

Applicant proposes the construction of a new home. (Page 7)

6. **Docket No. 03-25-20** **C** **12102 Madison Avenue**
Hola Tacos

- Approve
- Deny
- Defer

Charles McGettrick
C.A. McGettrick, LLC
14551 Madison Avenue
Lakewood, Ohio 44107

Applicant proposes site improvements and renovations to existing structures. (Page 17)

***Applicant has requested a deferral from the July meeting.**

SIGN REVIEW

7. **Docket No. 12-123-19** **16900 Detroit Avenue**
Lakewood Food Truck Park

- Approve
- Deny
- Defer

Daniel Deagan
12700 Lake Avenue, #3005
Lakewood, Ohio 44107

Applicant proposes signage for Lakewood Food Truck Park. (Page 19)

ARCHITECTURAL BOARD OF REVIEW

8. **Docket No. 03-27-20 A** **C** **15509 Madison Avenue**
Hudec Dental

- Approve
- Deny
- Defer

Ann Corbo
LS Architects
22082 Lorain Road
Fairview Park, Ohio 44126

Applicant proposes façade renovation and updated signage. (Page 21)

SIGN REVIEW

9. **Docket No. 03-27-20 S** **15509 Madison Avenue**
Hudec Dental

- Approve
- Deny
- Defer

Ann Corbo
LS Architects
22082 Lorain Road
Fairview Park, Ohio 44126

Applicant proposes façade renovation and updated signage. (Page 22)

ARCHITECTURAL BOARD OF REVIEW

10. **Docket No. 06-54-20*** **C** **17801 Detroit Avenue**

Beck Center for the Arts

- Approve
- Deny
- Defer

Lucinda Einhouse
Beck Center for the Arts
17801 Detroit Avenue
Lakewood, Ohio 44107

Applicant proposes improvements to the existing west park along Detroit Avenue. (Page 23)
***Applicant has requested a deferral from the July meeting.**

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

11. **Docket No. 07-60-20** **R** **14241 Bayes Avenue**

- Approve
- Deny
- Defer

Kyle Reisz
14241 Bayes Avenue
Lakewood, Ohio 44107

Applicant proposes the addition of a 12' x 16' shed roof porch with dormer. (Page 25)

12. **Docket No. 07-61-20** **R** **1193 Ethel Avenue**

- Approve
- Deny
- Defer

Marcus Effner
1193 Ethel Avenue
Lakewood, Ohio 44117

Applicant proposes a front porch rebuild. (Page 31)

13. **Docket No. 07-62-20** **R** **1440 Maile Avenue**

- Approve
- Deny
- Defer

John Graham
Graham Construction
4042 Rocky River Drive
Cleveland, Ohio 44135

Applicant proposes the demolition and rebuild of a front porch. (Page 38)

14. **Docket No. 07-63-20** **R** **1295 Manor Park Avenue**

- Approve
- Deny
- Defer

Nicholas A. LaPointe
1295 Manor Park Avenue
Lakewood, Ohio 44107

Applicant proposes the reconstruction of the historic side porch and installation of a new front porch. (Page 44)

15. **Docket No. 07-64-20** **R** **1475-77 Mars Avenue**
- Approve Brian and Giovanna Ziemann
 Deny 1445-47 Mars Avenue
 Defer Lakewood, Ohio 44107

Applicant proposes the demolition and rebuild of a front porch. (Page 71)

16. **Docket No. 07-65-20** **R** **1003 Parkside Drive**
- Approve Patti Saracusa
 Deny Dover Home Remodelers, Inc.
 Defer 29341 Lorain Road
North Olmsted, Ohio 44070

Applicant proposes modifications to an existing attached garage to increase it from a two-car to a three-car garage. (Page 75)

17. **Docket No. 07-66-20** **C** **12511 Detroit Avenue**
Sunoco Gas Station
- Approve Kurt C. Weaver, AIA
 Deny AKW Inc.
 Defer 2008 Valentine Avenue
Cleveland, Ohio 44109

Applicant proposes renovation to remove the bays and replace with a store. (Page 82)

18. **Docket No. 07-67-20** **C** **18514 Detroit Avenue**
West End Tavern
- Approve Leo Shiekh
 Deny Leo Sheikh Designs Inc.
 Defer 27685 Remington Drive
Westlake, Ohio 44145

Applicant proposes storefront renovations to remove the storefront windows and replace with overhead garage doors. (Page 90)

19. **Docket No. 07-68-20** **C** **14822 Madison Avenue**
Malley's Chocolates
- Approve David Robar, AIA
 Deny Vocon
 Defer 3142 Prospect Avenue E
Cleveland, Ohio 44115

Account: 101-0000-321.30.01

REFERENCE No. BBS19-000106

DOCKET No. 01-02-20

FEE PAID \$25.00 js CC

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name 1464 Riverside ~~side~~ Project Address 1464 Riverview
 Applicant Name LINDA Fredrickson Applicant Address 2234 Warren RD
 (if different than above)
 Applicant Contact 440,669-9806 linfredy@aol.
 Brief Project Description Demo old house, construct new

Signature: 

Date: 12-24-19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Jude home LLC LINDA Fredrickson, Pres Property Address 1464 Riverside

Owner / Agent Contact 440 669-9806 linfredy@aol.

Owner / Agent Signature  Date: 12-24-19

Office Use Only: Reviewed and Accepted by:  Date: 12-30-19

Ordinance 22-00B Section 1325.05 Remarks _____

Johanna Schwarz

From: David Baas
Sent: Monday, June 29, 2020 4:13 PM
To: Allison Hennie; Johanna Schwarz
Subject: FW: City of Lakewood ABR Pre-Review Notes (1464 Riverside)

Follow Up Flag: Follow up
Flag Status: Flagged

FYI, deferral request from 1464 Riverside for July...

Dave Baas
City Planner
LtCol, USMC (Retired)
EcoDistricts AP
City of Lakewood
12650 Detroit Avenue
Lakewood, Ohio 44107
(216) 529-6637 (work)
(216) 372-8996 (cell)
david.baas@lakewoodoh.net

From: Linda Fredrickson <linfreddy@aol.com>
Sent: Monday, June 29, 2020 4:11 PM
To: David Baas <David.Baas@lakewoodoh.net>
Subject: Re: City of Lakewood ABR Pre-Review Notes (1464 Riverside)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Please defer, designer is working on it.

-----Original Message-----

From: David Baas <David.Baas@lakewoodoh.net>
To: Linda Fredrickson <linfreddy@aol.com>
Sent: Mon, Jun 29, 2020 3:18 pm
Subject: RE: City of Lakewood ABR Pre-Review Notes (1464 Riverside)

Linda,
Do you have an updated design for the July review?

Our pre-review is this Thursday, with public meeting next week.

If you need more time – please let me know, we can defer.

Thank you –

Sincerely,
Dave

Dave Baas
City Planner

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000047

DOCKET No. 06-49-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name GILBRIDE RESIDENCE

Project Address 1061 NICHOLSON AVE.

Applicant Name DAN MARGULIES
DANIEL MARGULIES CO, INC

Applicant Address 14204 DETROIT AVE., LKWD.
(if different than above)

Applicant Contact (440) 356 - 0888

DANIEL @ DMC.OHIOCOMMAIL.COM

Brief Project Description NEW HOME

Signature: *Daniel Margulies*

Date: 5/27/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name BRIAN & ERIN GILBRIDE

Property Address 1061 NICHOLSON AVE.

Owner / Agent Contact (440) 356 - 0888

DANIEL @ DMC.OHIOCOMMAIL.COM

Owner / Agent Signature *Daniel Margulies*

Date: 5/27/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____

Section _____

Remarks _____

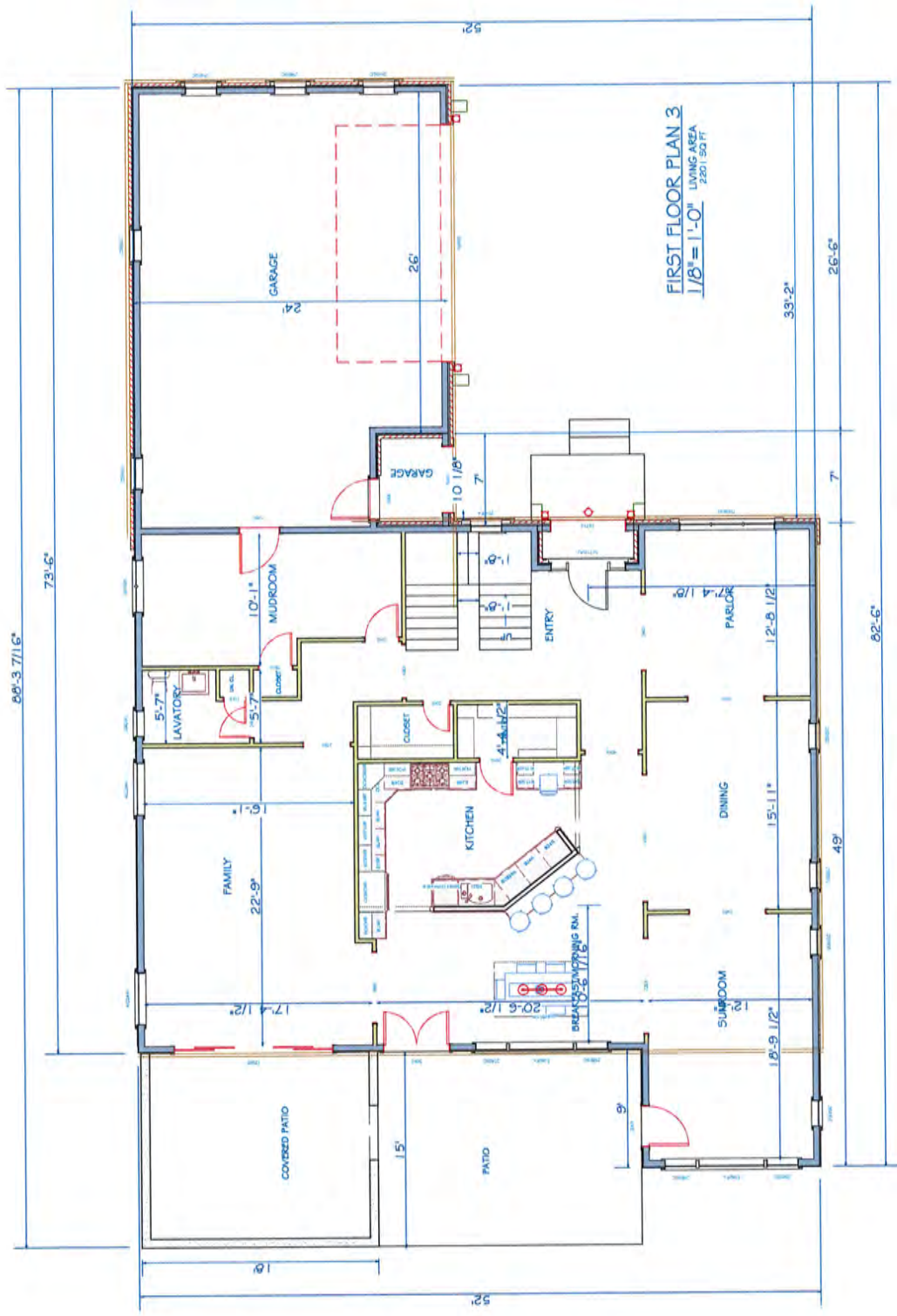
REV.
 02.29.20: PRELIM.
 03.02.20: FOR
 03.02.20: FOR
 03.10.20: FOR
 06.24.20: FINAL
 FOR LDRG. AND

DESIGN: DANIEL MARGULIES COMPANY INC.
 14204 DETROIT AVENUE
 LAKEWOOD, OHIO 44107
 TEL: 440.356.0888 FAX: 440.799.4333
 EMAIL: daniel@dmc.chicocorreal.com



NEW HOME:
THE GILBRIDE RESIDENCE
 1061 NICHOLSON AVENUE LAKEWOOD, OHIO

DATE PLOT:
 01.29.20: PRELIM.
 CONCEPT 1
 SHEET NO. **2**



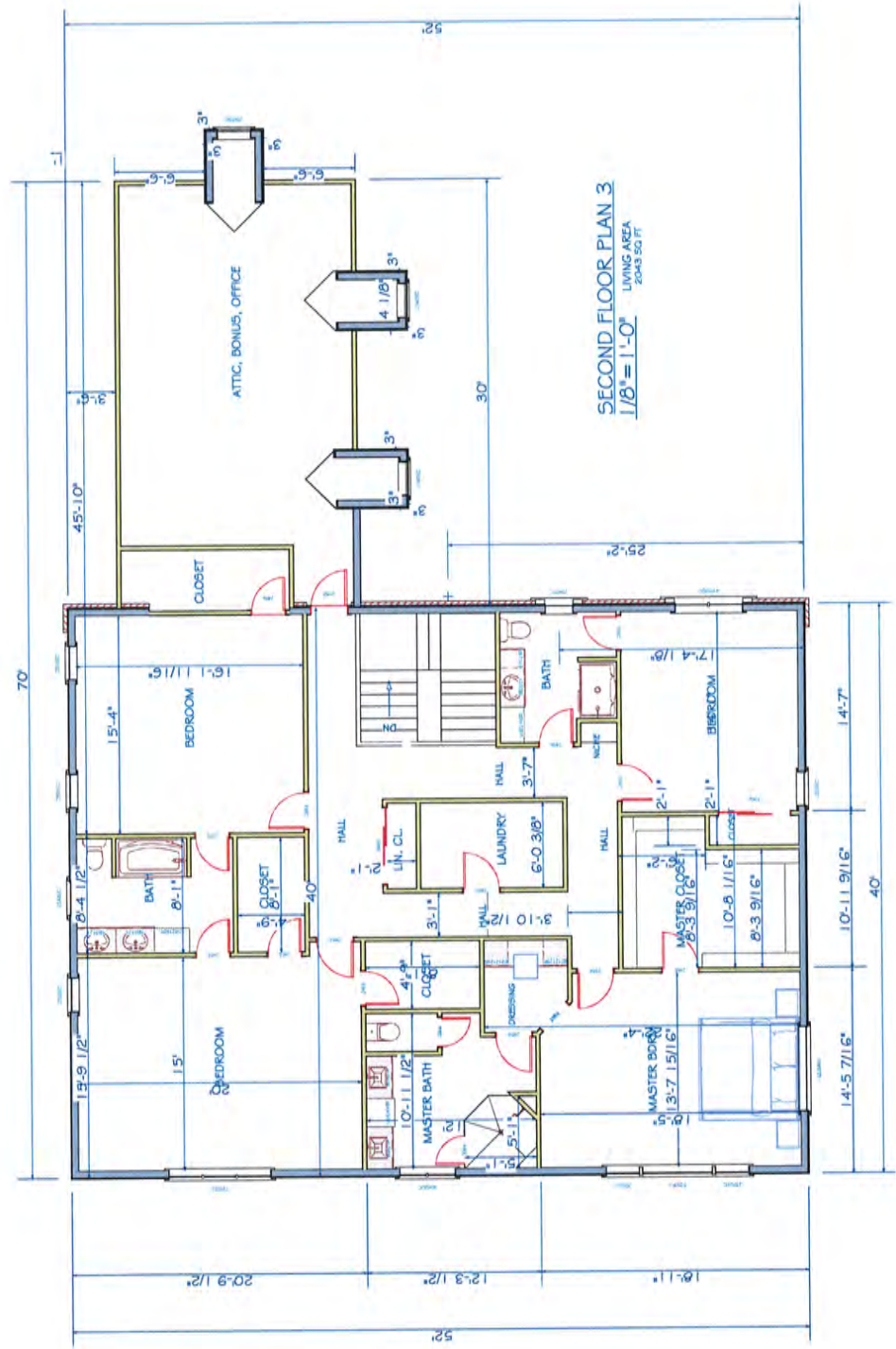
REV.
 02.29.20 PRELIM.
 03.02.20 FOR
 03.02.20 FOR
 03.10.20 FOR
 03.10.20 FOR
 06.24.20 FINAL
 FOR LIND. AND
 FOOTPRINTS
 NEWSPRINK STORAGE
 LIND. AND

DESIGN: DANIEL MARGULIS COMPANY INC.
 14204 DETROIT AVENUE
 LAKEWOOD, OHIO 44107
 TEL: 440.356.0888 FAX: 440.799.4333
 EMAIL: daniel@dmcc.com



NEW HOME:
THE GILBRIDE RESIDENCE
 1061 NICHOLSON AVENUE LAKEWOOD, OHIO

DATE OUT
 01.20.20 PRELIM.
 CONCEPT 1
 SHEET NO.
3



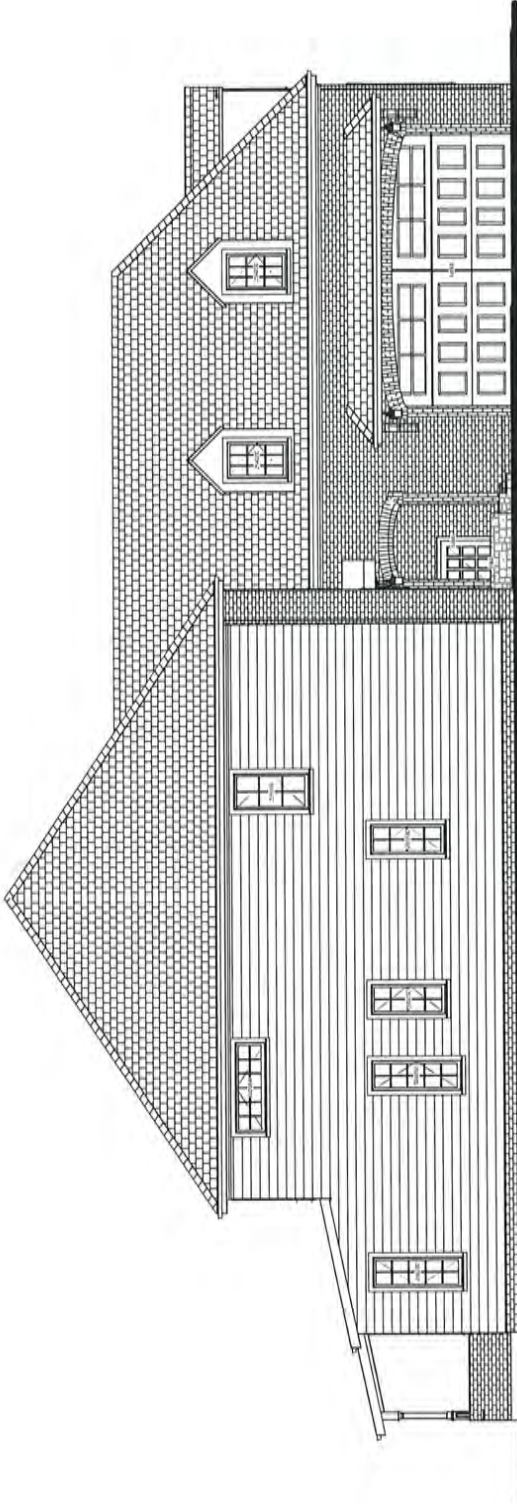
REV.
 02.29.20 PRELIM
 DRAWINGS FOR
 PERMITS FOR
 03.03.20 FOR
 LUMD, ISA
 03.10.20 FOR
 PERMITS FOR
 HOUSE
 FOOTPRINTS
 03.24.20 FINAL
 FOR LUMD, ISA

DESIGN: DANIEL MARGULIES COMPANY INC.
 14204 DETROIT AVENUE
 LAKEWOOD, OHIO 44107
 TEL: 440.352.0266 FAX: 440.799.4333
 EMAIL: daniel@dmcc.com

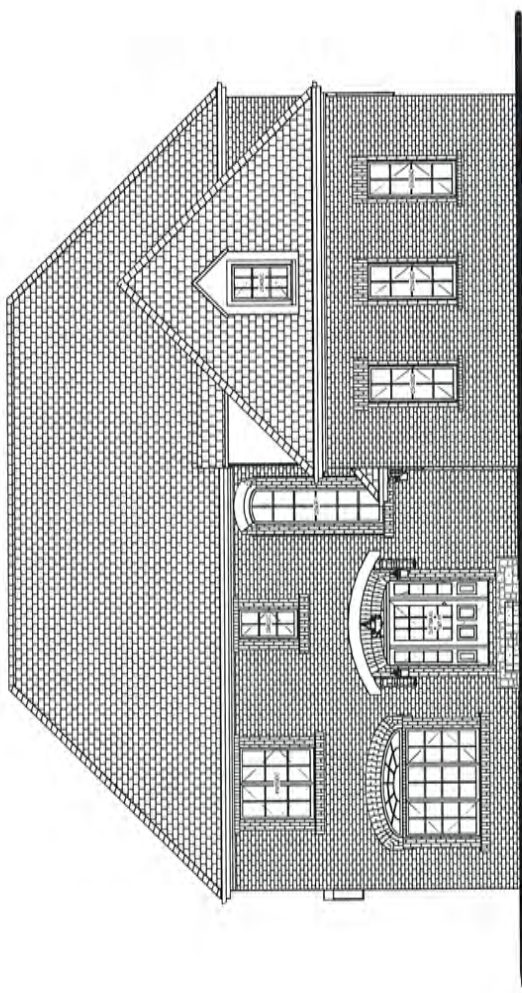


NEW HOME!
 THE GILBRIDE RESIDENCE
 1061 NICHOLSON AVENUE LAKEWOOD, OHIO

SCALE: 1/8" = 1'-0"
 CONCEPT 1
 SHEET NO. 4



NORTH ELEVATION
 1/8" = 1'-0"



WEST ELEVATION
 1/8" = 1'-0"

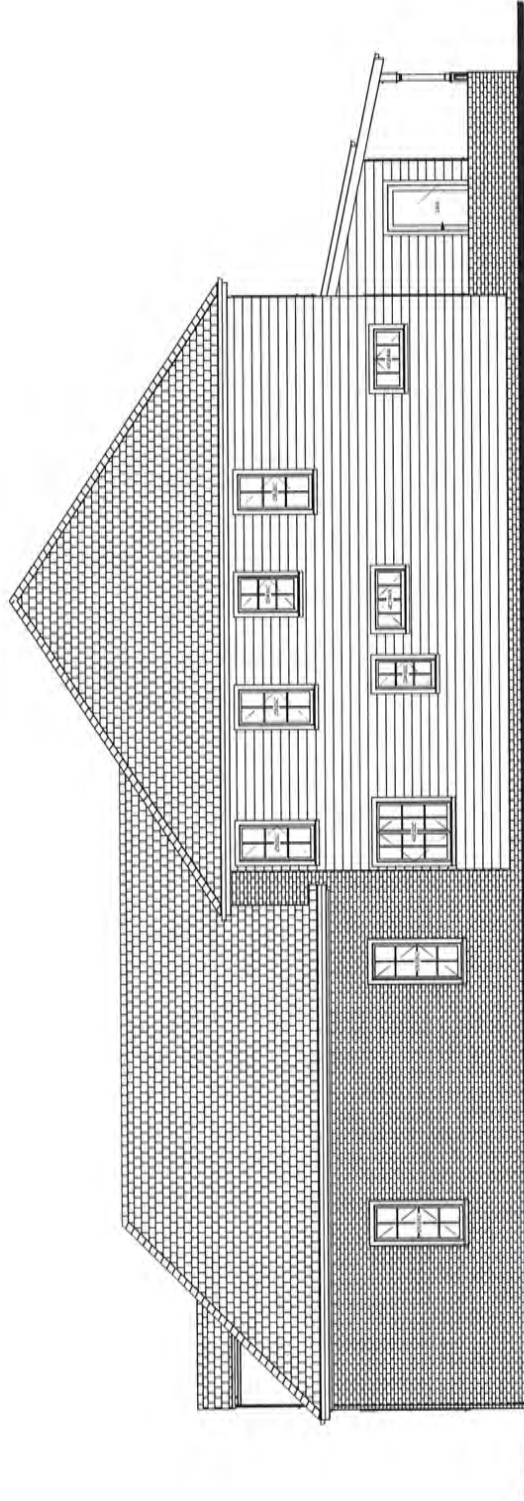
REV.
 02.28.20 PRELIM.
 03.02.20 FOR
 VARIANCES FOR
 03.02.20 FOR
 LUMBO, MA
 03.10.20 FOR
 LUMBO, MA
 03.10.20 FOR
 MASSACHUSETTS
 FOOTPRINTS
 03.24.20 FINAL
 FOR LUMBO, MA

DESIGN: DANIEL MARGULIES COMPANY INC.
 14204 DETROIT AVENUE
 LAKWOOD, OHIO 44107
 TEL: 440.392.0888 FAX: 440.799.4333
 EMAIL: daniel@dmc.ohio.com

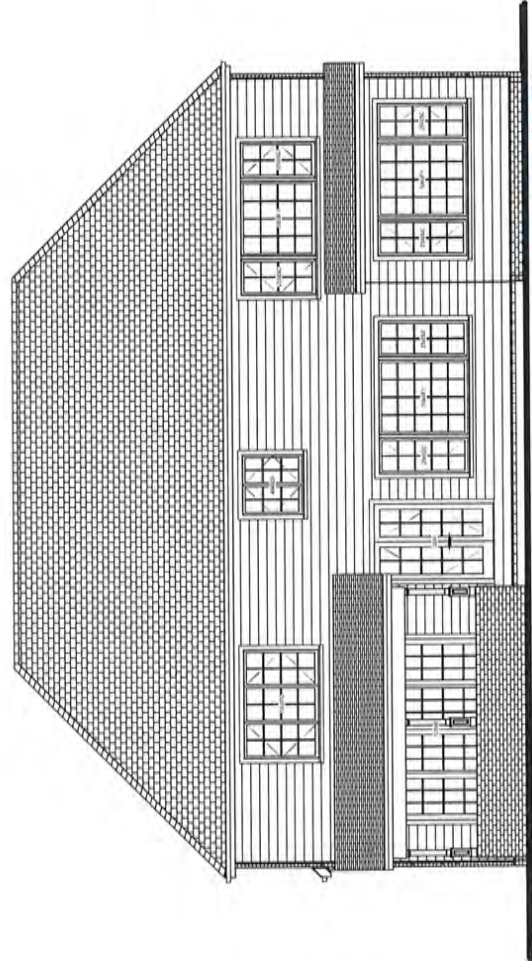


NEW HOME!
 THE GILBRIDE RESIDENCE
 1061 NICHOLSON AVENUE LAKWOOD, OHIO

SCALE: 1/8" = 1'-0"
 01.23.20 PRELIM.
 CONCEPT 1
 SHEET NO. 5



SOUTH ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"

REV: 02.22.20 PRELIM CONCEPT FOR VARIANCES FOR LAND, BSA 03.02.20 FOR 03.10.20 FOR APPROVAL HOUSE FOOTPRINTS 06.24.20/FINAL FOR LAND, ASD

DESIGN: DANIEL MARGULIES COMPANY INC.
 14204 DETROIT AVENUE
 LAKEWOOD, OHIO 44107
 TEL: 440.356.0888 FAX: 440.799.4333
 EMAIL: daniel@dmc.ohio.com



NEW HOME:
THE GILBRIDE RESIDENCE
 1061 NICHOLSON AVENUE LAKEWOOD, OHIO

DATE PLOTTED: 01.22.20 PRELIM CONCEPT 1
 SHEET NO. 9



WOOD SHAKE ROOF

STUCCO FINISH

COPPER SHINGLES

COPPER GUTTERS AND DS.

LIME WASHED BRICK

HARDIE LAP SIDING

PERSPECTIVE VIEWING SOUTHEAST
 N.T.S.



PERSPECTIVE VIEWING SOUTHWEST
N.T.S.

REV.
02.29.20: PRELIM.
CONCEPTS FOR
14204 DETROIT AVENUE
03.03.20: FOR
LAWD. S&A
03.10.20: FOR
MEASUREMENTS
FOOTPRINTS
06.24.20: FINAL
FOR L&MD. A&B

DESIGN: DANIEL MARGULIES COMPANY INC.
14204 DETROIT AVENUE
LAKEWOOD, OHIO 44107
TEL: 440.396.0266 FAX: 440.799.4333
EMAIL: daniel@dmc.chicocor.com



NEW HOME:
THE GILBRIDE RESIDENCE
1061 NICHOLSON AVENUE LAKEWOOD, OHIO

ISSUE DATE
01.29.20: PRELIM.
CONCEPT 1
SHEET NO.
7



1055 1901 1060



NEW HOME:
THE GILBRIDE RESIDENCE
 1061 NICHOLSON AVENUE LAKEWOOD, OHIO

DESIGN: DANIEL MARGULIES COMPANY INC.
 14204 DETROIT AVENUE
 LAKEWOOD, OHIO 44107
 TEL: 440.356.0888 FAX: 440.799.4333
 EMAIL: daniel@dmc.chicocmail.com

REV:
 02.29.20 PRELIM.
 COMMENTS FOR
 03.02.20 FOR
 LOWN. S&A
 03.10.20 FOR
 MARCH 10 2020
 FOOTPRINTS
 06.24.20 FINAL
 FOR LOWN. S&A

DATE PLOT:
 01.29.20 PRELIM.
 CONCEPT 1

SHEET NO.
 8




Account: 101-0000-321.30.01

REFERENCE No. BBS-20-000018
DOCKET No. 03-25-20
FEE PAID \$50.00 ll CHECK

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name HOLA TACOS

Project Address 12102 MADISON AVE.

Applicant Name ARCHITECTS,
C.A. MCGEETHRICK LLC
C.A. MCGEETHRICK, JR. PRES.

Applicant Address 14551 MADISON AVE
(if different than above)

Applicant Contact (216) 227 - 0700

ARCHICAM @AMERITECH.NET

Brief Project Description SITE IMPROVEMENTS AND RENOVATIONS TO EXISTING STRUCTURES

Signature: C.A. McGeethrick
PRES.

Date: 2-26-2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: **Commercial \$50**, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below.
See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name JUAN VERGARA


Property Address 12102 MADISON AVE

Owner / Agent Contact (216) 227 - 0700

ARCHICAM @ AMERITECH.NET

Owner / Agent Signature C.A. McGeethrick
PRES.

Date: 2-26-2020

Office Use Only: Reviewed and Accepted by: 

Date: 2/27/2020

Ordinance 22-00B

Section 132S.05

Remarks _____

Johanna Schwarz

From: David Baas
Sent: Tuesday, June 30, 2020 8:08 AM
To: Johanna Schwarz; Allison Hennie
Subject: Fw: Hola Taco

Follow Up Flag: Follow up
Flag Status: Flagged

Deferral for Hola Tacos...

From: Juan Vergara <juan82186@gmail.com>
Sent: Tuesday, June 30, 2020 1:47 AM
To: David Baas <David.Baas@lakewoodoh.net>
Subject: Re: Hola Taco

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello Dave,

I am still waiting on quotes and drawings from a company who will be doing the work, we are also diligently working as you mentioned in th possibility of getting the work started in the North side. For now we will deffer for next months meeting.

Thank you

On Mon, Jun 29, 2020 at 3:15 PM David Baas <David.Baas@lakewoodoh.net> wrote:

Chuck/Juan,

I saw the updated plans submitted to Building/Housing for the structure on the north side of the property...all interior work with a few minor changes on rear/side. No change to what ABR saw in March (as part of the larger set of plans)

I wanted to check if you had any design updates for the southern structure (taco stand/outdoor dining area) that ABR was looking for? If not, I assume we'll be deferring again this month...just looking for confirmation.

Thank you –

Sincerely,
Dave

Dave Baas
City Planner
LtCol, USMC (Retired)
EcoDistricts AP
City of Lakewood
12650 Detroit Avenue
Lakewood, Ohio 44107
(216) 529-6637 (work)
(216) 372-8996 (cell)

Account: 101-0000-321.30.01

REFERENCE No. BBS19-000095
DOCKET No. 12-123-19
FEE PAID \$25.00 js cash

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Lakewood Truck Park

Project Address 10900 Detroit Ave

Applicant Name Daniel Deagan

Applicant Address 12700 Lake Ave #3005
(if different than above)

Applicant Contact (216) 470-8495

deagan33 @ yahoo.com

Brief Project Description _____

Signature: 

Date: 11/26/19

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name _____

Property Address _____

Owner / Agent Contact (____) _____ - _____

_____ @ _____

Owner / Agent Signature _____

Date: _____

Office Use Only: Reviewed and Accepted by:  Date: 12-2-2019

Ordinance 2-16

Section 1329.05
1329.12(d)

Remarks _____



The SIGN & GRAPHICS FIRM

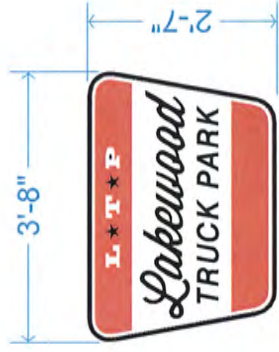
Steven Foster
216.390.0198
sgfoster09@gmail.com

BUSINESS NAME:
Lakewood Truck Park

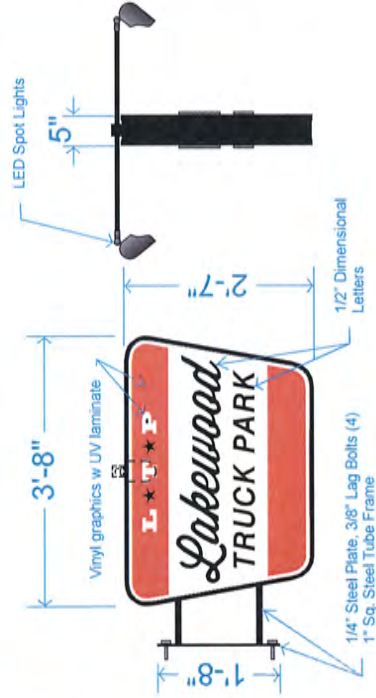
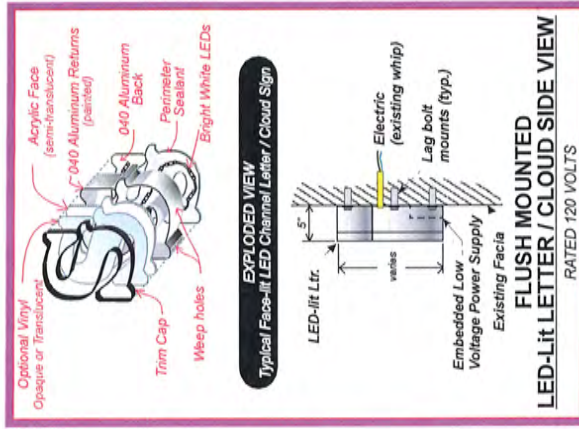
ADDRESS:
Corner Detroit Rd. & Edwards

06-16-20

NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.



EAST / WEST WALL SIGNS
(FLUSH MOUNTED, FACE-LIT LED)



Account: 101-0000-321.30.01

REFERENCE No. BBS-20-00020 (A)
BBS-20-00021 (S)
DOCKET No. 03-27-20 A+S
FEE PAID \$75.00 db CHECK

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Hudec dental

Project Address 15509 Madison Ave

Applicant Name LS Architects

Applicant Address 22082 Lorain Rd
(if different than above) Fairview Park Ohio 44120

Applicant Contact (216) 403-9654

Leon @ lsarchitectsinc.com

Brief Project Description Facade Renovation (Front)

Signature: LS

Date: 2/19/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Mike Hudec


Property Address 15509 Madison Ave

Owner / Agent Contact (216) 661-8888

@ _____

Owner / Agent Signature _____

Date: 2/19/2020

Office Use Only: Reviewed and Accepted by: 

Date: 2/27/2020

Ordinance 22-003 - ABE
2-16 - SIGNAGE

Section 1328.05
1329.05
1329.12(b)

Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS-20-00020 (A)
BBS-20-00021 (S)
DOCKET No. 03-27-20 A+S
FEE PAID \$75.00 db CHECK

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Hudec dental Project Address 15509 Madison Ave
Applicant Name LS Architects Applicant Address 22082 Lorain Rd
(if different than above) Fairview Park Ohio 44120
Applicant Contact (216) 403 - 9654 leon @ lsarchitectsinc.com
Brief Project Description Facade Renovation (Front)

Signature: LS Date: 2/19/2020

REVIEW REQUESTED (Check all that apply to your project)

- Architectural Board of Review** (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations
- Sign Review Board** (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
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- Board of Building Standards** (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Mike Hudec Property Address 15509 Madison Ave
Owner / Agent Contact (216) 661 - 8888 @ _____
Owner / Agent Signature _____ Date: 2/19/2020

Office Use Only: Reviewed and Accepted by: [Signature] Date: 2/27/2020

Ordinance 22-0013 - ABR Section 1329.05 Remarks _____
2-16 - SIGNAGE 1329.05
1329.12(b)

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000055
DOCKET No. 06-54-20
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Beck Center for the Arts - West Park Project Address 17801 Detroit Ave.

Applicant Name David Craun - Bialosky Cleveland Applicant Address 6555 Carnegie Ave, Cleveland

Applicant Contact (216) 767 2022 dcaun @ bialosky.com
(if different than above)

Brief Project Description Improvements to the existing park along Detroit Avenue

Signature: David Craun Digitally signed by David Craun
DN: cn=US, email=bialosky.com, o=Bialosky
Cleveland, ou=Principal, cn=David Craun
Reason: I attest to the accuracy and integrity of this
document.
Date: 2020.05.27 11:53:32-0400 Date: 5/27/2020

REVIEW REQUESTED (Check all that apply to your project)

- Architectural Board of Review** (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations
- Sign Review Board** (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.
- Board of Building Standards** (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Luncinda Einhouse Property Address Same as project

Owner / Agent Contact (216) 521 2540 luncinda.einhouse @ beckcenter.org

Owner / Agent Signature Luncinda Einhouse Date: 5/27/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

Johanna Schwarz

From: David Baas
Sent: Wednesday, July 1, 2020 3:39 PM
To: Johanna Schwarz
Subject: FW: ABR pre-review comments

Deferral request from Beck Center (West Park)

Dave Baas
City Planner
LtCol, USMC (Retired)
EcoDistricts AP
City of Lakewood
12650 Detroit Avenue
Lakewood, Ohio 44107
(216) 529-6637 (work)
(216) 372-8996 (cell)
david.baas@lakewoodoh.net

From: David Craun <dcraun@bialosky.com>
Sent: Wednesday, July 1, 2020 3:26 PM
To: David Baas <David.Baas@lakewoodoh.net>
Cc: Allison Hennie <Allison.Hennie@lakewoodoh.net>; Brandon Garrett <bgarrett@bialosky.com>; Bridget Hrdlicka <bhrdlicka@bialosky.com>; Mark Benton <mbenton@bialosky.com>
Subject: Re: ABR pre-review comments

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

David,

We will need more time on the Beck Center West Park design, as the Phase 1 Renovations project just went out to Bid/Permit two weeks ago and we have been entirely focused on RFIs, Adjudication Comments, and Addendums. I think we will be in good shape to wrap up the West Park design in July for an August ABR review.

By the way, is there anything else we need to do on the exterior improvements we shared a while back for the the Phase I renovations along Detroit? You had mentioned that they could be administratively reviewed and approved, but I wasn't sure if any further action was needed on our end.

Thanks,

DAVID W CRAUN AIA, LEED AP
Principal

BIALOSKY CLEVELAND
AIA Ohio Gold Medal Firm
6555 Carnegie Ave.
Cleveland, OH 44103

P 216 767 2022
C 216 466 1972

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000062

DOCKET No. 07-60-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Bayes front porch
Kyle Reisz

Project Address 14241 Bayes Ave

Applicant Name _____
937 3078357

Applicant Address _____
(if different than above)

Applicant Contact (____) _____ - _____ @ _____

Brief Project Description Adding a 12x16' shed roof porch with dormer to an existing SF house

Signature: 

Date: 6.22.2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
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Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.


Are there any dog(s) on the property? Yes No

Owner Name Kyle Reisz
93 3078357

Property Address 14241 Bayes Ave
kreisz9 Gmail.com

Owner / Agent Contact (____) 7 - _____

____ @ _____
6.22.2020

Owner / Agent Signature 

Date: _____

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



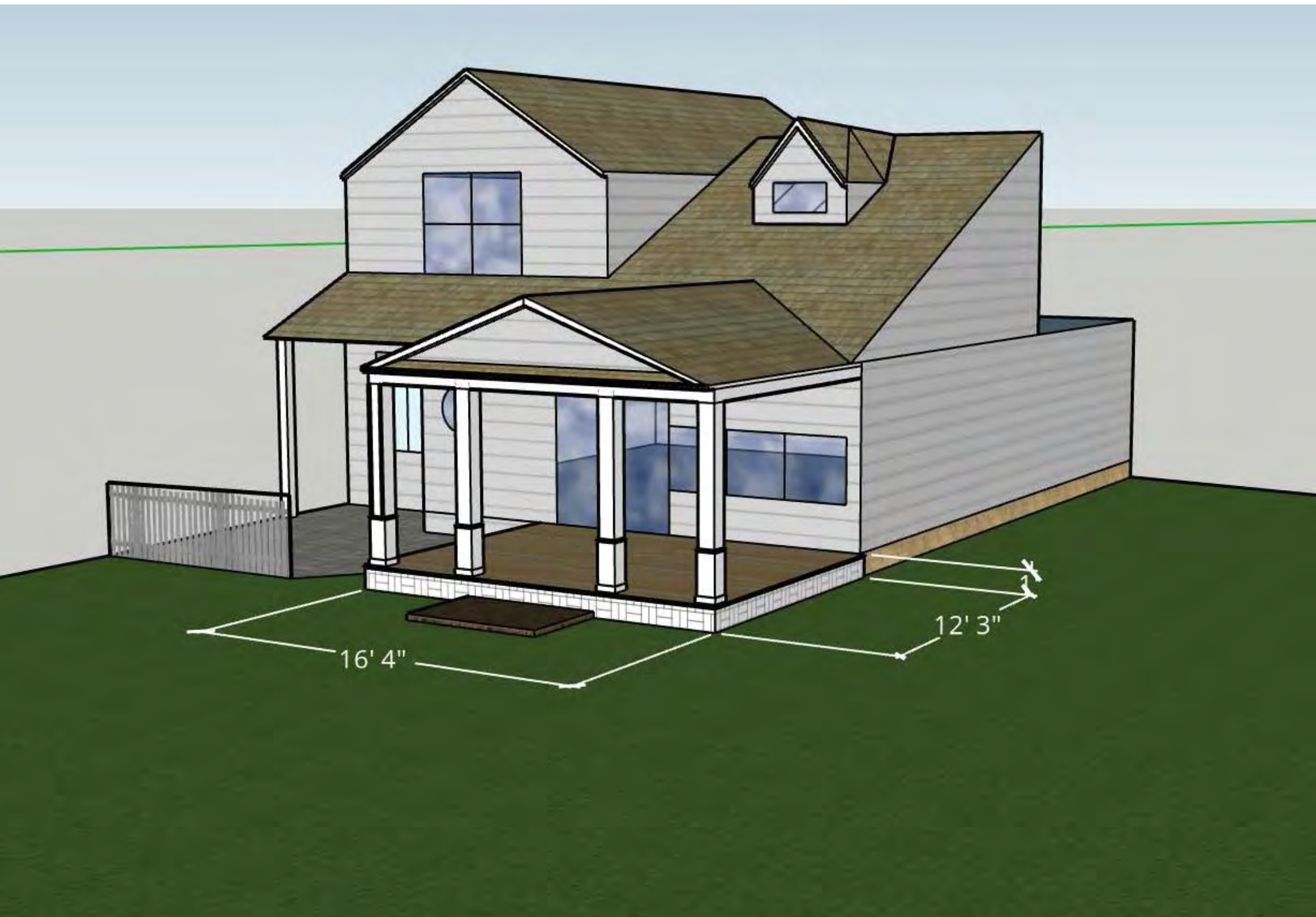


Proposed new porch

2' 3"

16' 4"





16' 4"

12' 3"



Account: 101-0000-321.30.01

REFERENCE No. BBS20-000063

DOCKET No. 07-61-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Front porch rebuild

Project Address 1193 Ethel Avenue, Lakewood, Ohio

Applicant Name Marcus Effner

Applicant Address _____
(if different than above)

Applicant Contact (216) 513 - 0945

marcus.effner @ gmail.com

Brief Project Description Demolition of current concrete slab/brick porch. Rebuilding wood porch and steps approximately 8'x8'.

Signature: 

Date: 6/22/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
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Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

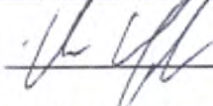
Are there any dog(s) on the property? Yes No

Owner Name Marcus Effner

Property Address 1193 Ethel Avenue, Lakewood, Ohio

Owner / Agent Contact (216) 513 - 0945

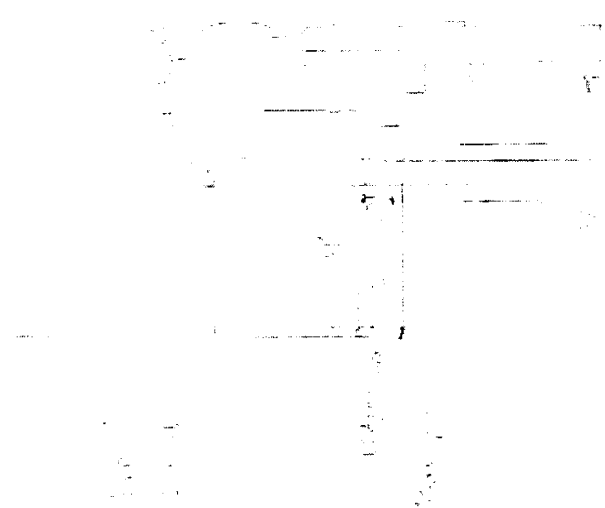
marcus.effner @ gmail.com

Owner / Agent Signature 

Date: 06/22/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



i_b
 i_c

i_b
 i_c

Output

Output
 $i_c = \beta i_b$
 $i_c = \beta i_b$
 $i_c = \beta i_b$

i_c is needed because i_b is ground

1

2

3

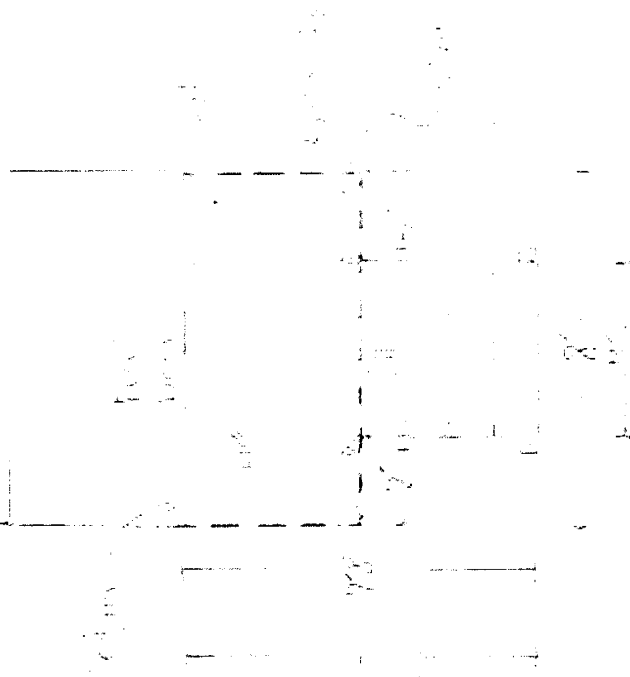
4

5

6

7

Process





Account: 101-0000-321.30.01



REFERENCE No. BBS20-000064
DOCKET No. 07-62-20
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name FLOUT POLCH REBUILT

Project Address 1440 MAIZE

Applicant Name JOHN BERMAN

Applicant Address 4042 ROCKY LEVEL DR CDF 14195
(if different than above)

Applicant Contact (414) 906-8418

john.berman@gnmuse.com

Brief Project Description RENOVATE EXISTING POLCH FLOORING, PEELS TO ROOF. (9) 6X6 DIMENSION TO SUPPORT NEW 2X8 JOISTS, COVERED 1X3 YELLOW PINE. (9) 6X6 DIMENSION. RASLS

Signature: [Signature]

Date: 6/23/20

REVIEW REQUESTED (Check all that apply to your project)

- Architectural Board of Review** (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations
- Sign Review Board** (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
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- Board of Building Standards** (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No NO LEFT OUTSIDE BALCONY

Owner Name ROSELYN BERMAN JILES

Property Address 1440 MAIZE

Owner / Agent Contact (414) 906-8418

SAME @ AS ABOVE

Owner / Agent Signature [Signature]

Date: 6/23/20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



Adjudication Order Email Correspondence

1 message

Thu, Jun 18, 2020 at 1:57 PM

<building.permits@lakewoodoh.net>
Reply-to: building.permits@lakewoodoh.net
To: grahamconstruction17@gmail.com

Unfortunately, we are unable to approve your construction documents. Attached is an Adjudication order explaining your options at this time. You may correct the items requested on the order, or appeal. If you have any questions please feel free to reach me by phone, or e mail.
Thank You,

 **PL-Adjudication Order-RBC.htm**
9 KB

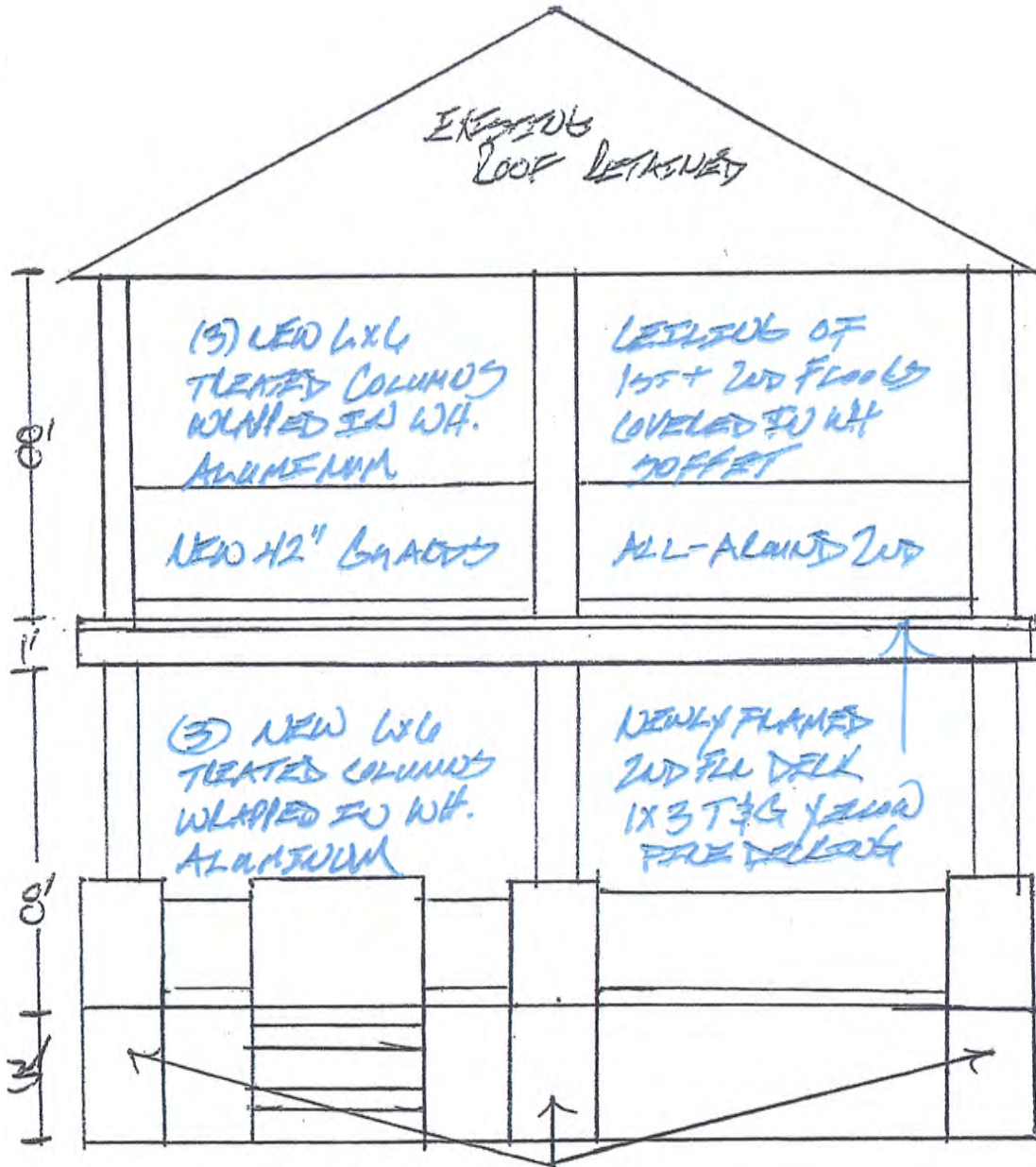
*I HAVE MADE THE CHANGES + INCLUDED
APPLICATION FOR ABR.*

*JOHN GRAHAM
216.906.8418*

1440 MAPLE LAKEWOOD, OH
FOLLOH PARTIAL REBUILD

GRAHAM CONSTRUCTION
JOHN 216.906.8418

FLOOR ELEVATION



(3) EXISTING MASONRY PILES RETAINED

EXISTING STEPS AND 1ST FLOOR DECK + BRACKETS RETAINED

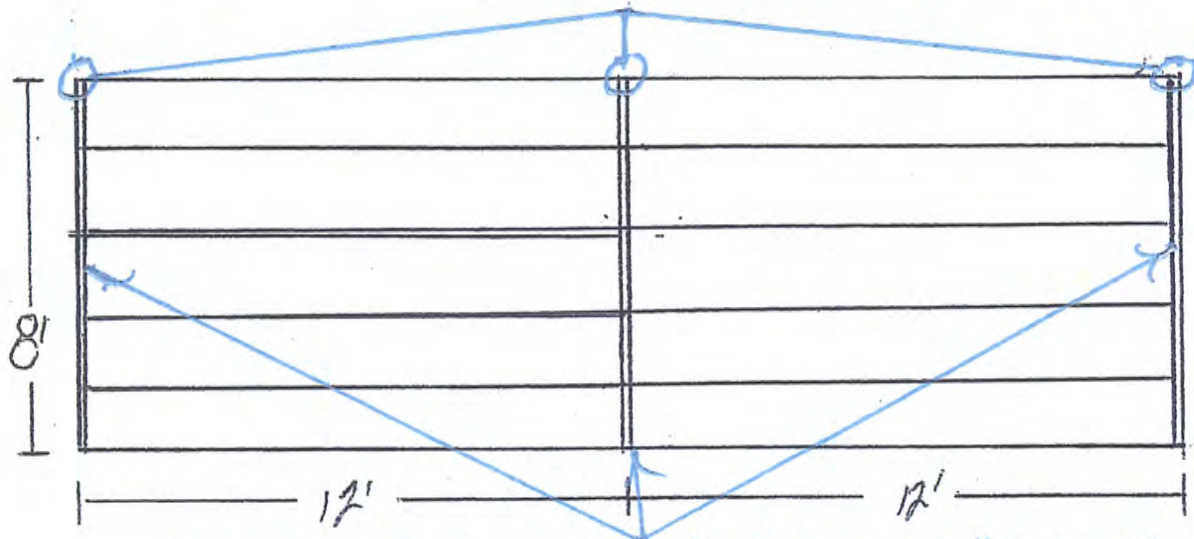


1440 Maple Lakewood, OH
 PALMIR POCH ~~REPAIRS~~

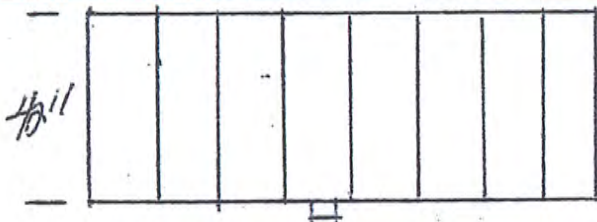
GLADHAM CONSTRUCTION
 JOHN 216.906.8418

FRAMING PLAN
 2ND FLOOR

BEAMS INSIDE WALL FRAME



(5) 2x8 TREATED BEAMS BEARING 3" INSIDE
 EXPOSED WALL OF HOUSE + ON NEW 4x4 COLUMNS
 2x8 TREATED JOISTS ¹⁶ 16" o/c JOIST HANGERS BOTH ENDS
 FRAMING COVERED w/ 1x3 T&G YELLOW PINE DECKING



RAILING DETAIL 2x4x4

2x4 16" o/c FRAMED IN
 TREATED LUMBER.

COVERED BOTH SIDES
 1/4 PLYWOOD

BOTH SIDES COVERED IN
~~GRAY~~ VIOL SLATS IN
 ↑ SHALE STYLE

4x4 BLOCK TO SUPPORT
 MID SPAN

DECKING PASSED GLEX

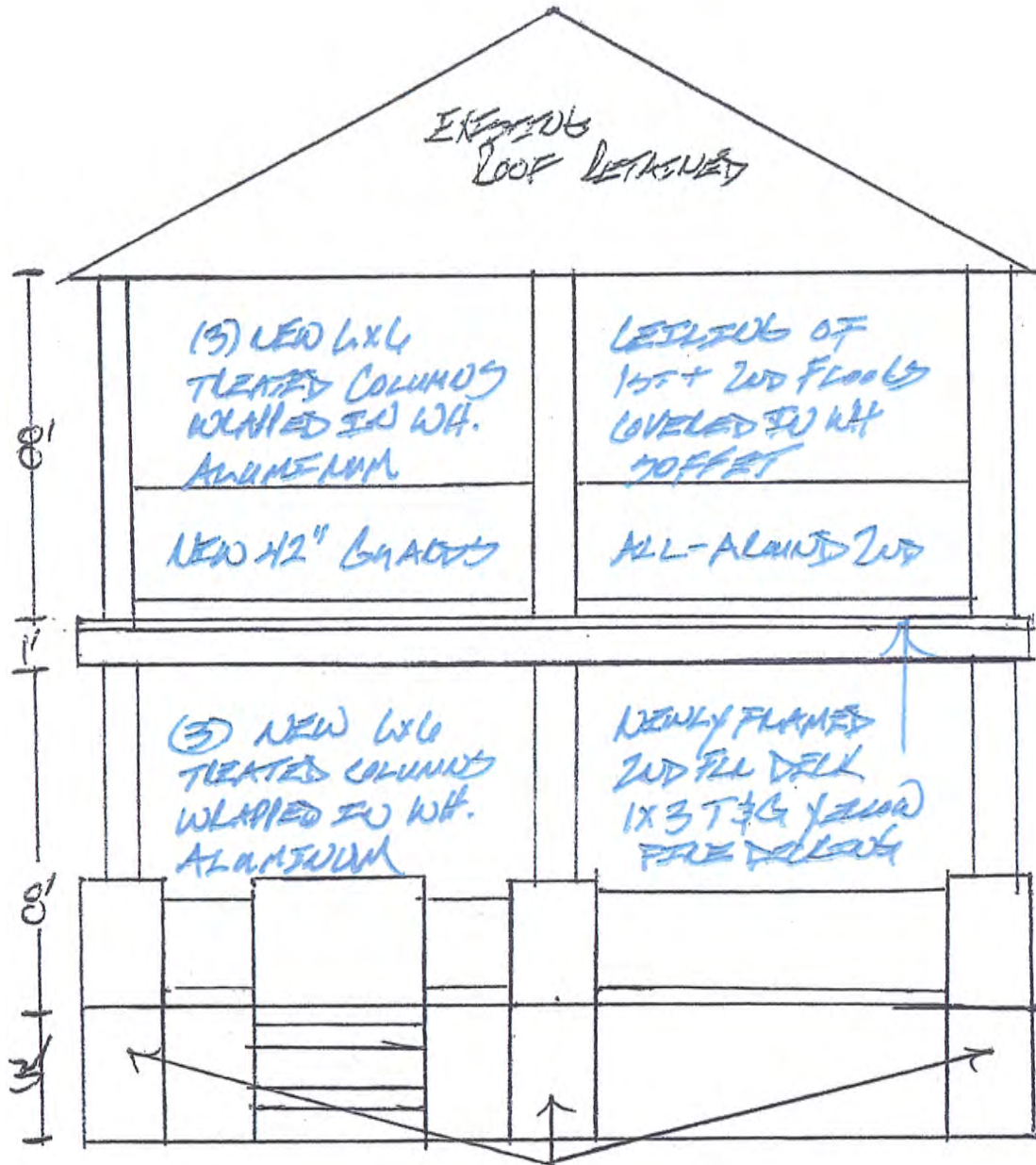
BLOCKED TO 2x8 FRAME
 WHERE COLUMNS BEAR

GRAND STAIRS (COLUMN TO COLUMN) + WHITE
 (COLUMN TO HOUSE / 3 STAIRS) (4 COLUMNS)

1440 MAPLE LAKEWOOD, OH
POLEH PARTIAL REBUILD

GRAHAM CONSTRUCTION
JOHN 214.906.8418

FRONT ELEVATION



(3) EXISTING MASONRY PILES RETAINED

EXISTING STEPS AND 1ST FLOOR DECK + BRACKS RETAINED

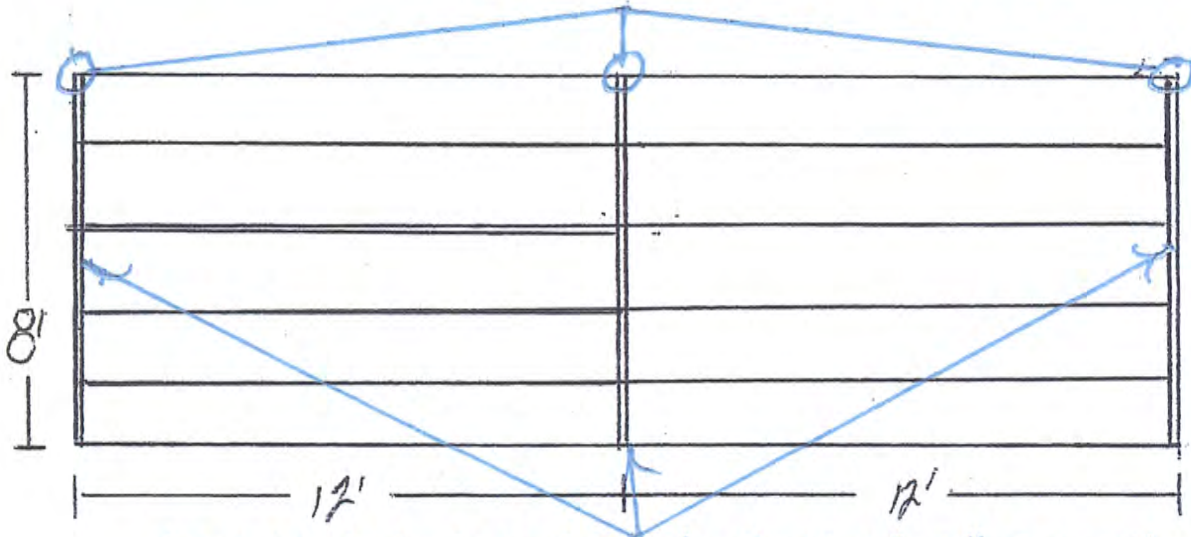


1440 Maple Lakewood, OH
 PALMER POLCH REPAIRS

GLADHAM CONSTRUCTION
 JOHN 216.906.8418

FRAMING PLAN
 2ND FLOOR

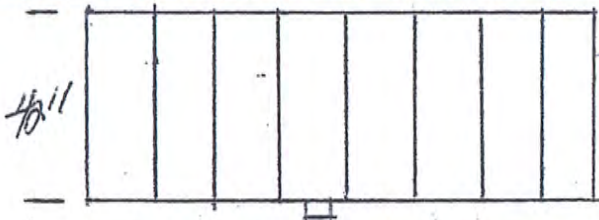
BEAMS INSIDE WALL FLANGE



(5) DEL 2x8 TREATED BEAMS BEARING 3" INSIDE
 EXPOSED WALL OF HOUSE + ON NEW W/LC COLUMNS

2x8 TREATED JOISTS ^{16"} 16" o/c JOIST SPACING BOTH ENDS

FRAMING COVERED w/ 1x3 T&G YELLOW PINE DECKING



4x4 C/LK TO SUPPORT
 MID-SPAN

DECKING PLACED OVER

BLOCKING TO 2x8 FLANGE
 WHERE COLUMNS BEAR

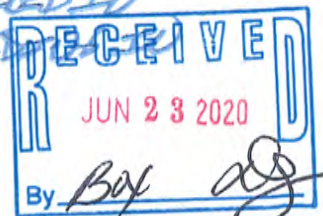
GUARD DETAIL INTERIOR

2x4 16" o/c FRAMED
 TREATED LUMBER

COVERED BOTH SIDES
 1/4 PLYWOOD

BOTH SIDES COVERED IN
~~GREY~~ VIOLIN STAIN
 ↑ CHAIR STYLE

GUARD DETAIL (COLUMN TO COLUMN) + WHITE
 (COLUMN TO HOUSE / 3 SIDES) (4 GUARDS)



Account: 101-0000-321.30.01

REFERENCE No. BBS20-000065
DOCKET No. 07-63-20
FEE PAID _____

APPLICATION


ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Front & Side Porch Project Project Address 1295 Manor Park Ave.

Applicant Name Nicholas A. LaPointe Applicant Address _____
(if different than above)

Applicant Contact (419) 349 - 7553 nalapointe1 @ gmail.com

Brief Project Description Reconstruct historic side porch and install a new front porch on home.

Signature:  Date: 5/31/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
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Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Nicholas A. LaPointe Property Address 1295 Manor Park Ave

Owner / Agent Contact (419) 349 - 7553 nalapointe1 @ gmail.com

Owner / Agent Signature  Date: 5/31/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



WEST ELEVATION
 GRAPHIC SCALE
 1/2" = 1'-0"

FOR CONSTRUCTION

REV	DATE	DESIGN	DRAWN	REMARKS
▲	05/27/20	nal	nal	FOR CONSTRUCTION
1295 MANOR PARK AVE. LAKEWOOD, OH				
WRAP AROUND PORCH PROJECT ELEVATION VIEW				
SCALE AS NOTED		Drawing Number		WEST ELEVATION - 06 Approved



FOR CONSTRUCTION

SOUTH ELEVATION
 0 1' 3'
 GRAPHIC SCALE
 1/2" = 1'-0"

REV	DATE	DESIGN	DRAWN	REMARKS
▲	05/27/20	nal	nal	FOR CONSTRUCTION
1295 MANOR PARK AVE. LAKEWOOD, OH				
WRAP AROUND PORCH PROJECT ELEVATION VIEW				
SCALE AS NOTED		Drawing Number SOUTH ELEVATION - 06 (2)		Approved (2)

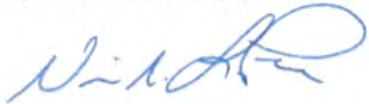
1295 MANOR PARK AVE.
FRONT & SIDE PORCH PROJECT
PROJECT DESCRIPTION

In 2016, my family and I relocated to Lakewood, OH. We chose the City of Lakewood because of its sense of community, diversity, its walkability, and its location. We adore the architecture of the homes and the front porches where neighbors catch up on current events. In early 2020, after removing sagging portions of the existing side porch ceiling, I found improperly framed ceiling rafters creating the sagging conditions in the ceiling and cracking of the column capitals. Additional rotten deck joists and other conditions issues were found as I continued in my exploratory efforts to possibly salvage the side porch of our home. Out of a concern for safety, the side porch was demolished in the Spring of 2020.

The 1295 Manor Park Front & Side Porch Project will fully reconstruct the side porch and turn it into a space which can be enjoyed majority of the year as a three-season porch. The side porch will be appx. 130 square feet. Minor adjustments to the side porch width will also increase the existing driveway clearance by appx. 6". To the east (rear of home), the side porch will open up onto a limestone landing through a double set of French doors to a set of stairs which will be constructed to match the stairs in the front of the house. This will connect our limestone patio to the side porch. To the west (front of home), the three-season porch will open up to a newly installed front porch (330 square feet) which will match and be architecturally consistent with the homes immediately to the right and left of our home at 1295.

It is not only important to us that we complement the other homes on our block, we believe it is important that the changes we make match the existing design of our home. Therefore, we intend on matching many of the existing details and plan on salvaging and reconstructing similar features. This includes reusing the historic columns, repurposing the side porch planter boxes, side three season porch window/door selection, limestone stair treads and cap stones, existing stoop roof details, etc.

If you should have any questions, please do not hesitate to contact me regarding this Project.



Nicholas A. LaPointe, P.E.
Homeowner
419-349-7553
Nalapointe1@gmail.com

1295 MANOR PARK AVE.
PRE-SIDE PORCH DEMOLITION (2015)



PELLA ARCH.
SERIES
EXISTING
WINDOWS

STOOP ROOF
DETAIL TYP.
ON NEW
FRONT
PORCH OVER
FRONT ENTRY

LIMESTONE CAP STONES AND
STAIR TREADS TO BE RE-USED
ON NEW STAIRS. NEW PORCH
STAIRS WILL MATCH EXISTING
WITH BRICK WING WALLS LEFT
AND RIGHT OF NEW LIMESTONE
TREAD STAIRS.

PLANTER
BOXES USED
ON NEW
FRONT
PORCH
4 EA.

SALVAGED
COLUMNS
REBUILD FOR
FRONT
PORCH, SIDE
4 EA. PORCH
TO VISUALLY
MATCH BUT
WILL BE A
COMPOSITE
VS. TIMBER

1295 MANOR PARK AVE.
POST SIDE PORCH DEMOLITION

NEW PORCH
ROOF: MATCH
EXISTING
CAMELOT II
PREMIUM
ROOF
SHINGLES

STOOP ROOF
DETAIL TYP.
ON NEW
FRONT
PORCH OVER
FRONT ENTRY
PORCH HIP
ROOF TO TIE
IN ON RIGHT

SALVAGE &
RESET
LIMESTONE IN
FRONT OF RE-
CONSTRUCTED
STOOP TO
MATCH
EXISTING



1291 MANOR PARK AVE.
NEW PORCH @ 1295 TO COMPLEMENT
FRONT PORCH TO THE NORTH



1295 MANOR PARK AVE. ADDITIONAL DETAILS

BRICK MASONRY TO CLOSELY
MATCH THE EXISTING 2015
ADDITION FOUNDATION WHICH
CLOSELY MATCHES THE 1915
FOUNDATION USING MATERIALS
AVAILABLE TODAY



WHERE HANDRAIL IS SHOWN
AND REQUIRED PER CODE, IT
WILL MATCH THE EXISTING
HANDRAIL LOCATED ON THE
EAST ELEVATION BACK DOOR
LANDING



ALTERNATE HANDRAIL DETAIL
TO MATCH 1291 MANOR PARK
FRONT PORCH



1295 MANOR PARK AVE. FRONT PORCH PLANK MATERIAL



FREE SAMPLES

REQUEST A QUOTE

LOGIN

CART 0

SEARCH

FOR PROS

Design

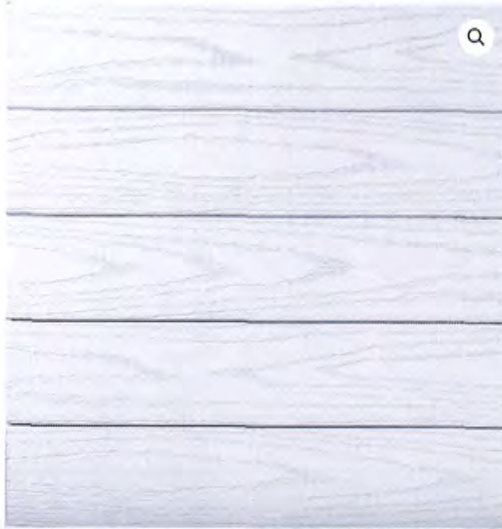
Products

Why TimberTech

Resources

Outdoor Living Ideas

Get Started



[Home](#) > [Products](#) > [Porch](#) > [Porch](#) > Porch Collection

Porch Collection

Amp up your curb appeal – you deserve it. TimberTech's high-performance, capped-polymer porch boards are designed with a tongue-and-groove system so that there's minimal gapping between boards. Give your porch a beautiful, stylish floor, with the added benefits of composite decking.

Available in standard width. Coastline®, Mahogany, Weathered Teak®, and Dark Hickory also available in wide width.

Porch Color



Sample Size

2' Sample

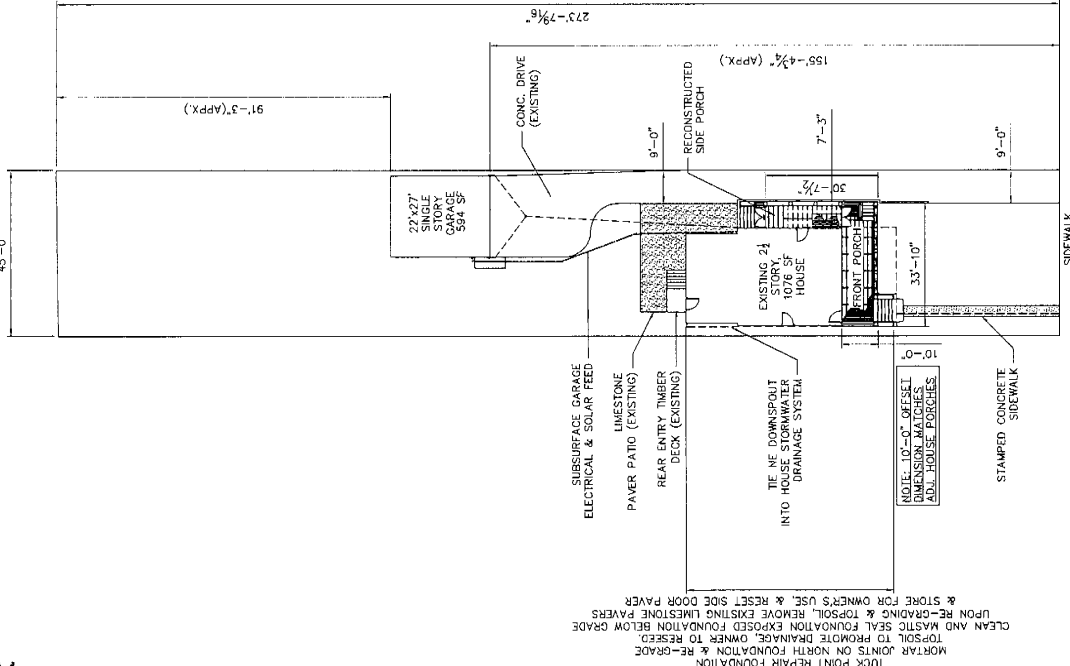
DETAIL INDICATOR

SHEET # FROM WHICH SECTION OR DETAIL IS CUT — **X** — SHEET # WHERE SECTION OR DETAIL CAN BE FOUND

NO.	DRAWING SUBJECT
1	SITE PLAN
2	DEMOLITION PLAN
3	PORCH FRAMING & FLOOR PLAN
4	CROSS SECTION (FRONT)
5	CROSS SECTION (SIDE)

GENERAL NOTES:

- PROPERTY ADDRESS:
 - 1295 MANOR PARK AVE. LAKELAND, OH 44107
 - 2017 OHIO RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS
- LOT SIZE: 31' x 74'
- DEPTH: 274'
- PROJECT INCLUDES:
 - DEMOLITION EXISTING FRONT & SIDE COVERED PORCHES
 - 170 SF SIDE PORCH
 - 336 SF COVERED FRONT PORCH
- DESIGN LOADS:
 - DECK LIVE LOAD: 30 PSF
 - ROOF LIVE LOAD: 20 PSF
 - FLOOR LIVE LOAD: 40 PSF
 - WIND LOAD: 90 MPH
- ALL MECHANICAL, ELECTRICAL, OR PLUMBING WORK PLANNED AT THE TIME OF PERMIT APPLICATION. IF ANY WORK PERFORMED TO BE SUBMITTED UNDER SEPARATE COVER BY OWNER'S CONTRACTOR.
- MATERIAL SPECIFICATIONS:
 - PORCH DECK TIMBER FRAMING UNDER AZEK PLANKING
 - FRONT SIDE PORCH FLOOR FRAMING & HARDWARE: LUCAS ABOVE GROUND NO. 2 SOUTHERN YELLOW PINE PRESSURE TREATED TIMBER & GALV. HARDWARE
 - ALL REINFORCING BARS SHALL BE SOUTHERN YELLOW PINE REINFORCING BARS PERFORMED BAR CONFORMING TO ASTM A-614 GR. 60
 - CONCRETE: 3500 PSI AIR ENTRAINED, W/C RATIO 0.5 MAX
 - REAR SIDE PORCH: ASTM C 80-03
 - REAR SIDE PORCH: 1 PART CEMENT TO 3 PART LIME TO 3 PARTS DAMP, LOOSE SAND. COLOR TO MATCH EXISTING FOUNDATION.
 - GROUT: 1 PART CEMENT TO 3 PARTS SAND TO MAX. 6 PART LIME. SUFFICIENT WATER ADDED TO OBTAIN WORKABLE PASTE. FORMS MUST BE CLEANED & SEGREGATION OF PARTS. MAY CONTAIN 2 PARTS PEA GRAVEL 3/8" MAX PARTICLE SIZE.

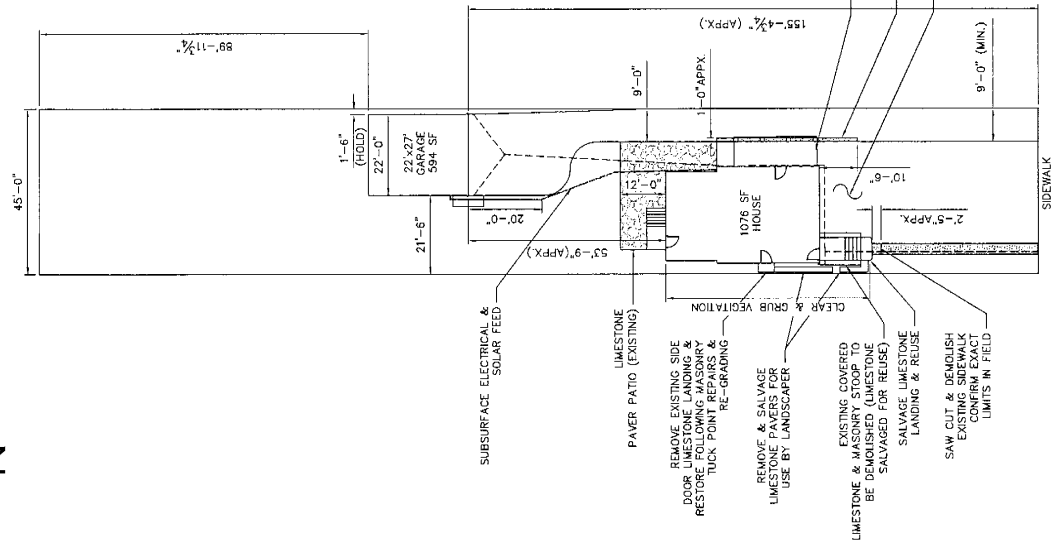
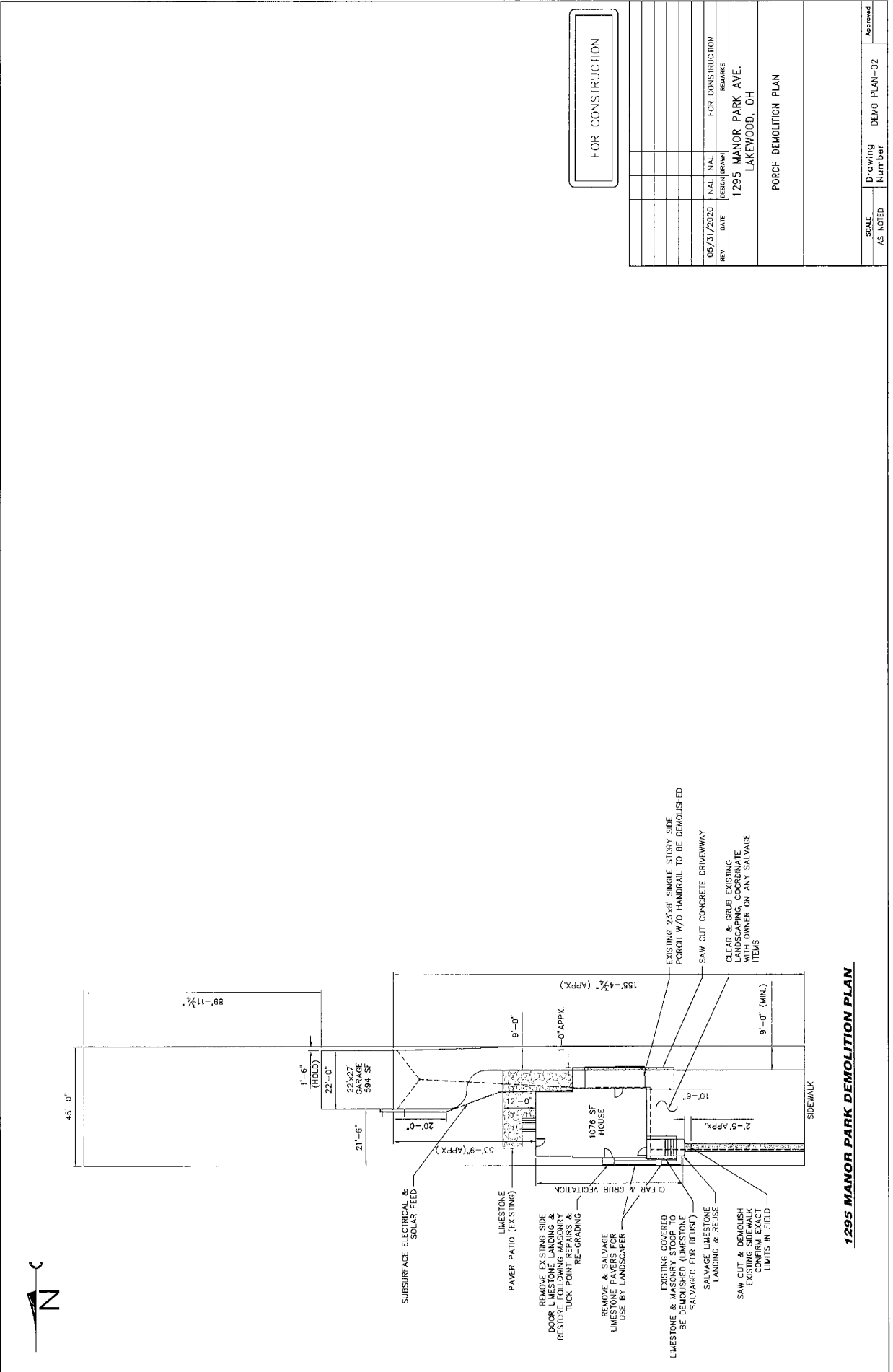


1295 MANOR PARK SITE PLAN

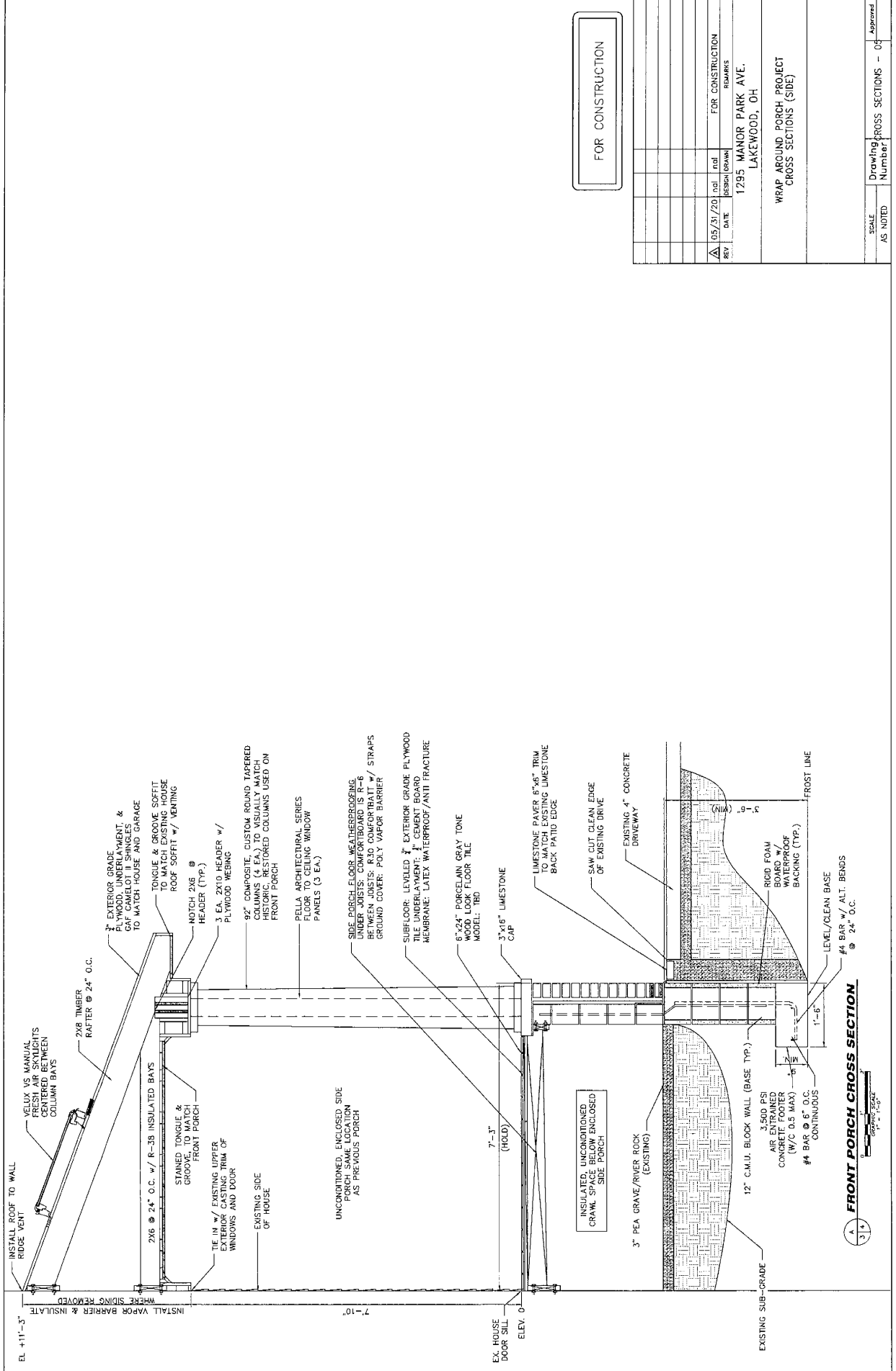
SCALE: 1/8" = 1'-0"

FOR CONSTRUCTION

REV	DATE	DESIGN DRAWN	REMARKS
05/31/2020	NAL	NAL	FOR CONSTRUCTION
1295 MANOR PARK AVE. LAKEWOOD, OH			
SITE PLAN W/ GENERAL NOTES			
SCALE AS NOTED	Drawing Number	SITE PLAN-01	Approved



1295 MANOR PARK DEMOLITION PLAN



FOR CONSTRUCTION

REV	DATE	BY	CHECKED	TYP	REMARKS
1	05/31/20	nal	nal		FOR CONSTRUCTION
DESIGN (DRAW)					
1295 MANOR PARK AVE. LAKEWOOD, OH					
WRAP AROUND PORCH PROJECT CROSS SECTIONS (SIDE)					

SCALE	AS NOTED	Drawing Number	CROSS SECTIONS - 05
			Approved

FRONT PORCH CROSS SECTION





Architect Series® Traditional

SIDE PORCH WINDOWS & DOORS



Photograph(s)
© Ashley Avila Photography

Thoughtfully Designed. Timeless Style.

High-quality, high-performance wood windows and doors. Broad custom capabilities and virtually endless design options for both new construction and renovation projects. Pella Integral Light Technology® Grilles combine the look of true divided lights with today's energy efficiency, structural integrity and water-resistant performance.

- Available wood interiors include Pine, Mahogany or Douglas Fir
- A wide variety of standard and custom sizes and grille patterns
- The convenience of interior prefinished stain, prefinished paint or primed are available
- Virtually unlimited exterior color options
- Dual-pane glazing standard
- Triple-pane glazing available

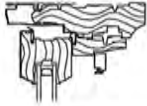
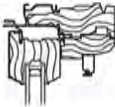
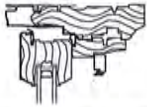
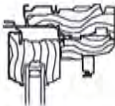
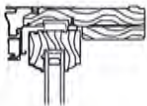
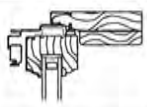
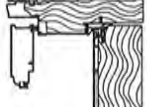
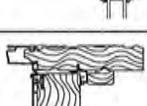
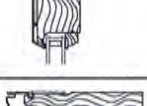

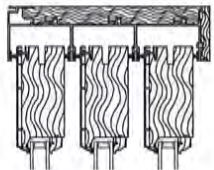


Wood Windows and Patio Doors



Available with factory-installed integrated security sensors.

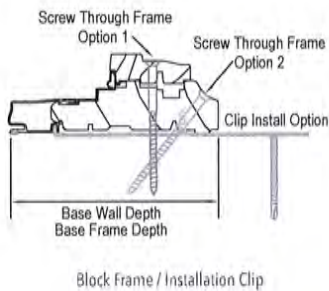
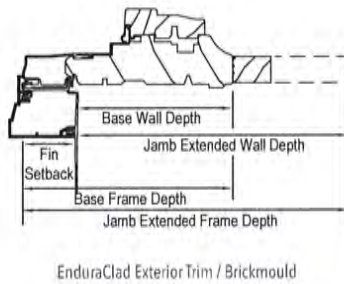
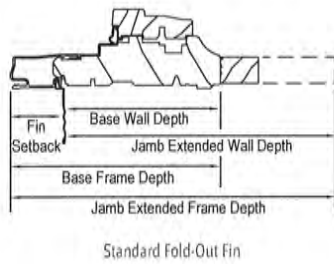


	Cross Section	Frame / Install	Wall Depth Range	Performance Range
Awning Vent and Fixed		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	LC30 - CW50 U: 0.16 - 0.80 SHGC: 0.15 - 0.63 STC: 27 - 33
Precision Fit Awning		Pocket Replacement	Overall frame depth: 4" Pocket frame depth: 3-1/4"	R30 - CW50 U: 0.25 - 0.51 SHGC: 0.16 - 0.63 STC: 27 - 30
Casement Vent and Fixed		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	R30 - CW50 U: 0.23 - 0.49 SHGC: 0.16 - 0.63 STC: 28 - 32
Precision Fit Casement		Pocket Replacement	Overall frame depth: 4" Pocket frame depth: 3-1/4"	R30 - CW50 U: 0.25 - 0.51 SHGC: 0.16 - 0.63 STC: 27 - 30
Single-Hung and Double-Hung		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5" Std. Fin Setback: 1-5/16" Base Wall Depth: 3-11/16" Jamb extended wall depth: 3-11/16" - 9-3/16"	CW40 - CW50 U: 0.25 - 0.30 SHGC: 0.19 - 0.53 STC: 26 - 34
Precision Fit Double-Hung		Pocket Replacement	Overall frame depth: 4-3/4" Pocket frame depth: 3-1/4"	CW40 - CW50 U: 0.25 - 0.31 SHGC: 0.19 - 0.53 STC: 26 - 30
In-Swing Patio Door		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5-7/8" Std. Fin Setback: 1-5/16" Base Wall Depth: 4-9/16" Extended wall depth: 4-9/16" - 7-5/16"	LC40 - LC55 U: 0.25 - 0.32 SHGC: 0.13 - 0.40 STC: 31 - 34
Out-Swing Patio Door		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5-7/8" Std. Fin Setback: 1-5/16" Base Wall Depth: 4-9/16" Jamb Extended wall depth: 4-9/16" - 9-3/16"	LC40 - LC70 U: 0.25 - 0.33 SHGC: 0.12 - 0.39 STC: 30 - 36
Sliding Patio Door		Fold-out fin Block Frame EnduraClad Exterior Trim / Brickmould	Base Frame Depth: 5-7/8" Std. Fin Setback: 1-5/16" Base Wall Depth: 4-9/16" Jamb Extended wall depth: 4-9/16" - 9-3/16"	LC25 - LC70 U: 0.26 - 0.32 SHGC: 0.15 - 0.42 STC: 29 - 35
Scenescape Bifold Patio Door		See page 200 for additional information. Contact your local Pella Sales representative or Pella Architectural Support for assistance and additional details.		Out-Swing, standard sill: R15 - R25 U: 0.26 - 0.44 SHGC: 0.13 - 0.45
Scenescape Multi-Slide Patio Door		See page 203 for additional information. Contact your local Pella Sales representative or Pella Architectural Support for assistance and additional details.		1-1/2" Weep Sill: R15 - LC25 Varies by Sill Type: U: 0.30 - 0.36 SHGC: 0.15 - 0.46

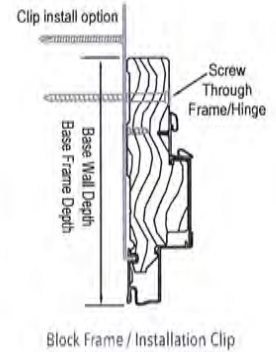
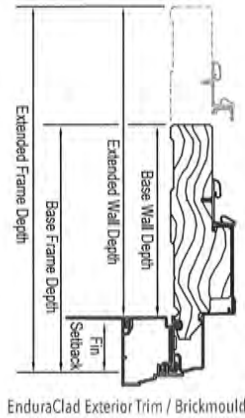
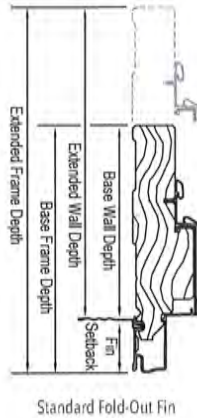
Performance ranges shown are for single-units and do not account for combinations (multiple units mulled together). Drawings are not to scale.

Brand Overview

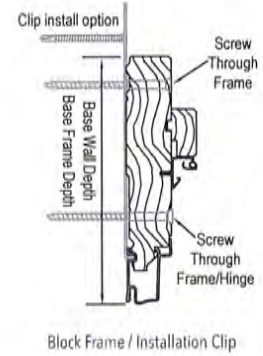
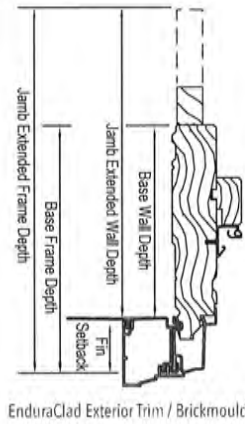
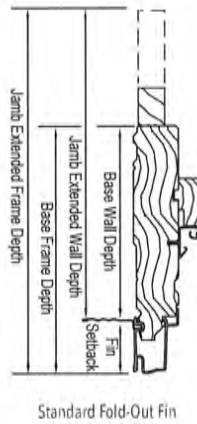
Window Frame Dimensions



In-Swing Door Frame Dimensions



Out-Swing Door Frame Dimensions



Window and door frames shown are typical products only and may not apply to custom products or Scenescape patio doors.

For Trim and Install accessories, see the first section of the Architectural Design Manual.

For Installation instructions visit InstallPella.com.



Use this Quick-Read (QR) code with your mobile device for quick access.

You may need to first install a QR code reading App, an Internet connection is required.



Rolscreen® Retractable Screens

Optional Rolscreen retractable screen rolls out of sight when you're not using it, so the screen stays protected.

Soft-closing retractable screens are available for casement windows and sliding patio doors.

WARNING: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.

Finishes

EnduraClad® Protective Finish Standard Colors + Virtually Unlimited Custom Colors



Interior Prefinished Colors



Screens



Vivid View® Screen

Provides the sharpest view and is available as an upgrade on Pella wood windows and patio doors. Allows in 29% more light and is 21% more open to airflow compared to conventional screen. PVDF 21/17 mesh, 78% light transmissive.

InView™ Screen

Standard screen on Pella wood windows and patio doors, as well as Rolscreen® retractable screens on wood casement windows.

More transparent than conventional fiberglass, allows 14% more light and is 8% more open to airflow than conventional screen.

Vinyl coated 18/18 mesh fiberglass, Complies with performance requirements of SMA 1201.

Conventional Screen

Standard on Rolscreen® retractable screens on patio doors.

Black vinyl coated 18/14 mesh fiberglass, Complies with ASTM D 3656 and SMA 1201.

Improved airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

Brand Overview

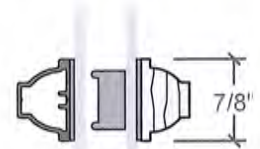
Grilles

For a full list of grille size and pattern availability contact your local Pella sales representative.

Integral Light Technology® Grilles

- Extruded aluminum grilles are adhered to the exterior face
- Wood grilles are adhered to the interior face
- Between-the-glass foam spacers, which are aligned with the interior and exterior grilles, replicate the appearance of true divided lights
- Typical grilles are 7/8" wide ogee profile, other standard and custom widths are available
- Custom grille patterns are available

Grille Profile

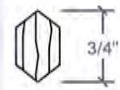


7/8", 1-1/4", and 2" widths

Roomside Removable Grilles

- Roomside wood grilles are securely attached to the interior, but can be removed for glass cleaning
- Typical grilles are 3/4" wide, other standard widths and profiles are available

Grille Profile

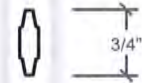


3/4", 1-1/4", and 2" widths

Grilles-Between-the-Glass¹

- Permanent aluminum grilles are factory-installed inside the airspace of insulating glass
- White, Tan², Brown, Putty², Black, Morning Sky Gray, Ivory, Sand Dune, Harvest, Cordovan or Brickstone interior.
- Grilles are 3/4" wide
- Interior colors complement today's most popular interior finishes; choose a color to coordinate with the window or door frame, or select a contrasting grille color for a one-of-a-kind look

Grille Profile

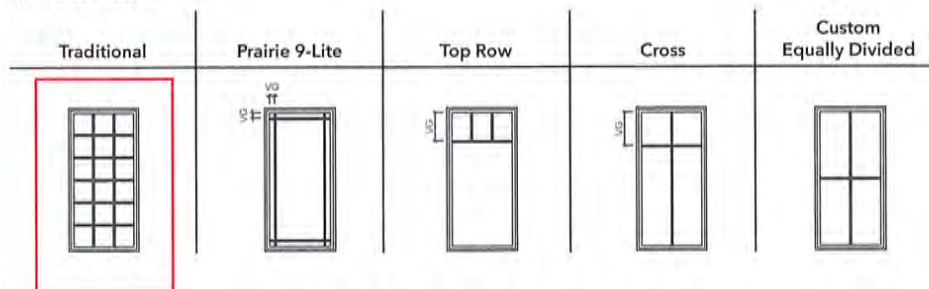


3/4" width

Interior GBG Colors



Available Patterns



Pattern availability may vary depending on size of unit.

Not all patterns represented and custom configurations are also available, for details contact your local Pella sales representative.

¹) Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

²) Tan or Putty Interior GBG colors are available in single-tone (Tan/Tan or Putty/Putty).

Hardware

Consult your local Pella Sales Representative for a full list of available hardware options.

Rustic Collection



Casement/Awning Window



Double-Hung Window



Hinged Patio Door, Bifold Door 1



Sliding Patio Door, Multi-slide Door 2

Finishes



Distressed Nickel



Distressed Bronze

Classic Collection



Casement/Awning Window



Double-Hung Window



Hinged Patio Door, Bifold Door 1



Sliding Patio Door, Multi-slide Door 2

Finishes



Oil-Rubbed Bronze



Antique Brass



Bright Brass



Satin Nickel



Matte Black

Essential Collection



Casement/Awning Window



Double-Hung Window



Hinged Patio Door, Bifold Door 1



Sliding Patio Door



Multi-Slide Door

Finishes



White



Champagne



Brown



Matte Black



Bright Brass



Satin Nickel



Oil-Rubbed Bronze

(1) When selected as an option on Scenescape doors this hardware is only available on Bifold configurations with a passage door.

(2) When selected as an option on Scenescape doors this hardware will not allow lead panel to stack completely.

Because of printing limitations, actual colors may vary slightly from those shown.



Architect Series®
Traditional
Awning



Air, Water, & Structural Performance

Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration	Design Pressure	Forced Entry
LC30 - CW50	14.62 psf	0.05	30 - 50 psf	10

Thermal Performance

Vent Units
11/16" glass thickness;
Triple-Pane Insulating
glass is also available.

Type of Glazing (Argon fill)	U-Factor	SHGC	VLT %	CR	Energy Star® Capable
Advanced Low-E IG	0.28 - 0.33	0.21 - 0.26	0.38 - 0.48	54 - 61	NC, SC, S
SunDefense™ Low-E IG	0.28 - 0.33	0.16 - 0.20	0.35 - 0.44	55 - 61	NC, SC, S
AdvancedComfort Low-E IG	0.25 - 0.31	0.21 - 0.25	0.37 - 0.47	42 - 47	N, NC, SC, S
NaturalSun Low-E IG	0.29 - 0.34	0.37 - 0.47	0.43 - 0.54	54 - 61	N, NC

Sound Performance

Additional glass options available, values for Large Awning may vary

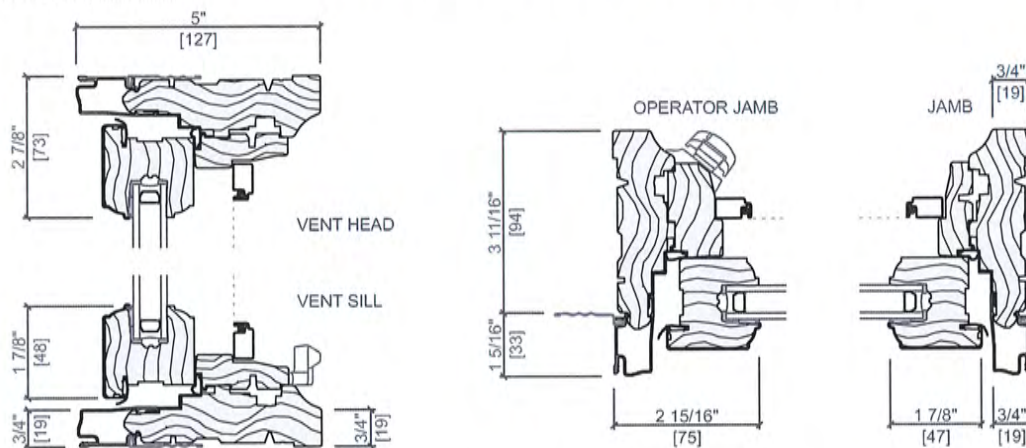
Frame Size Tested	Type of Glazing	Integral Grilles		Removable or No Grilles	
		STC	OITC	STC	OITC
Vent; 53" x 29"	2.5mm / 2.5mm glass	27	24	27	23
	3mm / 5mm glass	34	29	32	28
	3mm / 6mm glass PVB	33	29	33	28
Fixed; 47" x 59"	3mm / 3mm glass	30	27	29	24
	3mm / 5mm glass	-	-	32	27
	3mm / 6mm glass PVB	-	-	32	28

Sound testing results shown for vent awning are taken from similarly configured vent casement.

Code Approvals: Hallmark Certified; FPAS#: Standard=FL11284; Large Awning= FL14345 TDI#: Standard=WIN-1581; Large Awning= WIN-1581

Maximum performance when glazed with the appropriate glass. See the Performance section earlier in this manual to learn more about performance standards and ratings.

Performance varies based on actual product attributes.



Other frame types are available. Not to scale. All dimensions are approximate. Large Awning operator is located on sill instead of jamb.

Standard Sizes

Vent Units

	(451) (432)	(552) (533)	(603) (584)	(654) (635)	(756) (737)
Opening	1' 5 3/4"	1' 9 3/4"	1' 11 3/4"	2' 1 3/4"	2' 5 3/4"
Frame	1' 5"	1' 9"	1' 11"	2' 1"	2' 5"
1' 5"	1717				
1' 9"		2121			
1' 11"			2323		
2' 1"				2525	
2' 5"					2929

Vent and Fixed Units

	(832) (813)	(908) (889)	(1 060) (1 041)	(1 213) (1 194)	(1 365) (1 346)	(1 518) (1 499)
Opening	2' 8 3/4"	2' 11 3/4"	3' 5 3/4"	3' 11 3/4"	4' 5 3/4"	4' 11 3/4"
Frame	2' 8"	2' 11"	3' 5"	3' 11"	4' 5"	4' 11"
1' 5"	3217	3517	4117	4717	5317	5917
1' 9"	3221	3521	4121	4721	5321	5921
1' 11"	3223	3523	4123	4723	5323	5923
2' 1"	3225	3525	4125	4725	5325	5925
2' 5"	3229	3529	4129	4729	5329	5929

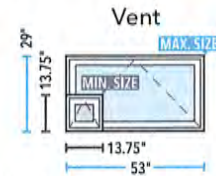
Large Awning Standard Sizes

Vent Units

	(908) (889)	(1 060) (1 041)	(1 213) (1 194)	(1 365) (1 346)	(1 518) (1 499)
Opening	2' 11 3/4"	3' 5 3/4"	3' 11 3/4"	4' 5 3/4"	4' 11 3/4"
Frame	2' 11"	3' 5"	3' 11"	4' 5"	4' 11"
2' 11"	3535	4135	4735	5335	5935
3' 5"	3541	4141	4741	5341	5941
3' 11"	3547	4147	4747	5347	5947
4' 5"	3553	4153	4753	5353	5953
4' 11"	3559	4159	4759	5359	5959

Special Sizes

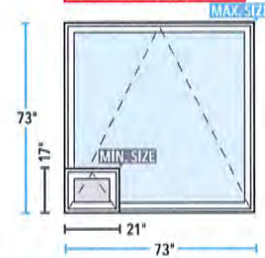
Special sizes are available in 1/8" increments.



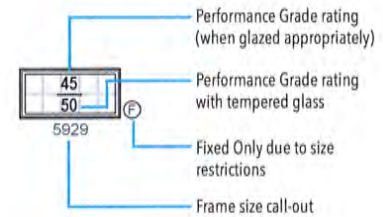
Frame height cannot exceed frame width on standard awning vent special sizes.

3 EA. APPX. 5' WIDE x 2' TALL (UPPER)

Large Awning



Frame Width and Frame Height cannot both exceed 59".



HurricaneShield® Impact Resistant glazing with higher design pressure ratings available.





Architect Series®
Traditional
Casement



Photos By:
J. Michael Worthington, Jr.
www.worthingtonimages.com

Air, Water, & Structural Performance

Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration	Design Pressure	Forced Entry
CW30 - CW50	14.62 psf	.05	30 - 50 psf	10

Thermal Performance

Type of Glazing (Argon fill)	U-Factor	SHGC	VLT %	CR	Energy Star® Capable
Advanced Low-E IG	0.28 - 0.34	0.21 - 0.43	0.38 - 0.49	55 - 62	NC, SC, S
SunDefense™ Low-E IG	0.28 - 0.33	0.16 - 0.24	0.35 - 0.44	55 - 62	NC, SC, S
AdvancedComfort Low-E IG	0.25 - 0.31	0.21 - 0.49	0.37 - 0.51	42 - 48	N, NC, SC, S
NaturalSun Low-E IG	0.29 - 0.34	0.18 - 0.47	0.40 - 0.54	54 - 61	N, NC, SC, S

Vent Units

1 1/16" glass thickness; Triple-Pane Insulating glass is also available.

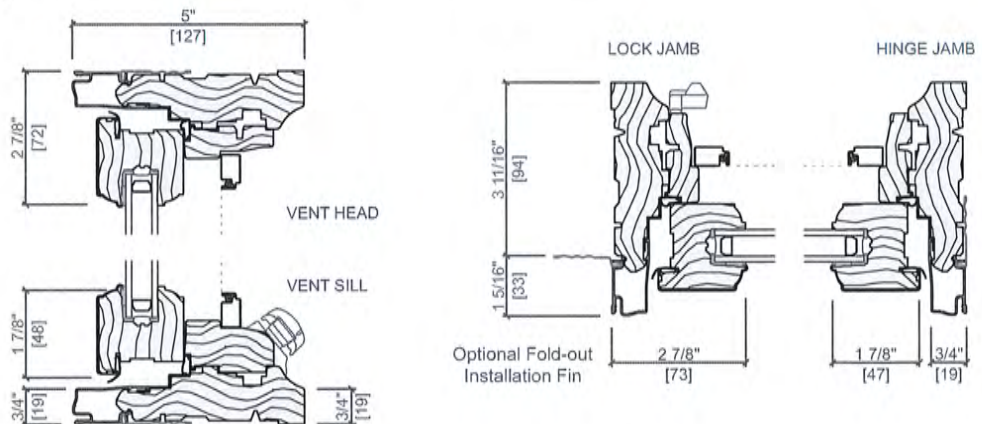
Sound Performance

Frame Size Tested	Type of Glazing	Integral Grilles		Removable or No Grilles		
		STC	OITC	STC	OITC	
Vent; 29" x 53"	1 1/16" overall thickness	2.5mm / 2.5mm glass	28	27	28	25
		3mm / 5mm glass	34	29	33	27
		4mm / 6mm glass	33	28	32	27
		3mm / 6mm glass PVB	34	30	33	28
		3mm / 7.6mm glass PVB	33	31	-	-
	1" overall thickness	3mm / 3mm / 3mm glass	31	28	30	25
Fixed; 59" x 47"	1 1/16" overall thickness	3mm / 3mm glass	30	27	29	24
		3mm / 5mm glass	-	-	32	27
		3mm / 6mm glass PVB	-	-	32	28

Code Approvals: Hallmark Certified; **FPAS#:** Fixed FL11277; **TDI#:** Fixed WIN-1582

Maximum performance when glazed with the appropriate glass. See the Performance section earlier in this manual to learn more about performance standards and ratings.

Performance varies based on actual product attributes.



Other frame types are available.
Not to scale.
All dimensions are approximate.

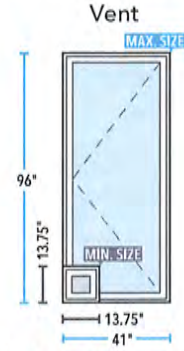
Standard Sizes

Vent and Fixed Units

	(451) (432)	(552) (533)	(603) (584)	(654) (635)	(756) (737)	(832) (813)	(908) (889)
Opening	1' 5 3/4"	1' 9 3/4"	1' 11 3/4"	2' 1 3/4"	2' 5 3/4"	2' 8 3/4"	2' 11 3/4"
Frame	1' 5"	1' 9"	1' 11"	2' 1"	2' 5"	2' 8"	2' 11"
1' 2"	50 1714	50 2114	50 2314	50 2514	50 2914	50 3214	50 3514
1' 5"	50 1717	50 2117	50 2317	50 2517	50 2917	50 3217	50 3517
1' 9"		50 2121					
1' 11"			50 2323				
2' 1"	50 1725	50 2125	50 2325	50 2525	50 2925	50 3225	50 3525
2' 5"				50 2929			
2' 8"	50 1732	50 2132	50 2332	50 2532	50 2932	50 3232	50 3532
2' 11"	50 1735	50 2135	50 2335	50 2535	50 2935	50 3235	50 3535
3' 5"	50 1741	50 2141	50 2341	50 2541	50 2941	50 3241	50 3541
3' 11"	50 1747	50 2147	50 2347	50 2547	50 2947	50 3247	50 3547
4' 5"	50 1753	50 2153	50 2353	50 2553	50 2953	50 3253	45 50 3553
4' 11"	50 1759	50 2159	45 50 2359	45 50 2559	45 50 2959	45 50 3259	50 3559
5' 5"	50 1765	45 50 2165	40 50 2365	40 50 2565	40 50 2965	50 3265	50 3565
5' 11"	50 1771	45 50 2171	35 50 2371	35 50 2571	45 50 2971	45 50 3271	45 50 3571
6' 1"	50 1773	40 50 2173	35 50 2373	30 50 2573	45 50 2973	45 50 3273	45 50 3573

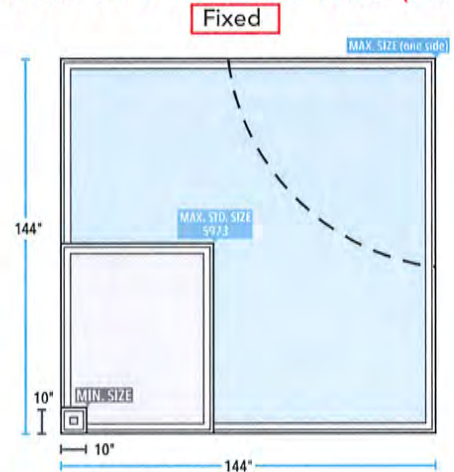
Special Sizes

Special sizes are available in 1/8" increments.



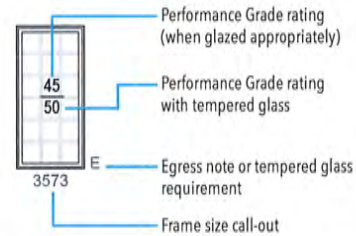
Vent units Max frame area cannot be greater than 19.5 sq. ft.

3 EA. APPX. 5' WIDE x 6' TALL (LOWER)



Maximum frame area = 66.25 sq. ft.

Maximum glass area = 60 sq. ft.



HurricaneShield® Impact Resistant glazing with higher design pressure ratings available.

Egress Notes:

- E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 ft².
- E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 ft².
- E2 = With optional side pivot hardware, window meets minimum clear opening of 24" height, 20" width, and 5.7 ft².
- E3 = With optional side pivot hardware, window meets minimum clear opening of 24" height, 20" width, and 5.0 ft².

Check all applicable local codes for emergency egress requirements.

Special sizes wider than 35" do not meet egress due to restricted sash opening angle.

Not to scale.

Ⓢ Fixed units only.

Ⓣ Tempered glass is standard.





Architect Series®
Traditional

Out-Swing
Door



Air, Water,
& Structural
Performance

Door Height	Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration	Design Pressure	Forced Entry
≤ 8'	LC55 - LC70	10.66	0.15	55 - 70 psf	40
≥ 8'	LC40 - LC50	8.36	0.15	40 - 50 psf	40

Thermal
Performance

13/16" glass thickness; Triple-Pane Insulating glass is also available.

Type of Glazing (Argon fill)	U-Factor	SHGC	VLT %	CR	Energy Star® Capable
Advanced Low-E IG	0.28 - 0.31	0.16 - 0.22	0.27 - 0.39	59 - 62	N, NC, SC, S
SunDefense™ Low-E IG	0.28 - 0.31	0.12 - 0.16	0.25 - 0.36	60 - 62	N, NC, SC, S
AdvancedComfort Low-E IG	0.25 - 0.28	0.16 - 0.21	0.27 - 0.38	47 - 49	N, NC, SC, S
NaturalSun Low-E IG	0.29 - 0.33	0.28 - 0.39	0.31 - 0.44	59 - 61	N, NC

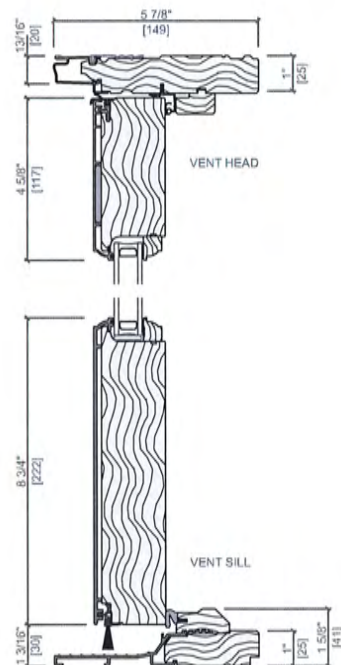
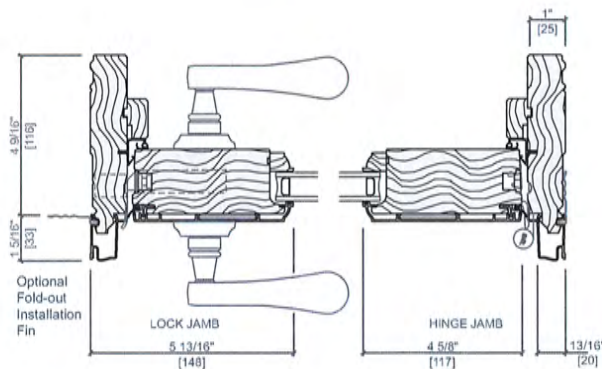
Sound
Performance

Frame Size Tested	Type of Glazing		Integral Grilles		Removable or No Grilles	
			STC	OITC	STC	OITC
71-1/4" x 81-1/2"	13/16" overall thickness	3mm / 3mm glass 3mm / 5mm glass	32	27	30	25
			36	30	34	28

Code Approvals: Hallmark Certified; FPAS#: Transom = FL11277, Door = FL14302.5; TDI#: Transom = WIN-1582, Door = DR-548

See the Performance section earlier in this manual to learn more about performance standards and ratings.

Performance varies based on actual product attributes.



Other frame types are available. Low Profile sill option available.
Not to scale. All dimensions are approximate.

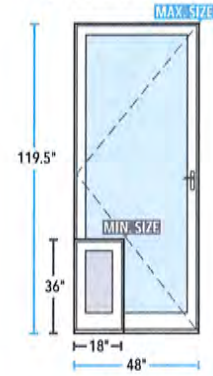
Standard Sizes

	(476)	(664)	(781)	(870)	(933)	(981)
	(457)	(645)	(762)	(851)	(914)	(962)
Opening	1' 6 3/4"	2' 2 1/8"	2' 6 3/4"	2' 10 1/4"	3' 0 3/4"	3' 2 5/8"
Frame	1' 6"	2' 1 3/8"	2' 6"	2' 9 1/2"	3' 0"	3' 1 7/8"
(2 032) (2 019)	6' 8"	6' 7 1/2"				
(2 083) (2 070)	6' 10"	6' 9 1/2"				
(2 197) (2 184)	7' 2 1/2"	7' 2"				
(2 438) (2 426)	8' 0"	7' 11 1/2"				
(3 048) (3 035)	10' 0"	9' 11 1/2"				
	SIDELIGHT 1880	LEFT 2680	LEFT 3080	LEFT 3480	LEFT 3680	LEFT 3880
	SIDELIGHT 1882	LEFT 2682	LEFT 3082	LEFT 3482	LEFT 3682	LEFT 3882
	SIDELIGHT 1886	LEFT 2686	LEFT 3086	LEFT 3486	LEFT 3686	LEFT 3886
	SIDELIGHT 1896	LEFT 2696	LEFT 3096	LEFT 3496	LEFT 3696	LEFT 3896
		LEFT 26120	LEFT 30120	LEFT 34120	LEFT 36120	LEFT 38120

Special Sizes

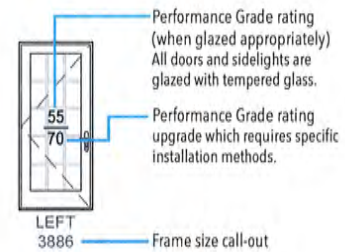
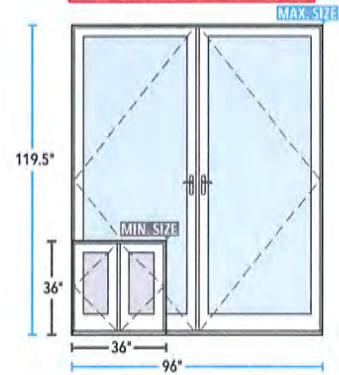
Special sizes are available in 1/8" increments.

Single Door (L/R)



2 EA. ASSEMBLIES

Double-Door (AP/PA)



HurricaneShield® Impact Resistant glazing with higher design pressure ratings available.

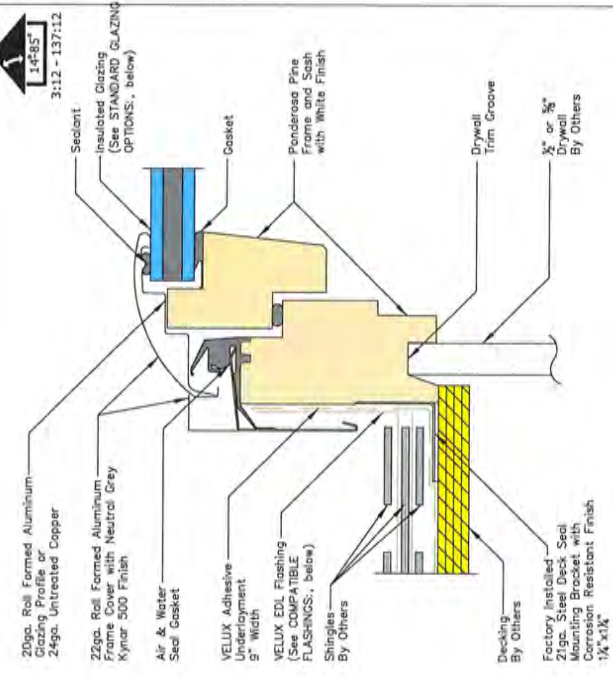
Fixed Casement Transoms with wide stiles for matching glass sight lines and companion fixed frame direct set windows available for transom combinations. See the on-line ADM for details or consult your local Pella Sales Representative for details.

Not to scale.

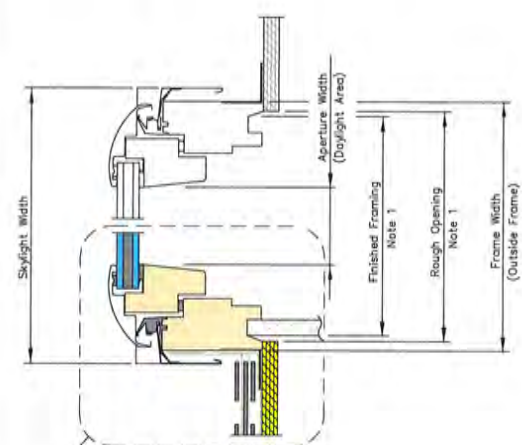
Traditional grille patterns shown.

Left-hand doors shown, right-hand and fixed also available.

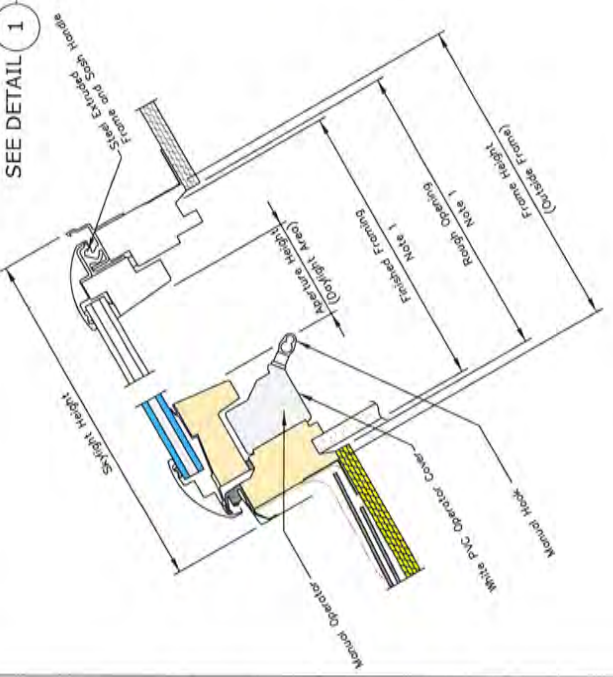




DETAIL 1



HORIZONTAL CROSS SECTION



VERTICAL CROSS SECTION

PRODUCT DIMENSIONS

Size	METRIC UNITS (MILLIMETERS)						IMPERIAL UNITS (INCHES)							
	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Rough Opening Width	Frame Width	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Feet)	
CD1	333	546	407	585.7	862	695	519	720	21	21 1/2	16	22 5/16	28 7/8	2.27
CD4	533	546	407	585.7	962	975	799	1000	21	21 1/2	16	22 5/16	31 7/16	3.99
CD6	533	546	407	585.7	1152	1175	999	1200	21	21 1/2	16	22 5/16	39 5/16	4.38
CD8	533	546	407	585.7	1382	1395	1219	1420	21	21 1/2	16	22 5/16	48	5.34
M02	783	776	637	796.7	782	775	599	763	30	30 9/16	25	31 3/8	30	3.46
M04	783	776	637	796.7	962	975	799	1000	30	30 9/16	25	31 3/8	39 5/16	4.11
M06	783	776	637	796.7	1152	1175	999	1200	30	30 9/16	25	31 3/8	48	4.86
M08	783	776	637	796.7	1382	1395	1219	1420	30	30 9/16	25	31 3/8	55 15/16	5.57
S01	1123	1136	897	1156.7	862	695	519	720	44	44 3/4	39 1/4	45 9/16	27 3/8	10.73
S06	1123	1136	897	1156.7	1152	1175	999	1200	44	44 3/4	39 1/4	45 9/16	47 1/4	10.73

- STANDARD GLAZING OPTIONS:**
- Laminated LOWES (04)
 - Tempered LOWES (05)
 - Impact (06)
 - Snowload (10)
- *Tempered Exterior Pane used with all options

- COMPATIBLE FLASHINGS:**
- EDL Step flashing
 - EKL/EXX Combustible flashing
 - EDW Tile flashing
 - EKW/EXX Combustible flashing
 - EDM Metal roof flashing
 - ECB Counter flashing for curbs

NOTES:
 1. THE ROUGH OPENING and FINISHED FRAMING dimensions are based on perpendicular interior finish material on all four sides and these dimensions will vary depending on the roof construction, the thickness and the design of the interior finish material.
 2. Max. sash opening is 11" by stainless steel chain.

VELUX
 1418 Edwards Road
 Greenville, SC 29649
 1-800-888-VELUX
 www.VELUXUSA.com

SKY-GLOBAL Product Management

VS - Manual Venting Skylight

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Account: 101-0000-321.30.01

REFERENCE No. BBS20-000066

DOCKET No. 07-67-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Front Porch

Project Address 1475-77 Mars Ave.

Applicant Name Giovanna Ziemann

Applicant Address 1477 Mars Ave.
(if different than above)

Applicant Contact (201) 491-3270

giannaperc @ hotmail.com

Brief Project Description Remove & rebuild front porch

Signature: Giovanna Ziemann

Date: 6/16/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Brian & Giovanna Ziemann Property Address 1475-77 Mars Ave.

Owner / Agent Contact (201) 491-3270 , giannaperc @ hotmail.com

Owner / Agent Signature Giovanna Ziemann Date: 6/16/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

ZIEMANN RESIDENCE

1477 Mars Ave.
Lakewood, OH 44107

DRAWING LIST

GENERAL COVER SHEET
ARCHITECTURE PLANS
A101 ELEVATIONS & SECTIONS
A201

PROJECT DESCRIPTION

THIS PROJECT SCOPE INCLUDED THE FOLLOWING COMPONENTS:
- DEMOLITION OF EXISTING FRONT PORCH, EXISTING PORCH ROOF TO REMAIN.
- REBUILDING FRONT PORCHES IN EXISTING LOCATION ON NEW STRUCTURE.

ZONING INFORMATION

SITE ZONING:
R2
1123.05 HEIGHT REGULATIONS: UNCHANGED
PRIMARY STRUCTURE 35'-0" ALLOWABLE
ACCESSORY STRUCTURE 15'-0" ALLOWABLE
1123.07 MINIMUM YARD REQUIREMENTS: UNCHANGED
REAR DEPTH 40'-0"
SIDE YARD 5'-0"
SUM OF SIDE YARDS 15'-0"
1123.08 LOT AREA COVERAGE: UNCHANGED

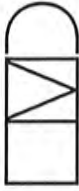
CODE INFORMATION

CODE REFERENCED:
2019 RESIDENTIAL CODE OF OHIO
2019 IECC

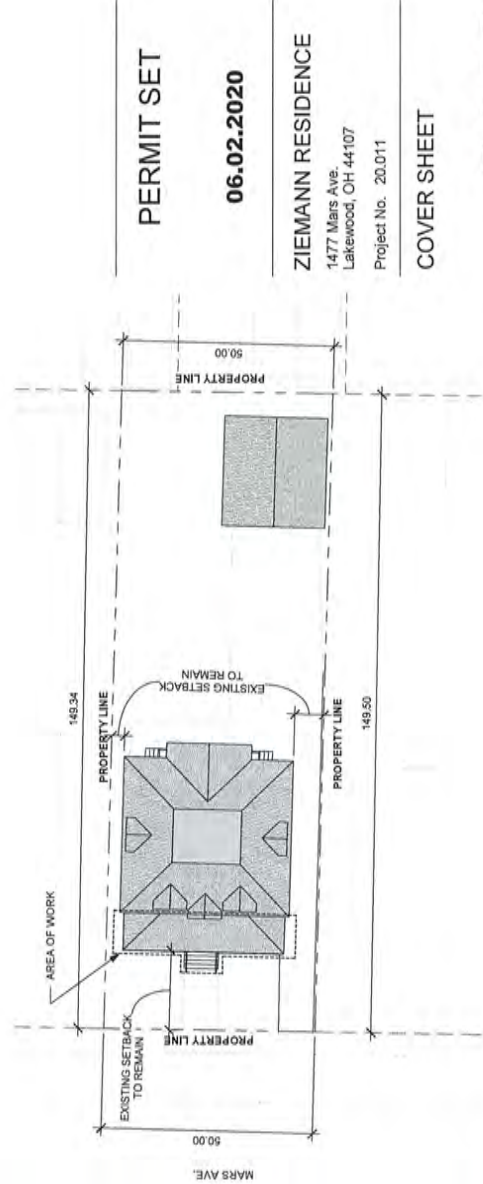
GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY, STATE CODES, AND ALL OTHER APPLICABLE CODE REQUIREMENTS. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY LOCAL, STATE AND FEDERAL LAW TO INSURE PUBLIC AND WORKER SAFETY.
- COMPLY WITH OSHA AND EPA REQUIREMENTS FOR LEAD PAINT REMOVAL AND DISPOSAL, AS WELL AS ANY ADDITIONAL LEAD OR SUBSTANTIABILITY REQUIREMENTS PERTAINING TO THIS PROJECT.
- ALL CONTRACTORS TO VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS, DIMENSIONS, HEIGHTS, CONFLICTS, AND POSSIBLE RISKS PRIOR TO BEGINNING ANY WORK. CONTRACTORS TO REVIEW THE CONTRACT DOCUMENTS, INCLUDING GENERAL NOTES, SPECIFICATIONS, AND ALL APPLICABLE CODE REQUIREMENTS. NOTIFY MODAMERICAN DESIGN AND GENERAL CONTRACTOR AS SOON AS POSSIBLE OF DEFICIENCIES OR DISCREPANCIES FOR RESOLUTION OF ISSUES, PROCEEDING WITHOUT NOTIFICATION OR COORDINATION IS ACCEPTANCE OF RESPONSIBILITY BY THE CONTRACTOR.
- MEANS & METHODS: NEITHER THE DESIGN PROFESSIONAL, NOR ITS CONSULTANTS SHALL HAVE ANY LIABILITY FOR THE DESIGN, CONSTRUCTION, OR PERFORMANCE OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN A SET OF RECORD DOCUMENTS AT THE SITE DURING WORK. DEVIATIONS AND CHANGES FROM THE CONTRACT DOCUMENTS SHALL BE RECORDED ON THIS SET AFTER NOTIFICATION IS MADE TO MODAMERICAN DESIGN THROUGH CHANGE ORDER. AT COMPLETION OF CONSTRUCTION, CONTRACTOR TO PROVIDE ONE HARD COPY AND ONE PDF FORMAT (SCANNED) COPY TO OWNER.
- DO NOT SCALE DRAWINGS: USE WRITTEN DIMENSIONS. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, CONTACT MODAMERICAN DESIGN FOR RESOLUTION BEFORE PROCEEDING.
- HORIZONTAL DIMENSIONS INDICATED ARE TO FINISHED FACE OF CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- VERTICAL DIMENSIONS ARE FROM TOP OF FINISHED FLOOR SLAB OR FINISHED WOOD FLOOR SURFACE, UNLESS OTHERWISE INDICATED. (A.F.F.)
- DIMENSIONS SHALL NOT BE MODIFIED WITHOUT APPROVAL OF ARCHITECT UNLESS OTHERWISE INDICATED.
- DIMENSIONS INDICATED AS "HOLD" OR "CLEAR" MUST BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS MUST BE REVIEWED WITH MODAMERICAN DESIGN BEFORE PROCEEDING WITH WORK.
- ANY DIMENSION NOTED "VERIFY" OR "VERIFY IN FIELD (VIFT)" MUST BE REVIEWED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION.

Issue / Revised	No.	Date	Description



MODAMERICAN DESIGN
15610 ALDERSYDE DR
SHAKER HEIGHTS OH 44120
T: 216.400.5595
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PERMIT SET

06.02.2020

ZIEMANN RESIDENCE
1477 Mars Ave.
Lakewood, OH 44107

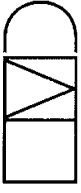
Project No. 20.011

COVER SHEET

G000

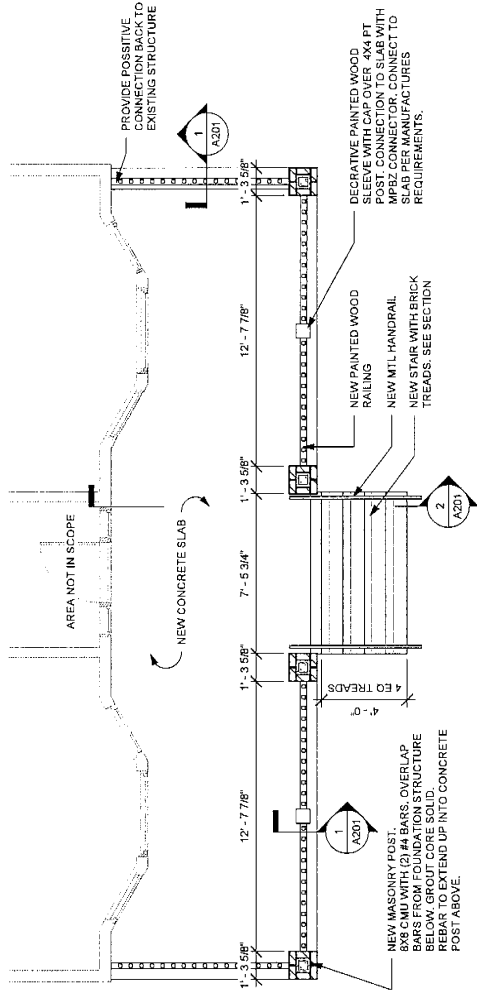
CD

1 SITE PLAN
1" = 20'-0"

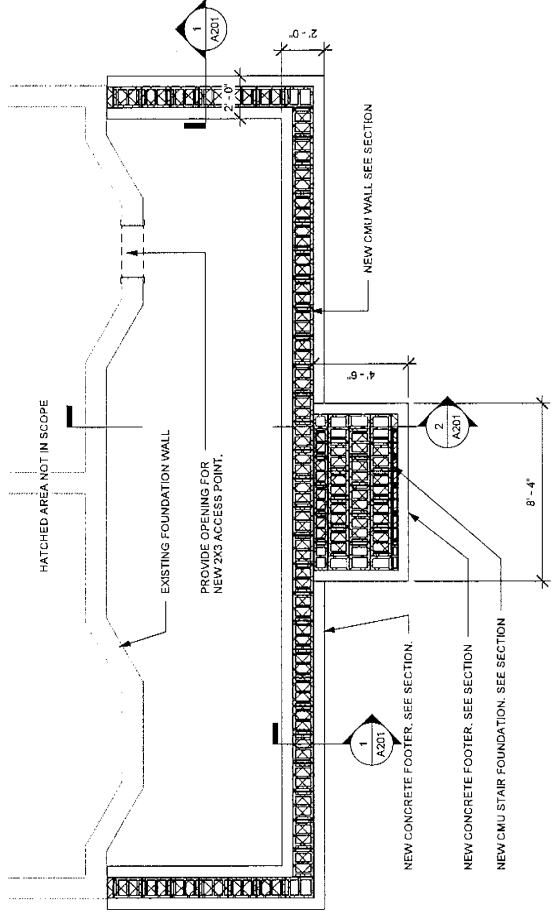


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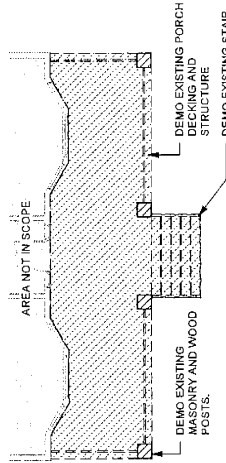
Issued / Revised
 No. Date Description



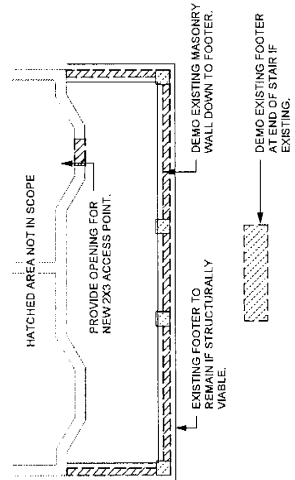
1 01 FLOOR PLAN
 1/4" = 1'-0"



2 01 FOUNDATION PLAN
 1/4" = 1'-0"



4 FIRST FLOOR DEMO PLAN
 1/8" = 1'-0"



3 FOUNDATION DEMO PLAN
 1/8" = 1'-0"

PERMIT SET

06.02.2020

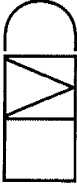
ZIEMANN RESIDENCE
 1477 Maers Ave.
 Lakewood, OH 44107

Project No. 20.011

PLANS

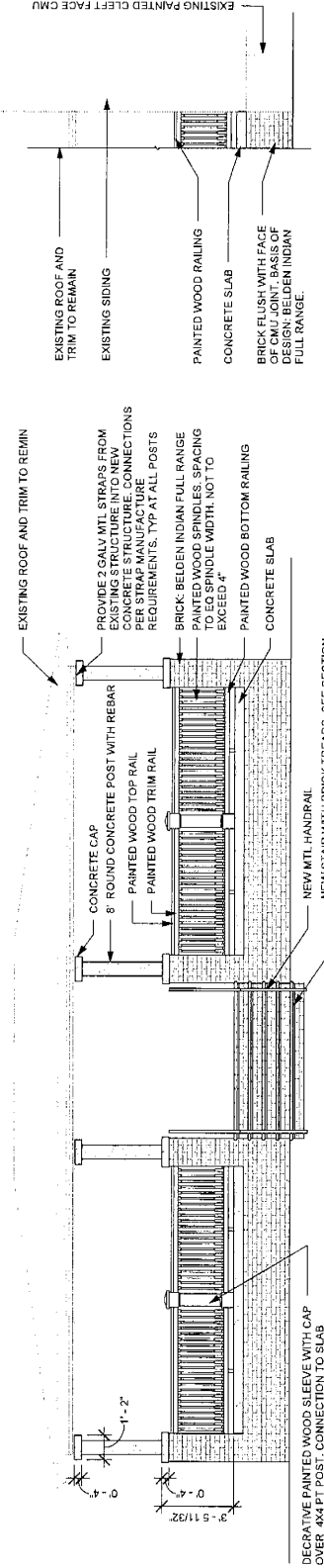
CD

A101



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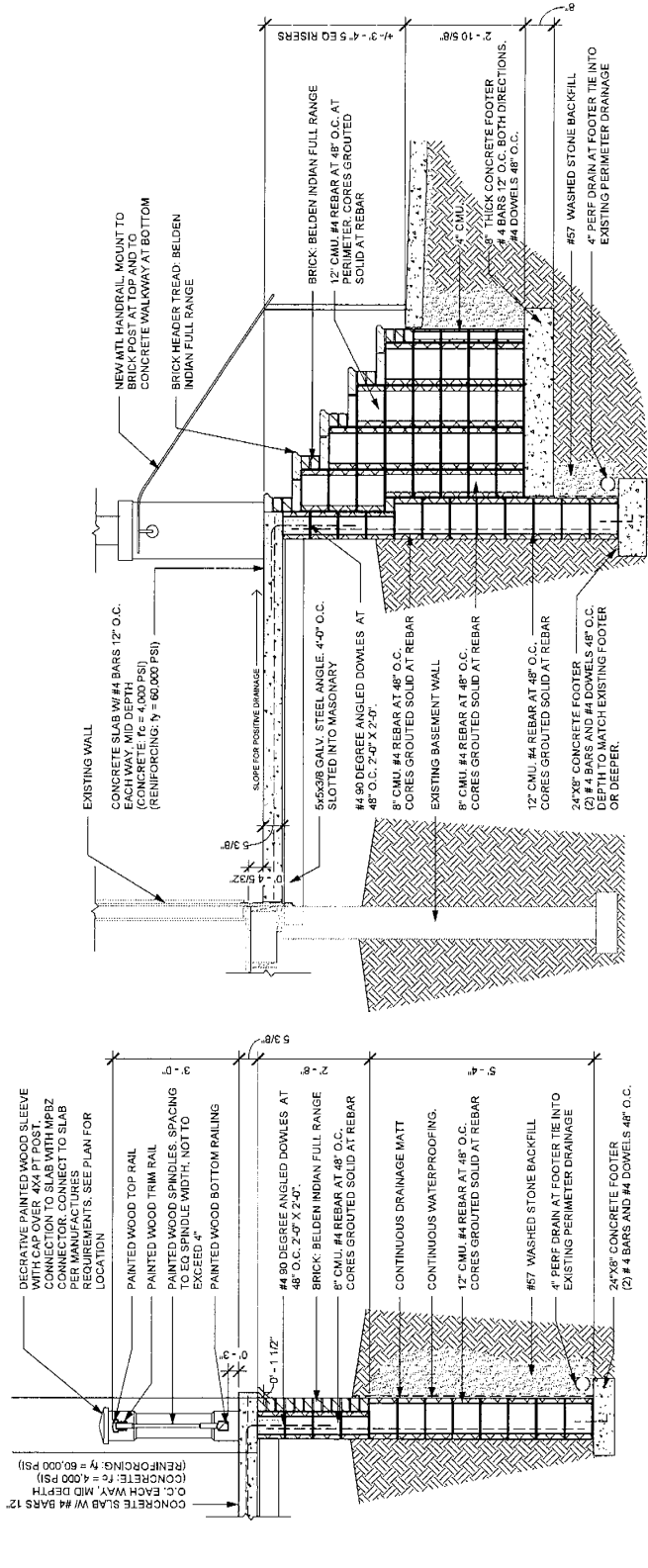
Issue / Revised	No.	Date	Description



FRONT ELEVATION

3 ELEVATION
 1/4" = 1'-0"

PARTIAL SIDE ELEVATION



1 SECTION AT RAILING
 1/2" = 1'-0"

2 SECTION AT STAIR
 1/2" = 1'-0"

PERMIT SET

06.02.2020

ZIEMANN RESIDENCE
 1477 Mats Ave.
 Lakewood, OH 44107
 Project No. 20.011

ELEVATIONS & SECTIONS

A201

CD

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000067

DOCKET No. 07-65-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name KHANDERWANI RESIDENCE

Project Address 1003 PARKSIDE DR.

Applicant Name PATTI SARACUSA

Applicant Address 29341 WILKIN RD.
(if different than above)

Applicant Contact (216) 856-2223

SaracusaP @ doverremodeling.com

Brief Project Description GARAGE ADDITION TO ARCHITECTURAL COMPLIMENT

EXISTING HOME. ADDITION TO BE LOCATED ON SIDE YARD + 12'x22'.

Signature: [Signature]

Date: 6.22.2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name ANJAY KHANDERWANI

Property Address 1003 PARKSIDE

Owner / Agent Contact (216) 856-2223

SaracusaP @ doverremodeling.com

Owner / Agent Signature [Signature]

Date: 6.22.2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

DOVER

Home Remodelers, Inc.

DOVER
Floor & Tile Center

Dover Home Remodelers
29341 Lorain Road
North Olmsted, OH 44070
Office 440.777.7555
Fax 440.777.8188

Dover Floor & Tile Center
26824 Lorain Road
North Olmsted, OH 44070
Office 440.423.TILE (8453)
Fax 440.777.8188

www.doverremodeling.com
www.doverfloorandtile.com

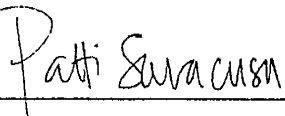
6/19/2020

I authorize members of the City of Lakewood's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application. I authorize Dover Home Remodelers to submit application on my behalf.

X  _____

Owner Name: Anjay Khandelwhal

Property Address: 1003 Parkside Drive

X  _____

Agent Contact: Patti Saracusa

Dover Home Remodelers
26824 Lorain Rd.
North Olmsted, OH.44070



DOVER
Home Remodelers, Inc.

DOVER
Floor & Tile Center

Dover Home Remodelers
29341 Lorain Road
North Olmsted, OH 44070
Office 440.777.7555
Fax 440.777.8188

Dover Floor & Tile Center
26824 Lorain Road
North Olmsted, OH 44070
Office 440.423.TILE (8453)
Fax 440.777.8188

www.doverremodeling.com
www.doverfloorandtile.com

Architectural Board of Review
Attention: David Bass
City of Lakewood

June 22, 2020

Dear Architectural Board of Review,

I am submitting for an Architectural Review Board approval for a garage addition on the property of 1003 Parkside. The owners would like to construct an attached garage addition in what would be defined as the side yard and is visible from the public right of way. The addition would architecturally compliment the existing home with a new overhead door, roof shingles, siding and brick on the facade to match existing, as closely as possible.

A scaled site plan, sections and perspective drawings of proposed garage addition are included in support of the requested Architectural Review Board approval. We are happy to consult further, answer any questions and address any concerns prior to formal hearing.

Respectfully submitted,
Patricia Saracusa, Agent for Anjay and Cathleen Khandelwal
Dover Home Remodelers, Inc.
29341 Lorain Road
North Olmsted, OH 44070
440-777-7555
saracusap@doverremodeling.com

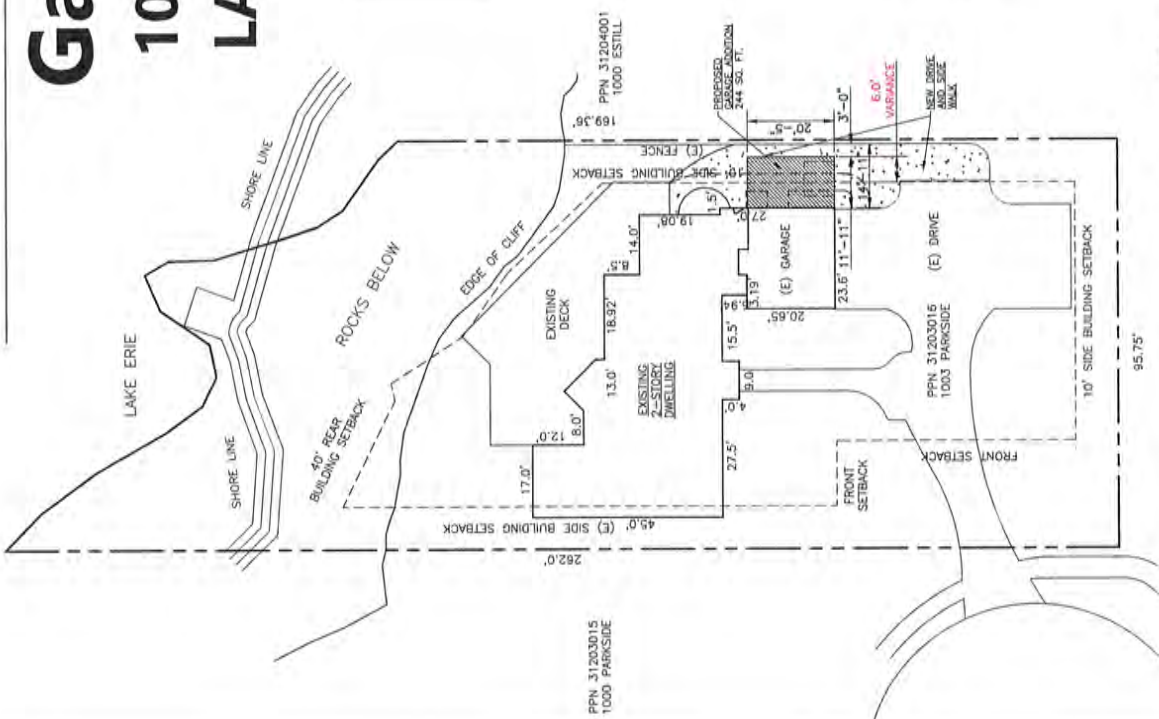


KHANDELWHAL RESIDENCE

Garage Addition 1003 PARKSIDE DRIVE LAKWOOD, OH 44107

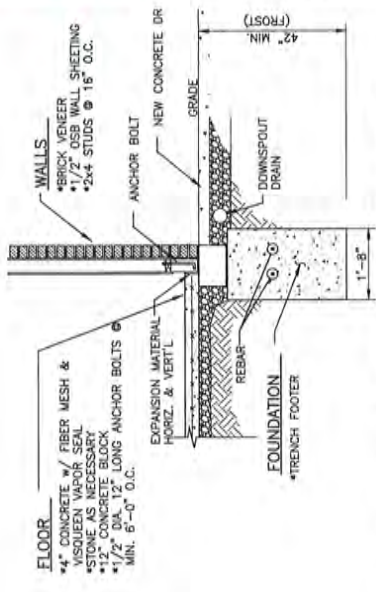
DRAWING INDEX:

- T-1 COVER SHEET & SECTIONS
- A-2 DEMO & PROPOSED FRONT ELEVATIONS
- A-3 DEMO & PROPOSED RIGHT ELEVATIONS
- A-4 DEMO & PROPOSED REAR ELEVATIONS

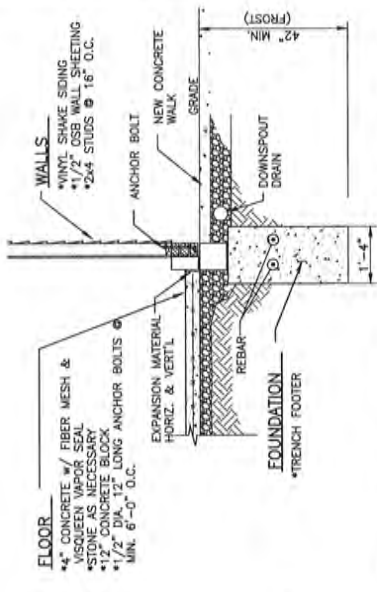


SITE PLAN
Scale: 1" = 20'-0"

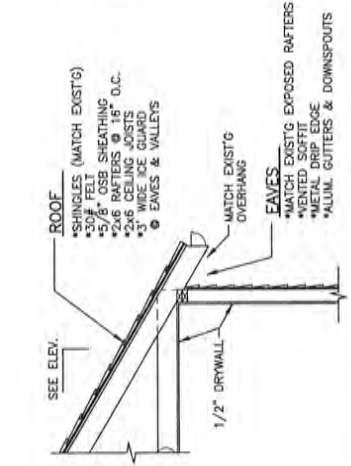
THESE DRAWINGS AND DESIGNS WILL BE RELEASED AT AUTHORIZATION OF PROJECT. USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RIGHTS FROM ALL AFFECTED JURISDICTIONS. DOVER HOME REMODELERS, INC. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.



TYPICAL SECTION - ADDITION FRONT WALL
1/2" = 1'-0"



TYPICAL SECTION - ADDITION OTHER WALLS
1/2" = 1'-0"



TYPICAL SECTION - WALLS/ROOF
1/2" = 1'-0"



DATE	REVISIONS
06/24/2020	09/24/2020
29311 Lorain Road North Channah, Ohio 44170 Phone: 440-777-8188 Fax: 440-777-2555 www.doverremodeling.com	

PRELIMINARY APPROVAL DATE _____ CUSTOMER SIGNATURE _____
 FINAL APPROVAL DATE _____ CUSTOMER SIGNATURE _____
 NAME: KHANDELWHAL RESIDENCE
 ADDRESS: 1003 PARKSIDE DR., LAKEWOOD, OH
 CITY: LAKEWOOD, OH
 ZIP CODE: 44107 PHONE: _____
 Date: 06/18/2020
 Scale: AS NOTED
 Drawn By: BT/CA
 State Ref: PS
 Drawing: T-1

DATE	REVISIONS
06/24/2020	CIP A1B

29341 Lorain Road
 North Olmsted, Ohio 44070
 Phone: 440-777-1555
 Fax: 440-777-8188
 www.doverremodeling.com

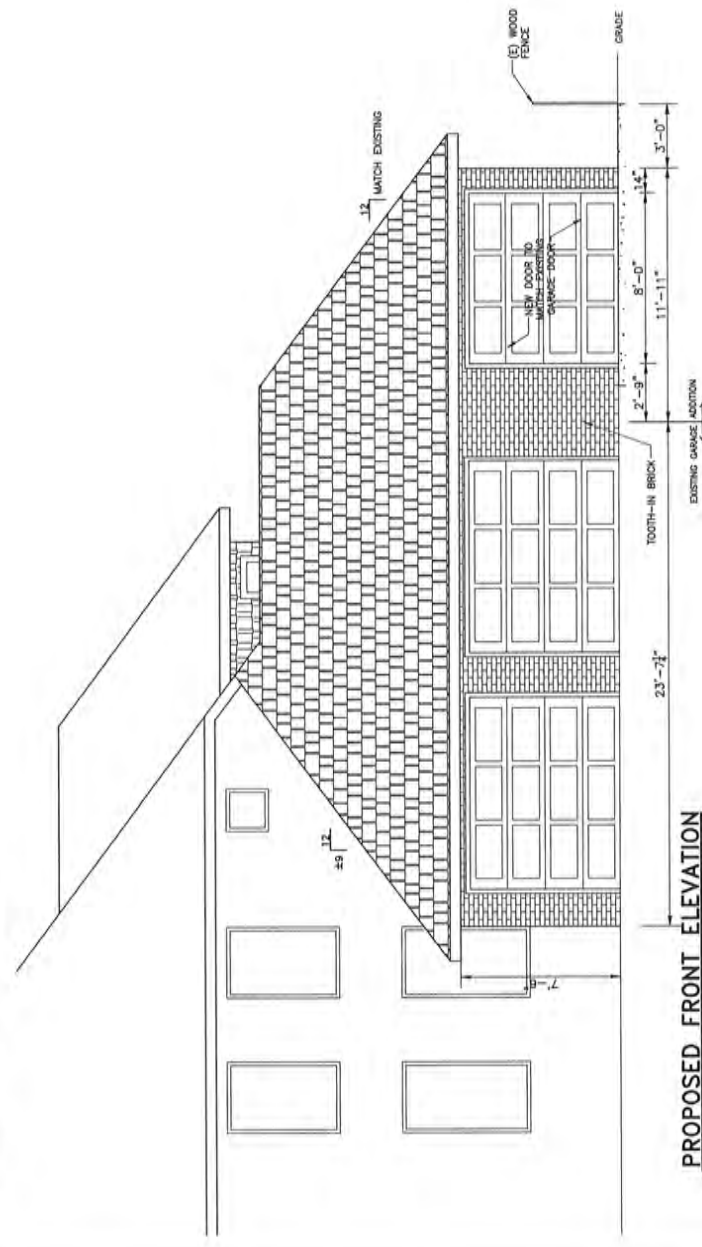
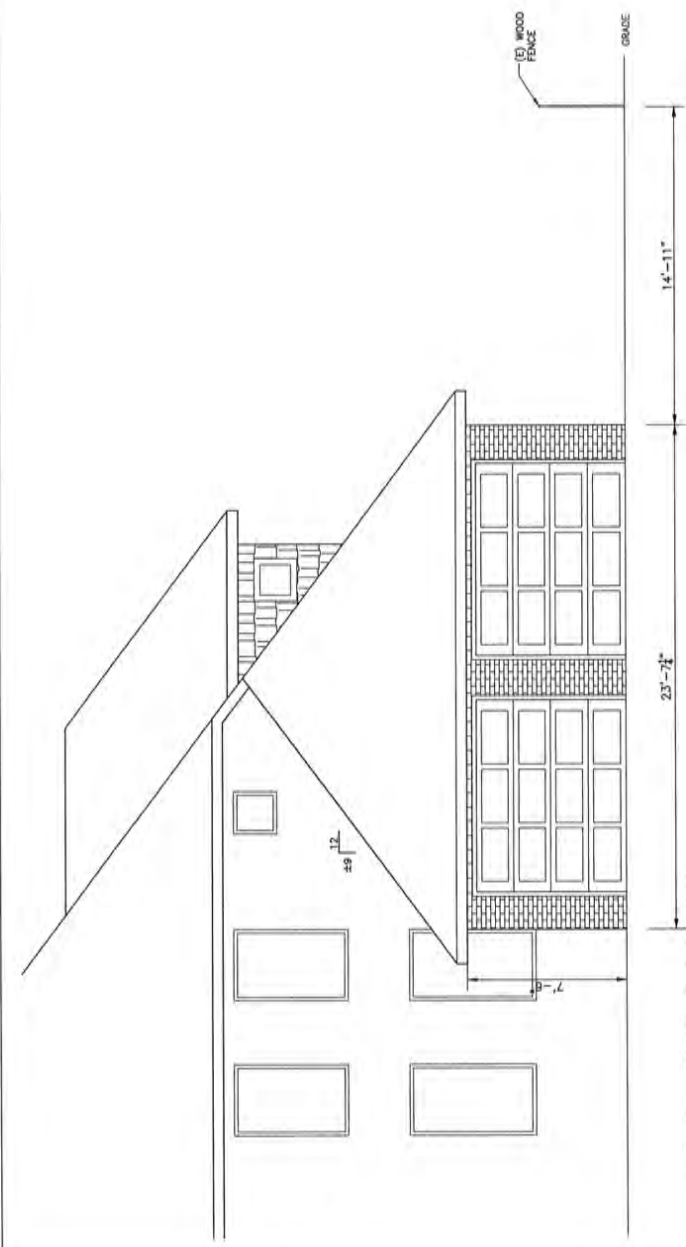


PRELIMINARY APPROVAL DATE _____
 CUSTOMER SIGNATURE _____
 FINAL APPROVAL DATE _____
 CUSTOMER SIGNATURE _____

NAME: KHANDELWAL RESIDENCE
 ADDRESS: 1003 PARKSIDE DR.
 CITY: LAKEWOOD, OH
 ZIP CODE: 44107 PHONE: _____

Date: 06/18/2020
 Scale: 1/4"=1'-0"
 Drawn By: CA
 State Ref: PS
 Drawing: A-2

THESE DRAWINGS AND DESIGNS WILL BE RELEASED AT AUTHORIZATION OF PROJECT. ANY USAGE WITHOUT WRITTEN CONSENT WILL DEFER ANY AND ALL RESPONSIBILITIES OF DOVER HOME REMODELERS, INC. ALL RIGHTS ARE HEREBY SPECIALLY RESERVED.



DATE	REVISIONS
06/24/2020	CIV A/B

29341 Loran Road
 North Olmsted, Ohio 44070
 Phone: 440-777-1555
 Fax: 440-777-8188
 www.doverremodeling.com

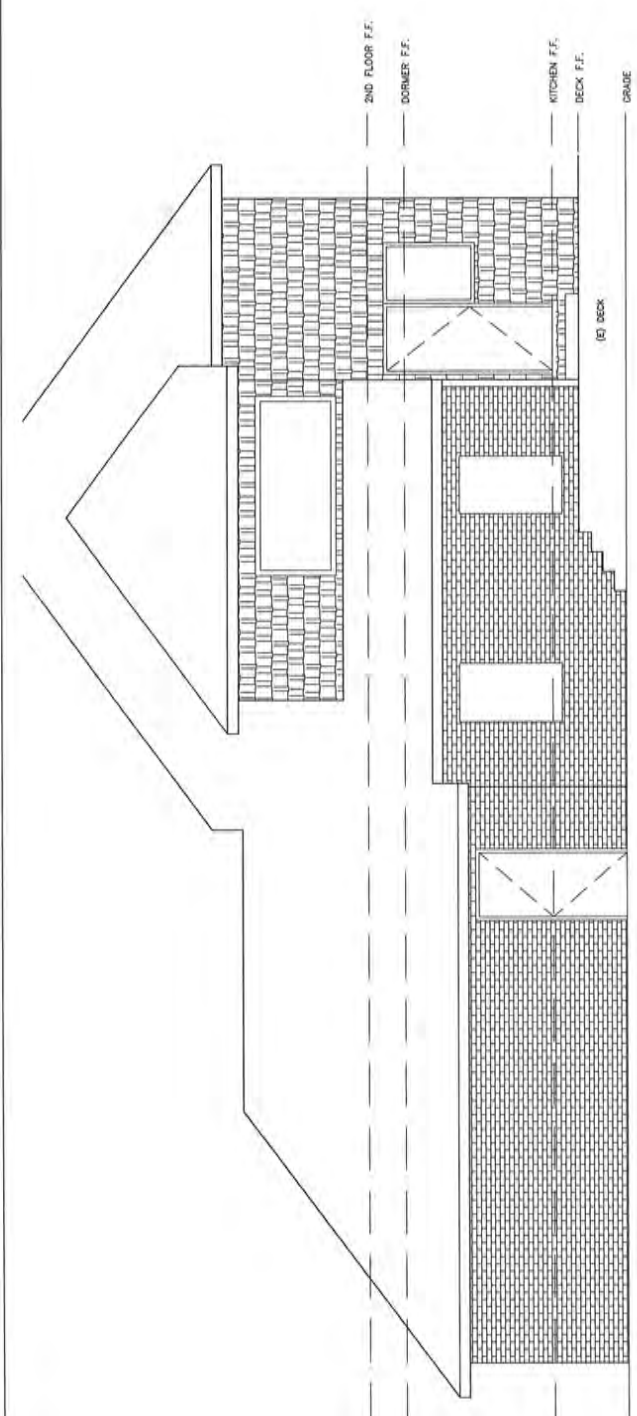


PRELIMINARY APPROVAL DATE _____
 CUSTOMER SIGNATURE _____
 FINAL APPROVAL DATE _____
 CUSTOMER SIGNATURE _____

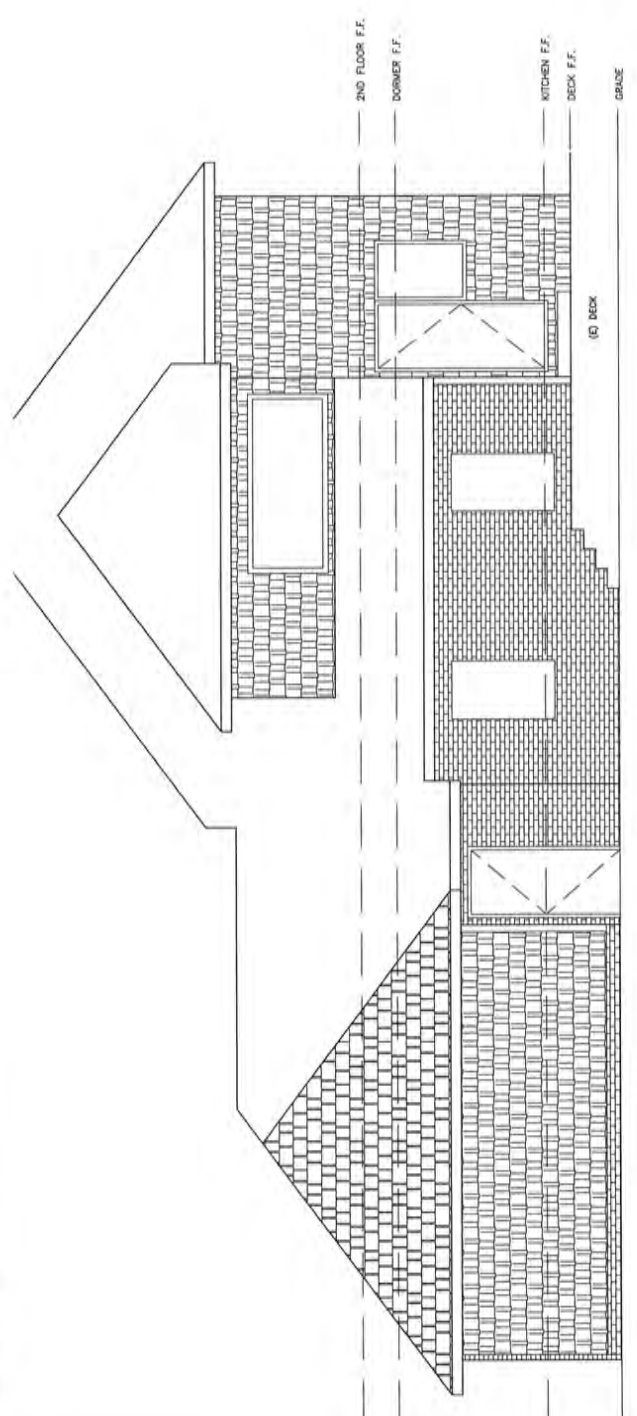
NAME: KHANDELWAL RESIDENCE
 ADDRESS: 1003 PARKSIDE DR.
 CITY: LAKEWOOD, OH
 ZIP CODE: 44107 PHONE: _____

Date: 06/18/2020
 Scale: 1/4" = 1'-0"
 Drawn By: CA
 Sales Rep: PS
 Drawing: A-3

THESE DRAWINGS AND DESIGNS WILL BE RELEASED AT AUTHORIZATION OF PROJECT. ANY USAGE WITHOUT WRITTEN CONSENT WILL DEFER ANY AND ALL RESPONSIBILITIES OF DOVER HOME REMODELERS, INC. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.



DEMO RIGHT ELEVATION
 Scale: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
 Scale: 1/4" = 1'-0"

DATE	REVISIONS
06/24/2020	City AMB

29341 Lorain Road
 North Olmsted, Ohio 44070
 Phone: 440-777-5555
 Fax: 440-777-8188
 www.doverremodeling.com

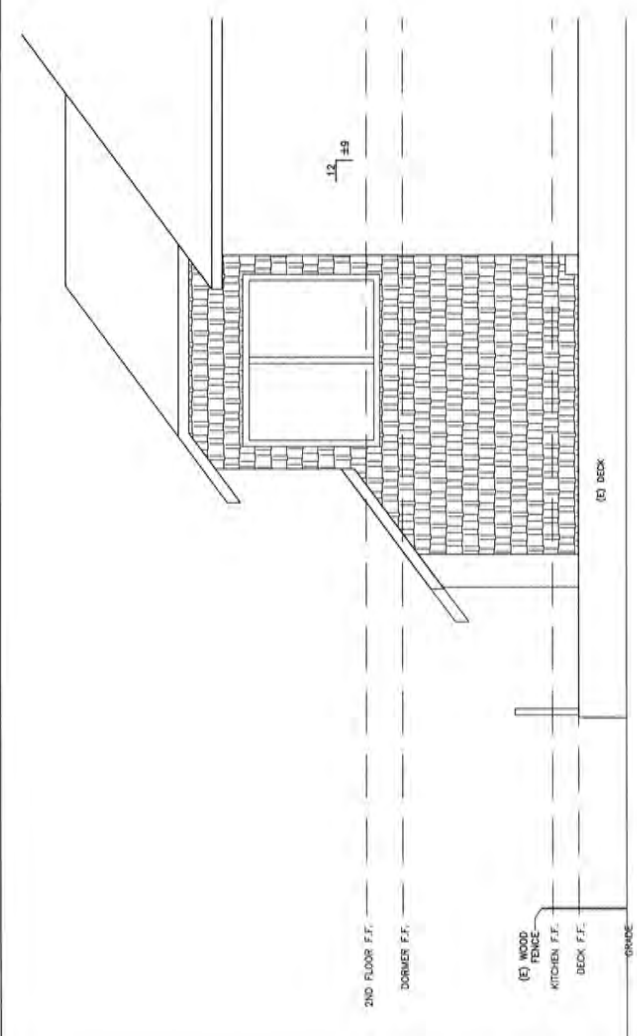


PRELIMINARY APPROVAL DATE _____
 CUSTOMER SIGNATURE _____
 FINAL APPROVAL DATE _____
 CUSTOMER SIGNATURE _____

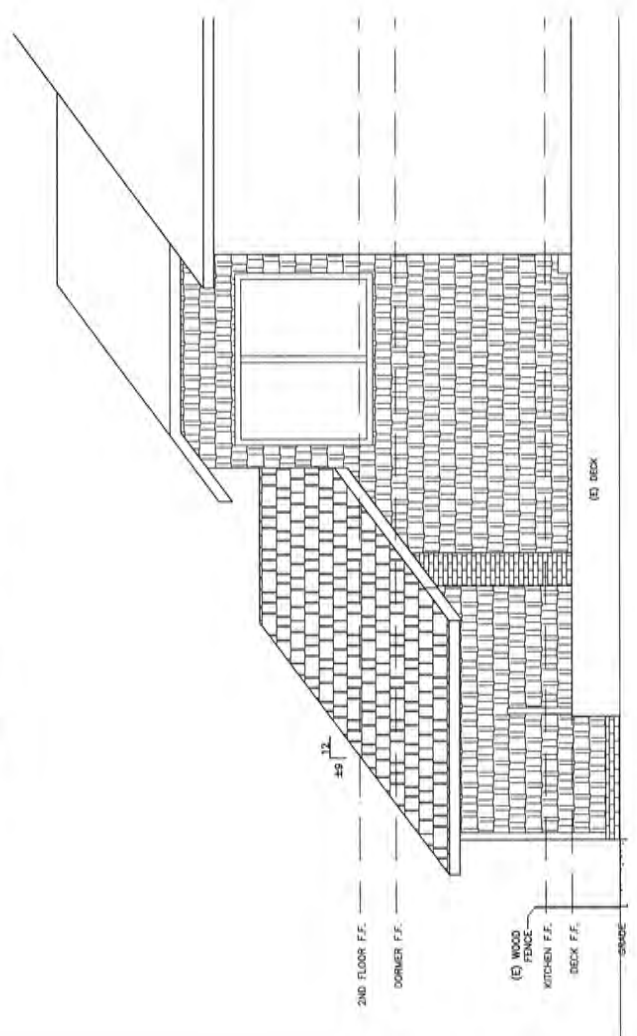
NAME: KHANDELWAL RESIDENCE
 ADDRESS: 1003 PARKSIDE DR., LAKEWOOD, OH
 ZIP CODE: 44107 PHONE: _____

Date: 06/18/2020
 Scale: 1/4"=1'-0"
 Drawn By: DA
 Sales Rep: PS
 Drawing: A-4

THESE DRAWINGS AND DESIGNS WILL BE RELEASED IN FULL TO THE CLIENT FOR ANY USE WITHOUT WRITTEN CONSENT OF DOVER HOME REMODELERS, INC. ALL RIGHTS ARE HEREBY SPECIFICALLY RESERVED.



DEMO REAR ELEVATION
 Scale: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 Scale: 1/4" = 1'-0"

Account: 101-0000-321.30.01

REFERENCE No. 3BS 20-000068

DOCKET No. 07-66-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name store improvements

Project Address 12511 detroit avenue

Applicant Name kurt c. weaver, aia

Applicant Address 2008 valentine avenue

(if different than above)

Applicant Contact (216) 645 - 9362

akwkurt @ sbcglobal.net

Brief Project Description renovations to existing service station to eliminate auto repair and include STORE; fuel sales stays, uhaul rental stays

Signature: kurt c. weaver Digitally signed by kurt c. weaver
Date: 2020.06.24 14:26:51 -04'00'

Date: 6.24.2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name _____

Property Address _____

Owner / Agent Contact (____) _____ - _____

_____ @ _____

Owner / Agent Signature _____

Date: _____

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____

Section _____

Remarks _____

12511 Detroit Avenue Proposed STORE Improvements

prepared for: Mr. Ray Tissan, Tissan Investment, LLC
12511 Detroit Avenue, Lakewood, Ohio 44115

ARCHITECT: AKW, Inc., 2008 Valentine Avenue, Cleveland, Ohio 44109-1933 216.749.6223

BUILDING DATA

Permittee Parcel No. 31 - 510 - 008
Zoning Use Group XX XXXXX
Building Use Group M Mercantile
Construction Class 5B Unprotected
Materials EXISTING: 1 Story Masonry Bearing Construction Site-on-Grade
Lot Size nominal size: 148.1' x 900' w/ 9027 sq. 00.0'±
Site Area 18,514 sq. ft. (0.4257 acre)
Gross Square Foot Area existing removed 2,340
Footprint 2,340
First Floor 2,340
Total Usable Gross Square Foot Area 2,340

DRAWING INDEX

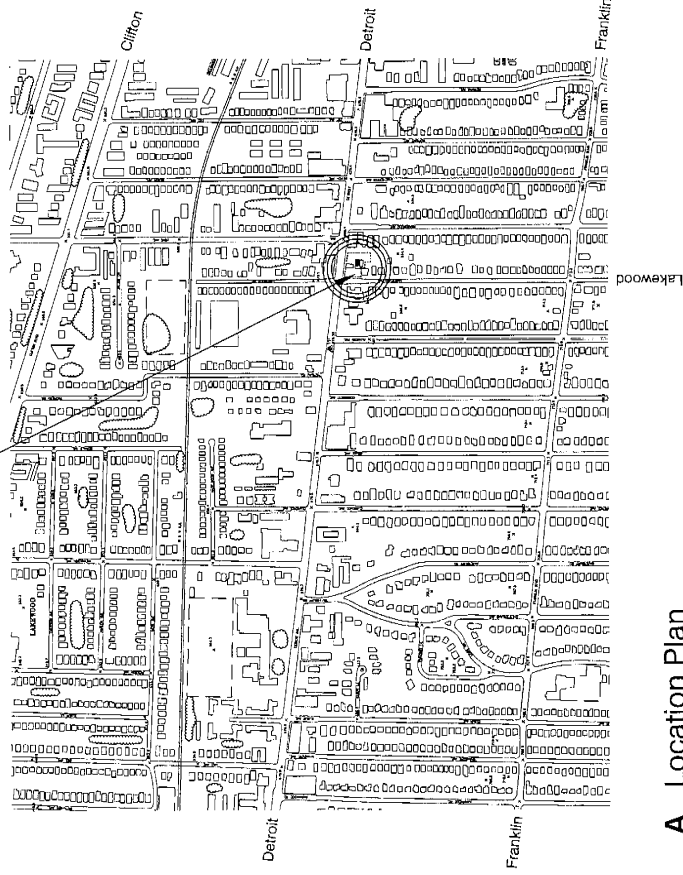
- a.00 Cover, Index, & Location Plan
- sd.01 existing conditions site plan
- a.01 existing conditions floor plan
- a.02 exterior elevations existing conditions
- sd.11 Proposed STORE Site Plan
- a.11 Proposed STORE Floor Plan
- a.12 Exterior Elevations Proposed STORE

Issued for ABR
23 JUNE 2020

AKW, INC.
2008 Valentine Avenue
Cleveland, Ohio 44109-1933
216.749.6223 fax 216.749.1863



12511 Detroit Avenue
Lakewood, Ohio
Prepared for: Tissan Investment, LLC
12511 Detroit Avenue, Lakewood, Ohio 44107
AKW, Inc.
Proj. No. 2031
DATE: 23 JUNE 2020



A Location Plan
NO SCALE
NORTH

ABR Proposed STORE Improvements
Cover, Index, &
Location Plan

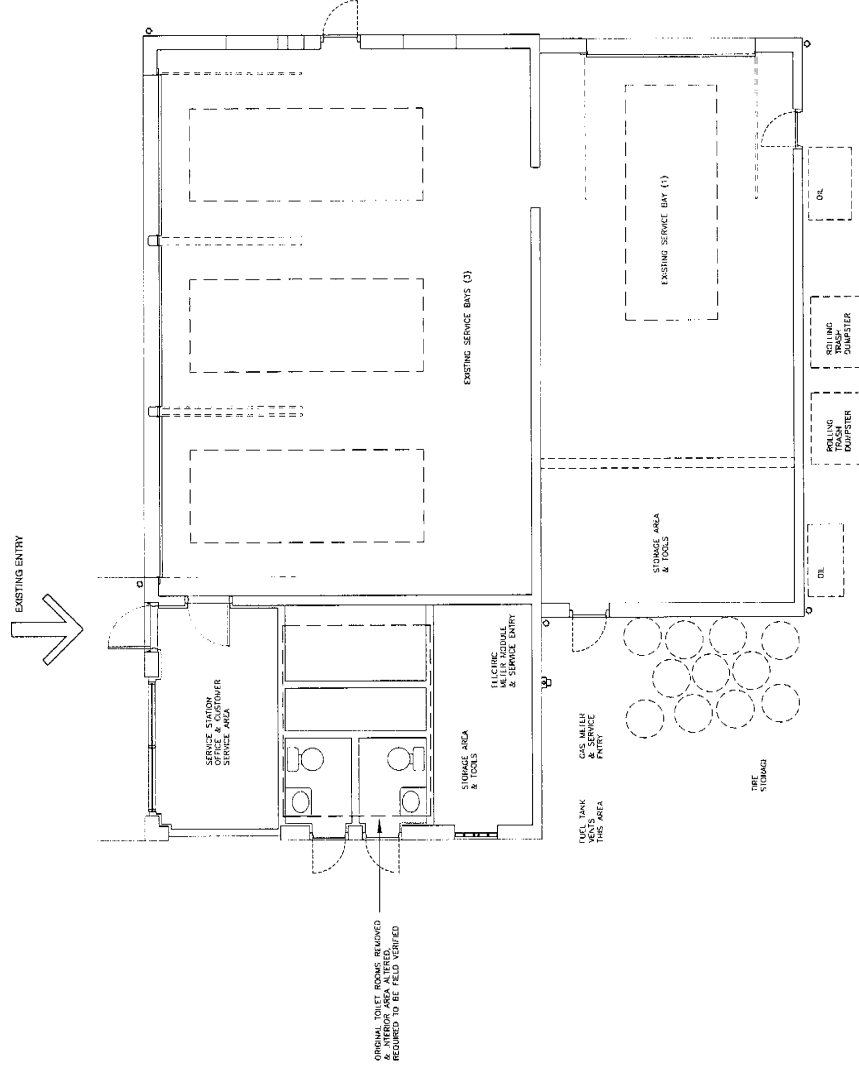
a.00

existing conditions

AKW, INC.
 2008 Valentia Avenue
 Cleveland, Ohio 44109-1933
 216.749.6223 fax 216.748.1863



12511 Detroit Avenue
 Lakewood, Ohio
 Prepared for: Tison Investment, LLC
 12511 Detroit Avenue, Lakewood, Ohio 44107
 Proj. No. **2031**
 AKW, Inc. © 2016, 2017, 2018
 DATE: AS NOTED 23 JUNE 2020



existing conditions:	
site area	18,414 g.s.f.
building footprint	2,340 g.s.f.
floor area	2,340 g.s.f.
canopy area	xxxx g.s.f.

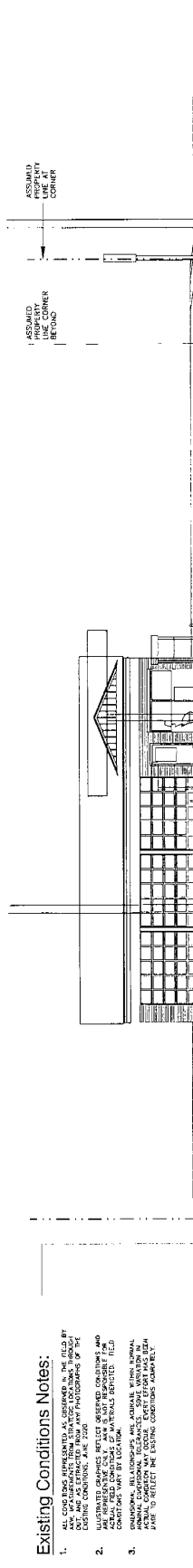
Proposed Project Summary:	
REMOVE 3 of 4 existing garage bays	1,000 n.s.f.
RENOVATE Proposed STORE Improvements	2,340 n.s.f.

EXISTING CONDITIONS
1A Floor Plan
 SCALE: 1/4" = 1'-0"

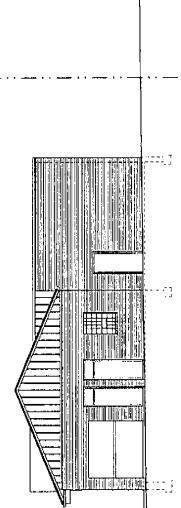
 NORTH

AKW Proposed STORE Improvements
 Existing Conditions
 Floor Plan

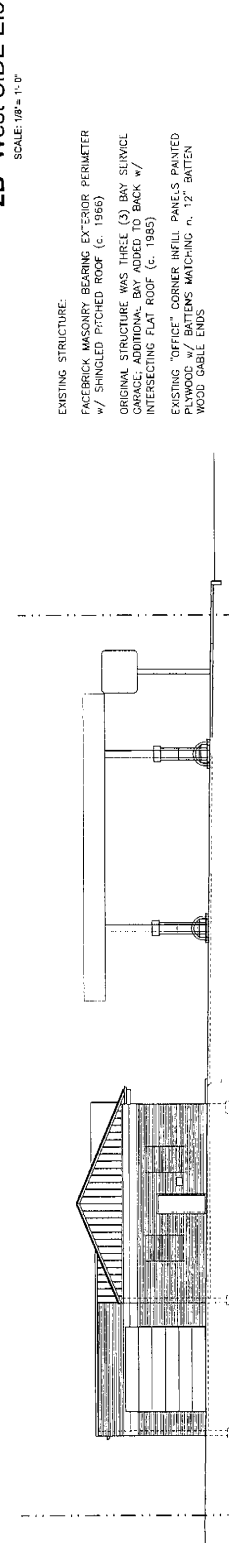
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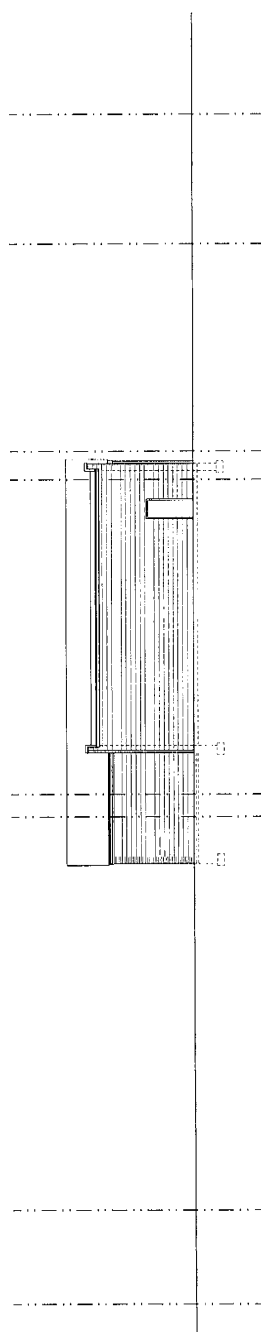
2A North FRONT Elevation
 SCALE: 1/8" = 1'-0"



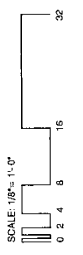
2B West SIDE Elevation
 SCALE: 1/8" = 1'-0"



2C East SIDE Elevation
 SCALE: 1/8" = 1'-0"



2D South BACK Elevation
 SCALE: 1/8" = 1'-0"



Existing Conditions Notes:

1. ALL CONDITIONS REPRESENTED AS OBSERVED IN THE FIELD BY THE ARCHITECT. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.
2. UNLESS OTHERWISE NOTED, ALL CONDITIONS REPRESENTED ON THESE DRAWINGS ARE BASED ON VISUAL INSPECTION AND FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.
3. UNLESS OTHERWISE NOTED, ALL CONDITIONS REPRESENTED ON THESE DRAWINGS ARE BASED ON VISUAL INSPECTION AND FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.

General Notes:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.
2. UNLESS OTHERWISE NOTED, ALL CONDITIONS REPRESENTED ON THESE DRAWINGS ARE BASED ON VISUAL INSPECTION AND FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.
5. ALL CUTTING & FILLING IS NECESSARY TO ACCOMMODATE THE WORK SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD AND AS SHOWN ON THESE DRAWINGS.

EXISTING CONDITIONS

EXISTING STRUCTURE:
 FABRICKA MASONRY BEARING EXTERIOR PERIMETER w/ SHINGLED PITCHED ROOF (c. 1986)
 ORIGINAL STRUCTURE WAS THREE (3) BAY SILVCL GARAGE; ADDITIONAL BAY ADDED TO BACK w/ INTERSECTING FLAT ROOF (c. 1985)
 EXISTING "OFFICE" CORNER INFILL PANELS PAINTED PLYWOOD w/ BATTENS MATCHING c. 12" BATTEN WOOD GABLE ENDS

PROPOSED STORE

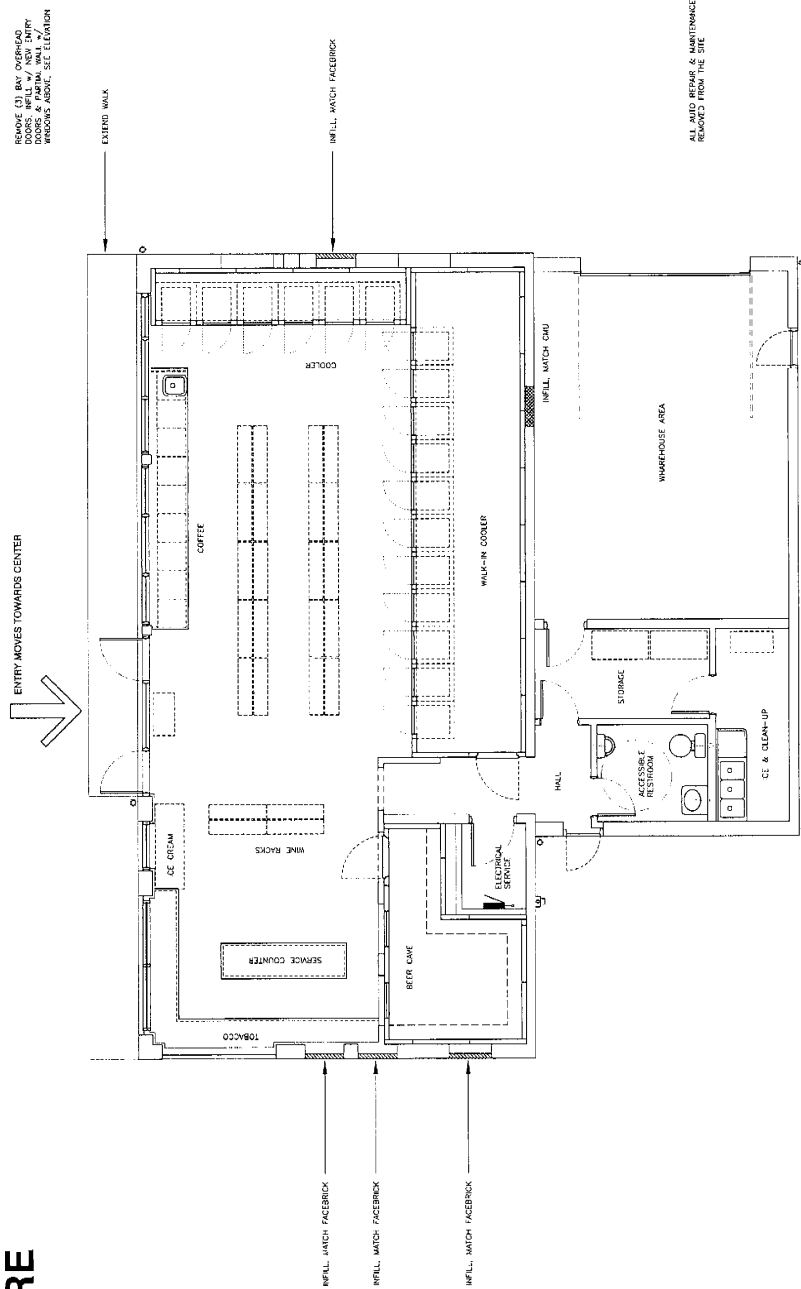
AKW, INC.
2008 Valentine Avenue
Cleveland, Ohio 44109-1933
216.749.6223 fax 216.749.1863



12511 Detroit Avenue
Lakewood, Ohio
Reported for: Tisson Investments, LLC
12511 Detroit Avenue, Lakewood, Ohio 44107
AKW, INC.
Proj. No. 2031
DATE: 29 JUNE 2020
SCALE: AS NOTED

ABR Proposed STORE Improvements
Floor Plan
PROPOSED STORE

a.11



existing conditions:

site area	18,414 g.s.f.
building footprint	2,340 g.s.f.
floor area	2,340 g.s.f.
canopy area	xxxx g.s.f.

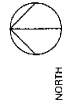
Proposed Project Summary:

REMOVE 3 of 4 existing garage bays	1,000 n.s.f.
RENOVATE Proposed STORE Improvements	2,340 n.s.f.

Proposed STORE Improvements

11A Floor Plan

SCALE: 1/4" = 1'-0"



PROPOSED STORE

Existing Conditions Notes:

1. ALL CONDITIONS SHOWN AS EXISTING IN THE EXISTING RECORDS AND AS SHOWN IN THE EXISTING PHOTOGRAPHS, AND AS INDICATED FROM THE FIELD SURVEY AND AS SHOWN IN THE EXISTING RECORDS, SHALL BE CONSIDERED AS EXISTING UNLESS INDICATED OTHERWISE.
2. ALL UTILITIES SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, SHALL BE CONSIDERED AS EXISTING UNLESS INDICATED OTHERWISE.
3. ALL UTILITIES SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, SHALL BE CONSIDERED AS EXISTING UNLESS INDICATED OTHERWISE.
4. ALL UTILITIES SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, SHALL BE CONSIDERED AS EXISTING UNLESS INDICATED OTHERWISE.
5. ALL UTILITIES SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, SHALL BE CONSIDERED AS EXISTING UNLESS INDICATED OTHERWISE.
6. ALL UTILITIES SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, SHALL BE CONSIDERED AS EXISTING UNLESS INDICATED OTHERWISE.

General Notes:

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES AND CONDITIONS SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
2. CONTRACTOR TO VERIFY ALL CONDITIONS SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
3. CONTRACTOR TO VERIFY ALL CONDITIONS SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
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6. CONTRACTOR TO VERIFY ALL CONDITIONS SHOWN ON THE EXISTING RECORDS AND AS SHOWN IN THE FIELD SURVEY, AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

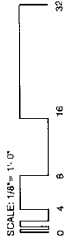
South Property Line Site Notes:

1. EXISTING FENCE ON PROPERTY LINE OVERSEEN BY ARCHITECT.
2. BOARD ON BOARD FENCE ON PROPERTY LINE OVERSEEN BY ARCHITECT.
3. BOARD ON BOARD FENCE ON PROPERTY LINE OVERSEEN BY ARCHITECT.
4. BOARD ON BOARD FENCE ON PROPERTY LINE OVERSEEN BY ARCHITECT.
5. BOARD ON BOARD FENCE ON PROPERTY LINE OVERSEEN BY ARCHITECT.

Site Summary:

site area:	18,414 g.s.f.
building footprint:	2,340 g.s.f.
canopy footprint:	z z z n.s.f.
parking spaces:	25
on site:	6
curb side:	6

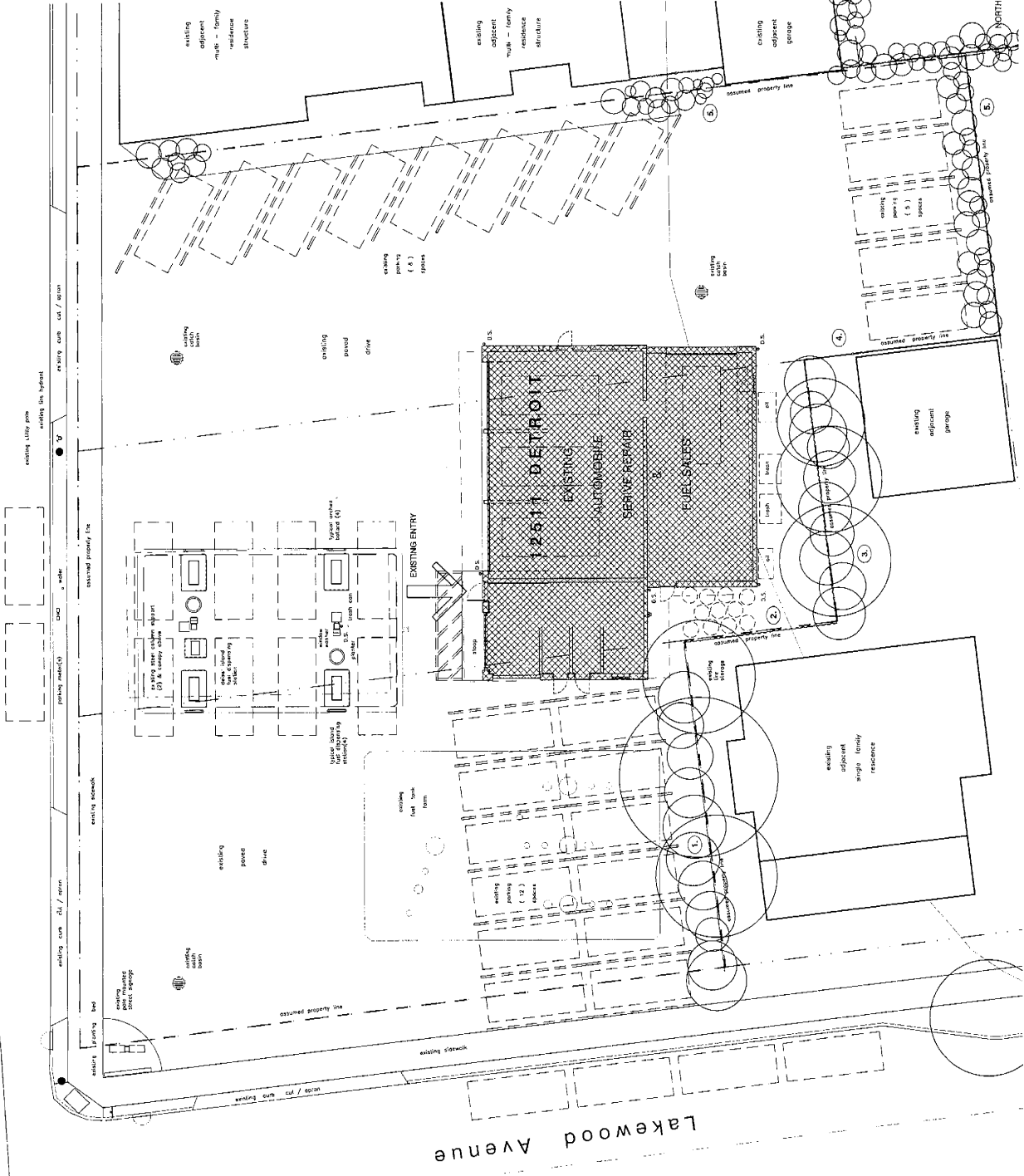
1A Site Plan



EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"

Detroit Avenue

Lakewood Avenue



AKW, INC.
2008 Valentia Avenue
Cleveland, Ohio 44109-1933
216.749.6223 fax 216.749.1853

12511 Detroit Avenue
Lakewood, Ohio
Prepared for: Tison Investment, LLC
12511 Detroit Avenue, Lakewood, Ohio 44107
AKW, Inc.
Proj. No. **2031**
DATE: 23 JUNE 2020

sd.01
Existing Conditions
Site Plan
ABR Proposed STORE Improvements

Account: 101-0000-321.30.01

REFERENCE No. BBS 20-0000 69
DOCKET No. 07-67-20
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name WEST END OVERHEAD DRS. Project Address 18514 DETROIT AVE

Applicant Name LEO SHIEKH DESIGNS INC Applicant Address 27685 REMINGTON DR
(if different than above) WESTLAKE, OH 44145

Applicant Contact (216) 406 - 8777 L. SHIEKH @ YAHOO.COM

Brief Project Description REMOVE EXISTING STORE FRONT "DISPLAY"
WINDOWS + REPLACE W "FULL-LITE" OVERHEAD DOORS

Signature: [Signature] Date: 6/22/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name JUDY SCOTT Property Address 18514 DETROIT AVE

Owner / Agent Contact (216) 288-2322 JONBOBARR@WESTENDTAV.COM

Owner / Agent Signature [Signature] Date: 6/22/20

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



Leo Shiekh Designs Inc
27685 Remington Drive
Westlake, Ohio 44145

To: City of Lakewood A.R.B.

Date: June 24, 2020

REQUEST

To Whom It May Concern,

We (West End Tavern, Judy Scott [bldg. owner], and Leo Shiekh Designs) are requesting approval to install overhead garage doors left and right of the main entrance door of the West End Tavern. Replacing the existing fixed windows.

Thank You.

Leo Shiekh

June 22, 2020

To Whom It May Concern:

I am the owner of the building property located at 18512 and 18514 Detroit Avenue in Lakewood. I currently lease this property to the Corporation operating the West End Tavern and have for the past thirty four years. They have been wonderful tenant these past three plus decades and their reputation as a restaurant and Tavern is one of the best on the west side of Cleveland. We have had recent discussions involving the difficulty facing restaurants in this Covid pandemic era and they have made it clear to me how important it would be to them to be able to operate in an open air environment. They are seeking to open their front windows by using the popular concept of garage door style windows. These are extremely popular throughout my region of Florida and look sharp. I understand this has become the case in Lakewood today. I wholeheartedly concur with them on this. It is critical to allow them the tools they need to succeed moving forward and they have not only my permission to pursue this ambition but also my complete support. Further, I am excited about the prospects of how much this would enhance the overall appearance of the building. I hope the Board of Architectural Review will look as favorably on this project as I do.

Sincerely yours,

Judy Scott

A handwritten signature in cursive script that reads "Judy C. Scott". The signature is written in black ink and is positioned to the right of the typed name "Judy Scott".

209 Cypress Hills Way

DeLand, Florida 32724

440-376-8838



June 24, 2020

To Whom It May Concern:

This letter introduces Leo Shiekh who we have selected to represent and conduct work on our business which would result in the opening of our front windows into garage door windows similar in nature to the windows featured on the face of many , many restaurants located throughout Lakewood. We believe this will result in an upgrade of appearance and contribute aesthetically to the overall appearance of our business as well as the neighborhood. But not only do we find the need to do this for an aesthetic reason, competition demands it and in the current Covid environment, there exists a certain reticence on the part of many customers to return right away to a more closed environment, preferring instead to dine in opened air facilities and patios. This is equally necessary for us to overcome a dramatic decrease in business volume since our reopen three weeks ago. We have been a fixture in Lakewood for thirty four years and are well known for our fabulous Sunday Brunch featuring a gentle Sunday morning audio environment as well as gourmet themed breakfast entrees. The project will be designed to look nice and flatter our business and the surrounding business area. These style windows are also being employed on the patios at Around the Corner and Georgetown restaurants as well as the Harry Buffalo across the street, multiple locations along Detroit Ave. as well as Madison Ave. We have chosen Leo because we've known him for decades, know his reputation for quality work and his experience with these specific projects. We hope the Board of Architectural Review will look favorably upon this endeavor for all of the merits included in this letter. Thank you, I remain

Cordially yours

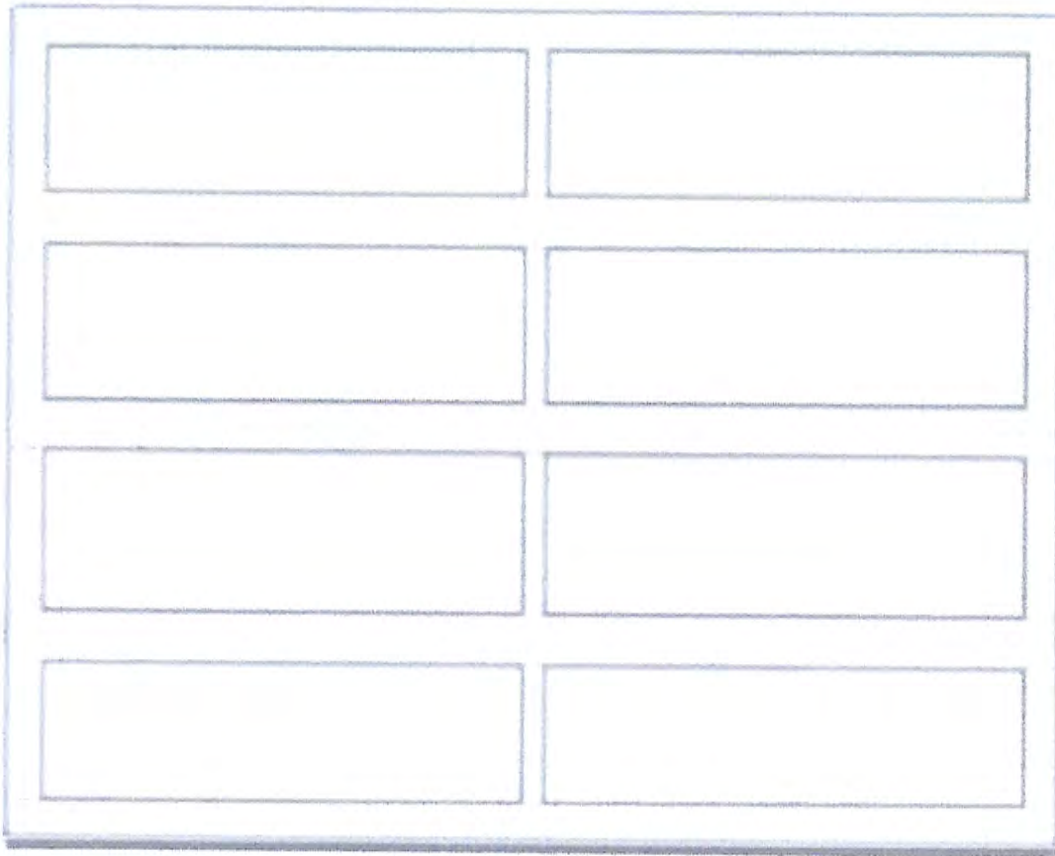
John B. Shepherd

President, Daily Planet Inc.

DBA West End Tavern

18514 Detroit Ave,

Lakewood, Ohio 44107



Full-View

Panel Style: Full-View

Section Construction: 2" Thick - Insulated Aluminum Rails

Section Material: Heavy Duty / Aluminum

Insulation Type: Polystyrene Insulation

Powder Coating: 188 Colors

Window Style Full-View

Lakewood, Ohio



Street View

Overhead Door
Configuration Rendering
Below

Existing Fixed
Window Below

Baking
Company



18514 De

Riverside Dr
Grabber Dr



Va

West End Tavern



Account: 101-0000-321.30.01

REFERENCE No. BBS20-000070

DOCKET No. 07-68-2

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Malley's Chocolates Walk-up Windows

Project Address 14822 Madison Avenue

Applicant Name Dave Robar, AIA, Vocon.

Applicant Address 3142 Prospect Avenue, Cleveland, OH 44115

(if different than above)

Applicant Contact (216) 346 0430

dave.robar @ vocon.com

Brief Project Description Request to re-submit a new design for walk-up ice cream service at the existing Malley's.

Signature: *Dave Robar*

Date: June 23, 2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Mike Malley

Property Address 14822 Madison Ave., Lakewood OH 44107

Owner / Agent Contact (216) 346 0430

dave.robar @ vocon.com

Owner / Agent Signature *Dave Robar*

Date: June 23, 2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000071
DOCKET No. 07-69-20
FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name LMS Fence Proposal Project Address 2051 Quail St.
Applicant Name Beki Bell - Lakewood Montessori School Applicant Address 1447 Orchard Grove Ave.
(if different than above)
Applicant Contact (216 904 6029) beki @ montessorilakewood.org

Brief Project Description Lakewood Montessori School will surround the property at 2051 Quail St. with a

decorative fence. The fence will wrap around the North and West sides of property. Matching egress gates will be located at the North entrance and West entrance of the building.

Signature:  Date: June 23, 2020

REVIEW REQUESTED (Check all that apply to your project)

- Architectural Board of Review** (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations
- Sign Review Board** (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.
- Board of Building Standards** (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name North Coast Baptist Church - Agent Krista Friedlander Property Address 2051 Quail St.
Owner / Agent Contact (216 215 5819) krista @ ezsalesteam.com
Owner / Agent Signature Authorization from owner ATTACHED Date: June 23, 2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

Account: 101-0000-321.30.01

REFERENCE No. BBS20-000082

DOCKET No. 07-70-20

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name BLUSH beauty bar Project Address 13341 Madison Ave

Applicant Name Kaetlin Bradford / Steve Foster, The Sign & Graphics Firm Applicant Address _____

Steve Foster, 216-390-0198 (if different than above)

3307199315

Applicant Contact (____) _____ - _____ @ _____

Brief Project Description Exterior signs for new Lakewood business.

Signature: Kaetlin Bradford Steve Foster, sgfoster09@gmail.com Date: 06/23/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Kaetlin Bradford Property Address 13341 Madison Ave Lakewood

Owner / Agent Contact (____) 3307199315 @ blushbeautybarcle@gmail.com

Owner / Agent Signature Kaetlin Bradford Date: 06/23/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



The SIGN & GRAPHICS FIRM

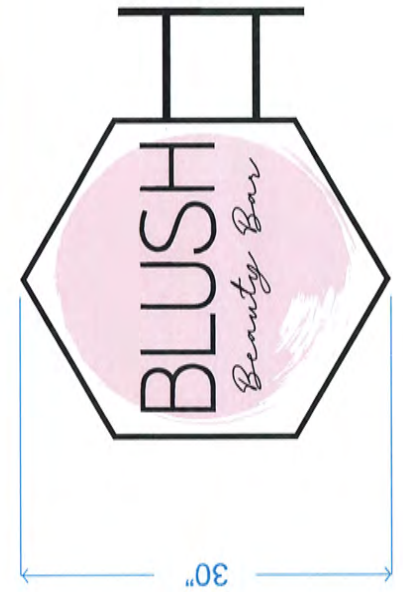
Steven Foster
216.390.0198
sgfoster09@gmail.com

BUSINESS NAME:
BLUSH Beauty Bar Cleveland

ADDRESS:
13341 Madison Ave.
Lakewood, OH 44107

06-22-20
1

NOTE: Renderings are approximate representations of final production. Written permission of The Sign & Graphics Firm is strictly prohibited. This drawing is CONFIDENTIAL and PROPRIETARY. Use without




Account: 101-0000-321.30.01

REFERENCE No. BBS 20-000074
DOCKET No. 07-71-20
FEE PAID _____

APPLICATION
ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Gemm Beauty Project Address 13705 Madison Avenue Lakewood, OH
Applicant Name Sharonda Williams Applicant Address _____
Steve Foster, The Sign & Graphics Firm (if different than above)
Applicant Contact (216) 315 - 9290 @ _____
Steve Foster, 216-390-0198
Brief Project Description Sign for new business.

Signature:  Steve Foster, sgfoster09@gmail.com Date: 06/23/2020

REVIEW REQUESTED (Check all that apply to your project)

- Architectural Board of Review** (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1327 for regulations
- Sign Review Board** (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.
- Board of Building Standards** (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Dean Keeseey Property Address 13705 Madison Avenue Lakewood, OH
Owner / Agent Contact (440) 665 - 2114 @ _____
Owner / Agent Signature _____ Date: 6/23/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____



THE SIGN & GRAPHICS FIRM

Steven Foster
216.390.0198
sgfoster09@gmail.com

BUSINESS NAME:
GEMM Beauty

ADDRESS:
13705 Madison Ave.
Lakewood, OH 44107

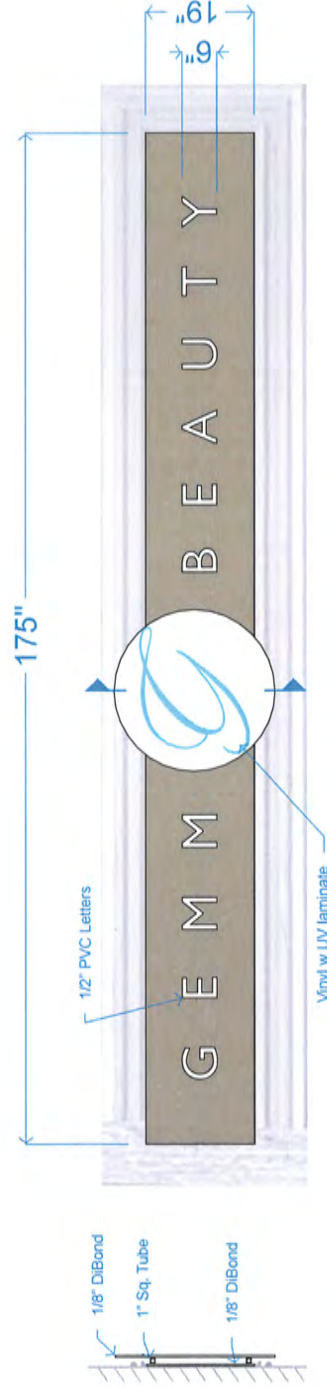
06-22-20

NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

AFTER



BEFORE



PROPOSED SIGNBAND SIGN

SECTION

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Dreamland Filthy Hair Salon Signage Project Address 13367 Madison Ave Callowood OH 44107

Applicant Name Erica Grandin Applicant Address 1614 Branch Ave Cleveland OH, 4413
(if different than above)

Applicant Contact (410) 654 - 6830 myhairisfilthy@gmail.com

Brief Project Description Vinyl sticker sign for Salon Window

Signature: [Signature]

Date: 6/23/2020

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)

Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)

All new commercial signs, modifications to upgrades or existing signs / sign lighting.

Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)

All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Erica Grandin

Property Address 13367 Madison Ave Callowood OH 44107

Owner / Agent Contact (410) 654 - 6830

myhairisfilthy@gmail.com

Owner / Agent Signature [Signature]

Date: 6/23/2020

Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____