

Applicant proposes front porch repairs and installation of a new railing system. Applicant proposes the exterior painting of commercial building. Conditional approval was granted at the May 13, 2021 meeting, subject to administrative approval upon review of the product information. Administration did not approve. (Page 20)

NEW BUSINESS
ARCHITECTURAL BOARD OF REVIEW

7. **Docket No. 06-65-21** **R** **1503 Lincoln Avenue**

() Approve Neil Stallard
() Deny 8619 Courtland Dr.
() Defer Strongsville, OH 44139

Applicant proposes second floor repairs: fascia and gutters. (Page 27)

8. **Docket No. 06-66-21** **R** **17703 Lakewood Heights Blvd.**

() Approve Ryan Bell
() Deny Great Day Improvements
() Defer 700 E. Highland Rd.
Macedonia, OH 44056

Applicant proposes enclosing a front porch. (Page 33)

9. **Docket No. 06-67-21** **R** **1558 Rosewood Ave.**

() Approve Christopher Parmelee
() Deny 1558 Rosewood Ave.
() Defer Lakewood, OH 44107

Applicant proposes the demolition and rebuild of a front porch. (Page 42)

10. **Docket No. 06-68-21** **R** **1353 Lakeland Ave.**

() Approve Terry Breitenbach
() Deny Breitenbach Remodeling, Inc.
() Defer 805 Sharon Dr.
Westlake, OH 44145

Applicant proposes the demolition and rebuild of a front porch. (Page 48)

11. **Docket No. 06-69-21** **C** **14536 Detroit Ave.**
Aladdin's Eatery

() Approve Joey Mannarino
() Deny MR TMG LLC
() Defer 3076 Fairmount Blvd.
Cleveland Heights, OH 44118

Applicant proposes façade renovations. (Page 52)

12. **Docket No. 06-70-21** **R** **1644 Grace Ave.**

() Approve Mukhammad Farman
() Deny 1642-44 Grace Ave.
() Defer Lakewood, OH 44107

Applicant proposes the demolition and rebuild of a front porch. (Page 66)

13. **Docket No. 06-71-21** **R** **2096 Belle Ave.**

() Approve Rocco Sutera
() Deny Reliable Construction Co.
() Defer 1467 Olivewood Ave.
Lakewood, OH 44107

Applicant proposes renovation of a front porch. (Page 69)

14. **Docket No. 06-72-21** **R** **15920 Lakewood Heights Blvd.**

() Approve Thomas D'Amico
() Deny The Great Garage Co.
() Defer 620 Crystal Brooke Dr.
Hinckley, OH 44233

Applicant proposes construction of a new garage. (Page 79)

15. **Docket No. 06-73-21** **R** **2108 Lakeland Ave.**

() Approve Tim Neufer
() Deny Neu Architecture
() Defer 2157 Glenbury Ave.
Lakewood, OH 44107

Applicant proposes construction of a first floor addition. (Page 104)

16. **Docket No. 06-74-21** **R** **2237 Olive Ave.**

() Approve Thomas DeAlexandro
() Deny Platform Masonry, LLC
() Defer 14837 Detroit Ave., #288
Lakewood, OH 44107

Applicant proposes the rebuild of a porch. (Page 117)

17. **Docket No. 06-75-21** **R** **1219 Cook Ave.**

() Approve Anthony Latina
() Deny Latina Design Build Group
() Defer 21080 Beachwood Dr.
Rocky River, OH 44116

Applicant proposes the extension of an existing porch. (Page 130)

18. **Docket No. 06-76-21** **R** **2209 Alger Rd.**

- Approve
- Deny
- Defer

Jeremy Smith
Onward Design Collaborative
1451 Rosewood Ave.
Lakewood, OH 44107

Applicant proposes exterior renovations and dormer additions to an existing home. (Page 136)

19. **Docket No. 06-77-21** **R** **1585 Marlowe Ave.**

- Approve
- Deny
- Defer

John Graham
Graham Construction LLC
4042 Rocky River Dr.
Cleveland, Ohio 44135

Applicant proposes the rebuild of a front porch. (Page 140)

20. **Docket No. 06-78-21** **C** **18401-05 Detroit Ave.**
Molto Bene

- Approve
- Deny
- Defer

Rich Bozic
Blatchford Architects LLC
12429 Cedar Rd., Studio 10
Cleveland Heights, OH 44106

Applicant proposes the installation of a new canopy for the patio. (Page 153)

SIGN REVIEW

21. **Docket No. 06-79-21** **18260 Detroit Ave.**
Cilantro Taqueria

- Approve
- Deny
- Defer

Jessica Ruff
Ruff Neon Sign
295 W. Prospect St.
Painesville, OH 44077

Applicant proposes wall signage. (Page 160)

22. **Docket No. 06-80-21** **17409 Detroit Ave.**
CouCou Sentiment

- Approve
- Deny
- Defer

Daniel Zann
CouCou Sentiment, LLC
17409 Detroit Ave.
Lakewood, OH 44107

Applicant proposes awning signage, and door and window decals. (Page 167)

23. **Docket No. 06-81-21** **14601 Detroit Ave.**
Cleveland Clinic

- Approve
- Deny
- Defer

Kristin Swenson
Cleveland Clinic Lakewood
14601 Detroit Ave.
Lakewood, OH 44107

Applicant proposes pole banners. (Page 173)

24. **Docket No. 06-82-21**

**14650 Detroit Ave.
Lakewood Center West**

- Approve
- Deny
- Defer

Bob Kunzen
Brilliant Electric Sign Company
4811 Van Epps Rd.
Brooklyn Heights, OH 44131

Applicant proposes installation of an externally-illuminated monument sign, replacing an existing. (Page 176)

25. **Docket No. 06-83-21**

**13401 Madison Ave.
Iggy's Bar**

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm
1593 Wyandotte Ave.
Lakewood, OH 44107

Applicant proposes interior neon window signage. (Page 182)

26. **Docket No. 04-35-21**

**15623 Detroit Ave.
Bar Italia**

- Approve
- Deny
- Defer

Patrick Granzier
372 Kenilworth Rd.
Bay Village, OH 44140

Applicant proposes awning signage. (Page 184)

27. **Docket No. 06-84-21**

**12401 Detroit Ave.
Peppers Italian Restaurant**

- Approve
- Deny
- Defer

Joe Pinzone
Peppers Italian Restaurant
412401 Detroit Ave.
Lakewood, OH 44107

Applicant proposes door and window signage. (Page 189)

ADJOURN



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 05-44-21

Permit No.: BBS21-000054

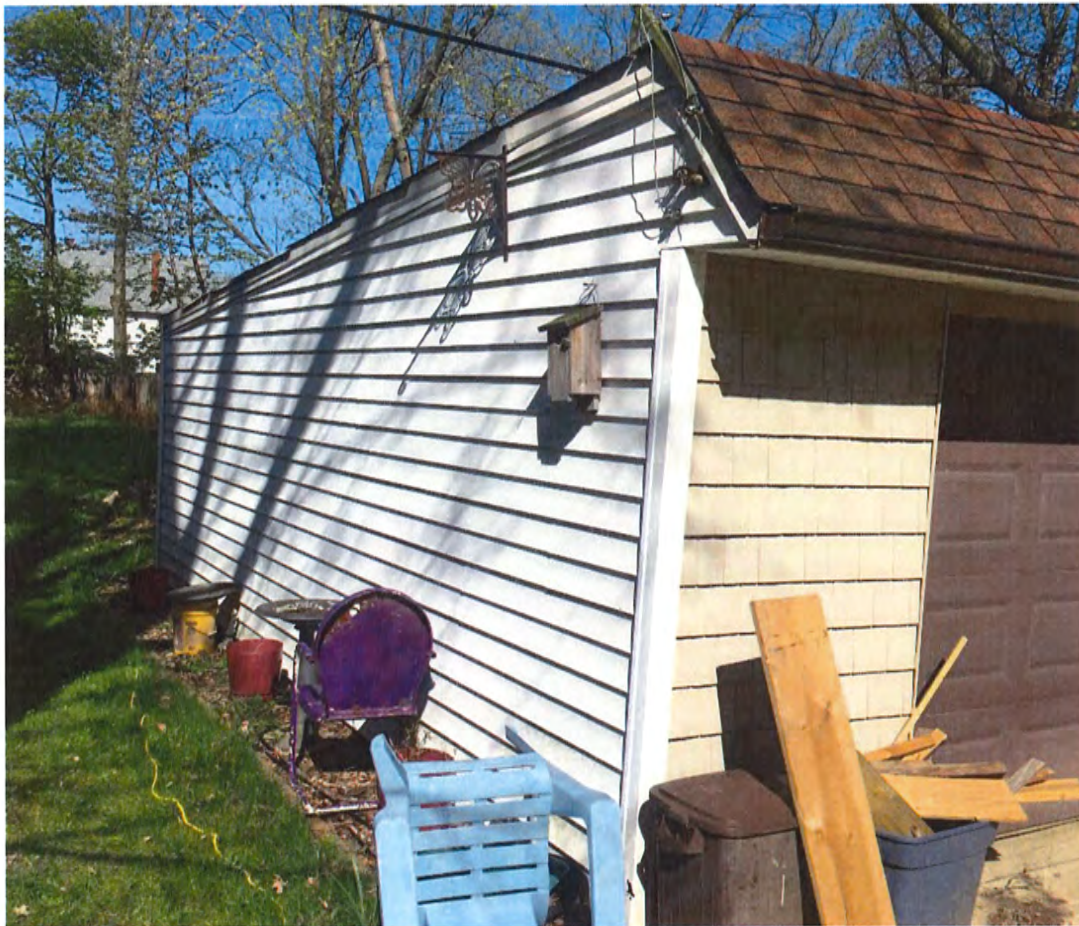
Applicant Name: Michael Palleschi

Project Address: 1522 Wayne Avenue

Project Name: n/a

Project: Applicant proposes metal siding on a new garage.

Current two car garage that would be torn down.



Address: 1522 Wayne Ave
Owner: Mike Palleschi
Phone: 330-338-8920
Email: mp785@hotmail.com

This request is for permission to use steel siding on new garage. The siding would be ordered in clay to match the house. Roof would be brown to match the front porch and some other trim.



Clay



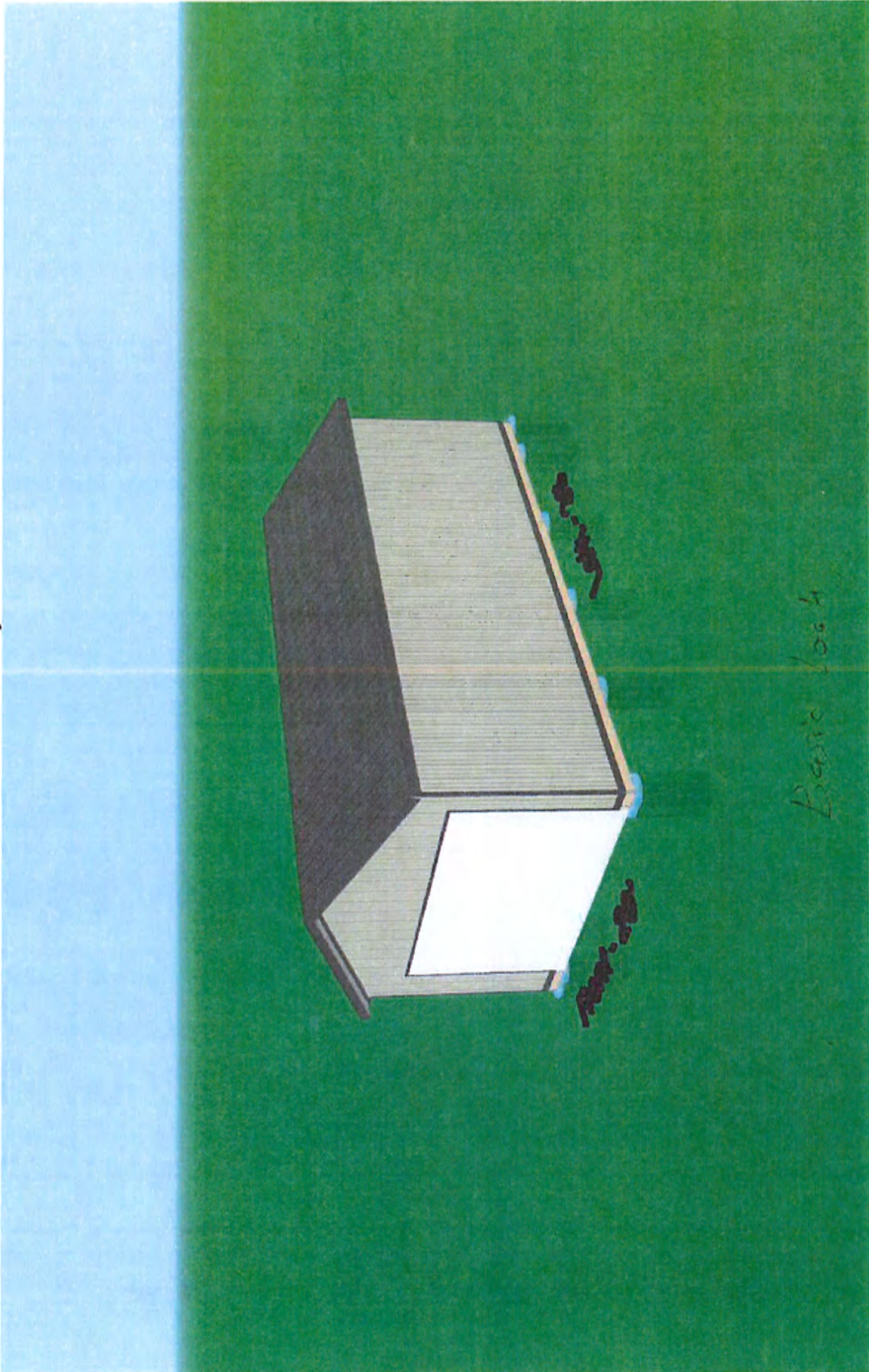
Brown

Metal side that would be used is:

- 29-gauge high tensile steel
- Dent-resistant, weather-tight, minimal expansion/contraction
- Extremely resistant to mildew, peeling, flaking, chalking and fading
- Galvalume coated – a patented aluminum-zinc alloy coating that provides a heavy-duty base for primer and pigment coats
- Top coat is pigmented silicone polyester specifically designed to withstand the effects of sun, wind, rain, heat and cold

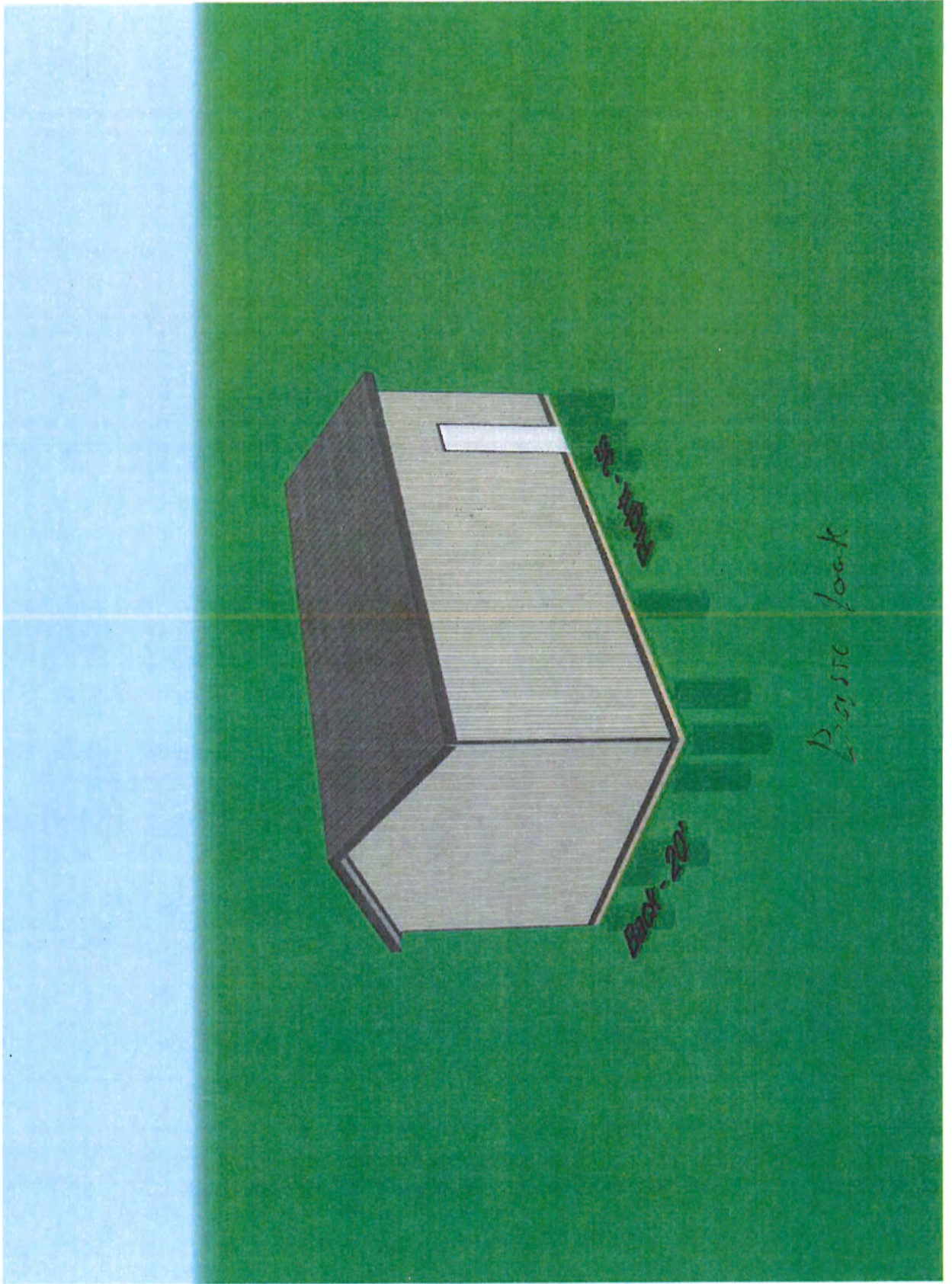


Basic look of new garage with steel siding



Basic look

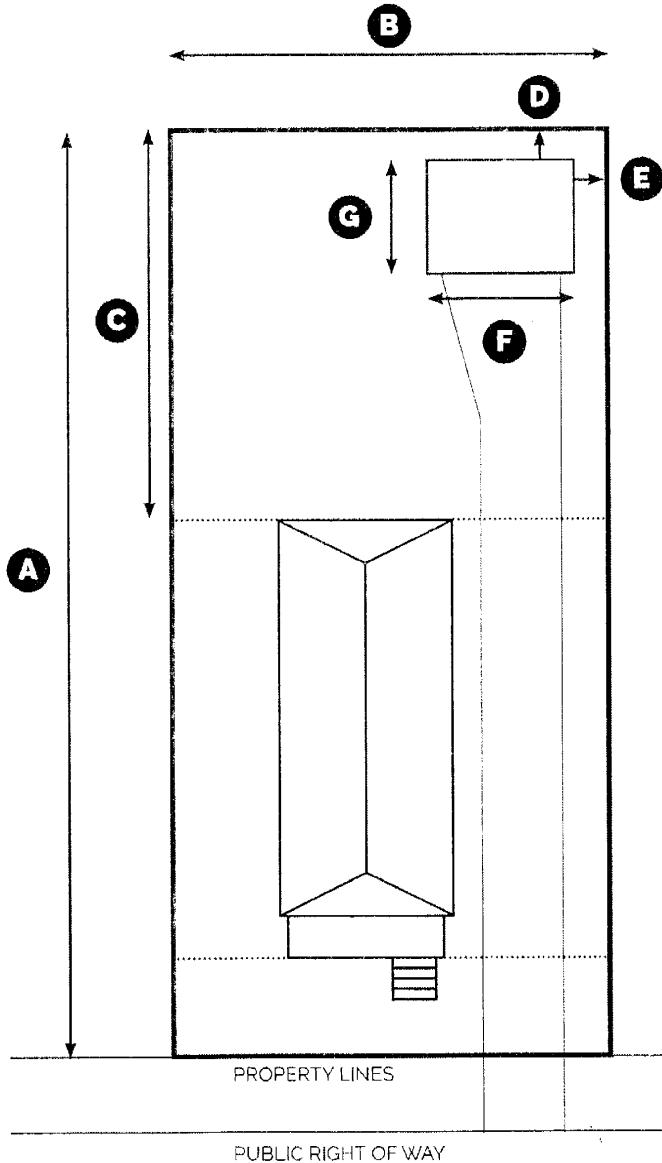
Peace Of Mind Comes Standard With Every Building



**DETACHED GARAGE PLACEMENT
PLACEMENT WORKSHEET (RIGHT-HAND OPTION)**

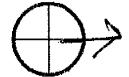
CITY OF LAKEWOOD OHIO
Division of Housing and Building
12650 Detroit Ave, Lakewood OH 44107
building@lakewoodoh.net
(216) 529-6270

PROPERTY ADDRESS: 1522 Wayne Ave



ORIENTATION

NORTH
(INDICATE DIRECTION)



DETACHED GARAGE (IN FEET)

A	LOT DEPTH	<u>239</u>
B	LOT WIDTH	<u>40</u>
C	REAR YARD DEPTH	<u>157</u>
D	REAR SETBACK	<u>92</u>
E	SIDE SETBACK	<u>1'6"</u>
F	GARAGE WIDTH	<u>20</u>
G	GARAGE DEPTH	<u>36</u>

GARAGE AREA (WIDTH X DEPTH)

720 SF

DRIVE WAY

REPLACEMENT Y / N

DRAIN Y / N

SITE PLAN

STARTING MARCH 01, 2021, A LEGAL BOUNDARY SURVEY IS REQUIRED.
The applicant will need to provide an accurate boundary survey showing property lines and survey pin locations.



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Application Cover Page

Docket No.: 05-58-21

Permit No.: BBS21-000074 BBS21-000106

Applicant Name: Leon Sampat, L S Architects

Project Address: 15509 Madison Ave.

Project Name: Hudec Dental

Project: Applicant proposes the exterior painting of commercial building. Conditional approval was granted at the May 13, 2021 meeting, subject to administrative approval upon review of the product information. Administration did not approve.

REV.	DATE

K.S. ARCHITECTURE
 3505 LAUREL ROAD
 FAIRVIEW PARK, OHIO 44126
 PHONE 204-403-9054 FAX 440-76-8897



EXTERIOR ALTERATIONS FOR:
DR. HUDEC
15509 MADISON AVE
 LAKEWOOD, OHIO

JOB NO: 25-005
 DATE: _____
 DRAWN BY: _____
 SHEET: **A1.1**



Repose Gray SW 7015

Iron Ore SW 7069

Gauntlet Gray SW 7019

Paint Color Selection – Sherwin Williams Paints:

-  Repose Gray SW 7015
-  Gauntlet Gray SW 7019
-  Iron Ore SW 7069



SECTION 1 – IDENTIFICATION OF THE SUBSTANCE OR MIXTURE AND OF THE SUPPLIER

Product Name:	Ecologic TM LimeWash Platinum	
Brand:	Ecologic TM	
Recommended Use:	A Lime to be put in a potable water solution to make a decorative paint coating for masonry	
Supplier's Details:	LimeWorks.us 3145 State Road Telford, PA 18969	Phone: 215-536-6706 Fax: 215-453-1310 Website: www.limeworks.us
Emergency Phone Number:	InfoTrac 1-800-535-5053	

SECTION 2 – HAZARD IDENTIFICATION

 GHS05 Corrosion	 GHS07 Irritant	 GHS08 Health Hazard			
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Signal word: Danger


Hazard statements:

- H315: Causes skin irritation
- H318: Causes serious eye damage
- H335: May cause respiratory irritation

Precautionary statements:

- P102: Keep out of reach of children
- P280: Wear protective gloves/clothing/eye and face protection
- P305+P351+P338+P310: In case of contact with the eyes, rinse carefully with clean water for several minutes. In relevant cases, take off contact lenses if possible. Immediately call a Poison Center or a doctor/physician.
- P302+P352: If in contact with skin: wash abundantly with soap and water.
- P332+P313: For skin irritation: consult a doctor.
- P261+P304+P340: Avoid powder inhalation. In case of inhalation, bring the affected individual outside into fresh air and make the individual relax in a comfortable position for breathing.
- P312: Call a Poison Center in case of general feeling of sickness.
- P501: Dispose of bags content/empty bags at a point of refuse collection. Before disposal, NHL lime should be made inert by wetting it to induce hardening, and bags should be completely emptied.

NFPA ratings (scale 0 – 4)

	Health = 3 Fire = 0 Reactivity = 0 Special Notice = None
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HMIS-ratings (scale 0 – 4)

	Health = 3 Flammability = 0 Physical Hazard = 0 Personal Protection = J
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Safety Data Sheet

EcologicTM LimeWash Platinum

PERSONAL PROTECTION	
Other hazards	None known

SECTION 3 – COMPOSITION / INFORMATION ON INGREDIENTS

CAS# 1305-62-0	Calcium Hydroxide	>90%
CAS# 14808-60-7	Silica-crystalline quartz	<1%
CAS# 10043-01-3	Aluminum Sulfate (Alum)	5-6%
	Trace Additives	<5%

May also contain ~1 of less of Magnesium oxide, Potassium oxide, Sodium oxide, Ferric oxide, ... * May exceed the limit ...

SECTION 4 – FIRST AID MEASURES

Inhalation:	Remove source of contamination or have person move to fresh air. If not breathing, give artificial respiration. Obtain medical attention immediately.
Skin Contact:	Wash contaminated area with running water for at least 15-20 minutes, while removing contaminated clothing. Obtain medical attention. Launder contaminated clothing before re-use.
Eye Contact:	Immediately flush the contaminated eye(s) with gently flowing water for at least 15-20 minutes. Obtain medical attention.
Ingestion:	NEVER give anything by mouth if the person is rapidly losing consciousness, or is unconscious, or convulsing. Rinse mouth thoroughly with water. DO NOT INDUCE VOMITING. Have victim drink two glasses of water. If vomiting occurs naturally, have victim lean forward to reduce risk of aspiration. Repeat administration of water. Obtain Medical attention immediately.

SECTION 5 – FIRE FIGHTING MEASURES

Fire Hazards/Conditions of Flammability:	This product is not flammable or combustible
Flash Point (Method):	Not Determined
Lower Flammable Limit (% by volume):	Not Determined
Upper Flammable Limit (% by volume):	Not Determined
Sensitivity to Mechanical Impact:	Probably not sensitive.
Sensitivity to Static Discharge:	Probably not sensitive.
Auto-Ignition Temperature:	Not Determined
Suitable Extinguishing Media:	Carbon dioxide, dry chemical powder, and appropriate foam for surrounding products.
Special Fire-Fighting Procedures/Equipment:	During a fire, irritating/toxic smoke and fumes may be generated by surrounding products. Do not enter fire area without proper protection. Firefighters should wear proper protective equipment and self-contained breathing apparatus with full facepiece.
Hazardous Combustion Products:	Carbon oxides, other irritating fumes, and smoke generated by surrounding products

SECTION 6 – ACCIDENTAL RELEASE MEASURES

Personal Precautions:	Restrict access to area until completion of clean-up. Ensure clean-up is conducted by trained personnel only. Remove all ignition sources. Remove or isolate flammable and
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Safety Data Sheet

EcologicTM LimeWash Platinum

	combustible materials. All persons dealing with clean-up should wear the appropriate protective equipment (See section 8).
Environmental Precautions:	Confine spill, preventing it from entering sewer lines or waterways. Dispose of as per local, state, and federal regulations
Spill Response / Cleanup:	Ventilate area of release. Stop the leak if it can be done safely. Contain and absorb any spilled liquid concentrate with inert absorbent material, then place material into a container for later disposal (see Section 13). Contaminated absorbent material may pose the same hazards as the spilled product Notify the appropriate authorities as required.

SECTION 7 – HANDLING AND STORAGE

Safe Handling Procedures:	Before handling, it is very important that engineering controls are operating, and that protective equipment requirements, and personal hygiene measures are being followed. People working with this chemical should be properly trained regarding its hazards and its safe use. Handling equipment should be properly grounded. Inspect containers for leaks before handling. Label containers appropriately. Ensure proper ventilation. Avoid breathing dusts. Avoid contact with eyes, skin, and clothing. Avoid generating high concentrations of dusts. Keep away from incompatible materials such as strong oxidizing materials. Keep containers closed when not in use.
Storage Requirements:	Store in a cool, dry, well-ventilated area out of direct sunlight. Store away from incompatible materials. Inspect all incoming containers to make sure they are properly labeled and not damaged. Storage area should be clearly identified, clear of obstruction, and accessible only to trained personnel. Inspect periodically for damage or leaks.
Incompatible Materials:	STRONG OXIDIZING MATERIALS, strong acids, some metals.

SECTION 8 – EXPOSURE CONTROLS / PERSONAL PROTECTION

Exposure Limits:	There is no available data for the product. See below for individual ingredient exposure limits.			
Ingredient	OSHA PEL		ACGIH TLV	
	TWA	STEL	TWA	STEL
Calcium Hydroxide	15 mg/m ³	Not Determined	10 mg/m ³	Not Determined
Crystalline Silica	10 mg/m ³ † (resp.) %SiO ₂ +2	Not Determined	.1 mg/m ³ † (resp.)	Not Determined
Phthalocyanine Bluing Agent	Not Determined	Not Determined	Not Determined	Not Determined
Casein	Not Determined	Not Determined	Not Determined	Not Determined
Aluminum Sulfate (Alum)	2 mg/m ³	Not Determined	2 mg/m ³	Not Determined
Sodium Tetraborate (Borax)	10 mg/m ³	Not Determined	10 mg/m ³	Not Determined

* Respirable fraction.

** Crystalline silica is expected to be below 1%, but concentrations may vary with source material

† The OSHA Permissible Exposure Limit (PEL) for Silicon Dioxide (SiO₂) is dependent upon the percentage of free silica in the dust and is calculated by a formula given.

Engineering Controls:	Use under well-ventilated conditions. Local exhaust ventilation system is recommended to maintain concentrations of contaminants below exposure limits.
Respiratory Protection:	Respiratory protection is required if the concentrations are higher than the exposure limits. Use a NIOSH approved respirator if the exposure limits are unknown.
Protective Clothing/Equipment:	Chemically protective gloves (impervious), and other protective clothing to prevent

Safety Data Sheet

EcologicTM LimeWash Platinum

	prolonged or repeated skin contact, must be worn during all handling operations. Wear protective chemical splash goggles to prevent mist and dust from entering the eyes. Make emergency eyewash stations, safety/quick-drench showers, and washing facilities available in work area.
General Hygiene Considerations:	Avoid generating high concentrations of dusts. Avoid contact with skin and eyes. Avoid breathing dusts or mists. Never eat, drink, or smoke in work areas. Practice good personal hygiene after using this material. Remove and wash contaminated work clothing before re-use.

SECTION 9 – PHYSICAL AND CHEMICAL PROPERTIES

Physical State, Color, Etc:	White powder	Upper / lower flammability or explosive limits:	Not Determined
Odor:	Odorless	Vapor Pressure:	Not Determined
Odor Threshold:	Not Determined	Vapor Density:	Not Determined
pH:	~12.3	Relative Density:	Not Determined
Melting / Freezing Point:	Not Determined	Solubility(ies):	Slightly in water
Initial Boiling Point and Boiling Range:	Not Determined	Partition Coefficient: n-octanol/water:	Not Determined
Flash Point:	Not Determined	Auto-Ignition Temperature:	Not Determined
Evaporation Rate:	Not Determined	Decomposition Temperature:	Not Determined
Flammability (solid, gas):	Not Determined	Viscosity:	Not Determined

SECTION 10 – STABILITY AND REACTIVITY DATA

Reactivity:	Not Determined
Chemical Stability:	Stable under the recommended storage and handling conditions prescribed.
Possibility of Hazardous Reactions:	Hazardous polymerization will not occur.
Conditions to Avoid:	Incompatible materials (see Section 7).
Incompatible Materials:	Incompatible materials (see Section 7).
Hazardous Decomposition Products:	Hazardous combustion products (see Section 5).

SECTION 11 – TOXICOLOGICAL INFORMATION

Routes of Exposure:	Eye contact, ingestion, inhalation, skin contact.
Effects of Short-Term (Acute) Exposure:	
Eyes:	Direct eye contact may cause moderate eye irritation or burn. Symptoms may include redness, stinging, tearing, and pain.
Ingestion:	Ingestion may cause irritation or burn to the mouth, throat, and stomach. Symptoms may include dizziness, drowsiness, nausea, headache, and other central nervous system effects.
Inhalation:	May cause irritation or burn to the nose, throat, and respiratory tract. Symptoms may include burning sensation, sore throat, runny nose, coughing, wheezing, shortness of breath, and difficulty breathing.
Skin:	Direct skin contact may cause moderate to severe irritation or burn.
Effects of Long-Term (Chronic) Exposure:	
Inhalation:	Prolonged inhalation of crystalline silica may result in silicosis, a disabling pulmonary fibrosis characterized by fibrotic changes and miliary nodules in the lungs, a dry cough, shortness of breath, emphysema, decreased

Safety Data Sheet

EcologicTM LimeWash Platinum

chest expansion, and increased susceptibility to tuberculosis. In advanced stages, loss of appetite, pleuritic pain, and total incapacity to work. Advanced silicosis may result in death due to cardiac failure or destruction of lung tissue. Crystalline silica is classified as group 1 "known to be carcinogenic to humans" by IARC and "sufficient evidence" of carcinogenicity by the NTP. – Based on Human Evidence

Other Important Hazards:	Not Determined	
Numerical Measures of Toxicity*:		
Ingredient	CAS #	LD₅₀ (route, species)
Calcium Hydroxide	CAS# 1305-62-0	7340 mg/kg (oral, rat)
Crystalline Silica	CAS# 14808-60-7	22,500 mg/kg (oral, rat)
Aluminum Sulfate (Alum)	CAS# 10043-01-3	410 mg/kg (unreported, rat); 6207 mg/kg (oral, mouse); 274 mg/kg (intraperitoneal, mouse); 520 mg/kg (unreported, mouse); 490 mg/kg (unreported, guinea pig)

*Individual toxicity levels of component ingredients only, not documented in combination for the product itself.

SECTION 12 – ECOLOGICAL INFORMATION

Ecotoxicity:	There is no available data on the product itself.
Persistence and Degradability:	Not Determined
Bioaccumulative Potential:	Not Determined
Mobility in the Soil:	Not Determined
Other Adverse Effects:	Not Determined

SECTION 13 – WASTE DISPOSAL

Disposal must be in accordance with National or Local legislation and directives.
 Bags are exclusively for containing the product and must not be utilized for other use.
 Dispose of the contents and bags at a point of refuse collection.
 Harden the product before disposal by wetting it. Bags should be totally emptied.

SECTION 14 – TRANSPORTATION INFORMATION

UN Number	Non-Regulated Material	Environmental Hazards	Not Applicable
UN Proper Shipping Name	Non-Regulated Material	Transport in Bulk	Not Applicable
Transport Hazard Class(es)	Non-Regulated Material	Special Precautions	Not Applicable
Packing Group	Non-Regulated Material		

SECTION 15 – REGULATORY INFORMATION

OSHA Information:	This product is regulated according to OSHA. This SDS contains all the information required by OSHA.
TSCA Information:	The ingredients in this product are listed on the TSCA.
National Fire Protection Association (NFPA):	

Safety Data Sheet

Ecologic™ LimeWash Platinum

HEALTH: 3	FLAMMABILITY: 0	INSTABILITY: 0	SPECIAL HAZARDS: Refer to Section 1 & 3		
HAZARD SCALE:	0 = Minimal	1 = Slight	2 = Moderate	3 = Serious	4 = Severe
New Jersey Labeling Requirements:	Ingredients to be disclosed on product labeling: Refer to Section 3.				
California Proposition 65:	This product contains chemicals that are known to the State of California to cause cancer or other reproductive harm.				

SECTION 16 – OTHER INFORMATION

References:	1. Safety Data Sheets from manufacturer/supplier.				
Abbreviations:					
ACGIH	American Conference of Governmental Industrial Hygienists	NTP	National Toxicology Program		
AIHA	American Industrial Hygiene Association	OSHA	Occupational Safety and Health Administration		
CAS	Chemical Abstract Service	PEL	Permissible Exposure Limit		
DSL	Domestic Substance List	STEL	Short-term Exposure Limit		
IARC	International Agency for Research on Cancer	TLV	Threshold Limit Value		
LC	Lethal Concentration	TSCA	Toxic Substances Control Act		
LD	Lethal Dosage	TWA	Time Weighted Average		
N/A	Not Applicable/Not Available	WHMIS	Workplace Hazardous Materials Information System		
NIOSH	National Institute for Occupational Safety and Health				
H315	Causes skin irritation				
H318	Causes serious eye damage				
H319	Causes serious eye irritation				
H335	May cause respiratory irritation				
H350	May cause cancer				
H372	Causes damage to organs through prolonged or repeated exposure				
H402	Harmful to aquatic life				

To be best of our knowledge, the information contained herein is accurate. However, neither the above named supplier nor any of its subsidiaries assumes any liability whatsoever for the accuracy or completeness of the information contained herein. Final determination of suitability of any material is the sole responsibility of the user. All materials may present unknown hazards and should be used with caution. Although certain hazards are described herein, we cannot guarantee that these are the only hazards that exist. End of the SDS.



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Application Cover Page

Docket No.: 05-55-21

Permit No.: BBS21-000067

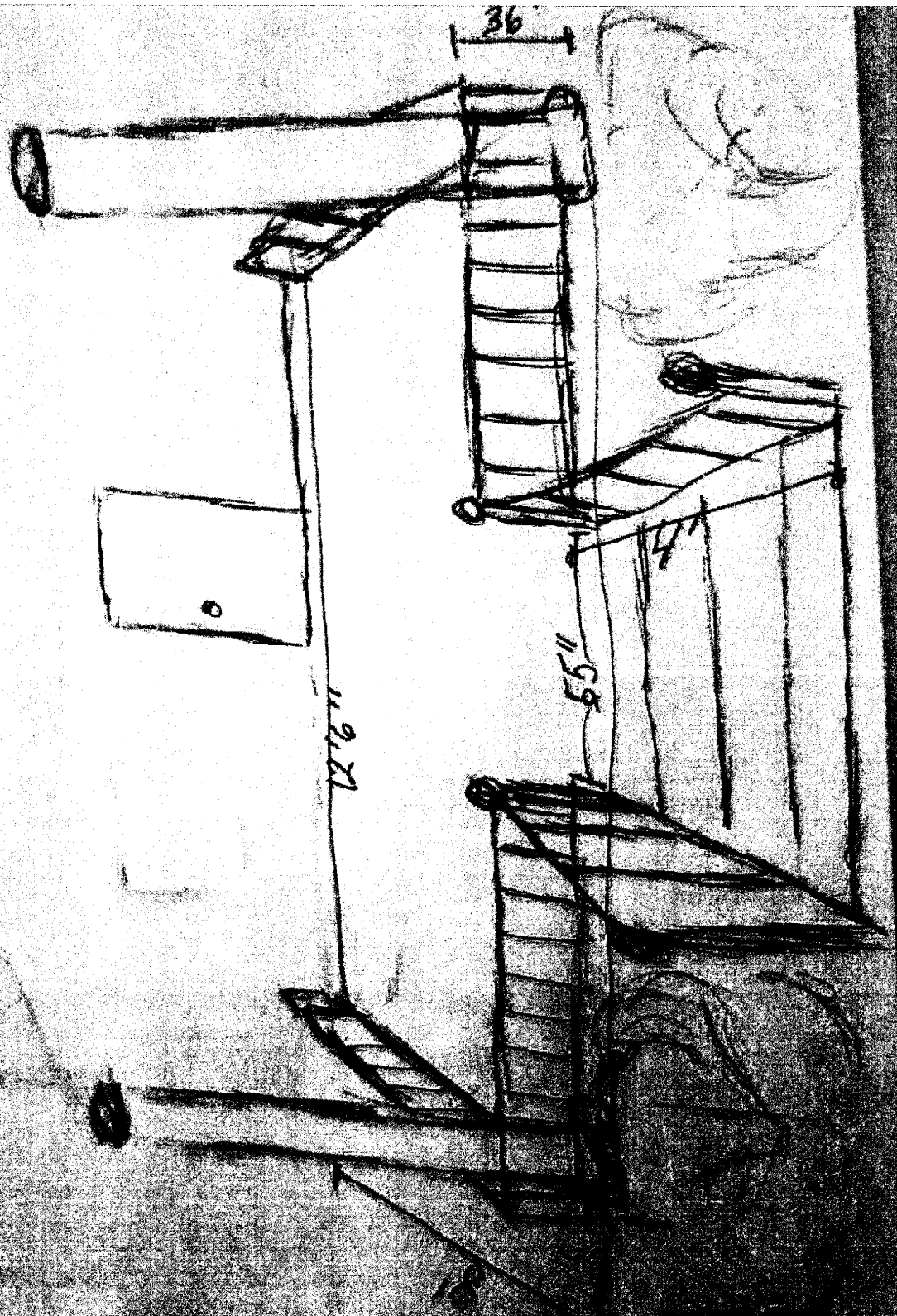
Applicant Name: Martin Chaney

Project Address: 1544 Elmwood Avenue

Project Name: n/a

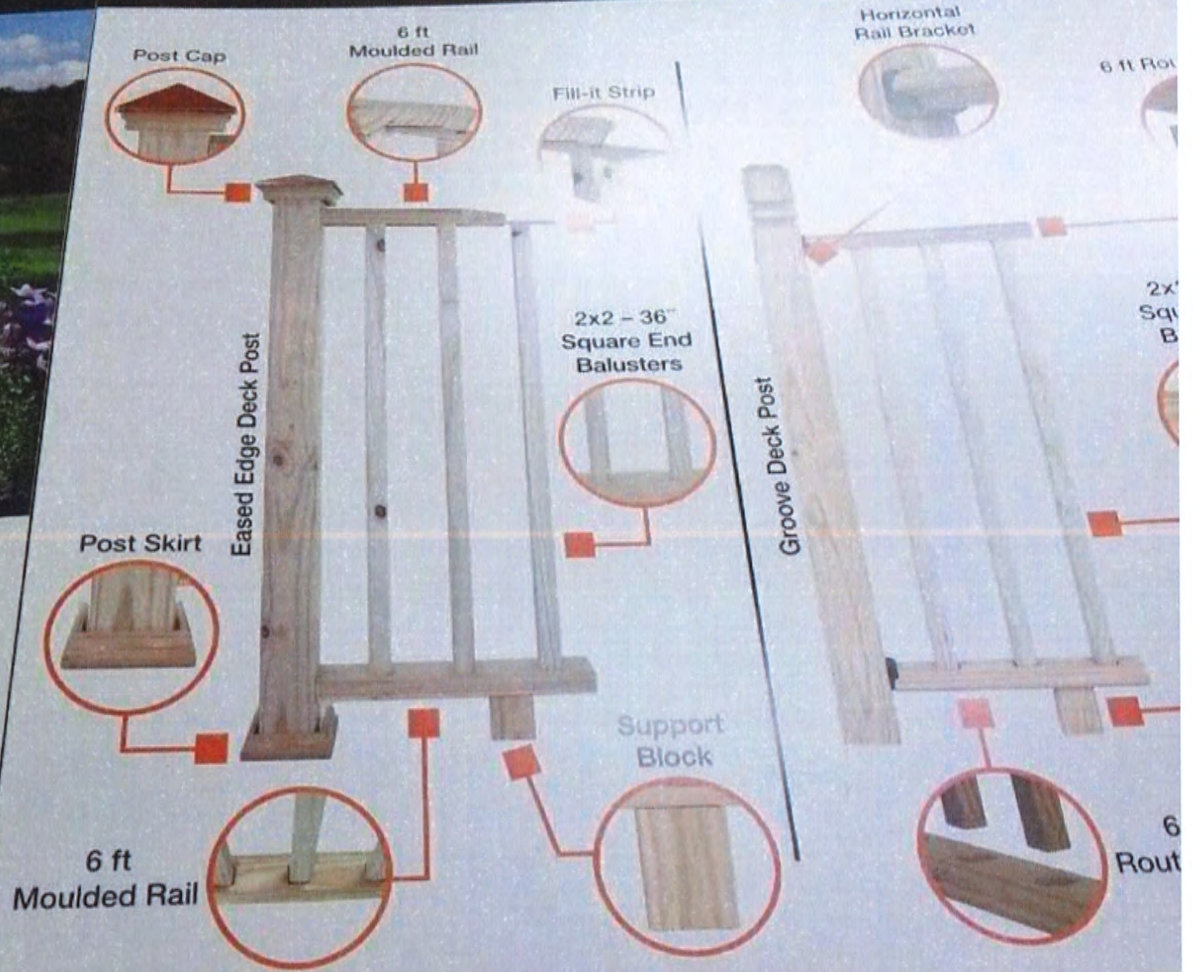
Project: Applicant proposes front porch repairs and installation of a new railing system.

FRONT PORCH 1544 E. ELWOOD AVE. 44107

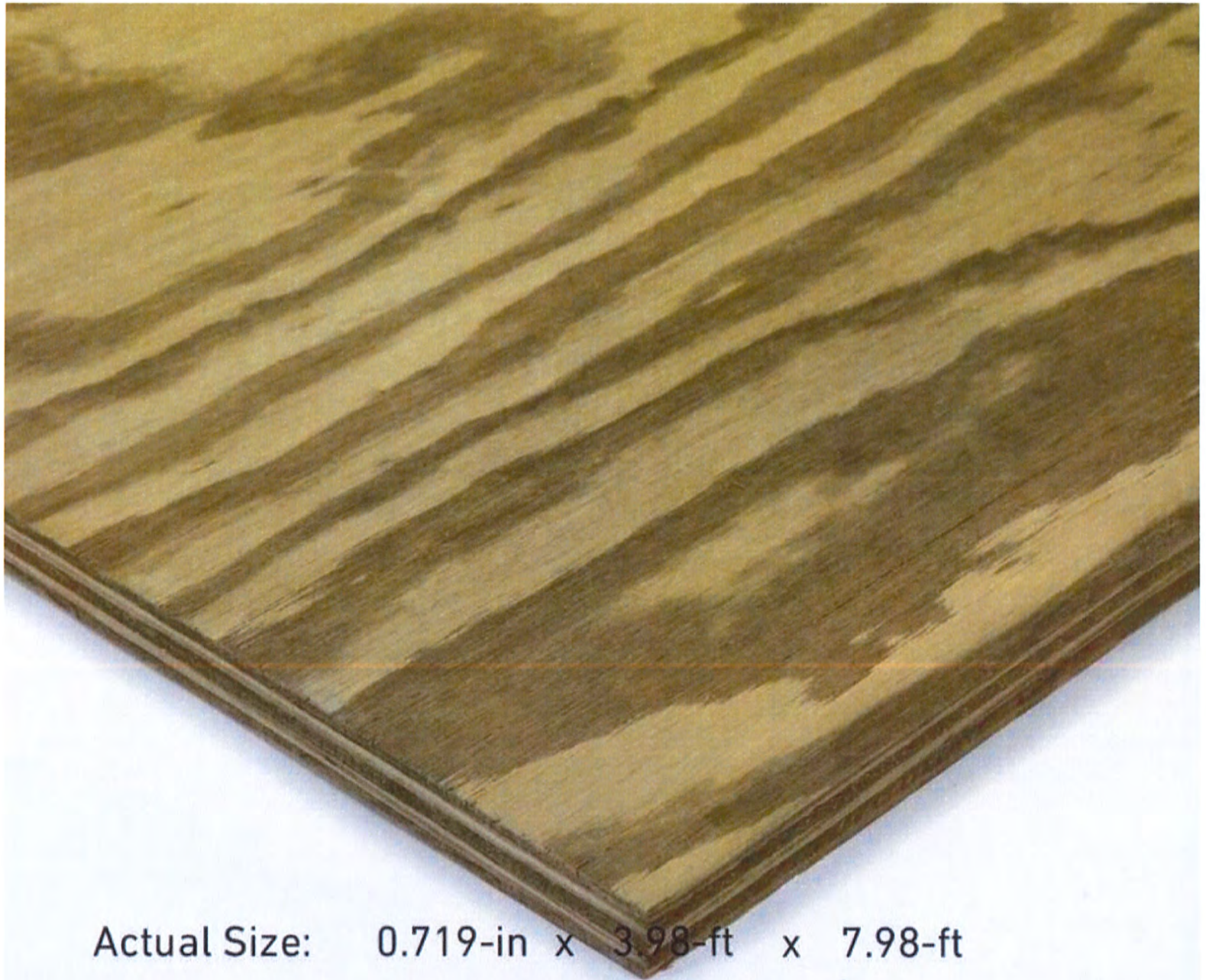


6 ft Do-It Yourself Wood Rail

6 ft Routed Wood Rail



©2014 Home Depot

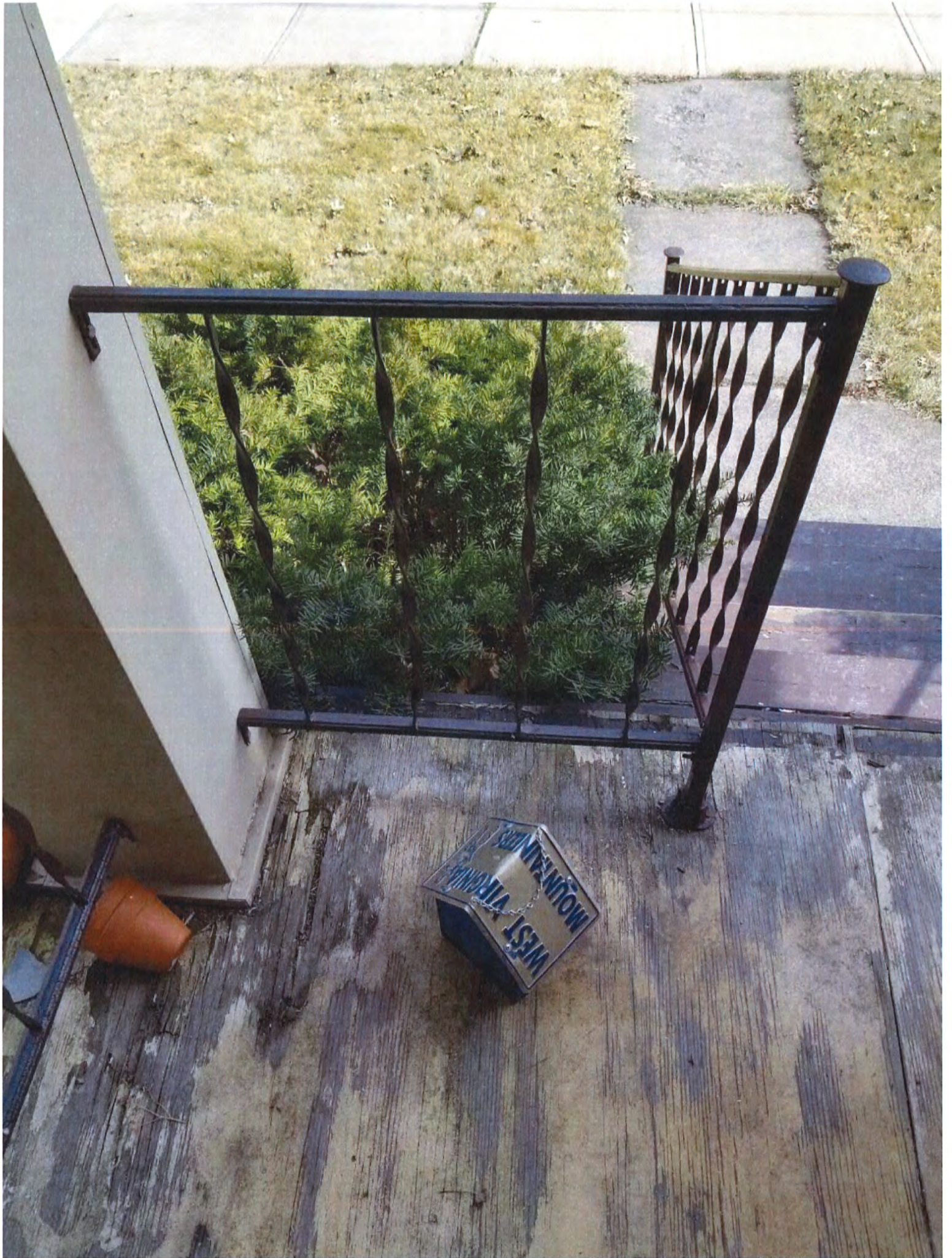


Actual Size: 0.719-in x 3.98-ft x 7.98-ft

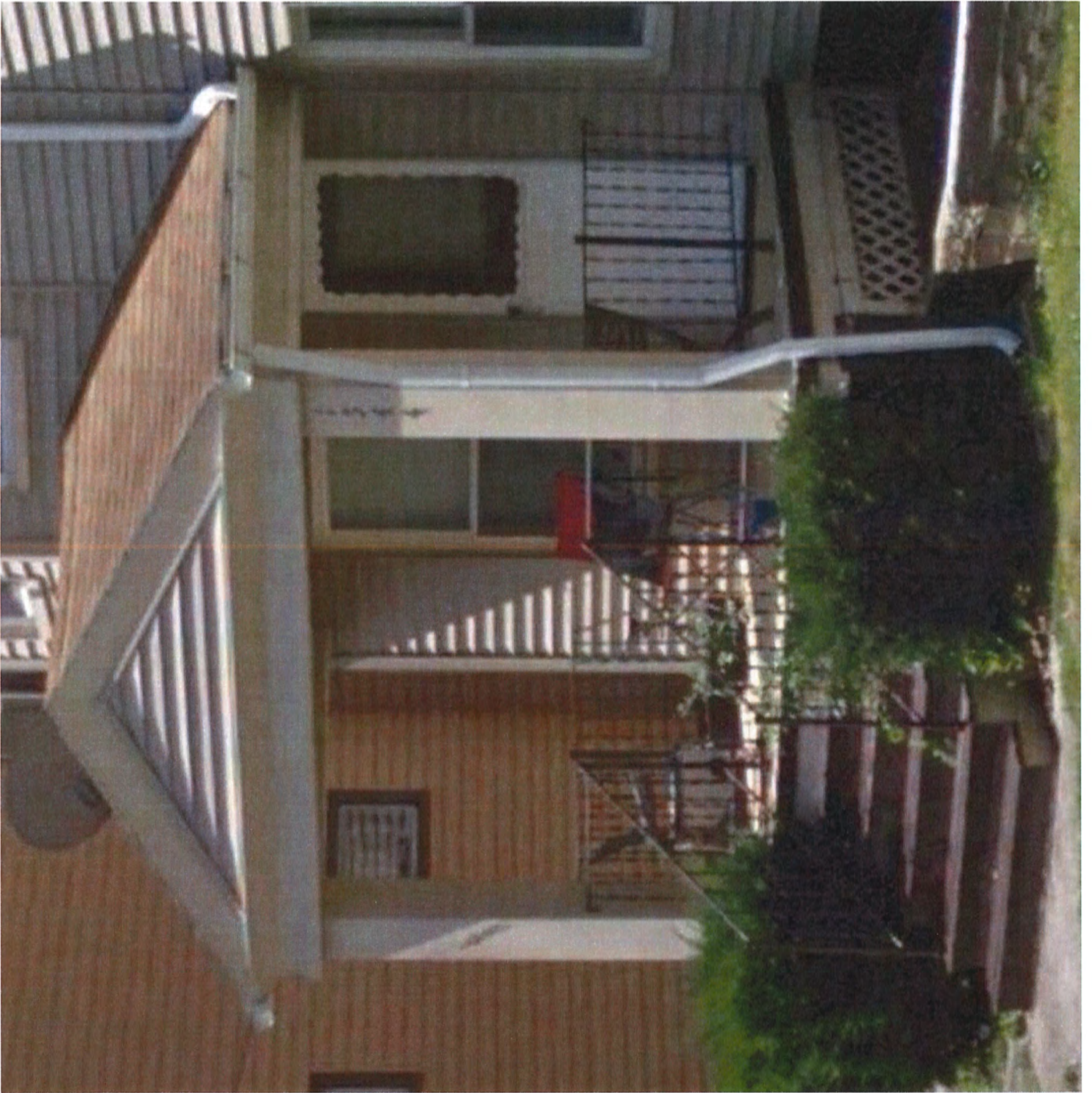
 Lowe's

**Severe Weather 3/4-in x 4-ft x 8-ft
Southern Yellow Pine Plywood...**

[Visit](#)



WEST VIRGINIA
MOUNTAINERS





City of Lakewood Division of Housing and Building
 Building Permit Application

PROJECT ADDRESS: 1574 Elmwood Ave #1107 Sub Unit # _____
 PERMANENT PARCEL NUMBER: 31402071

PROPERTY CLASSIFICATION: Single-Family Detached Commercial (includes multifamily and condominiums)
 Duplex or 2 Family Other _____

USE DESCRIPTION: Building Plumbing Mechanical Electrical Change of Use? _____
 (Family, Retail, Restaurant, etc.)

PERMIT TYPE: Building Plan Review A B R Approval Case Number _____

RELATED CASES: Correction Notice Plan Review A B R Approval Case Number _____

SCOPE OF PERMIT (Check all that apply):
 New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
 Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing
 Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration
 Demolition Paving Storm Sewer Other (Please specify) _____

*VALUATION: (cost of the work) \$ 4500 PROJECT SIZE: (in square feet) 140

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) DRAIN NO DRAIN
Removing Top Layer of porch Flooring and Replacing it with New Plywood Flooring. Also, removing old Railing and Replacing it with a new one.
(Front Porch 12'6" x 8') Front Steps 55" x 4'

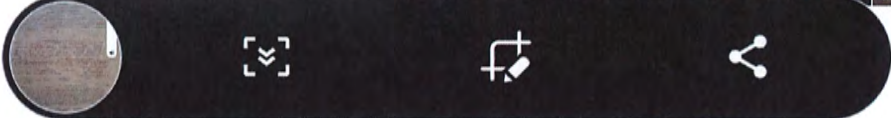
PROPERTY OWNER NAME: Benjamin Swartz Phone: 216-996-8630
 Business Name (if applicable) _____ Email: benswartz15@yahoo.com
 Mailing Address: 1594 Elmwood Ave City: Lakewood State: OH Zip: 44107

CONTRACTOR NAME: Martin Chaney Phone: 234-788-2850
 License/Reg. No. _____ Email: martchan@gothic.com
 Mailing Address: 784 Kenmore Blvd. City: Alison State: OH Zip: 44314

ARCHITECT/ENGINEER: _____
 Mailing Address: _____ City: _____ State: _____ Zip: _____

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

Martin Chaney 3/16/2021 Anticipated Completion Date: 3/15/2021
 SIGNATURE OF CONTRACTOR/OWNER DATE





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Application Cover Page

Docket No.: 06-65-21

Permit No.: BBS21-000072

Applicant Name: Neil Stallard

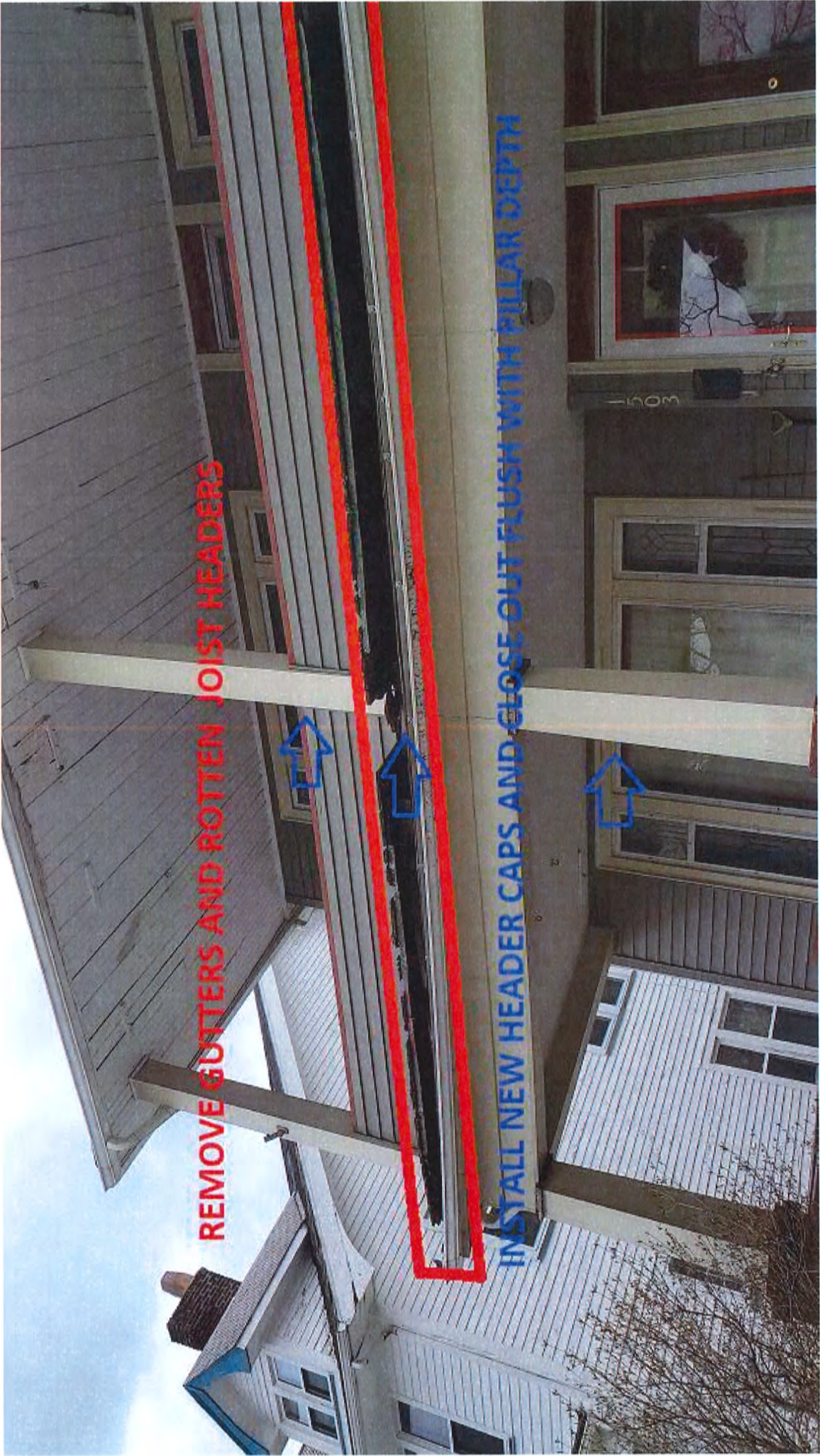
Project Address: 1503 Lincoln Avenue

Project Name: n/a

Project: Applicant proposes second floor repairs: fascia and gutters.



Attach upper and lower down spouts



REMOVE GUTTERS AND ROTTEN JOIST HEADERS

INSTALL NEW HEADER CAPS AND CLOSE OUT FLUSH WITH PILLAR DEPTH







DIVISION OF HOUSING AND BUILDING
 12650 DETROIT AVENUE LAKEWOOD, OHIO 44107
 PHONE (216) 529-6270 FAX (216) 529-5930
 Website: www.onelakewood.com

Application for Residential Plan Approval

For projects subject to the provisions of the Residential Code of Ohio, including detached one-, two-, and three-family dwellings and structures accessory to those dwellings except as indicated by RCO section 101.2, Scope.

Project Building Location

*Street Address 1503 LINCOLN AVE
 *Owner Occupied? Y N
 *Owner Name NEIL STALLARD
 *Owner Phone Number 440.666.7556

Project Information: RCO 107.2

(Check one that best describes the project)

Basic Project Types:

- New Home Alteration
 Demolition of Principle Structure Addition

Miscellaneous Project Types:

- Garage Rear Deck Front Porch
 Siding Cabinets Fixture Replacement
 Paving >100sf Shed >120sf Fence
 Swimming Pool Waterproofing Water Controlling

Equipment Installation or Replacment:

- Water Heater Furnace or A/C Boiler
 Electrical Panel Solar Power Solar Heating

Project Extents:

(Include total area and total cost including sub-trades)

*Total Project Area (SF) Approx 180sq/ft
 *Valuation (Project Cost): COST OF MATERIALS

***Project Description:**

(Include project name, location, scope of work, etc.)

REMOVE ROTTEN WOOD & GUTTERS
AROUND 2nd FLOOR BALCONY,
REPLACE E CAP WITH FLAT
FASCIA BOARDS. THEN CONNECT
UPPER DOWN SPOUTS WITH
LOWER DOWN SPOUTS.

Construction Documents.

*No. of Sets: _____ *Date on Plans: _____

Applicant Information: RCO 107.2

(Owner or designated representative)

*Name NEIL STALLARD
 *Business Name 6619 COURTLAND DR.
 *Street Address _____
 *City, State, Zip Spartanville OH 44149
 *Phone Number 440-666-7556
 *Email Address nstallard@gmail.com

Registered Design Professional

(Person primarily responsible for preparation of documents)

- Architect Engineer Certified Fire Protection System Designer N/A

Name _____
 Firm or Business _____
 Certificate/ Registration # _____
 Street Address _____
 City, State, Zip _____
 Contact Person _____
 Phone Number _____
 Email Address _____

Certification: RCO 107.2

(Owner or designated representative)

I certify that I am the building Owner Owner's Authorized Agent. All information contained in this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the address shown above. I consent to these plans being reviewed in the order of plans examination determined by the building official.

*Signature [Signature]
 *Print Name NEIL STALLARD
 *Date of Application 3/18/21

Building Department Use

(To be completed by Building Department staff)

Case Number _____
 Date Received _____ Received By _____

Other Approvals Required: prior to permit issuance (check all that apply)

- Dye Test: Y N N/A
 Engineering: Y N N/A
 Planning / Zoning: Y N N/A

Plan Review Fees:

(check all that apply)

- Outsied Plans Examiner Stormwater Review



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Application Cover Page

Docket No.: 06-66-21

Permit No.: BBS21-000075

Applicant Name: Ryan Bell, Great Day Improvements

Project Address: 17703 Lakewood Heights. Blvd.

Project Name: n/a

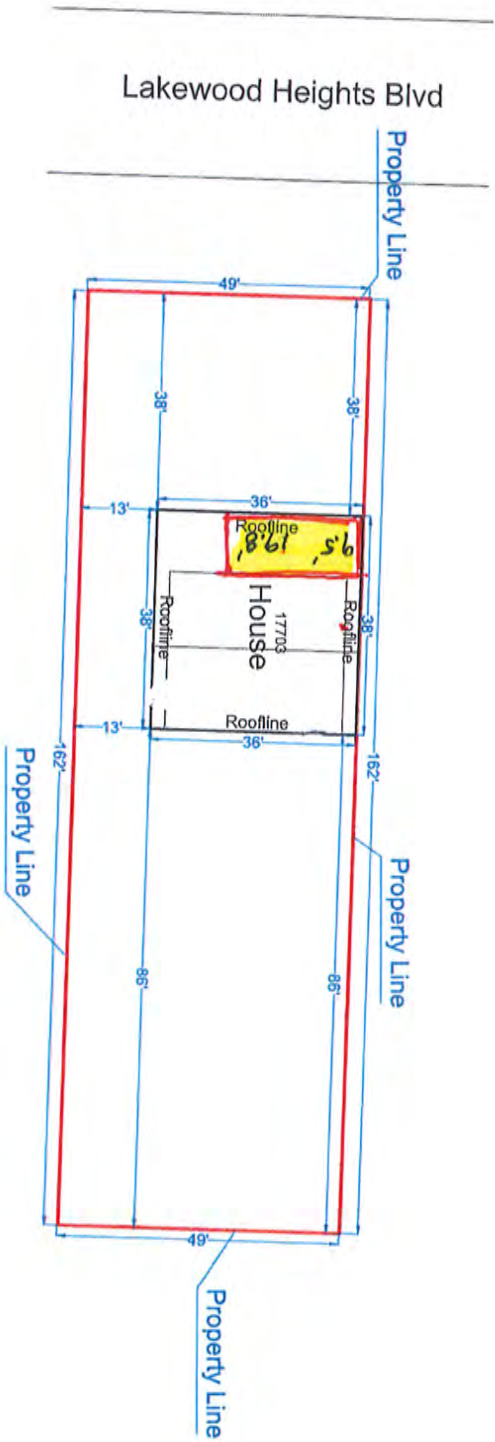
Project: Applicant proposes enclosing a front porch.







41302



Lakewood Heights Blvd

Property Line

Property Line

Property Line

A Wall - 9.5'
B Wall - 19.8'

17703 Lakewood Heights Blvd
Lakewood, OH 44107
1"=.20'





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BY GREAT DAY IMPROVEMENTS, LLC

LOCATION
GDI - CLEVELAND
700 E. HIGHLAND ROAD
MACEDONIA, OH 44056
330-467-4287

CAROLINE PURCELL
17703 LAKEWOOD HEIGHTS BLVD.
LAKEWOOD, OH, 44107
JOB #41302

DATE 3/1/21
DRAWN VNG
SCALE 1/4" = 1'-0"
SHEET 1 OF 5



GREAT DAY IMPROVEMENTS, CLEVELAND
PURCELL RESIDENCE

DRAWING #	DESCRIPTION
1	COVER
2	ELEVATION "A" & "B" WALL
3	DECK PLAN
4	FLOOR PLAN
5	SYSTEM DETAILS

MINIMUM DESIGN LOADS: PER 2019 RCO/2018 IRC
W/ OH AMENDMENTS

SUNROOM CATEGORY II (PER 2018 IRC R301.2.1.1.1
& AAMA / NPEA / NSA 2100)

SNOW LOADS: GROUND SNOW LOAD 20 PSF

ULTIMATE DESIGN WIND SPEED: 115 MPH, 3 SEC. GUSTS

LIVE LOADS:

1. ROOF: 40 PSF
2. FLOOR: 40 PSF

THIS SUNROOM IS NOT TO BE CONDITIONED
OR USED AS A PERMANENT LIVING AREA.

NOTES:

1. ALLVIEW (CA6) SUNROOM; WHITE IN COLOR
2. CONSTRUCT SUNROOM ON EXISTING DECK AND UNDER EXISTING ROOF
3. NO HEAT OR ELECTRICAL BY GDI
4. THIS SUNROOM IS CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY REQUIREMENTS (PER 2018 IRC SECTION N1102.1, NOTE 1.2)

THIS SUNROOM AND FOUNDATION HAVE BEEN EVALUATED FOR DESIGN LOADS REQUIRED BY THE IRC CODE. THIS INCLUDES ALL MATERIALS, COMPONENTS, CONNECTIONS, AND ATTACHMENTS WHEN CALCULATING THE LOAD REQUIREMENTS.

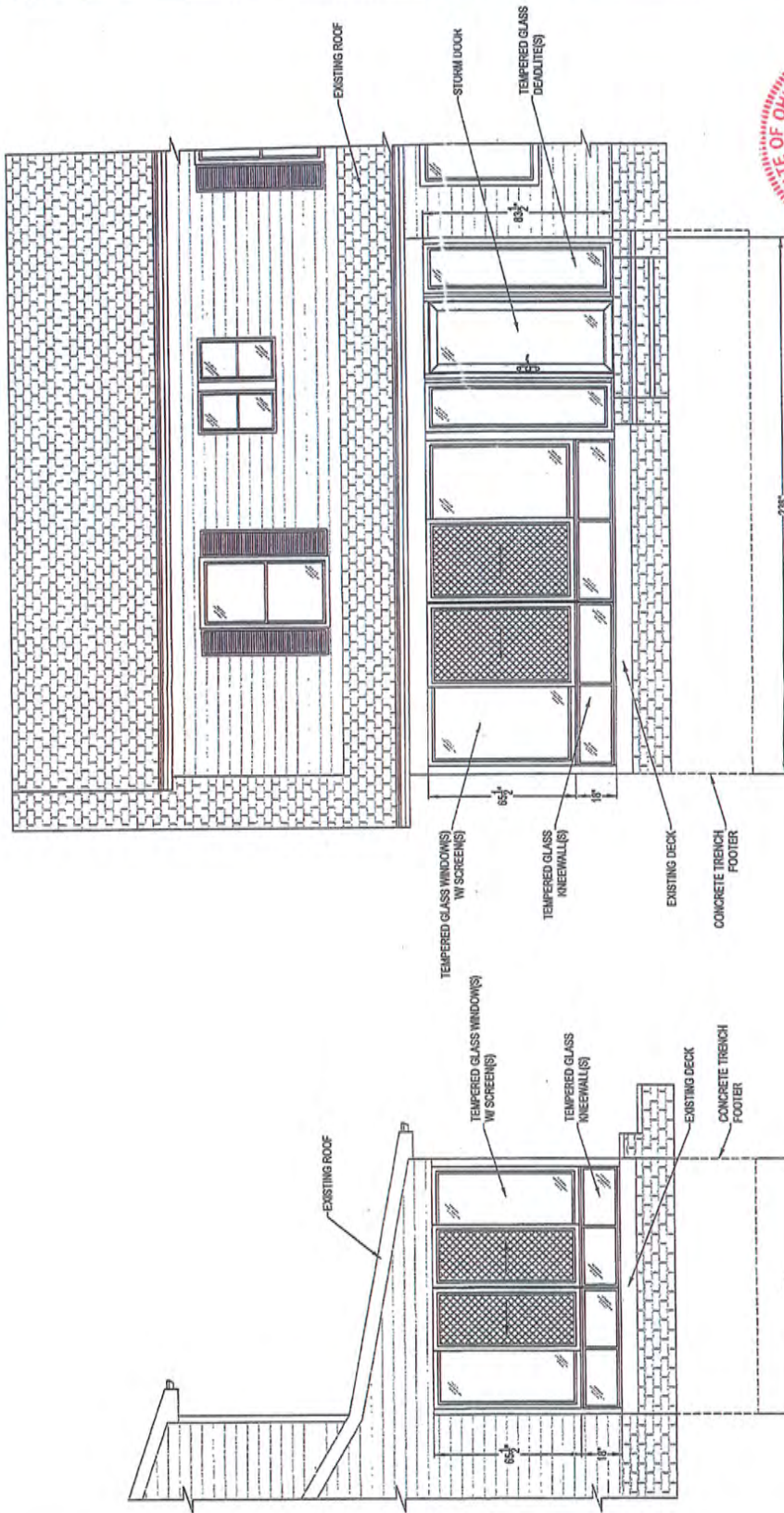


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DATE: 3/11/21
 DRAWN: WNG
 SCALE: 1/4" = 1'-0"
 SHEET: 2 OF 5

LOCATION: GDI - CLEVELAND
 700 E. HIGHLAND ROAD
 MACEDONIA, OH 44056
 330-467-4267

CAROLINE PURCELL
 17703 LAKEWOOD HEIGHTS BLVD.
 LAKEWOOD, OH, 44107
 JOB #41302



ELEVATION - "B" WALL

ELEVATION - "A" WALL

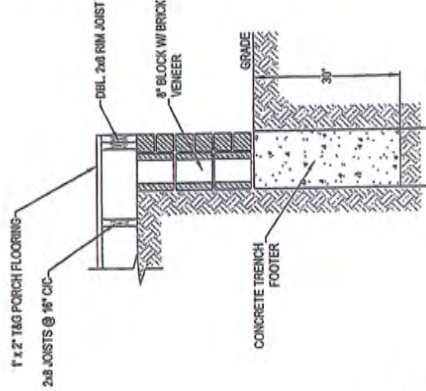
STATE OF OHIO
 REGISTERED PROFESSIONAL ENGINEER
 JAMES A. JAMES
 CIVIL ENGINEER (OH. LIC. #71697)
 6971 ASBURY AVENUE
 NATIONAL PARK, N.J. 08063
 PH. # 856-663-7306



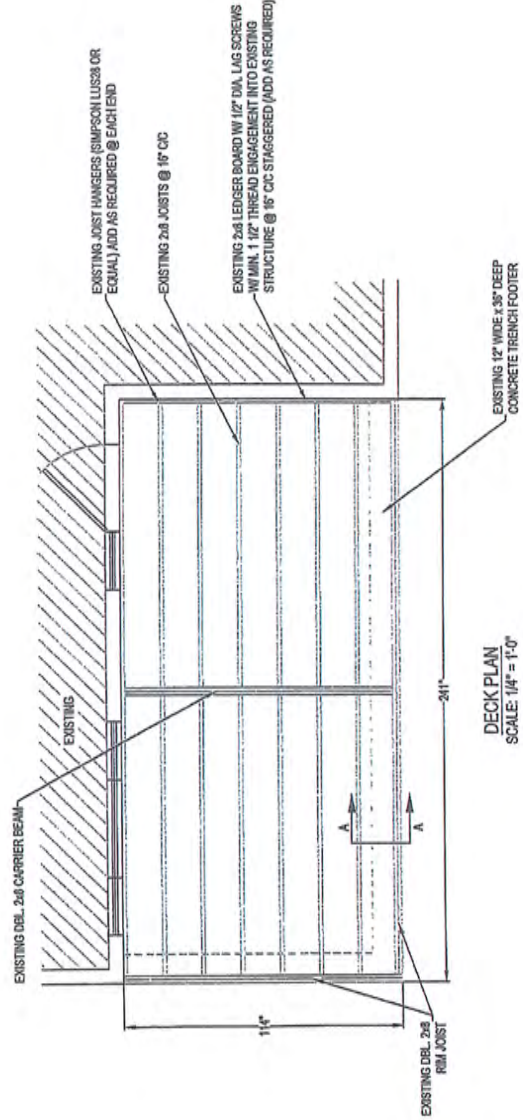
LOCATION
 GDI - CLEVELAND
 700 E. HIGHLAND ROAD
 MACEDONIA, OH 44056
 330-467-4267

CAROLINE PURCEL
 17703 LAKEWOOD HEIGHTS BLVD.
 LAKEWOOD, OH, 44107
 JOB #41302?

DATE	3/11/21
DRAWN	VNG
SCALE	
AS NOTED	
SHEET	3 OF 5



SECTION A-A
 SCALE: 1/2" = 1'-0"



DECK PLAN
 SCALE: 1/4" = 1'-0"

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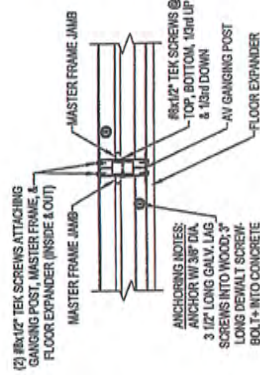


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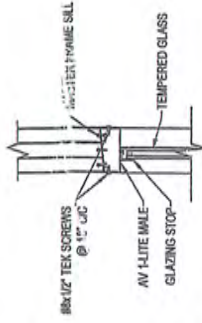
LOCATION
 (C)DI - CLEVELAND
 700 E. HIGHLAND ROAD
 MAC EDONIA, OH 44056
 :30-467-4287

CAROLINE PURCELL
 17703 LAKEWOOD HEIGHTS BLVD.
 JOB #41302

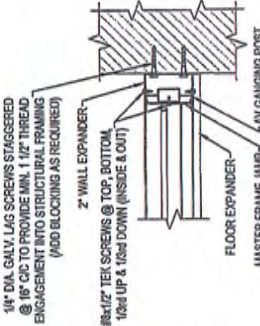
DATE 3/11/21
 DRAWN VNG
 SCALE 1/12" = 1'-0"
 SHEET 5 OF 5



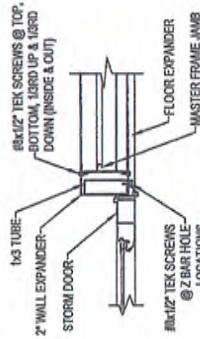
PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ GANGING POST



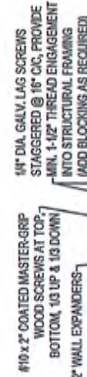
SECTION THROUGH MASTER FRAME SILL CONNECTION @ GLASS KNEEWALL



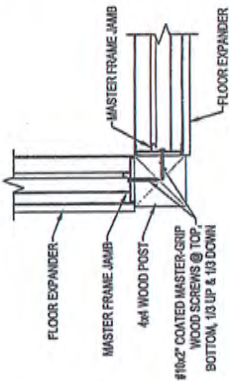
PLAN VIEW OF MASTER FRAME JAMB CONNECTION @ EXISTING WALL



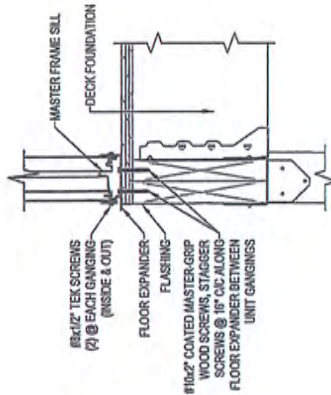
PLAN VIEW OF STORM DOOR JAMB CONNECTION @ MASTER FRAME



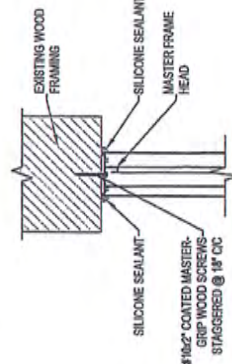
PLAN VIEW OF MASTER FRAME JAMB CONNECTION @ EXISTING WALL



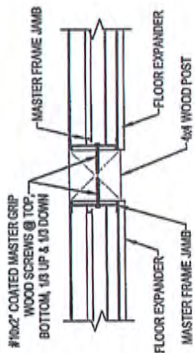
PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ 4x4 WOOD POST



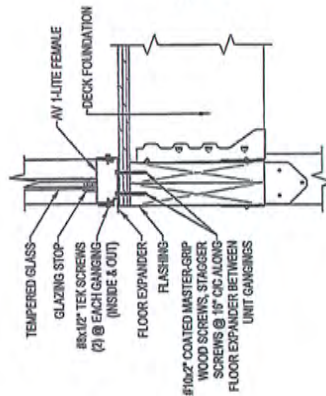
SECTION THROUGH MASTER FRAME SILL CONNECTION @ DECK FOUNDATION



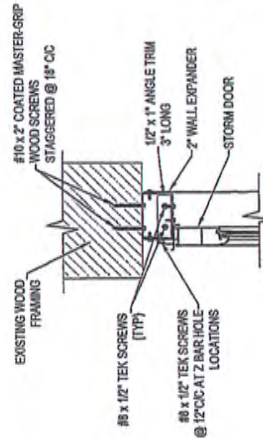
SECTION THROUGH MASTER FRAME HEAD CONNECTION @ EXISTING HEADER



PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ 4x4 WOOD POST



SECTION THROUGH GLASS KNEEWALL CONNECTION @ DECK FOUNDATION



SECTION THROUGH STORM DOOR CONNECTION @ EXISTING HEADER



JAMES A. CLANCY
 OH PROFESSIONAL ENGINEER (OH LIC. #1597)
 601 ASBURY AVENUE
 NATIONAL PARK, MI 00863
 P.L.# 685-8537-206



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Application Cover Page

Docket No.: 06-67-21

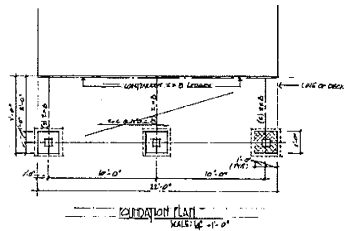
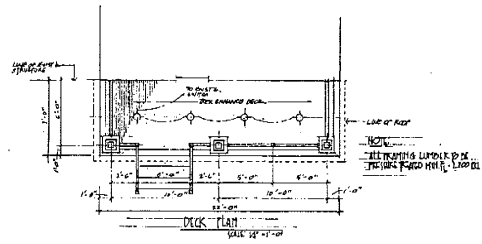
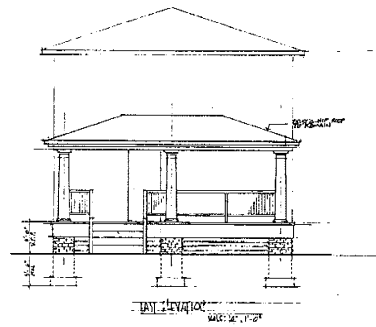
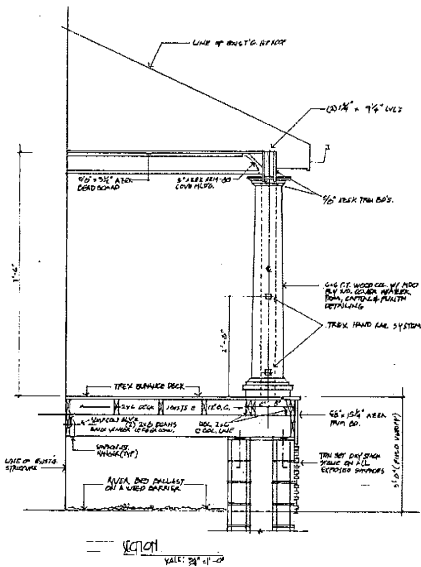
Permit No.: BBS21-000076

Applicant Name: Christopher Parmelee

Project Address: 1558 Rosewood Ave.

Project Name: n/a

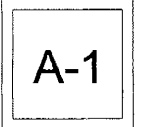
Project: Applicant proposes the demolition and rebuild of a front porch.



DATE: 5/25/11
 REVISED:

RENOVATION OF FRONT PORCH
 1558 Rosewood Ave., Lakewood, Ohio 44107
ARCHITECTS: C.A. McGETTRICK, LLC
 14551 Madison Ave., Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

CONTRACT NO.
 OWNER:
 PROJECT NO.





composite railings



Rocky River Lowe's Open until 10 PM >



Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

Building Supplies / Decking / Deck Railing



Feedback

- Includes a top rail, bottom rail, rail brackets and covers, black aluminum round balusters, support block and hardware
- Use with 40-in upper and 48-in lower composite post sleeve kits (model #34670 and 354352)
- Stair angle brackets are set to 35 degrees

1 +
Qty

Add to Cart



Online



Deckorators Grab and Go 6-ft x 2.75-in x 36-in White Composite Deck Stair Rail Kit Contemporary Balusters Included (Assembly Required)

\$79.97

Add to Cart

Overview Specifications Reviews Questions & Answers Compare Product Features



Name: Parmelce

Date:

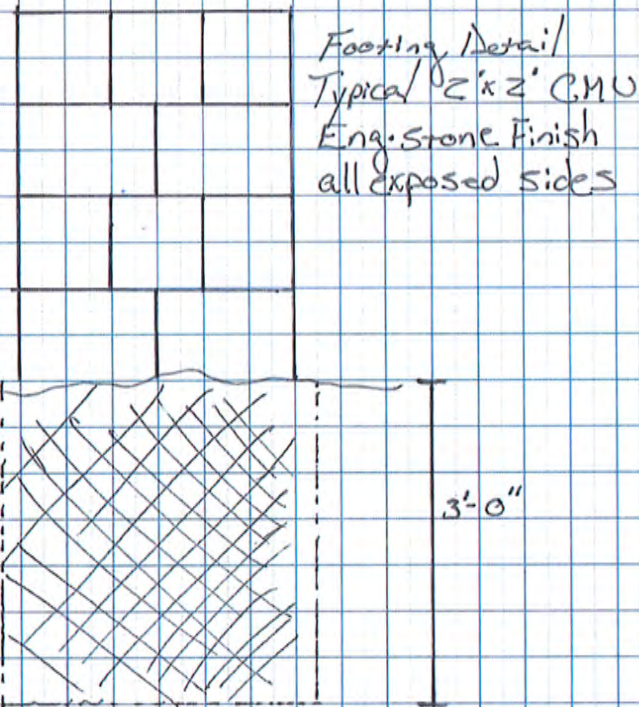
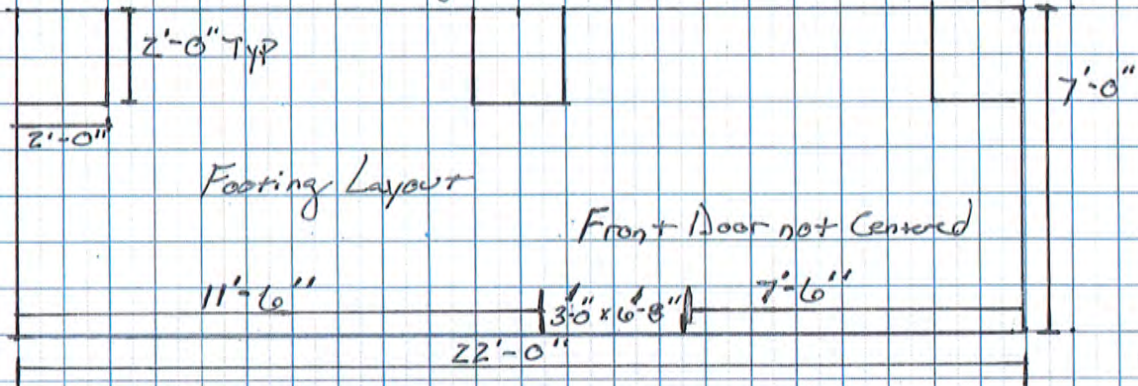
By:

Project: Front Porch 22'-0" x 7'-0"

Phone:

Location: Page A-1 Footing

Email:



Name: Parmelee

Date:

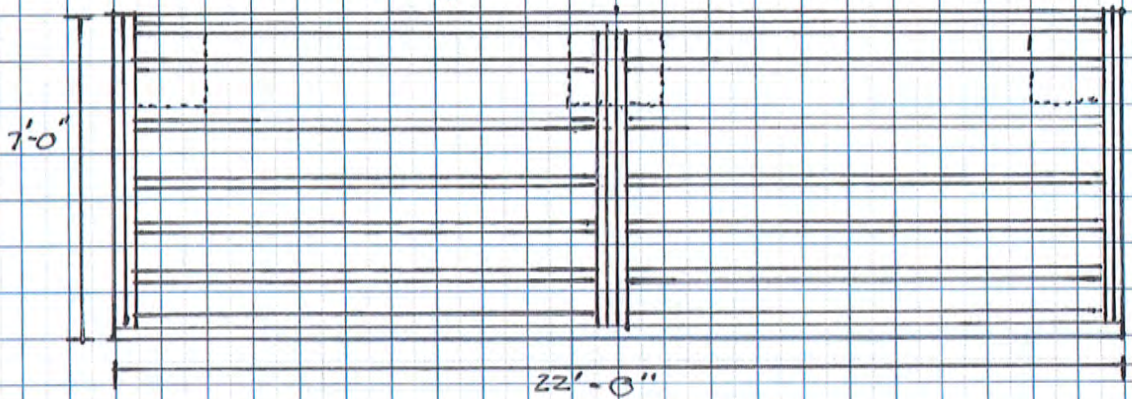
By:

Project: Front Porch 22'-0" x 7'-0"

Phone:

Location: Page A-Z Framing

Email:



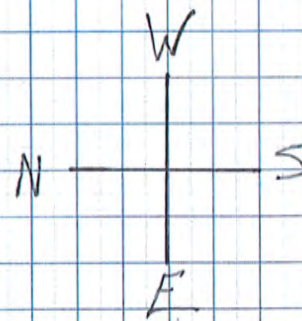
New 2"x8" Ledger fastened 23" O.C.
in W pattern 2" from T+B
w/ Ledger locks

New double 2"x8" Rim Joists N, W, + S sides

New 2"x8" Floor Joists Secured to girder +
Rim Joists w/ joist hangers 16" O.C.

New Triple 2"x8" Girder pocketed into ext
Structure Simpson L-90
brackets Girder to Rim joists

Uplift Resistance Deck to piers via blocking



Name: Parmelee

Date:

By:

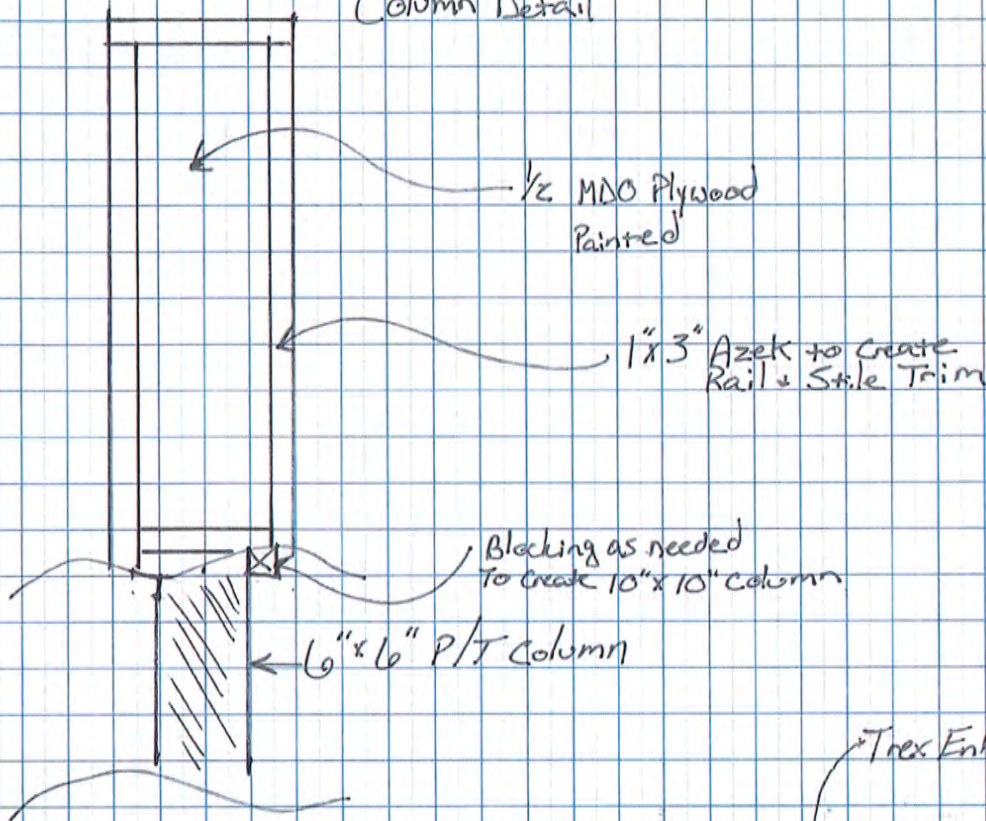
Project: 22'-0" x 7'-0" Front Porch

Phone:

Location: Page A-3 Details

Email:

Column Detail

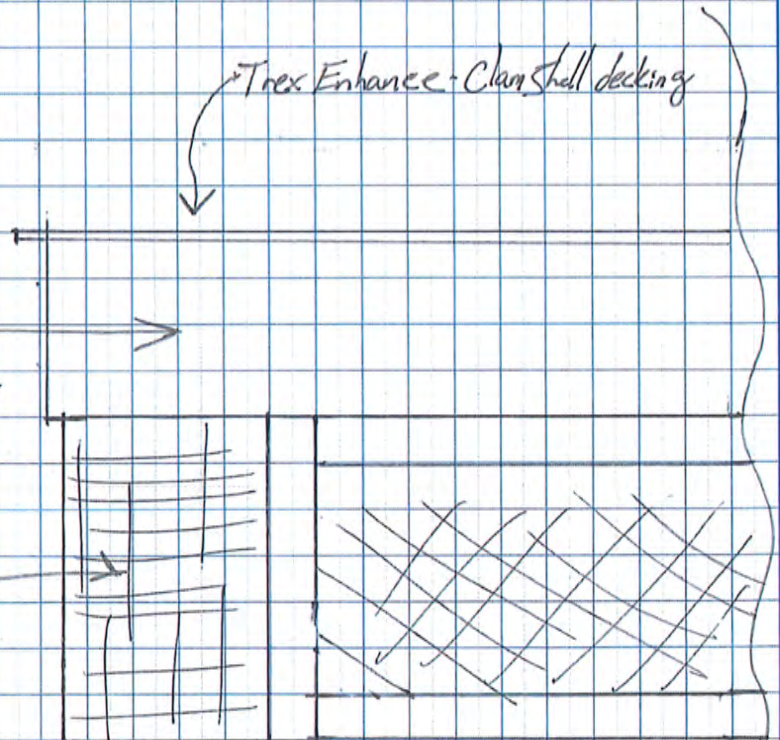


Trex Enhance - Clam Shell decking

Azek 1" x 8" Frieze Board to trim framing

Composite Handrail System w/ Black Aluminum 3/4" Dia ballusters

Eng Stone Veneer



Lattice Detail 2" x 4" P/T frame Painted



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Application Cover Page

Docket No.: 06-68-21

Permit No.: BBS21-000082

Applicant Name: Terry Breitenbach, Breitenbach Remodeling, Inc.

Project Address: 1353 Lakeland Ave.

Project Name: n/a

Project: Applicant proposes the demolition and rebuild of a front porch.









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Application Cover Page

Docket No.: 06-69-21

Permit No.: BBS21-000084

Applicant Name: Joe Mannarino, MR TMG LLC

Project Address: 14536 Detroit Ave.

Project Name: Aladdin's Eatery

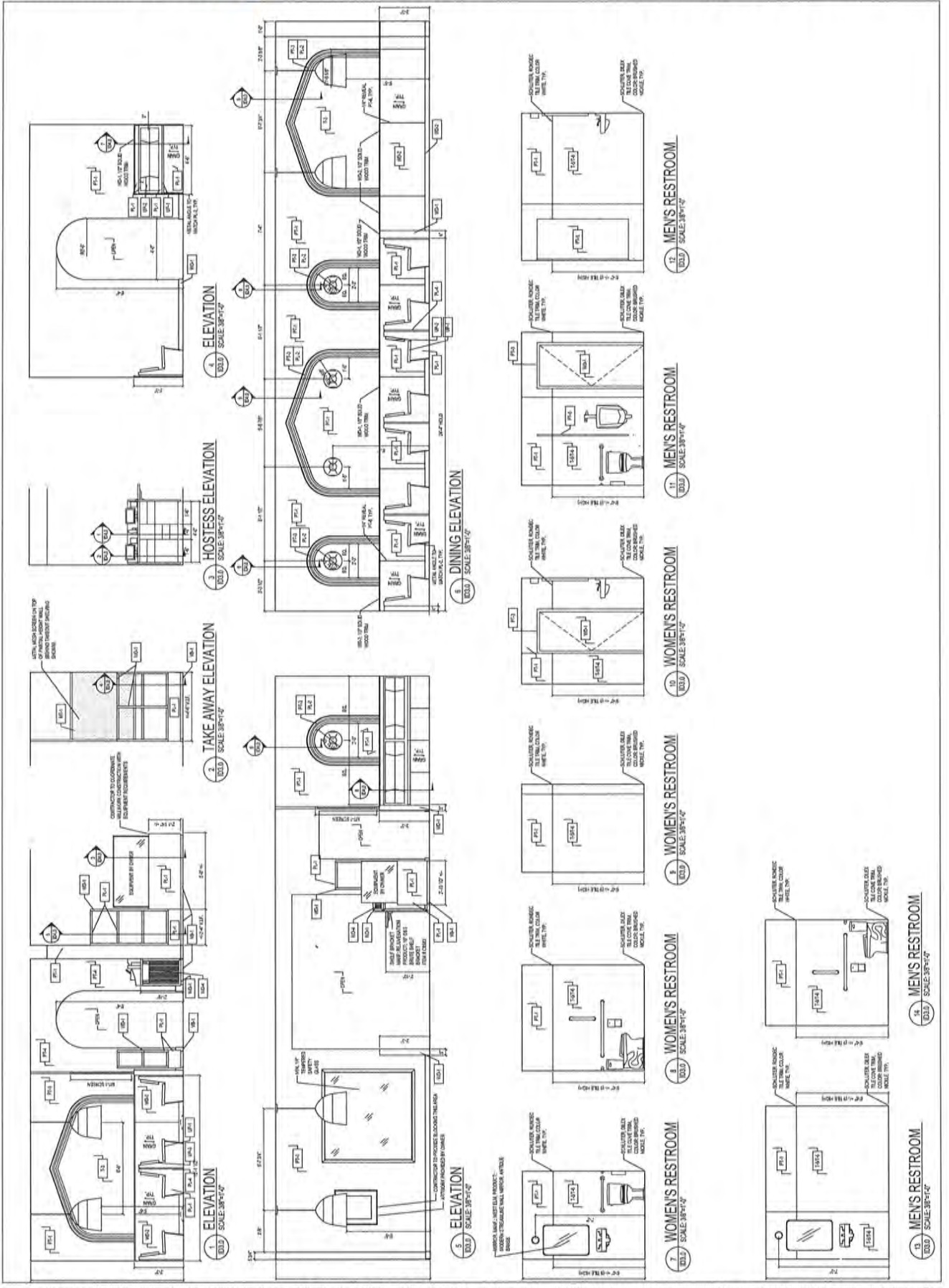
Project: Applicant proposes façade renovations.

NO.	DATE	DESCRIPTION
1	10/15/15	ISSUE FOR PERMITS
2	11/10/15	ISSUE FOR PERMITS
3	12/15/15	ISSUE FOR PERMITS
4	01/15/16	ISSUE FOR PERMITS
5	02/15/16	ISSUE FOR PERMITS
6	03/15/16	ISSUE FOR PERMITS
7	04/15/16	ISSUE FOR PERMITS
8	05/15/16	ISSUE FOR PERMITS
9	06/15/16	ISSUE FOR PERMITS
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32	05/15/18	ISSUE FOR PERMITS
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36	09/15/18	ISSUE FOR PERMITS
37	10/15/18	ISSUE FOR PERMITS
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79	04/15/22	ISSUE FOR PERMITS
80	05/15/22	ISSUE FOR PERMITS
81	06/15/22	ISSUE FOR PERMITS
82	07/15/22	ISSUE FOR PERMITS
83	08/15/22	ISSUE FOR PERMITS
84	09/15/22	ISSUE FOR PERMITS
85	10/15/22	ISSUE FOR PERMITS
86	11/15/22	ISSUE FOR PERMITS
87	12/15/22	ISSUE FOR PERMITS
88	01/15/23	ISSUE FOR PERMITS
89	02/15/23	ISSUE FOR PERMITS
90	03/15/23	ISSUE FOR PERMITS
91	04/15/23	ISSUE FOR PERMITS
92	05/15/23	ISSUE FOR PERMITS
93	06/15/23	ISSUE FOR PERMITS
94	07/15/23	ISSUE FOR PERMITS
95	08/15/23	ISSUE FOR PERMITS
96	09/15/23	ISSUE FOR PERMITS
97	10/15/23	ISSUE FOR PERMITS
98	11/15/23	ISSUE FOR PERMITS
99	12/15/23	ISSUE FOR PERMITS
100	01/15/24	ISSUE FOR PERMITS

DRAWN BY: GF
 10/15/15

ALADDIN'S EATERY
FINISH RENOVATION
 LAKEWOOD, OH

14335 DETROIT AVENUE
 LAKEWOOD, OH 44107



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Application Cover Page

Docket No.: 06-70-21

Permit No.: BBS21-000086

Applicant Name: Mukhammad Farman

Project Address: 1644 Grace Ave.

Project Name: n/a

Project: Applicant proposes the demolition and rebuild of a front porch.



image_50390785.JPG

Open with ▾



Compost

🌟

Starred

Snoozed

Sent

Drafts

More

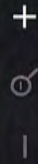


New meeting

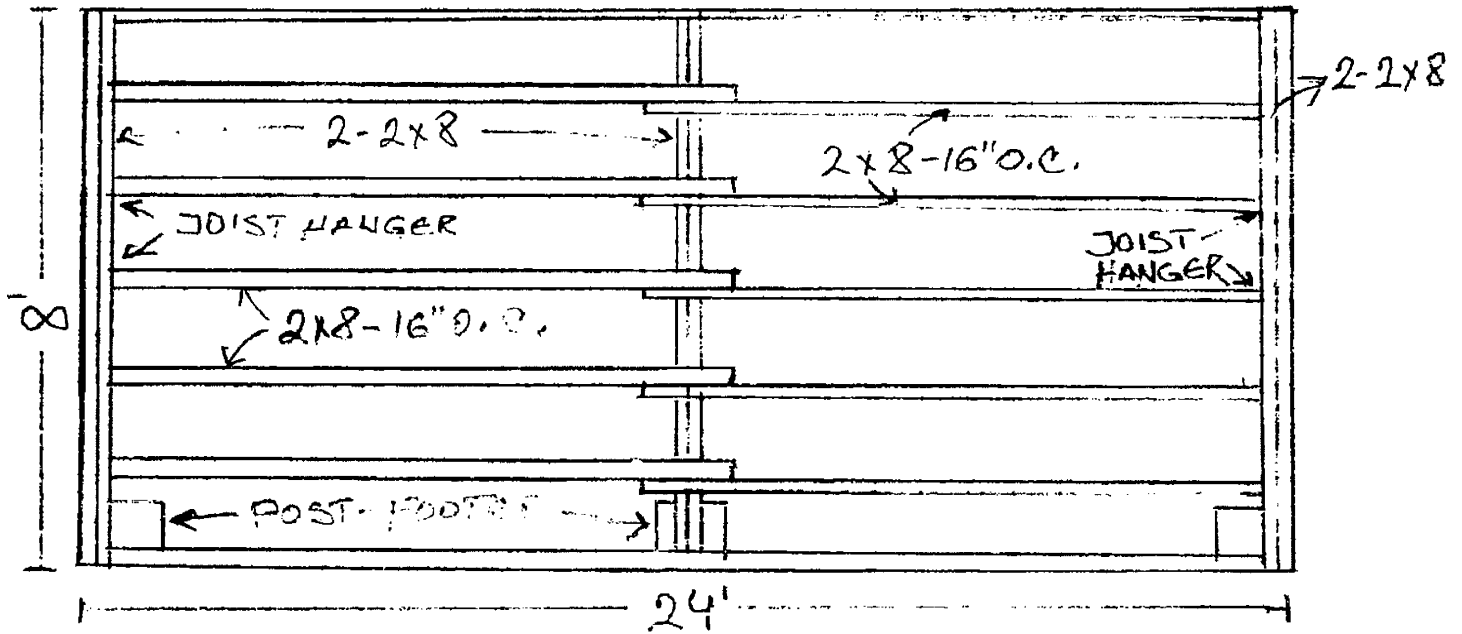
Join a meeting

Hangouts

KandZ

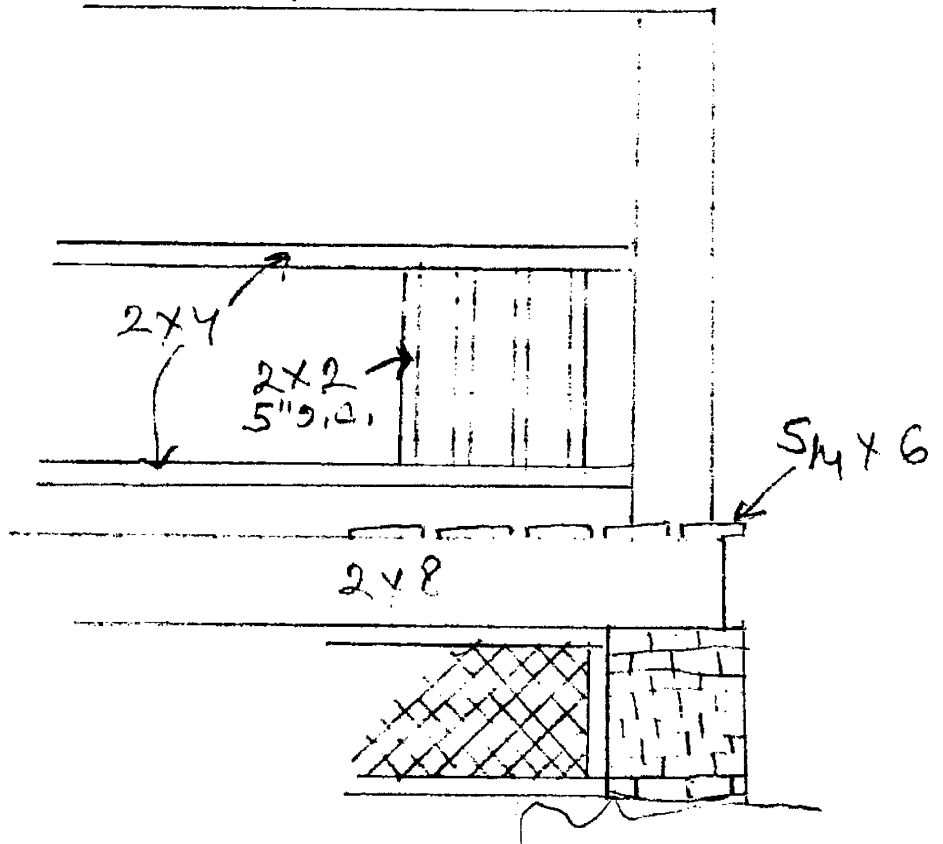


HOUSE



SECOND FLOOR PORCH

ALL LUMBER
TO BE TREATED



MUXHAMAMD FARMAN

1642 GRACE AVE



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Application Cover Page

Docket No.: 06-71-21

Permit No.: BBS21-000087

Applicant Name: Rocco Sutera, Reliable Construction Co.

Project Address: 2096 Belle Ave.

Project Name: n/a

Project: Applicant proposes the renovation of a front porch.

Work description 2096 Belle
Reliable Construction
216 221-0012

Picture of existing House

- 1) Columns Detail
- 2) General front view Columns Lattice Skirting Flooring
- 3) Pic and detail of the existing capitals and related wood detail
- 4) Stair Rail/ Post detail Note 1 rail to be installed
- 5) Railing view Top
- 6) Railing and Bracket manufacture info

Work description

Lift and hold the roof/ceiling header. No changes

Remove the columns Rails Flooring Skirting lattice

Interior framing will be inspected, if repairs are needed we will provide the drawing asap as a revised.

The Masonry columns and steps along with the sandstone treads remain. No changes

We will tuckpoint joints in need and re-set loose bricks where in need. We will use a buff color dye to blend the new and old mortar.

Install blocking where in need under the location of the columns to be installed. Install 4by4 bolted to the lead double joist to support the 2 short boxes.

Install Koma PVC 5/4by4 t/g flooring, secure to the joist with 2-1/2" trim screws.

Install treated 4by4 post and build/install boxes with capitals and base trim as per plans.

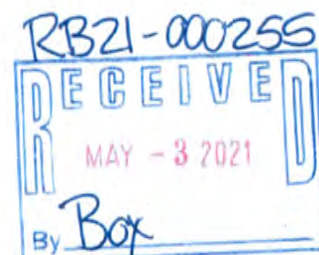
Install post and rails onto the porch (horizontal) and steps as per plans.

Install composite 1by8 skirting.

Build /Install composite 1by4 trim with tight weave white vinyl lattice.

Exterior grade screws for all connections.

Clean up and remove all debris.





2096

Not 868

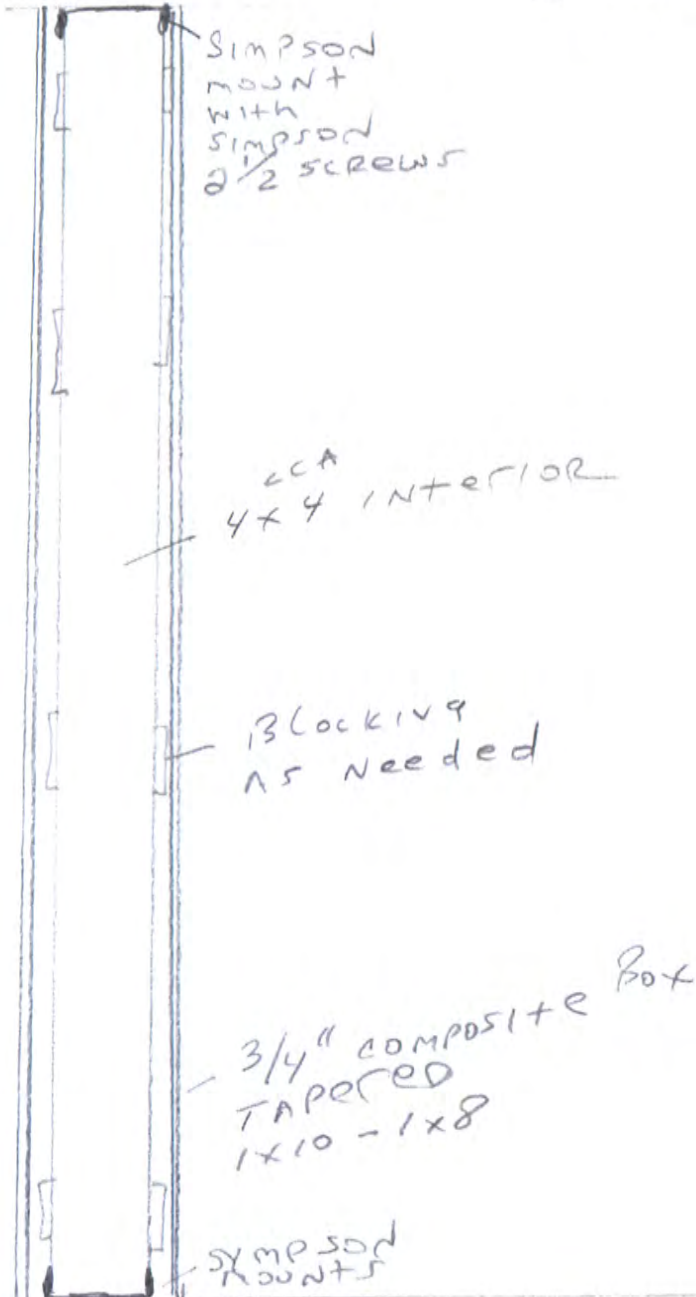
2096 BELLE COLUMN DETAIL

1

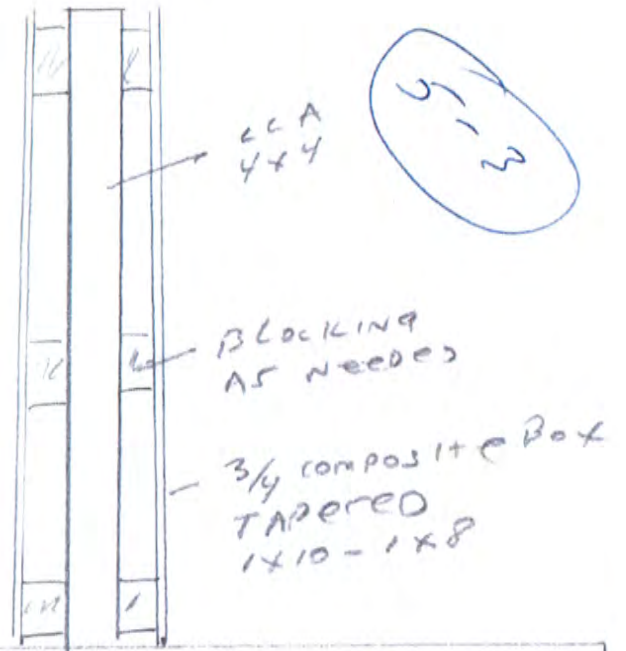
City of Lakewood
APPROVED*
Case#RB21-000255
*See Certificate of Plan Approval
William Wagner
05/18/2021

Both Long
columns

Header



Both short
columns

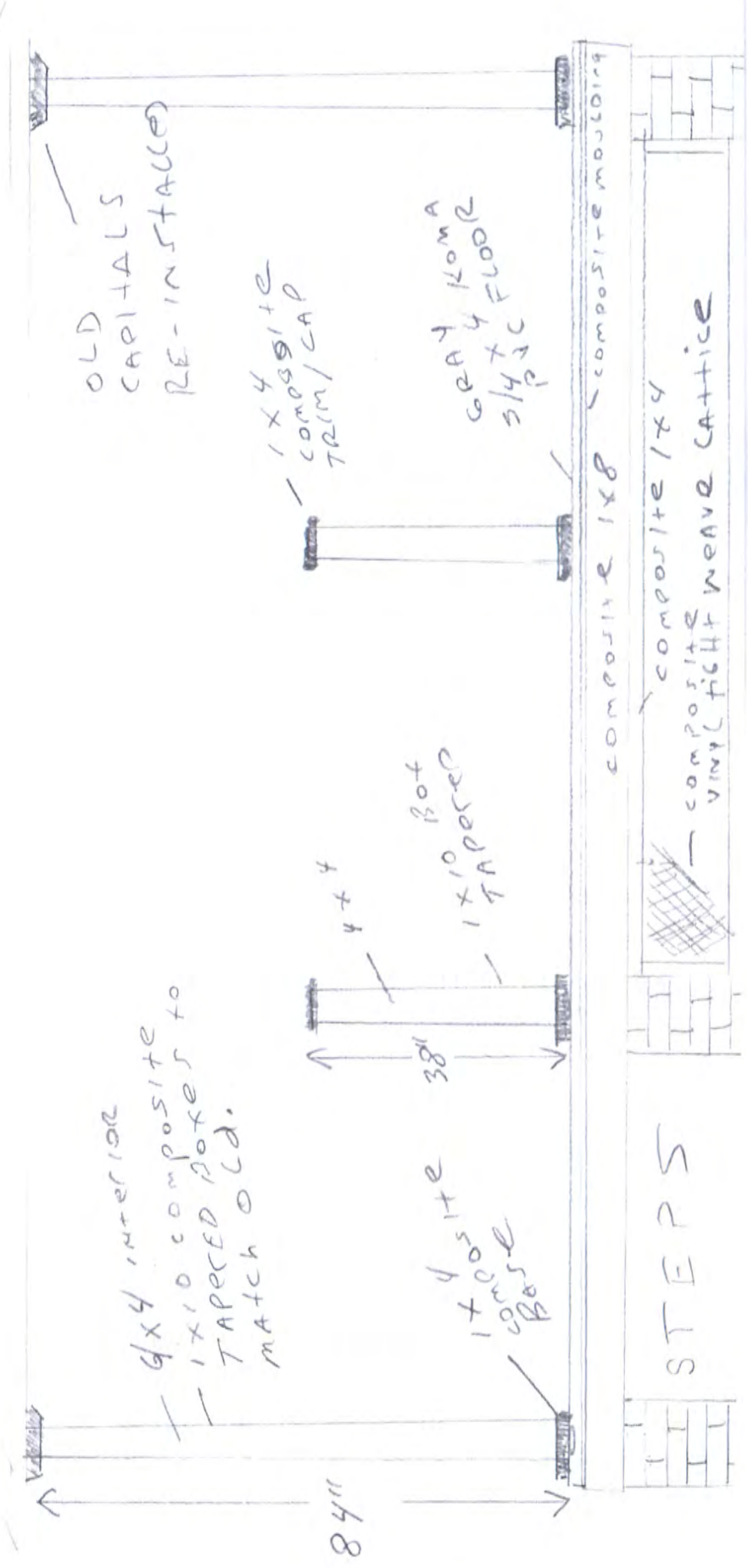


Bolted to
double JAKT

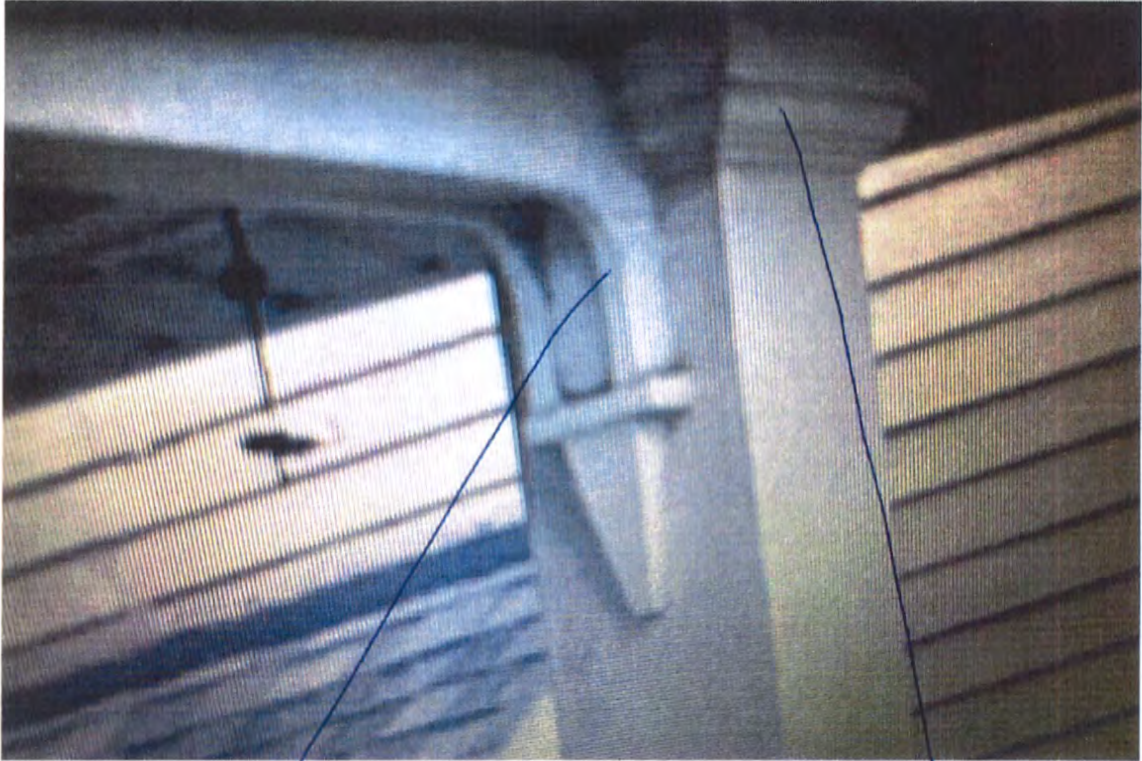
3
S → N
← E

2096 BELL
COLUMN FINISH

3
6



3



5-3

This wood will be CAREFULLY DETACHED. The NEW composite Boxes will be the SAME DIMENSION AS THE OLD. The wood detail will BE RECONNECTED.

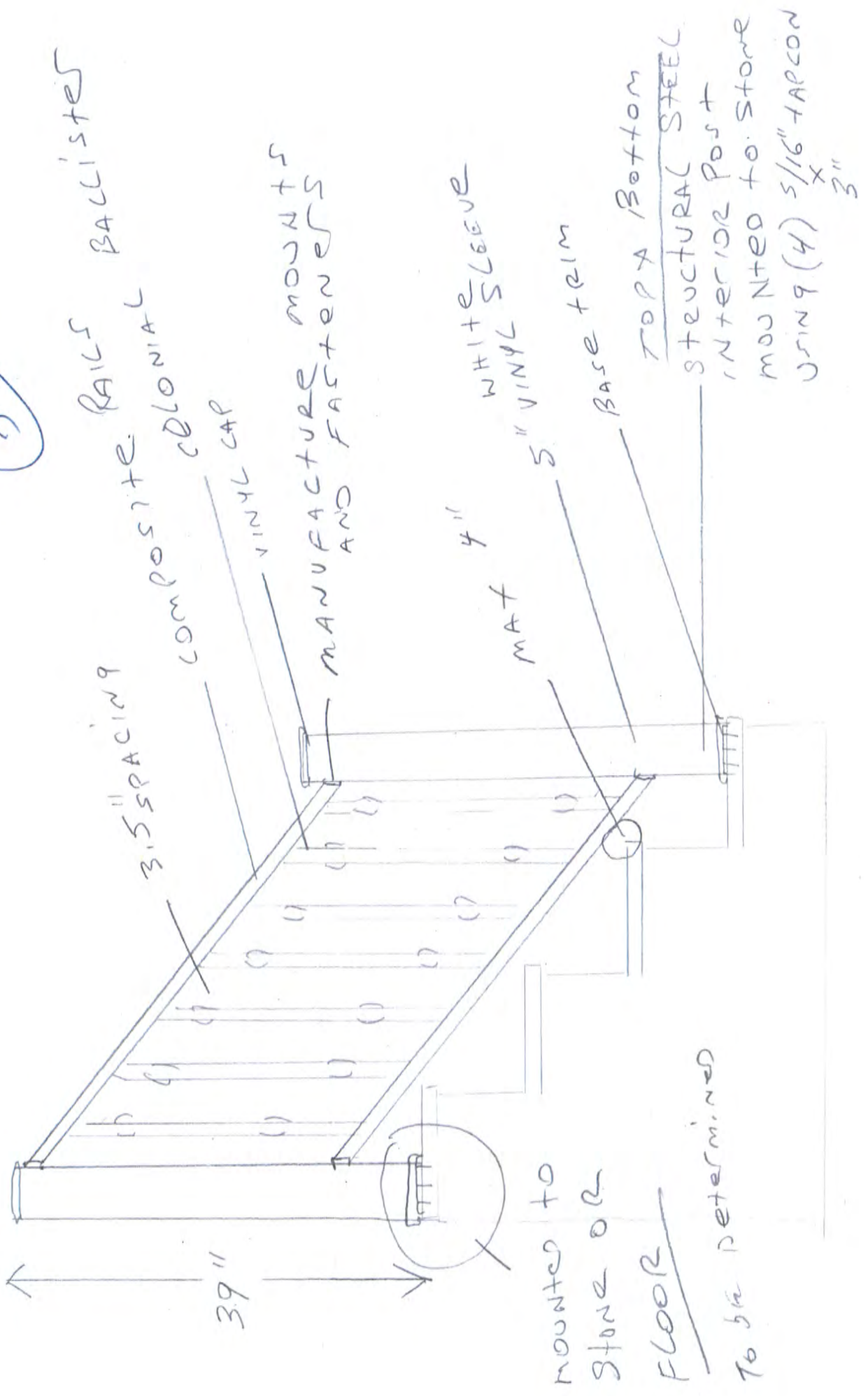
The OLD CAPS WILL BE CAREFULLY REMOVED. CLEANED UP, PAINTED AND RE-INSTALLED.

STEP RAIL
2096

DETAIL
RECALL

4

5



MOUNTED TO
STONE OR
FLOOR
TO BE DETERMINED

RAILS BALLISTICS

3.5" SPACING
COMPOSITE
CLONIAL

VINYL CAP

MANUFACTURE MOUNTS
AND FASTENERS

4" MAT
5" VINYL
BASE TRIM

TOP & BOTTOM

STRUCTURAL STEEL
INTERIOR POST
MOUNTED TO STONE
USING (4) 5/16" X 3" CAPSCON

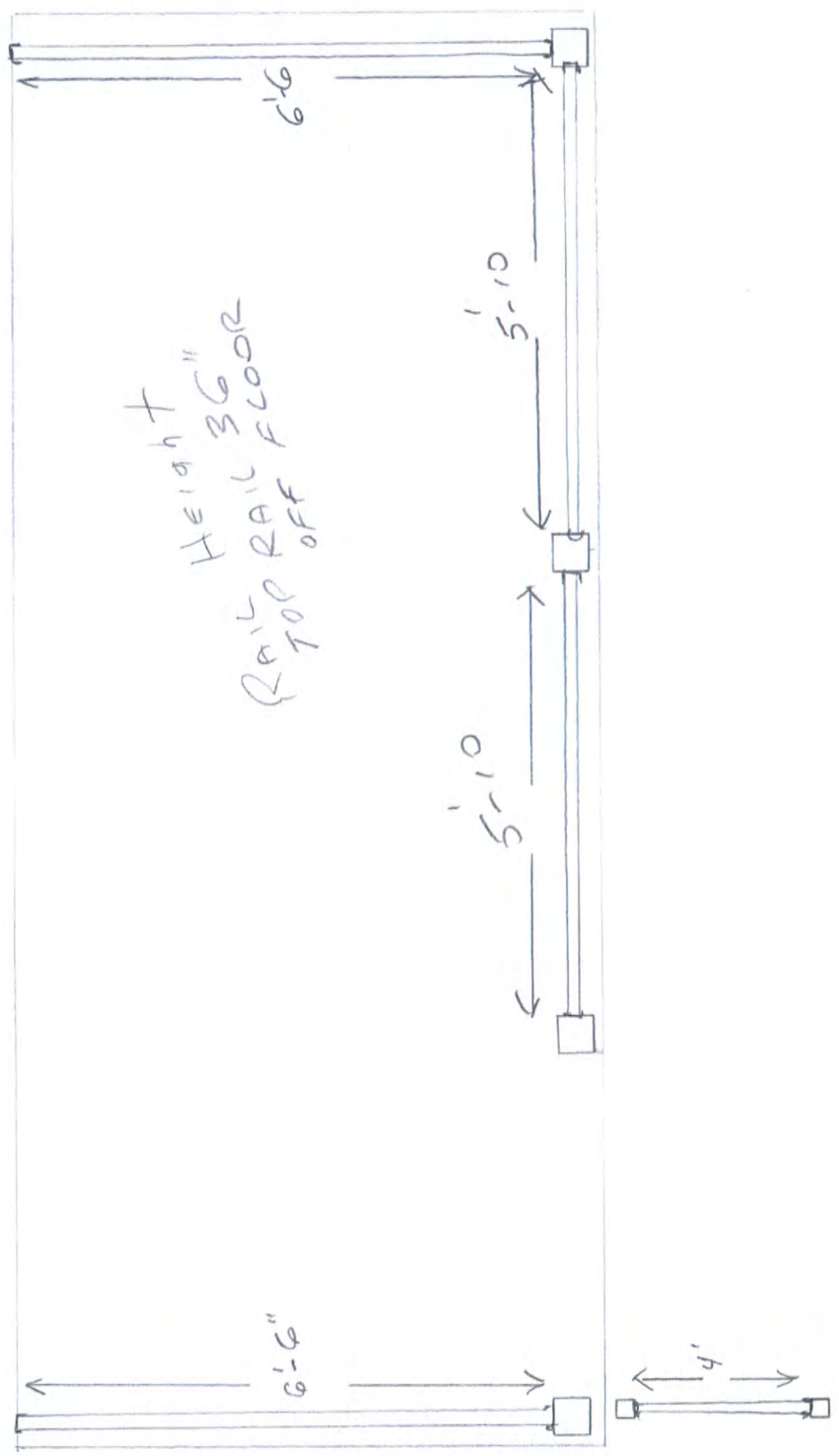
3 → N
5 → E

3
11
9

2096 BECCO
PORCH RAILS TOP VIEW

5

1/2 = 1



4/30/2021

WeatherShield 1.375 in. x 2.125 in. x 36 in. Wood Pressure-Treated Square Classic Spindle (7-Pack)-186714 - The Home Depot

1.375 in. x 2.125 in. x 36 in. Wood Pressure-Treated Square Classic Spindle (7-Pack)

by WeatherShield >

★★★★ (76) Write a Review Questions & Answers (20)

Save to List

\$33.07 /package

How to Get It

Delivering to: 44109 | Change

Ship to Store
Pickup
May 6 - May 7
FREE

Ship to Home
Get it by
Thu, May 6
Free with \$45 order

Scheduled Delivery
Not available for this
item

Feedback

We'll send up to 740 to Steeleyard for free pickup Curbside pickup available. Change Store

- 1 + **Add to Cart**

Complete the Project: How to Replace a Deck Railing

Difficulty Intermediate

Time 2-4 hours

Learn How >



Grip-Rite #10-1/2 x 3 in. 10-Penny Hot-Galvanized ★★★★★ (13)

BEHR DECKplus 1 gal. #SC-110 Chestnut Solid ★★★★★ (246)

Wooster 1 in. Pro Thin Angle Sash, 1-1/2 in. Angle ★★★★★ (662)

Grip-Rite #9 x 3 in. Coarse Brown Polymer-Plated ★★★★★ (268)

BEHR PREMIUM 1 gal. #SC-131 Pewter Solid Color ★★★★★ (622)



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Application Cover Page

Docket No.: 06-72-21

Permit No.: BBS21-000088

Applicant Name: Thomas D'Amico, The Great Garage Co.

Project Address: 15920 Lakewood Heights Blvd.

Project Name: n/a

Project: Applicant proposes construction of a new garage.

Johanna Schwarz

From: greatgaragecompany@gmail.com
Sent: Thursday, May 20, 2021 10:29 AM
To: Planning Dept
Subject: 15920 Lakewood Heights Blvd. Consent

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Sent from [Mail](#) for Windows 10

From: [Amy DAmico at The Great Garage Company](#)
Sent: Thursday, May 20, 2021 10:11 AM
To: greatgaragecompany@gmail.com
Subject: New message "Please forward to JoHanna at Lakewood BZA" on job "Raffalli"



Please forward to JoHanna at Lakewood BZA

Amy DAmico at The Great Garage Company

From
alexandre.raffalli@gmail.com

To
Amy D'Amico
CC

Sent
May 19, 2021, 1:41 PM

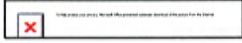
I give my consent to The Great Garage Company and the city of Lakewood to access my property before and during the construction of our new garage.

Thanks,
Alex

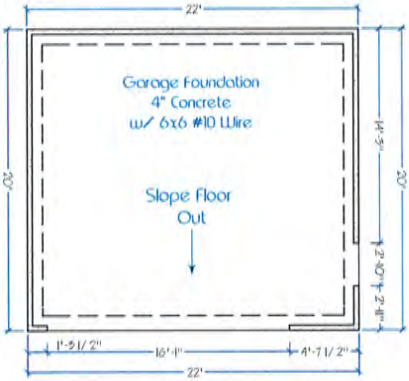
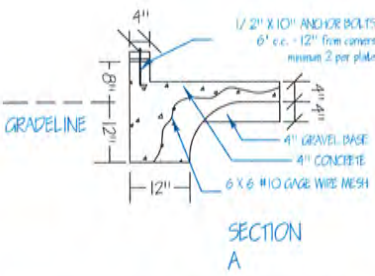
Sent from my iPhone



[Reply All](#)



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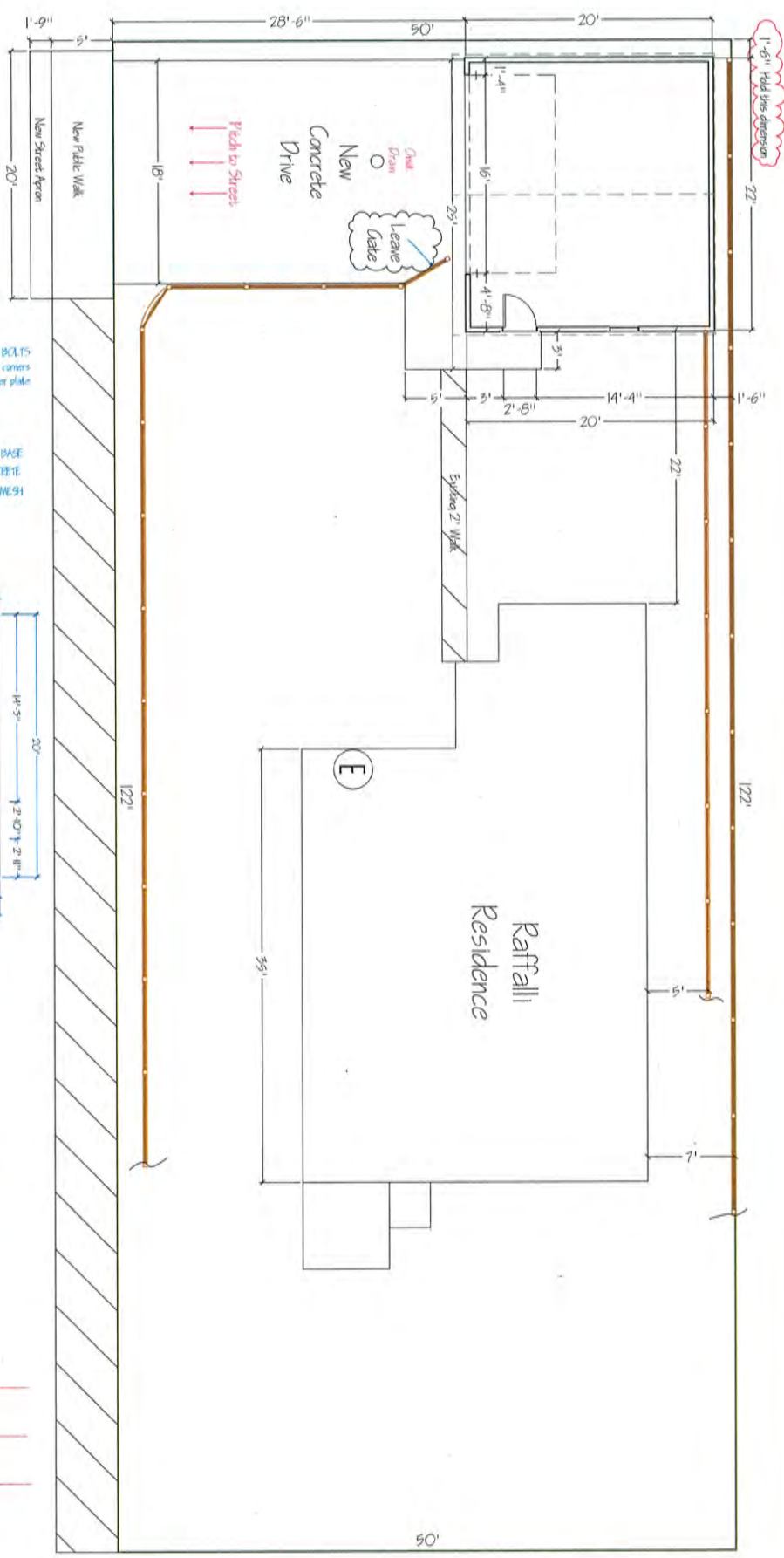
IMPORTANT NOTICE TO HOMEOWNER:
 PLEASE HAVE POWER TO GARAGE SHUT OFF BEFORE DEMOLITION AND HAVE ELECTRIC POWER FROM THE HOUSE ACCESSIBLE FOR POWER TOOLS.

I (We) have reviewed these drawings and agree that it is a true representation of the work to be performed on my property.
 I also understand that I am responsible for the location of my property lines, painting, backfill and landscaping of my property.

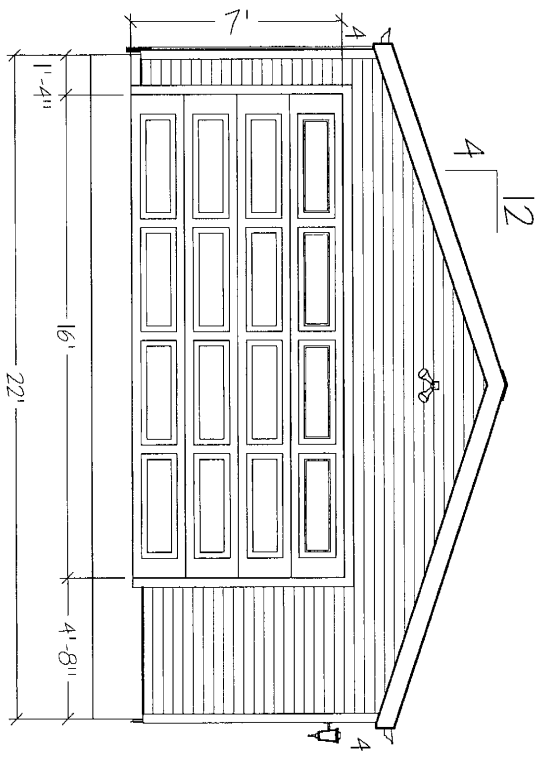
Homeowner: _____

Homeowner: _____

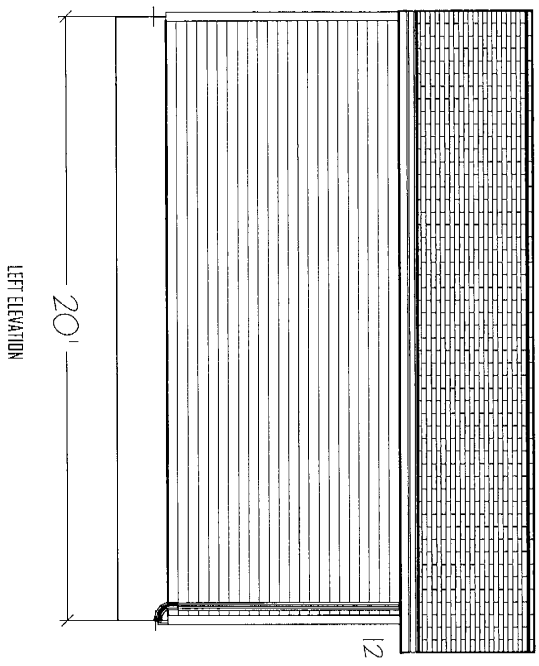
Date: _____



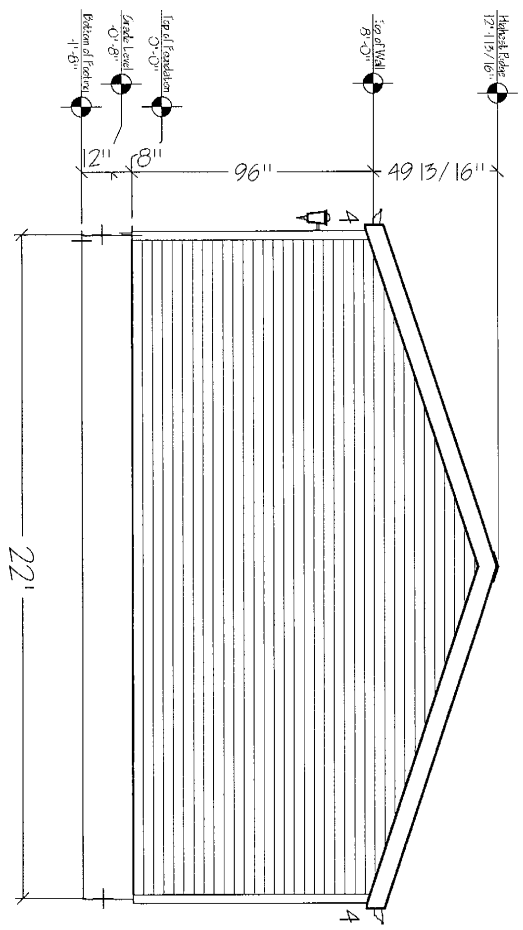
p-1	SHEET:	1 / 4"	SCALE:	DATE:	DRAWINGS PROVIDED BY: Amy D'Amico The Great Garage Company 1309 Ridge Road / Suite 2 Hinckley, OH 44233 440.230.9900	22 x 20 Gable Garage Plot Plan	Alex and Renee Raffalli 15920 Lakewood Heights Blvd. Lakewood, OH 44107 216-312-4139
				4/21/2021			



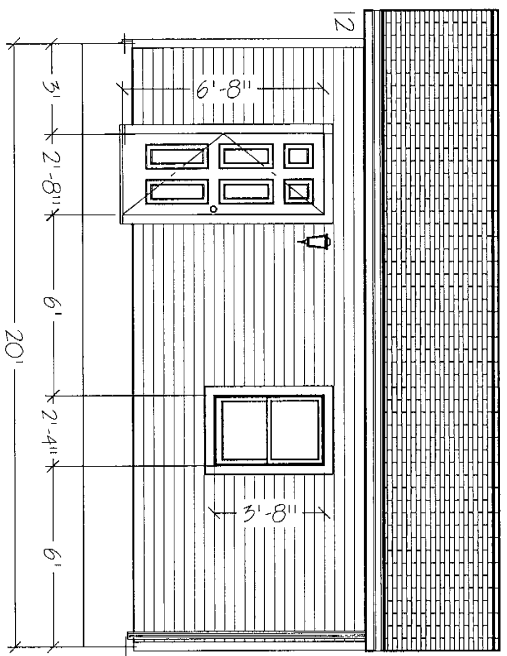
FRONT ELEVATION



LEFT ELEVATION

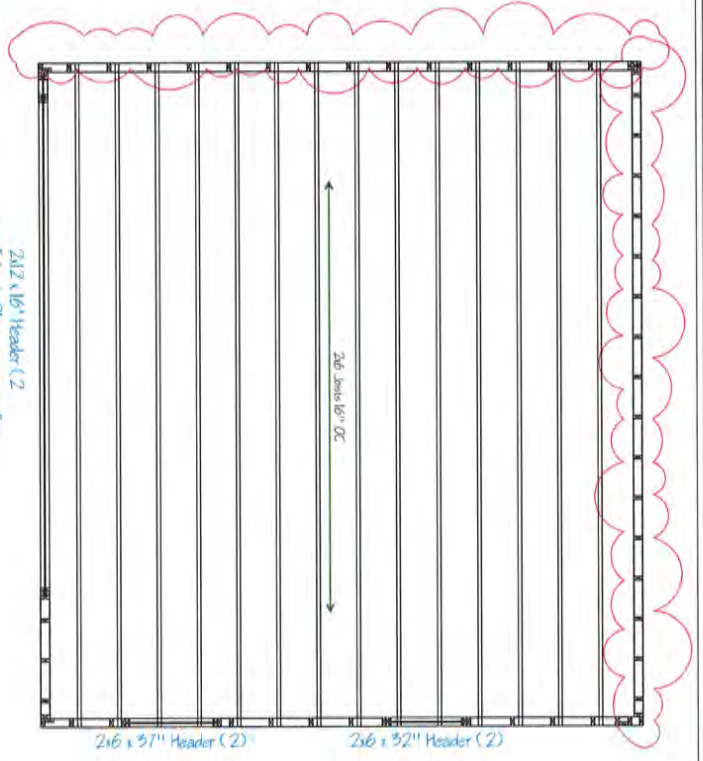


REAR ELEVATION



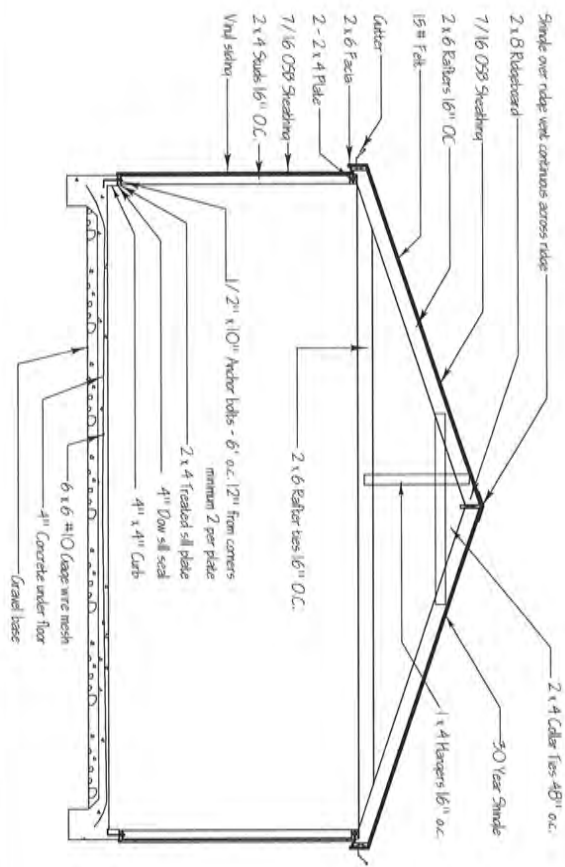
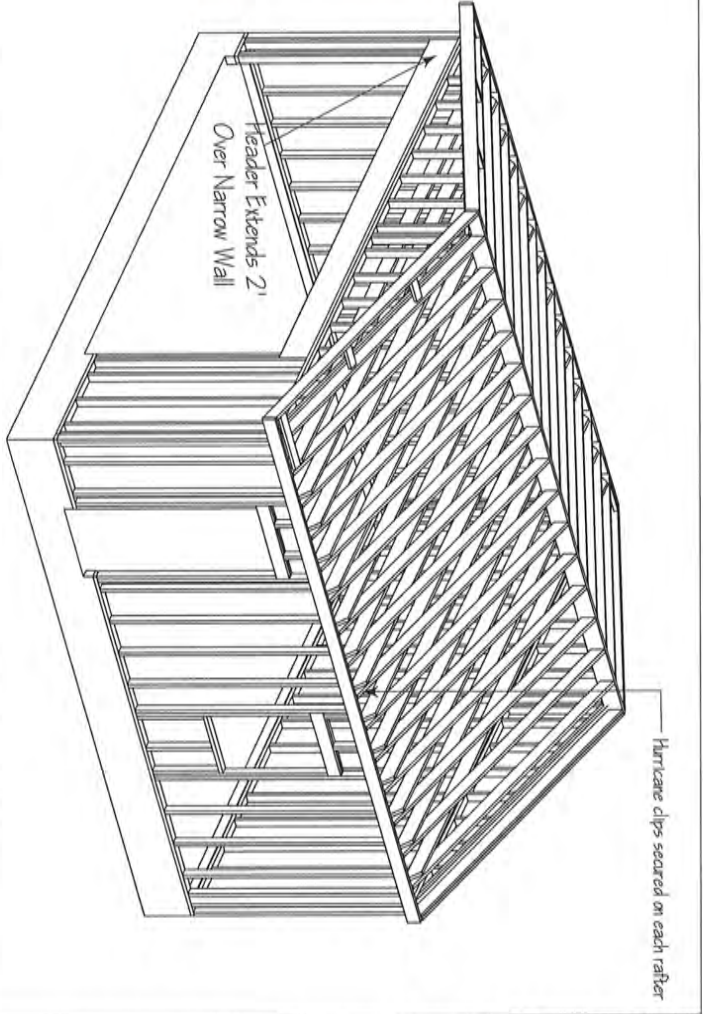
RIGHT ELEVATION

DATE: 4/21/2021	DRAWINGS PROVIDED BY: Amy D'Amico The Great Garage Company 1509 Ridge Road / Suite 2 Hinckley, OH 44253 440.230.9900	22 x 20 Gable Garage Elevations	Alex and Renee Raffalli 15920 Lakewood Heights Blvd. Lakewood, OH 44107 216-312-4139
SCALE: 1/4" = 1'	SHEET: P-2		

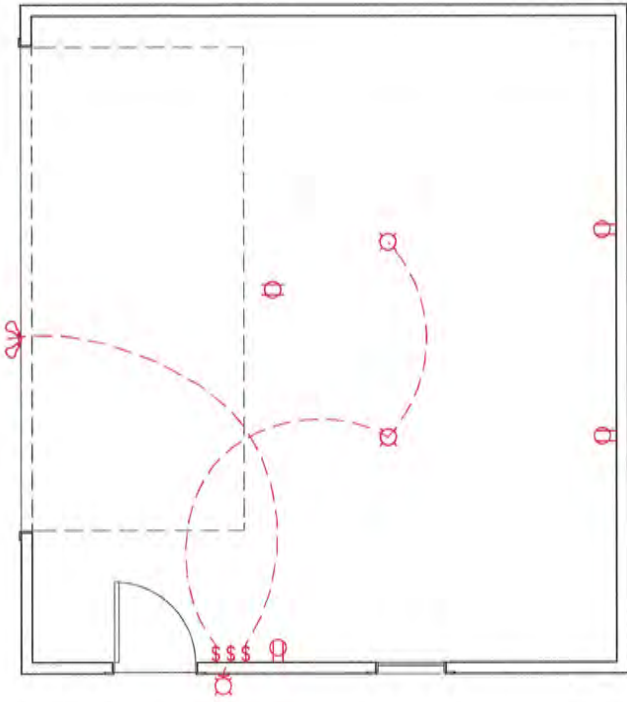


LEFT & REAR WALLS

Fire Wall Assembly - 1 hour rated
 Test: UL 1309 & CP WP 5510
 Exterior side: 5/8" exterior grade fire-rated sheathing, joints left untreated w/ 1-7/8" galvanized roofing nails @ 7" o.c.
 Framing: 2 x 4 wood studs 16" o.c.
 Interior side: 5/8" mold resistant, fire-rated gypsum board, joints finished, not painted w/ 1-7/8" 6d coated nails @ 7" o.c.



DATE:	4/21/2021	DRAWINGS PROVIDED BY:	Amy D'Amico The Great Garage Company 1309 Ridge Road / Suite 2 Hinckley, OH 44233 440.230.9900	22 x 20 Gable Garage Structural	Alex and Renee Raffalli 15920 Lakewood Heights Blvd. Lakewood, OH 44107 216-312-4139
SCALE:	1/4"				
SHEET:	P-3				



Electrical Plan

IMPORTANT NOTE TO ELECTRICIAN:

Pre-Inspection before demolition

Use existing underground

Use existing panel in garage

Electrician to supply all materials.

Supply one double spot w/ light & motion

2 - 20 Amp circuits

All wall receptacles in garage to be GFCI protected

Garage door opener to be single receptacle

QTY	FLOOR	ATTACHED TO	DESCRIPTION	20 SYMBOL	20 EXPLANATION
5	1	WALL	DUPLEX		
5	1	WALL	SINGLE POLE		
1	1	CEILING	DUPLEX, CEILING MOUNTED		
2	1	CEILING	SPOT LIGHT		
1	1	WALL	CONCEALER		
1	1	WALL	DOUBLE SWITCH LIGHT & MOTION		

Electrical Schedule

IMPORTANT NOTE TO HOMEOWNER:

PLEASE make arrangements to be home when the electricians are scheduled.

They will need to get to the panel in your house.

We will email you a detailed build schedule, once it is set up.

THANK YOU

Alex and Renee Raffalli
15920 Lakewood Heights Blvd.
Lakewood, OH 44107
216-312-4139

22 x 20 Gable Garage
Electrical

DRAWINGS PROVIDED BY:
Amy D'Amico
The Great Garage Company
1509 Ridge Road / Suite 2
Hinckley, OH 44235
440.230.9900

DATE:

4/21/2021

SCALE:

1/4"

SHEET:

P-4

GAF Timberline[®]HDZ[™]
High Definition[®] Shingles



America's #1-selling shingle just got better!

The same shingle you know and love, now with LayerLock™ Technology which powers the industry's widest nailing area.



Timberline® HDZ™ Shingles

Benefits:

- **LayerLock™ Technology** — Proprietary technology mechanically fuses the common bond between overlapping shingle layers.
- **Up to 99.9% nailing accuracy** — The StrikeZone™ nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test.¹
- **WindProven™ Limited Wind Warranty** — When installed with the required combination of GAF Accessories, Timberline® HDZ™ Shingles are eligible for an industry first: a wind warranty with no maximum wind speed limitation.²
- Our legendary **Dura Grip™** sealant pairs with the smooth microgranule surface of the StrikeZone™ nailing area for fast tack. Then, an asphalt-to-asphalt monolithic bond cures for durability, strength, and exceptional wind uplift performance.
- **StainGuard® Algae Protection** — Helps protect the beauty of your roof against unsightly blue-green algae discoloration.³
- **High Performance** — Designed with Advanced Protection® Shingle Technology.
- **Seamless compatibility** — The new Timberline® HDZ™ Shingles are compatible with traditional Timberline HD® Shingles for the same look and feel homeowners and contractors rely on for beauty and endurance.⁴
- **Perfect Finishing Touch** — For the best look, use TimberTex® Premium Ridge Cap Shingles or TimberCrest™ Premium SBS-Modified Ridge Cap Shingles.

Product details:

- Product/System Specifics**
- Fiberglass asphalt construction
 - Dimensions (approx.): 13 1/4" x 39 3/8" (337 x 1,000 mm)
 - Exposure: 5 5/8" (143 mm)
 - Bundles/Square: 3
 - Pieces/Square: 64
 - StainGuard® Algae Protection³
 - Hip/Ridge: TimberTex®; TimberCrest™; Seal-A-Ridge®; Z®Ridge; Ridglass®
 - Starter: Pro-Start®; QuickStart®; WeatherBlocker™

- Applicable Standards & Protocols:**
- UL Listed to ANSI/UL 790 Class A
 - State of Florida approved
 - Classified by UL in accordance with ICC-ES AC438
 - Meets ASTM D7158, Class H
 - Meets ASTM D3161, Class F
 - Meets ASTM D3018, Type 1
 - Meets ASTM D3462⁵
 - ICC-ES Evaluation Reports ESR-1475 and ESR-3267
 - Meets Texas Department of Insurance Requirements
 - ENERGY STAR® Certified (White Only) (U.S. Only); Rated by the CRRC; Can be used to comply with Title 24 cool roof requirements

¹ Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HD® Shingles to Timberline® HDZ™ Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.

² 15-year WindProven™ limited wind warranty on Timberline® HDZ™ Shingles requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

³ StainGuard® algae protection is available only on shingles sold in packages bearing the StainGuard® logo. Products with StainGuard® algae protection are covered by a 10-year limited warranty against blue-green algae discoloration. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

⁴ To be mixed on one roof, Timberline® HDZ™ Shingles and Timberline HD® Shingles must have matching 6-digit codes found on the end of the bundle. When mixed, always use Timberline HD® installation instructions.

⁵ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

⁶ Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence (or eligible second owner(s)) owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires use of GAF Lifetime shingles only. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Lifetime coverage on shingles and accessories requires use of any GAF Lifetime Shingle and any 3 qualifying GAF accessories. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Colors & Availability:



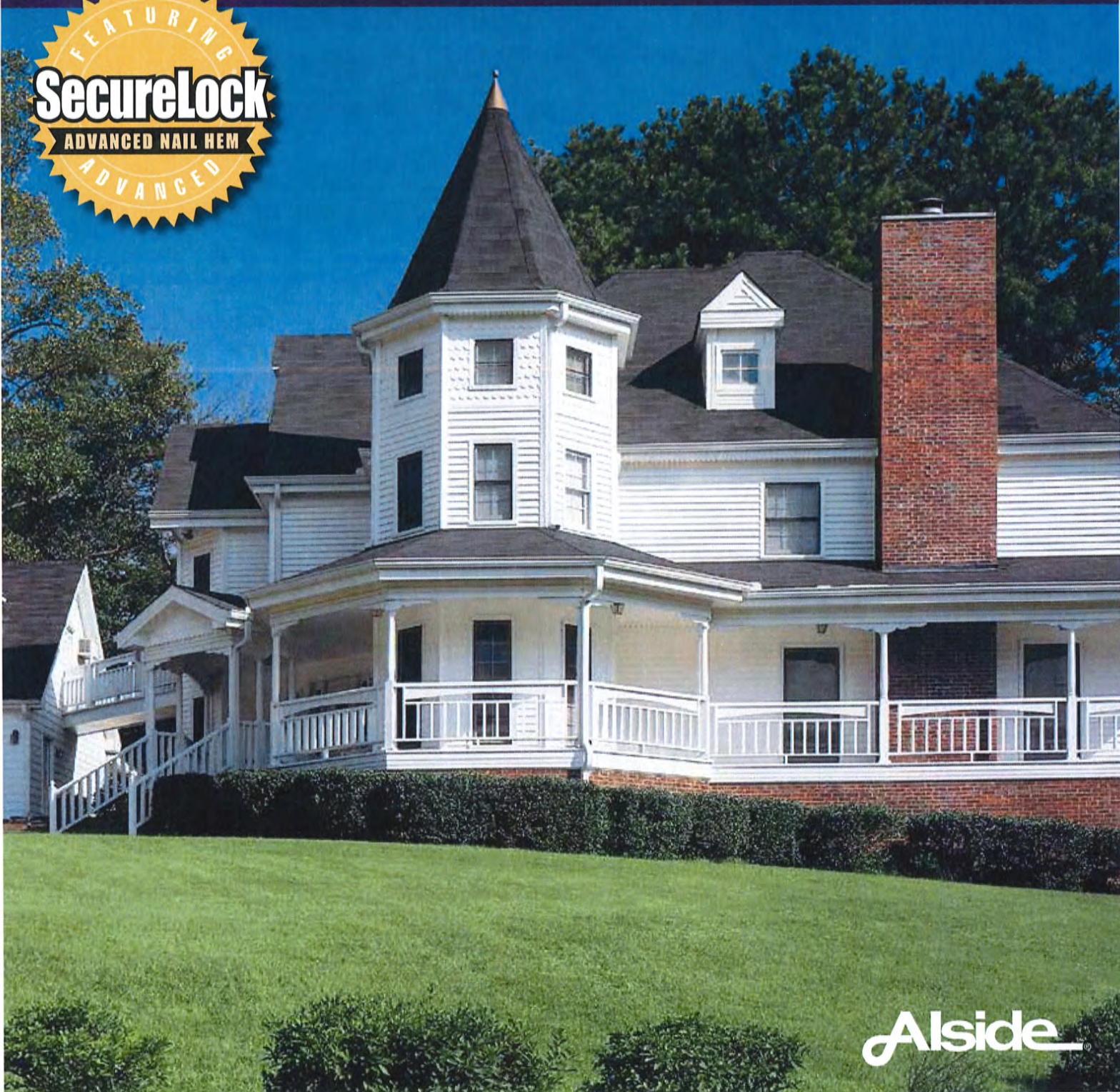
We protect what matters most™



ODYSSEY Plus[®]

PREMIUM VINYL SIDING

Quality Exterior Products with Easy-Care Convenience



Alside[®]

— ODYSSEY PLUS PREMIUM VINYL SIDING —

ODYSSEY PLUS® . . . PERFECT FOR EVERY PROJECT

Odyssey Plus is the perfect siding for homeowners who want outstanding performance, a beautiful appearance and maximum convenience. It's one of the best investments you can make to your home.



A LEGACY OF EXCELLENCE AND INNOVATION

The first step in the creation, renovation and preservation of your home involves choosing the right products. In Odyssey Plus, you've opened the door to the Alside vinyl siding collection – a premier union of heritage and innovation merged with best-in-class materials and future-forward engineering. Our more than 70 years of industry excellence stands strong as our legacy of leadership and trust, where customer happiness always comes first.

AN ECO-FRIENDLY CHOICE

As a sustainable product with a long service life, vinyl siding is environmentally responsible in several ways. In addition to conserving wood and other natural resources often used for building materials, vinyl siding helps reduce the deposit of paint, stain and maintenance-related materials into the solid waste stream because it never needs to be painted.



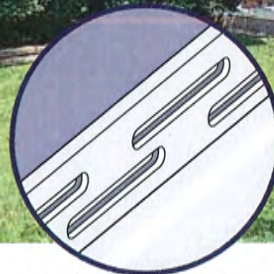
ADVANCED SECURELOCK STAGGERED NAIL HEM SECURES YOUR VINYL SIDING EFFORTLESSLY



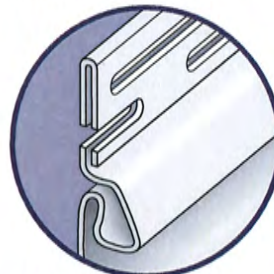
SecureLock advanced lock design from Alside provides unparalleled performance. Double staggered nail slots and a fully rolled over nailing hem provide exceptional wall gripping strength. In fact, when independently tested in winds of Category 5 hurricane strength, Odyssey Plus stayed nailed in place. This strong

locking system also means your siding will lay flat and look beautiful for a lifetime.

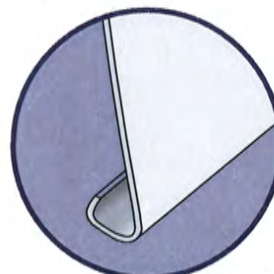
Whether you are replacing your existing siding or building a new home, choose a brand that provides both advanced performance and lasting beauty . . . choose Odyssey Plus.



Double staggered nail slots hit a stud every time.



Extra strong rolled over nail hem.



Locking panels resist high winds.





PREMIUM APPEARANCE

Choose from two of America's most popular siding styles – traditional clapboard or beveled-edge dutch lap. Both styles are available in 4" and 5" widths. A natural grain pattern, realistic shadow lines and a low-gloss, look-of-paint finish recreate the distinctive details of expensive wood siding. For maximum design flexibility, choose from up to 24 popular colors including 11 designer colors.

OUTSTANDING PERFORMANCE

Premium panel thickness (.044" nominal) and an advanced lock design provide superior rigidity so walls stay straight and smooth. The strengthened lock provides superior holding power, keeping panels tight on walls, even in extreme winds.

MAXIMUM CONVENIENCE

Odyssey Plus is made with durable, weather-resistant vinyl, so there's never any painting or staining. Just rinse occasionally with a garden hose to keep Odyssey Plus looking like new.

Odyssey Plus is loaded with premium features that are not found in many competing sidings. Make the comparison yourself . . . you'll find Odyssey Plus is the best investment you can make to your home.

A VARIETY OF PROFILE DESIGNS

Odyssey Plus offers a wide variety of options when designing your home's exterior. With four profiles to choose from and a full selection of decorative trim and accessories, you can create a custom design that's a clear reflection of your personal taste.

- QUICK SPECS:** Subtle woodgrain texture
.044" panel thickness
Rolled over nailing hem
1/2" panel projection (D4 profiles); 5/8" panel projection (D5 profiles)
Available in Double 4" clapboard, Double 4" dutch lap, Double 5" clapboard, and Double 5" dutch lap
24 contemporary colors

DID YOU KNOW for nearly two decades vinyl siding has been a leading choice for exterior cladding on new single-family homes. This broad appeal stems not only from its beauty, durability, and easy upkeep, but also from the fact that vinyl siding adds value to homes.

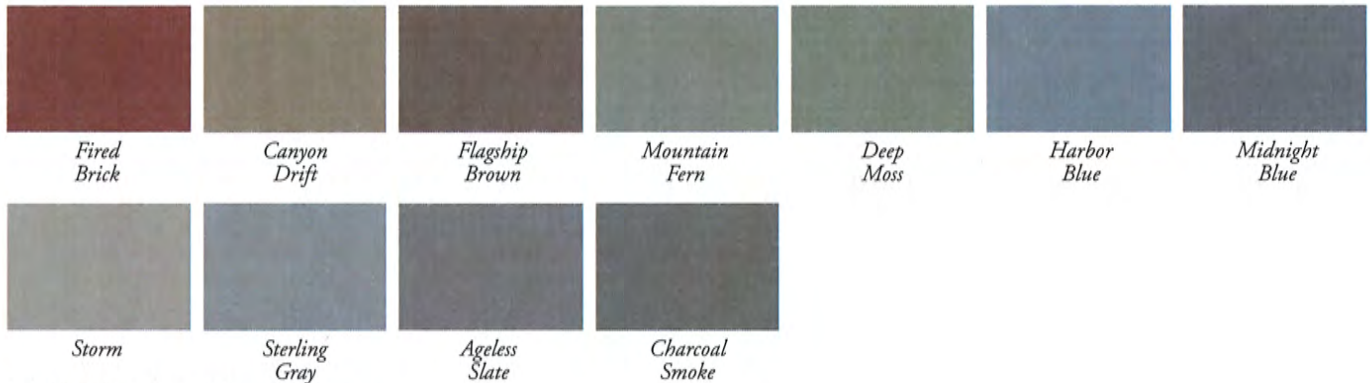
COLOR AND DESIGN INSPIRATION

Odyssey Plus' full array of profiles and colors makes it easy to give your home a style all its own. Whether you prefer a subtle monochromatic color scheme in classic hues or rich architectural colors with contrasting accents, Odyssey Plus has everything you need to achieve your ideal finished look.

STANDARD COLOR COLLECTION



ARCHITECTURAL COLOR COLLECTION*



*Color restrictions by market may apply.

DARKER COLORS STAY TRUE!



Our darker Odyssey Plus colors stay luxurious and true, thanks to ChromaTrue technology. This advanced copolymer compound provides Odyssey Plus with long-term color stability and better performance on darker colors.

THE ART OF THE MIX

There's no need to settle for siding and trim that almost match. Alside's ColorConnect® Color Matching System offers smart solutions for every design approach. ColorConnect standards have been painstakingly applied to select Alside products to ensure you are making tasteful color choices with enduring aesthetic value and the custom look you desire.

Whether it's a rich color that draws your eye to an interesting architectural detail, or neutral hues applied to a historic home, the Alside ColorConnect Color Matching System helps you successfully match the color of your siding with other Alside exterior products and accessories.



— ODYSSEY PLUS PREMIUM VINYL SIDING —

The ALSIDE EXTERIOR DESIGN SYSTEM

Coordinated Easy-Care Products



EXTERIOR TRIM, ACCESSORIES AND ACCENTS

Rooflines, corners, windows and door frames – some elements deserve special treatment. Enhancing these areas can give your home a custom finished look while letting your individual style shine through. Our Trimworks® collection of decorative trim and accents, along with shakes, scallops and other ornamental panels, makes it easy to achieve a flawless finish. All options are fully color-coordinated with Odyssey Plus Siding.

PEACE OF MIND

Odyssey Plus Vinyl Siding and Alside accessories are backed by lifetime limited warranties.** For complete warranty information, including limitations, please see a printed copy of the warranty.



HOME VISUALIZER

See the finished look before the work begins! Our Alside siding visualizer lets you create multiple exterior designs with just the click of a mouse. Simply select a house style – or submit a photo of your own home – and choose siding profiles, accents, soffit and trim, along with color options for doors, roofing, shutters and more. Visit www.alside.com/color-design to get started today.



Pertains to Odyssey Plus Vinyl Siding
Consult the VSI website at www.vinylsiding.org
for a current list of certified products and colors.

Alside Alside 3773 State Road Cuyahoga Falls, Ohio 44223
1-800-922-6009 www.alside.com



©2021 Alside. Alside, Odyssey Plus and Trimworks are registered trademarks of Associated Materials. USGBC and related logo is a trademark owned by the U.S. Green Building Council. Specifications subject to change without notice.
**For a copy of the written product warranty please visit www.alside.com/support/warranties/ or contact your Alside Sales Representative. Printed in USA 03/21 11.5M/OP 75-2690-01

400
NEW CONSTRUCTION
WINDOWS

WINCORE[®]
WINDOWS & DOORS

The way it should be.™



400 NEW CONSTRUCTION WINDOWS

Quality, value and dependability. Pick any three.

On a new construction project, everything counts. When it doesn't run like clockwork, it can leave you over budget, off schedule and not even close to your profit margin. That's why Wincore® is excited to offer Series 400 new construction windows. They feature welded construction, energy-efficient designs and all the popular homeowner options. And the best part is, because they're built by an experienced vinyl window manufacturer that understands the building industry, Series 400 windows work for virtually any new construction project. Well, *any* new construction project where quality, value and dependability are *important*, that is.



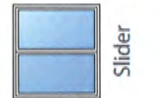
Window Styles



Single Hung



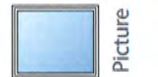
Double Hung



Slider



End Venting Slider



Picture



Geometric

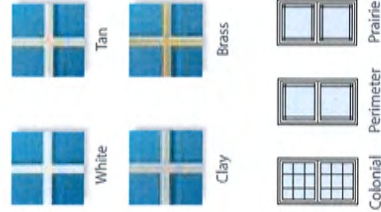


Features

- 1 An integral pre-punched nailing fin allows units to be installed quickly — ensuring dependable labor savings on virtually any new construction project.
- 2 Dual-paned glass unit can be ordered with optional Low E glass and an Argon gas fill to maximize energy efficiency.
- 3 Insulated glass unit is set a full 1/2" into the sash — keeping the edges of the glass warmer in order to reduce temperature transference.
- 4 Frames and sash, welded at the corners, are the strongest type of vinyl window construction available on the market today.
- 5 On Double Hung windows, the sloped design of the sill prevents water from pooling during bad weather and storms.
- 6 Weatherseals placed at key points around each sash increase efficiency by reducing air flow.
- 7 Closed-cell foam sill bulb on Double Hung windows is yet another barrier to help prevent water and air infiltration at the sill.

Grids

Optional grids, available in three patterns, are located inside the insulating glass unit for a smooth, easy-to-clean surface.



Interior/Exterior Vinyl Colors



Optional Exterior Laminate Colors

Black, Brown and Bronze Exterior Laminates require a three week lead time.



To assist with quick installation, Series 400 windows are available with wood or Quick Trim™ cellular pvc jamb extensions. Choose either 4-9/16" or 6-9/16" construction.



Interlocking design of the meeting rail on Double Hung windows securely fastens sash together.

The U-channel spacer system, more efficient than conventional spacers, moderates outside air before it hits the inside sash.



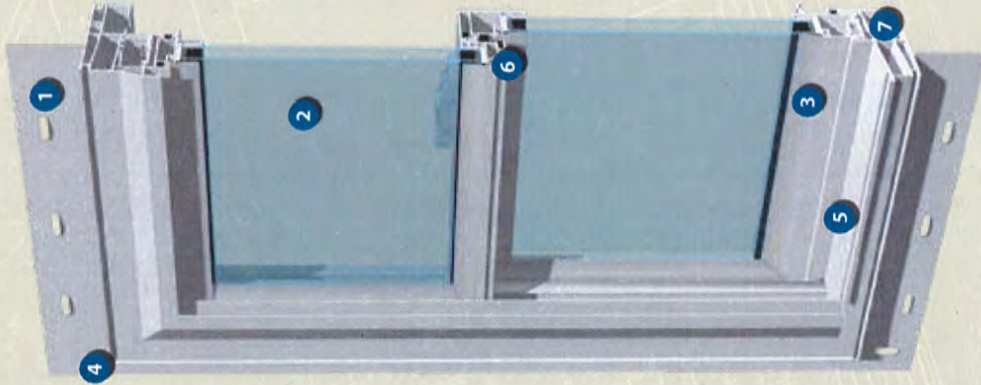
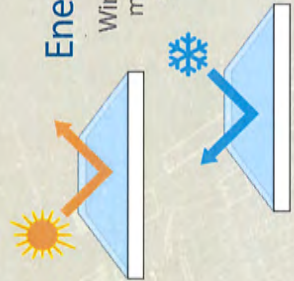
On Double Hung windows, sash slide easily up or down due to a constant force coil spring balance system.

Double Hung windows have an easy-to-use vent latch for partial ventilation.



Energy Efficiency

Wincore® Series 400 windows are more energy efficient with optional Low E glass and an Argon gas-filled insulating glass unit. This helps to improve efficiency by keeping homes warmer in winter months and cooler in the summer months — very important to every homeowner.



Behold the power of collective thinking.

In this business, everyone knows that great people working together end up providing great windows and doors. That's why when we set out to design and build the best windows and doors in the industry, we focused on people first. People with advanced technical knowledge. People that know how to do things right the first time. But most importantly, people who realize that integrity and trust are not simply words, but a way of life. With more than 200 years of combined experience under our belts, you can clearly see our promise of quality and innovation in every window and door we make. Not to mention how we go about making them. To us, it's about creating an environment that brings out the best in everyone, and accepts nothing less. It's about doing things the way they should be done, not necessarily the way they've always been done. It's about giving back to our communities and the things that matter most. And it's about family – ours, as well as yours. At Wincore®, our philosophy is simple. It's not about being the biggest. It's about being the best. Because to us, that's the way it should be.

WINCORE
WINDOWS & DOORS

The way it should be.™

250 Staunton Turnpike, Parkersburg, WV 26104
1-866-WINCORE www.wincorewindows.com



Proud to support breast cancer research.
Full details available at
www.wincorewindows.com

The information is correct at the time of printing. Changes to the product(s) may have occurred since time of printing. Not all product styles and/or options are available in all areas, so please consult your sales representative prior to purchasing. Wincore® is a registered trademark and The way it should be.™ is a trademark of Wincore Window Company, LLC. Tough Enough to Wear Pink is a licensed trademark of Terry Wheatley and is used by permission. Intercept® is a registered trademark of PPG Industries, Inc. Printed in U.S.A. ©2013 Wincore Windows and Doors. All rights reserved.

Warranty coverage does not extend to problems caused by improper installation. Warranty issues must first be investigated by your installation contractor. See printed warranty brochure supplied at installation for complete details or visit www.wincorewindows.com.



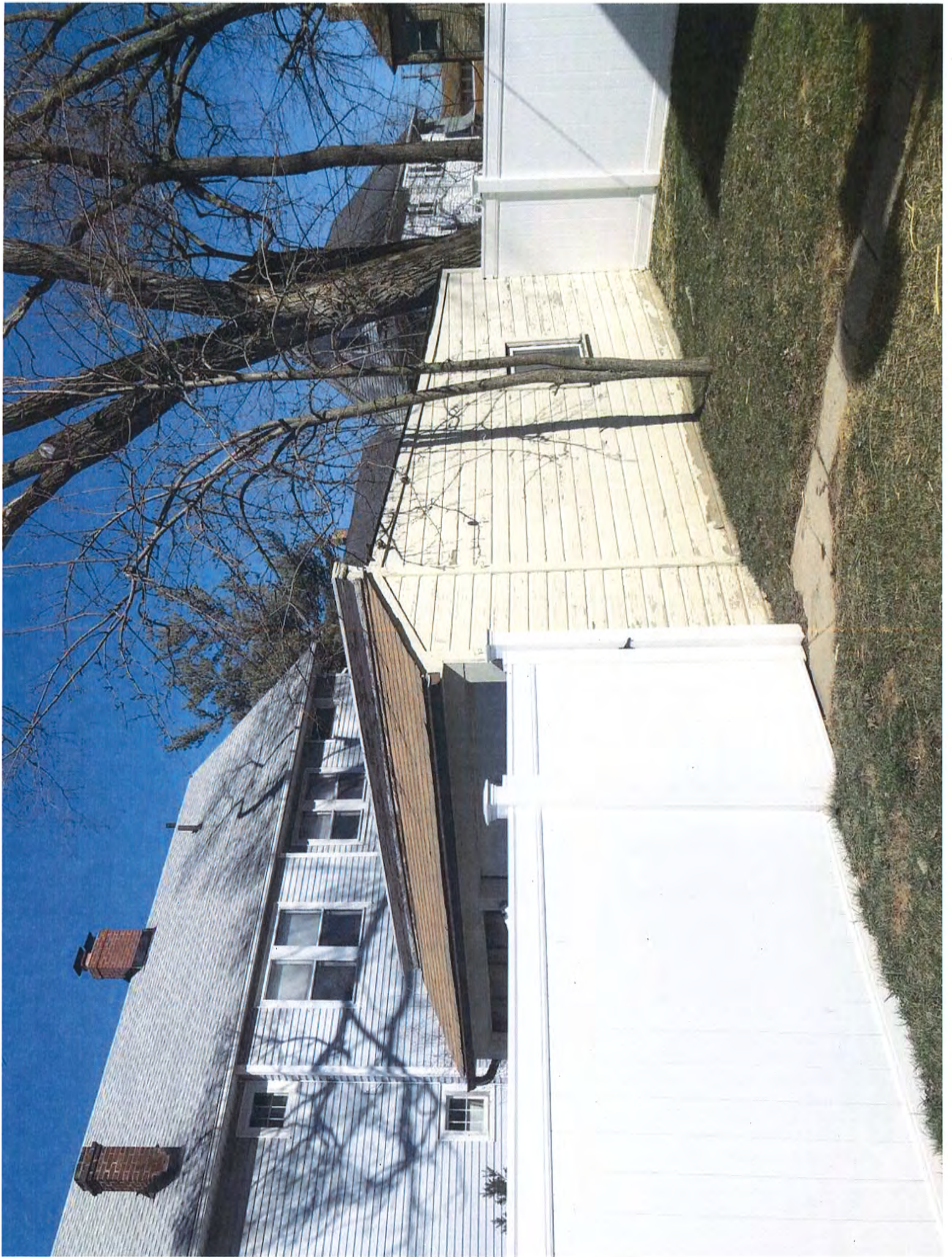
wincorewindows.com/fb



[@wincorewindows](https://twitter.com/wincorewindows)

















BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.onelakewood.com

Application Cover Page

Docket No.: 06-73-21

Permit No.: BBS21-000089

Applicant Name: Tim Neuffer, Neu Architecture

Project Address: 2108 Lakeland Ave.

Project Name: n/a

Project: Applicant proposes construction of a first floor addition.

MAP OF SURVEY

PREPARED FOR

HOFFMAN

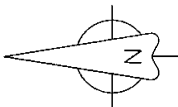
Situated in the City of Lakewood, County of Cuyahoga and State of Ohio and known as being Sublot No.25 and the Southern part of Sublot 24, in the Maple Shade Subdivision No. 3 of part of Original Rockport Township Section No. 19 as shown by recorded Plat Volume 45 of Maps, Page 9 of Cuyahoga County Records

ATHENS AVENUE 40'

LAKELAND AVENUE 60'

DELAWARE AVENUE 60'

CARABEL AVENUE 60'



Scale: 1" = 20'
April, 2021

IPMF & used
N 89°56'30" E 498.29' obs
IPMF & used
20'
IPMF & used

A = 272.52'
Ch = 272.04' rec 727.00' obs
S 84°12'30" E
R = 1334.54'

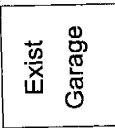
40.00' rec & used

A = 129.46'
Ch = 129.41' rec & used
S 87°14'13" E



PPN 313-16-032
Benjamin D. & Lacey K. Hoffmann
AFN 200806040520

SIL 25



46.37' rec & used

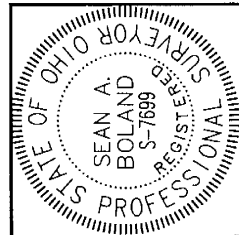
PPN 313-16-042
Horace L. & Carol L. Haught
Vol. 52837, Page 38

SIL 18

Wood Fence
S 89°56'30" W
179.25' rec & used

PPN 313-16-033
Monica K. Brown
AFN 201008030064

SIL 26



Legend

- IPCS = Iron Pin Capped Set
- IPCF = Iron Pin Capped Found
- IPF = Iron Pin Found
- IPMF = Iron Pin Monument Found
- ⊗ DHS = Drill Hole Set

Certification

This Plat was prepared from the analysis of Recorded Plats, Recorded Deeds and Cuyahoga County Records. Bearings are to an assumed meridian and indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge.

Sean A. Boland

Sean A. Boland, P.S.
Registered Ohio Professional
Surveyor 7699
440 785-2943
bolandsurveying@gmail.com

PROPOSED ADDITION FOR:

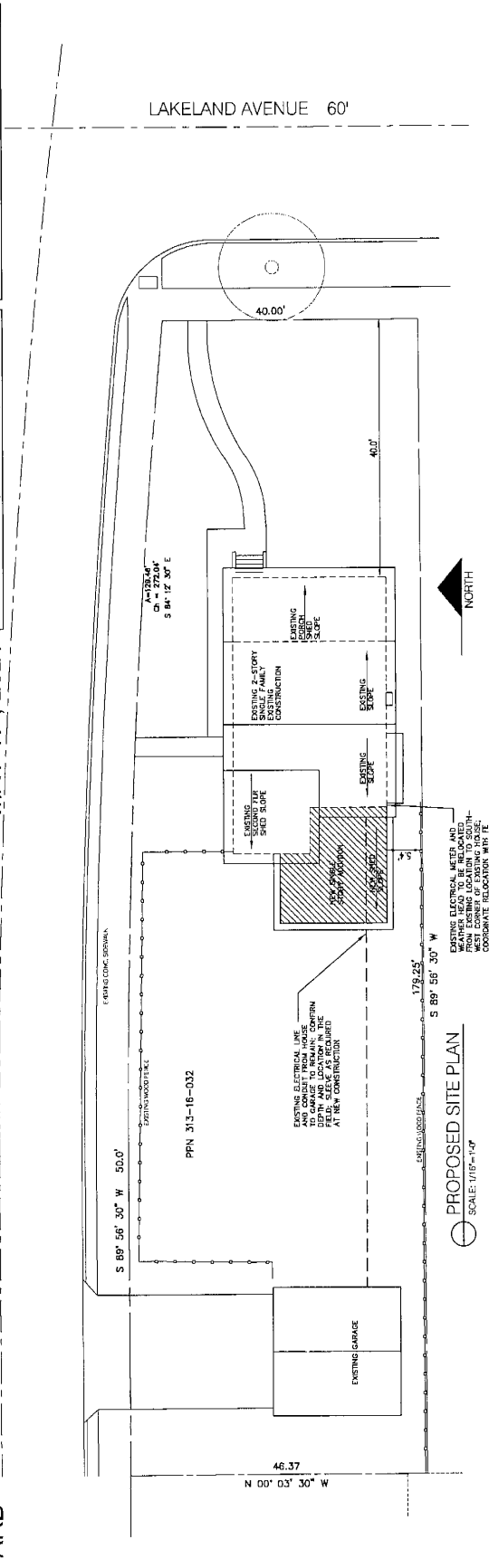
THE HOFFMANN RESIDENCE

BIDDING
ARB

APRIL 30, 2021
MAY 17, 2021

ATHENS AVENUE 40'

CODE REVIEW	DRAWING INDEX
<p>PERMANENT PARCEL NO. 313-16-032 R1H - RESIDENTIAL SINGLE FAMILY (MEDIUM DENSITY) 1-STORY ADDITION WITH GRAM SPACE AND NEW PUMP-OUT 400 SQ. FT. (GARAGE) + 1,210 (HOUSE-ADDITION)/8,631=20% LOT COVERAGE CODE USED: 2019 RESIDENTIAL CODE OF OHIO W/ UPDATES LVS TO BE URBAN/MA PACIFIC LP SOULSTART 2500 - 2.0 ROOF LOAD: 20 PSF SNOW LOAD & 10 PSF DEAD LOAD FLOOR DESIGN LOADS: 40 PSF (NON-SLEEPING ROOMS) & 10 PSF EL</p>	<p>A-1 SITE PLAN, GENERAL NOTES A-2 DEMOLITION PLAN AND ELEVATIONS A-3 FOUNDATION AND FLOOR PLANS A-4 ELEVATIONS A-5 SECTIONS BMP-1 ELECTRICAL, MECHANICAL AND PLUMBING PLANS</p>



PROPOSED SITE PLAN
SCALE: 1/16"=1'-0"

ISSUATION: DATE: 05/17/21
 DRAWING: 05/17/21
 NUMBER: 05/17/21
 PROJECT: 05/17/21
 CLIENT: 05/17/21
 CONTRACTOR: JFE REMODELING
 1369 WEST MADISON DRIVE
 WESTLAKE, OHIO 44145
 CONTRACTOR: JFE REMODELING
 21656.0428
 2157 Century Avenue
 Columbus, Ohio 43212
 Email: jfe@jfe.com

PROPOSED ADDITION FOR
 THE HOFFMANN RESIDENCE
 2108 LAKELAND AVENUE
 LAKEWOOD OHIO 44107

MATERIALS LEGEND	GENERAL NOTES	DRAWING SYMBOLS
<p>EXISTING TO BE DEMOLISHED</p> <p>EXISTING TO REMAIN</p> <p>NEW CONSTRUCTION</p> <p>CONCRETE</p> <p>CONCRETE BLOCK</p> <p>STEEL</p> <p>ROUGH LUMBER</p> <p>PLYWOOD</p> <p>5/8" INSULATION</p> <p>100 INSULATION</p>	<p>A. COORDINATE WORK WITH ALL DRAWINGS INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.</p> <p>B. CONTRACTOR TO BE RESPONSIBLE FOR SHORING, UNDERPINNING, BRACING AND OTHER TEMPORARY SUPPORT NECESSARY.</p> <p>C. ABANDONED, UNUSED OR FUNCTIONLESS MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT, PIPING OR CONDUIT SHALL BE REMOVED AND DISPOSED IN NO CASE SHALL ANY HAZARDOUS ITEMS REMAIN UNLESS OTHERWISE NOTED.</p> <p>D. REMOVE AND DISPOSE OF ALL CONSTRUCTION NOT INDICATED TO REMAIN, NOT REQUIRED FOR COMPLETION OF NEW CONSTRUCTION, AND NOT INDICATED TO BE SAVED AND REUSED.</p> <p>E. CONTRACTOR IS RESPONSIBLE FOR ALL PROTECTION OF EXISTING ELEMENTS TO REMAIN AND SHALL REPAIR ANY DAMAGES TO THE OWNER'S SATISFACTION, PRIOR TO COMPLETION OF CONSTRUCTION. ALL REPAIRS TO BRICK AND CONCRETE SHALL BE MATCHED AND REPAIRED TO OWNER'S SATISFACTION.</p> <p>F. DIMENSIONS THROUGHOUT THESE CONTRACT DOCUMENTS FOR NEW WALL ARE MEASURED FACE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.</p> <p>G. CONTRACTOR TO VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE BUILDING AND SITE AFFECTED BY THIS WORK, SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND UTILITIES THAT WILL BE AFFECTED BY THE PROPOSED WORK.</p> <p>H. CONTRACTOR TO CONFORM TO LATEST ADOPTED EDITION OF ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.</p>	<p>PLAN DETAIL TAG</p> <p>DETAIL TAG/ REFERENCE SHEET</p> <p>ROOM NAME AND NUMBER</p> <p>EXTERIOR ELEVATION TAG</p> <p>INTERIOR ELEVATION TAG</p> <p>SECTION DETAIL TAG</p> <p>WALL SECTION DETAIL TAG</p> <p>RELATIVE ELEVATION TAG</p> <p>REVISION NUMBER TAG</p>

MATERIALS LEGEND	GENERAL NOTES	DRAWING SYMBOLS
<p>EXISTING TO BE DEMOLISHED</p> <p>EXISTING TO REMAIN</p> <p>NEW CONSTRUCTION</p> <p>CONCRETE</p> <p>CONCRETE BLOCK</p> <p>STEEL</p> <p>ROUGH LUMBER</p> <p>PLYWOOD</p> <p>5/8" INSULATION</p> <p>100 INSULATION</p>	<p>A. COORDINATE WORK WITH ALL DRAWINGS INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.</p> <p>B. CONTRACTOR TO BE RESPONSIBLE FOR SHORING, UNDERPINNING, BRACING AND OTHER TEMPORARY SUPPORT NECESSARY.</p> <p>C. ABANDONED, UNUSED OR FUNCTIONLESS MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT, PIPING OR CONDUIT SHALL BE REMOVED AND DISPOSED IN NO CASE SHALL ANY HAZARDOUS ITEMS REMAIN UNLESS OTHERWISE NOTED.</p> <p>D. REMOVE AND DISPOSE OF ALL CONSTRUCTION NOT INDICATED TO REMAIN, NOT REQUIRED FOR COMPLETION OF NEW CONSTRUCTION, AND NOT INDICATED TO BE SAVED AND REUSED.</p> <p>E. CONTRACTOR IS RESPONSIBLE FOR ALL PROTECTION OF EXISTING ELEMENTS TO REMAIN AND SHALL REPAIR ANY DAMAGES TO THE OWNER'S SATISFACTION, PRIOR TO COMPLETION OF CONSTRUCTION. ALL REPAIRS TO BRICK AND CONCRETE SHALL BE MATCHED AND REPAIRED TO OWNER'S SATISFACTION.</p> <p>F. DIMENSIONS THROUGHOUT THESE CONTRACT DOCUMENTS FOR NEW WALL ARE MEASURED FACE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.</p> <p>G. CONTRACTOR TO VISIT AND CAREFULLY EXAMINE THOSE PORTIONS OF THE BUILDING AND SITE AFFECTED BY THIS WORK, SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND UTILITIES THAT WILL BE AFFECTED BY THE PROPOSED WORK.</p> <p>H. CONTRACTOR TO CONFORM TO LATEST ADOPTED EDITION OF ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.</p>	<p>PLAN DETAIL TAG</p> <p>DETAIL TAG/ REFERENCE SHEET</p> <p>ROOM NAME AND NUMBER</p> <p>EXTERIOR ELEVATION TAG</p> <p>INTERIOR ELEVATION TAG</p> <p>SECTION DETAIL TAG</p> <p>WALL SECTION DETAIL TAG</p> <p>RELATIVE ELEVATION TAG</p> <p>REVISION NUMBER TAG</p>

GENERAL NOTES

SITE PLAN

THE HOFFMANN RESIDENCE

2108 LAKELAND AVENUE
 LAKEWOOD OHIO 44107

DATE: 05/17/21
 DRAWING: 05/17/21
 NUMBER: 05/17/21
 PROJECT: 05/17/21
 CLIENT: 05/17/21

2101

A-1

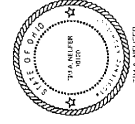
SHEET NO. DATE
 2101 10/15/17
 CONTRACTOR: JEFF REMOELING
 1389 WEST MADISON DRIVE
 WHEELING, OHIO 44143

2157 GREENBURY AVENUE
 CLEVELAND, OHIO 44117
 216.955.0426
 info@neuarch.com
Neu Architecture

CONTRACTOR:
 JEFF REMOELING
 1389 WEST MADISON DRIVE
 WHEELING, OHIO 44143

PROPOSED ADDITION FOR
 THE HOFFMANN RESIDENCE
 2108 LAKELAND AVENUE
 LAKEWOOD, OHIO 44107

FOUNDATION PLAN
 FLOOR PLAN

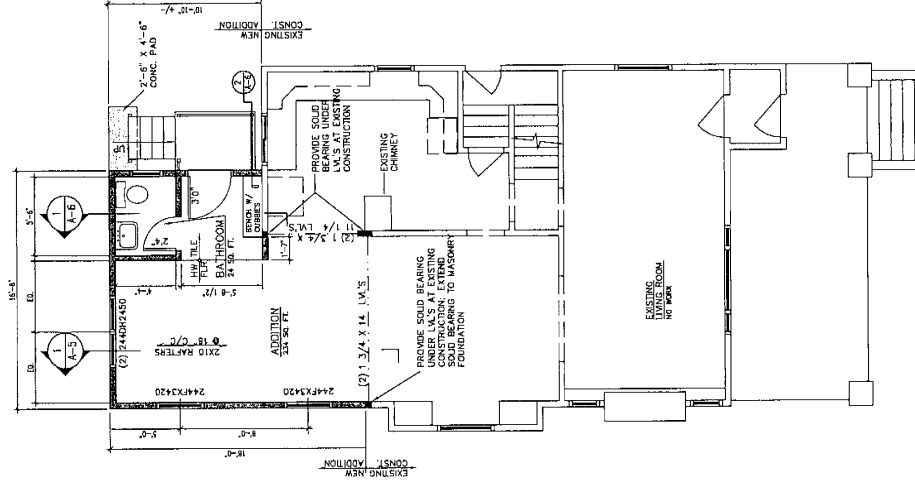


THOMAS J. MALACHUK
 LICENSE NO. 10719
 10/15/2017

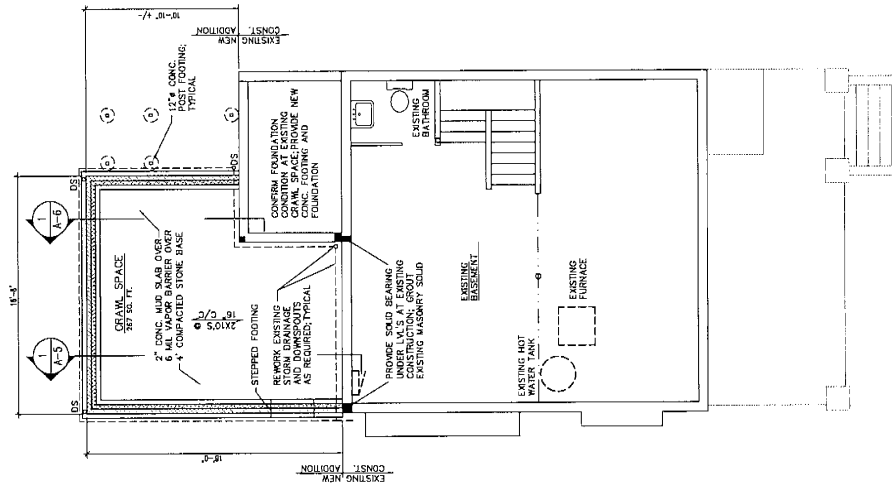
2101

A-3

PROFESSIONAL ARCHITECTURE
 10000 EAST AVENUE
 CLEVELAND, OHIO 44130



PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"



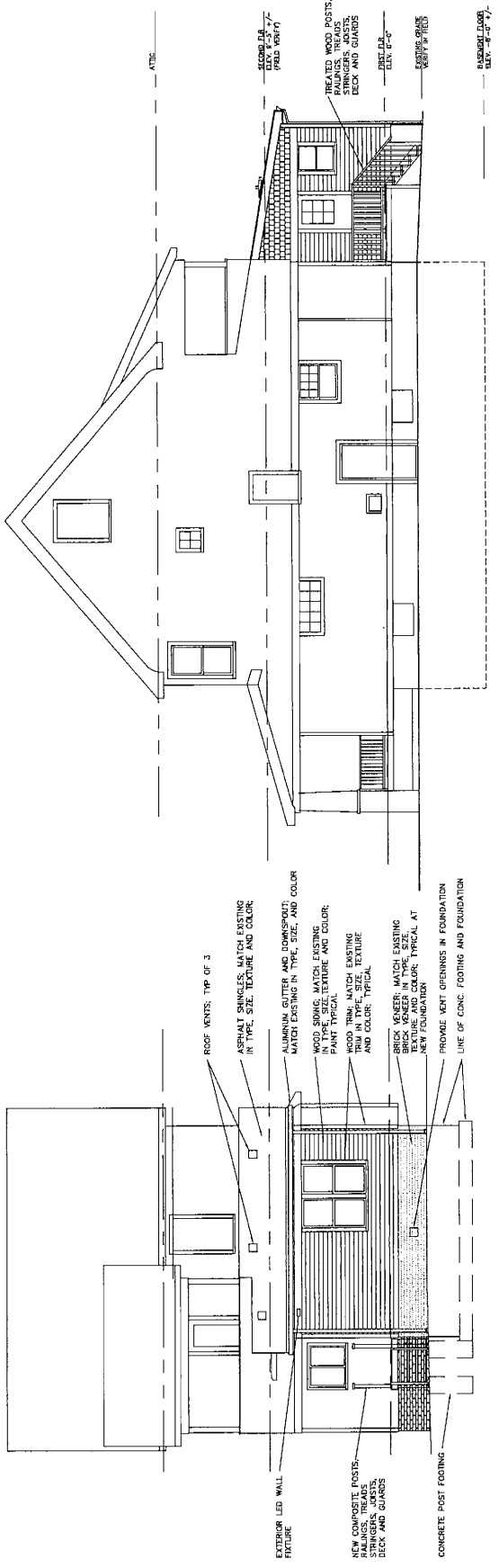
PROPOSED FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

ISSUED FOR: DATE:
 APPROVED BY: DRAWN BY:
 CHECKED BY: CONSULTANT: DATE:
 REVISION: ARCHITECT: DATE:
 NO.

Neu Architecture
 216.956.0428
 2157 GENESEE AVENUE
 CLEVELAND, OHIO 44107
 lna@neuarch.com

CONTRACTOR:
 JFE REMODELING
 1369 WEST MERIDISS DRIVE
 WESTLICK, OHIO 44143

PROPOSED ADDITION FOR
 THE HOFFMANN RESIDENCE
 2108 LAKELAND AVENUE
 LAKEWOOD OHIO 44107

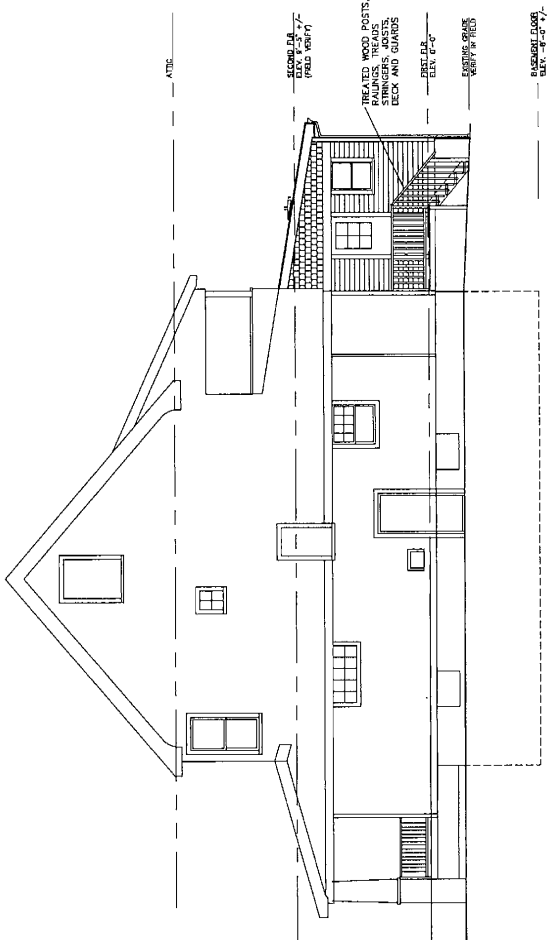


PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"

ROOF VENTS: TYP OF 3
 ASPHALT SHINGLES: MATCH EXISTING
 IN TYPE, SIZE, TEXTURE AND COLOR
 ALUMINUM GUTTER AND DOWNSPOUT:
 MATCH EXISTING IN TYPE, SIZE, AND COLOR
 WOOD SHIMS: MATCH EXISTING
 IN TYPE, SIZE, TEXTURE AND COLOR;
 FLOOR TRIM: MATCH EXISTING
 TRIM IN TYPE, SIZE, TEXTURE
 AND COLOR; TYPICAL
 BRICK VENEER: MATCH EXISTING
 TEXTURE AND COLOR; TYPICAL AT
 NEW FOUNDATION
 PROVIDE VENT OPENINGS IN FOUNDATION
 LINE OF CONC. FOOTING AND FOUNDATION

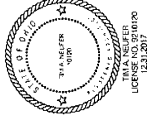
EXTERIOR LED WALL
 FIXTURE
 NEW COMPOSITE POSTS,
 STRANGERS, JOISTS,
 DECK AND GUARDS
 CONCRETE POST FOOTING

PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

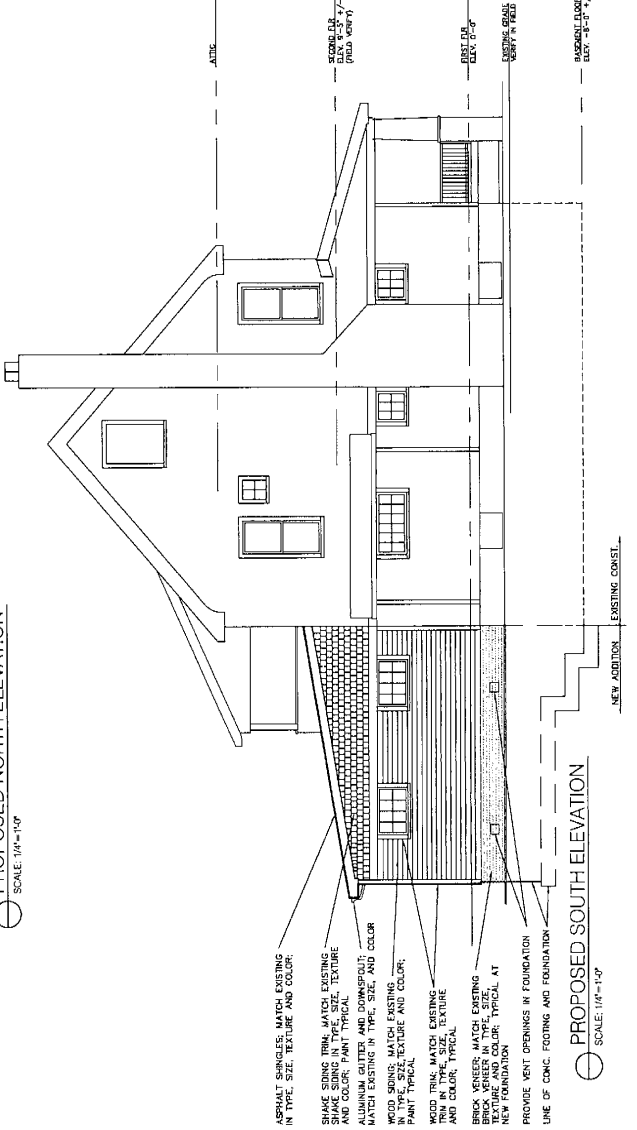


TREATED WOOD POSTS,
 STRANGERS, JOISTS,
 DECK AND GUARDS
 EXISTING GRADE
 VERIFY IN FIELD
 EXIST. F.P.
 EXISTING GRADE
 VERIFY IN FIELD
 EXISTING GRADE
 VERIFY IN FIELD
 EXIST. F.P.
 EXISTING GRADE
 VERIFY IN FIELD

ELEVATIONS



2101
 A-4



PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

ASPHALT SHINGLES: MATCH EXISTING
 IN TYPE, SIZE, TEXTURE AND COLOR;
 SHAKE SIDING TRIM: MATCH EXISTING
 SHAKE SIDING IN TYPE, SIZE, TEXTURE
 AND COLOR; PAINT TYPICAL
 ALUMINUM GUTTER AND DOWNSPOUT:
 MATCH EXISTING IN TYPE, SIZE, AND COLOR
 WOOD SHIMS: MATCH EXISTING
 IN TYPE, SIZE, TEXTURE AND COLOR;
 PAINT TYPICAL
 WOOD TRIM: MATCH EXISTING
 IN TYPE, SIZE, TEXTURE AND COLOR;
 TYPICAL
 BRICK VENEER: MATCH EXISTING
 TEXTURE AND COLOR; TYPICAL AT
 NEW FOUNDATION
 PROVIDE VENT OPENINGS IN FOUNDATION
 LINE OF CONC. FOOTING AND FOUNDATION

NEW ADDITION
 EXISTING CONSTR.

CONSULTING: NEU ARCHITECTURE
 2157 GEORGY AVENUE
 CLEVELAND, OHIO 44117
 (216) 536-0428
 INFO@NEUARCH.COM

CONTRACTOR: J.P. REMKOWSKI
 1365 WEST MADISON DRIVE
 WESTLAKE, OHIO 44145

PROPOSED ADDITION FOR
 THE HOFFMANN RESIDENCE
 21081 KRAFT AND MENUE
 LAKEWOOD, OHIO 44117

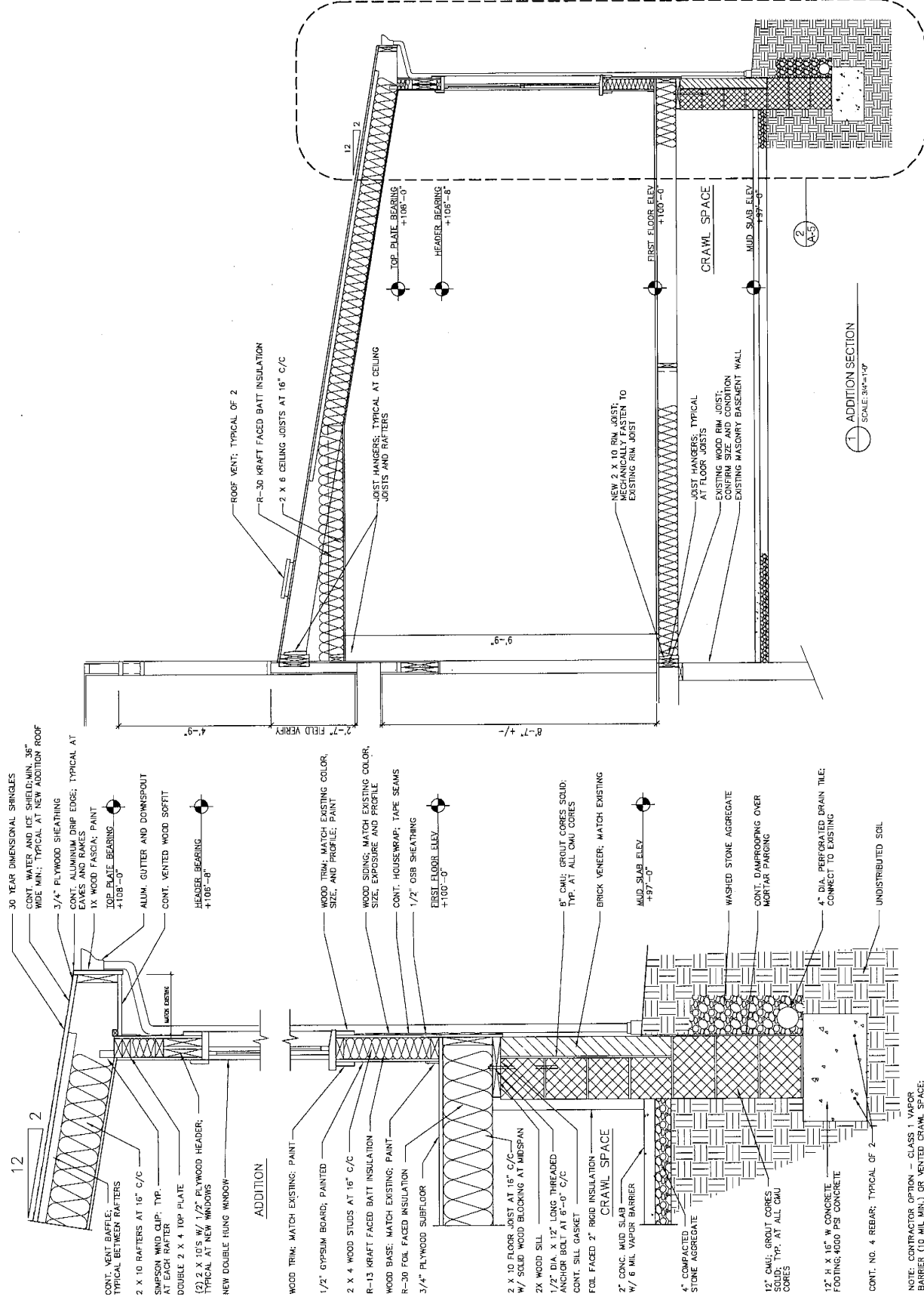
SECTIONS



2101

A-5

PREPARED BY: NEU ARCHITECTURE
 DATE: 08/2017



1 ADDITION SECTION
 SCALE: 3/4" = 1'-0"

2 WALL SECTION
 SCALE: 1/2" = 1'-0"

NOTE: CONTRACTOR OPTION - CLASS 1 VAPOR BARRIER (10 MIL MIN.) OR VENTED CRAWL SPACE. REFER TO ELEVATIONS FOR VENT NOTES

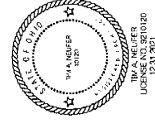
RESUBMIT DATE: 04/03/21
 REVISIONS: 4/18
 05/11/21

CONTRACTOR: JFE REMODELING
 1369 West Monroe Drive
 Westlake, Ohio 44145

2157 GREYSKY AVENUE
 CLEVELAND, OHIO 44101
 Lindrath@jfe.com

PROPOSED ADDITION FOR
 THE HOFFMANN RESIDENCE
 2108 LAKELAND AVENUE
 LAKEWOOD, OHIO 44107

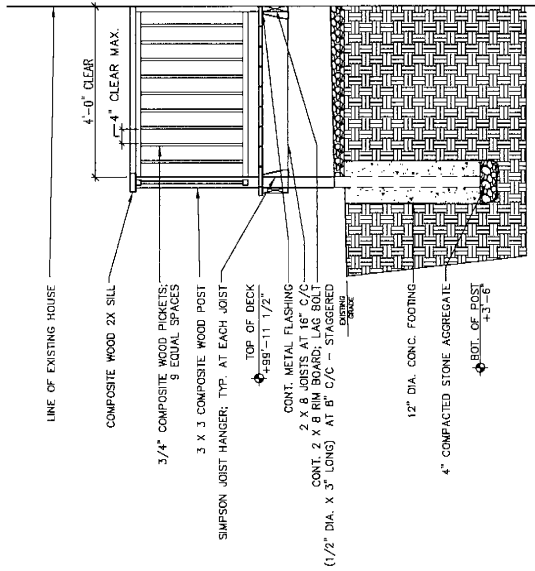
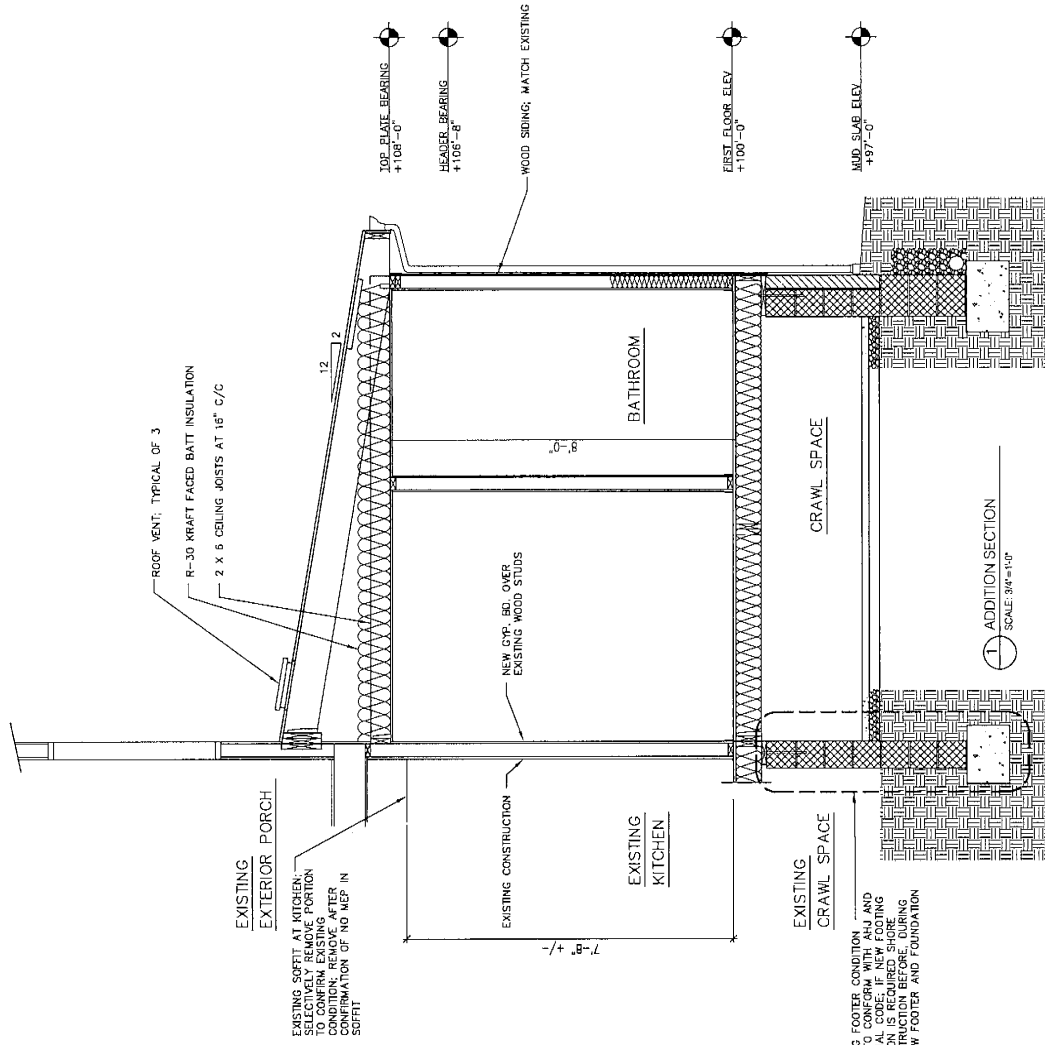
SECTIONS



2101

A-6

9-17-2017 (REVISED)

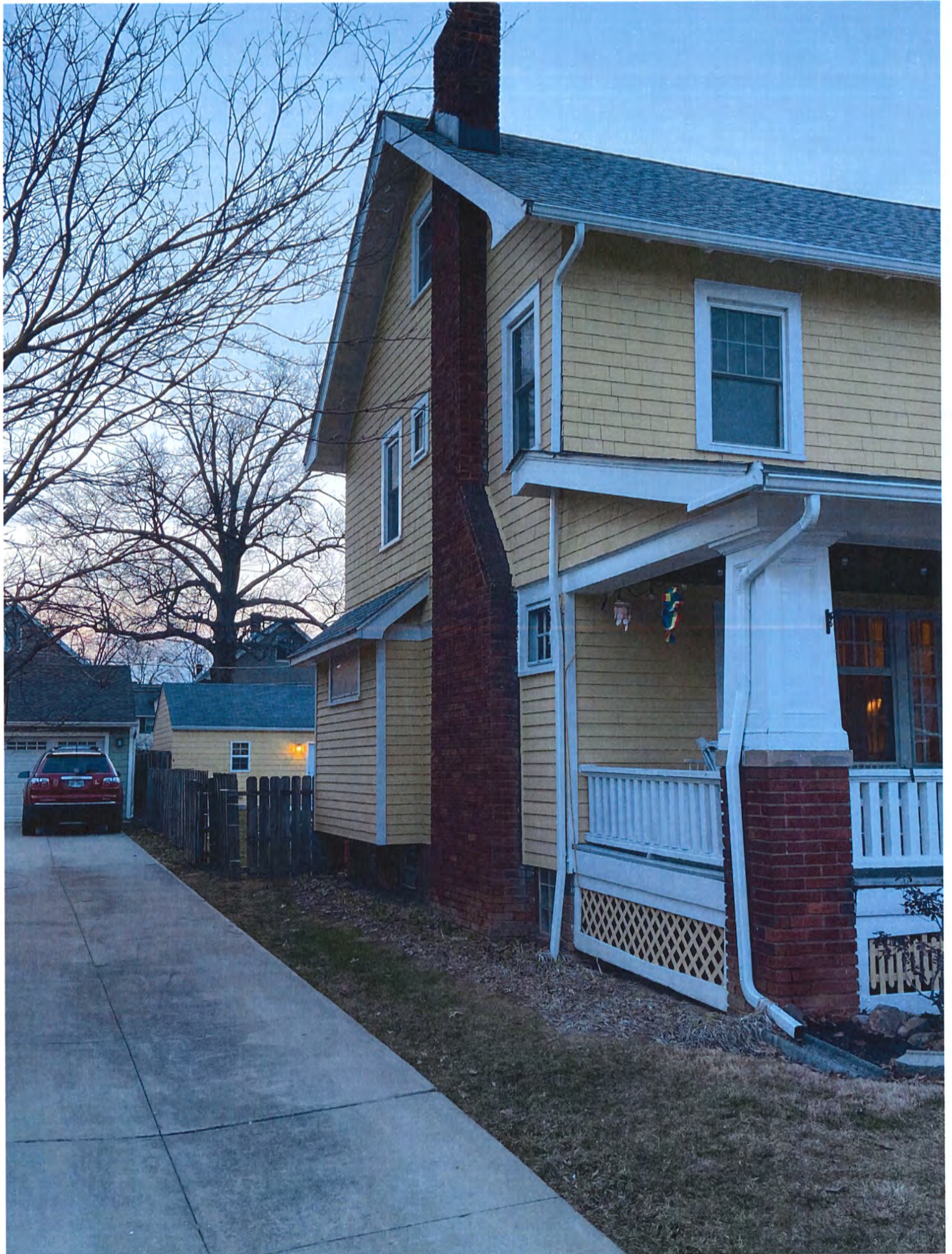


VERIFY EXISTING FOOTER CONDITION AS REQUIRED TO CONFORM WITH ADD AND AS REQUIRED TO CONFORM WITH EXISTING AND FOUNDATION IS REQUIRED BEFORE EXISTING CONSTRUCTION BEFORE, DURING AND AFTER NEW FOOTER AND FOUNDATION CONSTRUCTION



21/08

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Application Cover Page

Docket No.: 06-74-21

Permit No.: BBS21-000090

Applicant Name: Thomas DeAlexandro, Platform Masonry, LLC

Project Address: 2237 Olive Ave.

Project Name: n/a

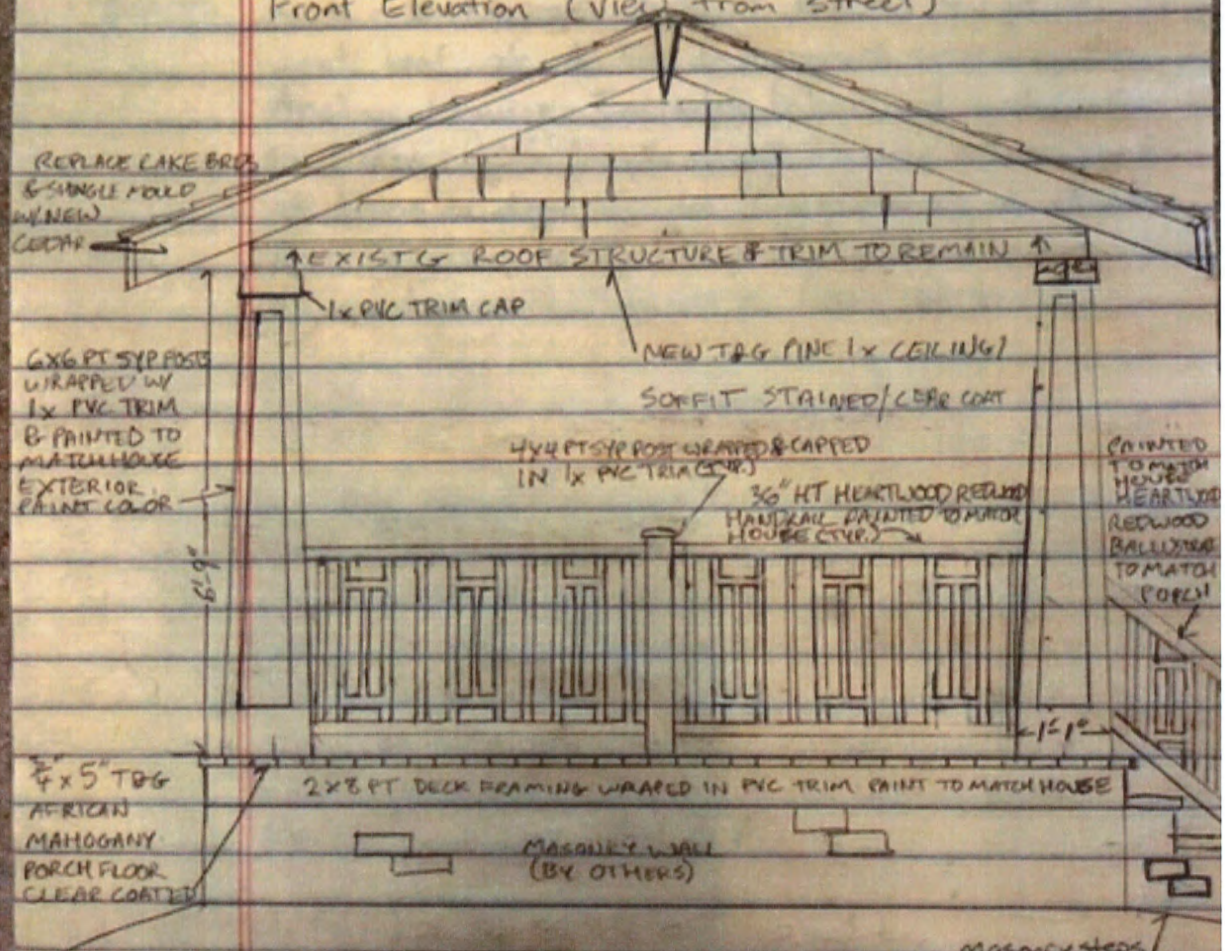
Project: Applicant proposes the rebuild of a porch.

2237 Olive Ave

- Outdoor fixture will just be replaced with new fixture.
- Landscaping will all be removed and just reseeding with grass for this year. Landscaping upgrade will hopefully happen next year.
- Paint contractor not selected yet. Paint will match color of house and was an exterior grade Sherwin Williams paint that was used on home.

2237 Olive Ave. Lakewood
 Porch Replacement

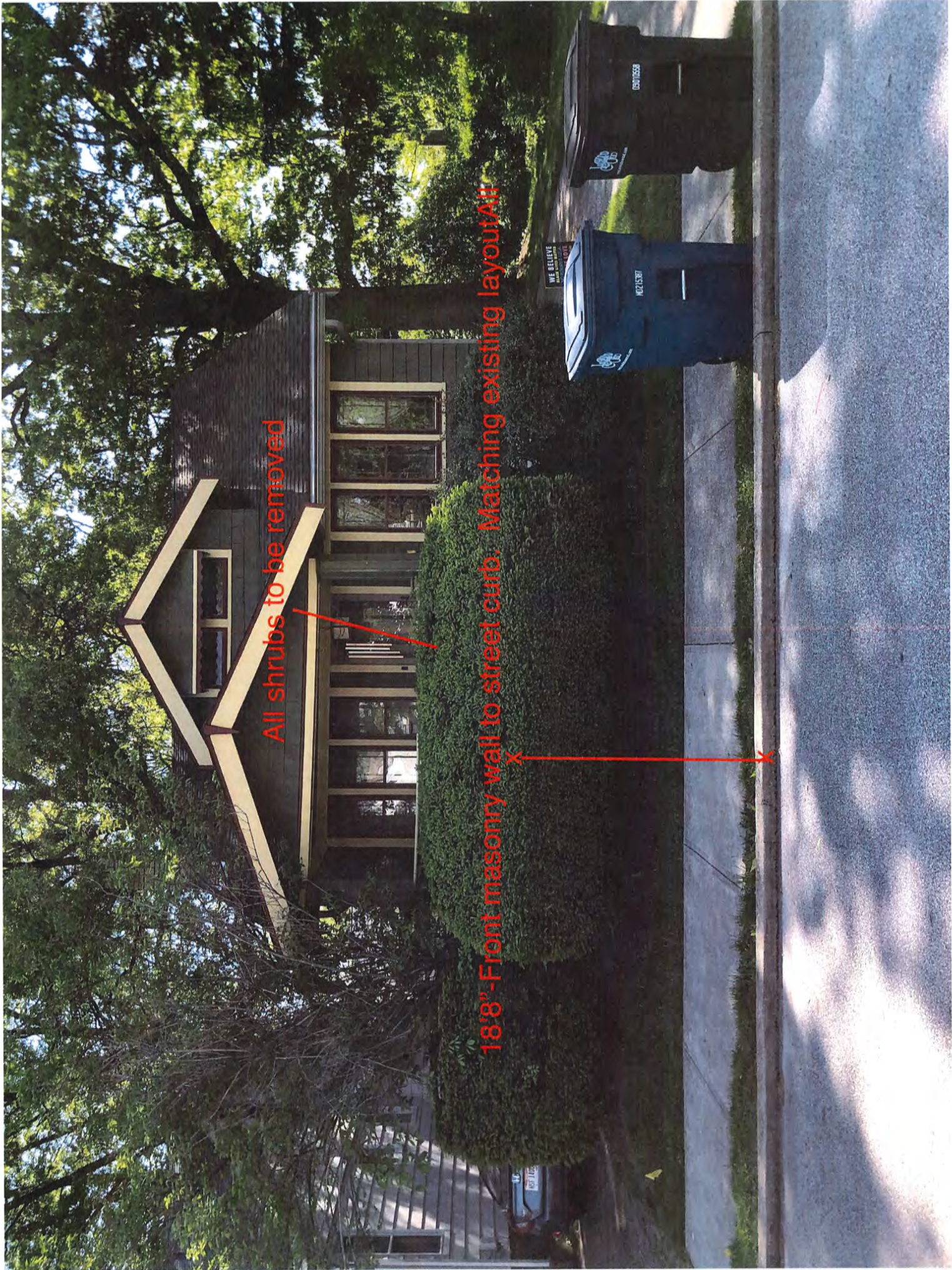
Front Elevation (view from street)



MATL SPECS:

PVC trim: Azek brand or equiv. (cellular PVC simulated wood trim)
 full specs @ azekexteriors.com

Redwood: "re-claimed" heartwood redwood species. No specs because matl is "used". Matl chosen for custom handrail detail not available in "manufactured" railing system - to match existg house.



All shrubs to be removed

18'8" - Front masonry wall to street curb. Matching existing layout



WE BELIEVE
WOMEN'S RIGHTS ARE HUMAN RIGHTS
NO HUMAN IS ILLEGAL
LOVE IS LOVE
SCIENCE IS REAL
WATER IS LIFE
Women's Rights are Human Rights
Becky Hopkins is a lover of just humanity




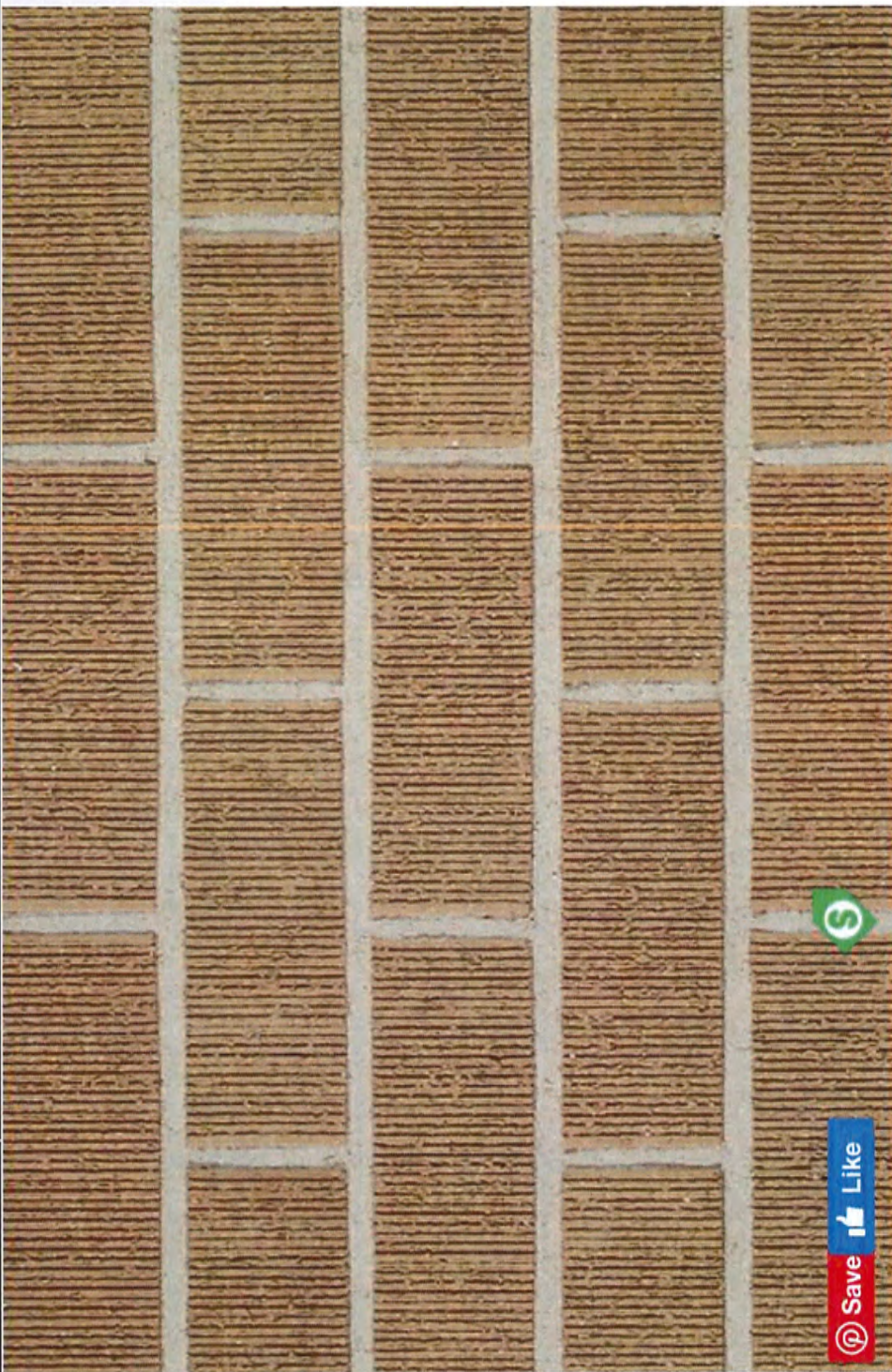


Buff Bricks: 505 Vertical

SPL ID: 00002350



STANDARDS	TYPE	TEXTURE COMP.	CW	IRA	TEST REPORT
PLANT 8 EXTRUDED	FBS	Vertical	4.1200	9.3000	
Cleaning Recommendation	Belden Brick recommends using Vanatrol® to clean this product. Alternatively, EaCo Chem NMD 80® can be used to clean any of our brick.				



We don't have any photographs of projects with this brick.

Have a project you'd like to submit?

[Contact Us!](#)



DIVISION: 06 00 00—WOOD, PLASTICS AND COMPOSITES

Section: 06 50 00—Structural Plastics

REPORT HOLDER:

CPG BUILDING PRODUCTS LLC

EVALUATION SUBJECT:

AZEK® TRIMBOARDS TRADITIONAL, AZEK® MILLWORK, AZEK TO MILL, AZEK® TRIMBOARDS FRONTIER SERIES, AZEK® SHEETS, AZEK® BEADBOARD, AZEK® CORNERBOARDS, AZEK® UNIVERSAL SKIRT BOARD, AZEK® FINISH GRADE TRIM, AZEK® INTEGRATED DRIP EDGE, AZEK® RABBETED CORNERBOARDS, AZEK® RABBETED TRIMBOARDS, AND AZEK COLUMN WRAP

1.0 EVALUATION SCOPE

1.1 Compliance with the following codes:

- 2015, 2012, 2009, 2006 and 2003 *International Building Code*® (IBC)
- 2015, 2012, 2009, 2006 and 2003 *International Residential Code*® (IRC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)†

†The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:

- Weather resistance
- Termite resistance
- Surface burning characteristics
- Structural—negative-transverse wind loads on soffits

1.2 Evaluation to the following green code(s) and/or standards:

- 2019 California Green Building Standards Code (CALGreen), Title 24, Part 11
- 2015, 2012 and 2008 ICC 700 *National Green Building Standard*™ (ICC 700-2015, ICC 700-2012 and ICC 700-2008)

Attributes verified:

See Section 3.0

2.0 USES

AZEK® Trimboards Traditional, AZEK® Millwork, AZEK to Mill, AZEK® Trimboards Frontier Series, AZEK® Sheets, AZEK® Beadboard, AZEK® Cornerboards, AZEK® Universal Skirt Board, AZEK® Finish Grade Trim, AZEK® Integrated Drip Edge, AZEK® Rabbeted Cornerboards, AZEK® Rabbeted Trimboards, and AZEK Column Wrap are used as nonload-bearing exterior trim.

3.0 DESCRIPTION

AZEK® Trimboards Traditional, AZEK® Millwork, AZEK to Mill, AZEK® Trimboards Frontier Series, AZEK® Sheets, AZEK® Beadboard, AZEK® Cornerboards, AZEK® Universal Skirt Board, AZEK® Finish Grade Trim, AZEK® Integrated Drip Edge, AZEK® Rabbeted Cornerboards, AZEK® Rabbeted Trimboards and AZEK Column Wrap are rigid cellular PVC solid cross sections installed as corner boards, soffits, fascias, column wraps, door pilasters, frieze boards, nonload-bearing rake boards, architectural millwork, door trim, and window trim.

The material is expanded rigid poly-vinyl-chloride material with a small-cell micro structure. AZEK® Trimboards Traditional are supplied with a smooth surface on both sides. AZEK® Millwork is machined from AZEK Trimboards using common woodworking equipment. AZEK Trimboards Frontier Series are supplied with a textured surface on one side and a smooth surface on the other. AZEK Trimboards Traditional and AZEK Trimboards Frontier Series are available in nominal widths of 4 inches to 16 inches and nominal thicknesses of 5/8, 1/4, 5/4 and 6/4 inches. AZEK Sheets are available in 4-foot (1.2 m) widths and in lengths of 8, 10, 12, 18 and 20 feet (2.4, 3.0, 3.6, 5.4 and 6.0 m), with actual thicknesses of, 3/8, 1/2, 5/8, 3/4 and 1 1/4 inches (9.5, 12.7, 15.0, 19.1, 25.4 and 31.75 mm). AZEK Beadboards are available in two nominal sizes, 1/2 inch thick by 6 inches wide by 18 feet long and 5/8 inch thick by 4 inches wide by 18 feet long. AZEK Cornerboards are available in nominal thicknesses of 6/4 and 5/4 inches, nominal outside-corner widths of 4 and 6 inches, and in lengths of 10 and 20 feet. AZEK® Universal Skirt Board is used to provide a transition between siding and trim, and is a two-piece product that consists of a routed AZEK Trimboard with a 1 1/2-inch (33.75 mm) nailing flange and 1/4-inch (6.35 mm) drip edge overhang. The AZEK® Universal Skirt Board is available in a nominal thickness of 5/4 inches, nominal widths of 6, 8 and 10 inches, and a length of 18 feet (5.4 m). AZEK® Integrated Drip Edge is used to assist in directing water

away from window and door surrounds and is a two-piece product that consists of a routed AZEK Trimboard with a 1¹/₄-inch (33.75 mm) nailing flange and 1¹/₈-inch (3.18 mm) drip edge overhang. The AZEK[®] Integrated Drip Edge is available in a nominal thickness of 5¹/₄ inches, nominal widths of 4 and 6 inches, and a length of 18 feet (5.4 m). AZEK[®] Finish Grade Trim is used to provide installation with hidden fasteners (a fastener-free trim surface) and is a two-piece product consisting of a base trim piece and a cover trim piece. AZEK[®] Finish Grade Trim is available in an installed nominal thickness of 6¹/₄ inches, nominal widths of 4 and 6 inches, and a length of 18 feet (5.4 m). AZEK[®] Rabbeted Cornerboards and Trimboards are produced with a 3¹/₄-inch (19 mm) square removed from each edge. The AZEK[®] Rabbeted Cornerboards are available in a nominal thickness of 5¹/₄ inches, nominal widths of 4, 6 and 8 inches, and lengths of 10 and 20 feet (3 m and 6 m). AZEK[®] Rabbeted Trimboards are available in a nominal thickness of 5¹/₄ inches, nominal widths of 4, 6 and 8 inches, and a length of 18 feet (5.4 m). AZEK Column Wrap consists of three connected panels and a fourth locking panel that secures the Column Wrap in place. AZEK Column Wrap is 1¹/₂ inch thick and has actual outside dimensions of 4³/₄ inches, 6³/₄ inches, or 8³/₄ inches, and is installed around a nominal 4-by-4, 6-by-6 or 8-by-8 wood column or post. AZEK Column Wrap is available in 10-foot lengths.

All AZEK products covered under this evaluation report, up to a maximum nominal thickness of 6¹/₄ inches, and AZEK[®] Finish Grade Trim at a maximum nominal installed thickness of 6¹/₄ inches, have a flame-spread index of less than 25 when tested in accordance with ASTM E84.

The attributes of the AZEK products have been verified as conforming to the requirements of (i) CALGreen Section A4.405.1.1 for prefinished building materials and Section A5.406.1.2 for reduced maintenance; (ii) ICC 700-2015 and ICC 700-2012 Sections 602.1.6 and 11.602.1.6 for termite-resistant materials and Sections 601.7, 11.601.7, and 12.1(A).601.7 for site-applied finishing materials; and (iii) ICC 700-2008 Section 602.8 for termite-resistant materials and Section 601.7 for site-applied finishing materials. Note that decisions on compliance for those areas rest with the user of this report. The user is advised of the project-specific provisions that may be contingent upon meeting specific conditions, and the verification of those conditions is outside the scope of this report. These codes or standards often provide supplemental information as guidance.

4.0 INSTALLATION

4.1 General:

AZEK Trimboards Traditional, AZEK[®] Millwork, AZEK to Mill, AZEK[®] Trimboards Frontier Series, AZEK[®] Sheets, AZEK[®] Beadboard, AZEK[®] Cornerboards AZEK[®] Universal Skirt Board, AZEK[®] Finish Grade Trim, AZEK[®] Integrated Drip, AZEK[®] Rabbeted Cornerboards, AZEK[®] Rabbeted Trimboards and AZEK Column Wrap must be installed in accordance with the manufacturer's published installation instructions and this report.

The manufacturer's published installation instructions and this report must be strictly adhered to, and a copy of the instructions must be available at all times on the jobsite during installation. The instructions within this report must govern if there are any conflicts between the manufacturer's published installation instructions and this report.

4.2 Fasteners:

Fasteners must be stainless steel or hot-dipped

galvanized, and must be approved box nails or finish wood screws designed for wood trim and wood siding with a thinner shank. Nails must have blunt points and full-rounded heads. The fasteners must be long enough to penetrate the solid wood substrate a minimum of 1¹/₂ inches (38.1 mm). The fasteners located at board ends must be placed no more than 2 inches (50.8 mm) from the end of the board.

4.3 Wind Load Assembly—Soffits Using AZEK[®] Trimboards:

AZEK[®] Trimboards measuring a minimum of 12 inches by 48 inches (304.8 mm by 1219.2 mm) must be installed on minimum 2-by-4 wood framing SPF stud grade (G = 0.42) spaced 16 inches (406.4 mm) on center. The AZEK[®] Trimboards are placed with the long direction perpendicular to the wood framing and are fastened to each of the wood members with two 3¹/₄-inch-long (82.55 mm), 16d box nails, located 1 inch (25.4 mm) from the seam/edge of panels. AZEK[®] Trimboards nominally 1 inch and 1¹/₄ inches thick must have a maximum allowable design load of 60 psf (2880 N/m²) suction, negative wind load.

5.0 CONDITIONS OF USE

The AZEK[®] Trimboards Traditional, AZEK[®] Millwork, AZEK to Mill, AZEK[®] Trimboards Frontier Series, AZEK[®] Sheets, AZEK[®] Beadboard, AZEK[®] Cornerboards AZEK[®] Universal Skirt Board, AZEK[®] Finish Grade Trim, AZEK[®] Integrated Drip Edge, AZEK[®] Rabbeted Cornerboards, AZEK[®] Rabbeted Trimboards and AZEK Column Wrap described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 This evaluation report and the manufacturer's published installation instructions, when required by the code official, must be submitted at the time of permit application.
- 5.2 The trim must be manufactured, identified and installed in accordance with this report and the AZEK Building Products instructions.
- 5.3 The product is limited to the following construction types:
 - 5.3.1 Nonload-bearing exterior trim on buildings of combustible non-fire-resistance-rated construction (Type VB of the IBC).
 - 5.3.2 Architectural trim on buildings of Type I, II, III and IV construction under 2006 and 2003 IBC Section 1406.2.2 that do not exceed 3 stories or 40 feet (12.2 m) in height above grade. The trim must be backed by noncombustible construction. The trim is limited to ten percent of the exterior wall surface area where the fire separation distance is 5 feet (1.52 m) or less.
 - 5.3.3 All construction types permitted under the IRC.
- 5.4 The product must be installed over solid backing material, such as approved exterior sheathing covered with an approved water-resistant barrier or approved exterior wall covering.

6.0 EVIDENCE SUBMITTED

Data in accordance with the ICC-ES Acceptance Criteria for Rigid Cellular PVC Nonload-Bearing Exterior Trim (AC227), dated December 2004 (editorially revised November 2017).

7.0 IDENTIFICATION

- 7.1 Each package of AZEK[®] Trimboards Traditional, AZEK[®] Millwork, AZEK to Mill, AZEK[®] Trimboards

Frontier Series, AZEK® Sheets, AZEK® Beadboard, AZEK® Cornerboards AZEK® Universal Skirt Board, AZEK® Finish Grade Trim, AZEK® Integrated Drip Edge, AZEK® Rabbeted Cornerboards AZEK® Rabbeted Trimboards and AZEK Column Wrap described in this report must be labeled with the CPG Building Products LLC name, address and telephone number; the product trade name; and the evaluation report number (ESR-1074).

7.2 The report holder's contact information is the following:

CPG BUILDING PRODUCTS LLC
888 NORTH KEYSER AVENUE
SCRANTON, PENNSYLVANIA 18504
(570) 558-8000
www.azek.com
info@azek.com



TRIM BOARDS

THE VALUE OF AZEK® PREMIUM TRIM

AZEK Trim provides long-term value through trusted durability and beautiful flexibility. Unlike wood, AZEK Trim doesn't need paint or stain for protection. Our trim comes in a beautiful semimatte white and has exceptional resistance to moisture, no matter the climate. Leave constant maintenance behind. Creatively curve and easily shape AZEK Trim through heat moulding. Get truly premium value backed by our industry-best [Lifetime Limited Warranty](#).

Trim Boards

- > AZEK CLASSIC TRIM
- > AZEK TRIM WITH PAINTPRO® TECHNOLOGY
- > AZEK RABBETED TRIM
- > FLANGE SLOTTED WINDOW TRIM

AZEK TRIM FINISHES AND OPTIONS

AZEK offers a wide variety of trim board sizes and options to provide installers, builders and architects the perfect solution for any project or jobsite. All our trim options are made from rot-resistant engineered polymer and are backed by a lifetime limited warranty.

- Moisture-resistant**
 AZEK boards are 100% protected, inside and out, from both water exposure and absorption.
- Unprecedented durability**
 Flexible and durable cellular PVC prevents jobsite breakage and delivers long-lasting protection for homeowners.
- Rot-resistant**
 Say goodbye to splitting, splintering, and rotting caused by consistent exposure to the elements.



Finish Options

SMOOTH WOODGRAIN

FREQUENTLY ASKED QUESTIONS

Do I need to paint AZEK® Trim?

No. AZEK® Trim products do not require paint for protection, but may be painted to achieve a custom color or to cover nail holes that have been filled. If you choose to paint, use 100% acrylic latex paint with an LRV of 55 or higher.

> [LEARN MORE](#)

Does AZEK® Trim come in colors?

No, AZEK® Trim products are manufactured in a matte white finish only, but can be painted to achieve a custom color. Please refer to the painting section in our Trim Installation Guidelines.

> [LEARN MORE](#)

What can I use to clean AZEK® Trim?

Depending on degree of cleaning needed, power wash or hose loose dirt off of the trim board. If using a power washer, be sure to test the pressure setting and nozzle first to ensure that the surface of the trim will not be damaged. Other cleaning methods include using a soft cloth and a mixture of mild detergent.

> [LEARN MORE](#)



Chat with a representative



Send us an email



1-877-275-2935



CONNECT WITH US



PRODUCTS

- Trim
- Moulding
- Siding
- Cladding
- Specialty Items
- Sheet
- Fastening & Accessories

RESOURCES

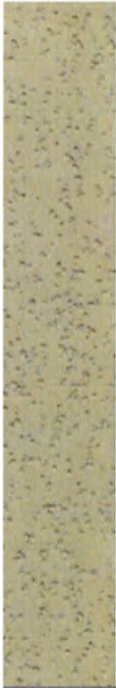
- AZEK Exteriors Blog
- Catalogs
- Warranty & Care
- Installation Help
- Painting
- Care & Cleaning
- FAQs
- AZEK Exteriors BIM Library
- Order Samples

ABOUT AZEK

- Why AZEK Exteriors
- Careers

OWNERS

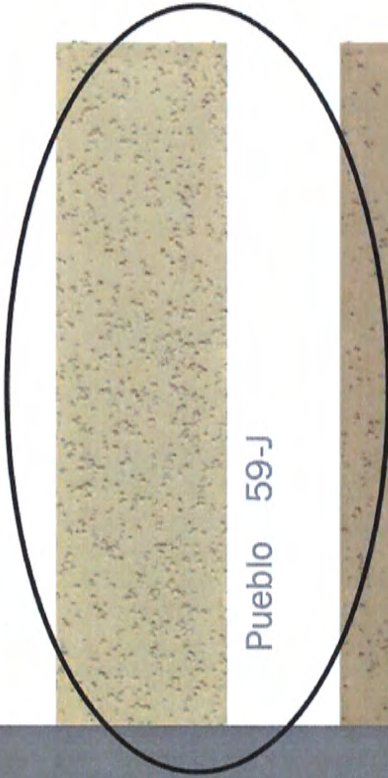
- Where To Buy
- Trim & Moulding Warranty



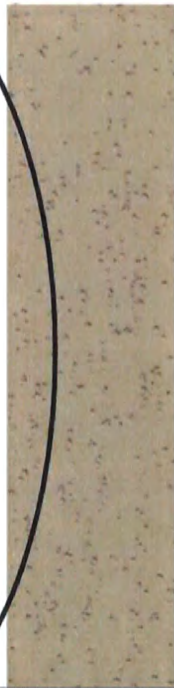
Buff 54-B



Caramel 55-A **Mortar Selection**



Pueblo 59-J



Hearthstone 51-W



Honeycomb 53-C

FAIRBORN CEMENT



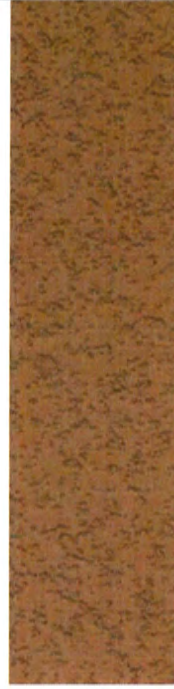
58-K Mustard Seed



57-G Khaki



55-C Keystone



60-A Pecan



63-A Adobe Clay



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Application Cover Page

Docket No.: 06-75-21

Permit No.: BBS21-000091

Applicant Name: Anthony Latina, Latina Design Build Group

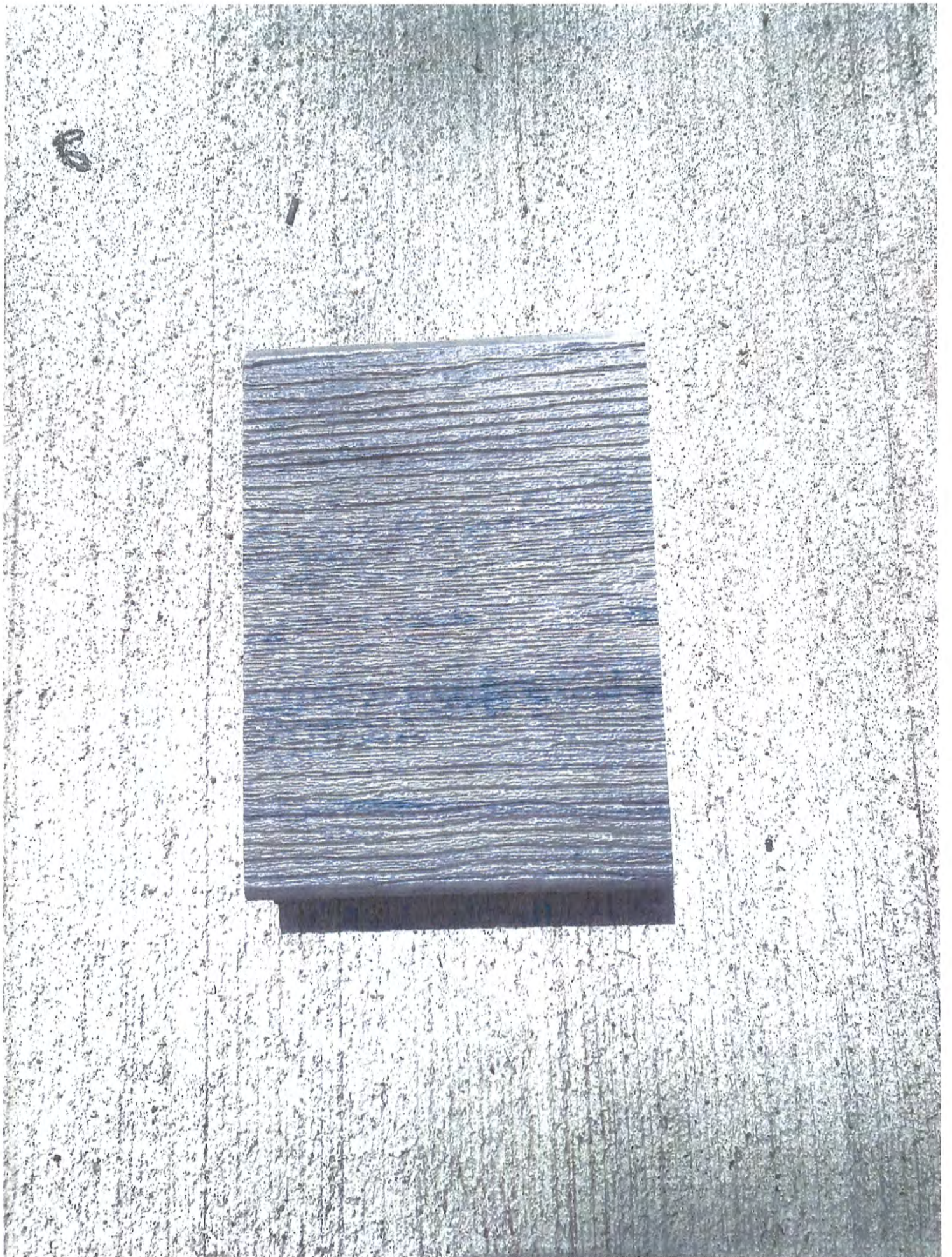
Project Address: 1219 Cook Ave.

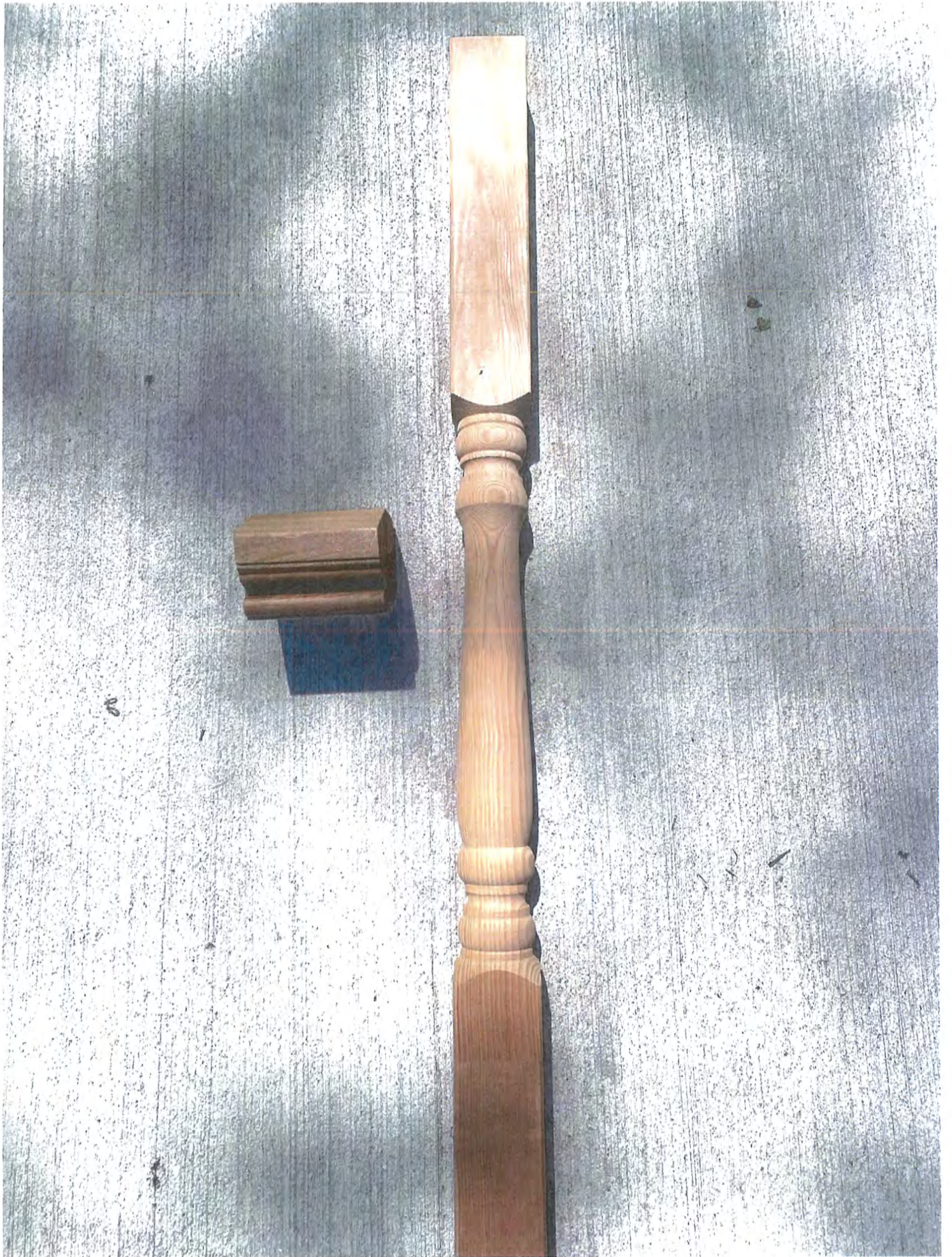
Project Name: n/a

Project: Applicant proposes the extension of an existing porch.











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Application Cover Page

Docket No.: 06-76-21

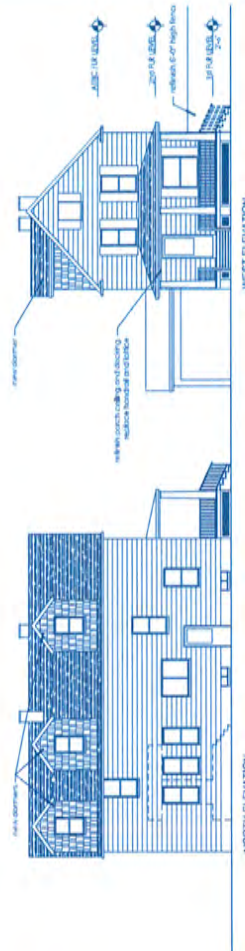
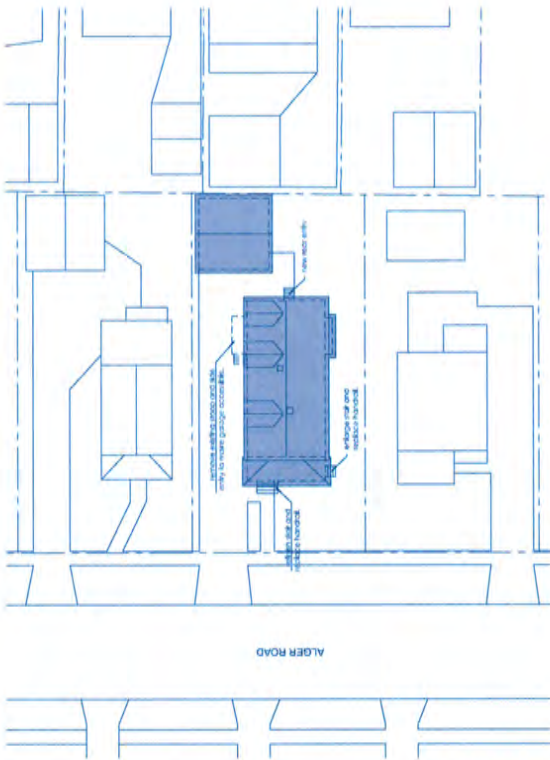
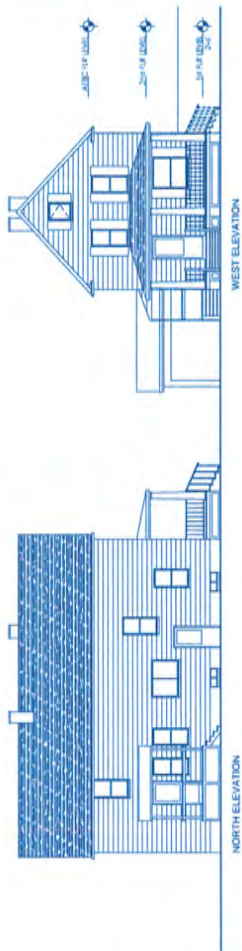
Permit No.: BBS21-000092

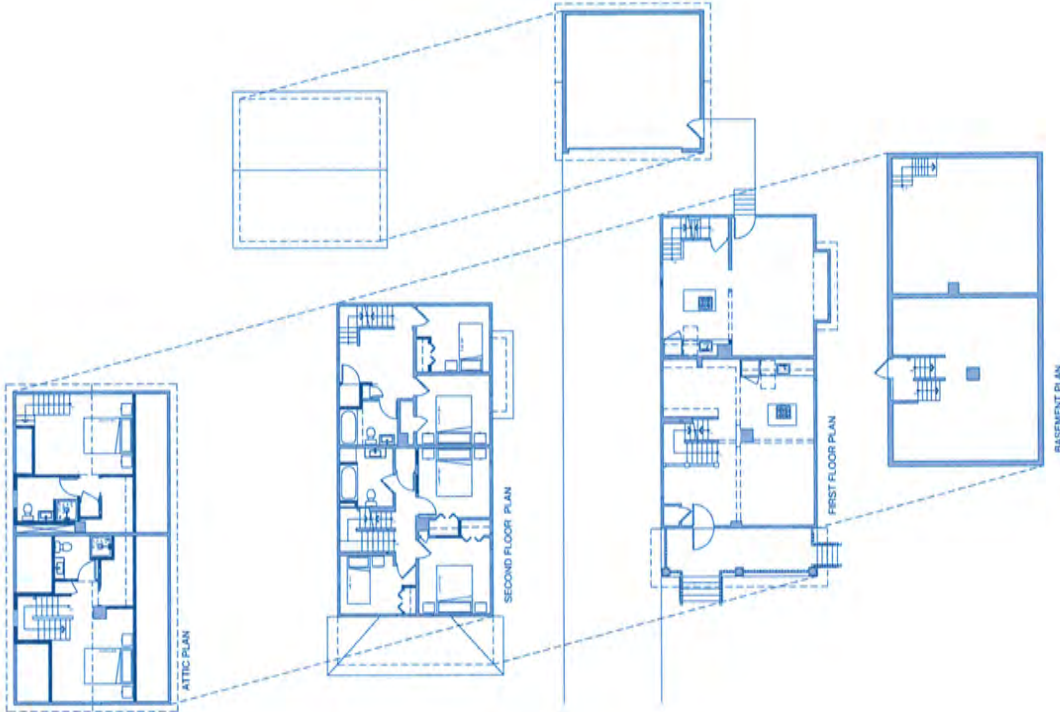
Applicant Name: Jeremy Smith, Onward Design Collaborative

Project Address: 2209 Alger Rd.

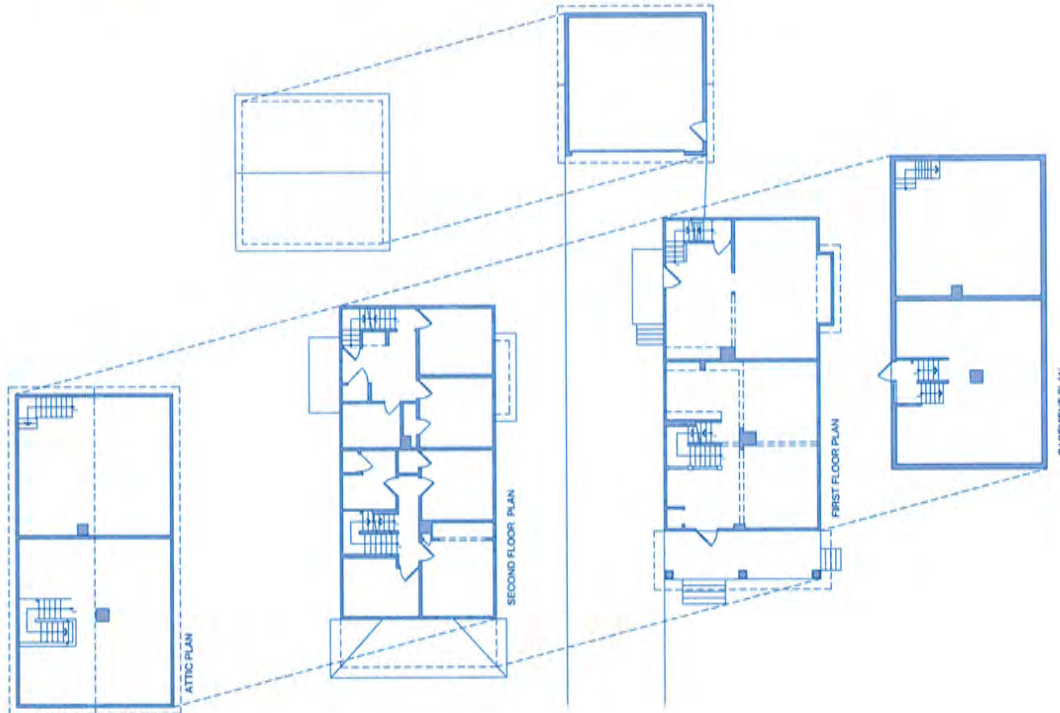
Project Name: n/a

Project: Applicant proposes exterior renovations and dormer additions to an existing home.





DESIGN PLANS



EXISTING CONDITIONS PLANS





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Application Cover Page

Docket No.: 06-77-21

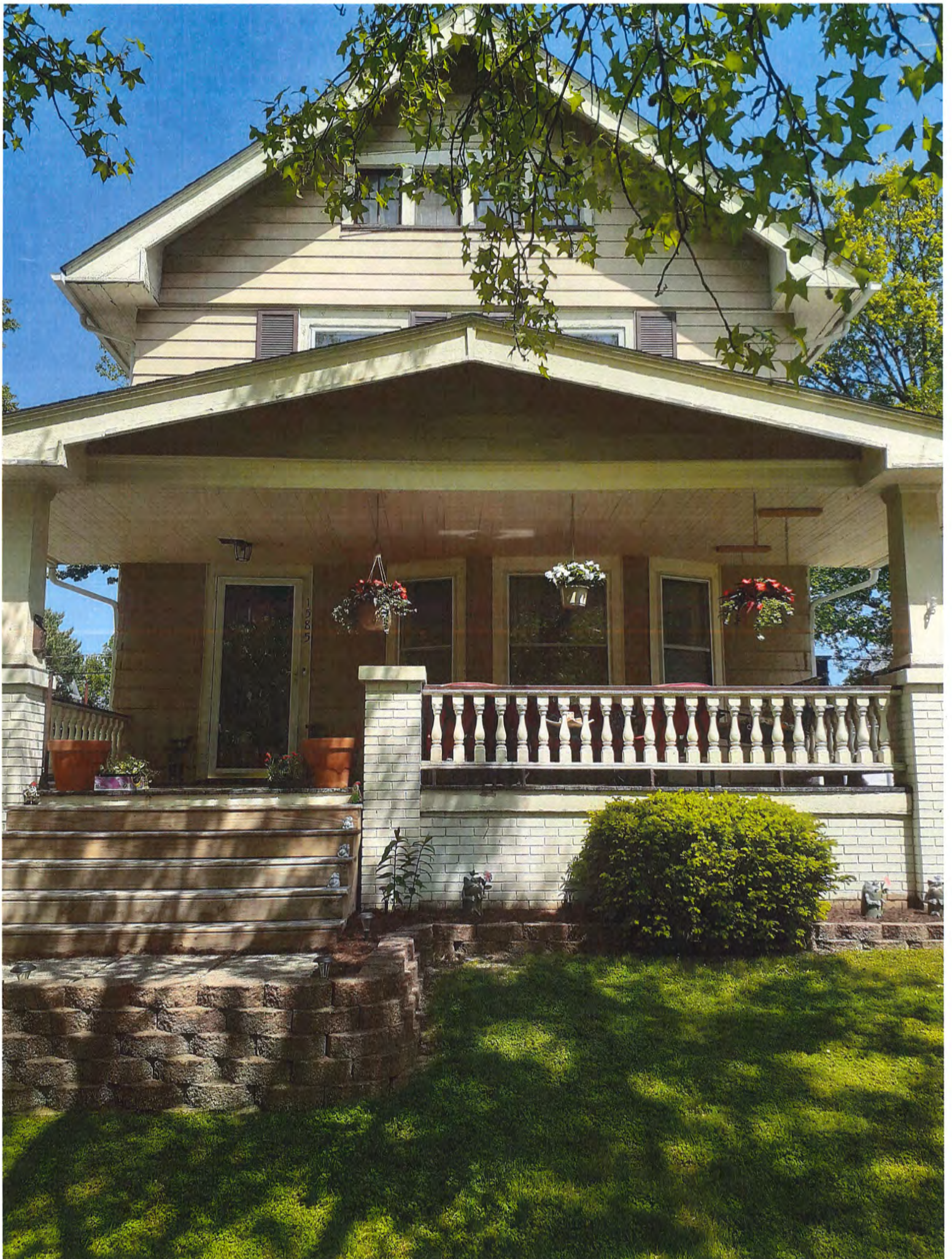
Permit No.: BBS21-000094

Applicant Name: John Graham, Graham Construction LLC

Project Address: 1585 Marlowe Ave.

Project Name: n/a

Project: Applicant proposes the rebuild of a front porch.





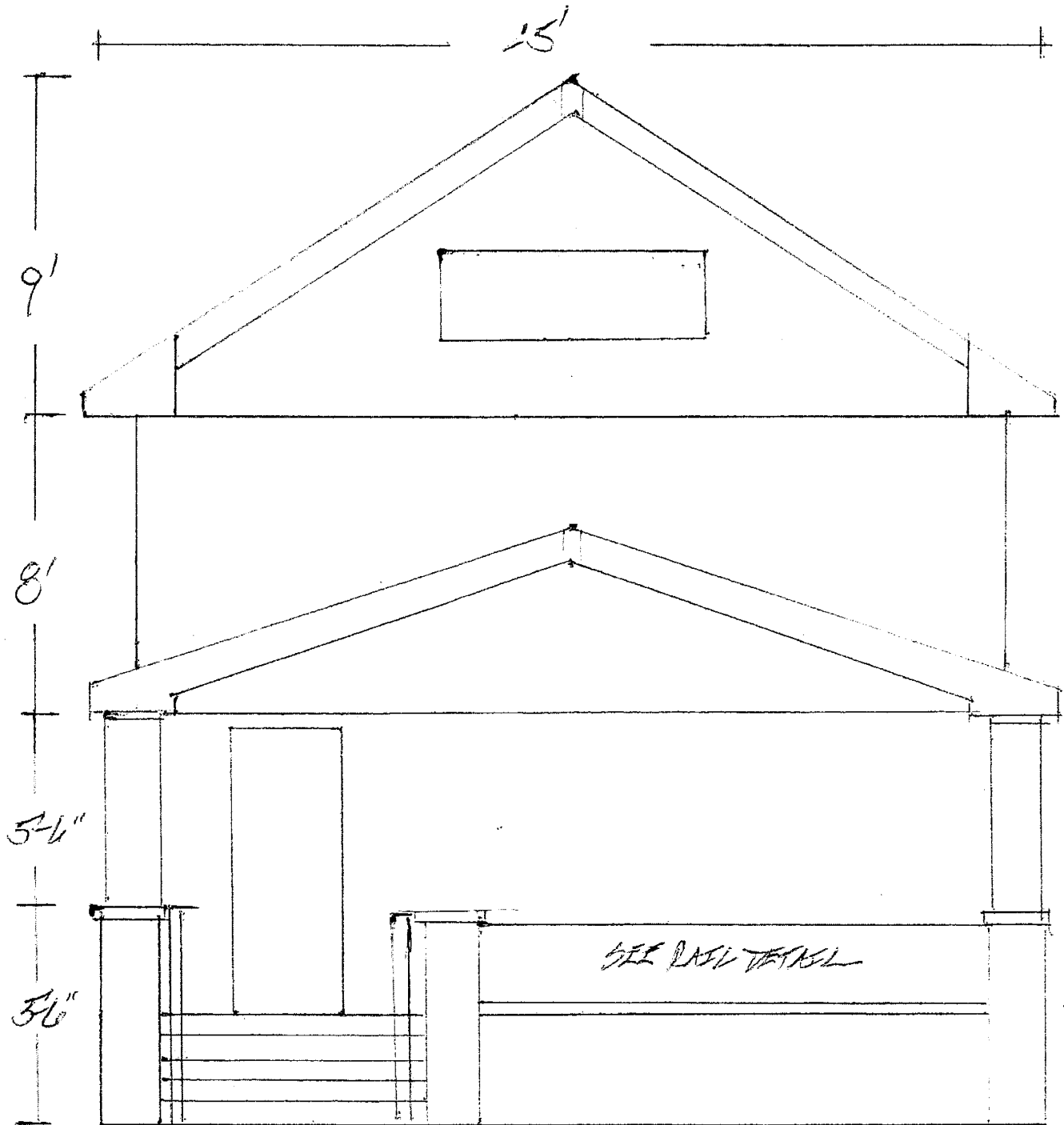


585 MALLORE AVE.
LEND, OH

GRAHAM COURT
214 700 8418

FLOYD B. BARNES

DATE: 11-1



BUILDING DECK + SHEET RETAINED

STEPS RETAINED

EXISTING COLUMNS RETAINED

KOMO 1X4 VERTICAL

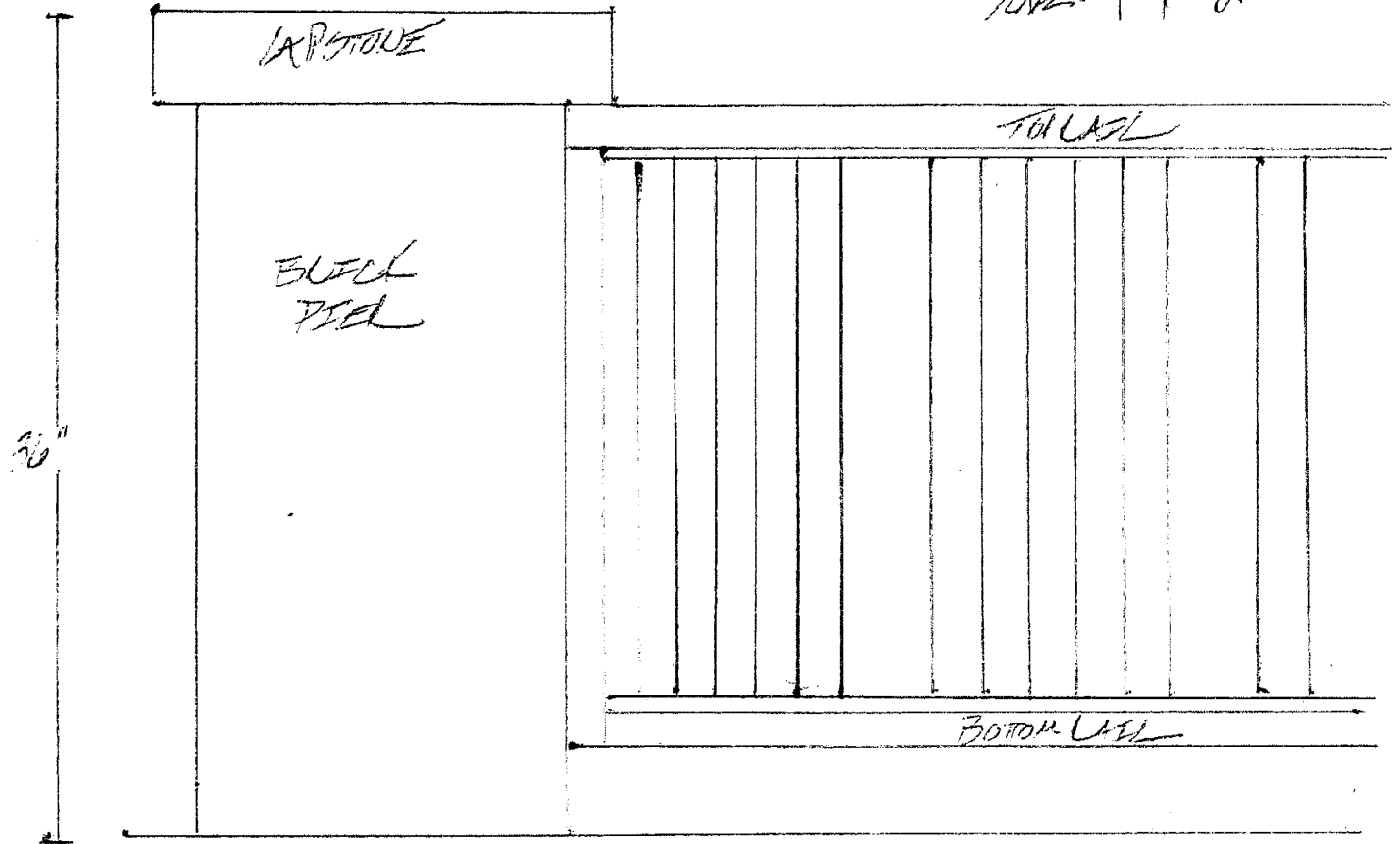
1585 MALONE AVE.
LIND, OH

GRAHAM CONCRETE
214-906-8418

RAIL DETAIL

CHECK RAIL
CONSTRUCTION

SPACE: $H = 2"$



2" 2" 2" 2" 2" 2" 2"

* RAILS ALL AROUND
TRUCK AND TWO
RAILS DOWN STEPS.

* LAYOUT 3 SPACERS + 4" GAP,
THEN LEAVE
SPACERS 2" X 2"

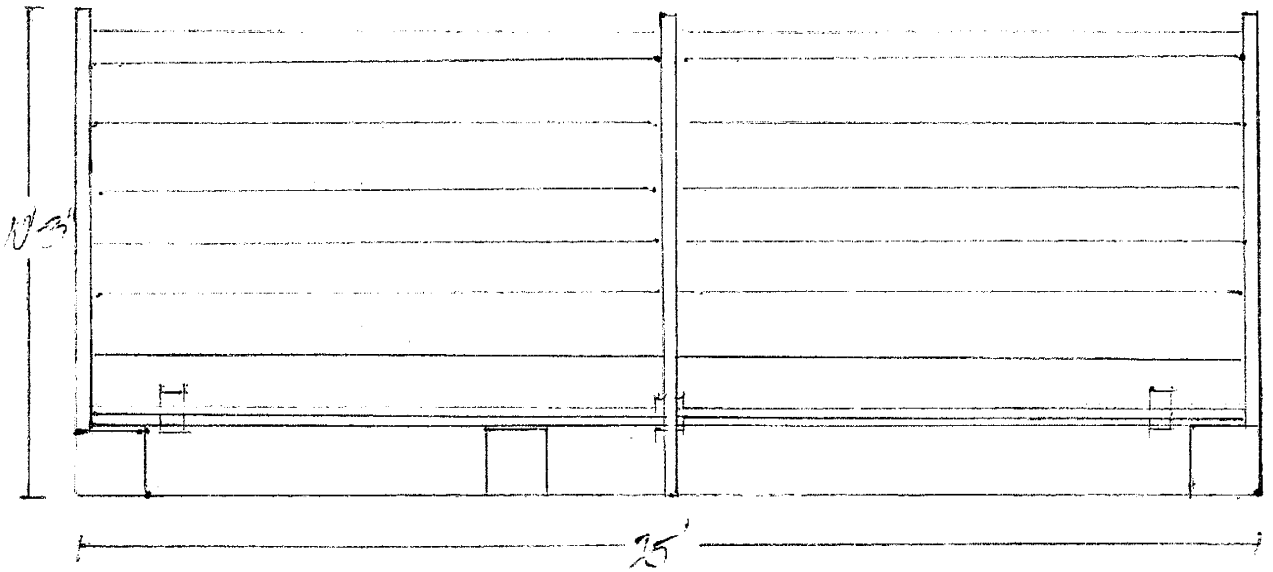
1585 MARLOWE AVE
LYWD, OH

GRAHAM CONSTR
216.906.8418

STRUCTURAL
PLAN

SCALE: 1/4" = 1'

2x8 #2 TREATED FLAMING MEMBERS INSULATED BY DOUBLE LINE; TING FOR 2x8 DOUBLE BEAMS
BEAMS BEAR 3" ON HOUSE WALL

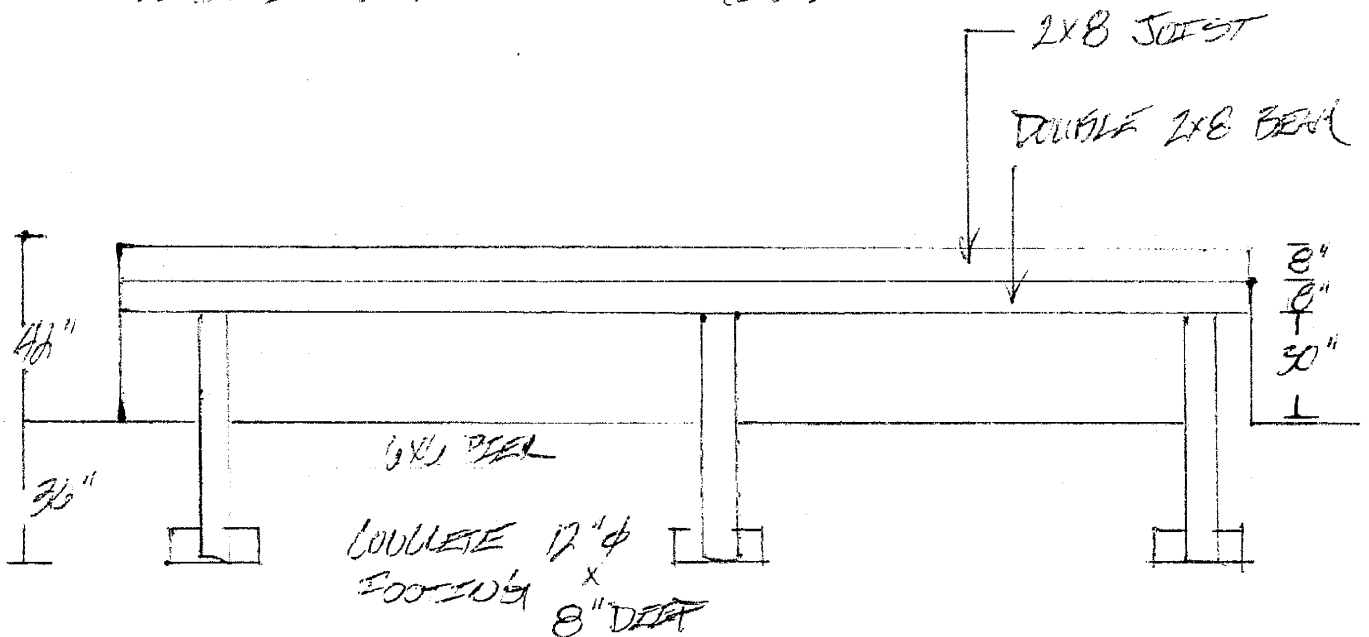


* JOISTS 16" O/C; JOIST HANGERS OUTSIDE

* MASONRY PIELS RETAINED

* DOUBLE 2x8 BEAM PIEL TO PIEL (25')

STRUCTURAL
ELEVATION

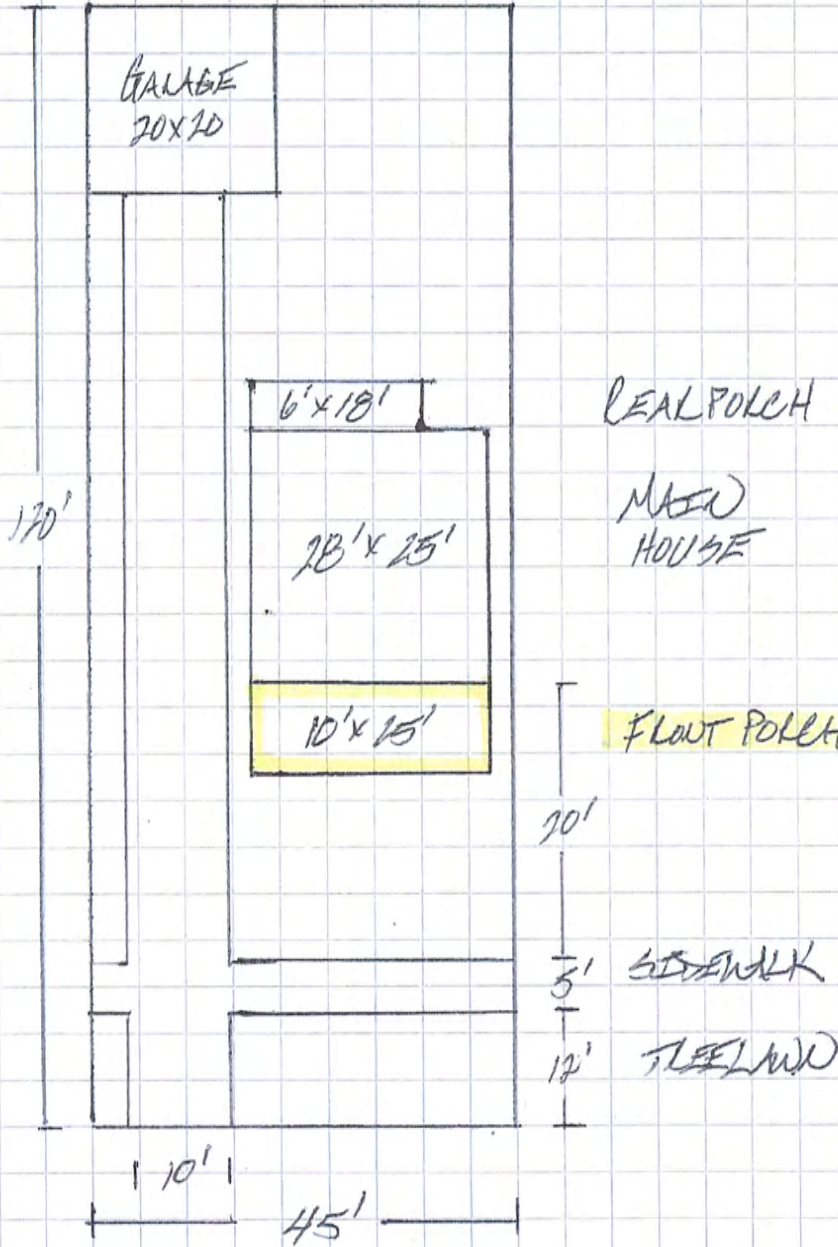


1585 MARLOWE AVE.
LAKED, OH

GRAHAM LOWERY
216.906.8418

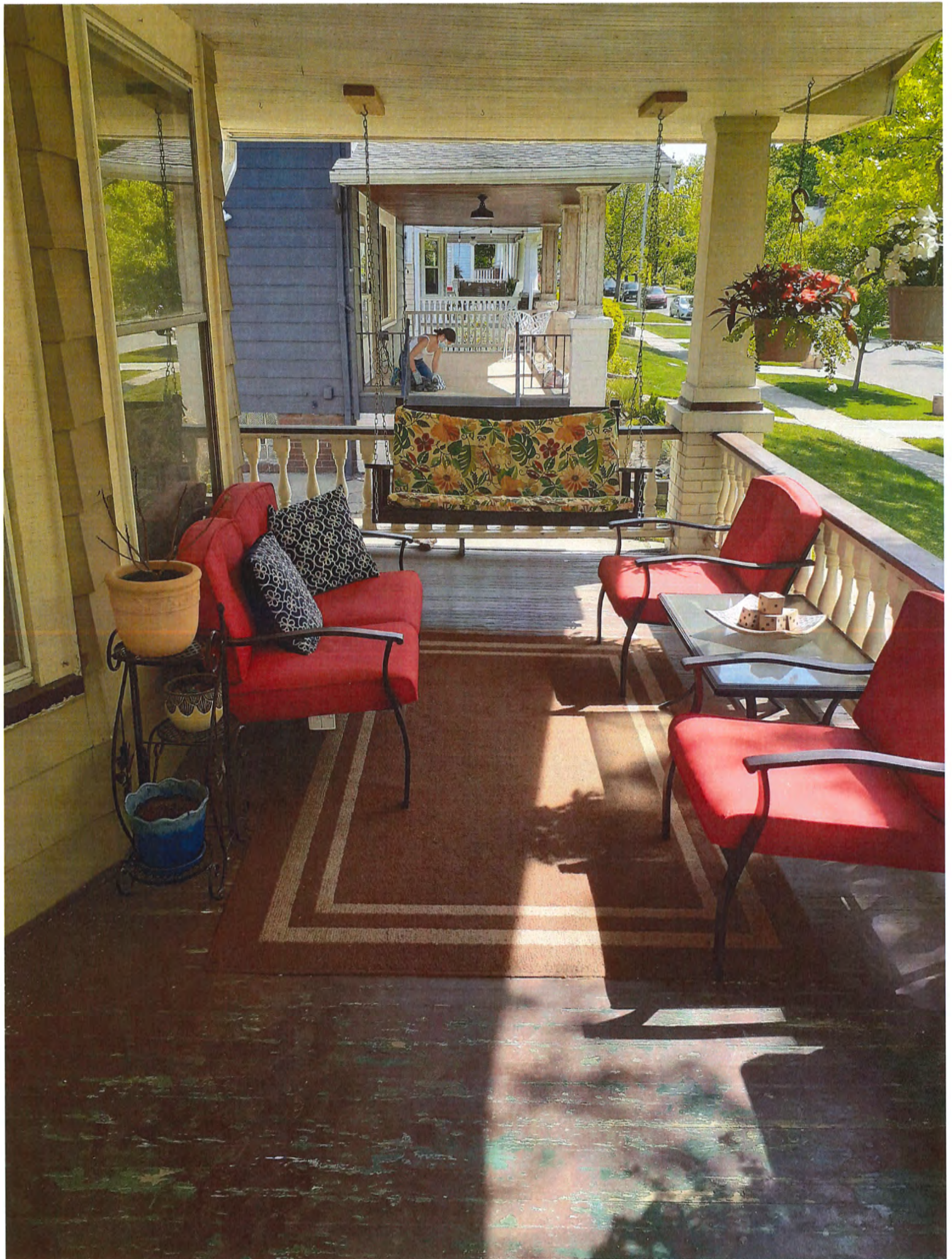
SITE PLAN

SCALE: 1" = 5'















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Application Cover Page

Docket No.: 06-78-21

Permit No.: BBS21-000096

Applicant Name: Rich Bozic, Blatchford Architects LLC

Project Address: 18401-05 Detroit Ave.

Project Name: Molto Bene

Project: Applicant proposes the installation of a new canopy for the patio.

Drawing Index

- T1 Project Data
- Code Data
- Design Loads
- General Notes
- Location Map
- Proposed Renderings
- Site Plan
- Proposed Plan
- Canopy Framing Plan
- Street Elevations
- A4 Side Elevations
- A5 Existing Elevations
- A6 Proposed Section

General Notes

- GK1. THE LATEST EDITION OF ALL DOCUMENTS AND GENERAL NOTES ARE TO BE PART OF THIS SET OF DRAWINGS.
- GK2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND AND VERIFY THE EXISTING CONDITIONS IN THE FIELD. CONTRACT DOCUMENTS, PERMITS, AND SUBMITTALS MUST BE CLARIFIED PRIOR TO SUBMITTING HIS PROPOSAL.
- GK3. COMMENCEMENT OF WORK BY THE CONTRACTOR SHALL INDICATE THAT THE EXISTING CONDITIONS IN THE FIELD ARE AS SHOWN ON THE DRAWINGS AND PERMITS.
- GK4. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND THE REQUIREMENTS OF GOVERNING AUTHORITIES.
- GK5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND PERMITS AS REQUIRED FOR THIS PROJECT.
- GK6. ALL WORK SHALL BE GUARANTEED TO BE INSTALLED FREE OF DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF OPERATION. ACCEPTANCE INSPECTION PERIOD IS 90 DAYS. CONTRACTOR SHALL REPAIR OR REPLACE AT NO EXTRA CHARGE ANY MATERIAL, CONSTRUCTION, OR EQUIPMENT THAT IS DEFECTIVE.
- GK7. CONTRACTOR SHALL FINISH ALL MATERIAL EQUIPMENT AND SUPPLIES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND PERMITS.
- GK8. MATERIALS PROVIDED AND COMPLETED WORK WHICH, IN THE CONTRACT DOCUMENTS DESIGN INTENT SHALL BE REPAIRED OR REPLACED AS DIRECTED, WITH NO ADDITIONAL COMPENSATION.
- GK9. PRIOR TO FINAL PAYMENT, CONTRACTOR SHALL TURN OVER TO THE ARCHITECT ALL GUARANTEES, WARRANTIES, PRODUCT INSTRUCTIONS, ETC. FOR ALL MATERIALS, APPLIANCES, FIXTURES, AND SUCH USED ON THIS PROJECT. TO BE INCLUDED ARE ITEMS SUCH AS FAUCETS, FURNISHINGS, HARDWARE, MATERIALS, HARDWARE, DOORS, WINDOWS, PAINT, ETC.
- GK10. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL SUBMIT A WORK PLAN AND SCHEDULE.
- GK11. ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS OR EXISTING FIELD CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR NOT TO SCALE DRAWINGS.
- GK12. REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL PLANS FOR COORDINATION OF WORK IN CASE OF DISCREPANCIES, THE LOCATIONS SHOWN ON THE ARCHITECTURAL PLANS SHALL PREVAIL UNLESS PERMITTED OTHERWISE BY ARCHITECT.
- GK13. ALL DIMENSIONS ARE TO THE FINISHED FACE UNLESS OTHERWISE NOTED.
- GK14. UNLESS OTHERWISE NOTED, ALL EXPOSED EXISTING SURFACES SHALL BE PATCHED TO MATCH ADJACENT SURFACES. UNLESS OTHERWISE NOTED, ALL EXPOSED OTHER BUILDING ELEMENTS HAVE BEEN REFINISHED.
- GK15. UNLESS OTHERWISE NOTED, ALL EXISTING SURFACES WHICH WILL BE EXPOSED TO NEW INSTALLATION SHALL BE PATCHED TO MATCH ADJACENT SURFACES. UNLESS OTHERWISE NOTED, ALL EXPOSED OTHER BUILDING ELEMENTS HAVE BEEN REFINISHED.
- GK16. WHERE EXISTING PARTITIONS, CEILING TILE, OR OTHER ITEMS ARE TO BE REMOVED, ALL DAMAGE TO ADJACENT WALLS AND CEILING SURFACES WHICH ARE TO REMAIN IN PLACE.
- GK17. THE GENERAL CONTRACTOR MUST COORDINATE ALL ELECTRICAL WORK WITH ALL OTHER TRADES TO BE COVERED WITHIN PROJECT. (I.E. ELECTRICAL WIRING, ELEVATOR, ETC.) THIS COORDINATION IS CRITICAL.
- GK18. CONTRACTOR SHALL COORDINATE WITH OWNER NEW MASTER KEY SYSTEM FOR ALL NEW AND EXISTING DOORS.
- GK19. ALL DIMENSIONS SHALL BE FIELD CHECKED SPECIFICALLY FOR THE SELECTION AND MANUFACTURE OF CASEWORK, UNIFORMS, FLOOR FINISHES, ETC.
- GK20. CONTRACTORS SHALL INSTALL ALL PRODUCTS AND FINISH MATERIALS PER MANUFACTURER'S INSTRUCTIONS. IF THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE DIFFERENT THAN THE MANUFACTURER'S THEN THE CONTRACTOR SHALL VERIFY WITH THE MANUFACTURER BEFORE PROCEEDING TO REVIEW THE METHOD OF INSTALLATION.

Code Data

- 1. OBC 1901.1 (M) ENFORCEMENT: NO CONSTRUCTION WORK SHALL BE PERFORMED ON THE SITE OF THIS PROJECT WITHOUT THE APPROVAL OF THE CITY DEPARTMENT OF PERMITS FOR THIS CODE SECTION. OWNER IS LIABLE FOR VIOLATION OF THIS CODE SECTION.
- 2. OBC 6614.1 (M) PLAN CONFORMITY: ALL WORK SHALL CONFORM WITHOUT CHANGE TO PROJECT PLAN DOCUMENTS AS FINALLY APPROVED BY BUILDING DEPARTMENT.
- 3. OBC 1903 INFLECTION: ALL WORK SHALL BE PERFORMED STRICTLY PER THE PLANS AS APPROVED BY THE CITY BUILDING DEPARTMENT.
- 4. OBC 6101.1 (M) HEATING, VENTILATION AND AIR-CONDITIONING MATERIALS, INSTALLATION METHODS, AND MODIFICATION SHALL COMPLY WITH CHAPTER 29 OBC. OHIO OBC 2901.01 (M) MECHANICAL SYSTEMS, EQUIPMENT, AND MATERIALS STANDARDS. BRAMA STANDARDS, EQUIPMENT'S RECOMMENDATIONS AND SPECIFICATIONS AND GOOD BUSINESS PRACTICES.
- 5. ALL ELECTRICAL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF OBC CHAPTER 29, OBC AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE OBC APPROVED EDITION, AND IS SUBJECT TO OBC 2901.01 APPROVAL OF THE LOCAL ELECTRICAL INSPECTOR OR AS APPROVED BY THE DIVISION OF FACTORY AND BUILDING DEPARTMENT.
- 6. OBC 6201.1 (M) ALL PLUMBING SHALL CONFORM TO STATE OF OHIO PLUMBING CODE AND OBC CHAPTER 21.
 - 1. OBC 6201.1 (M) ONE SET OF PLANS, WHICH HAS BEEN APPROVED SHALL BE KEPT AT THE SITE OF THE WORK AND SHALL BE AVAILABLE TO THE CITY DEPARTMENT OF PERMITS AT ALL TIMES DURING WORKING HOURS WHILE SUCH WORK IS IN PROGRESS.
 - 2. ALL INTERIORS FINISHES SHALL CONFORM TO THE REQUIREMENTS OF TABLE 603.5 INTERIOR FINISH REQUIREMENTS OF THE OBC.
 - 3. EVERY CONTRACTOR AND SUB-CONTRACTOR IS REQUIRED TO COMPLY WITH ALL OSHA SAFETY AND HAZARD PREVENTION STANDARDS, AND SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND EDUCATIONAL PROGRAMS (ALLOWED TO GET EACH CONTRACTOR'S PARTICULAR TRADE (NOT ONLY FOR ITS OWN EMPLOYEES, BUT FOR VISITORS AS WELL).
 - 4. INSTALL FIRE EXTINGUISHERS PER LOCAL FIRE DEPARTMENT REQUIREMENTS.
 - 5. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES TO THE SITE AND FACILITY DURING ALL PHASES OF CONSTRUCTION AS PER ALL OF OBC RULE 9 SECTION 503.
 - 6. FIREIGHTING WATER SUPPLY SHALL BE MAINTAINED THROUGHOUT THE PROJECT FOR THE FACILITY AND SURROUNDING STRUCTURES AS PER OBC 508.1.

Project Data

- 1. JURISDICTION OF PROJECT: CITY OF LAKEWOOD
- 2. PROJECT: DECK CANOPY
- 3. BUILDING OWNER'S NAME: DETROIT HALL REALTY CO LLC
- CONTACT PERSON: LUIS ESCOBAR
- ADDRESS: 18401 DETROIT AVE
- CITY, STATE, ZIP: LAKEWOOD, OH 44107
- PHONE: 216-733-1333
- FAX: 216-733-1333
- E-MAIL: CONTACT@DETROITHALL.COM
- 4. PROJECT ADDRESS: 18401 DETROIT AVE
- PROPERTY ID NUMBER: 311-15-004
- 5. GENERAL CONTRACTOR: TBD
- CONTACT PERSON: TBD
- ADDRESS: TBD
- CITY, STATE, ZIP: TBD
- PHONE: TBD
- FAX: TBD
- E-MAIL: TBD
- 6. ARCHITECT: BLATCHFORD ARCHITECTS
- ADDRESS: 12429 CEDAR ROAD, STUDIO 100
- CLEVELAND HTS, OHIO 44106
- PHONE: 216-421-2050 EXT. 2
- FAX: 216-421-5915
- E-MAIL: BBA@BLATCHFORD-10.COM
- 7. OHIO STATE REG. NO.: 93693007
- 8. ZONING INFORMATION: R-1
- 9. LOT SIZE: 0.69 SQ. FT.
- 10. DISTRICT: STORVING
- 11. DISTRICT TO BUILDING ENVELOPE: 13,607 SQ. FT.
- 12. AREA OF WORK: 175 SQ. FT.
- 13. SQUARE FOOTAGE (AREA): (NO CHANGE IN AREA)
- 14. USE GROUP: A-2 RESTAURANT
- 15. PREVIOUS USE: A-2 RESTAURANT
- 16. PROPOSED USE: (NO CHANGE OF USE)
- 17. TYPE OF CONSTRUCTION: V-B
- 18. FLOOR CONSTRUCTION: WOOD FRAMED TRUSSELS
- 19. WALL CONSTRUCTION: WOOD FRAMED WITH SIDING
- 20. FIRE SUPPRESSION SYSTEM: NO SPRINKLER SYSTEM EXISTS OR REQUIRED PER OBC 903
- 21. DESCRIPTION OF PROJECT: -ADD POLYCARBONATE CANOPY OVER THE DECK
- 22. SCOPE OF WORK: - REPLACE EXISTING RAILING POSTS WITH CANOPY POSTS
- ADD NEW POLYCARBONATE ROOF OVER EXISTING DECK
- 23. SUBMITTED PLANS IN COMPLIANCE WITH 2011 OHIO BUILDING CODE AND WITH THE REQUIREMENTS OF SECTIONS 310 AND 311 OF THE OBC REVISED CODE.
- 24. SUBMITTED PLANS DRAWN IN COMPLIANCE WITH ICC INTL-3000S



Location Map
NTS



Richard Bozic
License # 8909087
Expires: 12/31/2021

New Canopy Project



View from Maile Road



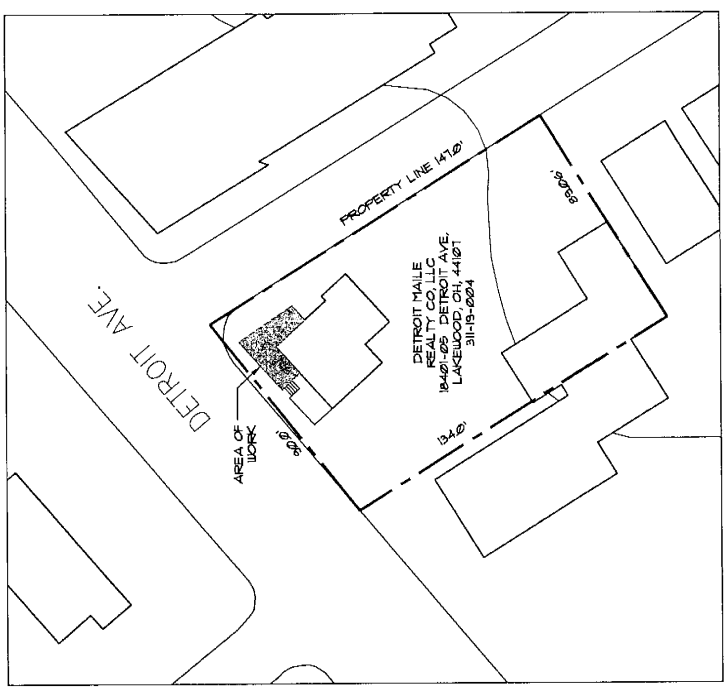
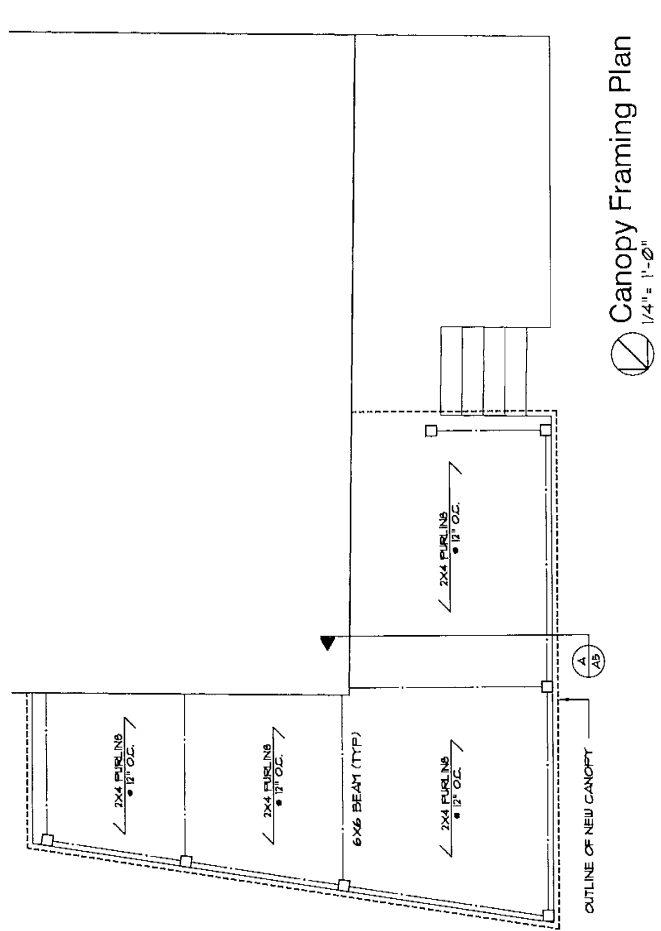
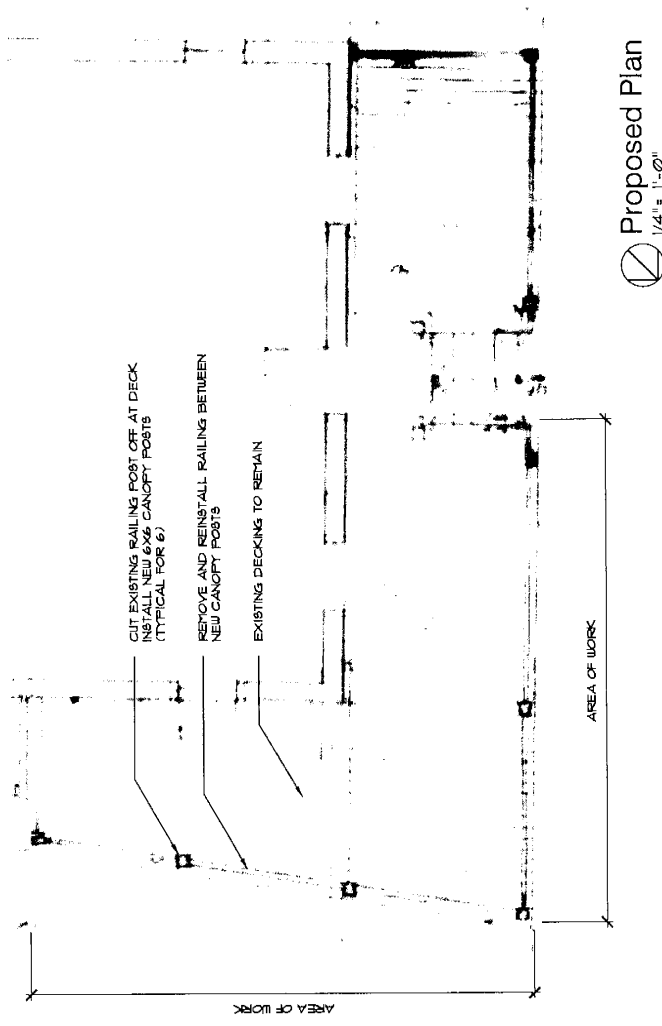
Corner View

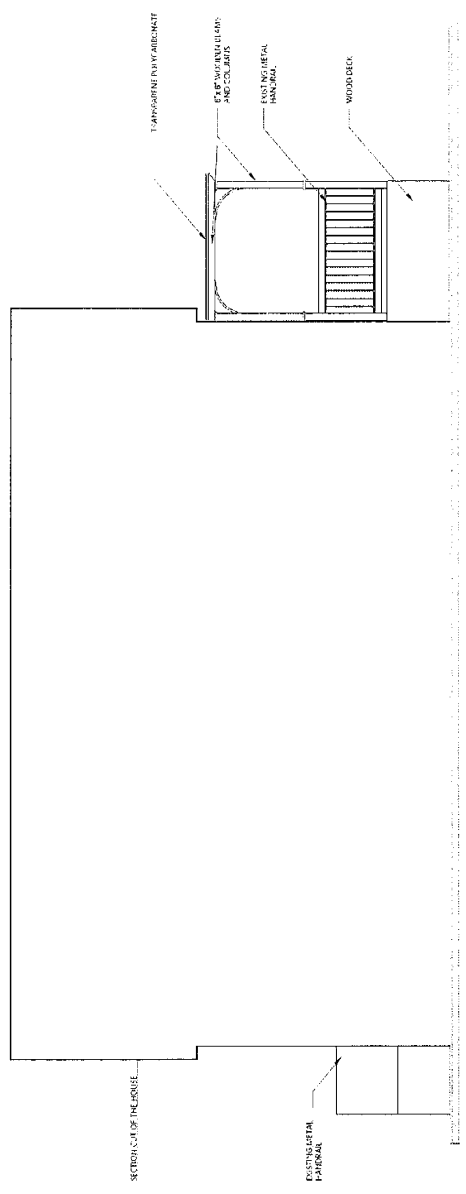


View from Detroit Road

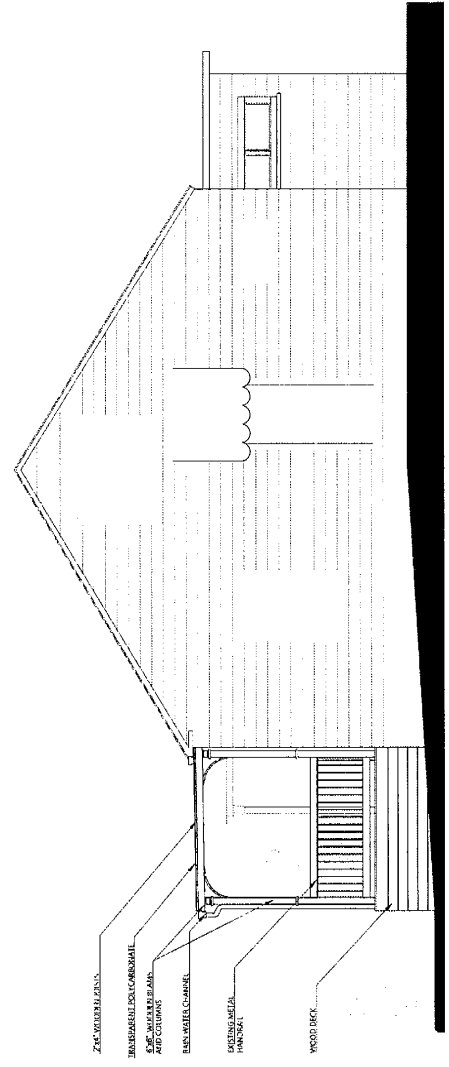


Birdseye View





Rear Elevation
 1/4" = 1'-0"



Side Elevation
 1/4" = 1'-0"

6433. WOOD

- STRUCTURAL WOOD TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC DESIGN SPECIFICATIONS AND THE GOVERNING BUILDING CODE.
- KILN DRYED LUMBER WITH MOISTURE CONTENT NOT EXCEEDING 19% OR BETTER.
- ALL STRUCTURAL FRAMING MEMBERS SHALL BE SPECIFIED TO BE KILN DRYED LUMBER.
- ALL FRAMING MEMBERS SHALL BE JOINTED AND BOLTED TO WEATHER-TIGHT JOINTS.
- THE GROUND SHALL BE PREPARED TO WEATHER-TIGHT JOINTS.
- ALL CONNECTIONS SHALL BE MADE WITH APPROVED METAL FRAMING DEVICES.
- HANGERS AS REQUIRED.
- SIMPSON STRONG-TIE SHALL BE USED FOR ALL BRACE AND BULL HEAD TIE CONNECTIONS.
- PROVIDE FIRE STOP AND BRIDGING AS REQUIRED.
- ALL WOOD BLOCKING, MILLERS, ETC. SHALL BE FIRE RETARDANT TREATED.

6434. FRAMING NOTES

1. DILL 2X12 HEADERS • ALL OPENINGS UNLESS NOTED OTHERWISE.
2. SOLID BLOCKING AND / OR MASONRY • ALL BEAM BEARING LOCATIONS.
3. DILL ALL FL JOISTS BELOW PARTITIONS.
4. DILL EVERY OTHER FL JOIST • W/IR, POOL, 7 BATH LOCATIONS.
5. APPLICATIONS REQUIRED • ALL FLUSH JOIST BEAM AND OVER.
6. ALL HEADERS SHALL HAVE A MIN. 8:800 PSI RATING FOR REFLECTIVE MEMBERS (NO.2 DOUG FIR OR SOUTHERN PINE).
7. ALL PASSAGEWAYS BETWEEN ROOFS SHALL BE CAVED OFF UNLESS NOTED OTHERWISE.
8. PARTITIONS 10'-0" AND OVER.

6435. WOOD LINTEL SCHEDULE

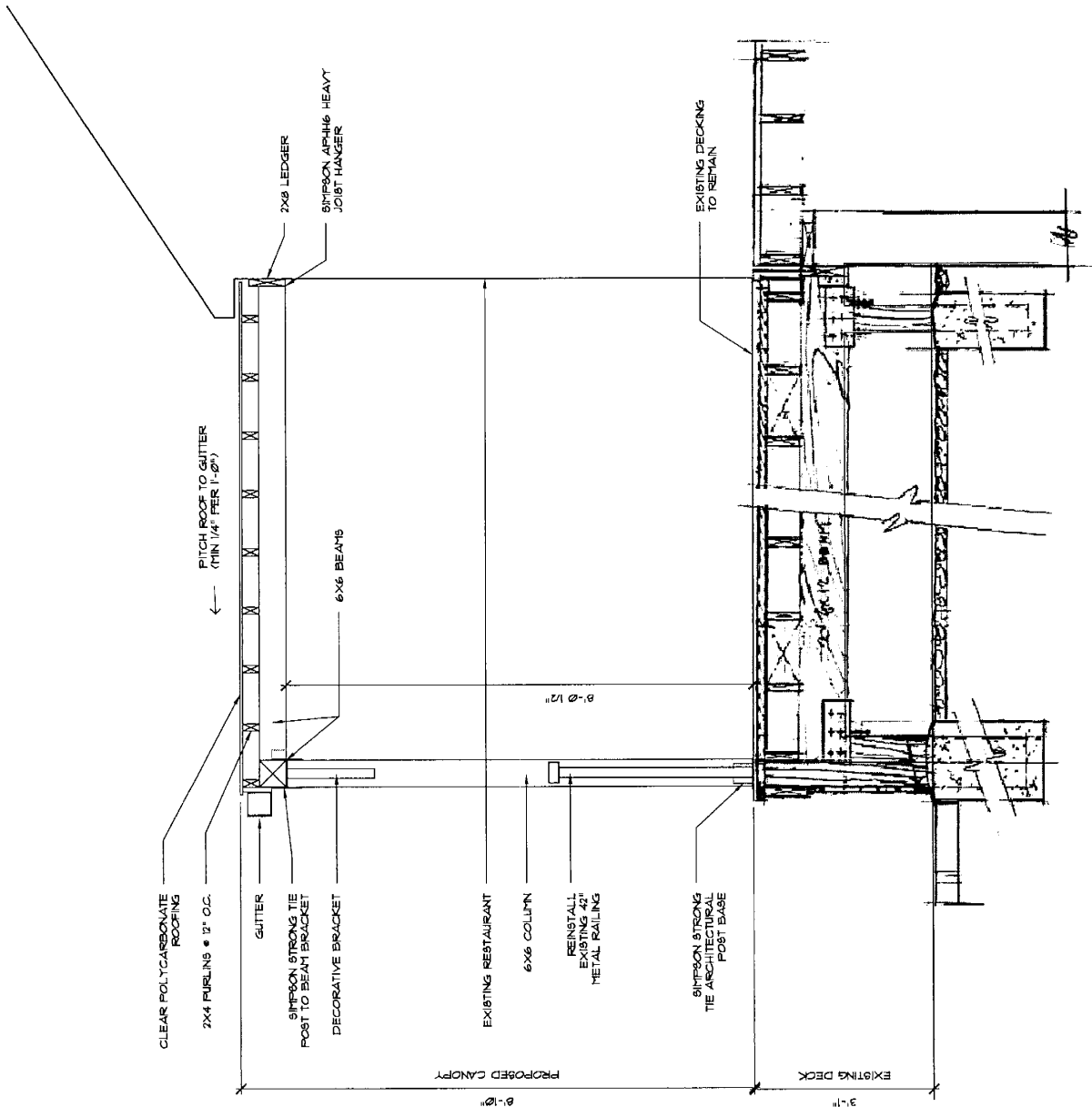
- FOR OPENINGS UP TO 3'-0" USE TWO (2) 2X4S WITH 1/2" PLYWOOD FLITCH PLATE
- FOR OPENINGS 3'-0" TO 5'-0" USE TWO (2) 2X4S WITH 1/2" PLYWOOD FLITCH PLATE
- FOR OPENINGS 5'-0" TO 7'-0" USE TWO (2) 2X6S WITH 1/2" PLYWOOD FLITCH PLATE
- FOR OPENINGS 7'-0" TO 8'-0" USE TWO (2) 2X6S WITH 1/2" PLYWOOD FLITCH PLATE
- FOR OPENINGS 8'-0" TO 9'-0" USE TWO (2) 2X6S WITH 1/2" PLYWOOD FLITCH PLATE
- FOR OPENINGS OVER 9'-0" SEE ARCHITECT.
- BRACKETS 5/8" BOLTS • 1/4" O.C. IN 1/2" PATTERN FOR FLITCH PLATE.
- ALL LINTEL BEARINGS TO BE 3" MINIMUM.

6446. DEMOLITION

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING MATERIALS AND CONDITIONS WHICH AFFECT THE NEW CONSTRUCTION.

6447. ENGINEERED WOOD

- ALL ENGINEERED WOOD PRODUCT MEMBERS SHALL BE FRAMED WITH SIMPSON STRONG-TIE CONNECTORS, OR APPROVED EQUAL.
- ENGINEERED I-JOISTS AND LVL (CLAMINATED VENEER LUMBER) SHALL CONFORM TO STANDARDS SET FORTH IN NEW REPORTS NEN-506 AND 461 RESPECTIVELY.
- PRODUCTS SHALL BE PROVIDED BY TESTING AND EVALUATION IN ACCORDANCE WITH THE PROVISIONS OF ASTM D-5685



⊙ A-A Proposed Section
 1/4" = 1'-0"



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 06-79-21

Permit No.: BBS21-000080

Applicant Name: Jessica Ruff, Ruff Neon Sign

Project Address: 18260 Detroit Ave.

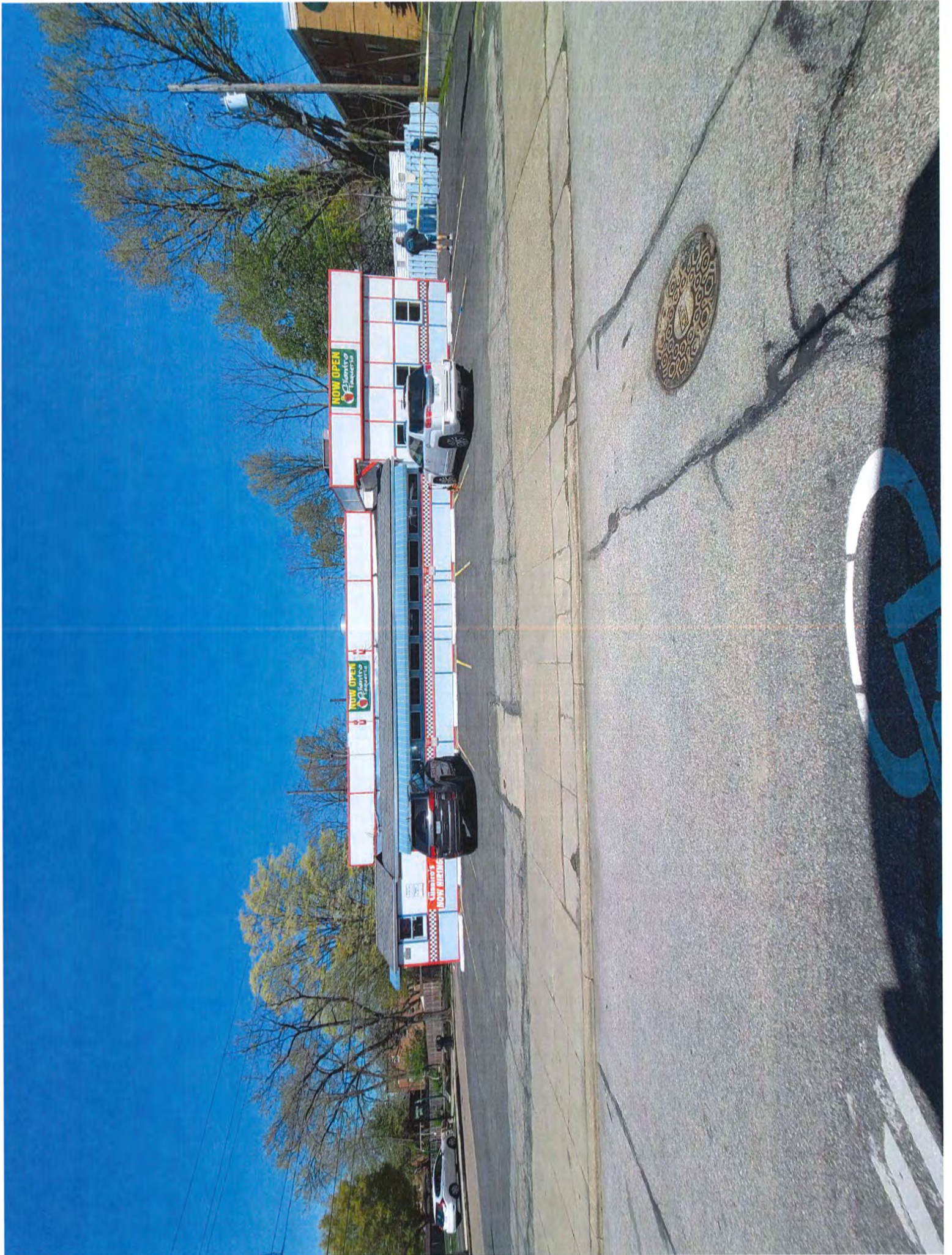
Project Name: Cilantro Taqueria

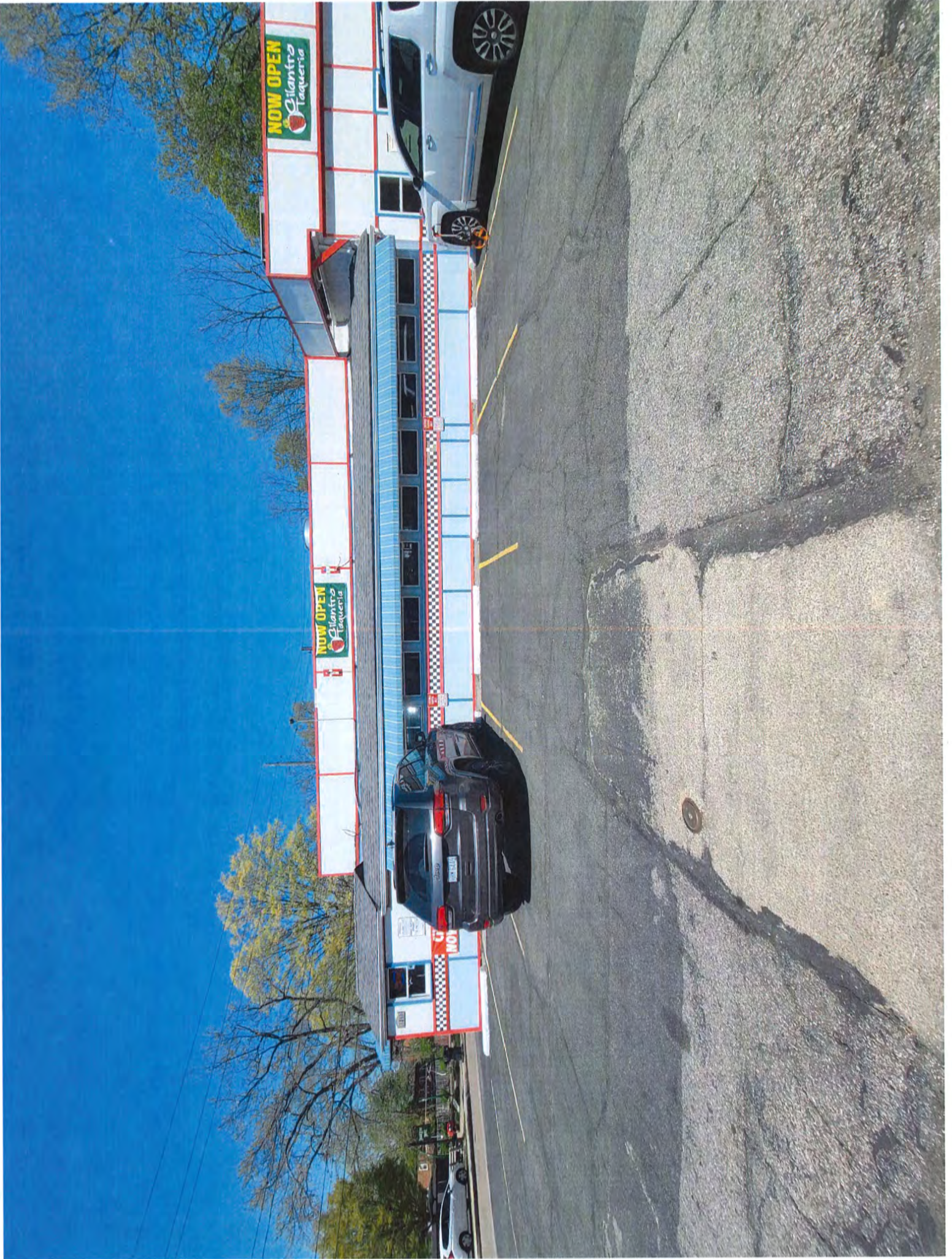
Project: Applicant proposes wall signage.



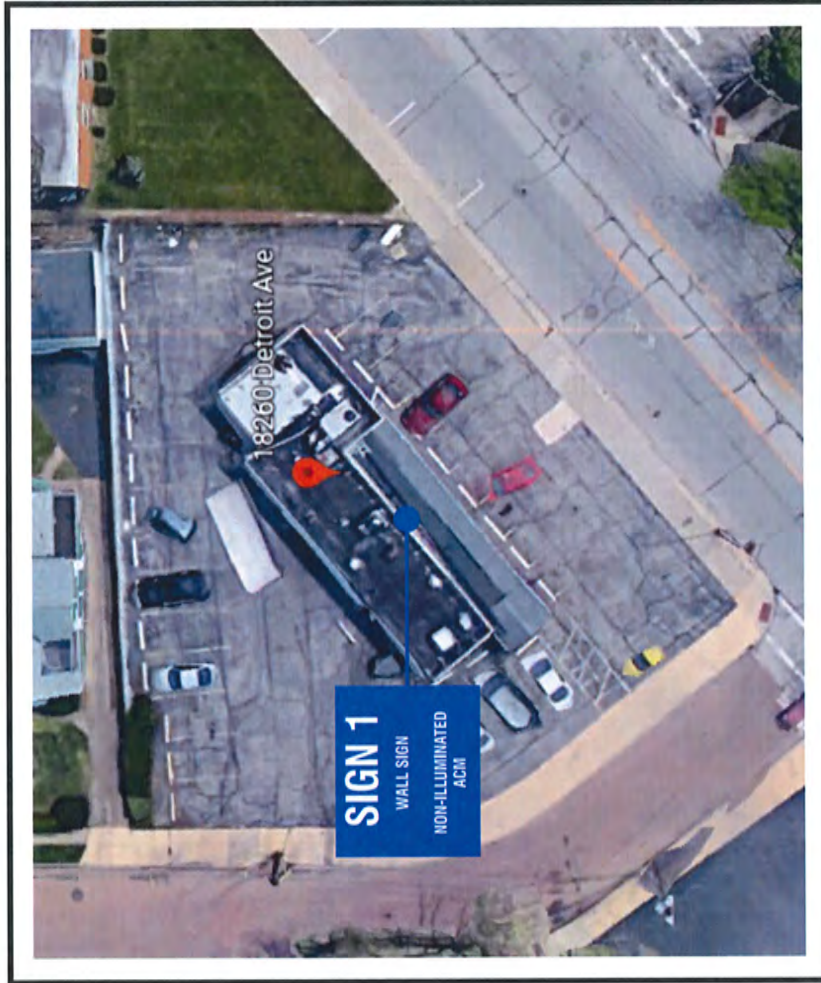
NOW OPEN
Cilantro
Taqueria

CUSTOMER
PARKING
ONLY
NO OTHER VEHICLES
OR TRAILERS
ALLOWED





18260 Detroit Ave., Lakewood, OH 44107



295 WEST PROSPECT
PAINESVILLE, OHIO 44077
TEL: (440) 350 6267
VISIT US AT RUFFNEONSIGN.COM



ADDRESS: 18260 Detroit Ave., Lakewood, OH 44107

DRAWING: 20240201 Page 1 of 3 DATE: 4-25-2024

REPRESENTATIVE: Jessica Ruff | jessica@ruffneon.com

FILE: CLANTRO/TAQUERIA/LAKWOOD/CLANTRO/TAQUERIA/LAKWOOD/WALLSIGN

DRAWING HISTORY	
INFO	DESIGNER DATE
PRELIMINARY DRAWING	JOHN EDWARDS 4-25-2024
REV1	JOHN EDWARDS 4-26-2024
REV2	JOHN EDWARDS 4-29-2024

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.
LANDLORD SIGNATURE:
PROPERTY OWNER OR AUTHORIZED AGENT

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.
CLIENT SIGNATURE:

DATE:

NON-ILLUMINATED ACM SIGN (SIGN 1F)



(QUANTITY 1)

SCALE: 1" = 1'-0"

ACM SIGN

- Material:** (1) 38" X 104" - 3MM ACM WITH 1" bent sides on 1" X 1" Square aluminum frame painted to match PANTONE 1795C RED.
- Graphics:** 3M 7125-56 DARK GREEN opaque gloss vinyl, 3M 7125-12 BLACK opaque gloss vinyl, 3M 7125-10 WHITE opaque gloss vinyl & digitally printed graphic with gloss laminate.
- Mounting:** Mounted flush to facade with 1" angle and screws.

SIGNAGE REPRESENTS 27.4 SQ FT PER SIGN

COLOR SPECIFICATIONS



Customer initials to approve colors

RUFFNEON
Signs and lighting maintenance, inc.
24 HR EMERGENCY SERVICE
295 WEST PROSPECT
PAINESVILLE, OHIO 44077
TEL: (440) 350 6267
VISIT US AT RUFFNEONSIGN.COM

CLIENT: Cilantro Taqueria
18260 Detroit Ave., Lakewood, OH 44107
DRAWING: 2042302 Page 3 of 3
DATE: 4-28-2020
REPRESENTATIVE: Jessica Bull | jbull@ruffneon.com

DRAWING HISTORY

INFO	DESIGNER	DATE
PRELIMINARY DRAWING	JOHN EDWARDS	4-23-2020
REV1	JOHN EDWARDS	4-26-2020
REV2	JOHN EDWARDS	4-28-2020

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.
LANDLORD SIGNATURE:
PROPERTY OWNER OR AUTHORIZED AGENT
DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.
CLIENT SIGNATURE:
DATE:



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Application Cover Page

Docket No.: 06-80-21

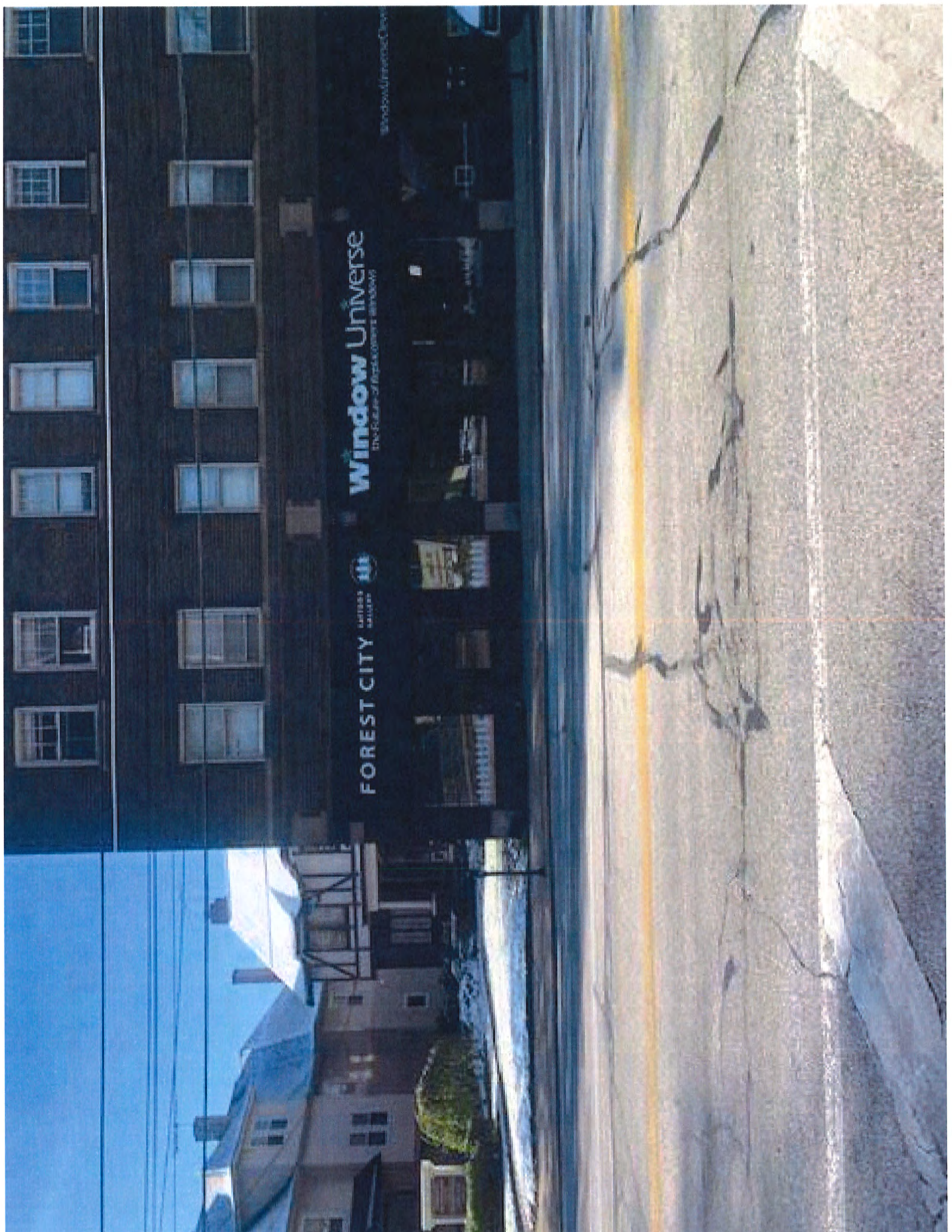
Permit No.: BBS21-000081

Applicant Name: Daniel Zann

Project Address: 17409 Detroit Ave.

Project Name: CouCou Sentiment

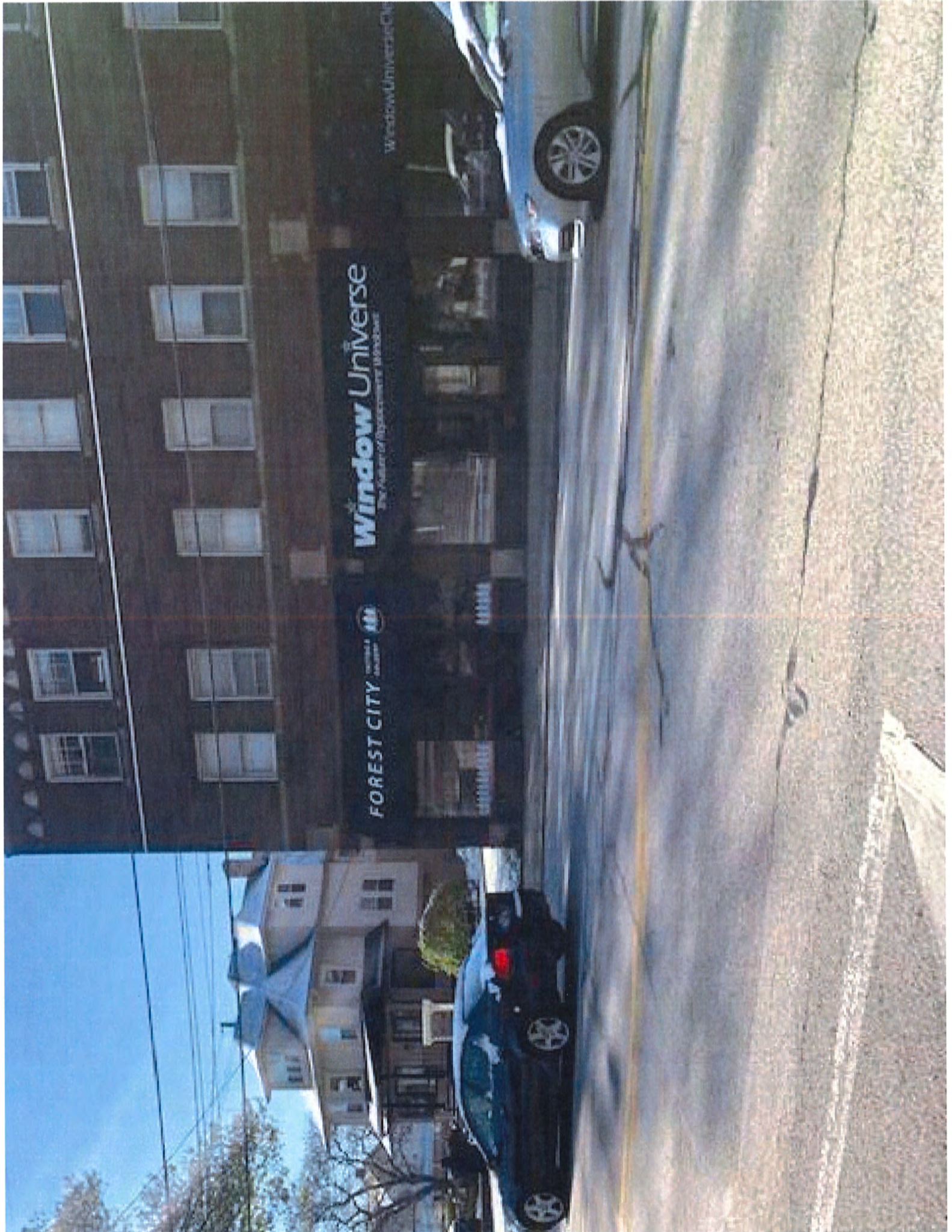
Project: Applicant proposes awning signage, and door and window decals.



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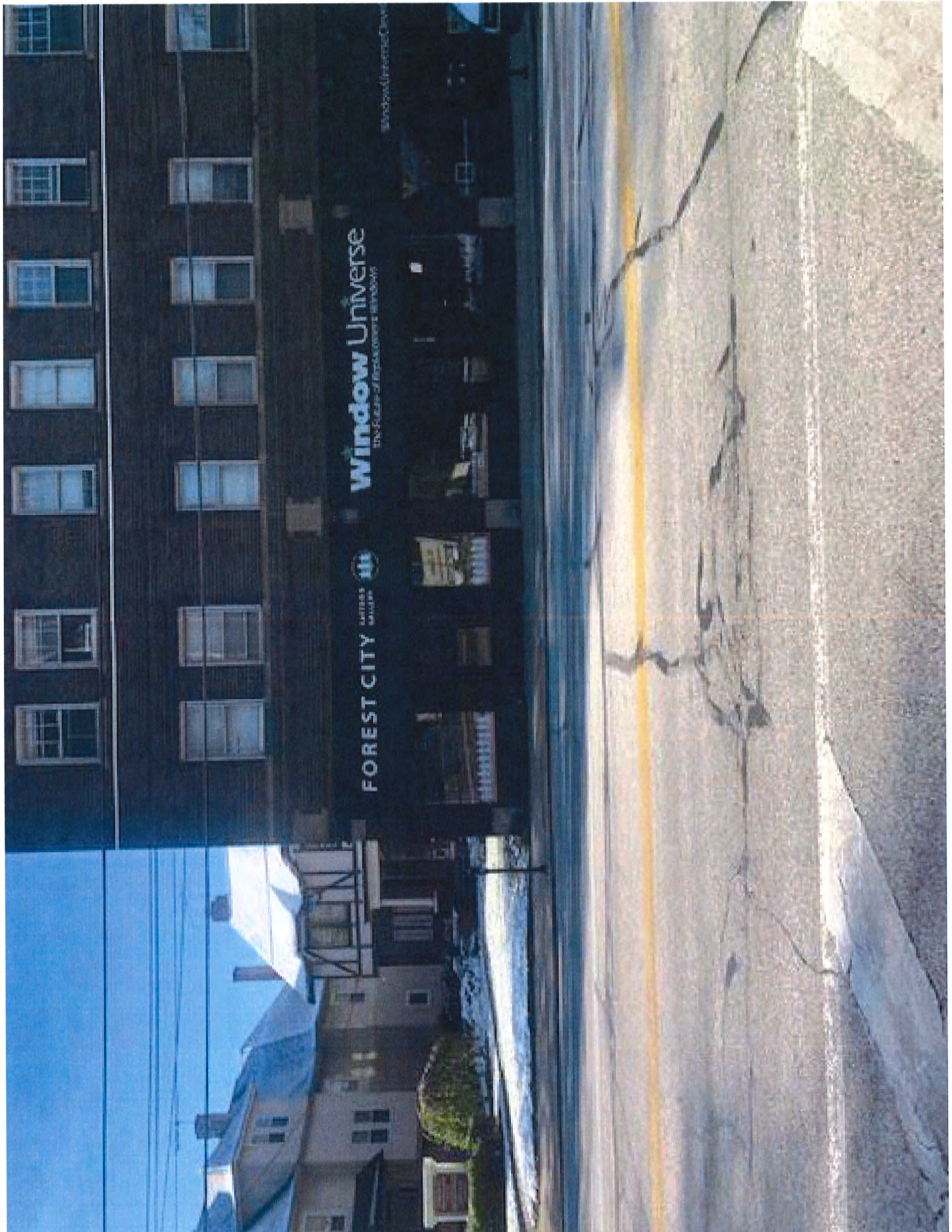
WindowUniverse.com



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FOREST CITY
A Division of

Westwood University, Okla



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THE Future of Replacement Windows



UNIVERSAL

FOREST CITY

WindowUniverse.Cleveland



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Application Cover Page

Docket No.: 06-81-21

Permit No.: BBS21-000085

Applicant Name: Kristin Swenson, Cleveland Clinic

Project Address: 14601 Detroit Ave.

Project Name: Cleveland Clinic

Project: Applicant proposes pole Banners.

100



THE FUTURE OF HEALTH CARE SINCE 1921



100



100 YEARS EST. 1921



THE FUTURE OF HEALTHCARE SINCE 1921

100



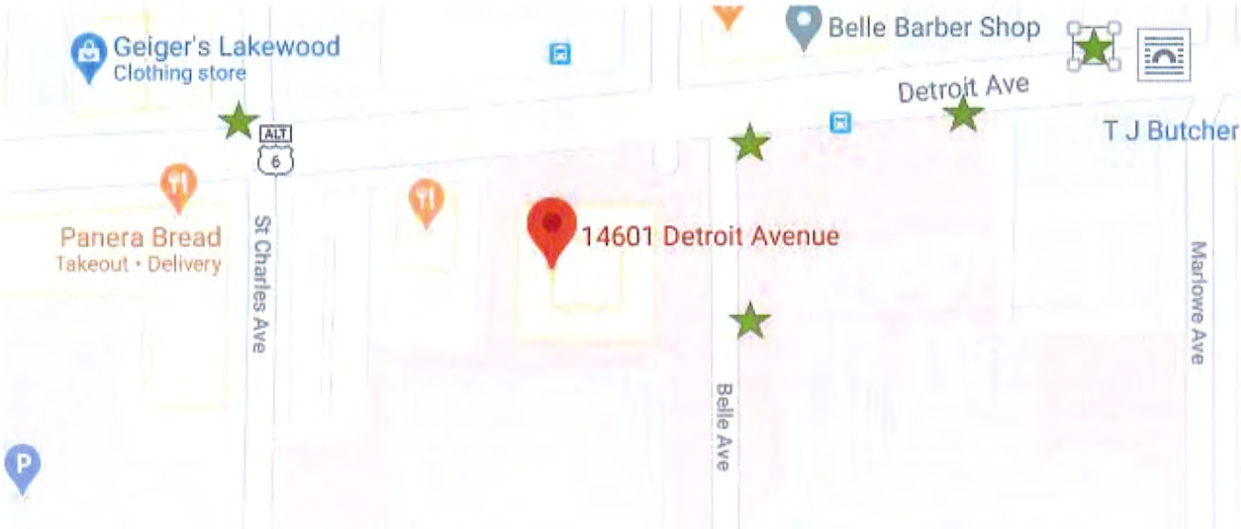
100 YEARS EST. 1921



THE FUTURE OF HEALTHCARE SINCE 1921

Map for Lakewood FHC pole banner placement. Stars are locations for the poles.

Banner size 30x72.





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Application Cover Page

Docket No.: 06-82-21

Permit No.: BBS21-000083

Applicant Name: Bob Kunzen, Brilliant Electric Sign Company

Project Address: 14650 Detroit Ave.

Project Name: Lakewood Center West

Project: Applicant proposes installation of an externally-illuminated monument sign, replacing an existing.

EXISTING LANDSCAPE



FILE NAME <i>charlotte/lakewood center (sp)</i>		DESIGNER CP	LOCATION 14650 DETROIT AVE., LAKEWOOD, OH
REVISION	DATE 4/26/21	SALESMAN MH	COMPANY NAME LAKEWOOD CENTER WEST
DESIGN NO. B21-666	SCALE SHOWN	COPYRIGHT © 2021	

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Brilliant Electric Sign Co., Ltd.
 4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Account: 101-0000-321.30.01

REFERENCE No. _____

DOCKET No. _____

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name LAKELWOOD CENTER WEST SIGN

Project Address 14650 DETROIT AVE.

Applicant Name BOB KUNZEN

Applicant Address 4811 VAN EDS RD., BROOKLYN HTS.,
(if different than above) 44131

Applicant Contact (216) 741 - 3800

BKUNZEN @ BRAVLIANTSIGN.COM

Brief Project Description INSTALL ONE (1) INTERNALLY-ILLUMINATED GROUND SIGN.

(REPLACES EXISTING SIGN)

Signature: [Signature]

Date: 5/5/21

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below.

See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name ROBERT KAY

Property Address 14650 DETROIT AVE.

Owner (Agent) Contact (216) 741 - 3800

BKUNZEN @ BRAVLIANTSIGN.COM

Owner (Agent) Signature [Signature]
BOB KUNZEN

Date: 5/5/21

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

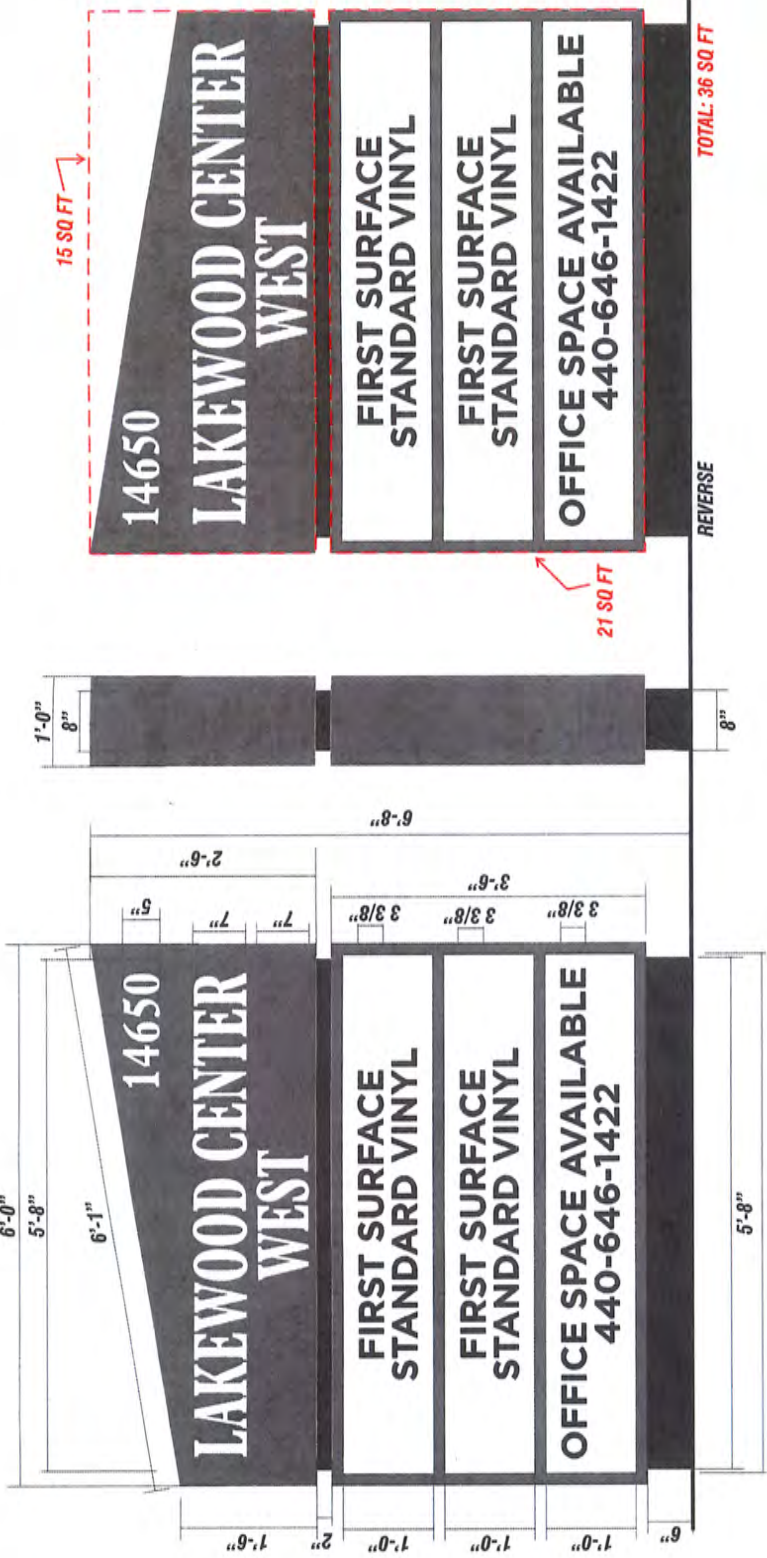
FILE NAME charlotte/lakewood center (1)	DESIGNER CP	SCALE SHOWN	LOCATION 14650 DETROIT AVE., LAKEWOOD, OH
DESIGN NO. B20-672	SALESMAN MH	DATE 6/18/20	COMPANY NAME LAKEWOOD CENTER WEST
REVISION 6/26/20CP	REVISION 3/18/20CP	COPYRIGHT © 2020	

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Brilliant Electric Sign Co., Ltd.
4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



SIGN ELEVATION: 3/4" = 1'-0"

Notes

- Manufacture & install one (1) double face, internally illuminated, irregular shaped header with routed out copy with reveal; also one (1) double face, cabinet holding three (3) single face, flat lexan, tenant panels on either side; total of six (6) panels; all to be mounted on pole cover
- Header background to be painted dark grey (70% black); copy to be routed out & backed up by white acrylic; copy to be white; cabinet & trim to be painted dark grey (70% black)
- Cabinet underneath & dividers to be painted dark grey (70% black); panels to be white with first surface vinyls (tenants to be determined on the first two (2) panels); last panel to have first surface, black vinyl
- Reveal & pole cover to be painted black

RATED 120 VOLTS



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Application Cover Page

Docket No.: 06-83-21

Permit No.: BBS21-000093

Applicant Name: Steven Foster, The Sign & Graphics Firm

Project Address: 13401 Madison Ave.

Project Name: Iggy's Bar

Project: Applicant proposes interior neon window signage.



The SIGN & GRAPHICS FIRM

Steven Foster
216.390.0198
sgfoster09@gmail.com

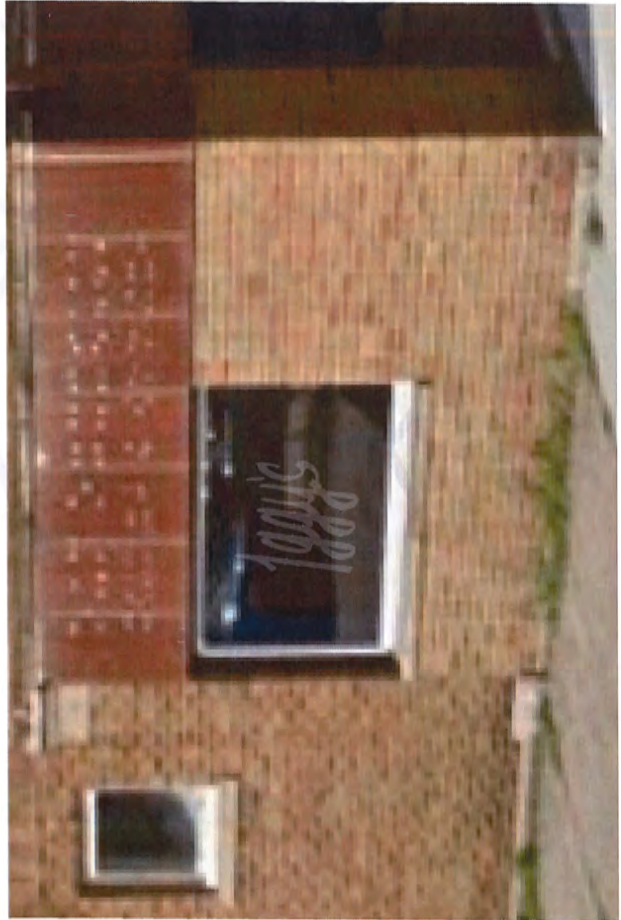
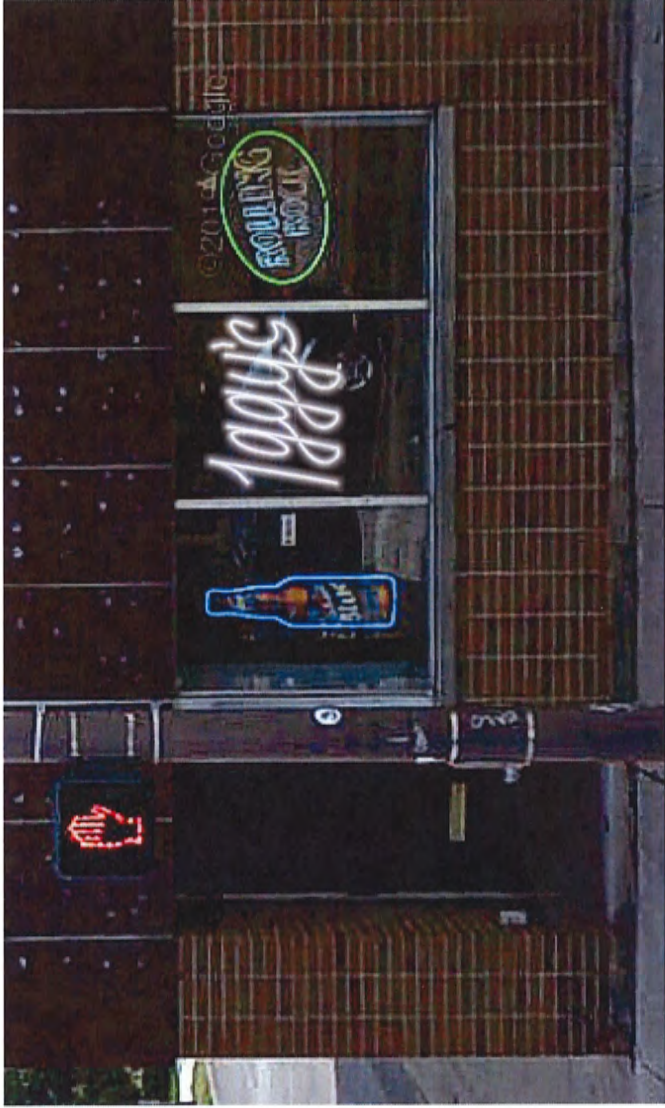
BUSINESS NAME:
Iggys Bar

ADDRESS:
13401 Madison Ave.
Lakewood, OH 44107

05-19-21

NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

Proposed Interior Neon



Proposed Window "Etch" 36" x 30" vinyl



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 04-35-21

Permit No.: BBS21-000038

Applicant Name: Patrick Granzier

Project Address: 15623 Detroit Ave.

Project Name: Bar Italia (former Lindy's Lake House)

Proposal: Applicant proposes awning signage.

logo or commercial message.

b. Permits may only be issued to:

1. Certified Public Arts District; or
2. Governmental organization working on a public art project; or
3. A Special District; or
4. Registered Neighborhood Organization or similar community based organization as determined by the Planning Director.

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Lakewood Zoning Ordinance - Adopted June 25, 2018



G. Projecting Signs:

Table 17.9.14: Projecting Wall Sign Standards				
Applicable Zone District	Maximum Number	Maximum Size per Sign Face	Maximum Height	Location
All non-residential zone districts	Two per building or one per tenant space entry not to exceed a total of 1 per 25 feet of building frontage	24 s.f.	18 ft.	Signable area of building for a wall sign

Supplemental Standards: Projecting signs shall be placed as defined below:

- c. Projecting signs are for tenants with primary access to the exterior of a building.
- d. Projecting signs shall not extend above the roof line.
- e. Projecting signs shall maintain 8 ft. vertical clearance directly from adjacent sidewalk.
- f. Projecting signs with letters extending above or below the surface to which it is attached shall have individually mounted letters that extend no more than 24 inches above or below the surface.
- g. A license agreement is required for any sign that extends into the right-of-way.
- h. For buildings less than 5,000 square feet in area, the projecting signs count towards the allowable wall sign area.

Examples of projecting signs:




Figure 17.9.19: Example Projecting Signs

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Lakewood Zoning Ordinance - Adopted June 25, 2018

H. Wall Signs:

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tutto ciò di cui
HAI BISOGNO
è amore e pasta

c'è sempre
spazio per
la pasta

PULL









BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

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Application Cover Page

Docket No.: 06-84-21

Permit No.: BBS21-000097

Applicant Name: Joe Pinzone, Peppers Italian Restaurant

Project Address: 12401 Detroit Ave.

Project Name: Peppers Italian Restaurant

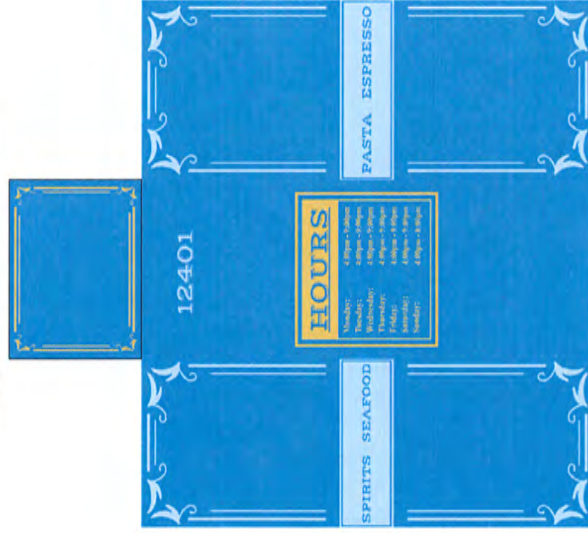
Project: Applicant proposes window and door signage.



RIDGEWOOD SIDE



BAR SIDE



CENTER (old front door)



Left of Bar

Snap Wraps - Peppers Italian Restaurant - Design Concept 6 - 05.20.21

Graphics show approximate decal size and placement.



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