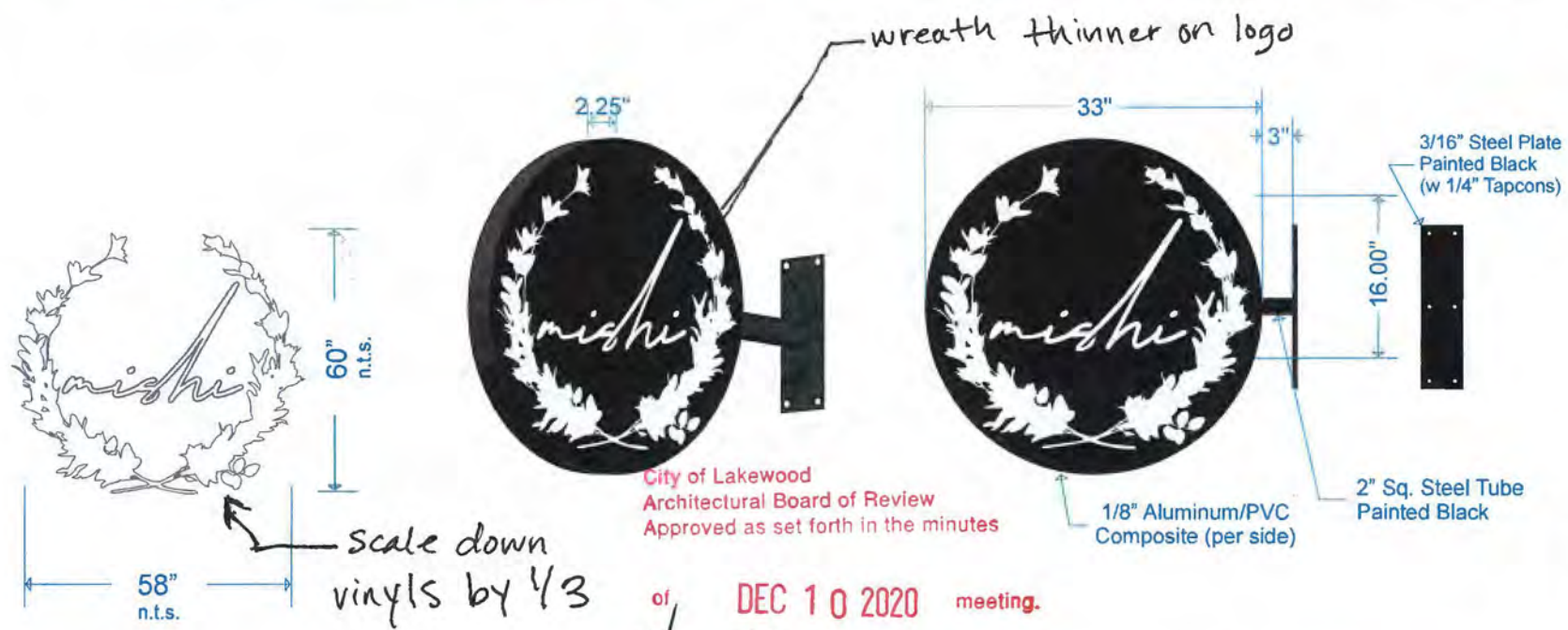
BUSINESS NAME:
Mishi Lifestyle

Steven Foster
216.390.0198
sgfoster09@gmail.com

S&G SIGN & GRAPHICS FIRM



NOTE: Renderings are approximate representations of final production.



City of Lakewood
Architectural Board of Review
Approved as set forth in the minutes

of DEC 10 2020 meeting.

Anthony
CHAIRMAN

PROPOSED WINDOW VINYL

PROPOSED BLADE SIGN

Revisions:
11/30/20 Updated blade, added window vinyl
12/9/20 Revised design of blade face and window vinyl; removed illumination option.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 03-15-21

Permit No.: BBS21-000020

Applicant Name: Cathy Shenigo

Project Address: 1183 Cook Avenue

Project Name: n/a

Proposal: Renovation of an enclosed first floor front porch to its original condition, the addition of an awning with metal roof; existing stairs, columns and railings remain.



COLUMNS TO REMAIN

STAIRS AND RAILING TO REMAIN

KNEE WALL TO BE REMOVED

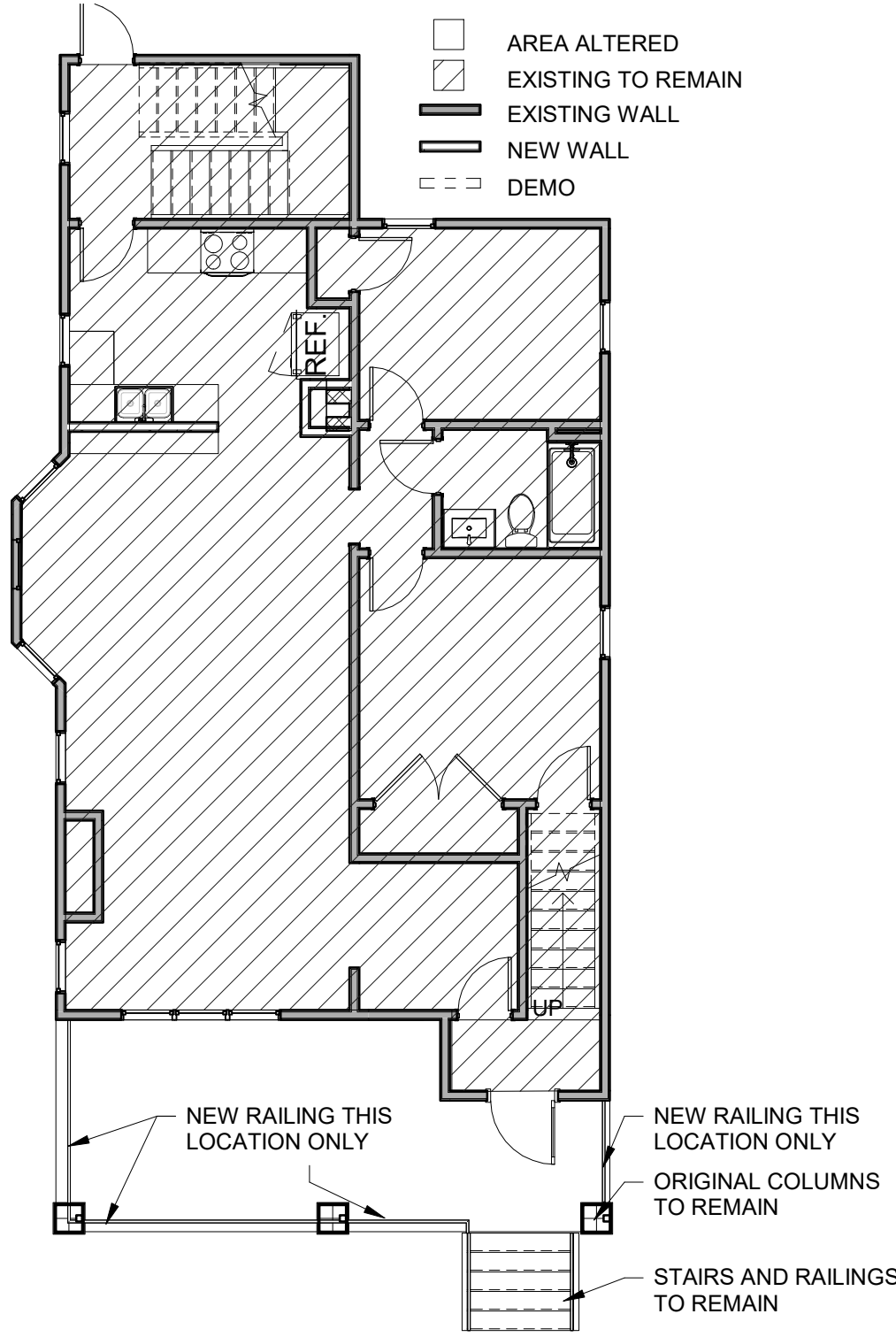
WINDOWS TO BE REMOVED

EXISTING

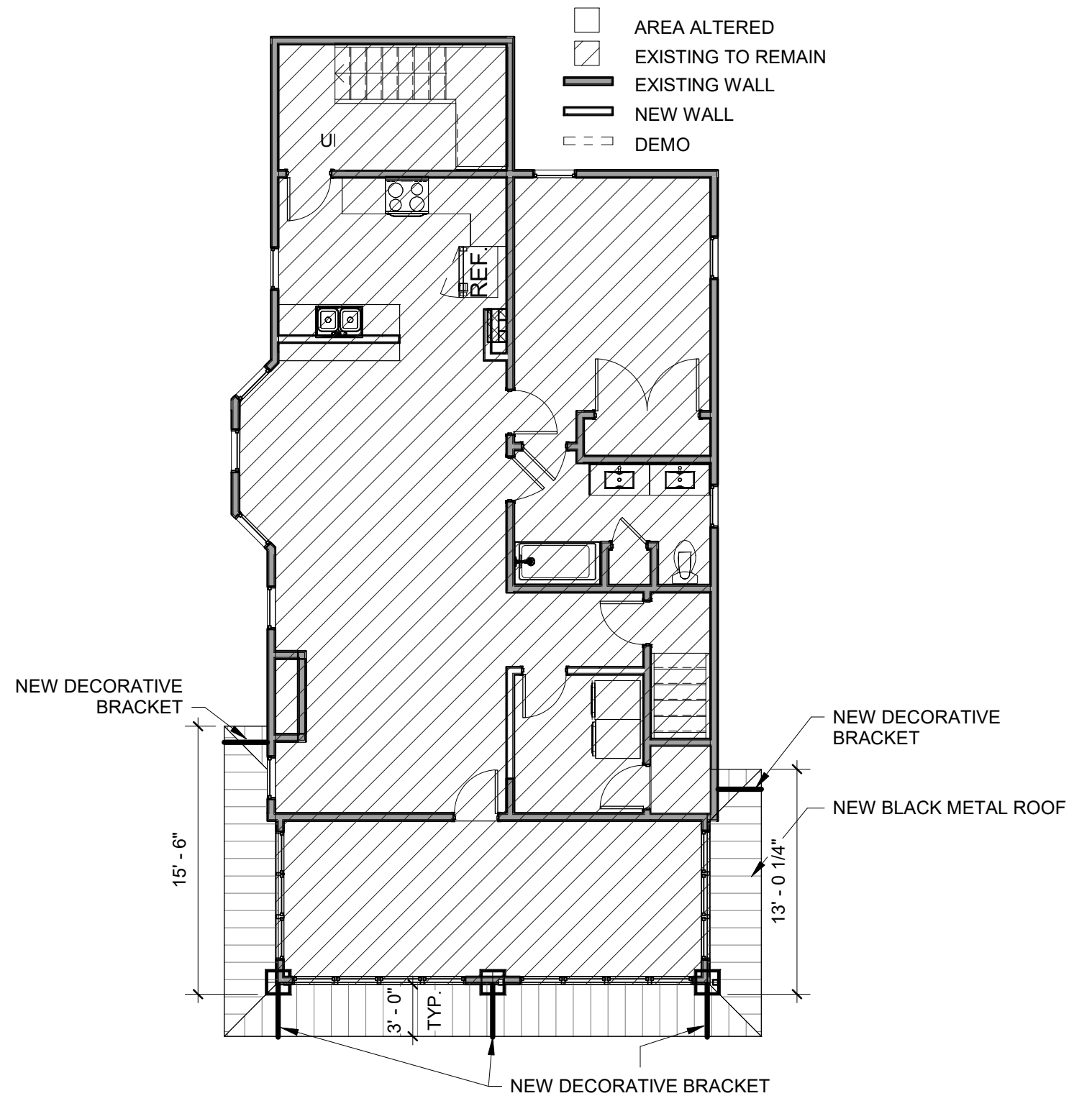
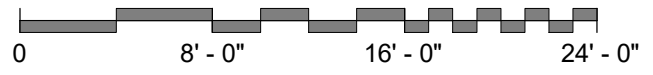
2/2/2021

1183 COOK AVE LAKEWOOD, OHIO

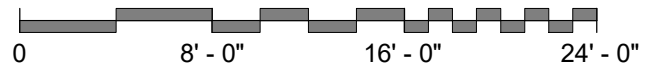
PR-1

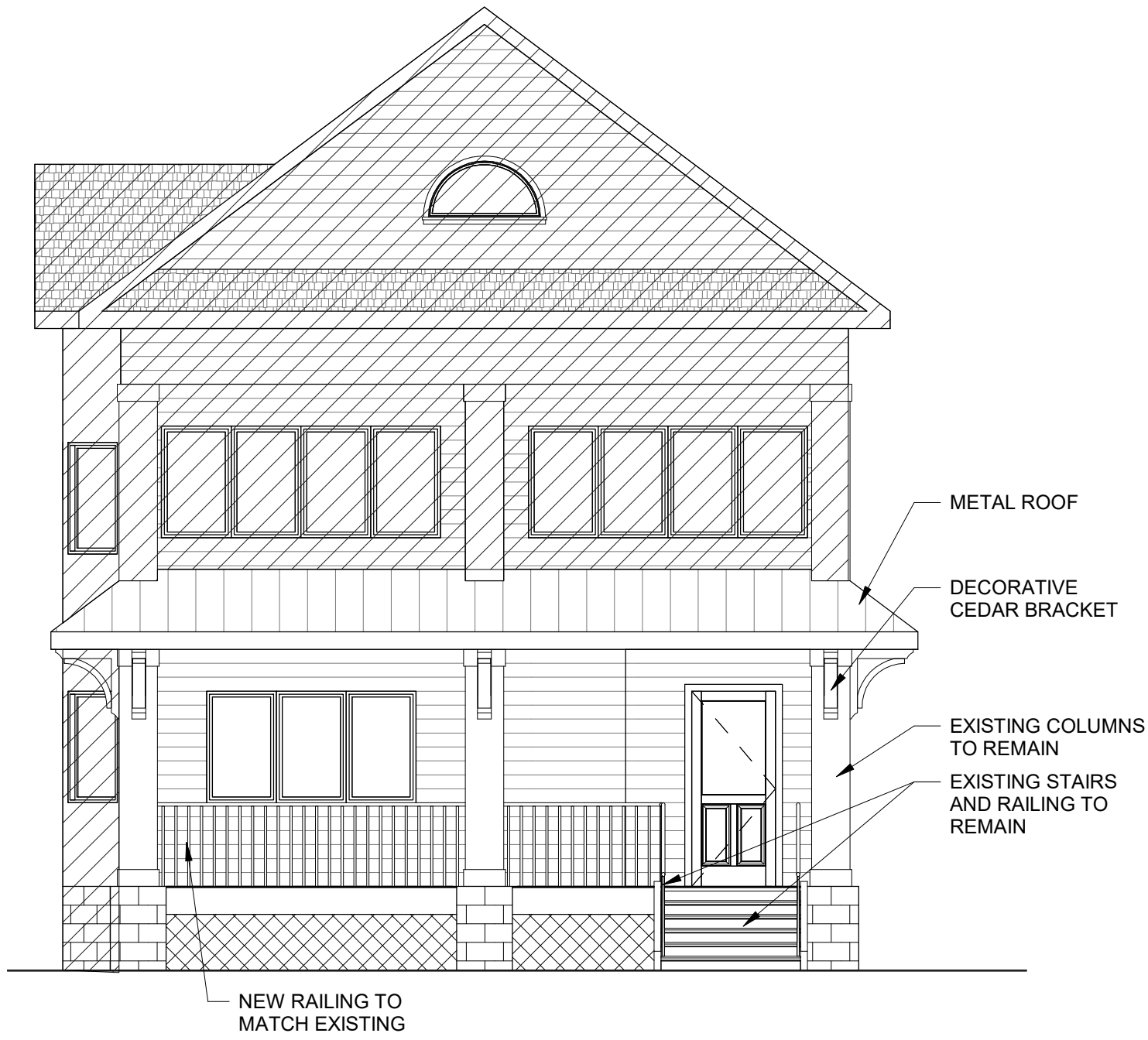


A LEVEL 01 Front Porch

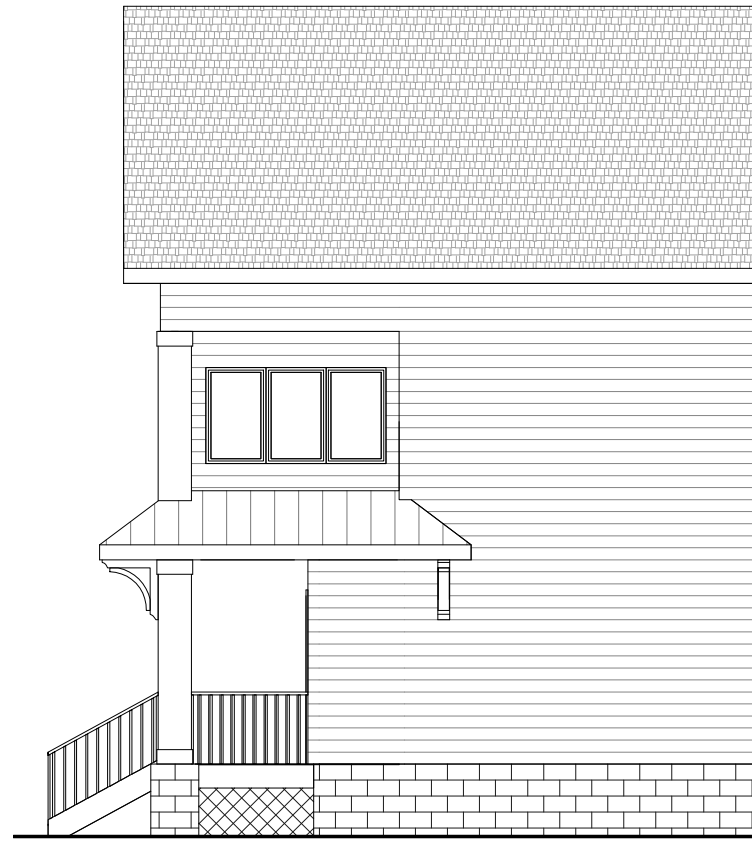


B LEVEL 2 Front Porch

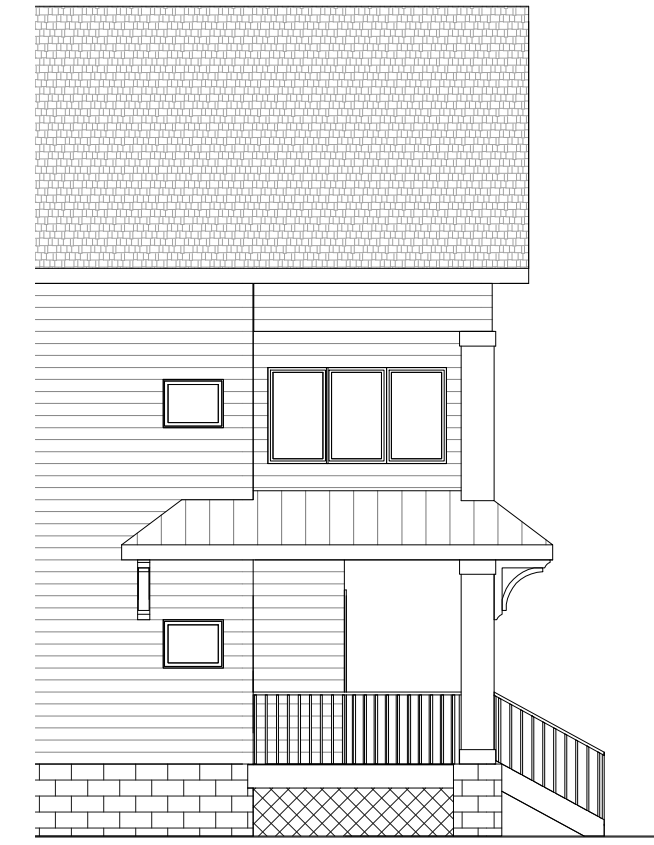




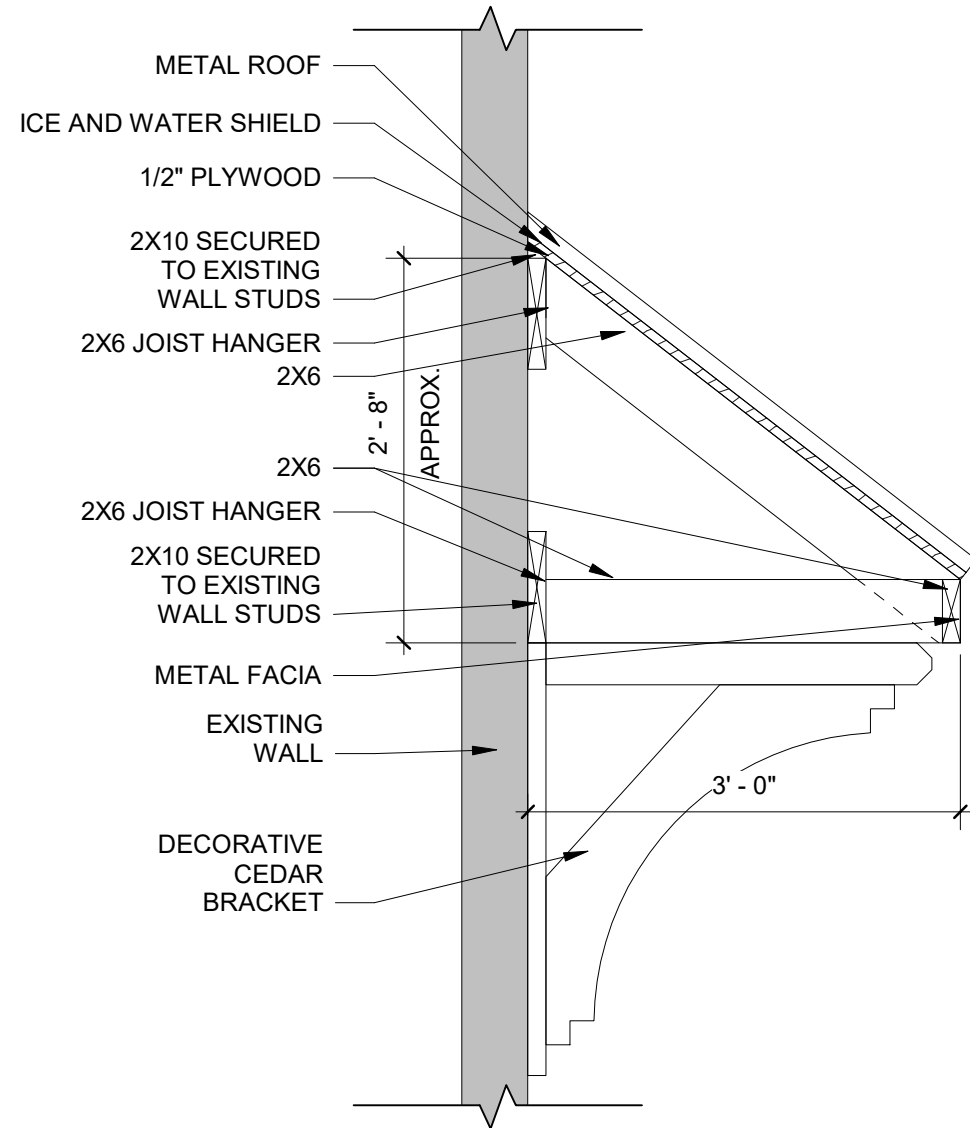
A FRONT ELEV.
 0 4'-0" 8'-0" 12'-0"



B RIGHT ELEV.
 1/8" = 1'-0"



C LEFT ELEV.
 1/8" = 1'-0"



A AWNING DETAIL
N.T.S.



B APPROX. RENDERING
N.T.S.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 03-16-21

Permit No.: BBS21-000028

Applicant Name: David Borowske, Borowske Builders Inc.

Project Address: 1553 Rockway Avenue

Project Name: n/a

Proposal: Renovation of a front porch.



JOSEPH A. MEYERS
BUILDING COMMISSIONER
216/529-6293

CHRISTOPHER S. PARMELEE
ASSISTANT BUILDING COMMISSIONER
216/529-6295

MARK D. JEWITT
PROPERTY MAINTENANCE SUPERVISOR
216/529-6291

DIVISION OF HOUSING AND BUILDING
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107 • 216/529-6270 • FAX 216/529-5930
Website: www.onelakewood.com

CERTIFICATE OF PLAN APPROVAL

APPLICATION NUMBER: RB21-000002

Property Address 1553 ROCKWAY AVE
Parcel Number 31125020
Project Description Replace front porch per plans.
Approval Date January 19, 2021

OWNER

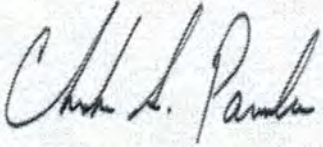
NICK VIRZI LLC
1553 ROCKWAY AVE
LAKEWOOD, OH 44107-3420
440-821-5737

Conditions of Approval

1. ***ABR approval is needed before any permits can be issued.***
2. ***Drawings show under floor space enclosed with new "Horiz Azek trim." Provide either: (a) Ventilation (RCO 408.1 & 408.2), or (b) Comply with RCO 408.3 criteria for unvented crawl space.***
3. ***Provide access to under floor space (RCO 408.4).***
4. ***Drawings show new guard along porch and stairs. Guard along porch shall prevent passage of 4" diameter sphere. (RCO 312.1.3). Guard along stairs shall prevent passage of 4 3/8" diameter sphere (RCO 312.1.3 Exception 2) except triangle formed by tread, riser, and guard bottom shall prevent passage of 6" diameter sphere (RCO 312.1.3 Exception 1). Guard along stairs shall be 34" minimum above nosings (RCO 312.1.2).***
5. ***Provide handrail along at least one side of stairs (RCO 311.7.8) 34"-38" above nosings (RCO 311.7.8.1) with grip complying with RCO 311.7.8.5 Type I or II criteria or providing equivalent graspability.***

6. *Stair risers shall be 8 1/4" maximum with 3/8" maximum variance in the flight (RCO 311.7.5.1). Stair treads shall be 9" minimum with 3/8" maximum variance in the flight (RCO 311.7.5.2).*

This approval certifies that submitted construction documents are approved in conformance with Section 105 of the Residential Code of Ohio, subject to the conditions specified above.



Christopher Parmelee
Assistant Building Commissioner

This certificate and one set of approved drawings, manufacturers' installation instructions and product information shall be kept at the work site and available for use by inspectors.

If work specified in this plan approval is not commenced within twelve (12) months of the approval date it shall expire. One extension shall be granted for an additional twelve-month period if requested by the owner at least ten days in advance of the expiration of the approval.

If substantive changes to the building are contemplated during construction, those changes must be submitted to the residential building official for review and approval prior to those changes being executed.

THIS DOCUMENT IS ONLY TO CERTIFY APPROVAL OF THE CONSTRUCTION DOCUMENTS IN CONFORMANCE WITH THE RESIDENTIAL CODE OF OHIO AND IS NOT A PERMIT TO START WORK. PERMITS MUST BE OBTAINED IN CONFORMANCE WITH THE LAKEWOOD CODE OF ORDINANCES BASED UPON THIS PLAN APPROVAL.

CITY

General Notes

Since every attempt has been made for accuracy of these drawings, it is advised that each trade review all parts of the drawings that pertain to the work of which they will be responsible and report any dimensional or other errors, to the Contractor for correction or further clarification. Some minor dimensional changes may be made in the field to accommodate mechanicals, specific materials or general field conditions. Please note that all room sizes shown on the drawings are approximate.

All footers to bear on original solid soil. Assume 3000 psf soil bearing capacity, verify as required. Adjust all footer depths as required to extend below the frost line, after field determining finish grade height, which may differ from what is shown on the drawings.

All floor joists to have solid or 1x3 "X" bracing at midspan, on all spans over 8'-0". Double joists under any parallel bearing walls above, unless noted otherwise, and add solid blocking through the floor system to transfer all point loads from above to the top of beam or foundation below.

All bearing headers to be minimum (2) 2x10s unless noted otherwise. All steel flitch plate beams and LVLs, three members wide and over, shall be through bolted with 1/2" dia. bolts at 2'-0" o.c. alternating top and bottom, and minimum two bolts at each end.

All beams to bear on jack (trimmer) studs or in walls with solid studs or blocking, to bring points below. Use 2 jack studs with all headers over 8'-0".

All hip rafters to be single 2x or LVL member, one size larger than the rafters themselves. All valley rafters to be dbl 2x or LVL members, one size larger than the rafters, or as noted otherwise, bevel bottom edge as required.

All rafters or prefabricated trusses, if any, shall be braced and secured to top of walls per manufacturers recommendations, or as required to prevent any racking, shifting or settling. Adjust rafter birdsmouths and/or wall heights as required to maintain a constant gutterboard height, especially when using different rafter member sizes or changes in roof pitches.

Window numbers shown on the elevations are " " units. Window suppliers to review and notify Contractor of any units that do not meet local egress requirements, or any units that may require tempered glass, especially if another window manufacture other than " " is used.

PROPOSED FRONT PORCH for:

HICK VIRZI
1553 ROCKWAY AVE.
LAKEWOOD, OH 44107
440-821-5737

BUILDER:

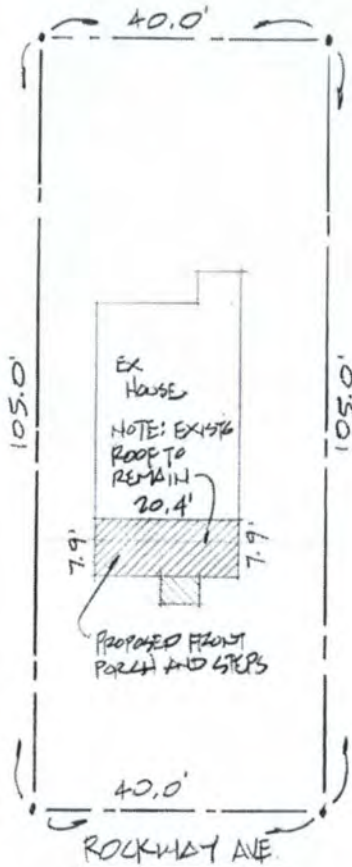
BOROWSKE BUILDERS INC.
10428 ABBEY RD.
N. ROYALTON, OH 44133
440-476-0150

City of Lakewood
PLANS APPROVED*
Case# RB21-000002
*See Certificate of Plan Approval
Christopher Parmelee
01/19/2021



MR. HICK VIRZI

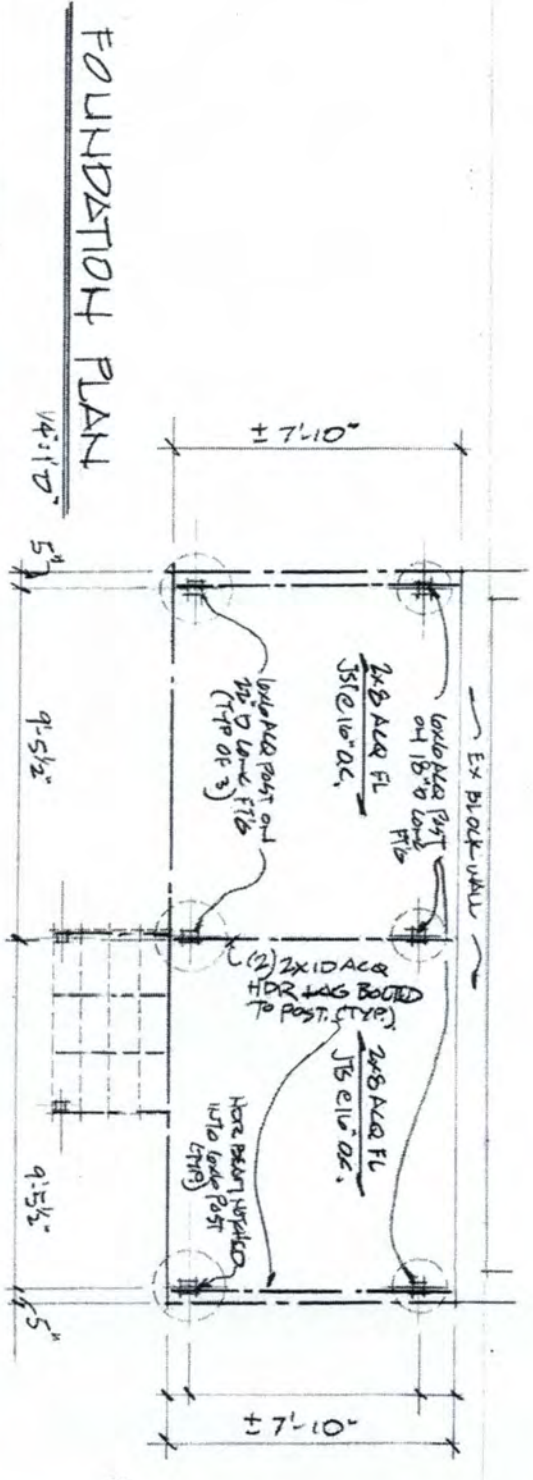
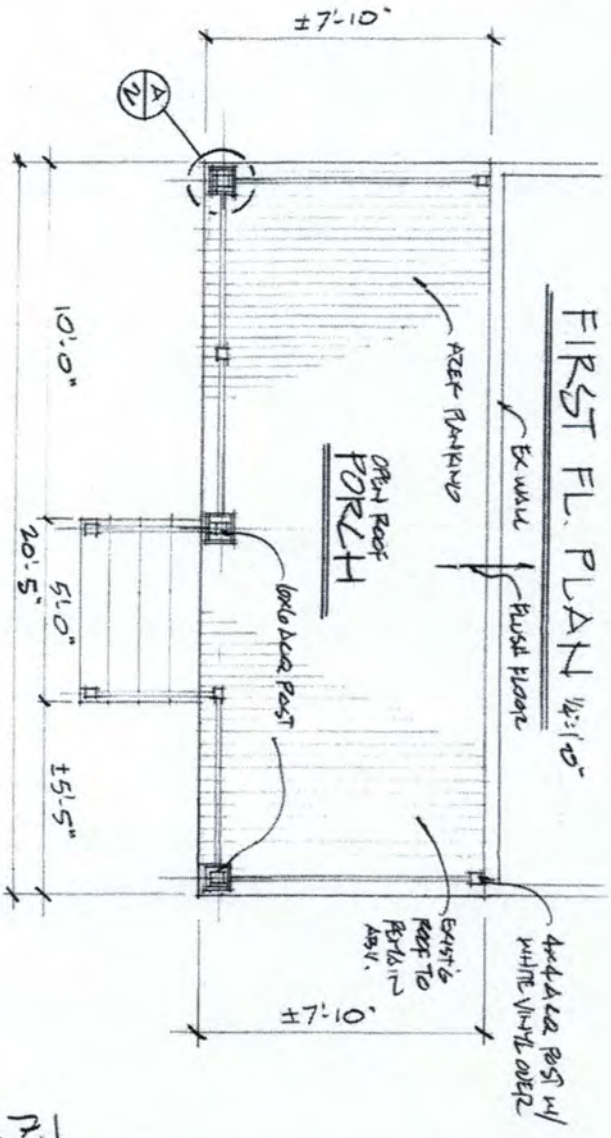
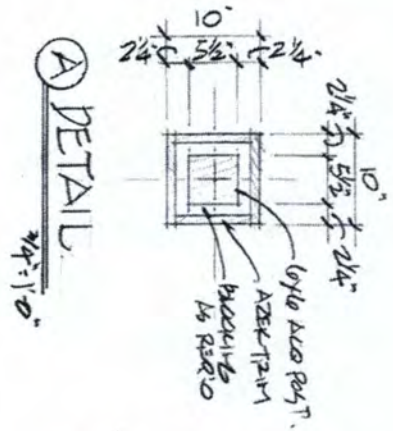
12/28/20



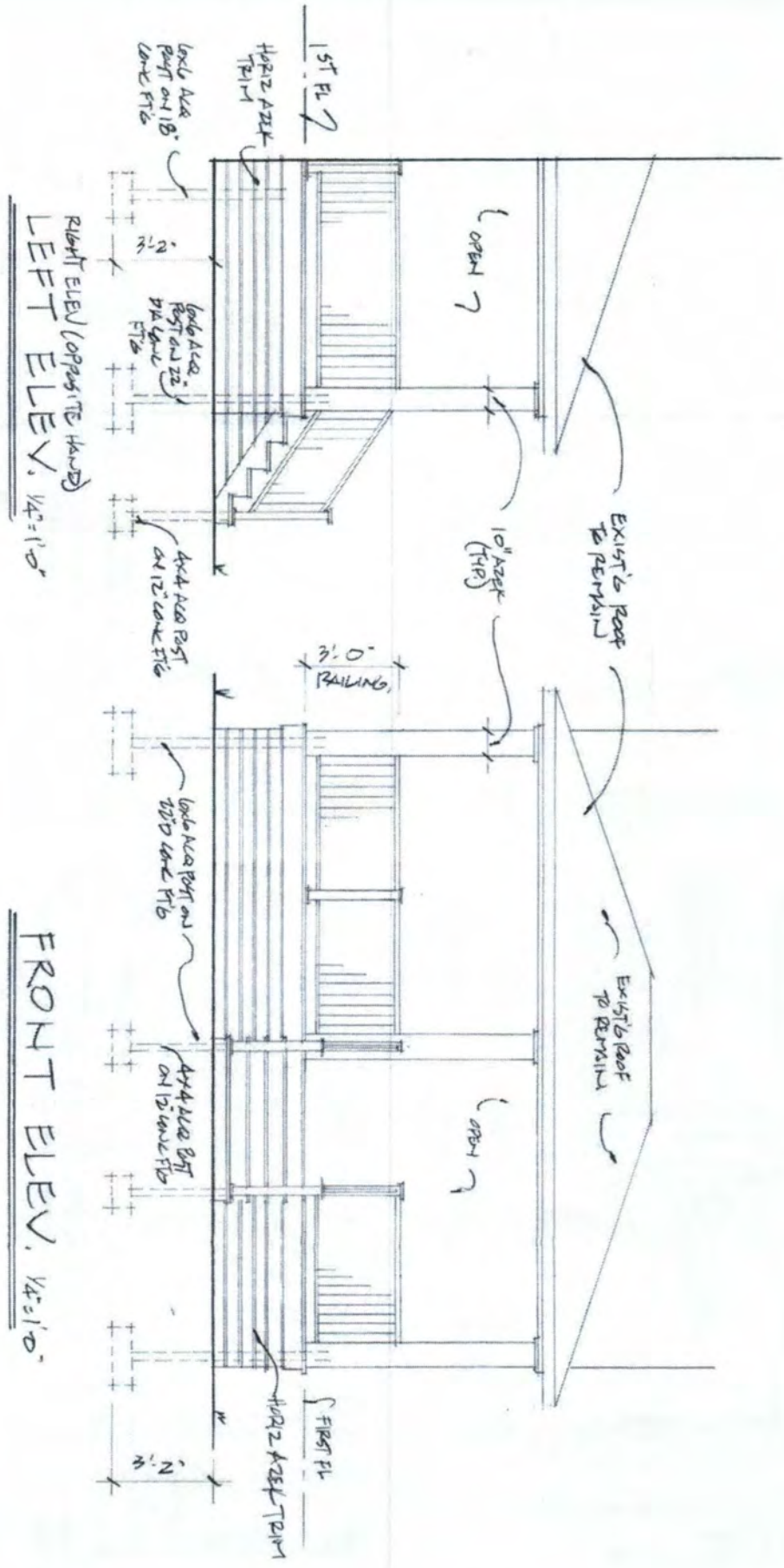
NORTH
SITE PLAN

1" = 20'-0"





12/28/20
 MR HICK VIRZI
 2



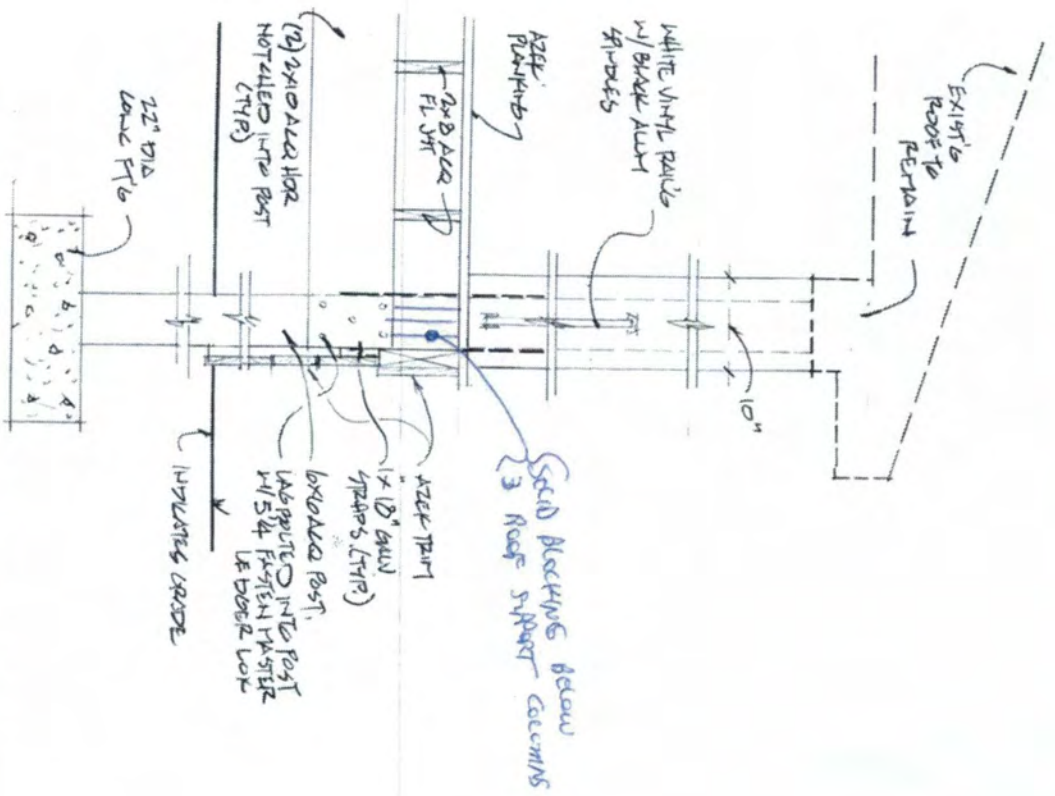
RIGHT ELEV. (OPPOSITE HAND)
 LEFT ELEV. 1/4" = 1'-0"

FRONT ELEV. 1/4" = 1'-0"

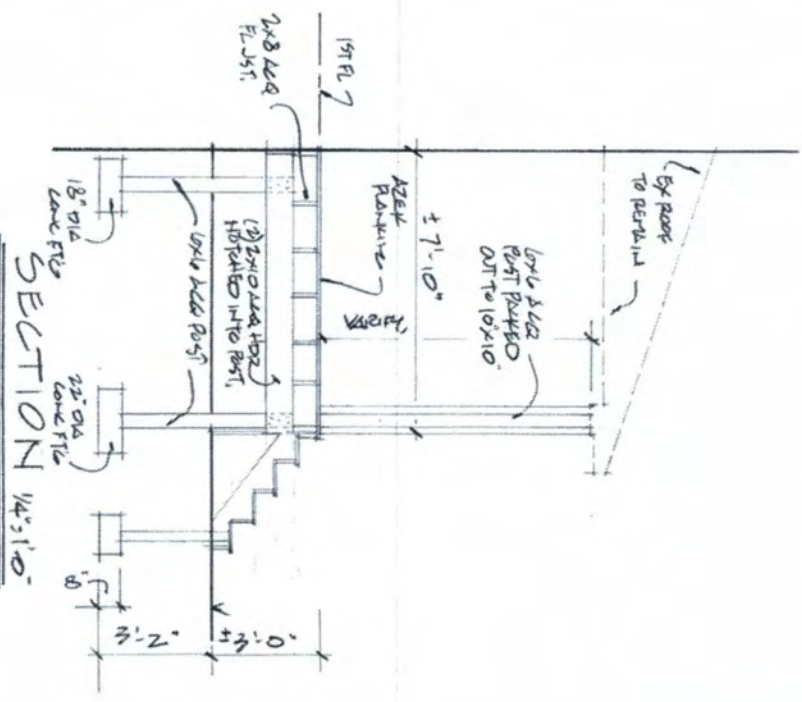
3

12/28/20

MR. NICK VIRZI



TYP WALL SECT. 3/4" x 1'-0"



SECTION 1/4" x 1'-0"













Evaluation Report CCMC 13690-R AZEK Deck

MASTERFORMAT:	06 73 15.02
Evaluation issued:	2014-04-14
Re-evaluated:	2014-05-22
Re-evaluation due:	2017-04-14

1. Opinion

It is the opinion of the Canadian Construction Materials Centre (CCMC) that "AZEK Deck", when used as exterior decking in accordance with the conditions and limitations stated in Section 3 of this Report, complies with the National Building Code 2010:

- Clause 1.2.1.1.(1)(a), Division A, using the following acceptable solutions from Division B:
 - Article 9.4.2.2., Specified Snow Loads
 - Article 9.4.2.3., Platforms Subject to Snow and Occupancy Loads
 - Article 9.8.9.1., Loads on Stairs and Ramps
 - Article 9.8.9.6., Finish for Treads and Landings
- Clause 1.2.1.1.(1)(b), Division A, as an alternative solution that achieves at least the minimum level of performance required by Division B in the areas defined by the objectives and functional statements attributed to the following applicable acceptable solutions:
 - Article 9.3.2.9., Termite and Decay Protection
 - Article 9.4.2.1., Application
 - Article 9.4.3.1., Deflections
 - Article 9.8.9.3., Exterior Wood Steps
 - Article 9.23.15.5., Subfloor Thickness or Rating

This opinion is based on CCMC's evaluation of the technical evidence in Section 4 provided by the Report Holder.

2. Description

"AZEK Deck" Harvest mono-extruded deck boards are made from foamed polyvinyl chloride (PVC) and cellulosic fibre with ultraviolet (UV)-resistant additives and colorants. "AZEK Deck" Arbor, Terra and Harvest co-extruded deck boards are made from PVC and proprietary mineral additives with UV-resistant additives and colorants. The composite products are manufactured through a continuous extrusion/co-extrusion process into planks of solid cross-sections of varying thicknesses. Typical board dimensions are 140 mm wide by 25 mm thick.

The product is intended to be used as exterior decking to be installed over traditional structural wood framing.

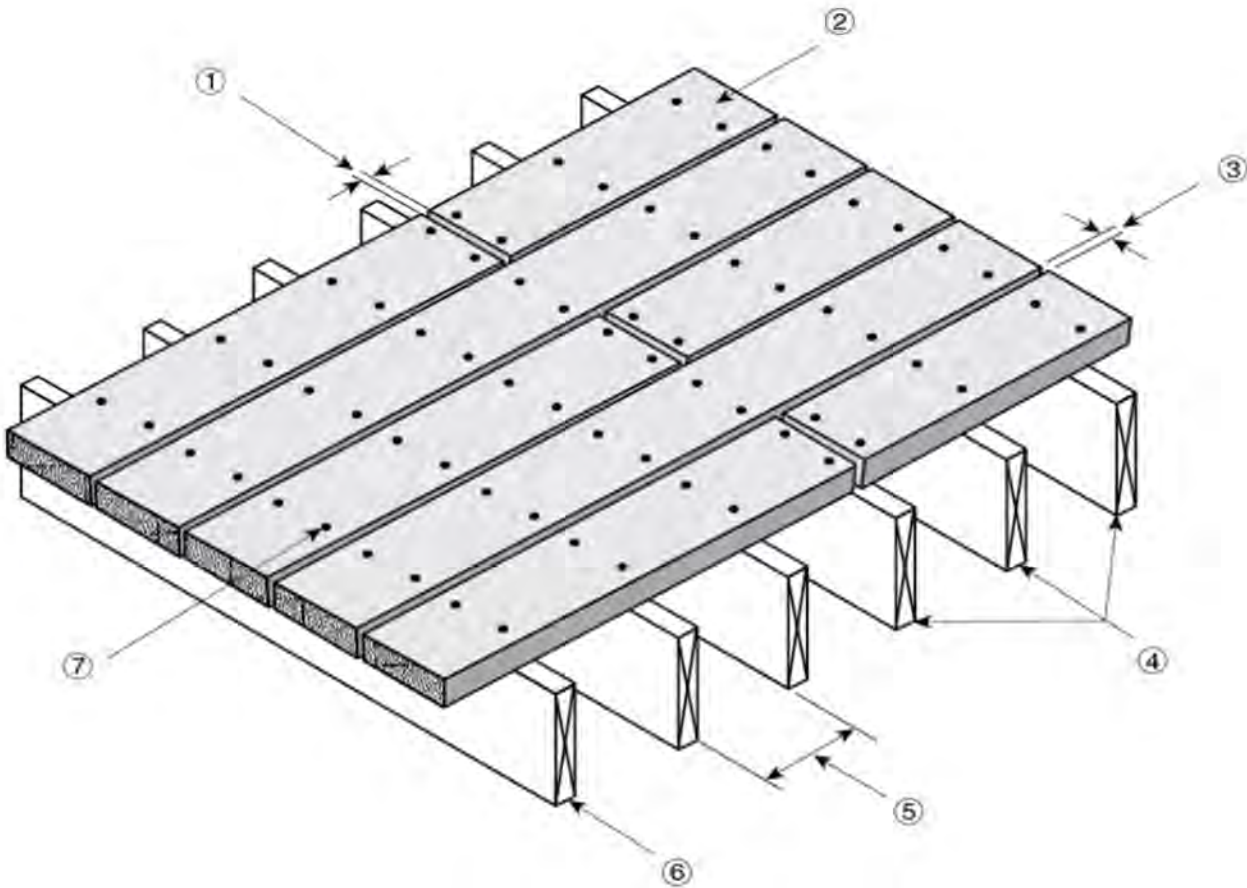


Figure 1. Installation details for the product

1. no gapping necessary
2. "AZEK Deck" board
3. 3 mm to 6 mm gapping
4. minimum of 3 joists per deck board
5. maximum joist spacing at 400 mm o.c.
6. joist designed to support applicable loads
7. two 57-mm-long fasteners per support

3. Conditions and Limitations

CCMC's compliance opinion in Section 1 is bound by the "AZEK Deck" being used in accordance with the conditions and limitations set out below.

- The product must be installed with supports spaced no greater than 400 mm on centre (o.c.). Each plank must be supported by at least three joists.
- The product must be fastened to the wood joists with fasteners specified by the manufacturer and conforming to Article 9.23.3.1., Standards for Nails and Screws, of Division B of the NBC 2010. The fasteners must have a corrosion protection coating or be made of stainless steel. The planks must be fastened with at least two 57-mm-long fasteners per support.
Note: As of January 2004, pressure-treated lumber requires specific hot-dipped galvanized fasteners for satisfactory performance.
- The width-to-width gapping can vary from 3 mm (0.12 in.) to 6 mm (0.24 in.).
- The product can be used where termite protection is required as per Article 9.3.2.9. of Division B of the NBC 2010.
- The product can be used as stair treads at 230 mm (9 in.) o.c. spacing.
- The product is **not** to be considered as an equivalent to dimensional lumber.

4. Technical Evidence

The Report Holder has submitted technical documentation for CCMC's evaluation. Testing was conducted at laboratories recognized by CCMC. The corresponding technical evidence for this product is summarized below.

4.1 Material Requirements

Table 4.1.1 Test Results for Basic Physical and Mechanical Properties

Property		Unit	Requirement	Result ¹	
Dimensional change	coefficient of linear expansion (thermal)	°C ⁻¹	$< 2 \times 10^{-5}$	1.69×10^{-6}	
	coefficient of linear expansion (swelling)	oven-dry to vacuum pressure soak	%	≤ 0.5, by 80% of specimens	0.13
Strength and stiffness	flexural rigidity (EI)	kN·mm ²	≥ 300 000	Pass	
	moment capacity (Mr)	N·mm	≥ 190 000	Pass	
Creep, recovery and load duration			≤ 25 for creep	18	
			≥ 75 for recovery	84	
			No failure	Pass	
Strength and stiffness after aging	weathering	impact resistance	%	≥ 75 of non-weathered value	78%
				accelerated aging	EI
	Mr	Pass			
Fastener holding capacity	nail withdrawal strength	N	≥ 600	2 626	
	lateral nail strength	N	≥ 720	1 416	
Flame-spread rating		—	≤ 200	25	

Note to Table 4.1.1:

¹ Test results were obtained to classify the product and are not intended to be used for engineering design properties.

4.2 Performance Requirements

Table 4.2.1 Test Results for Performance Under Both Concentrated Static Loads and Impact Loads

Property		Requirement		Result ¹	
		Minimum Ultimate Load (kN)	Maximum Deflection under 0.89-kN Load (mm)	Ultimate Load (kN)	Deflection under 0.89-kN Load (mm) ²
Concentrated load	decking at 50°C	2.45	2.0	2.59	10.29
	decking at 20°C			6.90	3.71
	decking at -35°C			4.30	4.05
		Minimum Ultimate Load Following Impact Load (kN)	Maximum Deflection under 0.89-kN Load Following Impact Load (mm)	Ultimate Load Following Impact Load (kN)	Deflection under 0.89-kN Load Following Impact Load (mm)
Impact load of 102 N·m	decking at 50°C	1.78	2.0	1.78	7.63 ³

Notes to Table 4.2.1:

- ¹ Test results for planks with supports at 400 mm o.c.
- ² The deflection results exceed the requirements. The additional deflection will not impact the overall performance.
- ³ Deemed acceptable. Although this result (7.63 mm) exceeds the 2.0 mm requirement, the additional deflection is not considered significant for material at 50°C. No failure after impact load and recovery was greater than 96%.

Table 4.2.2 Test Results for Durability

Property	Requirement	Result	
		S.P.F Lumber	"AZEK Deck" Board
Bending stiffness	Mean percentage loss in bending modulus of elasticity (MOE) after UV exposure ¹ and accelerated aging ² must be less than or equal to spruce lumber.	23.0%	Pass
Bending strength	Mean percentage loss in bending stress modulus of rupture (MOR) after UV exposure ¹ and accelerated aging ² must be less than or equal to spruce lumber.	28.3%	Pass

Notes to Table 4.2.2:

- ¹ 4 500 hours of Xenon-Arc exposure following Cycle 1 of ASTM D 2565-99, "Standard Practice for Xenon-Arc Exposure of Plastics Intended for Outdoor Applications."
- ² Five cycles of accelerated aging (wetting, freezing, thawing and drying)

Table 4.2.3 Test Results for Termite Resistance

Property	Requirement	Result
Termite resistance	Rating must be equal to or better than preservative-treated wood conforming to CAN/CSA-O80.1.	Pass

Table 4.2.4 Test Results for Performance Under Concentrated Static Load – Stair Tread

Property		Requirement		Result ¹
		Minimum Ultimate Load (kN)	Maximum Deflection under 1 kN (mm)	Deflection under 1 kN (mm)
Concentrated load	stair tread	1 ²	0.75	1.33 ⁴
	stair tread nosing	1 ³		1.64

Notes to Table 4.2.4:

- 1 Test results are for stair stringers spaced at 230 mm o.c. at a test condition of 50°C and 80% RH. Three specimens were tested for each test.
- 2 Applied through a 75-mm-diameter disk positioned at the centre line of the plank and midway between stringers.
- 3 Applied through a 38-mm-diameter disk positioned along the outside edge of the nosing at the stringer location.
- 4 Deemed acceptable as the deflection is still very low at 50°C.

4.3 Additional Performance Data

Data in this section does not form part of CCMC's opinion in Section 1.

Table 4.3.1 Test Results for Additional Performance Data¹

Property		Unit	Reference Value	Result
Dimensional tolerances	width	mm	—	140
	thickness	mm	—	25
Density		kg/m ³	—	661
Hardness (11.28-mm-diameter ball)		kN	≥ 1.8	659
Slip resistance (longitudinal)	dry condition	—	≥ 0.5	0.28 ²
	wet condition			0.59

Notes to Table 4.3.1:

- 1 Results provided in Table 4.3.1 do not invalidate CCMC's opinion concerning the product's compliance with the NBC 2010.

-
- 2 Having fallen to 0.28 under the dry condition, no surface finishes met the 0.5 criterion. This criterion may not meet all occupant expectations. The manufacturer may be contacted for further information.
-

Report Holder

Azek Building Products
888 N. Keyser Ave.
Scranton, PA 18504
U.S.A.

Telephone: 570-558-8000

Fax: 570-558-8200

Plant(s)

Scranton, PA, U.S.A.
Foley, AL, U.S.A.

Disclaimer

This Report is issued by the Canadian Construction Materials Centre, a program of NRC Construction at the National Research Council of Canada. The Report must be read in the context of the entire CCMC Registry of Product Evaluations, including, without limitation, the introduction therein which sets out important information concerning the interpretation and use of CCMC Evaluation Reports.

Readers must confirm that the Report is current and has not been withdrawn or superseded by a later issue. Please refer to http://www.nrc-cnrc.gc.ca/eng/solutions/advisory/ccmc_index.html, or contact the Canadian Construction Materials Centre, NRC Construction, National Research Council of Canada, 1200 Montreal Road, Ottawa, Ontario, K1A 0R6. Telephone (613) 993-6189. Fax (613) 952-0268.

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Date modified:
2014-06-09



Trim | Siding | Deck | Porch | Rail | Pavers

AZEK Deck

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

Revision date: 09/04/2014

Issue date: 09/04/2014

Version: 1.0

SECTION 1: IDENTIFICATION

1.1. Product Identifier

Product Form: Article

Product Name: AZEK Deck

1.2. Intended Use of the Product

Use of the substance/mixture: Construction

1.3. Name, Address, And Telephone Of The Responsible Party

Company

CPG International LLC.

888 North Keyser Ave

Scranton, PA, 18504

570-558-8000

www.AZEK.com

Manufacturer

AZEK Building Products, Inc.

888 North Keyser Ave

Scranton, PA, 18504

570-558-8000

1.4. Emergency telephone number

570-558-8000

SECTION 2: HAZARDS IDENTIFICATION

2.1. Classification of the Substance or Mixture

Classification (GHS-US)

Not Classified. Within the meaning of the OSHA Hazard Communication Standard [29 CFR 1910.1200]: this mixture is not considered a hazard when used in a manner which is consistent with the labeled directions. This mixture is considered an article in its final form.

2.2. Label Elements

No additional information available

2.3. Other Hazards

Other Hazards: Cutting, sawing, grinding, or other operations that generate dust may raise nuisance particles that can cause mechanical irritation to the skin, eyes, or respiratory tract. Polyvinyl chloride dust accumulation can present a dust explosion hazard. Take necessary measures to limit dust production, and follow applicable regulations.

2.4. Unknown Acute Toxicity (GHS-US)

No data available

SECTION 3: COMPOSITION/INFORMATION ON INGREDIENTS

3.1. Substance

Not applicable

3.2. Mixture

Within the meaning of the OSHA Hazard Communication Standard [29 CFR 1910.1200]: this mixture is not considered a hazard when used in a manner which is consistent with the labeled directions

SECTION 4: FIRST AID MEASURES

4.1. Description of First Aid Measures

First-aid Measures General: If injury occurs or if you feel unwell seek medical advice.

First-aid Measures After Inhalation: Not expected to present a significant inhalation hazard under anticipated conditions of normal use. Obtain medical attention if breathing difficulty persists.

First-aid Measures After Skin Contact: None expected under normal conditions of use. Obtain medical attention if irritation develops or persists.

First-aid Measures After Eye Contact: Adverse effects not expected from this product. Obtain medical attention if pain, blinking or redness persist.

First-aid Measures After Ingestion: Not expected to be a primary route of exposure. Get medical advice and attention if you feel unwell.

4.2. Most important symptoms and effects, both acute and delayed

Symptoms/Injuries: Not expected to present a significant hazard under anticipated conditions of normal use. Prolonged contact with large amounts of dust may cause mechanical irritation. Final product may have sharp edges.

Symptoms/Injuries After Inhalation: Not expected to present a significant inhalation hazard under anticipated conditions of normal use.

AZEK Deck

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

Symptoms/Injuries After Skin Contact: Not expected to be a primary route of exposure. Risk of thermal burns on contact with molten product.

Symptoms/Injuries After Eye Contact: Not expected to be a primary route of exposure. Excessive dust production at the time of cutting may cause minor eye irritation.

Symptoms/Injuries After Ingestion: Ingestion is not considered a potential route of exposure.

Chronic Symptoms: Repeated or prolonged inhalation of dust particles may cause effects on the lungs. This may result in fibrosis (pneumoconiosis).

4.3. Indication of Any Immediate Medical Attention and Special Treatment Needed

If you feel unwell, seek medical advice (show the label where possible).

SECTION 5: FIRE-FIGHTING MEASURES

5.1. Extinguishing Media

Suitable Extinguishing Media: Use extinguishing media appropriate for surrounding fire.

Unsuitable Extinguishing Media: Do not use a heavy water stream. Use of heavy stream of water may spread fire.

5.2. Special Hazards Arising From the Substance or Mixture

Fire Hazard: Not flammable.

Explosion Hazard: Product is not explosive.

Reactivity: Hazardous reactions will not occur under normal conditions.

5.3. Advice for Firefighters

Precautionary Measures Fire: Exercise caution when fighting any chemical fire.

Protection During Firefighting: Do not enter fire area without proper protective equipment, including respiratory protection.

Other information: Do not allow run-off from fire fighting to enter drains or water courses.

SECTION 6: ACCIDENTAL RELEASE MEASURES

6.1. Personal Precautions, Protective Equipment and Emergency Procedures

General Measures: Avoid breathing (dust, fume). Final product may have sharp edges.

6.1.1. For Non-emergency Personnel

Protective Equipment: Use appropriate personal protection equipment (PPE).

Emergency Procedures: Evacuate unnecessary personnel.

6.1.2. For Emergency Responders

Protective Equipment: Equip cleanup crew with proper protection.

Emergency Procedures: Ventilate area.

6.2. Environmental Precautions

Prevent entry to sewers and public waters.

6.3. Methods and Material for Containment and Cleaning Up

For Containment: Contain and collect as any solid.

Methods for Cleaning Up: Clear up spills immediately and dispose of waste safely.

6.4. Reference to Other Sections See heading 8, Exposure Controls and Personal Protection

SECTION 7: HANDLING AND STORAGE

7.1. Precautions for Safe Handling

Additional Hazards When Processed: Product dust is combustible. Avoid dust production that exceeds permissible exposure limits. Final product may have sharp edges. Risk of thermal burns on contact with molten product. Cutting, sawing, grinding, or other operations that generate dust may raise nuisance particles that can cause mechanical irritation to the skin, eyes, or respiratory tract. Polyvinyl chloride dust accumulation can present a dust explosion hazard. Take necessary measures to limit dust production, and follow applicable regulations.

Hygiene Measures: Handle in accordance with good industrial hygiene and safety procedures. Wash hands and other exposed areas with mild soap and water before eating, drinking, or smoking and again when leaving work. Do not eat, drink or smoke when using this product.

7.2. Conditions for Safe Storage, Including Any Incompatibilities

Storage Conditions: Store in original packaging away from open flame and incompatible materials.

Incompatible Products: Strong bases. Strong oxidizers. Strong acids.

7.3. Specific End Use(s)

Construction.

SECTION 8: EXPOSURE CONTROLS/PERSONAL PROTECTION

8.1. Control Parameters

The final product is considered an article and not hazardous in its final form under normal conditions of use according to 29CFR 1910.1200. The ingredients contained within this product are not expected to be bioavailable under normal conditions of use.

AZEK Deck

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

8.2. Exposure Controls

Appropriate Engineering Controls

: Provide adequate ventilation to minimize dust concentrations.

Personal Protective Equipment

: Safety glasses. Gloves. Insufficient ventilation: wear respiratory protection.



Materials for Protective Clothing

: Not required for normal conditions of use. As necessary when handling hot or molten product, wear protective clothing.

Hand Protection

: If handling hot or molten product wear insulated gloves, otherwise wear work gloves.

Eye Protection

: Chemical goggles or safety glasses.

Respiratory Protection

: Use NIOSH-approved air-purifying or supplied-air respirator where airborne concentrations of dust are expected to exceed exposure limits.

Consumer Exposure Controls

: Do not eat, drink or smoke during use.

SECTION 9: PHYSICAL AND CHEMICAL PROPERTIES

9.1. Information on Basic Physical and Chemical Properties

Physical State	: Solid
Appearance	: Varies
Odor	: None
Odor Threshold	: No data available
pH	: No data available
Relative Evaporation Rate (butylacetate=1)	: No data available
Melting Point	: No data available
Freezing Point	: No data available
Boiling Point	: No data available
Flash Point	: No data available
Auto-ignition Temperature	: No data available
Decomposition Temperature	: No data available
Flammability (solid, gas)	: No data available
Vapor Pressure	: No data available
Relative Vapor Density at 20 °C	: No data available
Relative Density	: No data available
Solubility	: No data available
Partition coefficient: n-octanol/water	: No data available
Viscosity	: No data available

9.2. Other Information

No additional information available

SECTION 10: STABILITY AND REACTIVITY

- 10.1 Reactivity:** Hazardous reactions will not occur under normal conditions.
- 10.2 Chemical Stability:** Stable at standard temperature and pressure. Sustained temperatures above 150°F may cause slow degradation.
- 10.3 Possibility of Hazardous Reactions:** Hazardous polymerization will not occur.
- 10.4 Conditions to Avoid:** Temperatures capable of producing combustion. Incompatible materials.
- 10.5 Incompatible Materials:** Strong bases. Strong oxidizers. Strong acids.
- 10.6 Hazardous Decomposition Products:** Carbon oxides (CO, CO₂). Hydrogen chloride. Toxic gases. Phosgene.

SECTION 11: TOXICOLOGICAL INFORMATION

11.1. Information On Toxicological Effects

Acute Toxicity: Not classified

The final product is considered an article and not hazardous in its final form under normal conditions of use according to 29CFR 1910.1200. The ingredients contained within this product are not expected to be bioavailable under normal conditions of use.

Skin Corrosion/Irritation: Not classified

Serious Eye Damage/Irritation: Not classified

Respiratory or Skin Sensitization: Not classified

Germ Cell Mutagenicity: Not classified

Carcinogenicity: Not classified

Reproductive Toxicity: Not classified

AZEK Deck

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

Specific Target Organ Toxicity (Single Exposure): Not classified

Specific Target Organ Toxicity (Repeated Exposure): Not classified

Aspiration Hazard: Not classified

Symptoms/Injuries After Inhalation: Not expected to present a significant inhalation hazard under anticipated conditions of normal use.

Symptoms/Injuries After Skin Contact: Not expected to be a primary route of exposure. Risk of thermal burns on contact with molten product.

Symptoms/Injuries After Eye Contact: Not expected to be a primary route of exposure. Excessive dust production at the time of cutting may cause minor eye irritation.

Symptoms/Injuries After Ingestion: Ingestion is not considered a potential route of exposure.

Chronic Symptoms: Repeated or prolonged inhalation of dust particles at levels exceeding permissible exposure limits may cause effects on the lungs. This may result in fibrosis (pneumoconiosis).

SECTION 12: ECOLOGICAL INFORMATION

12.1. Toxicity

The final product is considered an article and not hazardous in its final form under normal conditions of use according to 29CFR 1910.1200. The ingredients contained within this product are not expected to be bioavailable under normal conditions of use.

12.2. Persistence and Degradability No additional information available

12.3. Bioaccumulative Potential No additional information available

12.4. Mobility in Soil No additional information available

12.5. Other Adverse Effects No additional information available

SECTION 13: DISPOSAL CONSIDERATIONS

13.1. Waste treatment methods

Sewage Disposal Recommendations: Do not empty into drains; dispose of this material and its container in a safe way.

Waste Disposal Recommendations: Dispose of waste material in accordance with all local, regional, national, and international regulations.

SECTION 14: TRANSPORT INFORMATION

In Accordance With ICAO/IATA/IMDG/DOT

14.1. UN Number Not regulated for transport

14.2. UN Proper Shipping Name Not regulated for transport

14.3. Additional Information Not regulated for transport

Transport by Sea Not regulated for transport

Air Transport Not regulated for transport

SECTION 15: REGULATORY INFORMATION

15.1 US Federal Regulations

The final product is considered an article and not hazardous in its final form under normal conditions of use according to 29CFR 1910.1200. The ingredients contained within this product are not expected to be bioavailable under normal conditions of use.

15.2 US State Regulations

The final product is considered an article and not hazardous in its final form under normal conditions of use according to 29CFR 1910.1200. The ingredients contained within this product are not expected to be bioavailable under normal conditions of use.

SECTION 16: OTHER INFORMATION, INCLUDING DATE OF PREPARATION OR LAST REVISION

Revision date : 09/04/2014

Data Sources : This document has been prepared in accordance with the SDS requirements of the OSHA Hazard Communication Standard 29 CFR 1910.1200.

Other Information : Within the meaning of the OSHA Hazard Communication Standard [29 CFR 1910.1200]: this mixture is not considered a hazard when used in a manner which is consistent with the labeled directions. This mixture is considered an article in its final form.

This information is based on our current knowledge and is intended to describe the product for the purposes of health, safety and environmental requirements only. It should not therefore be construed as guaranteeing any specific property of the product.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 03-17-21

Permit No.: BBS21-000026

Applicant Name: Christian Fedor

Project Address: 2055 Riverside Drive

Project Name: n/a

Proposal: Addition of a front patio.

Addition and Renovation to The Fedor Residence

2055 Riverside Drive

Lakewood, Ohio

GENERAL PROJECT DATA

All codes govern over drawings.
 Codified Ordinances of Lakewood, Ohio
 2019 Residential Code of Ohio
 2019 National Electric Code
 2019 Ohio Mechanical Code
 2019 Ohio Plumbing Code
 2019 Energy Code

Use Group Classification:
 Use Group R-4 (Residential: Single Family)

Construction Classification:
 Wood Frame, Type 5b, Unprotected

GENERAL NOTES

All work to be performed in accordance with applicable national, state & local codes & ordinances.

Each contractor shall verify all dimensions and conditions as they pertain to the acceptable completion of their work.

Written dimensions take precedence over scaled dimensions. Notify Architect of any discrepancies.

All interior walls are 3-1/2" (u.n.o.)

All materials used in this job shall be of the best quality in their particular field. Materials shall be installed according to manufacturer's directions and recommendations.

All workmanship in this job shall be first quality.

Provide require clearances between wood framing or combustible framing and masonry fireplace per Section 1001 of the Residential Code of Ohio.

Contractor to schedule special inspection for the Soil Bearing Capacity listed on Sheet A-11 (Foundation Notes) per Section 108.2.10 of the Residential Code of Ohio.

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by The Arcus Group, Inc., The client recognizes that such changes and results thereof are not the responsibility of The Arcus Group, Inc. Therefore, the client agrees to release The Arcus Group, Inc. from any liability arising from the construction, use or result of such changes. In addition, the client agrees, to the fullest extent permitted by law, to indemnify and hold The Arcus Group, Inc. harmless from any damage, liability or cost (including reasonable attorneys' fees and costs of defense) arising from such changes, except only those damages, liabilities and costs arising from the sole negligence or willful misconduct of The Arcus Group, Inc.

PROJECT DESCRIPTION

Abbreviated written summary: Addition and renovation to an existing 1-1/2 story frame residence, located in Lakewood, Ohio.

Work included: Architectural, Structural, Mechanical, Plumbing & Electrical.

The contractor shall provide all labor, materials, tools and equipment, required to complete the work in accordance with the plans, specifications and applicable building codes. All work must be fulfilled in a first class manner at a level higher than accepted industry standards.

The mechanical, plumbing, and electrical work of this contract shall be completed on a design build basis with the installing contractor, meeting all requirements of the applicable buildings codes, whether referenced herein or not.

All contractors and subcontractors for the work of this contract shall be properly licensed and registered in accordance with the regulations of the City of Lakewood.

SITE NOTES

Prior to construction, basement and footer elevations are to be verified by the builder/contractor and if any discrepancy exists between the house plans and the architect and civil engineer shall be notified.

General contractor shall provide the required topographical surveys and engineering required by Lakewood, Ohio.

General contractor shall verify residence location and all sewer connections, heights and sizes.

General contractor shall determine if a sump pump is required for this property. Provide alternate bid for sump pump.

General contractor shall verify all dimensions with site utility, grading and floor plans.

General contractor shall clean and remove all debris from the site.

General contractor shall provide all permit fees during construction.

General contractor shall guarantee all work for a period of one year after the date of substantial completion of the work.

Verify location and provide protection for existing site utility(ies) prior to construction.

TREE PROTECTION AREAS

Provide tree protection fencing, 2-1/2"x2-1/2" steel posts or approved equal, 10'-0" O.C. max. Use approved snow fence or orange mesh construction fencing material, minimum 4'-0" high.

Install protection fencing to surround existing trees scheduled to remain. Locate protective fencing directly below the drip line of such trees.

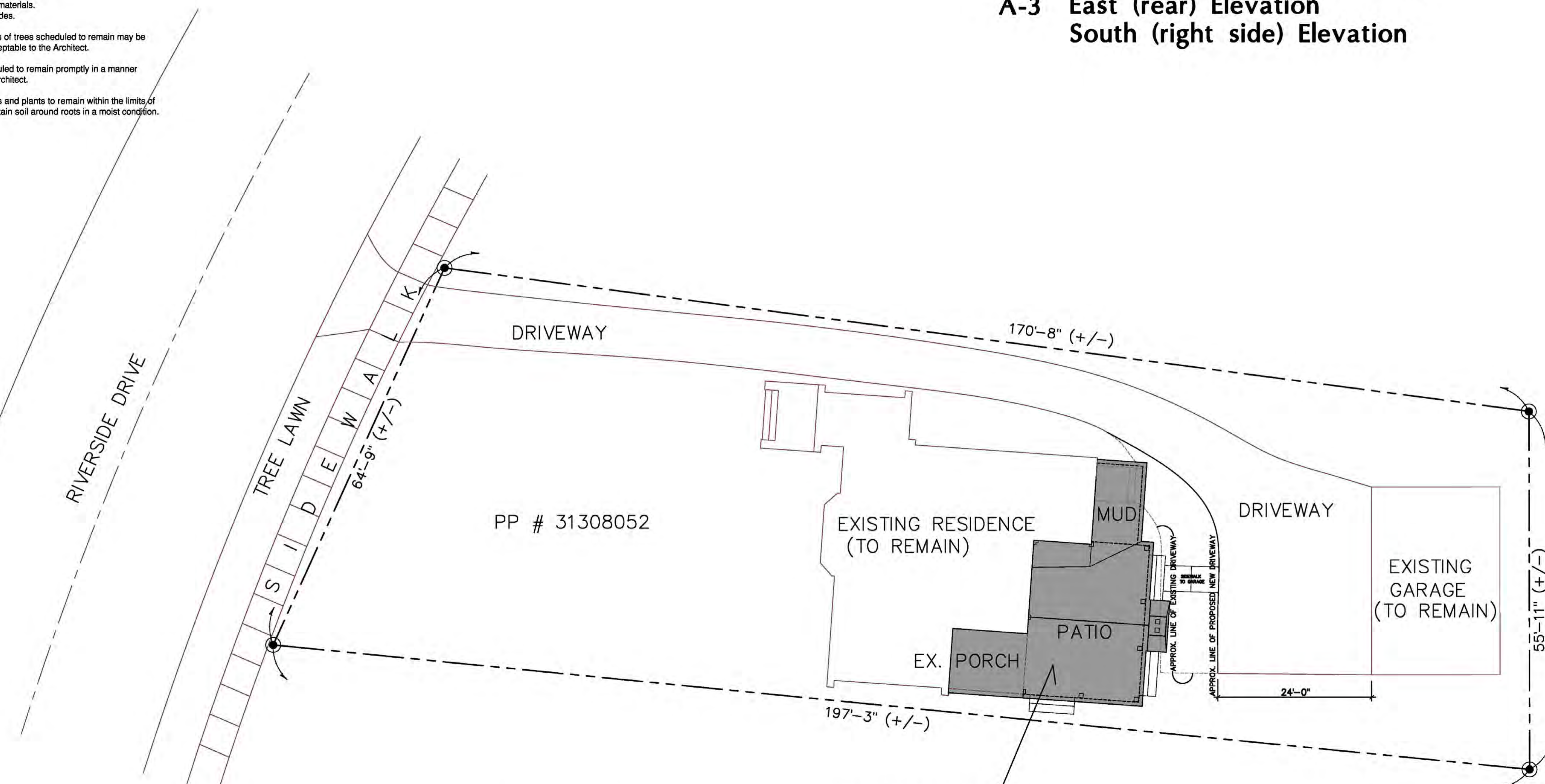
The following must not occur in tree protection areas:

- A. Stockpiling of soil or other materials.
- B. Operating or storing construction equipment and vehicles.
- C. Regrading causing runoff or flooding.
- D. Parking vehicles.
- E. Spilling of toxic materials.
- F. Spraying herbicides.

Interfering branches of trees scheduled to remain may be removed when acceptable to the Architect.

Repair trees scheduled to remain promptly in a manner acceptable to the architect.

Water existing trees and plants to remain within the limits of construction. Maintain soil around roots in a moist condition.



Site Plan

SCALE 1" = 10'-0"



Drawing Index:

- A-1 Title Sheet, Site Plan & Notes
- A-2 Basement & First Floor Plans
- A-3 East (rear) Elevation
South (right side) Elevation

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
1-B-21 Review

Addition & Renovation to
The Fedor Residence

Ohio

2055 Riverside Drive

Lakewood



1244 South Court
Rady River, Ohio, 44116
Tel: 440.356.5530
Fax: 440.356.5584

Proposed
Site Plan

A-1

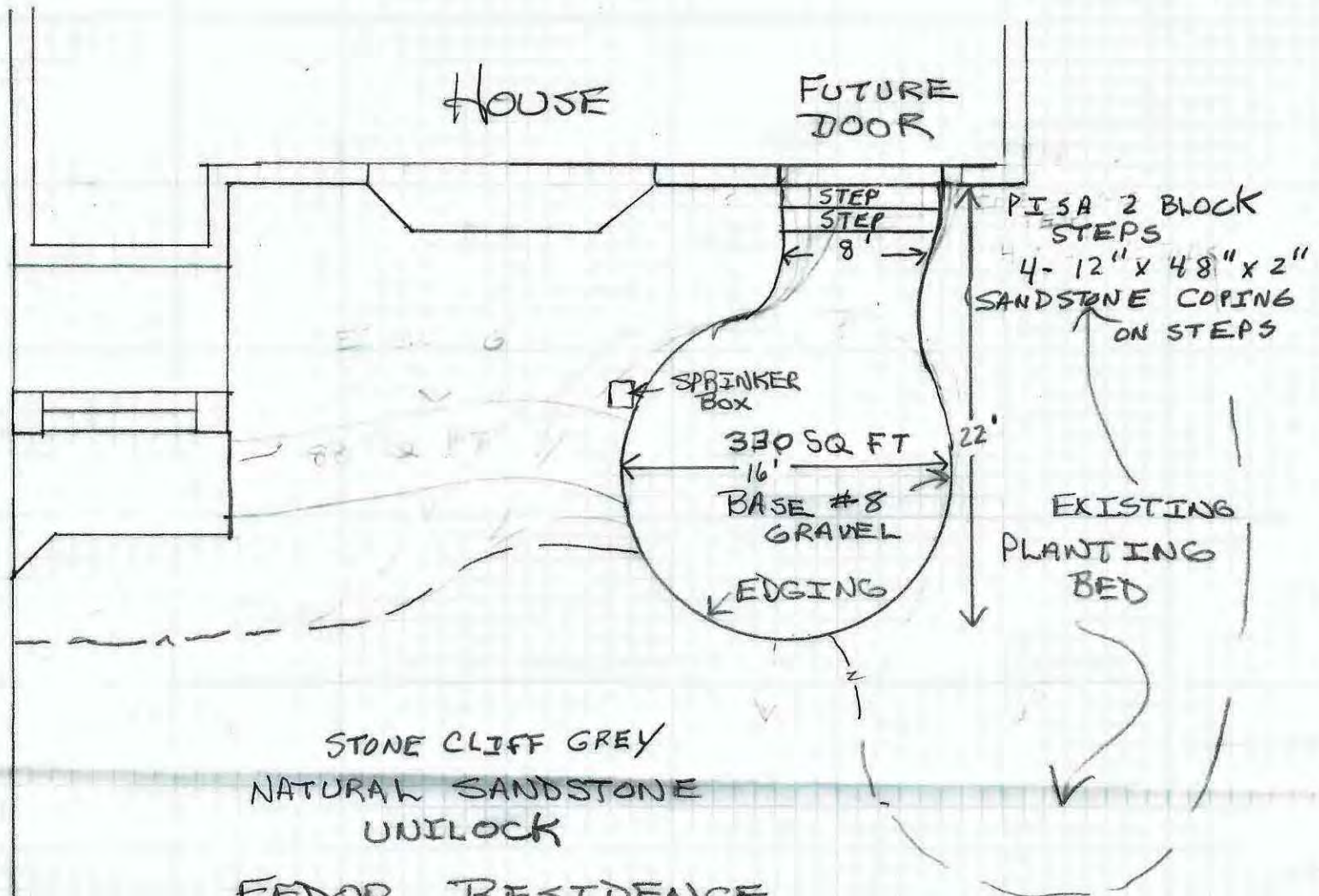
Sheet Number
Copyright © 2021

Project No: 2023
 Drawn By: wss
 Checked By: atm

Preliminary
Not For
Construction

Scheme 'D'

W:\DRAWINGS\Dave\2020\Fedor Residence-2023\Fedor-2023 Proposed Changes.dwg, 1/15/2021 4:27:15 PM, C:\hp\PDF\Writer.pc3



STONE CLIFF GREY
NATURAL SANDSTONE
UNILOCK

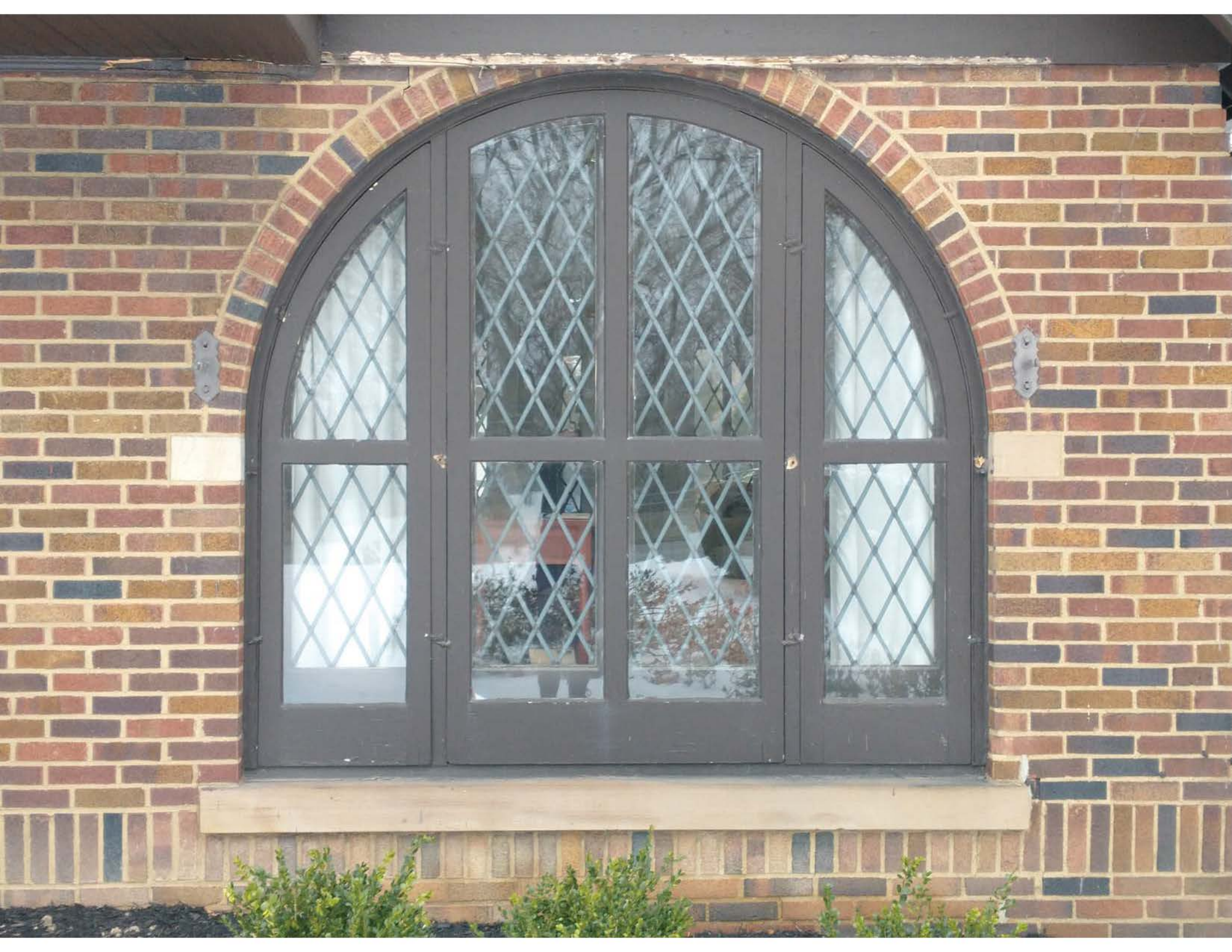
FEDOR RESIDENCE
2055 RIVERSIDE DRIVE
LAKEWOOD, OHIO
216-406-1444

BILL SOEDER LANDSCAPING
1057 BRADLEY ROAD
WESTLAKE, OHIO
871-9083

SCALE 1/8" = 1'



2055







View from above the house

Legend

- 📍 2055 Riverside Dr
- 🌿 Ground
- 🌸 Ground Fresnel
- 🌿 LoS
- 🔵 Vertical Fresnel

Proposed New Pergola →

Proposed New Patio →

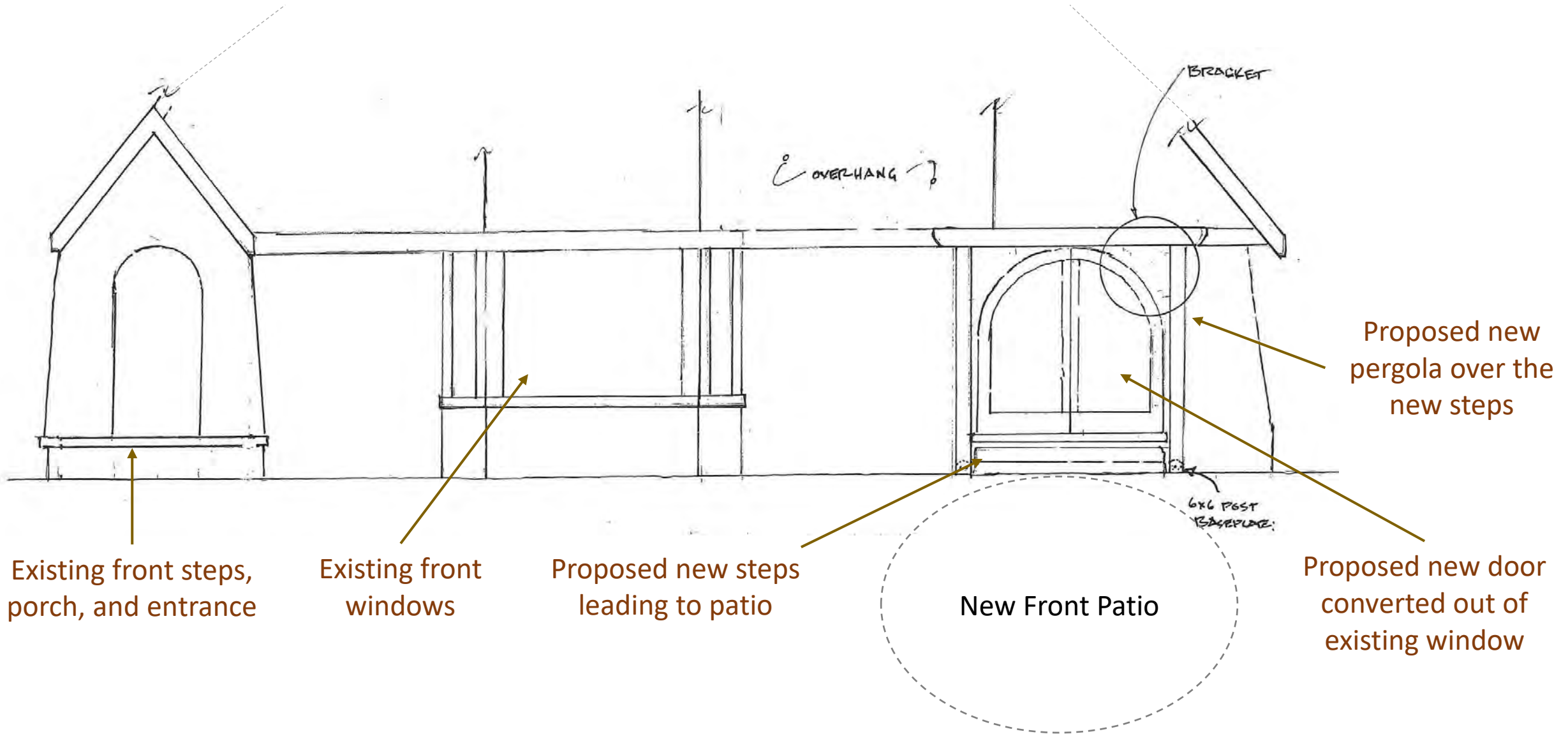
📍 2055 Riverside Dr





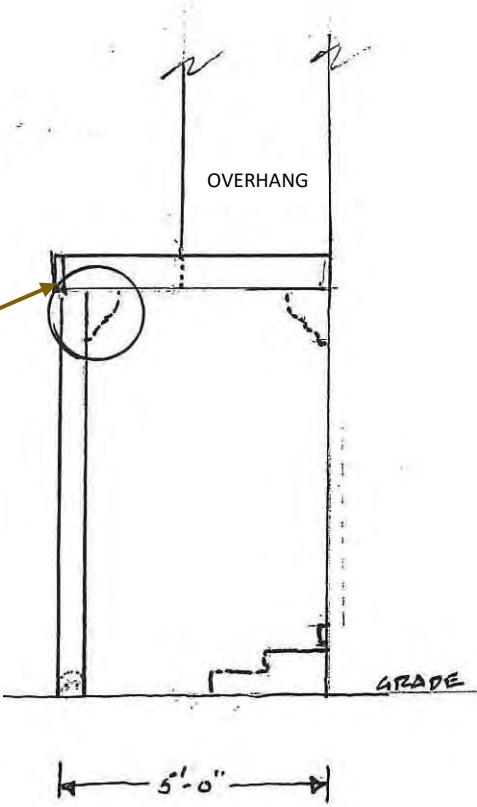
Proposed New Patio

Proposed New Pergola – View from the Front

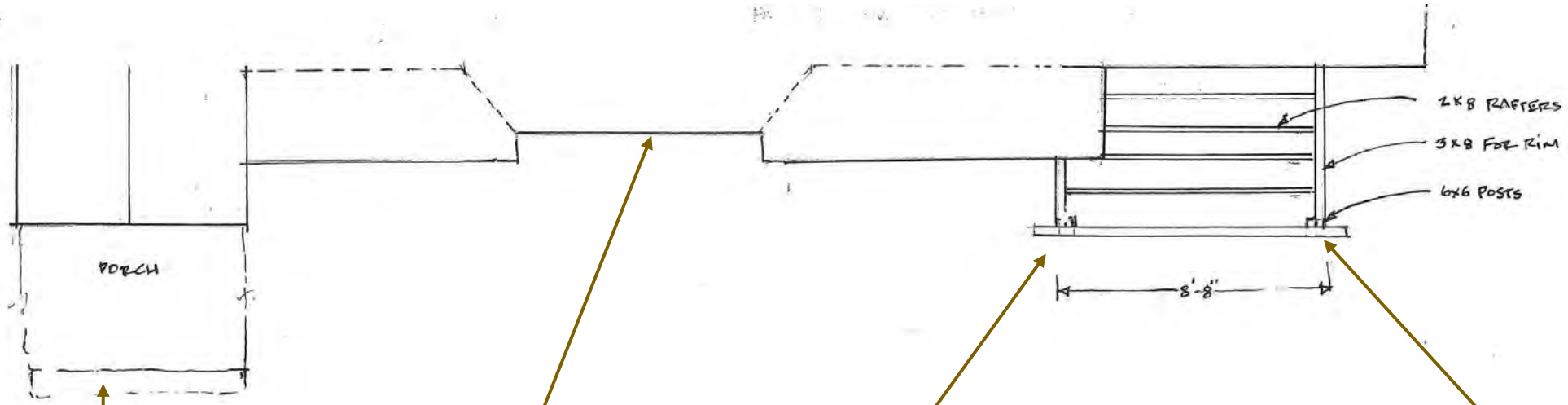


Proposed New Pergola – View from the Side

Proposed new pergola over the new steps leading to the new patio



Proposed New Pergola – View from Above



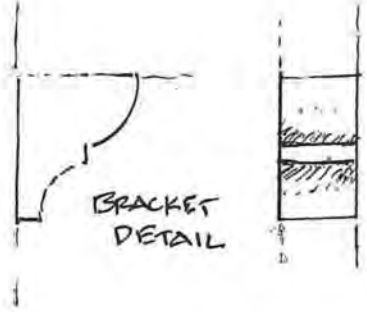
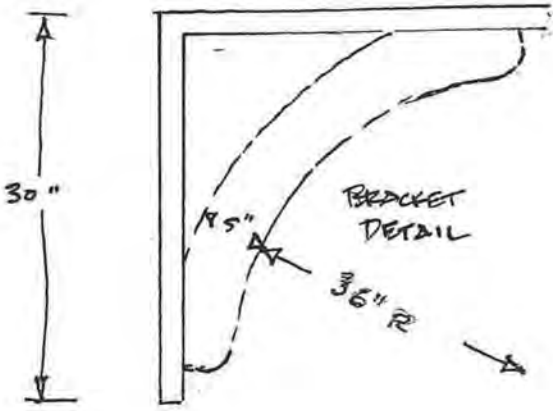
Existing front steps, porch, and entrance

Existing front windows

Proposed new steps leading to patio

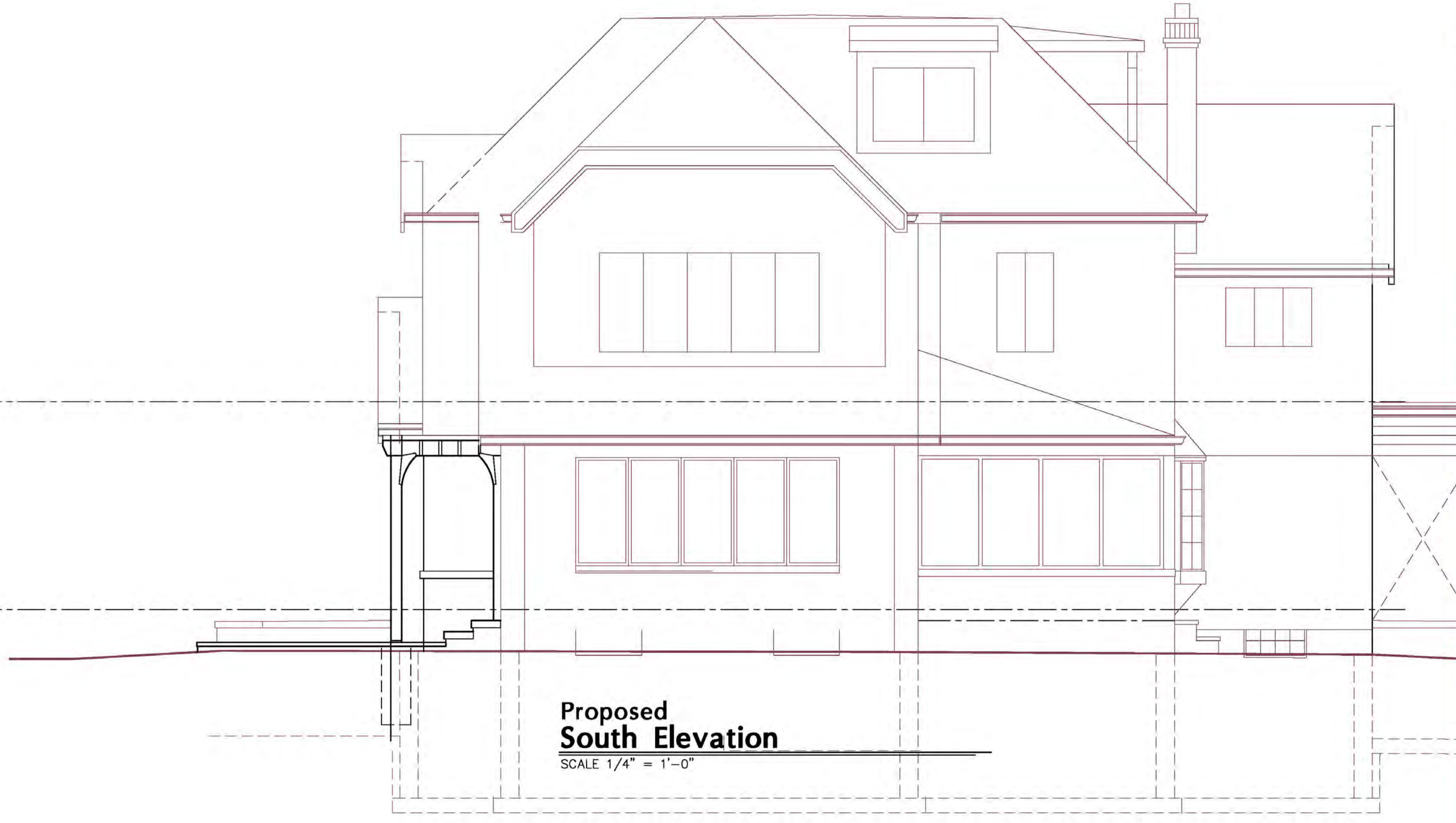
Proposed new pergola over the new steps

Proposed New Pergola – Pergola Bracket Detail

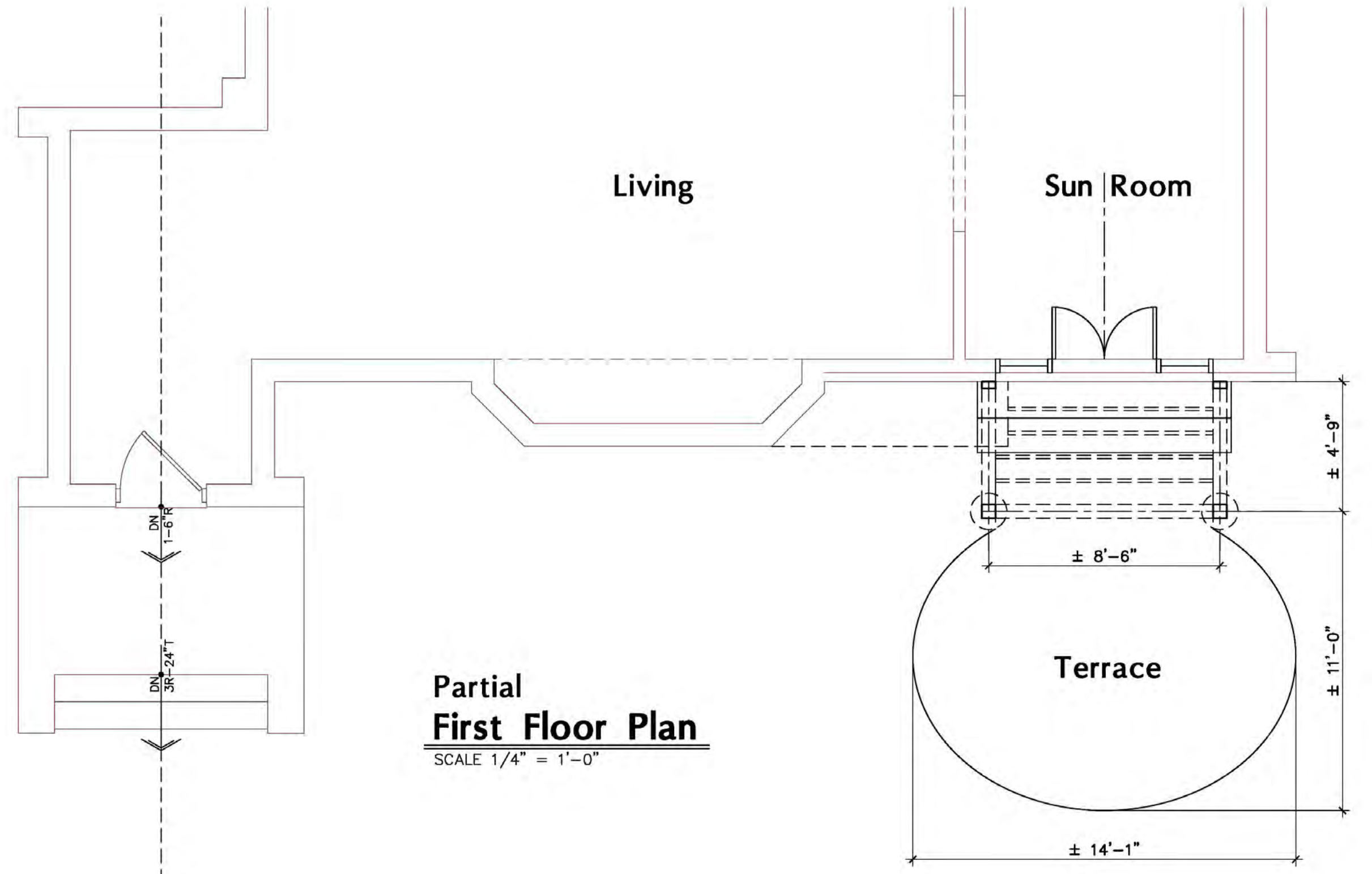




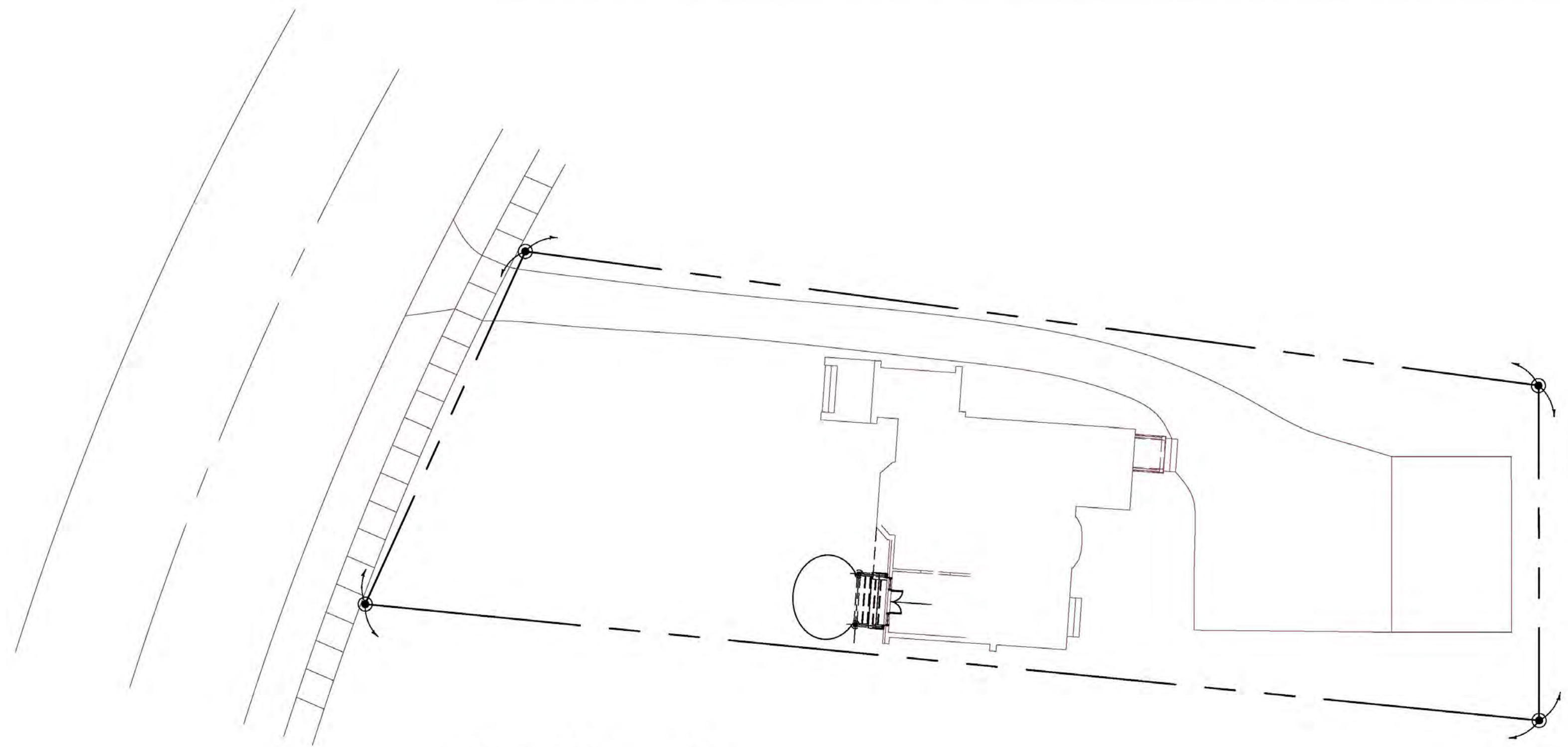
Proposed West Elevation
SCALE 1/4" = 1'-0"



Proposed South Elevation
SCALE 1/4" = 1'-0"



Partial First Floor Plan
SCALE 1/4" = 1'-0"



Site Plan
SCALE 1" = 40'-0"

Preliminary
Not For
Construction

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
10-2-20 Review

**Addition & Renovation to
The Fedor Residence**

Lakewood Ohio
2055 Riverside Drive

The Arcus Group, Inc.
ARCHITECTS
1244 South Court
Rocky River, Ohio 44116
Tel: 440.356.5530
Fax: 440.356.5584

Terrace/Pergola

SK-1

Sheet Number
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Project No: 2033
Drawn By: wms
Checked By: dtm

NATURAL STONE

FROM UNILOCK



PREMIUM QUALITY NATURAL STONE

For over 40 years, Unilock has led the landscape industry with the best selection of manufactured hardscape products. Today we are pleased to extend our reputation for uncompromising quality to an impressive line of premium natural stone from Europe and India.

Natural Stone from Unilock is aesthetically beautiful, but has also been selected based on its low water absorption, freeze-thaw durability and flexural strength. It is precisely cut, calibrated, and finished with enhanced surface treatments.

As well, you can rest assured that the products you specify and purchase from Unilock are sourced from quarries that do not employ child labor. Integrity, safety and fairness are paramount.

GREYS / TAUPES

GREYFIELD - SANDSTONE.....	4
SILVER BIRCH - SANDSTONE.....	6
STONE CLIFF GREY- SANDSTONE.....	8
NIAGARA VALLEY - SANDSTONE.....	10
RIVERBANK - SANDSTONE.....	36
LEGATO - SANDSTONE.....	42

BUFFS / TANS

PRAIRIE ROSE - SANDSTONE.....	12
RENAISSANCE GOLD - LIMESTONE.....	14
AUTUMN HARVEST - SANDSTONE.....	16
INDIAN COAST - SANDSTONE.....	18
LEGATO - SANDSTONE.....	42

GREYS / BLUES

WINTER MIST - LIMESTONE.....	20
HEARTHSTONE - LIMESTONE.....	22
MICA GREY - QUARTZITE.....	38, 40

BLACKS

MIDNIGHT SHADOW - LIMESTONE.....	24
BLACK RIVER - LIMESTONE.....	26
MOLTEN GREY - LAVASTONE.....	32
GRAPHITE - LAVASTONE.....	34
LEGATO - SANDSTONE.....	42

STEP RISERS & COPING.....	28
CUSTOM ORDERS.....	46

NATURAL STONE FROM UNILOCK

Reasons to consider Natural Stone from Unilock:

1. Quality Stone - Independent lab testing has revealed Natural Stone from Unilock to have extremely low water absorption, incredible freeze-thaw durability and outstanding flexural strength which will help ensure your project stands the test of time.

2. Guaranteed - Unilock was the first company in the industry to offer a Transferable Lifetime Guarantee. This guarantee now also covers Natural Stone from Unilock. See website for details.

3. Superior Processing - Natural Stone from Unilock is quarried and processed by skilled and trained workers using the most advanced stone processing equipment available, for precisely cut and calibrated natural stone products with enhanced surface treatments.

4. Product Range - Natural Stone from Unilock is available in a complete range of subtle and vibrant colors with spectacular surface treatments and complementing steps and coping.

5. Consistent Supply - Unilock has secured a supply of natural stone from a network of global partners to ensure consistent reserves and availability for our customers.

6. Quality Packaging and Logistics - Our shipments are carefully packaged, inspected and shipped by a network of professional shipping specialists so that our products arrive in excellent condition.

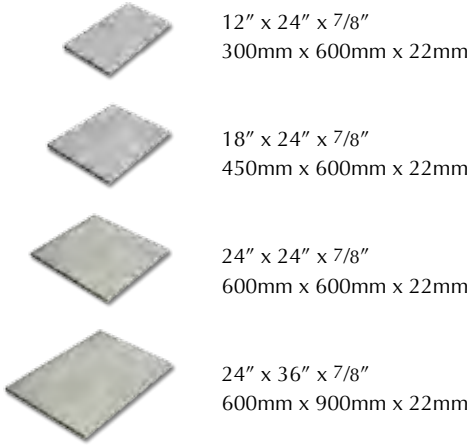
7. Ethical Trading - Unilock ensures that these stone products are mined by workers free from exploitation and discrimination, and in conditions of freedom, security and equality.



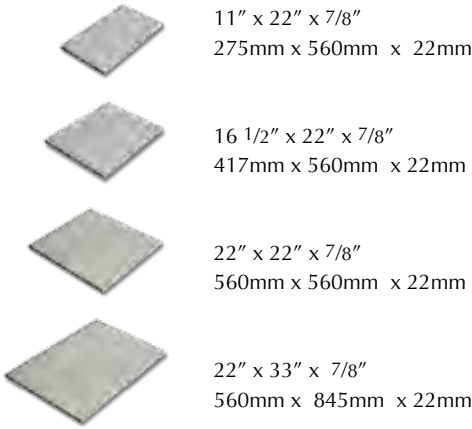
Look for the Fairstone logo on our natural stone sourced from India. The Fairstone logo is your assurance that these products are quarried and processed to the strict standards of the Ethical Trading Initiative, ensuring that no child labor is used, fair wages are paid and safe working conditions are maintained.



PRODUCT INFORMATION



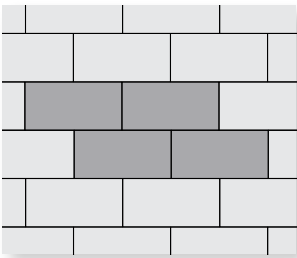
RENAISSANCE GOLD - UNIT SIZES



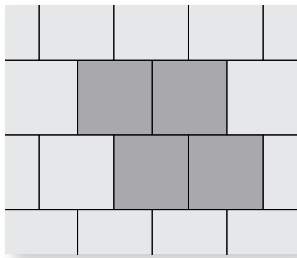
Note: Natural Stone from Unilock is precisely processed with only a +/- 2mm variance. All sizes are nominal.

LAYING PATTERNS

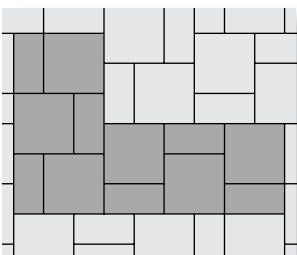
Many configurations are possible. Below are four commonly used patterns.



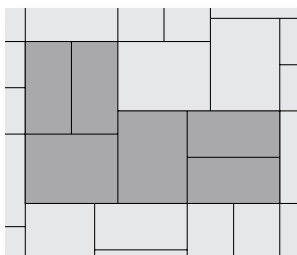
A - 100% 12" x 24"



B - 100% 24" x 24"



C - 67% 24" x 24", 33% 12" x 24"



D - 43% 18" x 24", 57% 12" x 24"



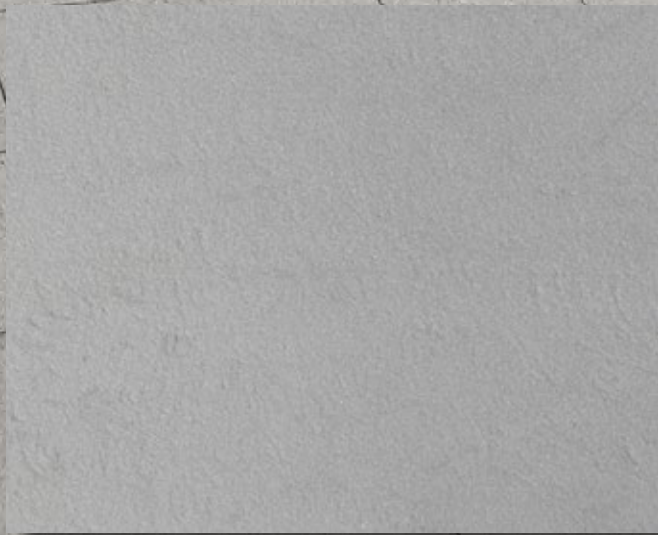
Note: Color ranges may vary from order to order.



GREYFIELD

SANDSTONE

- Soft grey with gentle veining
- Sandblasted and Brushed surface
- Sawn edge
- Quarried in India



Greyfield

Note: Steps and Coping available in this color.

See page 28 for details.



Note: Color ranges may vary from order to order.



SILVER BIRCH

SANDSTONE

- Subtle range of various shades of grey
- Flamed surface
- Sawn edge
- Quarried in India



Silver Birch

Note: Steps and Coping available in this color.

See page 28 for details.



Note: Color ranges may vary from order to order.



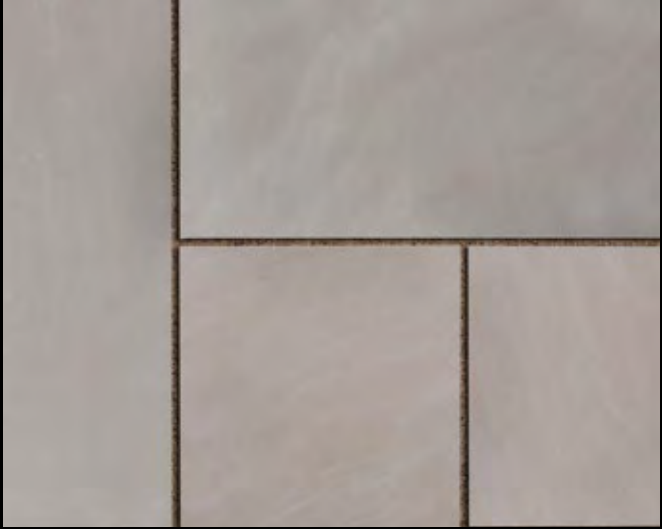
STONE CLIFF GREY

SANDSTONE

- Soft grey color
- Riven surface
- Natural edge
- Quarried in India



Stone Cliff Grey
Note: Steps and Coping available in this color.
See page 28 for details.



Note: Color ranges may vary from order to order.



NIAGARA VALLEY

SANDSTONE

- Subtle blend of taupe/grey with a hint of brown
- Honed surface
- Sawn edge
- Quarried in India



Niagara Valley

Note: Steps and Coping available in this color.

See page 28 for details.



Note: Color ranges may vary from order to order.



PRAIRIE ROSE

SANDSTONE

- Range of buffs, golds, browns with a hint of grey
- Flamed surface
- Sawn edge
- Quarried in India



Prairie Rose
Note: Steps and Coping available in this color.
See page 28 for details.



Note: Color ranges may vary from order to order.



RENAISSANCE GOLD

LIMESTONE

- Subtle range of grey, brown and gold colors
- Riven and Antiqued surface
- Natural edge
- Quarried in India



Renaissance Gold



Note: Color ranges may vary from order to order.



AUTUMN HARVEST

SANDSTONE

- Buff, gold and brown with a hint of grey
- Riven surface
- Natural edge
- Quarried in India



Autumn Harvest

Note: Steps and Coping available in this color.

See page 28 for details.



Note: Color ranges may vary from order to order.



INDIAN COAST SANDSTONE

- Subtle range of cream and buff
- Sandblasted and Brushed surface
- Sawn edge
- Quarried in India



Indian Coast

Note: Steps and Coping available in this color.

See page 28 for details.



Note: Color ranges may vary from order to order.



WINTER MIST

LIMESTONE

- Range of grey, light green and light blue shades
- Antiqued surface
- Sawn edge
- Quarried in India



Winter Mist



Note: Color ranges may vary from order to order.



HEARTHSTONE

LIMESTONE

- Range of pale blue, grey and green shades
- Riven surface
- Sawn edge
- Quarried in India



Hearthstone



Note: Color ranges may vary from order to order.



MIDNIGHT SHADOW

LIMESTONE

- Subtle range of dark grey and blacks
- Antiqued surface
- Sawn edge
- Quarried in India



Midnight Shadow



Note: Color ranges may vary from order to order.



BLACK RIVER

LIMESTONE

- Dark grey and black
- Riven surface
- Sawn edge
- Quarried in India



Black River

Note: Steps and Coping available in this color.
See page 28 for details.



STEP RISERS & COPING

We offer complementary step units, fullnose coping and riven coping for many of our stock natural stone products.

Natural Edge Step



16" x 48" x 6"
400mm x 1200mm x 150mm

16" x 71" x 6"
400mm x 1800mm x 150mm

Natural Edge Coping



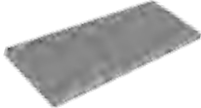
12" x 48" x 2"
300mm x 1200mm x 50mm

12" x 71" x 2"
300mm x 1800mm x 50mm

16" x 48" x 2"
400mm x 1200mm x 50mm

16" x 71" x 2"
400mm x 1800mm x 50mm

Fullnose Coping



12" x 48" x 2"
300mm x 1200mm x 50mm

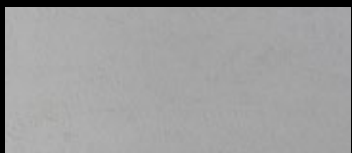
12" x 71" x 2"
300mm x 1800mm x 50mm

Note: Natural Stone from Unilock is precisely processed with only a +/- 2mm variance. All sizes are nominal.

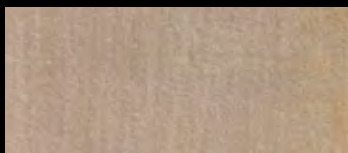


HAND-CUT FACED STEP RISERS

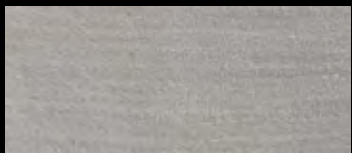
STEPS AND COPING STOCK COLOR SELECTION



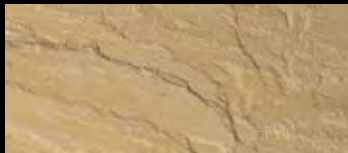
GREYFIELD
Sandblasted/Brushed



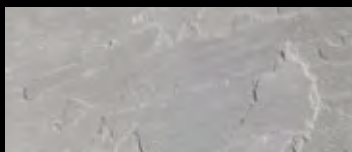
PRAIRIE ROSE
Flamed



SILVER BIRCH
Flamed



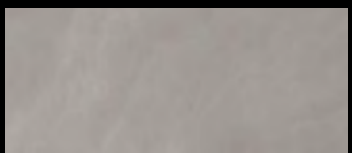
AUTUMN HARVEST
Riven



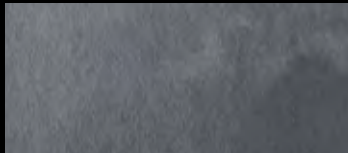
STONE CLIFF GREY
Riven



INDIAN COAST
Sandblasted/Brushed



NIAGARA VALLEY
Honed



BLACK RIVER (photo below)
Riven





Photo Credit: Metten/Foto: A. Dingeldein und Quirenbach Grauwaacke



Special Order Products

Premium Quality Natural Stone



Note: Color ranges may vary from order to order.

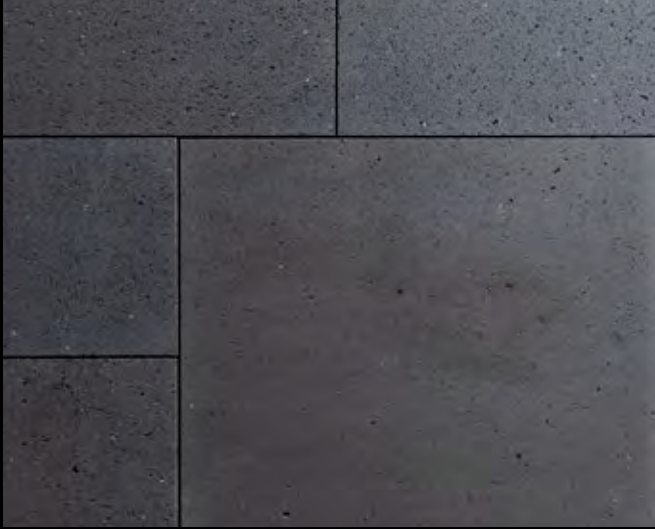
MOLTEN GREY

LAVASTONE

- Medium grey with bright inclusions
- Sawn surface
- Sawn edge
- Quarried in Germany



Molten Grey



SIZES

24" x 24" x 1 1/8"
600mm x 600mm x 30mm

12" x 36" x 1 1/8"
300mm x 900mm x 30mm

Note: Color ranges may vary from order to order.

GRAPHITE

LAVASTONE

- Dark coal grey with bright inclusions
- Honed surface
- Sawn edge
- Quarried in Germany



Graphite



Photo Credit: Metten/Foto: A. Dingeldein und Quirrenbach Grauwacke

SIZES

12-20" x 12" x 1 1/8"
300-500mm x 300mm x 30mm

12" x 24" x 1 1/8"
300mm x 600mm x 30mm

16"-24 x 16" x 1 1/8"
400-600mm x 400mm x 30mm

24" x 24" x 1 1/8"
600mm x 600mm x 30mm

Note: Color ranges may vary from order to order.

RIVERBANK SANDSTONE

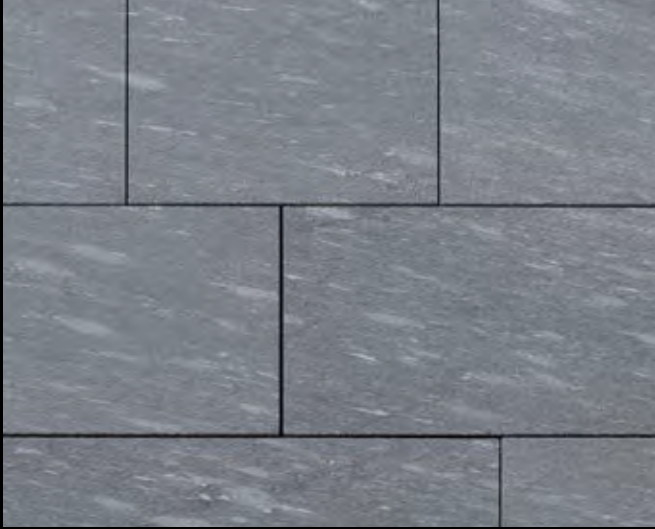
- Earthy grey and brown tones
- Flamed surface
- Sawn edge
- Quarried in Germany

Riverbank



Photo Credit: Metten/Foto: A. Dingeldein, Quirrenbach, Grauwacke und M. Mandt Landschaftsarchitekten





SIZE

16-32" x 16" x 1 1/8"
400-800mm x 400mm x 30mm

Note: Color ranges may vary from order to order.

MICA GREY

QUARTZITE

- Soft grey with naturally embedded mica
- Leathered surface
- Sawn edge
- Quarried in Switzerland



Mica Grey



SIZES

2 3/8 - 3 1/8" x 16-24" x 2 1/2"
(60-80mm x 400-600mm x 63mm)

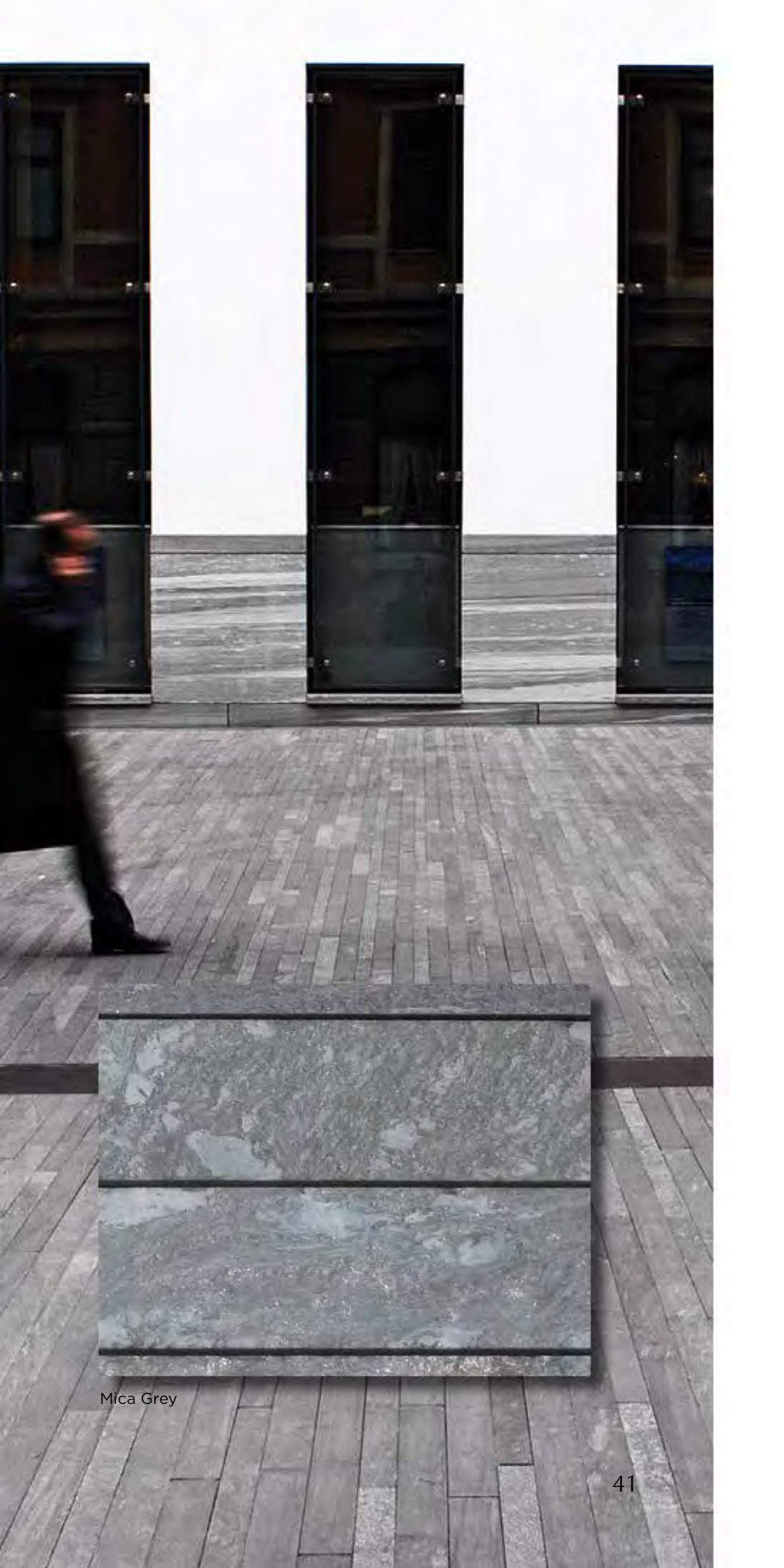
4 - 4 3/4" x 16-51" x 4 1/2"
(100-120mm x 400-1300mm x 116mm)

Note: Color ranges may vary from order to order.

MICA GREY

QUARTZITE

- Soft grey with naturally embedded mica
- Leathered surface
- Sawn edge
- Quarried in Switzerland



Mica Grey

LEGATO



These plank shaped sandstones in premixed color combinations are a high caliber paving product with stunning aesthetic possibilities. Suitable for light-duty vehicular applications on a rigid bedding course.

SANDSTONE

- Pre-mixed color combinations
- Shotblast & Brushed surface
- Sawn edge
- Quarried in India

SIZES



5" x 24" x 2"
130mm x 600mm x 50mm



5" x 24" x 2 1/2"
130mm x 600mm x 65mm

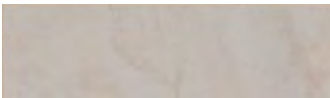
COLORS



SPICED BEIGE



STORM GREY



PEARL ASH



MOROCCAN DUSK



TIDAL BEIGE



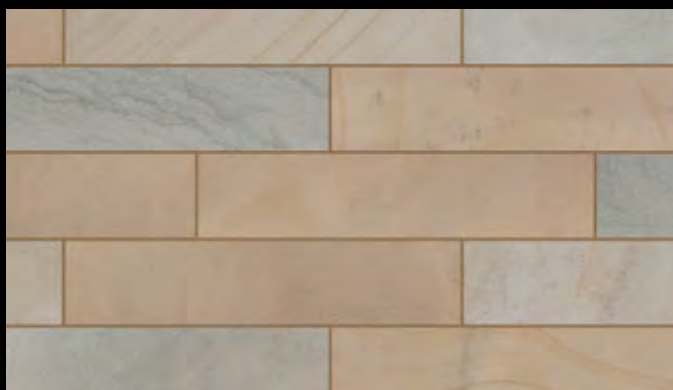
EBONY SAND

PRE-MIXED COLOR COMBINATIONS



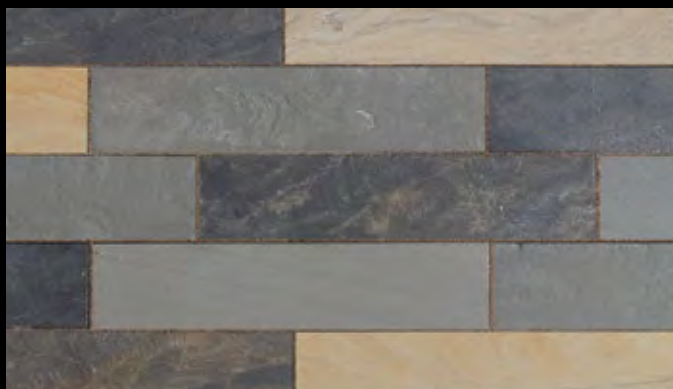
PRE-MIX A

60% TIDAL BEIGE
30% PEARL ASH
10% MOROCCAN DUSK



PRE-MIX B

50% SPICED BEIGE
25% STORM GREY
25% PEARL ASH



PRE-MIX C

45% EBONY SAND
45% STORM GREY
10% PEARL ASH

Note: Color ranges may vary from order to order.





Premium Quality Natural Stone

Custom Products

CUSTOM ORDERS

The products featured in this catalog are not the only possibilities we have to offer. Natural Stone from Unilock can be custom ordered to meet the unique requirements of any project.

Leveraging our global network, your local Unilock representative can work with you to determine the best type of stone for your project and exactly the size you need in terms of shape, thickness and edge details.

We even offer walls.



Speak to your local Unilock Representative and learn how our Design Partnership services can help you ensure that every detail is addressed in the specification for your project and in the final delivery and installation of Natural Stone from Unilock.

We're here to help bring your artistic vision to life.

Beyond the type of stone, size and edge detail you choose, the type of finish can have a dramatic impact on the color and feel of the final project.

GREY SANDSTONE FINISHED FOUR WAYS



SAWN



RIVEN



FLAMED



HONED

We offer a variety of finishes for custom orders, including but not limited to:

Polished - A smooth shiny finish

Honed - A smooth matte finish

Leathered - A lightly textured finish with a soft sheen.

Water Jet - A matte finish with the texture of sand

Sandblasted & Brushed - A soft feel that is slightly bumpy

Flamed - A weathered texture finish

Combed - A lineal raked texture with a directional grain

Antiqued - An aged appearance replicating use and wear

Riven - A surface featuring the natural breakage

For further help in determining the best finish for your project contact your Unilock Representative.





UNILOCK[®]
DESIGNED TO CONNECT.™

UNILOCK.COM | 1-800-UNILOCK

For more information about Natural Stone from Unilock, visit:
www.unilock.com

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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 03-18-21

Permit No.: BBS21-000024

Applicant Name: Louis Leonette, Illuminate Salon

Project Address: 17140 Madison Avenue, Unit A

Project Name: Illuminate Salon

Proposal: Vinyl window signage.



JI
ILLUMINATE
SALON

17140 Madison Ave.
216.469.7624 | theilluminatesalon.com





Customer:
ILLUMINATE SALON

Date:
2/11/21

Sq. Ft.
5.74

Address: 17140 Madison Ave. Unit A
Lakewood, Ohio 44107

Sign Type: Die cut vinyl

Signature:

Approved Approved With Changes Revise And Resubmit Rejected



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Application Cover Page

Docket No.: 03-19-21

Permit No.: BBS21-000023

Applicant Name: Megan Dougherty, Glossy Nails

Project Address: 17140 Madison Avenue, Unit B

Project Name: Glossy Nails

Proposal: Vinyl window signage.



17140 MADISON AVE
17140

secured by ADT
Square
visa

SECURITY
CAMERAS
IN USE

glossy NAILS

Please! no soliciting

17140 Madison Ave.
330.807.7494 | glossynailscl.com



Customer:
Glossy Nails

Date:
2/11/21

Sq. Ft.
4

Address: 17140 Madison Ave. Unit B
Lakewood, Ohio 44107

Sign Type:
Die cut vinyl

Signature:

Approved Approved With Changes Revise And Resubmit Rejected



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Application Cover Page

Docket No.: 03-20-21

Permit No.: BBS21-000022

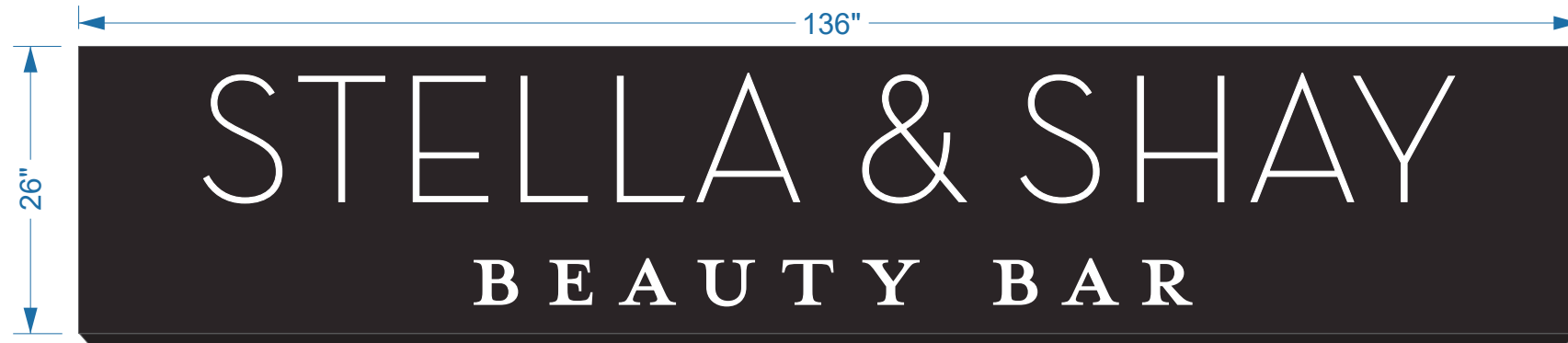
Applicant Name: Monica Fletcher, Brady Sign Company

Project Address: 18251-55 Detroit Avenue

Project Name: Stella & Shay Beauty Bar

Proposal: Illuminated wall cabinet sign and blade sign.

EXISTING PAINTED METAL PANELS WITH STUDS BEHIND IT



DETAILS

3" Deep LED illuminated wall cabinet
 Stella & Shay to be routed with .75" push thru letters
 Beauty and Bar to be routed and backed with flat plastic
 Cabinet face and returns painted satin black
 Fastener free face

Existing aluminum fascia sign band panels to be painted black



PROPOSED SIGNAGE

Scale: 3/16" = 1'-0"

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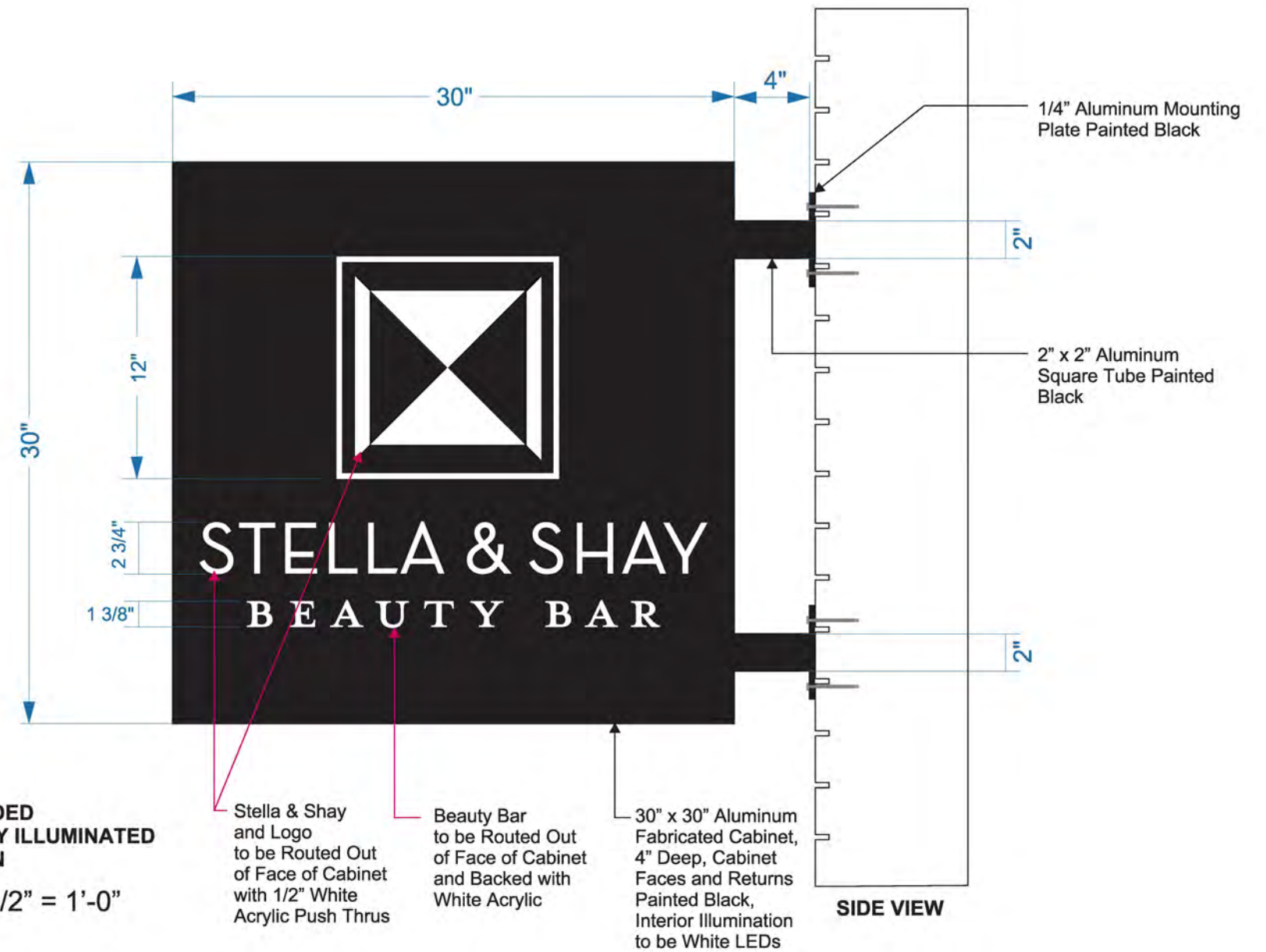
1721 Hancock Street
 Sandusky, OH 44870
 Phone: 419-626-5112
 www.bradysigns.com

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Customer: Stella & Shay	Date: 01/27/2021
Location: 18255 Detroit Ave., Lakewood OH	File Name: Dwg72737C
Client Approval: _____	Title: _____ Date: _____



PROPOSED SIGNAGE



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Sandusky, OH 44870
Phone: 419-626-5112
www.bradysigns.com

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Customer: Stella & Shay

Date: 01/27/2021

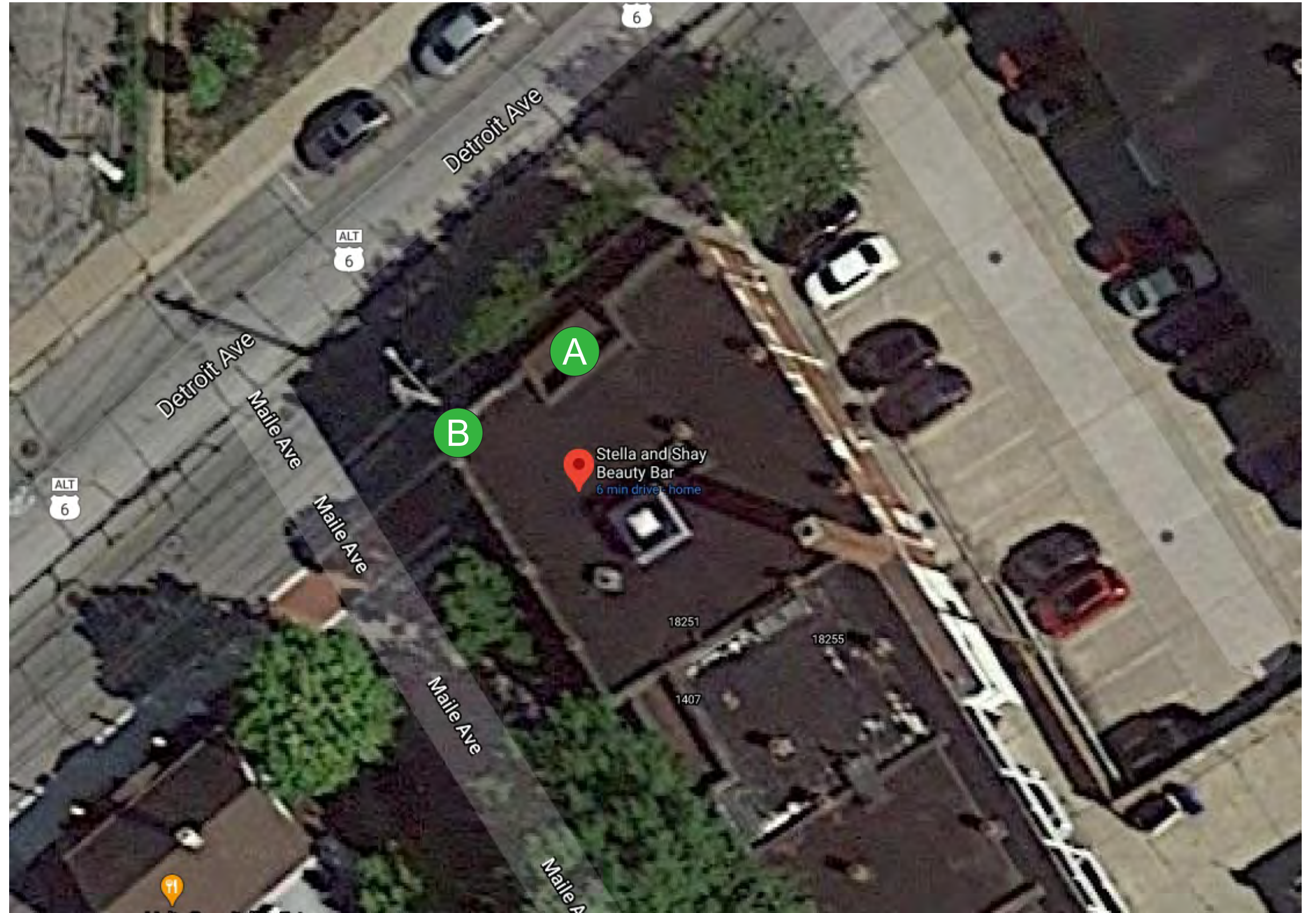
Location: 18255 Detroit Ave., Lakewood OH

File Name: Dwg72737C

Client Approval: _____

Title: _____

Date: _____



Site Plan

- A Wall Sign
- B Blade Sign

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BRADY SIGNS
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 Sandusky, OH 44870
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Customer: Stella & Shay	Date: 01/27/2021
Location: 18255 Detroit Ave., Lakewood OH	File Name: Dwg72737C
Client Approval: _____	Title: _____ Date: _____



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Application Cover Page

Docket No.: 03-21-21

Permit No.: BBS21-000025

Applicant Name: Andrew Langlois, Graphic Illusions, LLC

Project Address: 15711 Madison Avenue

Project Name: NovaCare Rehabilitation

Proposal: Illuminated wall cabinet sign and window signage.



15" x 54" White Vinyl logo

From Digital To Dimensional Signs To Fit Your Needs!

443-790-2580

www.graphicillusions.com

Survey

Front Elevation

1. Transom light over front doors, Size?
2. On front door glass
3. 2 sign boards 18.5" X 30.25", Material Type?

Rear Elevation

1. Sign board to right of door
2. Door glass



34"H x 71" W Glass

Existing

Front left

**Lakewood
Chiropractic
Clinic**

Dr. Scott Van Oosten
Dr. Mike Izquierdo

Front right



Lakewood
Dental
Associates

**Maggie Petrone, Ph. D.
PSYCHOLOGIST**

ForPsych
A Forensic
Psychology Practice

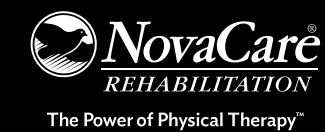


Proposed Modification

Front left

**Lakewood
Chiropractic
Clinic**

Dr. Scott Van Oosten
Dr. Mike Izquierdo



**Maggie Petrone, Ph. D.
PSYCHOLOGIST**

Customer Information

Name NovaCare Referred By

Address 15711 Madison Ave. Ste 105, Lakewood, OH 44107

Phone/Fax/Email

Job Specifications:

Terms & Conditions

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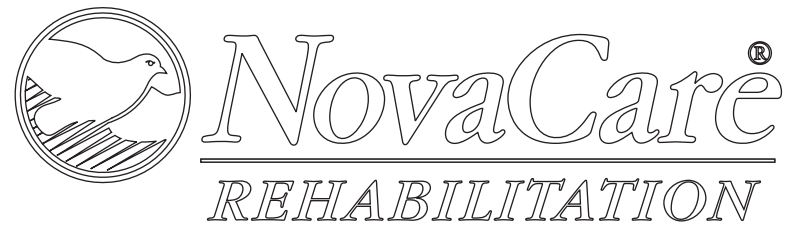
Approved & Accepted By _____ Date _____



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www.graphicillusions.com

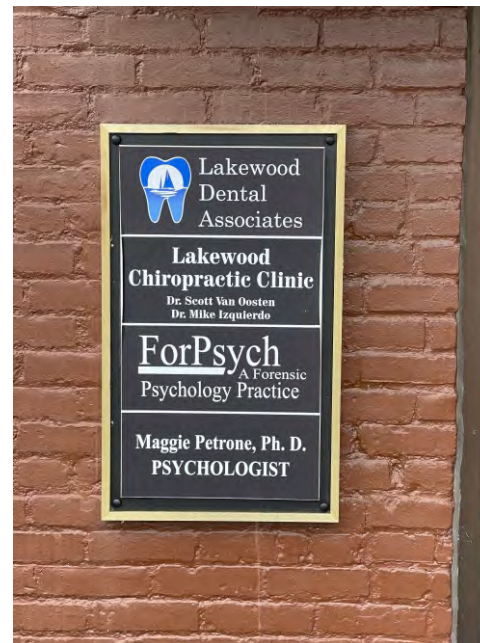


22" White Vinyl logo

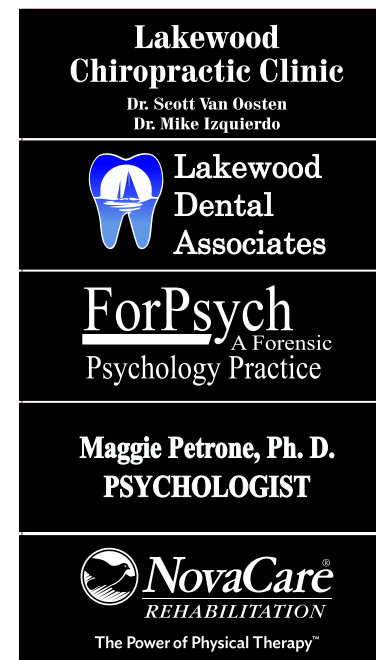
24" Multicolored Vinyl logo



Existing



Proposed
Back



All interior doors are Yellow
Correct door TBD

Customer Information

Name NovaCare	Referred By
Address 15711 Madison Ave. Ste 105, Lakewood, OH 44107	
Phone/Fax/Email	

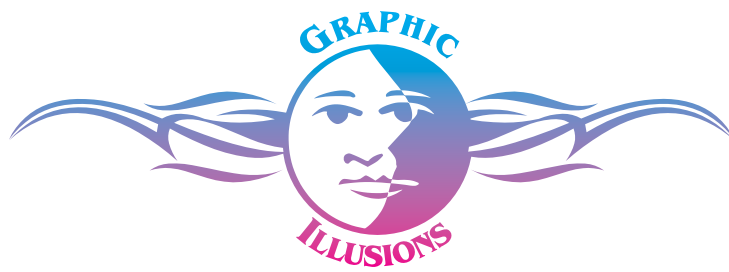
Job Specifications:

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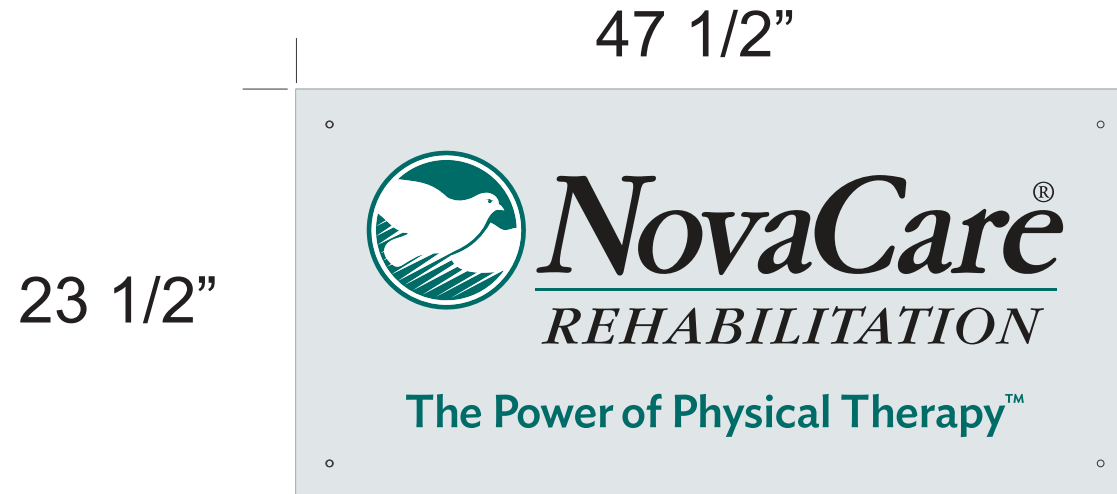


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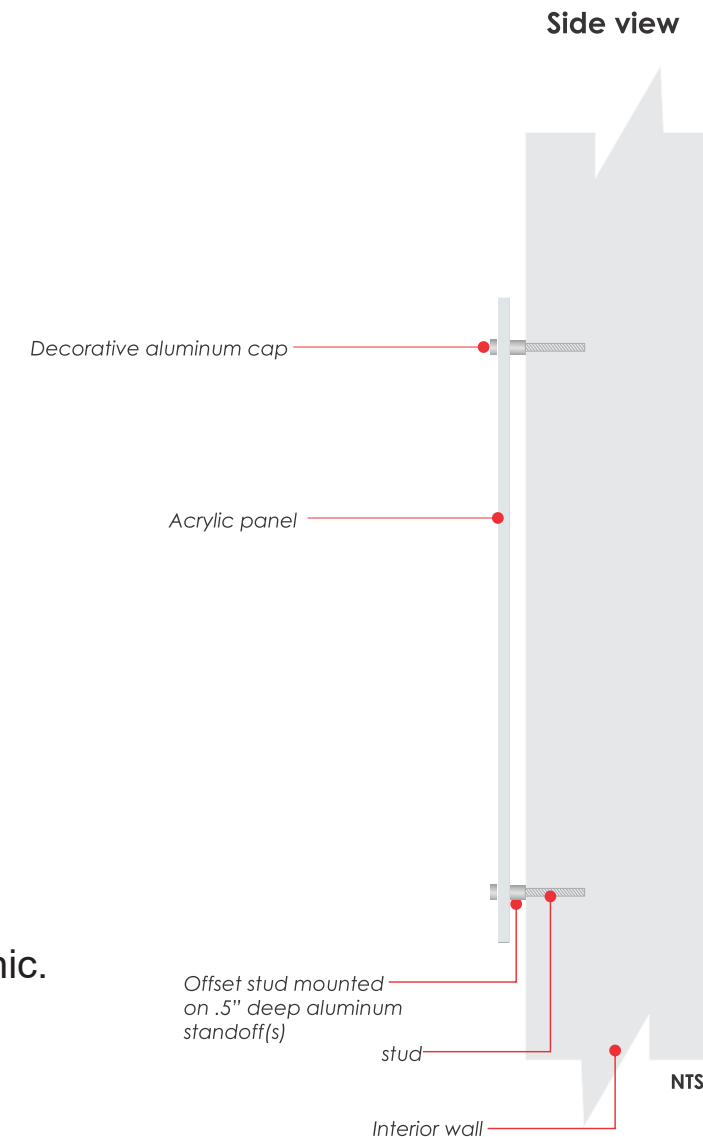
443-790-2580

www.graphicillusions.com

Interior Sign



23.5" x 47.5" x 1/4" frost Acrylic with 3/c Surface graphic.
4 Aluminum standoffs included



Customer Information

Name NovaCare	Referred By
Address 15711 Madison Ave. Ste 105, Lakewood, OH 44107	
Phone/Fax/Email	

Job Specifications:

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Application Cover Page

Docket No.: 03-22-21

Permit No.: BBS21-000013

Applicant Name: James Groh, Brilliant Electric Sign Co LTD

Project Address: 11851 Detroit Avenue

Project Name: Cleveland Clinic

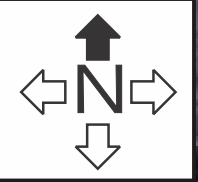
Proposal: Installation of one non-illuminated wall sign.



REPLACEMENT
PANEL B21-019

DETROIT AVE.

NEWMAN AVE.



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

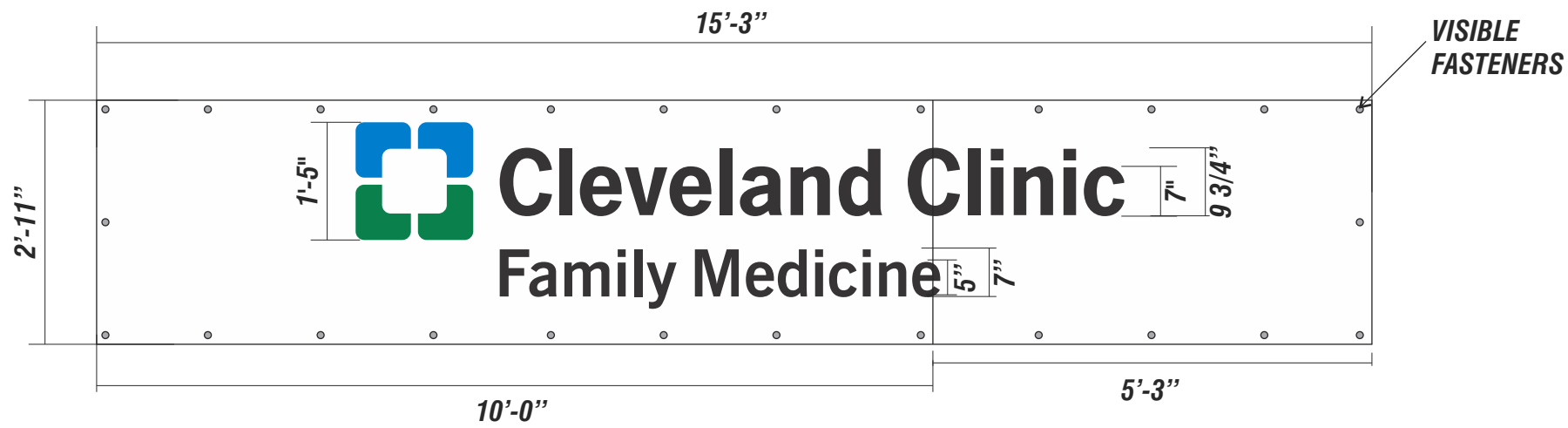


Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED, FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	CLEVELAND CLINIC (FAMILY MEDICINE)	SALESMAN	JM	DATE	1/22/21	REVISION		DESIGN NO.	B21-086
LOCATION	11851 DETROIT AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2021
								FILE NAME	cleve c new/ CC family med (sp)



SIGN ELEVATION: 1/2" = 1'-0'

Notes

Remove & scrap one (1) set of letter reading "Medical Office Building," caulk mounting holes to match color as close as possible

Manufacture & install one (1) single face, non-illuminated, custom fabricated, 3MM ACM panel, constructed in two (2) pieces; all to be mounted using visible fasteners on the building in place of the removed letters

- Graphics to be first surface, digital print; background to be white; logo to be blue & green; remaining copy to be black



PHOTO RENDERING NTS

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Brilliant Electric Sign Co., Ltd.

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COMPANY NAME	CLEVELAND CLINIC FAMILY MEDICINE	SALESMAN	JM	DATE	1/7/21	REVISION		DESIGN NO.	B21-019
LOCATION	11851 DETROIT AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2020
FILE NAME							cleveland clinic new / CC family medicine (1)		



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Application Cover Page

Docket No.: 03-23-21

Permit No.: BBS21-000027

Applicant Name: David Peck, Project CSI

Project Address: 14235 Madison Avenue

Project Name: Valero

Proposal: Signage for a new business.



PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

Created by: Jimmy Slaymon

Date: 2/23/2021

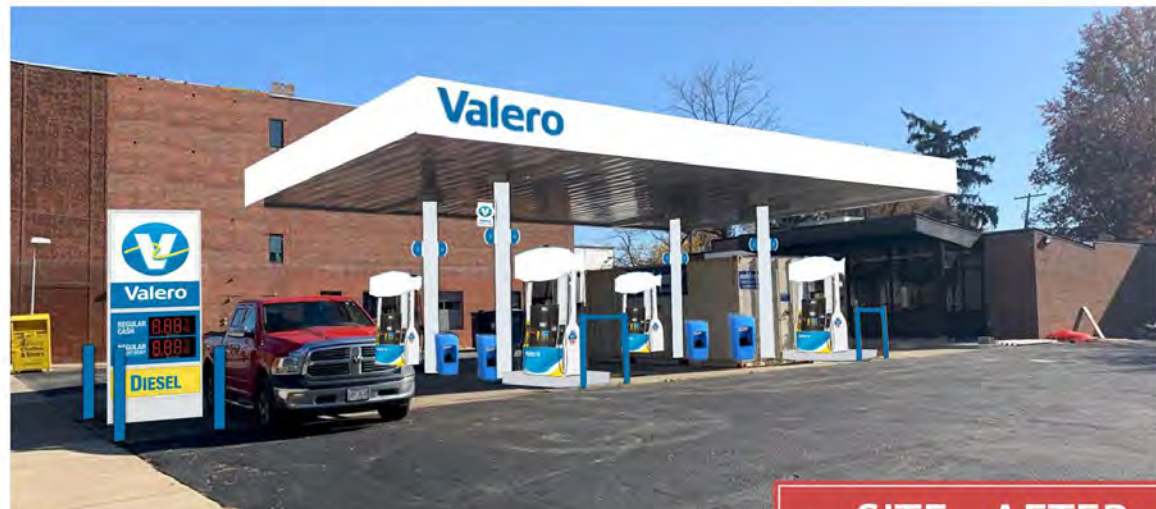
Revision: REV-2

Page: 1 of 9

BRAND CONVERSION



SITE - BEFORE



SITE - AFTER

PROJECT OVERVIEW:

- *Dispenser Imaging
- *MID Sign
- *Canopy
- *Painting

THIS PERMIT PACK IS NOT AN INSTALLATION GUIDE



PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

Created by: Jimmy Slaymon

Date: 2/23/2021

Revision: REV-2

Page: 2 of 9

BRAND CONVERSION



SITE - BEFORE

Dispenser Imaging

- *4 White Valances
- *4 Sets of Regulatory/Warning Decals
- *4 Pump Toppers
- *4 Valero Blue Trash Bins
- *8 Valero Blade Signs

*Installing 4 preimaged Ovation or Ovation 2 Dispensers

SITE - AFTER





PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

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Date: 2/23/2021

Revision: REV-2

Page: 3 of 9

BRAND CONVERSION



Daytime View:

54 in Cabinet



117 in O.A.H.

105 in Cabinet

117 in O.A.H.

12 in

54 in
39.375 Sq Ft

Sign Skirt

Nighttime View:

54 in Cabinet



105 in Cabinet

12 in

SITE - AFTER

*Opaque vinyl used to blockout background.

MAIN ID SIGN

- *Remove Current Sign Pole/Cabinet/Foundation
- *Pour New Foundation and Install Sign Pole
- *Install (4) Protective Bollards
- *Install New Valero Sign Cabinet
- *Connect & Setup LED Digits/Internal Illumination
- *Install Sign Skirt below Sign Cabinet
- *Prep & Paint MID Poles/Frames/Retainers

Daktronics Model #:
FL-3000-8-R-DI





PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

Created by: Jimmy Slaymon

Date: 2/23/2021

Revision: REV-2

Page: 4 of 9

BRAND CONVERSION



LEFT ELEVATION

57'

-Flat White ACM
-No Illumination



FRONT ELEVATION

39'

-Flat White ACM
-No Illumination



CANOPY ELEVATION SPECIFICATIONS

Canopy Size: 39' x 57'

Fascia Height: 36"

RIGHT ELEVATION

57'

-Flat White ACM
-Illuminated Wordmark



BACK ELEVATION

39'

-Flat White ACM
-No Illumination



RETAIL CANOPY SCOPE

- *Install Flat White ACM Panels - 4 sides
- *Install 1 Valero Canopy Wordmark - Illuminated
- *Install Valero Fleet Sign on Column



PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

Created by: Jimmy Slaymon

Date: 2/23/2021

Revision: REV-2

Page: 5 of 9

BRAND CONVERSION



Scope of Work:

Fabricate and install one (1) new Valero wordmark cloud.
Formed polycarbonate sign with applied graphics.
Illuminated white outline around letters on face with illuminated white returns.
Internally illuminated with white LED.
Install on existing canopy fascia.



FRONT VIEW

A

VALERO WORDMARK CLOUD

QTY: ONE (1)

12.91 SQ. FT.

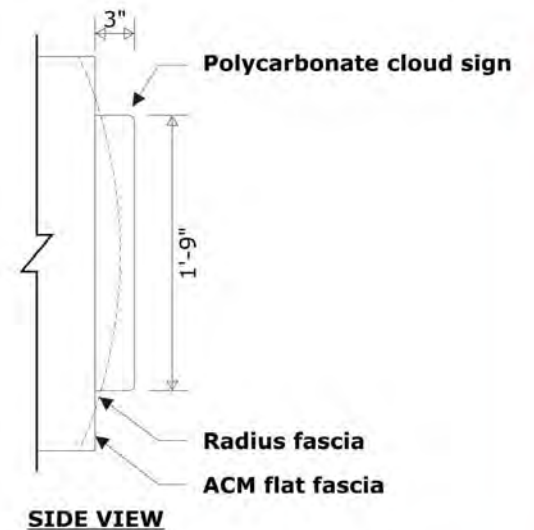
COLOR SPECS.



PMS 3015 C
Valero Blue



White





PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

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Date: 2/23/2021

Revision: REV-2

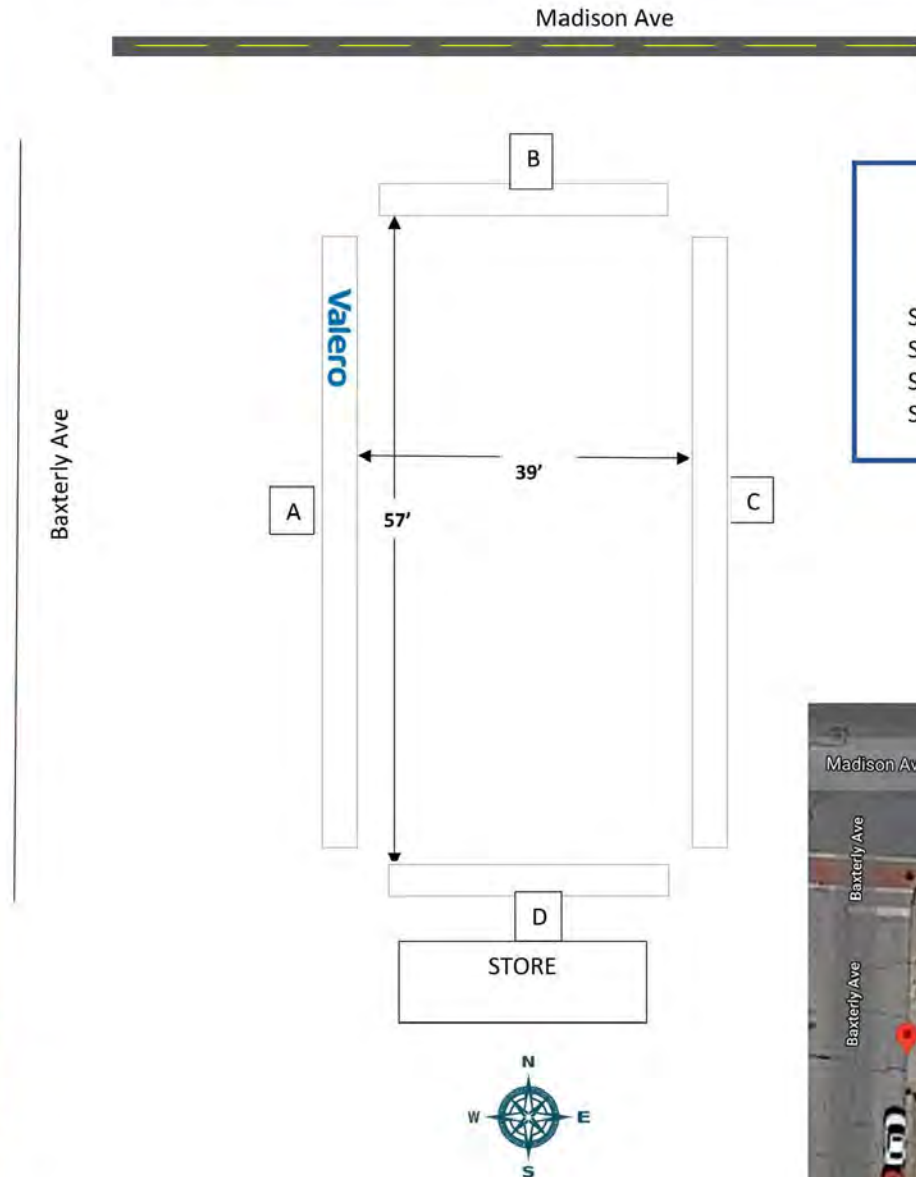
Page: 6 of 9

BRAND CONVERSION



Valero Overhead Canopy Rendering

Not to Scale



Valero 36" Canopy System

White Flat ACM - All Sides
No Lightbar / No Valero Stripes

- Side A: 57' with Valero word mark
- Side B: 39' Flat ACM only
- Side C: 57' Flat ACM only
- Side D: 39' Flat ACM only





PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

Created by: Jimmy Slaymon

Date: 2/23/2021

Revision: REV-2

Page: 7 of 9

BRAND CONVERSION



C-STORE SPECIFICATIONS

*No C-Store Work planned



SITE - BEFORE



SITE - AFTER

Building & Car Washes

Element	Color
Soffits & Guttering	White 
Elevations	Neutral 
Bollards	Blue 
Curbs	Dark Gray 

Approved Building Elevation Color Options





PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

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Date: 2/23/2021

Revision: REV-2

Page: 8 of 9

BRAND CONVERSION



VALERO PAINT SPECIFICATIONS

Painting - Retail Canopy


















- *4 Canopy Columns - Thundercloud Light Gray
- *4 Fuel Islands - Dark Gray
- *8 Straight Pole Bollards - Blue
- *Canopy Deck Painting (2223 SqFt)

Painting - Forecourt

- *2 Area Light Poles (Thundercloud Light Gray)
- *2 Straight Pole Bollards (Thundercloud Light Gray)

Painting - MID

- *MID Poles / Frames - Thundercloud Light Gray

Signs/Light Poles/Gas Vents/Trash Enclosures	
Element	Color
Sign Poles / Sign Cabinets	Thundercloud Light Gray 
Light Poles	Thundercloud Light Gray 
Gas Vents Away from Building	Thundercloud Light Gray 
Gas Vents Adjacent to Building	Neutral 
Trash Enclosures	Thundercloud Light Gray 
Branded Fuel Islands	
Element	Color
Canopy Pans / Guttering	White 
Canopy Poles	Thundercloud Light Gray 
Pump Number Signs	Blue 
Vertical and Horseshoe Bollards	Blue 
Large Concrete Bollards	Dark Gray 
Curbs	Dark Gray 
Steel Finish Bollards	No Touch 
Unbranded Fuel Islands	
Element	Color
Canopy Pans / Guttering	White 
Canopy Fascias	Black 
Canopy Poles	Thundercloud Light Gray 
Bollards (Concrete & Steel)	Thundercloud Light Gray 
Curbs	Dark Gray 



*Images above for visual purposes only. These are not site specific.



PROJECT CSI

11411 Overlook Dr.
Fishers, IN 46037

CUSTOMER / SITE INFO

Mountain Express
Site #937
Valero #29826
14235 Madison Ave.
Lakewood, OH 44107

RENDERING SPECS

Created by: Jimmy Slaymon

Date: 2/23/2021

Revision: REV-2

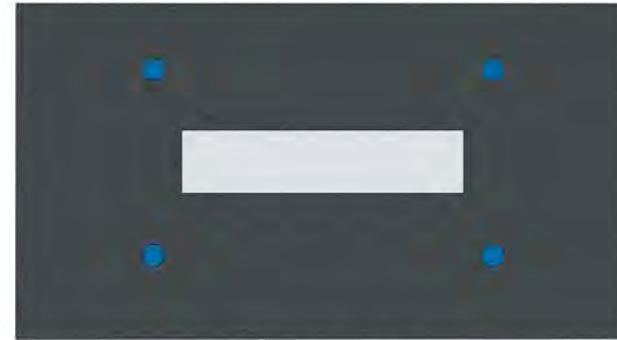
Page: 9 of 9

BRAND CONVERSION



MID SIGN - LANDSCAPE DETAILS

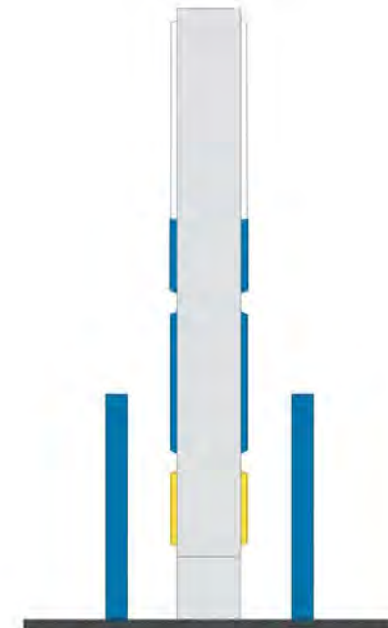
*Install (4) protective bollards
at 36" height



Overhead View



Front/Back Views



Side Views



LEGEND

- A1** New - Logo
- A2** New - Logo
- B** Fuel Price Sign to be installed

----- Subject Property Boundary

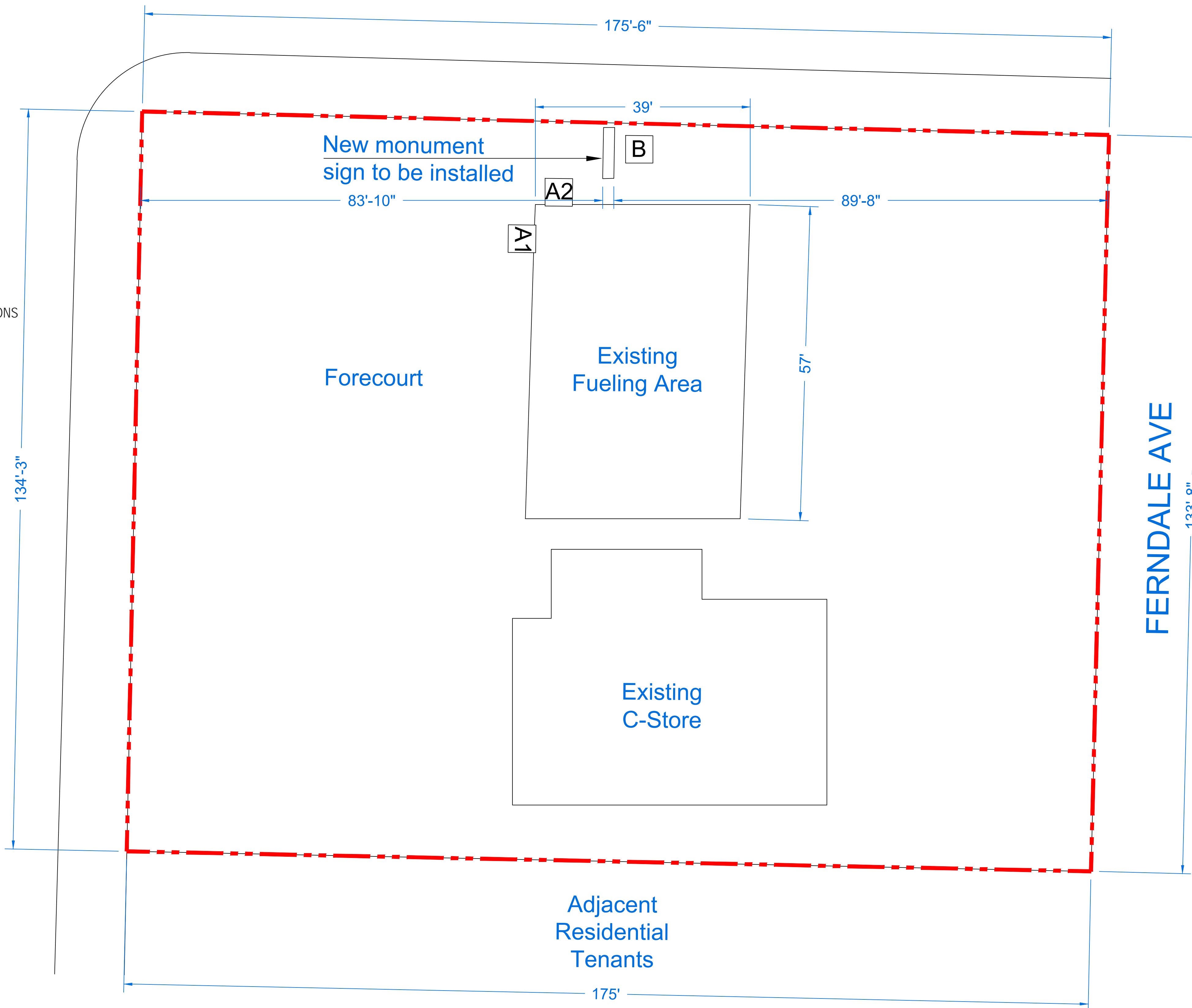
NOTE: THIS SITE PLAN DEPICTS APPROXIMATE LOCATIONS AND IS FOR INFORMATIONAL PURPOSES ONLY. NOT SUITABLE FOR LEGAL, ENGINEERING, OR SURVEYING PURPOSE.

SBL # 314-22-004
Land Use Cat. Service station
Parcel area. 18,544 Sq Ft

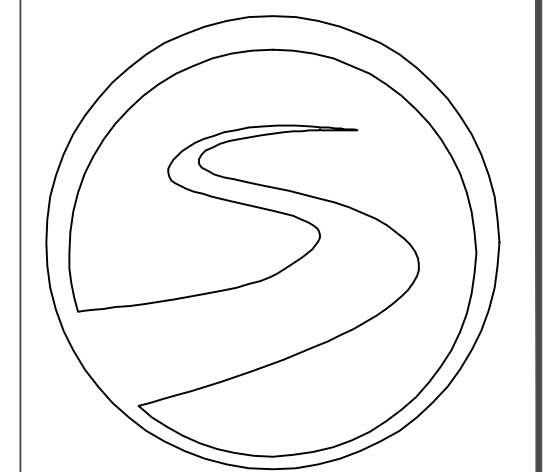
BAXTERLY AVE

MADISON AVE

FERNDALE AVE



1 SITE PLAN



PROJECT FILE NAME:	MOUNTAIN EXPRESS	REVISION #:	00	DESIGNER:	DV	PAGE:	SITE PLAN
PROJECT ADDRESS:	14235 MADISON AVE. LAKEWOOD, OH 44107	FACILITY #:	937	DATE:	01-26-2021	SCALE:	3/32" = 1'-0"



Permit Pack PROJECT CSI

11411 Overlook Drive
 Fishers, IN 46037 USA

www.projectsoci.com | (317) 537-1407