

**AGENDA  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
VIRTUAL  
JUNE 2, 2022  
4:00 P.M.**

Join Zoom Meeting  
<https://us06web.zoom.us/j/85317414643?pwd=SStFdDAyVTBRR3Q5QzFHeDZsMlVzdz09>

Meeting ID: 853 1741 4643  
Passcode: 932125  
One tap mobile  
+19292056099,,85317414643# US (New York)  
+13017158592,,85317414643# US (Washington DC)

Dial by your location  
+1 929 205 6099 US (New York)  
+1 301 715 8592 US (Washington DC)  
+1 312 626 6799 US (Chicago)  
+1 669 900 6833 US (San Jose)  
+1 253 215 8782 US (Tacoma)  
+1 346 248 7799 US (Houston)  
Meeting ID: 853 1741 4643  
Find your local number: <https://us06web.zoom.us/j/85317414643?pwd=SStFdDAyVTBRR3Q5QzFHeDZsMlVzdz09>

**REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
JUNE 9, 2022  
5:30 P.M.**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE MAY 12, 2022 MEETING
3. OPENING REMARKS

**OLD BUSINESS  
ARCHITECTURAL BOARD OF REVIEW**

4. Docket No. 05-22-22 **14011 Lake Ave.**  
  
 Approve Alexander Leopold  
 Deny 14011 Lake Ave.  
 Defer Lakewood, OH 44107

Applicant proposes renovation of an existing home. (Page 5)

5. Docket No. 04-15-22\* **14615 Detroit Ave.**  
**CHASE Bank**

- Approve
- Deny
- Defer

Terron Wright  
The Architects Partnership, LTD  
200 S. Michigan Ave., #1020  
Chicago, IL 60604

Applicant proposes demolition of an existing commercial building and the construction of a new one. (Page 20)

**6. Docket No. 05-25-22**

**2011 Lark St.  
Former Lakewood Public Hall Building**

- Approve
- Deny
- Defer

David Maniet  
Maniet Architects  
1315 Bunts Rd.  
Lakewood, OH 44107

Material updates to previous approval. Applicant proposes façade renovation of an existing commercial building. (Page 66)

**SIGN REVIEW**

**7. Docket No. 05-60-21**

**13314 Detroit Avenue  
The Haber Family Center**

- Approve
- Deny
- Defer

Director  
Lakewood Historical Society  
13314 Detroit Avenue  
Lakewood, Ohio 44107

Applicant proposes new signage on the building. This item was tabled previously. (Page 68)

**8. Docket No. 01-02-22**

**17000 Madison Ave.  
Gingham Market**

- Approve
- Deny
- Defer

Steven Foster  
The Sign & Graphics Firm, LLC  
1593 Wyandotte Ave.  
Lakewood, OH 44107

Updated window graphics to the previous approval. Applicant proposes back-lit LED dimensional letters in the sign band. (Page 70)

**NEW BUSINESS**

**ARCHITECTURAL BOARD OF REVIEW**

**9. Docket No. 06-28-22**

**15107 Edgewater Dr.**

- Approve
- Deny
- Defer

Todd Wallace  
CLE Remodeling Company  
2299 City View Dr.  
Cleveland, OH 44113

Applicant proposes the addition to an existing home. (Page 72)

**10. Docket No. 06-29-22**

**2064 Lincoln Ave.**

- Approve
- Deny
- Defer

Joey Mannarino  
MR TMG LLC  
3076 Fairmount Blvd.  
Cleveland Heights, OH 44120

Applicant proposes the conversion of a side porch into a 4-season room. (Page 94)

**11. Docket No. 06-30-22**

**15023 Madison Ave.  
Pachamama**

- Approve
- Deny
- Defer

David Maniet  
Maniet Architects  
1315 Bunts Rd.  
Lakewood, OH 44107

Applicant proposes outdoor sidewalk dining. (Page 98)

**12. Docket No. 06-31-22-A**

**14706 Detroit Ave.  
Geiger's**

- Approve
- Deny
- Defer

Elicia Gibbon  
Gibbon Architecture  
3012 Chadbourne Rd.  
Shaker Heights, OH 44120

Applicant proposes storefront and rear entry renovation. (Page 101)

**SIGN REVIEW**

**13. Docket No. 06-31-22-S**

**14706 Detroit Ave.  
Geiger's**

- Approve
- Deny
- Defer

Elicia Gibbon  
Gibbon Architecture  
3012 Chadbourne Rd.  
Shaker Heights, OH 44120

Applicant proposes signage for an existing business. (Page 113)

**14. Docket No. 06-32-22**

**14730 Detroit Ave.  
Boom's Pizza**

- Approve
- Deny
- Defer

Monica Fletcher  
Brady Signs Company  
1721 Hancock St.  
Sandusky, OH 44870

Applicant proposes replacement awnings and blade sign. (Page 124)

15. **Docket No. 06-33-22**

**17114-16 Detroit Ave.  
Cleveland Vape and Burning River Coffee**

- Approve
- Deny
- Defer

Tony Russo  
**Cleveland Vape and Burning River Coffee**  
17114 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes new signage for two businesses. (Page 133)

16. **Docket No. 06-34-22**

**17118 Detroit Ave.  
Designer Consignor**

- Approve
- Deny
- Defer

Shawn Warren  
Erie Design Co. Inc.  
1249 Virginia Ave.  
Lakewood, OH 44107

Applicant proposes new signage for an existing business. (Page 137)

**ADJOURN**



BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
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## Application Cover Page

**Docket No.: 05-22-22**

**Permit No.: BBS22-000029**

**Applicant Name: Alexander Leopold**

**Project Address: 14011 Lake Ave.**

**Project Name: n/a**

**Project: Applicant proposes renovation of an existing home.**

Two-tone Craftsman - my first choice

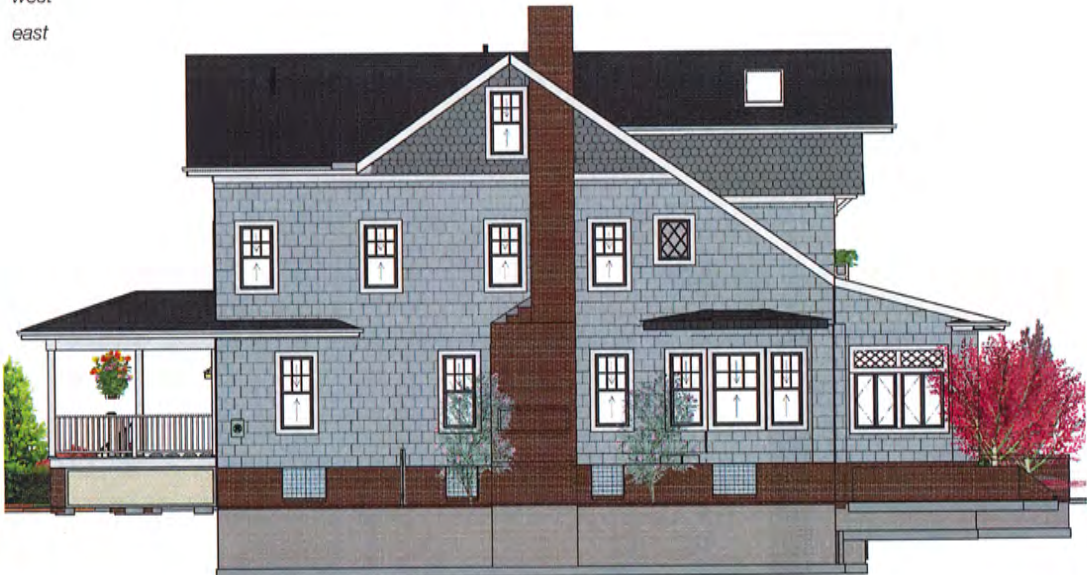
front back



Alexander Leopold  
Lakewood, Ohio



west  
east



## Two-tone Craftsman cont.



### Two-tone Update with Frieze Board wraparound

This two-tone design gets rid of the "sameness" of the all light gray I previously had, without affecting the current style or feel of the house.

I like the frieze board under the bump out as a detail and it removes some of the gray above them, which I think made the windows look smaller. I opted for this board instead of a lintel, since none of the other windows have lintels and would make it look out of place on these windows.

Unlike on the single gray design, here the lack of the lower frieze board wrapping into a side trim board isn't needed to break up the grayness of the third floor sides, since the half round darker gray pediment draws attention from the side. The two 24"x12"x12" planters help too.

Plants that like shade include hostas, bleeding hearts, coleus, and caladium — with their colorful leaves, the last two would compliment to window sash color. The new bedroom windows will include Pella roll screens, making watering easy.

Continuing the two-tone wraparound frieze board to the sides and back of the third floor is a common Craftsman feature. The white board is an important detail between the two shingle shapes and gray tones.

The darker gray half round shingles would have a flare over the white frieze boards all the way around, though the shadow effect would not be very visible on the north facing front of the house.

**Alexander Leopold**

Lakewood, Ohio

Revived Early Window Concept - my first window choice, if issues can be resolved

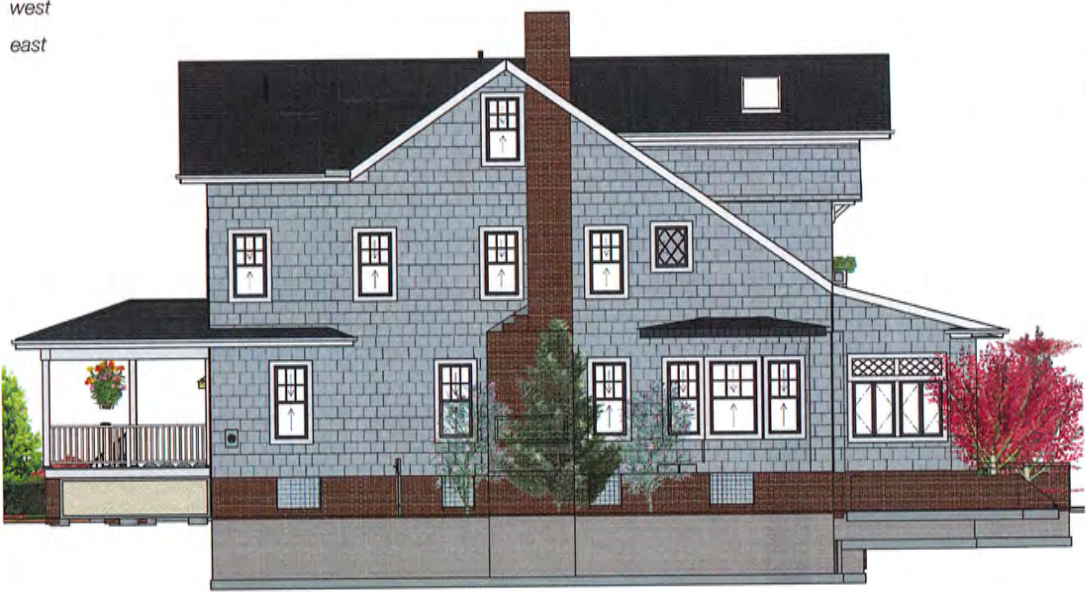
front back



Alexander Leopold  
Lakewood, Ohio



west  
east



## Revived Early Window Concept cont.



### Neo-Craftsman Design - front

I was thinking about getting rid of the gable corbel, while still referencing the classic Craftsman design feature with this four fixed window configuration.

There are three reasons I opted with four windows, instead of repeating the three on the second floor. 1). Craftsman corbels almost always have a vertical center post, with larger ones having two or more matching additional vertical offset posts. 2). Enabling a continuous pair of wall studs under the peak. 3). A peak corner adds stress to window and could cause it's seals to fail faster.

Given the windows' position, house's location with weather/wind angle, the windows would have to be triple-pane, argon filled, and rated for wind gusts; all of which would also help reduce traffic noise, but add significantly to their cost.



### Simple Traditional Craftsman - back

The back would retain a classic, but simple Craftsman style. I'm thinking the small gable corbel needs to be put back, as a reminder that the trim of the four front windows is a modern take on this classic Craftsman feature and hide the two bathroom vents.

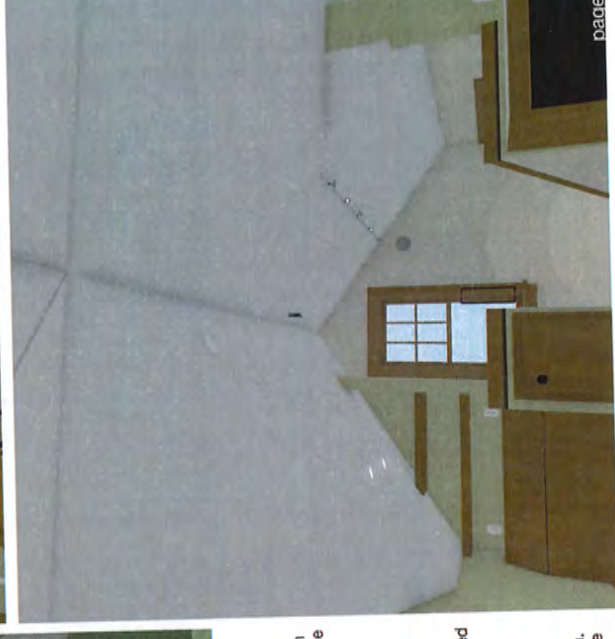
### Reasons For Abandoning Design

My primary reservation has been finding the exact height and angle of the existing main roof, since it determines the height and final angle of the new roofs. Without that, getting the correct height for the fixed windows is difficult; unless the build starts, measurements are taken when the framing is done, the openings are boarded up temporarily, while an open/held window order is fulfilled.

I also have concerns stemming from the vaulted-ceilings. 1). Removing the collar beams/ceiling joist causing problems or are hurricane clips and flat metal ties enough to overcome this. 2). Getting the eight plane crossing vault crown junction to match up correctly, having exposed peak beams or faux-beams would solve this. 3). Running air-conditioning ducts for the office and my second floor bedroom. 4). Additional complexity with installing the glass upper walls and door, which close off the stairwell from the climate controlled office.

**Alexander Leopold**

Lakewood, Ohio



**Alexander Leopold**  
Lakewood, Ohio

front back



west  
east



Variation on Early Window Concept - my second window choice, if issues with first can't be resolved

## Variation on Early Window Concept cont.



### Neo-Craftsman Design 2 - front

With the middle two windows not reaching the gable peak, I think a small corbel needs to be returned to finish this classic Craftsman detail.

This isn't a compromise on style, it's a variation, which also happens to alleviate some construction difficulties.

note: Another solution to the vaulted ceiling issues could be to have a flat ceiling until the second or third roof rafter from the outside, where there would be a double collar beam, under which an outward angled vault would be. The turned vault would allow full views out and into the tops of the center two windows, and allow light to reflect down onto the front of the cabinet and sliding whiteboard.

Though, it would be somewhat unusual.



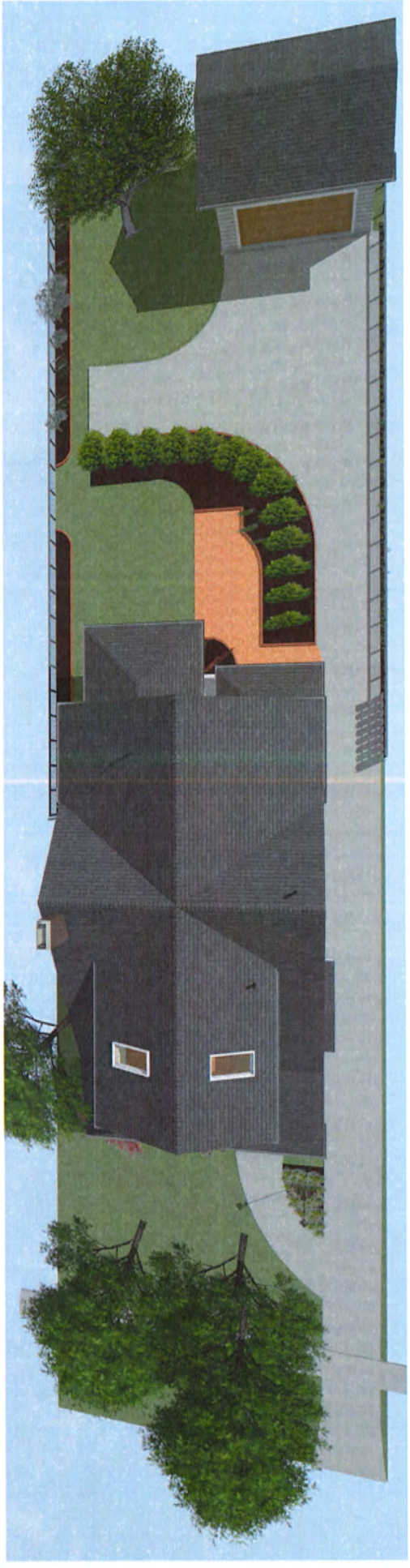
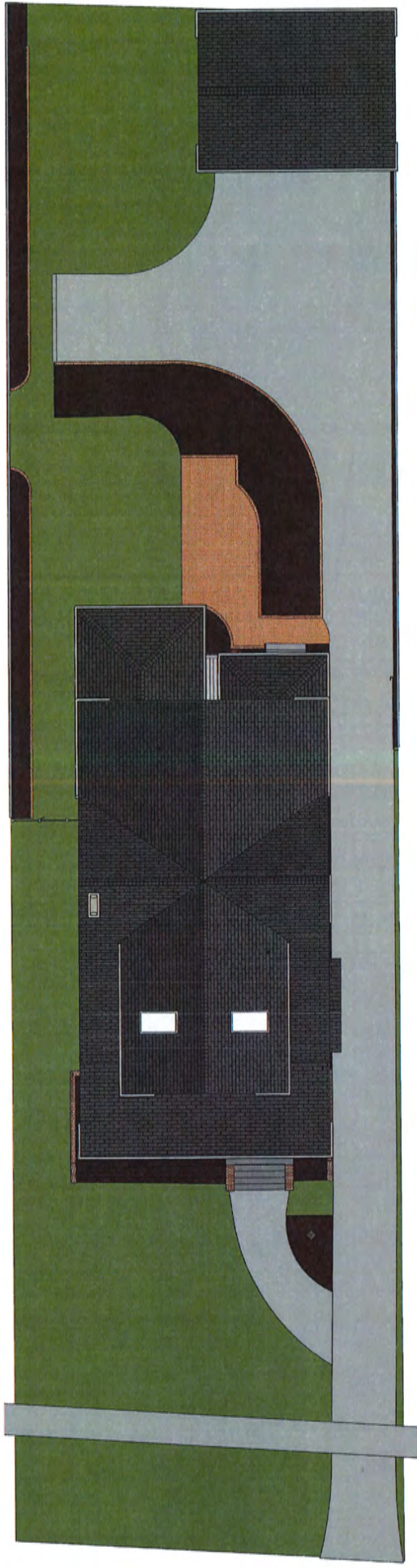
### Simpler Two-tone Craftsman - back with plain sides

The back would have the same two-tone classic styling, but the sides would be a simple one-tone with the white trim and accent color window sashes.



**Alexander Leopold**  
Lakewood, Ohio

Common Top View Of Property



**Alexander Leopold**  
Lakewood, Ohio

# Monotone Craftsman Updates



## Simple Update

This addresses only the most frequent asked about or mentioned changes. It still has some of the forehead appearance but the two shingle fields breaks up the uniformity of the field.

I tried changing the hip roof returns to a single full roof return and removing the gable corbel, but that made the lower front of the third floor look very boxy and the full roof return made me think of Frida Kahlo, for the wrong reason.



## Simple Trim Board Update

Adding a white trim board helped breakup the side of the third floor addition and makes the front lower edge stand out between the two gray surfaces.

I think the two 24"x12"x12" planters draw some attention away from the forehead and to themselves by being a little bit of a surprise. The inspiration is from a Craftsman house with a balcony, see references on last page. The planters have feet on the front to help with drainage and let wind flow out the sides. Other houses, in the neighborhood, have window boxes, which my house doesn't allow because of how low the windows are to the lower roof.

The trim board in the same color as the window sashes was distracting and didn't really fit with the simple Craftsman style of the house.

Lowering the trim board to a frieze board, under the bump out also looked good. However, as a trim board it reduces the upper grayness. I never liked this trim board and frieze board under a bump out.



## Simple Frieze Board Update

Putting a wrap frieze board around the third floor seems more Craftsman style, but it does nothing to break up the grayness of the second/third floor sides.

I tried three variations, but didn't like them; they added "noise."

- having both the lower trim board and frieze board wrapping around the three sides caused a visual clash for dominance, coloring them to match the window sashes was just ick
- add the planters, which was okay.
- two or all three together was very noisy and the elements distracted from one another

However, the additional frieze board under just the bump out (not wrapping to the side) looks good.

**Alexander Leopold**

Lakewood, Ohio

## Two-tone Craftsman Updates



### Two-tone Simple Update

The darker round shingles help to break up the flatness of the upper portion of the third floor.



### Two-tone Trim Board Update

In addition to the white band trim board and the unexpected positioning of the planters, the darker round shingles not only help to break up the flat grayness of the upper portion of the third floor, but keeps the eyes moving across the lighter gray field since there is a focal point below and above the light gray.

Again lowering the trim board to a frieze board, under the bump out, also looked good.



### Two-tone Frieze Board Update with Set Back Wall

This updated is the first design in this update packet, but with the third floor north wall set back 6 inches, otherwise it is identical to page 1.

## Updated Craftsman Style Backs



### Updates To Match Requested Front Updates

All of these half round shingle bases have a flared drip edge, as a Craftsman detail, which creates a very minimal, but nice shadow below.

Whichever trim wrap style is on the front of the house, I would also wrap the sides and back to match; unless otherwise indicated shown differently on the elevation and 3D renders.

note: I didn't like the trim board back with a side trim-board, the chimney interrupting it made it look odd because of how little vertical space there is between it and the window.

**Alexander Leopold**  
Lakewood, Ohio

## Two-tone Rooflet Concept



While walking around the neighborhood for exercises, I noticed that some houses have little faux-roof details on them, though they tended to be more Victorian leaning than Craftsman style, like mine.

I'm not sure it breaks up the third floor area and from the west approach (right) may even draw attention to the letterbox cinema rectangle shape of the lower part. I also have some purely mechanical (attachment), weather (rain and ice), and bulk/expense concerns for a purely decorative item.

A note about my wind and weather concerns and the durability of the faux-roof's attachment. A down spout runner was torn off the lower north roof four times, twice landing in Mrs Kelly's backyard, once landing in the street, then disappeared altogether. About six weeks ago, the vent stamped sheet metal cover of the third floor wall air conditioning unit was torn off during the night and landed in front of the garage, at the back of the property.

**Alexander Leopold**  
Lakewood, Ohio

## Software Limitations



During the preview Zoom meeting, I forgot to mention two things that are wrong in and missing from my renderings because Home Designer Pro lacks them, though Chief Architect Premier includes them.

- 1). Barrel roofs are not supported, though barrel dormers are—my lower and upper roofs have a curved transition between them. Visible in every front house render.
- 2). Frieze boards are not available, though a roof soft can be forced to sort of emulate a board by adding a molding. This wouldn't work correctly on the rendering for my house because the actual frieze "boards" are actually shingles. I suspect this is because of needing to follow the above mentioned curvature of the roof transition.

# Double Hung Window Update



## Simple Update Plus Double Hung Window

The third floor window is the same size and position as the middle second floor window. I think it draws attention to the grayness of the third floor and though taking away the forehead gives it a very pronounced chin because of the second floor 8' 6" ceiling, the 9" floor joist height, the new window's elevation above the floor (36"), while the second floor windows touch the lower roof.

Plus, I don't like the way that the window and shingles switch don't line up. Moving the window shorter and adjusting the elevation got them to line up, but made the chin more pronounced. Additionally, the top of the window is also above the bottom of roof peak bracket, which looks odd from outside and in. Removing the bracket removed a significant element of a Craftsman gable roof.



## Two-tone Update Plus Double Hung Window

The third floor window is the same size and position as the middle second floor window, here it looks very out of place because it breaks the line of the shingle not only changing the shape but also color.



## Two-tone Update Plus Small Double Hung Window

This third floor window is the same width and position as the middle second floor window, since it doesn't break the shingle shape/color transition line it looks better than the taller window. However, from the inside it looks incredibly small and I think it would do little to add light (based on how much light the three larger second floor windows let in).





1



2



3

**Inspiration for Updates**

- 1). Here it is all about the box balcony, it inspired the two planters to draw attention away from the third floor. The two-color with the different siding materials also influenced my choice.
- 2). The trim color on the boards breaking the red across the bump out got my attention, as did the darker accent color, on the upper most siding of the gable.
- 3). The size of the bracket/corbels caught my eye on the first look, but look back at it was more the trim board that I noticed.

**Alexander Leopold**  
Lakewood, Ohio



A



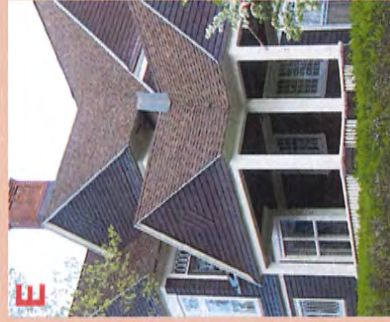
C



B



D



E



F

**Craftsman But Not Applicable For My House**

Though these are Craftsman houses, elements that I first noticed and considered ended up not suiting my house.  
 A). I liked the eye lid, then remembered the wind. B). Thought a eve coming out of the main eve would break up the gray, didn't like it; the over hands on this one are also to shallow. C). The color scheme and overhangs are right, but this image showed me that the flat front wasn't broken up enough. D). The two-color and two-tone scheme idea is appealing and the different materials look good, but didn't look right under the deep overhangs of my house. E). The diamonds got lost under my deep overhangs. F). Very classic Craftsman style house and it looks great, but too many different shapes and too many intersecting layers.



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## Application Cover Page

**Docket No.: 04-15-22**

**Permit No.: BBS22-000019**

**Applicant Name: Terron Wright, The Architects Partnership, LTD.**

**Project Address: 14615 Detroit Ave.**

**Project Name: CHASE Bank**

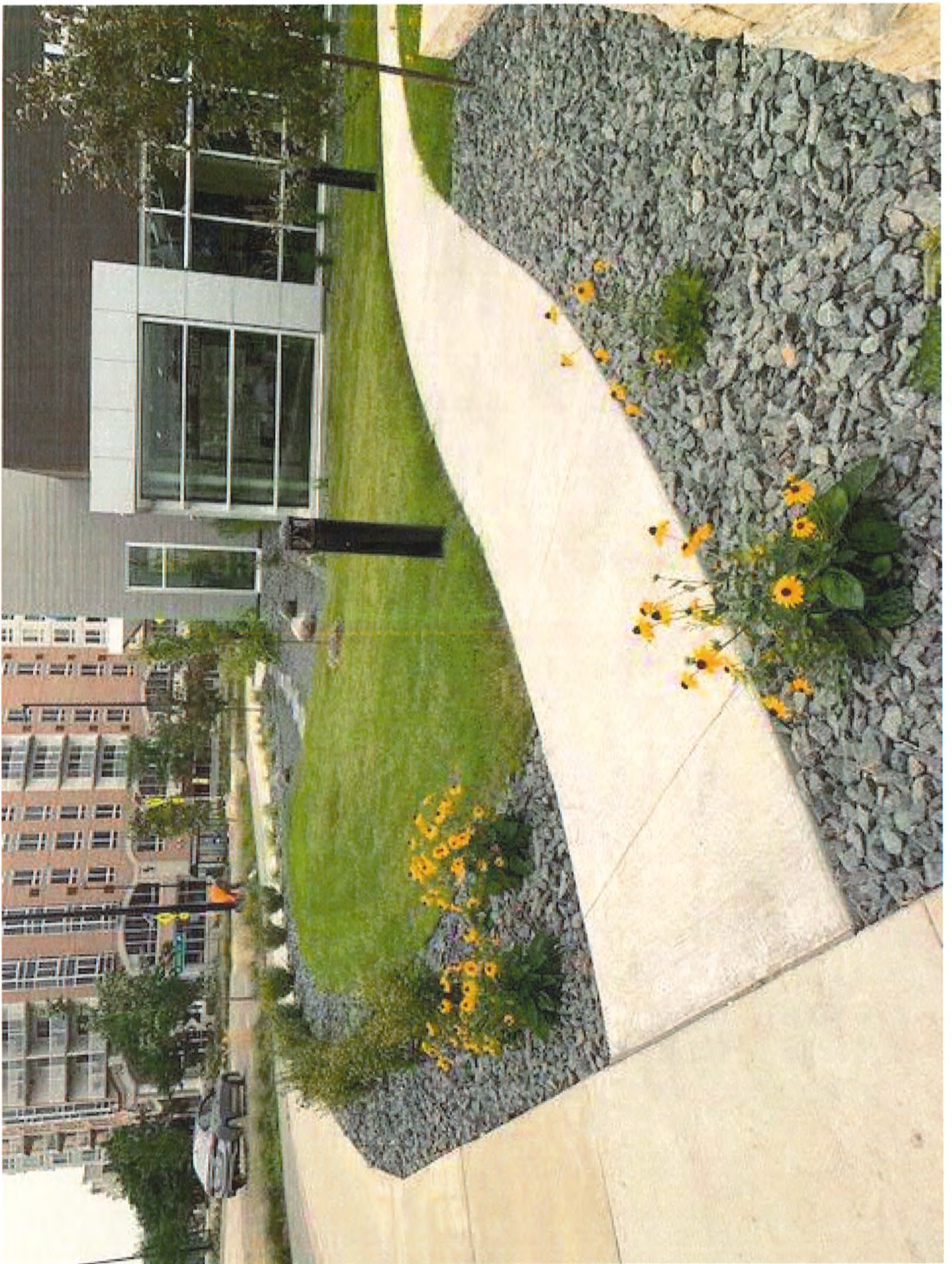
**Project: Applicant proposes demolition of an existing commercial building and the construction of a new one.**

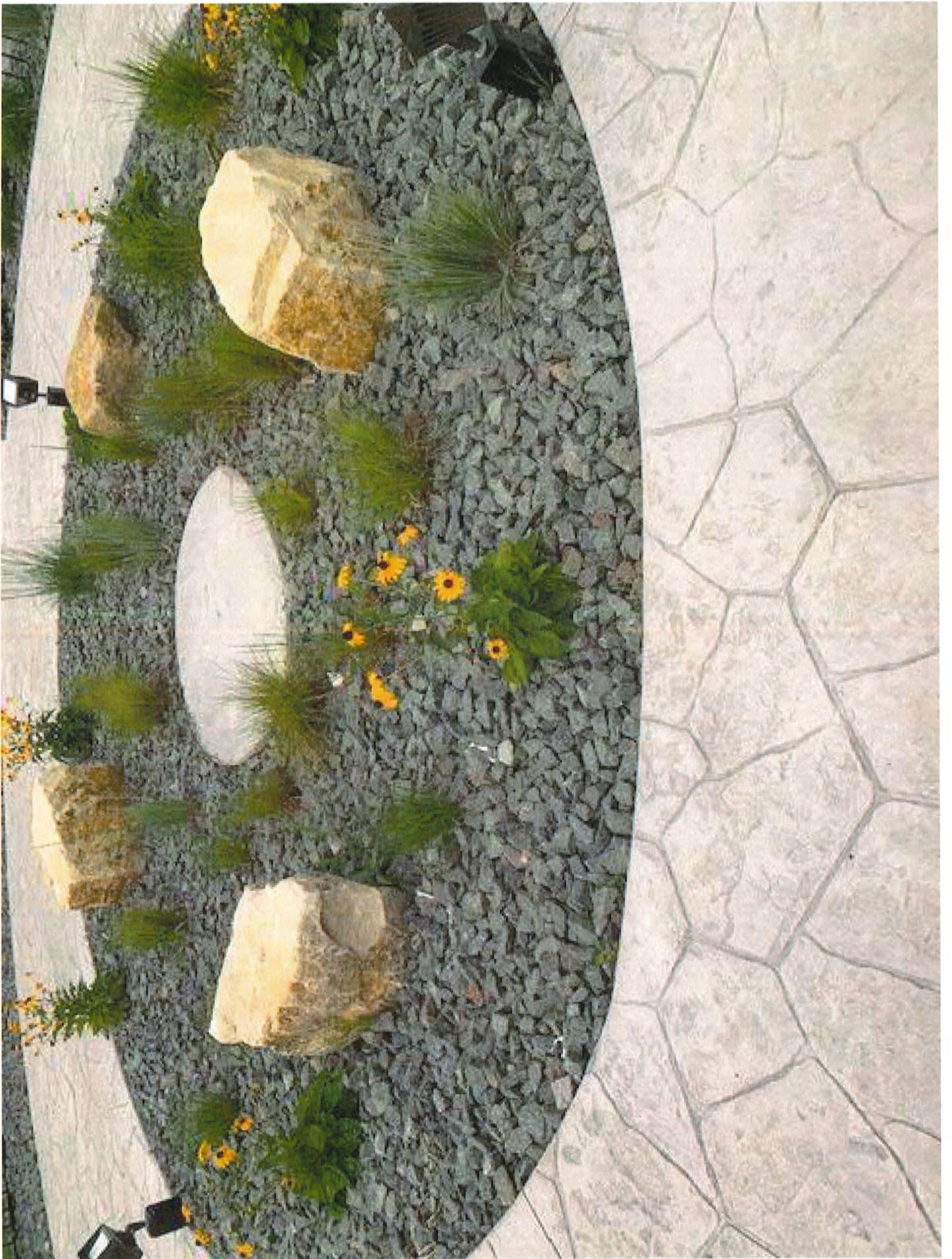
















CHASE

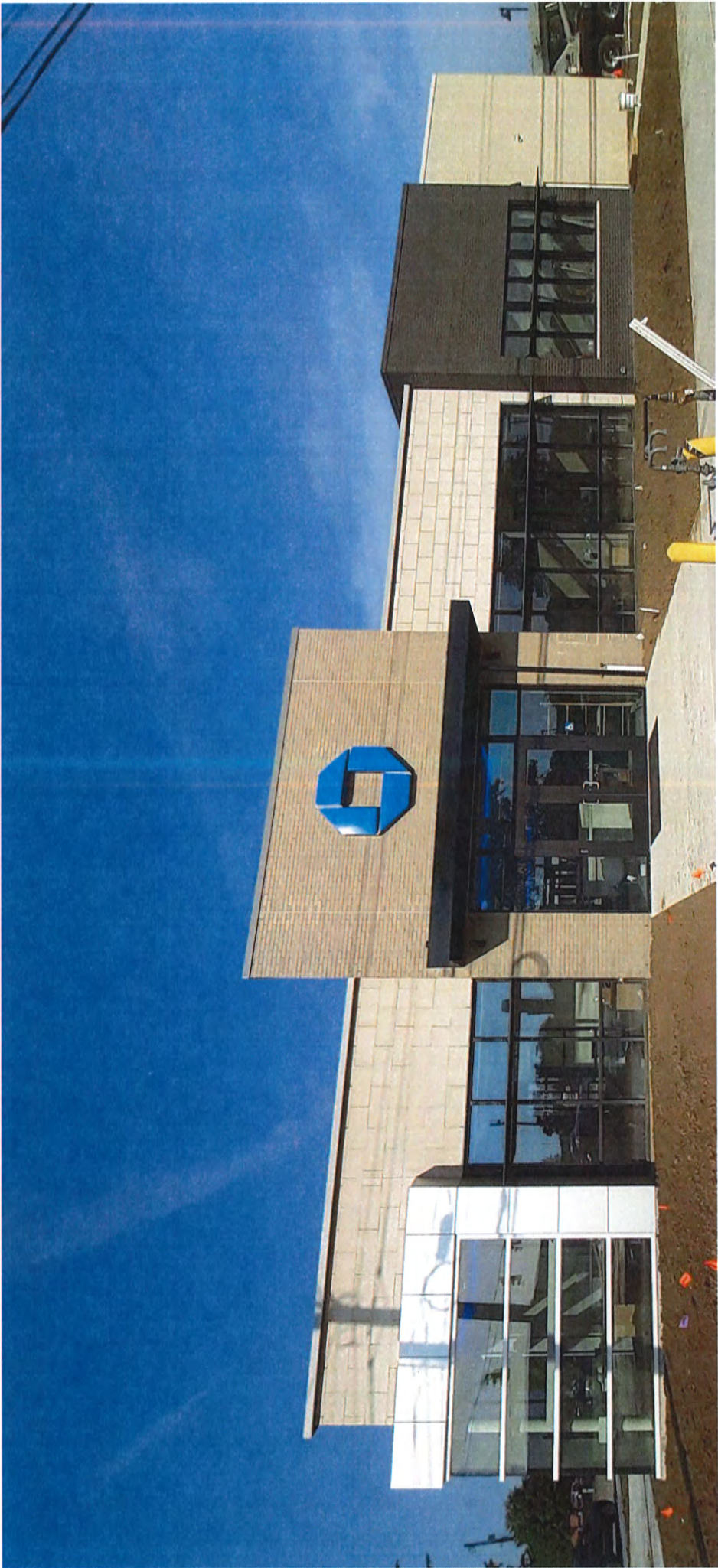


RESERVED  
PARKING

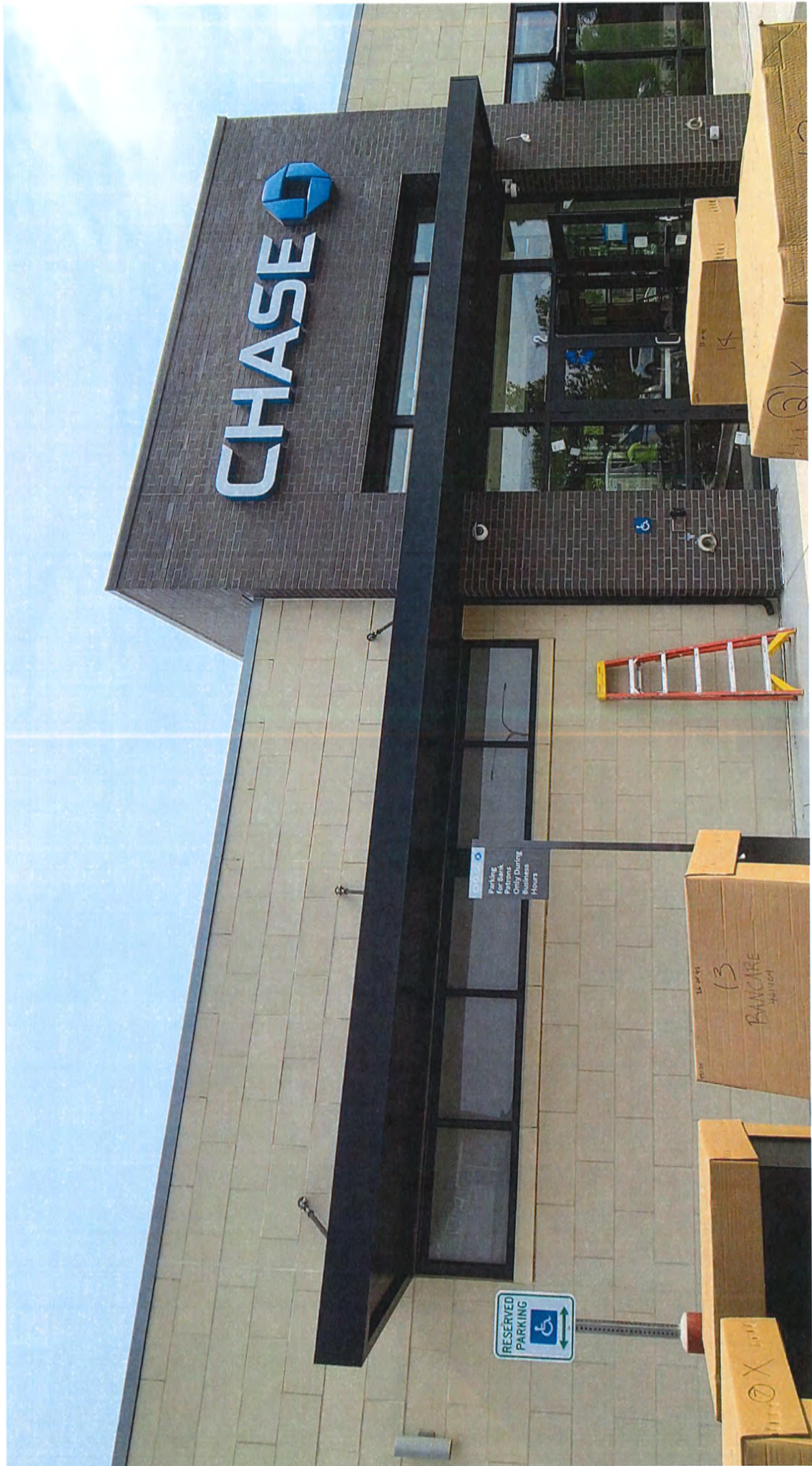


Parking  
for Bank  
Only During  
Business  
Hours









CHASE

CHASE  
parking  
for  
Patrons  
Only During  
Business  
Hours

RESERVED  
PARKING

13  
BANCARE  
HAYDEN

X









The Architects Partnership, Ltd. 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604

Attn: David Baas  
Community Development Department  
12650 Detroit Avenue  
Lakewood, OH 44107

May 25<sup>th</sup>, 2022

Re: Photo report of property and adjacent/neighboring properties located at:  
14615 Detroit Avenue, Lakewood, OH 44107.

**PROPERTY: 14615 Detroit Ave.**

**14615 Detroit Ave North View:**



**14615 Detroit Ave North Corner View:**





The Architects Partnership, Ltd. 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604

14615 Detroit Ave West View:



14615 Detroit Ave Southwest View:





The Architects Partnership, Ltd. 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604

## NEIGHBORING PROPERTIES

### Neighboring Properties North of Detroit Ave:





The Architects Partnership, Ltd. 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604





**The Architects Partnership, Ltd.** 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604



Neighboring Properties South of Detroit Ave:





**The Architects Partnership, Ltd.** 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604



West View of Detroit Ave & St Charles Ave Intersection:



East View of Detroit Ave & St Charles Ave Intersection:





**The Architects Partnership, Ltd.** 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604

South View of Detroit Ave & St Charles Ave Intersection:



North View of Detroit Ave & St Charles Ave Intersection:





**The Architects Partnership, Ltd.** 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604

Attn: David Baas  
Community Development Department  
12650 Detroit Avenue  
Lakewood, OH 44107

May 18<sup>th</sup>, 2022

Re: Narrative for the proposed project located at:  
14615 Detroit Avenue, Lakewood, OH 44107.

Dear Mr. Baas,

This letter is to provide detail on our application for site plan approval as it relates to the redevelopment of 14615 Detroit Ave. The redevelopment includes demolition of the existing buildings on site which is comprised of a standalone "Einstein Bros Bagels" and a standalone walk-up "Fifth Third Bank" ATM to allow for a faux two (2) story (+/- 3,345 sq. ft.) retail banking center for JP Morgan Chase Bank with one detached single lane drive-up ATM. The proposed development will rework the vehicular and pedestrian circulation on site by removing the two (2) existing curb cuts along Detroit Ave. and proposing a second curb cut on to St. Charles Ave. New landscaping and site lighting will be proposed that closely aligns with the city ordinance.

Additionally, a pedestrian green area "pocket park" along Detroit Ave. will be proposed as part of the site redevelopment. Outdoor seating, pedestrian scale lighting, trees, shrubs, bicycle parking and an ornamental fence are the elements that will make up the "pocket park". New parking stalls and public sidewalks will be provided to match the aesthetics of the area. The proposed grading at the parking lot/building pad will mimic the existing site.

The design intent of the proposed Chase Bank is to compliment the surrounding architecture of the commercial development in the area. "Four-sided" architecture has been incorporated into the building design. The building massing is proposed to have one (1) functional story and one (1) faux story to make up the two (2) story aesthetic found along Detroit Ave. As part of the building design two (2) entrances to the building will be provided, each entrance is of equal prominence along the north (Detroit Ave.) and south (parking lot) sides of the building. The Banking Center is comprised of cultured stone (limestone color), "Rose blend" brick, a black anodized storefront system and canopy over each entrance. All the proposed exterior cladding options are finishes that are long lasting cladding materials that will mesh well with the development growth of the area.

The proposed schedule has construction commencing by early fall of 2022 (pending regulatory approvals) and an anticipated occupancy date of May/June 2023.



**The Architects Partnership, Ltd.** 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604

**Parties Involved:**

Architect of Record

John Halleran  
The Architects Partnership, LTD (TAP)

Contract Buyer of Record

Jared King  
obo JPMorgan Chase Bank, N.A.

Applicant

Terron Wright  
The Architects Partnership, LTD (TAP)

Landscape Architect and Civil Engineer

Derik Leary  
Kimley-Horn

Currently Property Owner

Victoria Land Partners, L.P.

**Zoning Classification:**

The existing land use is zoned C-1 Commercial Office with an overlay of National Historic Designation. The land use of main retail banking center falls under the Commercial category and is most consistent with a Financial Services and Office use types, which is labeled as permitted by right in the zoning district. A Conditional Use Permit will be required for the drive through ATM due to the pedestrian nature of the historic district. Furthermore, the property is made up of two (2) separate parcels owned by the same owner. The bank intends to acquire the property and will look to consolidate the two existing lots into one.

**Type of Business:**

The type of business is a retail banking center with a detached drive-through service lane for use of an automatic teller machine (ATM). The hours of operation will be Monday – Friday 9 AM – 6 PM and Saturday 9 AM – 2 PM. The total number of employees and any one time will be eight. The eight (8) employees will consist of (1) teller, (1) lead teller, (2) bankers, (1) branch manager, (1) mortgage loan offices, (1) financial advisor and (1) business banker. Two (2) vestibules will be proposed for access to the building, one being a weather vestibule exclusively and the second one a twenty four (24) hour transaction vestibule for use of an automatic teller machine (Non drive through oriented). One vestibule is located along the south side facing the parking lot and the other one is on the north side (non 24 hrs. transaction vestibule) located at the entrance on Detroit Ave., respectively.

**Lighting Design and Locations:**

To provide the best and most efficient lighting design and locations a photometric study has been developed and included in this submittal.



**The Architects Partnership, Ltd.** 200 South Michigan Avenue, Suite 1020, Chicago, IL 60604

**Sustainability Components:**

The project will contain the following components which would contribute to sustainability practices the City is encouraging:

- Bike racks and increased pedestrian connectivity to public ROW and adjacent development to encourage alternative methods of transportation
- Installation of additional trees/landscaping within development area
- LED lighting

Sincerely,

Terron Wright  
The Architects Partnership, LTD







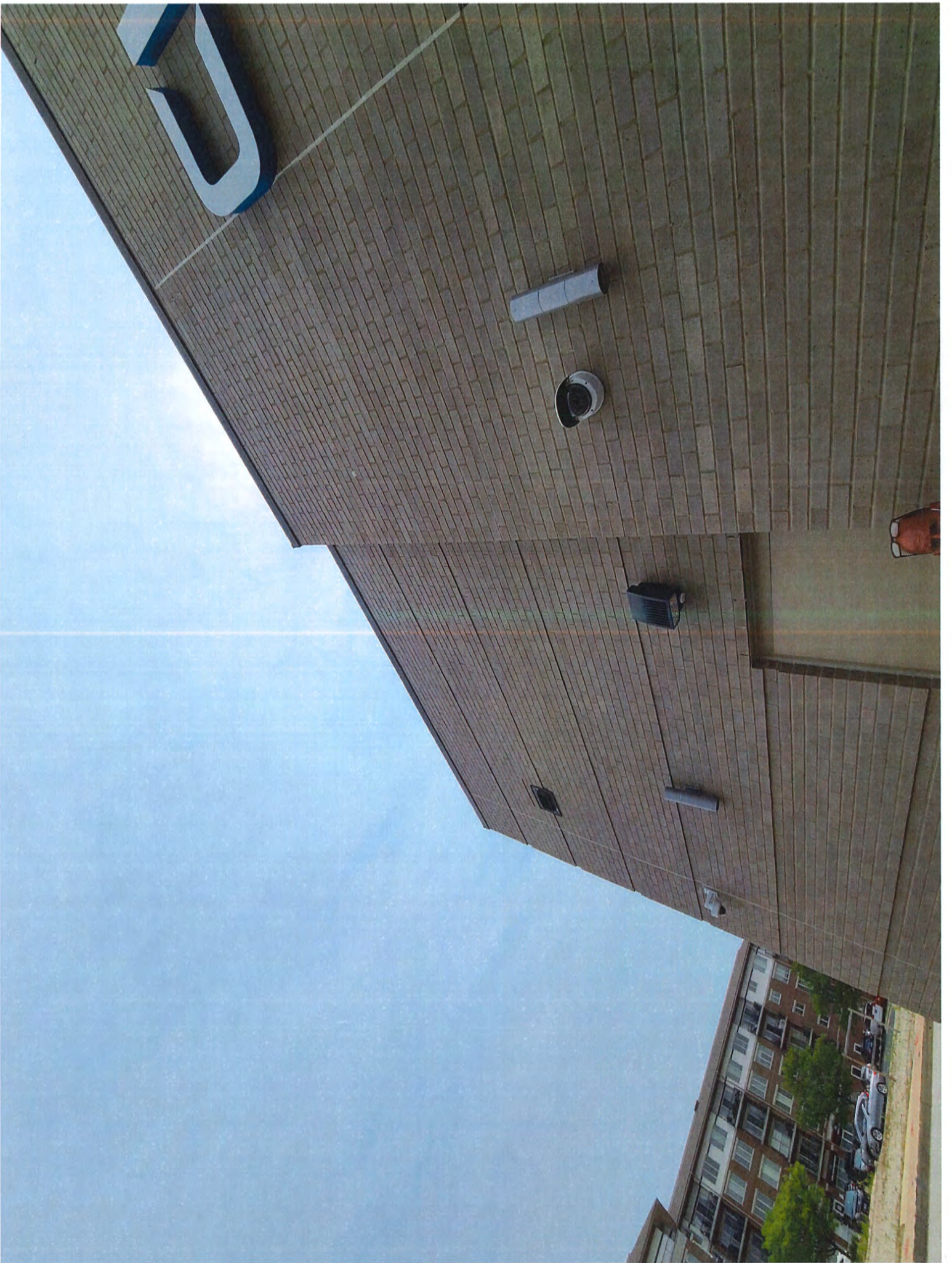










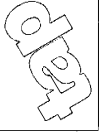












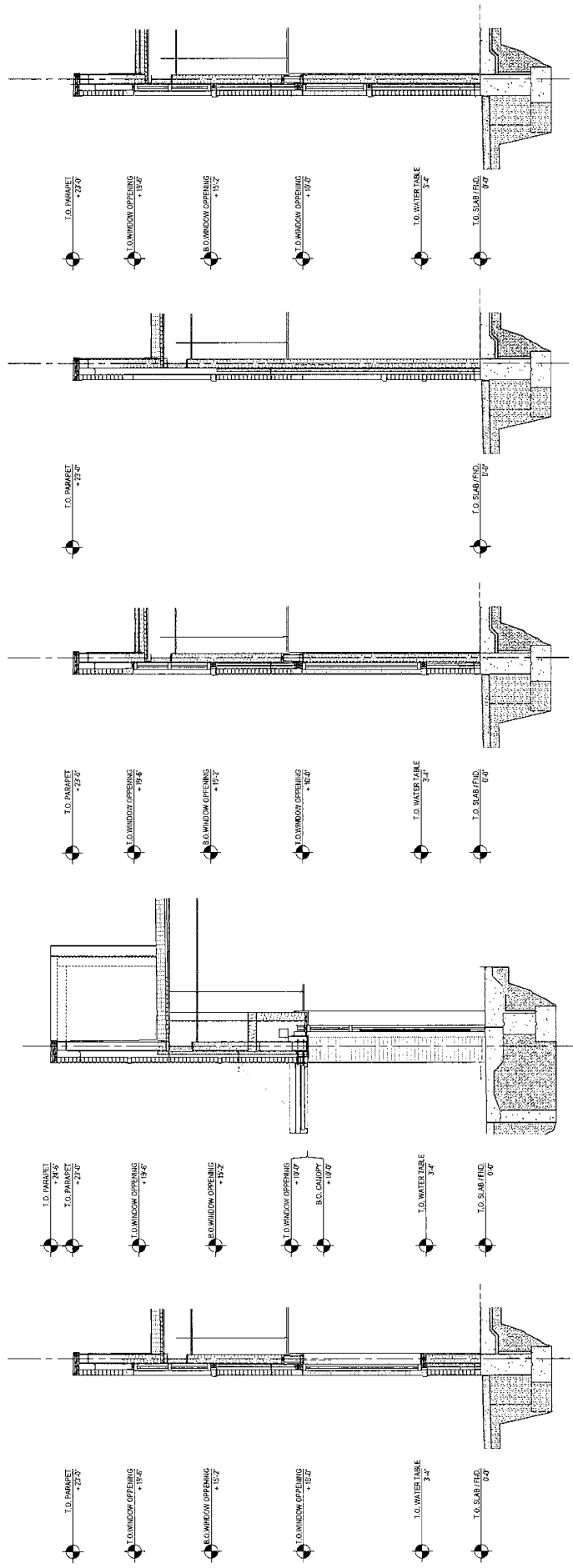
Architect/Designer  
 The Architects Partnership, Ltd.  
 200 South Michigan Avenue  
 Chicago, IL 60604  
 t: 312.563.9800  
 f: 312.563.9890  
 TAP Project Number: 21032

# ARCHITECTURAL WALL SECTIONS

05.17.2022



**CHASE**  
**LAKWOOD**  
 14615 Detroit Ave.  
 Lakewood, OH 44107



SECTION 5

SECTION 4

SECTION 3

SECTION 2

SECTION 1



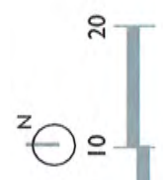
**PROPOSED BUILDING**  
 ±3,345 SF



CHASE - LAKEWOOD, OH  
 CONCEPT 1

APRIL 19, 2022

Kimley»Horn

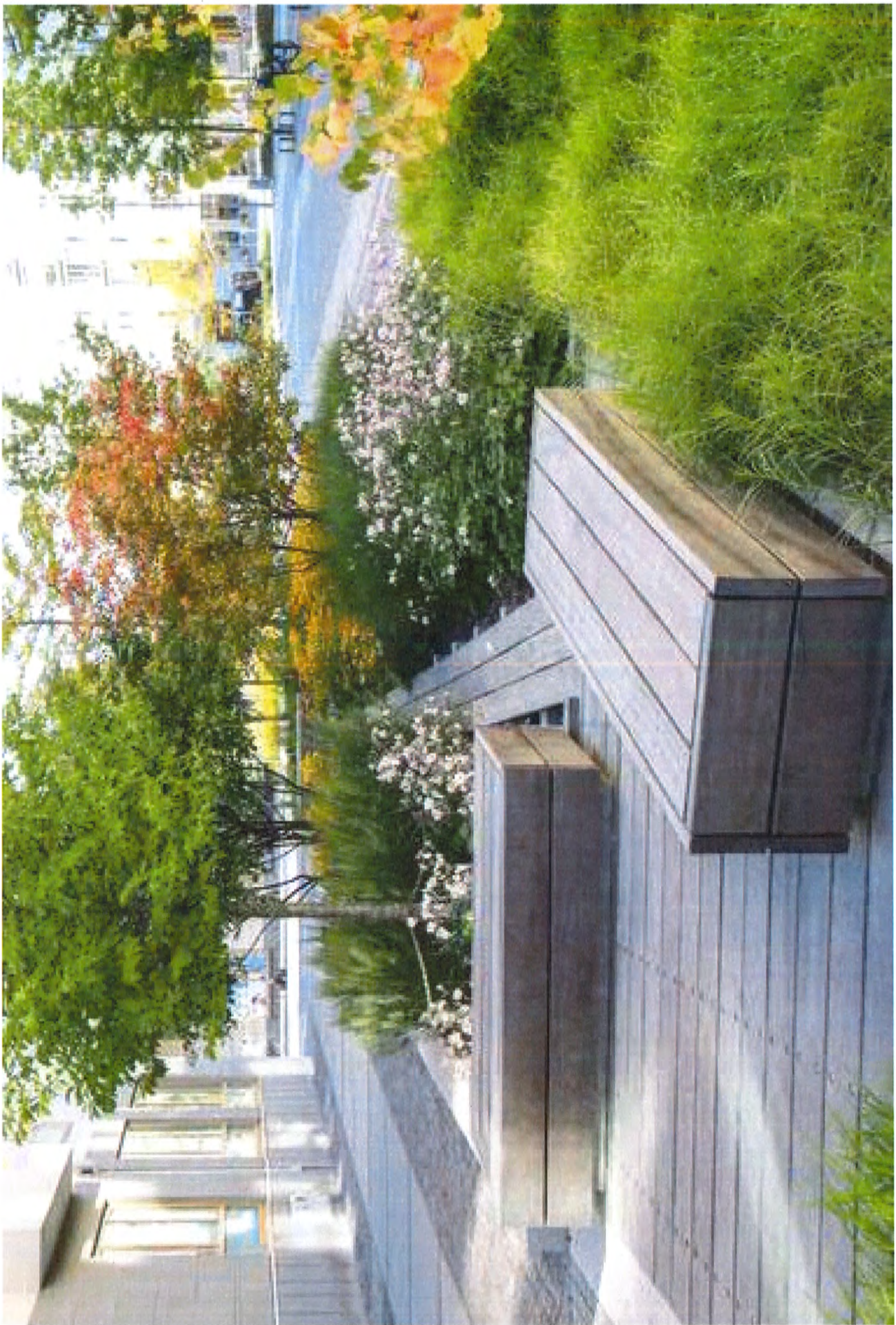














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## Application Cover Page

**Docket No.: 05-25-22**

**Permit No.: BBS22-000041**

**Applicant Name: David Maniet, Maniet Architects**

**Project Address: 2011 Lark St.**

**Project Name: Former Lakewood Public Hall Building**

**Project: Material updates to previous approval. Applicant proposes façade renovation of an existing commercial building.**



4 1 2 . 7 2 0 . 0 4 2 4  
DavidJManiet@gmail.com

Name / Project Address

Howe Ward Facade  
2011 Lark Street  
Lakewood, Ohio 44107

Issue for  
ABR - REV

Date  
5/15/2022

Drawn By  
DJM

Sheet

A-

Proposed Elevation

1/4" = 1'-0"



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## Application Cover Page

**Docket No.:** 05-60-21

**Permit No.:** BBS21-000051

**Applicant Name:** Director, Lakewood Historical Society

**Project Address:** 13314 Detroit Avenue

**Project Name:** The Haber Family Center

**Project:** Applicant proposes new signage on the building.

# THE HABER FAMILY CENTER

\$83 drill hole pattern for 20 letters

\$76 per metal cast letter w/ pin mounts x 20

\$1598

+ installation est. 5 hours \$300

city permits est \$200





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## Application Cover Page

**Docket No.:** 01-02-22

**Permit No.:** BBS22-000039

**Applicant Name:** Steven Foster, The Sign & Graphics Firm, LLC

**Project Address:** 17000 Madison Ave.

**Project Name:** Gingham Market

**Project:** Updated window graphics to previous approval. Applicant proposes back-lit LED dimensional letters in the sign band.



The SIGN & GRAPHICS FIRM

Steven Foster  
216.390.0198  
sgfoster09@gmail.com

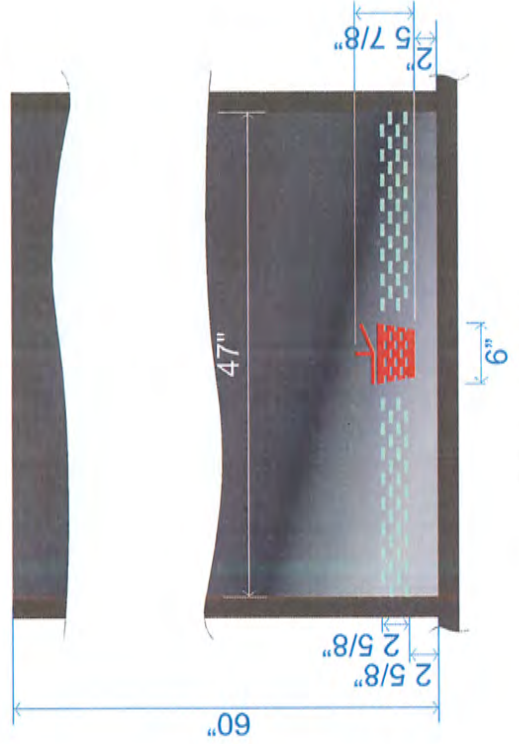
BUSINESS NAME:  
GINGHAM MARKET

ADDRESS:  
17000 Madison Ave.  
Lakewood, OH 44107

5/24/22

NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

**PROPOSED**



Window Graphics



ginghammarket.com  
216.228.2285

31.25 wide x 57 tall

Door Graphics



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## Application Cover Page

**Docket No.: 06-28-22**

**Permit No.: BBS22-000035**

**Applicant Name: Todd Wallace, CLE Remodeling Company**

**Project Address: 15107 Edgewater Dr.**

**Project Name: n/a**

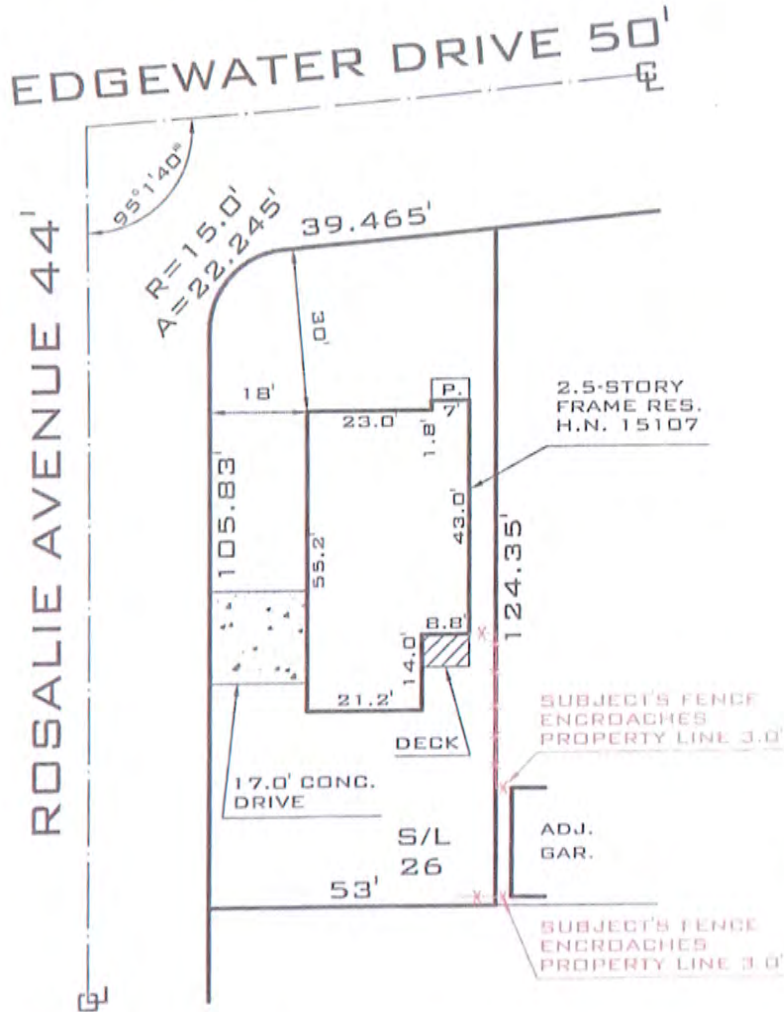
**Project: Applicant proposes the addition to an existing home.**

# RIVERSTONE

LAND SURVEYING • CIVIL ENGINEERING • DESIGN

SUBLOT(S) / ORIGINAL LOT NO(S): 26  
SUBDIVISION / ORIGINAL TOWNSHIP: SYLVANHURST EXTENSION  
PLAT VOL. NO: 55 PAGE: 15  
RECORDED IN CUYAHOGA COUNTY RECORDS  
PERMANENT PARCEL NO: 312-01-030

RIV NO. 121679  
DRAWN BY: MVB  
DATE: 12-15-2004



## ENCROACHMENT

I HEREBY DECLARE THAT THE BUILDING(S) SITUATED IN THE DESCRIBED REAL ESTATES ARE LOCATED ON AND WITH IN THE BOUNDARIES OF SAID PREMISES UNLESS SHOWN OTHERWISE. THIS SURVEY WAS NOT PERFORMED FOR THE PURPOSE OF ESTABLISHING BOUNDARY LINES, AND SHOULD NOT BE USED AS A BOUNDARY OR LAND SURVEY. THIS MORTGAGE LOCATION SURVEY IS IN ACCORDANCE WITH THE OHIO ADMINISTRATIVE CODES 4733-38 AND 4733-37.



2618 North Moreland Boulevard  
Cleveland, Ohio • 44120



Phone 216-491-2000 • Fax 216-491-9640  
Internet • www.riverstonesurvey.com

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**ADDITION PLANS FOR:**  
JOHN BALLETT RESIDENCE  
15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

**CV**



**PROPOSED GARAGE REBUILD AND 2 STORY ADDITION**

15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

**GENERAL NOTES:**  
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSS-CHECK DETAILS AND DIMENSIONS ON THE STRUCTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. FLOOR AND WALL OPENINGS, SLEEVES AND OTHER ARCHITECTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.  
**ELECTRICAL:**  
ALL ELECTRICAL IS TO BE PERFORMED BY A QUALIFIED CONTRACTOR AND TO CONFORM TO THE MOST RECENT NATIONAL, STATE AND LOCAL ELECTRICAL CODES. CONTRACTOR IS RESPONSIBLE FOR USABILITY AND UPGRADE ABILITY OF CURRENT SERVICE PANEL. CONTRACTOR AND CLIENT TO DETERMINE EXACT LOCATION OF OUTLETS, FIXTURES AND SMOKE, CO DETECTORS.

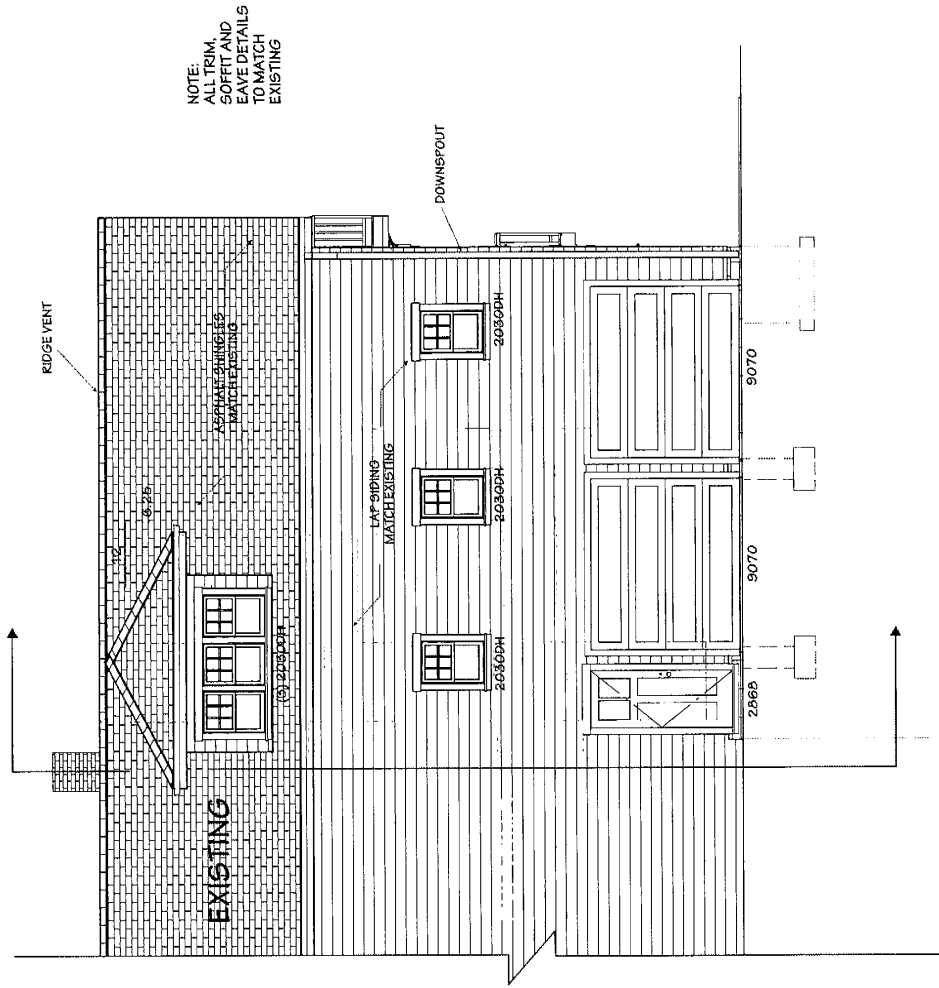
**HVAC:**  
ALL HVAC IS TO BE PERFORMED BY A QUALIFIED CONTRACTOR AND TO CONFORM TO THE MOST RECENT NATIONAL, STATE AND LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT THE CAPACITY OF CURRENT SYSTEM IS ADEQUATE OR AN UPGRADE IS NECESSARY. CONTRACTOR IS ALSO RESPONSIBLE FOR PLACEMENT AND SIZING OF ALL DUCTS AND AIR RETURNS.  
**PLUMBING:**  
ALL PLUMBING IS TO BE PERFORMED BY A QUALIFIED CONTRACTOR AND TO CONFORM TO THE MOST RECENT NATIONAL, STATE AND LOCAL CODES. CONTRACTOR IS RESPONSIBLE FOR SIZING ALL DRAINS AND VENT PIPES.

**CONTENTS:**  
CV COVER  
A1 WEST ELEVATION  
A2 SOUTH ELEVATION  
A3 EAST ELEVATION  
A4 FOUNDATION PLAN  
A5 1ST FLOOR PLAN  
A6 2ND FLOOR PLAN  
A7 3RD FLOOR PLAN  
S1 SECTION VIEW  
S2 SECTION VIEW  
E1 ELECTRICAL / HVAC (1ST FLOOR)  
E2 ELECTRICAL / HVAC (2ND FLOOR)  
E3 ELECTRICAL / HVAC (3RD FLOOR)

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**ADDITION PLANS FOR:**  
JOHN BALLETT RESIDENCE  
15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

**A1**



**NOTE:**  
ALL TRIM,  
SOFFIT AND  
EAVE DETAILS  
TO MATCH  
EXISTING

**WEST ELEVATION**  
1/4" = 1'-0"

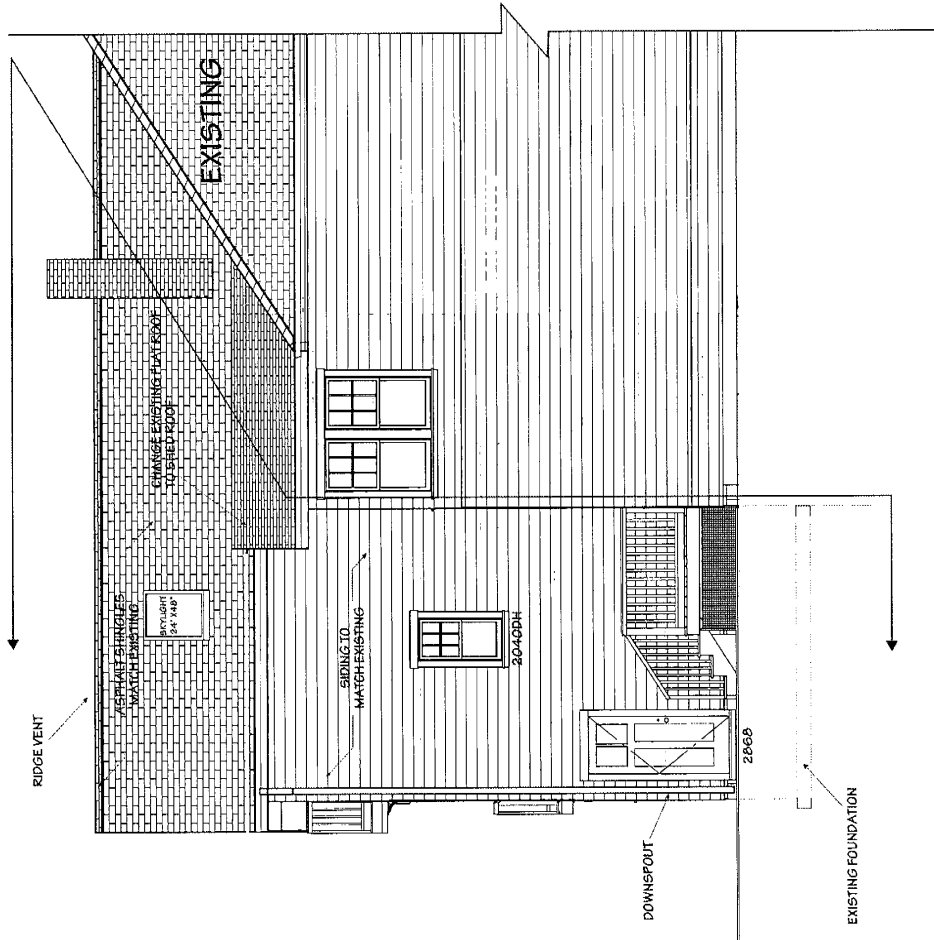
**WINDOW AND DOOR  
SIZE KEY:**

16	18	24	30	36	42	48	54	60	66	72	78	84	90	96	102	108	114	120	
width										height									

**2840DH**

DH	DOUBLE HUNG
SH	SINGLE CASEMENT
DC	DOUBLE CASEMENT
TC	TRIPLE CASEMENT
RS	RIGHT SLIDING
LS	LEFT SLIDING
AW	AWNING
SD	SLIDING DOOR
FD	FRENCH DOOR





**EAST ELEVATION**  
1/4" = 1'-0"

**NOTE:**  
ALL TRIM,  
SOFFIT AND  
EAVE DETAILS  
TO MATCH  
EXISTING

**NOTE:**  
VERIFY ALL  
ROOF PITCHES  
ON SITE

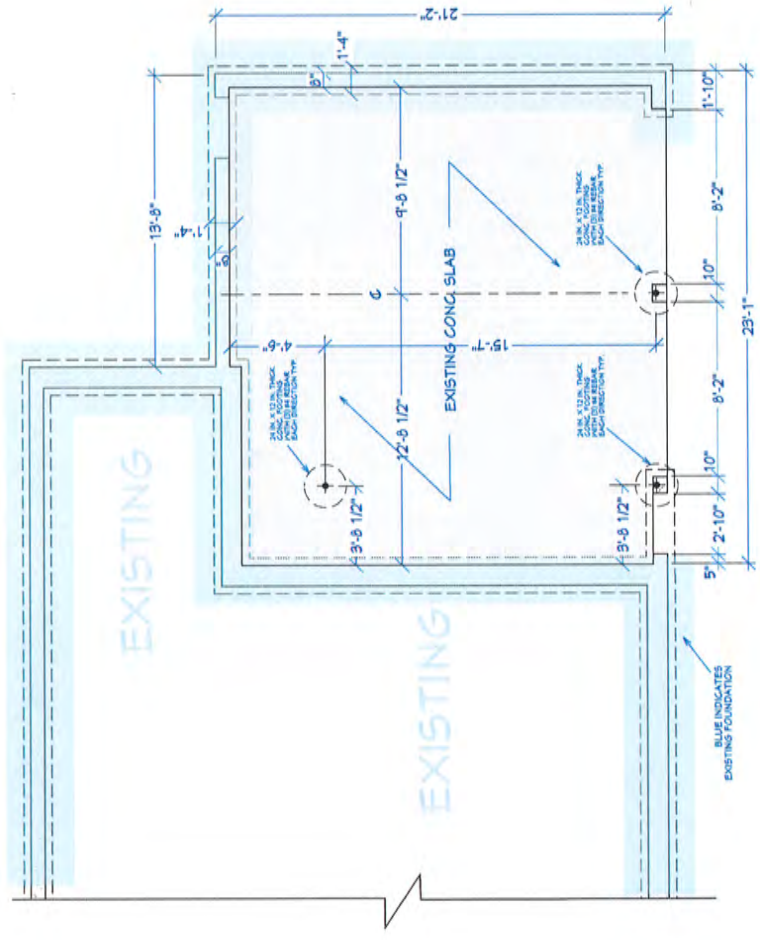
**WINDOW AND DOOR  
SIZE KEY:**

width	height	code	description
28	40	DH	DOUBLE HUNG
28	40	SH	SINGLE HUNG
28	40	SC	SINGLE CASEMENT
28	40	DC	DOUBLE CASEMENT
28	40	TC	TRIPLE CASEMENT
28	40	R5	RIGHT SLIDING
28	40	L5	LEFT SLIDING
28	40	AW	AWNING
28	40	SD	SLIDING DOOR
28	40	FD	FRENCH DOOR

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ADDITION PLANS FOR:  
JOHN BALLETT RESIDENCE  
15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

**A4**

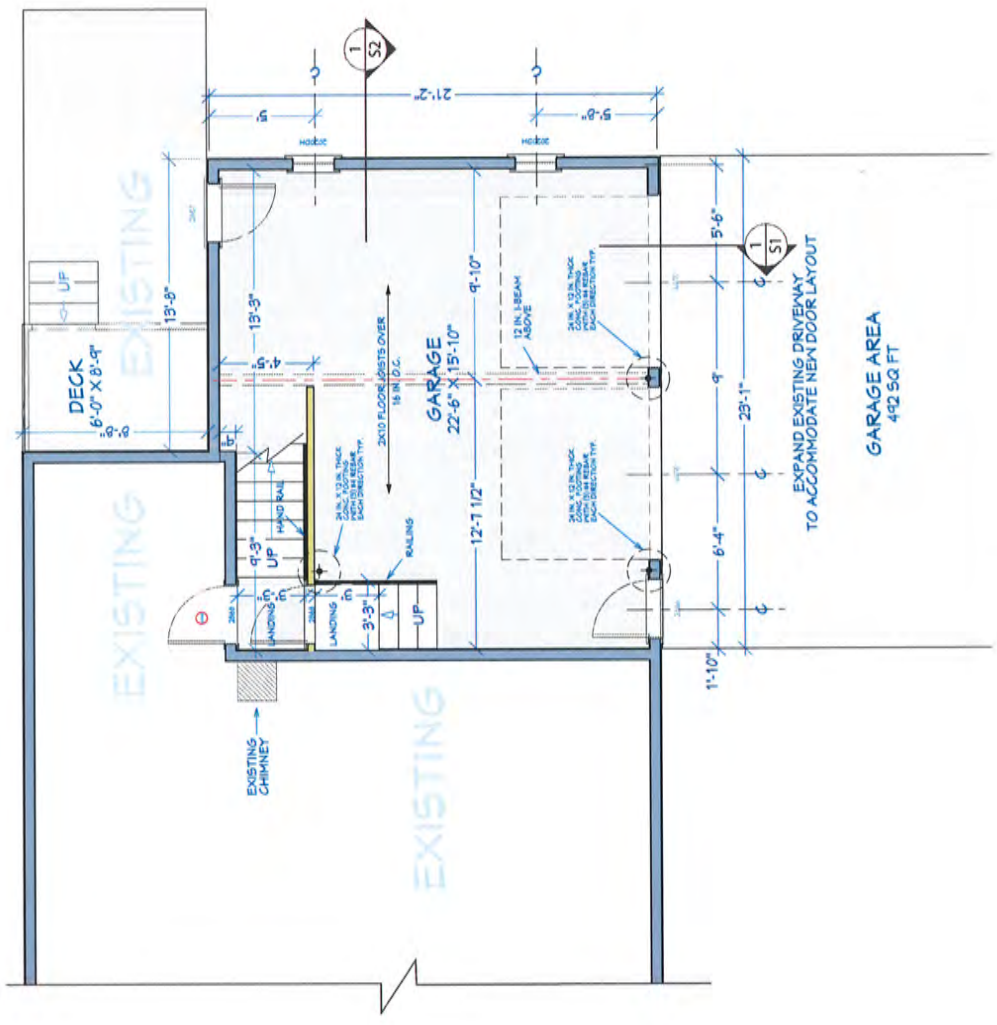


FOUNDATION PLAN  
1/4" = 1'-0"

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ADDITION PLANS FOR:  
JOHN BALLETT RESIDENCE  
15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

**A5**



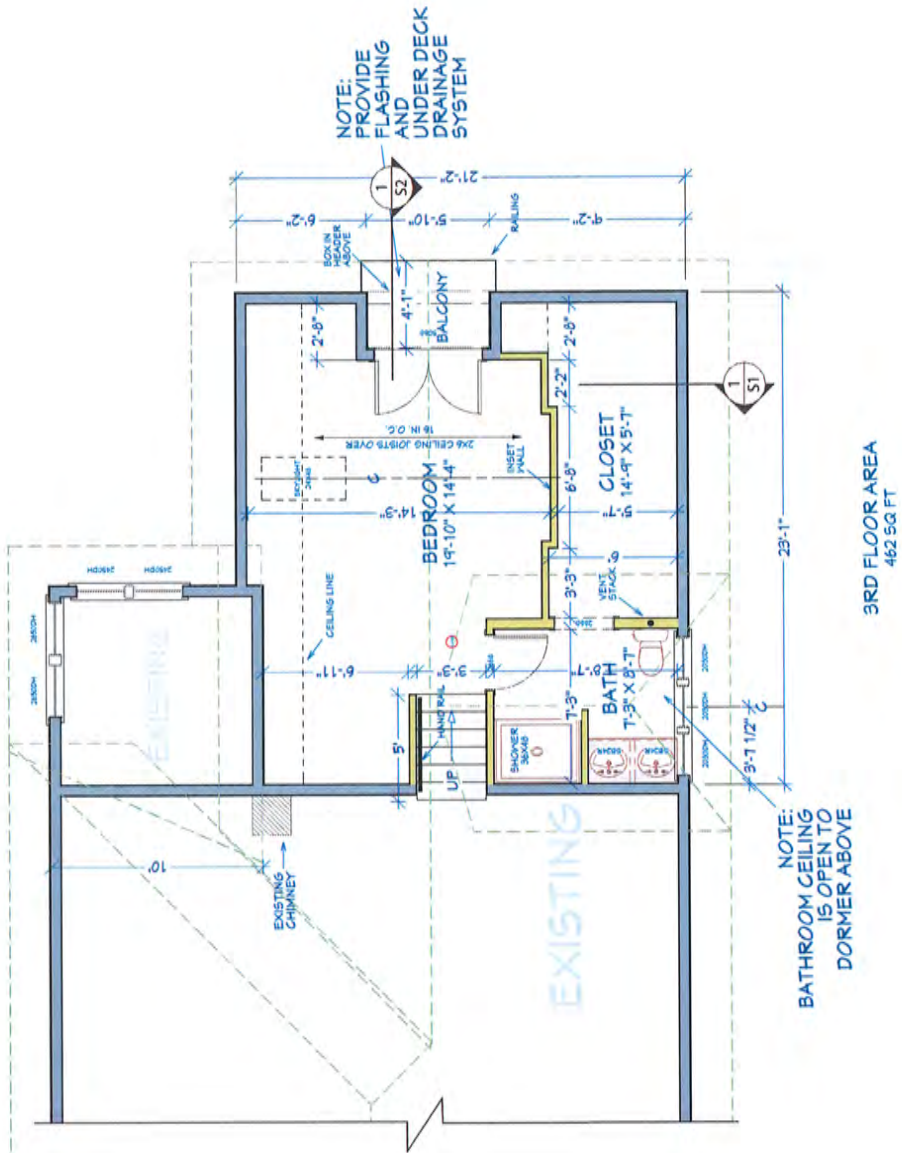
1ST FLOOR PLAN  
1/4" = 1'-0"



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ADDITION PLANS FOR:  
JOHN BALLETT RESIDENCE  
15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

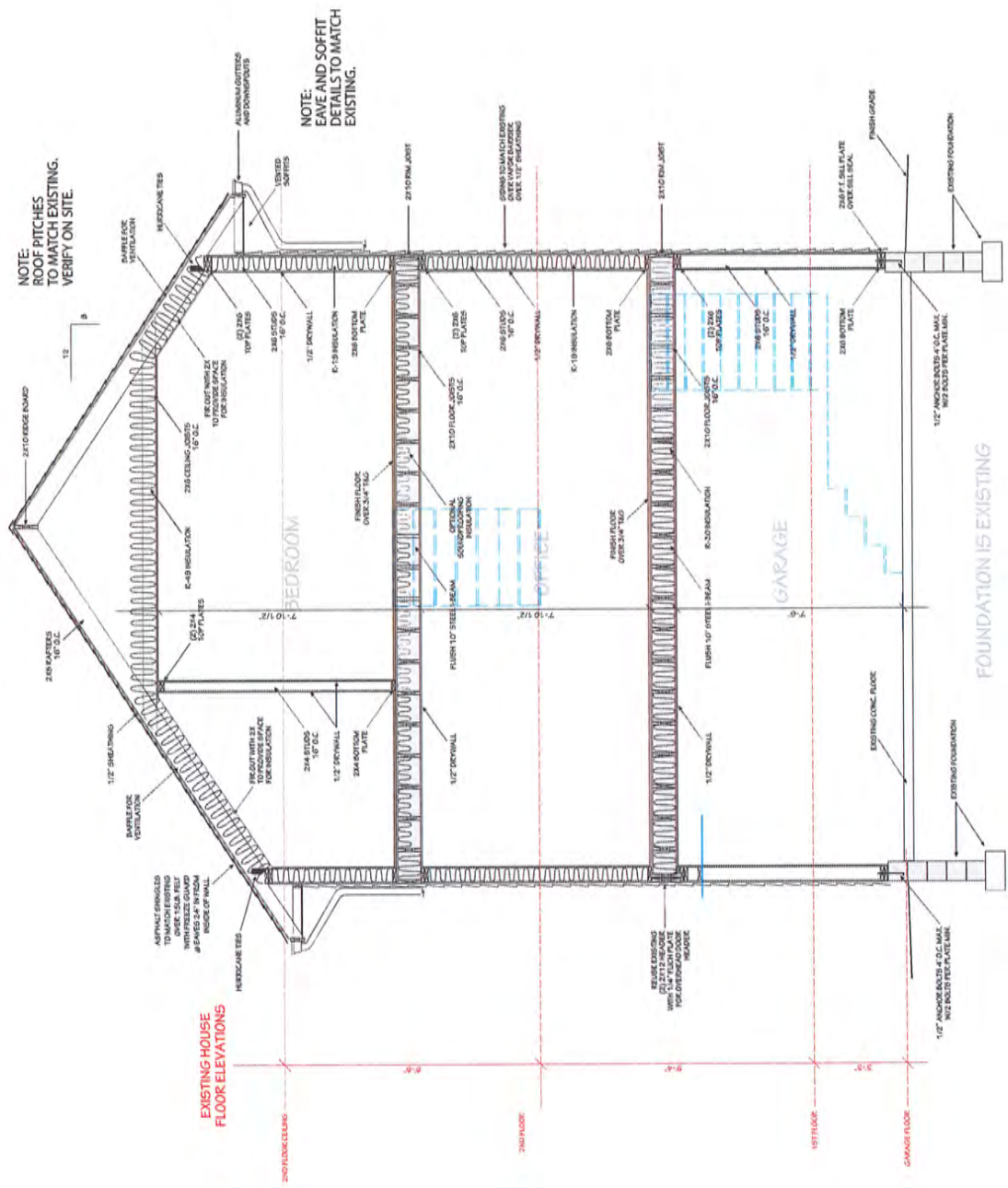
**A7**



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**ADDITION PLANS FOR:**  
JOHN BALLETT RESIDENCE  
15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

**51**

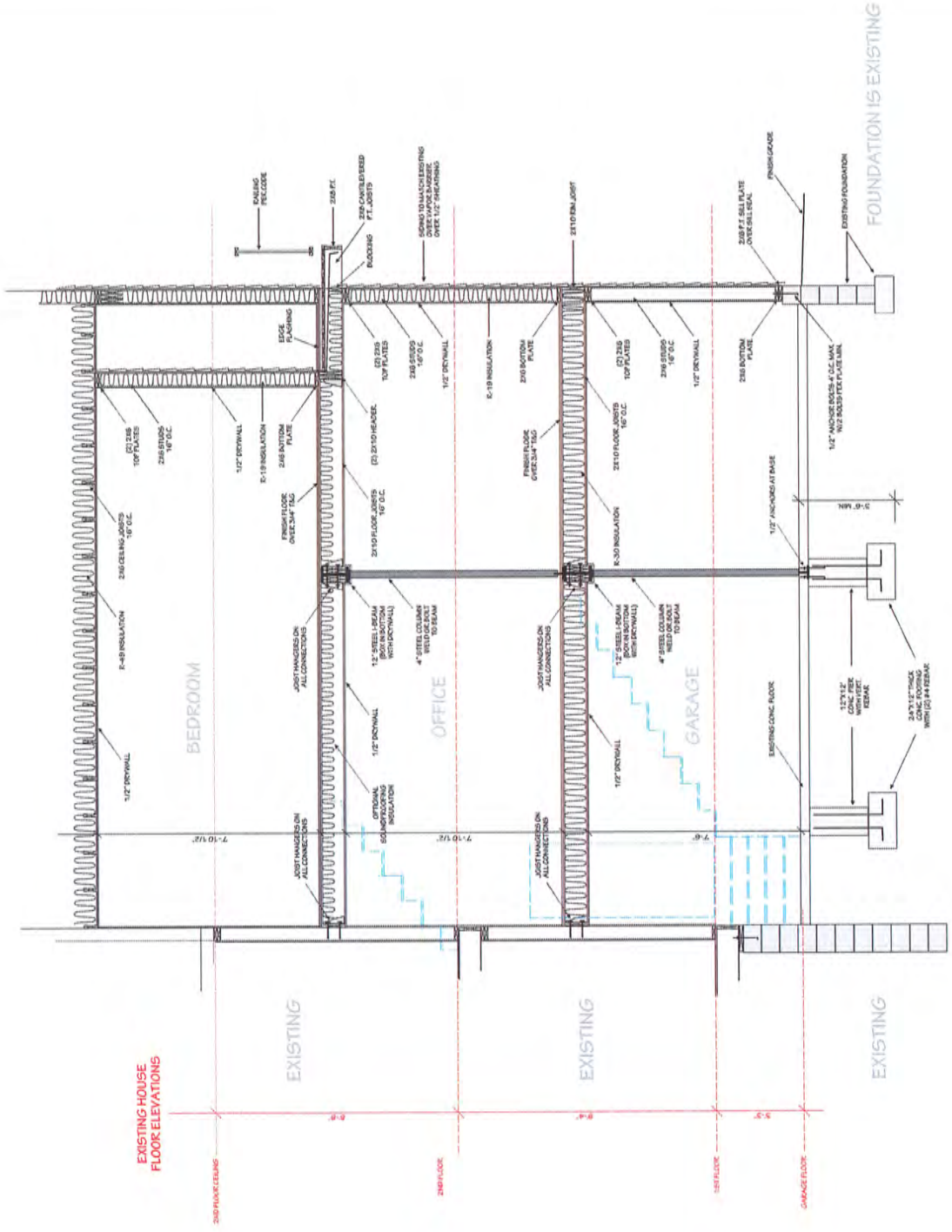


1 SECTION VIEW  
3/16" = 1'-0"

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**ADDITION PLANS FOR:**  
JOHN BALLETT RESIDENCE  
15107 EDGEWATER DRIVE  
LAKEWOOD, OHIO 44107

**S2**

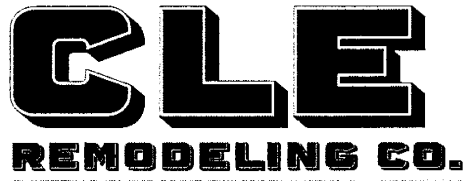


1 SECTION VIEW  
3/16" = 1'-0"









## **Balliett Residence**

**15107 Edgewater Dr.**

**Lakewood Oh, 44107**

### **Material Selections:**

**The materials on the new addition will match the existing:**

**Siding:** The current siding is an insulated, yellow vinyl panel with a 7" lap. We will salvage the siding off the existing garage and use that on the western exposure which faces Rosalie Ave. We will match the existing siding on the other facades.

**Roofing:** The existing roofing is GAF White 3- tab asphalt shingles. We will use the same roofing.

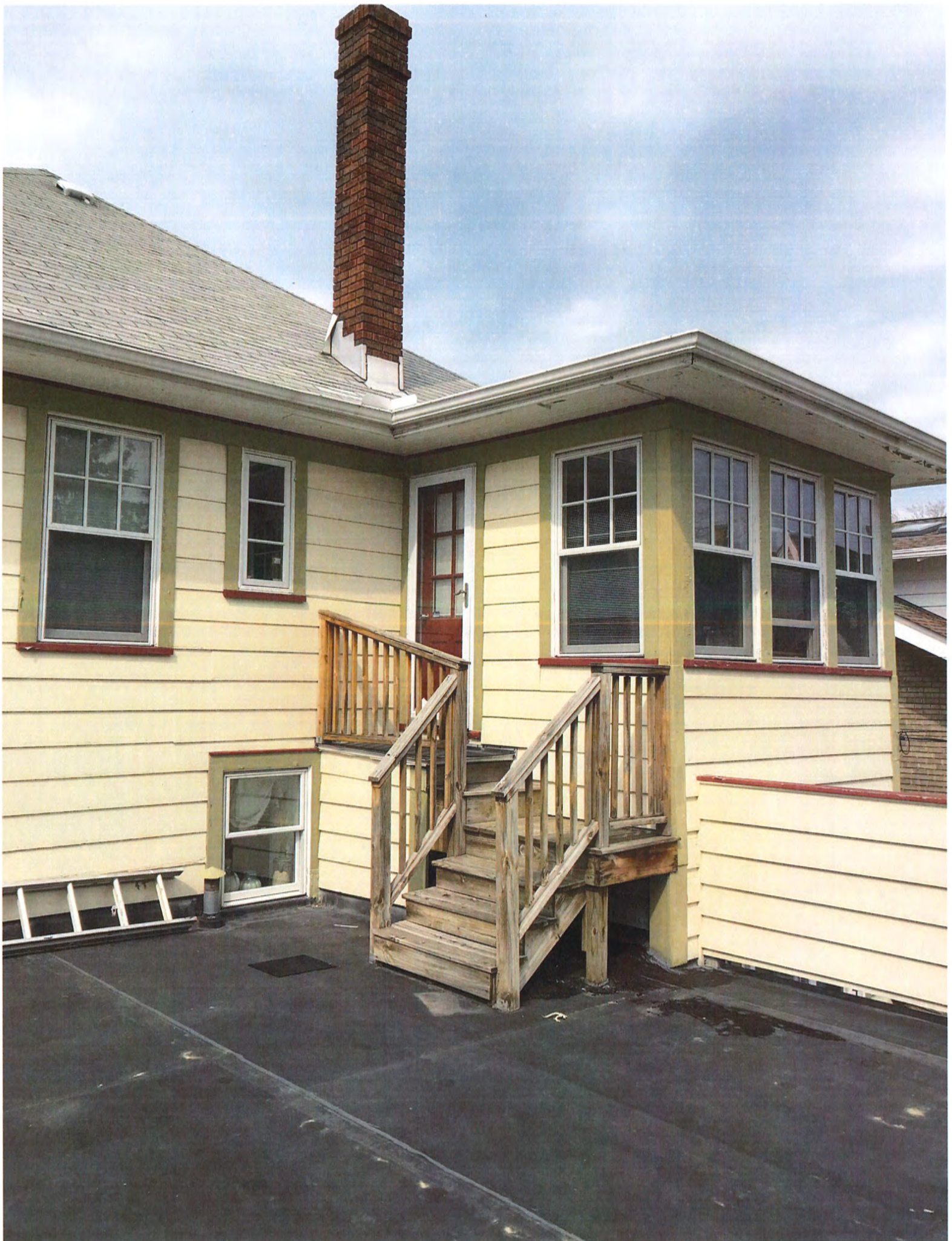
**Window and corner trim:** the windows and building corners are olive colored aluminum clad. The windowsills are burgundy clad aluminum. Both claddings will be duplicated.

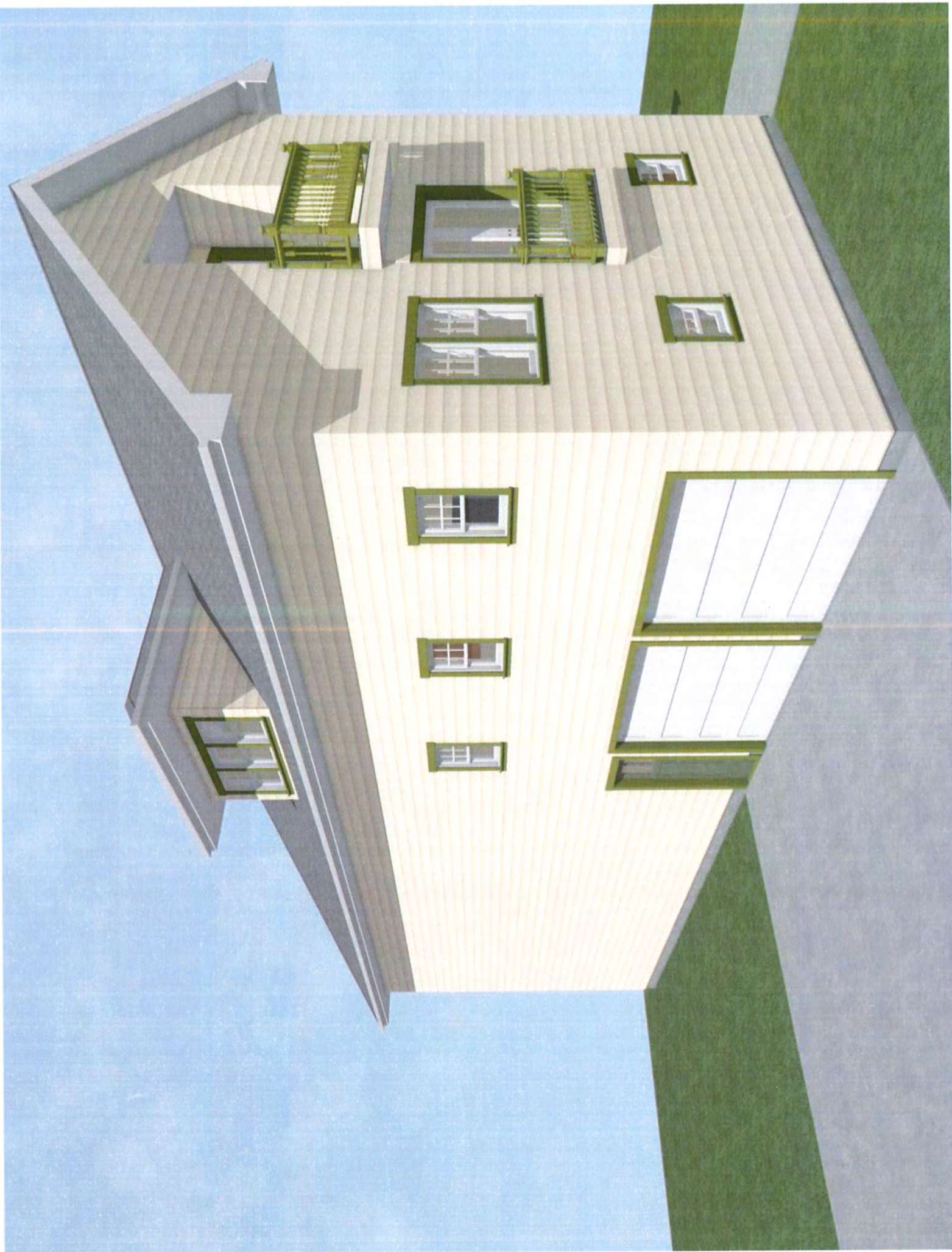
**Garage doors:** the existing garage doors will be repurposed on the new addition.

**Garage service door:** The service door will be a Craftsman style door with partial glass that will be painted to match the garage doors and trim.

**Windows:** the windows in the existing home are aluminum clad Pella double hung. We will repurpose some of the windows at the rear of the existing home on the addition. (6) new Pella windows will be installed that will match including the top divided sash.

**Driveway:** the drive will be expanded 5' wider to accommodate the new garage door configuration.

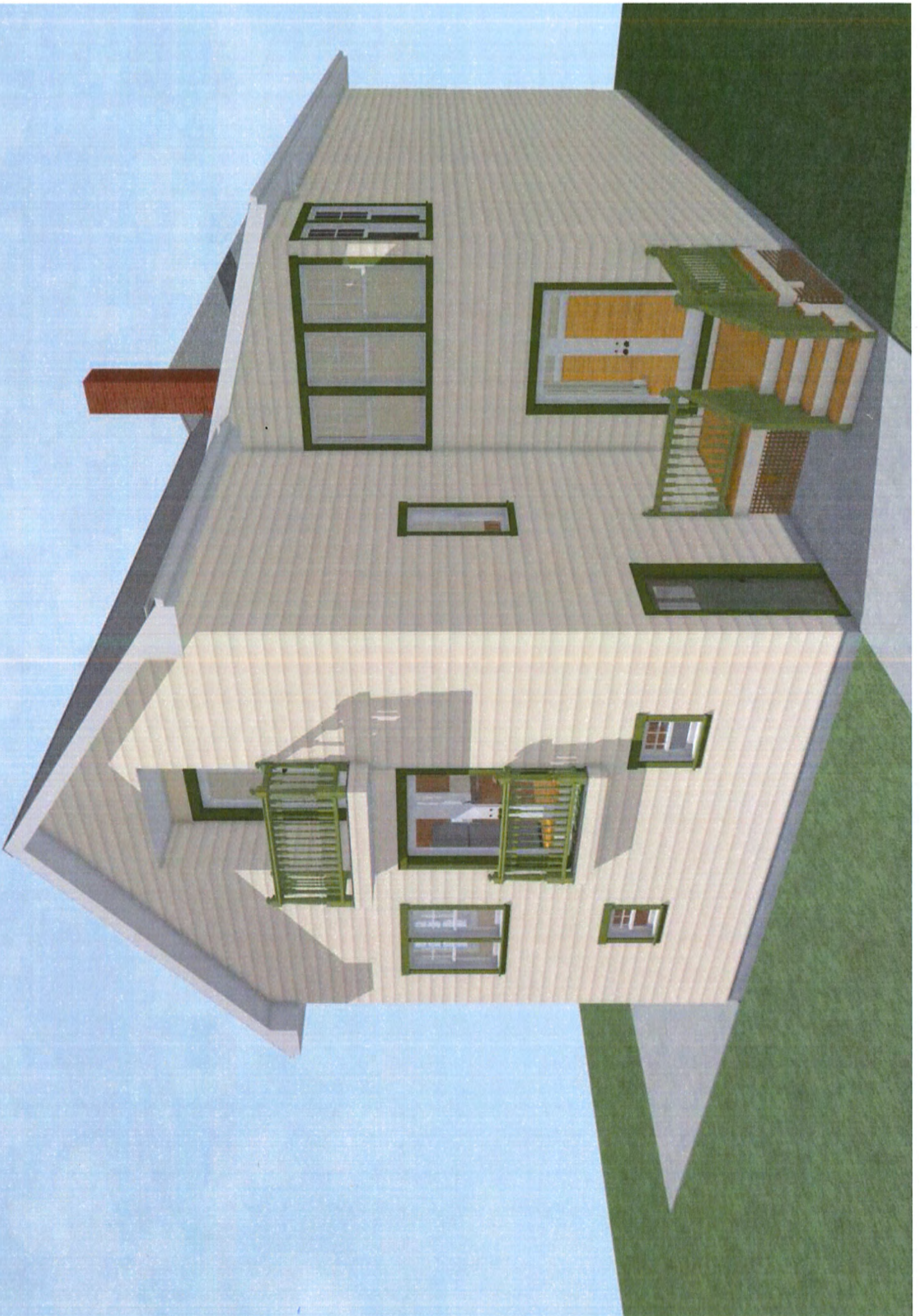














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## Application Cover Page

**Docket No.: 06-29-22**

**Permit No.: BBS22-000037**

**Applicant Name: Joey Mannarino, MR TMG LLC**

**Project Address: 2064 Lincoln Ave.**

**Project Name: n/a**

**Project: Applicant proposes the conversion of a side porch into a 4-season room.**









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## Application Cover Page

**Docket No.: 06-30-22**

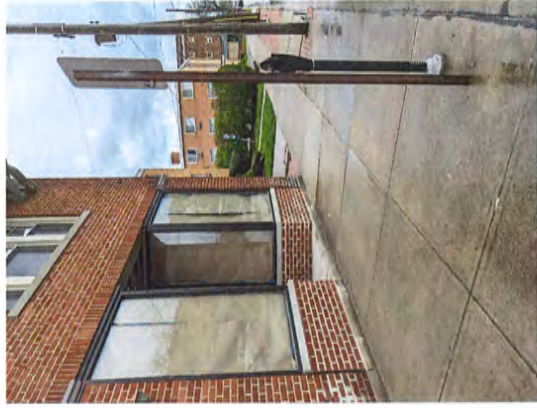
**Permit No.: BBS22-000032**

**Applicant Name: David Maniet, Maniet Architects**

**Project Address: 15023 Madison Ave.**

**Project Name: Pachamama**

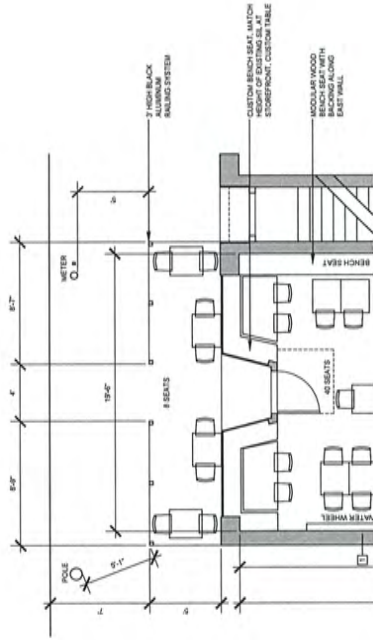
**Project: Applicant proposes outdoor sidewalk dining.**



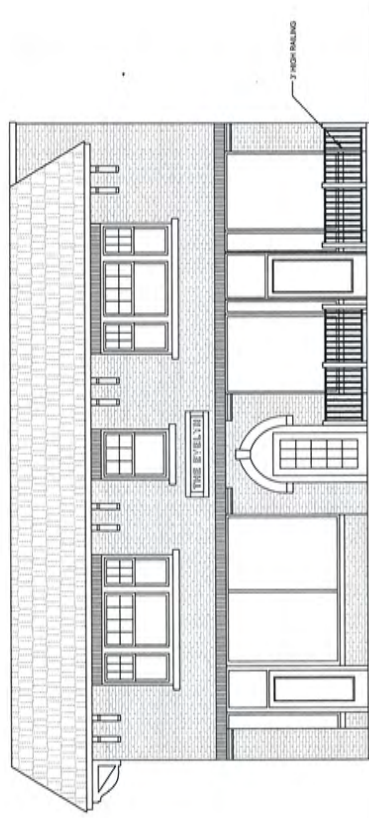
Existing Photo Looking West



Existing Photo Looking East



Proposed First Floor Plan  
1/8" = 1'-0"



Proposed Elevation  
1/8" = 1'-0"



Proposed Railing



Proposed Table



Proposed Chair

**WALL LEGEND**  
 - - - - - CONTOUR  
 - - - - - EXISTING WALL  
 - - - - - NEW STUD WALL

**MA**  
**MANIET**  
**ARCHITECTS**  
 4 1 2 . 7 2 0 . 0 4 2 4  
 DavidJManiet@gmail.com  
 Pachamama @ The Evelyn  
 15027 Madison Avenue  
 Lakewood, Ohio 44107

Sheet	<b>A-</b>
Drawn By	dmr
Date	05/02/2022
Issue For	Permit



David Maniet <djmoneit@gmail.com>

---

## 15023 Madison Ave Consent

---

**Jim Miketo** <jim@forestcityshuffle.com>  
To: David Maniet <davidjmaniet@gmail.com>

Mon, Sep 20, 2021 at 10:06 AM

David,

Please accept this email as my consent for you to act as my agent for the Project at 15023 Madison Ave. I also consent for you to apply our submission to ABR.

Thanks,  
Jim

--

Jim Miketo  
Forest City Shuffleboard Arena and Bar  
(440) 666-5836  
[www.forestcityshuffle.com](http://www.forestcityshuffle.com)



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## Application Cover Page

**Docket No.: 06-31-22-A**

**Permit No.: BBS22-000033**

**Applicant Name: Elicia Gibbon, Gibbon Architecture**

**Project Address: 14706 Detroit Ave.**

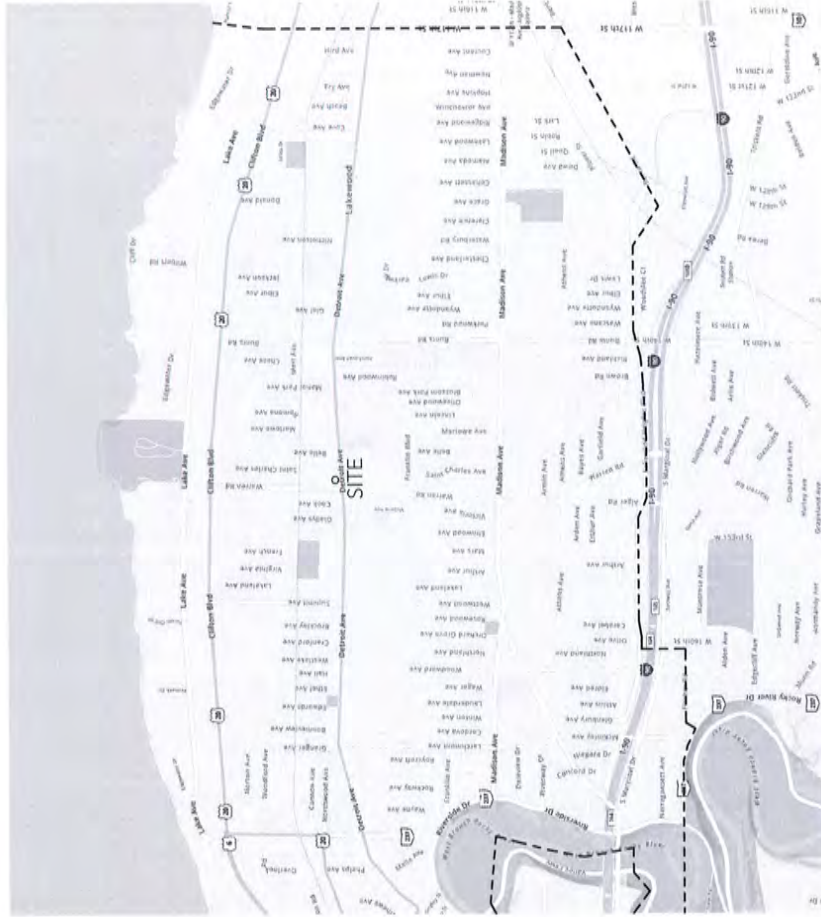
**Project Name: Geiger's**

**Project: Applicant proposes storefront and rear entry renovation.**

# GEIGER'S - LAKEWOOD

14710 Detroit Avenue

Lakewood, Ohio 44107



VICINITY MAP

**Geiger's - Lakewood**  
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH



## PROJECT TEAM

### OWNER:

CHAS & GORDON GEIGER  
14710 DETROIT AVENUE  
LAKEWOOD, OHIO 44107  
(216) 521-3881

### ARCHITECT:

GIBBON ARCHITECTURE  
3012 CHADBOURNE ROAD  
SHAKER HEIGHTS, OHIO 44120  
(216) 385-2385

## CODE REVIEW

### GOVERNING CODES:

- 2017 OHIO BUILDING CODE
- 2020 CODIFIED ORDINANCES OF THE CITY OF LAKEWOOD, OH
- 2017 NATIONAL ELECTRICAL CODE, WITH OHIO AMENDMENTS
- 2017 INTERNATIONAL MECHANICAL & PLUMBING CODES, WITH OHIO AMENDMENTS
- OHIO ACCESSIBILITY GUIDELINES

### PROJECT DESCRIPTION:

STOREFRONT AND PARKING LOT ENTRY RENOVATION OF AN EXISTING LOCAL SPORTS RETAIL LOCATION.

### SITE ADDRESS:

14710 DETROIT AVENUE  
LAKEWOOD, OH 44107

### SITE PPN: 312-17-025 & 312-17-026

**BUILDING HEIGHT (EXISTING):** 2 STORY  
**BUILDING AREA (EXISTING):** 11,274 SF (3,990 SF + 7,284 SF)  
**LOT SIZE (EXISTING):** 14,622 SF (7,168 SF + 7,454 SF), 336 ACRES  
**PARKING:** REAR LOT, ON-STREET PARKING

**OCCUPANCY USE GROUP CLASSIFICATION:** MERCANTILE & BUSINESS

**ZONING DISTRICT:** (C-1) COMMERCIAL, OFFICE

**HISTORIC DESIGNATION:** DOWNTOWN LAKEWOOD NATIONAL HISTORIC DISTRICT

**CONSTRUCTION TYPE:** III-B

**FIRE SUPPRESSION:** NOT REQUIRED

### LAKEWOOD ZONING CODE:

§ 1143.05 OFF-STREET PARKING REQUIREMENTS:  
RETAIL: 11,000 GSF = 6 SPACES  
OFFICE: 21,000 GSF = 12 SPACES  
**18 REQUIRED**

§ 1143.10 **PARKING SPOTS - ON SITE: 17**  
**PARKING SPOTS - ADJACENT PUBLIC LOT: 95**

§ 1143.12 **12,500 SF BICYCLE PARKING SPACES REQUIRED**  
**WITHIN 250 FEET OF MAIN ENTRANCE.**  
**5 REQUIRED**



DSC | June 2, 2022  
©2022 GIBBON ARCHITECTURE



NOTES:

- ANTIQUE WHITE PAINT
- BLACK, PIN-MOUNTED, HALO-LIT 'GEIGER'S'
- EXISTING AWNING FRAME MOVED UP 1'. NEW BLACK CANVAS COVER
- DISPLAY WINDOW & DOOR AT BAKELITE PANELS, EXTENDED 1' HIGHER
- 3'-6" WIDE DOOR RETAINED
- EXISTING WINDOW AT CURVED WALL EXTENDED 1' LOWER, DISPLAY
- AREA CONSTRUCTED BEHIND
- NEW SIDE ENTRY AT EXISTING ADDITION (NEAR TENANT ENTRY)
- CONVENIENCE WALK ADDED NEAR NEW EVERGREEN TREE
- PARKING MAXIMIZED. ANGLED PARKING WOULD DECREASE CURRENT
- PARKING COUNT ~20%
- CEILING AT BANK DRIVE-THRU AWNING REPLACED WITH RUSTIC WOOD
- TO MATCH PLANTERS & DIRECTORY. ADD/REPLACE CEILING LIGHTS
- CURB EXTENDED FOR FUTURE ADDITION
- BLACK FENCING AROUND ROOFTOP EQUIPMENT (SEE PGS. 2-4)
- WATERPROOF & INSULATE BASEMENT WALL AT NORTH ELEVATION



**Geiger's - Lakewood**  
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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## NORTH VIEW

**Geiger's - Lakewood**  
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

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**Geiger's - Lakewood**

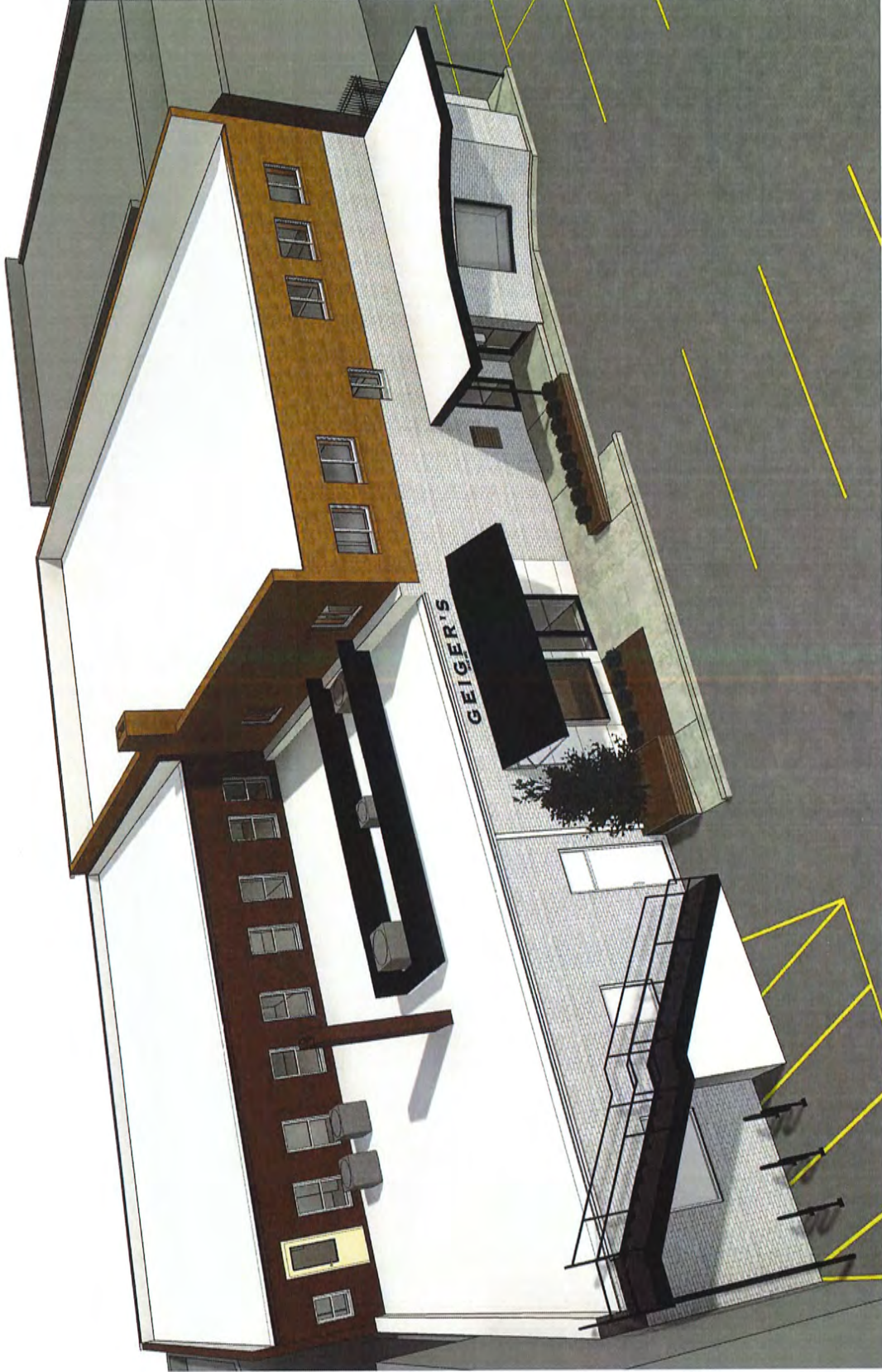
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

**NORTH VIEW**

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ARCHITECTURE



# Geiger's - Lakewood

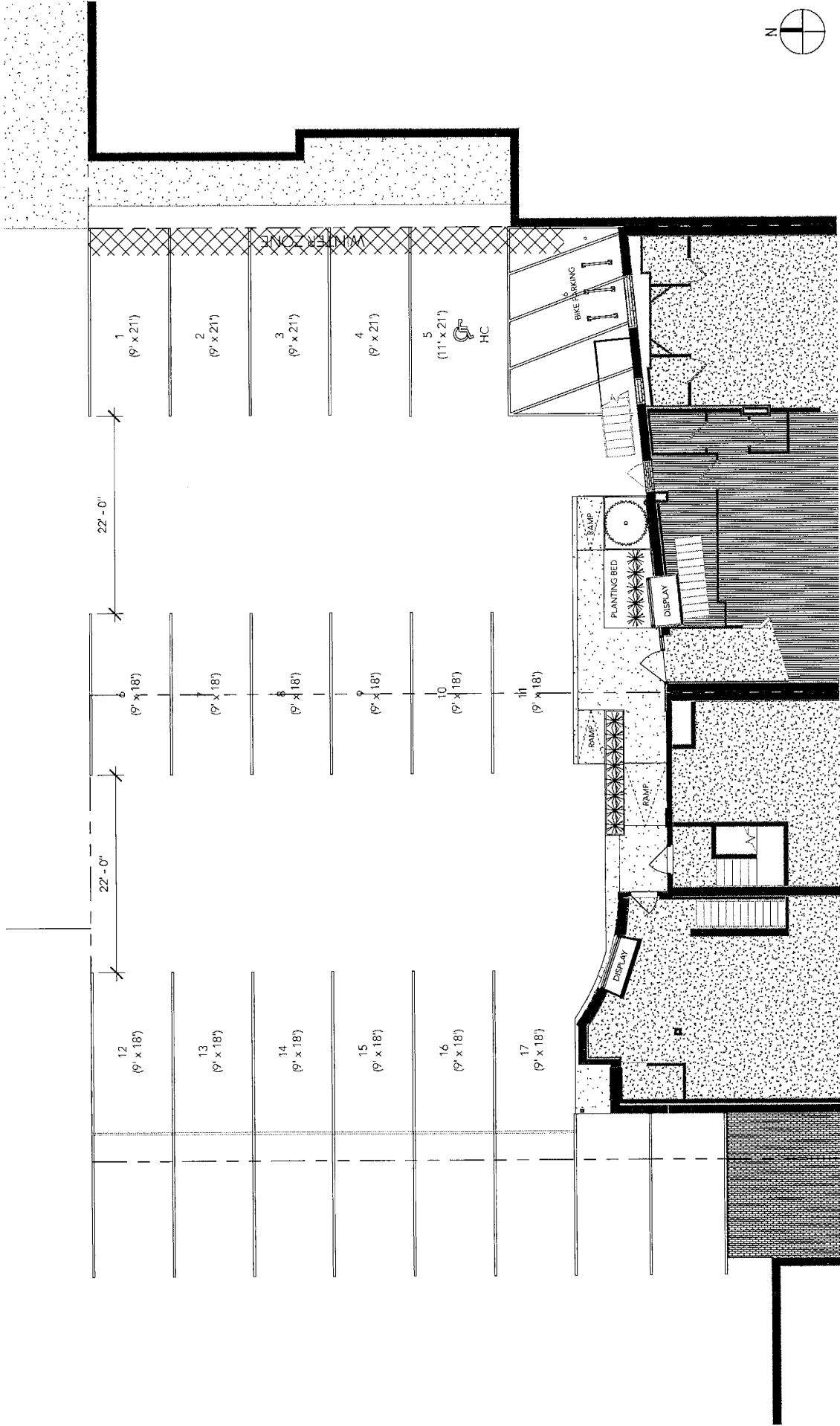
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

# NORTH VIEW

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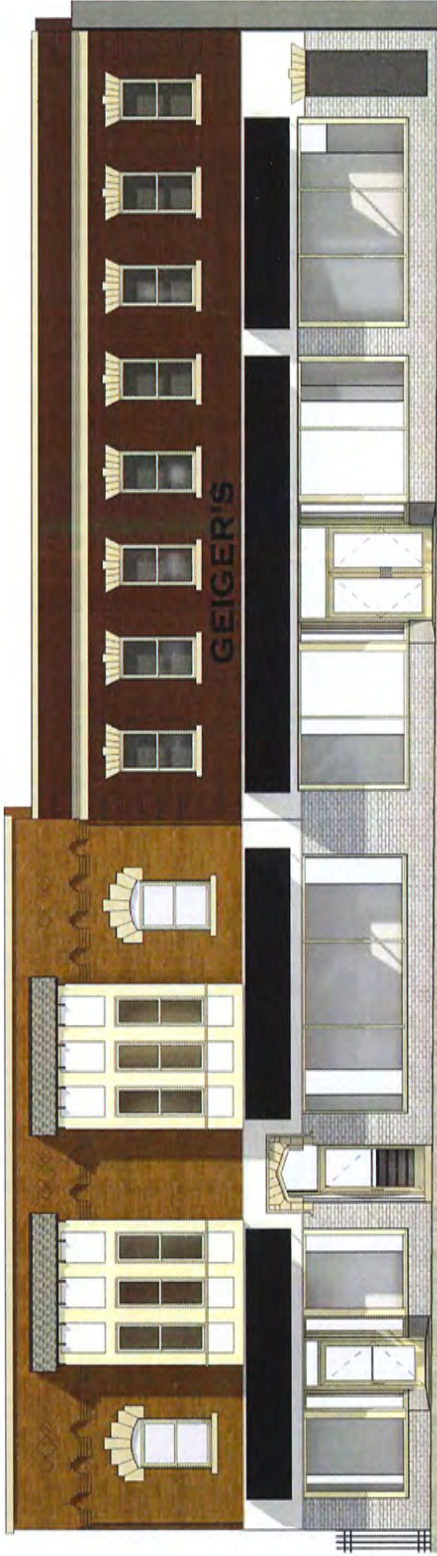


**SITE PLAN**  
SCALE: 1" = 10'-0"

**Geiger's - Lakewood**  
SCHEMA TIC DESIGN  
14710 Detroit Avenue, Lakewood, OH

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NOTES:

- ANTIQUE WHITE PAINT
- BLACK, PIN-MOUNTED, HALO-LIT 'GEGER'S'
- NEW BLACK CANVAS COVER ON EXISTING FRAMES



**Geiger's - Lakewood**  
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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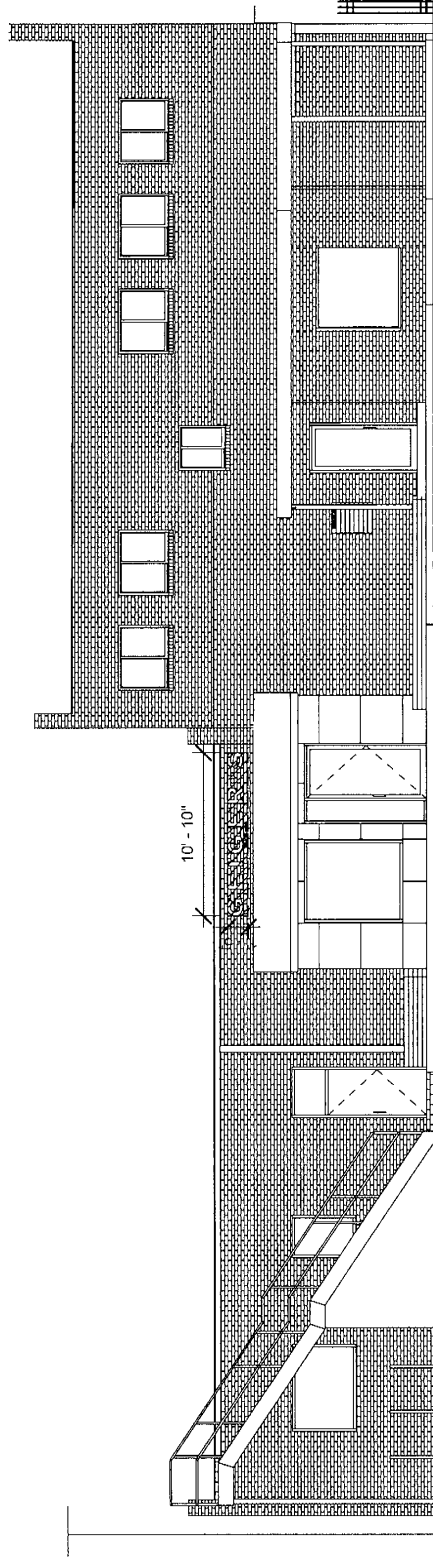
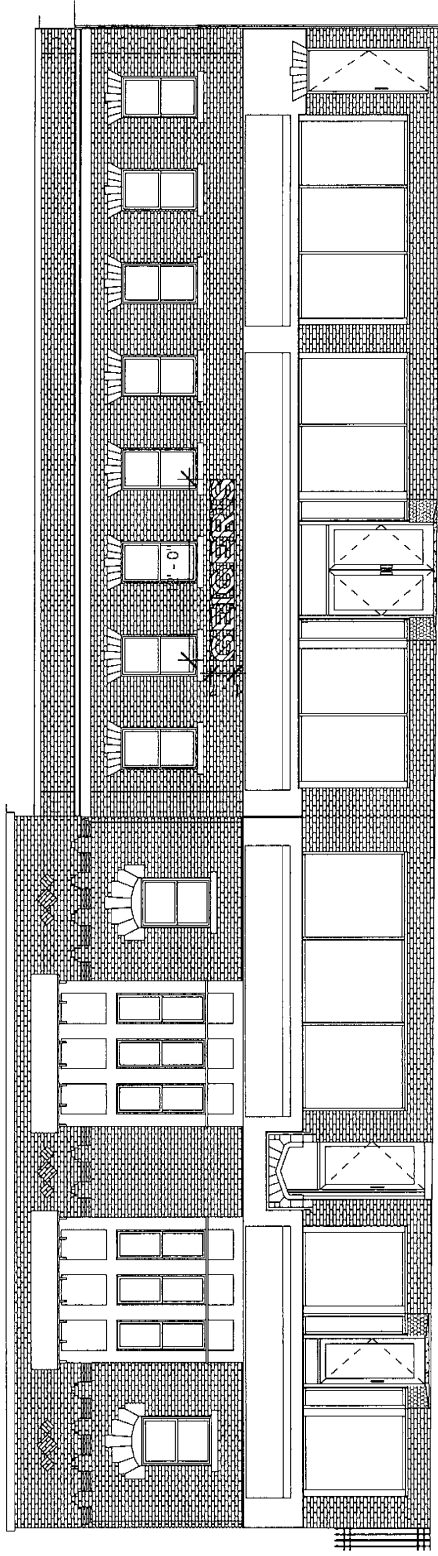
SIGNAGE AREA ALLOWED: 1.35sf per 1 lineal ft of bldg frontage not to exceed 100 sf.

99.5' - 0" x 1.5 = 149.25 > 100 sf

Front Sign = 19 sf (12'-0" x 1'-7")

Rear Sign = 15.3 sf (10'-10" x 1'-5")

Rear Directory Sign = 5.5 sf (2'-0" x 2'-9")



**Geiger's - Lakewood**  
SCHEMATIC DESIGN  
14710 Detroit Avenue, Lakewood, OH

**ELEVATIONS**  
SCALE: 1/8" = 1'-0"

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ARCHITECTURE



# Geiger's - Lakewood

SCHEMATIC DESIGN  
14710 Detroit Avenue, Lakewood, OH

# EXISTING VIEWS

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## GENERAL NOTES

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- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY, STATE, FEDERAL, AND ALL OTHER APPLICABLE CODE REQUIREMENTS. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY LOCAL, STATE, AND FEDERAL LAW TO INSURE PUBLIC AND WORKER SAFETY.
- C. ALL CONTRACTORS SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS, DIMENSIONS, AND RISKS PRIOR TO BEGINNING ANY WORK. ANY DOCUMENTS, DIMENSIONS, OR NOTES PROVIDED BY GIBBON ARCHITECTURE ARE MEANT TO ESTABLISH DESIGN INTENT AND ARE FOR REFERENCE ONLY.
- D. ALL CONTRACTORS SHALL BE RESPONSIBLE TO COORDINATE THEIR WORK WITH THE SCOPE OF OTHER TRADES AND THE GENERAL CONTRACTOR.
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- H. FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH CLEAN UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT, AND WELL SCRIBED. FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE PROVISIONS FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
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## SCOPE DESCRIPTION

### DIVISION 2 - DEMOLITION

1. REMOVE EXISTING SIGNAGE & AWNING COVERS. RETAIN AWNING FRAMES FOR REUSE.
2. REMOVE, CAP, AND PATCH EXISTING UNUSED ELECTRICAL APPURTANCES ON EXPOSED FACADE.
3. REMOVE EXISTING REAR DISPLAY WINDOWS. EXTEND MASONRY OPENINGS & PROVIDE NEW LINTELS AS REQUIRED
4. REMOVE EXISTING REAR STOREFRONT ENTRY DOORS
5. REMOVE & REPLACE EXISTING GUTTERS AT REAR
6. REMOVE BRICK & PROVIDE NEW LINTEL AT AREA OF NEW REAR STOREFRONT ENTRY DOOR
7. REMOVE PANELING FROM UNDER EXPOSED EXTERIOR STAIRS
8. REMOVE ASPHALT PARKING LOT AT REAR. WATERPROOF & INSULATE NORTH BASEMENT WALL BEFORE REPLACEMENT OF ASPHALT
9. REMOVE EXISTING CONCRETE ENTRY LANDING AT REAR
10. REMOVE & REPLACE EXISTING EXPOSED METAL COLUMN AT REAR TENANT ENTRY

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1. NEW REAR ENTRY FROST SLAB & RAMPS
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### DIVISION 4 - MASONRY

1. CLEAN AND REPAIR EXISTING EXPOSED MASONRY AS REQUIRED

### DIVISION 5 - METALS

1. STEEL LINTEL L3.5 x 3.5 x 1/4, (1) PER 4" BEARING WALL WIDTH W/ 6" BEARING
2. PROVIDE NEW BREAK METAL FASCIA AT REAR "BANK DRIVE-THRU". COLOR BLACK.

### DIVISION 6 - WOOD PLASTIC & COMPOSITES

1. PLANTERS: 2x CEDAR. APPLY OIL-BASED SEMI-TRANSPARENT STAIN WITH UV INHIBITORS BEFORE FABRICATION. LINE INTERIOR PERIMETER OF PLANTER W/ 6 MIL BLACK PLASTIC SHEETING
2. FIBER CEMENT BOARD SHEATHING ENCLOSURE UNDER EXISTING EXPOSED EXTERIOR STAIRS
3. LINE REAR DISPLAY WINDOWS WITH CEDAR PANELING STAINED TO MATCH EXTERIOR PLANTERS
4. NEW DIRECTORY SIGN: STAINED CEDAR TO MATCH

### DIVISION 7 - THERMAL & MOISTURE PROTECTION

1. PROVIDE JOINT SEALER AT PERIMETER OF ALL DOOR FRAMES COMPATIBLE WITH ADJOINING MATERIALS. MATCH COLOR OF ADJACENT MATERIALS. PROVIDE BACKER ROD FOR GAPS 1/8" OR LARGER.

### DIVISION 8 - OPENINGS

1. THERMALLY BROKEN ALUMINUM FRAMED STOREFRONT SYSTEM. BASIS OF DESIGN IS KAWNEER WITH 1.75" SIGHT LINE MAXIMUM. SUBMIT SHOP DRAWINGS FOR REVIEW BY DESIGN SPECIALIST. BLACK FINISH.
2. HARDWARE: PROVIDE NON-REMOVABLE HINGE PINS FOR EXTERIOR EXPOSURE. PROVIDE 6 PIN TUMBLERS. KEY LOCKS TO OWNER'S NEW MASTER KEY SYSTEM. SUBMIT (3) KEYS PER LOCK AND MASTER KEY AS REQUESTED. HARDWARE BLACK FINISH.
3. GLAZING TO BE CLEAR, TEMPERED. LOW-E, INSULATED GLASS UNITS.
4. NEW COMMERCIAL OUTSWING DOORS, FINISH BLACK. PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS OF ANSI 117.1

### DIVISION 9 - FINISHES

1. EXTERIOR PAINT & PRIMER BASIS OF DESIGN IS BENJAMIN MOORE. SUBMIT PRODUCT DATA & COLOR SAMPLES FOR ARCHITECT APPROVAL. APPLY PAINT TO SURFACES PER MANUFACTURER'S INSTRUCTION FOR ENVIRONMENTAL CONDITIONS & DO NOT PERFORM WORK UNTIL THESE CONDITIONS ARE MET. COORDINATE WITH SIGNAGE & LIGHTING INSTALLATION.

### DIVISION 10 - SPECIALTIES

1. SIGNAGE- SUBMIT SHOP DRAWINGS, COLOR AND PAINT SAMPLES FOR REVIEW BY ARCHITECT. SEE ATTACHED DRAWINGS FOR SIGNAGE COLOR AND LOCATION. SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT.
2. AWNING: SUBMIT SHOP DRAWINGS AND FABRIC SAMPLE TO ARCHITECT FOR REVIEW. FABRIC BASIS OF DESIGN TEMPOTEST BLACK.

### DIVISION 26 - ELECTRICAL

1. LIGHTING INTENSITY SHALL NOT EXCEED 75 FOOT CANDLES. PHOTOCELL TO LIMIT ILLUMINATION BETWEEN 2:30AM AND 5 AM. SUBMIT CUT SHEET TO ARCHITECT FOR APPROVAL. CONCEAL CONDUIT ON EXTERIOR OF BUILDING

### DIVISION 32 - EXTERIOR IMPROVEMENTS


1. BIKE RACKS BASIS OF DESIGN: DERO ROLLING RACK IN BLACK FINISH



**PART 4 AUTHORIZATION**

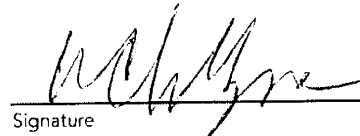
We are delighted to submit this proposal for your review and appreciate the opportunity to work with you. If this Proposal meets your expectations, please sign below where indicated and return (1) copy for our records. If you should have any questions regarding this Proposal, please do not hesitate to contact Jeff or Elicia directly.

Gibbon Architecture, LLC:

  
\_\_\_\_\_  
Signature 06/10/2021  
Date

Jeff Gibbon, Principal  
\_\_\_\_\_  
Name and Title

Client (Authorized Signature):

  
\_\_\_\_\_  
Signature 6/15/2021  
Date

W. CHARLES GEISLER  
\_\_\_\_\_  
Name and Title *President*



BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## Application Cover Page

**Docket No.: 06-31-22-S**

**Permit No.: BBS22-000040**

**Applicant Name: Elicia Gibbon, Gibbon Architecture**

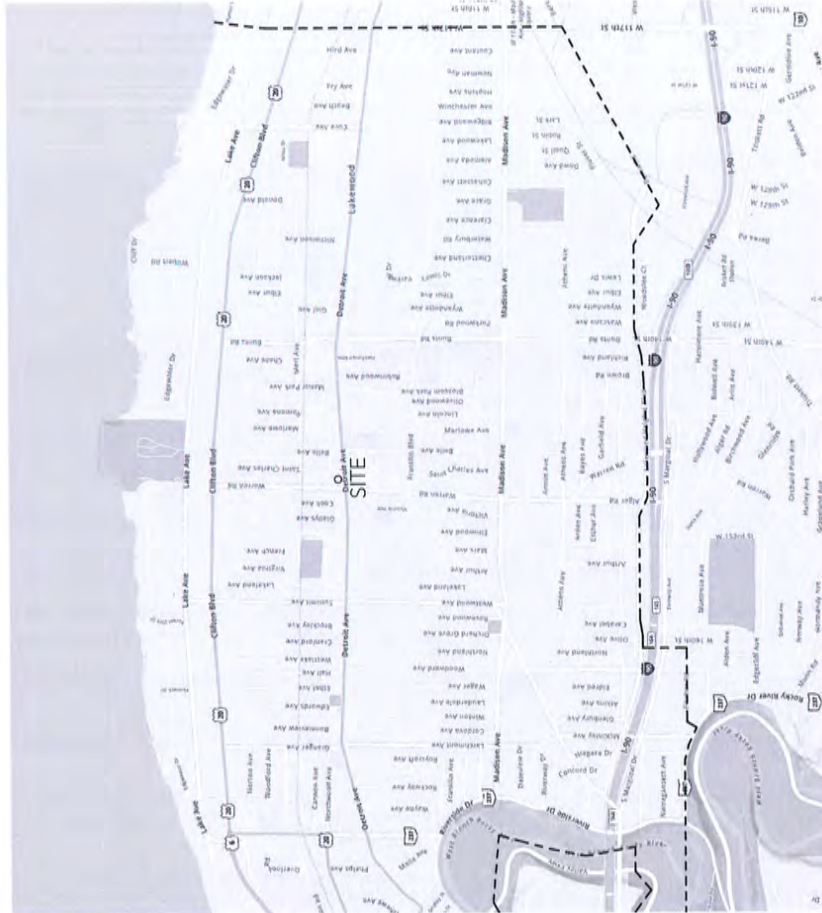
**Project Address: 14706 Detroit Ave.**

**Project Name: Geiger's**

**Project: Applicant proposes signage for an existing business.**

# GEIGER'S - LAKEWOOD

14710 Detroit Avenue  
Lakewood, Ohio 44107



VICINITY MAP

## Geiger's - Lakewood

SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH



## PROJECT TEAM

### OWNER:

CHAS & GORDON GEIGER  
14710 DETROIT AVENUE  
LAKEWOOD, OHIO 44107  
(216) 521-3881

### ARCHITECT:

GIBBON ARCHITECTURE  
3012 CHADBOURNE ROAD  
SHAKER HEIGHTS, OHIO 44120  
(216) 385-2385

## CODE REVIEW

### GOVERNING CODES:

- 2017 OHIO BUILDING CODE
- 2020 CODIFIED ORDINANCES OF THE CITY OF LAKEWOOD, OH
- 2017 NATIONAL ELECTRICAL CODE, WITH OHIO AMMENDMENTS
- 2017 INTERNATIONAL MECHANICAL & PLUMBING CODES, WITH OHIO AMMENDMENTS
- OHIO ACCESSIBILITY GUIDELINES

### PROJECT DESCRIPTION:

STOREFRONT AND PARKING LOT ENTRY RENOVATION OF AN EXISTING LOCAL SPORTS RETAIL LOCATION.

### SITE ADDRESS:

14710 DETROIT AVENUE  
LAKEWOOD, OH 44107

### SITE PPN: 312-17-025 & 312-17-026

**BUILDING HEIGHT (EXISTING):** 2 STORY  
**BUILDING AREA (EXISTING):** 11,274 SF (3,980 SF + 7,294 SF)  
**LOT SIZE (EXISTING):** 14,622 SF (7,168 SF + 7,454 SF) .336 ACRES  
**PARKING:** REAR LOT, ON-STREET PARKING

### OCCUPANCY USE GROUP CLASSIFICATION:

MERCANTILE & BUSINESS

### ZONING DISTRICT: (C1) COMMERCIAL, OFFICE

**HISTORIC DESIGNATION:** DOWNTOWN LAKEWOOD NATIONAL HISTORIC DISTRICT

### CONSTRUCTION TYPE: III-B

### FIRE SUPPRESSION: NOT REQUIRED

### LAKEWOOD ZONING CODE:

§ 1143.05 OFF-STREET PARKING REQUIREMENTS:  
RETAIL: 1:1,000 GSF = 6 SPACES  
OFFICE: 2:1,000 GSF = 12 SPACES  
18 REQUIRED

### PARKING SPOTS - ON SITE: 17

PARKING SPOTS - ADJACENT PUBLIC LOT: 95

§ 1143.12 12,500 SF BICYCLE PARKING SPACES REQUIRED WITHIN 250 FEET OF MAIN ENTRANCE.  
5 REQUIRED



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NOTES:

- ANTIQUE WHITE PAINT
- BLACK, PIN-MOUNTED, HALO-LIT 'GEIGER'S'
- EXISTING AWNING FRAME MOVED UP 1'. NEW BLACK CANVAS COVER
- DISPLAY WINDOW & DOOR AT BAKELITE PANELS, EXTENDED 1' HIGHER
- 3'-6" WIDE DOOR RETAINED
- EXISTING WINDOW AT CURVED WALL EXTENDED 1' LOWER, DISPLAY
- AREA CONSTRUCTED BEHIND
- NEW SIDE ENTRY AT EXISTING ADDITION (NEAR TENANT ENTRY)
- CONVENIENCE WALK ADDED NEAR NEW EVERGREEN TREE
- PARKING MAXIMIZED. ANGLED PARKING WOULD DECREASE CURRENT
- PARKING COUNT ~20%
- CEILING AT BANK DRIVE-THRU AWNING REPLACED WITH RUSTIC WOOD
- TO MATCH PLANTERS & DIRECTORY. ADD/REPLACE CEILING LIGHTS
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**Geiger's - Lakewood**  
 SCHEMATIC DESIGN  
 14710 Detroit Avenue, Lakewood, OH

**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**GIBBON**  
 ARCHITECTURE

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## NORTH VIEW

**Geiger's - Lakewood**  
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

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ARCHITECTURE

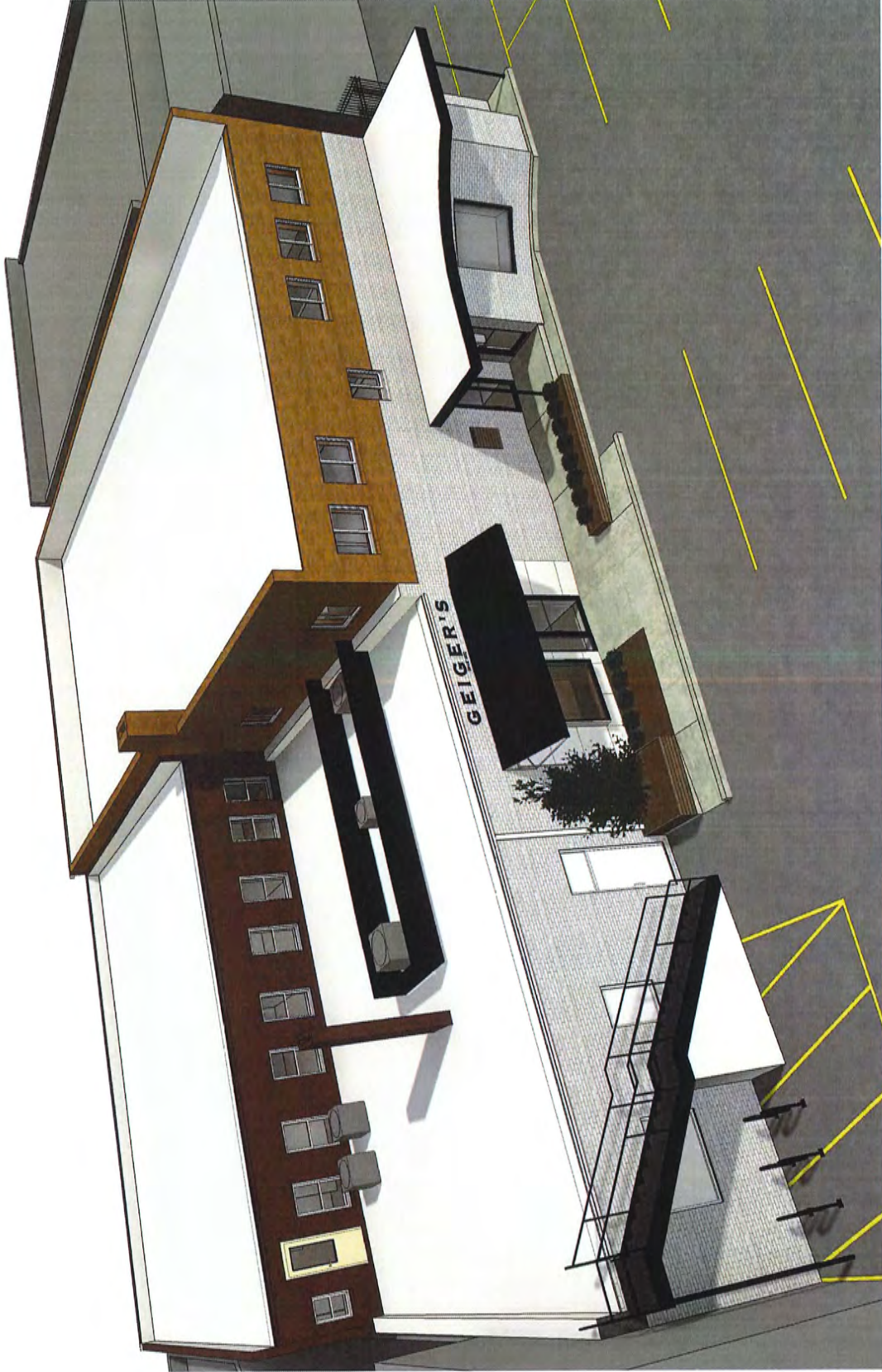


**Geiger's - Lakewood**  
SCHEMATIC DESIGN  
14710 Detroit Avenue, Lakewood, OH

**NORTH VIEW**

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# Geiger's - Lakewood

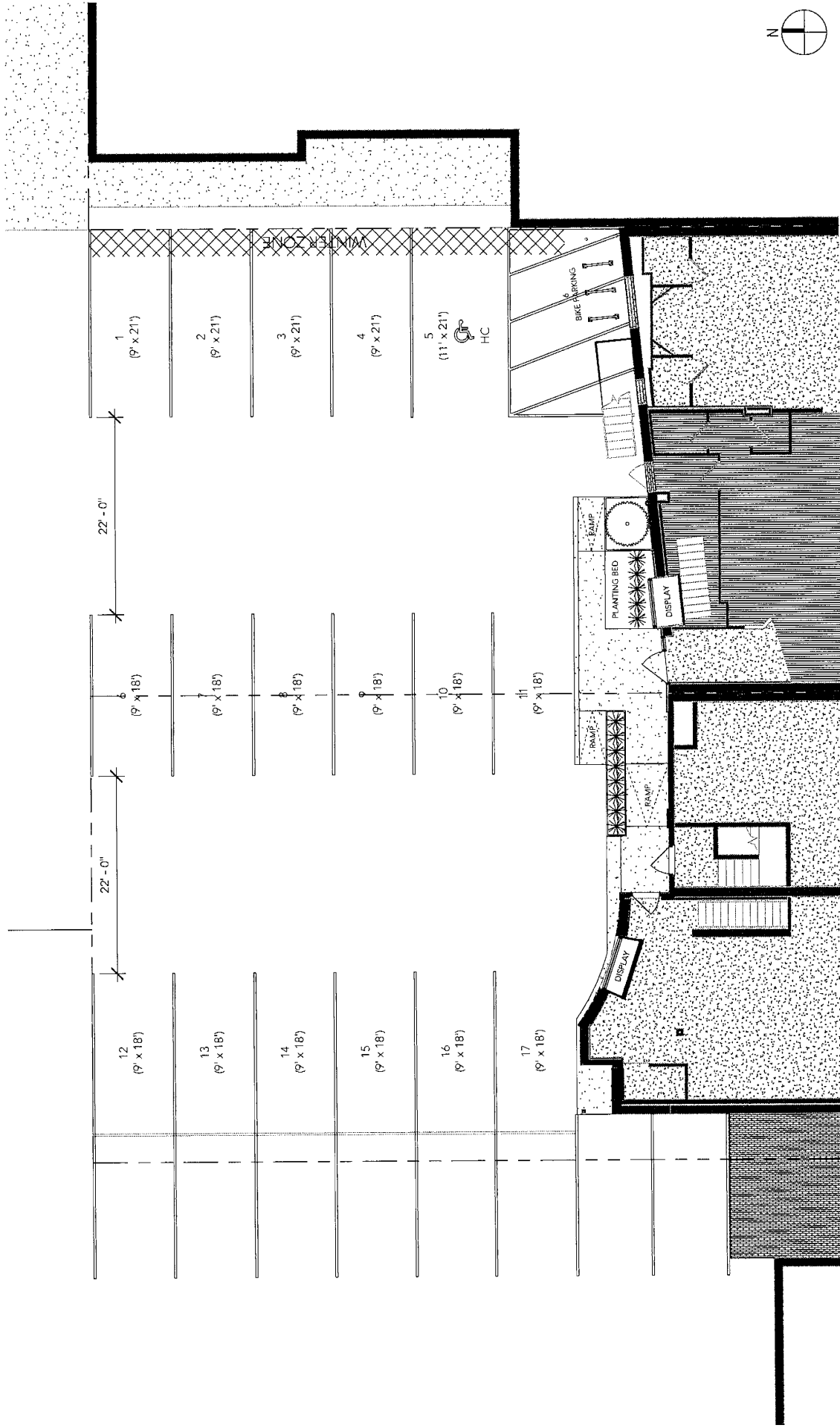
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

# NORTH VIEW

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ARCHITECTURE



**SITE PLAN**  
SCALE: 1" = 10'-0"

**Geiger's - Lakewood**  
SCHEMATIC DESIGN  
14710 Detroit Avenue, Lakewood, OH

**GIBBON**  
ARCHITECTURE

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**Geiger's - Lakewood**  
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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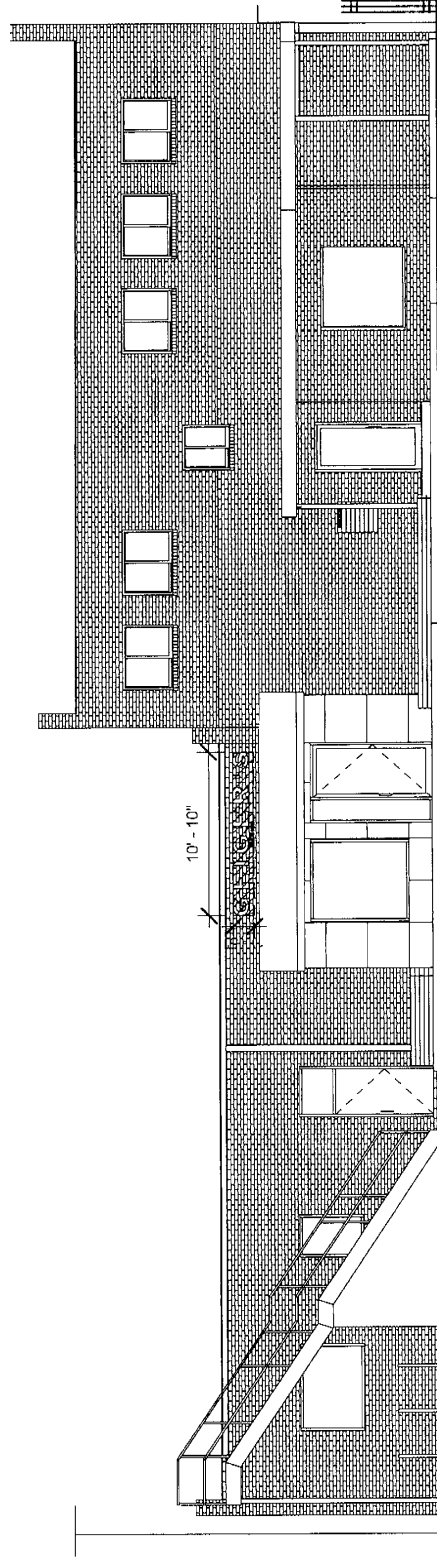
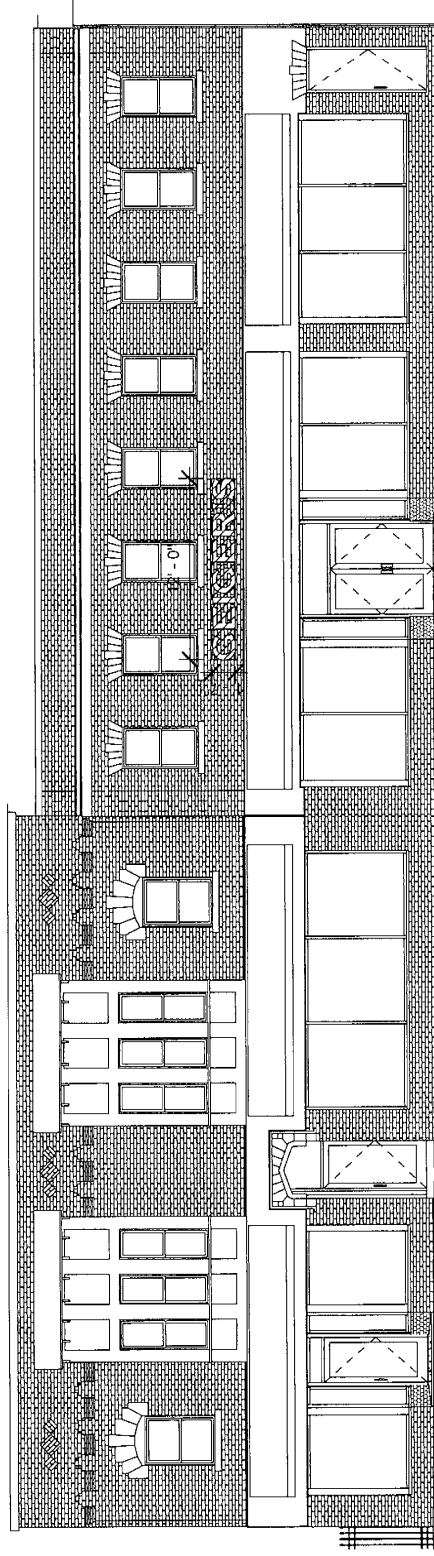
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**Geiger's - Lakewood**  
SCHEMATIC DESIGN  
14710 Detroit Avenue, Lakewood, OH

**ELEVATIONS**  
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**GIBBON**  
ARCHITECTURE

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**Geiger's - Lakewood**  
SCHEMATIC DESIGN

14710 Detroit Avenue, Lakewood, OH

## SCOPE DESCRIPTION

### DIVISION 2 - DEMOLITION

1. REMOVE EXISTING SIGNAGE & AWNING COVERS. RETAIN AWNING FRAMES FOR REUSE.
2. REMOVE CAP, AND PATCH EXISTING UNUSED ELECTRICAL APPURTANCES ON EXPOSED FACADE.
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### DIVISION 8 - OPENINGS

1. THERMALLY BROKEN ALUMINUM FRAMED STOREFRONT SYSTEM. BASIS OF DESIGN IS KAWNEER WITH 1.75" SIGHTLINE MAXIMUM. SUBMIT SHOP DRAWINGS FOR REVIEW BY DESIGN SPECIALIST. BLACK FINISH.
2. HARDWARE: PROVIDE NON-REMOVABLE HINGE PINS FOR EXTERIOR EXPOSURE. PROVIDE 6 PIN TUMBLERS. KEY LOCKS TO OWNER'S NEW MASTER KEY SYSTEM. SUBMIT (3) KEYS PER LOCK AND MASTER KEY AS REQUESTED. HARDWARE BLACK FINISH.
3. GLAZING TO BE CLEAR TEMPERED, LOW-E, INSULATED GLASS UNITS.
4. NEW COMMERCIAL OUTSWING DOORS. FINISH BLACK. PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS OF ANSI 117.1

### DIVISION 9 - FINISHES

1. EXTERIOR PAINT & PRIMER BASIS OF DESIGN IS BENJAMIN MOORE. SUBMIT PRODUCT DATA & COLOR SAMPLES FOR ARCHITECT APPROVAL. APPLY PAINT TO SURFACES PER MANUFACTURER'S INSTRUCTION FOR ENVIRONMENTAL CONDITIONS & DO NOT PERFORM WORK UNTIL THESE CONDITIONS ARE MET. COORDINATE WITH SIGNAGE & LIGHTING INSTALLATION.

### DIVISION 10 - SPECIALTIES

1. SIGNAGE: SUBMIT SHOP DRAWINGS, COLOR AND PAINT SAMPLES FOR REVIEW BY ARCHITECT. SEE ATTACHED DRAWINGS FOR SIGNAGE COLOR AND LOCATION. SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT.
2. AWNING: SUBMIT SHOP DRAWINGS AND FABRIC SAMPLE TO ARCHITECT FOR REVIEW. FABRIC BASIS OF DESIGN TEMPOTEST BLACK.

### DIVISION 26 - ELECTRICAL

1. LIGHTING INTENSITY SHALL NOT EXCEED 75 FOOT CANDLES. PHOTOCELL TO LIMIT ILLUMINATION BETWEEN 2:30AM AND 5 AM. SUBMIT CUT SHEET TO ARCHITECT FOR APPROVAL. CONCEAL CONDUIT ON EXTERIOR OF BUILDING

### DIVISION 32 - EXTERIOR IMPROVEMENTS

1. BIKE RACKS BASIS OF DESIGN: DERO ROLLING RACK IN BLACK FINISH

## GENERAL NOTES

**GIBBON**  
ARCHITECTURE

DS8 | June 2, 2022  
©2022 GIBBON ARCHITECTURE



**Geiger's - Lakewood**  
SCHEMATIC DESIGN  
14710 Detroit Avenue, Lakewood, OH

## EXISTING VIEWS

DS9 | June 2, 2022  
©2022 GIBBON ARCHITECTURE





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## Application Cover Page

**Docket No.: 06-32-22**

**Permit No.: BBS22-000036**

**Applicant Name: Monica Fletcher, Brady Signs Company**

**Project Address: 14730 Detroit Ave.**

**Project Name: Boom's Pizza**

**Project: Applicant proposes replacement awnings and blade sign.**

# BOOM'S PIZZA

Exterior Sign Design

May 2022

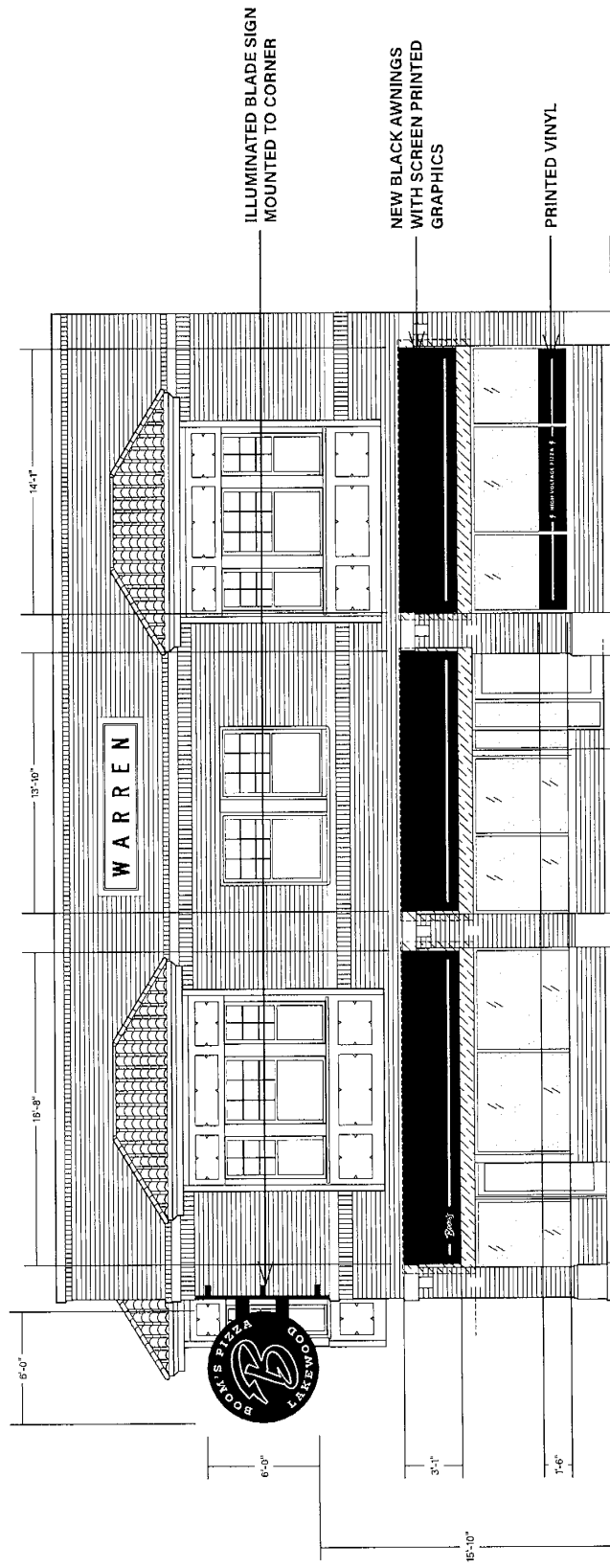
**RICHARDSON**  
DESIGN

**EXTERIOR RENDERING**



**RICHARDSON**  
DESIGN

BOOM'S PIZZA  
EXTERIOR SIGN DESIGN  
MAY 2022

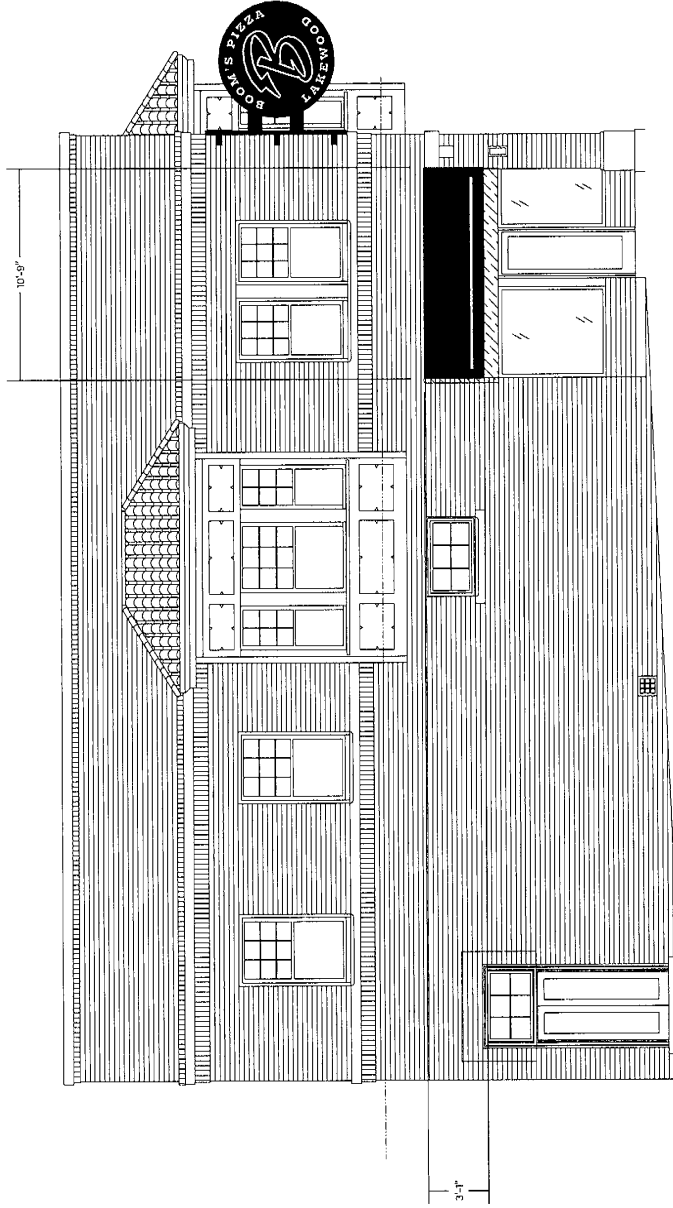


ILLUMINATED BLADE SIGN  
MOUNTED TO CORNER

NEW BLACK AWNINGS  
WITH SCREEN PRINTED  
GRAPHICS

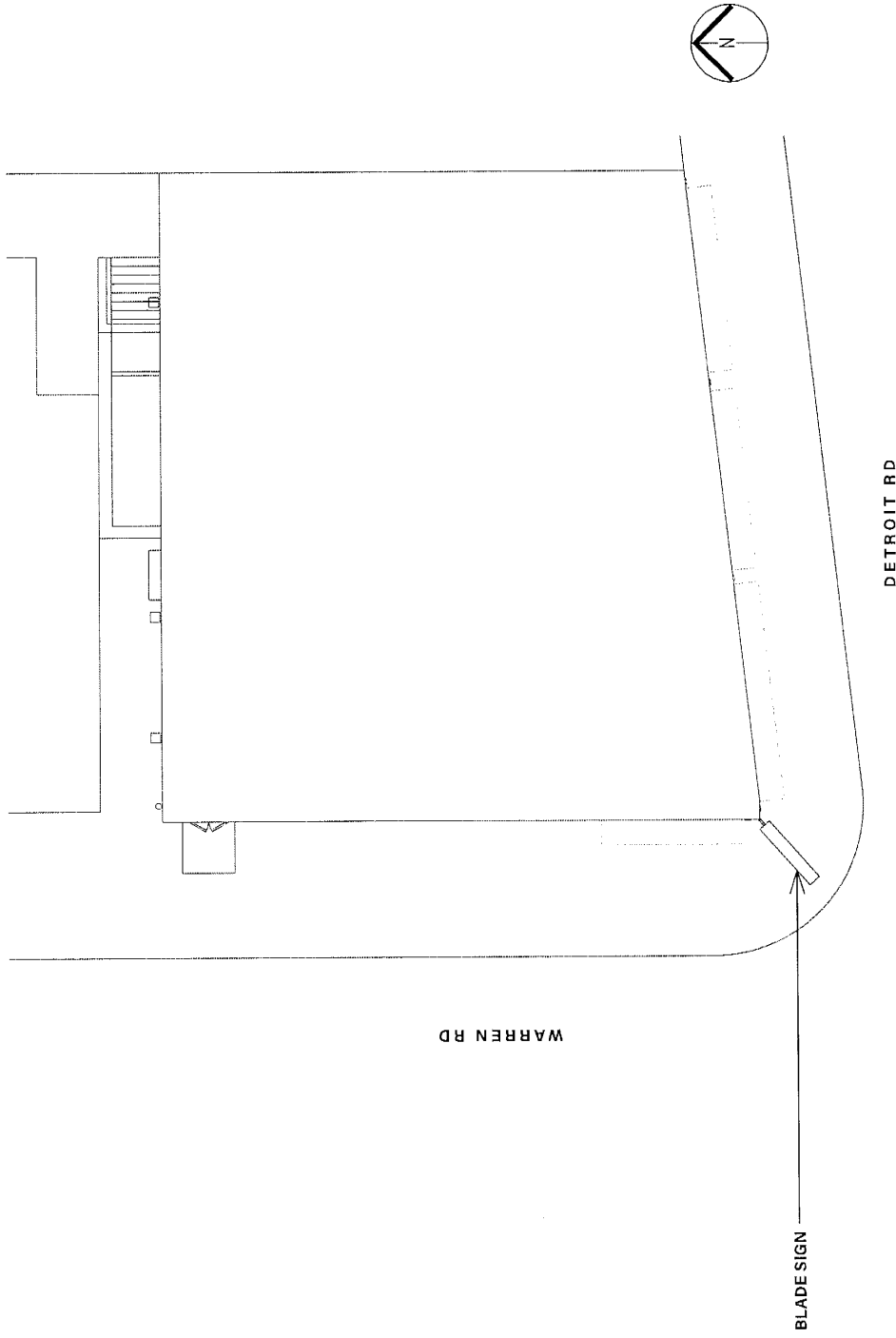
PRINTED VINYL

**1** DETROIT ROAD ELEVATION  
3/16" = 1'-0"



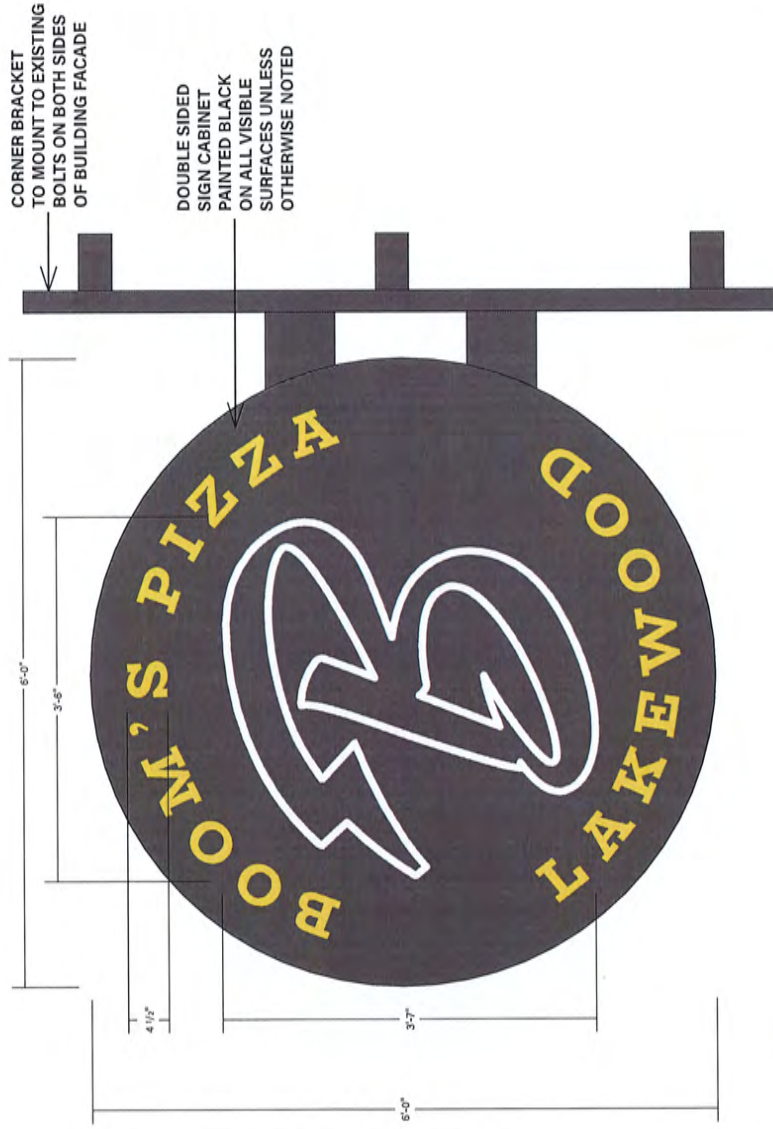
1 WARREN ROAD ELEVATION  
3/16" = 1'-0"

**RICHARDSON**  
DESIGN  
BOOM'S PIZZA  
EXTERIOR SIGN DESIGN  
MAY 2022

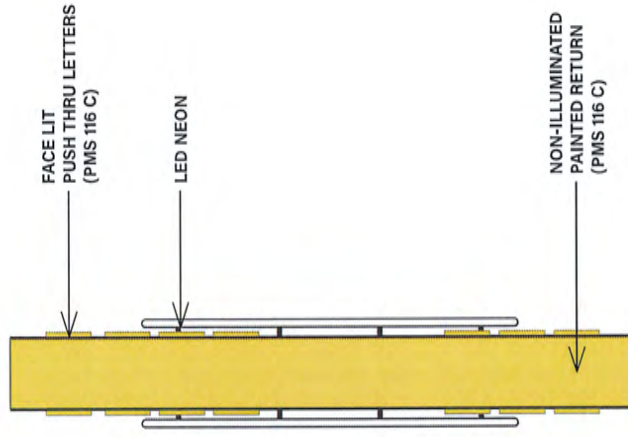


**1** SITE PLAN  
1/8" = 1'-0"

**RICHARDSON**  
BOOM'S PIZZA  
EXTERIOR SIGN DESIGN  
MAY 2022



1 BLADE SIGN DETAIL  
1" = 1'-0"



2 BLADE SIGN DETAIL - SIDE VIEW  
1" = 1'-0"

**PREVIOUS TENANT - FACADE**



**EXISTING CONDITIONS - CURRENT STOREFRONT**





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## Application Cover Page

**Docket No.: 06-33-22**

**Permit No.: BBS22-000034**

**Applicant Name: Tony Russo, Cleveland Vape and Burning River Coffee**

**Project Address: 17114-16 Detroit Ave.**

**Project Name: Cleveland Vape and Burning River Coffee**

**Project: Applicant proposes new signage for two businesses.**

12.75 SQ. FT.

121.15"

199.96"

*Cleveland Vape* 



**BURNING RIVER**  
**COFFEE**

127.34"

200.19"

209.97"

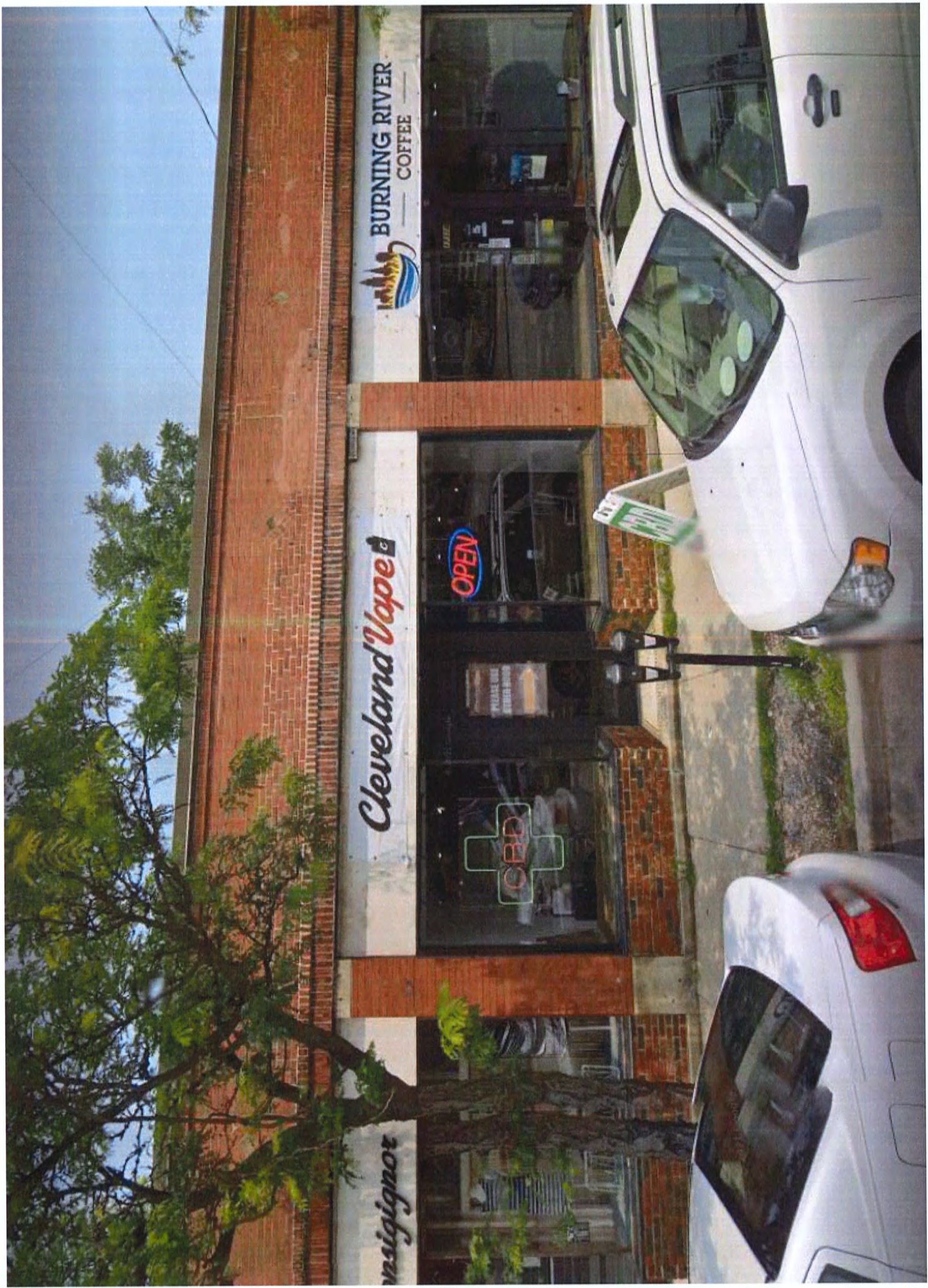
17.75 SQ. FT.



MOUNTED WITH:  
3" LAG BOLTS WITH SLEEVES  
IN TO BRICK MORTAR

33"





insignor

Cleveland Vape Co

OPEN

CBD

BURNING RIVER COFFEE



Case #:

City of Lakewood Division of Housing and Building  
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930  
Building.permits@lakewoodoh.net

## Building Permit Application

PROJECT ADDRESS: Cleveland Vape & Burning River coffee 17114 & 17116 Detroit Ave. Suite/Unit #

or PERMANENT PARCEL NUMBER:

PROPERTY CLASSIFICATION:  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.)  Change of Use?

PERMIT TYPE:  Building  \*Plumbing  \*Mechanical  \*Electrical **\*(complete reverse side)** 

RELATED CASES:  Correction Notice  Plan Review  A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):

- New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign
- Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing
- Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration
- Demolition  Paving  Storm Sewer  Other (Please specify): Sign letters

\*VALUATION: (cost of the work) \$ \$1900 ea. PROJECT SIZE: (in square feet) 16 sq

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) DRAIN NO DRAIN

Cut 1/2" thick pvc letters mounted to surface with silicone adhesive

Cleveland Vape = 12.75 sq.ft Burning River = 17.75 sq. ft.

2 blade signs 33" dia 8 sq. 2 sides 16 sq 12"x 8" alum mounting plate

Mounted with 4 lag and shield bolts to building

PROPERTY OWNER NAME: GV Art Phone: 833-288-4367

Business Name (if applicable) Cleveland Vape/ Burning river coffee Email: tony@limitlesscbd.com

Mailing Address: 17114 & 17116 Detroit Ave City: Lakewood State: Oh Zip: 44107

CONTRACTOR NAME: Erie Design Phone: 216-227-0043

License/Reg. No.: on file Email: orders@eriedesign.com

Mailing Address: 16504 Detroit Ave City: Lakewood State: Oh Zip: 44107

ARCHITECT/ENGINEER: Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

SIGNATURE OF CONTRACTOR / OWNER

3-9-22  
DATE

Anticipated Completion Date:



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SIGN REVIEW BOARD

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## Application Cover Page

**Docket No.: 06-34-22**

**Permit No.: BBS22-000038**

**Applicant Name: Shawn Warner, Erie Design Co. Inc.**

**Project Address: 17118 Detroit Ave.**

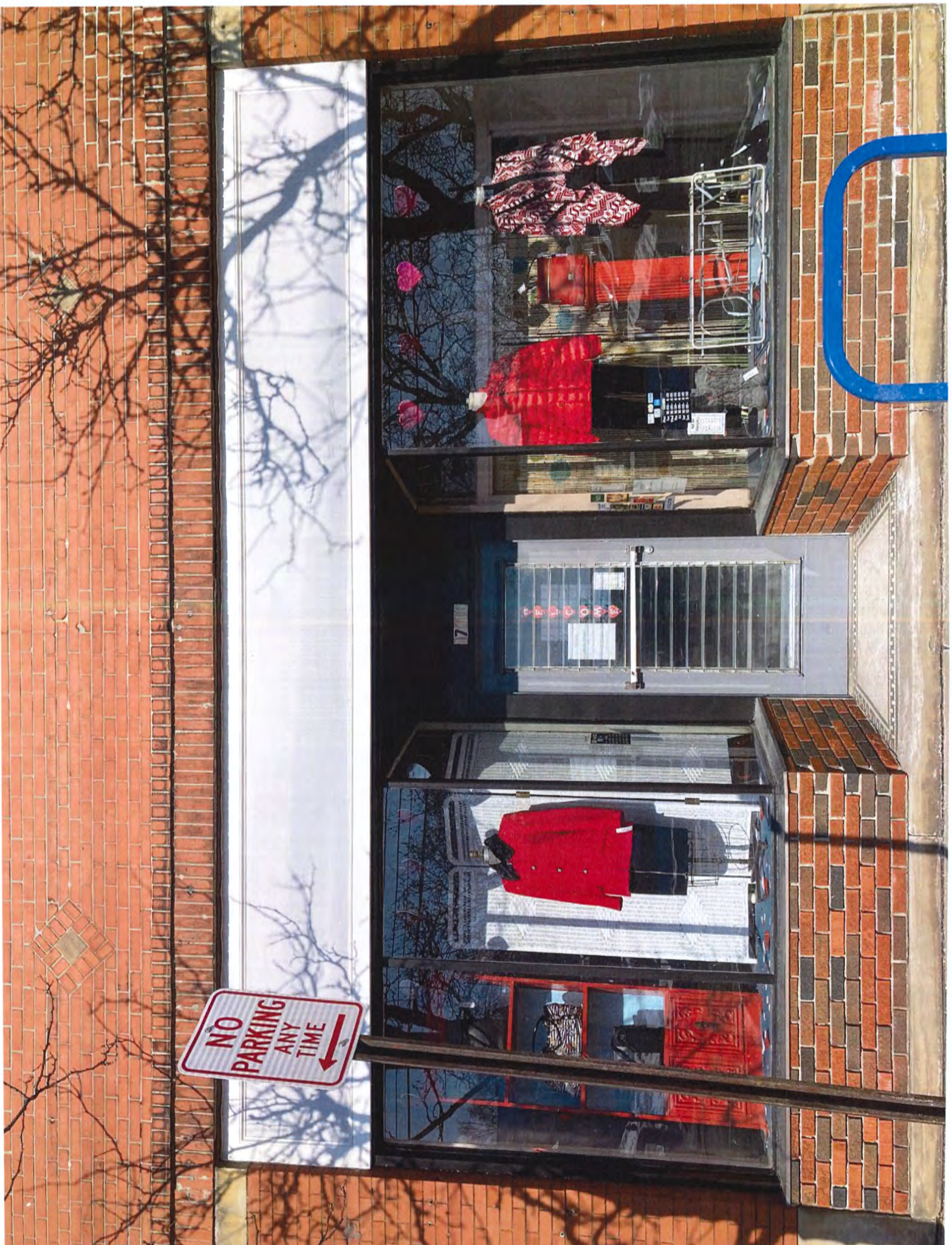
**Project Name: Designer Consignor**

**Project: Applicant proposes new signage for an existing business.**

# Designer Consignor



TEXT IS cut PVC Black  
adhesive mounted to surface  
12.5" X 166.5"  
16" h with descender

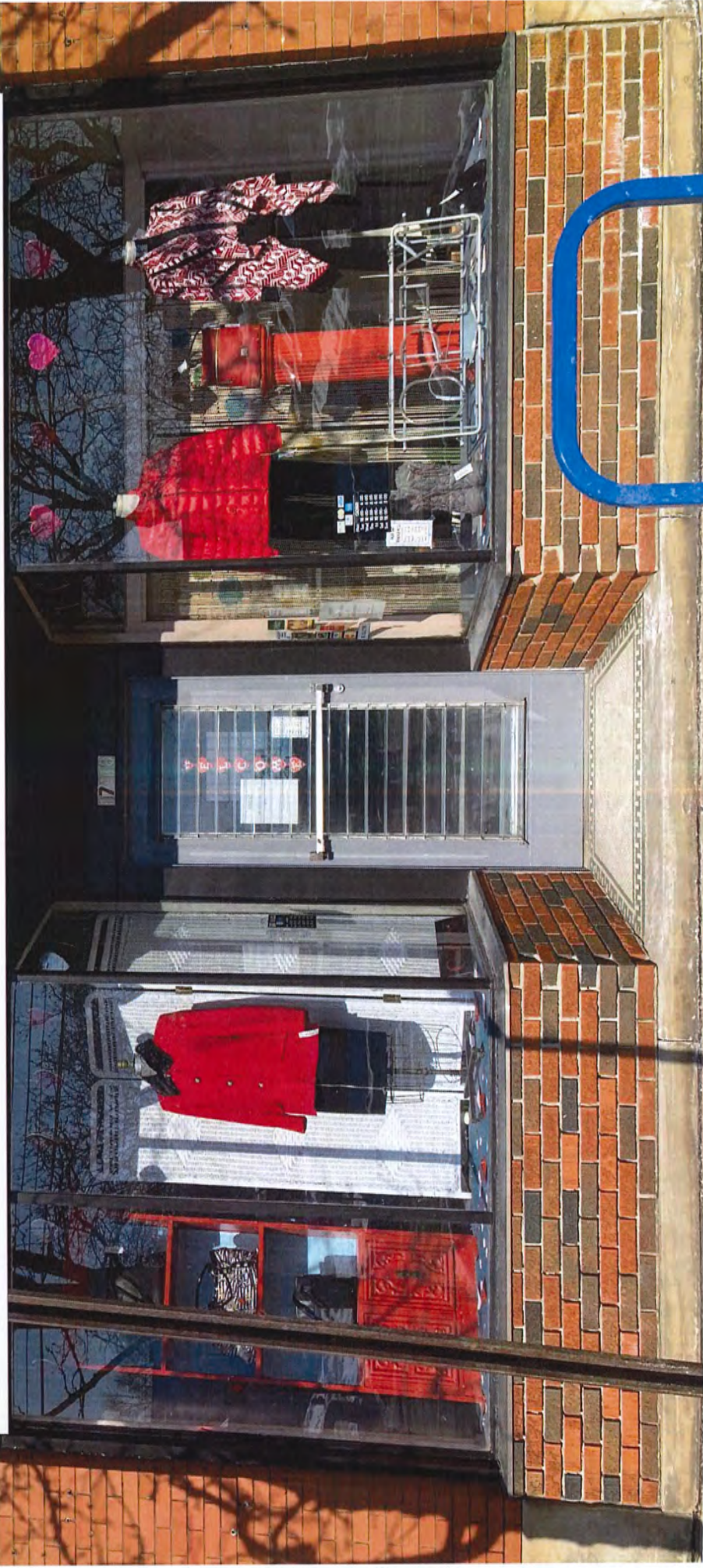


NO  
PARKING  
ANY  
TIME

7

WELCOME TO THE STORE

# Designer Consignor



TEXT IS cut PVC Black  
adhesive mounted to surface  
125" X 166.5"





Case #:

**City of Lakewood Division of Housing and Building**  
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930  
[Building.permits@lakewoodoh.net](mailto:Building.permits@lakewoodoh.net)

## Building Permit Application

**PROJECT ADDRESS:** 17118 Detroit Ave. Suite/Unit #

or **PERMANENT PARCEL NUMBER:**

**PROPERTY CLASSIFICATION:**  1, 2 or 3 Family OR  Commercial (includes multifamily and condominiums)

**USE DESCRIPTION:** (1-Family, Retail, Restaurant, etc.)  Change of Use?

**PERMIT TYPE:**  Building  \*Plumbing  \*Mechanical  \*Electrical **\*(complete reverse side)**

**RELATED CASES:**  Correction Notice  Plan Review  A.B.R. Approval Case Number:

**SCOPE OF PERMIT** (Check all that apply):

- New Primary Structure  Addition  Alteration  Repair  Equip. Replacement  Commercial Sign
- Tent or Temporary  Rear Deck  Shed  Pool  Water Controlling  Waterproofing
- Commercial Hood  Fire Suppression  Fire Alarm  HVAC  Refrigeration
- Demolition  Paving  Storm Sewer  Other (Please specify): Sign letters

**\*VALUATION: (cost of the work) \$** \$750 **PROJECT SIZE: (in square feet)** 16 sq

**BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)**        DRAIN        NO DRAIN

Cut 1/2" thick pvc letters mounted to surface with silicone adhesive

Text total 14 sq. ft.

Sign facia area 46 sq.

**PROPERTY OWNER NAME:** GV Art Phone: 216-228-1309

Business Name (if applicable) Designer Consigner **Email:** tdclakewood@gmail.com

Mailing Address: 17118 Detroit Ave City: Lakewood State: Oh Zip: 44107

**CONTRACTOR NAME:** Erie Design Phone: 216-227-0043

License/Reg. No.: on file **Email:** orders@eriedesign.com

Mailing Address: 16504 Detroit Ave City: Lakewood State: Oh Zip: 44107

**ARCHITECT/ENGINEER:** Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

**SIGNATURE OF CONTRACTOR / OWNER**

3-9-22

**DATE**

Anticipated Completion Date: \_\_\_\_\_