

Detroit and Bunts Market Rate Apartments

- Approve
- Deny
- Defer

Jerome Solove
Jerome Solove Development, Inc.
470 Olde Worthington Road, Suite 200
Westerville, Ohio 43082

Applicant requests the review and approval of a planned development consisting of two mid-rise apartment buildings and one parking garage on 2.12 acres, pursuant to section 1156 – planned development. The property is in a C3, Commercial, General Business district. (Page 11)

***This item is deferred from the May meeting.**

7. **Docket No. 06-48-19*** **C** **13701/13901 Detroit Ave. and 1406 Wyandotte Ave. Detroit and Bunts Market Rate Apartments**

- Approve
- Deny
- Defer

Jerome Solove
Jerome Solove Development, Inc.
470 Olde Worthington Road, Suite 200
Westerville, Ohio 43082

Applicant proposes to build a mixed-use structure with parking to be evaluated under C3 zoning; ABR review under Chapter 1325. (Page 13)

***This item is deferred from the May meeting.**

8. **Docket No. 02-16-20*** **C** **17801 Detroit Avenue Beck Center for the Arts**

- Approve
- Deny
- Defer

Lucinda Einhouse
Beck Center for the Arts
17801 Detroit Avenue
Lakewood, Ohio 44107

Applicant proposes the demolition of an annex building on the corner of Detroit and Rockway Avenues to create a public “pocket park”. (Page 15)

***This item is deferred from the May meeting.**

9. **Docket No. 02-17-20** **C** **18520-24 Detroit Avenue The Roy Building**

- Approve
- Deny
- Defer

Michael J. Krivosh
17479 Clifton Boulevard
Lakewood, Ohio 44107

Applicant proposes storefront façade rehabilitation with new siding and trim. (Page 17)

10. **Docket No. 03-25-20** **C** **12102 Madison Avenue Hola Tacos**

- Approve
- Deny
- Defer

Charles McGettrick
C.A. McGettrick, LLC
14551 Madison Avenue

Lakewood, Ohio 44107

Applicant proposes site improvements and renovations to existing structures. (Page 18)

SIGN REVIEW

11. **Docket No. 12-123-19** **16900 Detroit Avenue**
Lakewood Food Truck Park
- () Approve Daniel Deagan
() Deny 12700 Lake Avenue, #3005
() Defer Lakewood, Ohio 44107

Applicant proposes signage for Lakewood Food Truck Park. (Page 28)

ARCHITECTURAL BOARD OF REVIEW

12. **Docket No. 03-27-20 A** **A** **15509 Madison Avenue**
Hudec Dental
- () Approve Ann Corbo
() Deny LS Architects
() Defer 22082 Lorain Road
Fairview Park, Ohio 44126

Applicant proposes façade renovation and updated signage. (Page 29)

SIGN REVIEW

13. **Docket No. 03-27-20 S** **15509 Madison Avenue**
Hudec Dental
- () Approve Ann Corbo
() Deny LS Architects
() Defer 22082 Lorain Road
Fairview Park, Ohio 44126

Applicant proposes façade renovation and updated signage. (Page 34)

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

14. **Docket No. 05-31-20** **R** **1315 Donald Avenue**
- () Approve Andy Erker
() Deny ACE Design
() Defer 1361 Gladys Avenue
Lakewood, Ohio 44107

Applicant proposes the construction of a new infill home on vacant lot on Donald Avenue. (Page 39)

15. **Docket No. 05-33-20** **R** **15417 Edgewater Drive**
- () Approve Hadden Alexander
() Deny 15417 Edgewater Drive
() Defer Lakewood, Ohio 44107

Applicant proposes removal of front concrete steps and replace with composite decking and railing. (Page 45)

16. **Docket No. 05-32-20** **R** **17111 Edgewater Drive**
- () Approve William J. Fugo, Jr.
() Deny Architect
() Defer 2424 Princeton Road
Cleveland Heights, Ohio 44118

Applicant proposes the addition of stained wood pergola to second level terrace. (Page 63)

17. **Docket No. 05-34-20** **R** **1585 St. Charles Avenue**
- () Approve Dan Bracken
() Deny 1585 St. Charles Avenue
() Defer Lakewood, Ohio 44107

Applicant proposes to remove crumbling brick stairs and entry; replace with wood structure that complements existing facade. (Page 81)

18. **Docket No. 05-35-20** **R** **1121 Wilbert Road**
- () Approve Jason Amato
() Deny 1121 Wilbert Road
() Defer Lakewood, Ohio 44107

Applicant proposes renovation and addition: garage and bedroom first floor addition and renovation of home. (Page 90)

19. **Docket No. 05-36-20** **R** **1603 Wyandotte**
- () Approve D. Borowske
() Deny Borowske Builders Inc
() Defer 10428 Abbey Road
North Royalton, Ohio 44133

Applicant proposes to replace front porch deck and support posts; all replacement to mimic existing as closely as possible. (Page 95)

20. **Docket No. 05-37-20** **C** **17303 Detroit Avenue**
Detroit Tough
- () Approve James Mikelo
() Deny JYD LLC
() Defer 17303 Detroit Avenue
Lakewood, Ohio 44107

Applicant proposes the addition of storefront windows, new front roof over entry, and new siding on the commercial first floor (apartments above). (Page 99)

21. **Docket No. 05-38-20** **C** **12501 Madison Avenue**
The Nest on Madison

- Approve
- Deny
- Defer

James Mikelo
Little Jemmy LLC
12501 Madison Avenue
Lakewood, Ohio 44107

Applicant proposes the complete rehab of building; applying for Historic Tax credits and will add storefront windows and repaint the brick to match the original brick color. (Page 106)

22. **Docket No. 05-39-20** **C** **14503 Madison Avenue**
Marlowe Park Townhomes

- Approve
- Deny
- Defer

Dru Siley
Liberty Development Company
28045 Ranney Parkway
Westlake, Ohio 44145

Applicant proposes the redevelopment of the former St. Clement school site for 16 For Sale townhomes. (Page 115)

23. **Docket No. 05-40-20** **C** **14822 Madison Avenue**
Malley's Chocolates

- Approve
- Deny
- Defer

David Robar, AIA
Vocon
3142 Prospect Avenue E
Cleveland, Ohio 44115

Applicant proposes alteration to existing structure to add walk-up ice cream serving window(s) and potential outdoor seating area. (Page 125)

24. **Docket No. 05-41-20** **C** **11714 Nelson Court**
Nelson Court

- Approve
- Deny
- Defer

Richard Carr
Emerald Development and Economic Network, Inc.
7812 Madison Avenue
Cleveland, Ohio 44102

Applicant proposes gut rehab of two existing buildings; reconfigure seven existing 1-bedroom units and provide one new ADA unit; add new 2-bedroom unit on the third floor of each building. (Page 126)

SIGN REVIEW

25. **Docket No. 05-42-20** **13500 Detroit Avenue**
St. Edward High School

- Approve
- Deny
- Defer

John Goers, Associate VP
St. Edward High School
13500 Detroit Avenue
Lakewood, Ohio 44107

Applicant proposes replacement of main school sign on Detroit Avenue. (Page 141)

26. **Docket No. 05-43-20** **14701 Detroit Avenue**
Master Pizza
- Approve Daniel Beem
 Deny Wagner Sign Co.
 Defer 7135 West Ridge Road
Elyria, Ohio 44035

Applicant proposes application of vinyl graphics to two front windows and door glass. (Page 145)

27. **Docket No. 05-44-20** **17917 Detroit Avenue**
Sacred Hour Spa
- Approve Tabitha Baker
 Deny 1383 Edanola Avenue
 Defer Lakewood, Ohio 44107

Applicant proposes replacement signage for an existing business. (Page 148)

28. **Docket No. 05-45-20** **15400 Madison Avenue**
Mars Cafe
- Approve George Gountis
 Deny Gountis Properties, LLC
 Defer 15314 Madison Avenue
Lakewood, Ohio 44107

Applicant proposes installation of signage in front of the "Mars Bar", 15400 Madison Avenue. (Page 151)

COMMUNICATION

29. **Docket No. 05-46-20** **Public Art Grant Program**

Planning and Development personnel will present the communication. Projects awarded through the Spectacular Vernacular public art grant program provides funding for civic art and urban design projects within the city of Lakewood. The goal of the program is to incentivize community-driven art and design projects. (Page 153)

ADJOURN

Account: 101-0000-321.30.01

REFERENCE No. BBS19-000106
DOCKET No. 01-02-20
FEE PAID \$25.00 js CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name 1464 Riverside ~~West~~ Project Address 1464 Riverview
Applicant Name LINDA Fredrickson Applicant Address 2234 Warren Rd
(if different than above)
Applicant Contact 440,669-9806 linfredy@aol.
Brief Project Description Demo old house, Construct new

Signature: 

Date: 12-24-19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Jude home LLC LINDA Fredrickson, Pres Property Address 1464 Riverside
Owner / Agent Contact 440 669-9806 linfredy@aol.

Owner / Agent Signature: 

Date: 12-24-19

Office Use Only: Reviewed and Accepted by:  Date: 12-30-19

Ordinance 22-00B Section 1325.05 Remarks _____

Johanna Schwarz

From: David Baas
Sent: Friday, May 1, 2020 2:15 PM
To: Johanna Schwarz
Subject: Fw: 1464 Riverside - City of Lakewood May ABR Review

Johanna,
Deferral request from 1464 Riverside...

Sincerely,
Dave

From: Linda Fredrickson <linfreddy@aol.com>
Sent: Friday, May 1, 2020 2:13 PM
To: David Baas <David.Baas@lakewoodoh.net>
Subject: Re: 1464 Riverside - City of Lakewood May ABR Review

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

That is correct. Dale Gracion is my designer and he said he turned in the vertical shot. He is going to call or email you.

Thank you.

-----Original Message-----

From: David Baas <David.Baas@lakewoodoh.net>
To: Linda Fredrickson <linfreddy@aol.com>
Cc: dalegracon@gmail.com <dalegracon@gmail.com>
Sent: Fri, May 1, 2020 10:48 am
Subject: RE: 1464 Riverside - City of Lakewood May ABR Review

Linda,
Just to confirm – you would like to defer until June?

For review – for the Board to consider/approve any demolition, they will need to see all pertinent details of the new proposed home:

- A detailed site plan (includes setbacks, placement in relation to adjacent homes, and other features – walkways, landscaping, etc.)
- Plans with elevations (front/back and sides) with dimensions
- All intended materials, colors, etc.

Sincerely,
Dave

Dave Baas
City Planner
LtCol, USMC (Retired)
EcoDistricts AP
City of Lakewood
12650 Detroit Avenue
Lakewood, Ohio 44107

Account: 101-0000-321.30.01

REFERENCE No. BBS-20-000014
DOCKET No. 03-21-20
FEE PAID \$25.00 CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Attached garage 17717 Indianola Rd.

Project Address 17717 Indianola Rd.

Applicant Name Stephen Jouriles - SNJ Design Studio

Applicant Address 12518 Clifton Blvd.

(if different than above)

Applicant Contact (216) 316 - 0072

snj.design.studio.llc @ gmail.com

Brief Project Description Remove existing screen porch at north end of house. Construct 2-car attached garage in its place.

Signature: Stephen M Jouriles

Date: 2/17/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Jeffrey Kreis

Property Address 17717 Indianola

Owner / Agent Contact (216) 600 - 3600

jbkohio @ gmail.com

Owner / Agent Signature Stephen M Jouriles

Date: 2/17/2020

Office Use Only: Reviewed and Accepted by: [Signature] Date: 2/27/2020

Ordinance 22-00B

Section 1355.05

Remarks _____

Johanna Schwarz

From: Johanna Schwarz
Sent: Wednesday, April 22, 2020 3:00 PM
To: Planning Dept
Subject: FW: City of Lakewood Architectural Board of Review (ABR) - Cancelled Meeting (April)

From: snj.design.studio.llc@gmail.com <snj.design.studio.llc@gmail.com>
Sent: Tuesday, March 24, 2020 1:05 PM
To: David Baas <David.Baas@lakewoodoh.net>
Subject: RE: City of Lakewood Architectural Board of Review (ABR) - Cancelled Meeting (April)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Thank you, David. The owner of 17717 Indianola has decided to withdraw the application. Please remove us from future dockets.

Please call or email with any questions.

Stephen N. Jouriles, AIA, CDP, LEED AP
Architect
SNJ Design Studio LLC
216-316-0072
snj.design.studio.llc@gmail.com
snjdesignstudio.com



From: David Baas <David.Baas@lakewoodoh.net>
Sent: Tuesday, March 24, 2020 10:52 AM
Subject: City of Lakewood Architectural Board of Review (ABR) - Cancelled Meeting (April)

All,
I wanted to inform everyone who is currently on the docket or has recently applied for the City of Lakewood Architectural Board of Review (ABR) that - due to current public health concerns & guidance - both the April pre-review (2nd) and public meeting (9th) have been cancelled.

Your applications will be retained and placed on the May review docket with more information to follow, pending further state/local guidance on public meetings.

Account: 101-0000-321.30-01

REFERENCE No. ~~2119-002488~~
DOCKET No. 02-09-19
FEE PAID \$50.00 jsc/Leck

BBS19-000011

APPLICATION
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

Property Address 1406 WYANDOTTE AVENUE
13701 & 13901 Detroit Ave Business Name N/A

Owner Name & Phone Stavash Family LLC/Lakewood Chrysler Plymouth Inc Owner Address 440-452-8765 / 216-403-2712

Project Description See Attached

Incomplete or Late Applications will not be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Board of Building Standards – (\$25.00)**
All requests for variances to the Building Code. See Building Code Chapter 1327 for complete regulations.
- Architectural Board of Review – (Commercial \$50.00, Residential \$25.00)**
Examples: Modifications to the exterior of a building, new construction, commercial landscaping, installation or modification of fencing, parking lot modification. See Building Code Chapter 1327 for complete regulations.
- Sign Review Board – (\$25.00)**
New signs and modifications, replacement or upgrades to existing sign. See Chapter 1329 for sign regulations.

Submission Requirements:

Board of Building Standards: 1-5, 9, 10 Architectural Board of Review: 1-7, 9, 10 Sign Review: 1-4, 6, 8, 9, 10

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11)
6. Material samples.
7. Manufacturer's cut sheets for lighting, fencing and any other architectural element. (1 copy color, 8.5 x 11)
8. Scaled and dimensioned drawings of all signage including location, colors and materials. (1 copy color, 8.5 x 11)
9. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
10. Fee(s)

Applicant Name (Print Clearly): Jerome Solove Company Jerome Solove Development Inc

Applicant Address: 470 Olde Worthington Road, Suite 200 Westerville, OH 43082

Phone: 614-410-6734 Fax: 8666-218-6067 E-mail: jsolove@solove.com

Signature: *Jerome N. Solove* Date: 1-30-19

OFFICE USE ONLY: Application Reviewed and Accepted by: *Alp Y* Date: 1/30/2019

File History: _____

Bldg. Dept. Remarks: Review of Design Principles (1156.05)
under Planned Development Zoning process

ORD. 22-00B SECTION 1325.05
17-17 1156.05

Johanna Schwarz

From: David Baas
Sent: Tuesday, May 5, 2020 4:42 PM
To: Johanna Schwarz
Subject: Fw: City of Lakewood ABR - May/June

Johanna,
For your records - confirmation below that the two Solove applications (13701/13901 Detroit) are requesting deferral for May.

Sincerely,
Dave

From: Alex Solove <asolove@solove.com>
Sent: Tuesday, May 5, 2020 4:34 PM
To: David Baas <David.Baas@lakewoodoh.net>
Subject: Re: City of Lakewood ABR - May/June

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.
Yes we will not be presenting in May.

Are meetings being held in person?

Thanks,

Alex

On Tue, May 5, 2020 at 3:34 PM David Baas <David.Baas@lakewoodoh.net> wrote:

Alex,

I just wanted to touch base with you - hope all is well. We've still got the two Detroit & Bunts development applications on the ABR docket. I'm assuming at this point that you'll be requesting a deferral for the time being...but wanted to confirm for our upcoming review cycle.

Thank you -

Sincerely,
Dave

--

Alex Solove
614-425-2104
www.soloverealestate.com

Account: 101-0000-321.30-01

REFERENCE No. BS 19-000021

DOCKET No. 06-48-19

FEE PAID \$50.00 *j's check*

APPLICATION
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

Property Address 13701 & 13901 Detroit Ave. Business Name N/A

Owner Name & Phone Stavash Family LLC/Lakewood Chrysler Plymouth Inc. Owner Address 13701 & 13901 Detroit Ave., Lakewood, Ohio

Project Description See Attached

Incomplete or Late Applications will not be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

Board of Building Standards - (\$25.00)
All requests for variances to the Building Code. See Building Code Chapter 1327 for complete regulations.

Architectural Board of Review - (Commercial \$50.00, Residential \$25.00)
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1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11)
6. Material samples.
7. Manufacturer's cut sheets for lighting, fencing and any other architectural element. (1 copy color, 8.5 x 11)
8. Scaled and dimensioned drawings of all signage including location, colors and materials. (1 copy color, 8.5 x 11)
9. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
10. Fee(s)

Applicant Name (Print Clearly): Jerome Solove Company Jerome Solove Development Inc.

Applicant Address: 14837 Detroit Avenue #339 Lakewood, OH 44107

Phone: 614-425-2104 Fax: _____ E-mail: asolove@solove.com

Signature: *Jerome N. Solove* Date: 5-9-19

OFFICE USE ONLY: Application Reviewed and Accepted by: *AK y* Date: 5/30/2019

File History: _____

Bldg. Dept. Remarks: _____

ORD. 22-00B SECTION 1325.05

Johanna Schwarz

From: David Baas
Sent: Tuesday, May 5, 2020 4:42 PM
To: Johanna Schwarz
Subject: Fw: City of Lakewood ABR - May/June

Johanna,
For your records - confirmation below that the two Solove applications (13701/13901 Detroit) are requesting deferral for May.

Sincerely,
Dave

From: Alex Solove <asolove@solove.com>
Sent: Tuesday, May 5, 2020 4:34 PM
To: David Baas <David.Baas@lakewoodoh.net>
Subject: Re: City of Lakewood ABR - May/June

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Yes we will not be presenting in May.

Are meetings being held in person?

Thanks,

Alex

On Tue, May 5, 2020 at 3:34 PM David Baas <David.Baas@lakewoodoh.net> wrote:

Alex,

I just wanted to touch base with you - hope all is well. We've still got the two Detroit & Bunts development applications on the ABR docket. I'm assuming at this point that you'll be requesting a deferral for the time being...but wanted to confirm for our upcoming review cycle.

Thank you -

Sincerely,
Dave

--
Alex Solove
614-425-2104
www.soloverealestate.com

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000009

DOCKET No. 02-16-20

FEE PAID _____ *check*

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Beck Center for the Arts

Project Address 17801 Detroit Ave.

Applicant Name Lucinda Einhouse

Applicant Address 17801 Detroit Ave.

(if different than above)

Applicant Contact (216) 521 2540, x24

lucinda.einhouse @ beckcenter.org

Brief Project Description demolition of annex building on corner of Detroit and Rockway avenues, to create a public "pocket park"

Signature: Lucinda B Einhouse
Digitally signed by Lucinda B Einhouse
Date: 2019.12.17 10:21:14 -05'00'

Date: 12/17/19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Lucinda Einhouse


Property Address 17801 Detroit Ave.

Owner / Agent Contact (216) 521 2540, 24

lucinda.einhouse @ beckcenter.org

Owner / Agent Signature Lucinda B Einhouse
Digitally signed by Lucinda B Einhouse
Date: 2019.12.17 10:22:26 -05'00'

Date: 12/17/19

Office Use Only: Reviewed and Accepted by: 

Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____

Johanna Schwarz

From: David Baas
Sent: Monday, April 27, 2020 1:28 PM
To: David Craun
Cc: Lucinda Einhouse; Allison Hennie; Johanna Schwarz
Subject: Re: City of Lakewood ABR

David,
Thank you for the response - I will forward the deferral request to the Board. We'll look to see you in June.

Sincerely,
Dave

From: David Craun <dcaun@bialosky.com>
Sent: Monday, April 27, 2020 12:05 PM
To: David Baas <David.Baas@lakewoodoh.net>
Cc: Lucinda Einhouse <lucinda.einhouse@beckcenter.org>; Allison Hennie <Allison.Hennie@lakewoodoh.net>
Subject: Re: City of Lakewood ABR (March)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

David,

The Beck Center would like to hold off for one more month on our ABR submission as we work through design concepts. We should be ready to share the design for the Green Space Improvements in June.

Thanks,

DAVID W CRAUN AIA, LEED AP
Principal

BIALOSKY CLEVELAND
AIA Ohio Gold Medal Firm

Innovative. Responsive. Enduring. Beautiful.

On Apr 24, 2020, at 5:19 PM, David Baas <David.Baas@lakewoodoh.net> wrote:

David,
Hope all is well - I just wanted to reach out to you as we get closer to the May ABR/Sign Review cycle.

If you could please provide any updates you may have for the Beck Center proposal by the end of next week (Friday 1st), we can review & get the update properly slated for the Board.

Any questions - please let us know.

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000011
DOCKET No. 02-17-20
FEE PAID check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name The Roy Building

Project Address 18520-24 Detroit Ave.

Applicant Name Michael J. Krivosh

Applicant Address 17479 Clifton Blvd.
(if different than above)

Applicant Contact (216) 440 3257

mickeyatc @ gmail.com

Brief Project Description Replace current wood building front facades with new siding and trim molding made of a more durable material known as Azek.

Signature: 

Date: 1-29-20

REVIEW REQUESTED (Check all that apply to your project)

- Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)**
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations
- Sign Review Board (Review Fee: \$25)**
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.
- Board of Building Standards (Review Fee: \$25)**
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS
In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

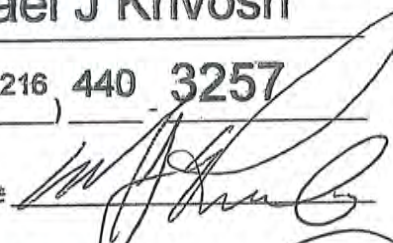
Are there any dog(s) on the property? Yes No

Owner Name Michael J Krivosh


Property Address 18520-24 Detroit Ave.

Owner / Agent Contact (216) 440 3257

mickeyatc @ gmail.com

Owner / Agent Signature 

Date: 1-29-20

Office Use Only: Reviewed and Accepted by: 

Date: 2/5/2020

Ordinance 22-00B

Section 1325.05

Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS-20-000018

DOCKET No. 03-25-20

FEE PAID \$50.00 by CHECK

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name HOLA TACOS

Project Address 12102 MADISON AVE.

Applicant Name ARCHITECTS,
C.A. MCGEETTRICK LLC
C.A. MCGEETTRICK, JR. PRES.

Applicant Address 14551 MADISON AVE
(if different than above)

Applicant Contact (216) 227 - 0700

ARCHICAM @AMERITECH.NET

Brief Project Description SITE IMPROVEMENTS AND RENOVATIONS TO EXISTING STRUCTURES

Signature: C.A. McGeettrick, Jr.
PRES.

Date: 2-26-2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: **Commercial \$50**, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name JUAN VERGARA

Property Address 12102 MADISON AVE

Owner / Agent Contact (216) 227 - 0700

ARCHICAM @ AMERITECH.NET

Owner / Agent Signature C.A. McGeettrick, Jr.
PRES.

Date: 2-26-2020

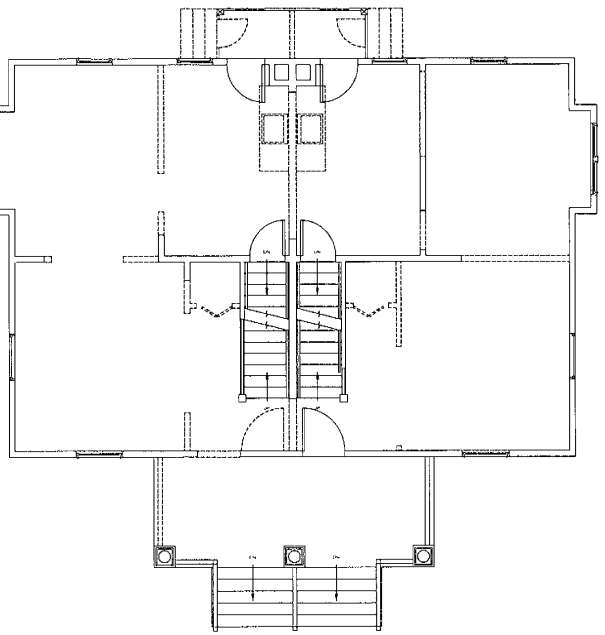
Office Use Only: Reviewed and Accepted by: [Signature]

Date: 2/27/2020

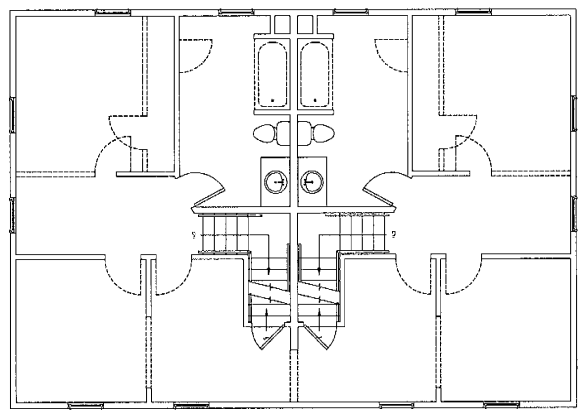
Ordinance 22-00B

Section 1325.05

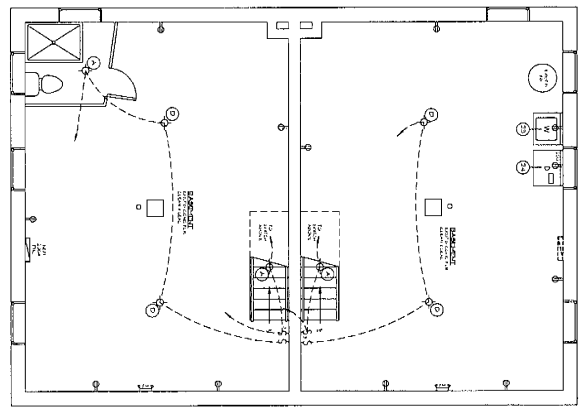
Remarks _____



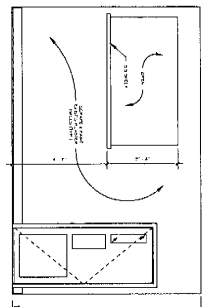
FIRST FLR. DEMO PLAN
1/4" = 1'-0"



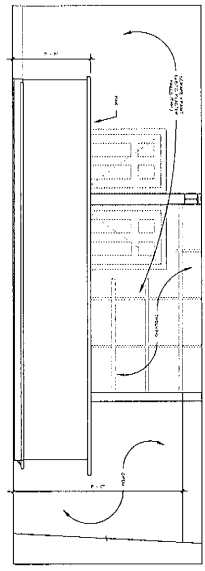
SECOND FLR. DEMO PLAN
1/4" = 1'-0"



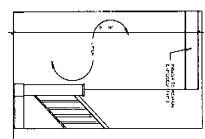
BASEMENT PLAN
1/4" = 1'-0"



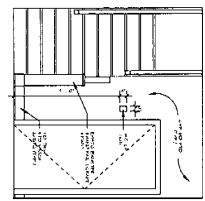
ELEV. 1-2
3/8" = 1'-0"



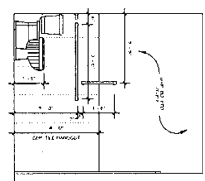
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3/8" = 1'-0"



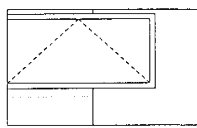
ELEV. 2-C
3/8" = 1'-0"



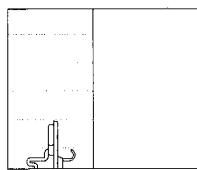
ELEV. 2-D
3/8" = 1'-0"



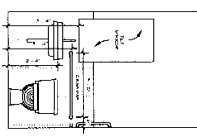
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3/8" = 1'-0"



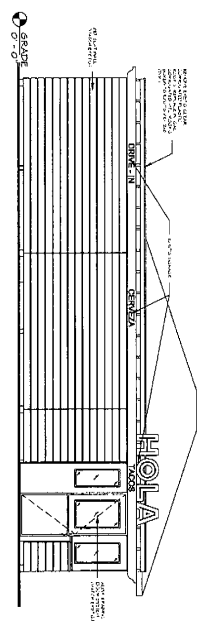
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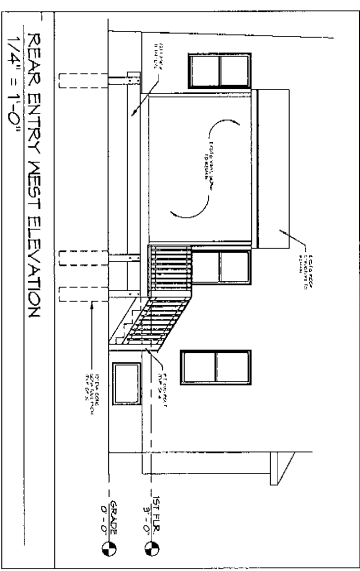
ELEV. 3-C
3/8" = 1'-0"



ELEV. 3-D
3/8" = 1'-0"



TACO HUT SOUTH ELEVATION
1/4" = 1'-0"



REAR ENTRY WEST ELEVATION
1/4" = 1'-0"

A-1

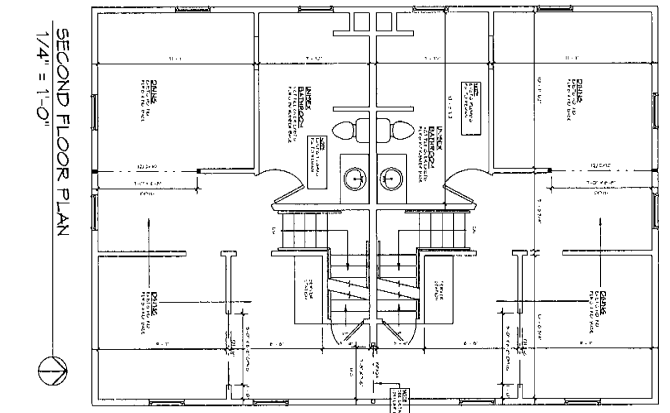
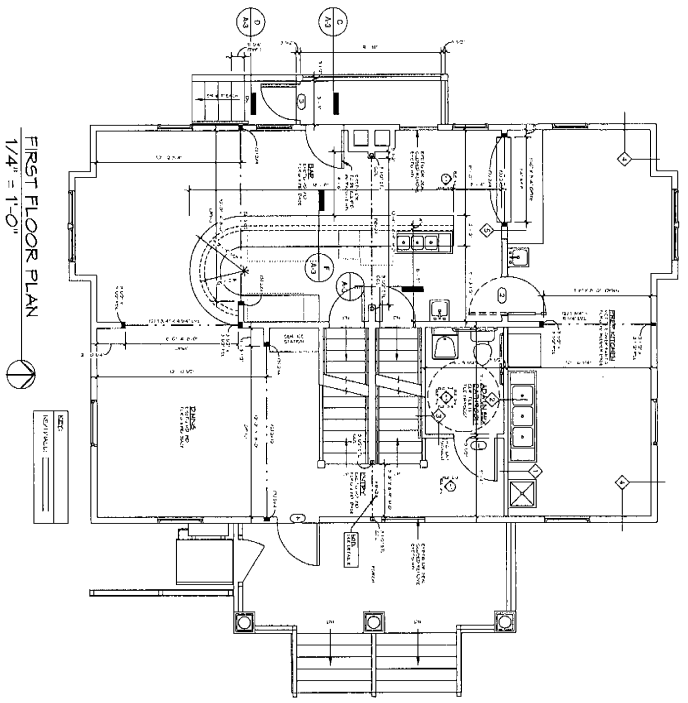
COMMISSION NO. 21442
DATE 2/14/03
REVISION

HOLA TACOS
12102 Madison Ave. Lakewood, Ohio 44107

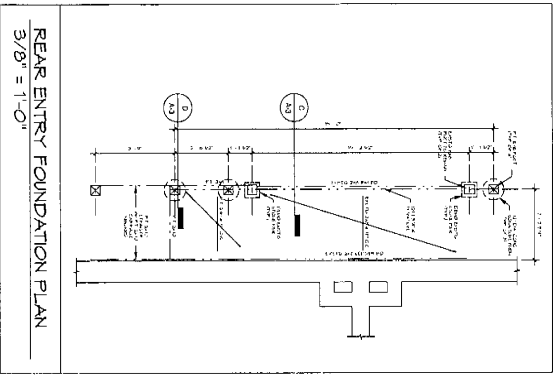
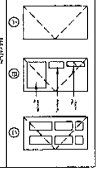
ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio, 44107 216-227-0700 FAX: 216-227-0712

DATE 2/26/03
REVISION

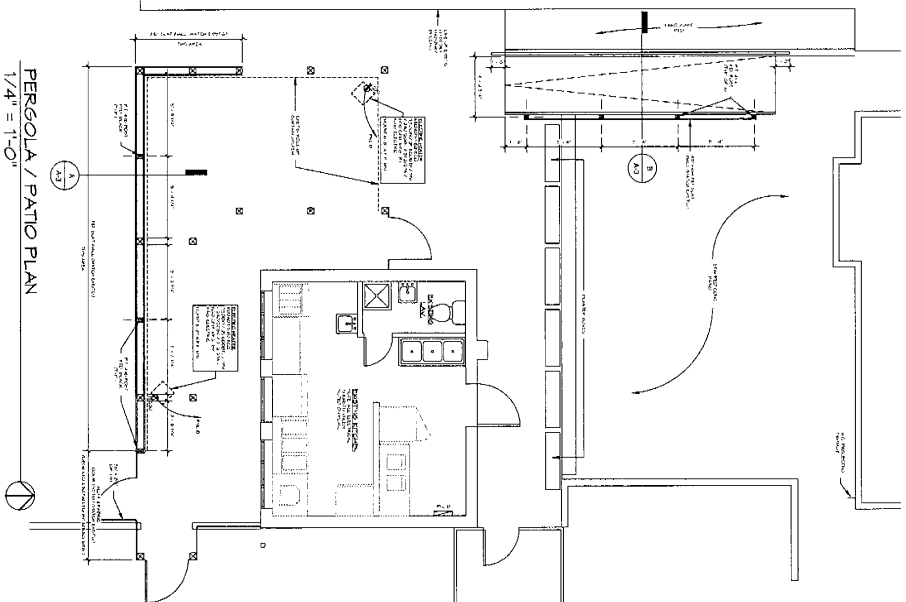
C.A. McGettrick



NO.	DOOR SCHEDULE	REMARKS
1	1 1/2\"/>	



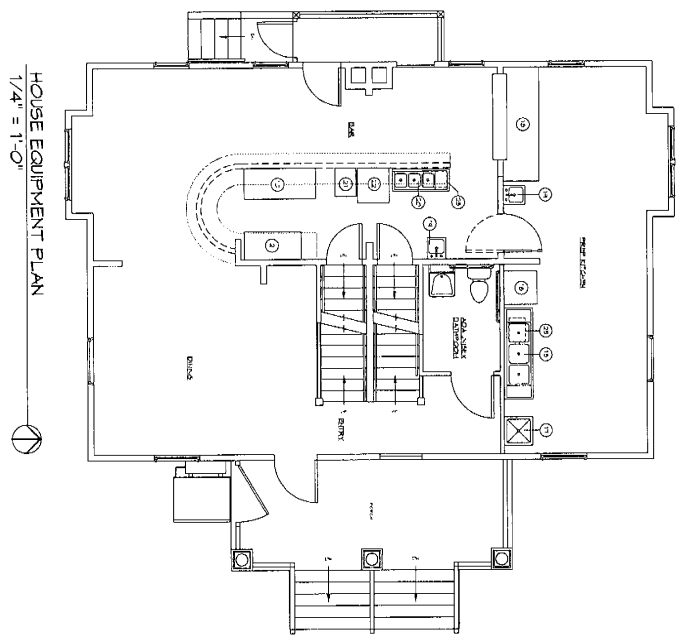
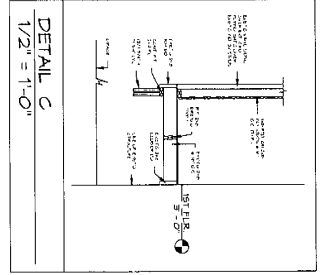
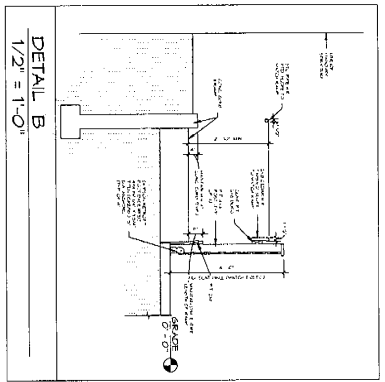
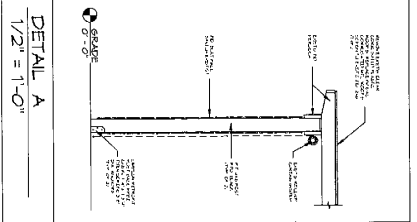
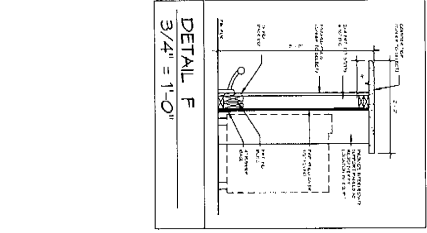
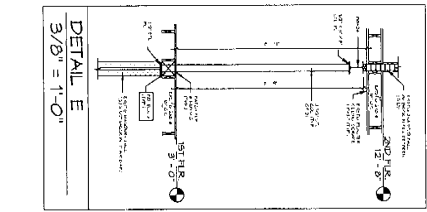
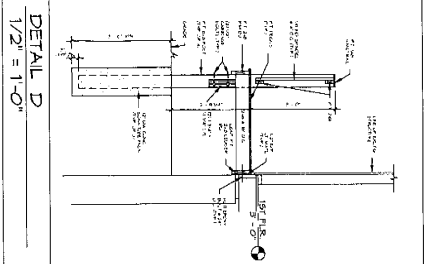
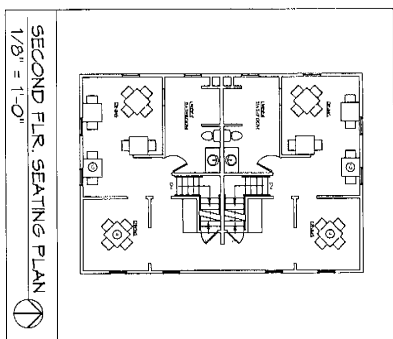
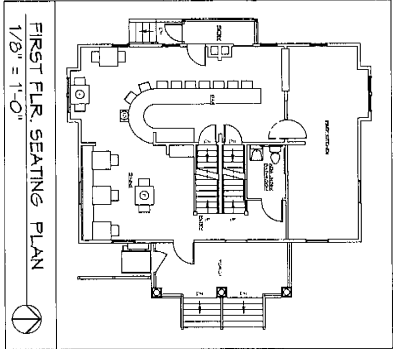
WALL TYPE 1	WALL TYPE 2	WALL TYPE 3	WALL TYPE 4	WALL TYPE 5
3/4\"/>	3/4\"/>	3/4\"/>	3/4\"/>	3/4\"/>



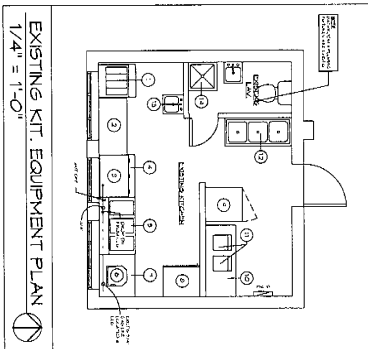
C.A. McGettrick
 DATE: 3/26/03
 REVISION:

HOLA TACOS
 12102 Madison Ave. Lakewood, Ohio 44107
ARCHITECTS, C.A. McGETTRICK, LLC
 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

A-2



NO.	DESCRIPTION	DATE	BY	REVISIONS
1	REVISIONS			
2	REVISIONS			
3	REVISIONS			
4	REVISIONS			
5	REVISIONS			
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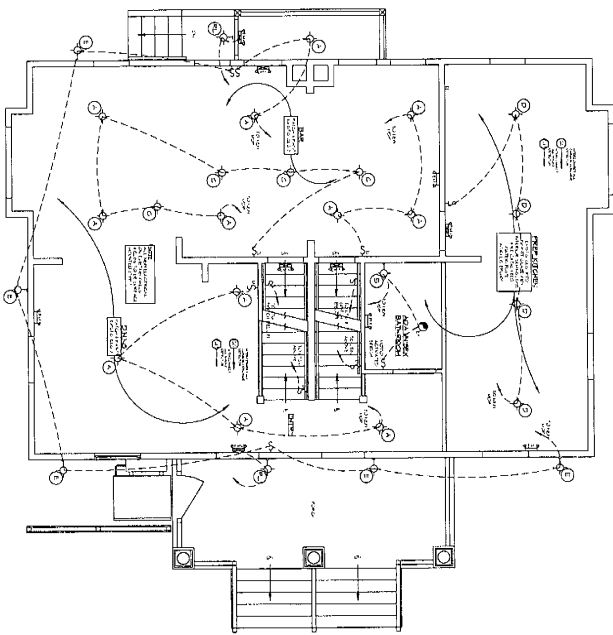


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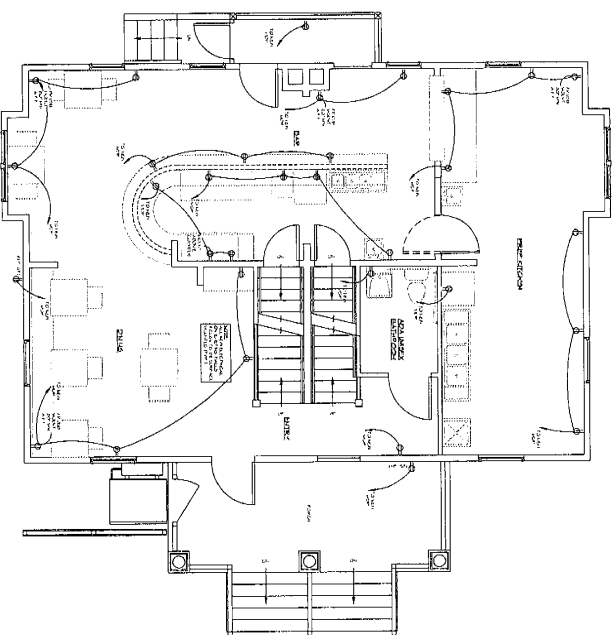
HOLA TACOS
 12102 Madison Ave. Lakewood, Ohio 44107
ARCHITECTS, C.A. McGETTRICK, LLC
 14531 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

REVISIONS

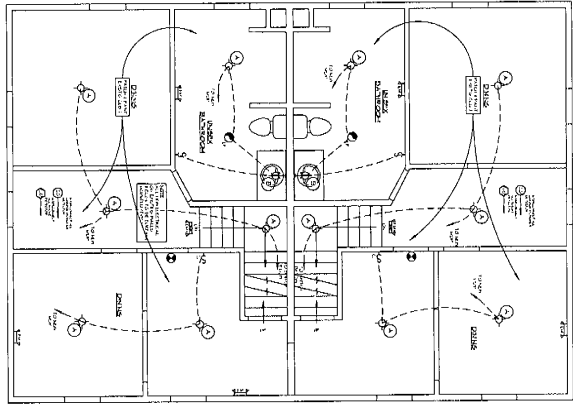
C.A. McGettrick



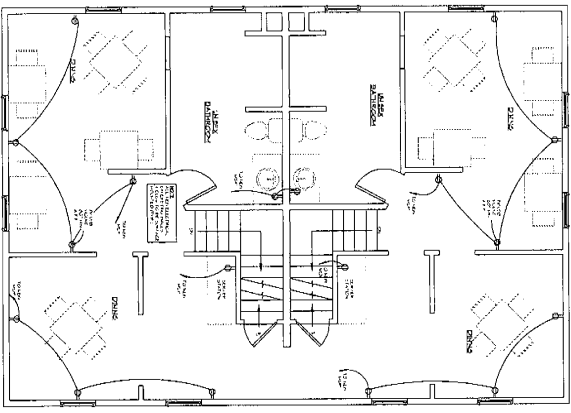
FIRST FLR. REFLECTED CEILING PLAN
1/4" = 1'-0"



FIRST FLR. POWER PLAN
1/4" = 1'-0"



SECOND FLR. REFLECTED CEILING PLAN
1/4" = 1'-0"



SECOND FLR. POWER PLAN
1/4" = 1'-0"

NOTES TO THE CONTRACTOR

1. SEE CEILING PLAN FOR LIGHT FIXTURES
2. SEE POWER PLAN FOR ELECTRICAL SYMBOLS
3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
4. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.

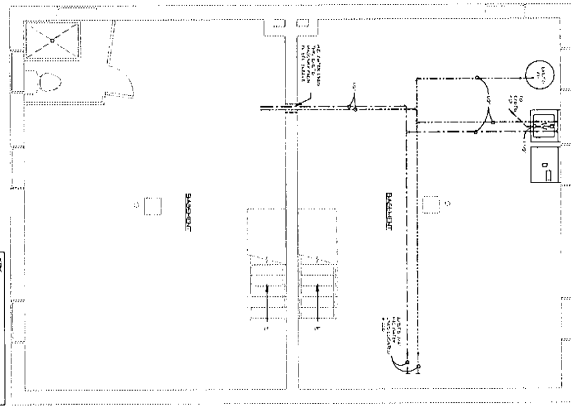
NOTE: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.

A-4

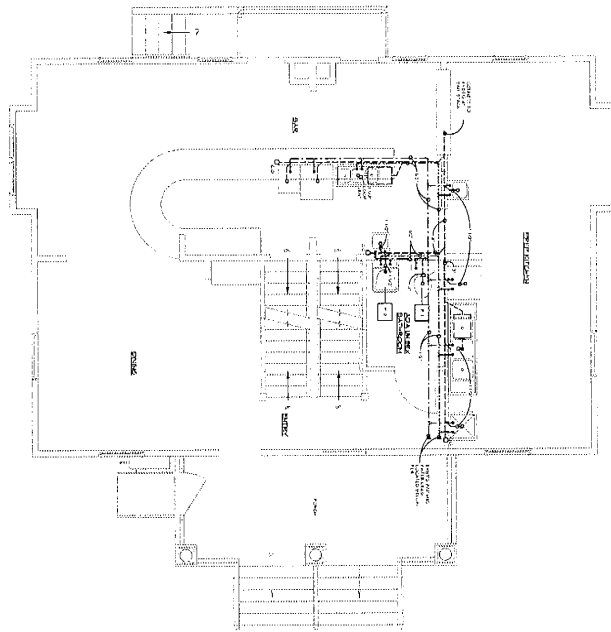
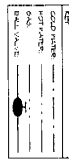
HOLA TACOS
12102 Madison Ave. Lakewood, Ohio 44107

ARCHITECTS, C.A. McGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

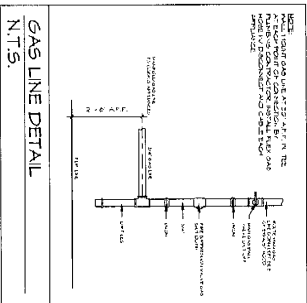
C.A. McGettrick



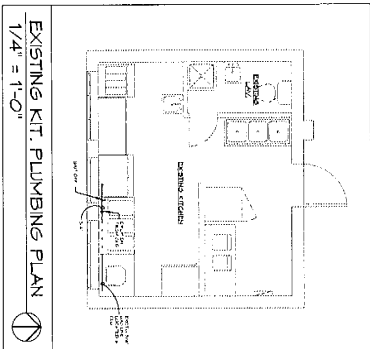
BASEMENT PLUMBING PLAN
1/4" = 1'-0"



FIRST FLR. PLUMBING PLAN
1/4" = 1'-0"



GAS LINE DETAIL
N.T.S.



EXISTING KIT. PLUMBING PLAN
1/4" = 1'-0"

GENERAL NOTES:

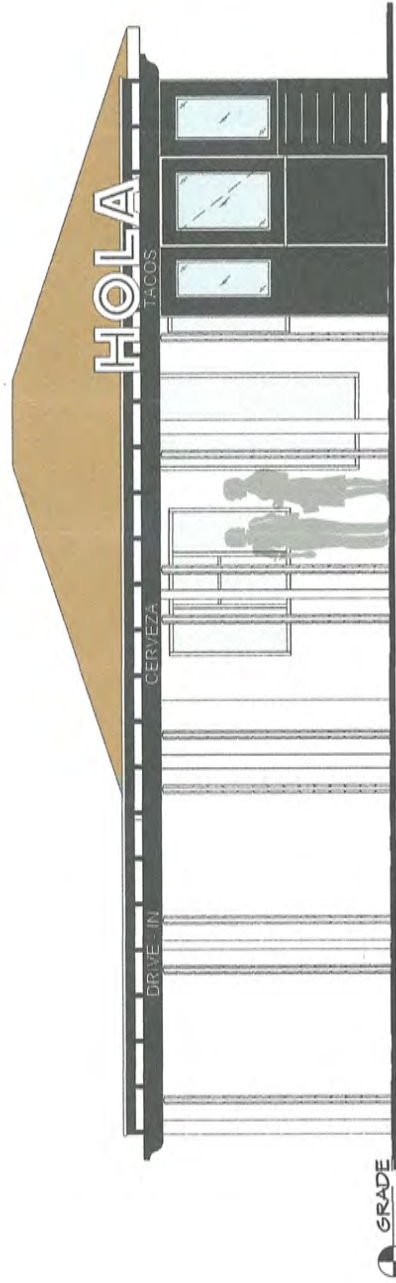
1. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
2. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
3. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
4. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
5. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
6. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
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8. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
9. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.
10. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL CODE.

DATE: 02/20/08
BY: [Signature]
REVISION: [Signature]

HOLA TACOS
12102 Madison Ave. Lakewood, Ohio 44107

ARCHITECTS, C.A. McGETTRICK, LLC
14531 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

P-1

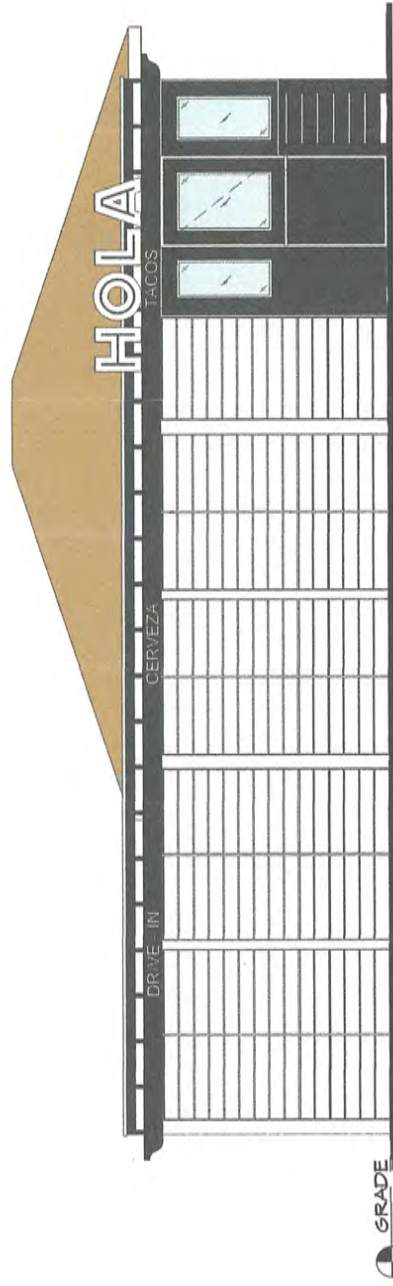


TACO HUT SOUTH ELEVATION

1/4" = 1'-0"

(PANELS OPEN)

Architects
C-A-McGettrick
 Inc.
1455 Madison Ave.
 Cleveland, Ohio 44114-3742
 Email: info@camcgettrick.com



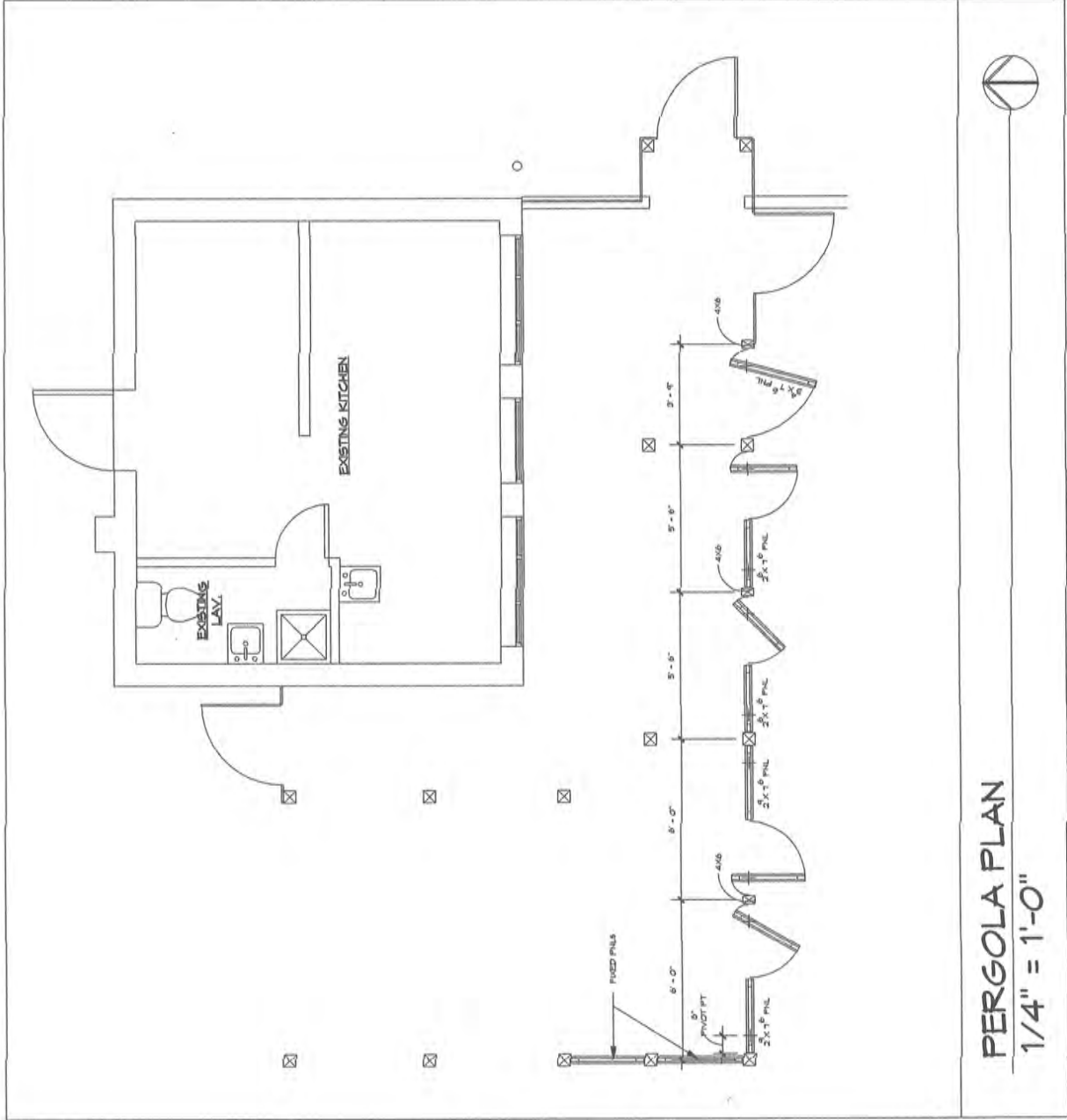
(PANELS CLOSED)

TACO HUT SOUTH ELEVATION

1/4" = 1'-0"



1405 Madison Ave.
 1st Floor
 Cambridge, MA 02142
 Tel: 617-252-0112
 Fax: 617-252-0113



PERGOLA PLAN
 1/4" = 1'-0"

Account: 101-0000-321.30.01

REFERENCE No. BBS19-000095
DOCKET No. 12-123-19
FEE PAID \$25.00 js cash

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Lakewood Truck Park

Project Address 10900 Detroit Ave


Applicant Name Daniel Deagan

Applicant Address 12700 Lake Ave #3005
(if different than above)

Applicant Contact (216) 470-8495

deagan33 @ yahoo.com

Brief Project Description _____

Signature: 

Date: 11/26/19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name _____

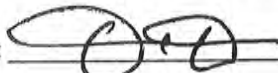
Property Address _____

Owner / Agent Contact (____) _____ - _____

_____ @ _____

Owner / Agent Signature _____

Date: _____

Office Use Only: Reviewed and Accepted by:  Date: 12-2-2019

Ordinance 2-16

Section 1329.05
1329.12(d)

Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS-20-00020 (A)
BBS-20-00021 (S)
DOCKET No. 03-27-20 A+S
FEE PAID \$75.00 db CHECK

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Hudec dental

Project Address 15509 Madison Ave

Applicant Name LS Architects

Applicant Address 22082 Lorain Rd
(if different than above) Fairview Park Ohio 44120

Applicant Contact (216) 403-9654

Leon @ lsarchitectsinc.com

Brief Project Description Facade Renovation (Front)

Signature: LS

Date: 2/19/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Mike Hudec

Property Address 15509 Madison Ave

Owner / Agent Contact (216) 661-8888

@ _____

Owner / Agent Signature _____

Date: 2/19/2020

Office Use Only: Reviewed and Accepted by: [Signature] Date: 2/27/2020

Ordinance 22-00B - AB2
2-16 - SIGNAGE

Section 1329.05
1329.05
1329.12(b)

Remarks _____

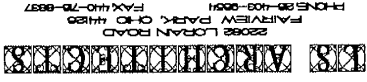


EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

EXTERIOR ALTERATIONS FOR:
DR. HUDEC
15509 MADISON AVE
LAKEWOOD, OHIO



22082 LORAIN ROAD
 FAIRVIEW PARK, OHIO 44120
 PHONE 937-403-0934 FAX 937-403-0937

REV.	DATE



EXTERIOR ALTERATIONS FOR:
DR. HUDEC
15509 MADISON AVE
LAKEWOOD, OHIO

DATE: 01/20/2016
 ISSUE: T1
 SHEET: T1

DRAWING INDEX

T1 - DRAWING INDEX, CODE REVIEW, BUILDING LOCATION

A1.1 - PROPOSED FLOOR PLAN, DEMOLITION PLAN & WALL TYPES

A2.1 - SECTIONS AND DETAILS

CODE REVIEW

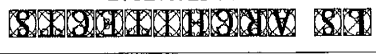
CODE INFORMATION:
 BUILDING CODE : OBC (2017)
 USE GROUP : 'B' - BUSINESS
 TYPE OF CONSTRUCTION : V-B
 NON SPRINKLERED

TENANT AREA : 4,968 SQ. FT.

LOCATION PLAN

LOCATION PLAN
 N.T.S.

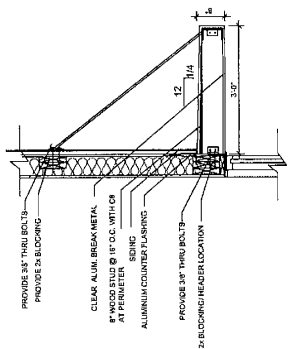
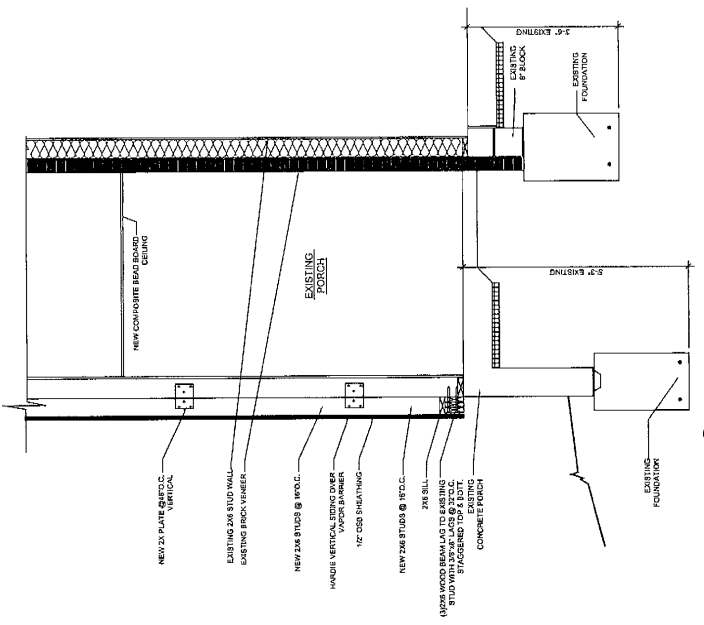
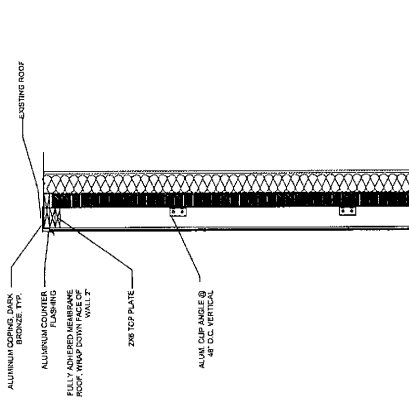
REV.	DATE



EXTERIOR ALTERATIONS FOR:
DR. HUDEC
15509 MADISON AVE
LAKEWOOD, OHIO

DATE: 02-14-12
 SHEET: 02-14-12
 DRAWN: G. L. H. JR.
 CHECKED: G. L. H. JR.

A2.1



CONCRETE

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM WITH CHAPTER 19 OF THE CODE AND WITH THE PROVISIONS OF AC 308, LATEST EDITION.
2. REINFORCED CONCRETE IS DESIGNED BY THE "ULTIMATE STRENGTH DESIGN" METHOD.
3. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND APPROVED BY THE STRUCTURAL ENGINEER. MIX DESIGN METHODS (TEST RESULTS) SHALL BE USED TO PROPORTION CONCRETE. SUBMIT MIX DESIGN METHOD DATA.
4. SPECIFICS OF STRUCTURAL CONCRETE 28-DAY STRENGTH AND TYPES:

LOCATION IN STRUCTURE	STRENGTH	DENSITY	SUMP
ALL CONCRETE FOOTINGS	3000	150 PCF	1-3
ALL CONCRETE SUBSTRUCTURE WALLS	3000	150 PCF	1-3
SLAB-ON-GRADE	4000	150 PCF	1-3

5. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE I OR II.
6. AGGREGATE FOR CONCRETE SHALL CONFORM TO ALL REQUIREMENTS AND TESTS OF ASTM C-33 AND PROJECT SPECIFICATIONS.
7. CONCRETE CURING OPERATION, ETC. SHALL CONFORM TO ASTM C-310.
8. PLACEMENT OF CONCRETE SHALL CONFORM TO CODE SECTION 1905 AND PROJECT SPECIFICATIONS. CLEAN SURFACES MUST BE PREPARED AND ALL REINFORCING BARS MUST BE PLACED.
9. ALL REINFORCING BARS, ANCHOR BOLTS, AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION BEFORE POURING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING OPERATIONS IN CONCRETE SHALL BE APPROVED BY THE ENGINEER. ALL CORINGS MUST BE CLEANED AND REINFORCING BARS MUST BE PLACED IN THE CORINGS. SEE THESE DRAWINGS FOR ADDITIONAL RESTRICTIONS ON THE PLACEMENT OF OPENINGS IN CONCRETE.
10. ALL REINFORCING BARS SHALL BE AT LEAST 1/2" DIAMETER. ALL JOINTS FOR SLABS ON GRADE, A MAXIMUM OF 20'-0" O.C. UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS. GET JOINTS WITHIN 8 (EIGHT) HOURS AFTER PLACING CONCRETE.
11. CORE CONCRETE BY WET CURING OR LIQUID CURING AGENT TO VERIFY CURING AGENT IS COMPATIBLE WITH ANY FLOOR ADHESIVES SPECIFIED WITHIN THE CONTRACT DOCUMENTS.

Account: 101-0000-321.30.01

REFERENCE No. BBS-20-00020 (A)
BBS-20-00021 (S)
DOCKET No. 03-27-20 A+S
FEE PAID \$75.00 db CHECK

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Hudec dental

Project Address 15509 Madison Ave

Applicant Name LS Architects

Applicant Address 22082 Lorain Rd
(if different than above) Fairview Park Ohio 44120

Applicant Contact (216) 403 - 9654

leon @ lsarchitectsinc.com

Brief Project Description Facade Renovation (Front)

Signature: LS

Date: 2/19/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Mike Hudec

Property Address 15509 Madison Ave

Owner / Agent Contact (216) 661 - 8888

@ _____

Owner / Agent Signature _____

Date: 2/19/2020

Office Use Only: Reviewed and Accepted by: [Signature] Date: 2/27/2020

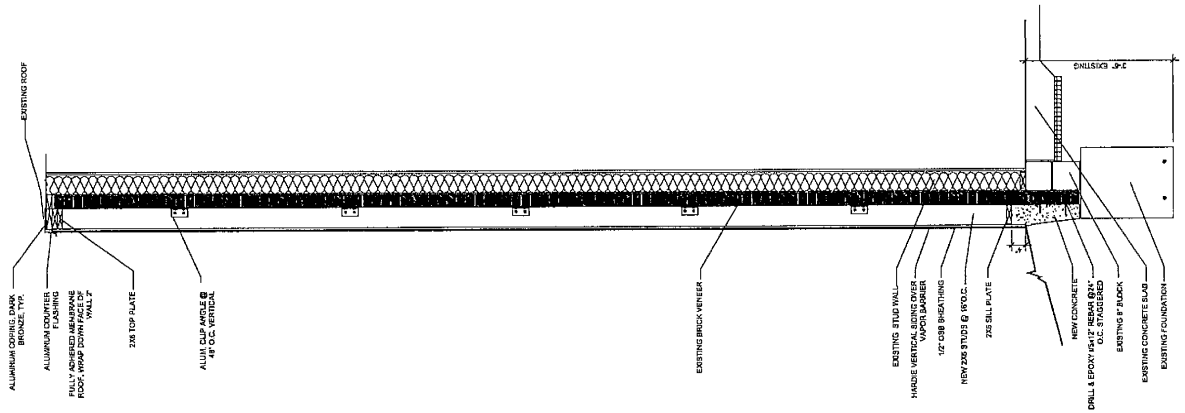
Ordinance 22-0013 - ABR Section 1329.05 Remarks _____
2-16 - SIGNAGE 1329.05
1329.12(b)



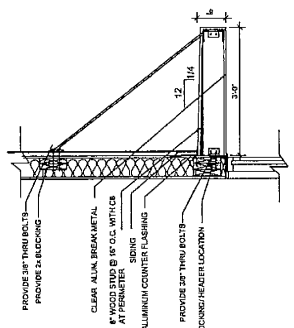
EXISTING FRONT ELEVATION



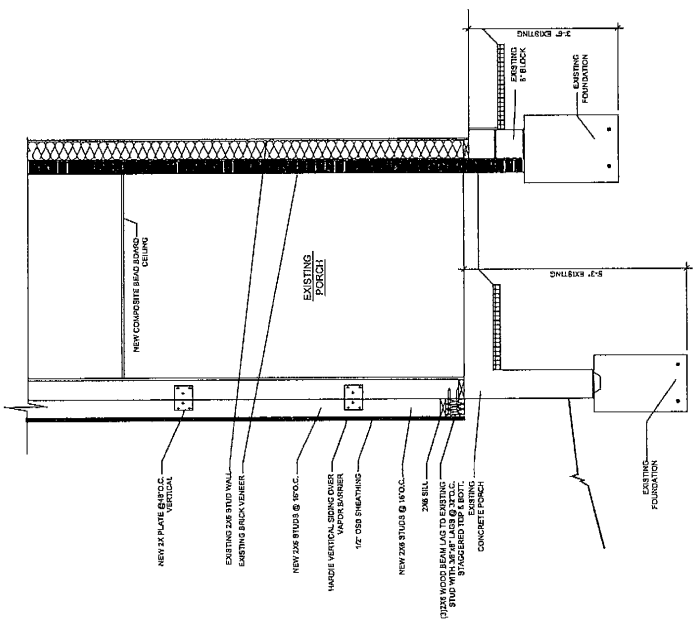
PROPOSED FRONT ELEVATION



(A) WALL SECTION
SCALE: 3/4\"/>



AWNING DETAIL
SCALE: 1/2\"/>



(B) WALL SECTION
SCALE: 3/4\"/>

CONCRETE

- ALL CONCRETE CONSTRUCTION SHALL CONFORM WITH CHAPTER 19 OF THE CODE AND WITH THE PROVISIONS OF AC 308, LATEST EDITION.
- REINFORCED CONCRETE IS DESIGNED BY THE "ULTIMATE STRENGTH DESIGN" METHOD.
- CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER, MIX DESIGN METHODS (TEST METHOD) SHALL BE APPROVED BY THE STRUCTURAL ENGINEER. MIX DESIGN METHOD SECTION 1905.3 SHALL BE USED TO DETERMINE CONCRETE SUBMIT MIX DESIGN METHOD DATA.
- SCHEDULE OF STRUCTURAL CONCRETE 28-DAY STRENGTH AND TYPES.

LOCATION IN STRUCTURE	STRENGTH	DENSITY	SLOPE
ALL CONCRETE FOOTINGS	3000	150 PCF	1-3
ALL CONCRETE SUBSTRUCTURE WALLS	3000	150 PCF	1-3
SLAB-ON-GRADE	4000	150 PCF	1-3
PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE I OR II.			

- AGGREGATE FOR CONCRETE SHALL CONFORM TO ALL REQUIREMENTS AND TESTS OF ASTM C-33 AND PROJECT SPECIFICATIONS.
- CONCRETE CURING OPERATION, ETC. SHALL CONFORM TO ALL REQUIREMENTS AND TESTS OF ASTM C-33 AND PROJECT SPECIFICATIONS.
- PLACEMENT OF CONCRETE SHALL CONFORM TO CODE SECTION 1905 AND PROJECT SPECIFICATIONS. CLEAN AND MOISTENED FORMS SHALL BE USED. ALL CONCRETE SHALL BE PLACED AGAINST WHEN NEW CONCRETE IS TO BE PLACED.
- ALL REINFORCING BARS, ANCHOR BOLTS, AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- FORMS SHALL BE DESIGNED TO SUPPORT ALL OVERHEAD LOADS AND SHALL BE PROTECTED FROM COLLAPSE. DO NOT OPEN UP TO CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING SHALL BE APPROVED BY THE ENGINEER. ALL JOINTS SHALL BE PROTECTED AND SHALL NOT SHOW IN THE DRAWINGS. SEE THESE DRAWINGS FOR ADDITIONAL RESTRICTIONS ON THE PLACEMENT OF OPENINGS IN CONCRETE.
- PIPS LARGER THAN 1-1/2" DIAMETER SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED BY ENGINEER.
- REINFORCING BARS, SPACE EMBEDDED PIPES AT A MINIMUM OF 3 DIAMETERS.
- CUT JOINTS FOR SLABS ON GRADE A MAXIMUM OF 20'-0" O.C. UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS. CUT JOINTS WITHIN 6 (SIX) FEET OF PER PLACING CONCRETE.
- CURE CONCRETE BY NET CURING OR LIQUID CURING. CURING AGENT IS COMPATIBLE WITH ANY FLOOR ADHESIVES SPECIFIED WITHIN THE CONTRACT DOCUMENTS.

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000040

DOCKET No. 05-31-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name New Home on Donald

Project Address 1315 Donald Ave

Applicant Name Andy Erker

Applicant Address 1361 Gladys Ave
(if different than above)

Applicant Contact (216-333-7458)

acerker@hotmail.com

Brief Project Description New infill home on vacant lot on Donald ave

Signature: Andrew C. Erker dotloop verified
03/25/20 1:59 AM EDT
TSTH-GWWF-VORX-SOW1

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Relief Properties, Inc

Property Address 1315 Donald

Owner / Agent Contact (216-225-9474)

darren@reliefpropertiesinc.com

Owner / Agent Signature _____

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Review Process

Applications may be submitted in either the Planning Department or Building Department. Both are located on the lower level of Lakewood City Hall at 12650 Detroit Avenue. Please submit your application as soon as it is complete. This will allow staff to review your application for completeness and gather any additional information needed prior to the deadline. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings are held on the first Thursday of the month at 4:00PM in the East Conference Room at City Hall. The Pre-Review is an *optional* work session meeting where the Board can request further explanation or details from the applicant. The Board Secretary will contact you if your attendance at the Pre-Review is requested.

Public Meetings are held on the second Thursday of the month at 5:30PM in the City Hall Auditorium. A representative of the project **MUST ATTEND** the meeting in order for the Board to vote on the item. If the applicant is unable to attend, please contact ABR@LakewoodOH.net to designate a representative who can speak for the project.

2020 Review Schedule

Review Month	Application Deadline Final Wednesday – Noon *Unless 1 st is a Thursday	Pre-Review Meeting First Thursday – 4PM East Conference Room	Public Meeting Second Thursday – 5:30PM Auditorium
January	12/24/2019	1/2	1/9
February	1/29	2/6	2/13
March	2/26	3/5	3/12
April	3/25	4/2	4/9
May	4/29	5/7	5/14
June	5/27	6/4	6/11
July	6/24	7/2	7/9
August	7/29	8/6	8/13
September	8/26	9/3	9/10
October	9/23	10/1	10/8
November	10/28	11/5	11/12
December	11/25	12/3	12/10

SUBMISSION REQUIREMENTS:

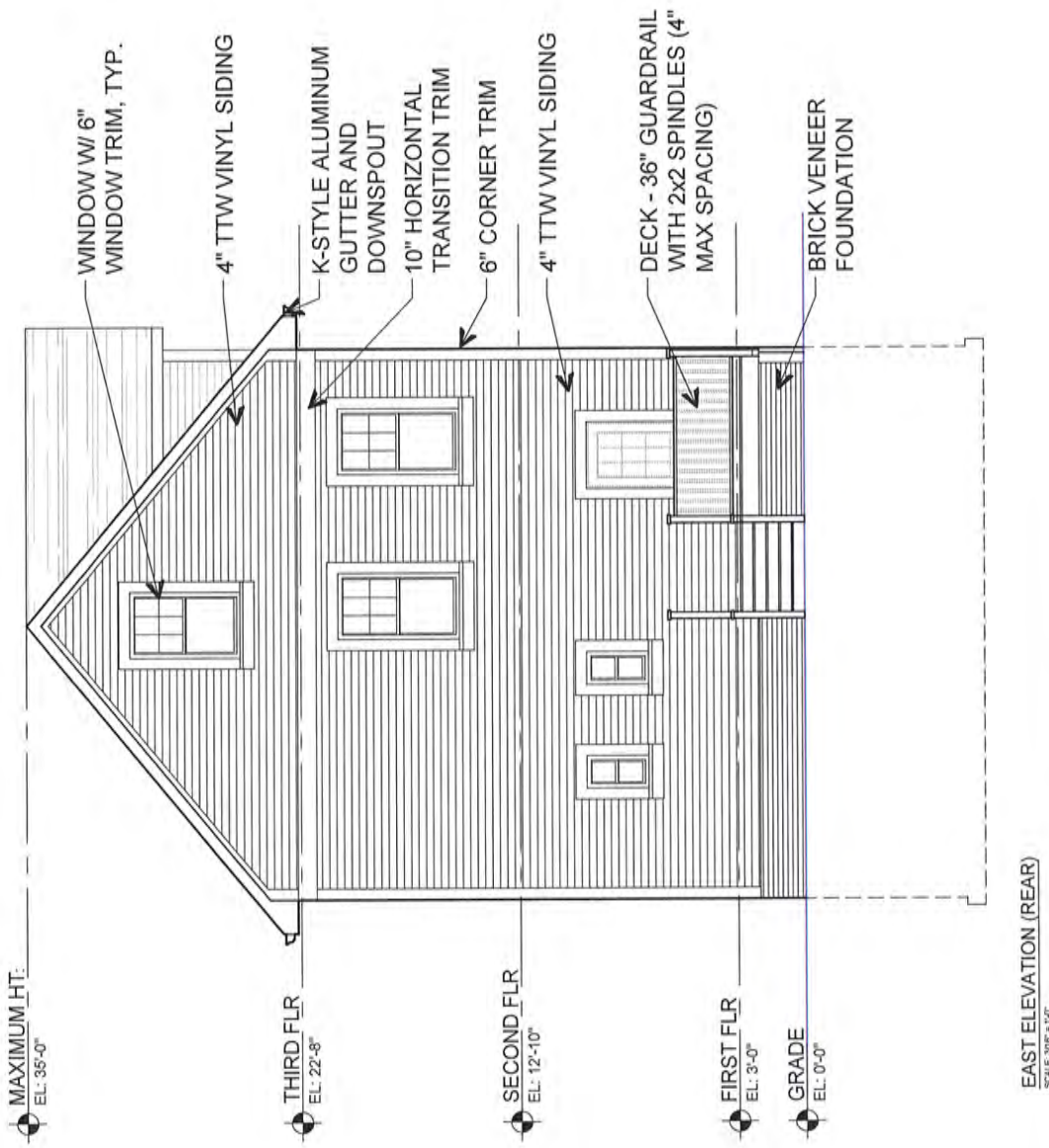
Application materials should be submitted digitally to ABR@LakewoodOH.net or to the Board Secretary. One paper copy must be submitted at the Public Meeting for records retention.

All Projects must submit:

- This application document, completed and signed by the applicant.
- A brief written description of the request for the public agenda.
- A letter of authorization from the property owner (if the applicant is not the property owner)
- Specifications of all materials. Physical samples may be requested for unfamiliar materials.
- Review fee.

Additional Requirements by Project Type:

- For ABR:**
- A scaled site plan detailing elements of the proposal and showing adjacent properties and uses
 - Scaled elevations, sections, and perspective drawings of proposed buildings / improvements
 - Manufacturers cut sheets for discrete architectural elements (e.g. doors, railings, lighting, fencing)
- For Sign Review:** - Scaled drawings with dimensions of all signage indicated. Indicate color, material, and size in ft²
- For BBS:**
- A detailed description of the variance sought. Please cite Building Code requirements
 - A detailed description of the appeal sought. Please include documentation of original decision.



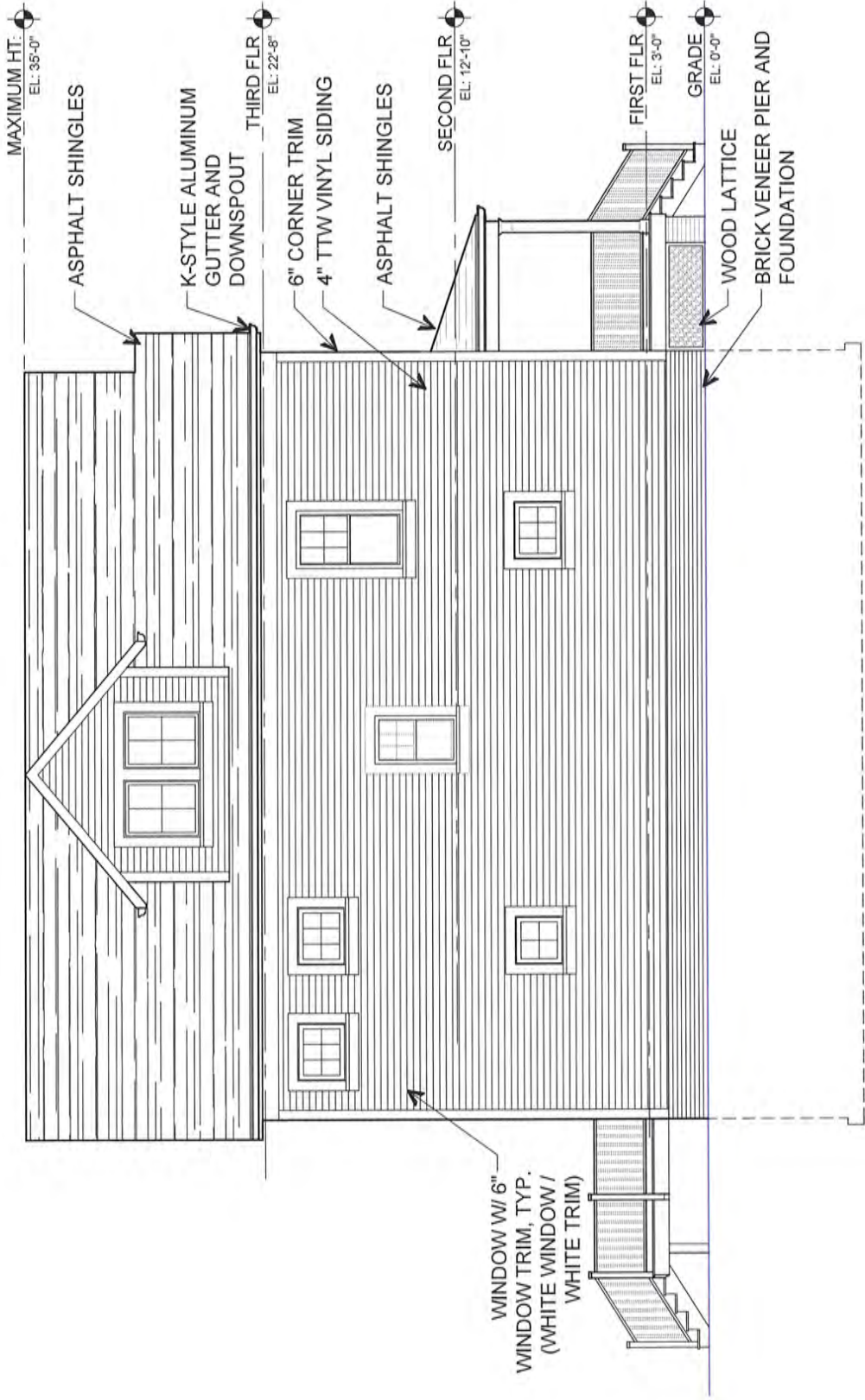
1351 GLADYS AVENUE
 LAKEWOOD, OHIO 44107
 216.333.7450



PROPOSED NEW HOME LOCATED AT
1315 DONALD AVENUE
 LAKEWOOD, OH 44107

RELIEF PROPERTIES

DATE	ISSUE
03.25.2009	ABR PRE-REVIEW



NORTH ELEVATION (SIDE)
SCALE 3/8" = 1'-0"

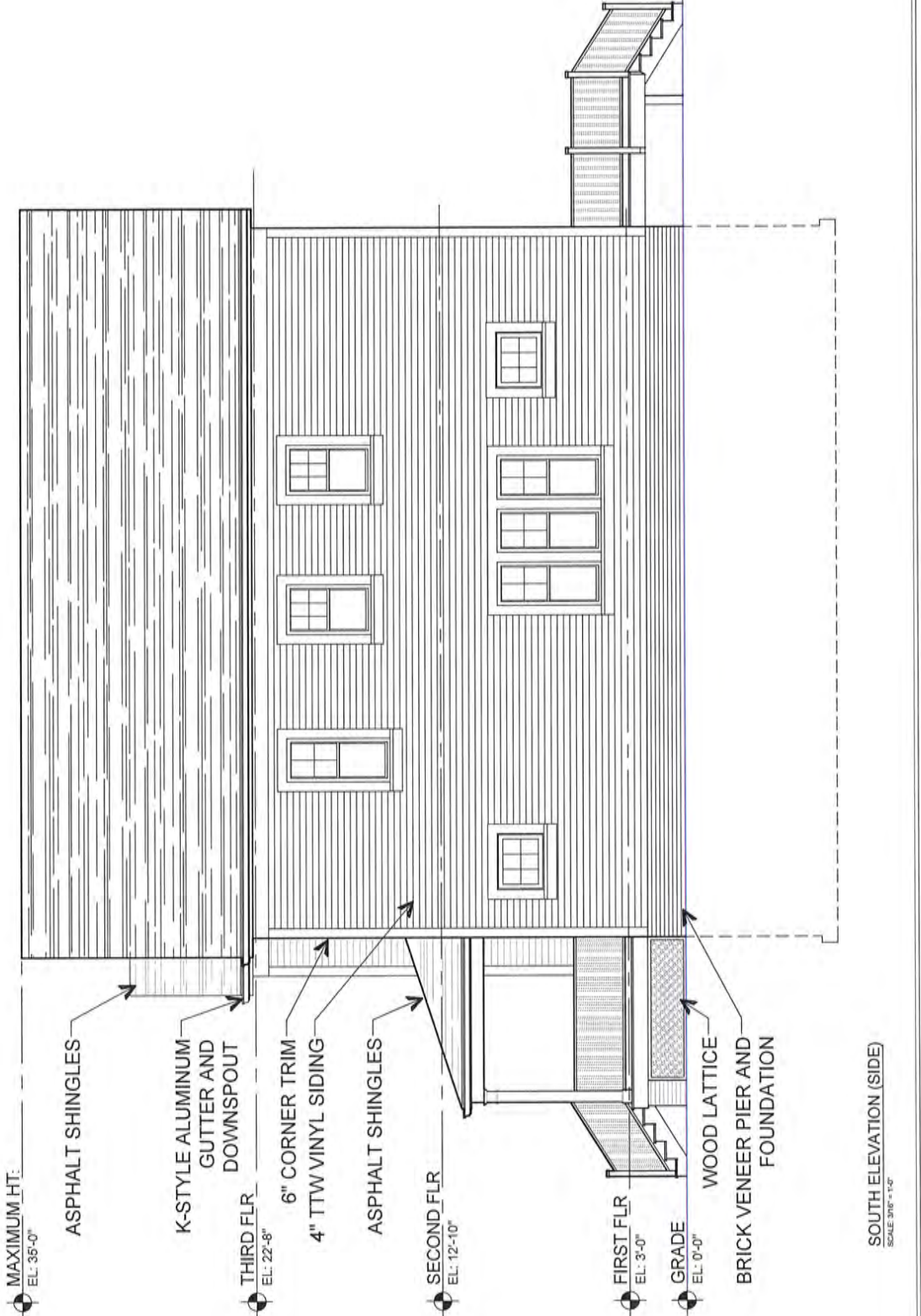
1361 GLADYS AVENUE
LAKEWOOD, OHIO 44107
216.333.7488



PROPOSED NEW HOME LOCATED AT
1315 DONALD AVENUE
LAKEWOOD, OH 44107

RELIEF + PROPERTIES

DATE	ISSUE
03.25.2021	ABR PRE-REVIEW



MAXIMUM HT.
EL: 35'-0"

ASPALT SHINGLES

K-STYLE ALUMINUM
GUTTER AND
DOWNSPOUT

THIRD FLR
EL: 22'-8"

6" CORNER TRIM
4" TTW VINYL SIDING

ASPALT SHINGLES

SECOND FLR
EL: 12'-10"

FIRST FLR
EL: 3'-0"

GRADE
EL: 0'-0"

WOOD LATTICE
BRICK VENEER PIER AND
FOUNDATION

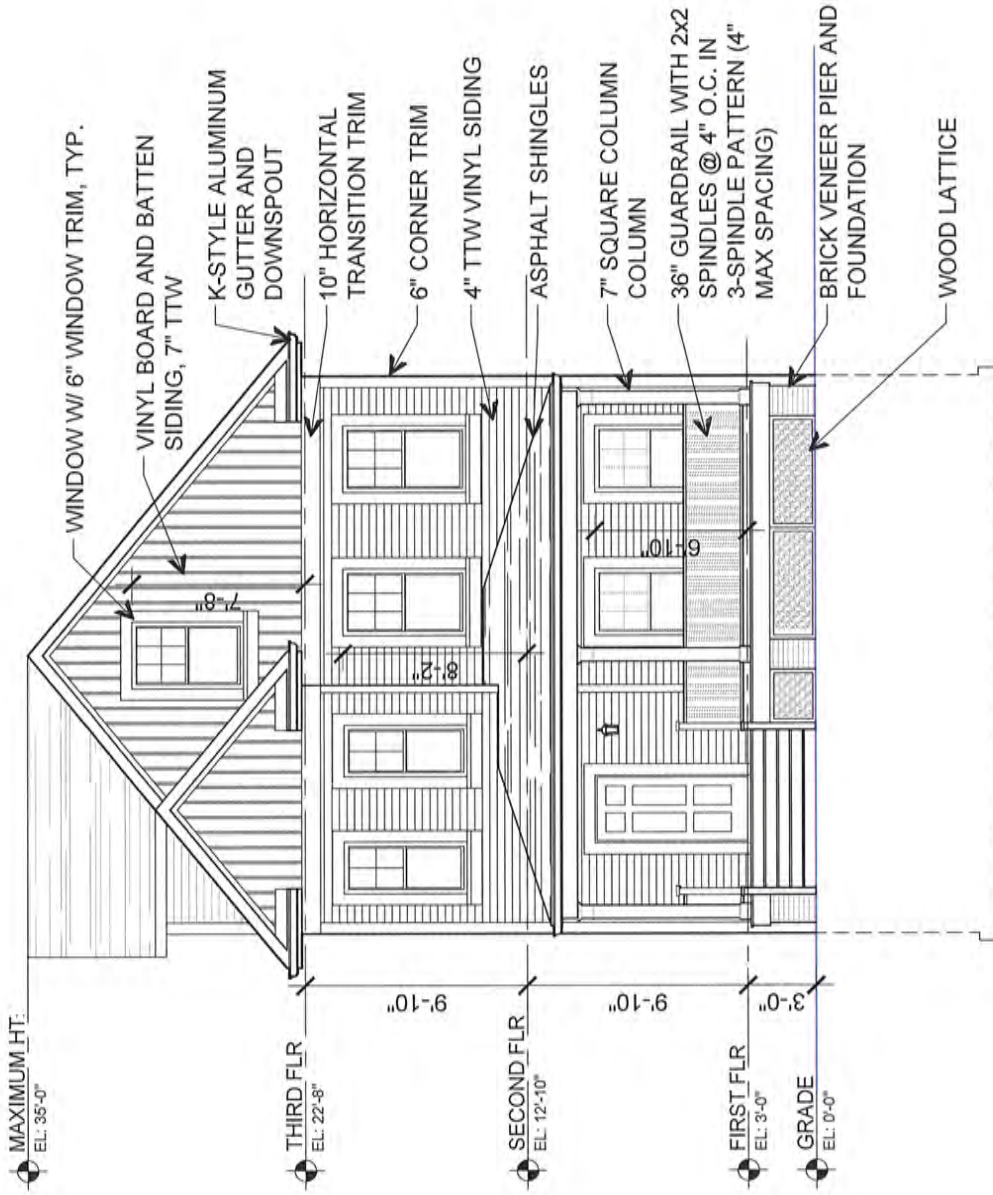
SOUTH ELEVATION (SIDE)
SCALE 3/8" = 1'-0"

DATE	ISSUE
03.25.2020	ABR PRE-REVIEW

RELIEF + PROPERTIES

PROPOSED NEW HOME LOCATED AT
1315 DONALD AVENUE
LAKEWOOD, OH 44107

ACE
DESIGN
1361 GLADYS AVENUE
LAKEWOOD, OHIO 44107
216.333.7450



WEST ELEVATION (FRONT)
SCALE 3/8" = 1'-0"

DATE	ISSUE
03.25.2020	ABR PRE-REVIEW

RELIEF PROPERTIES

PROPOSED NEW HOME LOCATED AT
1315 DONALD AVENUE
 LAKEWOOD, OH 44107

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000038

DOCKET No. 05-33-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Hadden Alexander

Project Address 15417 Edgewater Drive

Applicant Name Trace Baum

Applicant Address 1669 W. 130th #408, Hinckley, 44233

Applicant Contact (440) 821 2385

(if different than above)
sales @ tabpropertyenhancement.com

Brief Project Description Removing front concrete steps due to condition and replacing with composite decking and railing

BUILDING DEPARTMENTS HAS PLANS.

Signature: 

Date: 3/18/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.


Are there any dog(s) on the property? Yes No

Owner Name Hadden Alexander

Property Address 15417 Edgewater Drive

Owner / Agent Contact (440) 773 0188

hadkalex @ gmail.com

Owner / Agent Signature 

Date: 3/18/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

Johanna Schwarz

From: Tab Property Enhancement <sales@tabpropertyenhancement.com>
Sent: Saturday, May 2, 2020 10:50 AM
To: David Baas
Cc: ABR; Hadden Alexander
Subject: Re: City of Lakewood ABR (May)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

I sent this to the customer. I do not have a video camera on my computer to attend remote meetings. Sorry.

We are proposing an Azek Composite Front porch and steps. Brick or stone will not hold up over time due to settling issues. Also, brick or stone will require a masonry person. We do not have one.

The railing is aluminum to match the theme of the neighborhood.

We have used Azek Materials on other front porches in Lakewood before.

The side steps are normal width. 36" is code

Attached are some porches we have done in Lakewood. We can do anything but adding brick or stone will increase costs and adding wood will increase maintenance. Wood materials this close to the Lake is very difficult to maintain. The look of the composite decking will give everything a clean look and be less maintenance for the customer. Let me know if you have additional questions and please visit our website at: tabpropertyenhancement.com to see our work. We can custom make anything so just let me know what the final resolution is here.

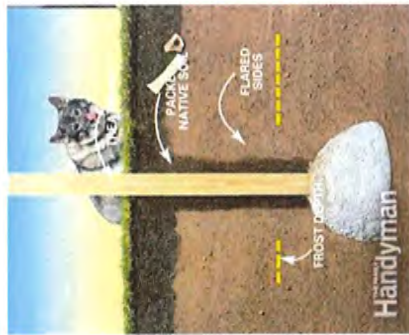
🔒 tabpropertyenhancement.com ↻



🔒 tabpropertyenhancement.com ↻



Deck Construction plans for TAB PROPERTY ENHANCEMENT LLC



Post holes will be dug 42" deep
4 x 6 posts will be set on an 8" thick concrete footer
1 1/4" diameter holes

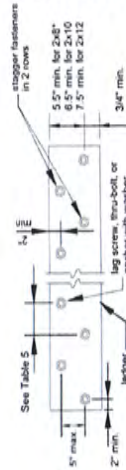
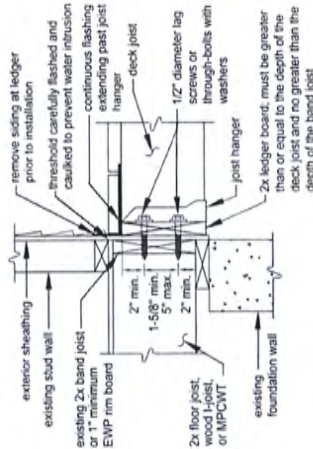
FOOTER TO BE USED FOR THIS DECK WILL CONSIST OF:

CONCRETE 8" THICK FOOTER

City of Lakewood
APPROVED
Case# RB20-00073
*See Certificate of Plan Approval
Christopher Permeles
02/16/2020

RECEIVED
FEB 18 2020
By [Signature]
RB20-00073

Ledger Board Attachment



See Figure 14 for rim joist fastener spacing
*Distance can be reduced to 4\"/>

Deck Railing post size—4 x 4 Aluminum

Spindle size and type—1 x 1- Black Aluminum

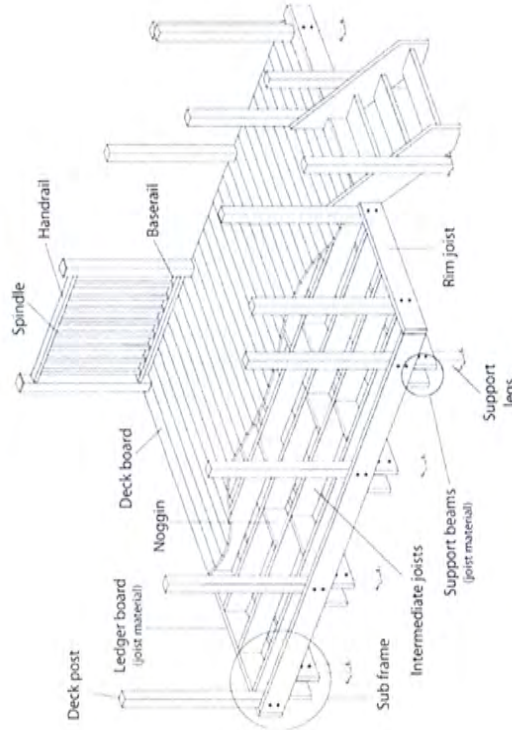
Handrail Height and type—36" high, Aluminum

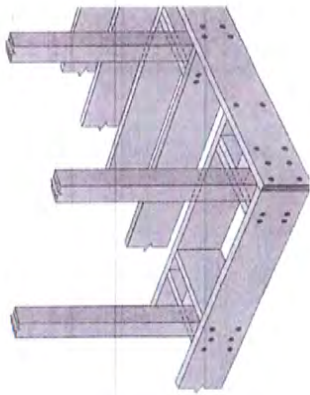
Deck Board size and type—5/4 x 6 -- AZEK

Joist size- 2 x 8, 16 inches on center

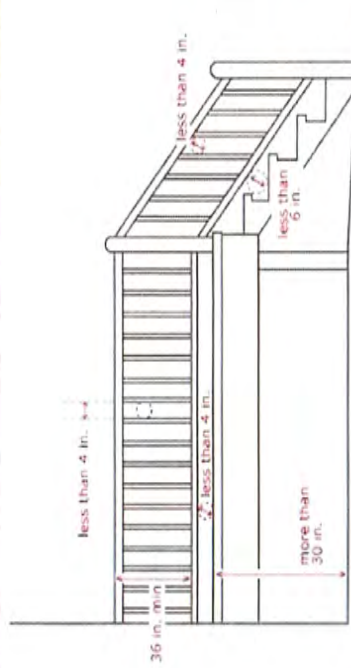
Beam size— 2 x 10 double beam

Support post size—4 x 6



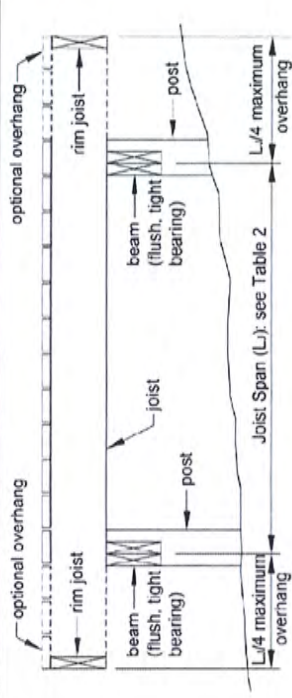


Railing posts will be blocked on all 4 sides.



Railing will be 36" high.

Figure 2. Joist Span – Free Standing Deck



American Wood Council

If deck cannot be attached to house, then deck will be constructed using this method. If deck is attached then we will still construct deck with the post and beam construction as seen above.

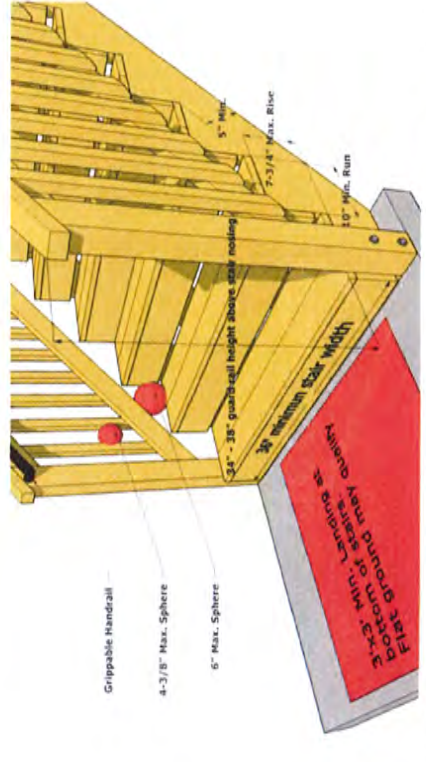
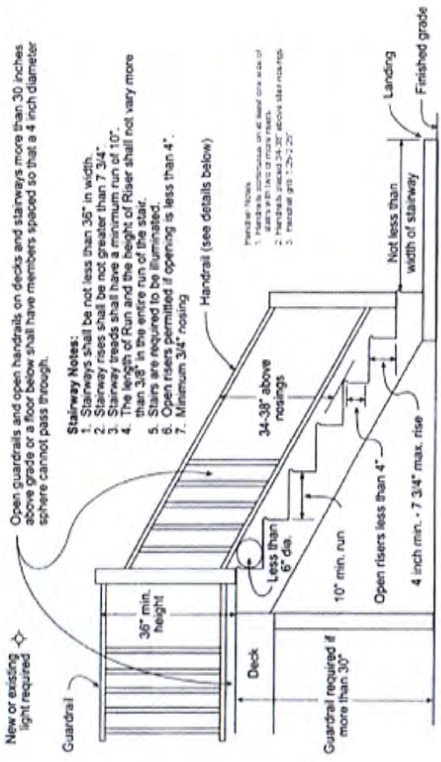
Post Size --- 4 x 6

Beam Size--- 2 x 10

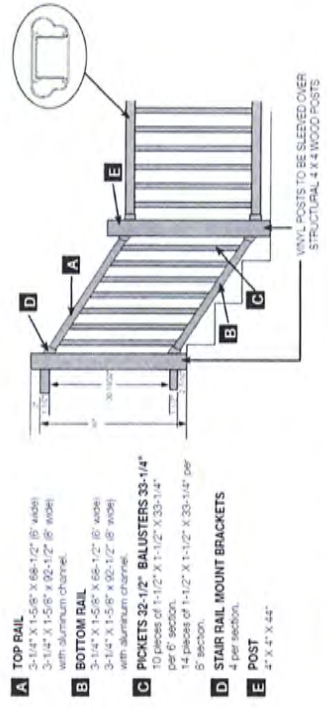
Joist Size--- 2 x 8

Joist span--- (11' span or less for 2x8's --- 13' or less for 2x10's)

Max. Overhang --- (1' on sides of deck and 2' on front and back of deck)

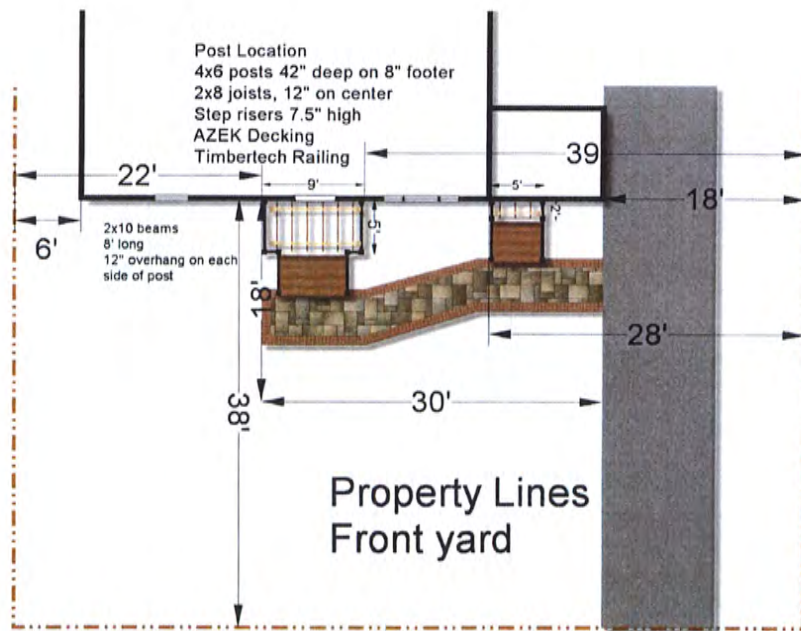
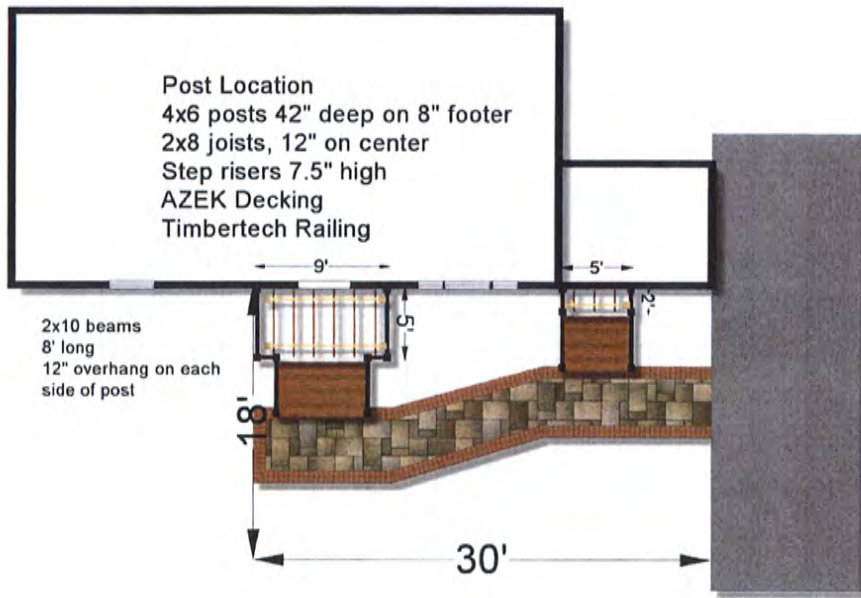


3 x 3 landing may or may not be added depending on the project. Stairs will be minimum 36" wide and have 10" minimum tread and maximum 7-3/4" rise. Grippable handle may or may not be necessary depending on type of railing used.



If railing is composite, this installation will be used.

NOTE: THESE PLANS ARE TYPICAL OF OUR CONSTRUCTION. PLEASE CALL TRACE A. BAUM AT 440-821-2385 OR EMAIL ME AT: SALES@TABPROPERTYENHANCEMENT.COM WITH ANY QUESTIONS OR CONCERNS ON THE PLANS.





Front Yard

Map data ©2020, Map data ©2020 20 ft



Google Maps 15417 Edgewater Dr

15417 Edgewater Dr - Google Maps

2/15/2020





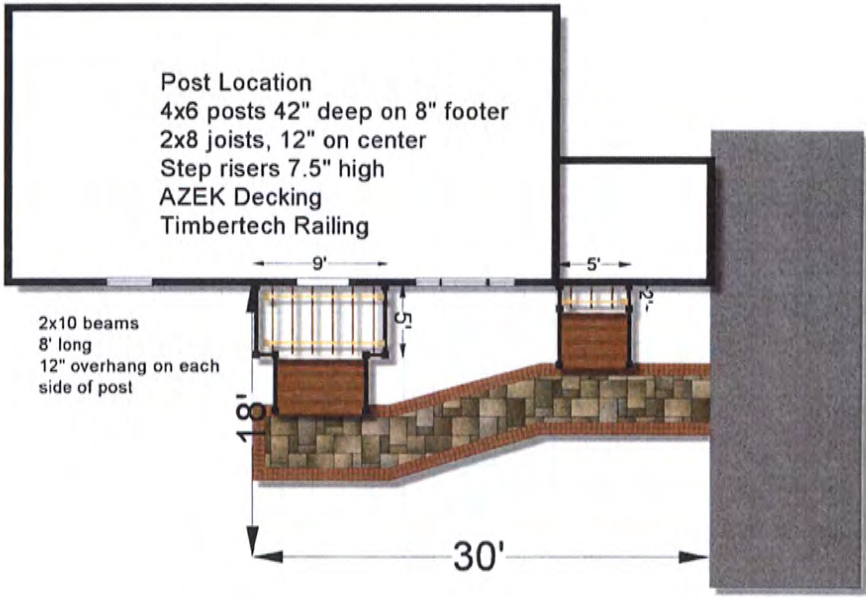
CURRENT
FRONT YARD

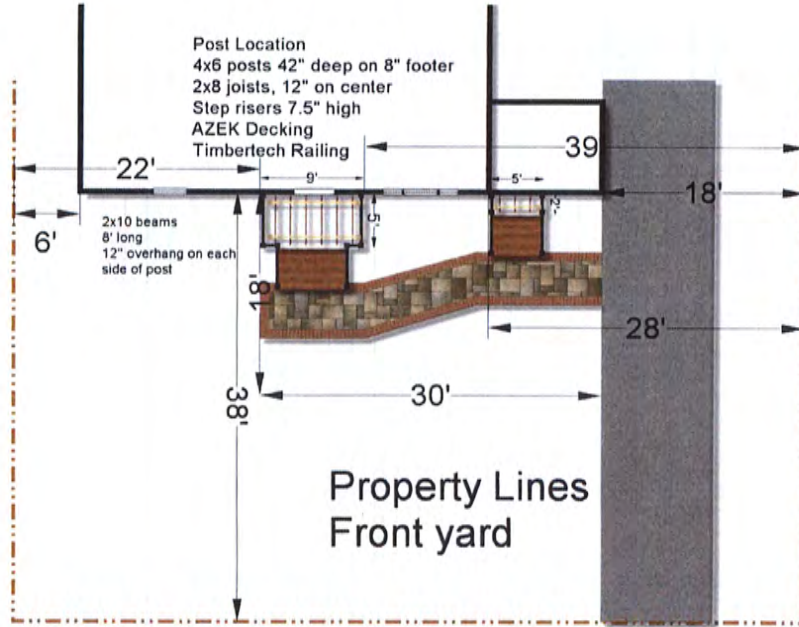


CURRENT
FRONT YARD











CURRENT BACKYARD









Account: 101-0000-321.30.01

REFERENCE No. BBS20-000039

DOCKET No. 05-32-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Terrace Repair & Pergola

Project Address 17111 edgewater dr

Applicant Name william j fugo jr

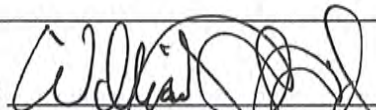
Applicant Address 2424 princeton rd

(if different than above)

Applicant Contact (216) 469 5902

wfugo1 @ yahoo.com

Brief Project Description Add Stained wood pergola to Second level terrace

Signature: 

Date: 3/25/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

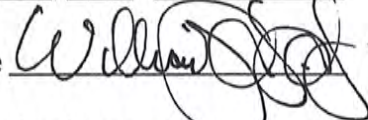
Are there any dog(s) on the property? Yes No

Owner Name william j fugo (agent)

Property Address 17111 edgewater dr

Owner / Agent Contact (216) 469 5902

@ _____

Owner / Agent Signature 

Date: 3/25/20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

As owner (Jay Dumaswala) of 17111 Edgewater Drive, I delegate William J Fugo, Jr. Architect to submit and represent us for our proposed Terrace pergola.

A handwritten signature in black ink, appearing to read 'JD', with a long horizontal line extending to the right.

Jay Dumaswala

614-329-7771

jaydumaswala@gmail.com

Terrace Repair & Pergola for 17111 Edgewater Drive Lakewood, Ohio 44107

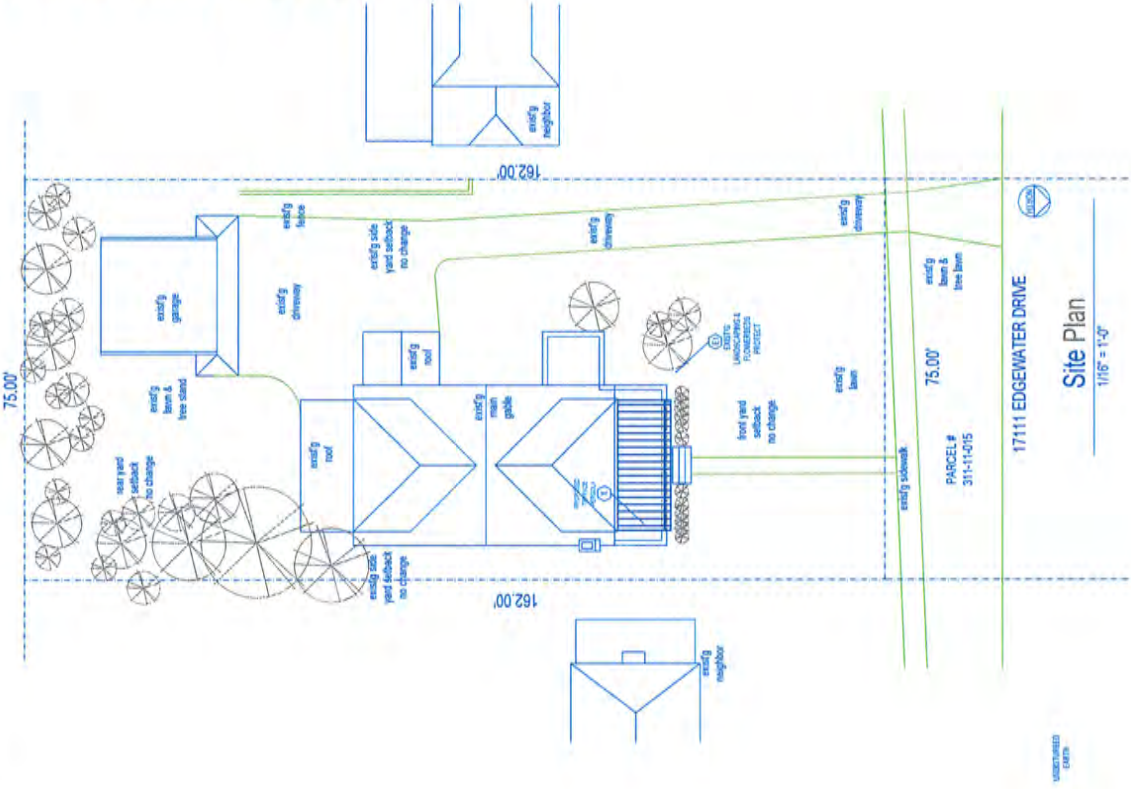
DRAWING INDEX		
sheet	scale	drawn by
T1.0	title sheet, notes, site plan scale as noted	WJF
A0.0	porch & roof framing plans 1/2"=1'-0"	WJF
A0.1	terrace pergola framing plan 1/2"=1'-0"	WJF
A1.0	terrace pergola plan 1/2"=1'-0"	WJF
A4.0	front elevation scale as noted	WJF
A4.1	side elevation scale as noted	WJF
A4.2	side elevation scale as noted	WJF

Keyed Notes

- E1 existing to remain as noted
- S1 salvaged as noted
- D1 demo as noted dispose of legally
- 10 stained or composite 2x2 sunscreen 8" o.c.
- 12 paintable wood tuscum column by Classic Columns or approved equal
- 14 stained pergola 2x

Site Plan, Notes, Index, & Details

scale as noted



ARB SUBMITTAL
drawn: WJF
checked: WJF
MAR 24 2020
T1.0

1910



William J. Fugo Jr., Architect
2424 Pinceton Road
Cleveland Hts, OH 44118
216 469 5902
winfo@yahoo.com LE 9142
www.fugo.com/williamj.fugojr

Wetzel & Brandt Bengolia
for Ernest & Kimberly Schaub Residence
2110 E. Edgewater Dr, Lakewood, Ohio 44107

REVISIONS BY

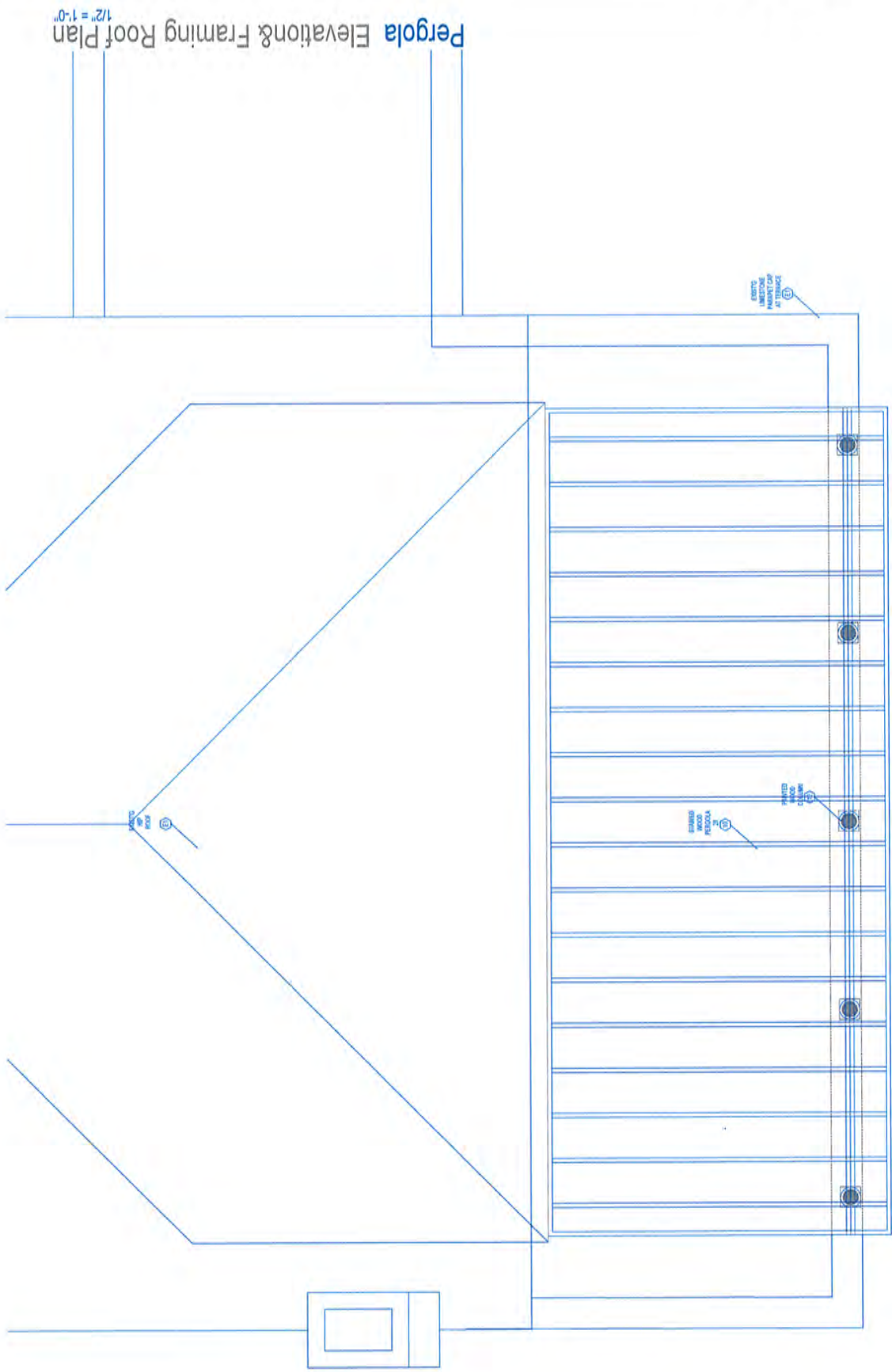
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Terrace Repair & Pergola
FOR
17111 Edgewater Drive
Lakewood, Ohio 44107

William J. Fugo Jr. Architect
2424 Princeton Road
Cleveland Hts, OH 44118
Studio: wjugo1@vlnrcc.com LF 9142
www.vlnrcc.com/wjugo1/WilliamJrFugoJrArchitect
file.google.com/Drive/WilliamJrFugoJrArchitect

1910
A0.0
drawn: WJFJ
checked: WJFJ
ARB SUBMITTAL
MAR 24, 2020
SCALE AS NOTED



Pergola Elevation & Framing Roof Plan
1/2" = 1'-0"

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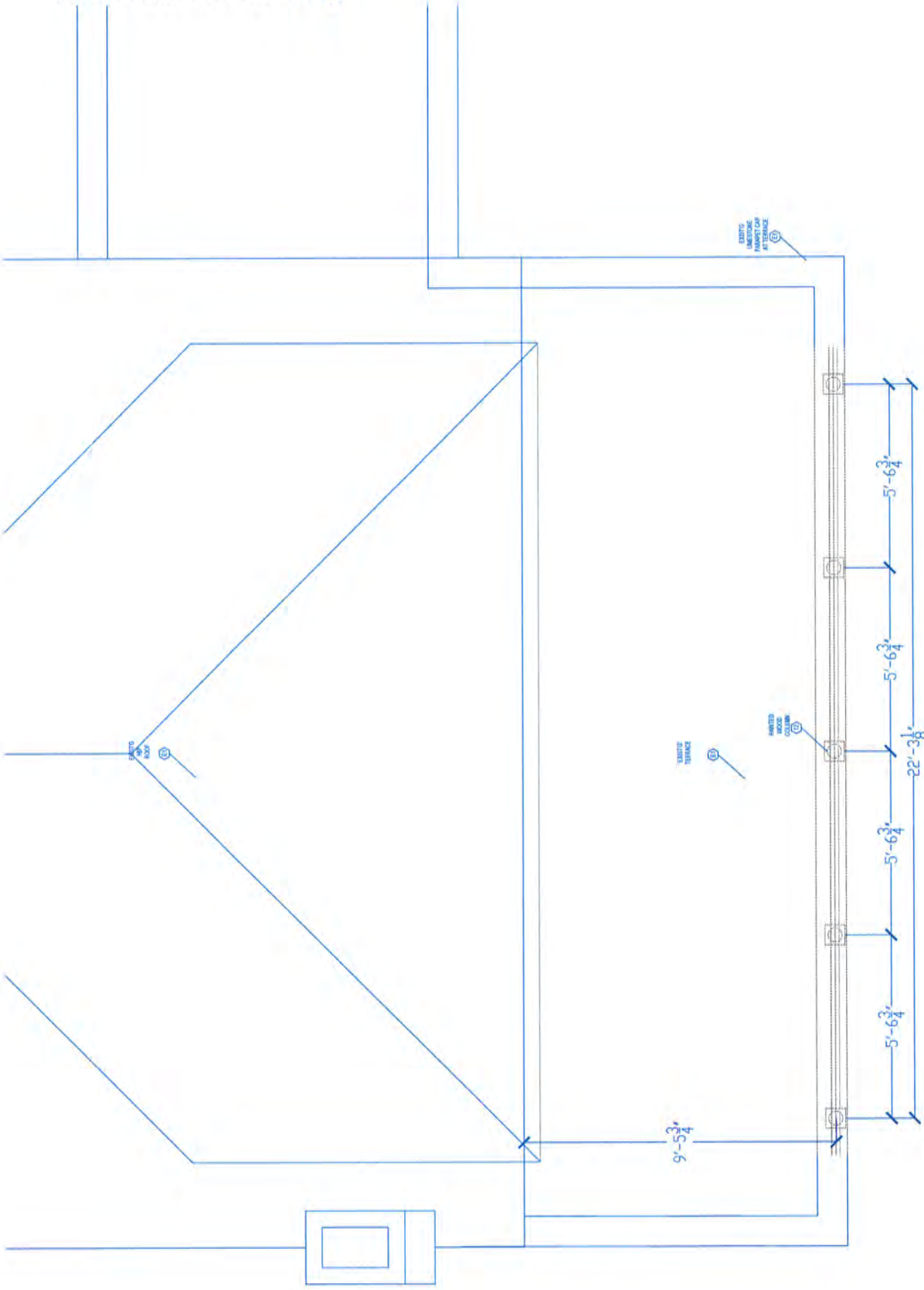
Terrace Repair & Pergola
for
17111 Edgewater Drive
Lakewood, Ohio 44107

William J. Fugo Jr., Architect
216 469 5902
2424 Pinceton Road
Cleveland Hts, OH 44118
wjr@wjrarch.com
www.wjrarch.com

ARB SUBMITTAL
drawn: WJFJ
checked: WJFJ
SCALE AS NOTED
MAR 24, 2020
A1.0

Porch Elevation & Plan Roof

1/2" = 1'-0"



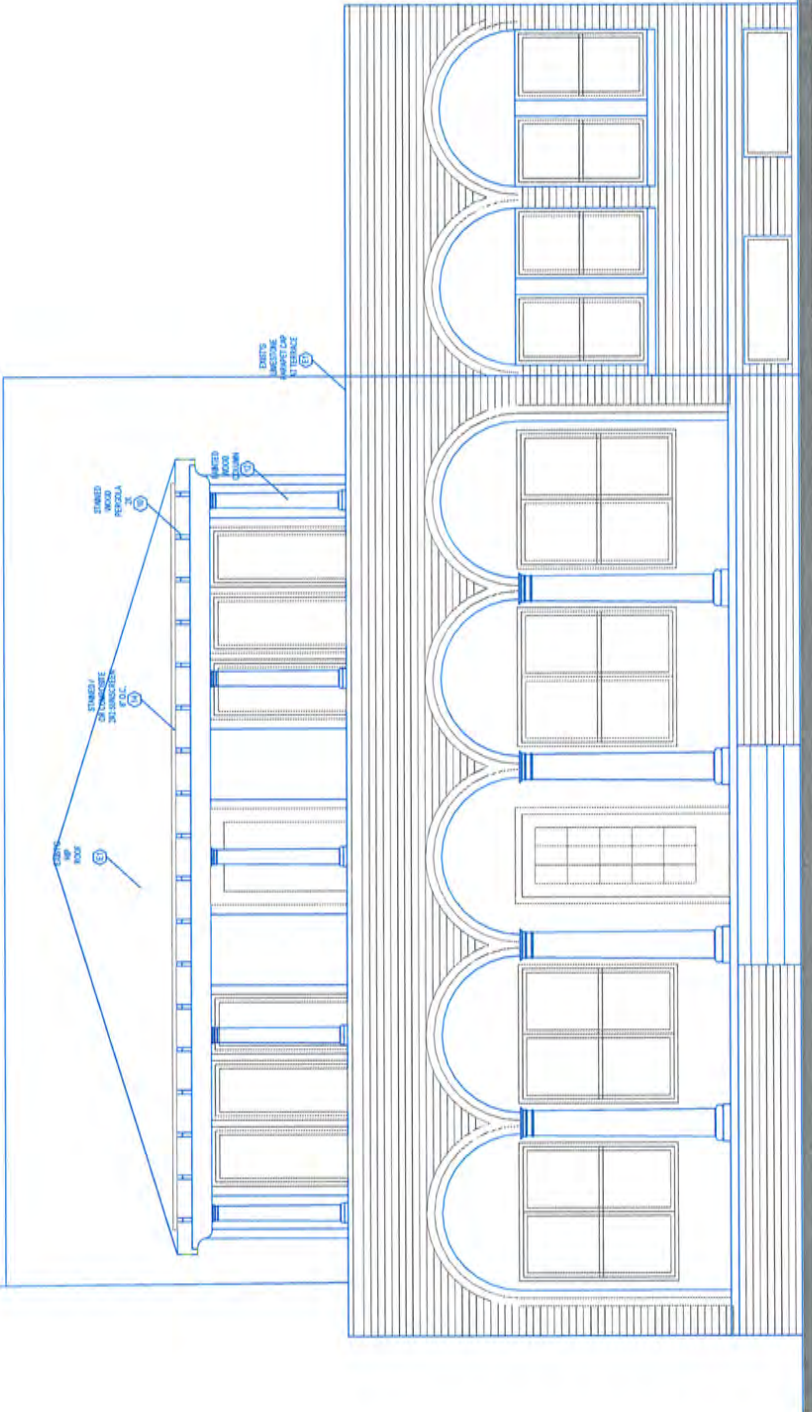
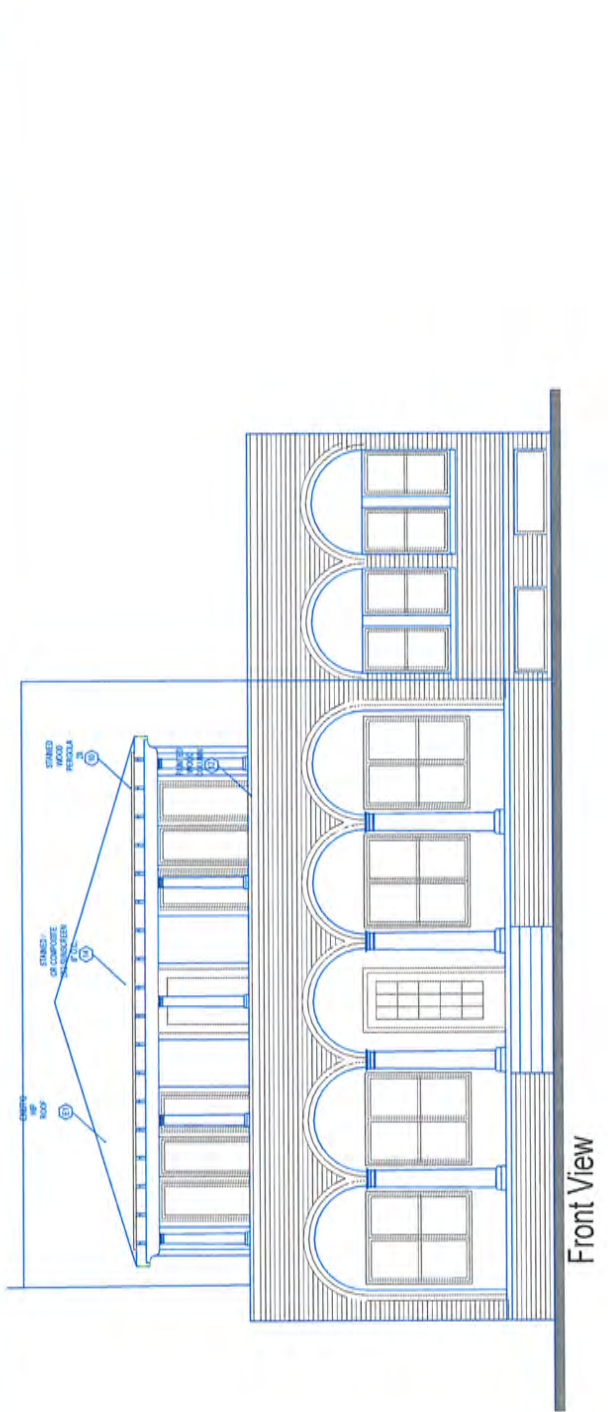
REVISIONS BY
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 OF THE ARCHITECT.
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Terrace Repair & Pergola
 FOR
 17111 Edgewater Drive
 Lakewood, Ohio 44107

William J. Fugo Jr. Architect
 2424 Princeton Road
 Cleveland Hts, OH 44118
 Studio vjugo1@yahoo.com LP 9142
 www.fugojr.com/vjugo1/WilliamJFugoJr
 site.google.com/maps/place/WilliamJFugoJr

ARB SUBMITTAL
 draw: WJF/J
 checked: WJF/J
 SCALE AS NOTED
 MAR 24, 2020
 A4.0

Porch Elevation & Plan
 1/4" = 1'-0"



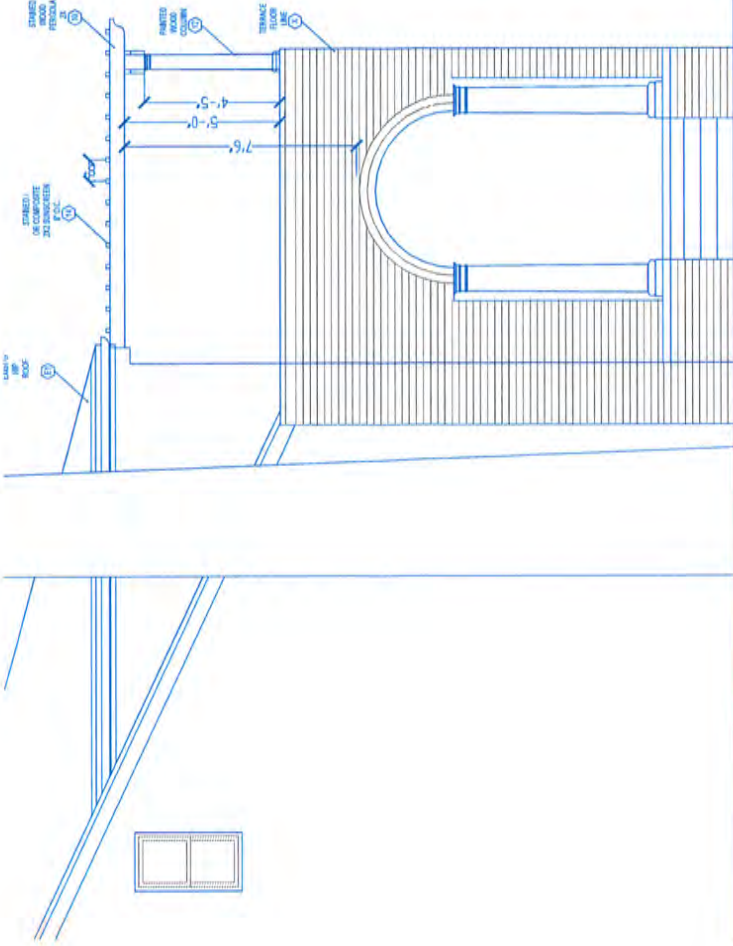
REVISION #1
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 SPECIAL THANKS TO
 ALL PHOTOGRAPHERS

FOR
 Terrace Repair & Pergola
 17111 Edgewater Drive
 Lakewood, Ohio 44107

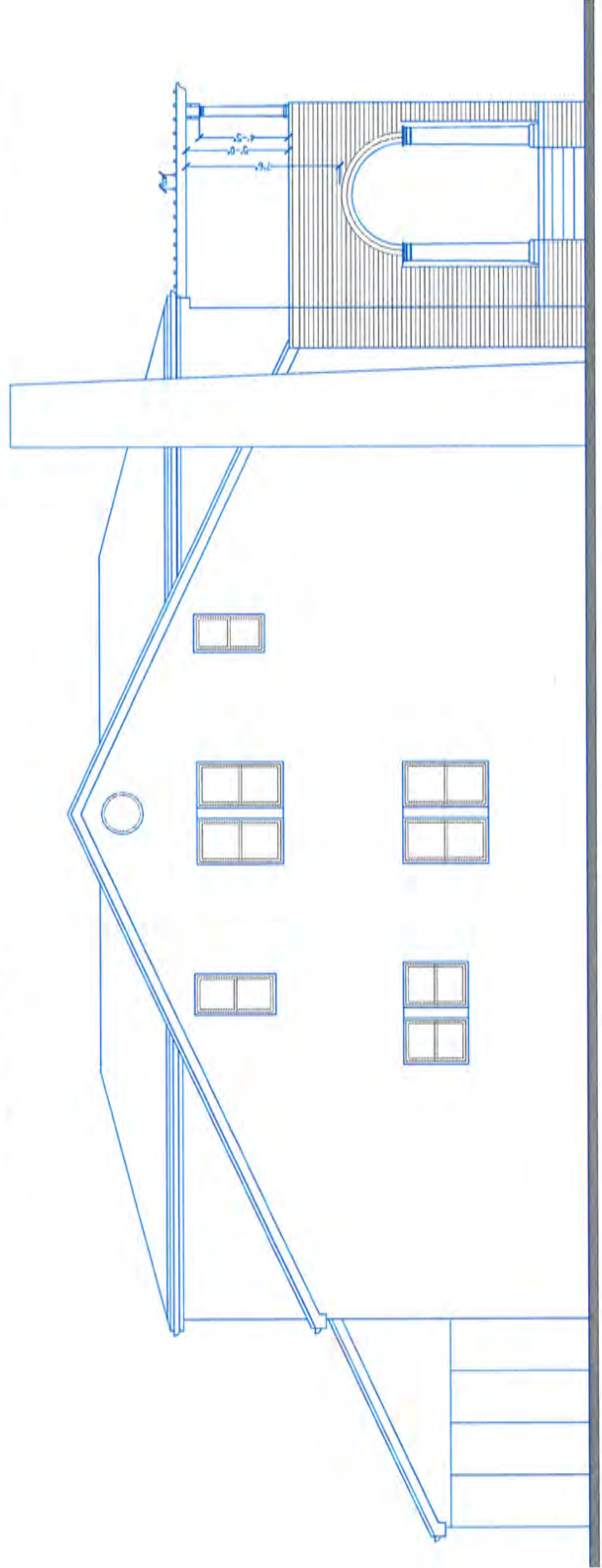
William J. Fugo Jr., Architect
 2424 Princeton Road
 Cleveland Hts, OH 44118
 Studio: wjugo1@yahoo.com # 9142
 www.wjugo.com/office/williamjfugojr/

ARB SUBMITTAL
 draw: WJF/J
 checked: WJF/J
 SCALE AS NOTED
 MAR 24, 2020
 A4.2

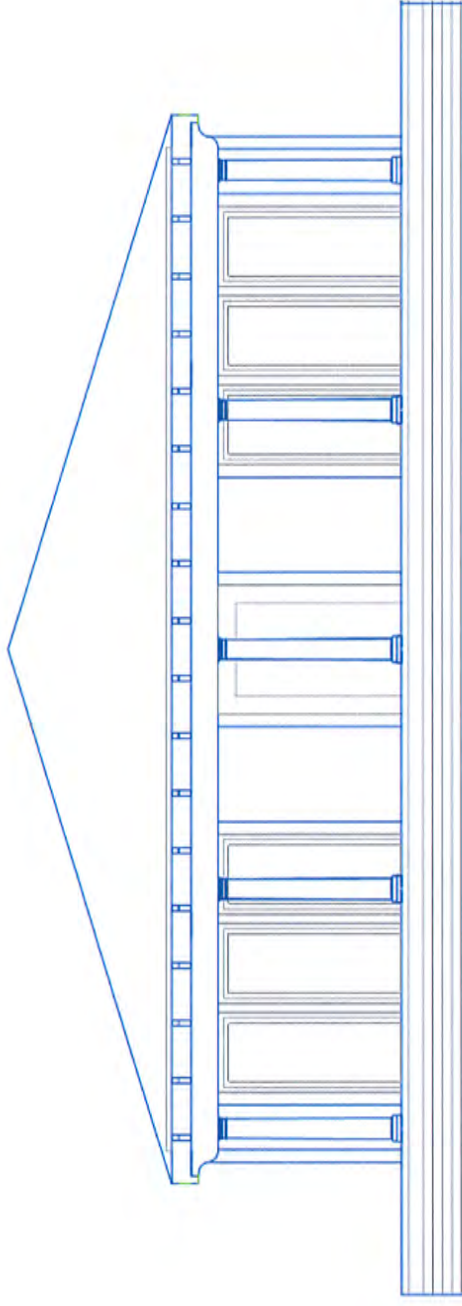
Side Elevation & Enlarged Terrace Elevation
 3/8" = 1'-0"
 1/4" = 1'-0"



Enlarged Side View



Side View



White

17111 Edgewater Drive
William J. Fugo, Jr. Architect
2424 Princeton Road Cleveland Hts OH 44118 216 469 5902 wfugo1@yahoo.com
page 3 www.houzz.com/projects/users/williamfugo sites.google.com/site/williamfugojr/



Memo

March 24, 2020

**RE: MEMO SARB
17111 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107**



17111 Edgewater Drive

William J. Fugo, Jr. Architect

2424 Princeton Road Cleveland Hts OH 44118 216 469 5902 wfugo1@yahoo.com

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17111 Edgewater Drive

William J. Fugo, Jr. Architect

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Existing Column Color Scheme

Painted Wood

17111 Edgewater Drive

William J. Fugo, Jr. Architect

2424 Princeton Road Cleveland Hts OH 44118 216 469 5902 wfugo1@yahoo.com

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Collage montage



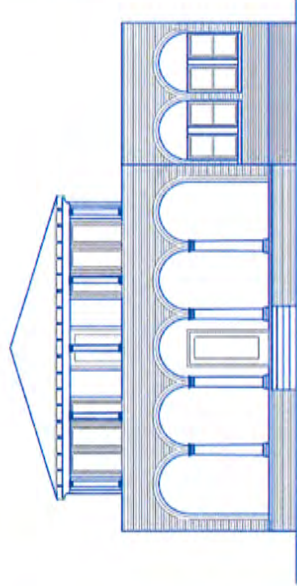
Existing

17111 Edgewater Drive

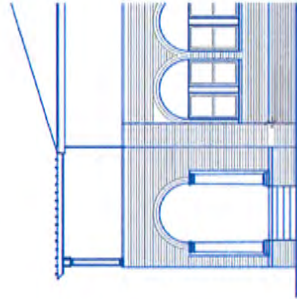
William J. Fugo, Jr. Architect

2424 Princeton Road Cleveland Hts OH 44118 216 469 5902 wfugo1@yahoo.com

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Sk1-4.0 Front View



Side View

17111 Edgewater Drive

William J. Fugo, Jr. Architect

2424 Princeton Road Cleveland Hts OH 44118 216 469 5902 wfugo1@yahoo.com

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Supplier

THE CLASSIC COLUMNS



Tuscan

- Simplest and strongest design
- Usually Plain rather than fluted
- Shaft length, including cap and base, is seven times diameter.



Roman Ionic

- Ornate design with decorative scrolled capital and Attic Base
- Contains 24 semi-circular flutes separated by fillers
- Shaft length, including cap and base, is nine times diameter.



Roman Doric

- Next in strength and simplicity to the Tuscan cap and base contain additional moulding detail
- Usually Plain rather than fluted
- Shaft length, including cap and base, is eight times diameter.



Tuscan

- Simplest and strongest design
- Usually Plain rather than fluted
- Shaft length, including cap and base, is seven times diameter.

Selected Style Tuscan Paintable

Tail Detail



Spartan

Stain



Walnut

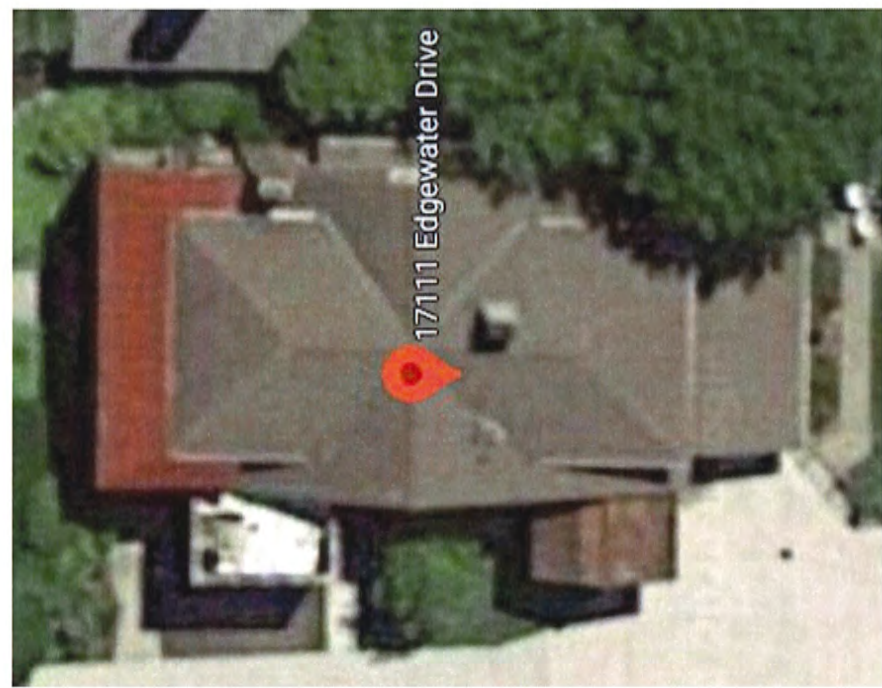
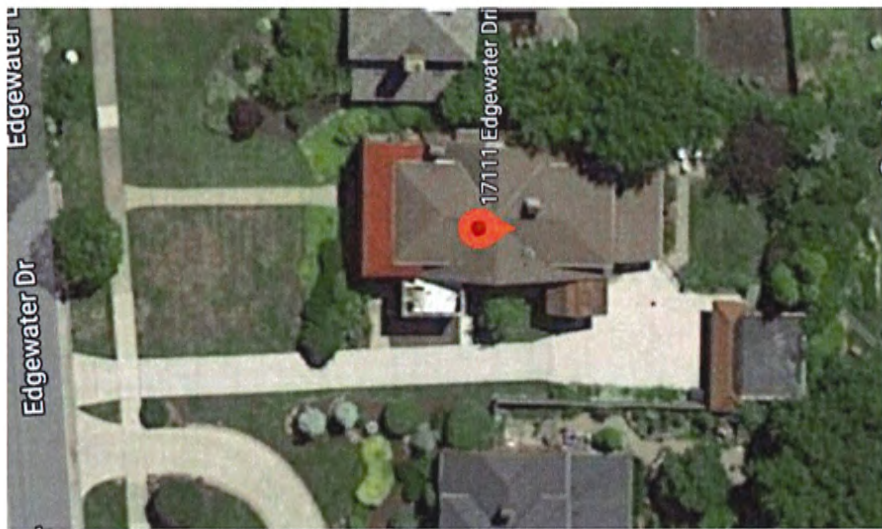
» ABR@LakewoodOH.net ◀

17111 Edgewater Drive

William J. Fugo, Jr. Architect

2424 Princeton Road Cleveland Hts OH 44118 216 469 5902 wfugo1@yahoo.com

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17111 Edgewater Drive

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311-11-015
WOJNAROWSKI, DAWN & DUMASWALA, JAY
17111 EDGEWATER DR
LAKEWOOD, OH, 44107

Land Record

Record Number	1	Land Type	1
Legal Front	74.9	Legal Depth	162
Effective Front	75	Avg Depth	162
Lot Size (SqFt.)	12150	Acres	0.279
Topography	LEVEL	Lot Shape	RECTANGULAR

17111 Edgewater Drive
William J. Fugo, Jr. Architect
2424 Princeton Road Cleveland Hts OH 44118 216 469 5902 wfugo1@yahoo.com
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Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000026

DOCKET No. 05-34-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Front Stairs

Project Address 1585 ST Charles

Applicant Name Dan Bracken

Applicant Address _____
(if different than above)

Applicant Contact (216) 513 - 5158

_____ @ _____

Brief Project Description Remove crumbling brick stairs and entry and replace with wood structure that complements existing facade.

Signature: [Signature]

Date: 4/20/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Dan Bracken

Property Address 1585 ST CHARLES

Owner / Agent Contact (216) 513 - 5158

daniel.bracken@hotmail.com

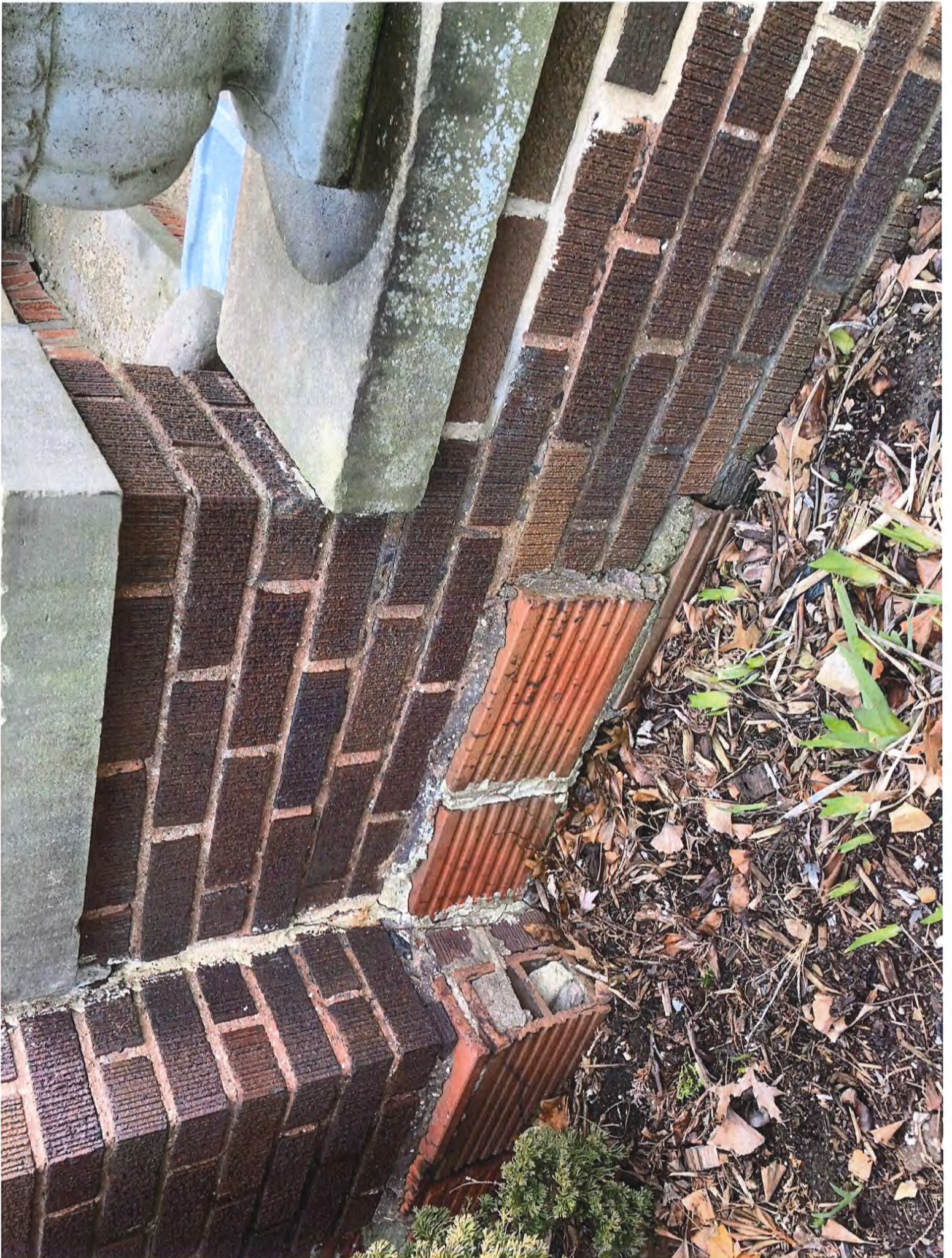
Owner / Agent Signature [Signature]

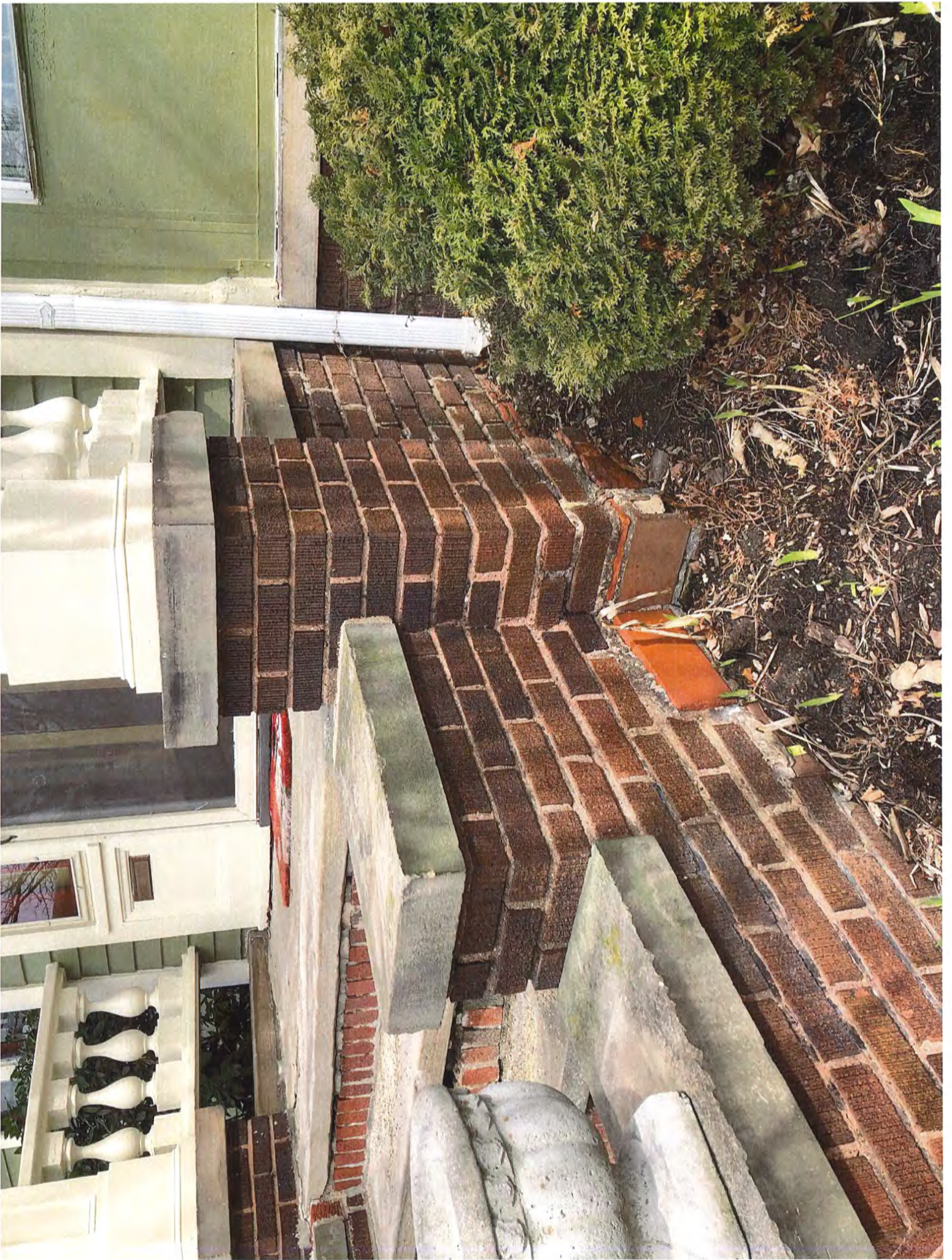
Date: 4/20/20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____











15815







Account: 101-0000-321.30.01

REFERENCE No. BPS20-000037

DOCKET No. 05-35-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Amato Residence

Project Address 1121 Wilbert

Applicant Name Jason Amato

Applicant Address same
(if different than above)

Applicant Contact (440) 258 - 4830

@ _____

Brief Project Description Addition and renovation - garage and bedroom 1st floor addition and renovation of home.

Signature: [Signature] David Maddux 440-356-5530
The Arcus Group Date: 4-28-20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Jason Amato

Property Address 1121 Wilbert

Owner / Agent Contact 440 823 - 7815

dmaddux @ arcus-group.com

Owner / Agent Signature [Signature]

Date: 4-28-20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

Johanna Schwarz

From: Dave Maddux <dmaddux@arcus-group.com>
Sent: Wednesday, April 29, 2020 2:14 PM
To: ABR
Subject: 1121 Wilbert

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Lakewood ABR,

Attached please find SK-1 through SK-3 for the additions and renovation to 1121 Wilbert.

1121 Wilbert is a corner lot on the northeast corner of Wilbert and Lake. It is one of the few houses along Lake Road that faces the side street, so it is a slightly unique situation. The homeowner requires a 3 car garage and to do so the only direction that this can be located is coming south toward Lake Ave. We are composing the massing in such a way that it is minimally impactful to the neighbors on Wilbert and Lake.

Please review the location of the house and determine if a variance is required for the construction of the garage.

Thank you very much.

We appreciate your flexibility in maintain normal working conditions in these difficult situations.

Dave Maddux



David Maddux
Principal

The Arcus Group, Inc.
1244 Smith Court
Rocky River, Ohio 44116

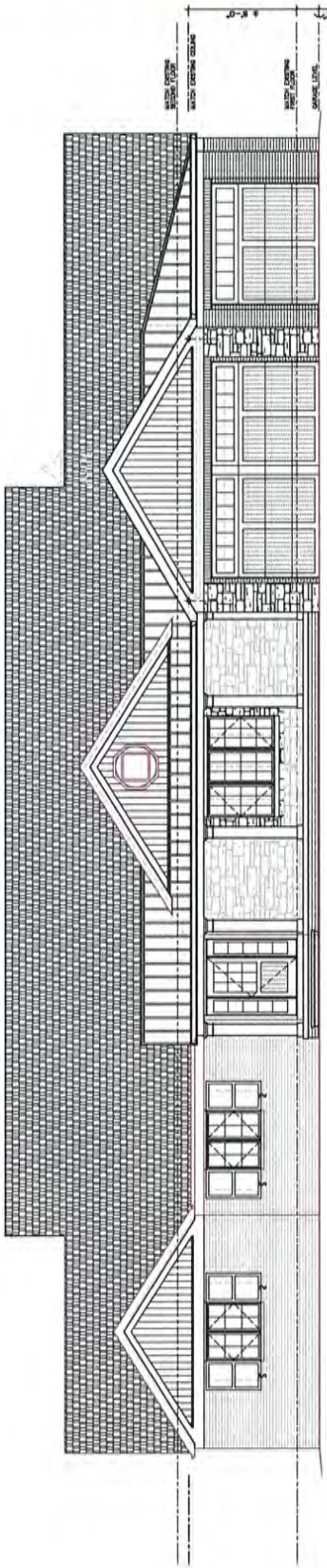
440.356.5530 t
440.356.5584 f
440.823.7815 c

Email: dmaddux@arcus-group.com
General Email: design@arcus-group.com
Website: www.arcus-group.com

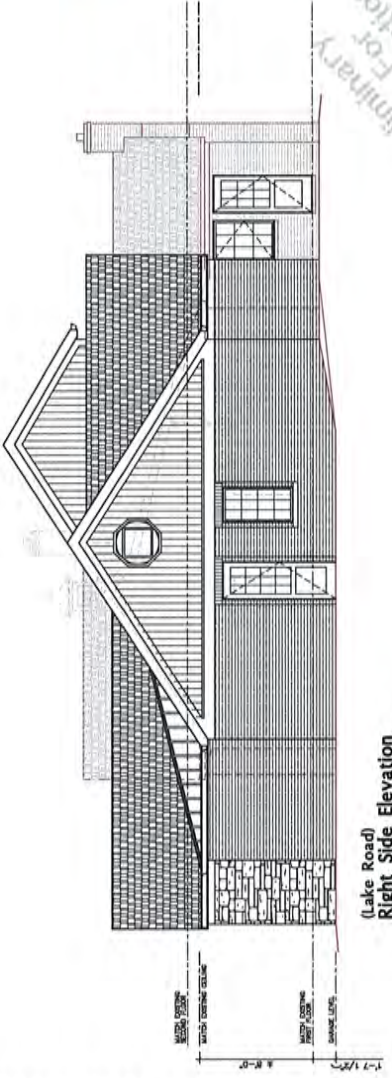
Facebook: www.facebook.com/ArcusGroupArchitects



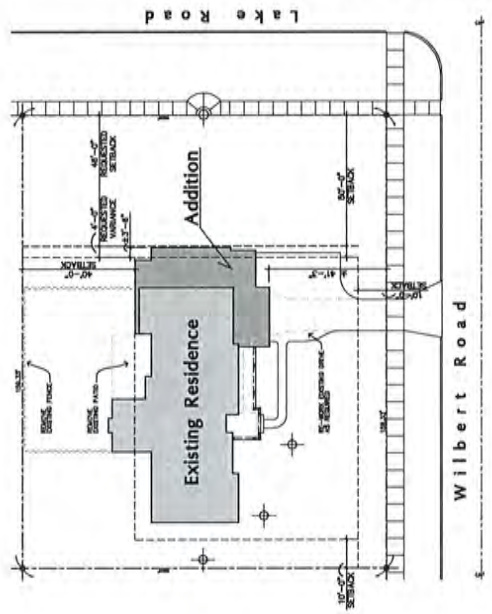
Please consider the impact to the environment before printing this e-mail.



(Wilbert Road)
Front Elevation
SCALE 1/4" = 1'-0"

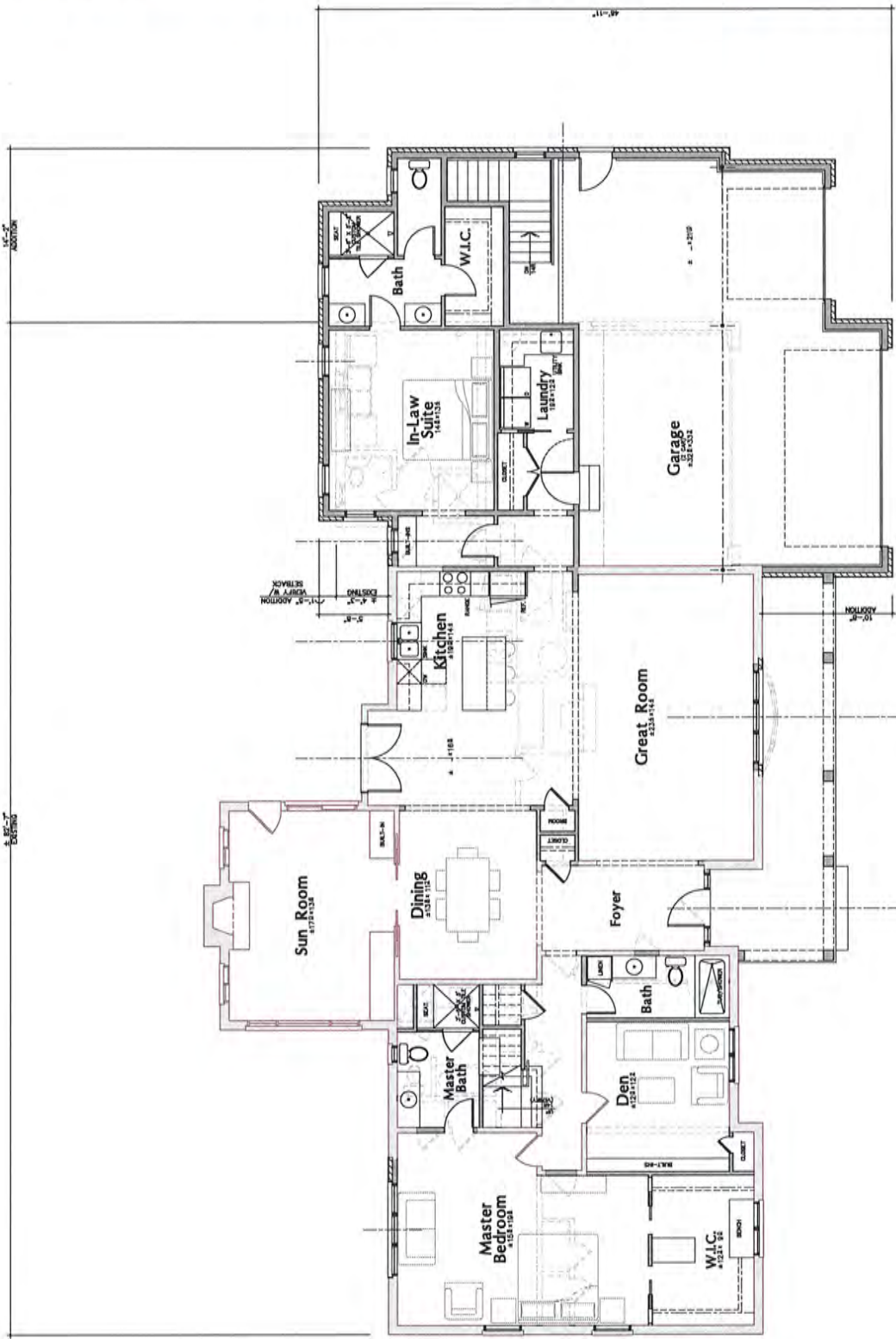


(Lake Road)
Right Side Elevation
SCALE 1/4" = 1'-0"



Site Plan
SCALE 1" = 20'-0"

Preliminary
Not For
Construction



First Floor Plan
 SCALE 1/8" = 1'-0"
 2133 SQ. FT. - EXISTING FIRST FLOOR (TO REMAIN)
 2130 SQ. FT. - FIRST FLOOR ADDITION
 2170 SQ. FT. - TOTAL FIRST FLOOR
 813 SQ. FT. - GARAGE ADDITION (NOT INCLUDED)
 239 SQ. FT. - FRONT PORCH ADDITION (NOT INCLUDED)
 4008 SQ. FT. - TOTAL

Preliminary Not For Construction

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000029

DOCKET No. 05-36-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Homenuk

Project Address 1603 Wyandotte

Applicant Name Borowski Builders Inc

Applicant Address 10428 Abbey rd. N. Royalton
(if different than above)

Applicant Contact (440) 263 - 0620

@ _____

Brief Project Description Replace front porch deck and support

posts, All replacement to mimic existing as closely as possible

Signature: [Signature]

Date: 4/1/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name DAVE Homenuk

Property Address 1603 Wyandotte

Owner / Agent Contact (440) 263- 0620

DBOROWSKI @ yahoo.com

Owner / Agent Signature [Signature]

Date: 4/1/20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

PROPOSED REPAIRS FAC.

DAVID HOMENUK
1603 WYADOTTE
LAKEWOOD, OHIO 44107

BUILDERS:

BOROWSKIE BUILDERS INC.
10428 ABBEY RD.
N. ROYALTON, OH 44133
440-263-0620

EX BEAM

EX PLANT
POOF TO REMAIN

MR DAVID HOMENUK

3/15/20
3/14/20

PORCH SECTION 14'-5 1/2"



RB20-000132

City of Lakewood
APPROVED*
Case# RB20-000132
*See Certificate of Plan Approval
Christopher Parmelee
04/02/2020

General Notes

Since every attempt has been made for accuracy of these drawings, it is advised that each trade review all parts of the drawings that pertain to the work of which they will be responsible and report any dimensional or other errors, to the Contractor for correction or further clarification. Some minor dimensional changes may be made in the field to accommodate mechanicals, specific materials or general field conditions. Please note that all room sizes shown on the drawings are approximate.

All footers to bear on original solid soil. Assume 3000 psf soil bearing capacity, verify as required. Adjust all footer depths as required to extend below the frost line, after field determining finish grade height, which may differ from what is shown on the drawings.

All floor joists to have solid or 1x3 "X" bracing at midspan, on all spans over 8'-0". Double joists having any parallel bearing walls above, unless noted otherwise, and add solid blocking through the floor system to transfer all point loads from above to the top of beam or foundation below.

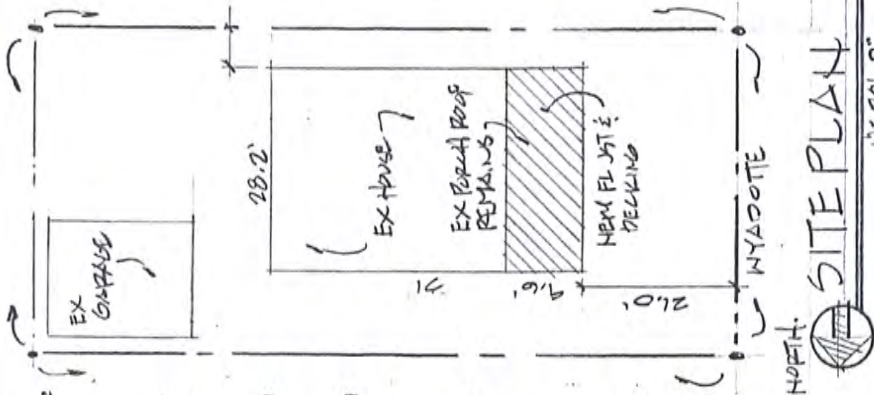
All bearing headers to be minimum (2) 2x10s unless noted otherwise. All steel fitch plate beams and LVLs, three members wide and over, shall be through bolted with 1/2" dia. bolts at 2'-0" o.c. alternating top and bottom, and minimum two bolts at each end.

All beams to bear on jack (trimmer) studs or in walls with solid studs or blocking, to bring points below. Use 2 jack studs with all headers over 8'-0".

All hip rafters to be single 2x or LVL member, one size larger than the rafters themselves. All valley rafters to be dbl 2x or LVL members, one size larger than the rafters, or as noted otherwise, bevel bottom edge as required.

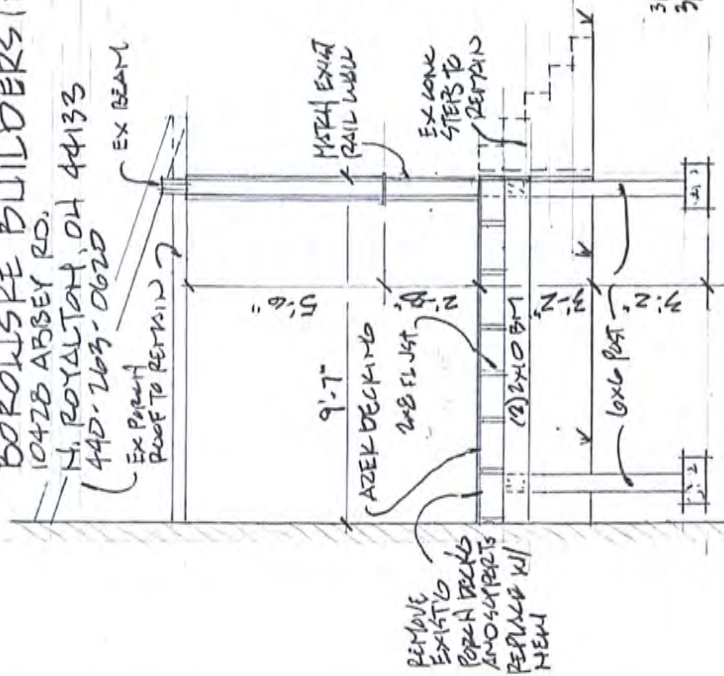
All rafters or prefabricated trusses, if any, shall be braced and secured to top of walls per manufacturers recommendations, or as required to prevent any racking, shifting or settling. Adjust rafter birdsmouths and/or wall heights as required to maintain a constant gutterboard height, especially when using different rafter member sizes or changes in roof pitches.

Window numbers shown on the elevations are " " units. Window suppliers to review and notify Contractor of any units that do not meet local egress requirements, or any units that may require tempered glass, especially if another window manufacture other than " " is used.



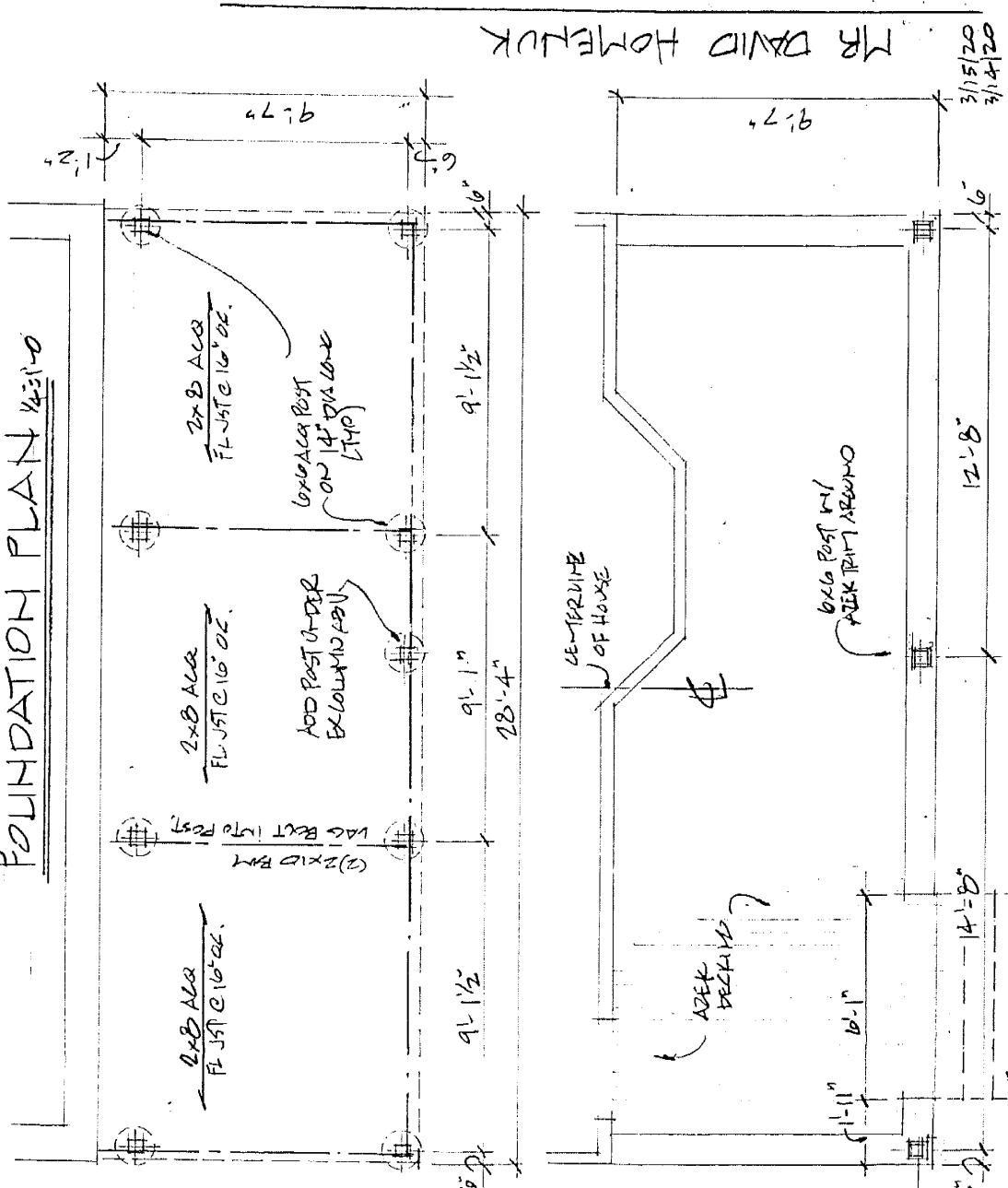
SITE PLAN

1" = 20'-0"



PORCH SECTION 14'-5 1/2"

FOUNDATION PLAN 4-3-10

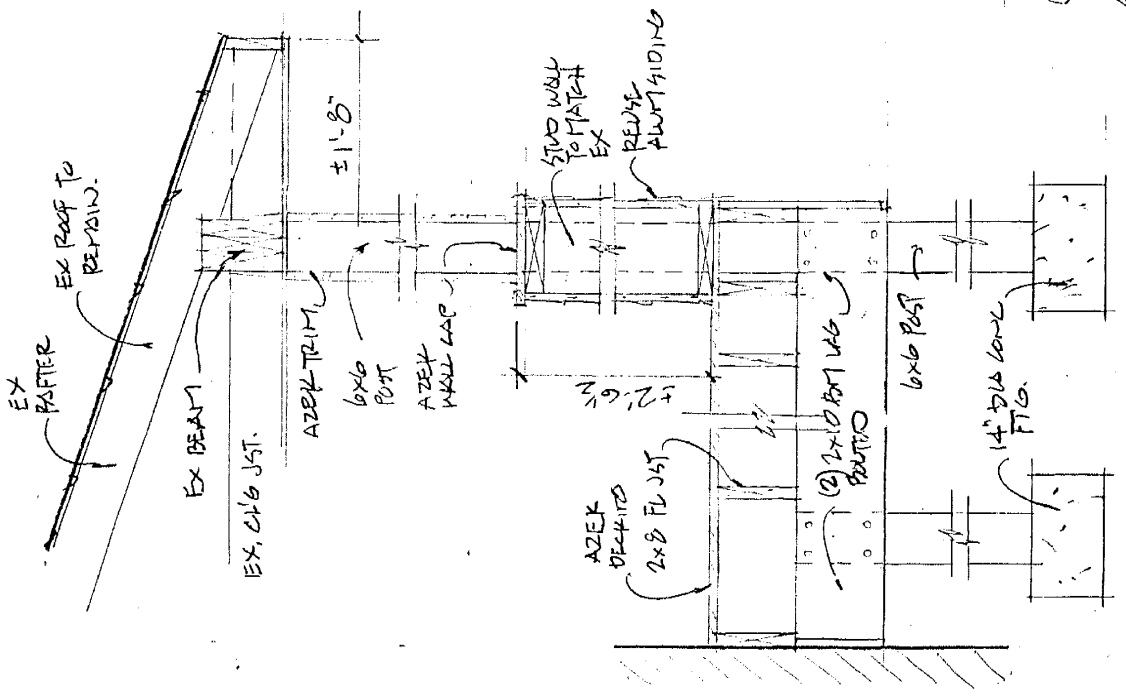
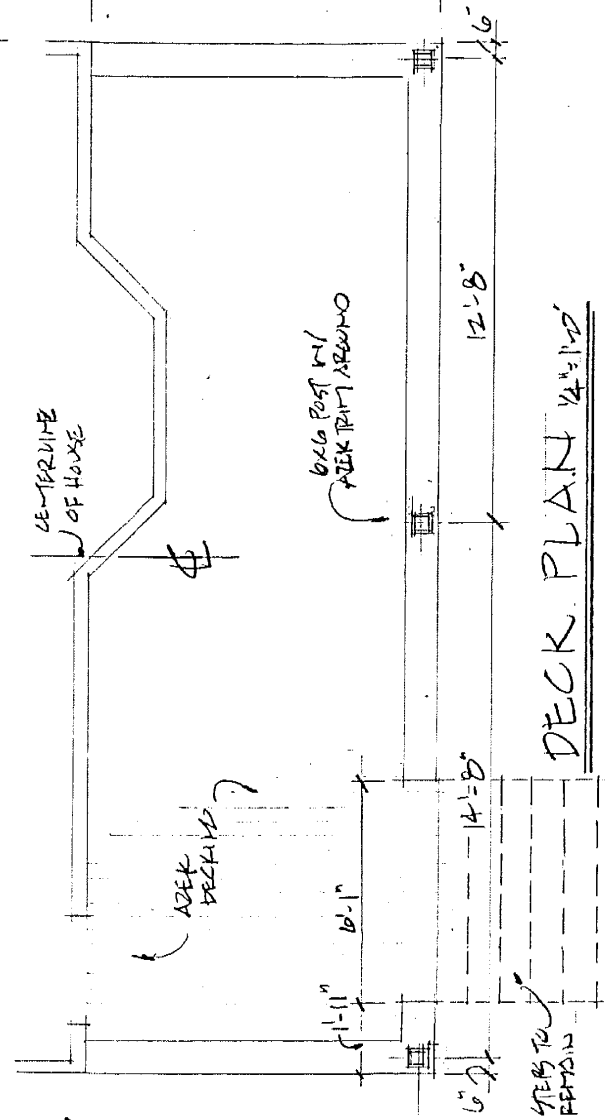


2

MR DAVID HOMENUK

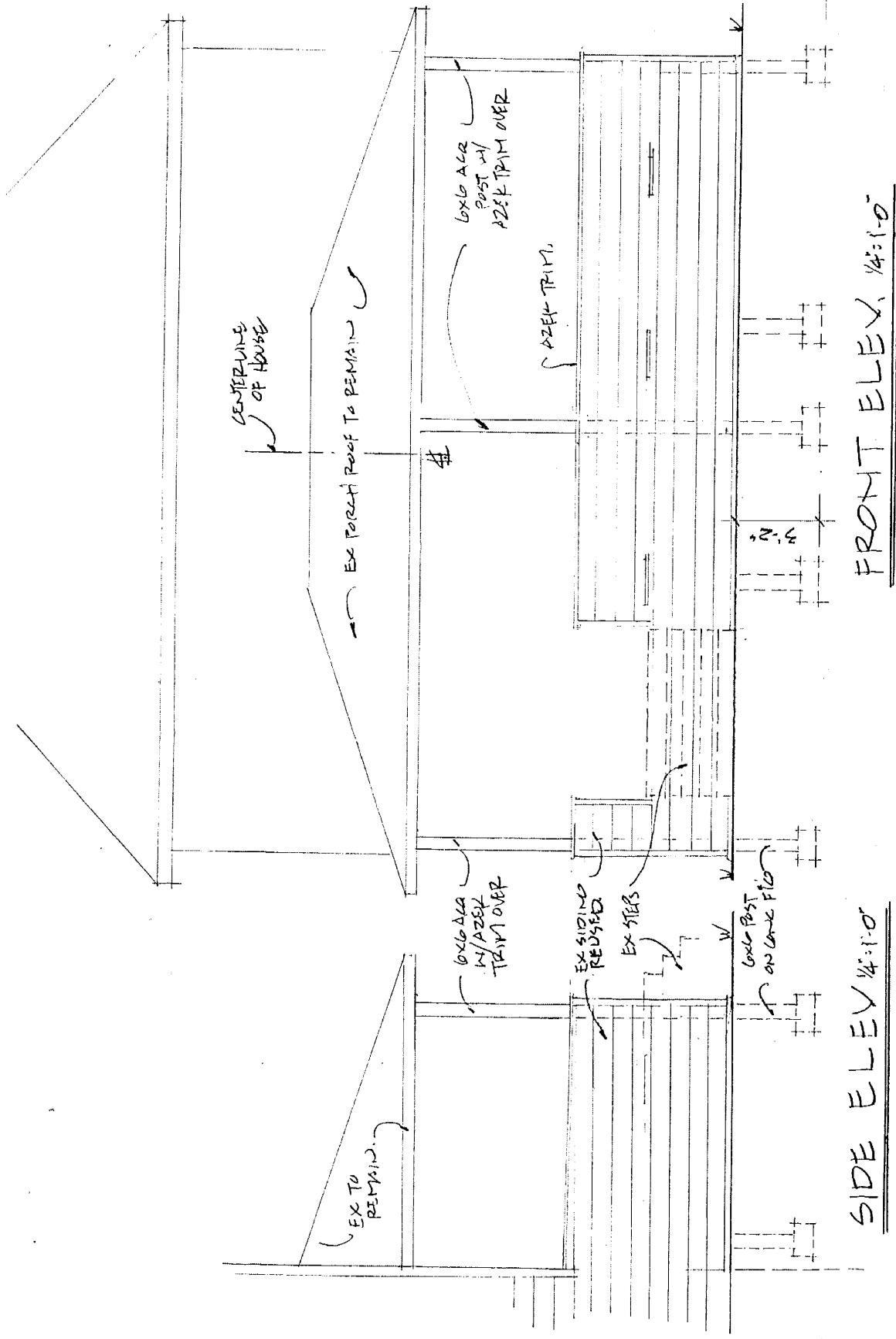
3/15/20
3/14/20

DECK PLAN 4-3-10



TYP. WALL SECT. 4-3-10

STEPS TO REMAIN



FRONT ELEV. 14'-10"

SIDE ELEV. 14'-10"

MR DAVID HOMEICK

3/15/20
3/14/20

3

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000041

DOCKET No. 05-37-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Detroit Tough

Project Address 17303 Detroit Ave

Applicant Name JYD LLC

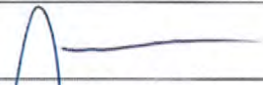
Applicant Address 18155 Clifton Rd Lakewood OH 44107

(if different than above)

Applicant Contact (440) 666-5836

jim @ cledrummer.com

Brief Project Description Addition of storefront windows, new front roof over entry and new siding on the commercial first floor (apartments above)

Signature: 

Date: 3-20-2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Jim Mikero

Property Address 17303 Detroit Ave

Owner / Agent Contact (440) 666-5836

jim @ cledrummer.com

Owner / Agent Signature 

Date: 3-20-2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



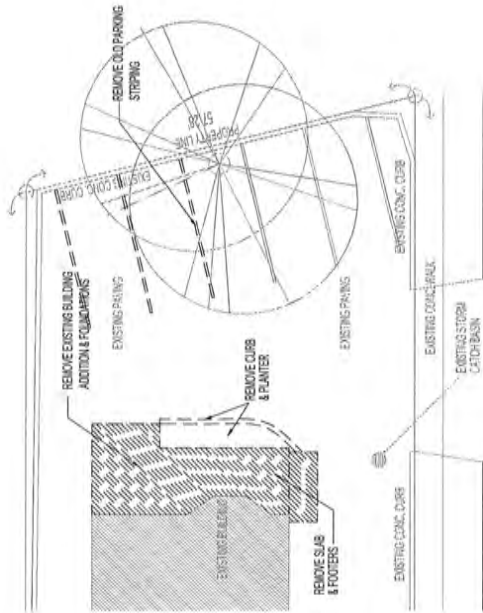
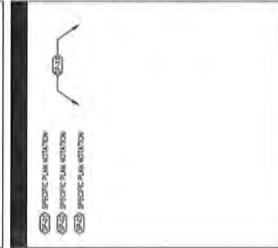
arknetics
 Architecture + Planning + Interiors + Preservation + Urban Design
 www.arknetics.com
 3723 Pelee Road
 Cleveland, OH 44109
 P: 216.749.1000

RENOVATION TO:
17303 DETROIT RD
 LAKEWOOD, OH 44107

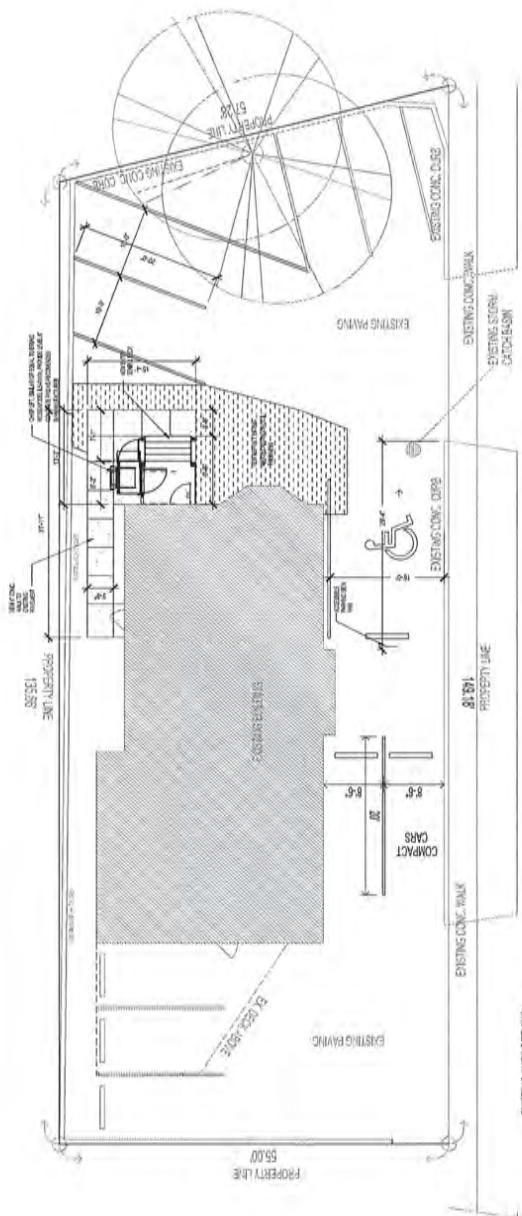
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PROJECT #:	2023012
DRAWN BY:	MM
CHECKED BY:	MM
SCALE:	AS SHOWN
PROJECT:	RESIDENTIAL

SHEET #
AS.01

- FIELD VERIFY ALL CONDITIONS, EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORK. ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING.
- EXISTING CONDITIONS SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
- COORDINATE ALL UTILITY LOCATIONS AND DEPT. PERMITS.



PARTIAL SITE DEMOLITION PLAN
 1/8" = 1'-0"
 PLAN NORTH



ARCHITECTURAL SITE PLAN
 1/8" = 1'-0"
 PLAN NORTH

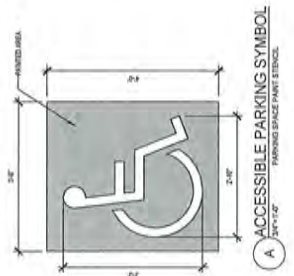
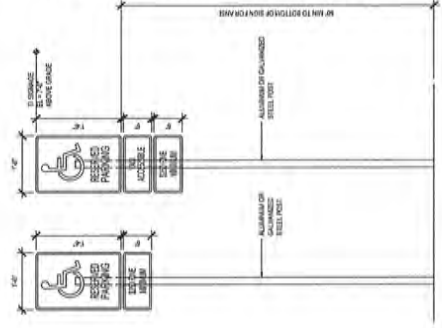
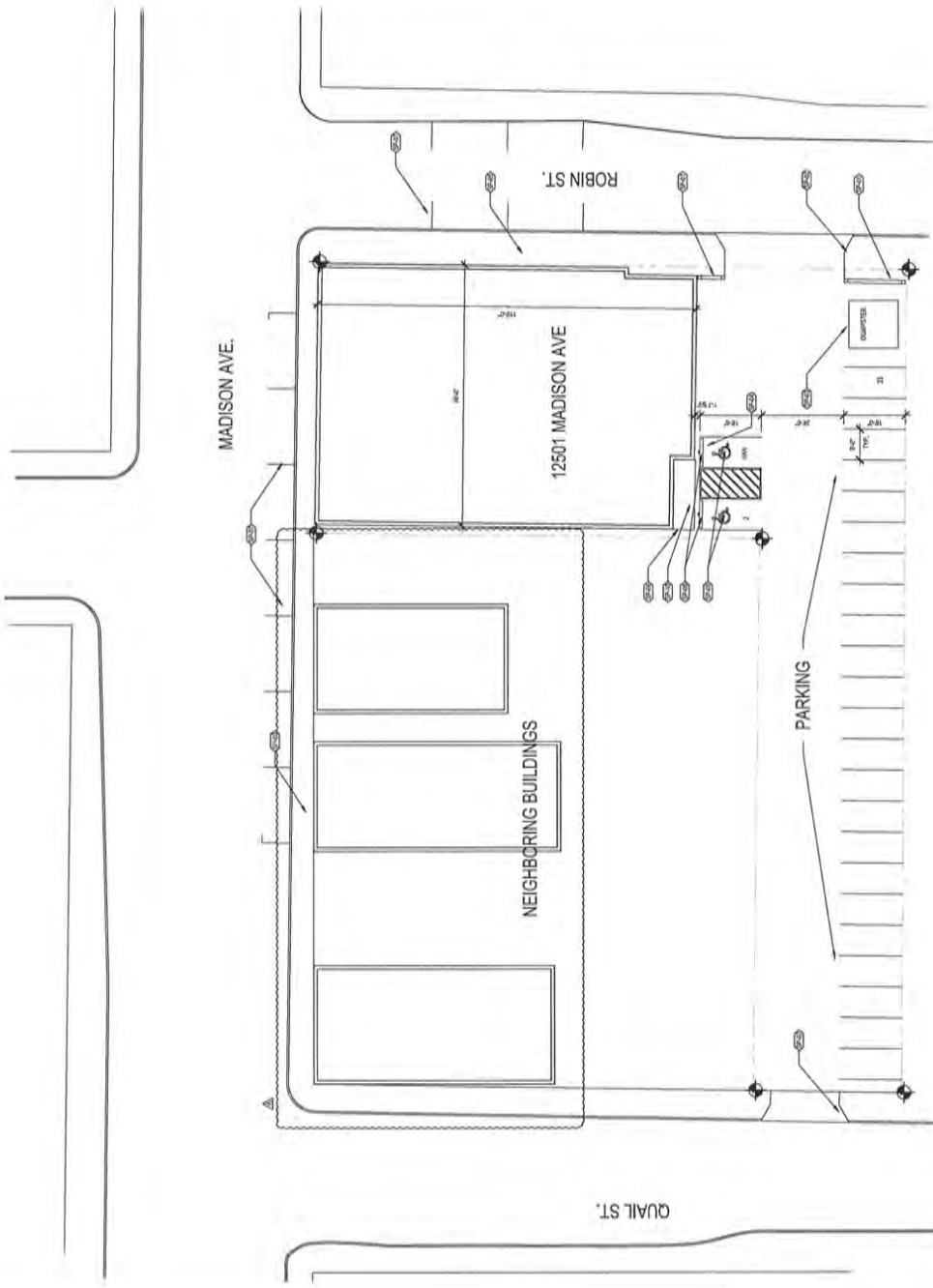
99A

99B

SECTION B
ACCESSIBLE PARKING SIGNAGE DETAIL
POST MOUNTED

SHEET #
AS.01

ARCHITECTURAL SITE PLAN
1/8" = 1'-0"
NOT TO SCALE
SHOWN FOR INFORMATIONAL AND PRELIMINARY
CONTROLS AS ACTUAL EXIST.



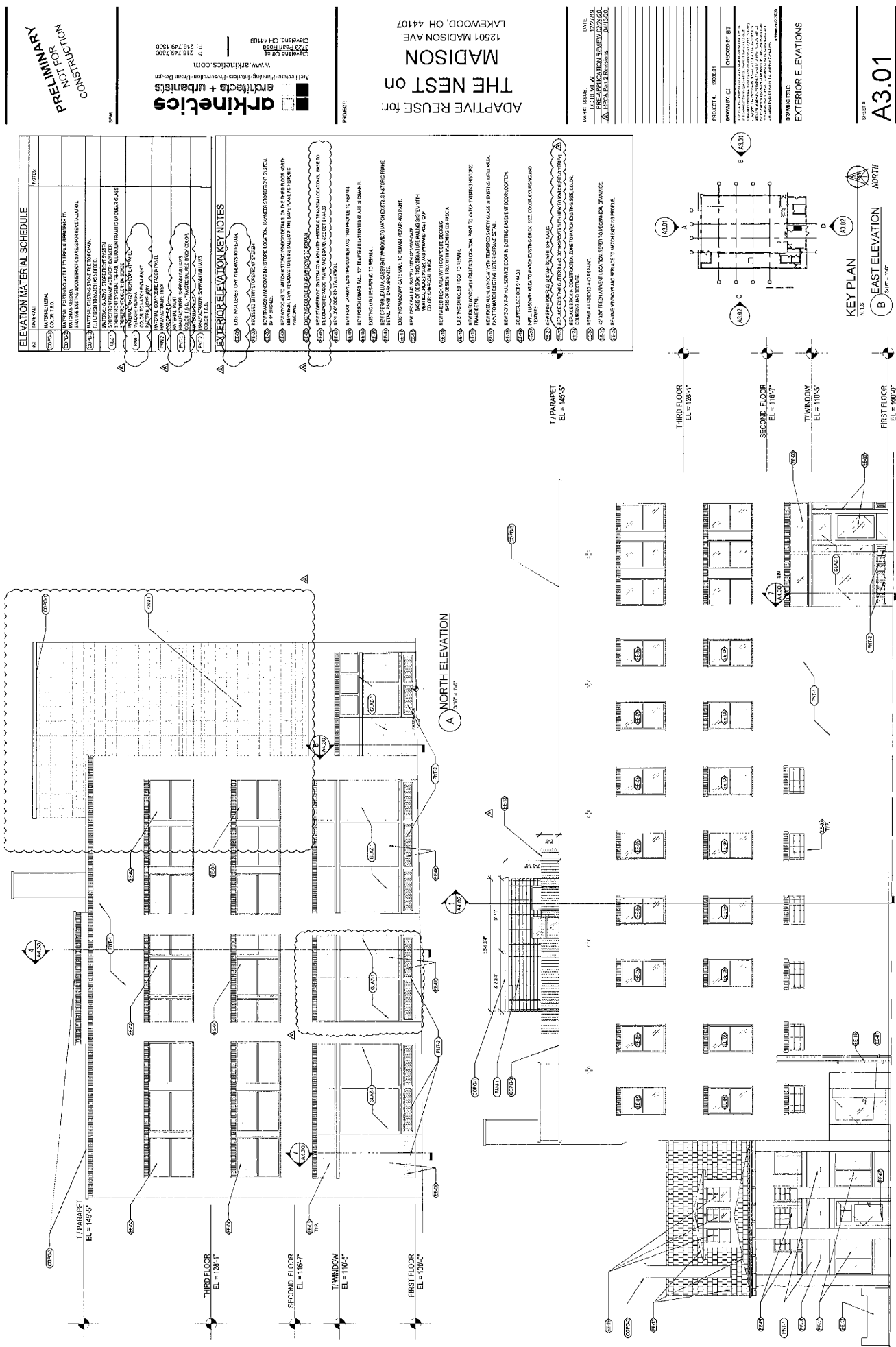
ADAPTIVE REUSE for:
**THE NEST ON
MADISON**
12501 MADISON AVE.
LAKEWOOD, OH 44107

architects + urbanists
Architecture + Planning + Preservation + Urban Design
www.archnetics.com
P: 216 449 7800
F: 216 449 1300
Cleveland, OH 44102

PRELIMINARY
NOT FOR
CONSTRUCTION

- SITE PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT TO BE MOVED OR DELETED UNLESS OTHERWISE NOTED.
 3. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT TO BE MOVED OR DELETED UNLESS OTHERWISE NOTED.
 4. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT TO BE MOVED OR DELETED UNLESS OTHERWISE NOTED.
 5. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT TO BE MOVED OR DELETED UNLESS OTHERWISE NOTED.
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 9. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT TO BE MOVED OR DELETED UNLESS OTHERWISE NOTED.
 10. EXISTING UTILITIES SHALL BE MAINTAINED AND NOT TO BE MOVED OR DELETED UNLESS OTHERWISE NOTED.
- SITE PLAN KEY NOTES**
- 1. EXISTING CONCRETE DRIVEWAY TO REMAIN.
 - 2. EXISTING DRIVEWAY ASPHALT AND CURB CUT.
 - 3. NEW DRIVEWAY LOCATION.
 - 4. NEW CONCRETE WALKWAY.
 - 5. EXISTING CONCRETE DRIVEWAY.
 - 6. DRIVEWAY.
 - 7. EXISTING DRIVEWAY VERTICES FINISH.
 - 8. ACCESSIBLE DRIVEWAY SIGNAGE SET BY USER.
 - 9. ACCESSIBLE PARKING SYMBOL - PAINTED. SEE SET A-101.

SITE PARKING	
OCCUPANCY	PROVIDED
RESIDENTIAL	1 SPACES
OFFICE	1 SPACES
ACCESSIBLE	1 SPACES
TOTAL ON-SITE PARKING	3 SPACES



ELEVATION MATERIAL SCHEDULE

NO.	MATERIAL	NOTES
G250	1/2" BRICK	
G251	1/2" BRICK	
G252	1/2" BRICK	
G253	1/2" BRICK	
G254	1/2" BRICK	
G255	1/2" BRICK	
G256	1/2" BRICK	
G257	1/2" BRICK	
G258	1/2" BRICK	
G259	1/2" BRICK	
G260	1/2" BRICK	
G261	1/2" BRICK	
G262	1/2" BRICK	
G263	1/2" BRICK	
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G266	1/2" BRICK	
G267	1/2" BRICK	
G268	1/2" BRICK	
G269	1/2" BRICK	
G270	1/2" BRICK	
G271	1/2" BRICK	
G272	1/2" BRICK	
G273	1/2" BRICK	
G274	1/2" BRICK	
G275	1/2" BRICK	
G276	1/2" BRICK	
G277	1/2" BRICK	
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G294	1/2" BRICK	
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G296	1/2" BRICK	
G297	1/2" BRICK	
G298	1/2" BRICK	
G299	1/2" BRICK	
G300	1/2" BRICK	

EXTERIOR ELEVATION KEY NOTES

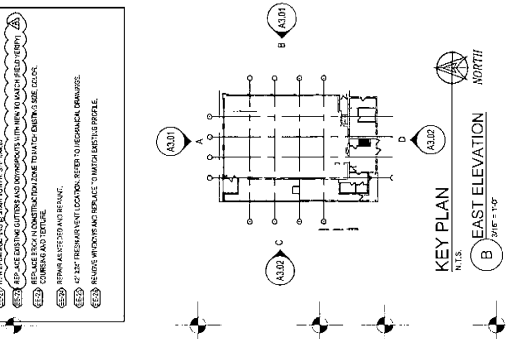
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- G299: MATERIALS TO BE IDENTIFIED BY THE ARCHITECT.
- G300: MATERIALS TO BE IDENTIFIED BY THE ARCHITECT.

ADAPTIVE REUSE FOR THE NEST ON MADISON

12501 MADISON AVE
LAKWOOD, OH 44107

PROJECT:

DATE: 12/21/17
ISSUE: 1
PREPARED BY: J. B. BROWN
CHECKED BY: J. B. BROWN
DESIGNED BY: J. B. BROWN
DRAWN BY: J. B. BROWN
SCALE: AS SHOWN
SHEET: 1 OF 1

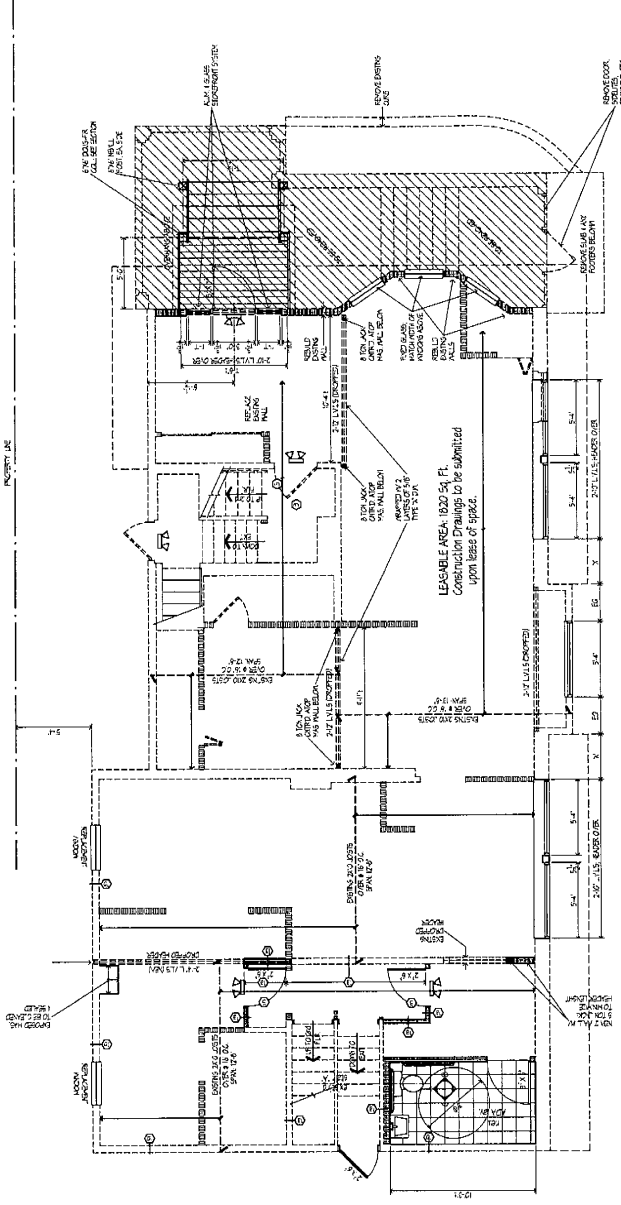


EXTERIOR ELEVATIONS

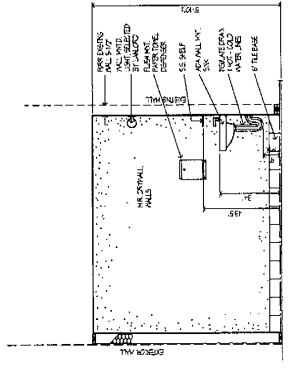
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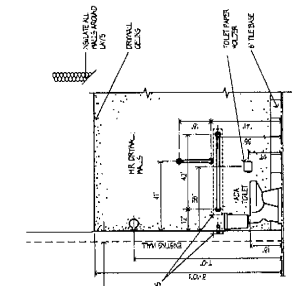
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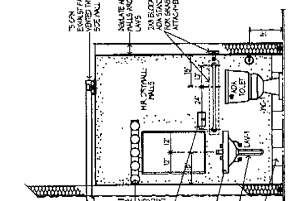
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- 3. EXISTING DOOR
- 4. EXISTING PARTITION
- 5. EXISTING CEILING
- 6. EXISTING FLOOR
- 7. EXISTING STAIR
- 8. EXISTING ELEVATOR
- 9. EXISTING MECHANICAL
- 10. EXISTING ELECTRICAL
- 11. EXISTING PLUMBING
- 12. EXISTING HVAC
- 13. EXISTING LIGHTING
- 14. EXISTING SOUNDPROOFING
- 15. EXISTING SECURITY
- 16. EXISTING ACCESSIBILITY
- 17. EXISTING SIGNAGE
- 18. EXISTING LANDSCAPE
- 19. EXISTING SITEWORK
- 20. EXISTING UTILITIES
- 21. EXISTING STRUCTURE
- 22. EXISTING FOUNDATION
- 23. EXISTING ROOFING
- 24. EXISTING EXTERIOR FINISH
- 25. EXISTING INTERIOR FINISH
- 26. EXISTING PAINT
- 27. EXISTING GLASS
- 28. EXISTING METAL
- 29. EXISTING WOOD
- 30. EXISTING CONCRETE
- 31. EXISTING BRICK
- 32. EXISTING STONE
- 33. EXISTING TILE
- 34. EXISTING CARPET
- 35. EXISTING LINOLEUM
- 36. EXISTING RUBBER
- 37. EXISTING VINYL
- 38. EXISTING CERAMIC
- 39. EXISTING GLASS BLOCK
- 40. EXISTING TRANSPARENT GLASS
- 41. EXISTING OPAQUE GLASS
- 42. EXISTING MIRROR
- 43. EXISTING ART GLASS
- 44. EXISTING STAINED GLASS
- 45. EXISTING LEAD GLASS
- 46. EXISTING WIRE GLASS
- 47. EXISTING TINTED GLASS
- 48. EXISTING LOW EMISSION GLASS
- 49. EXISTING ENERGY EFFICIENT GLASS
- 50. EXISTING SOUND TRANSMITTING GLASS
- 51. EXISTING SOUND INSULATING GLASS
- 52. EXISTING SOUND ABSORBING GLASS
- 53. EXISTING SOUND REFLECTING GLASS
- 54. EXISTING SOUND TRANSPARENT GLASS
- 55. EXISTING SOUND OPAQUE GLASS
- 56. EXISTING SOUND TRANSPARENT GLASS
- 57. EXISTING SOUND OPAQUE GLASS
- 58. EXISTING SOUND TRANSPARENT GLASS
- 59. EXISTING SOUND OPAQUE GLASS
- 60. EXISTING SOUND TRANSPARENT GLASS



ELEVATION 6
 SCALE 3/8" = 1'-0"



ELEVATION 8
 SCALE 3/8" = 1'-0"



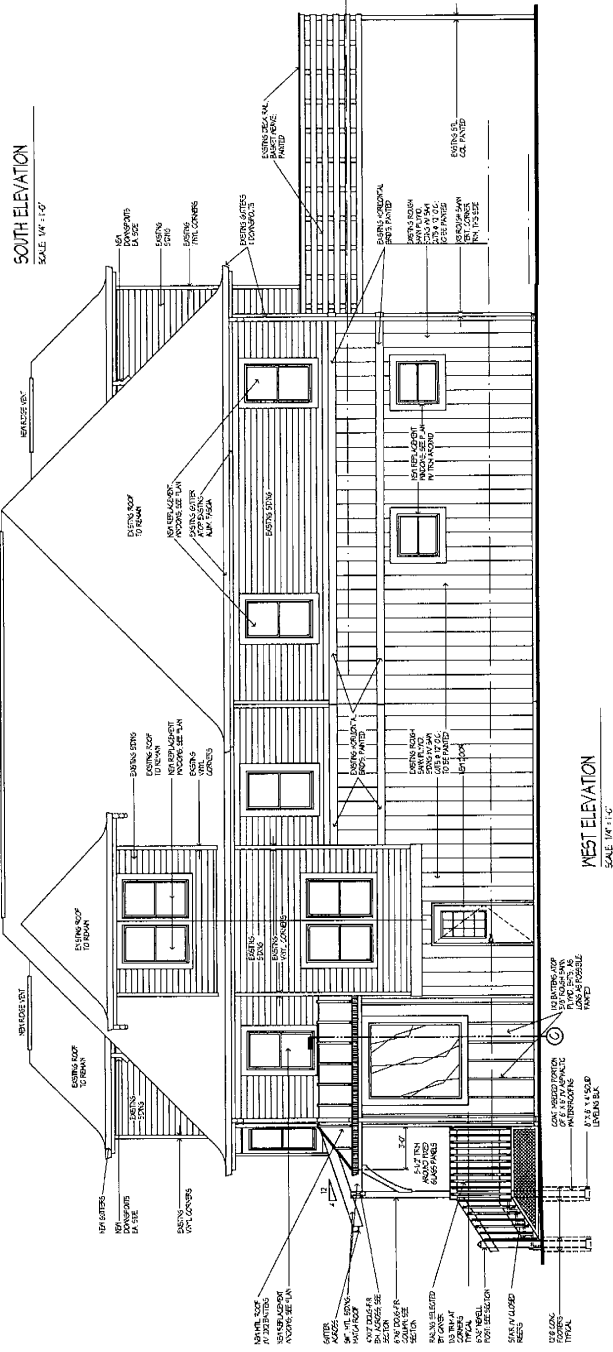
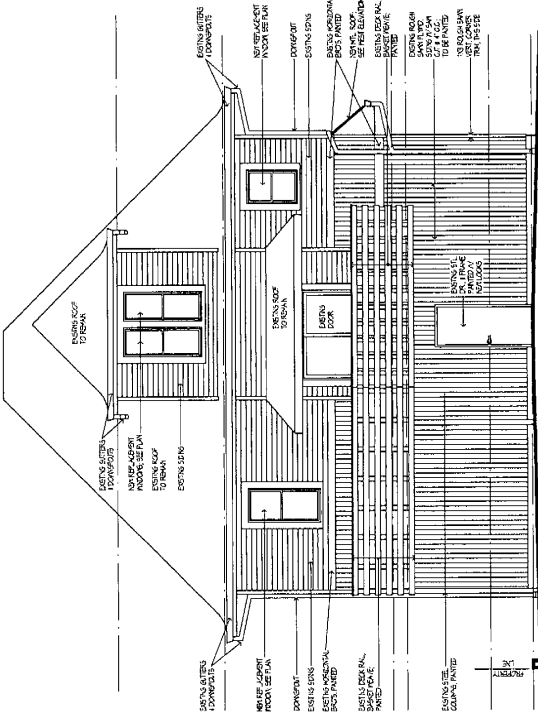
ELEVATION 9
 SCALE 3/8" = 1'-0"

INTERIOR ELEVATIONS - LAV 5.

Alterations in & Additions To:

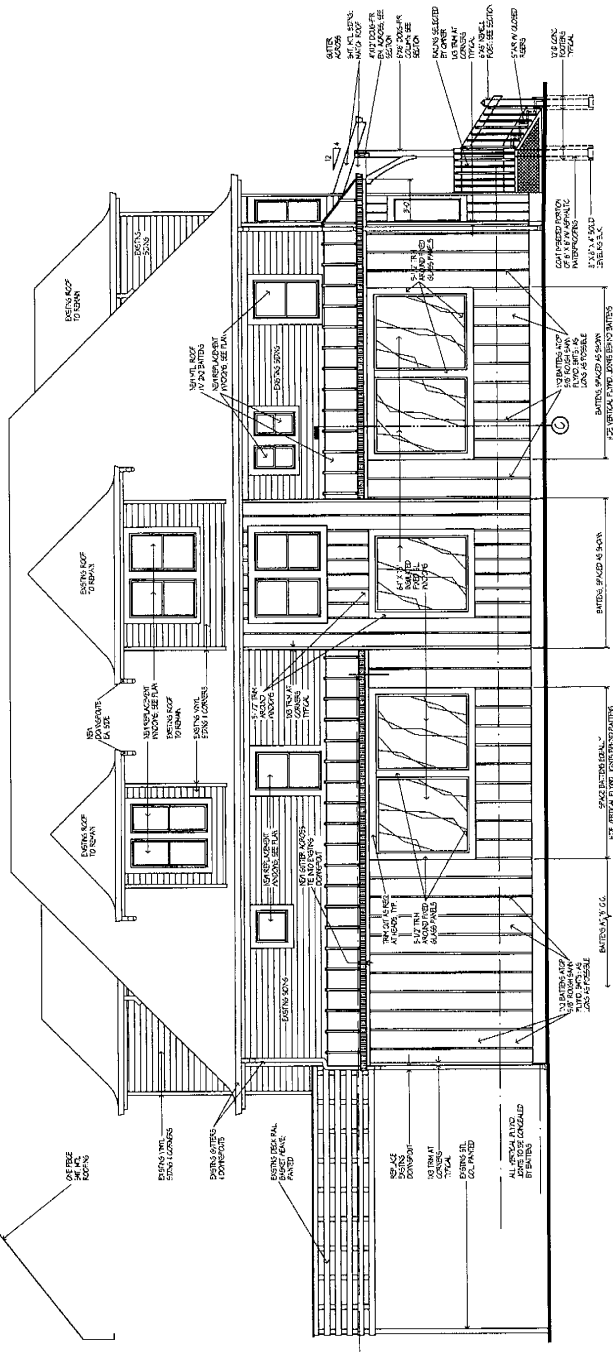


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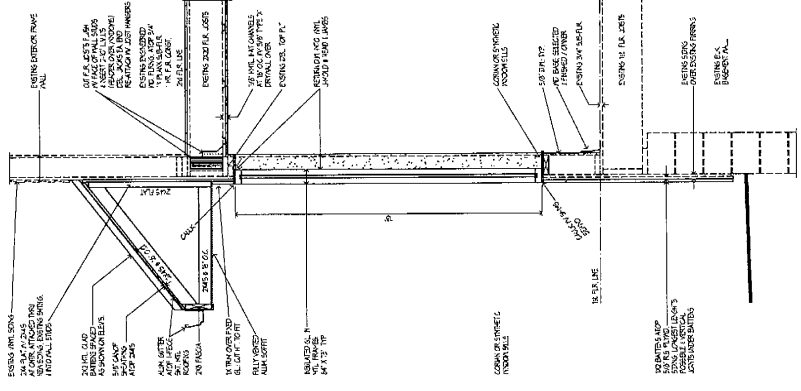


DATE: _____

Alterations in & Additions To:



EAST ELEVATION
 SCALE: 1/4" = 1'-0"



SECTION
 WALLS & ROOF

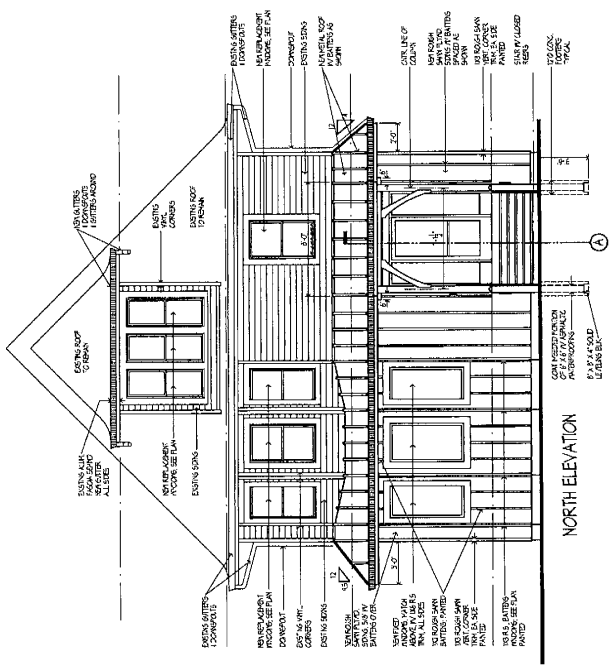
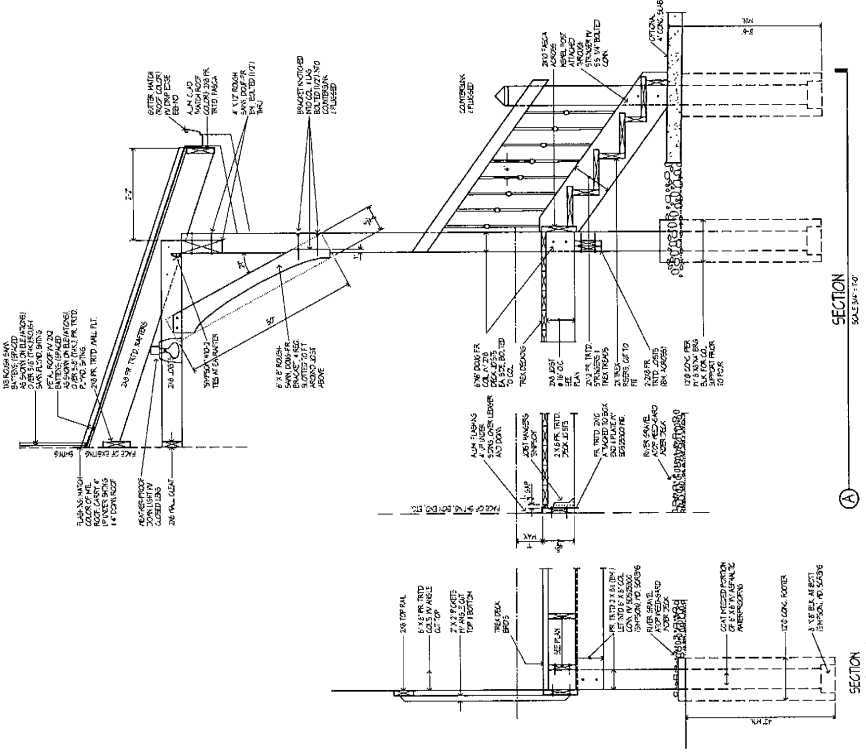


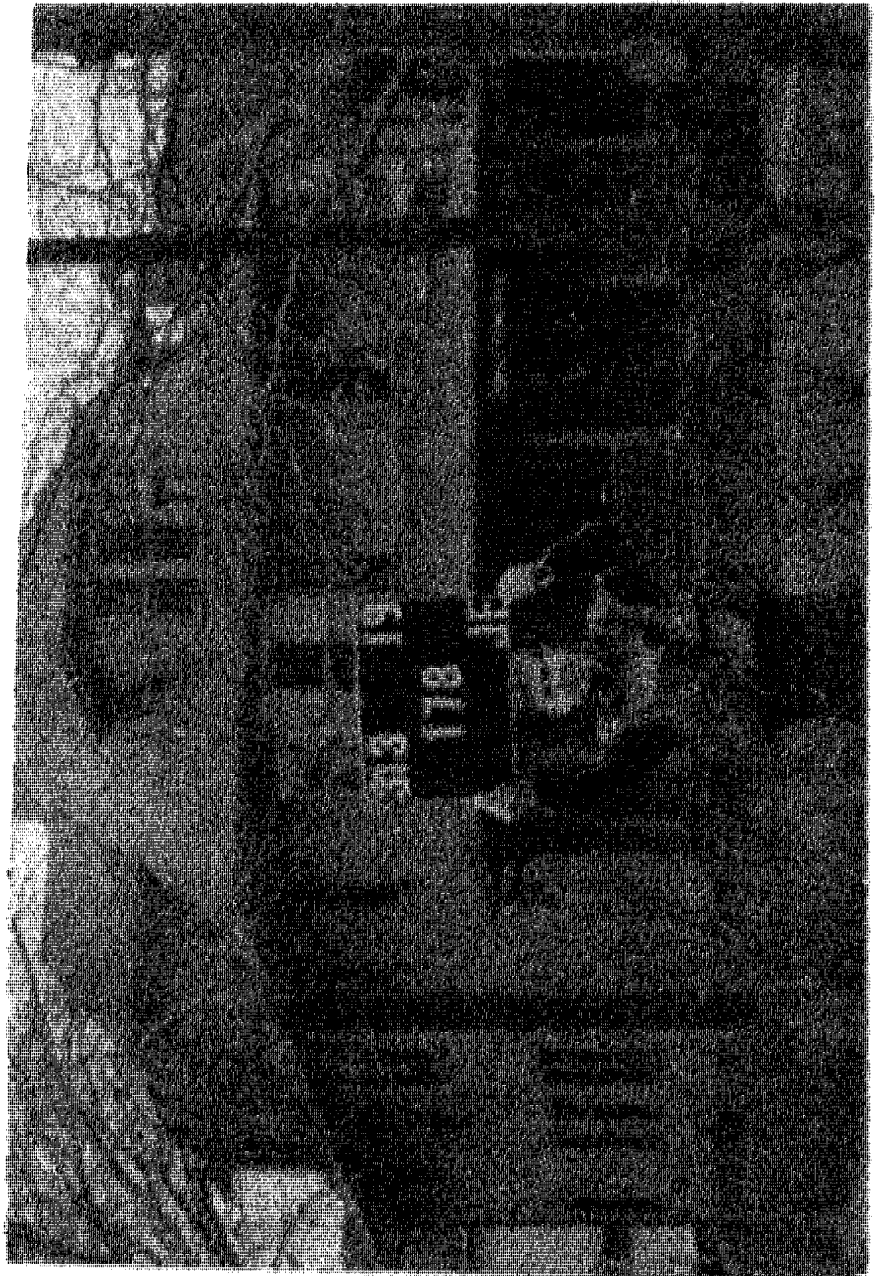
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87	1/27/2014	ISSUED FOR PERMIT
88	1/27/2014	ISSUED FOR PERMIT
89	1/27/2014	ISSUED FOR PERMIT
90	1/27/2014	ISSUED FOR PERMIT
91	1/27/2014	ISSUED FOR PERMIT
92	1/27/2014	ISSUED FOR PERMIT
93	1/27/2014	ISSUED FOR PERMIT
94	1/27/2014	ISSUED FOR PERMIT
95	1/27/2014	ISSUED FOR PERMIT
96	1/27/2014	ISSUED FOR PERMIT
97	1/27/2014	ISSUED FOR PERMIT
98	1/27/2014	ISSUED FOR PERMIT
99	1/27/2014	ISSUED FOR PERMIT
100	1/27/2014	ISSUED FOR PERMIT

Alterations in & Additions To:



NO.	DATE	DESCRIPTION
1	12/28/11	ISSUED FOR PERMIT
2	01/13/12	ISSUED FOR PERMIT
3	01/13/12	ISSUED FOR PERMIT
4	01/13/12	ISSUED FOR PERMIT
5	01/13/12	ISSUED FOR PERMIT
6	01/13/12	ISSUED FOR PERMIT
7	01/13/12	ISSUED FOR PERMIT
8	01/13/12	ISSUED FOR PERMIT
9	01/13/12	ISSUED FOR PERMIT
10	01/13/12	ISSUED FOR PERMIT





Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000042

DOCKET No. 05-38-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name The Nest on Madison

Project Address 12501 Madison Ave

Applicant Name Little Jimmy LLC

Applicant Address 18155 Clifton Rd Lakewood OH 44107

(if different than above)

Applicant Contact (440) 666 - 5836

jim @ cledrummer.com

Brief Project Description Complete rehab of the building; applying for Historic Tax Credits and will add storefront windows and repaint the brick to match original brick color

Signature: 

Date: 3-20-2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Little Jimmy LLC

Jim Mikes

Property Address 12501 Madison Ave

Owner / Agent Contact (440) 666 - 5836

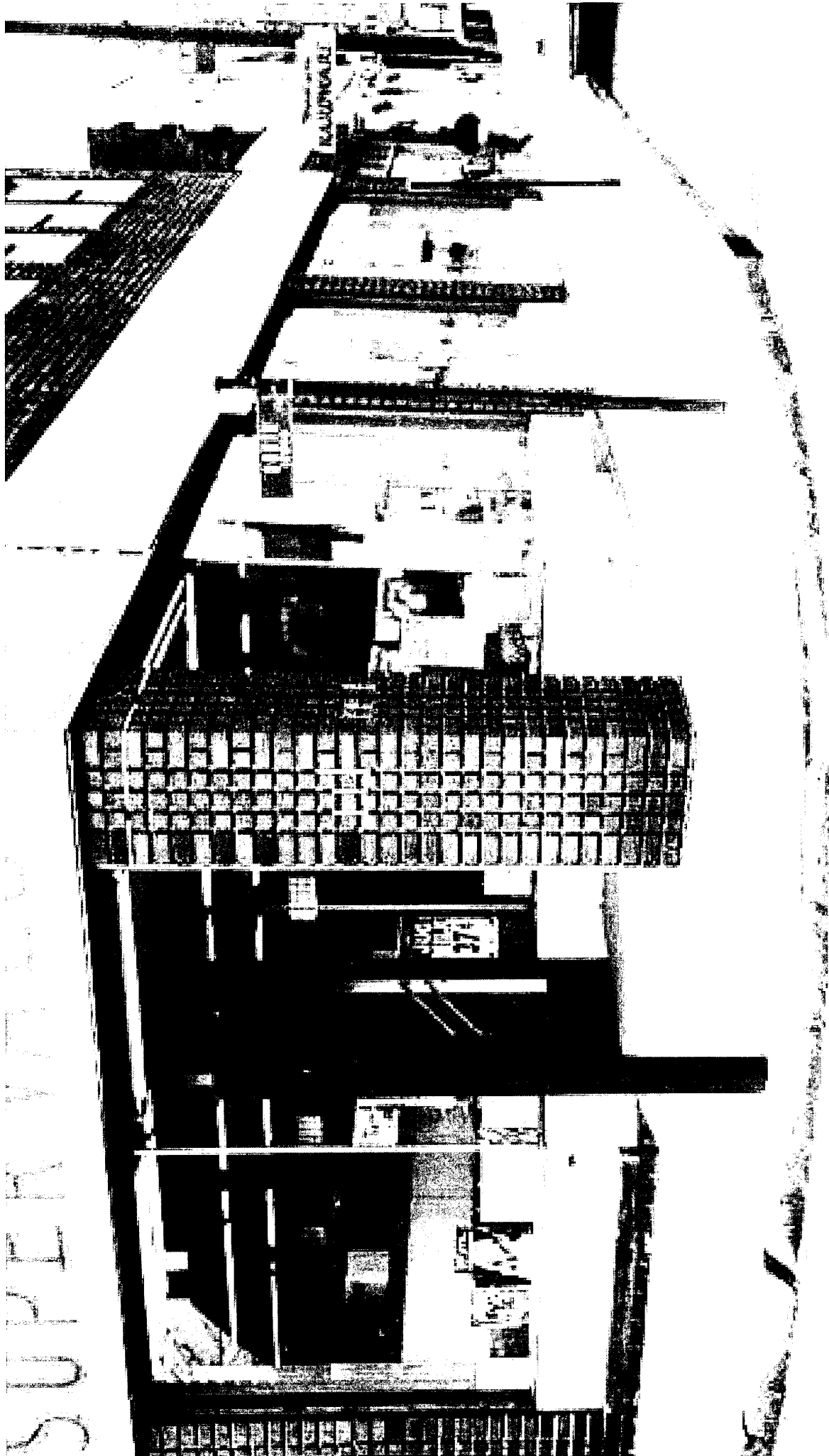
jim @ cledrummer.com

Owner / Agent Signature 

Date: 3-20-2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



59

OCT



FLOOR PLAN GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
2. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
3. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
4. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
5. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
6. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
7. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
8. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
9. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.
10. VERIFY ALL EXISTING CONDITIONS PRIOR TO START.

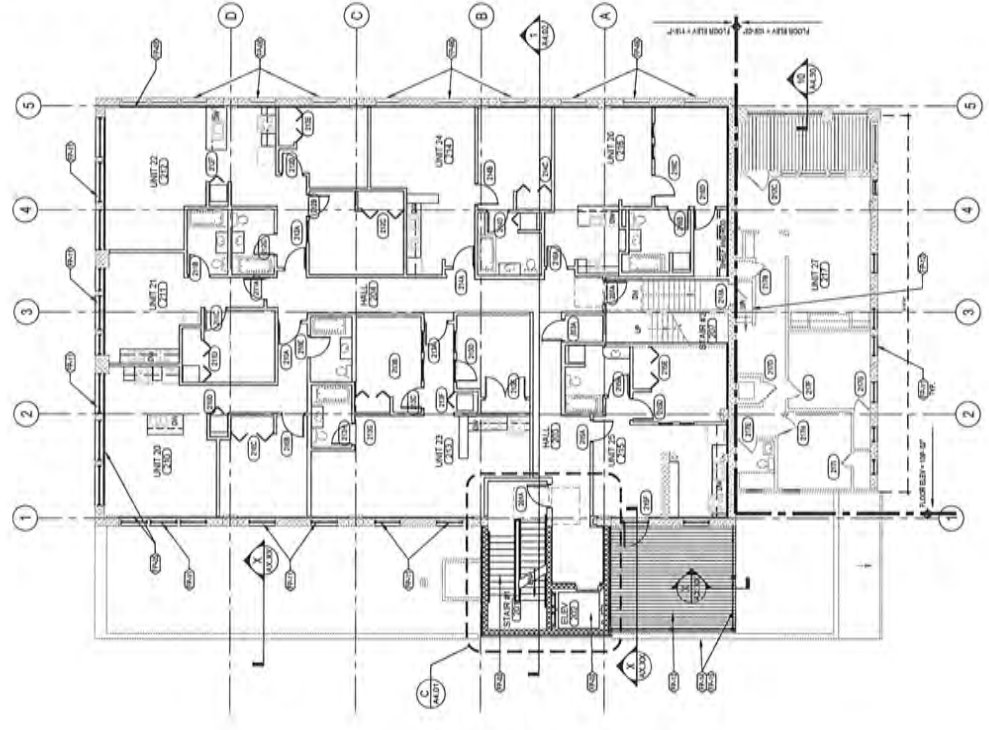


FLOOR PLAN SYMBOL LEGEND

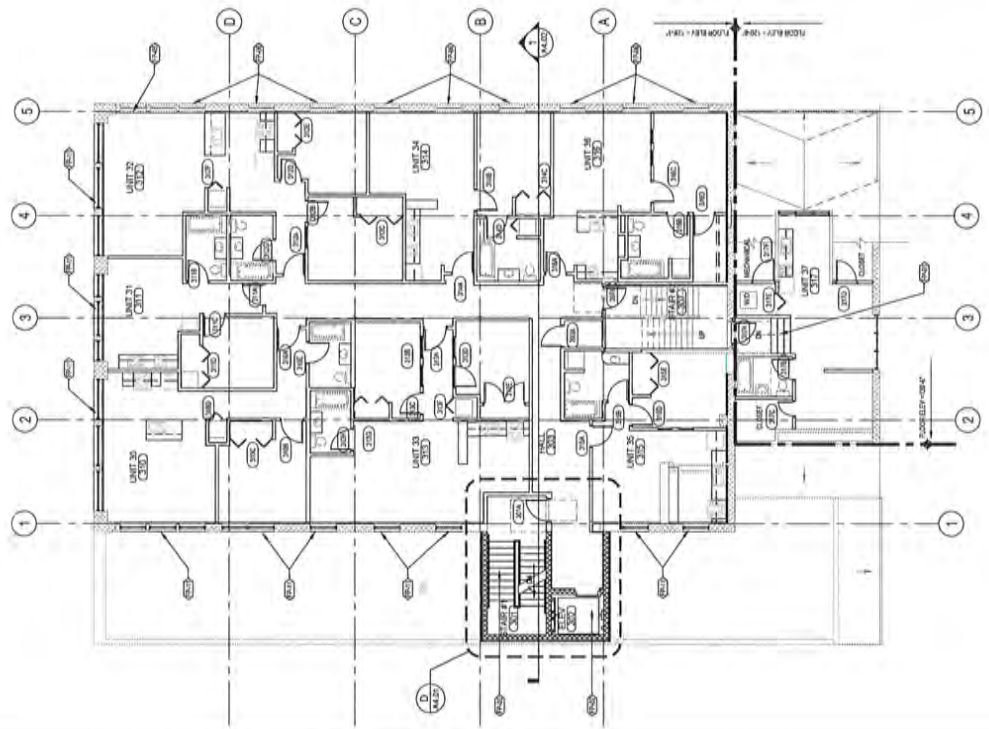
[Symbol]	EXISTING WALL, THIN WALL
[Symbol]	EXISTING WALL, THICK WALL
[Symbol]	EXISTING PARTITION WALL TO REMAIN
[Symbol]	NEW WALL - CONCRETE OR CMU WALL
[Symbol]	SECTION OF WALL TO TYPE
[Symbol]	NEW MASONRY WALL
[Symbol]	EXISTING SLAB DOOR AND TRIM TO REMAIN
[Symbol]	NEW SLAB DOOR AND TRIM
[Symbol]	EXISTING WINDOW TO REMAIN
[Symbol]	NEW WINDOW - CONCRETE WITH WINDOW TYPES ON SHEET A102
[Symbol]	WINDOW TYPES ON SHEET A102 TYPES ON SHEET A102
[Symbol]	DOOR TO COORDINATE WITH FLOOR SCHEDULE

FLOOR PLAN KEY NOTES

1. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
2. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
3. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
4. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
5. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
6. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
7. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
8. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
9. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING
10. NEW WOOD FLOOR AND TRIM, TO MATCH EXISTING



SECOND FLOOR PLAN
1/8" = 1'-0"
PLAN NORTH



THIRD FLOOR PLAN
1/8" = 1'-0"
PLAN NORTH

ADAPTIVE REUSE FOR:
MADISON
12601 MADISON AVE.
LAKEWOOD, OH 44110

arkinetics
architects + urbanists
www.arkinetics.com
P: 216.749.7800
F: 216.749.7800
CLEVELAND, OH 44110

DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____
PROJECT # _____
SHEET # _____
PROJECT NAME: _____
PROJECT LOCATION: _____
PROJECT ARCHITECT: _____
PROJECT ENGINEER: _____
PROJECT CONTRACTOR: _____
PROJECT OWNER: _____
PROJECT DATE: _____

SHEET # **A1.02**

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000030

DOCKET No. 05-39-20

FEE PAID _____ CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Marlowe Park Townhomes

Project Address 14503 Madison Avenue

Applicant Name Dru Siley, Liberty Development Company


Applicant Address 28045 Ranney Pkwy Westlake

(if different than above)

Applicant Contact (440) 892 - 1800 x 111

_____ ds @ liberty-development.com

Brief Project Description Redevelopment of the former St. Clement school site for 16 for sale townhomes

Signature: 

Date: 04/28/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Dru Siley, Liberty Development Company

Property Address 28045 Ranney Pkwy Westlake

Owner / Agent Contact (440) 892 - 1800 x 111

_____ @ _____

Owner / Agent Signature 

Date: 04/28/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



LIBERTY
DEVELOPMENT COMPANY

20345 Ranney Parkway, Suite E Westlake, OH 44125
p 440-892-1800 f 440-892-1801

April 28th, 2020

Architectural Board of Review
12650 Detroit Avenue
Lakewood, Ohio 44107

**RE: 14503 Madison Avenue
Marlowe Park Townhomes**

Dear Members of the Board:

Liberty Development Company is requested design approval for 16 for-sale townhomes on the former St. Clement School site.

Please feel free to contact me at your convenience should you have any questions or require additional information.

Sincerely,

Dru Siley
Vice President, Development
440-892-1800 x111
ds@liberty-development.com



DATE	25-MAR-2025
SCALE	AS SHOWN
PROJECT	MARLOWE PARK
NO. OF SHEETS	01
SHEET NO.	01

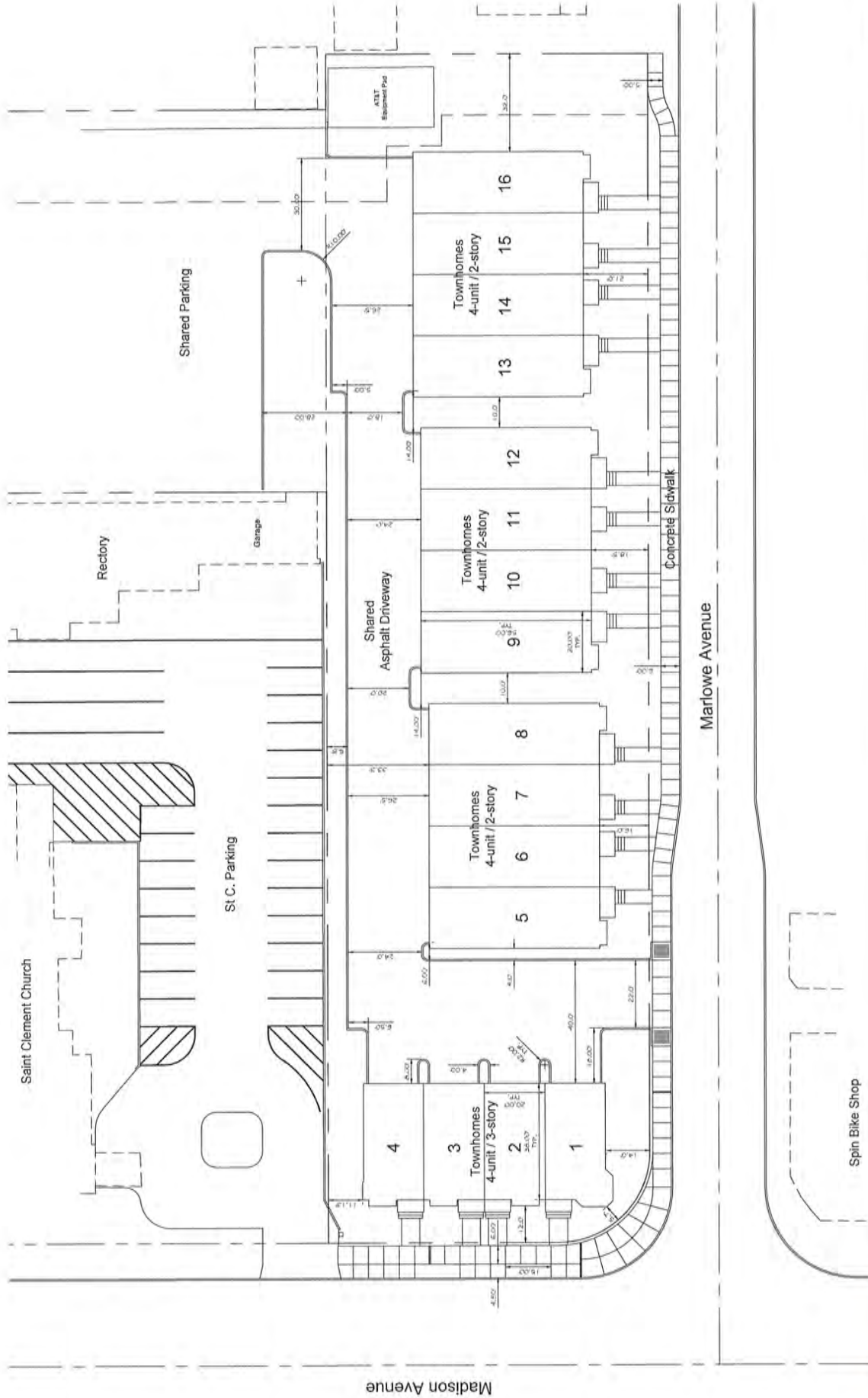
Marlowe Park
Lakewood, Ohio


Site Plan



LIBERTY
DEVELOPMENT COMPANY
2560 Barney Parkway, Suite E | Westlake, OH 44145
1419.855.1000 | www.libertydevelopment.com

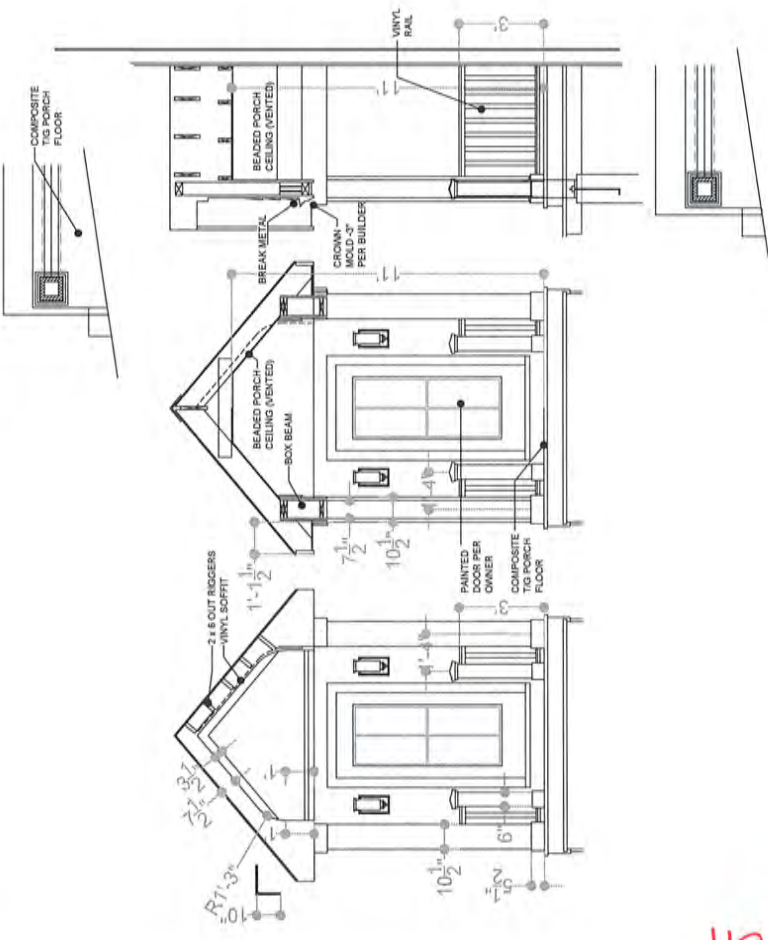
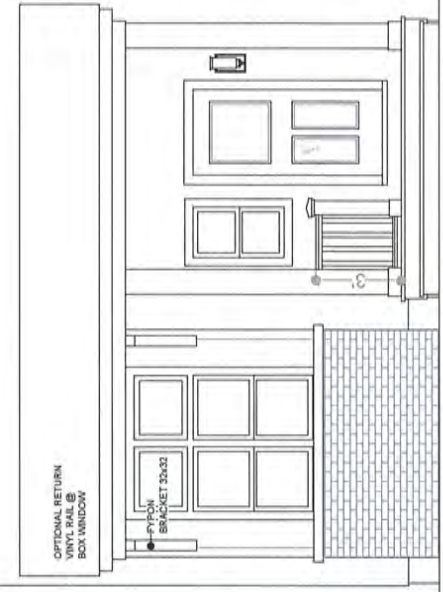
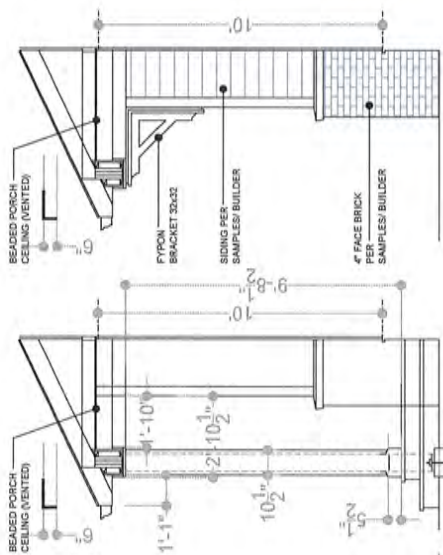
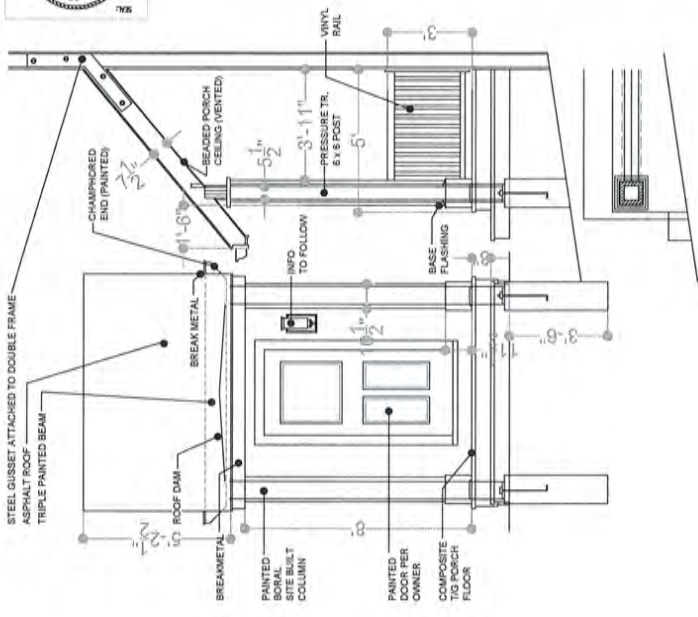




 LIBERTY DEVELOPMENT COMPANY <small>20645 Romney Parkway, Suite E Westlake, OH 44145 (440) 882-8800 www.liberty-development.com</small>	 Scale: 1" = 15' 0 15 30 45	<h2 style="text-align: center;">Layout Plan</h2>	Marlowe Park						
			Lakewood, Ohio						
<table border="1"> <tr> <td>DATE: 05-15-2023</td> <td>SCALE: 1" = 15'</td> </tr> <tr> <td>PROJECT: MARLOWE PARK</td> <td>SHEET: 02</td> </tr> <tr> <td>DRAWN: J. J. J.</td> <td>CHECKED: J. J. J.</td> </tr> </table>		DATE: 05-15-2023	SCALE: 1" = 15'	PROJECT: MARLOWE PARK	SHEET: 02	DRAWN: J. J. J.	CHECKED: J. J. J.		
DATE: 05-15-2023	SCALE: 1" = 15'								
PROJECT: MARLOWE PARK	SHEET: 02								
DRAWN: J. J. J.	CHECKED: J. J. J.								



MARK REINHOLD ARCHITECT
1120 Forest Road, Lakewood, Ohio 44107 (216) 906.7097
P.O. Box 2020
Lakewood, Ohio 44107



119A



119B



119c

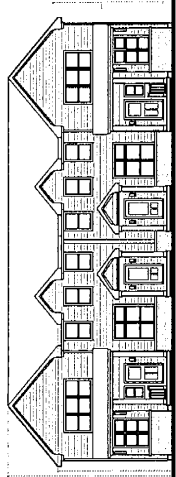
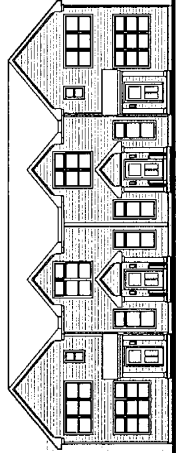
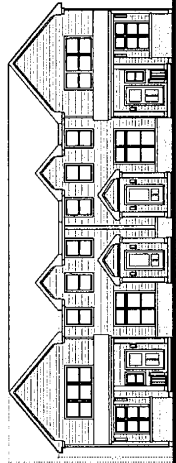
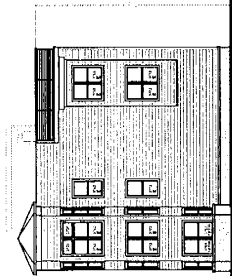
Marlowe Park Townhomes

Annapolis 2670 TK

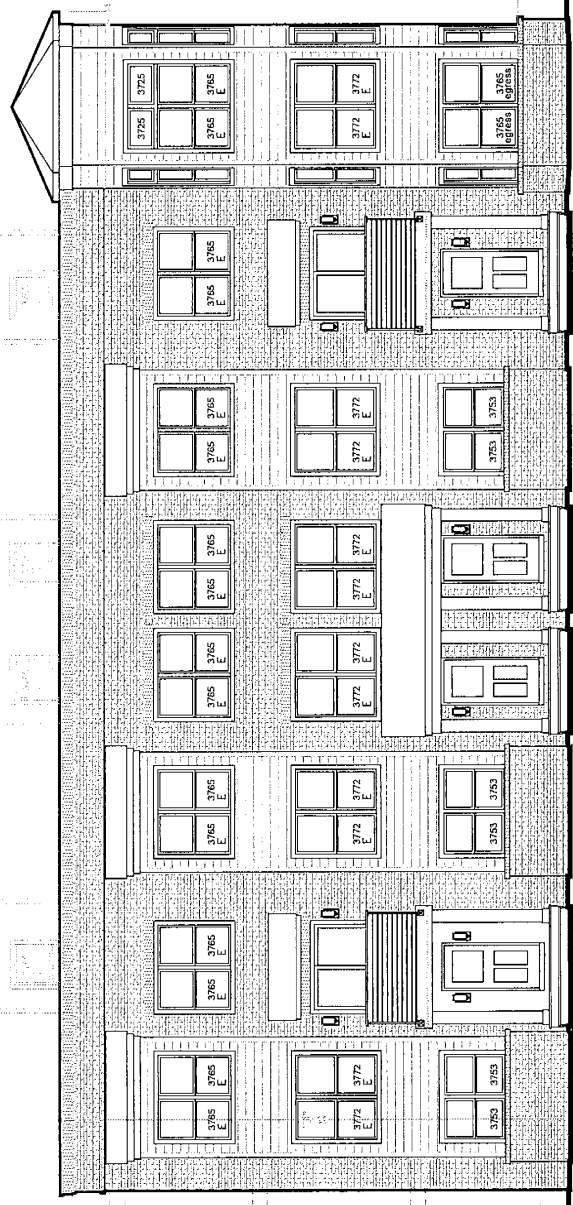
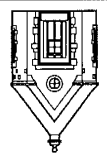
Wall Fixture



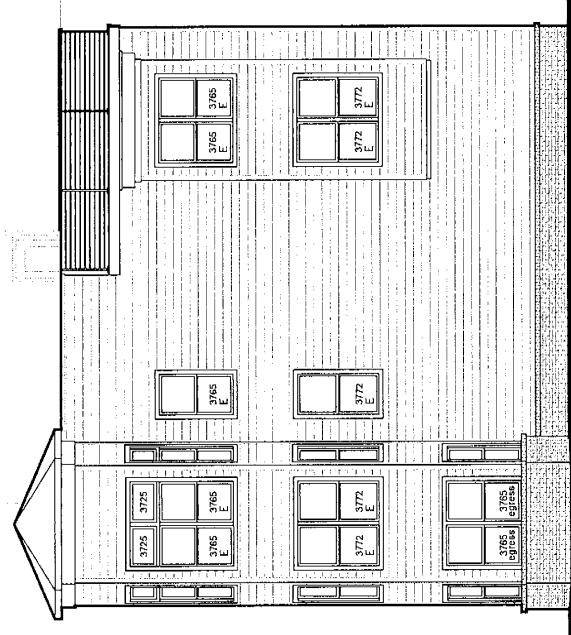
- Height: 14-1/4"
- Width: 5-1/2"
- Extension: 6-1/2"
- Backplate Height: 7"
- Backplate Width: 4-1/2"



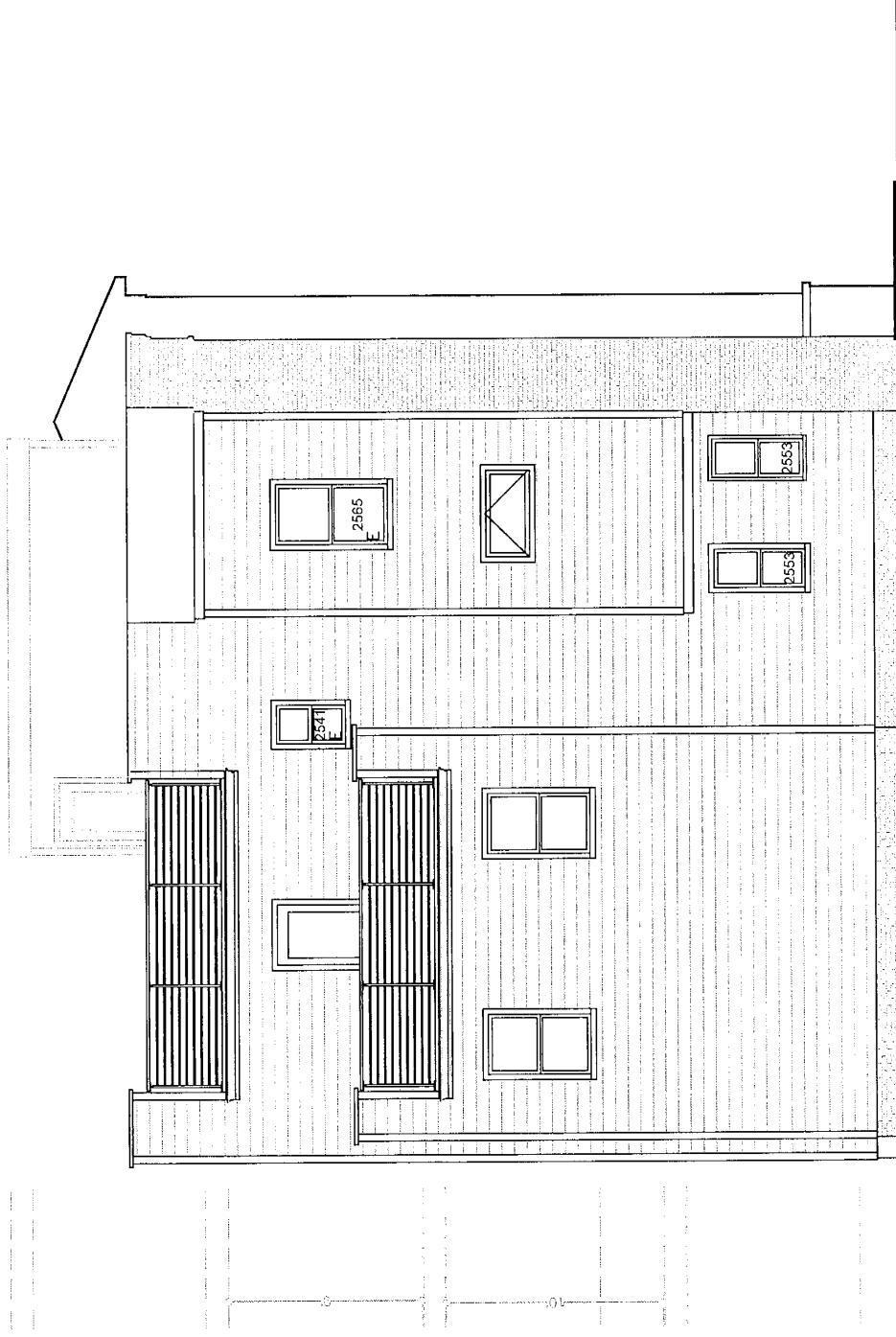
ELEVATION (MARLOWE AVENUE)



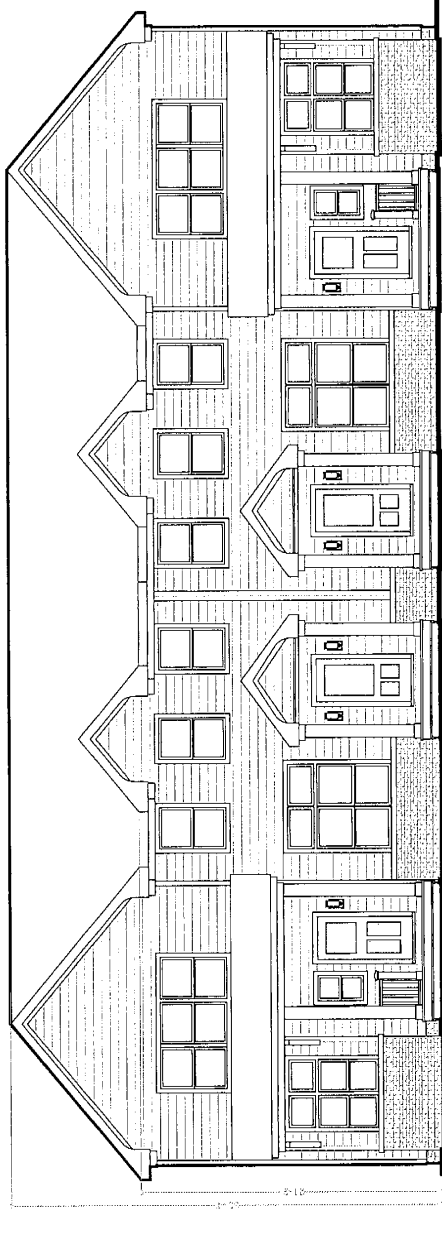
PRIMARY ELEVATION (MADISON AVENUE) SOUTH-EAST CORNER of MADISON AND MARLOWE, LAKEWOOD, OHIO 44107



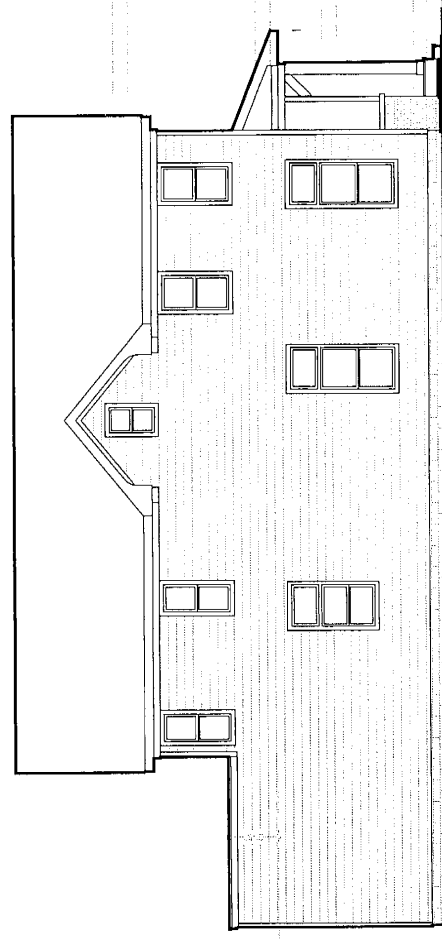
ELEVATION (MARLOWE AVENUE) SOUTH-EAST CORNER of MADISON AND MARLOWE, LAKEWOOD, OHIO 44107



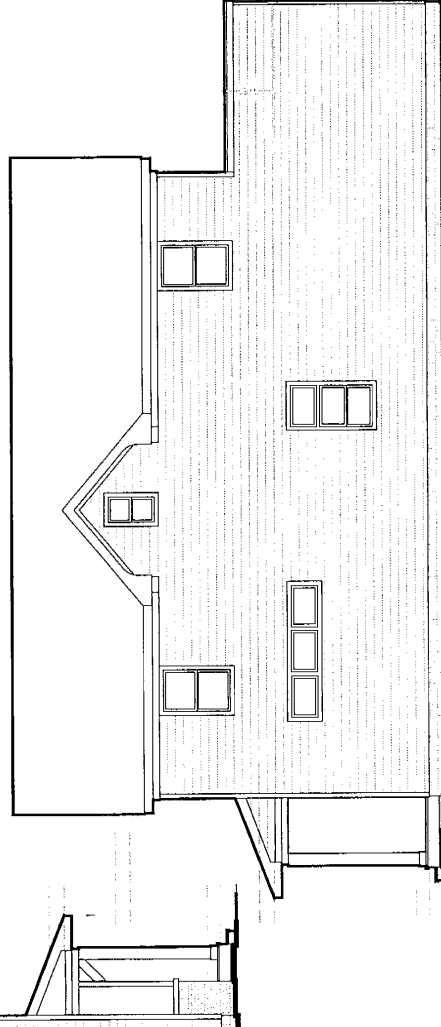
EAST SIDEYARD ELEVATION SOUTHEAST CORNER of MADISON AND MARLOWE, LAKEWOOD, OHIO 44107



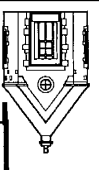
MARLOWE AVENUE ELEVATION
 BUILDING ONE and THREE WEST ELEVATION
 1/4" EQUALS 1'-0"



SIDEYARD TYPICAL ELEVATION
 BUILDING 1 and 3 NORTH and SOUTH ELEVATIONS
 1/4" EQUALS 1'-0"

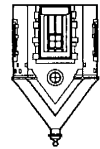


SIDEYARD TYPICAL ELEVATION
 BUILDING TWO NORTH and SOUTH ELEVATIONS
 1/4" EQUALS 1'-0"



MARK REINHOLD architect 1120 Forest Road, Lakewood, Ohio 44107 (216).908.7097
 TOWN HOME DEVELOPMENT
 MARLOWE HOMES ON MARLOWE AVENUE, LAKEWOOD, OH

STATE OF OHIO
 ARCHITECTS BOARD
 1944
 MARK REINHOLD
 ARCHITECT
 EXP. 03-12-2020
 03-12-2020
 ARCHITECTURAL
 MARLOWE ELEVATIONS



TOWN HOME DEVELOPMENT

TOWN HOMES ON MARLOWE AVENUE, LAKEWOOD, OH.

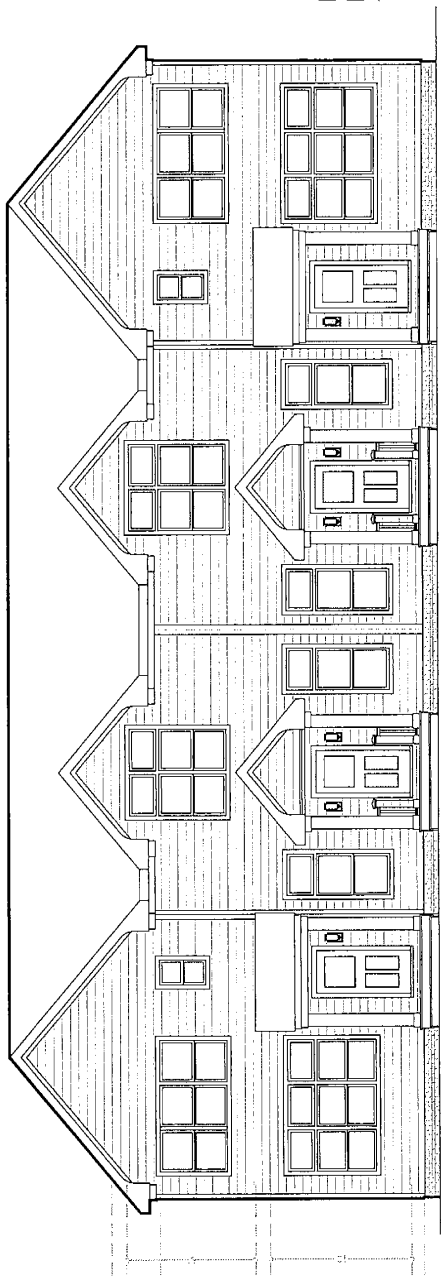
MARK REINHOLD architect 1120 Forest Road, Lakewood, Ohio 44107 (216) 906.7097

DATE: 03-04-2020
DRAWN: JAMES
CHECKED: JAMES

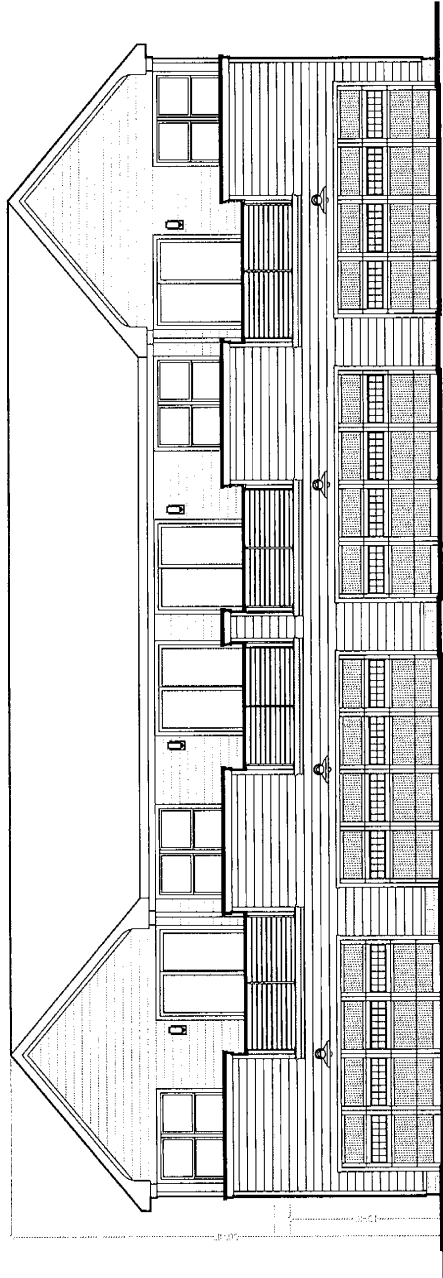


MARLOWE ELEVATIONS

MARLOWE AVENUE ELEVATION
BUILDING TWO WEST ELEVATION
1/4" EQUALS 1'-0"



MARLOWE AVENUE ELEVATION
BUILDING TYPICAL REAR (EAST) ELEVATION
1/4" EQUALS 1'-0"



Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000043

DOCKET No. 05-40-20

FEE PAID check

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Malley's Chocolates

Project Address 14822 Madison Avenue

Applicant Name Dave Robar, AIA

Applicant Address 3142 Prospect Avenue Cleveland, OH 44115

(if different than above)

Applicant Contact (216) 346 - 0430

dave.robar @ vocon.com

Brief Project Description Alteration to existing structure, to add walk-up ice cream serving windows(s) and potential outdoor seating area.

Signature: Dave L. Robar

Date: 4/29/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Mike Malley

Property Address 14822 Madison Avenue Lakewood OH 44107

Owner / Agent Contact (216) 346 - 0430

dave.robar @ vocon.com

Owner / Agent Signature Dave L. Robar

Date: 4/29/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000031
DOCKET No. 05-41-20
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Nelson Court

Project Address 11714 Nelson Court

Applicant Name Richard Carr

Applicant Address 7812 Madison Avenue, Cleveland, Ohio 44102
(if different than above)

Applicant Contact (216) 961 - 9690

rcarr @ edeninc.org

Brief Project Description Gut rehab of 2 existing buildings. Reconfigure 7 existing 1-bedroom units and provide 1 new ADA unit. Add 1 new 2-bedroom unit on the third floor of each building.

Signature: Richard Carr
Digitally signed by Richard Carr
Date: 2020.04.28 10:06:59
-04'00'

Date: April 28, 2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Richard Carr - Emerald Development and Economic Network, Inc.

Property Address 7812 Madison Avenue, Cleveland, Ohio 44102

Owner / Agent Contact (216) 961 - 9690

rcarr @ edeninc.org

Owner / Agent Signature Richard Carr
Digitally signed by Richard Carr
Date: 2020.04.28 10:07:29
-04'00'

Date: April 28, 2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

APPLICATION
ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Review Process

Applications may be submitted in either the Planning Department or Building Department. Both are located on the lower level of Lakewood City Hall at 12650 Detroit Avenue. Please submit your application as soon as it is complete. This will allow staff to review your application for completeness and gather any additional information needed prior to the deadline. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings are held on the first Thursday of the month at 4:00PM in the East Conference Room at City Hall. The Pre-Review is an *optional* work session meeting where the Board can request further explanation or details from the applicant. The Board Secretary will contact you if your attendance at the Pre-Review is requested.

Public Meetings are held on the second Thursday of the month at 5:30PM in the City Hall Auditorium. A representative of the project **MUST ATTEND** the meeting in order for the Board to vote on the item. If the applicant is unable to attend, please contact ABR@LakewoodOH.net to designate a representative who can speak for the project.

2020 Review Schedule

Review Month	Application Deadline Final Wednesday – Noon *Unless 1 st is a Thursday	Pre-Review Meeting First Thursday – 4PM East Conference Room	Public Meeting Second Thursday – 5:30PM Auditorium
January	12/24/2019	1/2	1/9
February	1/29	2/6	2/13
March	2/26	3/5	3/12
April	3/25	4/2	4/9
May	4/29	5/7	5/14
June	5/27	6/4	6/11
July	6/24	7/2	7/9
August	7/29	8/6	8/13
September	8/26	9/3	9/10
October	9/23	10/1	10/8
November	10/28	11/5	11/12
December	11/25	12/3	12/10

SUBMISSION REQUIREMENTS:

Application materials should be submitted digitally to ABR@LakewoodOH.net or to the Board Secretary. **One paper copy must be submitted at the Public Meeting for records retention.**

All Projects must submit:

- This application document, completed and signed by the applicant.
- A brief written description of the request for the public agenda.
- A letter of authorization from the property owner (if the applicant is not the property owner)
- Specifications of all materials. Physical samples may be requested for unfamiliar materials.
- Review fee.

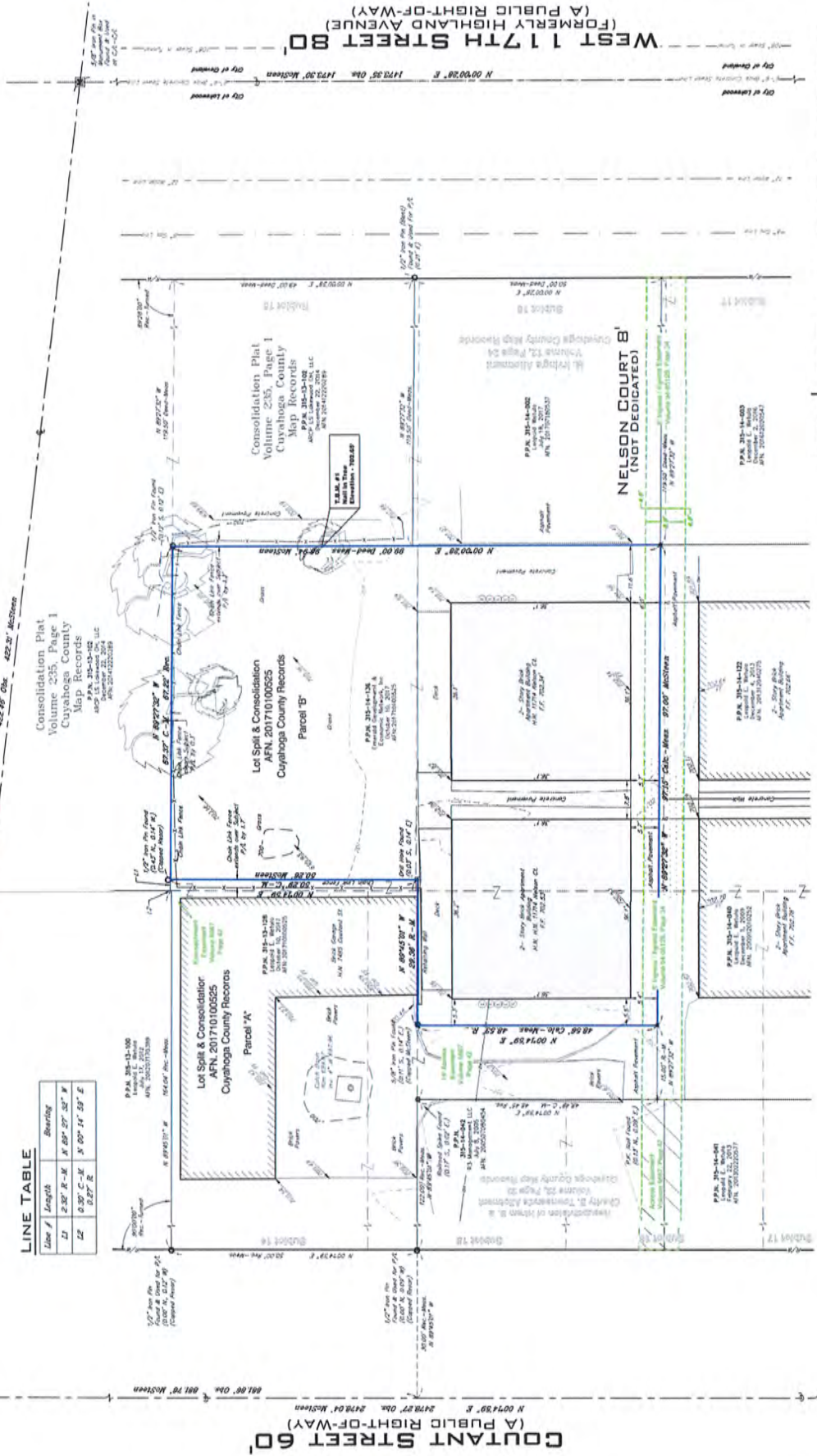
Additional Requirements by Project Type:

- For ABR:**
- A scaled site plan detailing elements of the proposal and showing adjacent properties and uses
 - Scaled elevations, sections, and perspective drawings of proposed buildings / improvements
 - Manufacturers cut sheets for discrete architectural elements (e.g. doors, railings, lighting, fencing)
- For Sign Review:** - Scaled drawings with dimensions of all signage indicated. Indicate color, material, and size in ft²
- For BBS:**
- A detailed description of the variance sought. Please cite Building Code requirements
 - A detailed description of the appeal sought. Please include documentation of original decision.

DETROIT AVENUE 66"
(A PUBLIC RIGHT-OF-WAY)

LINE TABLE

Line #	Length	Bearing
L1	8.307' R-W	N 89° 57' 50" W
L2	0.237' C-W	N 00° 14' 50" E
	0.237' R	



COUANT STREET 60"
(A PUBLIC RIGHT-OF-WAY)

WEST 117TH STREET 80"
(FORMERLY HIGHLAND AVENUE)
(A PUBLIC RIGHT-OF-WAY)

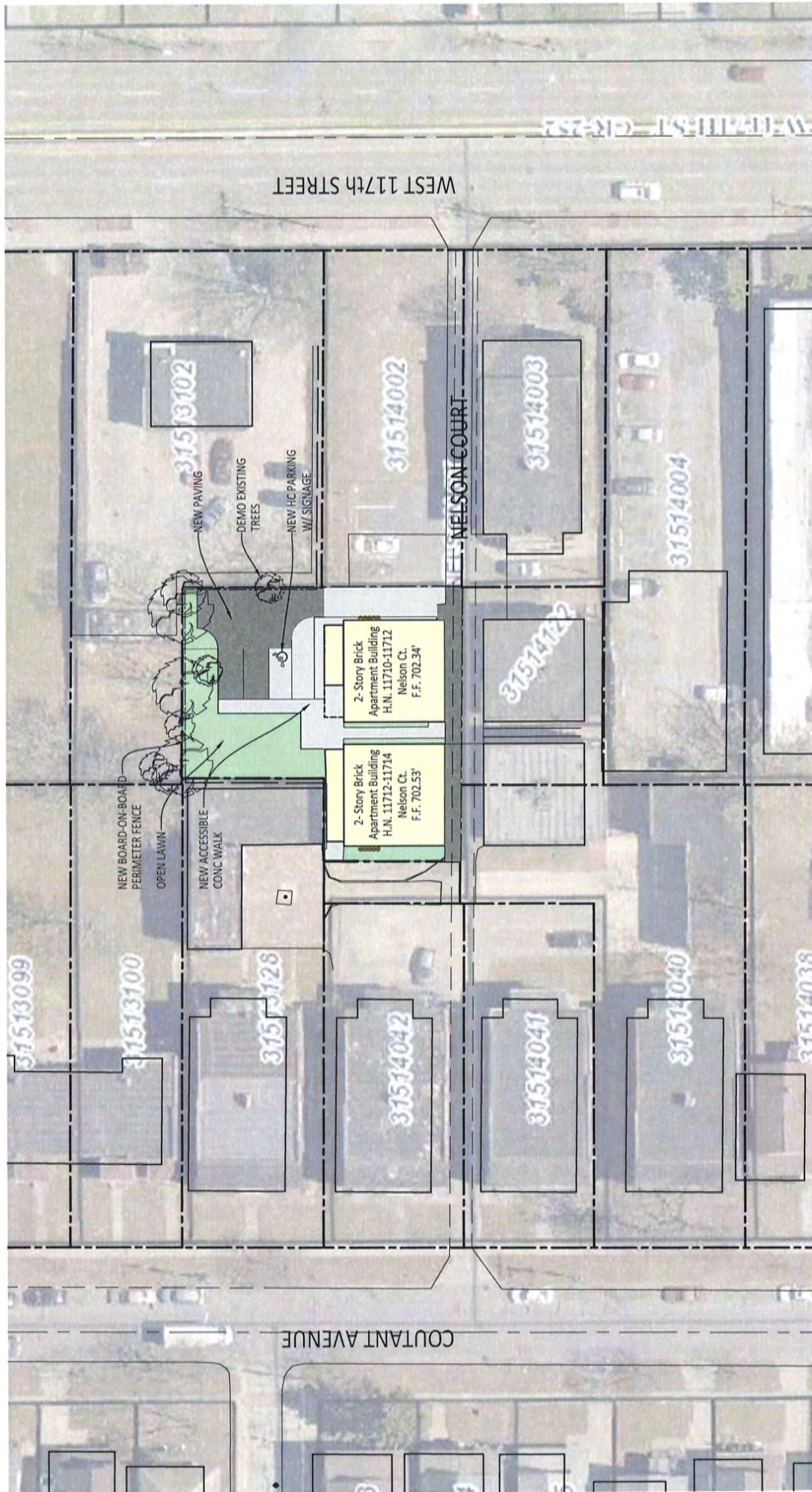
EXISTING SURVEY
1/16" = 1'-0"



AS 1

EDEN - NELSON COURT
11714 NELSON COURT, LAKEWOOD, OHIO 44107

Emerald Development & Economic Network, Inc.
Hiti, DiFrancesco and Siebold, Inc.
April 27, 2020



AS EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

2

Emerald Development & Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
April 27, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.

SITE PLAN

1/32" = 1'-0"





VIEW FROM WEST 117TH

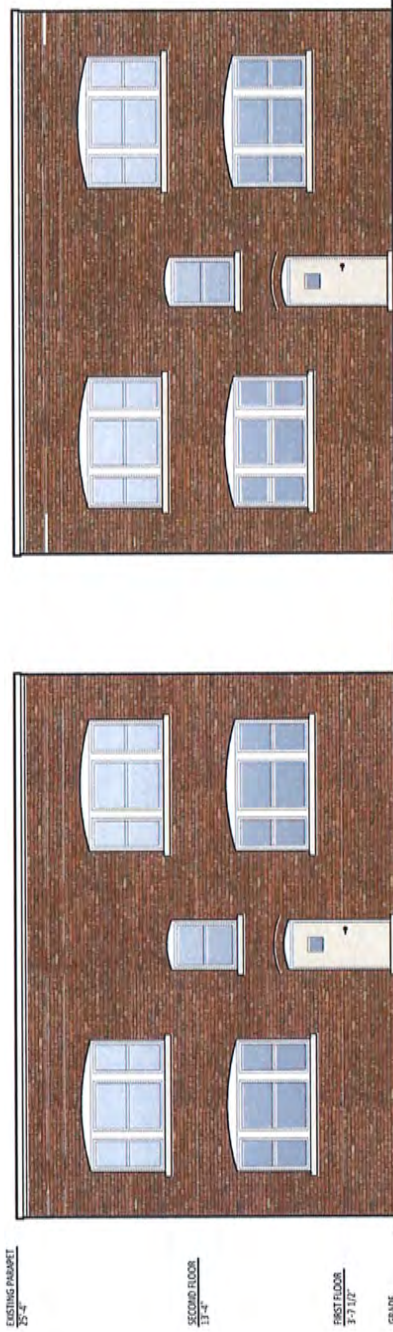
A EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

1

Emerald Development & Hiti, DiFrancesco and Siebold, Inc.
Economic Network, Inc. April 27, 2020

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EXISTING SOUTH ELEVATIONS

1/8" = 1'-0"

EXISTING PARAPET
25'-4"

NEW INSUR. ROOF
35'-0"

NEW LOW. ROOF
33'-4"

EXISTING PARAPET
25'-4"

NEW THIRD FLOOR
33'-2"

SECOND FLOOR
33'-4"

FIRST FLOOR
37'-0"

GRADE
0'-0"

SOUTH ELEVATIONS

1/8" = 1'-0"

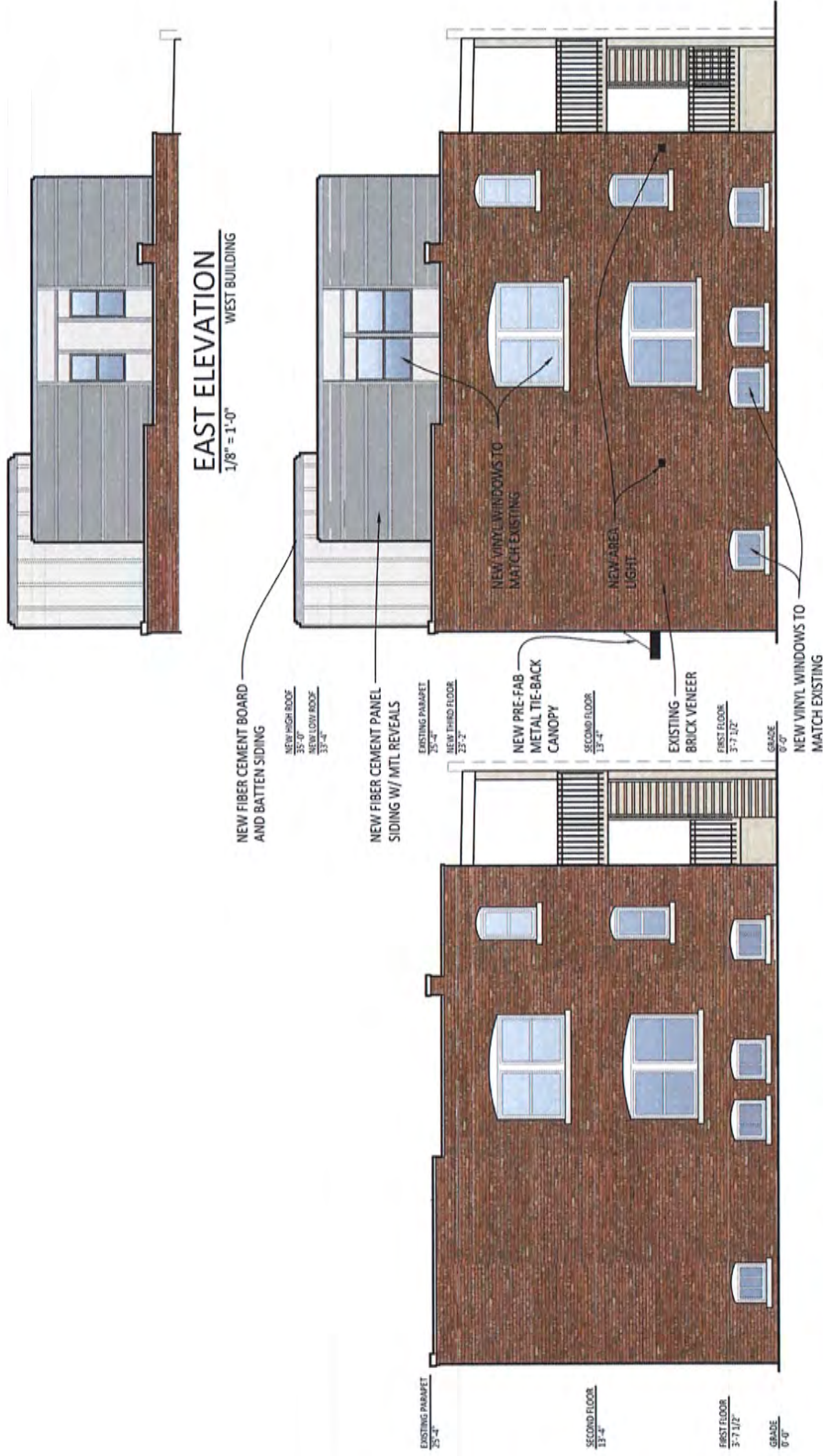
A 2

EDEN - NELSON COURT
11714 NELSON COURT, LAKEWOOD, OHIO 44107

Emerald Development & Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
April 27, 2020

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EAST ELEVATION
1/8" = 1'-0" WEST BUILDING

EAST ELEVATION
1/8" = 1'-0" EAST BUILDING

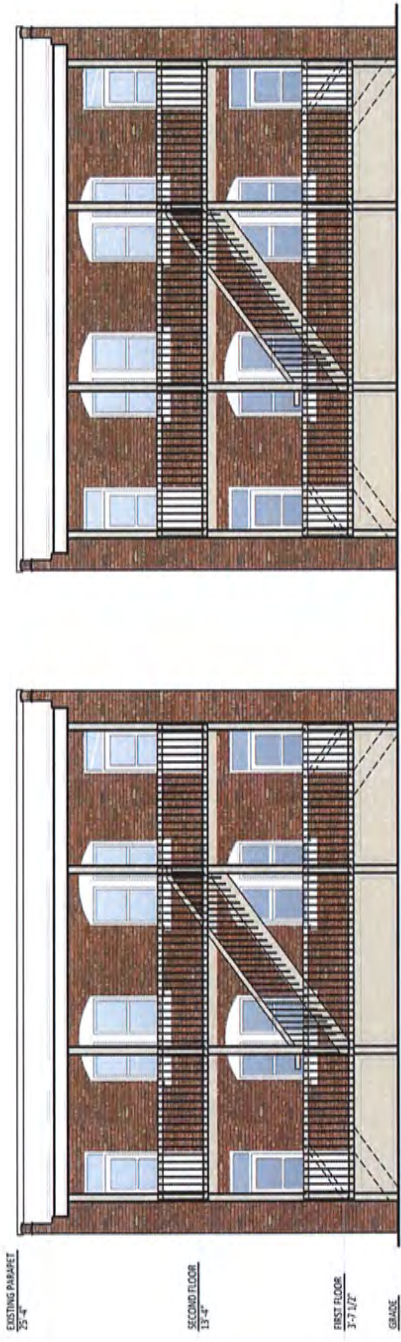
EXISTING EAST ELEVATION
1/8" = 1'-0"

A | **3** | **EDEN - NELSON COURT**

11714 NELSON COURT, LAKEWOOD, OHIO 44107

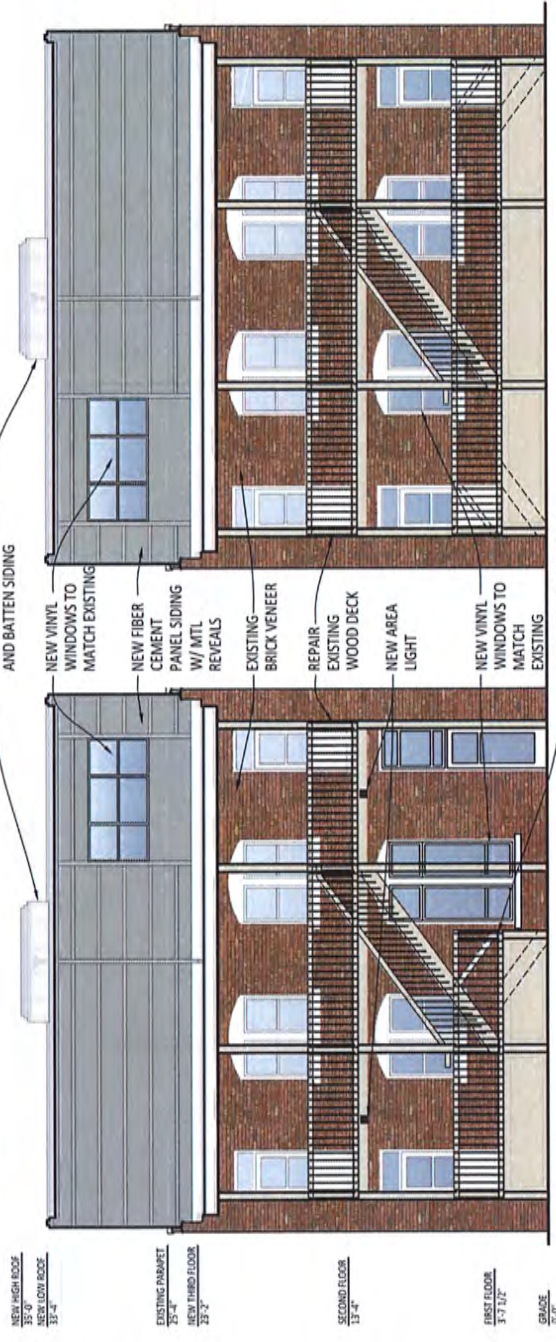
Emerald Development & Economic Network, Inc. | Hiti, DiFrancesco and Siebold, Inc.
April 27, 2020

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EXISTING NORTH ELEVATIONS

1/8" = 1'-0"



NORTH ELEVATIONS

1/8" = 1'-0"

- NEW FIBER CEMENT BOARD AND BATTEN SIDING
- NEW VINYL WINDOWS TO MATCH EXISTING
- NEW FIBER CEMENT PANEL SIDING W/ MTL REVEALS
- EXISTING BRICK VENEER
- REPAIR EXISTING WOOD DECK
- NEW AREA LIGHT
- NEW VINYL WINDOWS TO MATCH EXISTING
- RECONFIGURE REAR DECK AND STAIR TO GRADE

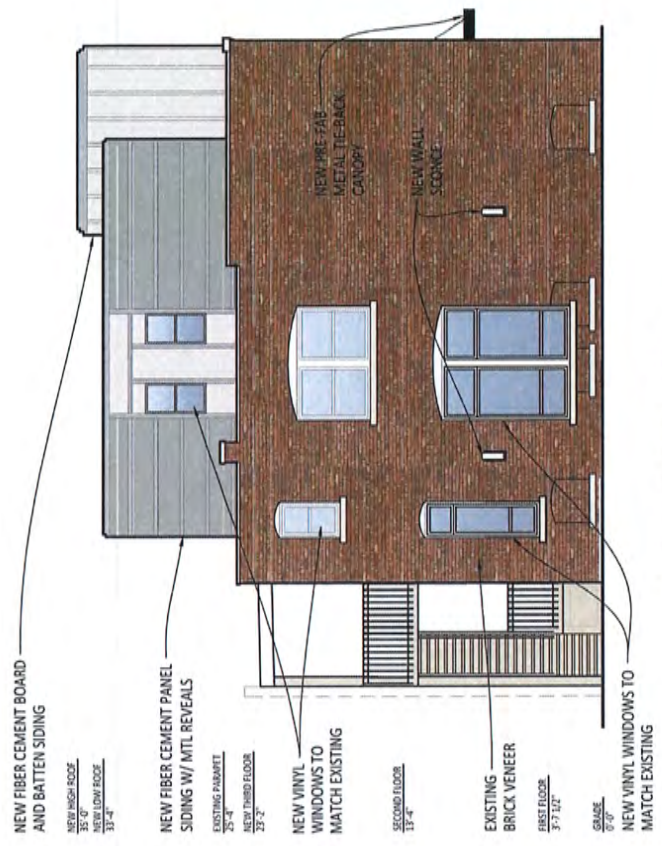
A 4

EDEN - NELSON COURT
 11714 NELSON COURT, LAKEWOOD, OHIO 44107

Emerald Development & Economic Network, Inc.
 Hiti, DiFrancesco and Siebold, Inc.
 April 27, 2020



EXISTING WEST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"
EAST BUILDING

A | **5** | **EDEN - NELSON COURT**
11714 NELSON COURT, LAKEWOOD, OHIO 44107

Hiti, DiFrancesco and Siebold, Inc.
Emerald Development & Economic Network, Inc.
April 27, 2020
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HardiePlank® Lap Siding

● HardiePanel® Vertical Siding

HardieShingle® Siding

HardiePanel™

HardiePanel™ vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.



True to the tradition of
PERFORMANCE AND BEAUTY.



ABOUT JAMES HARDIE

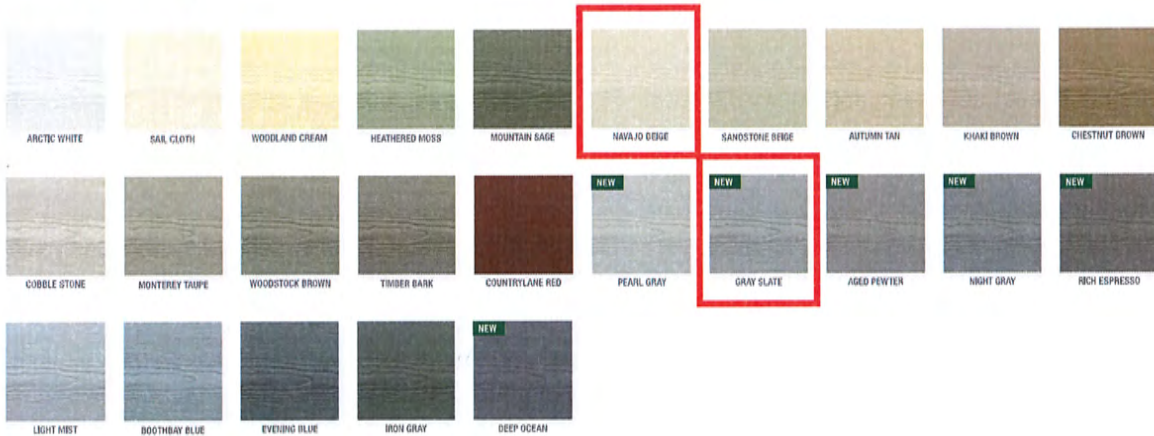
PRODUCTS

COLOR

● Plank, Panel, Batten and Shingle Colors

Trim and Soffit Colors

Color Selection



Color may vary due to different monitor settings. Please see actual product sample for true color.

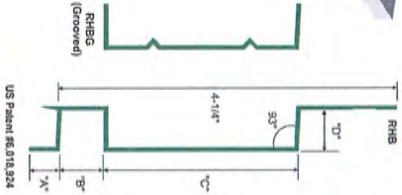
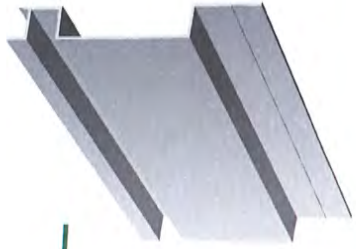


ABOUT JAMES HARDIE

PRODUCTS

COLOR

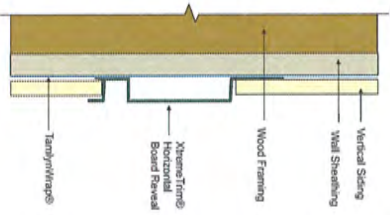
Horizontal Board Reveal



ITEM ID	"A"	"B"	"C"	"D"	SIDING SIZE
RHB516	3/8"	1/2"	2-1/4"	1.532"	5/16"
RHB516	3/8"	1/2"	2-1/4"	1.532"	5/16"

All parts are 10' length unless otherwise indicated

US Patent #6,018,824



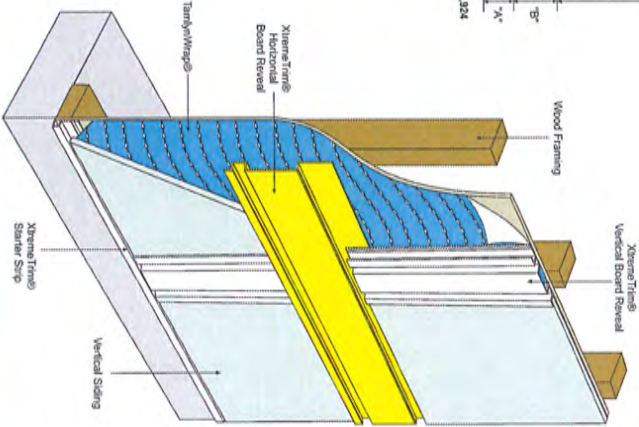
DESIGN FEATURES
Design creates a broad horizontal accent within the plane of the wall without protruding beyond. Patented retention leg on back prevents flexing with expansion.

MATERIAL
6063-T5 .050" ± .005 extruded aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion.

FINISH
Unless specified all XtremeTrim® items are provided in primed finish. Also available in popular siding colors in standard face only color match or full coverage CoastalColorCoating™. Clear Anodized is stocked and custom anodized is available (minimums apply).

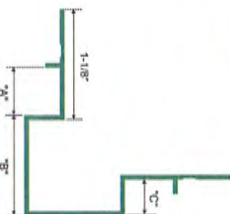
NOTE
Do not install XtremeTrim® Horizontal Reveal on horizontal applications where the exterior flange can catch water.

Illustration not to scale



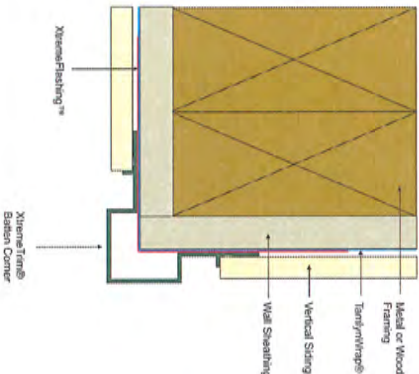
SPECIAL ORDER ITEM
Minimum order quantities apply

Batten Outside Corner



ITEM ID	"A"	"B"	"C"	SIDING SIZE
XCCN	1/2"	1"	3/8"	5/16"

All parts are 10' length unless otherwise indicated

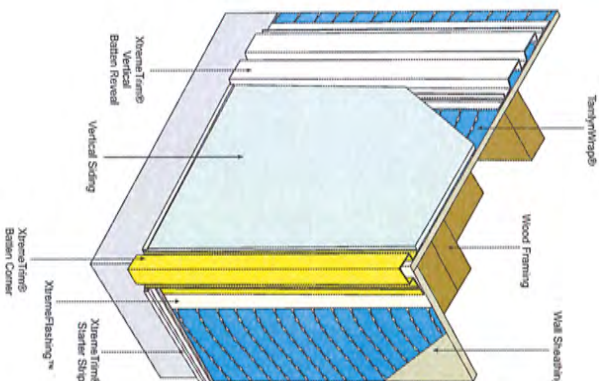


DESIGN FEATURES
Batten Corner offers a bold, unique corner for vertical siding panels. Spacer tab creates reveal shadow line at corner.

MATERIAL
6063-T5 .050" ± .005 extruded aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion.

FINISH
Unless specified all XtremeTrim® items are provided in primed finish. Also available in popular siding colors in standard face only color match or full coverage CoastalColorCoating™. Clear Anodized is stocked and custom anodized is available (minimums apply).

Illustration not to scale



SPECIAL ORDER ITEM
Minimum order quantities apply

Pella® 250 Series VINYL



Exceptional vinyl performance and style

Double-hung



- PELLA'S FADE-RESISTANT VINYL FORMULA**
Pella 250 Series is made of high-grade vinyl that resists yellowing and never needs painting. The solid color throughout the vinyl keeps minor dings and scratches virtually invisible. Solid-color frames are available in White, Almond and Fossil.
- STRONGER FRAMES THAN ORDINARY VINYL**
Pella's production welding process creates more durable products that resist warping or twisting over time. Pella 250 Series window frames are 52% stronger than ordinary vinyl.¹
- EXCLUSIVE WEATHER PROTECTION SYSTEM**
Protect your home with our exclusive weather-repel system on single- and double-hung windows. It has three points of protection to channel water away from the home – including triple weatherstripping.
- ENERGY STAR® MOST EFFICIENT 2019 WINDOW***
Upgraded triple-pane glass windows are on average 62% more energy efficient than single-pane windows.² Pella 250 Series offers products that have been awarded the ENERGY STAR Most Efficient Mark in 2019.²
- DURABLE EXTERIOR FINISHES**
Dual-color frame options offer white interiors with a choice of nine DurColor™ exterior finishes that exceed industry requirements for fade resistance.³
- STYLE AND INSTALLATION FLEXIBILITY**
Whether your project calls for a modern or traditional look, Pella 250 Series windows provide style flexibility to meet your project's needs. Multiple frame sizes available.
- FREE-FORM MULLING CAPABILITIES**
Create a large or unique combination for your project by mulling standard and custom-sized windows together. Combinations are factory-milled and arrive ready for installation.⁵
- OPTIONAL PERFORMANCE ENHANCEMENTS**
Increase energy performance and structural strength with optional performance enhancements such as foam insulation and steel reinforcement.
- ADDITIONAL FEATURES AND OPTIONS**
We have the features and options that fit most any project. Choose from five frame types, dual- and triple-pane glazing, four grille options and a full lineup of window & patio door styles.
- LIMITED LIFETIME WARRANTY**
Pella products are backed by some of the strongest warranties in the business. See written limited warranty for details, including exceptions and limitations, at installpella.com/warranties.
- TESTING BEYOND REQUIREMENTS**
At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.



Special design also available.

*See back cover for details.

PRODUCT SPECIFICATIONS

WINDOW & PATIO DOOR STYLES	MIN. WIDTH	MIN. HEIGHT	MAX. WIDTH	MAX. HEIGHT	PERFORMANCE CLASS & GRADE	PERFORMANCE VALUES		FRAME / INSTALL
						U-FACTOR	SHGC	
AWNING DUAL-PANE VENT	16"	14 1/2"	59 3/4"	43 3/4"	LC35-LC50	0.26-0.30	0.17-0.43	30
AWNING TRIPLE-PANE VENT	16"	14 1/2"	59 3/4"	43 3/4"	LC35-LC50	0.20-0.25	0.19-0.37	34
CASEMENT DUAL-PANE VENT	14 1/2"	17 1/2"	35 3/4"	71 3/4"	LC35-LC50	0.26-0.30	0.17-0.43	30-33
CASEMENT TRIPLE-PANE VENT	14 1/2"	17 1/2"	35 3/4"	71 3/4"	LC35-LC50	0.20-0.25	0.19-0.37	34
SLIDING WINDOW DUAL-PANE VENT	21 1/2"	11 1/2"	96"	72" Max. Height 62" Min. Height	R25-R50	0.27-0.32	0.20-0.51	25
SLIDING WINDOW TRIPLE-PANE VENT	21 1/2"	11 1/2"	96"	72" Max. Height 62" Min. Height	R25-R50	0.20-0.26	0.22-0.44	28
DOUBLE-HUNG DUAL-PANE VENT	14 1/2"	23 1/2"	53 3/4"	78"	R20-R50	0.27-0.33	0.19-0.49	26
DOUBLE-HUNG TRIPLE-PANE VENT	14 1/2"	23 1/2"	53 3/4"	78"	R20-R50	0.21-0.27	0.21-0.42	28
SINGLE-HUNG DUAL-PANE VENT	14 1/2"	23 1/2"	53 3/4"	77 1/2"	R25-R50	0.27-0.33	0.20-0.51	25
SINGLE-HUNG TRIPLE-PANE VENT	14 1/2"	23 1/2"	53 3/4"	77 1/2"	R25-R50	0.21-0.26	0.22-0.44	28
FIXED FRAME RECTANGLE DUAL-PANE	11 1/2"	11 1/2"	108" Min. Height	108" Min. Height	CW30-CW50	0.26-0.31	0.21-0.58	26
FIXED FRAME RECTANGLE TRIPLE-PANE	11 1/2"	11 1/2"	108" Min. Height	108" Min. Height	CW30-CW50	0.19-0.24	0.24-0.47	27
SLIDING PATIO DOOR DUAL-PANE, OX or XO	46 1/2"	70 1/2"	95 3/4"	95 3/4"	R25-R50	0.27-0.40	0.19-0.49	26
SLIDING PATIO DOOR TRIPLE-PANE, OX or XO	46 1/2"	70 1/2"	95 3/4"	95 1/2"	R25-R50	0.22-0.30	0.21-0.42	27

WINDOW SIZES AVAILABLE IN 1/8" INCREMENTS
*See back cover for details.

*See back cover for details.

WINDOW HARDWARE

CASEMENT & AWNING Folds neatly out of the way so it won't interfere with room-side window treatments. Finishes match interior frame colors.



FOLD-AWAY CRANK



SLIDING, SINGLE & DOUBLE-HUNG Pella's cam-action locks pull the sashes against the weatherstripping for a tighter seal. Optional Autolock hardware automatically locks the window when it is shut, simply close the sash and confirm it latches.



CAM-ACTION LOCK



AUTOLOCK



INTEGRATED SASH LIFT Make raising and lowering single- and double-hung window sashes easy with a standard, integrated sash lift.



WINDOW INTEGRATED SASH LIFT



WINDOW LIMITED OPENING DEVICES A vent stop can be engaged or disengaged manually and restricts how far the bottom sash of a single- or double-hung window can open. A window opening control device (WOCD) complies with a safety standard and allows for ventilation, emergency escape and rescue when released. A WOCD automatically limits the sash opening to less than four inches, unless it is intentionally disengaged, enabling the sash to fully open.



VENT STOP



OPENING CONTROL DEVICE



SLIDING PATIO DOOR Match the door's exterior color with a color-matched corrosion-resistant handle, or upgrade the interior finish to add a touch of style.



SLIDING PATIO DOOR HANDLE Locking System



COLORS

FRAME COLORS

Create a signature look with solid-color and dual-color frames. Dual-color frames allow you to choose a different color for the exterior with a White interior.



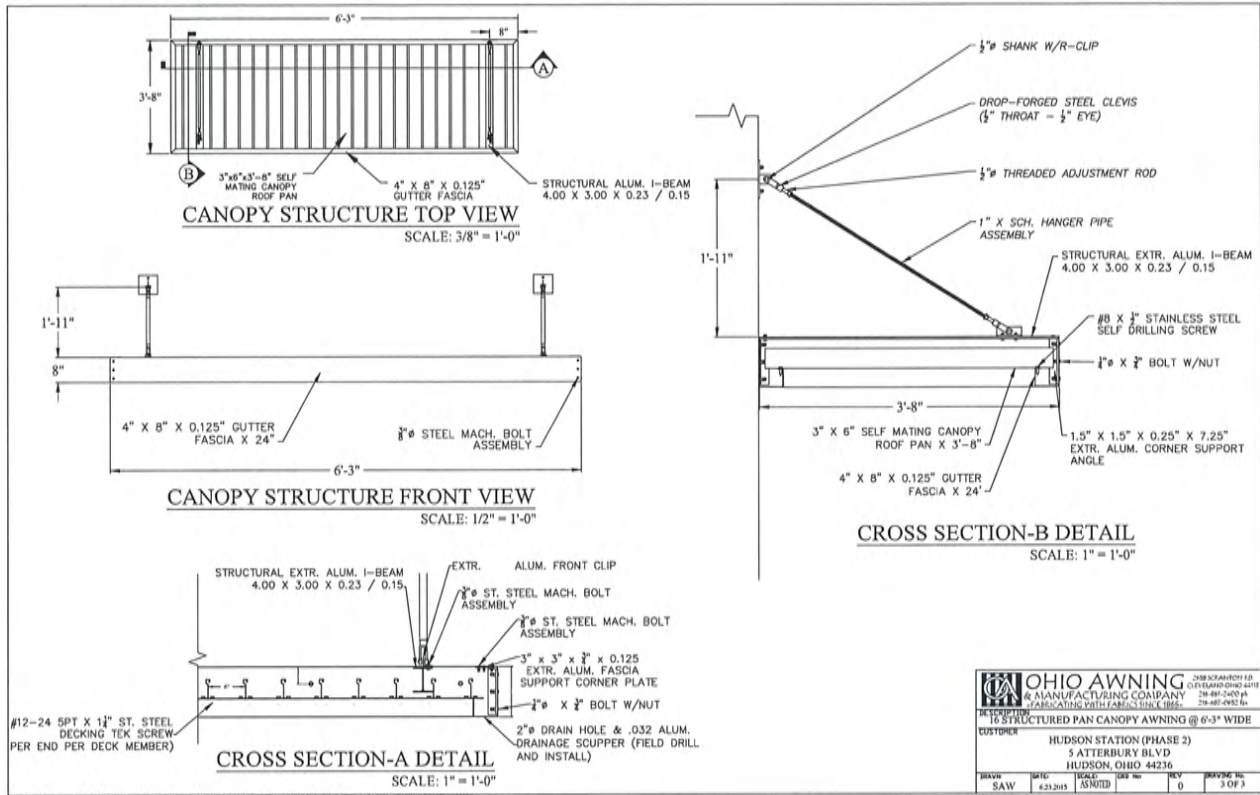
GRILLES

GRILLES

Grilles are color-matched to your window or patio door interior and exterior frame color.



¹ Based on the frame required to build a window frame profile.
² Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energyguide.gov.
³ Window energy efficiency calculated for a computer simulation using RESNET 5.6 default parameters for a 2005 IG. See existing grille data below when comparing a Pella 200 Series window to a competitor's window. Your actual energy use may vary. This is not a performance guarantee. For more information, please refer to the EnergyGuide label on the window or contact your local Pella sales representative for more information. For more details, see pella.com/technicaldocs.
⁴ FINISHES: POLISHED BRASS, OIL RUBBED BRONZE, SATIN NICKEL.
⁵ Not available in the same region.
⁶ Only available in the same region.
⁷ Appearance of exterior grille color may vary depending on the Low-E insulating glass unit used.
⁸ Not available with triple-pane glass.



OHIO AWNING		2080 KAYWOOD RD CLEVELAND OHIO 44115 216-881-4400 FAX 216-881-4401 FAX	
A MANUFACTURING COMPANY FABRICATING WITH FABRICS SINCE 1966		15 STRUCTURED PAN CANOPY AWNING @ 6'-3" WIDE	
CUSTOMER HUDSON STATION (PHASE 2) 5 ATTERBURY BLVD HUDSON, OHIO 44236			
BRAND SAW	DATE 4/23/2015	SCALE AS SHOWN	REV 0 DRAWING NO. 3 OF 3



DAHILIA COLLECTION
Dahlia 19" LED Wall Light Architectural Black
 49557BKLED (Black)

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____

Certifications/Qualifications

Location Rating: _____
 Wet: _____
www.kichler.com/America/USA

Dimensions

Base Backplate: 8.00 X 11.75"
 Extension: 4.00"
 Weight: 9.45 LBS
 Height from center of wall opening (Spec Sheet): 10.00"
 Height: 18.25"
 Width: 8.00"

Electrical

Supply Wire (Degrees): 75

Photometrics

Color Rendering Index: 90
 Delivered Efficacy (Lumens/Watt): 15
 Delivered Lumens: 625
 Kelvin Temperature: 3000K

Primary Lamping

Dimmable: Yes
 Expected Life Span: 40000
 Lamp Included: Integrated
 Light Source: LED
 Max. or Nominal Watt: 45.2W
 # of Bulb/LED Modules: 2

Product/Ordering Information

SKU: 49557BKLED
 Finish: Black
 Style: Contemporary
 UPC: 783928E-71

Specifications

Diffuser Description: White Glass
 Material: ALUMINUM

Additional Finishes

- Architectural Bronze
- Black

Kichler
 1711 East Pleasant Valley Road Cleveland Ohio 44139-6010
 Toll free: 800.525.5762 or kichler.com

Notes:
 *Information provided is subject to change without notice.
 All values are design or typical values when measured under
 211 conditions at 25 degrees Kelvin. The manufacturer equivalent is
 presented as an approximate number and is for reference
 only.



C-SERIES COLLECTION
C-Series 3000K 1950Lm Wall Mounted Area Light
Textured Architectural Bronze
 16234AZT30 (Textured Architectural Bronze)

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____

Certifications/Qualifications

Commercial Grade: Yes
www.kichler.com/America/USA

Dimensions

Extension: 14.00"
 Weight: 1.31 LBS
 Height: 5.97"
 Width: 6.25"

Mounting/Installation

Interior/Exterior: Exterior
 Mounting Style: 8" - 10"

Photometrics

Color Rendering Index: 70
 Delivered Lumens: 1950
 Kelvin Temperature: 3000K

Primary Lamping

Expected Life Span: 60000
 Lamp Included: Integrated
 Light Source: LED
 Max. or Nominal Watt: 20W
 # of Bulb/LED Modules: 10
 Max. Wattage/Range: 20W

Product/Ordering Information

SKU: 16234AZT30
 Finish: Bronze
 Style: Other
 UPC: 783927E-6669

Specifications

Material: ALUMINUM

Additional Finishes

- Textured Architectural Bronze

Kichler
 1711 East Pleasant Valley Road Cleveland Ohio 44139-6010
 Toll free: 800.525.5762 or kichler.com

Notes:
 *Information provided is subject to change without notice.
 All values are design or typical values when measured under
 211 conditions at 25 degrees Kelvin. The manufacturer equivalent is
 presented as an approximate number and is for reference
 only.



Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000032
DOCKET No. 05-42-20
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name St. Edward H.S. Monument Sign Project Address 13500 Detroit Avenue, Lakewood, OH 44107

Applicant Name John Goers Applicant Address 13500 Detroit Avenue, Lakewood, OH 44107

Applicant Contact (440) 289 7149 (if different than above) jgoers @ sehs.net

Brief Project Description Replacement of main school sign on Detroit

Signature: [Signature] Date: 4/23/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

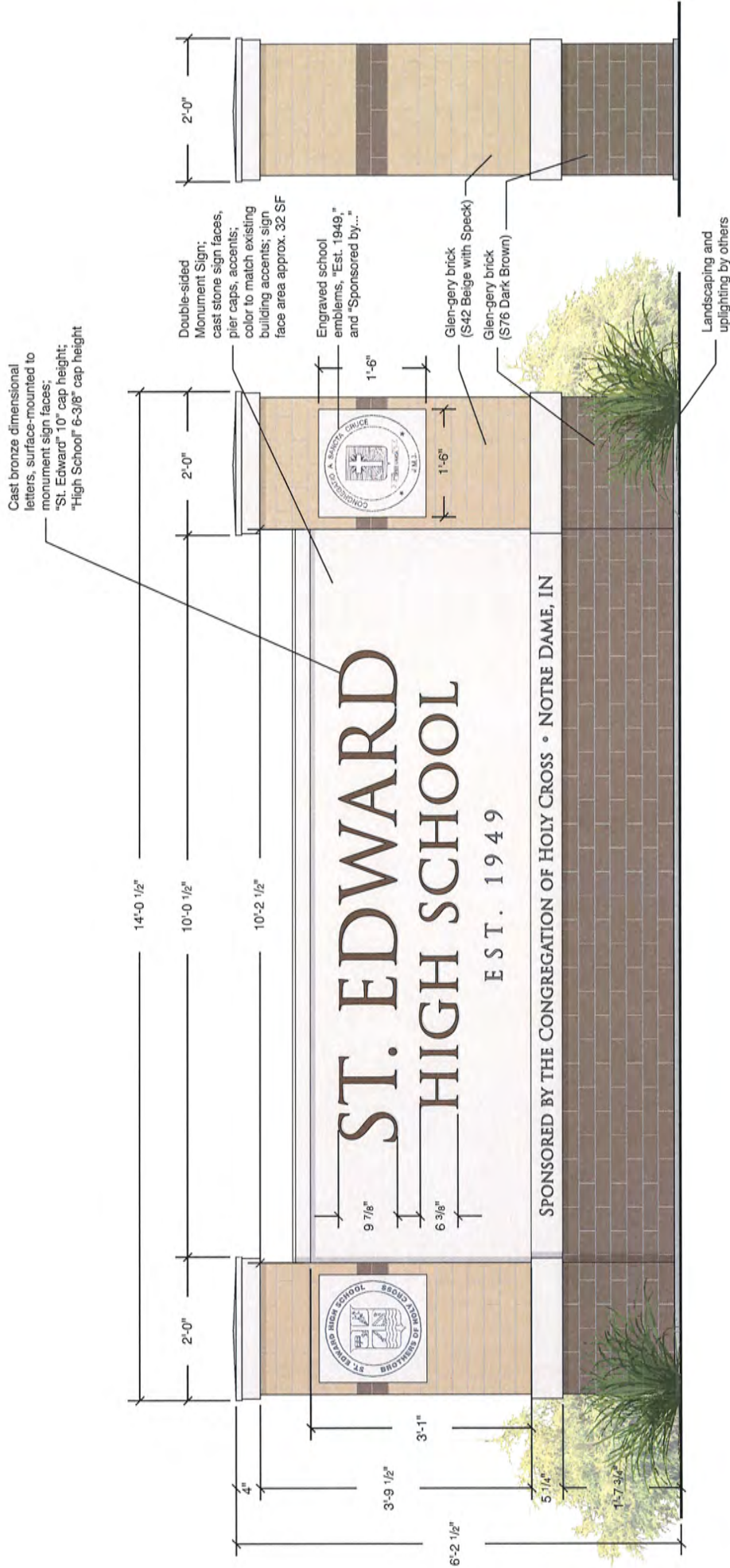
Owner Name John Goers Property Address 13500 Detroit Avenue

Owner / Agent Contact (440) 289 7149 jgoers @ sehs.net

Owner / Agent Signature [Signature] Date: 4/23/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

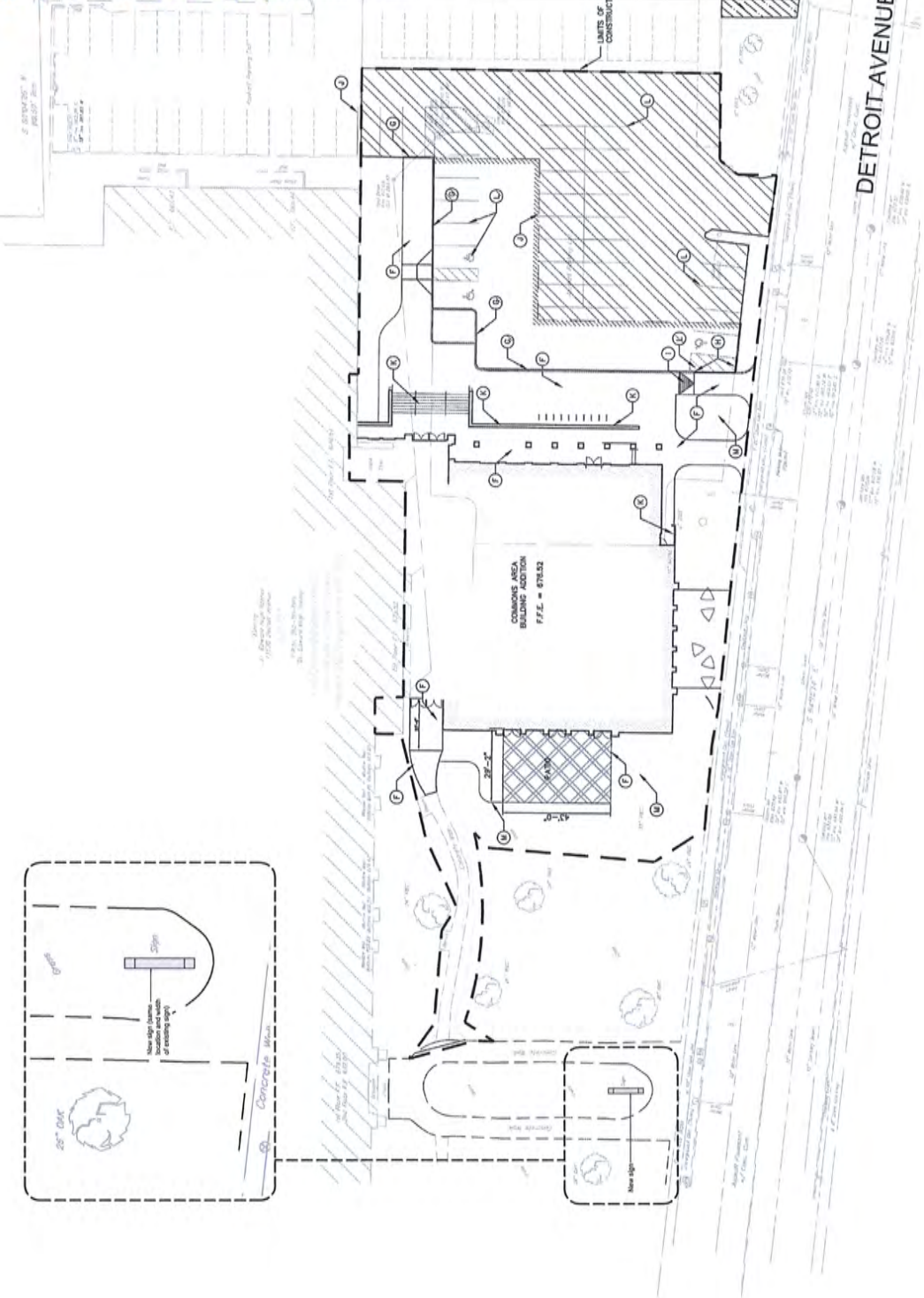


SCALE 3/4" = 1'-0"
 DATE 04/14/20

Campus Monument Sign
 Saint Edward High School



Existing Monument Sign



Campus Monument Sign
Saint Edward High School

SCALE 1" = 20'
DATE 04/14/20

M1 SITE

ID1: Building Identification

Palisin Porfisco Letters:
Cast Bronze; 14" cap height; 34'-5" overall width
Surface-mounted; non-illuminated

School Name Letters:
Cast Bronze surface-mounted letters;
"St. Edward" = 18" cap height;
"High School" = 12" cap height
12'-4" overall width

ST. EDWARD
HIGH SCHOOL

MARILYN AND DAVID PALISIN '64 COMMONS

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000033

DOCKET No. 05-43-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Master Pizza

Project Address 14701 Detroit

Applicant Name Wagner SignCo.

Applicant Address _____
(if different than above)

Applicant Contact (216) 469 - 9957

@ _____

Brief Project Description Apply vinyl graphics to 2 front windows and door glass

Signature: *Daniel Been*

Date: 4/28/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Master Pizza

Property Address 14701 Detroit

Owner / Agent Contact (216) 469 - 9957

dan @ wagnersign.com

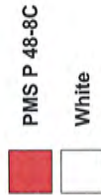
Owner / Agent Signature *Daniel Been*

Date: 4/28/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

SIGN #1
Window vinyl



White vinyl shown black for clarity
*update hours and phone number

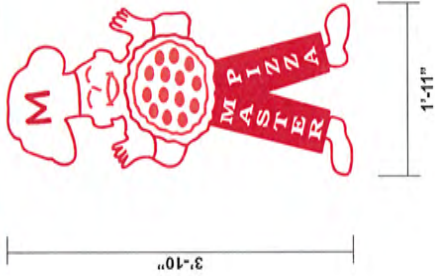
MASTER PIZZA
SINCE 1955

Carry Out • Delivery

Monday - Thursday 10am-10pm
Friday & Saturday 10am-10pm
Sunday 10am-9pm

216-243-5353
masterpizza.com

@masterpizza



Date 04.09.20

Scale	3/4" = 1' - 0"
Drawing #	1 of 2
Filename	MasterPizza.Lakewood02_040820
Sales	Dan
Drawn	JP
Work Order	MO-

This drawing has been reviewed and is:

APPROVED
 AS SUBMITTED
 APPROVED
 AS NOTED
 NOT APPROVED
 REVISE AND RESUBMIT

Representative Signature

Date

These drawings, specifications or plans are the property of The Wagner Electric Sign Company and are not to be reproduced or used for any other project without the original work performed by its employees. They are being submitted to you, or the organization that you directly represent for your review and approval. It is your responsibility to ensure that all necessary permits and approvals are obtained prior to the installation of any sign. The Wagner Electric Sign Company is not responsible for any delays or costs incurred by the client or other parties due to the use of such plans or designs to secure goods or materials from other sources will result in costs and fees due to The Wagner Electric Sign Company. The Wagner Electric Sign Company is not responsible for the acceptance of design services performed. This fee for a standard sign value of up to \$5,000.00 is included in the project price. Additional sign value over \$5,000.00 shall be a minimum of \$5,000.00 based on design time and materials. The Wagner Electric Sign Company is not responsible for the design and installation of any sign that all sign expenses to collect such.

NOTE:
This layout was prepared for printing on standard 11" x 17" stock. Reproducing this drawing on other sizes of paper will result in errors. Colors are for representation purposes and are not intended to match the final product color. Use PANTONE colors.

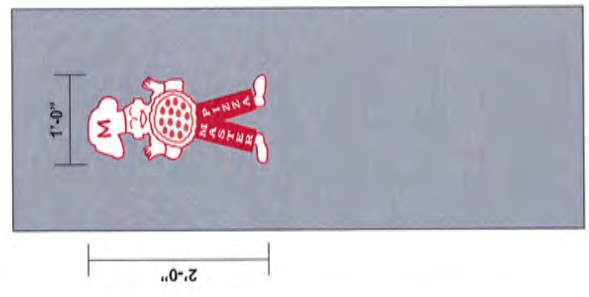


1/4" = 1' - 0"

Date **04.09.20**

SIGN #2
Door vinyl

- PMS P 48-8C
- White



SIGN #3
Under canopy vinyl



1/2" = 1' - 0"

This drawing has been reviewed and is:

- AS SUBMITTED
- APPROVED
- AS NOTED
- NOT APPROVED
- REVISE AND RESUBMIT

Representative Signature

Date

These drawings, specifications or plans are the property of The Wagner Electric Sign Company as a direct result of their design services. They are being submitted to you, or the organization that you directly represent for the sole purpose for you or your organization to use them for the purchase of goods or materials from other sources will result in costs and fees due to The Wagner Electric Sign Company. Such use will constitute acceptance of design services performed. The fee for a standard sign value of up to \$10,000 shall be \$1,000. The fee for a standard sign value over \$10,000 shall be a minimum of \$5,000 based on design time and other project specific charges. In addition to any and all other expenses to collect such.

NOTE:
This layout was prepared for printing on a standard 11x17 inch sheet. Reproduction of this drawing for other than the intended use is not permitted. Colors are for representation purposes and are not intended to match any particular color. See PMS® book for more information.

Account: 101-0000-321.30.01

REFERENCE No. 000034
~~BBS20-000021~~
DOCKET No. 05-44-20
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name NEW sign

Project Address 17917 Detroit

Applicant Name TABITHA Baker

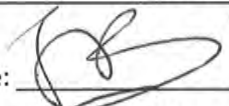
Applicant Address 1383 Edanota
(if different than above)

Applicant Contact (216) 262-3155

info @ Sacredhour.com

Brief Project Description NEW sign / extenor

removing existin SH sign

Signature: 

Date: 3/4/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name TABITHA Baker

Property Address above Detroit

Owner / Agent Contact (↑) 216-262-3155

@ Semco

Owner / Agent Signature 

Date: 3-4-20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Review Process

Applications may be submitted in either the Planning Department or Building Department. Both are located on the lower level of Lakewood City Hall at 12650 Detroit Avenue. Please submit your application as soon as it is complete. This will allow staff to review your application for completeness and gather any additional information needed prior to the deadline. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings are held on the first Thursday of the month at 4:00PM in the East Conference Room at City Hall. The Pre-Review is an *optional* work session meeting where the Board can request further explanation or details from the applicant. The Board Secretary will contact you if your attendance at the Pre-Review is requested.

Public Meetings are held on the second Thursday of the month at 5:30PM in the City Hall Auditorium. A representative of the project **MUST ATTEND** the meeting in order for the Board to vote on the item. If the applicant is unable to attend, please contact ABR@LakewoodOH.net to designate a representative who can speak for the project.

2020 Review Schedule

Review Month	Application Deadline Final Wednesday – Noon *Unless 1 st is a Thursday	Pre-Review Meeting First Thursday – 4PM East Conference Room	Public Meeting Second Thursday – 5:30PM Auditorium
January	12/24/2019	1/2	1/9
February	1/29	2/6	2/13
March	2/26	3/5	3/12
April	3/25	4/2	4/9
May	4/29	5/7	5/14
June	5/27	6/4	6/11
July	6/24	7/2	7/9
August	7/29	8/6	8/13
September	8/26	9/3	9/10
October	9/23	10/1	10/8
November	10/28	11/5	11/12
December	11/25	12/3	12/10

SUBMISSION REQUIREMENTS:

Application materials should be submitted digitally to ABR@LakewoodOH.net or to the Board Secretary. One paper copy must be submitted at the Public Meeting for records retention.

All Projects must submit:

- This application document, completed and signed by the applicant.
- A brief written description of the request for the public agenda.
- A letter of authorization from the property owner (if the applicant is not the property owner)
- Specifications of all materials. Physical samples may be requested for unfamiliar materials.
- Review fee.

Additional Requirements by Project Type:

For ABR:

- A scaled site plan detailing elements of the proposal and showing adjacent properties and uses
- Scaled elevations, sections, and perspective drawings of proposed buildings / improvements
- Manufacturers cut sheets for discrete architectural elements (e.g. doors, railings, lighting, fencing)

For Sign Review: - Scaled drawings with dimensions of all signage indicated. Indicate color, material, and size in ft²

For BBS:

- A detailed description of the variance sought. Please cite Building Code requirements
- A detailed description of the appeal sought. Please include documentation of original decision.

PKELIINIYAK Y UKAWI
SACRED HOUR - EXTERIOR GRADE PVC WITH APPLIED

SIDE VIEW

1" THICK, EXTERIOR GRADE PVC, PAINTED WITH ONE SHOT LETTERING ENAMEL BLACK.



BOTTOM SECTION PAINTED A MATTE BLACK WITH APPLIED HIGH PERFORMANCE VINYL, GREY IN COLOR.

TOP VIEW

1/4" THICK ALUMINUM MOUNTING PLATE, FASTENED WITH STAINLESS STEEL SCREWS.

1" THICK EXTERIOR GRADE PVC PANEL

Version: **02**
 Date: **03/03/**
 Page **1 of 1**

Approved As Is Approved With Changes Not Approved

Client Signature _____ Date _____

AUTHORIZED SIGNATURE REQUIRED

Design documents including, but not limited to, sketches/comps, designs/drawings, photo renderings, fabrication/engineering drawings, and all other creative documents are the exclusive property of Northcoast Signworks. Client is granted usage rights per specification, upon full payment of all fees. Copyright © 2018 Northcoast Signworks. All rights reserved.

CLIENT: SACRED HOUR
 CONTACT: ANTHONY ZART
 PROJECT: SACRED HOURz
 COMMENTS: QTY OF 1, PAINTED EXTERIOR GRADE PVC WITH APPLIED VINYL

DRAWN BY: BILL HAMILTON

NORTHCOAST
 SIGNWORKS

23196 Miles Road
 Bedford Heights, Ohio 44128
 (216) 663-6060
 www.northcoastsignworks.com

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000036

DOCKET No. 05-45-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Mars Cafe' Signage

Project Address 15400 Madison Avenue

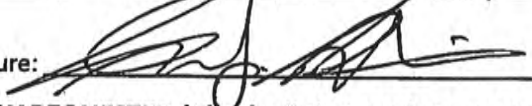
Applicant Name Mars Bar LLC.

Applicant Address 15314 Madison Avenue.
(if different than above)

Applicant Contact (216) 965-1867

gounti @ gmail.com

Brief Project Description Looking for approval to put in and install signage in front of "Mars Cafe'."

Signature: 

Date: 4/23/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

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Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

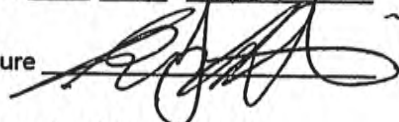
Are there any dog(s) on the property? Yes No

Owner Name Gounti's Properties LLC.

Property Address 15400 Madison Avenue.

Owner / Agent Contact (216) 965-1867

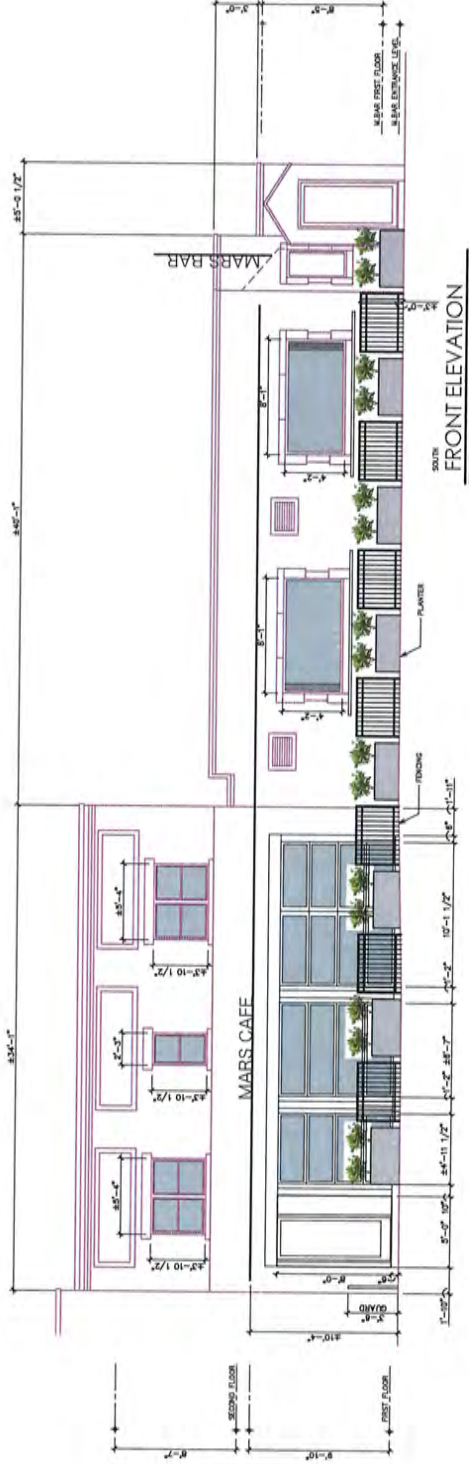
gounti @ gmail.com

Owner / Agent Signature 

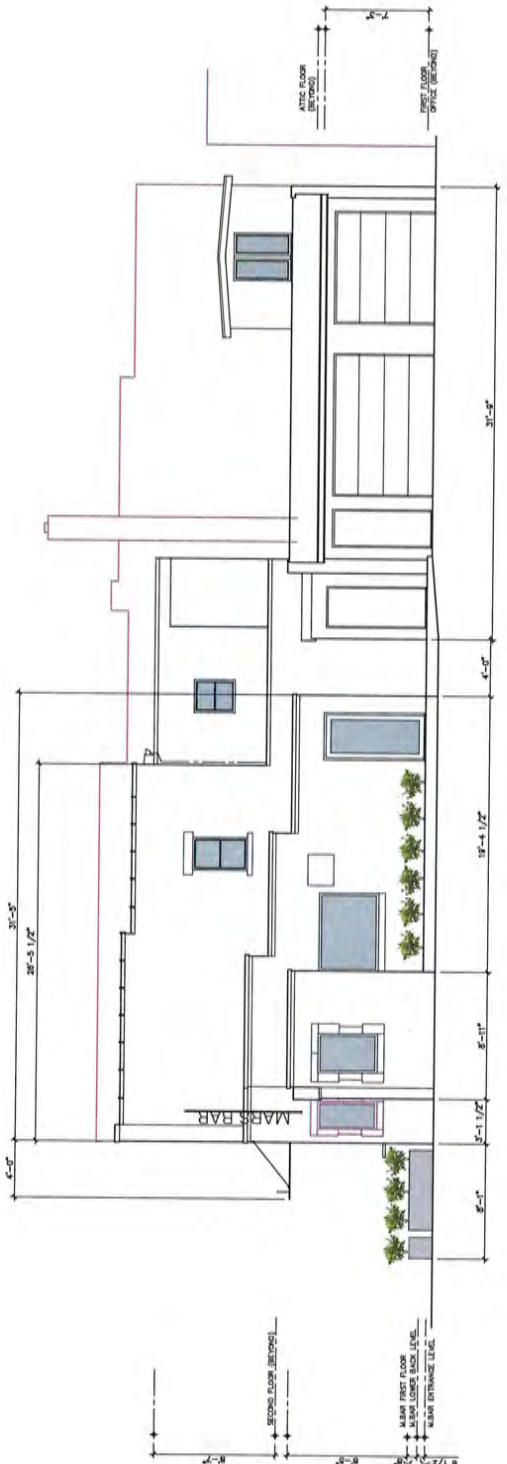
Date: 4/23/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



SOUTH FRONT ELEVATION
SCALE 1/8"=1'-0"



EAST SIDE ELEVATION
SCALE 1/8"=1'-0"



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

May 14, 2020

Board of Building Standards/Architectural Board of Review/Sign Review
Lakewood City Hall
12650 Detroit Avenue
Lakewood, Ohio 44107

COMMUNICATION

Re: Public Art Grant Program

Dear Members of the Board of Building Standards/Architectural Board of Review/Sign Review:

Planning and Development personnel will present the communication. Projects awarded through the Spectacular Vernacular public art grant program provides funding for civic art and urban design projects within the city of Lakewood. The goal of the program is to incentivize community-driven art and design projects.

Sincerely,

David Baas, Board Secretary
Planner, Planning and Development