

**AGENDA
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
EAST CONFERENCE ROOM
OCTOBER 5, 2023
4:00 P.M.**

**REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
OCTOBER 12, 2023
5:30 P.M.**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE SEPTEMBER 14, 2023 MEETING
3. OPENING REMARKS

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

- | | | |
|---|------------|---|
| 4. Docket No. 09-73-23 | (C) | 16205 Hilliard Rd.
The 3rd Estimate |
| <input type="checkbox"/> Approve
<input type="checkbox"/> Deny
<input type="checkbox"/> Defer | | Joseph Matava
Peninsula Architects
1775 Main St.
Peninsula, OH 44264 |

Applicant proposes renovation of an existing building. (Page 4)

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

- | | | |
|---|------------|--|
| 5. Docket No. 10-76-23 | (C) | 13741 Madison Ave.
Back Alley Social Club |
| <input type="checkbox"/> Approve
<input type="checkbox"/> Deny
<input type="checkbox"/> Defer | | David Maddux
The Arcus Group Inc.
1244 Smith Ct. |

Rocky River, OH 44116

Applicant proposes preliminary review of Back Alley Social Club. (Page 36)

6. Docket No. 10-77-23 (C)

**14800 Madison Ave.
UH Urgent Care**

- Approve
- Deny
- Defer

Joseph Kaye
JL Architects
115 Westtown Rd.
West Chester, PA 19382

Applicant proposes exterior renovation for damaged brick. (Page 51)

SIGN REVIEW

7. Docket No. 10-78-23

**11912 Detroit Ave.
Cuyahoga County Progressive Caucus**

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 58)

8. Docket No. 10-79-23

**13306 Detroit Ave.
Cloud City Vapes**

- Approve
- Deny
- Defer

Sam Baadani
Cloud City Smokes
13306 Detroit Ave.
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 61)

9. Docket No. 10-80-23

**17119 Madison Ave.
Ayurveda Wellness House**

- Approve
- Deny
- Defer

Shilpika Devaiah
Ayur-Shilpi Ayurveda & Wellness LLC
17119 Madison Ave.
Lakewood, OH 44107

Applicant proposes new signage in an existing ground sign. (Page 65)

10. Docket No. 10-81-23

**15000 Madison Ave.
Next Home Experts**

- Approve
- Deny
- Defer

Laura Higgins-Woyma
Brilliant Electric Sign Co.
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes three new signs: ground sign, projecting sign, and front wall letters. (Page 68)

11. Docket No. 10-82-23

**1616 W. 117th St.
Fifth Third Bank**

- Approve
- Deny
- Defer

Laura Higgins-Woyma
Brilliant Electric Sign Co.
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes the refacing of an existing monument sign. (Page 72)

ADJOURN

“Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 michelle.nochta@lakewoodoh.net .”



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 09-73-23

Permit No.: BBS23-000067

Applicant Name: Joseph Matava, Peninsula Architects

Project Address: 16205 Hilliard Rd.

Project Name: The 3rd Estimate

Project: Applicant proposes renovation of an existing building.

The Third Estimate Showroom



ARCHITECT

PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OHIO
P: 330.657.2800
CONTACT: JOE MATAVA

STRUCTURAL

CIVIL

BUILDER

MEP

INTERIORS

PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OHIO
P: 330.657.2800
CONTACT: ELYSE WINCH

PROGRESS
NOT FOR
CONSTRUCTION
8/21/2023

ABBREVIATIONS			
ABV	ABOVE	HC	HOLLOW CORE
AC	AIR CONDITIONING	HDWR	HARDWARE
AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND AIR COND.
AHS	AUTHORITY HAVING JURISDICTION	HT	HEIGHT
ALUM	ALUMINUM	INSUL	INSULATION
APPROX	APPROXIMATELY	JST	JOIST
ARCH	ARCHITECTURAL	LAM	LAMINATED
ASPH	ASPHALT	LF	LINEAR FOOT
BD	BOARD	MAS	MASONRY
BLDG	BUILDING	MATL	MATERIAL
BRG	BEARING	MAX	MAXIMUM
BTTM	BOTTOM	MECH	MECHANICAL
BTW	BETWEEN	MFG	MANUFACTURER
CF	CUBIC FEET	MIN	MINIMUM
CIP	CAST IN PLACE	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MC	MASONRY OPENING
CLG	CEILING	MTD	MOUNTED
CLR	CLEAR	MTL	METAL
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
CONC	CONCRETE	NTS	NOT TO SCALE
CO	CLEAN OUT	OV	OVER
CONT	CONTINUOUS	O.C.	ON CENTER
DBL	DOUBLE	OPN	OPENING
DEPT	DEPARTMENT	PRFAB	PREFABRICATED
DIA	DIAMETER	PLYWD	PLYWOOD
DN	DOWN	P.LAM	PLASTIC LAMINATE
DR	DOOR	PR	PAIR
DS	DOWNSPOUT	PSI	POUNDS PER SQUARE INCH
DTL	DETAIL	REF	REFERENCE
DWG	DRAWING	RM	ROOM
EA	EACH	RO	ROUGH OPENING
ELEC	ELECTRICAL	REQ	REQUIRED
EQ	EQUAL	SC	SOLID CORE
EXH	EXHAUST	SECT	SECTION
EXIST	EXISTING	SH	SIMILAR
EXP	EXPOSED	STRUC	STRUCTURAL
EXT	EXTERIOR	TYP	TYPICAL
FD	FLOOR DRAIN	UNO	UNLESS NOTED OTHERWISE
FDN	FOUNDATION	W	WITH
FIN	FINISHED	WWF	WELDED WIRE FABRIC
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURNISHING		
GALV	GALVANIZED		
GA	GUAGE		
GC	GENERAL CONTRACTOR		
GYP	GYPSUM BOARD		
GYP	GYPSUM		

SYMBOLS	
	DETAIL
	EXTERIOR ELEVATION
	BUILDING SECTION
	INTERIOR ELEVATION
	WALL SECTION
	CENTERLINE AND GRID
	WALL TYPE
	DOOR TAG
	WINDOW TAG
	CODED NOTE
	SPOT ELEVATION

MATERIALS LEGEND	
	DIMENSIONAL LUMBER
	GRAVEL
	PLYWOOD
	CONCRETE
	FINISH WOOD
	CONCRETE BLOCK
	GYPSUM BOARD
	STEEL
	BRICK
	RIGID INSULATION
	EARTH
	SPRAY FOAM INSULATION
	STONE VENEER
	MINERAL WOOL INSULATION
	BLOCKING
	METAL DECK

PROJECT GENERAL NOTES

CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:

BUILDING CODE
RESIDENTIAL CODE
MECHANICAL CODE
ENERGY CONSERVATION CODE
WILDLAND-URBAN INTERFACE
NFPA 70 - NATIONAL ELECTRICAL CODE
UNIFORM PLUMBING CODE

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT DRAWINGS, OR SPECIFICATIONS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL-TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

CONTRACTOR TO MAINTAIN FULL SET OF PLANS AND INSTALLATION INSTRUCTIONS ON SITE.

PERFORM VISUAL INSPECTION OF ENVELOPE AND INSULATION TO MEET 2009 IECC, 402.4.2 "AIR SEALING AND INSULATION"

PROJECT INFORMATION	
TWO STORY SINGLE FAMILY RESIDENCE	---
CITY:	---
COUNTY:	---
SQUARE FOOTAGES	---
UNFINISHED BASEMENT	---
FIRST FLOOR FINISHED	---
GARAGE	---
SCREEN PORCH	---
EXTERIOR COVERED AREAS	---
SECOND FLOOR FINISHED	---
TOTAL FINISHED SQUARE FOOTAGE	---

DRAWING INDEX	
* DENOTES SHEETS PRINTED IN COLOR	
G1.00	COVER SHEET 30x42
G1.00	COVER SHEET 24x36
C1.01	SITE PLAN
C1.02	EXISTING SITE PLAN
S0.00	GENERAL STRUCTURAL NOTES
S1.01	TYP. FRAMING DETAILS
S1.02	BRACED WALL PLANS
S1.01	FOUNDATION PLAN
A1.00	ARCHITECTURAL SITE PLAN
A1.01	BASEMENT FLOOR PLAN
A1.02	FIRST FLOOR PLAN
A1.02	FIRST FLOOR PLAN - SCHEMATIC
A1.03	SECOND FLOOR PLAN
A1.04	ROOF PLAN
A1.05	ROOF DETAILS
A2.02	FIRST FLOOR REFLECTED CEILING PLAN
A3.01	EXTERIOR ELEVATIONS
A4.01	BUILDING SECTIONS
A4.02	WALL SECTIONS
A4.03	EXTERIOR DETAILS
A7.00	INTERIOR ELEVATIONS
A7.01	INTERIOR ELEVATIONS
A7.02	INTERIOR ELEVATIONS
A7.03	INTERIOR ELEVATIONS
SK1.0	FINISH LEGEND
A8.01	DOOR PLAN
A9.01	INTERIOR DETAILS
A10.01	FINISH PLANS

The Third Estimate Showroom
16205 Hilliard Road, Lakewood, Ohio 44107

PROJECT #: 2315
ISSUE: 01-23-2023
SD MEETING: 05-09-2023
CD

COVER SHEET 30x42

G1.00

FLOOR PLAN GENERAL NOTES

- ALL INTERIOR WALLS SHALL BE 1/2" METAL STUD WITH (1) LAYER 5/8" GYPSUM BOARD ON BOTH SIDES UNLESS NOTED OTHERWISE. REFER TO G1.01 FOR TERMINATION DETAILS AND FLOOR TO FLOOR HEIGHTS. TYPICAL.
- CIVIL GROUND FLOOR FINISH ELEVATION = 1063.60'. ARCHITECTURAL GROUND FLOOR FINISH ELEVATION = 0'-0".
- VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.
- TYPICAL MOUNTING HEIGHTS & LOCATIONS OF FIXTURES, ACCESSORIES AND SELECT EQUIPMENT ARE SHOWN ON SHEET C1.01.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING, DEMOLITION, AND NEW CONSTRUCTION.
- ALL WOOD BLOCKING AND BACKER BOARDS ARE TO BE FIRE RETARDANT TREATED TYPE.
- PROVIDE DOUBLE TOP TRACK DEFLECTION JOINT AT ALL WALLS WHICH EXTEND TO UNDERSIDE OF ROOF DECK ABOVE.
- COORDINATE LOCATION OF EQUIPMENT AND PENETRATIONS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- SEE EXTERIOR ELEVATIONS FOR IDENTIFICATION OF WINDOW TYPES AND SIZES.
- HINGE SIDE OF DOOR JAMB LOCATED IN METAL STUD WALLS TO BE 4" FROM ADJACENT PERPENDICULAR WALLS AND.
- ALL DOORS ARE DIMENSIONED TO THE CENTER LINE OF THE ROUGH OPENING.
- VERIFY LOCATIONS OF FIRE EXTINGUISHERS WITH LOCAL FIRE DEPARTMENT OFFICIAL AND ARCHITECT PRIOR TO PLACEMENT. ALL EXTINGUISHERS TO BE RECESSED CABINET MOUNTED TYPE. UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING BEHIND ALL AV EQUIPMENT, WALL SPEAKERS, CEILING MOUNTED PROJECTORS, HANDRAILS, ACCESSORIES, ETC. CONTRACTOR RESPONSIBLE FOR MISC. STEEL, UNISTRUT, FIRE WOOD BLOCKING, STRAPPING ETC AS REQUIRED TO FULLY SUPPORT EQUIPMENT AND ACCESSORIES AS INDICATED IN DOCUMENTS.
- VERIFY RATED ASSEMBLIES WITH LIFE SAFETY SHEETS.
- MOISTURE RESISTANT GYP BD TO BE USED ON WALLS AND CEILINGS OF ALL RESTROOMS AND KITCHENS.
- PROVIDE LEVEL SURFACES AND PREP FLOOR TO RECEIVE SCHEDULED FINISH.

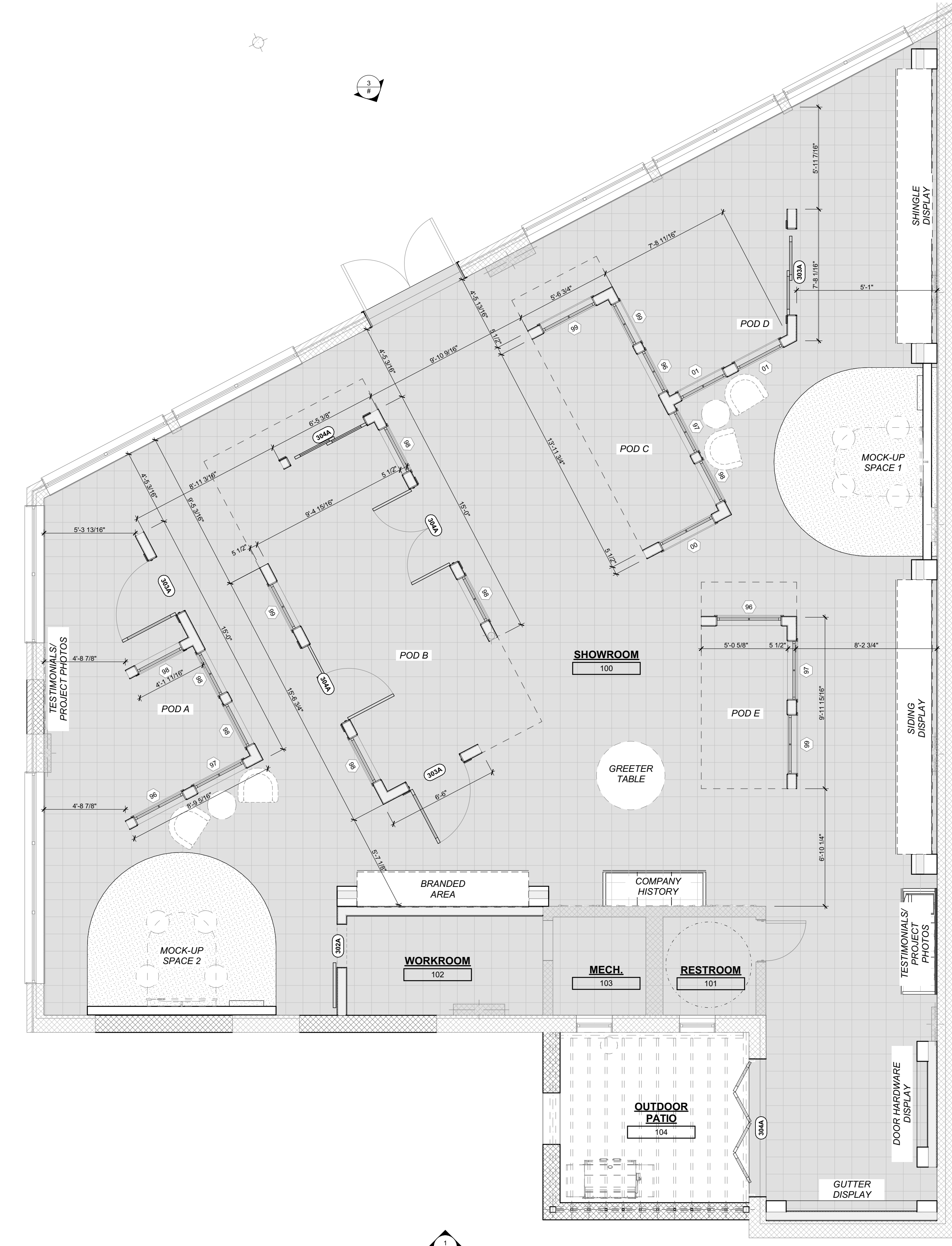
FLOOR PLAN CODED NOTES

NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET

- CEILING MOUNTED SUPPORT REFER TO REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION.
- RESERVED
- RESERVED
- PALLET RACK, FURNISHED AND INSTALLED BY CONTRACTOR. SEE STRUCTURAL DRAWINGS FOR ASSOCIATED WORK.
- FLOOR DRAIN. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DETAILS.
- INDICATES PROPOSED LOCATION OF LANDSCAPING WALL. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS.
- INDICATES APPROXIMATE PROPOSED UTILITY METERING AND SERVICE ENTRY LOCATION. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION.
- MILLWORK TO BE PROVIDED BY AND INSTALLED BY CONTRACTOR. REFER TO SHEET AX-XX FOR DETAILS AND CONSULTANT DRAWINGS FOR RELATED SCOPE.
- WALL MOUNTED TELEVISION. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DETAILS AND RELATED SCOPE. G.C. TO PROVIDE WALL BLOCKING AS REQUIRED.
- HANDRAIL. REFER TO SHEET AX-XX FOR ADDITIONAL DETAILS.
- CUSTOM MILLWORK. REFER TO INTERIOR ELEVATIONS AND DETAIL AX-XX FOR ADDITIONAL INFORMATION.
- THIS ROOM TO RECEIVE FIN TUBE HEATING AT EXTERIOR GLAZING FOR FULL WIDTH OF GLAZING ELEMENT BETWEEN INTERIOR PARTITIONS. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION.
- CUSTOM MILLWORK. REFER TO INTERIOR ELEVATIONS AND DETAILS ON AX-XX FOR ADDITIONAL INFORMATION.
- CUSTOM MILLWORK ISLAND. REFER TO INTERIOR ELEVATIONS, DETAILS ON AX-XX AND CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION AND ASSOCIATED SCOPE.

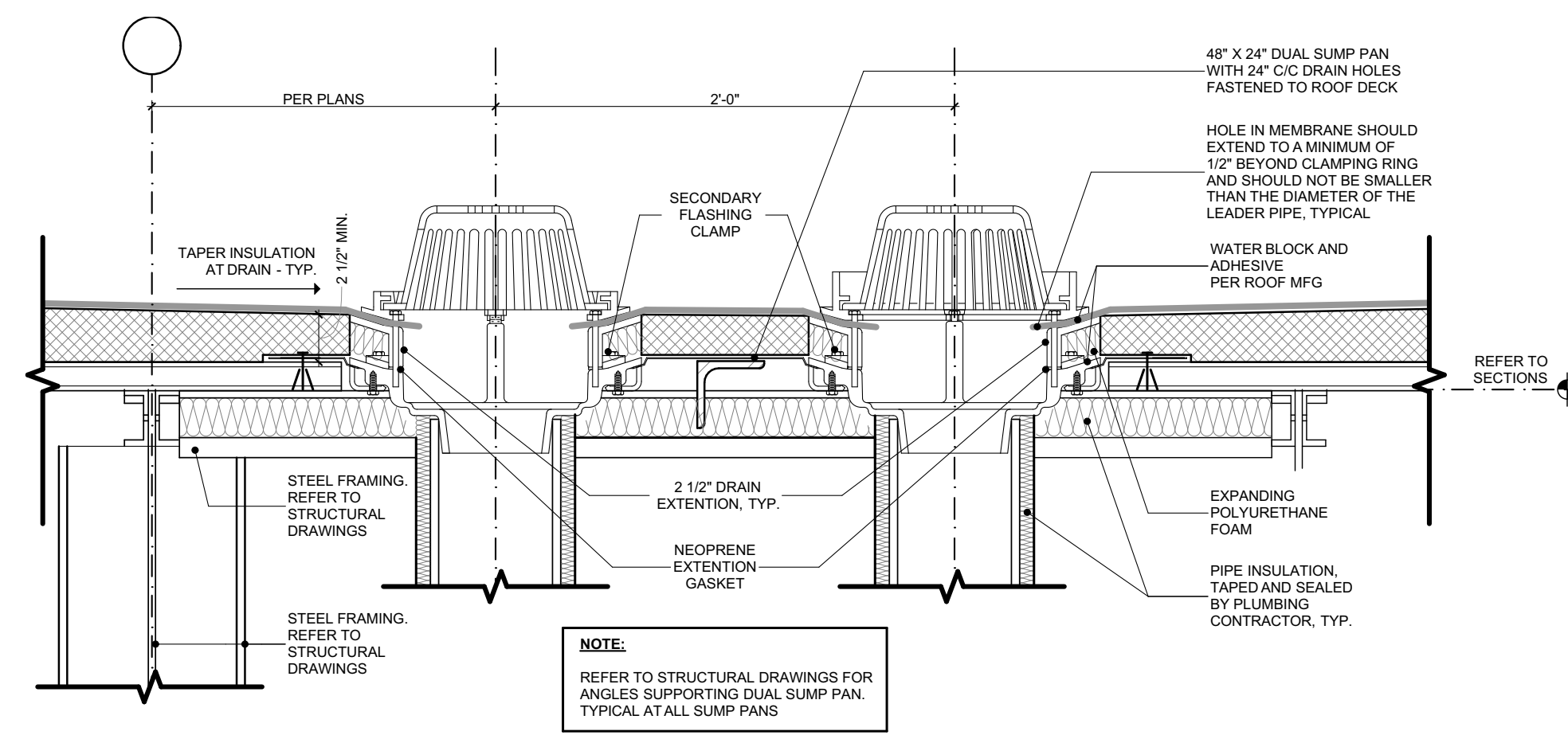
INTERIOR STUD WALL SYMBOL KEY

- A1**
- GYP. BOARD CONFIGURATION**
- GYP. BOARD FULL HEIGHT BOTH SIDES
 - GYP. BOARD FULL HEIGHT ONE SIDE
 - GYP. BOARD TO 2' ABOVE FINISH CEILING, BOTH SIDES, NON-RATED
 - 1 HR FIRE BARRIER
 - 2 HR FIRE BARRIER
 - 1 HR FIRE PARTITION
- STUD WIDTH / TYPE DESIGNATION**
- | | |
|-----------------|------------------|
| A = 2 1/2" / WD | E = 9 1/4" / WD |
| B = 3 1/2" / WD | F = 11 1/4" / WD |
| C = 1 1/2" / WD | G = RESERVED |
| D = 7 1/4" / WD | H = RESERVED |
- TYPES:**
- | | |
|-----|--------------------|
| WD | DIMENSIONAL LUMBER |
| MTL | METAL STUDS |
| ST | STRUCTURAL STUDS |

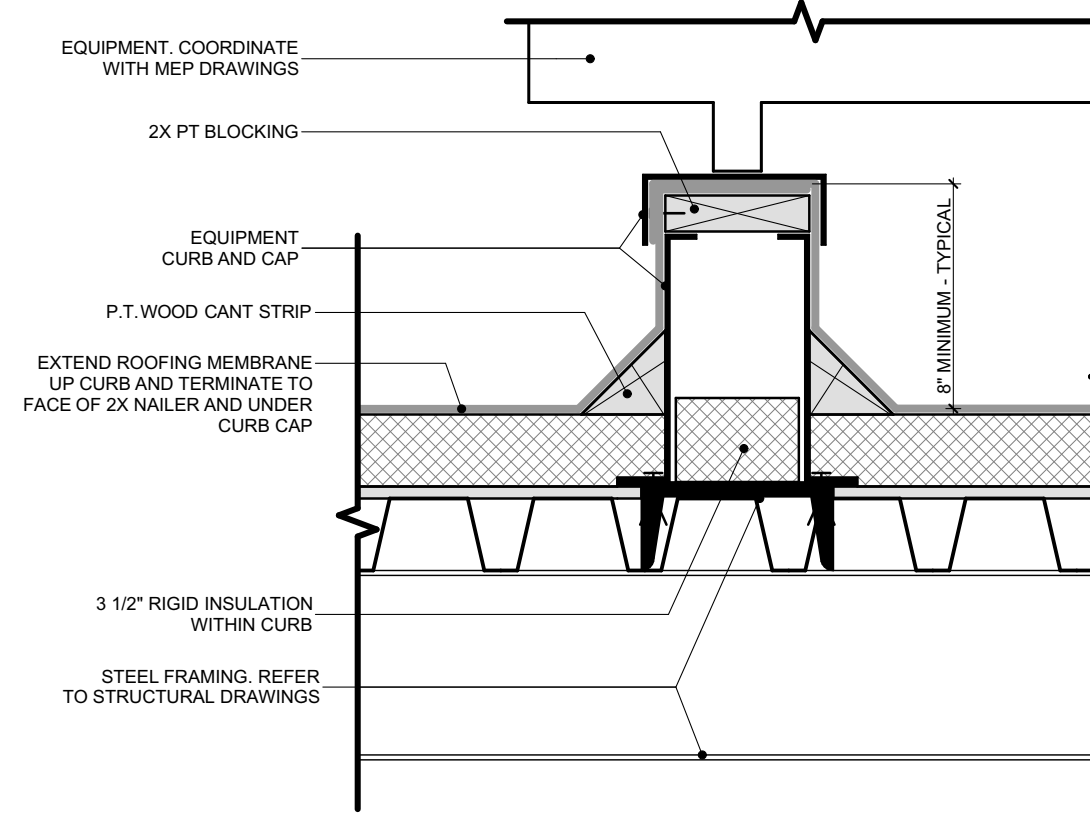


1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

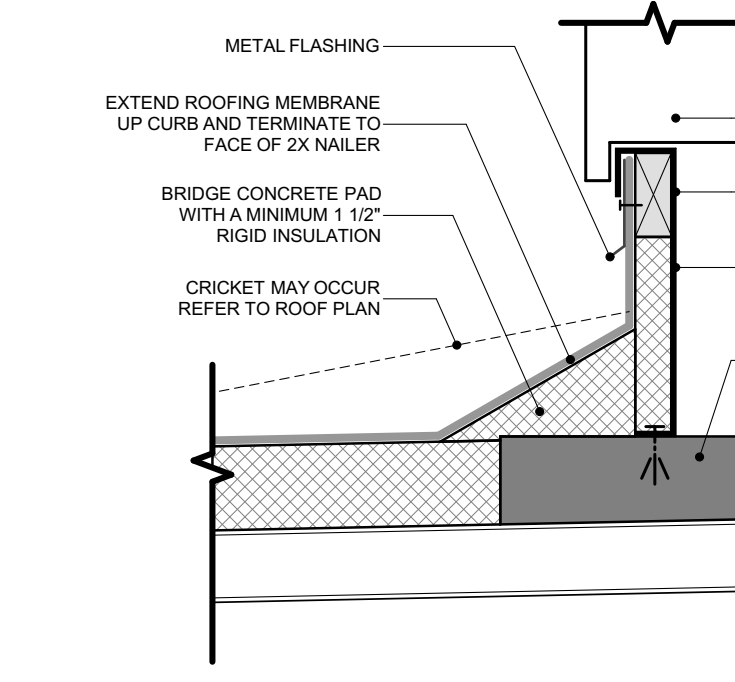
PROGRESS
NOT FOR
CONSTRUCTION
8/21/2023



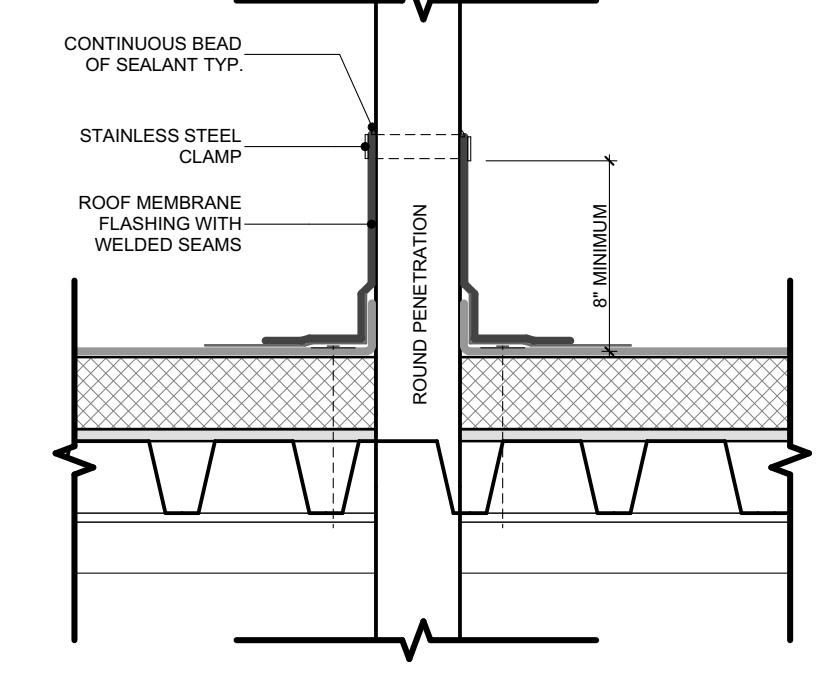
1 ROOF DRAIN WITH OVERFLOW
SCALE: 1 1/2\"/>



2 ROOF RAIL CURB
SCALE: 1 1/2\"/>

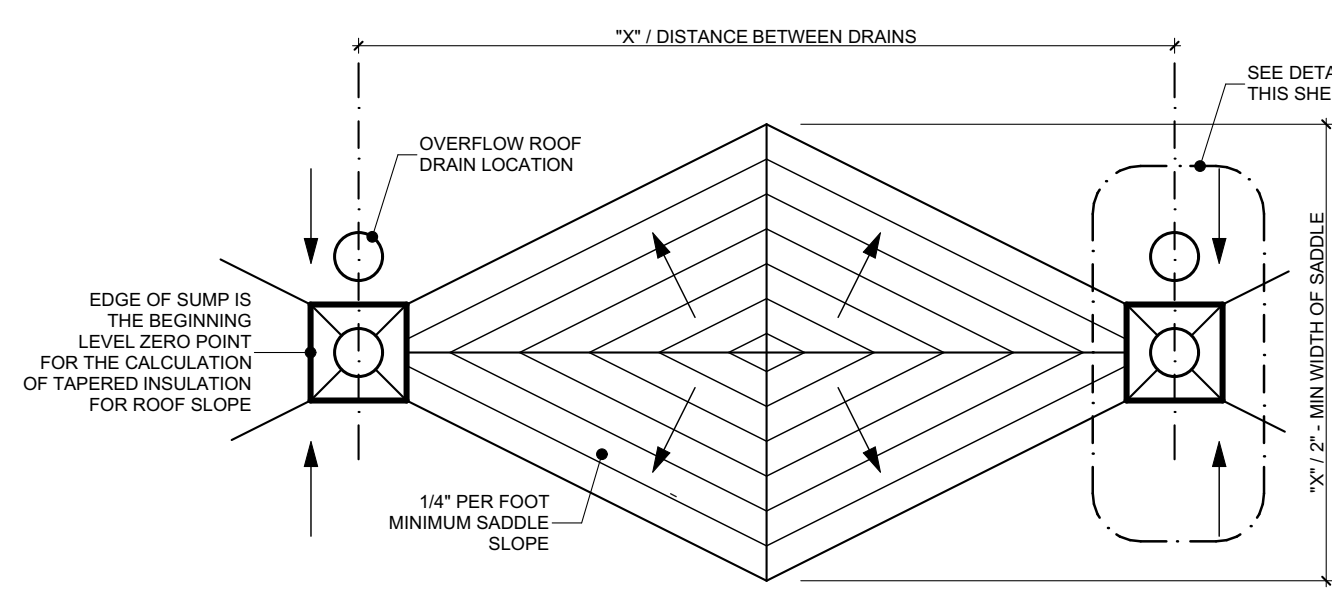


3 ROOF EQUIPMENT CURB
SCALE: 1 1/2\"/>

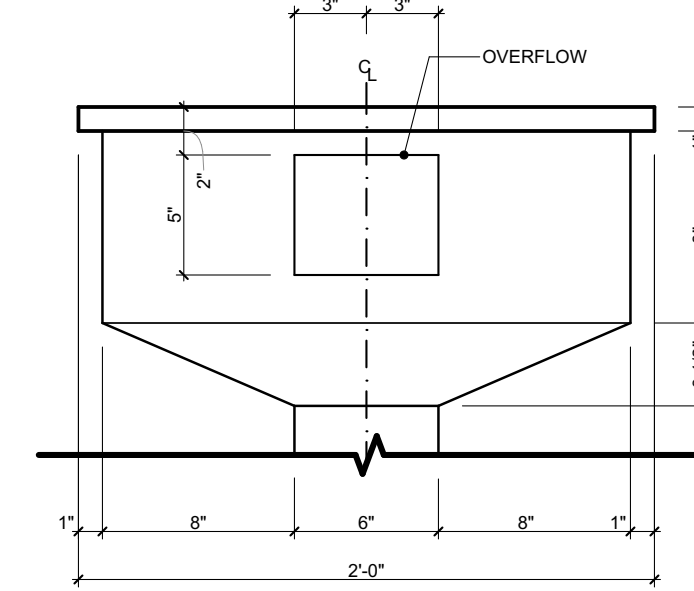


4 PIPE PENETRATION
SCALE: 1 1/2\"/>

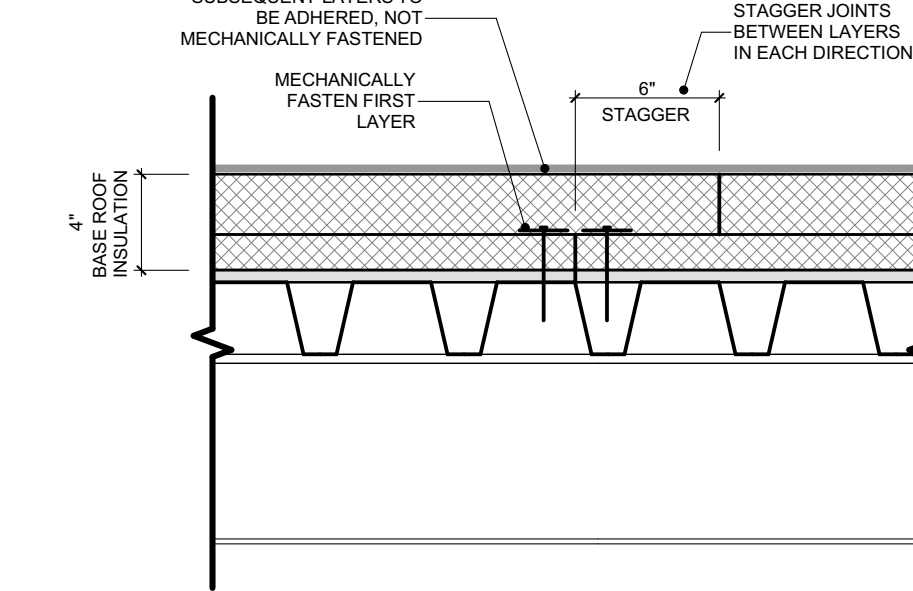
NOTE:
REFER TO STRUCTURAL DRAWINGS FOR ANGLES SUPPORTING DUAL SUMP PANS. TYPICAL AT ALL SUMP PANS.



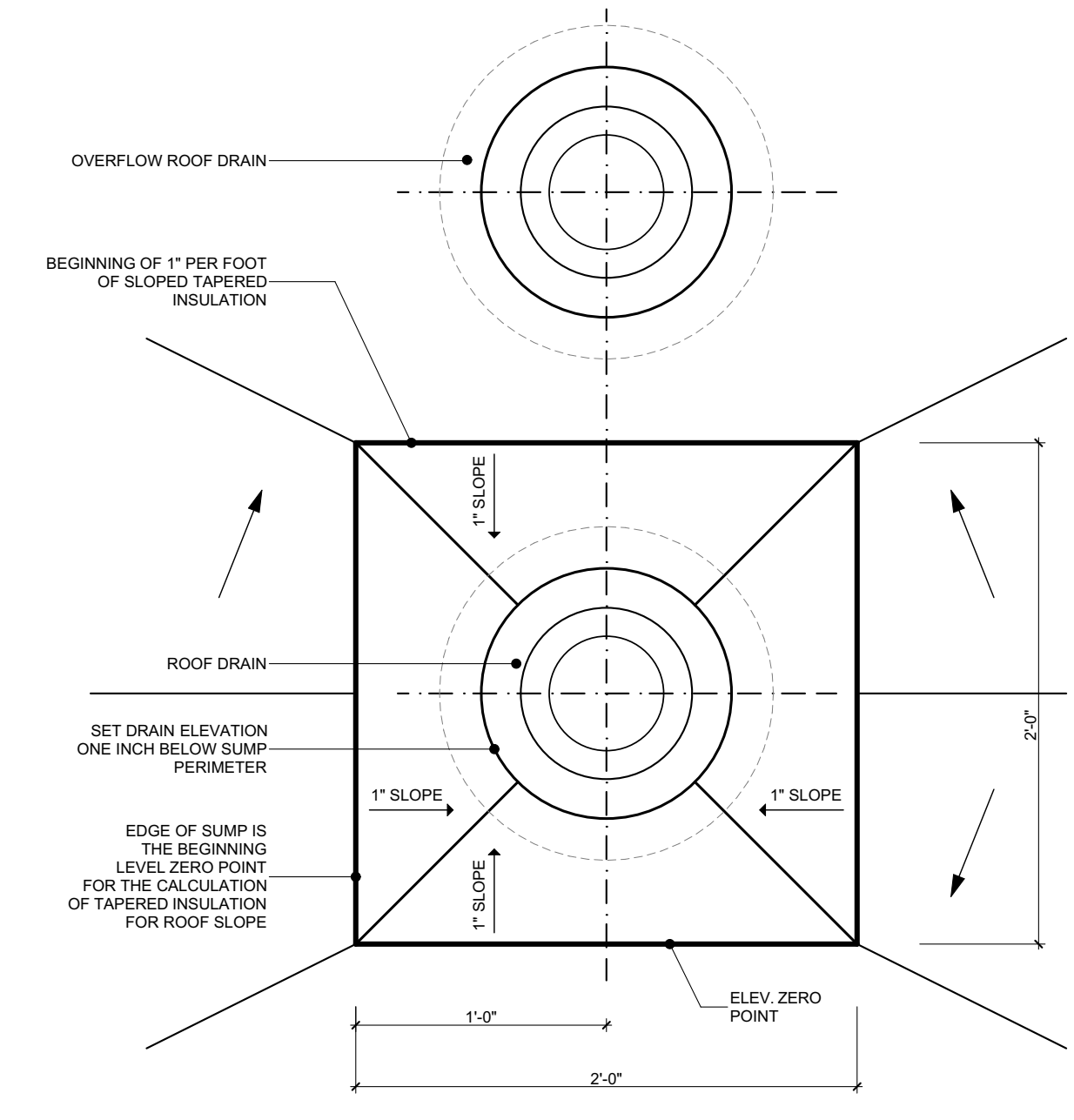
5 ROOF SADDLE GEOMETRY PLAN
SCALE: 1/4\"/>



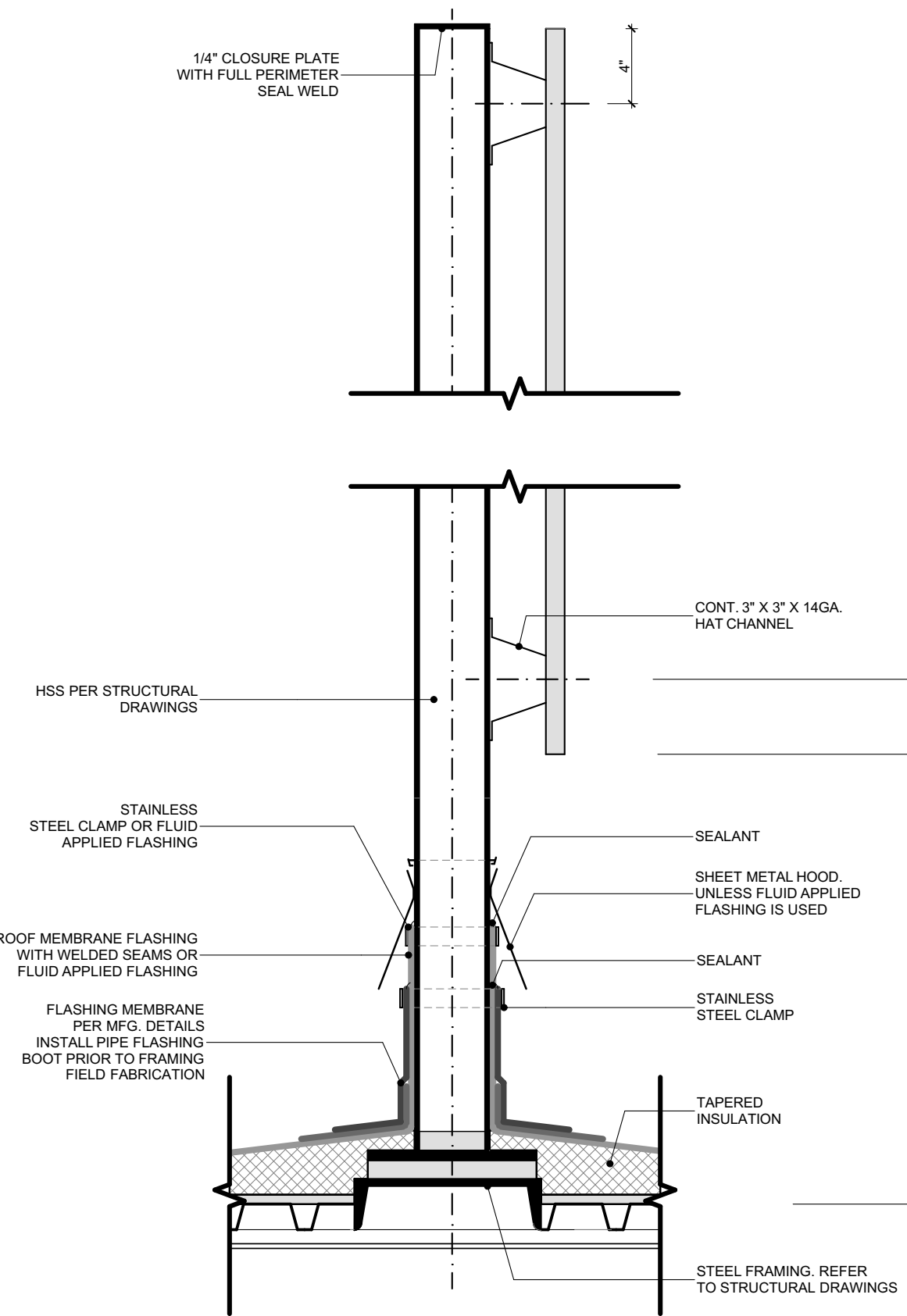
6 ROOF CONDUCTOR HEAD
SCALE: 1 1/2\"/>



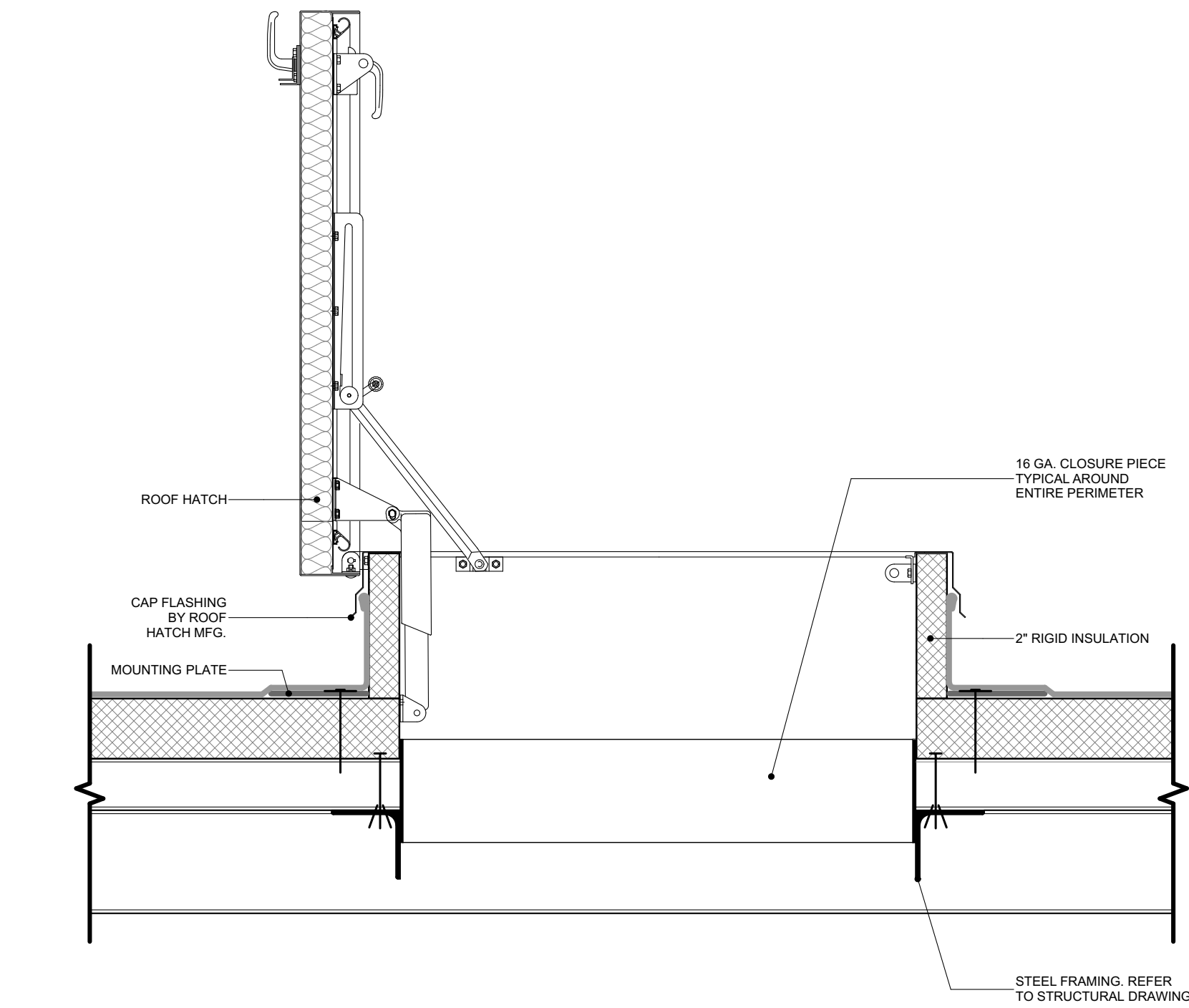
7 TYPICAL ROOF INSULATION
SCALE: 1 1/2\"/>



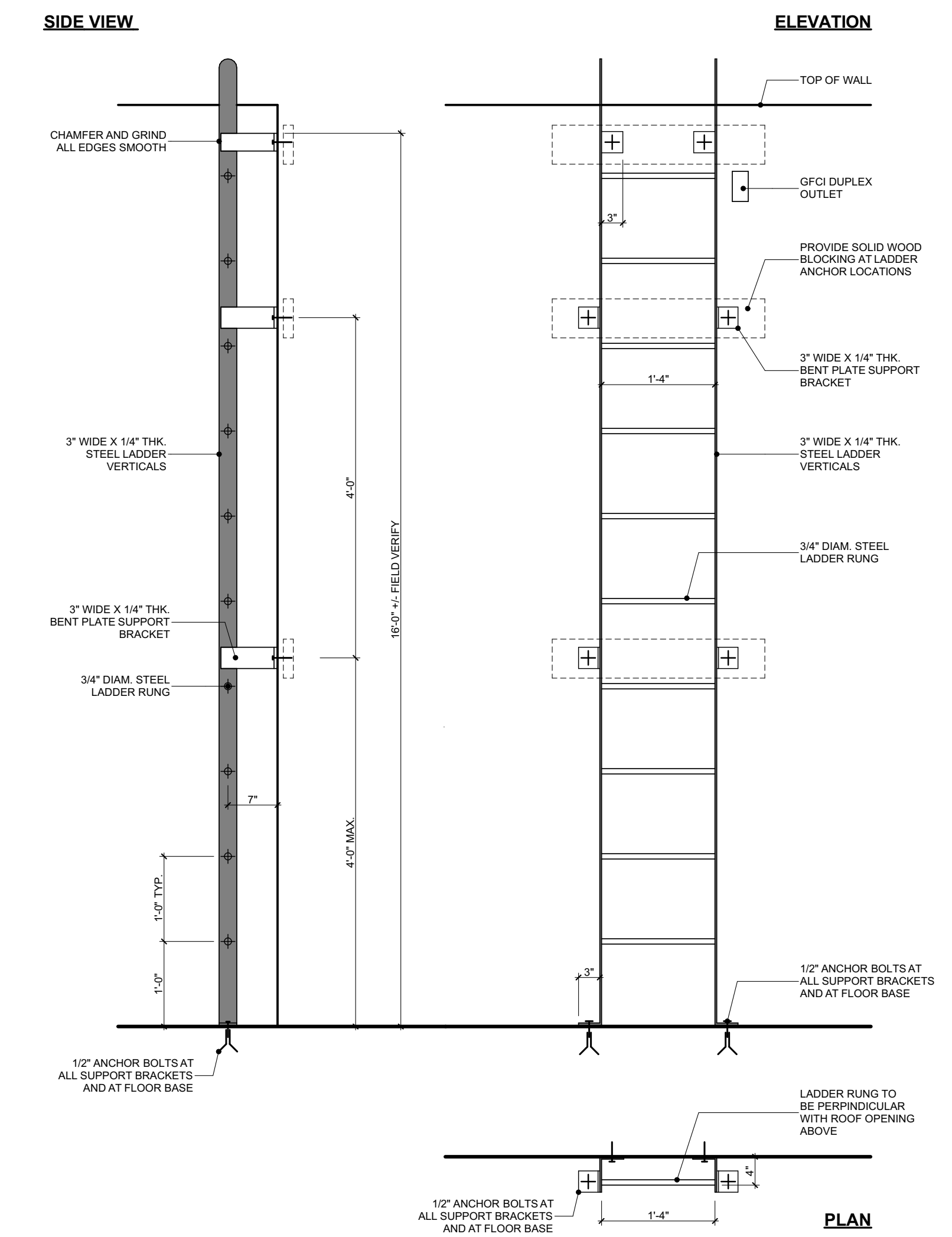
8 ROOF DRAIN PLAN
SCALE: 1 1/2\"/>



9 ROOF SCREEN WALL
SCALE: 1 1/2\"/>



10 ROOF HATCH
SCALE: 1 1/2\"/>



11 ROOF LADDER
SCALE: 3/4\"/>

The Third Estimate Showroom
16205 Hilliard Road, Lakewood, Ohio 44107

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ROOF DETAILS

A1.05

ELECTRICAL INFORMATION LEGEND

- SINGLE POLE LIGHT SWITCH
- MULTIPLE POLE LIGHT SWITCH
- RECESSED SHALLOW PUCK LIGHT
- TRACK LIGHTING SYSTEM
- RECESSED ADJUSTABLE EYEBALL CAN
- COVE LIGHTING
- WALL SCONCE
- EXTERIOR WALL MOUNTED FIXTURE
- SURFACE MOUNT FIXTURE
- PENDANT FIXTURE
- SURFACE MOUNT LINEAR LED
- WALL MOUNT VANITY FIXTURE LIGHT
- ART LIGHT
- FAN LIGHT / EXHAUST FAN
- CAN FAN
- UNDER CABINET LIGHTING
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- DUPLEX RECEPTACLE
- GFCI DUPLEX RECEPTACLE
- 220V APPLIANCE OUTLET
- GARAGE DOOR OPENER RECEPTACLE
- WEATHERPROOF DUPLEX RECEPTACLE
- FLOOR DUPLEX RECEPTACLE
- EXHAUST FAN
- CEILING FAN

CEILING TYPE LEGEND

- PAINTED GYPSUM BOARD CEILING
- (ACT-1) 12 X 2 LAY-IN CEILING TILE
- (ACT-2) 2 X 4 LAY-IN CEILING TILE
- (WD-1) WOOD SLAT CEILING
- (WD-2) WOOD SLAT CEILING
- (MS-1) THIN BRICK TILE

CEILING PLAN NOTES

SMOKE ALARM LOCATIONS
SMOKE ALARMS SHALL COMPLY WITH SECTIONS R314. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. CONSULT R314 FOR ADDITIONAL SMOKE ALARM INFORMATION.

CARBON MONOXIDE DETECTORS
CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTIONS R315. CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS WHEN EITHER OR BOTH OF THE FOLLOWING CONDITIONS EXIST: 1. THE DWELLING UNIT CONTAINS A FUEL-BURNING APPLIANCE; 2. THE DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. WHEN A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM. CONSULT R315 FOR ADDITIONAL CARBON MONOXIDE DETECTOR INFORMATION.

OUTLET SPACING & LOCATIONS
OUTLETS TO BE SPACED PER NEC RESIDENTIAL CODE. APPLIANCE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT FOR SPECIFIC APPLIANCES SHALL BE INSTALLED WITHIN 6 FT OF THE INTENDED LOCATION OF THE APPLIANCE. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL CORNER TOP AND WORK SURFACE THAT IS 12 INCHES OR MORE MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH END CORNER TOP AND COUNTER TOP SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BATH.

PER NEC 210.8, THE FOLLOWING LOCATIONS SHALL HAVE GROUND-Fault CIRCUIT INTERRUPTER PROTECTION: 1) BATHROOMS; 2) GARAGES & ACCESSORIES; BUILDINGS THAT TRAVEL A FLOOR LOCATED AT OR BELOW GRADE LEVEL NOT INTENDED FOR HABITABLE AREAS AND LIMITS TO STORAGE AREAS, WORK AREAS, AND AREAS OF SIMILAR USE; 3) OUTDOORS; 4) CRAWL SPACES; 5) BASEMENTS; 6) KITCHENS; 7) SINKS; 8) BATHHOUSES; 9) BATHUBS OR SHOWER STALLS; 10) LAUNDRY AREAS. FOR ADDITIONAL ELECTRICAL INFORMATION CONSULT NEC.

VERIFY LOCATION, NUMBER, AND SWITCHING OF FIXTURES WITH OWNER.

ALL FIXTURES ON WOOD CEILINGS TO BE CENTERED ON BOARDS.

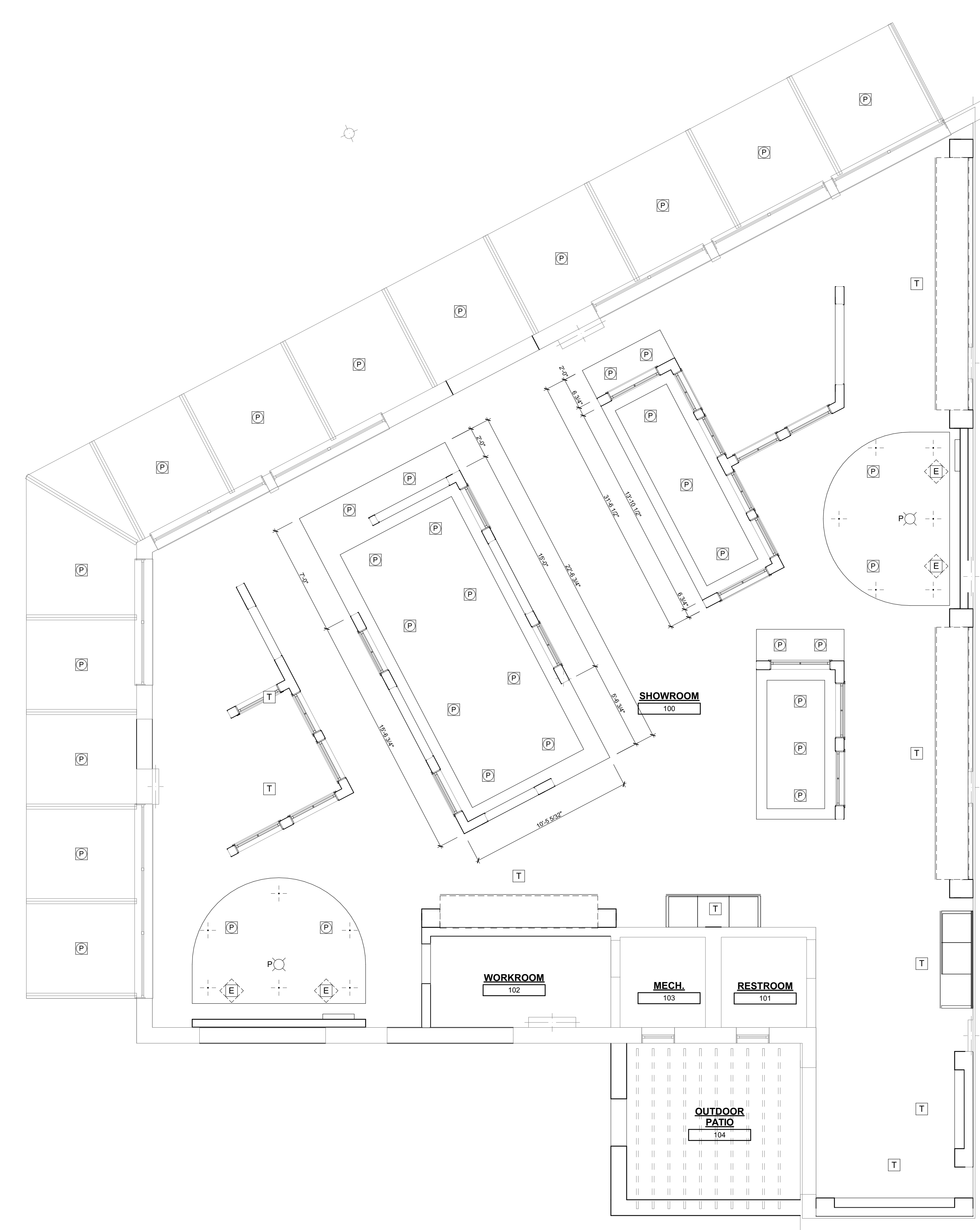
LIGHTING LAYOUT FOR REFERENCE ONLY. LIGHTING LAYOUT TO BE FINISHED FROM LIGHTING WALKTHROUGH.

CEILING PLAN CODED NOTES

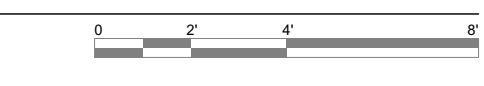
- NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET
- 1 ALIGN EDGE OF CEILING OR SOFFIT WITH INDICATED EDGE
- 2 NO CEILING THIS SPACE. EXPOSED TO STRUCTURE ABOVE. ALL EXPOSED ELECTRICAL, HVAC AND PLUMBING COMPONENTS TO BE PAINTED BLACK FOR PAINT PRODUCT SELECTION REFER TO EACH COMPONENT MANUFACTURER'S REQUIREMENTS.
- 3 WOOD SLAT CEILING. REFER TO 21A1.11 FOR DETAIL. TYPICAL FOR ALL CEILINGS OF THIS TYPE.

CEILING PLAN NOTES

1. CEILINGS ARE 7'-0" UN. WHERE ACOUSTIC PANEL CEILING INDICATED, TYPICAL IS ACT-1 U.N.
2. CEILING GRID TO BE CENTERED IN ROOM UNLESS DIMENSIONED OTHERWISE.
3. CEILING MOUNTED FIXTURES INCLUDING, BUT NOT LIMITED TO, LIGHTS, DIFFUSERS, SPRINKLER HEADS, EXT. SIGNS, FIRE ALARM STROBES, SMOKE DETECTORS TO BE CENTERED IN CEILING TILE IN WHICH THEY OCCUR UNLESS NOTED OTHERWISE.
4. EXT. SIGNS INDICATED ABOVE EGRESS DOORS TO BE LOCATED ON CENTERLINE OF DOOR SWING.
5. ALL SPRINKLER HEADS IN CORRIDOR TO BE ALIGNED A UNIFORM DISTANCE FROM A SINGLE PLANE WITHIN THAT SPECIFIC CORRIDOR CEILING.
6. ARCHITECTURAL REFLECTED CEILING PLAN DISPLAYS GENERAL LOCATION AND LAYOUT SCHEME OF CEILING AND CEILING MOUNTED FIXTURES. CONSULTANT DRAWINGS SHOULD BE UTILIZED FOR FIXTURE TYPE AND QUANTITIES. WHERE MAJOR DISCREPANCIES EXIST BETWEEN ARCHITECTURAL AND CONSULTANT DOCUMENTS RELATIVE TO LOCATION OF CEILING MOUNTED ITEMS, ARCHITECTURAL REFLECTED CEILING PLAN SHOULD GOVERN. FOR MAJOR DISCREPANCIES (GREATER THAN 7'), NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH WORK.
7. WHERE NO CEILING OCCURS, REFER TO CONSULTANT DRAWINGS FOR DEVICE LOCATIONS.
8. CEILING MOUNTED EQUIPMENT AND LIGHTING LOCATION IS DIMENSIONED ON REFLECTED CEILING PLAN WHERE NOT CENTERED ON CEILING TILE. REFER TO VENDOR INSTALLATION DOCUMENTS AND METAL FABRICATION DETAILS.
9. WHERE CONTROL OR EXPANSION JOINTS OCCUR, EXTEND CENTERLINE OF JOINT CONTINUOUSLY DOWN SOFFIT, FLOOR DOWN AND WALLS, ALSO HORIZONTAL AND VERTICAL JOINTS.
10. ALL GYPSUM BOARD CEILINGS SHALL BE PAINTED ON FURR DOWN AND FASCIA UNLESS NOTED OTHERWISE. REFERENCE FINISH DRAWING AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



1 FIRST FLOOR CEILING PLAN
SCALE: 1/4" = 1'-0"



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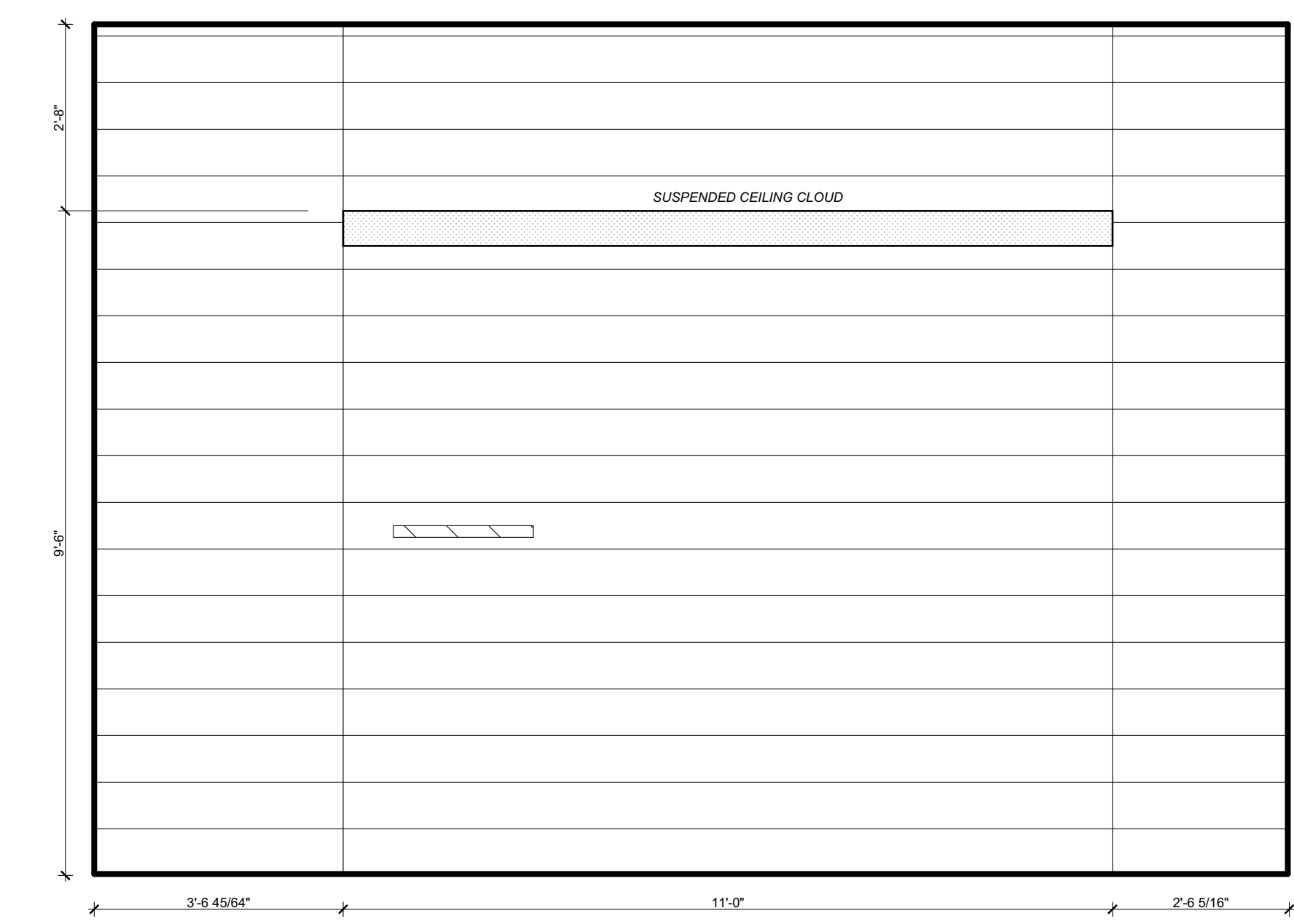
FIRST FLOOR
REFLECTED CEILING
PLAN
A2.02

**PROGRESS
NOT FOR
CONSTRUCTION**
8/21/2023

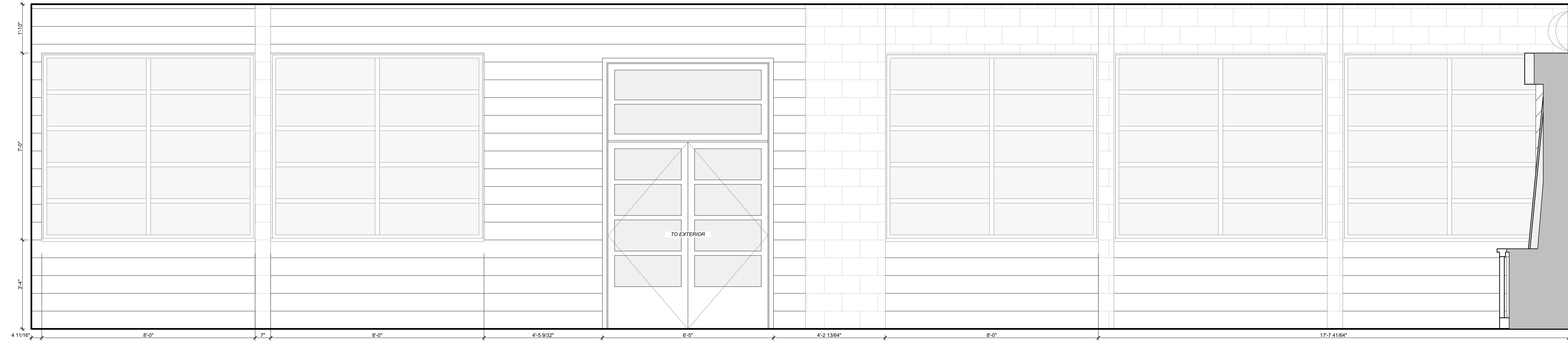
OUTLET LEGEND			
W	WATER CONNECTION	L	LIGHT SWITCH - SEE ELECTRICAL
WS	WATER SHUT-OFF	CB	CODE BUTTON
E	ELECTRICAL OUTLET EM = EMERGENCY	NC	NURSE CALL
FA	FIRE ALARM	H	HUMIDISTAT
T/D	TELEPHONE / DATA	TH	THERMOSTAT
TV	TV CABLE	P	PRESSURE MONITOR
A	MEDICAL AIR	S	BOTTLE SLIDE HOLDER
O	OXYGEN OUTLET	PP	PUSH PLATE
V	VACUUM OUTLET	CR	CARD READER
J	JUNCTION BOX	NL	NIGHT LIGHT
T	TELEPHONE		

- INTERIOR ELEVATION GENERAL NOTES**
- REFER TO PROJECT MANUAL FOR WALL MOUNTED ITEMS. REFER TO TYPICAL INTERIOR ELEVATIONS & MOUNTING HEIGHTS DRAWINGS AND REMAINING AT SERIES DRAWINGS FOR MOUNTING HEIGHTS AND LOCATIONS OF ACCESSORIES, FIXTURES AND SELECT EQUIPMENT NOT INCLUDED IN THE PROJECT MANUAL.
 - PROVIDE BLOCKING WITHIN GYPSUM BOARD PARTITIONS FOR WALL MOUNTED AND RECESSED ACCESSORIES, FIXTURES AND EQUIPMENT.
 - COORDINATE ROUGH OPENING DIMENSIONS FOR RECESSED EQUIPMENT AND ACCESSORIES WITH MANUFACTURER'S REQUIREMENTS.
 - PROVIDE PLASTIC LAMINATE FACING ON ALL EXPOSED SURFACES OF CASEWORK UNLESS NOTED OTHERWISE.
 - PROVIDE FILLERS FOR CABINETS AS REQUIRED.
 - BASE CABINETS AT COUNTERTOPS DEEPER THAN THE STANDARD 2" SHALL HAVE EXTENDED FINISHED ENDS. CABINET BODIES FOR DRAWER UNITS CAN REMAIN STANDARD DEPTH. CABINET BODY SHALL BE FULL DEPTH FOR DOOR AND OPEN CABINET UNITS.
 - OUTSIDE CORNERS OF ALL COUNTERTOPS TO HAVE 1" RADIUS UNLESS NOTED OTHERWISE.
 - PROVIDE ONE ADJUSTABLE SHELF AT ALL WALL CABINETS 30" HIGH AND SHORTER. PROVIDE TWO ADJUSTABLE SHELVES AT ALL WALL CABINETS 28" TO 30" HIGH. PROVIDE ADJUSTABLE SHELVES AS NOTED ON ELEVATIONS AT CABINETS TALLER THAN 30" HIGH. PROVIDE ONE ADJUSTABLE SHELF AT ALL BASE CABINETS UNLESS NOTED OTHERWISE.
 - EXTEND FINISHED END PANELS FROM BACK OF BASE CABINET TO WALL BEYOND WHERE COUNTERTOP DEPTH EXCEEDS 2'-1" STANDARD DEPTH BASE CABINETS SHALL BE USED UNLESS INDICATED OTHERWISE.
 - UNLESS NOTED OTHERWISE, PROVIDE 4" BACKSPASH TO MATCH COUNTERTOP MATERIAL.
 - UNLESS NOTED OTHERWISE, ALL CABINETRY, DOORS AND DRAWERS, WHETHER THEY ARE SCHEDULED TO RECEIVE LOCKS OR NOT ARE TO RECEIVE GROOVE FOR FUTURE LOCK TAIL PIECE.
 - UNLESS NOTED OTHERWISE, CABINET SOFFITS ARE TO BE PLASTIC LAMINATE AND MATCH CASEWORK FINISH.
 - UNLESS NOTED OTHERWISE, PROVIDE 4" ROLLED BACKSPASH FOR STAINLESS STEEL COUNTERTOPS.
 - UNLESS NOTED OTHERWISE, COUNTERTOP SUPPORT ANGLES TO BE TYPE CA-1.
 - REFER TO VENDOR DRAWINGS FOR ITEMS MARKED WITH AN ASTERISK (*).

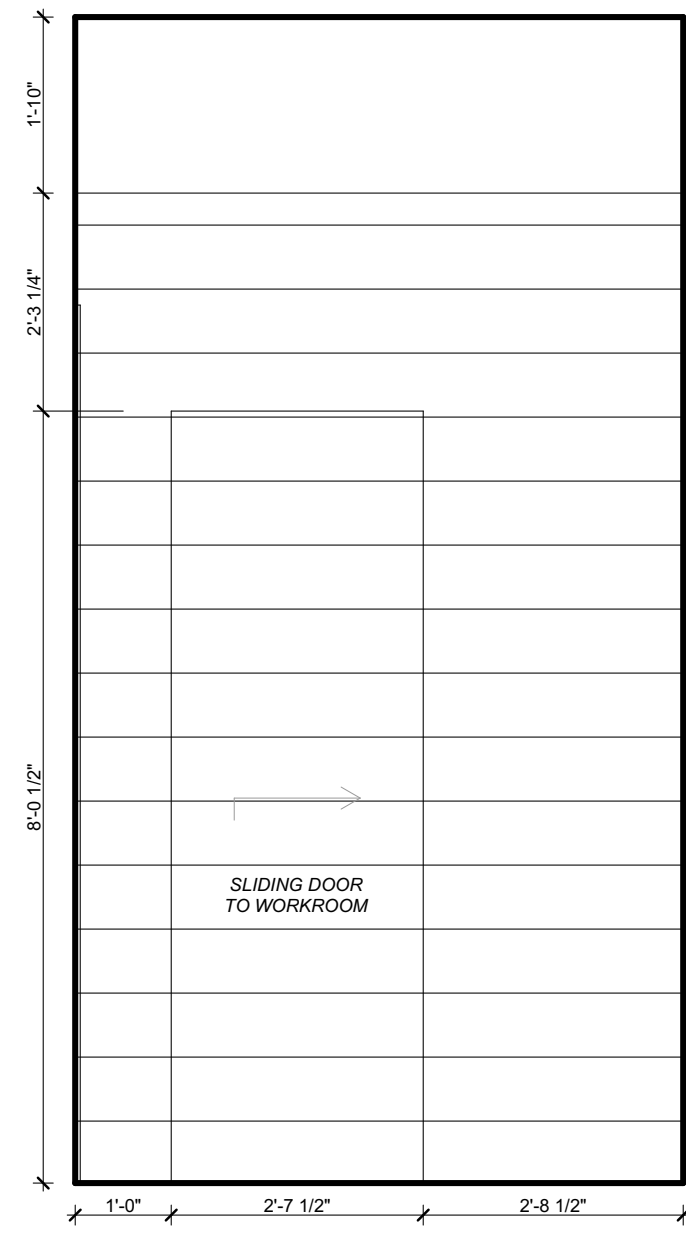
CODED NOTES
NOTE: ALL CODED NOTES MAY NOT OCCUR ON EVERY SHEET



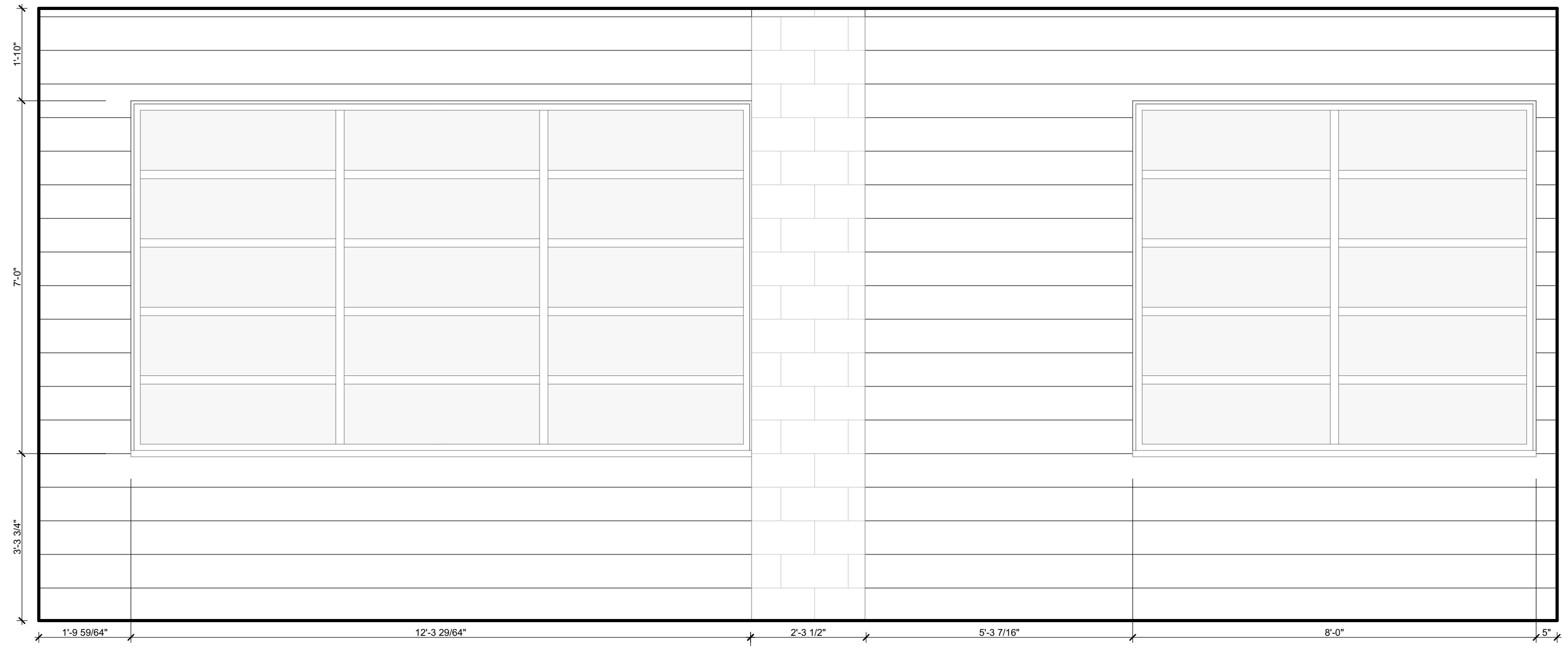
7 MOCK-UP 2
SCALE: 1/2" = 1'-0"



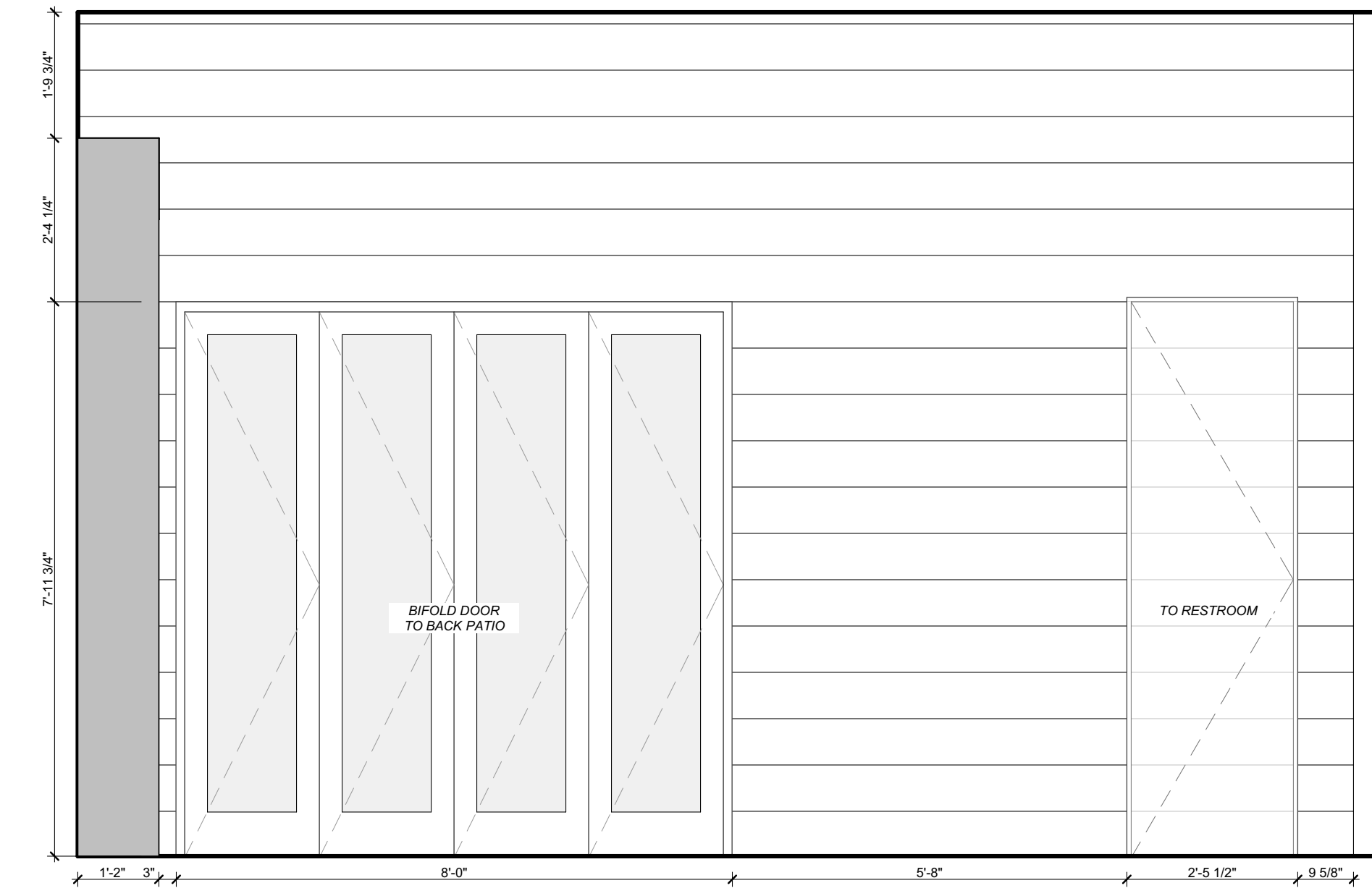
5 ENTRY WALL
SCALE: 1/2" = 1'-0"



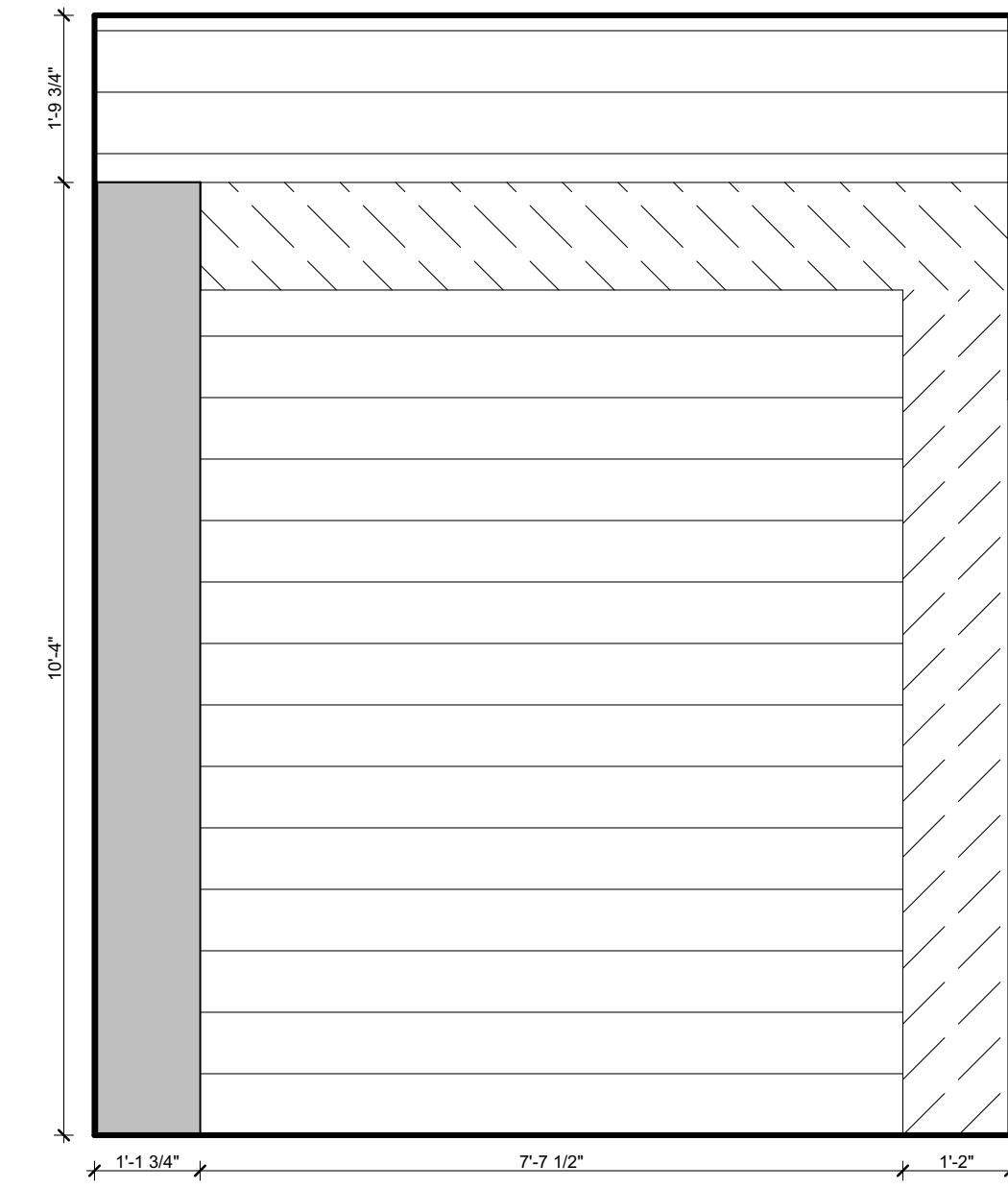
6 MOCK-UP 2
SCALE: 1/2" = 1'-0"



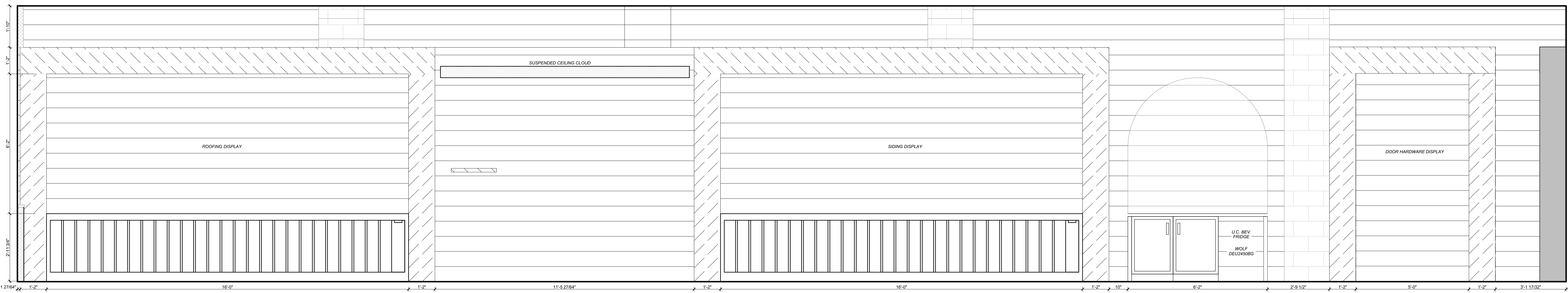
4 WINDOW WALL
SCALE: 1/2" = 1'-0"



3 REAR ENTRY
SCALE: 1/2" = 1'-0"



2 REAR ENTRY
SCALE: 1/2" = 1'-0"



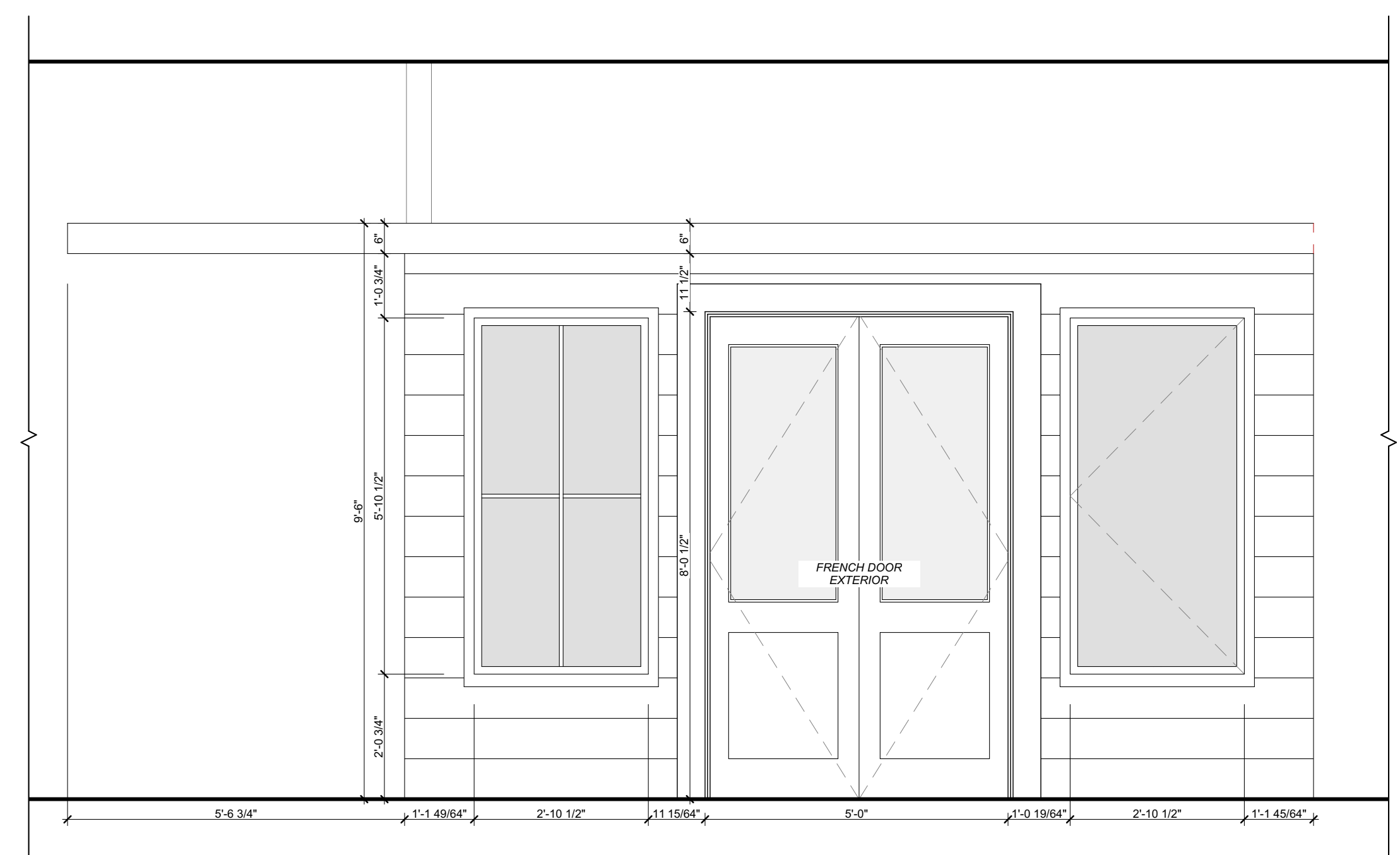
1 DISPLAY WALL
SCALE: 1/2" = 1'-0"

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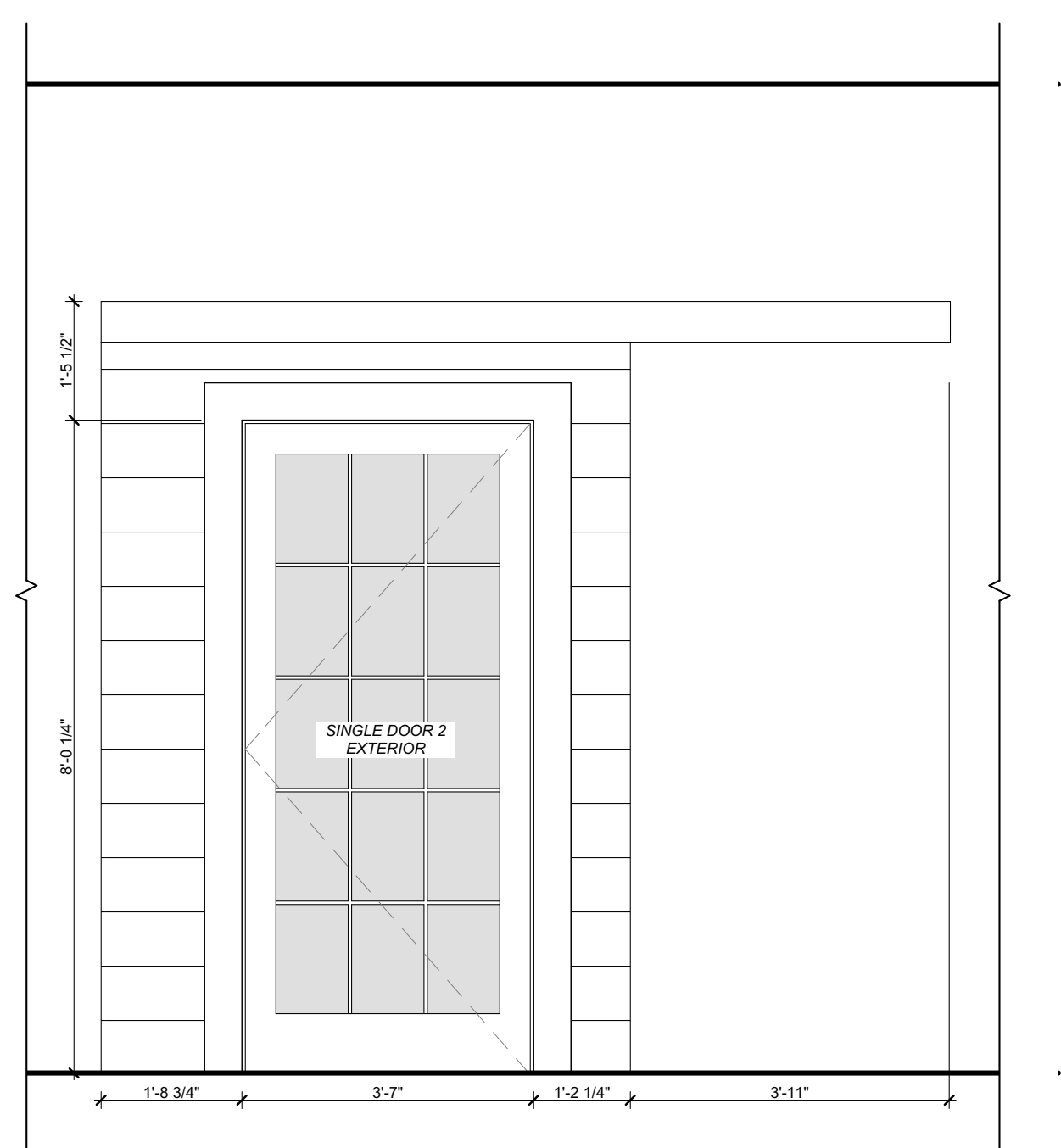
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INTERIOR ELEVATIONS

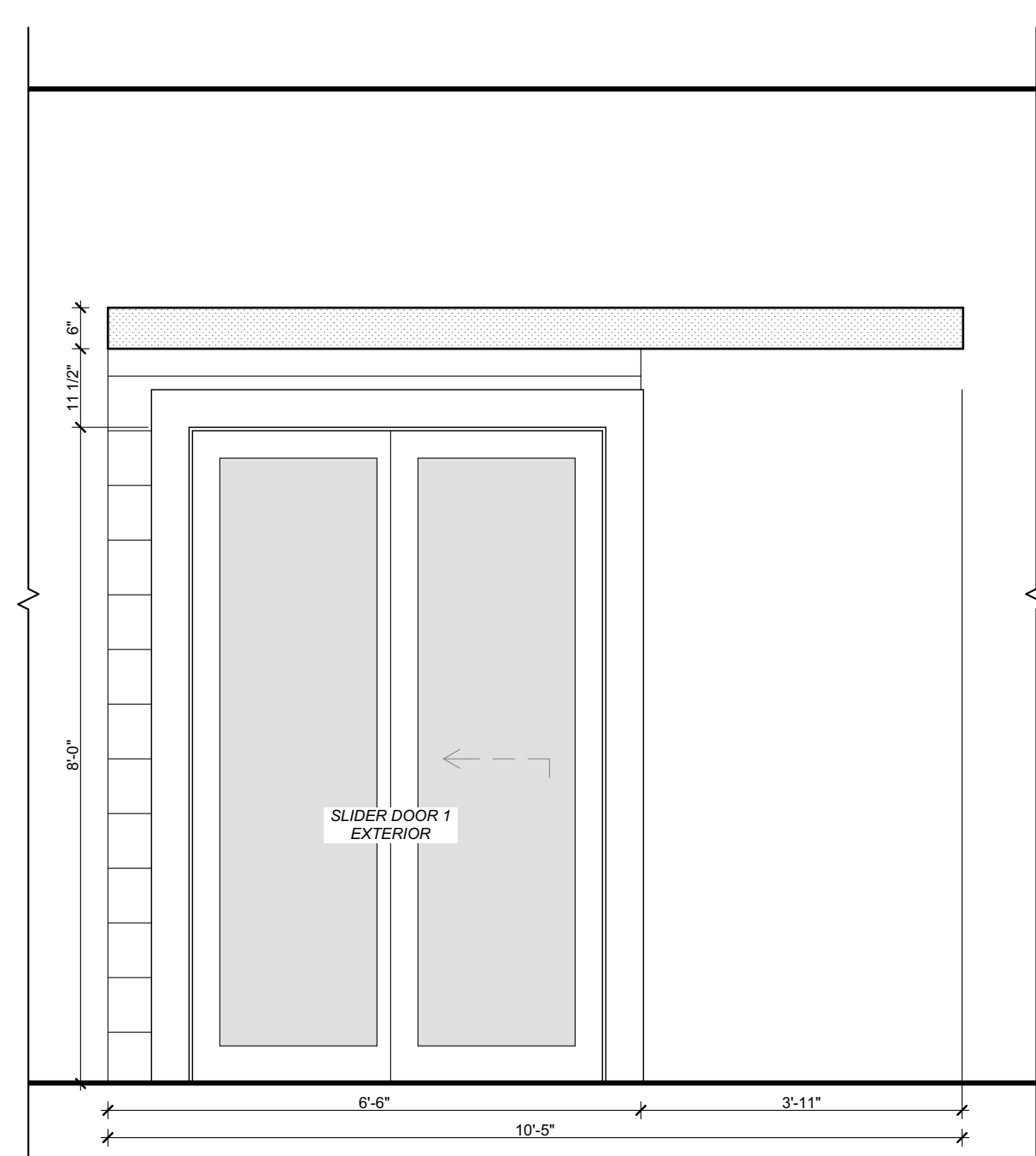
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9 POD B - EXTERIOR
SCALE: 1/2" = 1'-0"



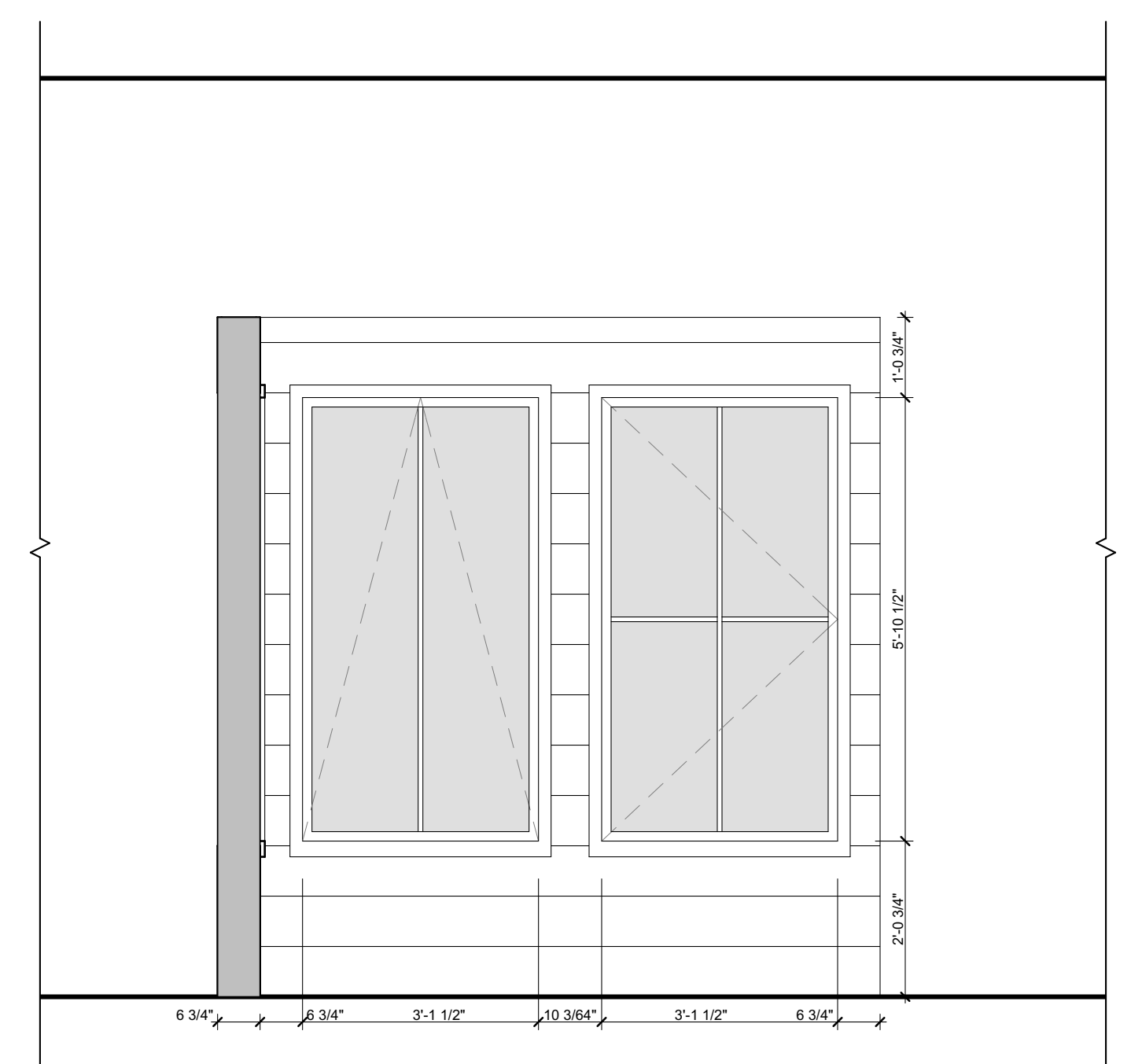
8 POD B - EXTERIOR
SCALE: 1/2" = 1'-0"



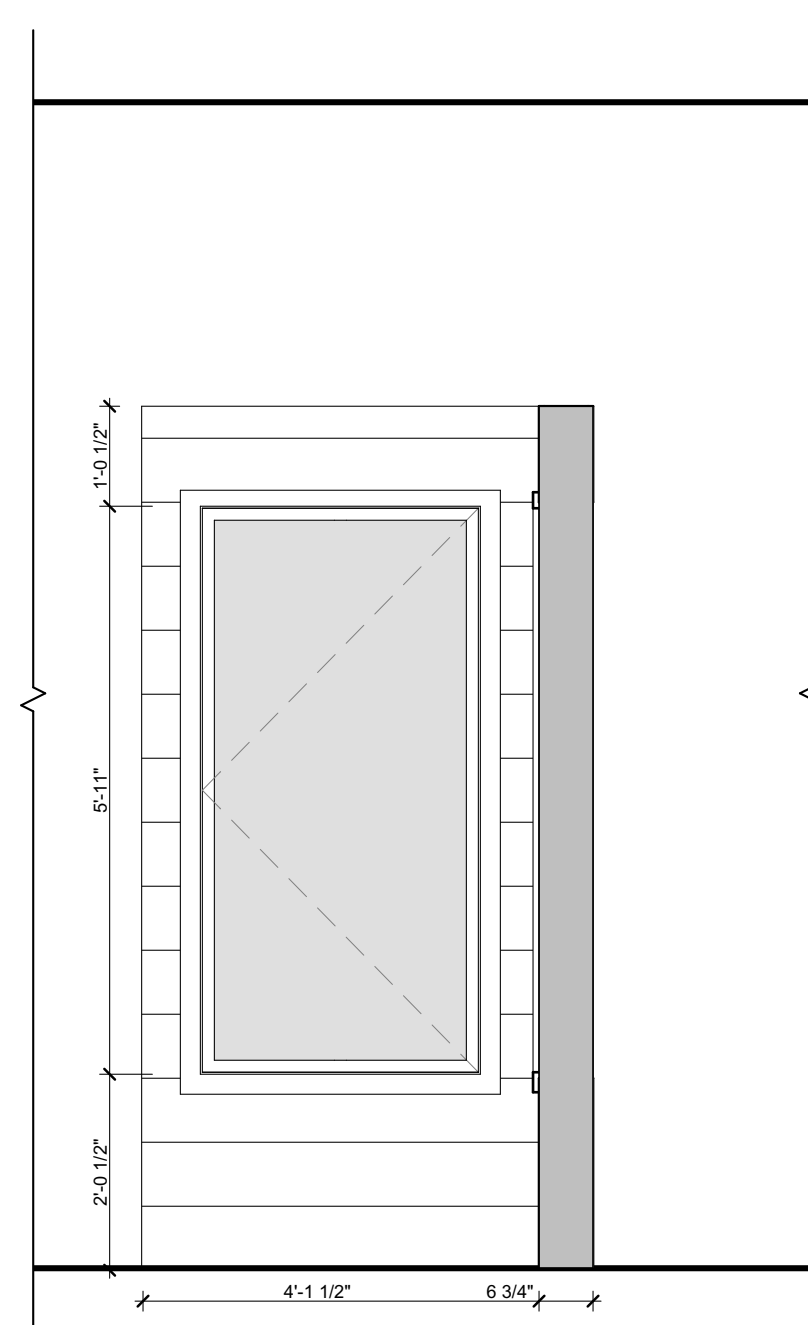
7 POD B - EXTERIOR
SCALE: 1/2" = 1'-0"



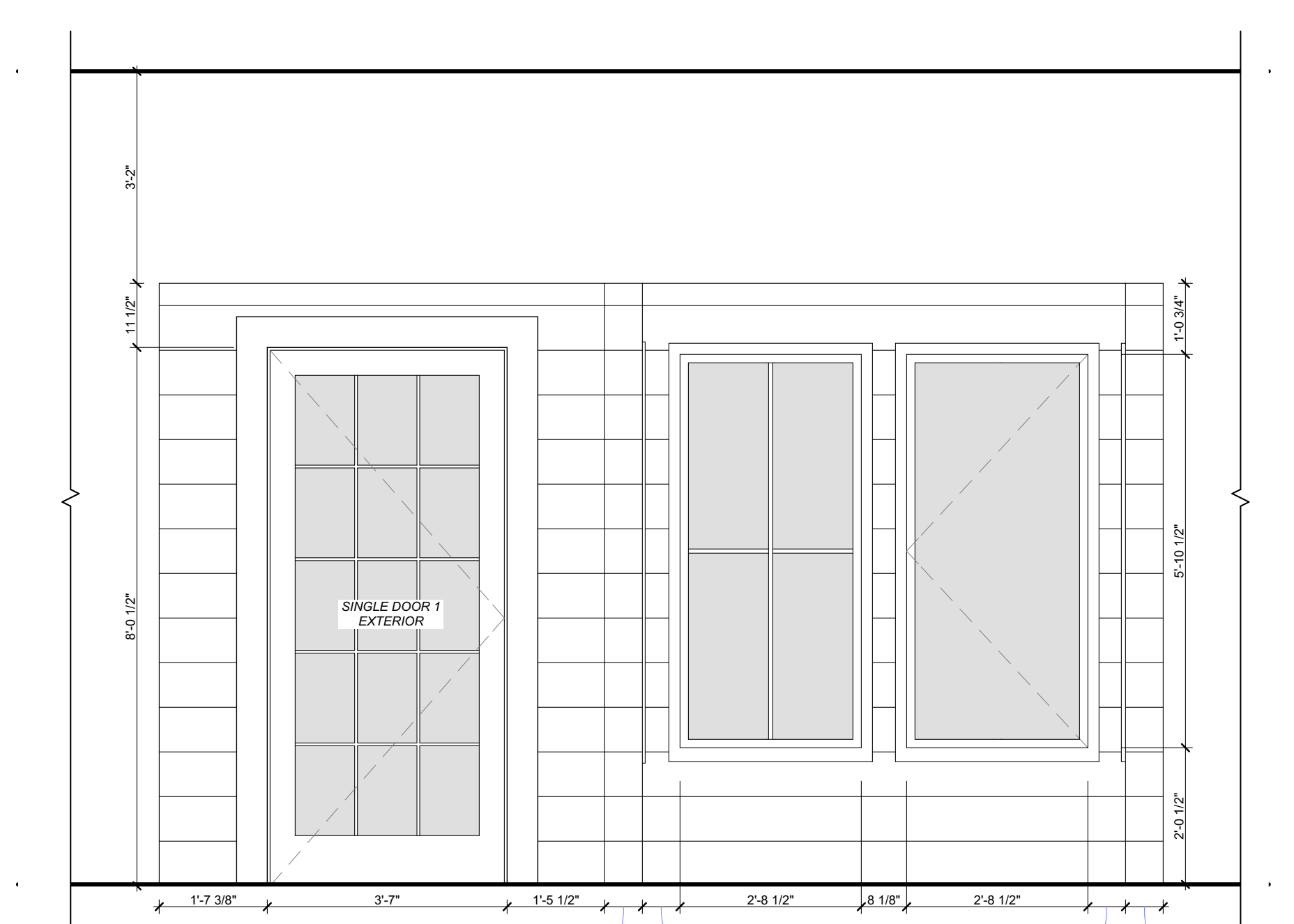
6 POD B - EXTERIOR
SCALE: 1/2" = 1'-0"



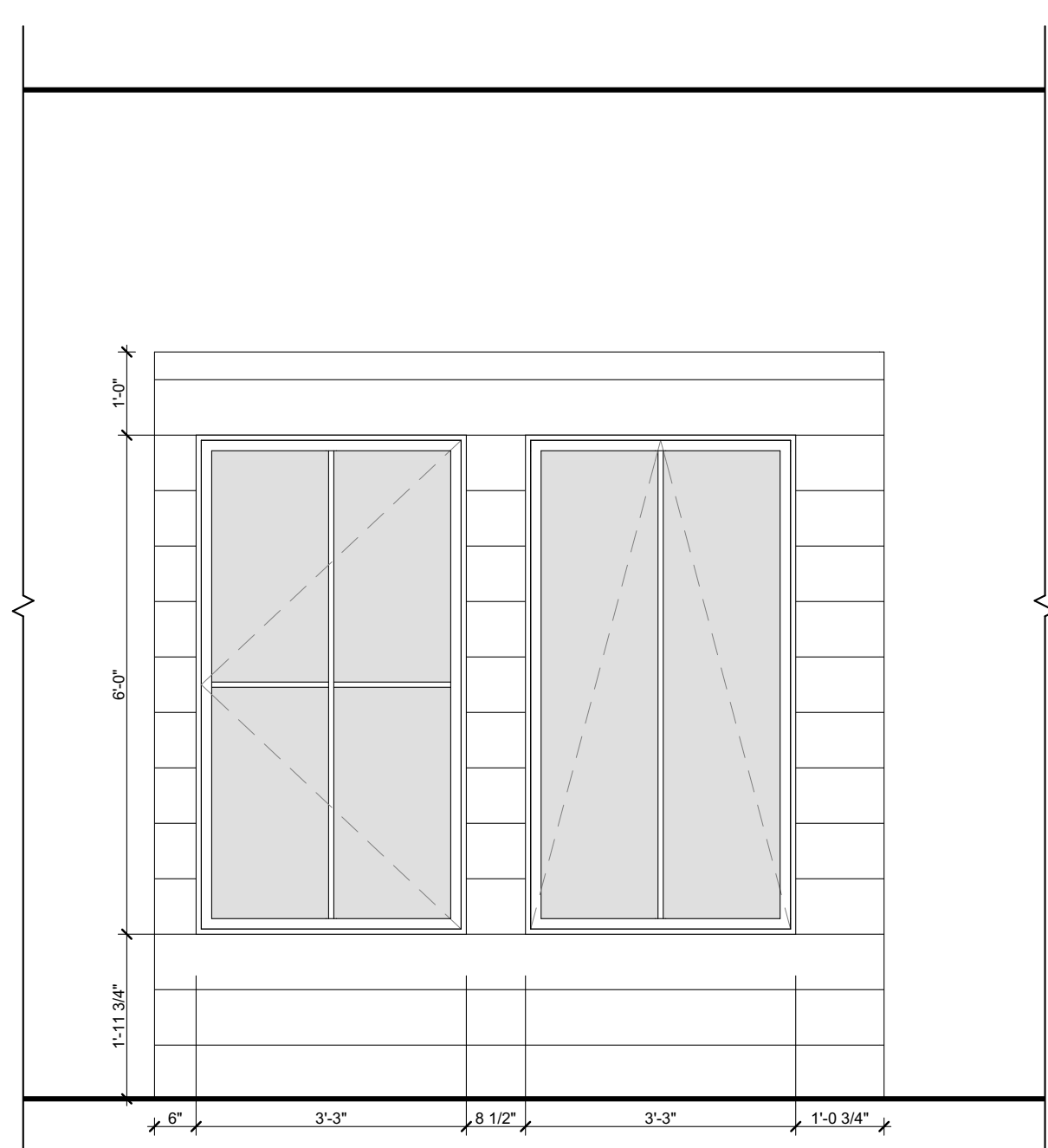
5 POD A - EXTERIOR
SCALE: 1/2" = 1'-0"



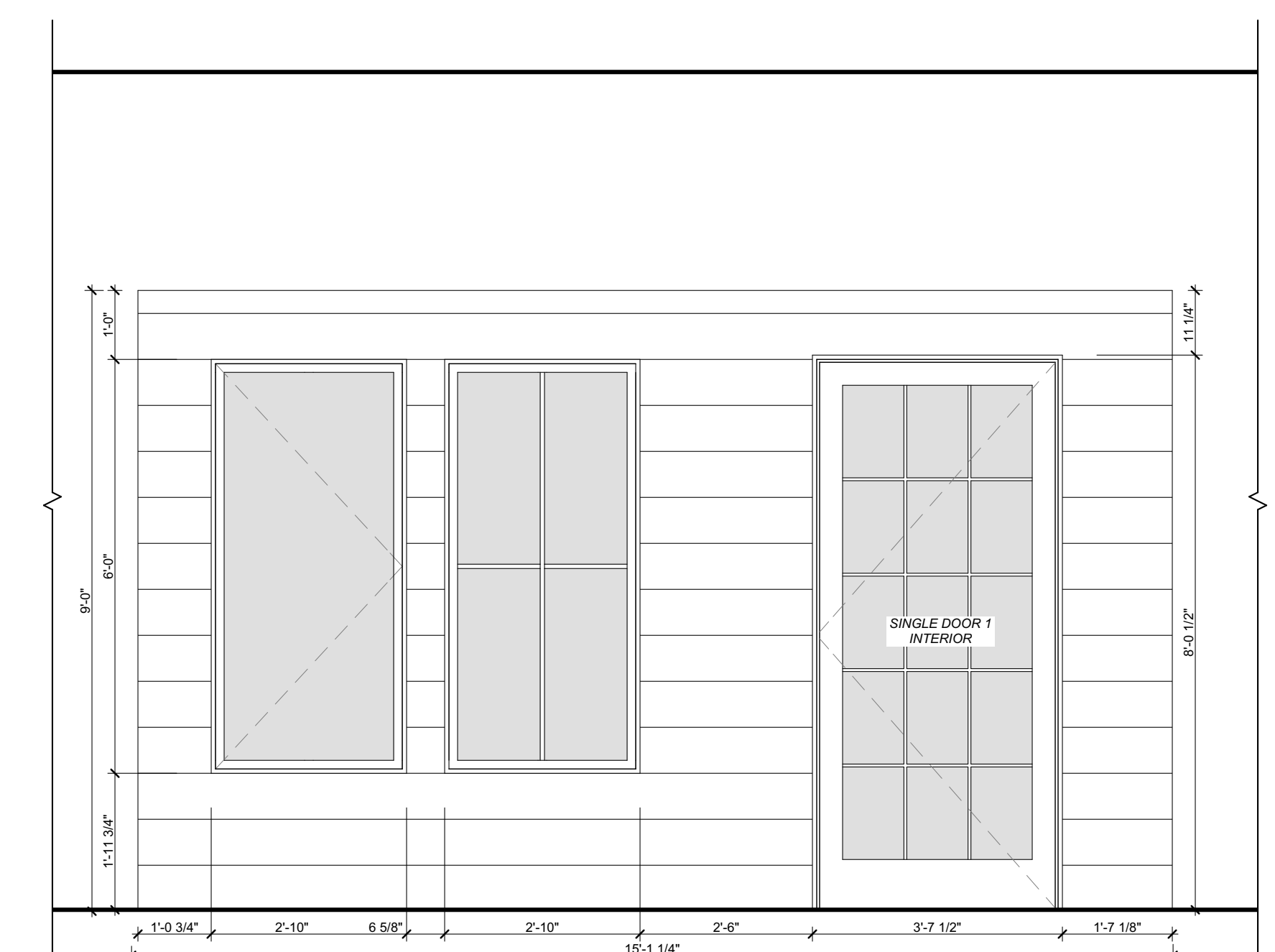
4 POD A - EXTERIOR
SCALE: 1/2" = 1'-0"



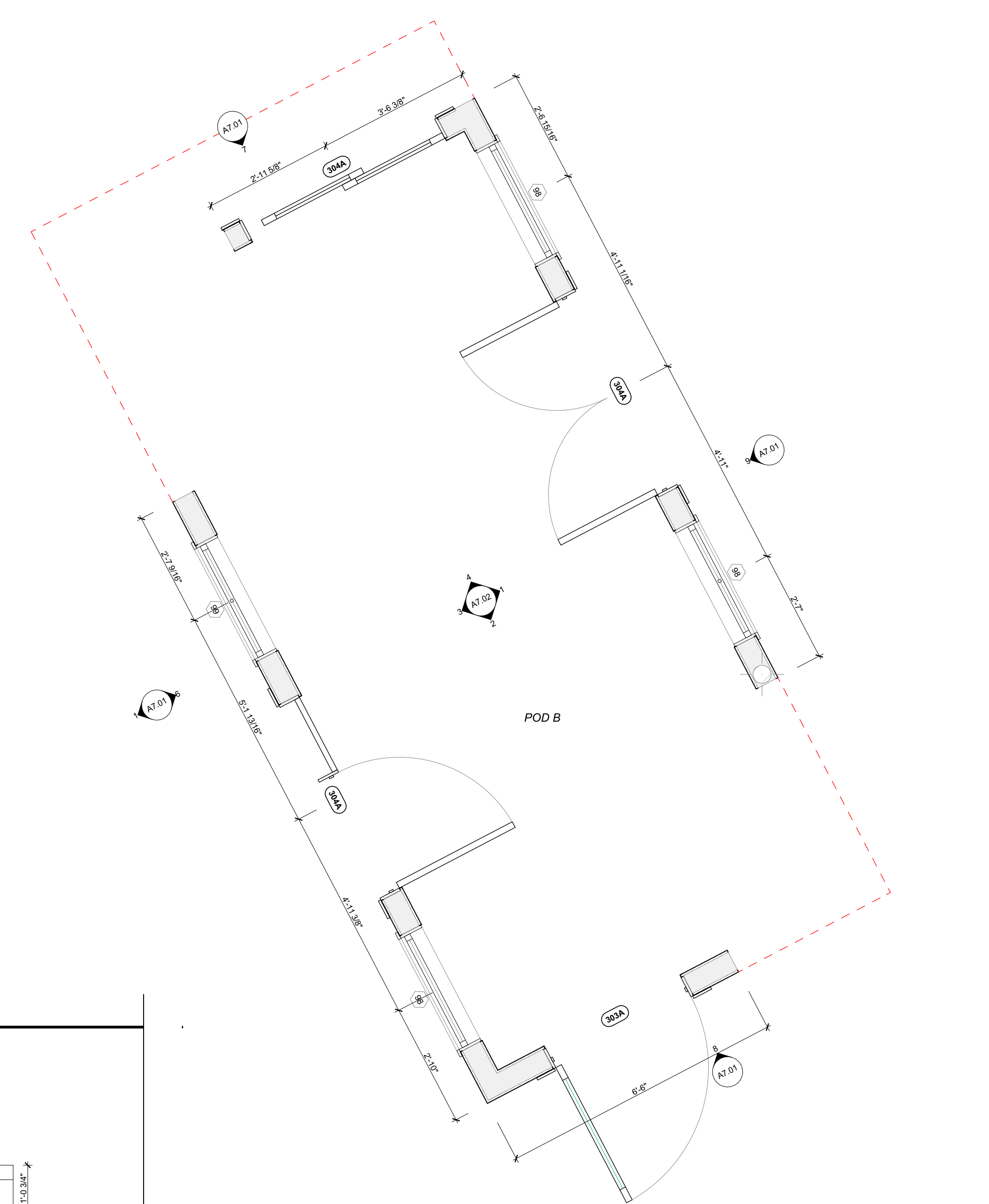
3 POD A - EXTERIOR
SCALE: 1/2" = 1'-0"



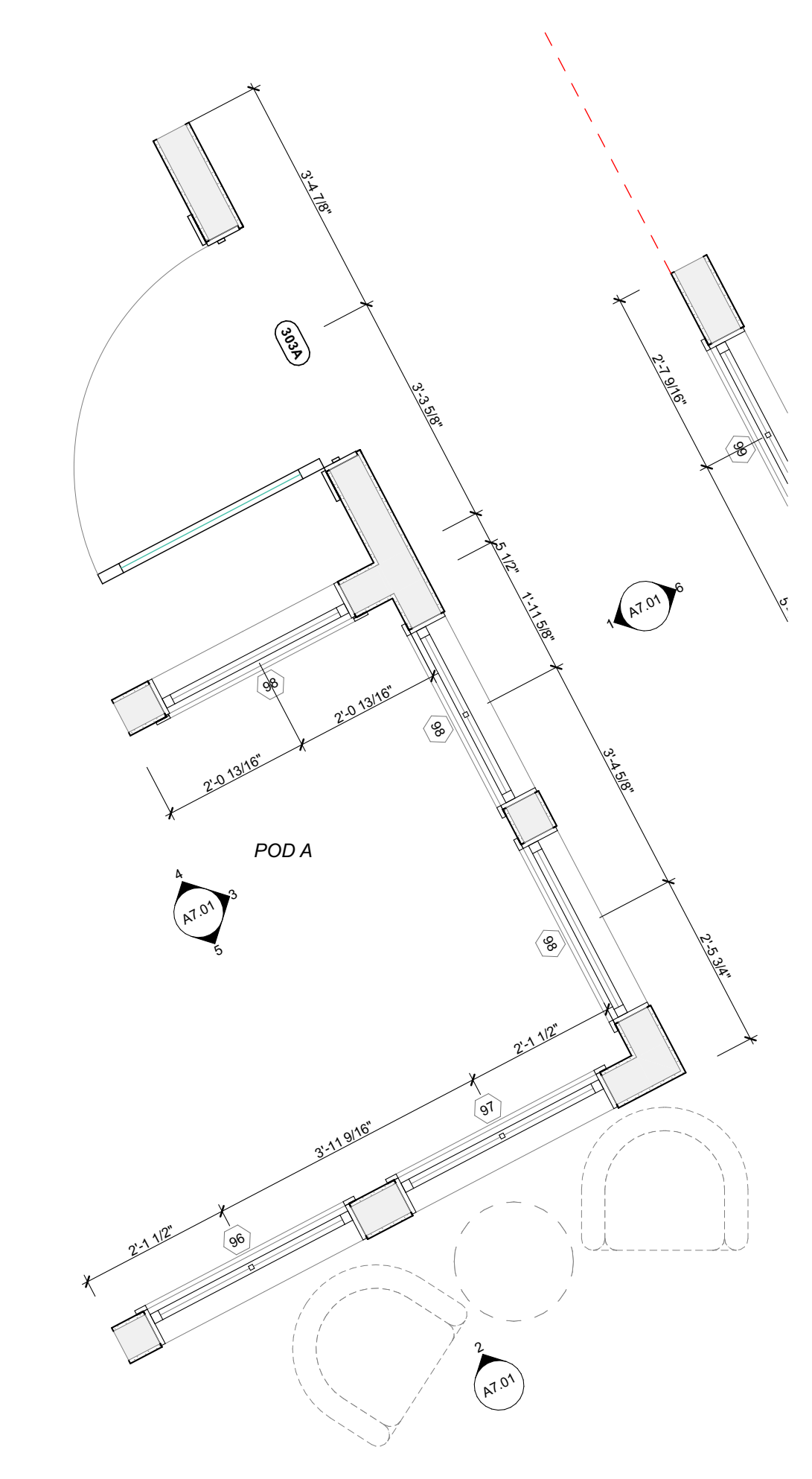
2 POD A - INTERIOR
SCALE: 1/2" = 1'-0"



1 POD A - INTERIOR
SCALE: 1/2" = 1'-0"



ENLARGED PLAN - POD B
SCALE: 1/2" = 1'-0"



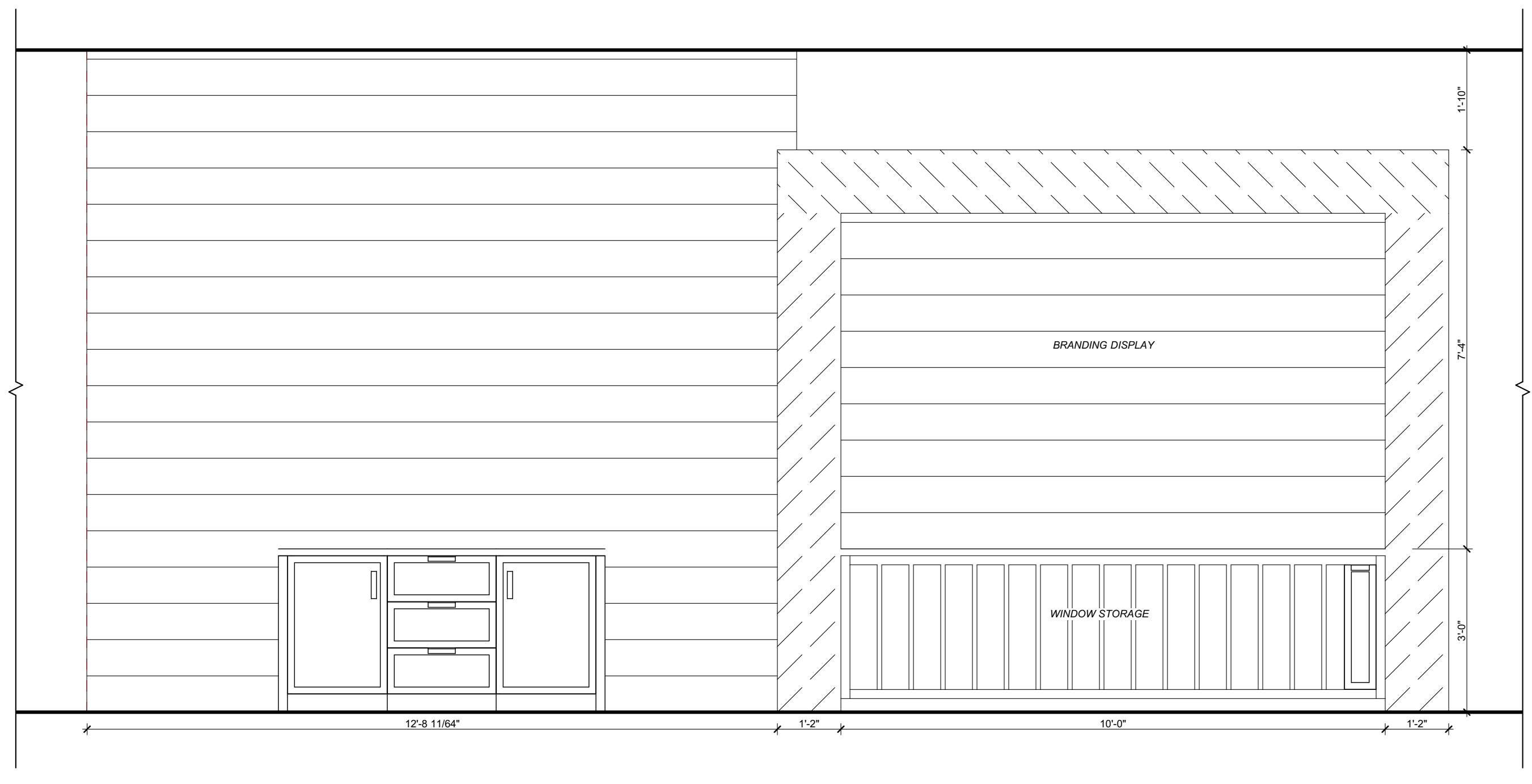
ENLARGED PLAN - POD A
SCALE: 1/2" = 1'-0"

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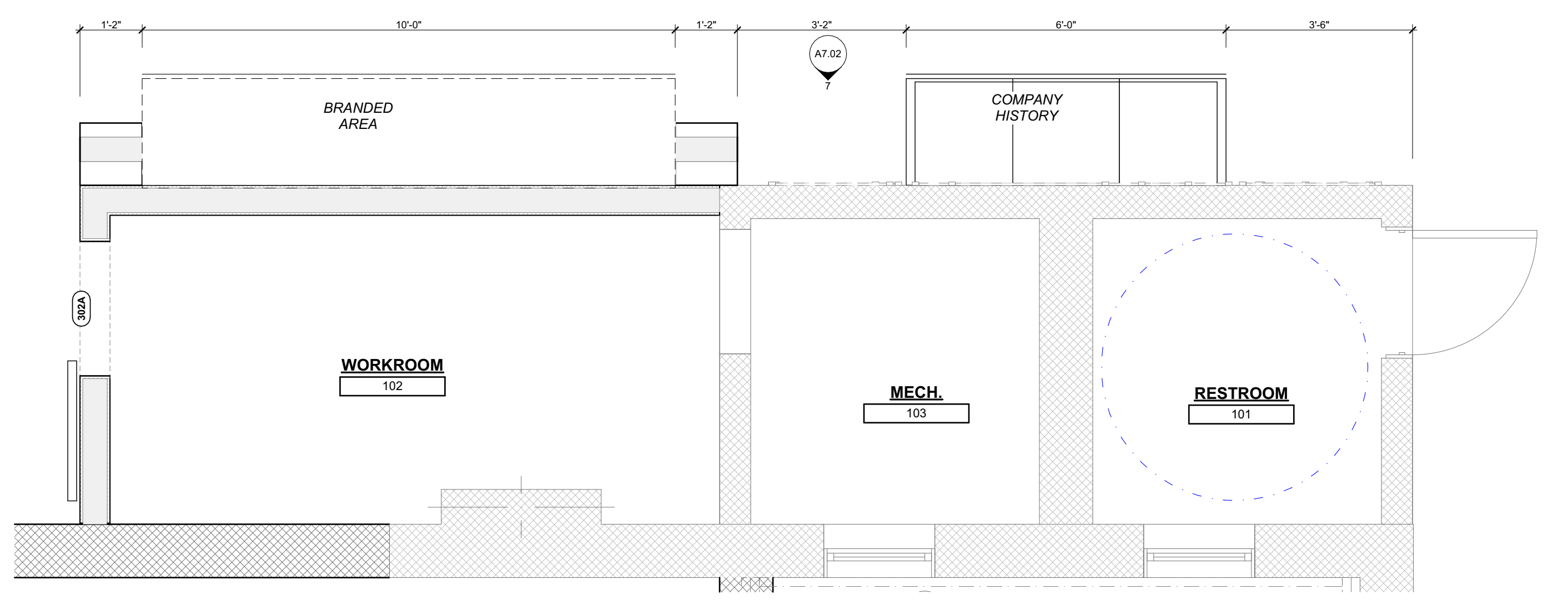
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INTERIOR ELEVATIONS

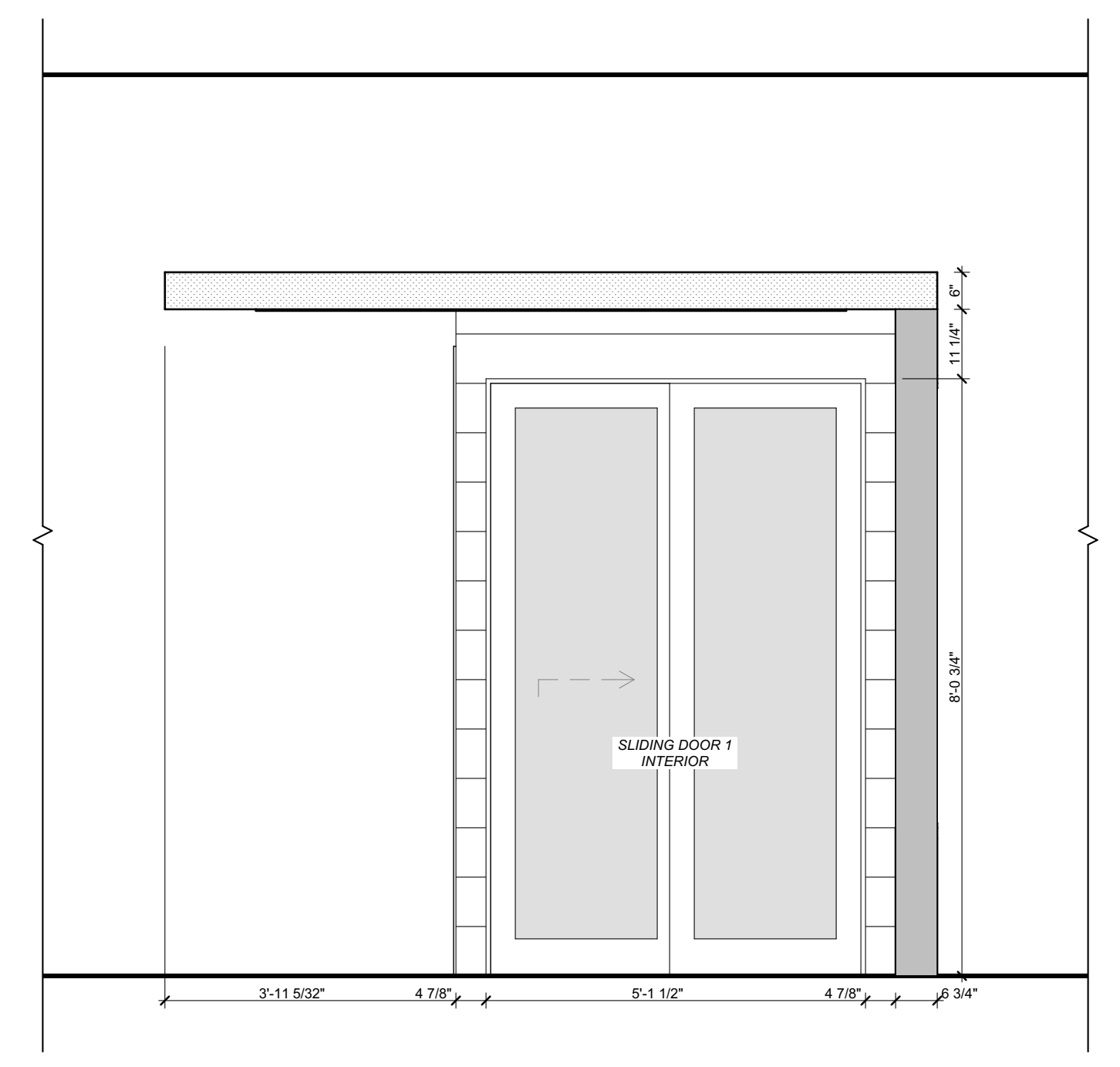
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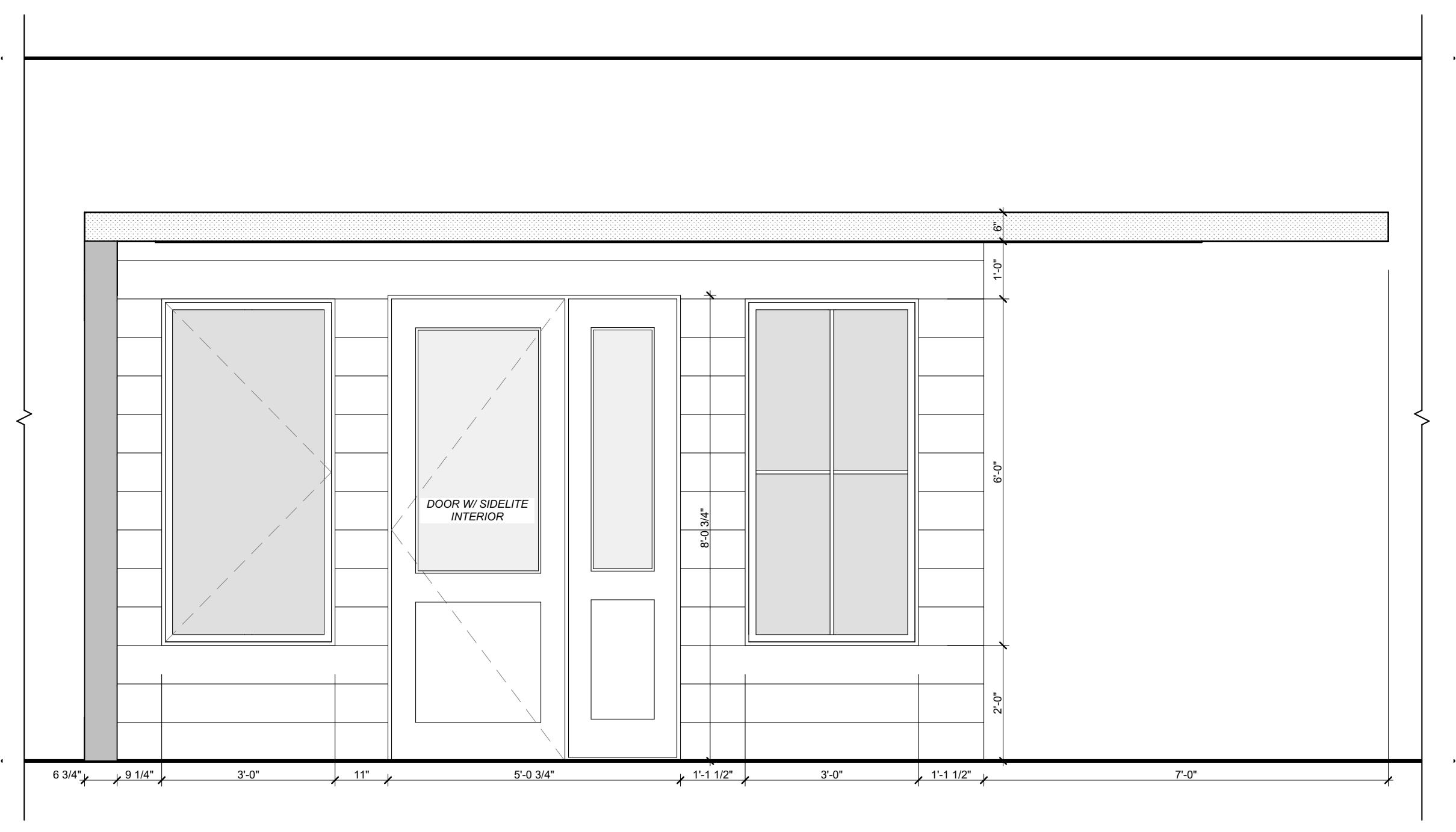
7 ENTRY DISPLAY WALL
SCALE: 1/2" = 1'-0"



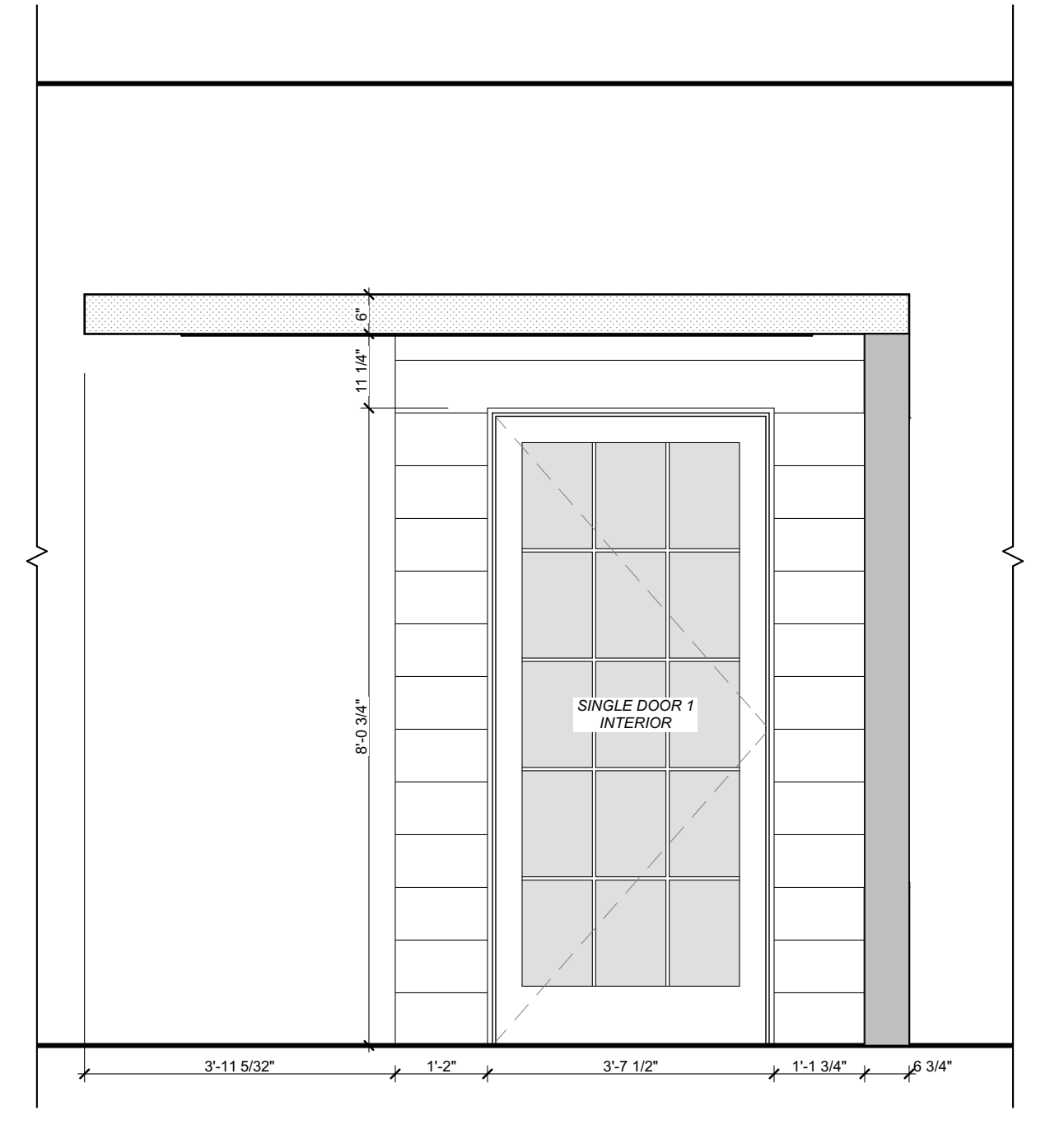
6 FIRST FLOOR - ENLARGED
SCALE: 1/2" = 1'-0"



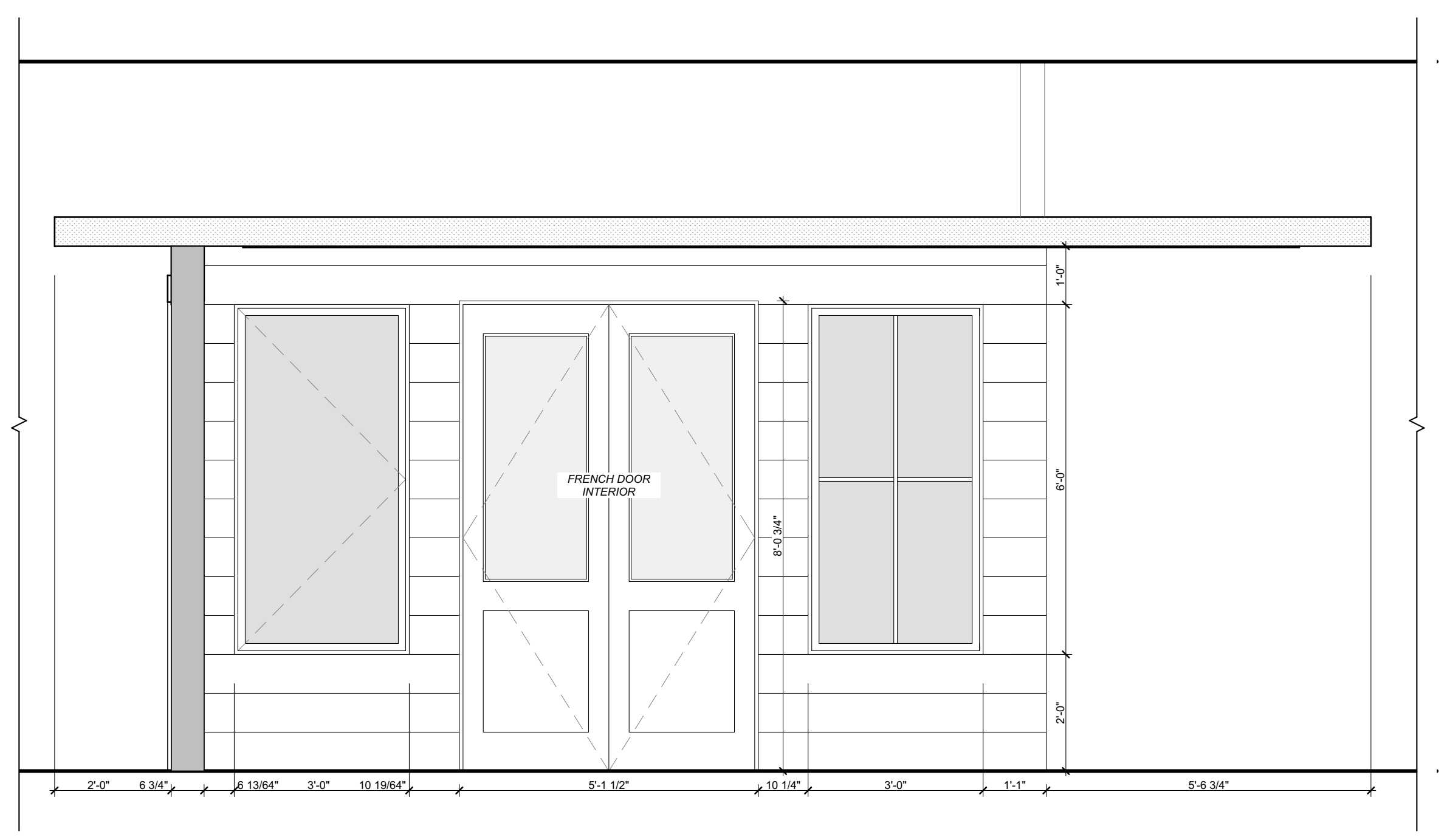
4 POD B - INTERIOR
SCALE: 1/2" = 1'-0"



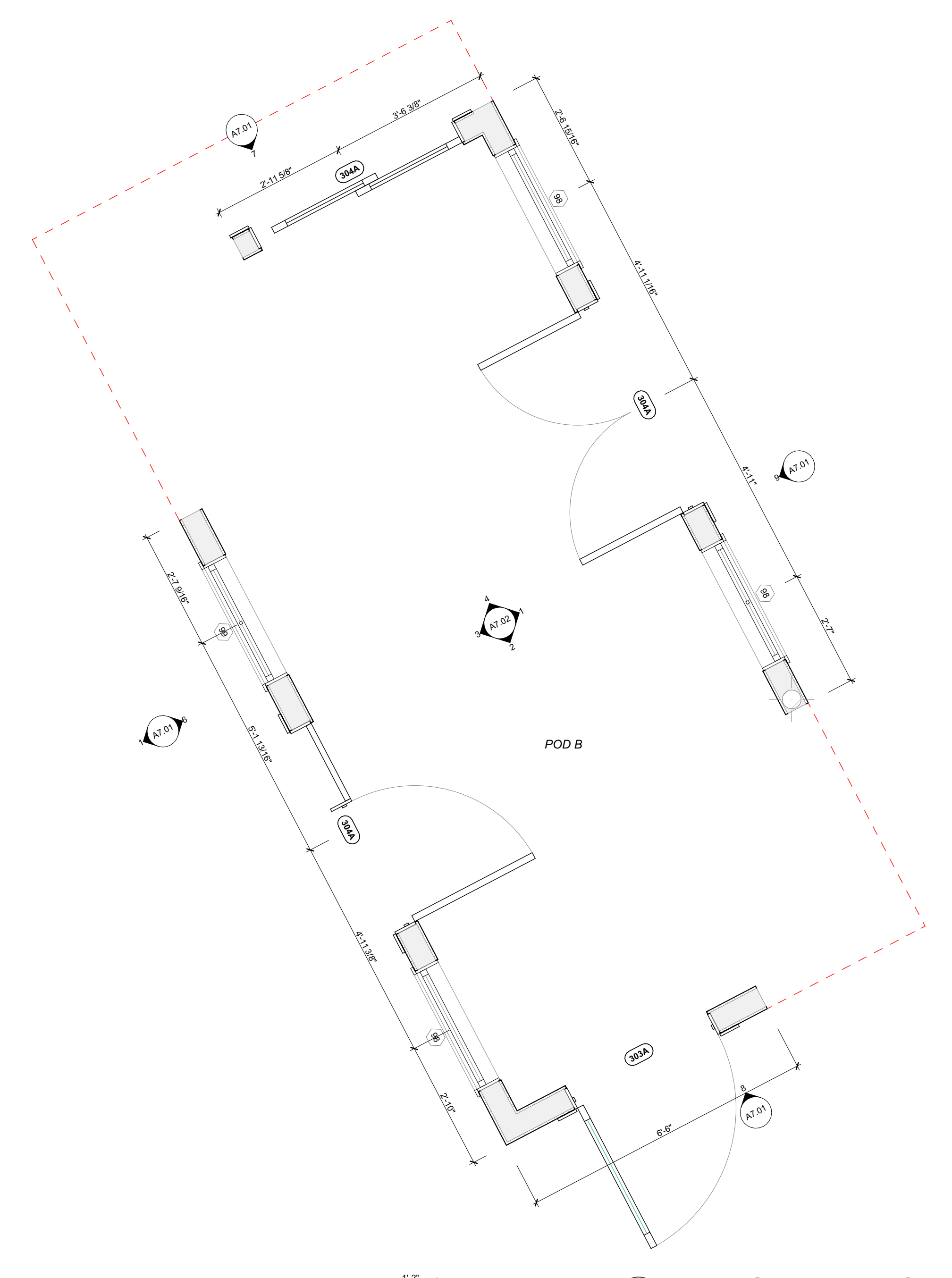
3 POD B - INTERIOR
SCALE: 1/2" = 1'-0"



2 POD B - INTERIOR
SCALE: 1/2" = 1'-0"



1 POD B - INTERIOR
SCALE: 1/2" = 1'-0"

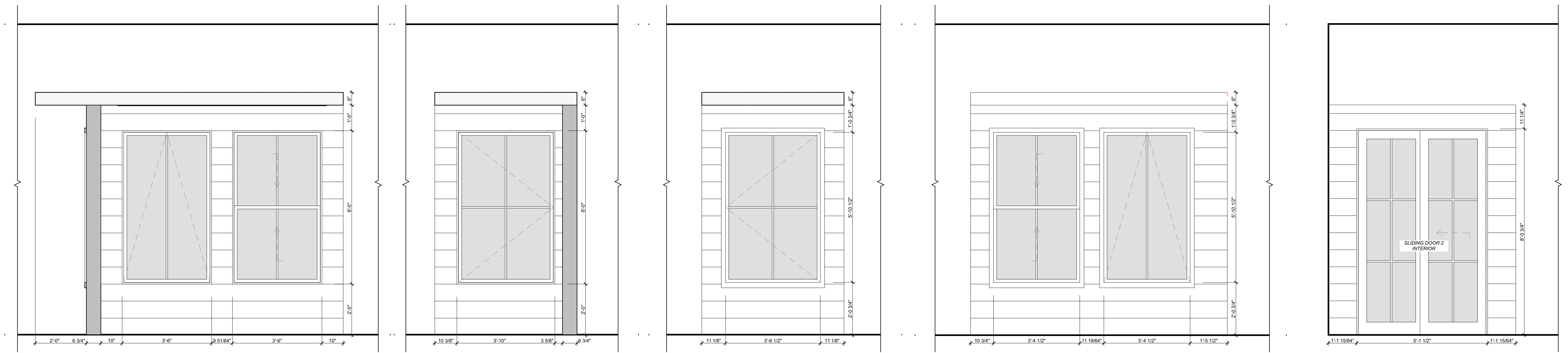


ENLARGED PLAN - POD B
SCALE: 1/2" = 1'-0"

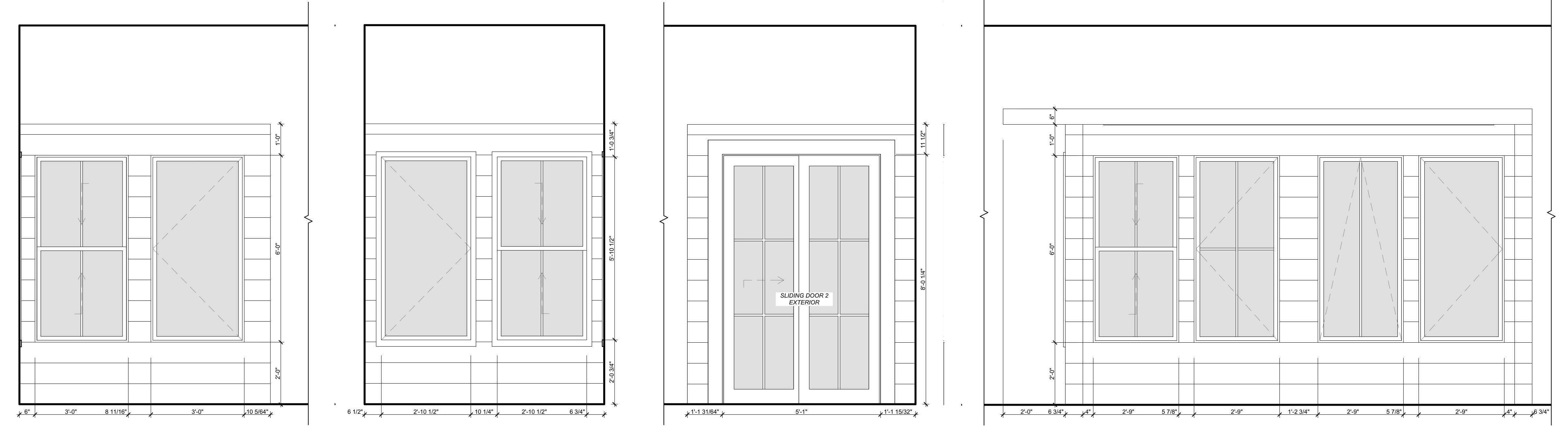
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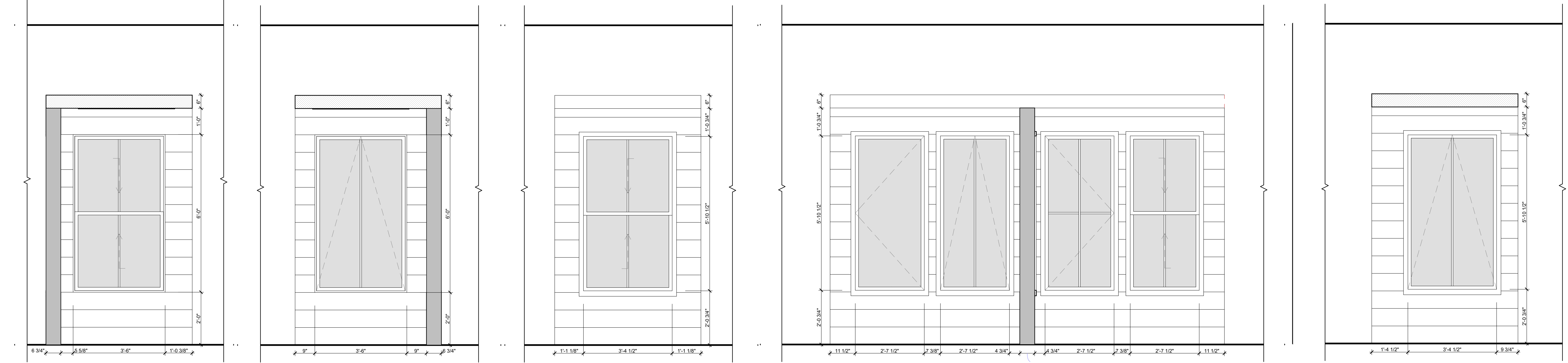
INTERIOR ELEVATIONS



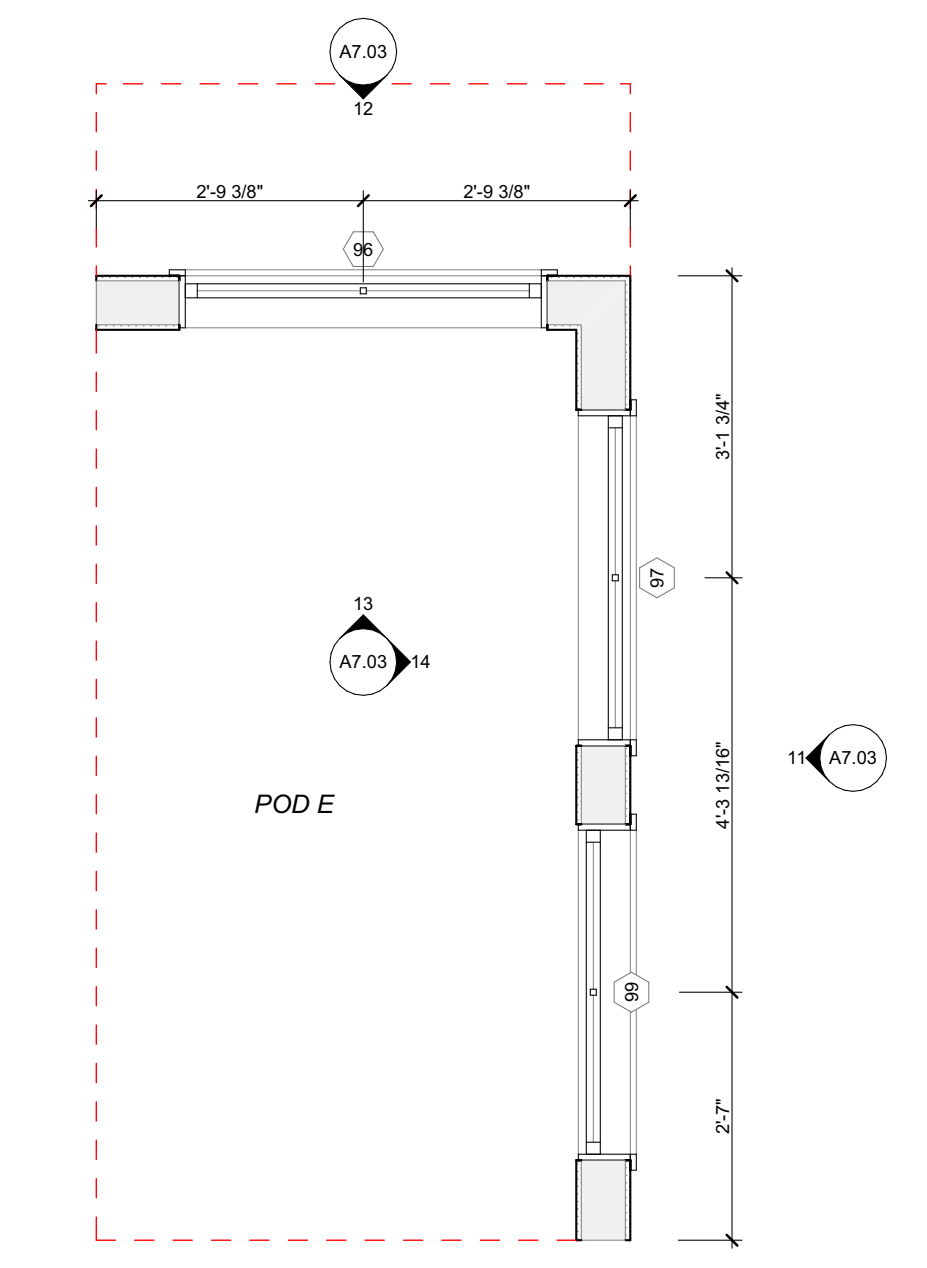
14 POD E - INTERIOR SCALE: 1/2" = 1'-0"
13 POD E - INTERIOR SCALE: 1/2" = 1'-0"
12 POD E - EXTERIOR SCALE: 1/2" = 1'-0"
11 POD E - EXTERIOR SCALE: 1/2" = 1'-0"
10 POD D - INTERIOR SCALE: 1/2" = 1'-0"



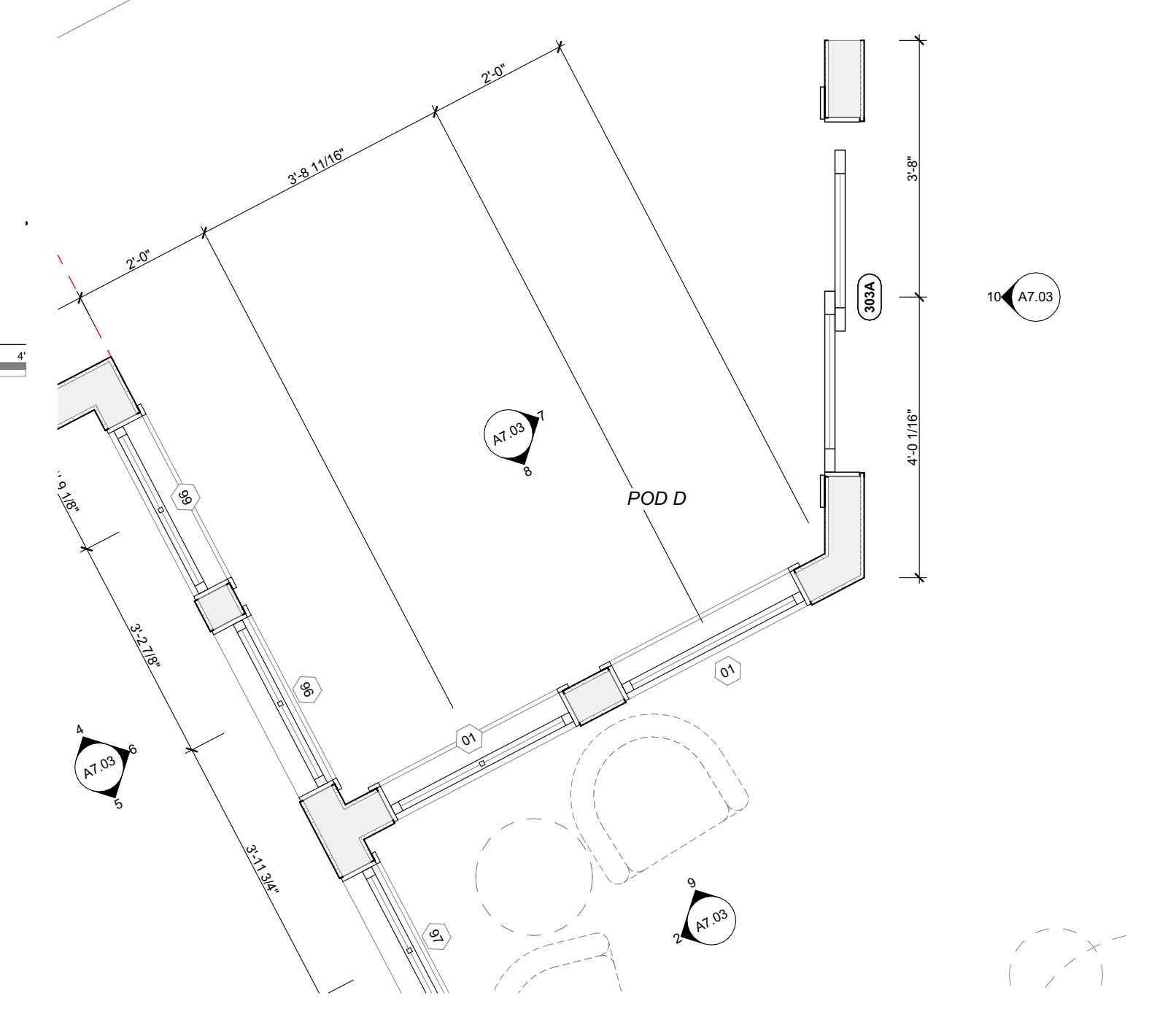
9 POD D - INTERIOR SCALE: 1/2" = 1'-0"
8 POD D - EXTERIOR SCALE: 1/2" = 1'-0"
7 POD D - EXTERIOR SCALE: 1/2" = 1'-0"
6 POD C - INTERIOR SCALE: 1/2" = 1'-0"



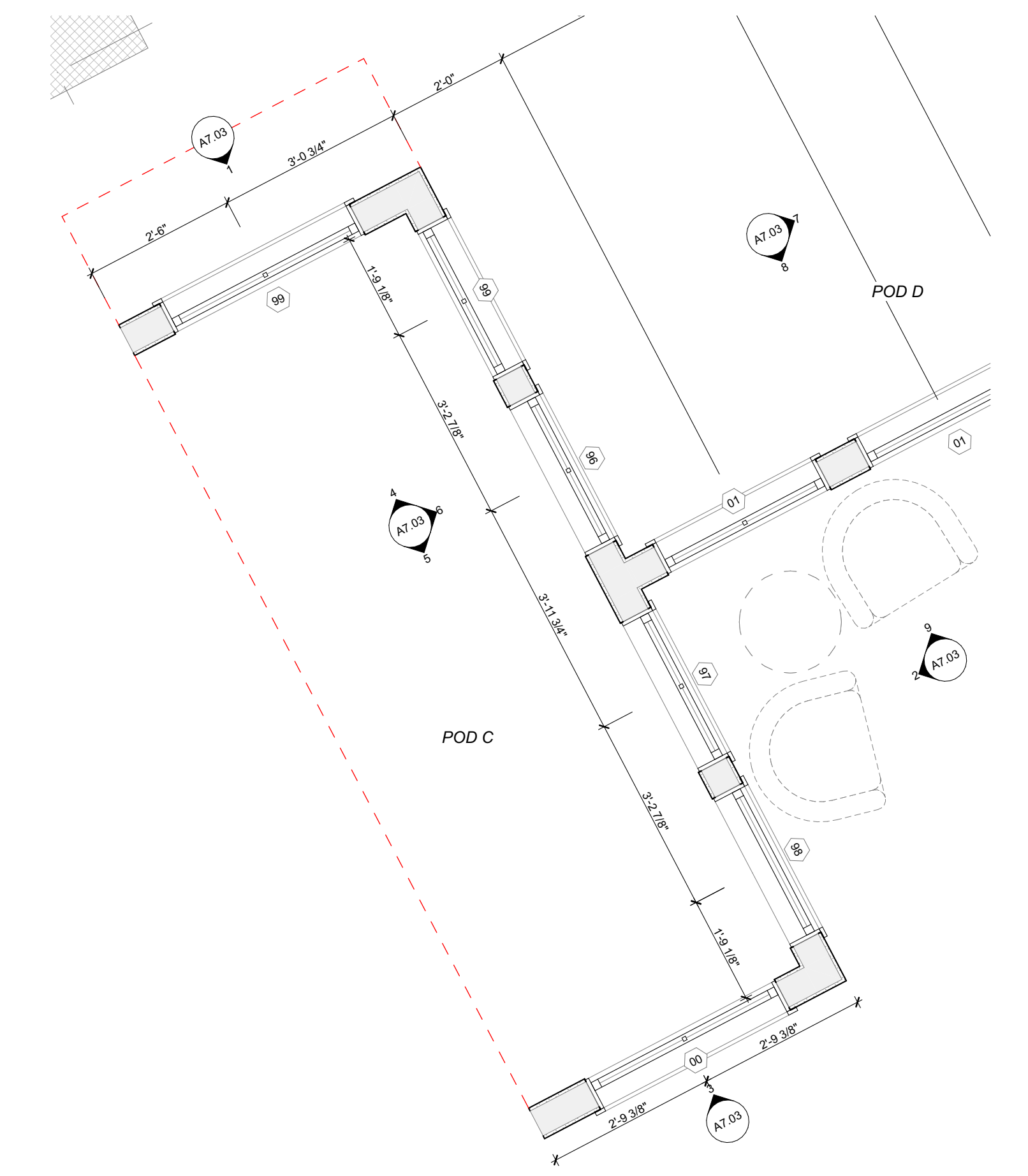
5 POD C - INTERIOR SCALE: 1/2" = 1'-0"
4 POD C - INTERIOR SCALE: 1/2" = 1'-0"
3 POD C - EXTERIOR SCALE: 1/2" = 1'-0"
2 POD C - EXTERIOR SCALE: 1/2" = 1'-0"
1 POD C - EXTERIOR SCALE: 1/2" = 1'-0"



ENLARGED PLAN - POD D
SCALE: 1/2" = 1'-0"



ENLARGED PLAN - POD D
SCALE: 1/2" = 1'-0"



ENLARGED PLAN - POD C
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE					
ID	ROOM NAME	APPLICATION	NOTES	APPROVED	
C-01	SHOWROOM	CONCRETE FLOOR		KEEP EXISTING - CLEAR EPOXY	NO
P-01	SHOWROOM	SLAT WALL PAINT - LIGHT		5/8" A.C. PLYWOOD	NO
P-02	EXTERIOR	EXTERIOR PAINT			NO
P-03	SHOWROOM	CEILING PAINT			NO
WD-01	SHOWROOM	SLAT WALL STAIN - DARK		#2 PINE	NO
WD-02	SHOWROOM	FURNITURE SURROUND STAIN - MEDIUM		#2 PINE	NO

DOOR PLAN AND HARDWARE GENERAL NOTES

- FINAL HARDWARE SCHEDULE TO BE PROVIDED BY CONTRACTOR'S DOOR HARDWARE SUPPLIER AND APPROVED BY OWNER AND ARCHITECT.
- FINAL LOCKSET FUNCTION AND KEYS SHALL BE COORDINATED WITH THE OWNER BY THE DOOR HARDWARE SUPPLIER. PROVIDE SUB AND GRAND MASTER LEVEL KEYS AND 4 KEYS FOR EACH LOCKSET.
- ALL PASSAGE SETS, PRIVACY SETS AND LOCKSETS SHALL BE ANSI/BHMA GRADE 1 COMMERCIAL WITH ADA COMPLIANT LEVER HARDWARE. ALL LOCKSETS SHALL BE THE PRODUCTS OF A SINGLE MANUFACTURER. ALL DOOR LOCKS SHALL ALLOW EGRESS WITHOUT THE USE OF A KEY AND BY MEANS OF A SINGLE OPERATOR.
- STEEL DOOR FRAMES SHALL BE PREPARED TO SUIT SPECIFIED DOORS AND HARDWARE.
- FINISH NON-RISING TYPE PINS ON OUT SWINGING DOORS SCHEDULED TO RECEIVE LOCKSETS.
- FINISH DOORS AND FRAMES WITH PAINT OR STAIN AS INDICATED (COLOR AS SELECTED BY OWNER) ALL SIDES.
- PROVIDE WALL OR FLOOR MOUNTED STOP AS APPROPRIATE FOR EACH DOOR.
- DOOR CLOSER CONFIGURATION SHALL BE IDENTIFIED AND COORDINATED BY THE DOOR HARDWARE SUPPLIER. ADJUST ALL CLOSERS TO ADA 3.16.5 MAX. FULL FORCE.
- PROVIDE SAFETY GLAZING IN THE FOLLOWING LOCATIONS PER CBC 2403.5:
 - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS
 - PANELS ADJACENT TO DOORS WHERE NEAREST EXPOSED EDGE OF GLAZING IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION
 - PANELS LARGER THAN 8 SF
 - BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FLOOR
 - PANELS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE
 - PANELS WITHIN 36" HORIZONTALLY AND LESS THAN 60" ABOVE WALKING SURFACE OF STAIR
 - PANELS WITHIN 60" HORIZONTALLY AND LESS THAN 60" ABOVE THE NOSE OF THE BOTTOM STAIR TREAD
- HARDWARE AND ACCESSORIES TO BE BRUSHED STAINLESS FINISH OR EQUIVALENT.
- ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS.

DOOR GLAZING SCHEDULE	
DOOR APPLICATION	GLAZING TYPE
NO FIRE LABEL	1/4" CLEAR, FULLY TEMPERED, U.N.O.
20 MIN. FIRE LABEL	FIRE PROTECTION RATED (TEMPERED SAFETY), 20 MIN., U.N.O.
45 TO 90 MIN. FIRE LABEL	FIRE PROTECTION RATED (LAMINATED CERAMIC), MATCH DOOR RATING, U.N.O.
> 90 MIN. FIRE LABEL	GLAZING NOT PERMITTED

REFER TO EXTERIOR FRAME TYPES SHEET FOR GLAZING TYPE IN EXTERIOR WALLS

DOOR SIDELIGHT GLAZING SCHEDULE	
DOOR APPLICATION	GLAZING TYPE
NO FIRE LABEL	1/4" CLEAR, FULLY TEMPERED, U.N.O.
20 MIN. FIRE LABEL	FIRE PROTECTION RATED (TEMPERED SAFETY), 20 MIN., U.N.O.
45 MIN. FIRE LABEL	FIRE PROTECTION RATED (LAMINATED CERAMIC), 45 MIN., U.N.O.
> 45 MIN. FIRE LABEL	GLAZING NOT PERMITTED

DOOR REMARKS

- CLOSER
- AUTO OPERATOR
- PUSH PLATE ACTIVATION
- MOTION ACTIVATION
- PRESSENCE SENSORS
- ACCESS CONTROL (CARD READER)
- REMOTE RELEASE
- PANIC HARDWARE
- EMERGENCY RESCUE HARDWARE
- ELECTRIFIED STRIKE
- DOOR POSITION SWITCH
- SLIDING AUTOMATIC ENTRANCE. SEE DOOR DESCRIPTION KEY FOR TYPES. PROVIDE WITH LOCKABLE OPERATING BELT AND METAL PUSH PADDLE FOR BREAKAWAY.
- PROVIDE THRESHOLD AND WEATHERSTRIPPING
- INSULATED DOOR
- PROVIDE COAT HOOKS AT 48" AFF AND 60" AFF
- DOOR PROTECTION. EDGE GUARDS AND ARMOR PLATE
- DOOR BOTTOM WITHIN BRUSH
- 3/4" FROSTED FILM. REFER TO PROJECT MANUAL FOR COLOR AND TYPE
- FROND LOCK HARDWARE
- HOLD-OPEN CLOSER
- POCKET DOOR HARDWARE SET
- CONCEALED SWING CLEAR HINGES

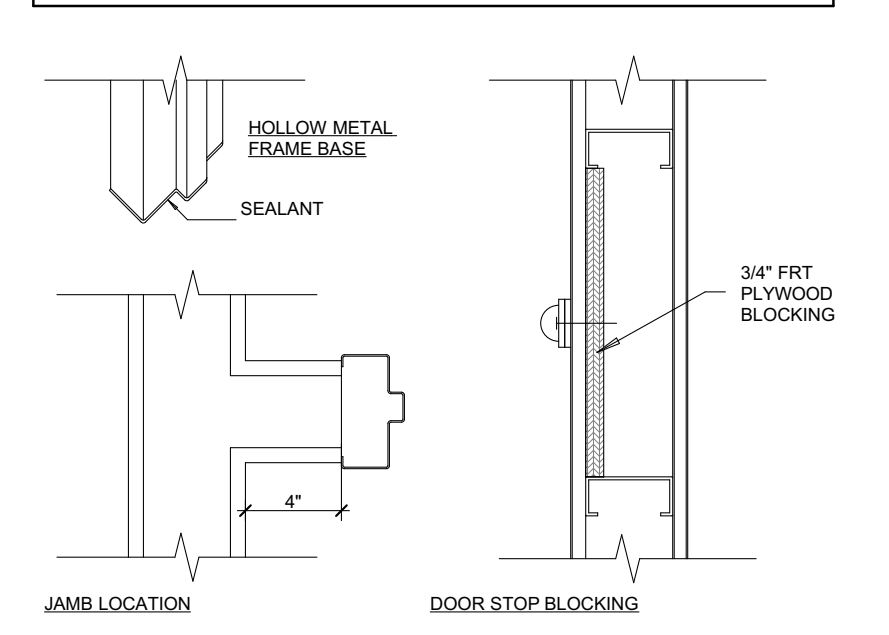
DOOR OPERATION LEGEND

- NS - NORMAL SWING
- DA - DOUBLE ACTION
- SL - SLIDING
- BL - BALL BEARING LEAVES
- BF - BIFOLD
- PK - POCKET
- TL - SLIDING (TELESCOPING)
- BP - SLIDING (BI-PARTING)
- FD - FRAMED OPENING
- PV - PIVOT

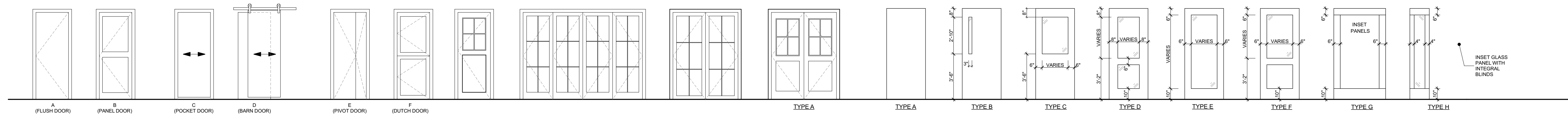
DOOR HARDWARE SETS

- OFFICE (PRIVACY)
- LOCK LEVER HANDSET
 - CYLINDER LOCK - OFFICE
 - CLOSER
 - BALL BEARING HINGES
 - WALL STOP
 - WEATHERSTRIPPING
 - REPLACABLE SWEEP
 - ADA ALUMINUM THRESHOLD
- RESTROOM
- LOCK LEVER HANDSET
 - CYLINDER LOCK - RESTROOM
 - CLOSER
 - BALL BEARING HINGES
 - WALL STOP
 - WEATHERSTRIPPING
 - REPLACABLE SWEEP
 - ADA ALUMINUM THRESHOLD
- STOREROOM
- LOCK LEVER HANDSET
 - CYLINDER LOCK - STOREROOM
 - BALL BEARING HINGES
 - WALL STOP
 - WEATHERSTRIPPING
 - REPLACABLE SWEEP
 - ADA ALUMINUM THRESHOLD
- PASSAGE

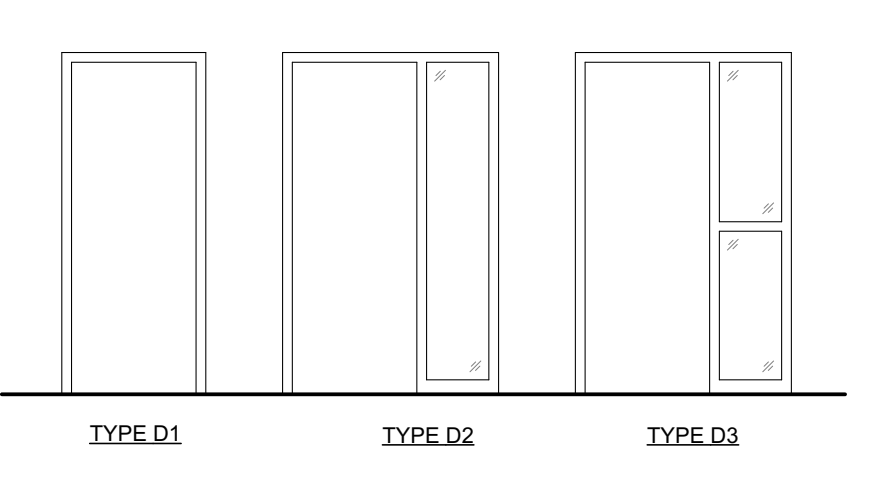
DOOR TYPICAL DETAILS



DOOR SCHEDULE											
ID	ROOM NAME	DOOR		OPERATION	DOOR PANEL		FRAME		FIRE	HARDWARE	REMARKS
		WIDTH	HEIGHT		TYPE	MATERIAL	TYPE	MATERIAL			
300A		10'-3"	9'-0"	---	---	---	---	---	---	---	
300A		12'-0"	8'-0"	---	---	---	---	---	---	---	
300A		8'-0"	8'-0"	---	---	---	---	---	---	---	
300A		3'-0"	8'-0"	---	---	---	---	---	---	---	
300A		4'-6"	8'-10"	---	---	---	---	---	---	---	
300A		3'-6"	8'-0"	---	---	---	---	---	---	---	
300A		6'-0"	8'-0"	---	---	---	---	---	---	---	
300A		3'-0"	8'-0"	---	---	---	---	---	---	---	
300A		4'-0"	8'-0"	---	---	---	---	---	---	---	
300A		3'-0"	8'-0"	---	---	---	---	---	---	---	
300A		4'-0"	8'-0"	---	---	---	---	---	---	---	
300A		10'-0"	9'-0"	---	---	---	---	---	---	---	
300A		8'-0"	7'-0"	---	---	---	---	---	---	---	
302A	SHOWROOM	2'-6"	8'-0"	---	---	---	---	---	---	---	
303A		3'-6"	8'-0"	---	---	---	---	---	---	---	
303A		3'-6"	8'-0"	---	---	---	---	---	---	---	
303A		3'-6"	8'-0"	---	---	---	---	---	---	---	



DOOR FRAME TYPE



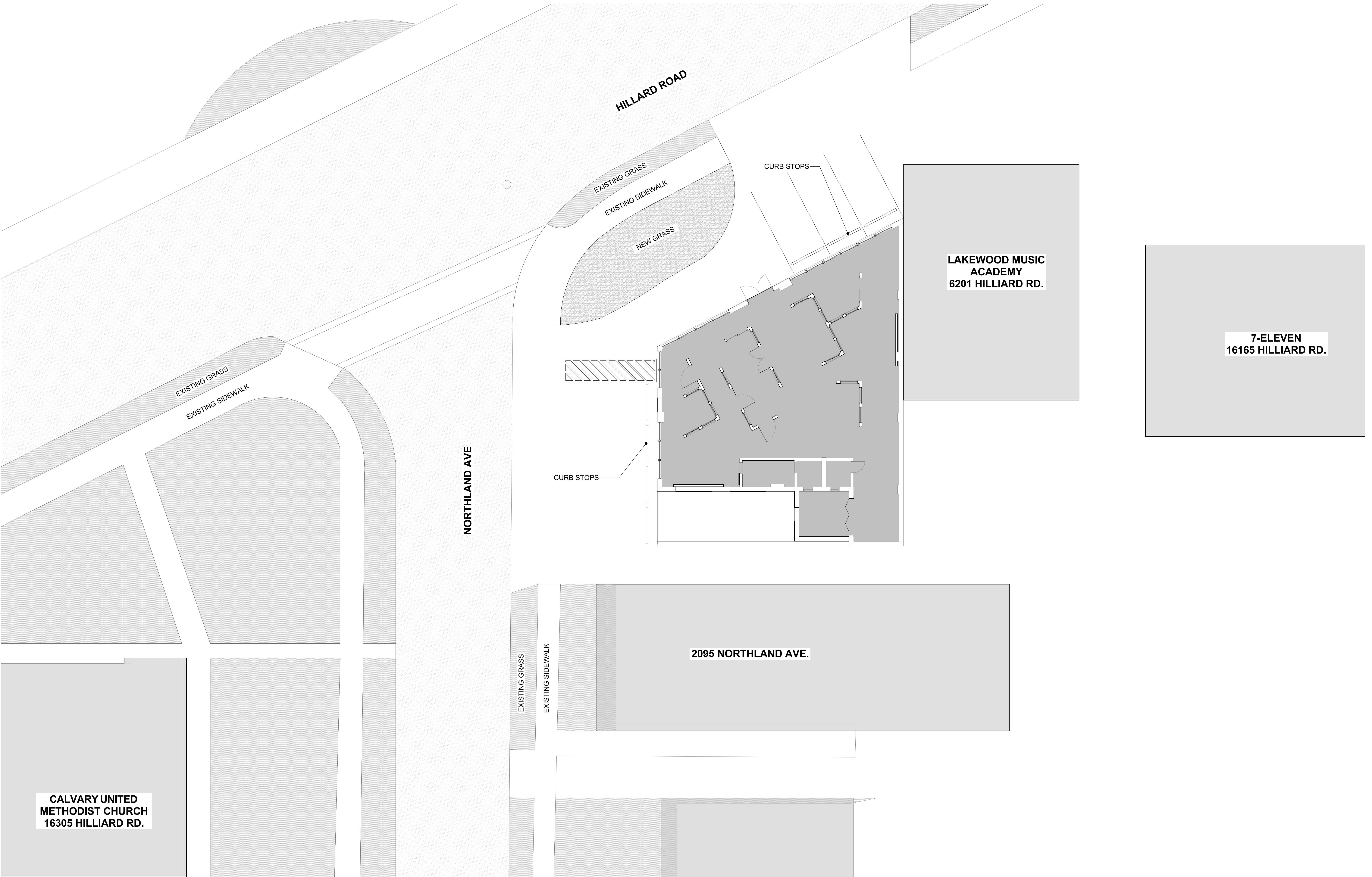
FINISH SCHEDULE

ID	ROOM NAME	APPLICATION	NOTES	APPROVED
C-01	SHOWROOM	CONCRETE FLOOR	KEEP EXISTING - CLEAR EPOXY	NO
P-01	SHOWROOM	SLAT WALL PAINT - LIGHT	5/8" A.C. PLYWOOD	NO
P-02	EXTERIOR	EXTERIOR PAINT		NO
P-03	SHOWROOM	CEILING PAINT		NO
WD-01	SHOWROOM	SLAT WALL STAIN - DARK	#2 PINE	NO
WD-02	SHOWROOM	FURNITURE SURROUND STAIN - MEDIUM	#2 PINE	NO

1 FINISH LEGEND

SEE SPECS FOR MORE INFO

PROGRESS
NOT FOR
CONSTRUCTION
9/13/2023



1 SITE PLAN
SCALE: 1/8"=1'-0"

The Third Estimate Showroom
16205 Hilliard Road, Lakewood, Ohio 44107

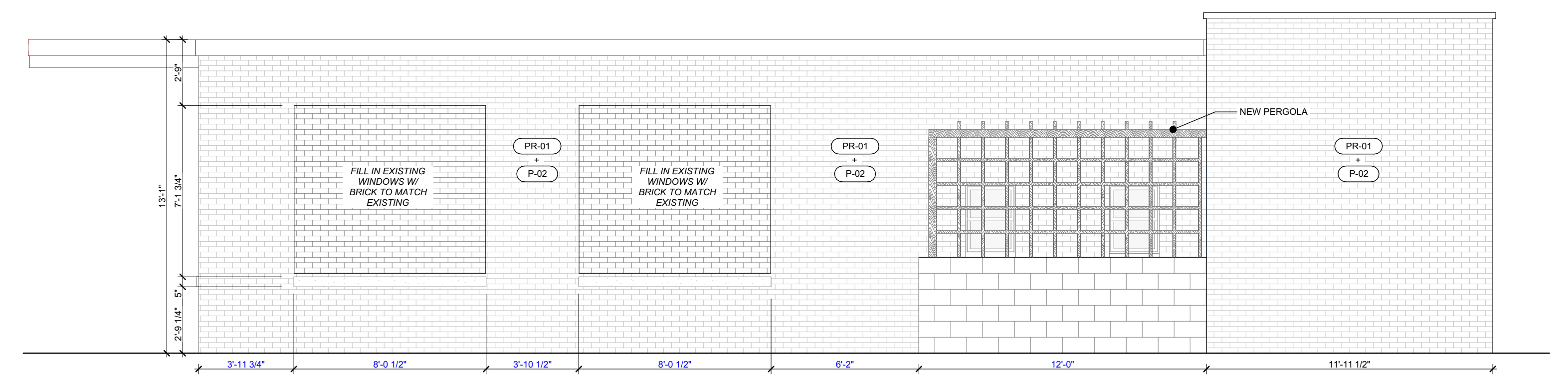
PROJECT # 2315
ISSUE: 01-23-2023
SD MEETING 05-09-2023
CD

ARCHITECTURAL SITE
PLAN

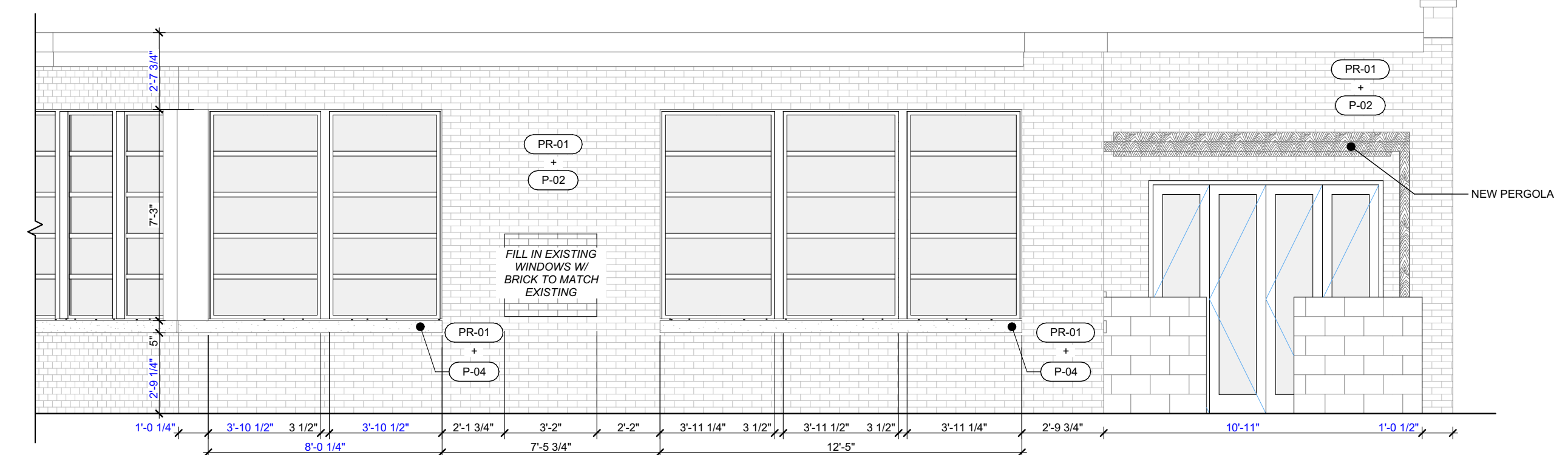
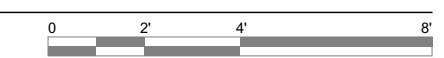
A1.00
© 2023 Peninsula Architects LTD

PROGRESS
NOT FOR
CONSTRUCTION
9/13/2023

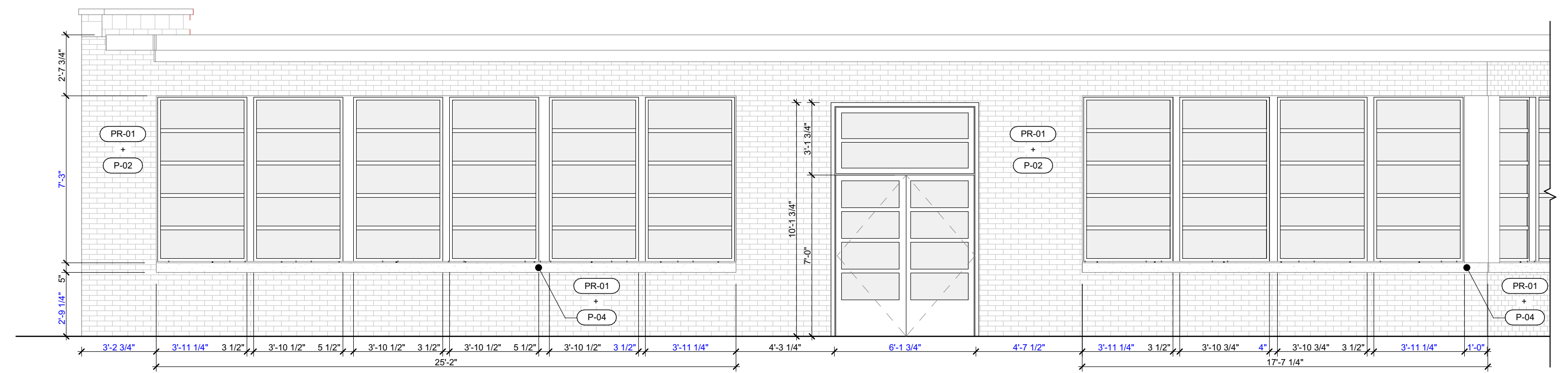
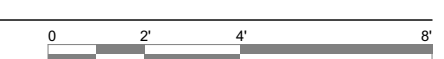
FINISH LEGEND				
ID	ROOM NAME	APPLICATION	NOTES	APPROVED
C-01	SHOWROOM	CONCRETE FLOOR	KEEP EXISTING - CLEAR EPOXY	NO
P-01	SHOWROOM	SLAT WALL PAINT - LIGHT	5/8" A.C. FLYWOOD	NO
P-02	EXTERIOR	BRICK PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A99-SERIES	NO
P-03	SHOWROOM	CEILING PAINT		NO
P-04	EXTERIOR	SANDSTONE SILL PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A99-SERIES	NO
PR-01	EXTERIOR	EXTERIOR PRIMER	INSL-X STX WATERBORNE PRIMER S3A-110	---
WD-01	SHOWROOM	SLAT WALL STAIN - DARK	#2 PINE	NO
WD-02	SHOWROOM	FURNITURE SURROUND STAIN - MEDIUM	#2 PINE	NO



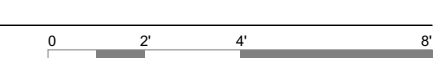
1 EXTERIOR ELEVATION - REAR
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SIDE
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - FRONT
SCALE: 1/4" = 1'-0"



The Third Estimate Showroom
16205 Hilliard Road, Lakewood, Ohio 44107

PROJECT #: 2315
ISSUE: 01-23-2023
SD MEETING: 05-09-2023
CD

EXTERIOR ELEVATIONS









Husvarm
CONSTRUCTION PRODUCTS
EQUIPMENT AND DIAMOND TOOLS



AVA
Advanced Vehicle Accessories

WAKEWOOD
CONSTRUCTION





16205

PRIVATE
TOW HAY ZONE
NO PARKING
EXCEPT FOR
EMERGENCY
VEHICLES
OR VEHICLES
AUTHORIZED BY
THE TOW COMPANY
OR THE CITY OF
MILWAUKEE

Husqvarna
CONSTRUCTION PRODUCTS



16205

PRIVATE
TOW AREA ZONE
NO PARKING
EXCEPT AS NOTED
BY SIGN
VIOLATIONS
WILL BE TOWED
AT OWNER'S RISK
AND EXPENSE
SEE SIGN FOR
TOWING INFORMATION

Husqvarna

CRUISE



LAKEWOOD
MUSIC ACADEMY

STOP

7-ELEVEN

PRIVATE
NO STOPPING



LAKEWOOD
MUSIC ACADEMY

PRIVATE
PROPERTY
NO TRESPASSING

LAKESWOOD
MUSIC ACADEMY

16205

PRIVATE
TOW AWAY ZONE







VEHICLES NOT AUTHORIZED
PARK ON THIS PROPERTY AND
PARKED IN VIOLATION OF RULES
REGULATIONS, WILL BE TOWED. V
WILL BE TAKEN TO AND CAN BE
RECOVERED FROM:
KUFNER TOWIN
15316 BROOKPARK RD. CLEVELAND,
529-3320
VEHICLES CAN BE RECOVERED UPON
PROOF OF OWNERSHIP & PAYMENT
TOW: \$70 AUTO, \$100 TRUCKS.
STORAGE: \$8 AUTO, \$12 TRUCKS PER
(OHIO REVISED CODE SEC. 4511.69)



SECURITY
**POWER
ALARM**
289 5600

102.10A

THE 3RD ESTIMATE
EXTERIOR PAINT



SHERWIN
WILLIAMS.

SuperPaint®
Exterior Latex Satin

A89-Series

CHARACTERISTICS

SuperPaint Exterior Latex, with resistance to early dirt pick up, provides outstanding performance on properly prepared aluminum and vinyl siding, wood, hardboard, masonry, cement, brick, block, stucco, and metal down to a surface and air temperature of 35°F.

VinylSafe™ paint colors allow you the freedom to choose from 100 color options, including a limited selection of darker colors formulated to resist warping or buckling when applied to a sound, stable vinyl substrate.

Color: Most Colors

Coverage: 350-400 sq. ft. per gallon
@ 4 mils wet; 1.5 mils dry

Drying Time, @ 50% RH:

	@ 35-45°F	@ 45°F +
Touch:	2 hours	2 hours
Recoat:	24-48 hours	4 hours

Drying and recoat times are temperature, humidity, and film thickness dependent

Finish: 10-20 units @ 60°

Tinting with CCE only:

Base:	oz per gallon	Strength:
Extra White	0-6	SherColor
Deep Base	4-12	SherColor
Ultradeep Base	10-12	SherColor
Light Yellow	2-12	SherColor

Extra White A89W02151
(may vary by color)

VOC (less exempt solvents):

less than 50 grams per litre; 0.42 lbs. per gallon

As per 40 CFR 59.406

Volume Solids:	37 ± 2%
Weight Solids:	48 ± 2%
Weight per Gallon:	10.06 lbs
Flash Point:	N/A
Vehicle Type:	100% Acrylic
Shelf Life:	36 months unopened
WVP Perms (US)	19.76 grains/(hr ft ² in Hg)

Mildew Resistant

This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

COMPLIANCE

As of 08/31/2020, Complies with:

OTC	Yes
OTC Phase II	Yes
SCAQMD	Yes
CARB	Yes
CARB SCM 2007	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	N.A.
LEED® v4 & v4.1 VOC	Yes
EPD-NSF® Certified	N.A.
MIR-Manufacturer Inventory	N.A.
MPI®	Yes

APPLICATION

When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

No reduction necessary.

Brush: Use a nylon-polyester brush.

Roller: Use a high quality 3/8-3/4 inch nap synthetic roller cover.

For specific brushes and rollers, please refer to our Brush and Roller Guide on sherwin-williams.com

Spray—Airless 2000 p.s.i.
Pressure .015-.019 inch
Tip

APPLICATION TIPS

Make sure product is completely agitated (mechanically or manually) before use.

Thoroughly follow the recommended surface preparations. Most coating failures are due to inadequate surface preparation or application. Thorough surface preparation will help provide long term protection.

SPECIFICATIONS

SuperPaint Exterior Latex can be self-priming when used directly over existing coatings, or bare drywall, plaster and masonry (with a cured pH of less than 9). The first coat acts like a coat of primer and the second coat provides the final appearance and performance. Please note that some specific surfaces require specialized treatment.

Use on these properly prepared surfaces:

Aluminum & Aluminum Siding¹, Galvanized Steel¹
2 coats SuperPaint Exterior Latex

Concrete Block, CMU, Split face Block

1 coat Loxon Acrylic Block Surfacers
2 coats SuperPaint Exterior Latex

Brick, Stucco, Cement, Concrete

1 coat Loxon Concrete and Masonry Primer³
or
Loxon Conditioner²

2 coats SuperPaint Exterior Latex

Cement Composition Siding/Panels

1 coat Loxon Concrete and Masonry Primer³
or
Loxon Conditioner²

2 coats SuperPaint Exterior Latex

Plywood

1 coat Exterior Latex Primer
2 coats SuperPaint Exterior Latex

***Vinyl Siding**

2 coats SuperPaint Exterior Latex

Wood (Cedar, Redwood)⁴

1 coat Exterior Oil-Based Wood Primer²
2 coats SuperPaint Exterior Latex

¹ On large expanses of metal siding, the air, surface, and material temperatures must be 50°F or higher.

² Not for use at temperatures under 50°F. See specific primer label for that product's application conditions.

³ Not for use at temperatures under 40°F. See specific primer label for that product's application conditions.

⁴ Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. For best results on these woods, use a coat of Exterior Oil-Based Wood Primer.

Other primers may be appropriate. Standard latex primers cannot be used below 50°F. See specific primer label for that product's application conditions.

When repainting involves a drastic color change, a coat of primer will improve the hiding performance of the topcoat color.

SuperPaint®

Exterior Latex Satin

SURFACE PREPARATION

WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Existing peeled or checked paint should be scraped and sanded to a sound surface. Glossy surfaces should be sanded dull. Stains from water, smoke, ink, pencil, grease, etc. should be sealed with the appropriate primer-sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Aluminum and Galvanized Steel:

Wash to remove any oil, grease, or other surface contamination. All corrosion must be removed with sandpaper, wire brush, or other abrading method.

Cement Composition Siding-Panels:

Remove all dirt, dust, grease, oil, loose particles, laitance, foreign material, and peeling or defective coatings. Allow the surface to dry thoroughly. If the surface is new, test it for pH, if the pH is higher than 9, prime with Loxon Concrete & Masonry Primer.

Caulking:

Gaps between windows, doors, trim, and other through-wall openings can be filled with the appropriate caulk after priming the surface.

Masonry, Concrete, Cement, Block:

All new surfaces must be cured according to the supplier's recommendations—usually about 30 days. Remove all form release and curing agents. Rough surfaces should be filled to provide a smooth surface. If painting cannot wait 30 days, allow the surface to cure 7 days and prime the surface with Loxon Concrete & Masonry Primer/Sealer. Cracks, voids, and other holes should be repaired with an elastomeric patch or sealant. Concrete masonry units (CMU) - Surface should be thoroughly clean and dry. Air, material and surface temperatures must be at least 50°F (10°C) before filling. Use Loxon Acrylic Block Surfer. The filler must be thoroughly dry before topcoating.

Previously Painted Surfaces:

If in sound condition, clean the surface of all foreign material. Smooth, hard or glossy coatings and surfaces should be dulled by abrading the surface. Apply a test area, allowing paint to dry one week before testing adhesion. If adhesion is poor, additional abrasion of the surface and/or removal of the previous coating may be necessary. Retest surface for adhesion. If paint is peeling or badly weathered, clean surface to sound substrate and treat as a new surface as above. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

SURFACE PREPARATION

Mildew:

Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach-water solution.

Wood, Plywood, Composition Board:

Clean the surface thoroughly then sand any exposed wood to a fresh surface. Patch all holes and imperfections with a wood filler or putty and sand smooth. All new and patched areas must be primed. Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. If applied to these bare woods, it may show some staining. If staining persists, spot prime severe areas with 1 coat of Exterior Oil-Based Wood Primer prior to using.

Steel:

Rust and mill scale must be removed using sandpaper, wire brush, or other abrading method. Bare steel must be primed the same day as cleaned.

Stucco:

Remove any loose stucco, efflorescence, or laitance. Allow new stucco to cure at least 30 days before painting. If painting cannot wait 30 days, allow the surface to dry 7 days and prime with Loxon Concrete & Masonry Primer. Repair cracks, voids, and other holes with an elastomeric patch or sealant.

***Vinyl or other PVC Building Products:**

Clean the surface thoroughly by scrubbing with warm, soapy water. Rinse thoroughly, if needed prime with appropriate white primer. Do not paint vinyl with any color darker than the original color or having a Light Reflective Value (LRV) of less than 56 unless VinylSafe® Colors are used. If VinylSafe colors are not used the vinyl may warp. Follow all painting guidelines of the vinyl manufacturer when painting. Only paint properly installed vinyl siding. Deviating from the manufacturer's painting guidelines may cause the warranty to be voided.

CAUTIONS

For Exterior use only
Protect from freezing.
Non-photochemically reactive.

Not for use on floors.

Before using, carefully read **CAUTIONS on label**

ZINC: Use only with adequate ventilation. To avoid overexposure, open windows and doors or use other means to ensure fresh air entry during application and drying. If you experience eye watering, headaches, or dizziness, increase fresh air, or wear respiratory protection (NIOSH approved) or leave the area. Avoid contact with eyes and skin. Wash hands after using. Keep container closed when not in use. Do not transfer contents to other containers for storage. **FIRST AID:** In case of eye contact, flush thoroughly with large amounts of water. Get medical attention if irritation persists. If swallowed, call Poison Control Center, hospital emergency room, or physician immediately.

WARNING: This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. **DO NOT TAKE INTERNALLY. KEEP OUT OF THE REACH OF CHILDREN.**

HOTW 08/31/2020 A89W02151 02 39
FRC,SP

CLEANUP INFORMATION

Clean spills, spatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.



STIX[®]

WATERBORNE BONDING PRIMER
SXA-110

THE 3RD ESTIMATE
EXTERIOR PRIMER

Features

- Strongly Bonds to Glossy Surfaces
- Unparalleled Adhesion to the Most Challenging Surfaces.
- Excellent Holdout
- Soap & Water Clean-up
- Cures as low as 35 °F (1.7 °C)

Recommended For

Interior and Exterior surfaces. Drywall, Plaster, Ceiling, Acoustical Tile, Wood Trim & Doors, Formica, Ceramic Tiles, Glossy Surfaces, PVC Plastic, Masonry Walls, Wood, Trim, Shutters, Masonry, Stucco, Concrete, Cement Block, Galvanized Metal, Aluminum, etc.

General Description

Stix[®] Waterborne Bonding Primer is a premium quality, waterborne, acrylic urethane primer/sealer with unparalleled adhesion to the most challenging surfaces, including PVC, Vinyl, Plastic, Glass, Tile, Glazed Block, Glossy Paints, Pre-Coated Siding, Fiberglass, and Galvanized Metals. Stix is also ideal for use on plaster, drywall, wood, and non-ferrous metals, where a low ambient or surface temperature would present a problem for conventional primers. Offers an extremely hard film when cured. Use it on interior and exterior surfaces and topcoat with almost any type of coating including Alkyd, Acrylic Latex, Urethane, Epoxy, and Lacquer Finishes. Stix levels to a smooth surface and cleans up with soap and water.

Limitations

- Apply when air and surface temperatures are above 35 °F
- Do not apply in direct sunlight or on a hot surface. Avoid rain, moisture or high humidity for the first 24 hours of curing
- Not intended for immersion service or continuous water contact. Not for below grade applications
- Not recommended for use over polyethylene or polypropylene. Stix[®] must be top coated for exterior use
- Not recommended over Kynar[®] (and similar finishes) unless tested and approved by the buyer
- Not recommended as a whole house exterior primer over wood

Product Information

<p>Colors — Standard: SXA-110, White</p> <p>— Tint Bases: N/A Can be Tinted With a Maximum of 2 oz. Universal Colorant per gallon</p> <p>— Special Colors: Contact your dealer.</p> <p>Certifications & Qualifications: VOC compliant in all regulated areas</p> <p>All products supported by this data sheet contain a maximum of 100 grams per liter VOC/VOS (.83 lbs. /gal.) excluding water & exempt solvents. Qualifies for LEED[®] v4 Credit Qualifies for CHPS low emitting credit (Collaborative for High Performance Schools) CDPH v1 Emission Certified</p> <p>Technical Assistance: Available through your local authorized independent Insl-x dealer. For the location of the dealer nearest you, call 1-866-708-9180 or see www.insl-x.com</p>	<p>Technical Data White</p> <table border="1"> <tr> <td>Vehicle Type</td> <td colspan="2">Urethane Modified Acrylic</td> </tr> <tr> <td>Pigment Type</td> <td colspan="2">Titanium Dioxide</td> </tr> <tr> <td>Volume Solids</td> <td colspan="2">40.0 ± 1.0%</td> </tr> <tr> <td>Coverage per Gallon at Recommended Film Thickness</td> <td colspan="2">300 – 400 Sq. Ft.</td> </tr> <tr> <td rowspan="2">Recommended Film Thickness</td> <td>– Wet</td> <td>4.0 - 5.5 mils</td> </tr> <tr> <td>– Dry</td> <td>1.6 - 2.2 mils</td> </tr> <tr> <td colspan="3">Depending on surface texture and porosity. Be sure to estimate the right amount of paint for the job. This will ensure color uniformity and minimize the disposal of excess paint.</td> </tr> <tr> <td rowspan="3">Dry Time @ 77 °F (25 °C) @ 50% RH</td> <td>– Tack Free</td> <td>30 Minutes</td> </tr> <tr> <td>– To Recoat</td> <td>3 – 4 Hours</td> </tr> <tr> <td>– Full Cure</td> <td>3 – 4 Days</td> </tr> <tr> <td colspan="3">High humidity and cool temperatures will result in longer dry, recoat and service times.</td> </tr> <tr> <td>Dries By</td> <td colspan="2">Coalescence</td> </tr> <tr> <td>Viscosity</td> <td colspan="2">70 – 80 KU</td> </tr> <tr> <td>Flash Point</td> <td colspan="2">200 °F or greater (TT-P-141, Method 4293)</td> </tr> <tr> <td>Gloss / Sheen</td> <td colspan="2">Flat</td> </tr> <tr> <td rowspan="2">Surface Temperature at Application</td> <td>– Min.</td> <td>35 °F</td> </tr> <tr> <td>– Max.</td> <td>90 °F</td> </tr> <tr> <td>Thin With</td> <td colspan="2">Do not Thin</td> </tr> <tr> <td>Clean Up Thinner</td> <td colspan="2">Warm, Soapy Water</td> </tr> <tr> <td>Weight Per Gallon</td> <td colspan="2">11.0 lbs.</td> </tr> <tr> <td rowspan="2">Storage Temperature</td> <td>– Min.</td> <td>45 °F</td> </tr> <tr> <td>– Max.</td> <td>95 °F</td> </tr> <tr> <td colspan="3" style="text-align: center;">Volatile Organic Compounds (VOC)</td> </tr> <tr> <td colspan="3" style="text-align: center;">87.6 grams/liter .73 lbs./gallon</td> </tr> </table>	Vehicle Type	Urethane Modified Acrylic		Pigment Type	Titanium Dioxide		Volume Solids	40.0 ± 1.0%		Coverage per Gallon at Recommended Film Thickness	300 – 400 Sq. Ft.		Recommended Film Thickness	– Wet	4.0 - 5.5 mils	– Dry	1.6 - 2.2 mils	Depending on surface texture and porosity. Be sure to estimate the right amount of paint for the job. This will ensure color uniformity and minimize the disposal of excess paint.			Dry Time @ 77 °F (25 °C) @ 50% RH	– Tack Free	30 Minutes	– To Recoat	3 – 4 Hours	– Full Cure	3 – 4 Days	High humidity and cool temperatures will result in longer dry, recoat and service times.			Dries By	Coalescence		Viscosity	70 – 80 KU		Flash Point	200 °F or greater (TT-P-141, Method 4293)		Gloss / Sheen	Flat		Surface Temperature at Application	– Min.	35 °F	– Max.	90 °F	Thin With	Do not Thin		Clean Up Thinner	Warm, Soapy Water		Weight Per Gallon	11.0 lbs.		Storage Temperature	– Min.	45 °F	– Max.	95 °F	Volatile Organic Compounds (VOC)			87.6 grams/liter .73 lbs./gallon		
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	– Max.	95 °F																																																																		
Volatile Organic Compounds (VOC)																																																																				
87.6 grams/liter .73 lbs./gallon																																																																				

◊ Reported values are for White. Contact dealer for values of other bases or colors.

Stix® Waterborne Bonding Primer SXA-110

Surface Preparation

General – All surface areas to be painted should be clean, dry, sound and free of all dirt, grease, oils, waxes, mildew and any other surface contaminants that can cause paint failure. Dirt and chalk should be thoroughly removed by scrubbing with warm soapy water. Surface wax should be removed with a commercial wax stripper. Grease residue should be removed with a grease and oil emulsifier. Remove all loose chipping, cracking and peeling from previously painted surfaces by hand scraping, sanding, wire brushing and/or by use of power tool cleaning methods such as electric sanders, grinders, etc. Remove any loose rust, mill scale, rust deposits from metal surfaces by hand or power tool cleaning according to SSPC Standards. Repair/replace any seriously damaged and/or delaminated surface areas. Use over most glossy surfaces without sanding.

Mildew – Surface areas affected by mildew should be thoroughly hand scrubbed with a soft to medium bristle scrub brush and a solution of one cup Tri-Sodium Phosphate or a nonammoniated detergent cleaner mixed with one-part household bleach* and three parts warm water, per gallon solution. Allow solution to stand on the affected surface areas for approximately 10 – 20 minutes, then rinse thoroughly with clean water and allow 24 – 48 hours to dry.

*Follow bleach manufacturer's instructions for safe handling and use of bleach solution.

SPECIAL NOTE ON SURFACE PREPARATION:

Glossy Surfaces – Although Stix® is formulated to be applied to hard to coat surfaces without the need for sanding, it is recommended that proper surface preparation still be completed to enhance adhesion properties. Surfaces such as Formica, ceramic tile and glossy painted surfaces should be properly deglossed. Once applied, allow Stix® to cure for approximately 3 to 4 days to achieve maximum resistance to scrape off. However, Stix® may be topcoated with a quality latex or oil-based finish within 3 to 4 hours, depending on overall drying conditions.

WARNING! If you scrape, sand or remove old paint, you may release lead dust. **LEAD IS TOXIC. EXPOSURE TO LEAD DUST CAN CAUSE SERIOUS ILLNESS, SUCH AS BRAIN DAMAGE, ESPECIALLY IN CHILDREN. PREGNANT WOMEN SHOULD ALSO AVOID EXPOSURE.** Wear a NIOSH-approved respirator to control lead exposure. Carefully clean up with a HEPA vacuum and a wet mop. Before you start, find out how to protect yourself and your family by contacting the National Lead Information Hotline at 1-800-424-LEAD or log on to www.epa.gov/lead

Application

Stix® may be applied by brush, roller, pad applicator, or airless spray. Use a high quality nylon brush or a ¼" – ½" synthetic nap roller cover. Do not thin. Do not apply when surface, air, or product temperature is below 35 °F. Do not paint in direct sun or on a hot surface. If possible, plan your painting to avoid rain, moisture, or high humidity for the first 24 hours of curing. Stop application a minimum of two hours before rain or dew is expected. Do not paint if surface temperature is within 5 °F of the dew point.

When top coating with two component paints, allow 24 hours dry time before painting. Always test questionable substrates such as plastics, composites, Kynars, and polyester surfaces by applying a small area for adhesion and top-coat compatibility before proceeding with the entire job.

Airless Spray: Tip range between .013 and .017. Total fluid output pressure at the tip should not be less than 2200 PSI. Preferred pressure is 2500 PSI.

Clean Up

Clean brushes, rollers and other equipment with warm, soapy water immediately after use. If dry, clean with lacquer thinner.

USE COMPLETELY OR DISPOSE OF PROPERLY. Dry empty containers may be recycled in a can recycling program. **Local disposal requirements vary; consult your sanitation department or state-designated environmental agency on disposal options.**

Environmental Health & Safety Information

WARNING!

Cancer Hazard. Contains Crystalline Silica that can cause cancer when in respirable form (spray mist or sanding dust).

Possible birth defect hazard. Contains, 2,2,4-trimethyl-1,3-pentandiol diisobutyrate, which may cause birth defects based on animal data.

Use only with adequate ventilation. Do not breathe vapors, spray mist or sanding dust. Ensure fresh air entry during application and drying. Avoid contact with eyes and prolonged or repeated contact with skin. Avoid exposure to dust and spray mist by wearing a NIOSH approved respirator during application, sanding and clean up. Follow respirator manufacturer's directions for respirator use. Close container after each use. Wash thoroughly after handling.



WARNING Cancer and Reproductive Harm—
www.P65warnings.ca.gov

FIRST AID: In case of eye contact, flush immediately with plenty of water for at least 15 minutes; for skin, wash thoroughly with soap and water. If symptoms persist, seek medical attention. If you experience difficulty breathing, leave the area to obtain fresh air. If continued difficulty is experienced, get medical attention immediately.

IN CASE OF SPILL – Absorb with inert material and dispose of as specified under "Clean Up".

**KEEP OUT OF REACH OF CHILDREN
PROTECT FROM FREEZING**

**Refer to Safety Data Sheet for
additional health and safety information.**

GRILLE OPTIONS

Grilles for Andersen® 100 Series windows and patio doors are available in a wide variety of patterns to complement virtually any style of home. Plus, they have options for easy cleaning and architectural authenticity many vinyl windows can't match.



Finelight grilles-between-the-glass



Finelight grilles-between-the-glass with permanent exterior grilles



Permanent exterior and permanent interior grilles with spacer



Permanent exterior and permanent interior grilles with no spacer

FINELIGHT™ GRILLES BETWEEN-THE-GLASS

Make glass easy to clean and have an elegant, sculpted profile. Choose a two-sided color scheme to match both the interior and exterior of the window or patio door. Also available with exterior grilles to provide architectural style and detail.

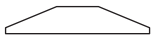
FULL DIVIDED LIGHT

Permanently applied to the exterior and interior of the window, with a spacer between the glass.

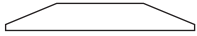
SIMULATED DIVIDED LIGHT

Permanently applied to the exterior and interior of the window, with no spacer between the glass.

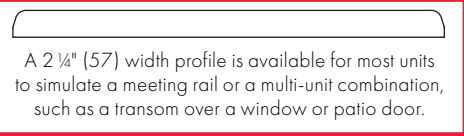
Grille Bar Widths Actual width shown.



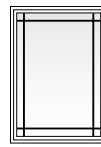
3/4" (19) width grille bar for windows.



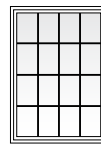
1" (25) width grille bar for patio doors.



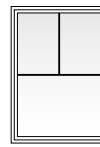
Grille Patterns



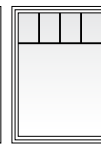
Prairie A



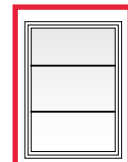
Colonial



Tall Fractional



Short Fractional



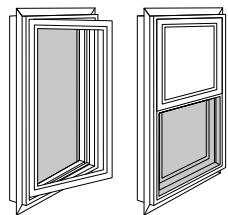
Specified Equal Light*



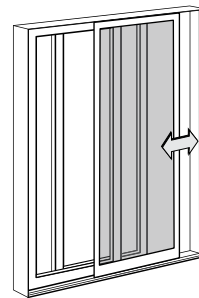
Custom J

To see all of the standard patterns available for a specific window or door, refer to the detailed product sections in this product guide or contact your Andersen supplier.

INSECT SCREEN OPTIONS



Insect screens for venting windows have a fiberglass screen mesh. Optional TruScene® insect screens are made with a micro-fine stainless steel mesh, providing 50% greater clarity than our conventional insect screens. Insect screen frames for casement and awning windows are color matched to the product interior and for single-hung and gliding windows are matched to the product exterior.



Gliding insect screens for 2-panel gliding patio doors have a fiberglass screen mesh. Insect screen frames for doors are color matched to the product exterior.

*Specify number of same-size rectangles across or down. Dimensions in parentheses are in millimeters.



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ARCHITECTURAL REVIEW BOARD
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Application Cover Page

Docket No.: 10-76-23

Permit No.: BBS23-000072

Applicant Name: David Maddux, The Arcus Group, Inc.

Project Address: 13741 Madison Ave.

Project Name: Back Alley Social Club

Project: Applicant proposes preliminary review of Back Alley Social Club.

City of Lakewood Planning Commission

Lakewood City Hall

12650 Detroit Rd.

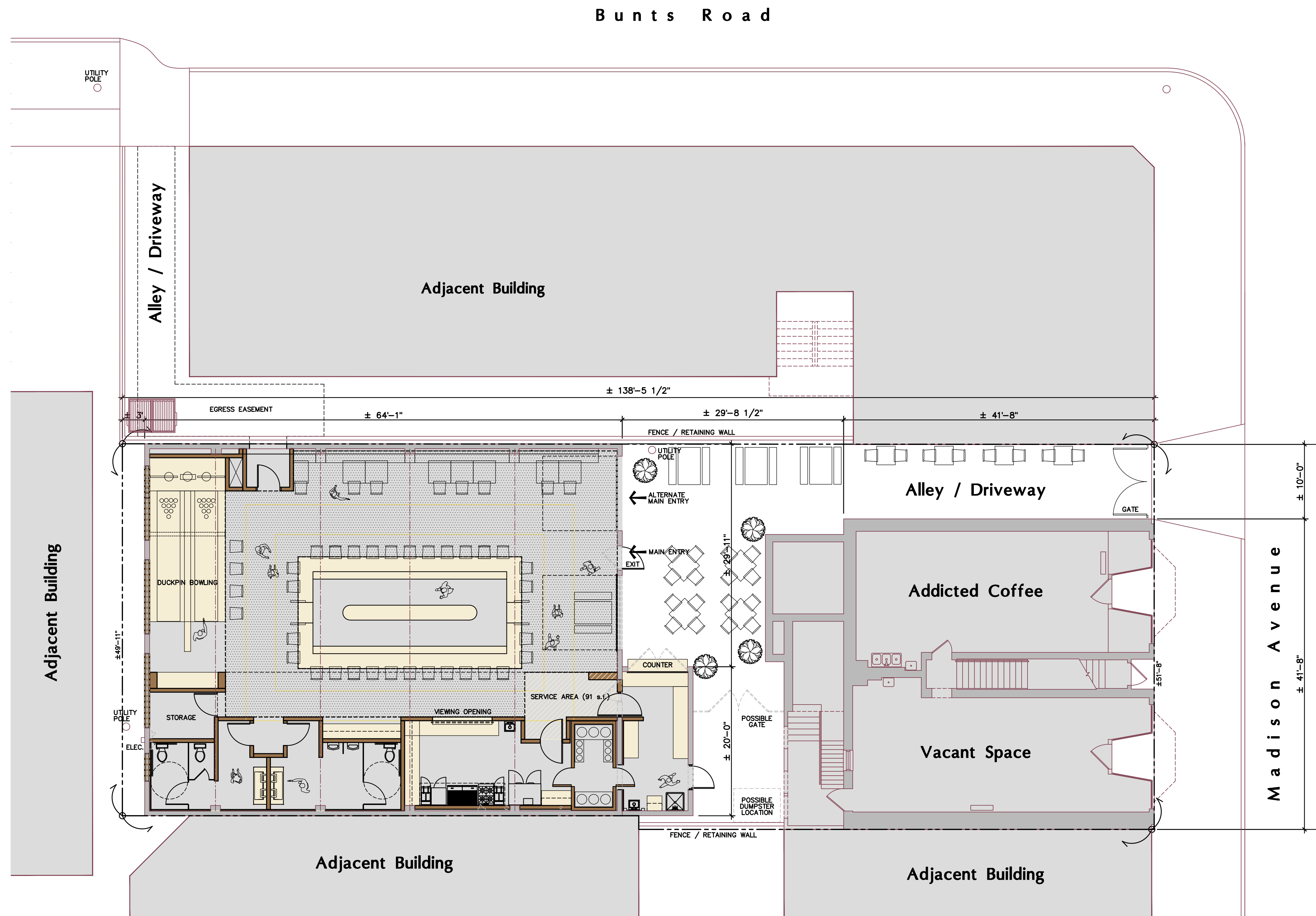
Lakewood , OH 44107

David Maddux of the Arcus Group, Inc. has my permission to represent Addicted Investments LLC., for the Back Alley Social Club, project submission to the Planning Commission and Architectural Review Board.

Vincent Brunori

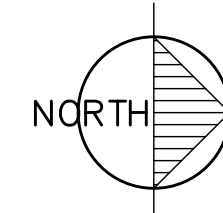
Vincent Brunori

Addicted Investments LLC.



Site / First Floor Plan

SCALE 1/8" = 1'-0"



3,390 G.S.F. MAIN LEVEL

1,290	S.F.	MAIN LEVEL SEATING	(15 S.F./OCCUPANT)	86	OCCUPANTS
300	S.F.	STOCK/MISC.	(300 S.F./ OCCUPANT)	1	OCCUPANTS
1,490	S.F.	KITCHEN/BAR	(200 S.F./OCCUPANT)	8	OCCUPANTS
350	S.F.	DUCKPIN BOWLING		4	OCCUPANTS
				99	OCCUPANTS

Preliminary
Not For
Construction

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
9-19-23 REVIEW

Proposed Changes for
Back Alley Social Club

13743 Madison Avenue
Lakewood Ohio



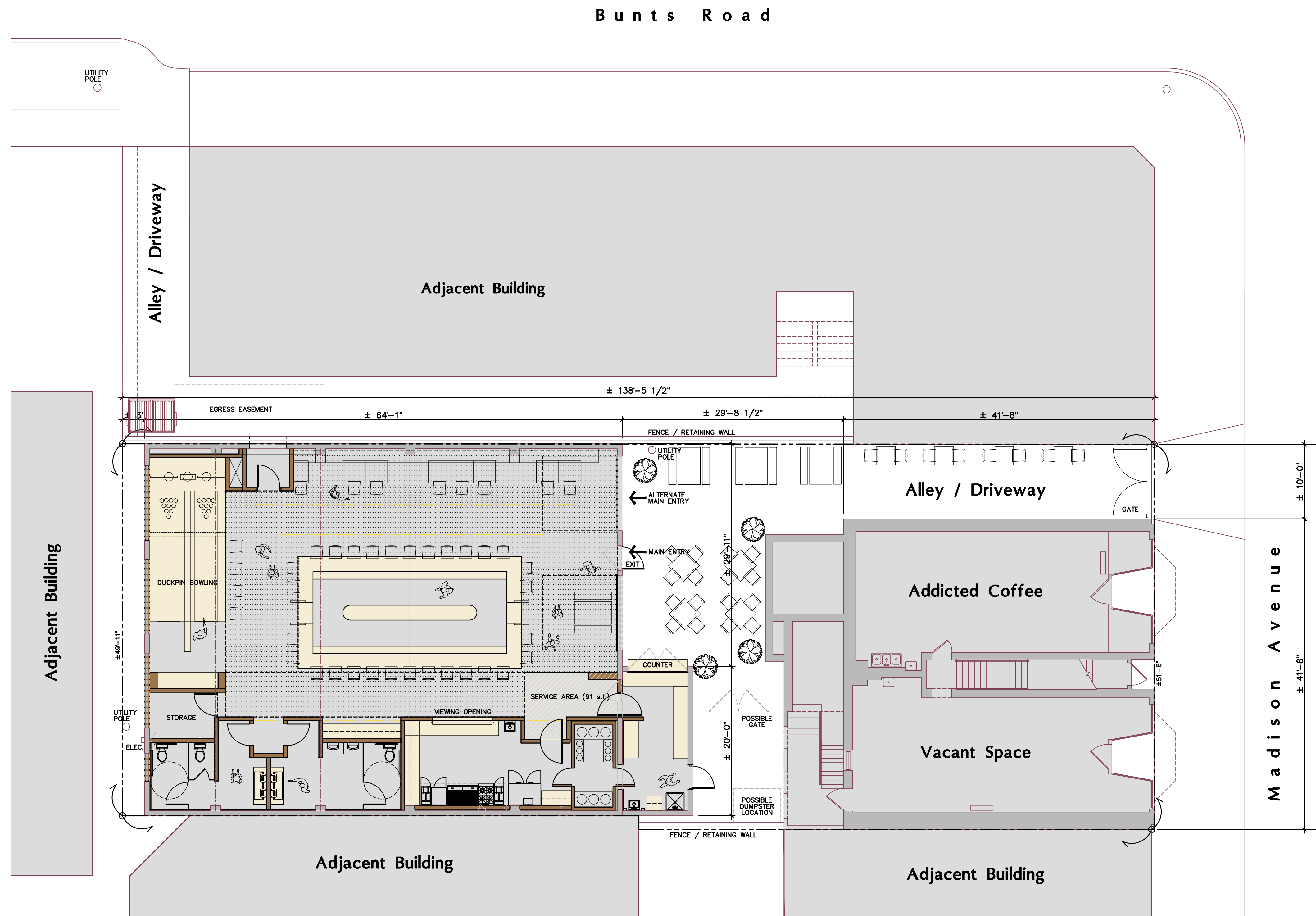
The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel: 440.356.5330

Site / First
Floor Plan

A-1

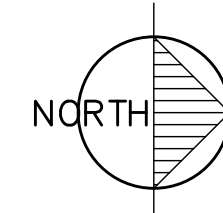
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PROJECT NO: 22-55
DRAWN BY: BK/RB
CHECKED BY: DTM



Site / First Floor Plan

SCALE 1/8" = 1'-0"



3,390 G.S.F. MAIN LEVEL

1,290	S.F.	MAIN LEVEL SEATING	(15 S.F./OCCUPANT)	86	OCCUPANTS
300	S.F.	STOCK/MISC.	(300 S.F./ OCCUPANT)	1	OCCUPANTS
1,490	S.F.	KITCHEN/BAR	(200 S.F./OCCUPANT)	8	OCCUPANTS
350	S.F.	DUCKPIN BOWLING		4	OCCUPANTS
				99	OCCUPANTS

Preliminary
Not For
Construction

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
9-19-23 REVIEW

Proposed Changes for
Back Alley Social Club

13743 Madison Avenue
Lakewood Ohio



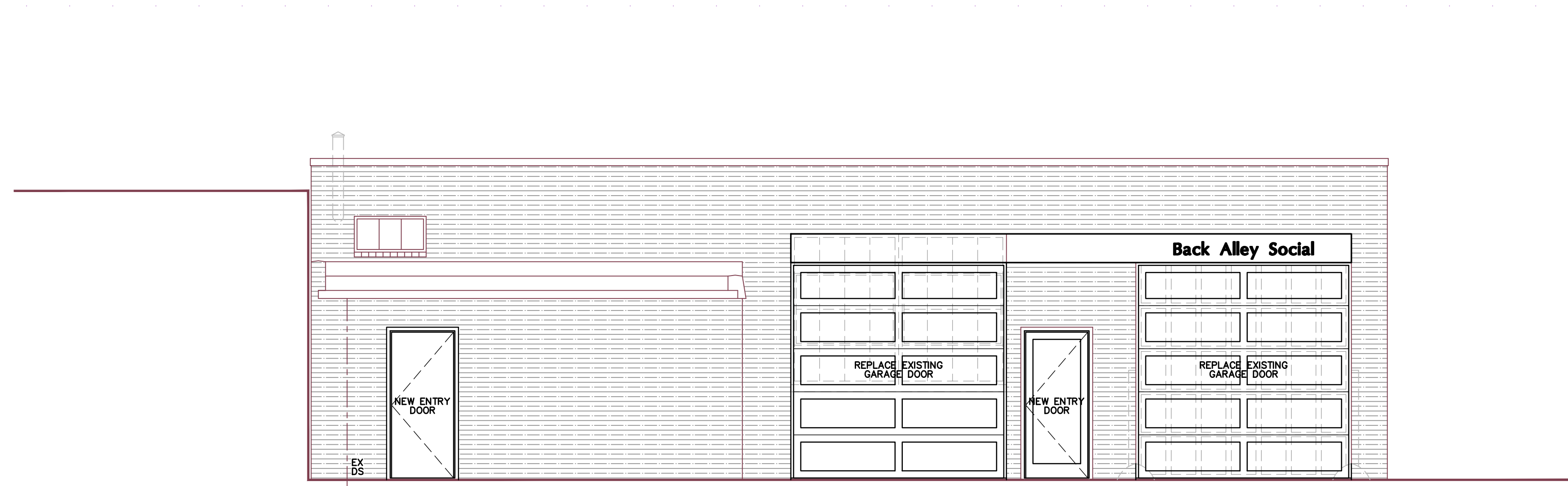
The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel: 440.356.5330

Site / First
Floor Plan

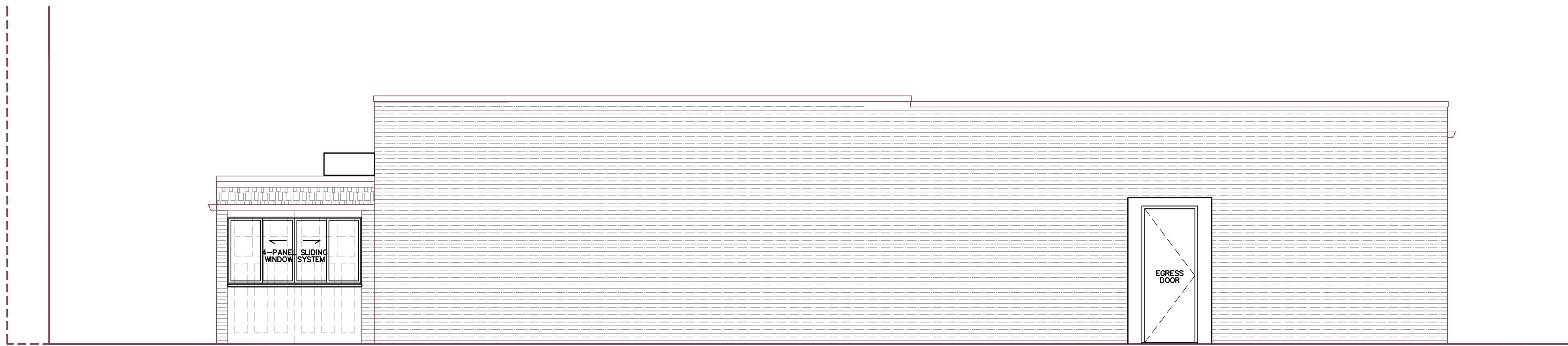
A-1

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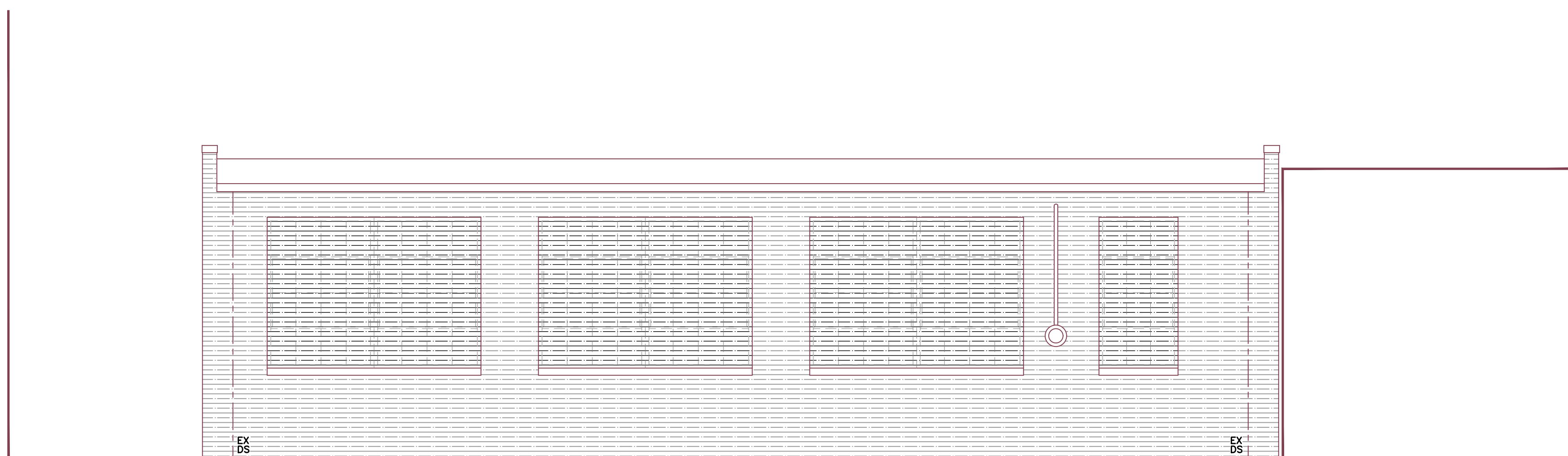
PROJECT NO: 22-55
DRAWN BY: BK/RB
CHECKED BY: DTM



Front Elevation (North)
SCALE 1/4" = 1'-0"




Side Elevation (West)
SCALE 1/4" = 1'-0"



Rear Elevation (South)
SCALE 1/4" = 1'-0"

Preliminary
Not For
Construction

PRELIMINARY NOT FOR CONSTRUCTION	
ISSUE 9-19-23 REVIEW	
Proposed Changes for Back Alley Social Club	
13743 Madison Avenue Lakewood	Ohio
 <p>The Arcus Group, Inc. ARCHITECTS 1244 Smith Court Rocky River, Ohio 44116 Tel. 440.356.5330</p>	
Elevations	
A-2	
COPYRIGHT © 2023	
PROJECT NO:	22-55
DRAWN BY:	BK/RB
CHECKED BY:	DTM



Alley Approach



Main Entry



Outdoor Dining



Front Elevation (Madison Avenue)

SCALE 1/4" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE:
9-19-23 REVIEW

**Proposed Changes for
Back Alley Social Club**

13743 Madison Avenue
Lakewood Ohio

The Arcus Group, Inc.
ARCHITECTS
1244 Smith Court
Rocky River, Ohio 44116
Tel: 440.356.5330

Elevations
& Renderings

A-3

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PROJECT NO: 22-55
DRAWN BY: BK/RB
CHECKED BY: DTM

Preliminary
Not For
Construction





COFFEE





CURBSIDE PICK-UP
216-210-8563
WWW.ADDICTEDCOFFEEBAR.COM

But First COFFEE
...however, there's
always room for
Ice Cream

Ice Cream
Baked Goods

ORDER
ONLINE FOR
DELIVERY -
UberEats,
Grubhub,
DoorDash

Breakfast
Lunch

ADDICTED
COFFEE BAR

www.addictedcoffeebar.com
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COFFEE



SPEED
LIMIT
25
EMERGENCY
SNOW
STREET
NO PARKING
WITHIN 20 FT
OF CURB

W 14th St



COFFEE
ICE CREAM



5.47







PRIVATE PROPERTY
ILLEGALLY PARKED AND
UNAUTHORIZED VEHICLES
WILL BE TOWED AT
VEHICLE OWNER'S EXPENSE

VEHICLES LEFT IN THIS AREA FOR 24 HOURS OR MORE WITHOUT A DRIVER OR OWNER WILL BE TOWED AT THE OWNER'S EXPENSE. CALL 800-343-6047 FOR MORE INFORMATION. WASTE MANAGEMENT TOWING SERVICE. WE WILL REMOVE YOUR VEHICLE AND RETURN IT TO YOU AT THE END OF THE DAY.



20





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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 10-77-23

Permit No.: BBS23-000074

Applicant Name: Joseph Kaye, JL Architects

Project Address: 14800 Madison Ave.

Project Name: UH Urgent Care

Project: Applicant proposes exterior renovation for damaged brick.



The image on the left shows the building in its original condition, pre-demolition. The original building had an awning attached directly to the brick, which is now presenting a challenge to restoring the brick to its original condition, post-demolition. After careful consideration, the following proposal is what we believe to be the best course of action to restoring this facade.



LOCATION: UNIVERSITY URGENT CARE

ADDRESS: 14800 MADISON AVE,
LAKEWOOD, OH 44107

DATE: 09/22/23

SCALE:
DRAWN BY: FR
CHECKED BY: JL
PROJECT # 22089

ORIGINAL
CONDITIONS

ABR-1



As the demolition was completed, it was found that many imperfections on the existing brick facade remained and could not be removed without using more aggressive methods that would damage the brick. Gentler methods were attempted to no avail. The image to the left demonstrates where the adhesives from the original awning remaining.



LOCATION: UNIVERSITY URGENT CARE

ADDRESS: 14800 MADISON AVE,
LAKEWOOD, OH 44107

DATE: 09/22/23

SCALE:
DRAWN BY: FR
CHECKED BY: JL
PROJECT # 22089

POST
DEMOLITION

ABR-2



The images on the left are demonstrating the areas most affected by the removal of the initial awning structure. The remaining tar, along the top of the damaged portion, can not be removed without severely damaging the existing brick.



LOCATION: UNIVERSITY URGENT CARE

ADDRESS: 14800 MADISON AVE,
LAKEWOOD, OH 44107

DATE: 09/22/23

SCALE:
DRAWN BY: FR
CHECKED BY: JL
PROJECT # 22089

POST
DEMOLITION

ABR-3



The brick along the bottom was damaged from the original installation of the concrete curb.
All of these instances demonstrate the severity of the bricks' condition.
All of these instances demonstrate the severity of the bricks' condition.



LOCATION: UNIVERSITY URGENT CARE

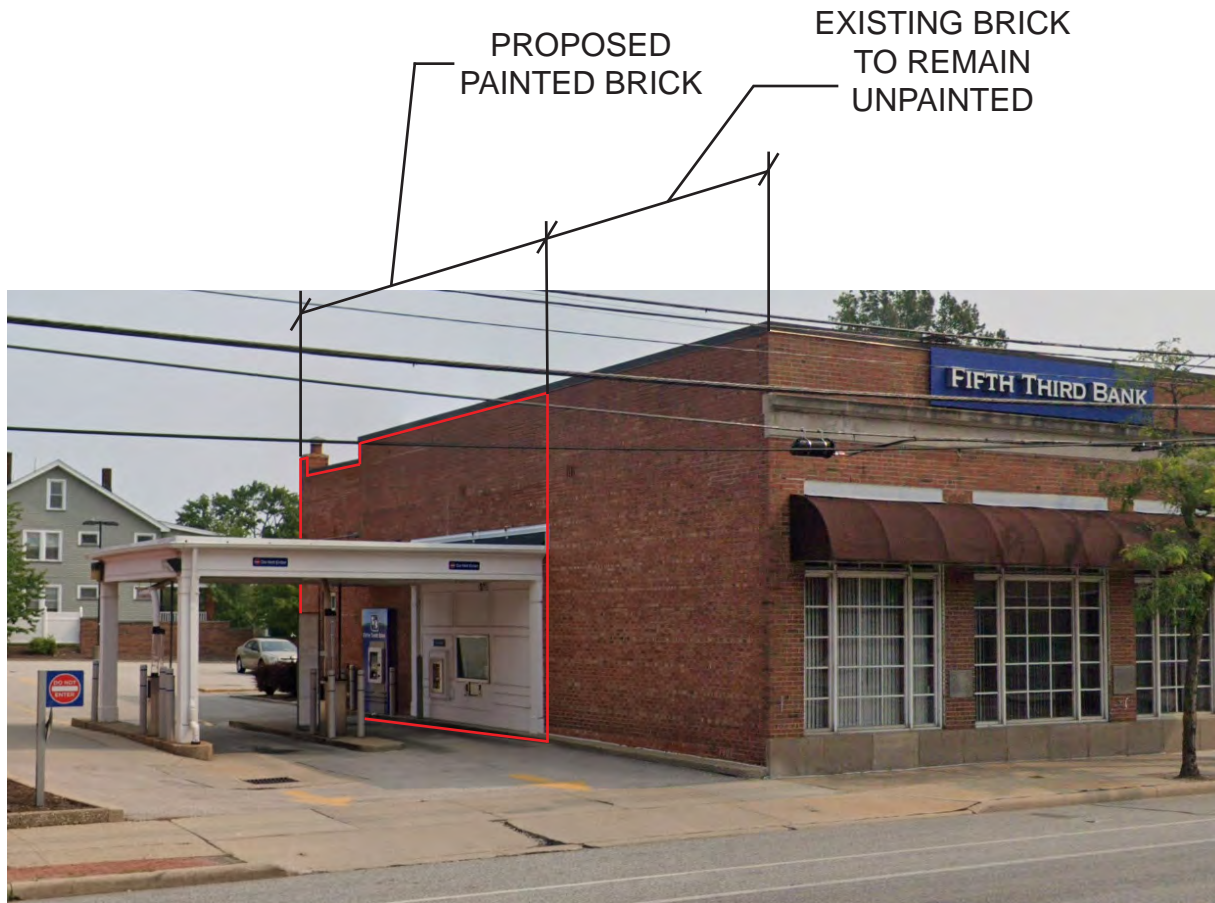
ADDRESS: 14800 MADISON AVE,
LAKEWOOD, OH 44107

DATE: 09/22/23

SCALE:
DRAWN BY: FR
CHECKED BY: JL
PROJECT # 22089

POST
DEMOLITION

ABR-4



Our proposal, as shown in the adjacent image, will be to paint the existing brick. The area marked in red will be the desired location of the painting. With the removal of the existing awning structure and after carefully cleaning the brick, without causing any more damage to the face, we believe the painting of the brick will be the best option towards maintaining a clean facade.



LOCATION: UNIVERSITY URGENT CARE

ADDRESS: 14800 MADISON AVE,
LAKEWOOD, OH 44107

DATE: 09/22/23

SCALE:
DRAWN BY: FR
CHECKED BY: JL
PROJECT # 22089

PROPOSAL

ABR-5



15314 Madison Ave, Lakewood, OH 44107



15014 Madison Ave, Lakewood, OH 44107



15003 Madison Ave, Lakewood, OH 44107

The precedent images to the left represent nearby properties within the city of Lakewood where painted brick is utilized along the side facades similar to what we are proposing.



LOCATION: UNIVERSITY URGENT CARE

ADDRESS: 14800 MADISON AVE,
LAKEWOOD, OH 44107

DATE: 09/22/23
SCALE:
DRAWN BY: FR
CHECKED BY: JL
PROJECT #: 22089

PRECEDENTS

ABR-6



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 10-78-23

Permit No.: BBS23-000070

Applicant Name: Steven Foster, The Sign & Graphics Firm, LLC

Project Address: 11912 Detroit Ave.

Project Name: Cuyahoga County Progressive Caucus

Project: Applicant proposes signage in the sign band.

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive style with a large, stylized "S" and "F".

Steve Foster

The Sign & Graphics Firm

(216) 390-0198



BEFORE



PROPOSED



1/8" ACM Panel with Vinyl Graphics

PROPOSED SIGNAGE

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

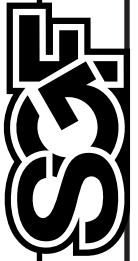
THE SIGN & GRAPHICS FIRM

Steven Foster
216.390.0198
sgfoster09@gmail.com

BUSINESS NAME:
Cuyahoga County Progressive Caucus

ADDRESS:
11910 Detroit Ave,
Lakewood, OH 44107

1
9-20-23





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ARCHITECTURAL REVIEW BOARD
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Application Cover Page

Docket No.: 10-79-23

Permit No.: BBS23-000073

Applicant Name: Sam Baadani, Cloud City Smokes

Project Address: 13306 Detroit Ave.

Project Name: Cloud City Vapes

Project: Applicant proposes signage in the sign band.

RBG Lakewood LLC
13302 Detroit Ave.
Lakewood Ohio, 44280
(216-235-8484)

9/20/2023

To the City of Lakewood,

I Rick Groetsch owner of the building in which Aish Alhanash will be opening a Vape Store within, I DO give permission for him to place a new sign either on the inside windows or outside wall either is totally fine by me.

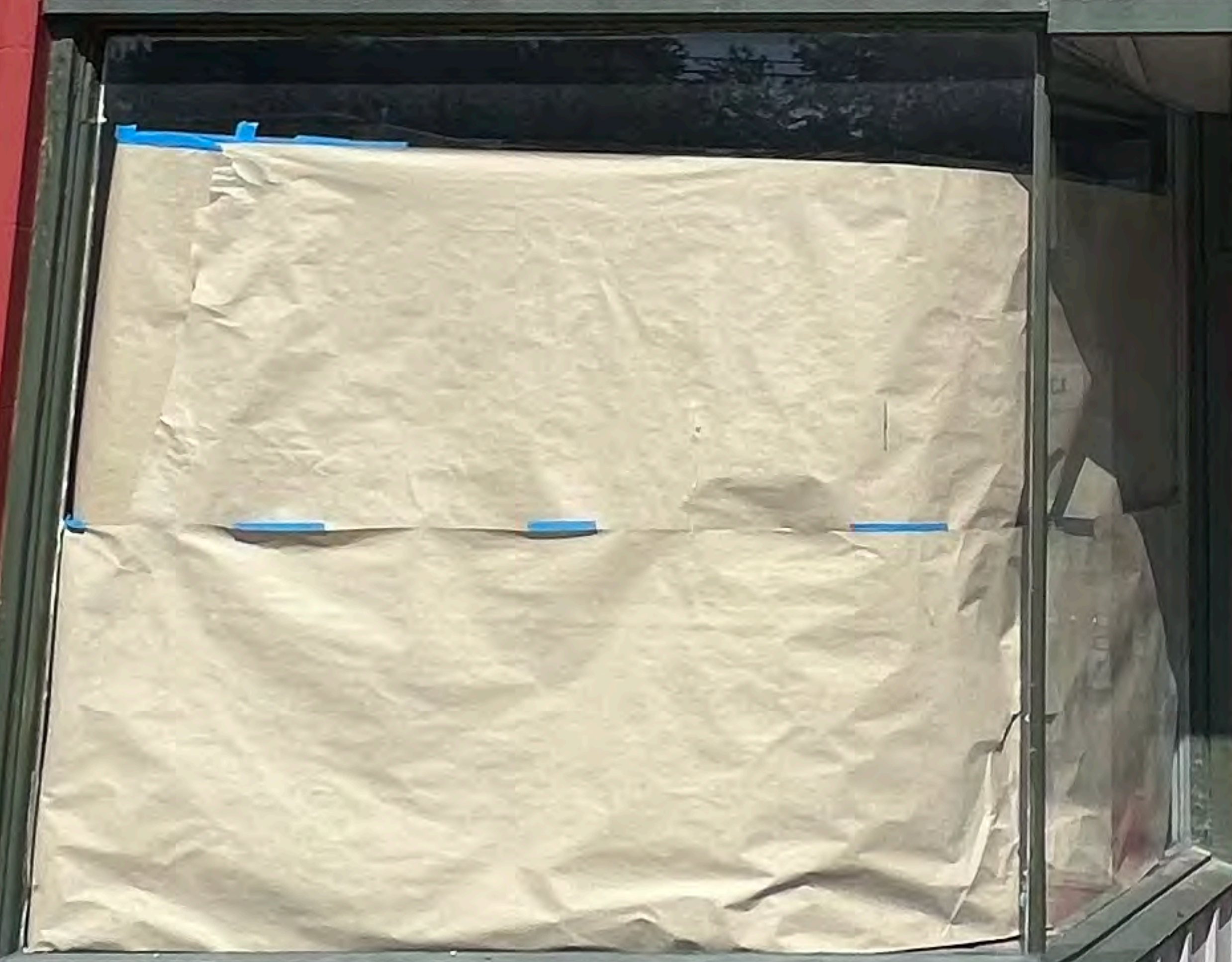
If needed you may reach me on my cell listed above.

Thank you,

Rick Groetsch

3 1/2 - 4 ft

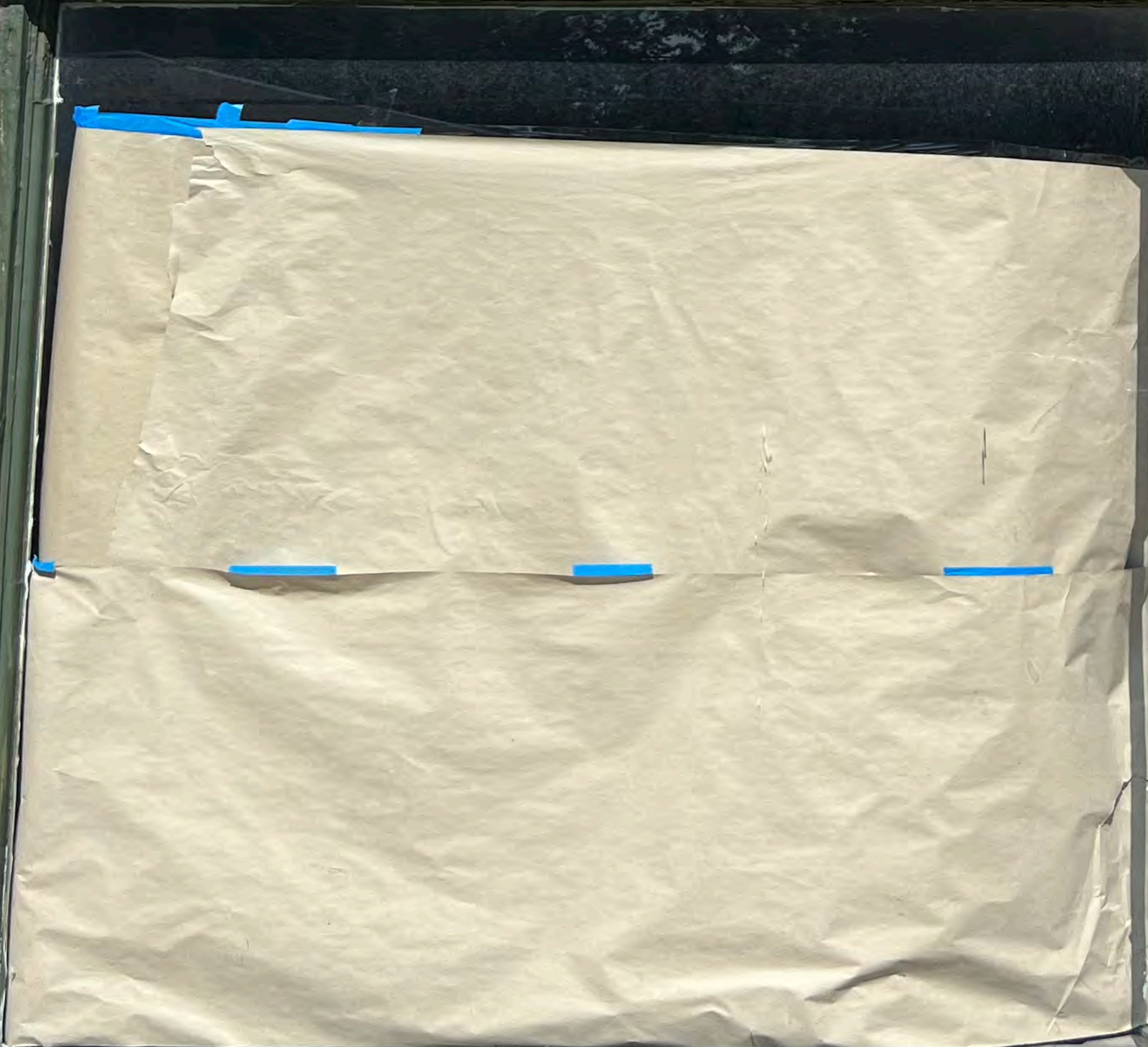
11 1/2 - 12 ft



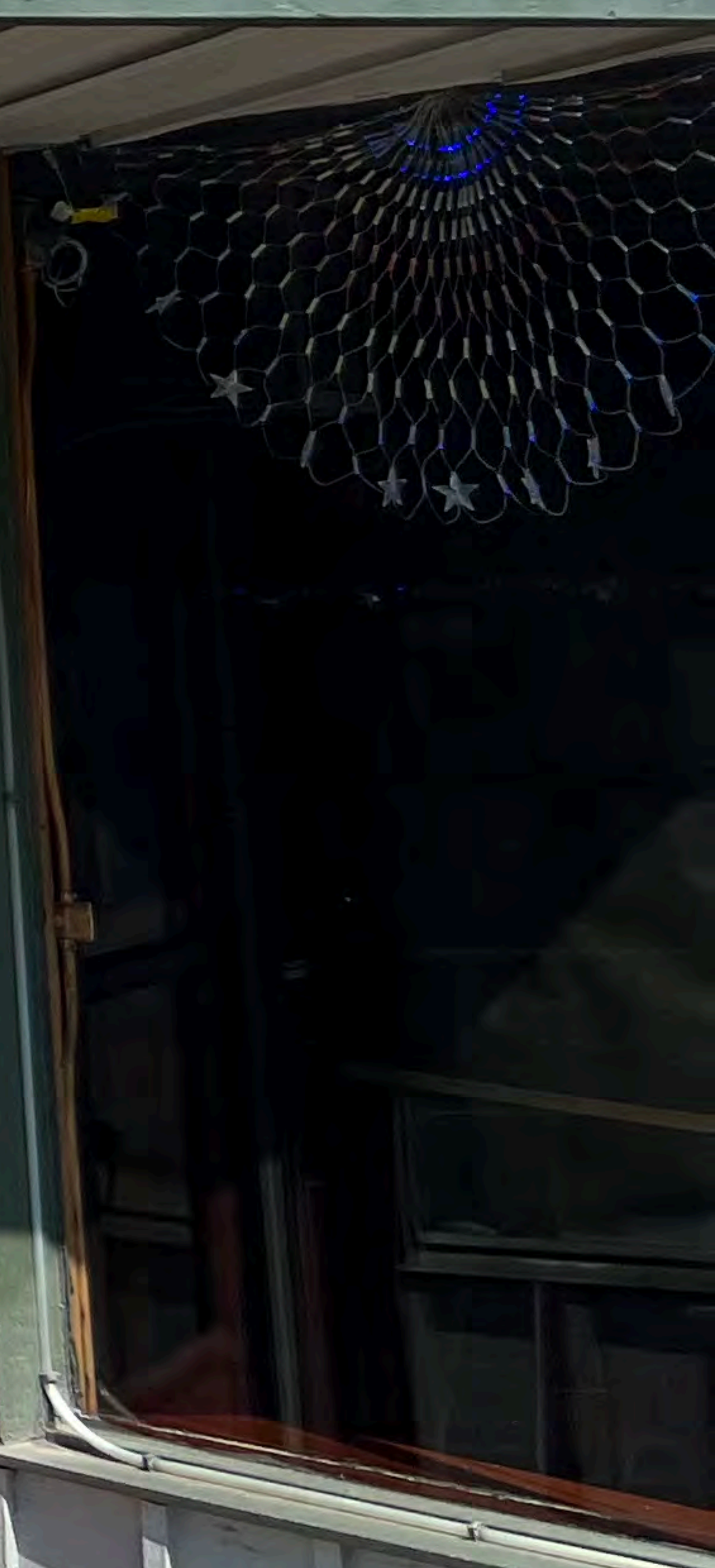


11 1/2 - 12 ft

3 1/2 - 4 ft



Text





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ARCHITECTURAL REVIEW BOARD
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Application Cover Page

Docket No.: 10-80-23

Permit No.: BBS23-000069

Applicant Name: Shilpika Devaiah, Ayurveda Wellness House

Project Address: 17119 Madison Ave.

Project Name: Ayurveda Wellness House

Project: Applicant proposes new signage in an existing ground sign.



Fulton & Hudson

Real Estate

1000 Fulton St.

Albany, NY 12206

Phone: 518-486-1234

Fax: 518-486-1235

www.fultonandhudson.com

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity



Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity

Equal Housing Opportunity



चान्दे अयुरवेदोपी

Ayurveda

Wellness House





**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
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Application Cover Page

Docket No.: 10-81-23

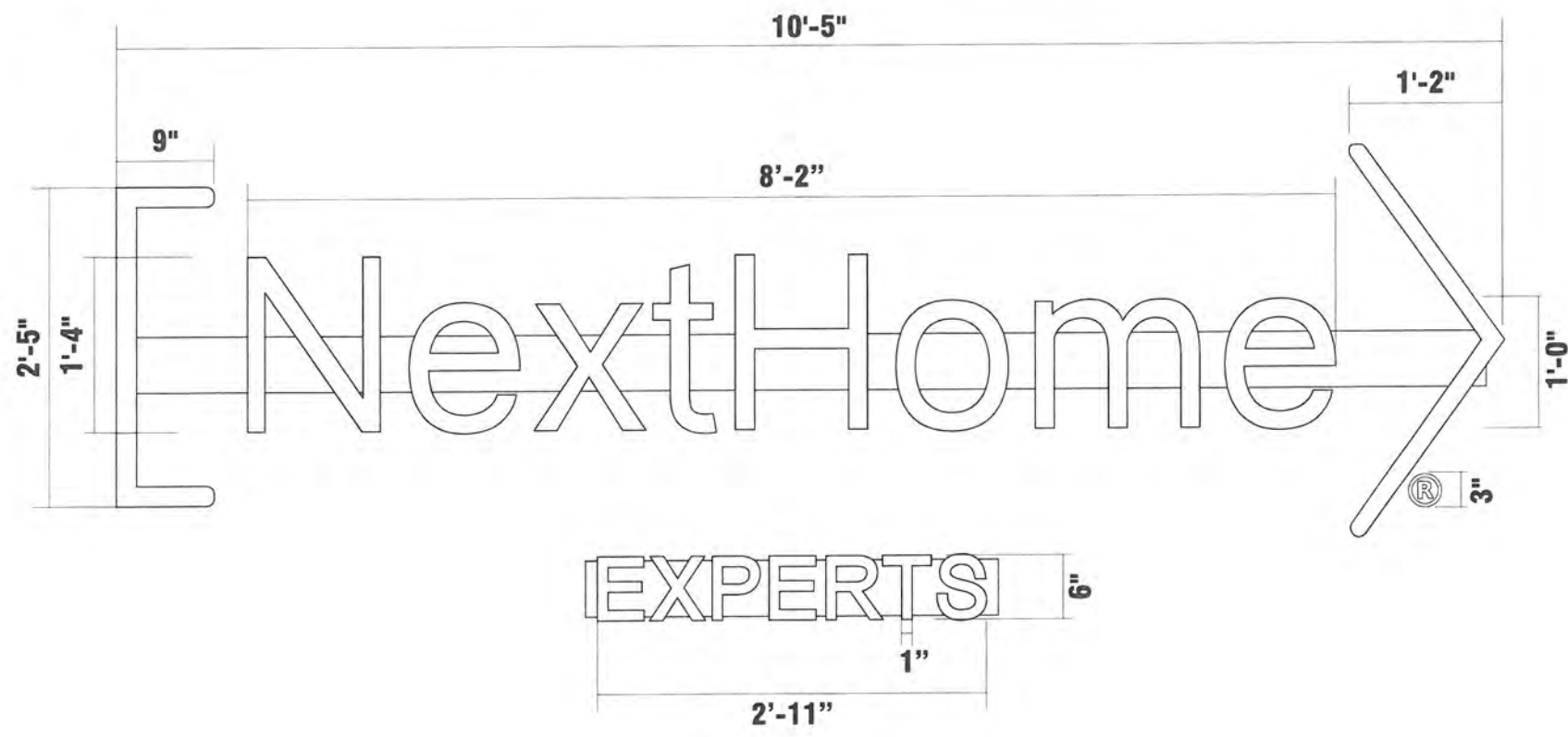
Permit No.: BBS23-000071

Applicant Name: Laura Higgins-Woyma, Brilliant Electric Sign Co.

Project Address: 15000 Madison Ave.

Project Name: Next Home Experts

Project: Applicant proposes three new signs: ground sign, projecting sign, and front wall letters.



SIGN C (2)

SIGN ELEVATION: 3/4" = 1'-0'

Notes

Manufacture & install one (1) set of internally illuminated, LED channel logo segments & letters with one (1) single face, non-illuminated, circular, panel for the registration mark in the lower right hand corner; all to be mounted on raceways on the front of the building; raceways to contain power supplies

- Logo segments & letters to have white 7328 plexiglass faces; trim & returns to be painted black
- Registration panel to be painted to match building; circle & "R," to be first surface, white vinyl
- Raceways to be painted to match building fascia

RATED 120 VOLTS



PHOTO RENDERING NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

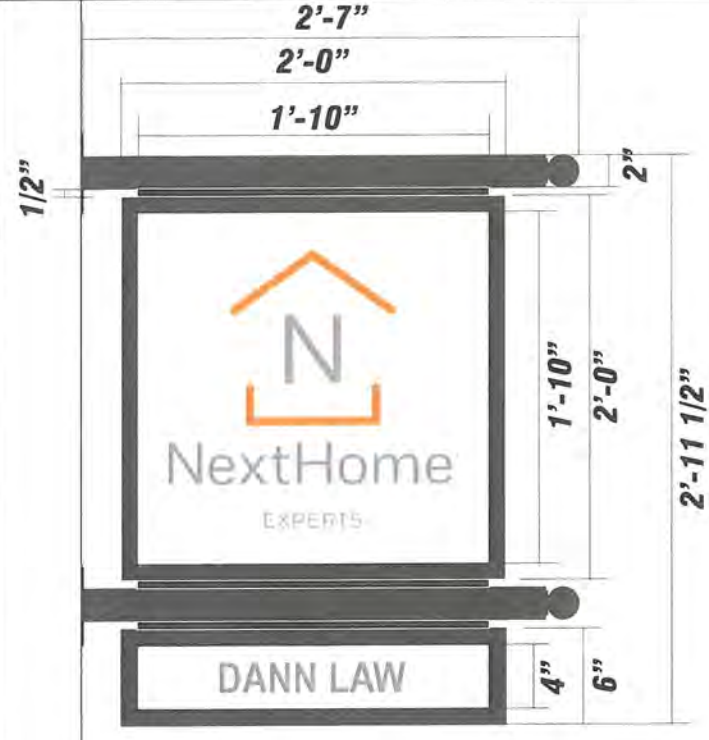


Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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COMPANY NAME	15000 BUILDING	SALESMAN	JM	DATE	3/24/23	REVISION	4/24/23cp	DESIGN NO.	B23-466
LOCATION	15000 MADISON AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		8/23/23CP	COPYRIGHT ©	2023
								FILE NAME	charlotte/ 15000 building S3 (2)



SIGN ELEVATION: 1" = 1'-0"

Notes

Manufacture & install one (1) double face, non-illuminated, aluminum, projecting sign with two (2) single face, tenant panels on either side of the cabinet; whole sign to be projecting off the building using 2" square tube posts with decorative finials & mounting plates

- Cabinets, reveals, trim, & posts with finials to be painted black
- Graphics on the tenant panels to be first surface, digital print

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

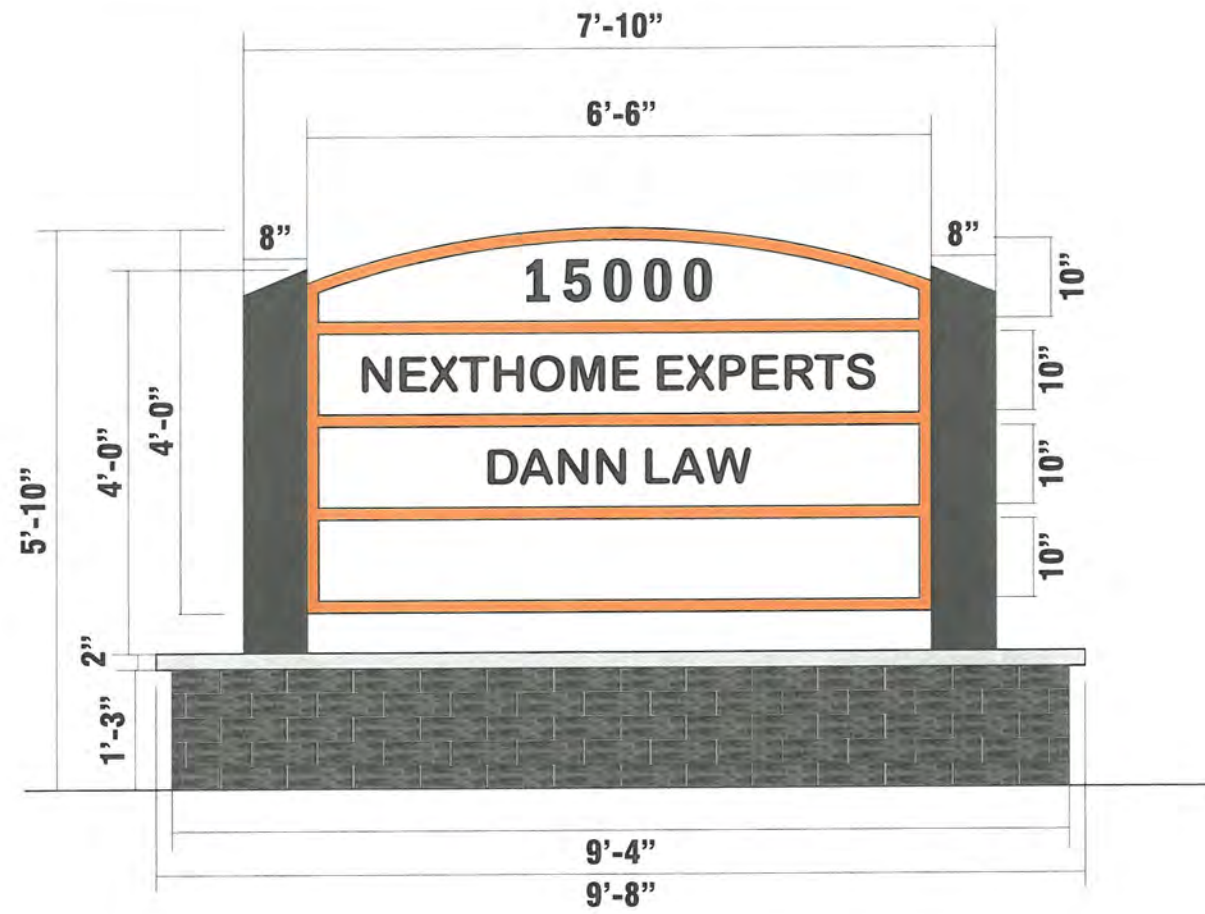


Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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COMPANY NAME	15000 BUILDING	SALESMAN	JM	DATE	8/24/23	REVISION	DESIGN NO.
LOCATION	15000 MADISON AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		B23-1128
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							FILE NAME charlotte/ 15000 building S3 (2)



SIGN ELEVATION: 1/2" = 1'-0'

Notes

Manufacture & install one (1) single face, LED internally illuminated, curved, aluminum, cabinet holding four (4) single face, polycarbonate, panels; one (1) to be header panel; three (3) to be interchangeable panels; whole cabinet to be mounted in between two (2) aluminum, columns on top of masonry base with stone cap

- Cabinet & divider bars to be painted orange
- Tenant panels to have first surface, digital print
- Columns on either side of the cabinet to be painted black
- Masonry base to be black brick; with stone cap

RATED 120 VOLTS

***Specific colors to be determined**



PHOTO RENDERING NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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COMPANY NAME	15000 BUILDING	SALESMAN	JM	DATE	8/9/23	REVISION	DESIGN NO.
LOCATION	15000 MADISON AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		B23-1095
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							FILE NAME charlotte/ next home gs



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 10-82-23

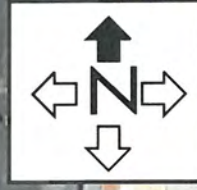
Permit No.: BBS23-000068

Applicant Name: Laura Higgins-Woyma, Brilliant Electric Sign Co.

Project Address: 1616 W. 117th St.

Project Name: Fifth Third Bank

Project: Applicant proposes the refacing of an existing monument sign.



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Brilliant Electric Sign Co., Ltd.

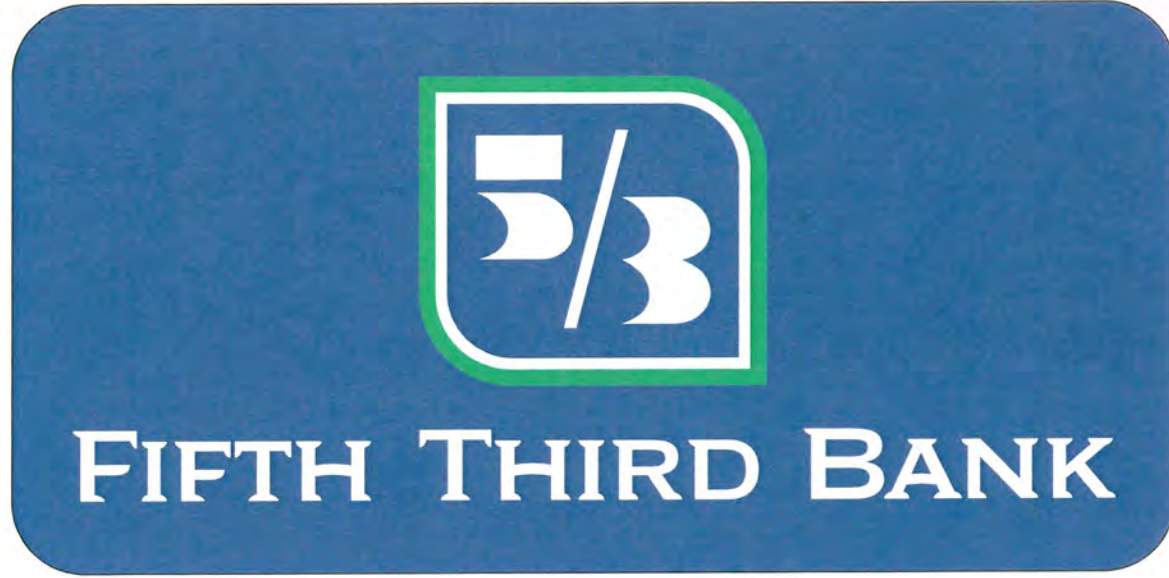
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COMPANY NAME	15000 BUILDING	SALESMAN	JM	DATE	9/18/23	REVISION		DESIGN NO.	B23-1197
LOCATION	15000 MADISON AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2023
								FILE NAME	charlotte/ 15000 building S3 (2)

3'-11 1/2"

8'-1"



NOTES:

A - Two (2) digitally-printed flexible replacement faces for existing double-face, internally illuminated ground sign.

Faces to be 3M Panagraphics III, flexible substrate digitally printed with translucent inks, with UV overlamine.

Background to be blue to match PMS

#7685C with copy reversed-out, white.

Shield border to be green PMS #3405C.

B - Re-lamp existing cabinet with LED sticks.

EXISTING



PROPOSED



PHOTO RENDERING NTS

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COMPANY NAME	Fifth Third Bank	SALESMAN	H	DATE	2-20-23	REVISION	8/31/23CP	DESIGN NO.	B23-307
LOCATION	1600 West 117th St., Lakewood, Ohio	DESIGNER	DM	SCALE	3/4" = 1'-0"			COPYRIGHT ©	2023
								FILE NAME y/fifth third/1600 west 117th	

3'-11 1/2"

8'-1"



NOTES:

A - Two (2) digitally-printed flexible replacement faces for existing double-face, internally illuminated ground sign.

Faces to be 3M Panagraphics III, flexible substrate digitally printed with translucent inks, with UV overlamine.

Background to be blue to match PMS #7685C with copy reversed-out, white.

Shield border to be green PMS #3405C.

B - Re-lamp existing cabinet with LED sticks.

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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COMPANY NAME	Fifth Third Bank		SALESMAN	H	DATE	2-20-23	REVISION	DESIGN NO.	B23-307	
LOCATION	1600 West 117th St., Lakewood, Ohio		DESIGNER	DM	SCALE	3/4" = 1'-0"		COPYRIGHT ©	2023	
								FILE NAME		N/fifth third/1600 west 117th

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