

- Approve
- Deny
- Defer

Steve Bres
Scout Services
490 Quail Ridge Dr.
Westmont, IL 60559

Applicant proposes replacement signage. (Page 32)

**NEW BUSINESS
BOARD OF BUILDING STANDARDS**

8. Docket No. 10-137-21 R 1487 Ridgewood Ave.

- Approve
- Deny
- Defer

Stuart Bouscher
1487 Ridgewood Ave
Lakewood, OH 44107

Applicant and property owner, Stuart Bouscher does not want to allow access to his property (1487 Ridgewood Ave) by the neighboring landowner, Kosta Mathiellis (1483/1485 Ridgewood Ave.), pursuant to LCO 1311.02. Property is in an R2, Single and Two-Family district. (Page 53)

ARCHITECTURAL BOARD OF REVIEW

9. Docket No. 10-138-21 R 1570 Winchester Ave.

- Approve
- Deny
- Defer

Nancy Rozier
Rozier Designer Homes LLC
4948 Fledging Ct.
North Ridgeville, OH 44039

Applicant proposes building a new residential home on a vacant lot. (Page 58)

10. Docket No. 10-139-21 R 1270 Bunts Rd.

- Approve
- Deny
- Defer

Daniel Hurst
Hurst Design Build Remodel
26185 Center Ridge Rd.
Westlake, OH 44145

Applicant proposes second floor additions and rear covered deck. (Page 69)

**11. Docket No. 10-140-21 C 15023 Madison Ave.
The Evelyn**

- Approve
- Deny
- Defer

David Maniet
Maniet Architects LLC
1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes storefront renovation. (Page 89)

SIGN REVIEW

**12. Docket No. 10-141-21 14873 Detroit Ave.
Wing-Stop**

- Approve
- Deny

Joe Palecek
Advanced Installation & Sign Service

Defer

28 Elevator Ave.
Painesville, OH 44077

Applicant proposes wall and window signage for a new business. (Page 125)

13. Docket No. 10-142-21

**16016 Hilliard Rd.
Sunoco**

Approve
 Deny
 Defer

Vince Dionno
Blink Signs and Blink Swag
1925 St. Clair Ave.
Cleveland, OH 44114

Applicant proposes new signage for rebranding of an existing business. (Page 144)

14. Docket No. 10-143-21

**12607 Madison Ave.
The French Quarter Furniture**

Approve
 Deny
 Defer

Charles Matthews
The French Quarter Furniture Gallery
12607 Madison Ave.
Lakewood, OH 44107

Applicant proposes signage in the sign band for a new business. (Page 163)

15. Docket No. 10-144-21

**15616 Detroit Ave.
KW Citywide – Circle Home Group**

Approve
 Deny
 Defer

Jon Legato
Circle Home Group Realty
2001 Crocker Rd.
Westlake, OH 44145

Applicant proposes door and window signage. (Page 167)

ADJOURN



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 08-108-21

Permit No.: BBS21-000125

Applicant Name: Matthew Gallagher

Project Address: 1334 Park Row Ave.

Project Name: n/a

Project: Applicant proposes renovation of a front porch.

Account: 101-0000-321.30.01

REFERENCE No. BBS21-000125

DOCKET No. _____

FEE PAID _____

APPLICATION

ARCHITECTURAL BOARD OF REVIEW / SIGN REVIEW BOARD / BOARD OF BUILDING STANDARDS

Project Name Gallagher Porch

Project Address 1334 Park Row Ave

Applicant Name Matthew Gallagher

Applicant Address _____
(if different than above)

Applicant Contact (440) 532 - 0614

mjgallagher1966 @ gmail.com

Brief Project Description Renovating existing front porch

Signature: Matthew Gallagher

Date: 4/16/20
4/8/20

REVIEW REQUESTED (Check all that apply to your project)

Architectural Board of Review (Review Fee: Commercial \$50, Residential \$25)
Examples: New building, changes to the exterior of a building (additions, material changes), installation or modification of fencing, construction or modification of a parking lot. See Code Chapter 1325 for regulations

Sign Review Board (Review Fee: \$25)
All new commercial signs, modifications to upgrades or existing signs / sign lighting.
Note: If combined area of signs is 1.5x the width of the building or storefront, apply for a BBS variance below. See Code Chapter 1329 for Sign Regulations.

Board of Building Standards (Review Fee: \$25)
All requests for variances to the Building Code. Appeals to decisions made by the Building Commissioner.

AUTHORIZATION FOR PROPERTY ACCESS

In signing this application, I authorize members of the City's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application.

Are there any dog(s) on the property? Yes No

Owner Name Matthew Gallagher

Property Address 1334 Park Row Ave

Owner / Agent Contact (440) 532 - 0614

mjgallagher1966 @ gmail.com

Owner / Agent Signature Matthew Gallagher

Date: 4/8/20 4/16/21

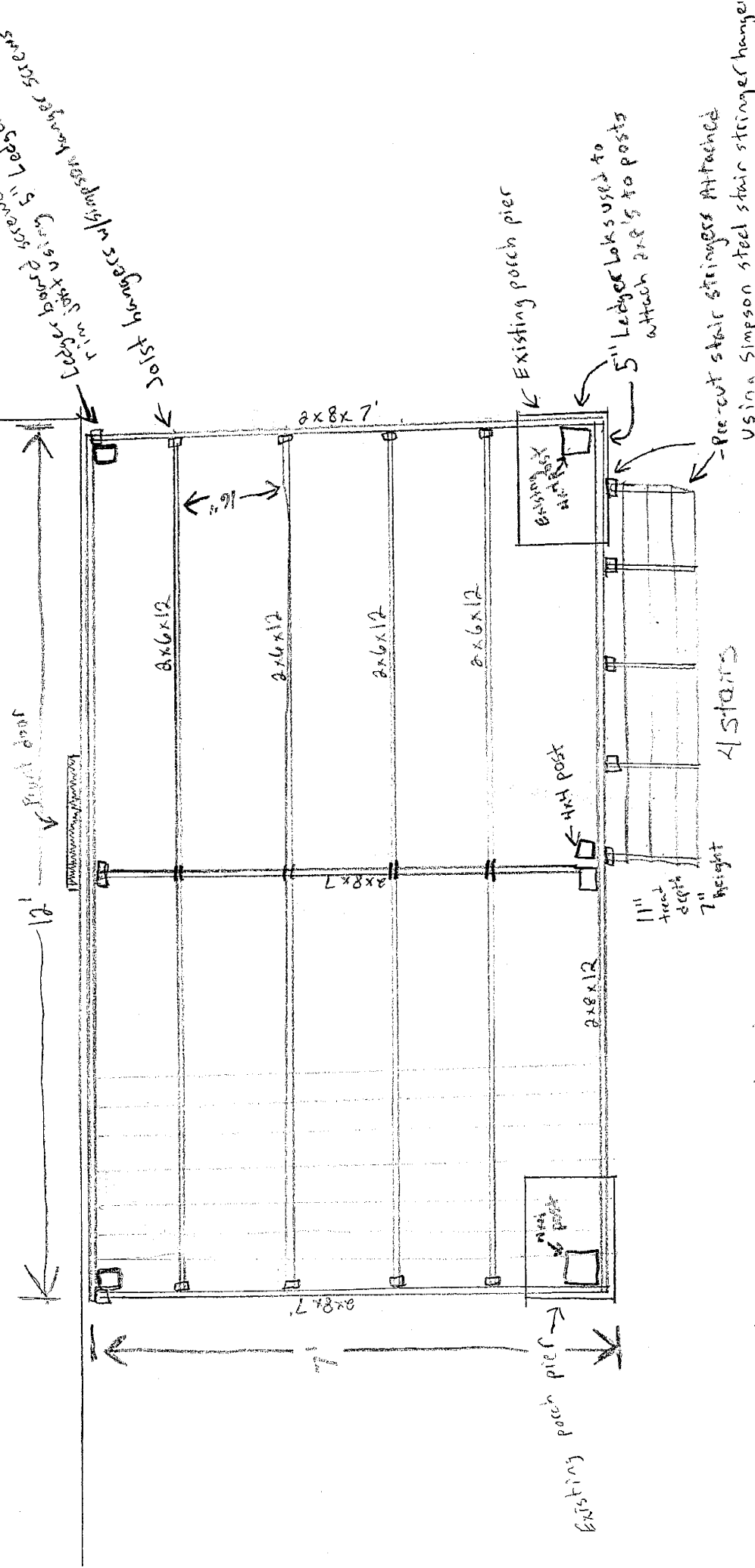
Office Use Only: Reviewed and Accepted by: _____ Date: _____

Ordinance _____ Section _____ Remarks _____

1334 Parkview
44107

House

Ledger board screws + horse
5" Ledger Lok fasteners
Jolst hangers w/ Simpson hanger screws



Existing porch pier
5" Ledger Lok's used to
attach 2x8's to posts
Pre-cut stair stringers attached
using Simpson steel stringer hanger
w/ Simpson hanger screws

Railings - Pre-made purchased from Home Depot;
2x4 will be added @ top and bottom to
sandwich the spindles

Existing porch pier

11" treat depth
7" height

4 stairs

Existing post

4x4 post

Existing post

2x8x7'

2x8x7'

2x8x7

2x6x12

2x6x12

2x6x12

2x6x12

2x6x12

12'

12'

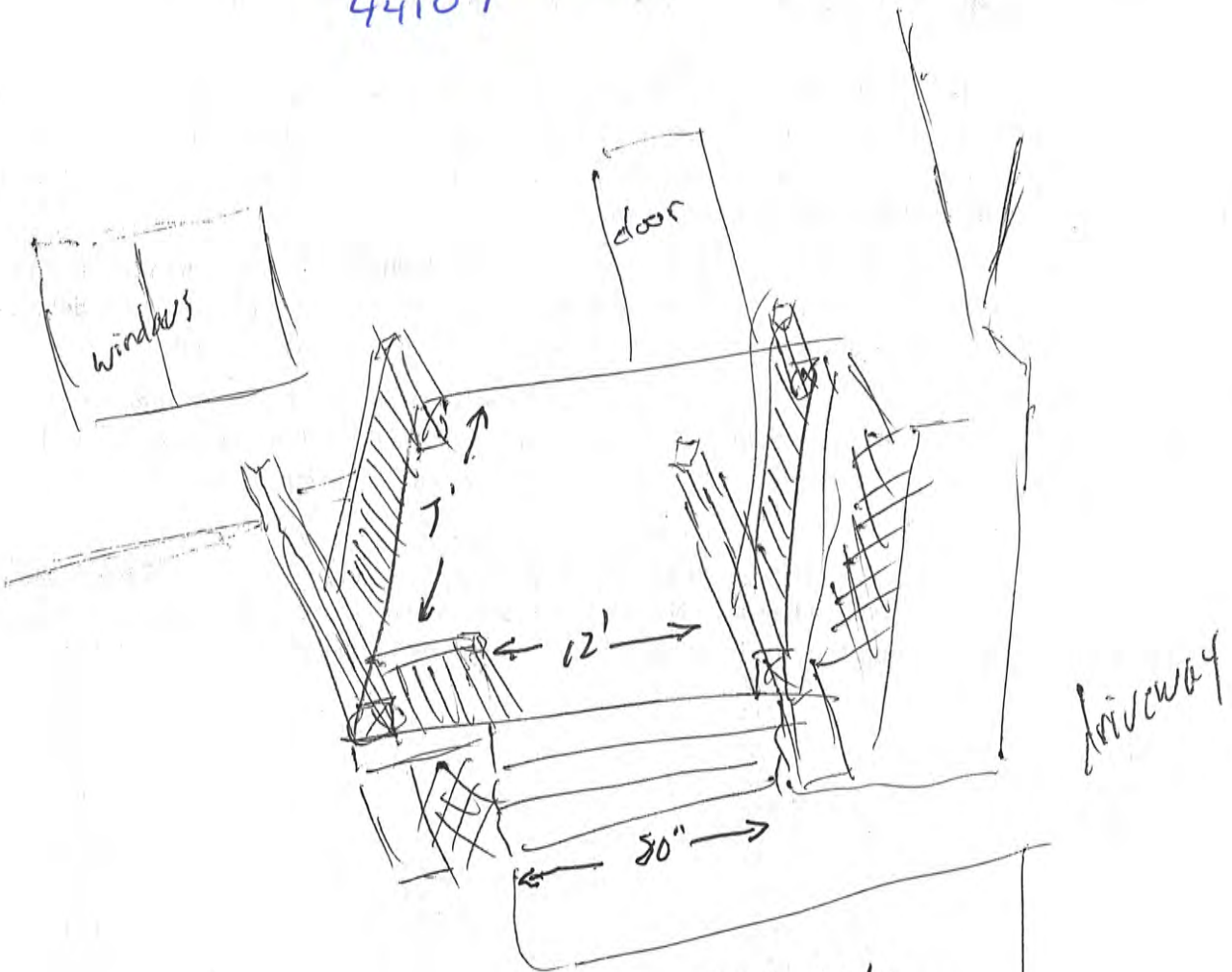
12'

Post beam

Existing post

Existing post

1334 Park Row
44107



2x6 joists
2x8 box plates
1/2x8 header midway
under deck

pressure treated lumber } 5/4 deck boards
deck screws 1 5/8"
"ledger. bc" 5 1/2" x 3/8" 4x4 posts
plastic lattice
joist headers w/ simpson screws
pre-cut stringers w/ 7" risers
pre-made rails w/ added 2x4 top/bottom

Drop box - Blue
on-line

Lakewood Outlet



1334

JJ



1334



1334



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 09-128-21

Permit No.: BBS21-000165

Applicant Name: Andrew Erker, ACE Design LLC

Project Address: 17788 Edgewater Rd.

Project Name: n/a

Project: Applicant proposes an addition and renovation of an existing home.

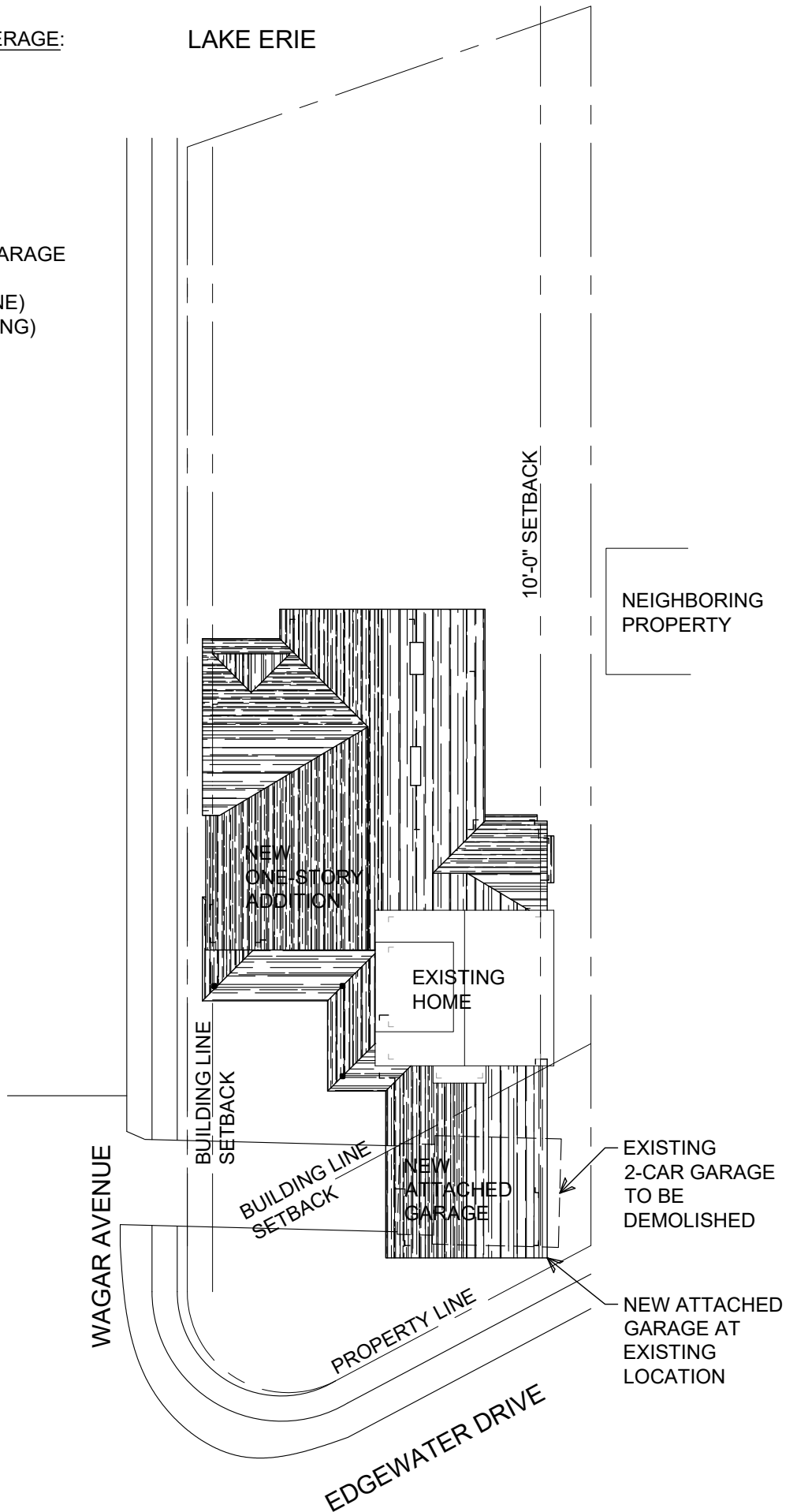
SETBACKS AND ALLOWABLE COVERAGE:

ALLOWABLE:

FRONT: BUILDING LINE
40'-0" EDGEWATER DR.
5'-0" WAGAR AVE.
SIDE: 10' MIN. (25'-0" TOTAL)

ACTUAL:

CORNER LOT
5'-0" ON EDGEWATER (EXISTING GARAGE
BUILDING LINE)
5'-0" ON WAGAR AVE (BUILDING LINE)
SIDE: 10'-0" (MAIN EXISTING BUILDING)



SITE PLAN

SCALE: 1" = 30'-0"



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 09-129-21

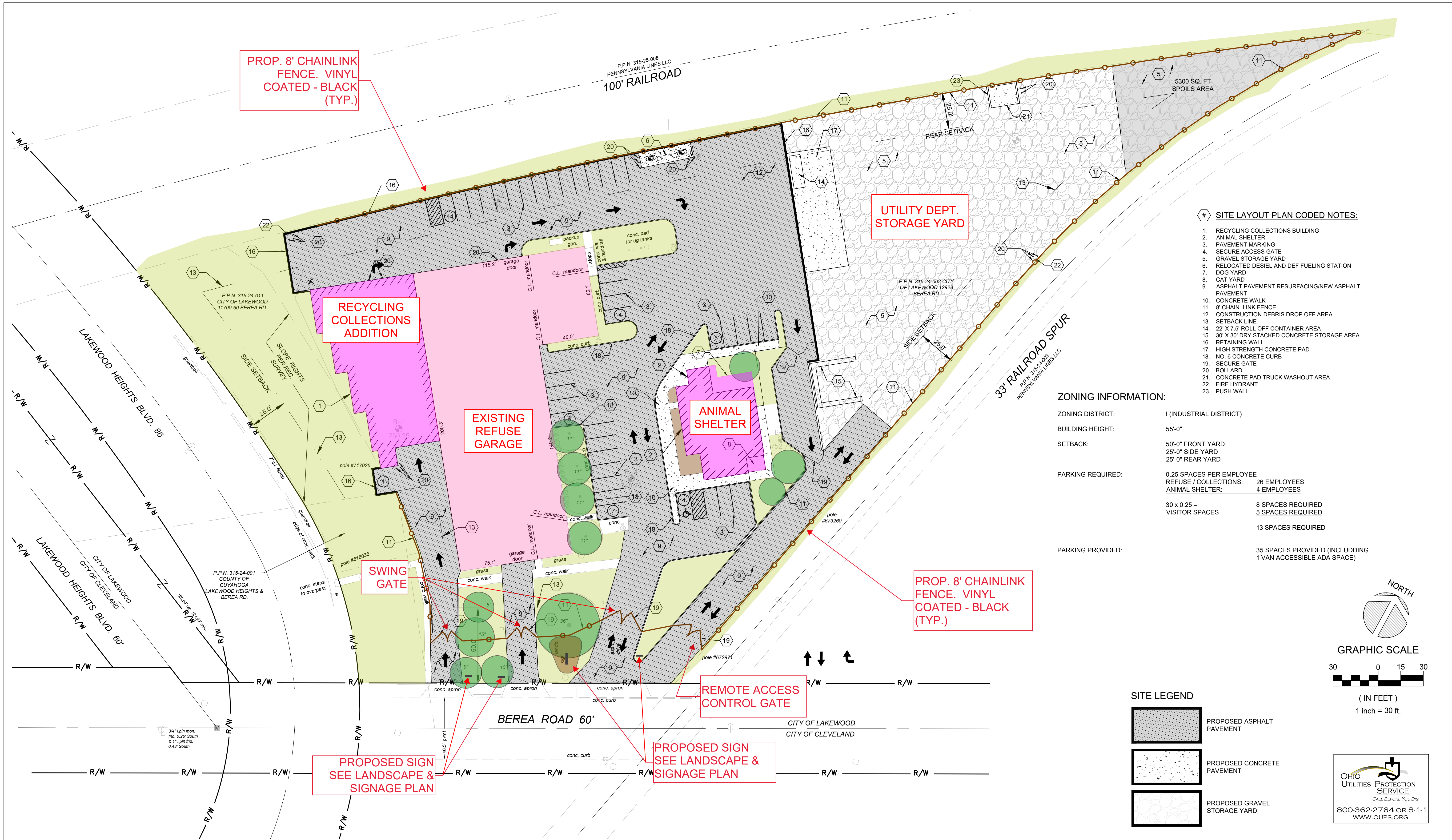
Permit No.: BBS21-000166

Applicant Name: David Watkins, Osborn Engineering Company

Project Address: 12928 Berea Rd.

Project Name: City of Lakewood Refuse and Recycling Center

Project: Applicant proposes site and building improvements to the City of Lakewood's Refuse and Recycling Facility.



PROP. 8' CHAINLINK FENCE. VINYL COATED - BLACK (TYP.)

UTILITY DEPT. STORAGE YARD

RECYCLING COLLECTIONS ADDITION

EXISTING REFUSE GARAGE

ANIMAL SHELTER

SWING GATE

PROP. 8' CHAINLINK FENCE. VINYL COATED - BLACK (TYP.)

REMOTE ACCESS CONTROL GATE

PROPOSED SIGN SEE LANDSCAPE & SIGNAGE PLAN

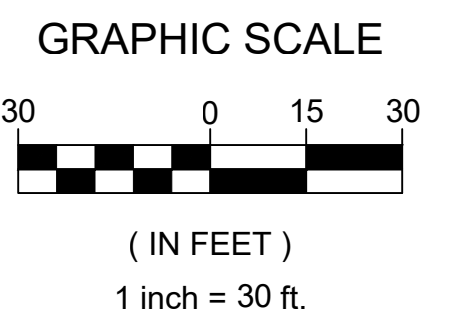
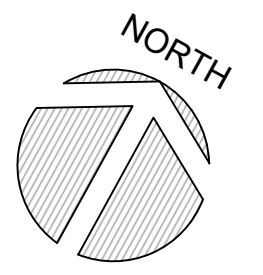
PROPOSED SIGN SEE LANDSCAPE & SIGNAGE PLAN

SITE LAYOUT PLAN CODED NOTES:

1. RECYCLING COLLECTIONS BUILDING
2. ANIMAL SHELTER
3. PAVEMENT MARKING
4. SECURE ACCESS GATE
5. GRAVEL STORAGE YARD
6. RELOCATED DESIEL AND DEF FUELING STATION
7. DOG YARD
8. CAT YARD
9. ASPHALT PAVEMENT RESURFACING/NEW ASPHALT PAVEMENT
10. CONCRETE WALK
11. 8' CHAIN LINK FENCE
12. CONSTRUCTION DEBRIS DROP OFF AREA
13. SETBACK LINE
14. 22' X 7.5' ROLL OFF CONTAINER AREA
15. 30' X 30' DRY STACKED CONCRETE STORAGE AREA
16. RETAINING WALL
17. HIGH STRENGTH CONCRETE PAD
18. NO. 6 CONCRETE CURB
19. SECURE GATE
20. BOLLARD
21. CONCRETE PAD TRUCK WASHOUT AREA
22. FIRE HYDRANT
23. PUSH WALL

ZONING INFORMATION:

ZONING DISTRICT:	1 (INDUSTRIAL DISTRICT)
BUILDING HEIGHT:	55'-0"
SETBACK:	50'-0" FRONT YARD 25'-0" SIDE YARD 25'-0" REAR YARD
PARKING REQUIRED:	0.25 SPACES PER EMPLOYEE REFUSE / COLLECTIONS: 26 EMPLOYEES ANIMAL SHELTER: 4 EMPLOYEES
	30 x 0.25 = 8 SPACES REQUIRED VISITOR SPACES 5 SPACES REQUIRED
	13 SPACES REQUIRED
PARKING PROVIDED:	35 SPACES PROVIDED (INCLUDING 1 VAN ACCESSIBLE ADA SPACE)



SITE LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED GRAVEL STORAGE YARD

1	4/21/21	SD SUBMITTAL	DDW	DESIGNED BY: DDW
2	7/23/21	DD SUBMITTAL	DDW	DRAWN BY: AMC
				CHECKED BY: DDW
				DATE:
THE OSBORN ENGINEERING COMPANY 1100 SUPERIOR AVENUE STE 300 CLEVELAND, OHIO 44114-1573 P. 216 861-2020 F. 216 861-3329				

CITY OF LAKEWOOD, OHIO
DEPARTMENT OF PUBLIC WORKS
DIVISION OF ENGINEERING AND CONSTRUCTION

LAKEWOOD REFUSE & RECYCLING FACILITY
SITE IMPROVEMENTS

SITE PLAN

SCALE:	HORIZ: 1" = 30'
	VERT: N/A
PROJECT & FILE NAME:	FILE
SHEET NO.:	C200



Picture 1: Existing Refuse Garage looking north from Berea Road entrance



Picture 2: Existing Refuse Garage and Monument Sign along Berea Road looking west



Picture 3: Existing recycling check-in building (to be removed) looking north



Picture 4: Existing recycling check-in building (to be removed)



Picture 5: Existing Recycling Center (old incinerator bldg.) to be removed. Looking north



Picture 6: Existing Refuse Garage west side looking north from Berea Road



Picture 7: Lakewood Hts. Blvd. overpass west of property



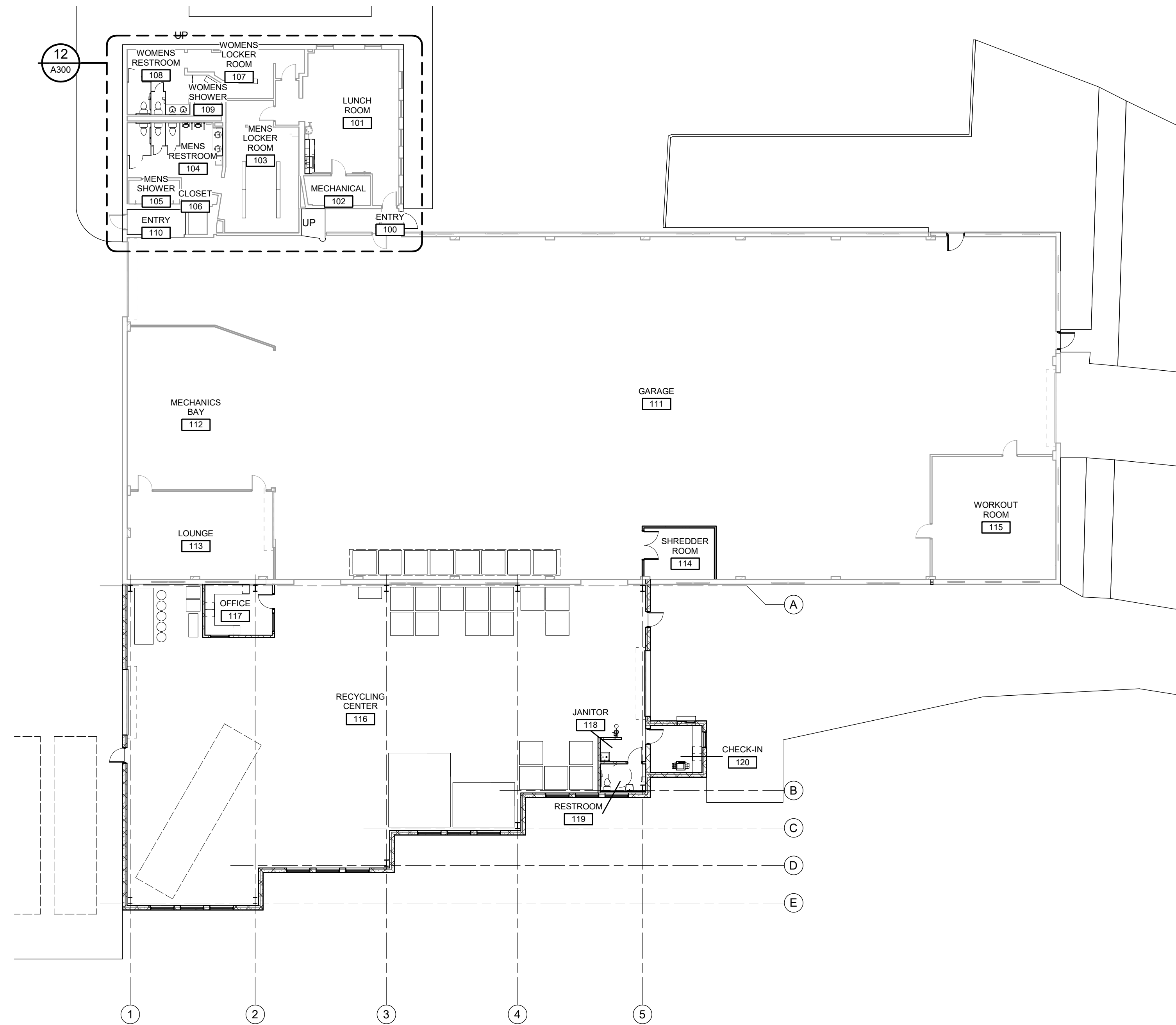
Picture 8: Existing Refuse Garage and Monument Sign along Berea Road looking east



Picture 9: Railroad spur & industrial property to the east from Berea Road

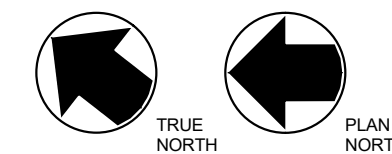


Picture 10: GCRTA and NS Railroad property to the north of subject parcel



1
A100 **OVERALL BUILDING FLOOR PLAN**
SCALE: 1/16" = 1'-0"

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1	07/23/21	DD SUBMITTAL	MBE

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CITY OF LAKEWOOD, OHIO
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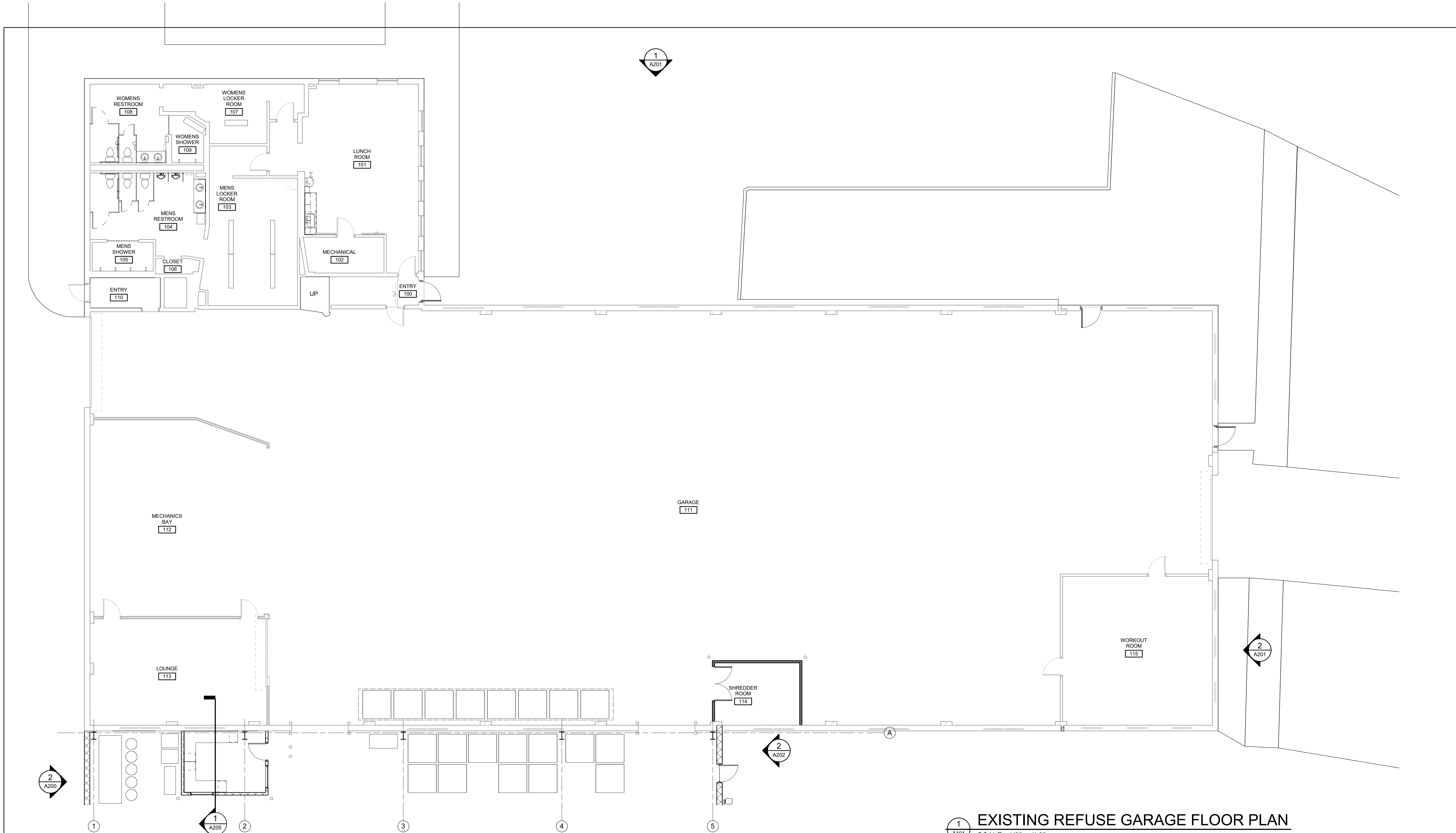
LAKEWOOD REFUSE & RECYCLING FACILITY
SITE IMPROVEMENTS

REFUSE & RECYCLING BUILDING
OVERALL BUILDING FLOOR PLAN

SCALE: 1/16" = 1'-0"

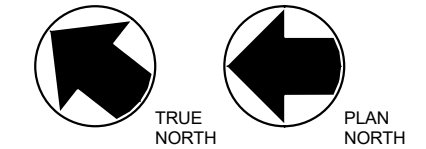
A100

A-1191



EXISTING REFUSE GARAGE FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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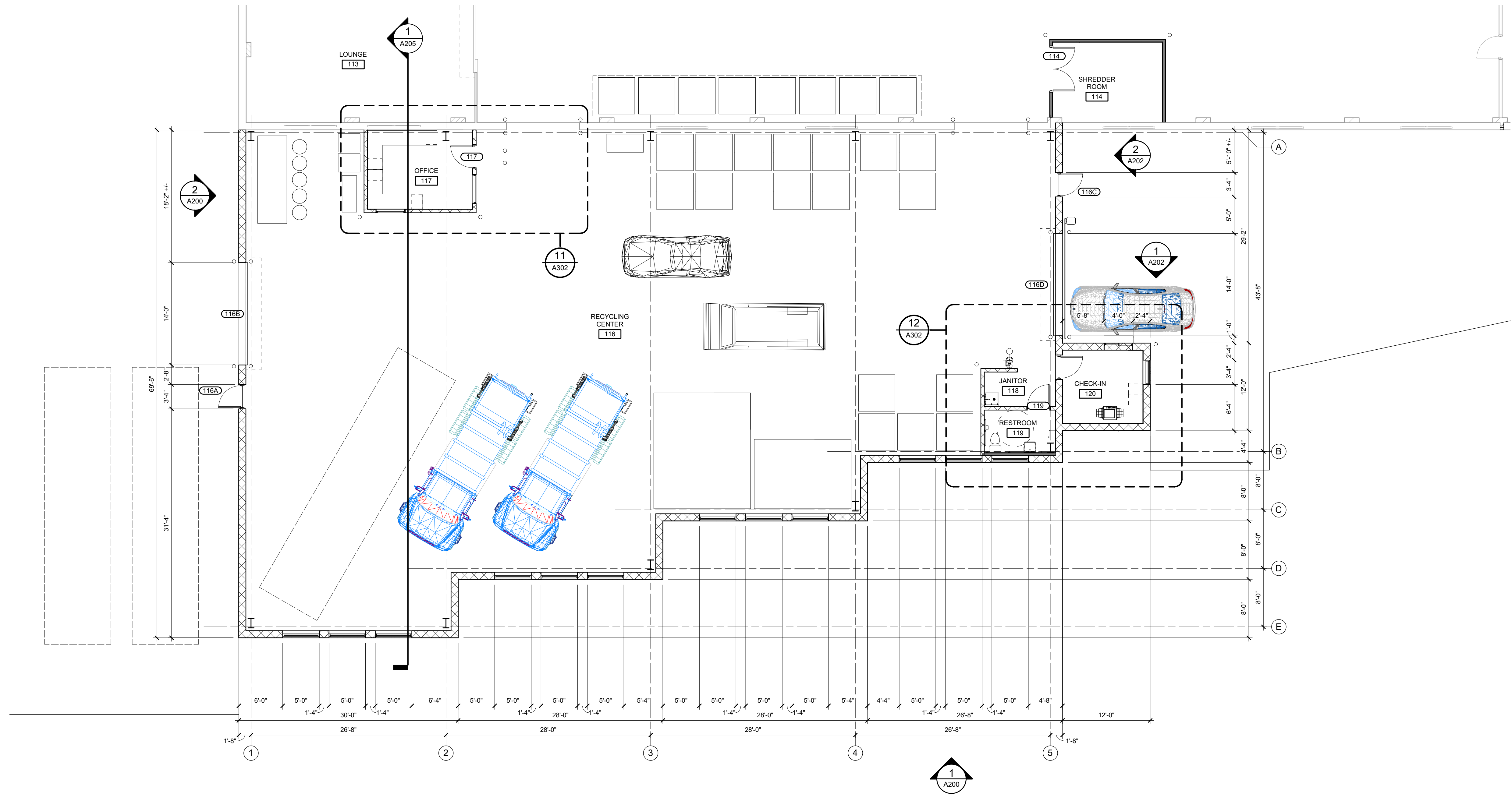
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LAKEWOOD REFUSE & RECYCLING FACILITY
 SITE IMPROVEMENTS

REFUSE & RECYCLING BUILDING
 EXISTING REFUSE GARAGE FLOOR PLAN

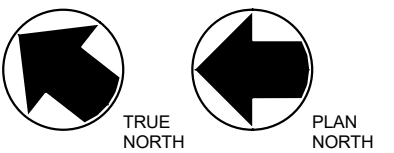
SCALE: 1/8" = 1'-0"
A101

A-1191



1 RECYCLING ADDITION FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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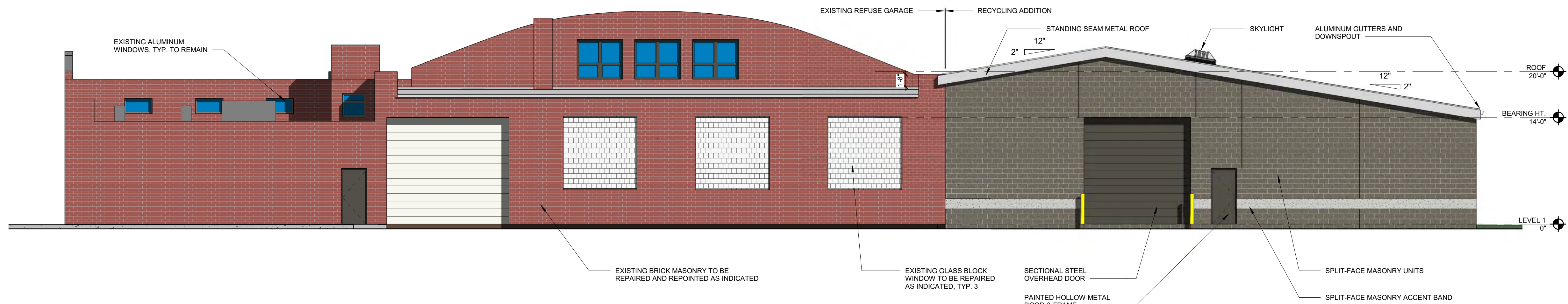
LAKEWOOD REFUSE & RECYCLING FACILITY
 SITE IMPROVEMENTS

REFUSE & RECYCLING BUILDING
 RECYCLING ADDITION
 FLOOR PLAN

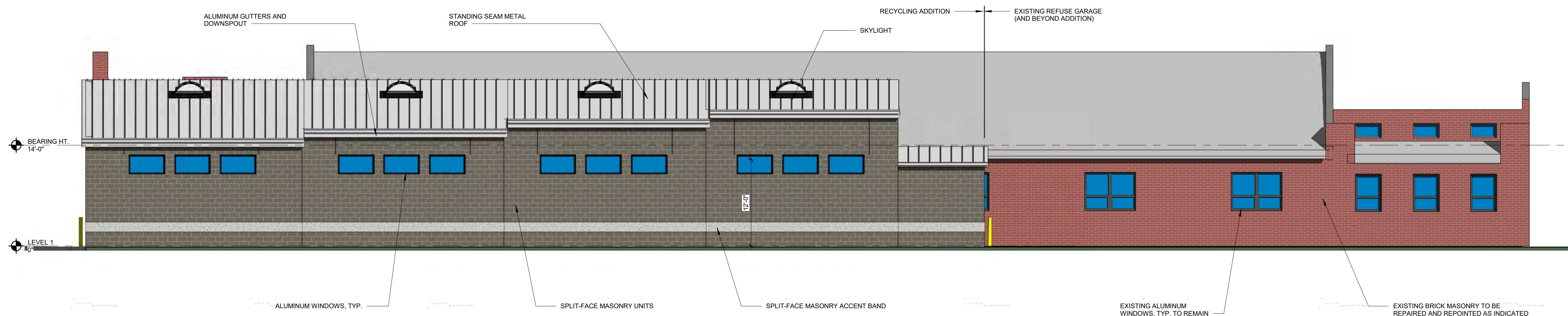
SCALE: 1/8" = 1'-0"

A102

A-1191



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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CITY OF LAKEWOOD, OHIO
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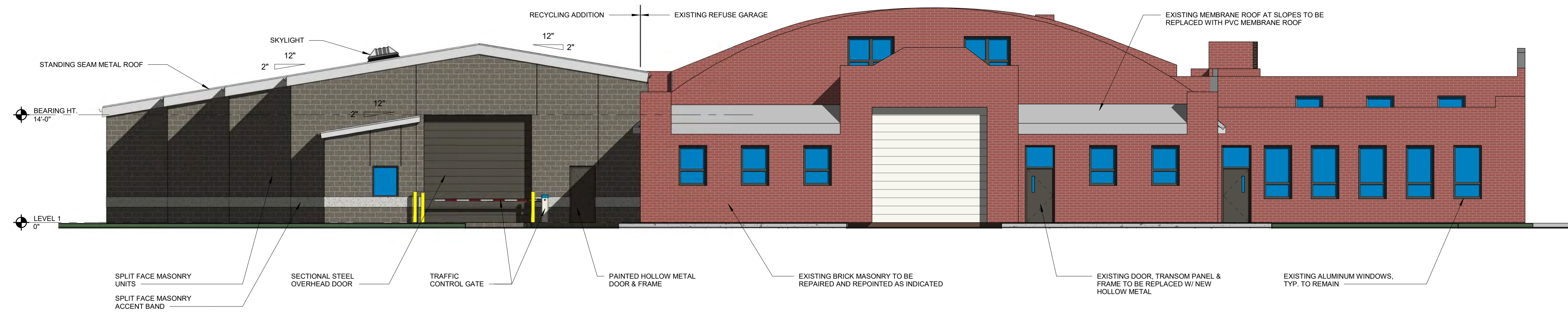
LAKEWOOD REFUSE & RECYCLING FACILITY
SITE IMPROVEMENTS

REFUSE & RECYCLING BUILDING
BUILDING ELEVATIONS

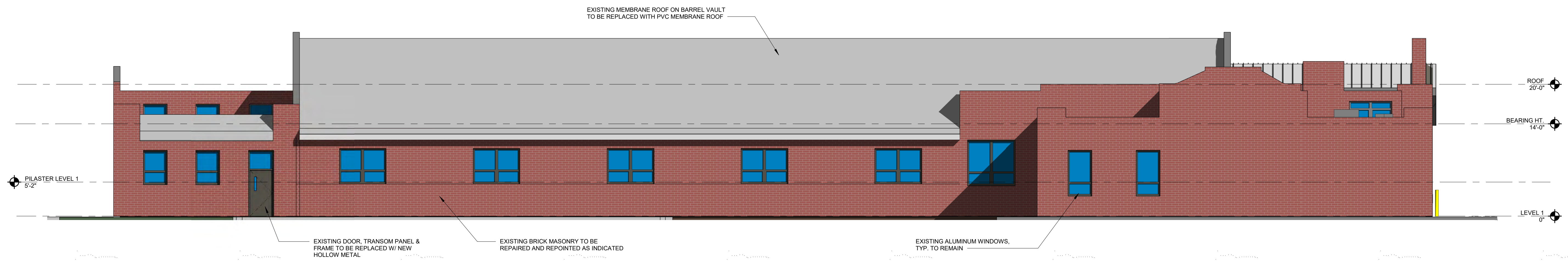
SCALE:
1/8" = 1'-0"

A200

A-1191



2 SOUTH ELEVATION
A201 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A201 SCALE: 1/8" = 1'-0"

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CITY OF LAKEWOOD, OHIO
DEPARTMENT OF PUBLIC WORKS
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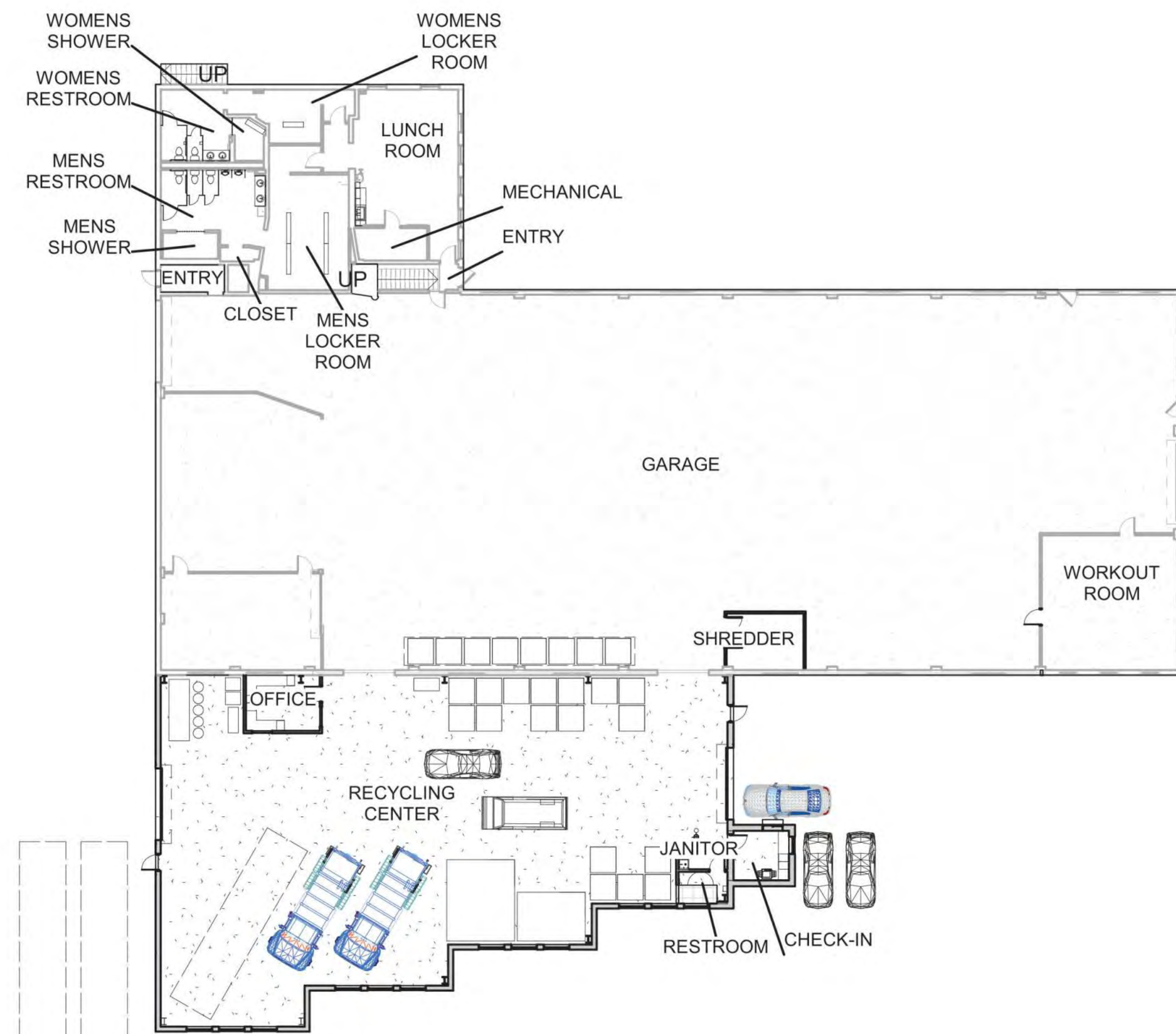
LAKEWOOD REFUSE & RECYCLING FACILITY
SITE IMPROVEMENTS

REFUSE & RECYCLING BUILDING
BUILDING ELEVATIONS

SCALE:
1/8" = 1'-0"

A201

A-1191

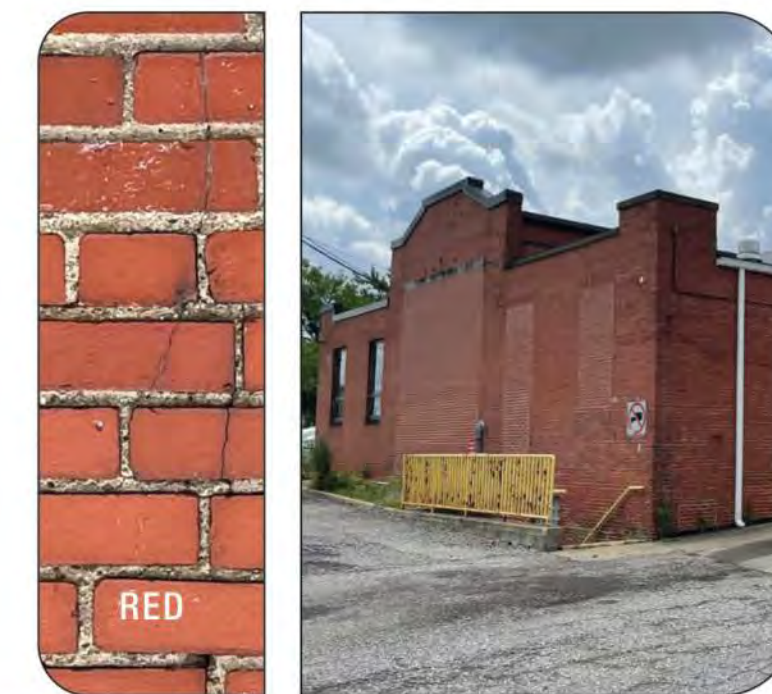


RENDER



NW VIEW

● EXISTING REFUSE GARAGE
EXISTING BRICK



EXISTING BRICK, RED SMOOTH –
EXTERIOR WALL BRICK

REPLACEMENT BRICK



GLENGERY, RED SMOOTH FLASHED
MODULAR – EXTERIOR WALL BRICK

REPLACEMENT ROOF



PVC FLAT AND BARREL VAULT
AREAS – LIGHT GREY

● NEW RECYCLING CENTER
SPLITFACE MASONRY



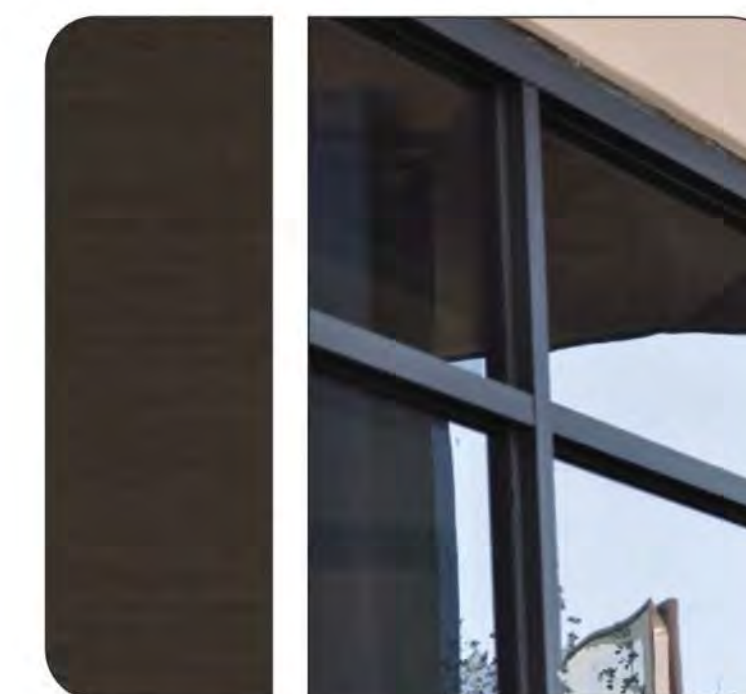
GRAND BLANC CEMENT PRODUCTS,
BLOOMFIELD – EXTERIOR WALL SPLIT
FACE CMU

SPLITFACE ACCENTS



GRAND BLANC CEMENT PRODUCTS,
MUSTANG – EXTERIOR WALL SPLIT-FACE
CMU ACCENTS

DOORS/WINDOWS



ALLUMINUM WINDOWS &
STOREFRONTS – BRONZE

ROOF



STANDING SEAM METAL ROOF –
SILVER METALLIC

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REFUSE GARAGE & RECYCLING ADDITION

City of Lakewood - Refuse Site Improvements

DOMOKUR | ARCHITECTS

August 18, 2021

DOMOKUR | ARCHITECTS
4651 Medina Road Akron, Ohio 44321-1315 p 330.666.7878 www.domokur.com

1	07/23/21	DD SUBMITTAL	MBE	DESIGNED BY: MBE DRAWN BY: MBE CHECKED BY: MBE DATE: 07/23/21	CITY OF LAKEWOOD, OHIO DEPARTMENT OF PUBLIC WORKS DIVISION OF ENGINEERING AND CONSTRUCTION	LAKEWOOD REFUSE & RECYCLING FACILITY SITE IMPROVEMENTS	REFUSE & RECYCLING BUILDING EXTERIOR BUILDING MATERIALS	SCALE:
			THE OSBORN ENGINEERING COMPANY 1100 SUPERIOR AVENUE STE 300 CLEVELAND, OHIO 44114 - 1573 P. 216 861-2020 F. 216 861-3329	A203				
NO.	DATE	REVISIONS	BY					A-1191



SOUTHWEST CORNER



NORTHWEST CORNER



SOUTHWEST CORNER



APPROACH VIEW

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NO.	DATE	REVISIONS	BY
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DATE:	07/23/21
THE OSBORN ENGINEERING COMPANY	
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CLEVELAND, OHIO 44114 - 1573	
P. 216 861-2020 F. 216 861-3329	

CITY OF LAKEWOOD, OHIO
DEPARTMENT OF PUBLIC WORKS
DIVISION OF ENGINEERING AND CONSTRUCTION

LAKEWOOD REFUSE
& RECYCLING FACILITY
SITE IMPROVEMENTS

REFUSE & RECYCLING BUILDING
EXTERIOR
RENDERINGS

SCALE:

A204

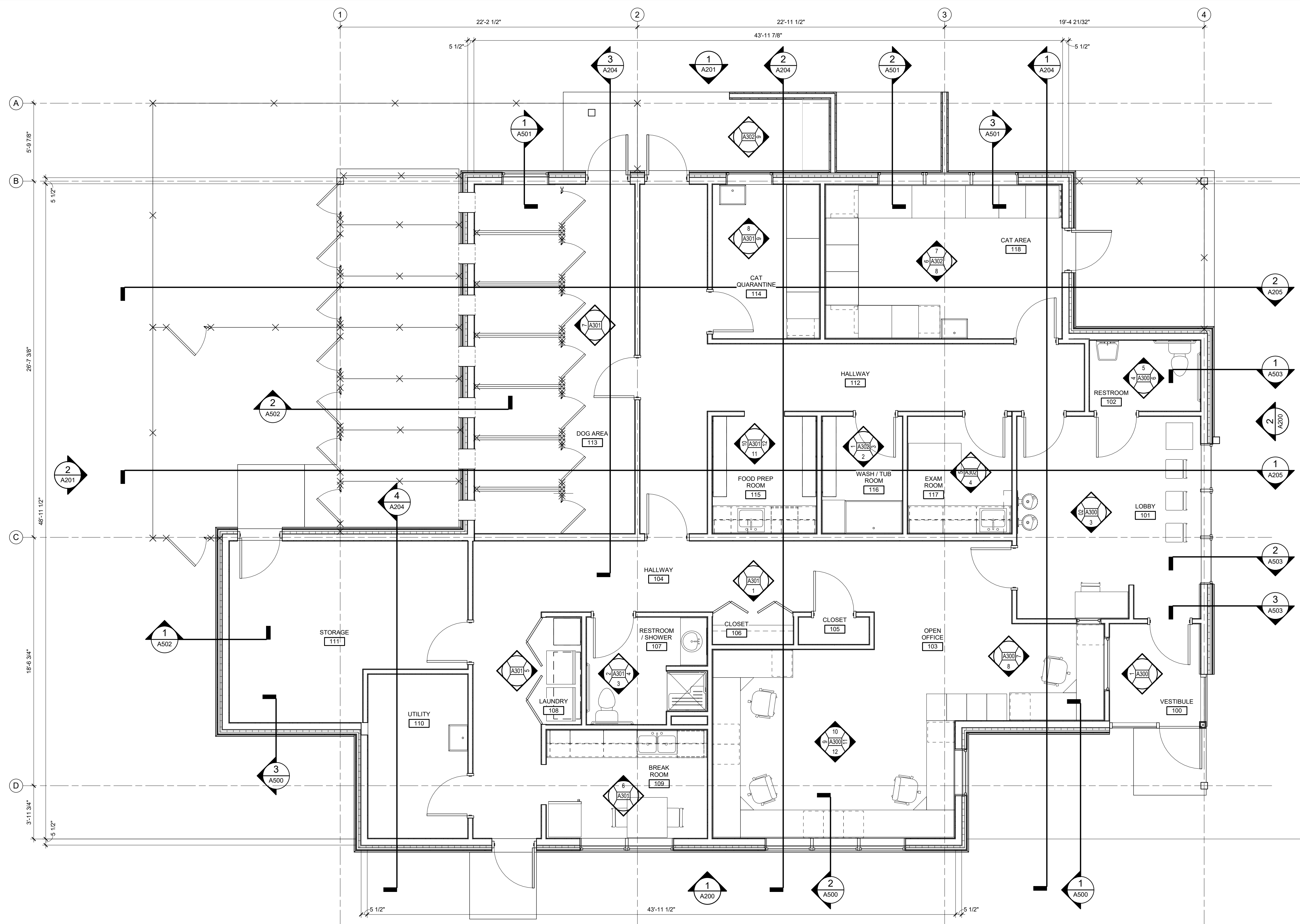
A-1191

GENERAL NOTES

A. XXXX

A100 SHEET SPECIFIC NOTES

THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY:



1 FLOOR PLAN
A100 SCALE: 1/4" = 1'-0"

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NO.	DATE	REVISIONS	BY
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CITY OF LAKEWOOD, OHIO
DEPARTMENT OF PUBLIC WORKS
DIVISION OF ENGINEERING AND CONSTRUCTION

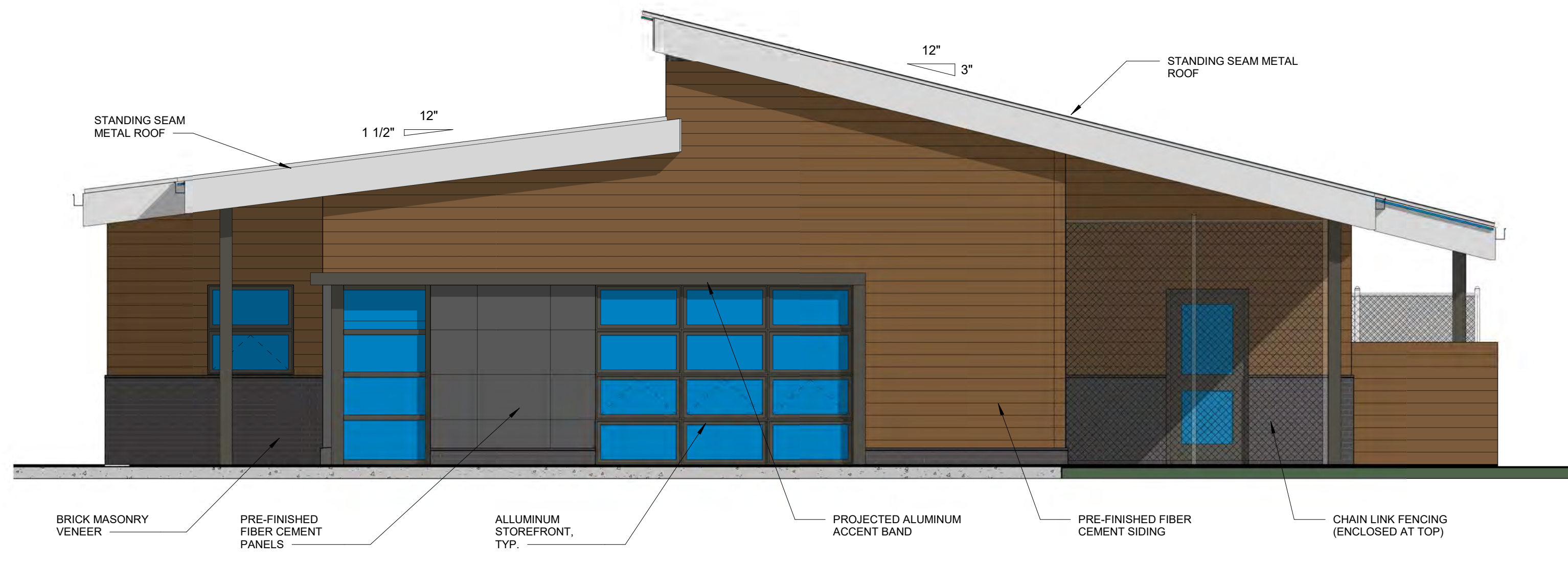
LAKEWOOD REFUSE
& RECYCLING FACILITY
SITE IMPROVEMENTS

ANIMAL SHELTER
FLOOR PLAN

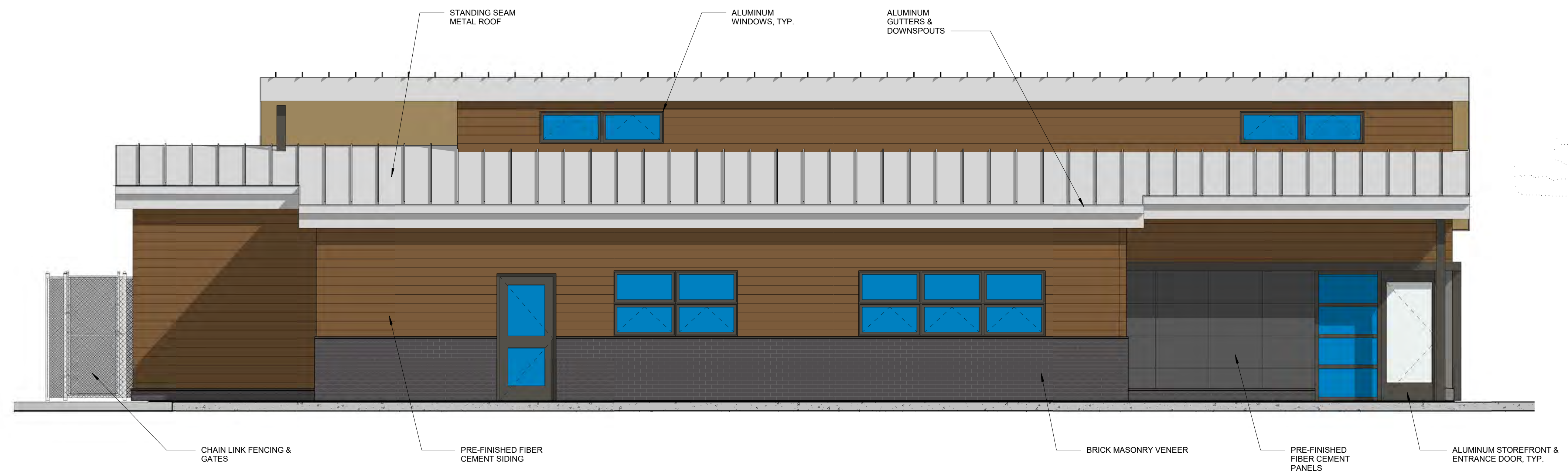
SCALE:
As Indicated

A100

A-1191



2
A200
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A200
WEST ELEVATION
SCALE: 1/4" = 1'-0"

DOMOKUR ARCHITECTS
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 DATE: 07/23/21
THE OSBORN ENGINEERING COMPANY
 1100 SUPERIOR AVENUE STE 300
 CLEVELAND, OHIO 44114 - 1573
 P. 216 861-2020 F. 216 861-3329

CITY OF LAKEWOOD, OHIO
 DEPARTMENT OF PUBLIC WORKS
 DIVISION OF ENGINEERING AND CONSTRUCTION

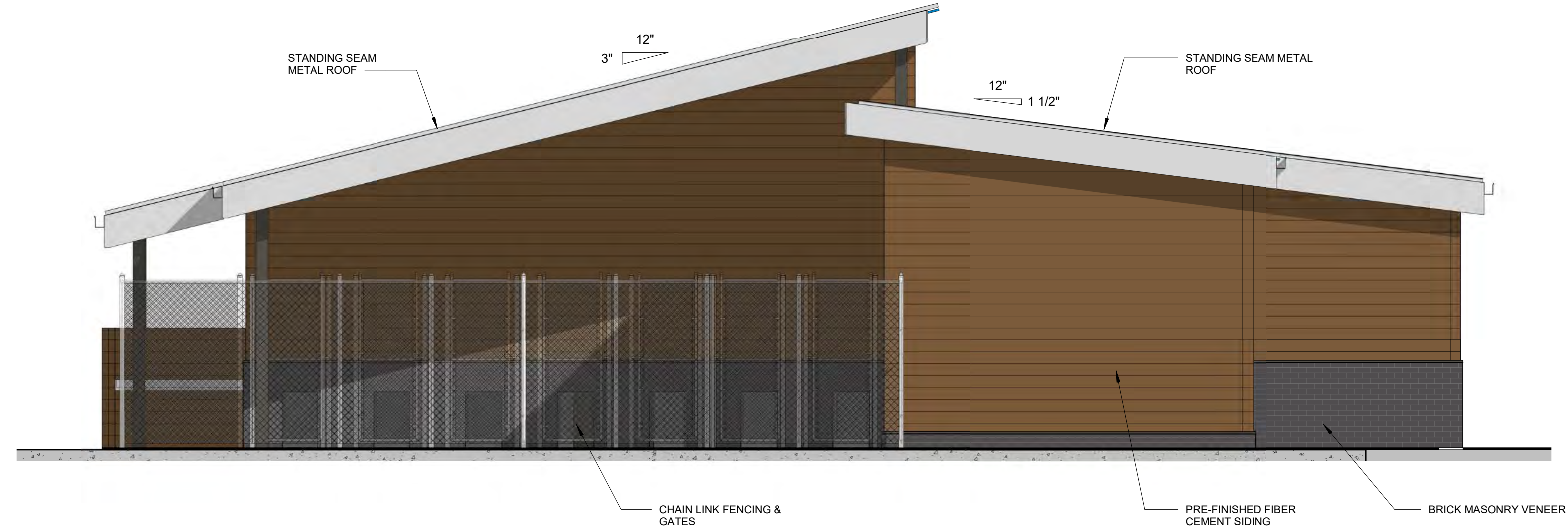
LAKEWOOD REFUSE & RECYCLING FACILITY
 SITE IMPROVEMENTS

ANIMAL SHELTER
 BUILDING ELEVATIONS

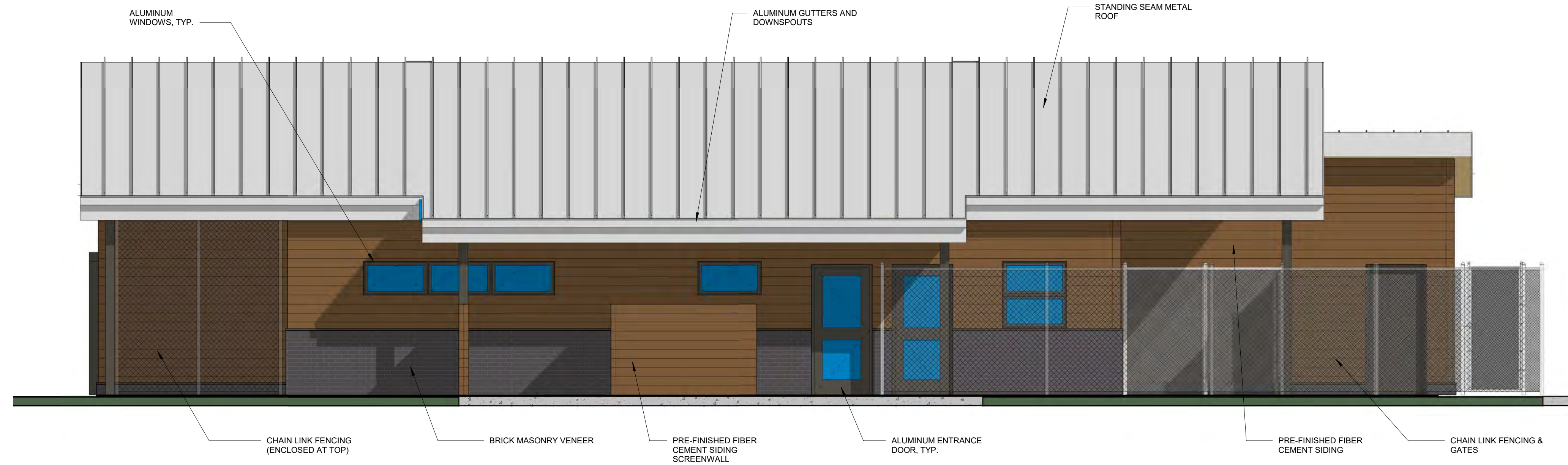
SCALE:
1/4" = 1'-0"

A200

A-1191



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

DOMOKUR ARCHITECTS
4651 Medina Road Akron, Ohio 44321-1315 p 330.666.7878 www.domokur.com

NO.	DATE	REVISIONS	BY
1	07/23/21	DD SUBMITTAL	MBE

DESIGNED BY:	MBE
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THE OSBORN ENGINEERING COMPANY	
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CLEVELAND, OHIO 44114 - 1573	
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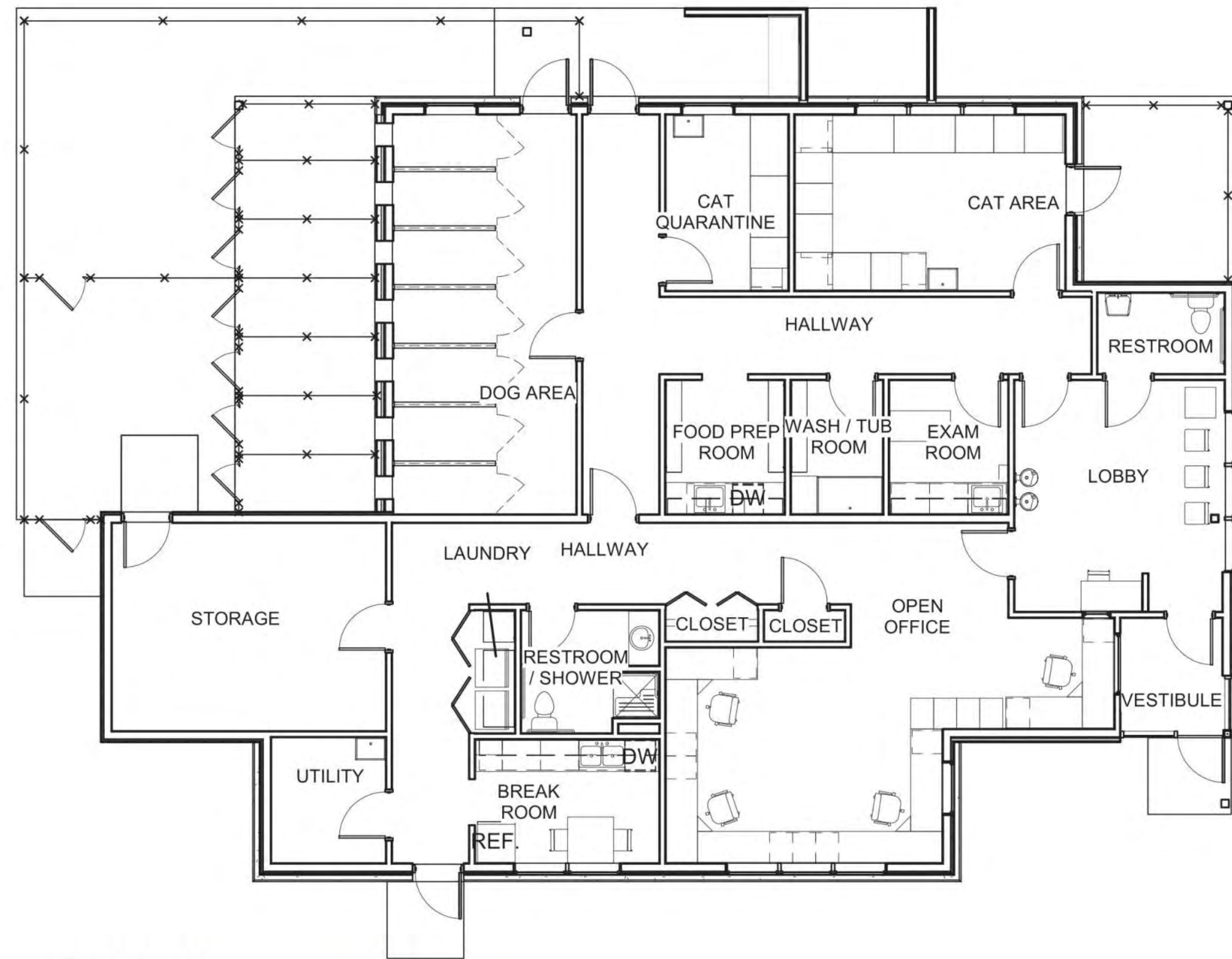
LAKEWOOD REFUSE
& RECYCLING FACILITY
SITE IMPROVEMENTS

ANIMAL SHELTER
BUILDING ELEVATIONS

SCALE:
1/4" = 1'-0"

A201

A-1191



RENDER

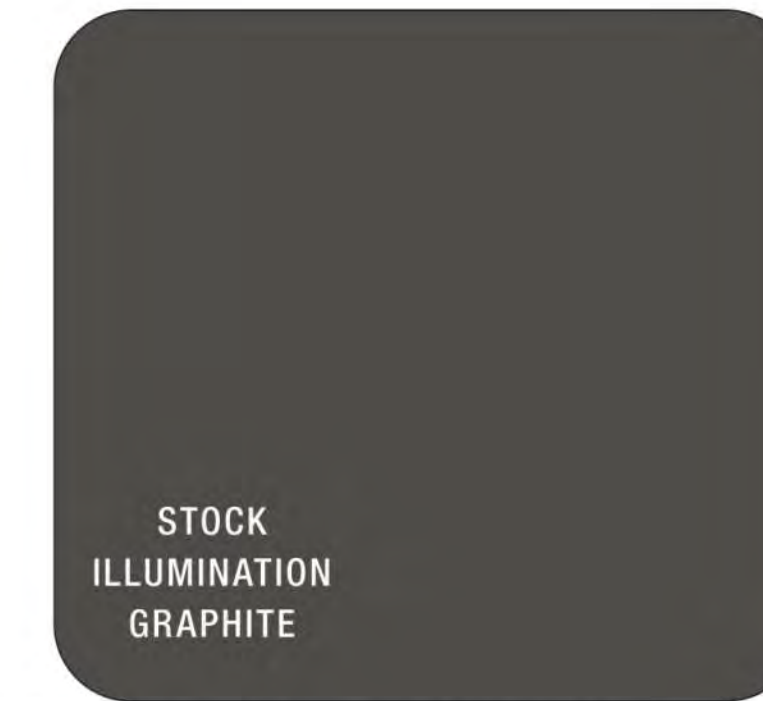


FRONT CORNER VIEW

EXTERIOR WALL FINISHES



ENDICOTT, DARK IRONSPOT SMOOTH MODULAR – EXTERIOR WALL FACE BRICK



NICHIHA, STOCK ILLUMINATION GRAPHITE – EXTERIOR WALL FIBER CEMENT



NICHIHA, VINTAGEWOOD CEDAR – EXTERIOR WALL FIBER CEMENT

DOORS/WINDOWS



ALLUMINUM WINDOWS & STOREFRONTS – BRONZE

ROOF



STANDING SEAM METAL ROOF – SILVER METALLIC



ANIMAL SHELTER

City of Lakewood - Refuse Site Improvements

DOMOKUR | ARCHITECTS

August 18, 2021

DOMOKUR | ARCHITECTS
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				DATE: 07/23/21
				THE OSBORN ENGINEERING COMPANY
				1100 SUPERIOR AVENUE STE 300
				CLEVELAND, OHIO 44114 - 1573
				P. 216 861-2020 F. 216 861-3329
NO.	DATE	REVISIONS	BY	

CITY OF LAKEWOOD, OHIO

DEPARTMENT OF PUBLIC WORKS
DIVISION OF ENGINEERING AND CONSTRUCTION

LAKEWOOD REFUSE
& RECYCLING FACILITY
SITE IMPROVEMENTS

ANIMAL SHELTER

EXTERIOR FINISH
MATERIALS

SCALE:

A202

A-1191

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SOUTHWEST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



NORTHEAST CORNER



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NO.	DATE	REVISIONS	BY
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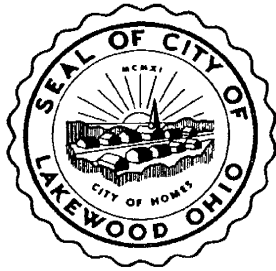
LAKEWOOD REFUSE
 & RECYCLING FACILITY
 SITE IMPROVEMENTS

ANIMAL SHELTER
 EXTERIOR
 RENDERINGS

SCALE:

A203

A-1191



BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 09-136-21

Permit No.: BBS21-000167

Applicant Name: Steve Bres, Scout Services

Project Address: 14100 Detroit Ave.

Project Name: Giant Eagle

Project: Applicant proposes replacement signage.

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blairimage.com

PROJECT INFORMATION

CLIENT: _____
Giant Eagle

ADDRESS: _____
14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER: _____
5831

DATE: _____
2-15-2021

RENDERED: _____
AAA

FILE NAME: _____
AD-GNE00000.cdr

CATEGORY: _____
APPROVAL

REVISION

Empty revision table box.



CUSTOMER INITIALS

Initials _____



EXISTING SIGNAGE
DIMENSIONS - 8'-6" H x 23'-4" W
EXISTING SIGN SQ FT: 198.3



PROPOSED SIGNAGE
DIMENSIONS - 13'-4 7/16" H x 13'-6 11/16" W
PROPOSED SIGN SQ FT: 88



EXISTING SIGNAGE
DIMENSIONS - 4'-0" H x 49'-0" W
EXISTING SIGN SQ FT: 196



PROPOSED SIGNAGE
DIMENSIONS - 9'-10 13/16" H x 28'-9 7/16" W
PROPOSED SIGN SQ FT: 78.9

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APPROVAL

REVISION

Empty rectangular box for revision notes.



CUSTOMER INITIALS

Initials _____



PROPOSED SIGNAGE
DIMENSIONS - 3'-4 1/4" H x 10'-0 1/2" W
PROPOSED SIGN SQ FT: 33.7



EXISTING SIGNAGE
DIMENSIONS - 3'-4 1/4" H x 10'-0 1/2" W
EXISTING SIGN SQ FT: 33.7

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CATEGORY:

APPROVAL

REVISION

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CUSTOMER INITIALS

Initials _____

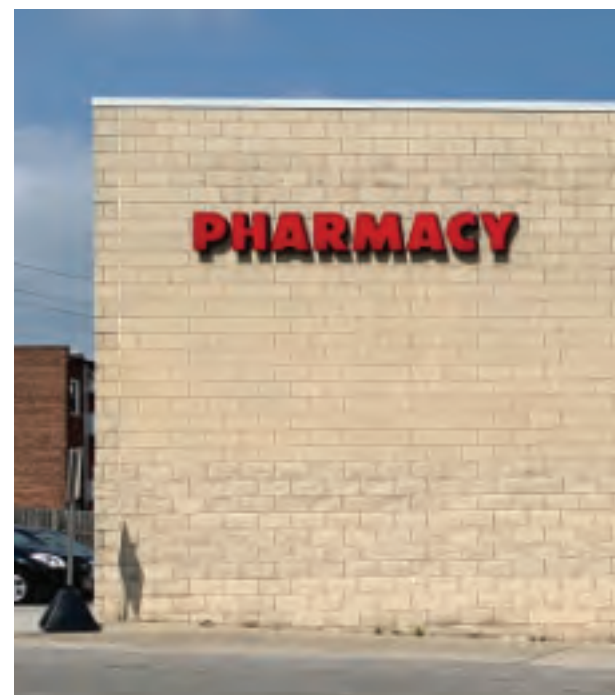


EXISTING SIGNAGE: GIANT EAGLE
DIMENSIONS - 8'-6" H x 23'-4" W
EXISTING SIGN SQ FT: 198.3

EXISTING SIGNAGE: CURBSIDE EXPRESS
DIMENSIONS - 1'-1 1/2" H x 17'-2 1/2" W
EXISTING SIGN SQ FT: 19.4



EXISTING SIGNAGE
DIMENSIONS - 1'-1 1/2" H x 17'-2 1/2" W
EXISTING SIGN SQ FT: 19.4



EXISTING SIGNAGE
DIMENSIONS - 1'-6 1/2" H x 12'-7 5/8" W
EXISTING SIGN SQ FT: 19.5



EXISTING SIGNAGE
DIMENSIONS - 2'-5" H x 12'-4" W
EXISTING SIGN SQ FT: 29.8

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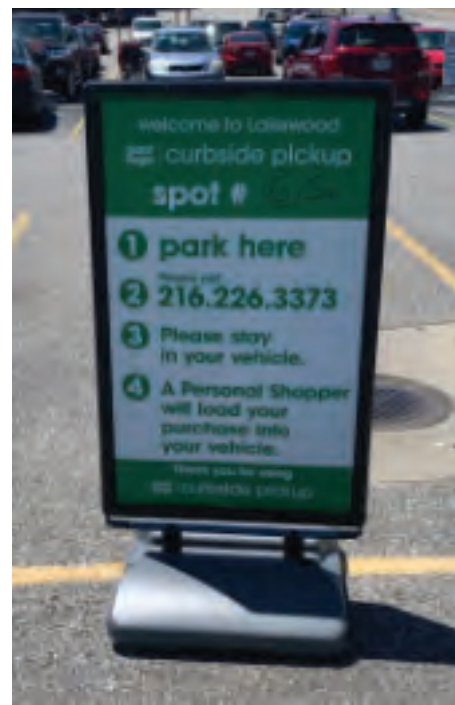


CUSTOMER INITIALS

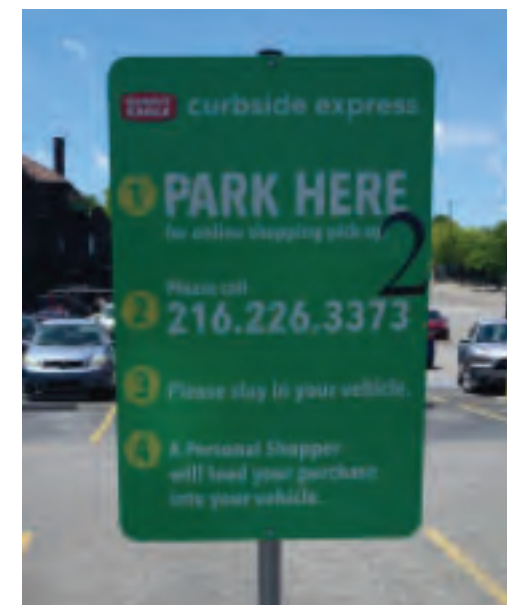
Initials _____



EXISTING SIGNAGE
DIMENSIONS - 4'-0" H x 3'-0" W
EXISTING SIGN SQ FT: 12



EXISTING SIGNAGE
DIMENSIONS - 4'-0" H x 3'-0" W
EXISTING SIGN SQ FT: 12



EXISTING SIGNAGE
DIMENSIONS - 3'-0" H x 2'-0" W
EXISTING SIGN SQ FT: 6



EXISTING SIGNAGE
DIMENSIONS - 1'-11 3/4" H x 1'-11 3/4" W
EXISTING SIGN SQ FT: 4



EXISTING SIGNAGE
DIMENSIONS - 2'-0" H x 2'-0" W
EXISTING SIGN SQ FT: 4



EXISTING SIGNAGE
DIMENSIONS - 1'-6" H x 1'-0" W
EXISTING SIGN SQ FT: 1.5



SCHEDULE		
S2	48" GIANT EAGLE LETTERS	1 REQ'D
S2a	48" GIANT EAGLE STACKED LETTERS	1 REQ'D
S5	PYLON	2 REQ'D

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AD-GNE00000.cdr

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APPROVAL

REVISION

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CUSTOMER INITIALS

Initials _____

APPROVAL

- Approved** **Approved as Noted** **Not Approved
Resubmit with Changes**

Print Name _____

Title _____

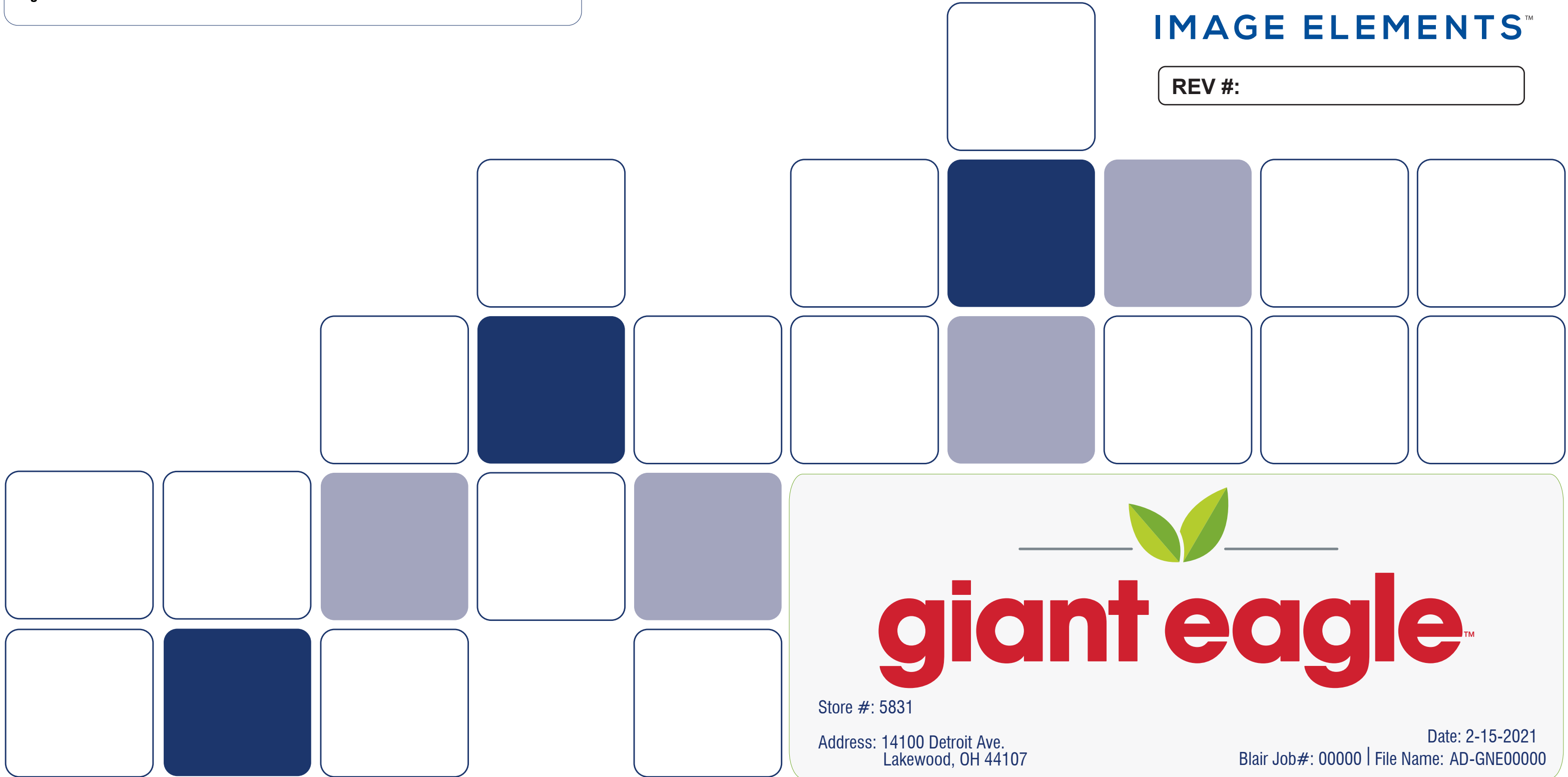
Signature _____

Date _____

blair

IMAGE ELEMENTS™

REV #: _____



Store #: 5831
Address: 14100 Detroit Ave.
Lakewood, OH 44107

Date: 2-15-2021
Blair Job#: 00000 | File Name: AD-GNE00000

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CATEGORY: _____

APPROVAL





REVISION

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CUSTOMER INITIALS

Initials _____

	PMS 186C RED
	PMS 377C GREEN
	PMS 390C GREEN
	PANTONE 430C GREY



giant eagle™



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APPROVAL

REVISION

Empty box for revision notes.



CUSTOMER INITIALS

Initials _____

SCOPE OF WORK - INCLUDED	
MID	1. New Face Panels for Pylon 2. 3. 4.
BUILDING	1. New Giant Eagle Channel Letters 2. New Giant Eagle Channel Letters 3. 4.
PARKING LOT SIGNS	1. 2. 3. 4.

SCOPE OF WORK NOT INCLUDED	
MID	1. 2. 3. 4.
BUILDING	1. 2. 3. 4.
PARKING LOT SIGNS	1. 2. 3. 4.

Current Brand Revision:

Empty box for current brand revision.

All provided image elements and or services meet the current brand standard revision

The following image elements and or services do not meet the current brand standard revision due to municipal code and or specific site conditions.



SCHEDULE		
S2	48" GIANT EAGLE LETTERS	1 REQ'D
S2a	48" GIANT EAGLE STACKED LETTERS	1 REQ'D
S5	PYLON	2 REQ'D

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PROJECT INFORMATION

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RENDERED: _____
AAA

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CATEGORY: _____
APPROVAL

REVISION



CUSTOMER INITIALS

Initials _____

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PROJECT INFORMATION

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DATE: 2-15-2021

RENDERED: AAA

FILE NAME: AD-GNE0000.cdr

CATEGORY: APPROVAL

REVISION



CUSTOMER INITIALS

Initials _____

Site #: 6631	Completion Date: 7/17/2017
Address: 14100 Detroit Ave	Project Manager: Andrew Gauce
City, St, Zip: Lakewood, OH, 44107	
Landlord Contact: N/A	2. Phone: N/A
	3. Fax #: N/A

Zoning

- Municipality Contact: Alex Harnooz
- Municipality Telephone Number: 216-528-5933
- Municipality Address: 12850 Detroit Ave, Lakewood, OH, 44107
- Permit Process time: 12-15 days Permit Fee: \$ 30 per sign
- Zoning Classification/Description: C-3 Commercial General

Review Board Not Applicable:

- Must a Review Board approve the overall project? Yes No
- What is required fee? NA ARC- \$50 Sign Review Board \$25 Board of Building Standards \$25
- Paperwork Required: # of Sets: black & white: 1 In Color: 1

Plot plan	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Building elevations	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Installation drawings	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Sealed engineering drawings	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Graphic drawings	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Light description	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Photo of existing	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Stress analysis	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Other					
- When does Board meet? Meeting is the 2nd Thursday of the month the Pre-Review Meeting is the Thursday prior to meeting. Application deadline- 15 days prior to pre-review
- Deadline for paperwork? See Above
- Is there existing variance or special exception for this project? Yes No
- Is this in an Historical District? Yes No
- Any other Boards to be approached? NA See Above
- Contact Person & Phone: Alex Harnooz Phone: 216-528-5933

Pre-Review Meetings start at 4 pm. Review meetings a representative must attend the review in order for an application to receive review.

Permitting Info

Permitting Documents Required: (2) set of detailed drawings, scaled elevations, and LL Authorization

Permitting Process Time Frame: 15-18 days

Permit Application Fee: Based on Valuation

Variance Info

- Can a Variance Be Applied For? Yes No Probability for Approval: %
- Variance Fee Required: ARC- \$50 Sign Review Board \$25 Board of Building Standards \$25
- Application Deadline: One month prior to meeting and must be submitted to later than noon
- Time required to process: 13-15 weeks
- Documents Required: # of Sets: black & white: In Color: 2

Plot plan	<input checked="" type="checkbox"/>	Installation drawings	<input type="checkbox"/>	Photo of existing	<input checked="" type="checkbox"/>	Stress analysis	<input type="checkbox"/>	
Graphic drawings	<input checked="" type="checkbox"/>	Legal Description	<input checked="" type="checkbox"/>	Sealed engineering drawings	<input type="checkbox"/>			
Building Elevations	<input checked="" type="checkbox"/>	Other	Written authorization from Owner/LL					

Board of Review- Meeting is the 2nd Thursday of the month the Pre-Review Meeting is the Thursday prior to meeting. Application deadline- 15 days prior to pre-review. Pre-Review Meetings start at 4 pm. Review meetings a representative must attend the review in order for an application to receive review.

Building Signs

- Are attached (wall) signs allowed? Yes No
- Square Footage Calculation:

Code- Maximum sign face area = (W x 1.6) square feet, except that the total in all cases shall not exceed 100 square feet. W- Building frontage.

A. What is the formula used to determine the allowable area? _____

B. Total square footage / Square Feet allowed: _____

C. Allowable square footage per building face / elevation... NTE Formula

Primary: See Above Formula

Buildings or lots having frontage on a second street or a secondary entrance to a parking area may be permitted additional signs along such secondary streets which shall, however, not exceed twenty-five percent (25%) of the area of the Secondary: signs permitted along the main faades.

Side: N/A
Rear: N/A

D. Are the above areas transferable? Yes No

E. Are face replacements allowed without permit? Yes No

F. Maximum Height (may it exceed roofline?)... Signs NTE Roofline

- Maximum number of signs allowed: Each business shall be permitted a maximum of one sign on any single building face for the building.

The style of a sign shall be generally consistent throughout the particular building or block involved; the color of signs shall be a component of the color of the building facade and the total number of colors on a sign shall be limited to four unless otherwise permitted by the Board of Building Standards.
- Color or other restrictions: _____
- Letter Height requirements: _____
- Are cabinet signs allowed? Yes
- Is internal illumination allowed? Yes
- Are signs allowed on the cart coral? Does this signage count towards wall sign allowances? N/A

Whenever the gross area of the signs is related to the size of the building or lot, the frontage of a building shall be the width of the facade of the building, business, office, or industrial unit which faces the principal street, or the facade containing the main entrance of a business office, or industrial building.

Gas Canopy Signs

- Is the gas canopy allowed to be illuminated? Yes No
- Are the graphics allowed on the canopy (pizza, cups etc. on the material)? Yes No
- Do the graphics count as signage? Yes No
- Are LED gas price signs allowed on the canopy? Yes No

Allowable signage on each canopy elevation? Per ARC (1) Canopy sign allowed 4'x8' illuminated pdn- faced sign facing North on Detroit Ave.

Is this square foot allowance separate from the bldg. allowance? SF Approved at ARC.

Freestanding Signs

- Are freestanding signs allowed? Yes No monument (If yes, continue to step 2. If no, continue to next section.)
- Allowable Square Footage:

A. Allowable Area: 48 SF

B. Allowable Height: 10' OAH

C. Are LED gas price signs allowed? N/A

D. If so, do they count in square footage allowed? Yes No Are restriction on size? _____

E. Readerboards allowed? Yes No

F. Is a base inspection required? Yes No
- Setback Requirements:

A. Front: Out of row

B. Side: Out of row

C. Triangle: 25'

D. Powerlines: 10'
- Line of Sight Clearance: Cannot Block Visibility to drivers
- Number of freestanding signs allowed: 1
- Is a shared pylon sign required? Yes No
- Does Tenant Panel space count toward max signage for the site? Yes No



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PROJECT INFORMATION

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14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER:

5831

DATE:

2-15-2021

RENDERED:

AAA

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AD-GNE00000.cdr

CATEGORY:

APPROVAL

REVISION

Empty revision box



CUSTOMER INITIALS

Initials

8. Are face-replacements allowed without permit? Yes No

Comments (I.E. Any color restrictions for panel or translucent or opaque requirements):

The base of ground sign shall be required to have landscaping. Existing pole signs may be refaced as long as the cabinet, pole or structure is not modified in anyway. Any such modification other than refacing the cabinet requires removal of the pole sign.

TEMPORARY BANNERS

Are temporary banners allowed? Yes No How many? Restriction on size? Issued by bldg dept, per review and approval.

Are permits required? Yes No How long can they remain up? NTE 90 day

Permit fee? \$15 What document is required for permit? Application, fees, and detailed drawings

Windows - Vinyl Decals, signage

Window graphics - Decals on windows

All window signage shall be equal to or less than 16% of the total storefront window area square footage.

TEMPORARY ADVERTISING SIGNS

Exterior Banners Per City Review and approval

WetGo Bldg Banner Per City Review and Approval

Temporary balloon allowed on roof? Per Alex temp balloons are usually prohibited but can be reviewed

Time frame for Display? Restrictions? Is a permit required?

Adversails Per Review and approval

Stake Signs N/A

Souakers # of pumps

Windmasters N/A

Bucket signs N/A

Promotional Pump Decals Not Regulated

Outdoor merchandizer signage (Gift Card Fixtures, Rolltop fixtures etc.)

Cigarette messaging allowed outdoors Per Review and approval

Beer messaging allowed outdoors Per Review and approval

Fuel Station Signs

Item	Qty.	Qty. Allowed	Size	Permit Req.	Time Frame
Pumptoppers	# of pumps	n/a	n/a	n/a	n/a
Bollard Signs	# of pumps	n/a	n/a	n/a	n/a
Pole Signs	# of pumps	n/a	n/a	n/a	n/a
Snap Locks	# of pumps	n/a	n/a	n/a	n/a
Nozzletakers	# of pumps	n/a	n/a	n/a	n/a
Slide Pump Fixtures	# of pumps	n/a	n/a	n/a	n/a

Signage Proposal Summary

Signs: Height: Soft: Led: Est. Cost:

Pole #1 N/A

Pole #2 N/A

Wall-end N/A

Wall-end N/A

Wall-Front N/A

Wall-Rear N/A

Directional N/A

Comments:

Per Alex- please note that if the current pylon has any modifications besides refacing sign will have to go down to a code allowed monument sign.

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APPROVAL

REVISION

Empty box for revision notes.



CUSTOMER INITIALS

Initials _____



EXISTING SIGNAGE
DIMENSIONS - 8'-6" H x 23'-4" W
EXISTING SIGN SQ FT: 198.3



PROPOSED SIGNAGE
DIMENSIONS - 13'-4 7/16" H x 13'-6 11/16" W
PROPOSED SIGN SQ FT: 88



STACKED GIANT EAGLE LOGO - CHANNEL LETTERS

NOT TO SCALE

EXISTING SQ FOOTAGE (EXACT)	PROPOSED SQ FOOTAGE (EXACT)
000.00	88

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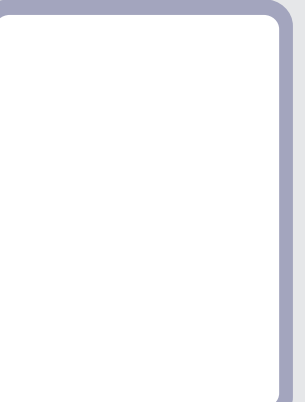
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APPROVAL

REVISION



CUSTOMER INITIALS

Initials

.040 ALUM. RETURN FASTENED TO A .080 ALUM. BACK. CAULK AROUND INTERIOR WHERE RETURNS MEET. EXTERIOR TO BE RAVEN BLACK, INTERIOR WHITE.

5"
1" BLACK TRIM-CAP
.177 #7328 WHITE SG. PLEX. FACE. W/ DIGITALLY PRINTED GRAPHICS APPLIED 1ST SURFACE
3/8" TOGGLE WHERE APPLICABLE, "NON-CORROSIVE".
WHITE LED'S.
60 WATT POWER SUPPLY
TC-211 COMPRESSION CONNECTOR & .50 CONDUIT, PER NEC. 351-2.
3/8" LAG WHERE APPLICABLE, "NON-CORROSIVE".
(2) WEEP HOLES PER LOW SPOT, PER NEC. 600-9 (d).

LEAF SECTION DETAIL

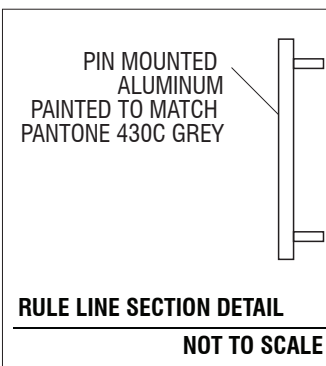
NOT TO SCALE

EIFS FASCIA WITH SINGLE LAYER PLYWOOD OR BLOCKING BY OTHERS.

(PRIMARY) THWN #12 WIRE, INSTALLED PER NEC. 600-5, U.L. LISTED.

JUNCTION BOX PER NEC. 600-21 120V 20A SUPPLY W/ LOCK-ABLE SWITCH PER NEC. 380-14A SUPPLIED BY CUSTOMER WIRED BY ELECTRICIAN, PER NEC. 600-05.

CLASS 2 SECONDARIES TO OTHER LETTERS, TO BE IN CONDUIT.



WHERE RETURNS MEET. EXTERIOR TO BE RAVEN BLACK, INTERIOR WHITE.

1" BLACK TRIM-CAP
.177 #2283 RED SG. PLEX. FACE.
3/8" TOGGLE WHERE APPLICABLE, "NON-CORROSIVE".

RED LED'S.
60 WATT POWER SUPPLY

TC-211 COMPRESSION CONNECTOR & .50 CONDUIT, PER NEC. 351-2.

3/8" LAG WHERE APPLICABLE, "NON-CORROSIVE".
(2) WEEP HOLES PER LOW SPOT, PER NEC. 600-9 (d).

GIANT EAGLE SECTION DETAIL

NOT TO SCALE

5" BIRD SPIKES

EIFS FASCIA WITH SINGLE LAYER PLYWOOD OR BLOCKING BY OTHERS.

(PRIMARY) THWN #12 WIRE, INSTALLED PER NEC. 600-5, U.L. LISTED.

JUNCTION BOX PER NEC. 600-21 120V 20A SUPPLY W/ LOCK-ABLE SWITCH PER NEC. 380-14A SUPPLIED BY CUSTOMER WIRED BY ELECTRICIAN, PER NEC. 600-05.

CLASS 2 SECONDARIES TO OTHER LETTERS, TO BE IN CONDUIT.



EXISTING SIGNAGE
DIMENSIONS - 4'-0" H x 49'-0" W
EXISTING SIGN SQ FT: 196



PROPOSED SIGNAGE
DIMENSIONS - 9'-10 13/16" H x 28'-9 7/16" W
PROPOSED SIGN SQ FT: 78.9

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blairimage.com

PROJECT INFORMATION

CLIENT:
Giant Eagle

ADDRESS:
14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER:
5831

DATE:
2-15-2021

RENDERED:
AAA

FILE NAME:
AD-GNE00000.cdr

CATEGORY:
APPROVAL

REVISION

Empty box for revision notes.



CUSTOMER INITIALS

Initials _____

EXISTING SQ FOOTAGE (EXACT)	PROPOSED SQ FOOTAGE (EXACT)
000.00	78.9

PROJECT INFORMATION

CLIENT: _____
Giant Eagle

ADDRESS: _____
14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER: _____
5831

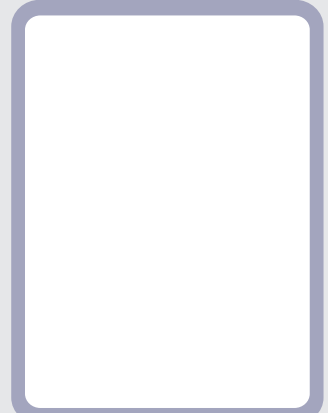
DATE: _____
2-15-2021

RENDERED: _____
AAA

FILE NAME: _____
AD-GNE00000.cdr

CATEGORY: _____
APPROVAL

REVISION



CUSTOMER INITIALS

Initials _____



GIANT EAGLE LOGO - CHANNEL LETTERS

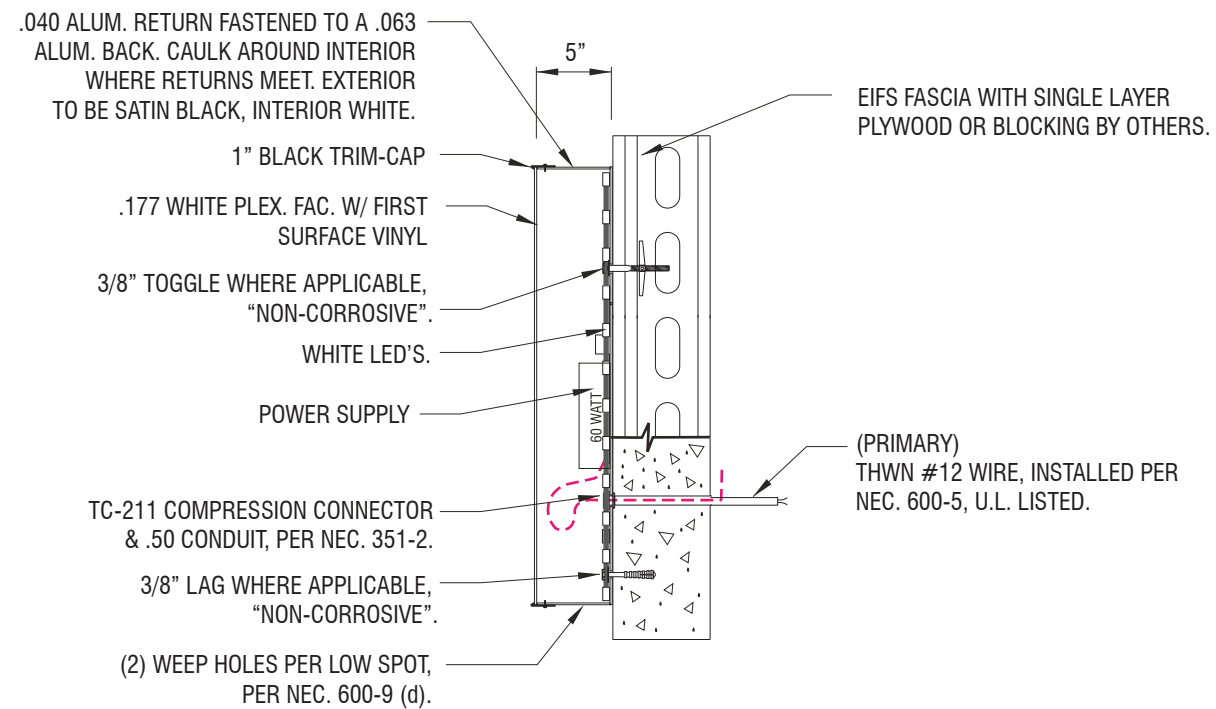
***REGISTERED "R" IS NOT INCLUDED WITH THE BUILDING LOGO

NOT TO SCALE



RULE LINE SECTION DETAIL

NOT TO SCALE



GIANT EAGLE AND LEAF SECTION DETAIL

NOT TO SCALE

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blairimage.com

PROJECT INFORMATION

CLIENT: _____

Giant Eagle

ADDRESS: _____

14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER: _____

5831

DATE: _____

2-15-2021

RENDERED: _____

AAA

FILE NAME: _____

AD-GNE00000.cdr

CATEGORY: _____

APPROVAL

REVISION

Empty box for revision notes.



CUSTOMER INITIALS

Initials _____



PROPOSED SIGNAGE
DIMENSIONS - 3'-4 1/4" H x 10'-0 1/2" W
PROPOSED SIGN SQ FT: 33.7



EXISTING SIGNAGE
DIMENSIONS - 3'-4 1/4" H x 10'-0 1/2" W
EXISTING SIGN SQ FT: 33.7

EXISTING SQ FOOTAGE (BOX)	PROPOSED SQ FOOTAGE (BOX)
33.7	33.7
EXISTING SQ FOOTAGE (EXACT)	PROPOSED SQ FOOTAGE (EXACT)
000.00	000.00

PROJECT INFORMATION

CLIENT:

Giant Eagle

ADDRESS:

14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER:

5831

DATE:

2-15-2021

RENDERED:

AAA

FILE NAME:

AD-GNE00000.cdr

CATEGORY:

APPROVAL

REVISION

--



CUSTOMER INITIALS

Initials

3'-4 1/4" VISUAL OPENING

10'-0 1/2" VISUAL OPENING



FRONT ELEVATION

NOT TO SCALE

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blairimage.com

PROJECT INFORMATION

CLIENT: _____

Giant Eagle

ADDRESS: _____

14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER: _____

5831

DATE: _____

2-15-2021

RENDERED: _____

AAA

FILE NAME: _____

AD-GNE00000.cdr

CATEGORY: _____

APPROVAL

REVISION

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CUSTOMER INITIALS

Initials _____

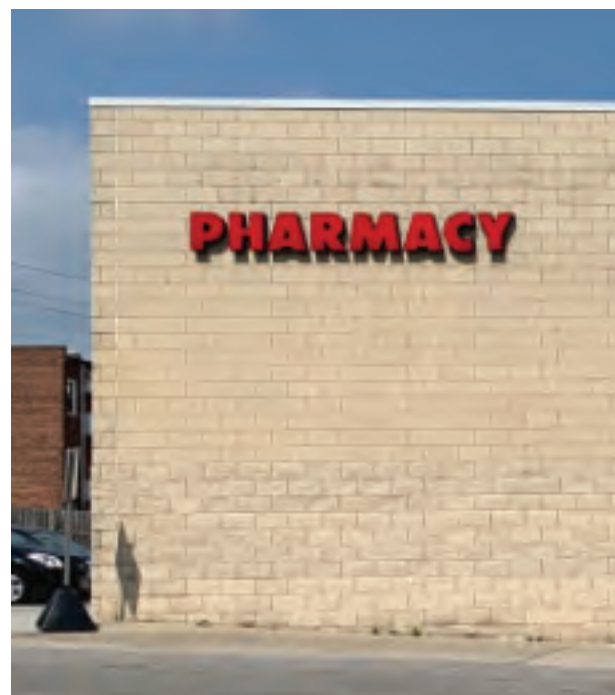


EXISTING SIGNAGE: GIANT EAGLE
DIMENSIONS - 8'-6" H x 23'-4" W
EXISTING SIGN SQ FT: 198.3

EXISTING SIGNAGE: CURBSIDE EXPRESS
DIMENSIONS - 1'-1 1/2" H x 17'-2 1/2" W
EXISTING SIGN SQ FT: 19.4



EXISTING SIGNAGE
DIMENSIONS - 1'-1 1/2" H x 17'-2 1/2" W
EXISTING SIGN SQ FT: 19.4



EXISTING SIGNAGE
DIMENSIONS - 1'-6 1/2" H x 12'-7 5/8" W
EXISTING SIGN SQ FT: 19.5



EXISTING SIGNAGE
DIMENSIONS - 2'-5" H x 12'-4" W
EXISTING SIGN SQ FT: 29.8

5107 Kissell Ave.
Altoona, PA 16601

P: 814.949.8287

F: 814.949.8293

blairimage.com

PROJECT INFORMATION

CLIENT: _____
Giant Eagle

ADDRESS: _____
14100 Detroit Ave.
Lakewood, OH 44107

M NUMBER: _____
5831

DATE: _____
2-15-2021

RENDERED: _____
AAA

FILE NAME: _____
AD-GNE00000.cdr

CATEGORY: _____
APPROVAL

REVISION

--	--

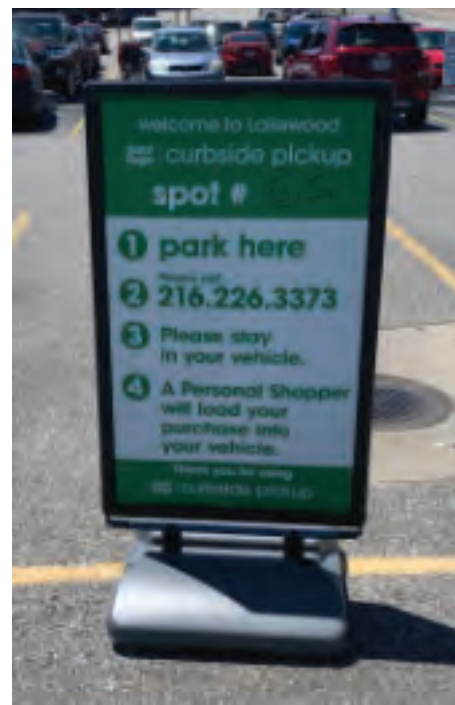


CUSTOMER INITIALS

Initials _____



EXISTING SIGNAGE
DIMENSIONS - 4'-0" H x 3'-0" W
EXISTING SIGN SQ FT: 12



EXISTING SIGNAGE
DIMENSIONS - 4'-0" H x 3'-0" W
EXISTING SIGN SQ FT: 12



EXISTING SIGNAGE
DIMENSIONS - 3'-0" H x 2'-0" W
EXISTING SIGN SQ FT: 6



EXISTING SIGNAGE
DIMENSIONS - 1'-11 3/4" H x 1'-11 3/4" W
EXISTING SIGN SQ FT: 4



EXISTING SIGNAGE
DIMENSIONS - 2'-0" H x 2'-0" W
EXISTING SIGN SQ FT: 4



EXISTING SIGNAGE
DIMENSIONS - 1'-6" H x 1'-0" W
EXISTING SIGN SQ FT: 1.5



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 10-137-21

Permit No.: BBS21-000178

Applicant Name: Stuart Bouscher

Project Address: 1487 Ridgewood Ave.

Project Name: n/a

Project: Applicant does not want to allow access to his property (1487 Ridgewood Ave) by the neighboring landowner, Kosta Mathiellis (1483/1485 Ridgewood Ave.), pursuant to LCO 1311.02. Property is in an R2, Single and Two-Family district.

Let this document be a testament for Stuart J. Bouscher's opposition to the proposed permit to allow land owner Kosta Mathiellis (1483/1485 Ridgewood Avenue) to agress onto Mathiellis' adjoining property, which is owned by Bouscher (1487 Ridgewood Avenue).

Mathiellis would like to enter Bouscher's property to repair his rental property. However, Bouscher is opposed to permitting Mathiellis entering Bouscher's no-trespassing fenced-in property for several very valid reasons.

When Mathiellis spoke with Bouscher on the phone, Mathiellis stated that he would like to place ladders in Bouscher's fenced-in area because it would be cheaper than using other methods to repair his house. The cost of Mathiellis' repair is of no concern to Bouscher. Bouscher told Mathiellis that there are other affordable methods available to accomplish his goal strictly from his own property, such as by using scaffolding or aerial lifts including a cherry picker or scissor lift. This equipment is specifically designed for projects of this nature and this equipment can be placed easily within the confines of Mathiellis' property. If scaffolding or aerial lifts are unowned, Mathiellis' contractor can easily acquire such equipment from local rental centers including but not limited to Home Depot or ABC Rental Center, Inc. There is no need to encroach onto Bouscher's property and Mathiellis can accomplish his goals by other means.

Further, near the project, but on Bouscher's property, Bouscher has an organic asparagus garden where debris must not accumulate. Debris cannot be controlled when employing ladders; however, the alternative methods allow for better containment of the debris and would ensure better protection from any harmful toxins found in the debris. There is a squirrel's nest in the overhang of Mathiellis's roof at the site of the proposed project. The nest is bedded with the house's insulation and possibly asbestos. There are primarily seven potentially toxic chemicals found in insulation material. These include brominated flame retardants, chlorinated flame retardants, ethanolamine, formaldehyde, isocyanates, polyethylene glycol nonylphenyl ether and styrene. Mathiellis plans to eradicate the nest thereby jeopardizing the integrity of the organic asparagus garden below if ladders are used and debris cannot be controlled to prevent contamination to the nearby garden.

Encroachment onto Bouscher's property is not necessary to accomplish Mathiellis' goal. Aside from the permit being unnecessary, other considerations to oppose this permit also exist that include Mathiellis' history.

Roughly ten years ago, Mathiellis had less extensive work performed on the same corner of his rental house and his worker used a ladder in Bouscher's backyard. Mathiellis' worker "slipped" from the 2nd rung of a ladder and seemed to be injured until Bouscher told the worker if he needed proof of the "accident," there were security cameras and Bouscher pointed to them. The worker recovered from his injury rather quickly. Bouscher can no longer trust any worker associated with Mathiellis' property, including Mathiellis himself.

In the past, Mathiellis has performed other work while encroaching onto Bouscher's property such as using a chainsaw to fell branches onto Bouscher's car without asking Bouscher to first

move his car nor offering to pay for the scratches that incurred. Mathiellis failed to take reasonable precautions to prevent harm to Bouscher's vehicle and Bouscher was never compensated. Mathiellis also failed to clean up his debris from this project.

Also, Bouscher does not feel safe having anyone on his property, especially Mathiellis or his associates. Police records show that Mathiellis' tenant (Kevin Boerio) had verbally threatened Bouscher's life in the past. Mathiellis then suggested the same. It is yet unknown if this threat would ever be carried to fruition. However, Bouscher has a prior incident, preserved in court records, of Bouscher coming home to a home invasion in progress while living in another house in Cleveland, Ohio. Bouscher very much fought for his life as he was being strangled by the intruder. Bouscher, to this day, does not feel safe and is threatened by unknown individuals encroaching onto his domain. The verbal death threat made by Mathiellis and his tenant should not be, and is not, taken lightly. Bouscher very reasonably feels threatened by Mathiellis.

By allowing agress to Bouscher's property, a permit will commit an act of further attack and may cause hostility to escalate between the property owner and the adjoining property owner. The permit is not necessary as encroachment onto Bouscher's property is not required to do the project. Moreover, Mathiellis may find it to be more timely and convenient to use an alternative method, with equipment designed specifically for this type of project, to accomplish his goal as any subsequent actions, such as injunction proceedings and/or mediation, will certainly delay his project for a considerable length of time and drain public resources in the process.

Bouscher requests that the permit to allow Mathiellis to agress onto his property be denied.



Stuart J. Bouscher

21 September 2021

APPLICATION
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW BOARD
BOARD OF BUILDING STANDARDS

Property Address 1487 Ridgewood Ave Business Name _____

Owner Name & Phone Stuart J. Bouscher ^{216 299 8781} Owner Address 1487 Ridgewood Ave.

Project Description 1483 Ridgewood property owner filed for a permit to enter my property (1487 Ridgewood). This is to oppose such permit.

Incomplete or Late Applications will not be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

Architectural Board of Review - (Commercial \$50.00, Residential \$25.00)
Examples: Modifications to the exterior of a building, new construction, commercial landscaping, installation or modification of fencing, parking lot modification. See Building Code Chapter 1327 for complete regulations.

Sign Review Board - (\$25.00)
New signs and modifications, replacement or upgrades to existing sign. See Chapter 1329 for sign regulations.

Board of Building Standards - (\$25.00)
All requests for variances to the Building Code. See Building Code Chapter 1327 for complete regulations.

Submission Requirements:

Architectural Board of Review: 1-7, 9, 10 Sign Review Board: 1-4, 6, 8, 9, 10 Board of Building Standards: 1 -5, 9, 10

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of Authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11)
6. Material samples.
7. Manufacturer's cut sheets for lighting, fencing and any other architectural element. (1 copy color, 8.5 x 11)
8. Scaled and dimensioned drawings of all signage including location, colors and materials. (1 copy color, 8.5 x 11)
9. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form)
10. Fee(s)

Applicant Name (Print Clearly): STUART J. BOUSCHER Company _____

Applicant Address: 1487 Ridgewood Avenue

Phone: 216 299 8781 Fax: - E-mail: StuartBouscher@yahoo.com

Signature: *Stuart Bouscher* Date: 20 September 2021

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Review/Sign Review Board/ Board of Building Standards applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes _____ No

Please Print or Type:

Owner/Agent Name: STUART J. BOUSCHER

Property Address: 1487 Ridgewood Avenue

Owner/Agent Phone: 216.299.8781

Tenant Name _____ Tenant Phone _____

Stuart J. Bouscher
Owner/Agent Signature

**2018 Calendar
Board of Building Standards / Architectural Board of Review / Sign Review**

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
October	Wednesday	9/22/2021	Thursday	10/7/2021	Thursday	10/14/21
November	Wednesday	10/20/2021	Thursday	11/4/2021	Thursday	11/11/21
December	Wednesday	11/17/2021	Thursday	12/2/2021	Thursday	12/9/21
January	Wednesday	12/22/2021	Thursday	1/6/2022	Thursday	1/13/22

PLEASE NOTE: Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings start at **4:00 P.M.** in the **East Conference Room** (adjacent to the auditorium) of Lakewood City Hall. Use the rear northeast entrance to the Auditorium.

Review Meetings will commence at **5:30 P.M.** in the **Auditorium** of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting in order for an application to receive review. Use the rear northeast entrance to the Auditorium.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 10-138-21

Permit No.: BBS21-000171

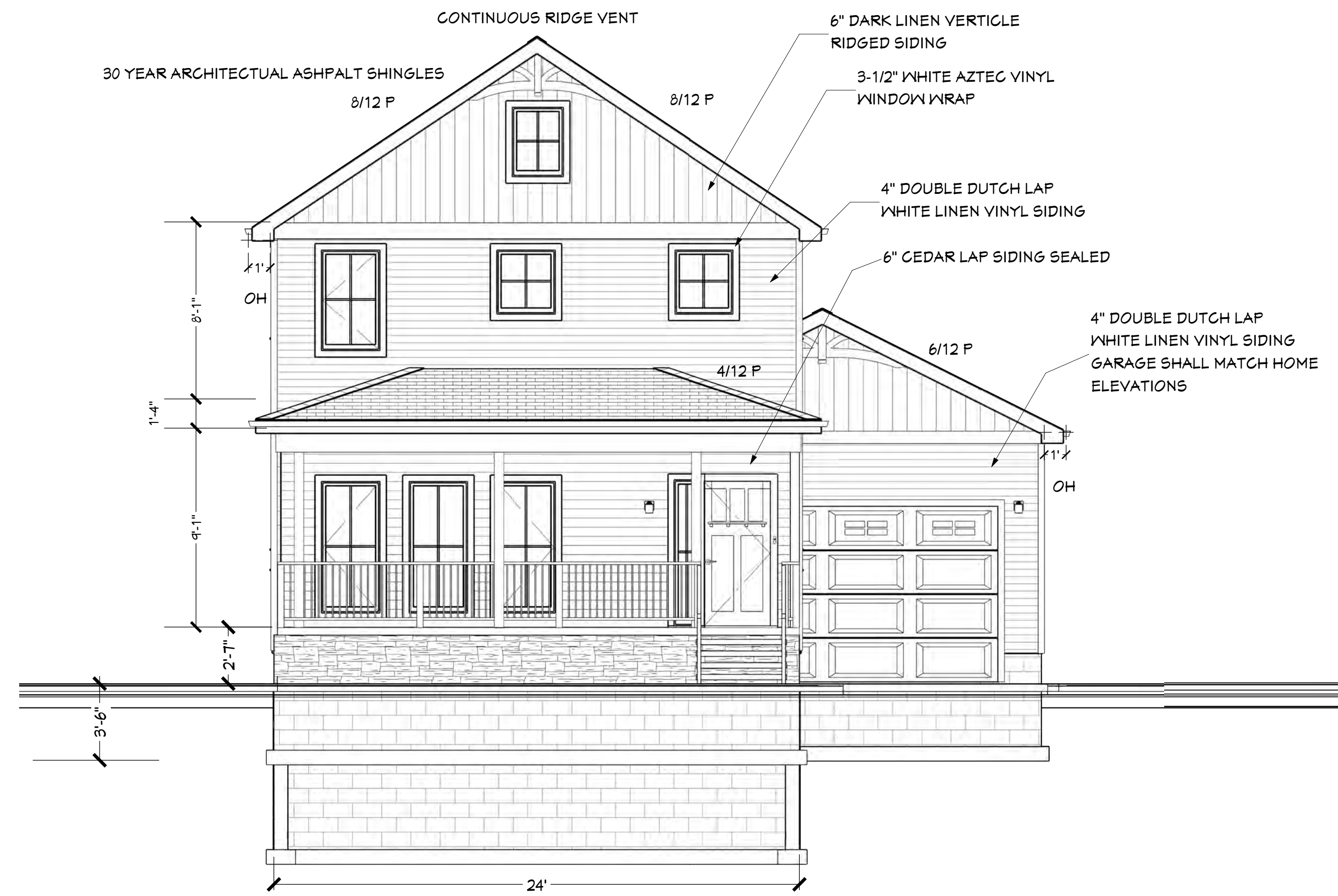
Applicant Name: Nancy Rozier, Rozier Designer Homes LLC

Project Address: 1570 Winchester Ave.

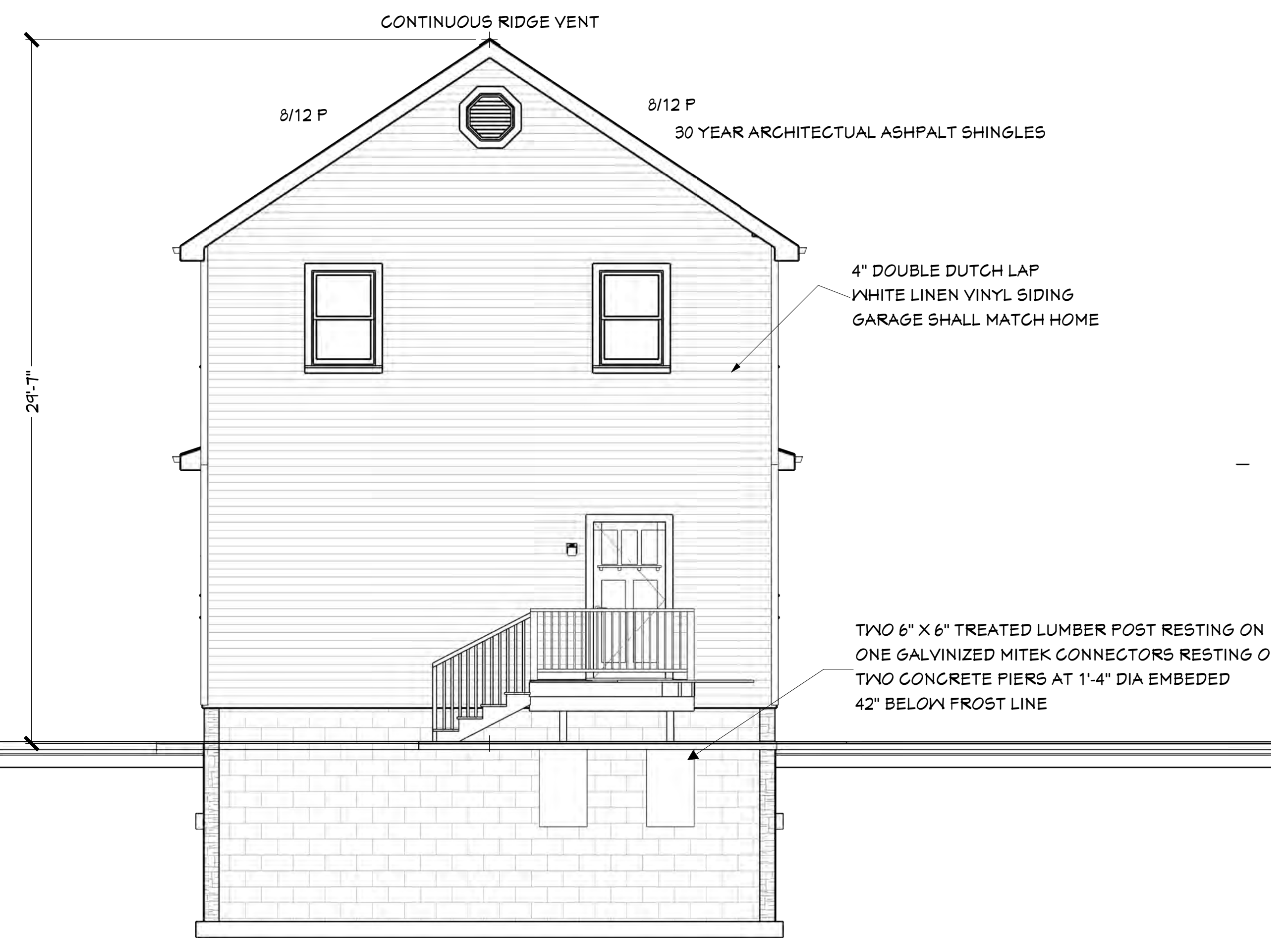
Project Name: n/a

Project: Applicant proposes building a new residential home on a vacant lot.

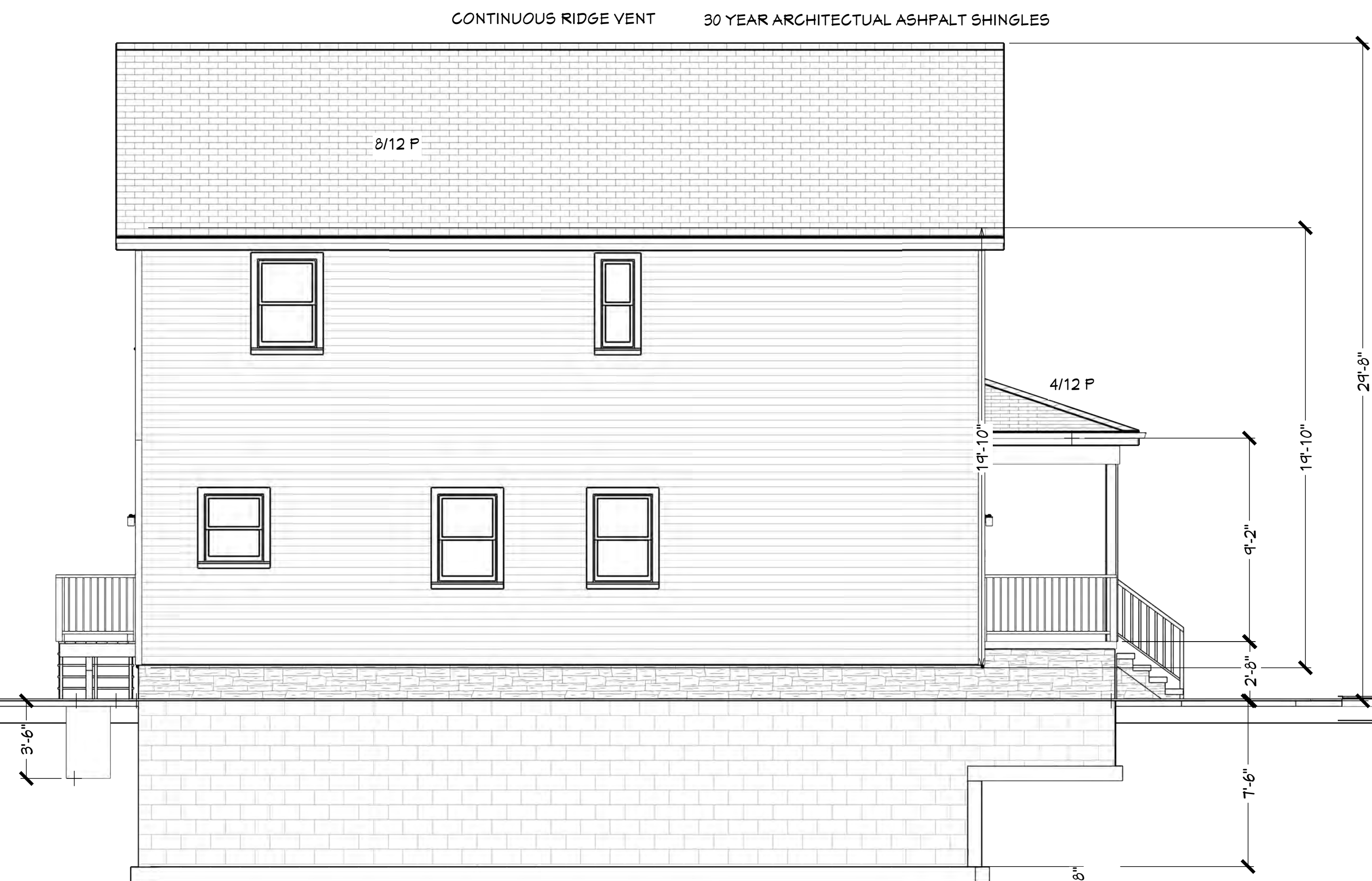




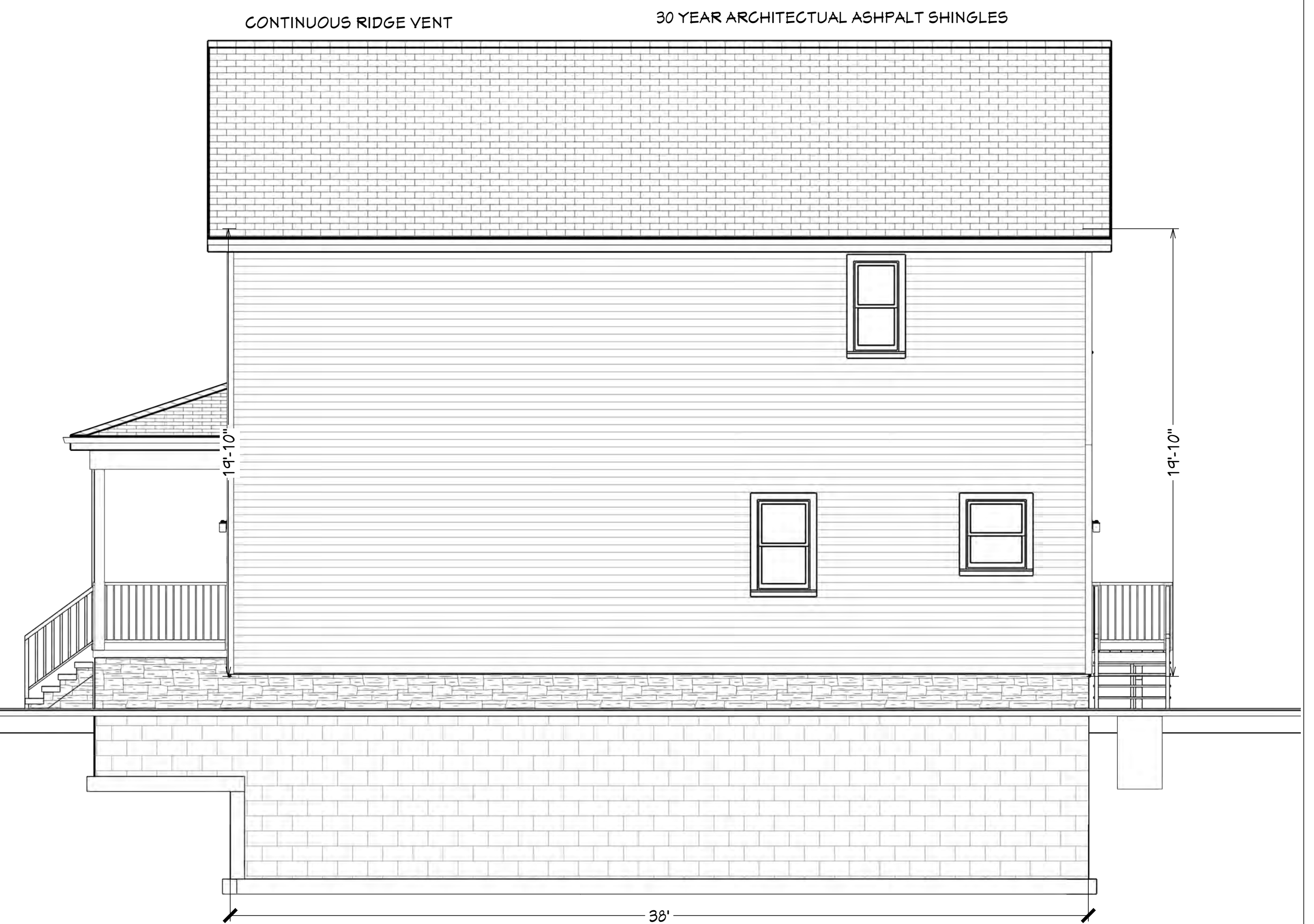
FRONT ELEVATION VIEW



REAR ELEVATION VIEW



LEFT ELEVATION VIEW



RIGHT ELEVATION VIEW

1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"
1" = #9/32"	0" = "+"

1570 WINCHESTER AVE
LAKEWOOD, OHIO 44107
PPN: 315-12-117

Project Overview
ALL ELEVATION VIEWS

DRAWINGS PROVIDED BY:
ROZIER DESIGNER HOMES LLC
6448 FLEDGLING COURT
NORTH RIDGEVILLE, OHIO 44034
216-990-0483

DATE:
9/9/21

SCALE:
1/4" = 1'-0"

SHEET:
P-1

All Materials shall be from Menards attached are item number and product number

1) Single 8" x 10' Cypress Board & Batten Vinyl Siding
Model Number: 3413842 Menards @ SKU: 1481945

2) Waterford® Double 4" x 12' 6" Classic Linen Vinyl Siding
Model Number: VHD4006 Menards @ SKU: 1467163

3) Cedar wood Siding

4) ClipStone® Walnut ProStack Manufactured Stone Veneer Siding Flats (5 sq ft)
Model Number: CSM-10-011-40 Menards @ SKU: 1443484

Single 8" Vertical Cypress Board & Batten Vinyl Siding

Classic Linen Vinyl Siding

Clear Stained Cedar Wood Siding

Walnut Stacked Stone Veneer

"The City Life Project"
1570 Winchester Ave
Lakewood, Ohio 44107
PPN: 315-12-117

Rozier Designer Homes LLC
6948 Fledgling Court
North Ridgeville, Ohio 44039

216-990-0483







GRADING PLAN

OF
SUBLOT NO. 40
 P.P.N. 315-12-117
 IN
 #11570 WINCHESTER AVENUE

THE COLLINS ALLOTMENT
 RECORDED IN VOL. 15, PG. 32
 NOW IN

THE CITY OF LAKEWOOD
 CUYAHOGA COUNTY, OHIO

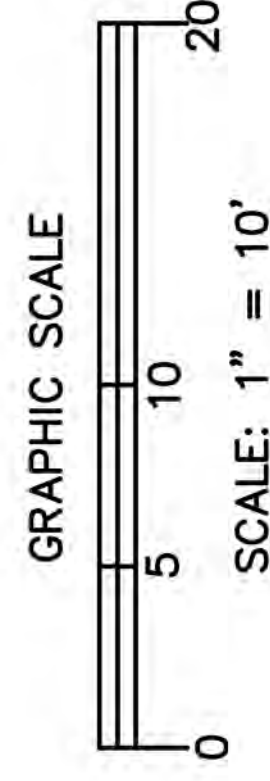
FOR
ROZIER DESIGNER HOMES, LLC.

#10786 EAST RIVER ROAD
 COLUMBIA STATION, OH 44028
 PH: (216) 990-0483

BY
 THE HENRY G. REITZ ENGINEERING CO.
 #4214 ROCKY RIVER DRIVE, CLEVELAND, OHIO 44135
 PH: (216) 251-3033, EMAIL: REITZ@REITZENG.COM

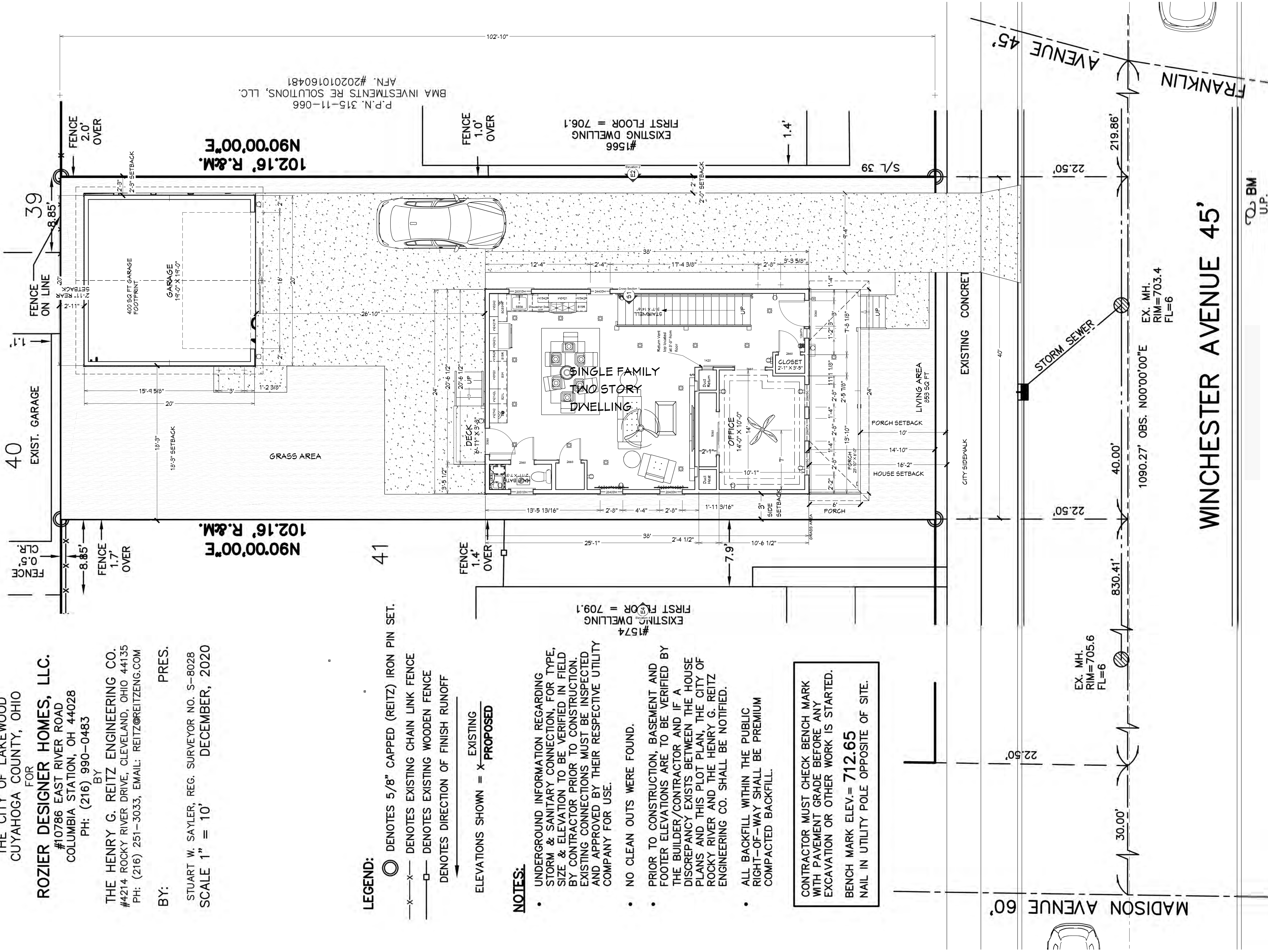
PRES.

STUART W. SAYLER, REG. SURVEYOR NO. S-8028
 SCALE 1" = 10' DECEMBER, 2020



BEARINGS BASED ON
 C/L WINCHESTER AVE.
 BEARING N00°00'00"E.

CITIZENS REAL ESTATE SUBD. NO. 2
 VOL. 37, PG. 14



LEGEND:

- DENOTES 5/8" CAPPED (REITZ) IRON PIN SET.
- x-x- DENOTES EXISTING CHAIN LINK FENCE
- o-o- DENOTES EXISTING WOODEN FENCE
- DENOTES DIRECTION OF FINISH RUNOFF

ELEVATIONS SHOWN = x EXISTING
 = PROPOSED

NOTES:

- UNDERGROUND INFORMATION REGARDING STORM & SANITARY CONNECTION, FOR TYPE, SIZE & ELEVATION TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION. EXISTING CONNECTIONS MUST BE INSPECTED AND APPROVED BY THEIR RESPECTIVE UTILITY COMPANY FOR USE.
- NO CLEAN OUTS WERE FOUND.
- PRIOR TO CONSTRUCTION, BASEMENT AND FOOTER ELEVATIONS ARE TO BE VERIFIED BY THE BUILDER/CONTRACTOR AND IF A DISCREPANCY EXISTS BETWEEN THE HOUSE PLANS AND THIS PLOT PLAN, THE CITY OF ROCKY RIVER AND THE HENRY G. REITZ ENGINEERING CO. SHALL BE NOTIFIED.
- ALL BACKFILL WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PREMIUM COMPACTED BACKFILL.

CONTRACTOR MUST CHECK BENCH MARK WITH PAVEMENT GRADE BEFORE ANY EXCAVATION OR OTHER WORK IS STARTED.
 BENCH MARK ELEV. = 712.65
 NAIL IN UTILITY POLE OPPOSITE OF SITE.

DRAWINGS PROVIDED BY:

DATE:

9/9/21

SCALE:

3/16" = 1'-0"

SHEET:

P-1

SITE PLAN
 1570 WINCHESTER AVE
 LAKEWOOD OHIO
 P.P.N. 315-12-117

ROZIER DESIGNER HOMES
 LLC
 6948 Fledgling Court
 North Ridgeville, OH 44039
 216-990-0483

NUMBER	DATE	REVISED BY	DESCRIPTION

1570 Winchester Ave
Lakewood, Ohio
Google
Street View - Aug 2019



Map navigation controls including a red location pin for 1570 Winchester Ave, Lakewood, Ohio, and icons for 'roco' and 'Hola T'.

Google

Navigation controls including a compass, a zoom in (+) button, and a zoom out (-) button.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 10-139-21

Permit No.: BBS21-000175

Applicant Name: Daniel Hurst, Hurst Design Build Remodel

Project Address: 1270 Bunts Rd.

Project Name: n/a

Project: Applicant proposes second floor additions and rear covered deck.

Design Loads

- Floor Live Loads:
 - First Floor: 40 psf
 - Second Floor: 30 psf
 - Floor Dead loads: 10 psf
- Roof Live Loads (snow): 30 psf
 Roof/Ceiling Dead loads: 12 psf
 Total Roof Loads: 42 psf

General Notes

- All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO For One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.
- All sub-contractors shall furnish a certificate of adequate liability and workman's compensation insurance.
- All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.
- The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design Build Remodel any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Sub-contractor would not warrant as required by The Contract Documents.
- The drawings shall not be scaled, use the written dimensions only. In the event of discrepancies or errors, in the drawings, Hurst Design Build Remodel shall be the sole interpreter of the drawings and their intent.
- The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the Work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements. All construction work and activities shall conform to all applicable codes and ordinances.
- Hurst Design Build Remodel shall provide barricade, warning lights, signs, safety devices, temporary ties, bracing and wall shoring to protect general public and workers from hazardous conditions which may arise at the site as a result of the work.
- Hurst Design Build Remodel and all sub-contractors shall keep the site orderly and clean at all times and shall remove all debris and leave the site broom-clean.
- The use of these documents is restricted to the original project for which they have been prepared. Re-use or reproduction of these documents (whole or in part) for any other use is prohibited by Hurst Design Build Remodel. The drawings are instruments of service and remain the property of Hurst Design Build Remodel.

Structural Notes

- Studs shall be 2 x 4 exterior and interior walls (unless noted otherwise) spaced 16" o.c., doubled at openings, framed solid at corners and angles for drywall. Inner trimmer/jack studs at all window/door openings, etc., shall be cut down to support the header over the opening and shall extend in one piece from header to bearing. Double jack studs for all openings over 8'-0" wide (or as noted on plans).
- All bearing headers shall be minimum double 2 x 10's with 1/2" material between, glued and nailed, unless indicated otherwise on drawings.
- Brace all rafters, roof and ceiling joists as required to prevent shifting, racking or other movement, both during construction and after completion of the project. Ceiling joists and flat roof joists shall be cross bridged at max. 8'-0" intervals. Brace all roof and floor trusses per fabricator's instructions during construction and permanently.
- Rafters shall be doubled at both sides of all dormers, skylights and at roof valleys, unless noted otherwise on the plans. All headers between doubled rafters shall be supported with galvanized hangers.
- All wood beams or headers shall be supported by solid studs, minimum same width as the beam, and shall be continuous from the bottom of the beam to a bearing beam or masonry foundation below. Include solid blocking and/or doubled band joists thru all floor systems, as may be required to transfer loading.
- Connections shall be in accordance with the applicable building code as a minimum.

MATERIAL DESIGN STRESSES (Minimum)				
Framing Member	Fb(psi)	Fv(psi)	Fc(psi)	E(psi)
SAWN LUMBER				
Wood beams & headers	1000	130	1000	1,400,000
Wood joists	1000	130	1000	1,400,000
Wood studs/misc. framing	875	110	1000	1,400,000
Microflam (LVL)	2600	285	2510	1,400,000

See Drawings for special conditions and/or min. structural requirements
 Concrete exterior: 4000 psi with 6% +/- 1% air entrainment.

Bolts: A307 unless noted otherwise

Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil

NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.

BOYE HAGAN RESIDENCE



Existing Front Elevation



Proposed Front Elevation



Existing Left Elevation



Proposed Left Elevation



Existing Rear Elevation



Proposed Rear Elevation



Existing Right Elevation



Proposed Right Elevation



Existing Pergola



Proposed Covered Deck

Project Description

The Project Scope includes adding a second floor master suite above the existing play room and extending bedroom #3 above the mudroom and power room. The first floor kitchen, mudroom, bath #1, and powder room will be completely remodeled. All existing hardwood floors will be re-finished to blend with new hardwood floors. A covered deck to the rear of the home will be added. All second floor windows, except at stair will be replaced. Exterior finishes on the second floor master bedroom addition will be smooth composite material to mimic a "sleeping porch". Exterior finish on bedroom #3 addition will be vinyl or LP smart shake. All existing exterior trim will be repainted to match the new window color. All new trim & siding will match the new window color. The roof of the master bedroom will be "Flintlastic" with a color to match the existing slate shingles. The roof of bedroom #3 will be synthetic slate to match the existing slate shingles. The covered deck will be constructed of solid white oak timbers and a corrugated galvanized or polycarbonate roof.

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Job #	Print Date
7434	9/20/2021
Design Info	
Design Phase	D# Date
Detail	1.4 09.21.21
Designer	trg
Client Initials	

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 www.HurstRemodel.com



BOYE HAGAN RESIDENCE

Adam Boye & Margaret Hagan
 1270 Burts Road
 Lakewood, OH 44107

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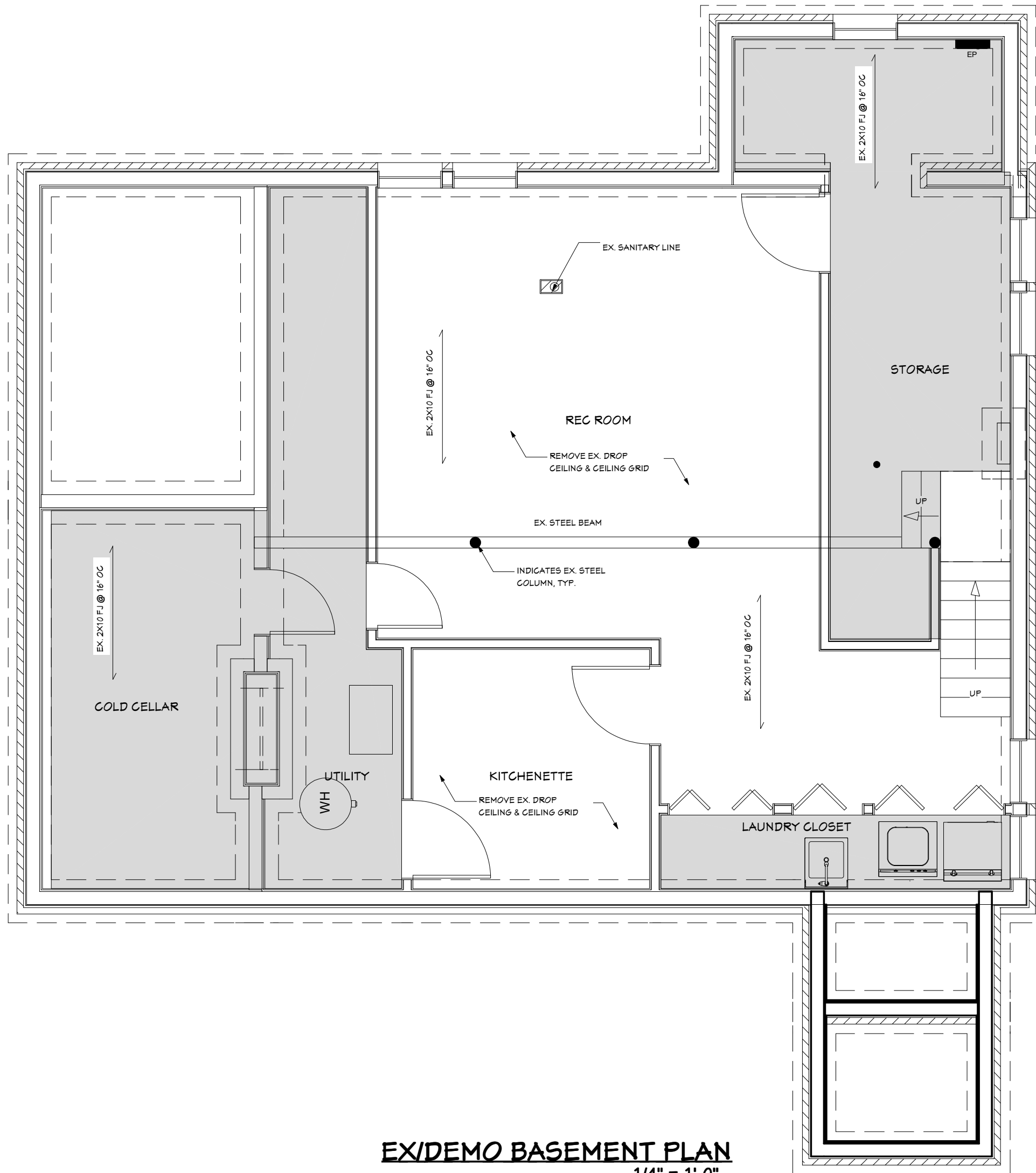
Client Signature:	P.C. Signature:	SHEET NO.
Date:	Date:	
		A-1

PRESENTATION VIEWS
 Not to Scale

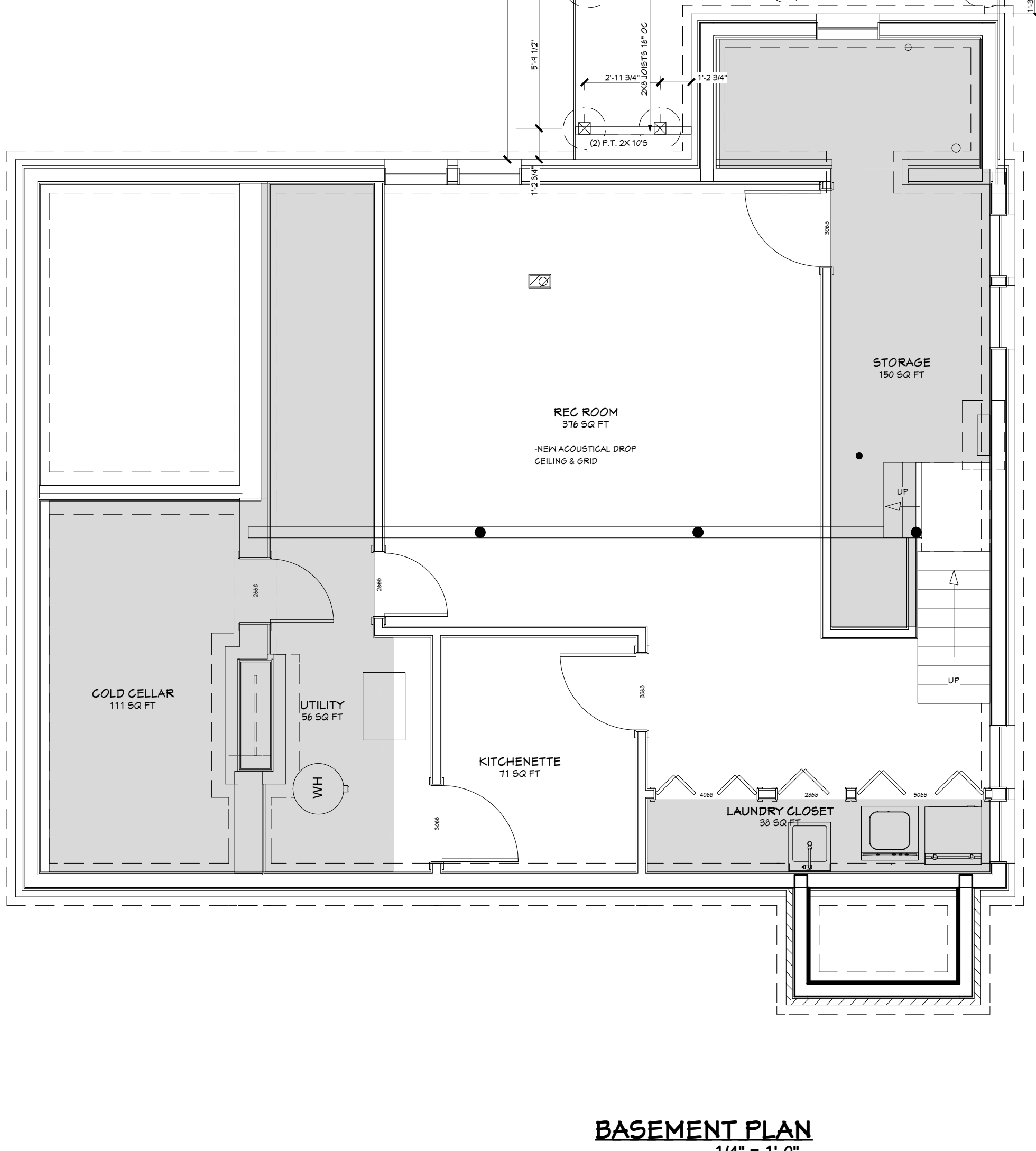
WALL LEGEND	
---	Object to be demolished
▣▣▣▣	Wall to be demolished
▭	Existing interior wall to remain
▭	Existing exterior wall to remain
▨	New 2x4 interior wall
▨	New 2x4 exterior wall
▭	Existing foundation wall w/ brick to remain
▣▣▣▣	New CMU foundation w/ brick veneer
▭	Existing poured concrete foundation wall
▭	New poured concrete foundation wall
▣▣▣	New handrail

General Notes: Demolition

1. Note.
2. Note.
3. Note.
4. Note.
5. Note.



EX/DEMO BASEMENT PLAN
1/4" = 1'-0"



BASEMENT PLAN
1/4" = 1'-0"

Job #	Print Date
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BOVE HAGAN RESIDENCE
Adam Bove & Margaret Hagan
1270 Burts Road
Lakewood, OH 44107

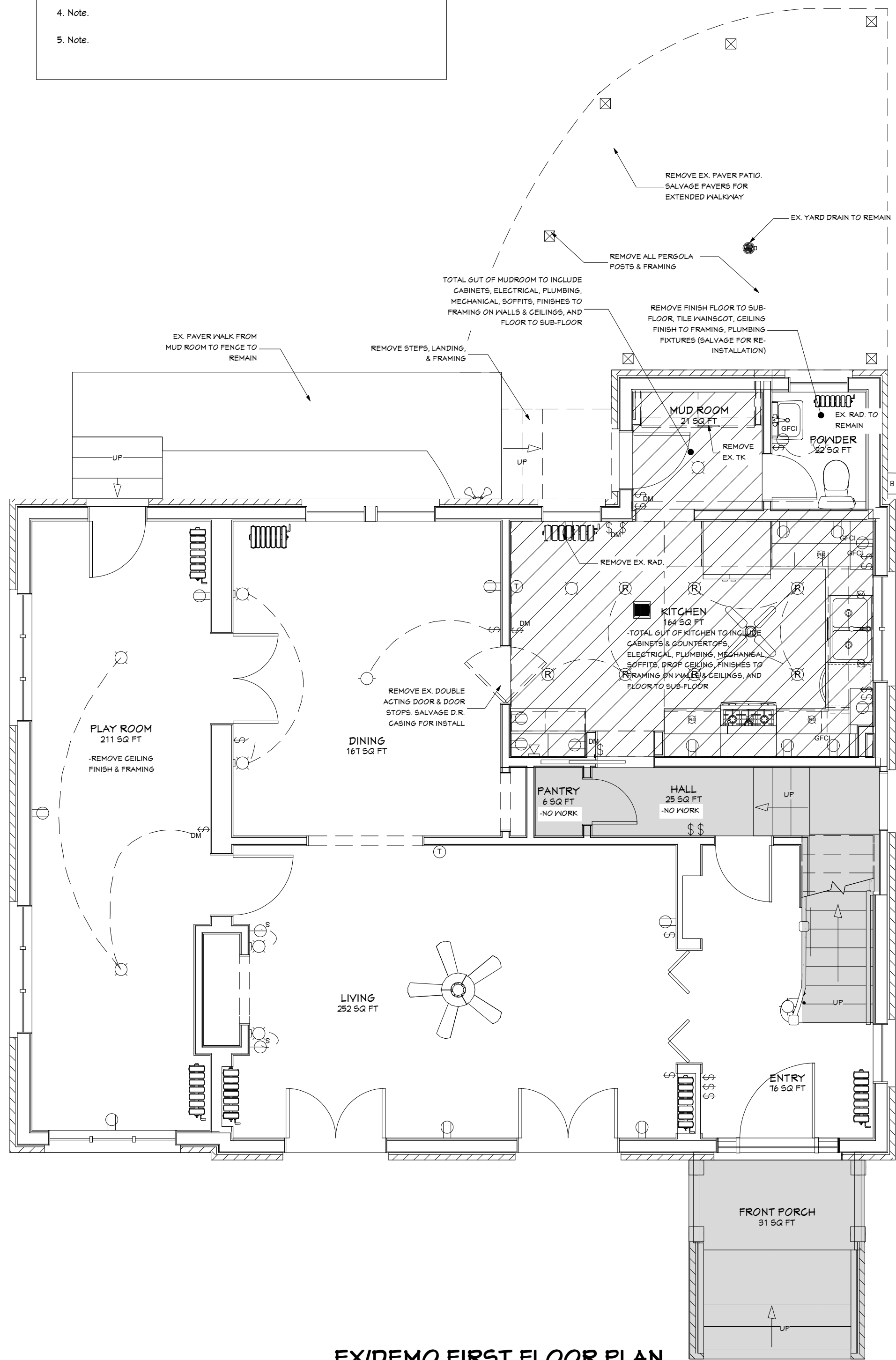
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General Notes: Demolition

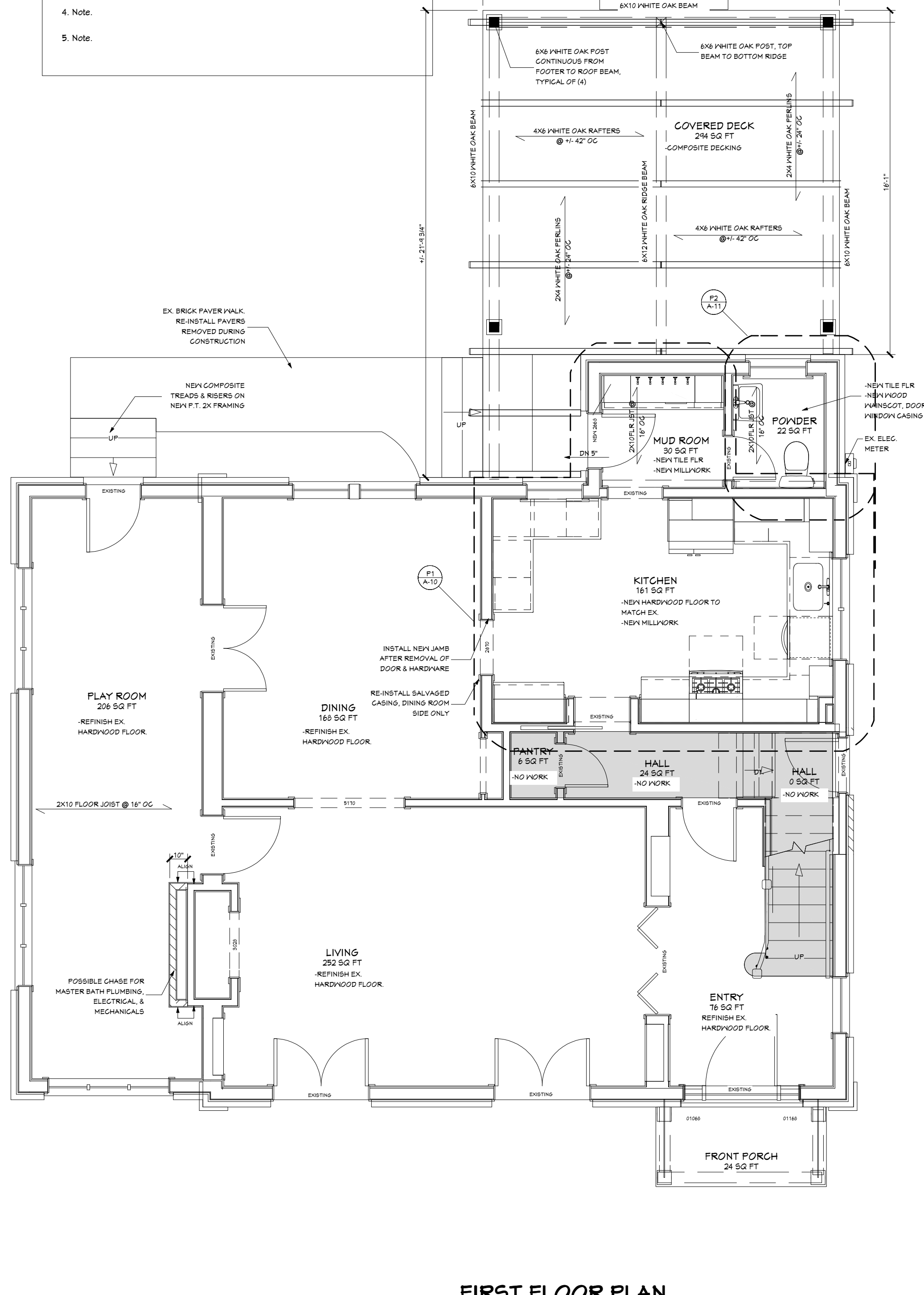
1. Note.
2. Note.
3. Note.
4. Note.
5. Note.

General Notes: Finishes

1. Note.
2. Note.
3. Note.
4. Note.
5. Note.



EX/DEMO FIRST FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

Job #	Print Date
7434	9/20/2021
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Design Phase	D# Date
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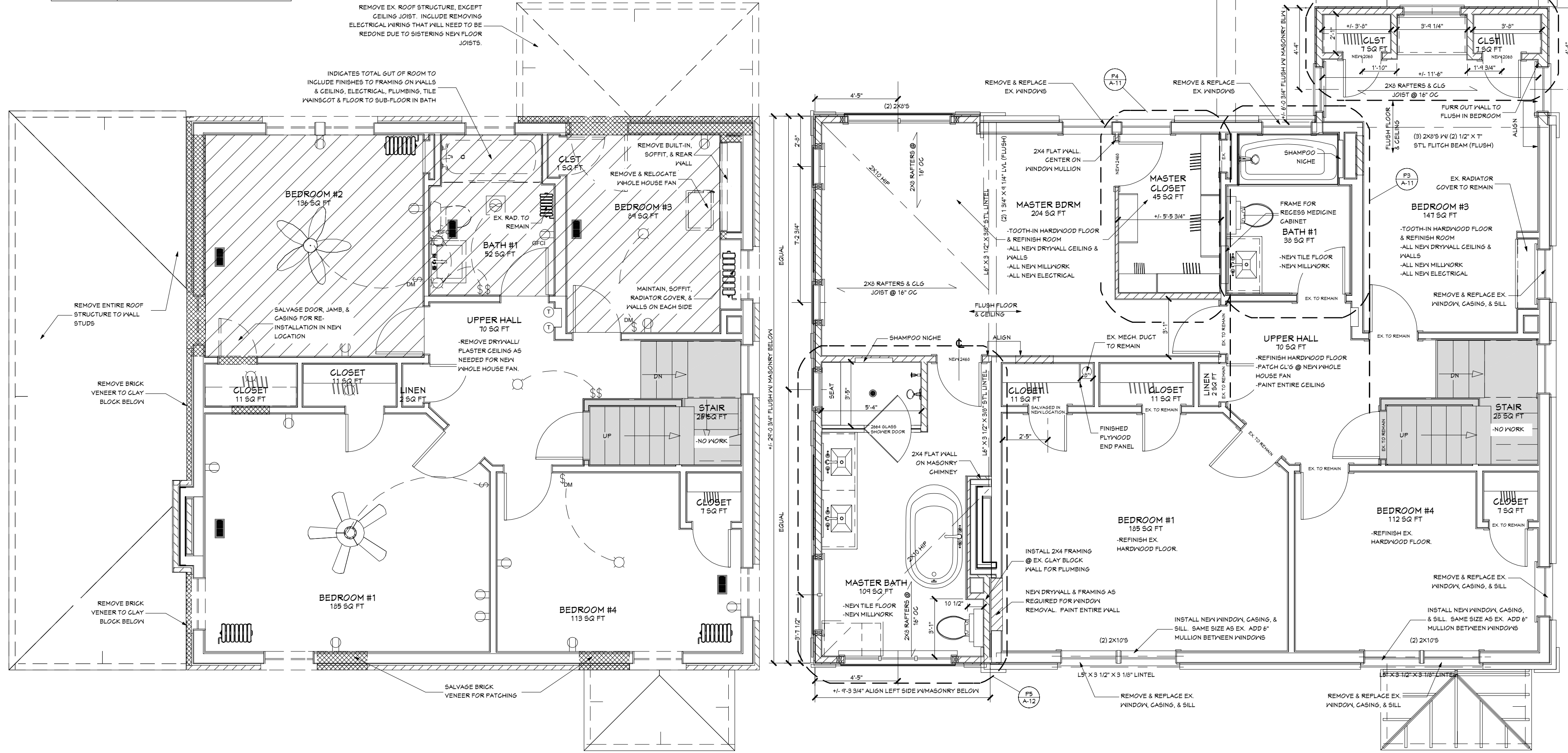
WALL LEGEND	
---	Object to be demolished
▨	Wall to be demolished
▭	Existing interior wall to remain
▭	Existing exterior wall to remain
▨	New 2x4 interior wall
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▨	New CMU foundation w/ brick veneer
▭	Existing poured concrete foundation wall
▭	New poured concrete foundation wall
□	New handrail

General Notes: Demolition

- Note.
- Note.
- Note.
- Note.
- Note.

General Notes: Finishes

- Note.
- Note.
- Note.
- Note.
- Note.



EXIDEMO SECOND FLOOR PLAN
1/4" = 1'-0"

SECOND FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND	
---	Object to be demolished
XXXX	Wall to be demolished
---	Existing interior wall to remain
---	Existing exterior wall to remain
///	New 2x4 interior wall
///	New 2x4 exterior wall
---	Existing foundation wall w/ brick to remain
XXXX	New CMU foundation w/ brick veneer
---	Existing poured concrete foundation wall
---	New poured concrete foundation wall
□ □ □	New handrail

General Notes: Demolition

1. Note.
2. Note.
3. Note.
4. Note.
5. Note.

General Notes: Framing

1. Note.
2. Note.
3. Note.
4. Note.
5. Note.

General Notes: Finishes

1. Note.
2. Note.
3. Note.
4. Note.
5. Note.

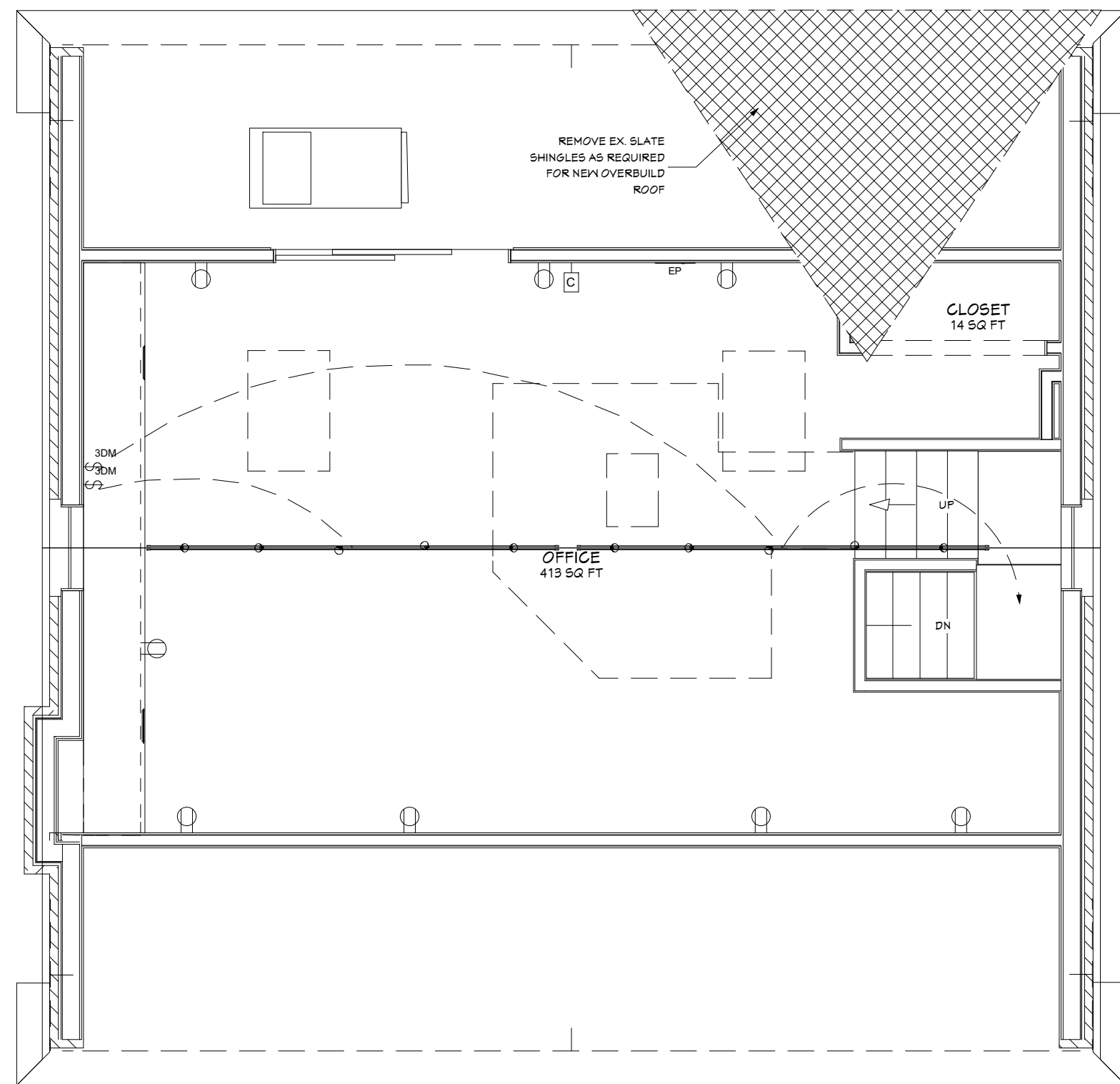
Job #	Print Date
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Design Phase	D# Date
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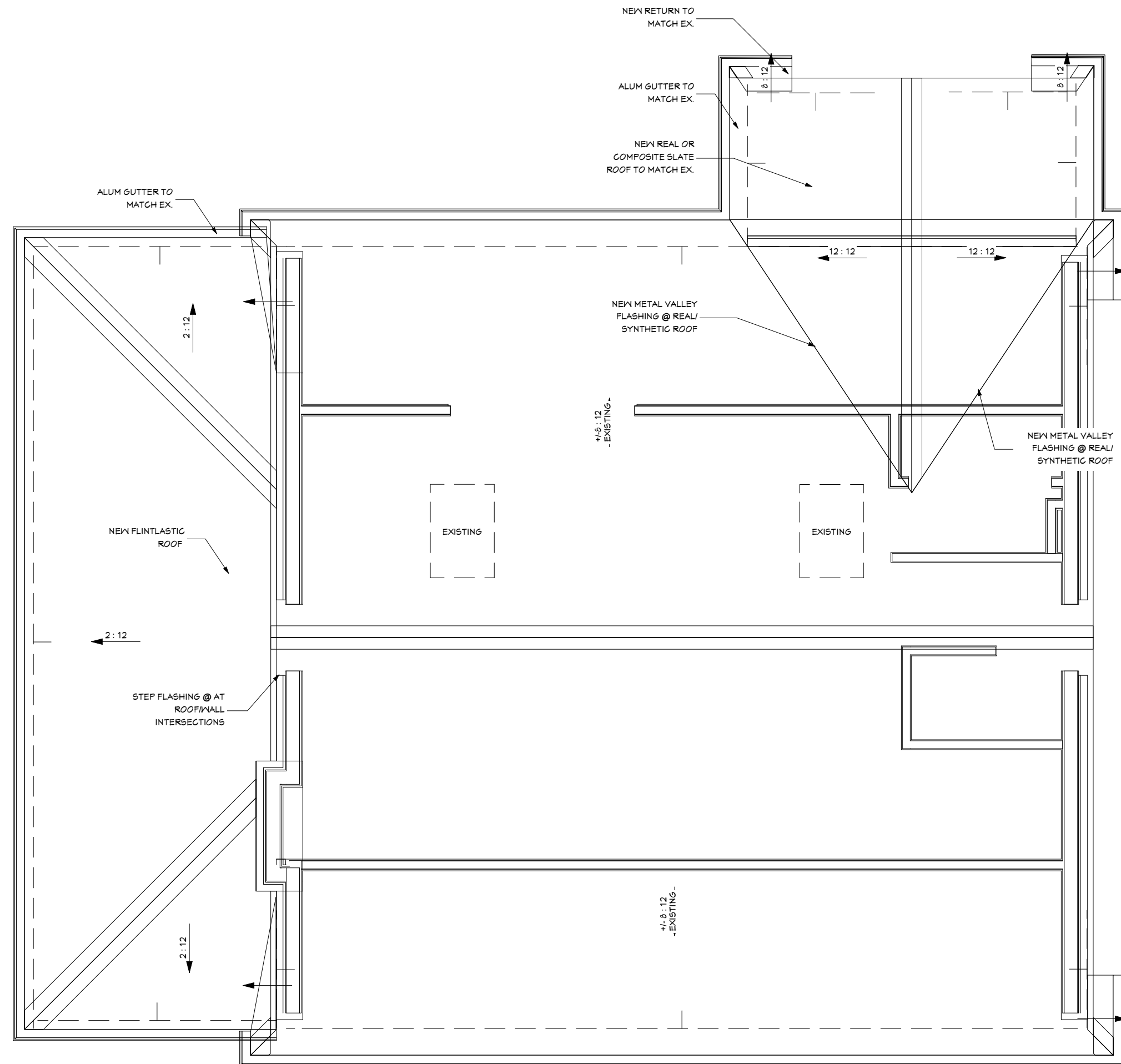


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EXIST/DEMO THIRD FLOOR/ROOF PLAN
1/4" = 1'-0"



THIRD FLOOR/ROOF PLAN
1/4" = 1'-0"

Job #	Print Date
7434	9/20/2021
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Designer	trg
Client Initials	

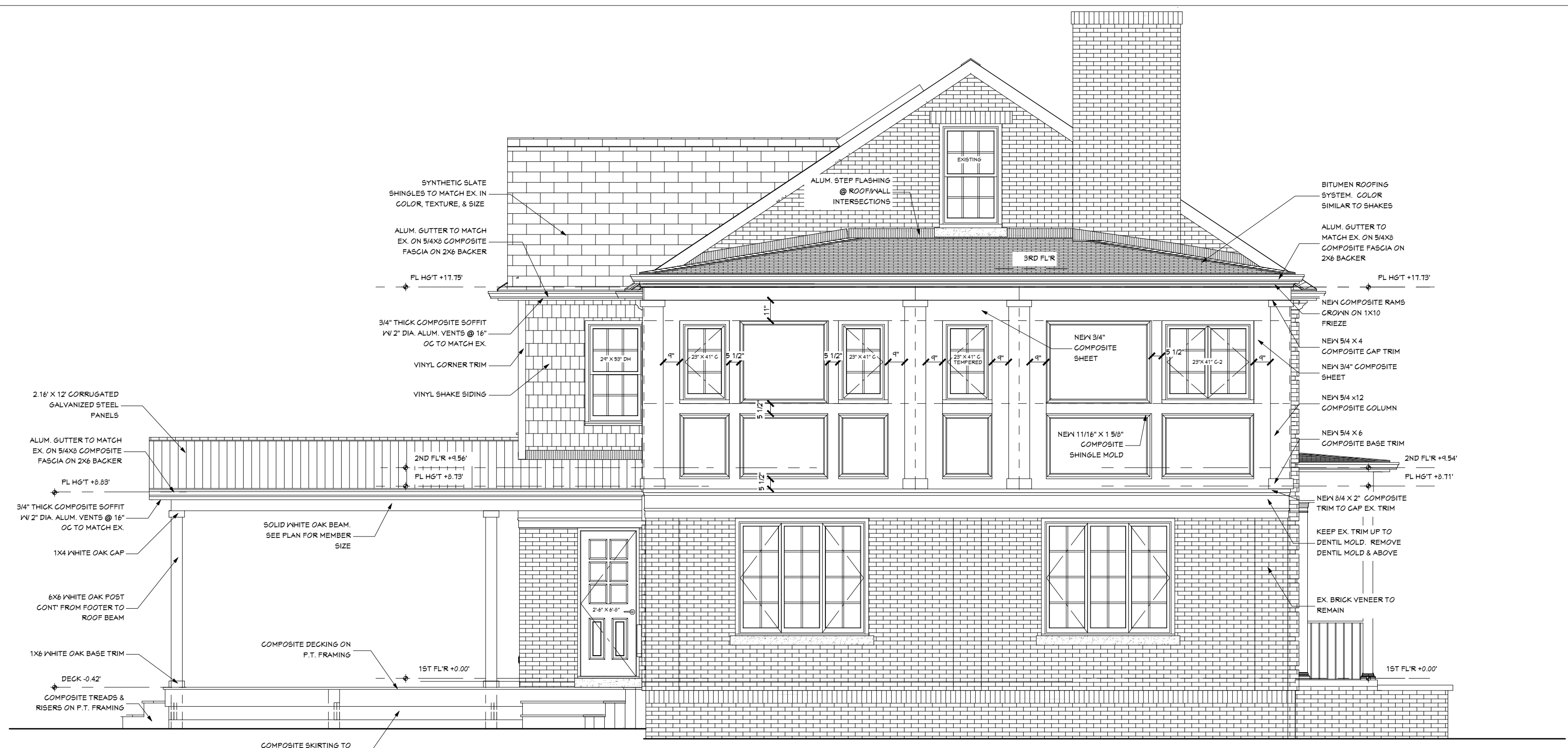
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SHEET NO.
A-1



LEFT ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

Job #	Print Date	
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Design Info		
Design Phase	D#	Date
Detail	1.4	09.21.21
Designer	trg	
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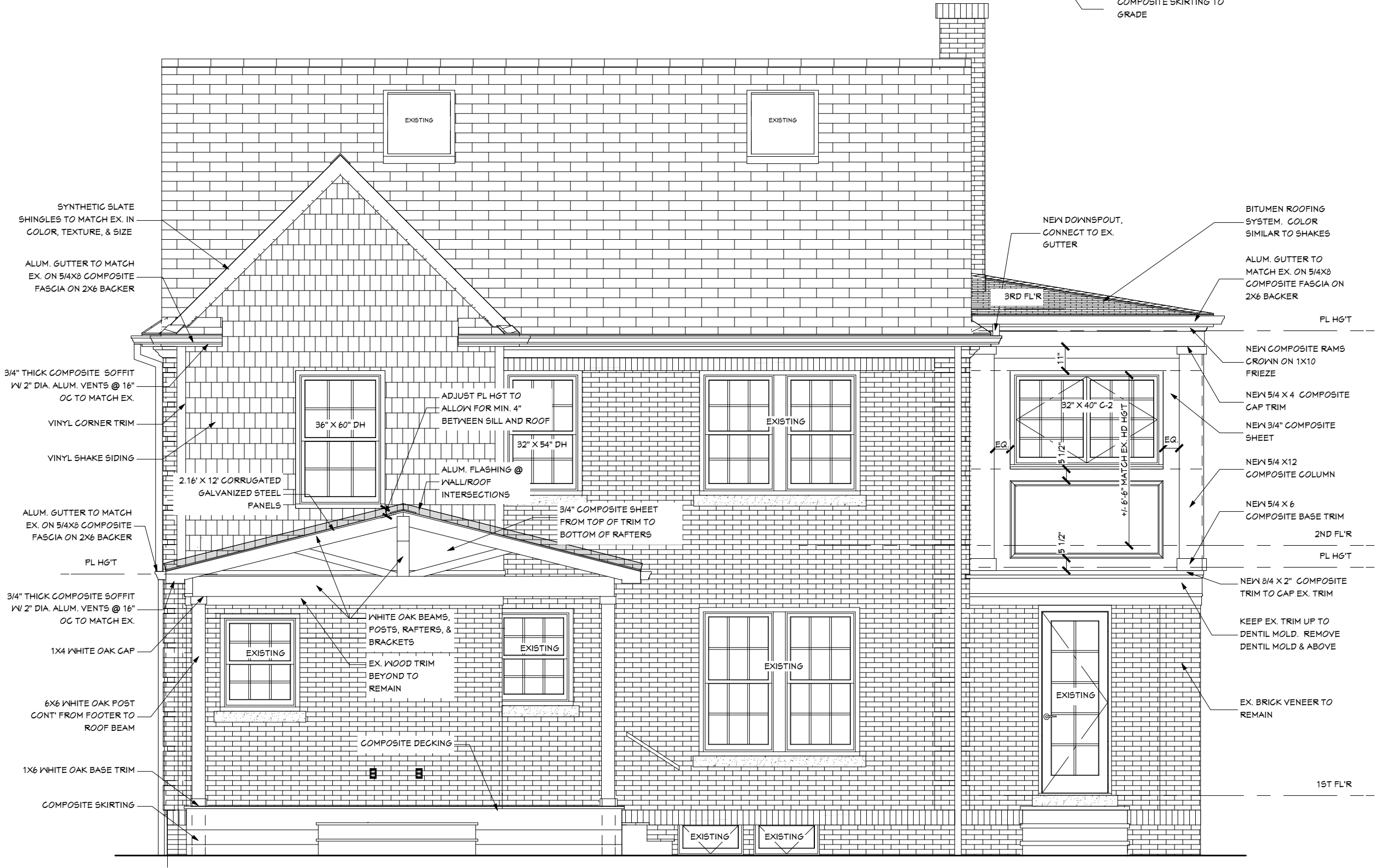
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1270 Burts Road
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SHEET NO.
A-8



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

Job #	Print Date
7434	9/20/2021
Design Info	
Design Phase	D# Date
Detail	1.4 09.21.21
Designer	trg
Client Initials	

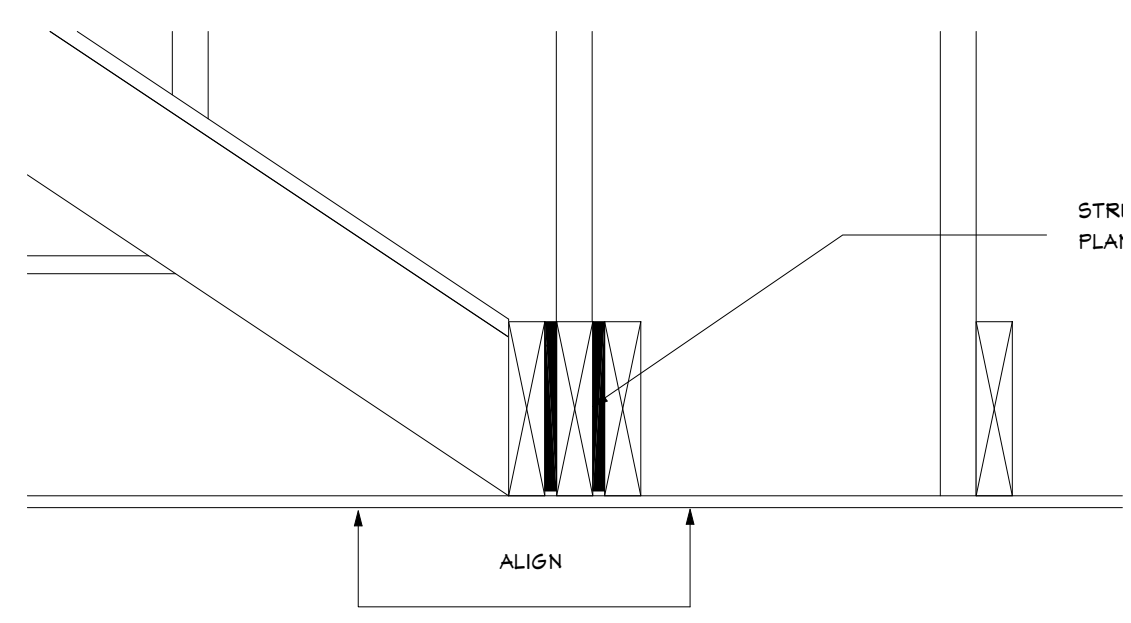
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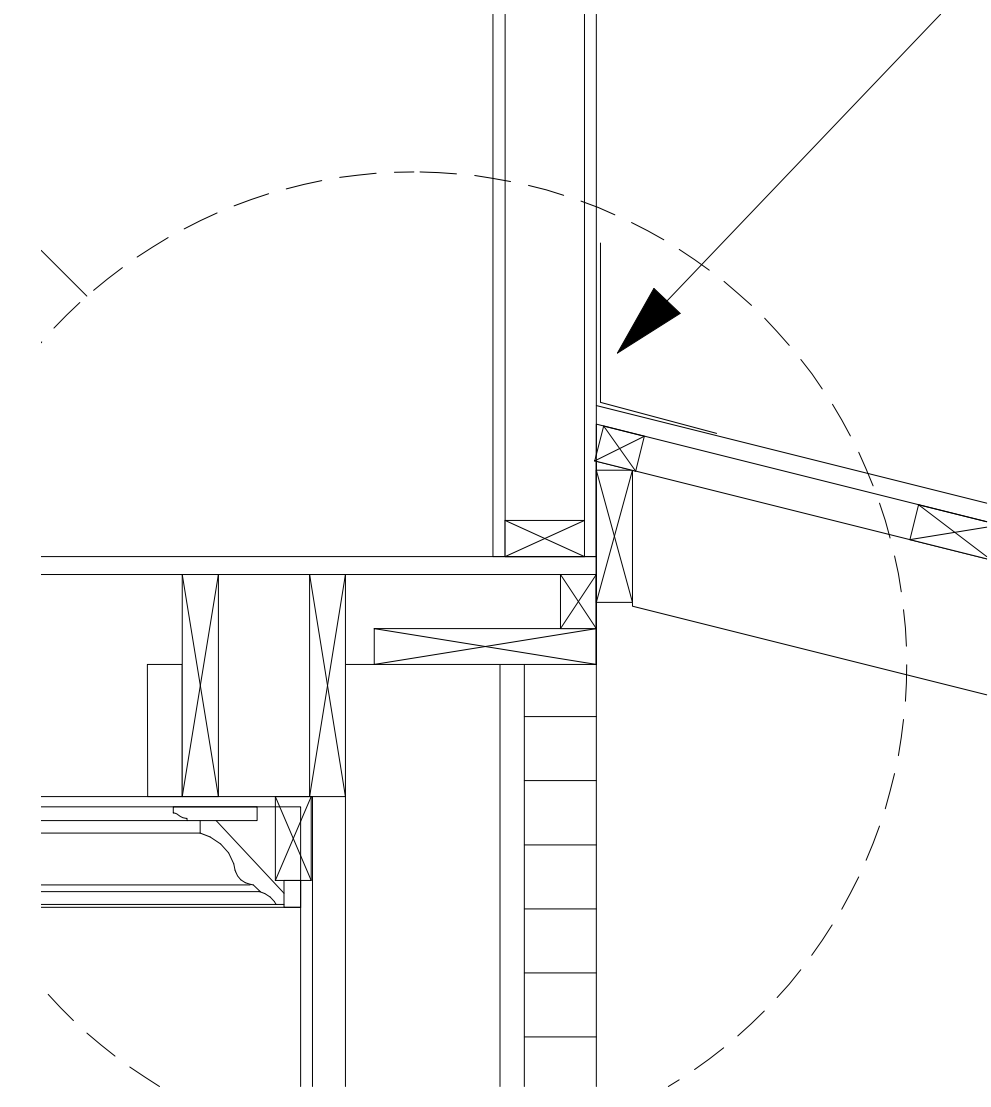
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1270 Burts Road
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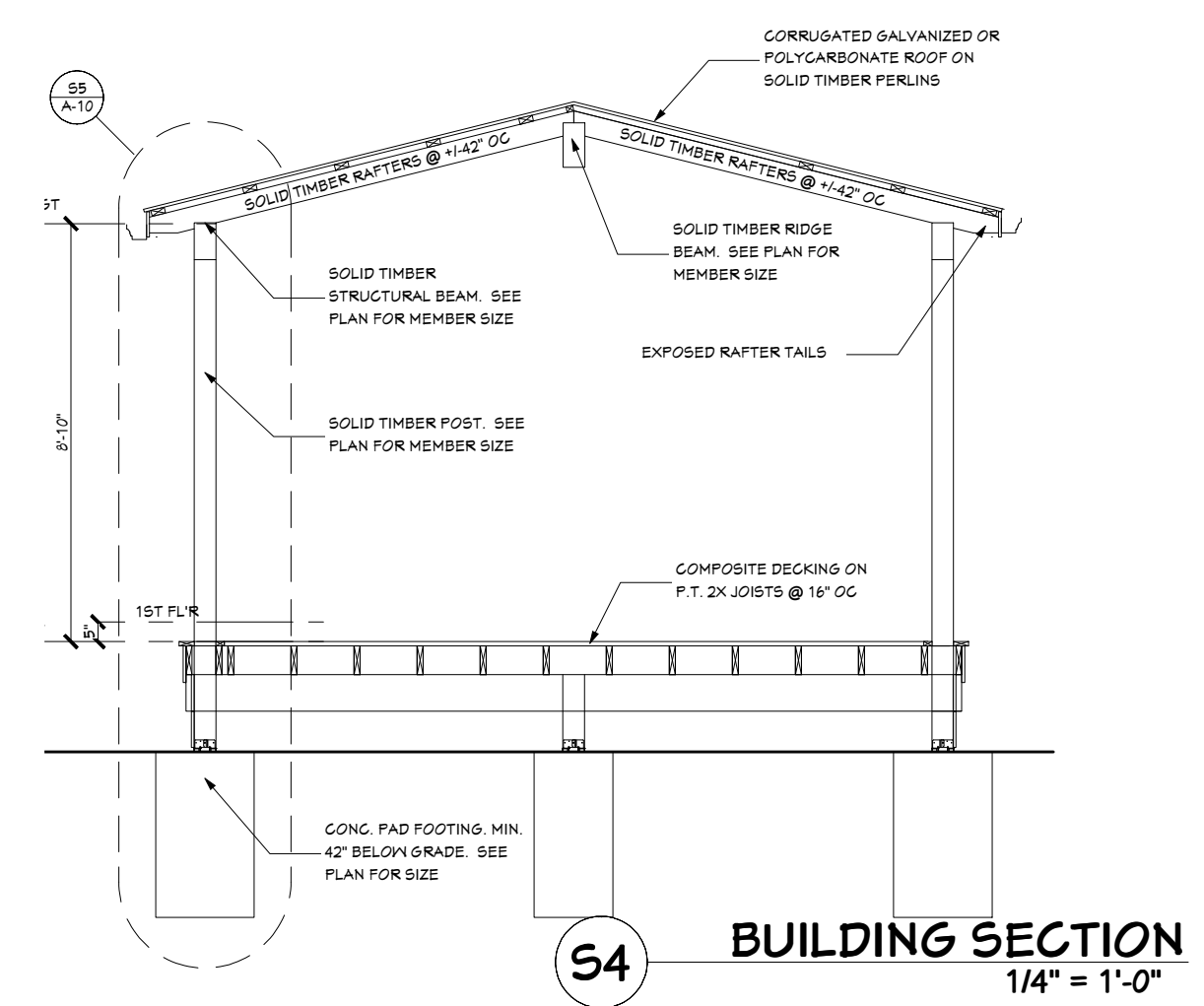
SHEET NO.
A-9



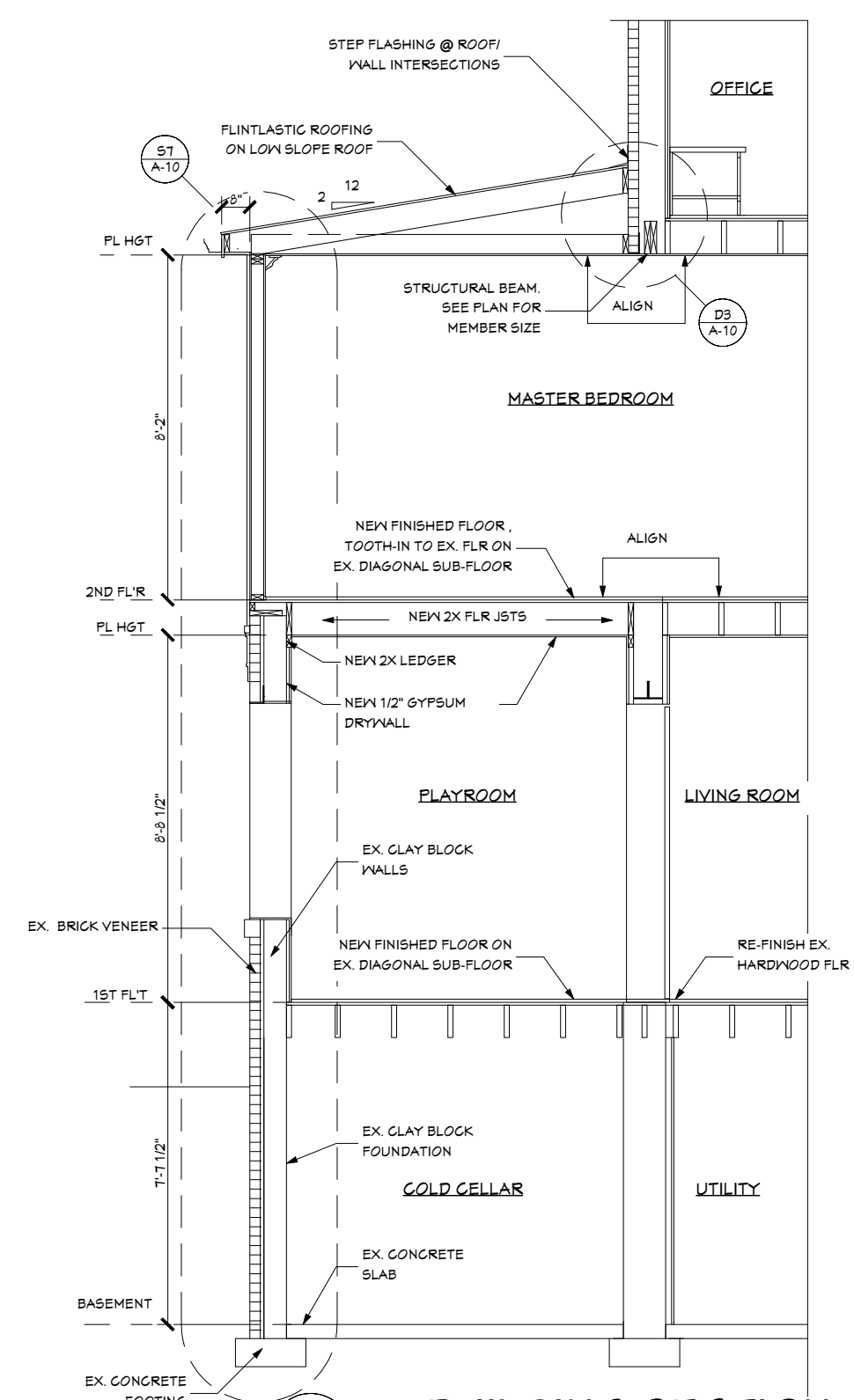
D1 **DETAIL**
1 1/2" = 1'-0"



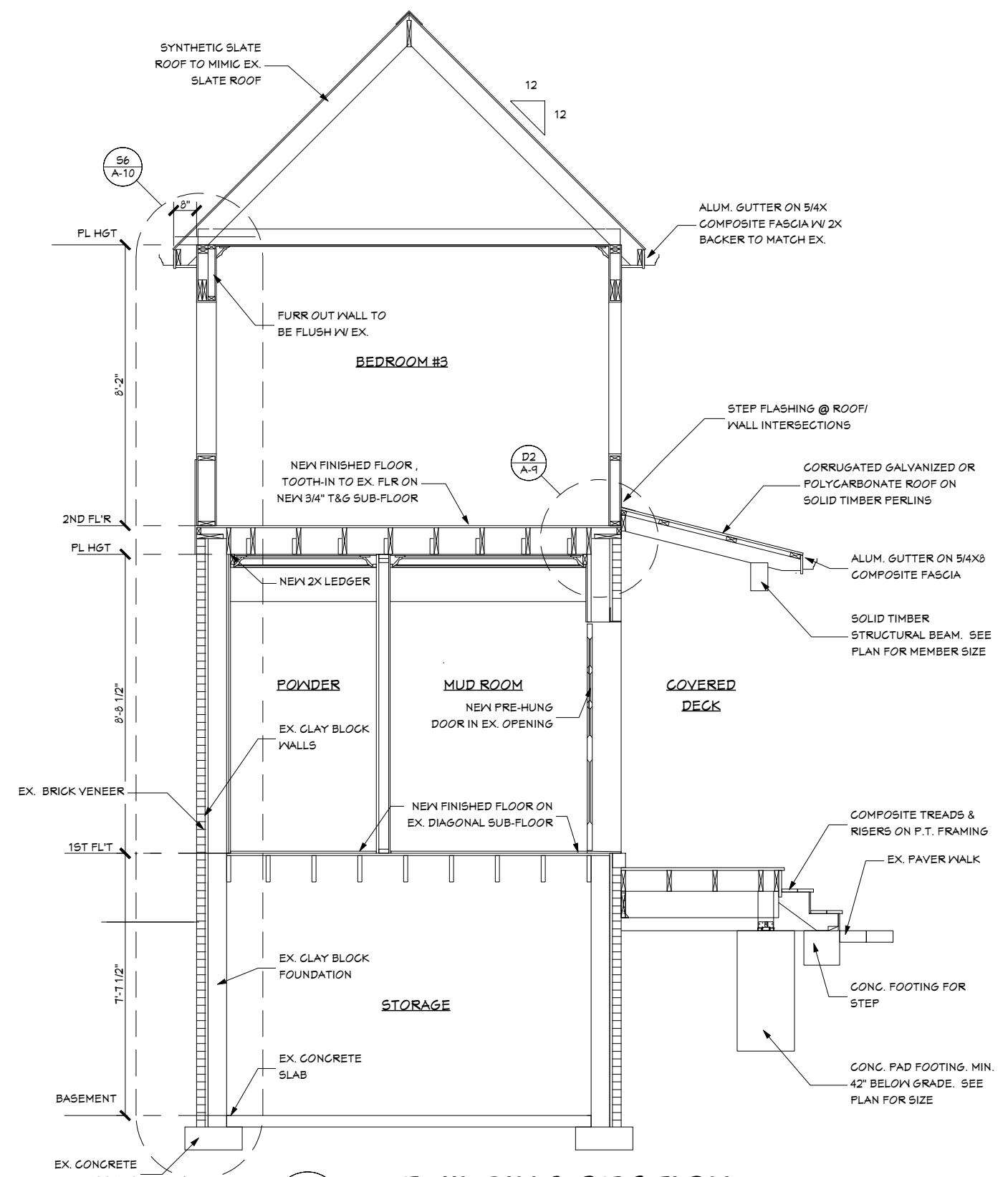
D3 **DETAIL**
1 1/2" = 1'-0"



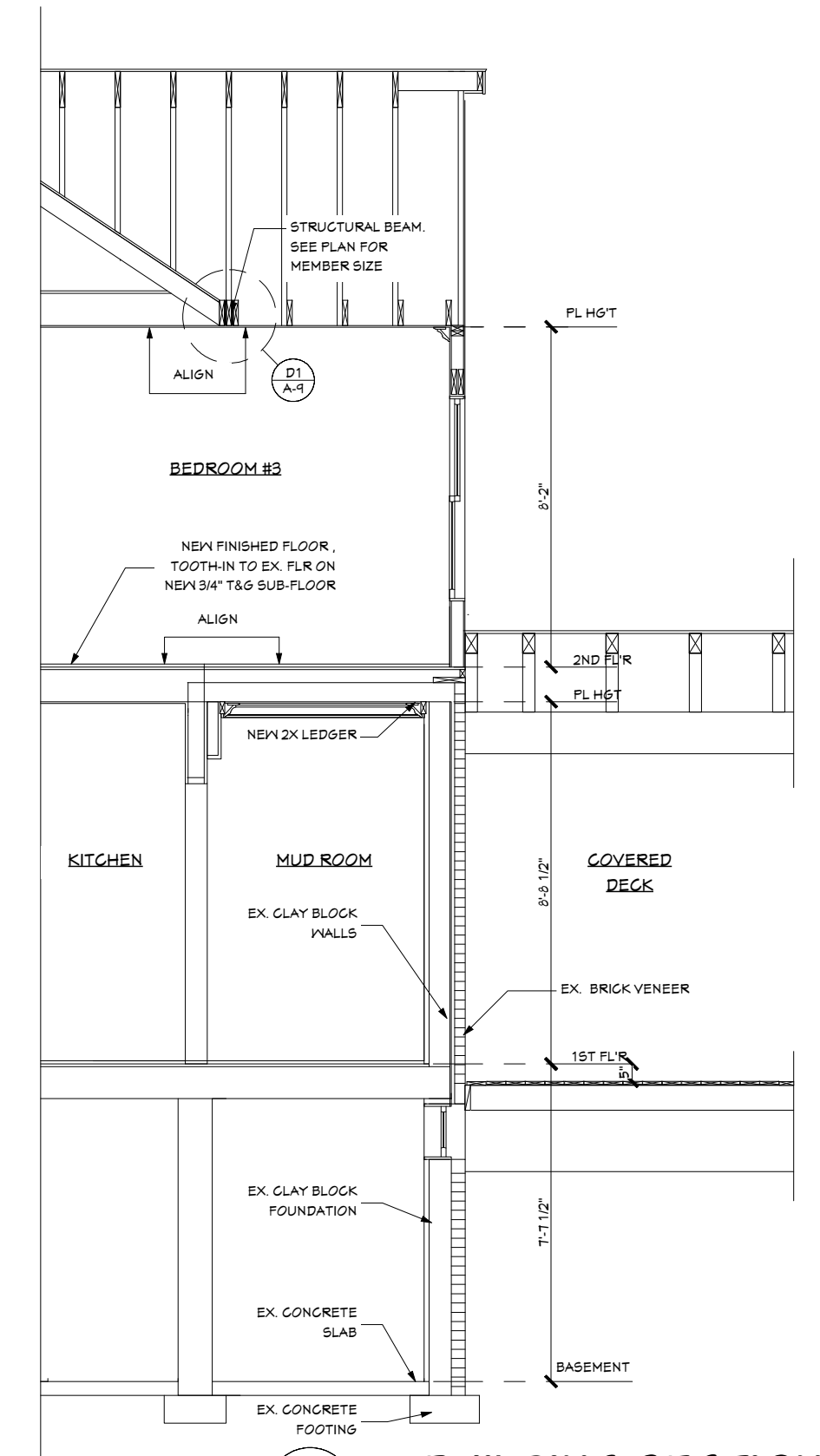
S4 **BUILDING SECTION**
1/4" = 1'-0"



S3 **BUILDING SECTION**
1/4" = 1'-0"



S2 **BUILDING SECTION**
1/4" = 1'-0"



S1 **BUILDING SECTION**
1/4" = 1'-0"

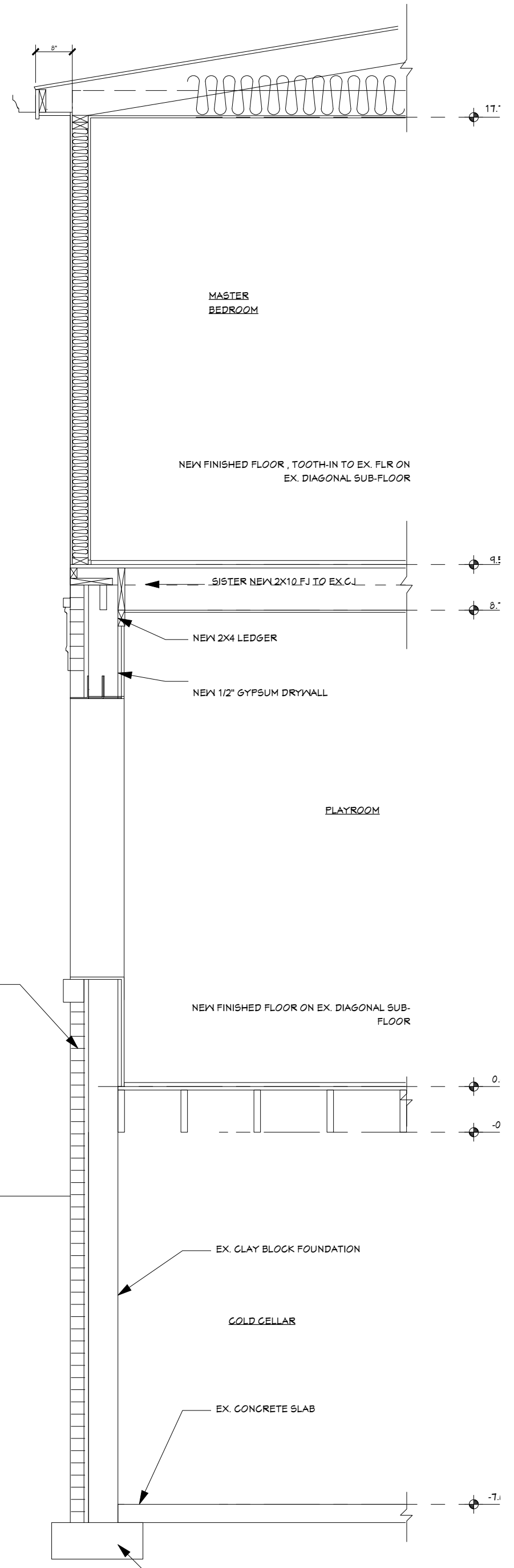
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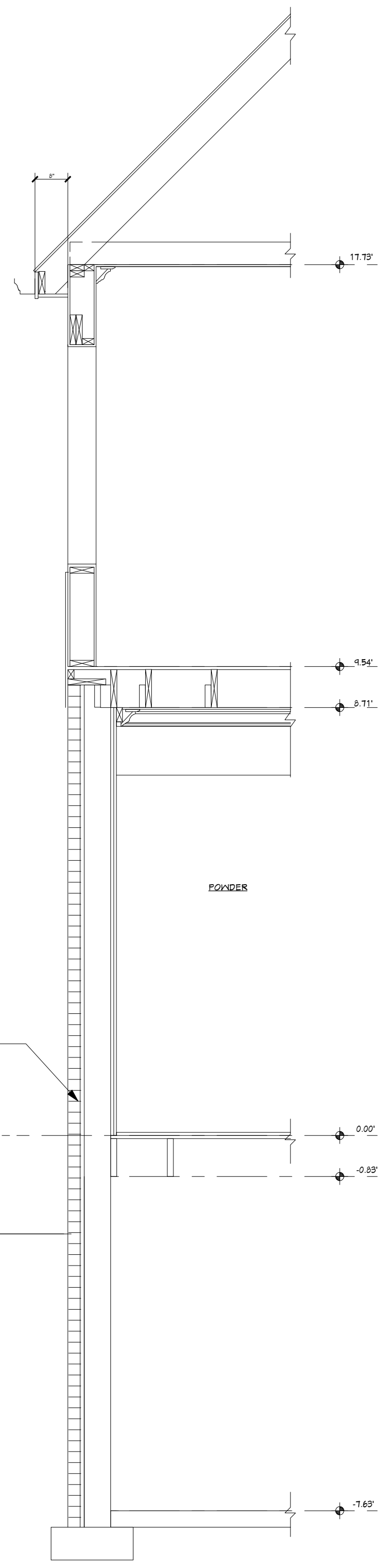


BOVE HAGAN RESIDENCE
Adam Bove & Margaret Hagan
1270 Burtis Road
Lakewood, OH 44107

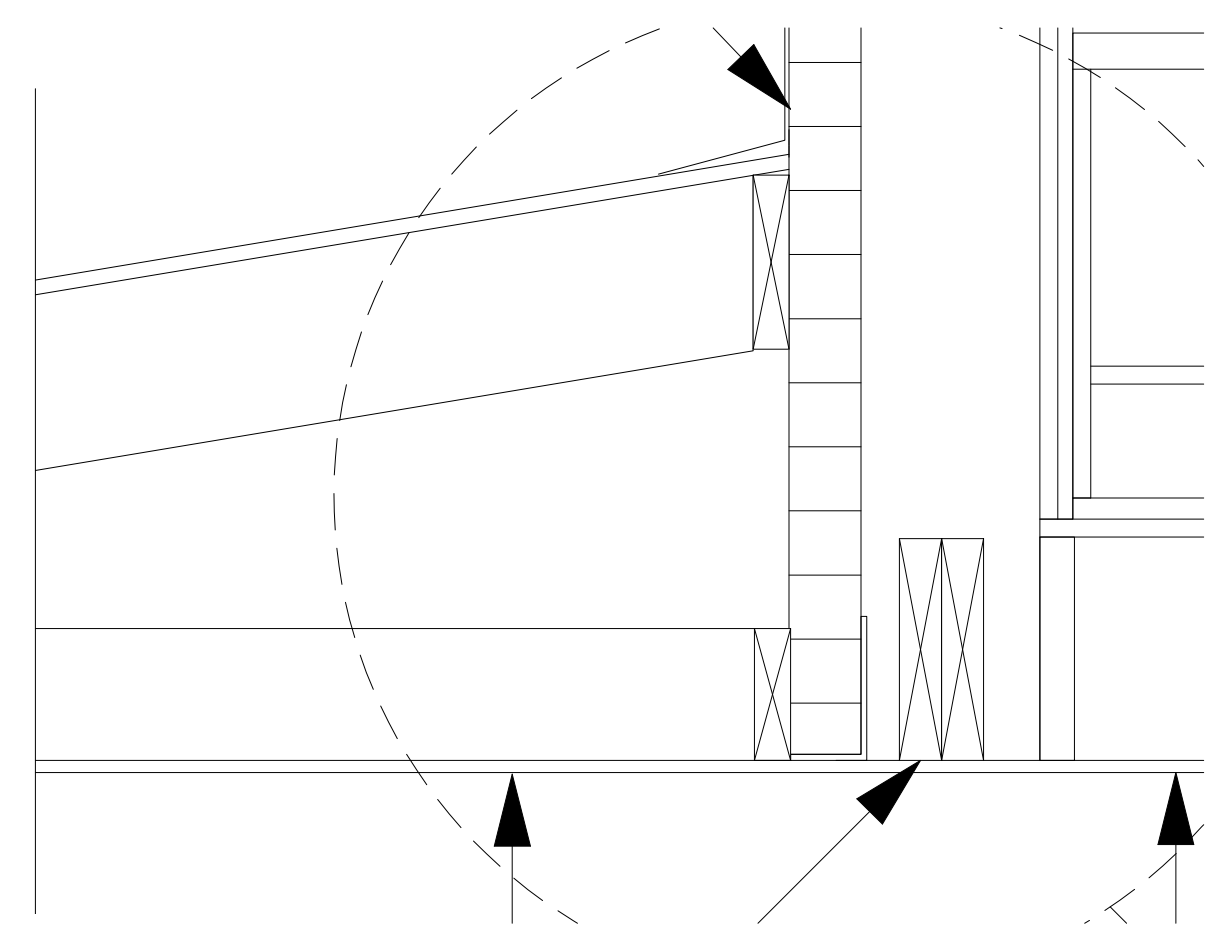
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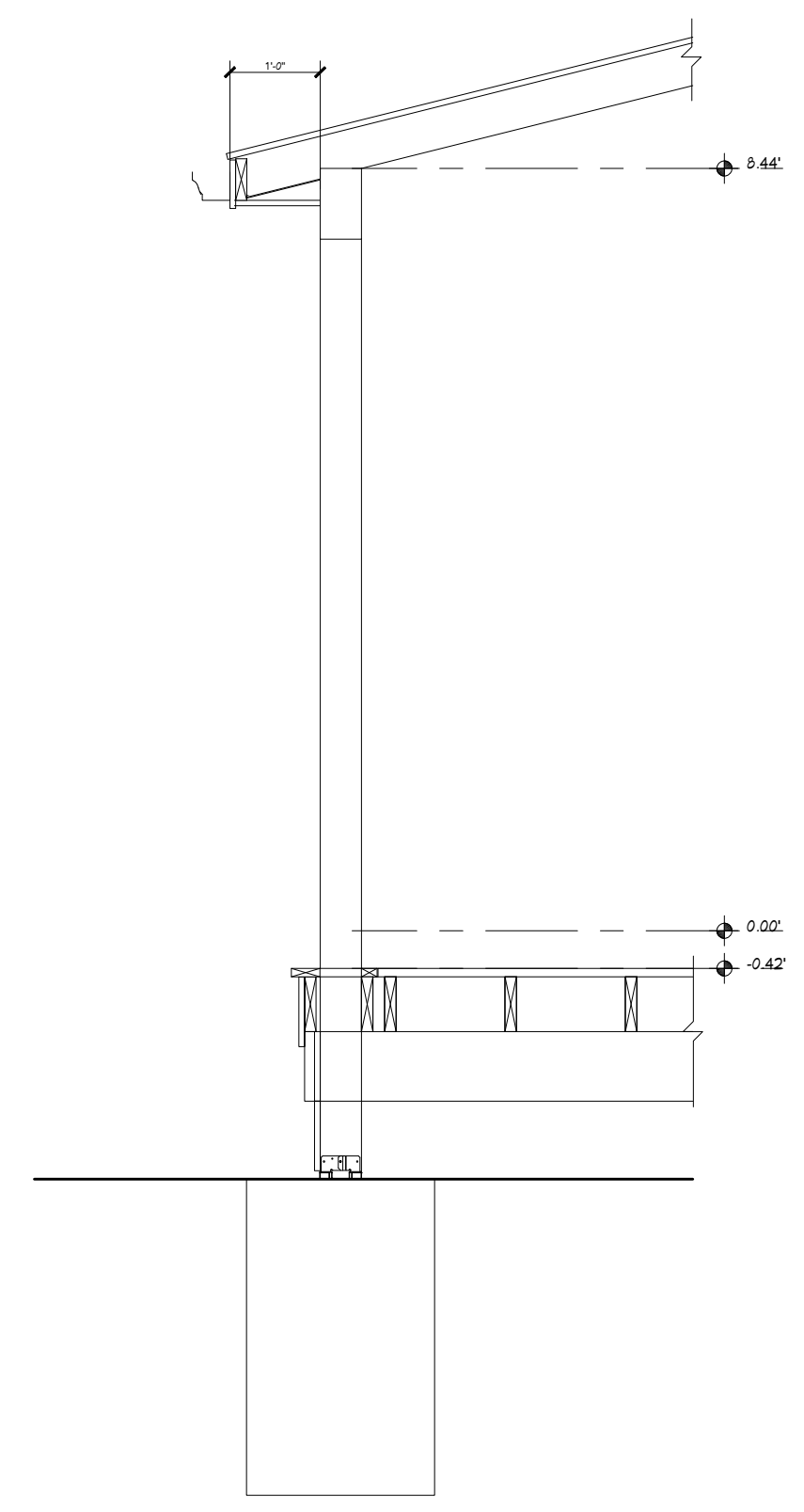
S7 WALL SECTION
1/2" = 1'-0"



S6 WALL SECTION
1/2" = 1'-0"



D3 DETAIL
1 1/2" = 1'-0"



S5 WALL SECTION
1/2" = 1'-0"

Design Loads

- Floor Live Loads:
 - First Floor: 40 psf
 - Second Floor: 30 psf
 - Floor Dead loads: 10 psf
- Roof Live Loads (snow): 30 psf
 Roof/Ceiling Dead loads: 12 psf
 Total Roof Loads: 42 psf

General Notes

- All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO For One-, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.
- All sub-contractors shall furnish a certificate of adequate liability and workman's compensation insurance.
- All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.
- The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design Build Remodel any errors, discrepancies, inconsistencies or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which The Sub-contractor would not warrant as required by The Contract Documents.
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MATERIAL DESIGN STRESSES (Minimum)				
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SAWN LUMBER				
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Wood joists	1000	130	1000	1,400,000
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See Drawings for special conditions and/or min. structural requirements
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Bolts: A307 unless noted otherwise

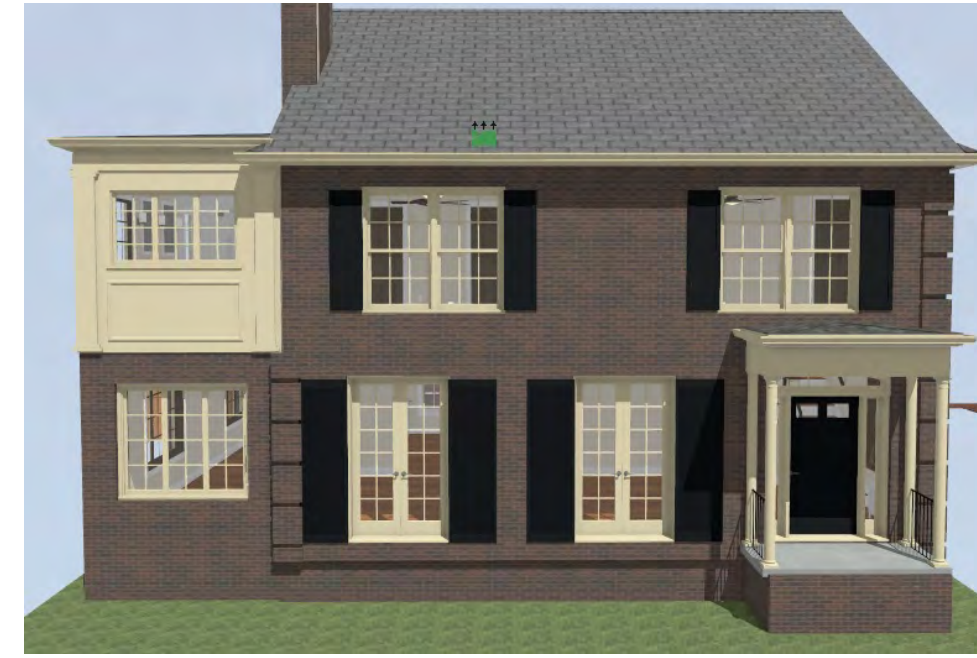
Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil

NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.

BOYE HAGAN RESIDENCE



Existing Front Elevation



Proposed Front Elevation



Existing Left Elevation



Proposed Left Elevation



Existing Rear Elevation



Proposed Rear Elevation



Existing Right Elevation



Proposed Right Elevation



Existing Pergola



Proposed Covered Deck

Project Description

The Project Scope includes adding a second floor master suite above the existing play room and extending bedroom #3 above the mudroom and power room. The first floor kitchen, mudroom, bath #1, and powder room will be completely remodeled. All existing hardwood floors will be re-finished to blend with new hardwood floors. A covered deck to the rear of the home will be added. All second floor windows, except at stair will be replaced. Exterior finishes on the second floor master bedroom addition will be smooth composite material to mimic a "sleeping porch". Exterior finish on bedroom #3 addition will be vinyl or LP smart shake. All existing exterior trim will be repainted to match the new window color. All new trim & siding will match the new window color. The roof of the master bedroom will be "Flintlastic" with a color to match the existing slate shingles. The roof of bedroom #3 will be synthetic slate to match the existing slate shingles. The covered deck will be constructed of solid white oak timbers and a corrugated galvanized or polycarbonate roof.

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Client Signature:	P.C. Signature:	SHEET NO.
Date:	Date:	

A-1

PRESENTATION VIEWS
 Not to Scale



Printed: Sep 20, 2021
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 Fax: 440-250-9641
 Phone: 440 234-5656





Selections Details

Job	Owner
Bove Hagan 7434 1270 Bunts Road Lakewood, OH 44107	Adam Bove & Margaret Hagan 1270 Bunts Road Lakewood, OH 44107 Phone: 513-235-3855 Adam Cell: 216-965-9697 Margaret

10-LOW SLOPE ROOF COVERING

Category:	10-Roof System	Due Date:	N/A
Location:	Master Suite Addition		

Choices

Choice	Description	Status/Alerts
 Flintlastic Roofing <small>COLONIAL SLATE</small>	MFR: Certainteed PRODUCT: Flintlastic SA Cap COLOR: Colonial Slate	 Unreleased
 GAF EnergyGuard Sloped Tapered Insulation	MFR: GFA STYLE: EnergyGuide Tapered Insulation MATERIAL: Foam SIZE: Slope is 2" per foot, each panel is 4'x4' NOTES: --10 "Q" and 6 "Q+2" boards are required for the project (see second picture in attachments for reference) Benefits of EnergyGuard™ Tapered Polyiso Foam Insulation include: <ul style="list-style-type: none"> • Properly designed and installed, EnergyGuard™ Tapered Polyiso Insulation Systems virtually eliminate ponding water • High thermal efficiency • Easily installed with mechanical fasteners, hot asphalt, or loose-laid in a ballasted system • Low point and letter codes are designated on each board • Engineering design board layouts are available from your plans and field verified dimensions <u>Tapered Insulation Roof</u> <ol style="list-style-type: none"> 1. Install Tapered Insulation Roof Panels 2": 12 slope. 2. Fasten with mechanical fasteners. 3. Install fully adhered EPDM Rubber Roof over 1/2" OSB Roof Sheath 	 Unreleased



Custom Fields

Selection Status: N/A

10-SYNTHETIC SLATE SHINGLES

Category: 10-Roof System **Due Date:** N/A
Location: Rear Addition

Choices

Choice	Description	Status/Alerts
 <p>Brava Old World Slate</p>	<p>MFR: Brava Old World Slate SIZE: 23 3/8" x 12 1/4" EXPOSURE: 10" COLOR: Light Arendale Slate or Cottage NOTE: Match existing slate as close as possible</p>	 Unreleased









Custom Fields

Selection Status: N/A

11-ROYAL SHEET SIDING

Category: 11-Siding **Due Date:** N/A
Location: Master Suite Addition

Choices

Choice	Description	Status/Alerts
 <p>3/4" Royal Sheets</p>	<p>MFR: Royal Building Products MODEL: Sheet Board 3/4" x4 FINISH:Traditional SIZE: 3/4" x 4' x 8', 10', 12', 18', 20' NOTE: Paint to match trim</p>	 Unreleased
 <p>Royal Rake Mould</p>	<p>MFR: Royal Building Products MODEL: Rake Mould, RM287-WM287 FINISH:Traditional SIZE: 1 1/6" x 2" x 12', 16 NOTE: Paint to match trim</p>	 Unreleased
 <p>Royal Rams Crown</p>	<p>MFR: Royal Building Products MODEL: Rams Crown, 7158 FINISH:Traditional SIZE: 1 3/8 x 2 1/16" x 12', 16 NOTE: Paint to match trim</p>	 Unreleased
 <p>Royal-7837 S4S Trimboard</p>	<p>MFR: Royal Building Products PRODUCT: \$\$\$ Trimboard MODEL:7837 SIZE: 3/4" x 9 1/4" NOTE: Paint to match trim</p>	 Unreleased



Custom Fields

Selection Status: N/A

11-SHUTTERS

Category: 11-Siding **Due Date:** N/A
Location: Unassigned

Choices

Choice	Description	Status/Alerts
 <p>Standard Raised Panel Shutter</p>	<p>MFR: Mid America MODEL: Raise Panel FINISH: Black SIZE:Widths:14 1/2" for windows, 18" for doors Lengths: 53" for windows, 90" for doors</p>	 Unreleased





Custom Fields
Selection Status: N/A

11-SIDING

1. Install house wrap vapor barrier under new siding material.
2. Install siding to the areas noted in the design drawings..
3. Locations:
 - o Second floor bedroom addition
 - o

Category: 11-Siding **Due Date:** N/A
Location: Unassigned

Choices

Choice	Description	Status/Alerts
 <p>Certainteed Northwoods Shingle Midnight blue</p>	<p>MANUFACTURER: Certainteed STYLE: Northwoods SIZE: Single 7" Straight Edge Perfection Shingles COLOR:TBD</p>	 Unreleased
 <p>Lp Smartside Diamond Kote</p>	<p>MANUFACTURER: LP Smartside, Diamond Kote Building Product MODEL: 7" Rigidshake straight edge shake siding STYLE: Vivid Refresh Textured SIZE: .315" thick x 7" high x 48.5" long COLOR: TBD</p>	 Unreleased





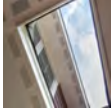

Custom Fields
Selection Status: N/A

11-SOFFIT

1. Install soffit to the areas noted in the design drawings.
2. Locations:
 - o Addition and tie into the existing-Aerated
 - o Covered Deck Ceiling- Solid

Category: 11-Siding **Due Date:** N/A
Location: Exterior

Choices

Choice	Description	Status/Alerts
 <p>Alside Charter Oak Hidden Aerated Soffit</p>	<p>MFR: Alside PROFILE: Hidden Aerated Soffit EXPOSURE: Triple 3-1/3" TEXTURE: Finely Textured Matte Finish COLOR: Glacier White</p>	 Unreleased
 <p>Alside Charter Oak Solid Soffit</p>	<p>MFR: Alside PROFILE: Solid Soffit/Vertical Siding SIZE: Exposure: Triple 3-1/3", 3/4" projection, .042" thickness TEXTURE: Finely Textured Matte Finish COLOR: Glacier White</p>	 Unreleased
 <p>LP Smartside Diamond Kote Soffit</p>	<p>MFR: LP Smartside STYLE: Diamond Kote COLOR: TBD SIZE: 8" Soffit vented & solid for second floor additions SIZE: 12" Soffit solid for covered deck addition.</p>	 Unreleased

Custom Fields
<p>Selection Status: Presentation Ready</p>

12-EXTERIOR DOORS

1. Install weather flashing underlayment around the perimeter of the units and on the opening .
2. Insulate the jambs to the rough openings.
3. The exterior of the unit will have applied brickmold.
4. The interior of the unit will have new casing and custom extension jamb.
5. Schedule:



Location	Qty	Type	Finish	Size	Hand	Jamb Size	Style	Hinges	Hardware	Notes
Mud Room Entry	1	Pre-hung	Smooth	3068	LH	4-5/8"	9 light	Oil Rubbed Bronze	Oil Rubbed Bronze Key lock & Deadbolt	

Category: 12-Windows & X-doors

Due Date: N/A

Location: Unassigned

Choices

Choice	Description	Status/Alerts
 <p>Therma- Tru Smooth Star Half Lite 2 Panel Door</p>	<p>MFR: Therma-Tru STYLE/MODEL: Profiles/ Half Lite 2 Panel Flush/Style No. S262HD-SDL EXTERIOR FINISH: Primed INTERIOR FINISH: Primed HARDWARE PREP/KEYING: Key & Deadbolt GRILLES: Colonial 9 Lite 3Wx 3H GRILLE STYLE: Simulated Divided Lites JAMB TYPE: 4 9/16" SILL: Mill HINGES: Oil Rubbed Bronze KICK PLATE: No LOCATIONS: Exterior Mud Room NOTE: Include exterior Brickmold</p>	 Price TBD

Custom Fields
Selection Status: N/A

12-WINDOWS

1. Install weather flashing underlayment around the perimeter of the units and on the opening.
2. Install weather flashing tape to the nail flange for all new construction window applications, unless noted otherwise.
3. Insulate the jambs to the rough openings.
4. The exterior of the unit will be trimmed with applied brickmould.
5. The interior of the unit will be trimmed with new casing, unless noted otherwise, and custom wood extension jambs @ all masonry openings.
6. Window Schedule:





Location	Qty	Type	R.O.Size	Interior finish	Exterior Finish	Jamb Size	Glass	Grilles	Hardware	Replacement or New Construction	No
Bedroom #1	2	Double Hung	32" x 53"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional	Cam Lock	New construction NO nail fins	Inc Ext Bri
Bedroom #4	3	Double Hung	32" x 53"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional	Almond	New Construction NO nail fins	Inc ext bric
Bedroom #3	1	Double Hung	32" x 53"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional	Almond	New Construction NO nail fins	Inc ext bric
Bedroom #3	2	Double Hung	29" x 53"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional	Almond	New Construction with nail fins	Inc ext bric
Bedroom #3	1	Double Hung	37" x 59"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional	Almond	New Construction with nail fins.	Inc ext bric
Bath #1	1	Casement	32" x 53"	White Fiberglass	Almond	4-5/8"	Tempered Low E Argon	Traditional	Almond	New Construction NO nail fins	Inc ext bric
Master Closet	1	Double Hung	32" x 53"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional	Almond	New Construction NO nail fins	Inc ext bric
Master Bedroom	1	Double Hung	32" x 53"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional	Almond	New Construction NO nail fins	Inc ext bric
Master Bedroom	1	Triple Casement	69" x 41"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional		New Construction w/ nail fins	Inc ext bric
Master Bedroom	2	Single Casement	23" x 41"	Unfinished	Almond	4-5/8"	Low E Argon	Traditional		New Construction w/ nail fins	Inc ext bric
Master Shower	1	Single Casement	23" x 41"	White Fiberglass	Almond	4-5/8"	Tempered Low E Argon	Traditional		New Construction w/ nail fins	Inc ext bric
Master Bath	1	Double Casement	46"x 41"	Unfinished	Almond	4-5/8"	Tempered Low E Argon	Traditional		New Construction w/ nail fins	Inc ext bric
Master Bath	1	Triple Casement	69" x 41"	Unfinished	Almond	4-5/8"	Tempered Low E Argon	Traditional		New Construction w/ nail fins	Inc ext bric

Category: 12-Windows & X-doors
Location: Unassigned

Due Date: N/A

Choices

Choice	Description	Status/Alerts
 <p>Marvin Signature Ultimate Collection Casement</p>	<p>MFR: Marvin SERIES:Signature Ultimate Collection INTERIOR FINISH: Unfinished EXTERIOR FINISH:Cashmere or Sierra White HARDWARE: Antique Brass GRILLE STYLE: Simulated Divided Lite w/ spacer bar GRILLE PATTERN:Traditional GLASS:Dual Pane Low-E with Argon SCREEN:Full Screen NOTE: Include exterior brickmold</p>	 Unreleased
 <p>Marvin Signature Ultimate Collection Double Hung</p>	<p>MFR: Marvin SERIES:Signature Ultimate Collection INTERIOR FINISH: Unfinished EXTERIOR FINISH:Cashmere or Sierra White HARDWARE: Antique Brass GRILLE STYLE: Simulated Divided Lite w/ spacer bar GRILLE PATTERN:Traditional (both sashes) GLASS:Dual Pane Low-E with Argon SCREEN:Full Screen NOTE: Include exterior brickmold</p>	 Unreleased
 <p>Pella Architect Series Casement Window</p>	<p>MFR: Pella SERIES: Architect MATERIAL: Enduraclad Exterior, Pine Interior INTERIOR FINISH: Unfinished EXTERIOR FINISH: Almond HARDWARE: Antique Brass HARDWARE STYLE: Antiek fold away GRILLE PATTERN:Traditional GRILLE STYLE: 7/8" Ogee Intergral Light Technology GRILLE INTERIOR FINISH: White GRILLE EXTERIOR FINISH: Almond GLASS: Low E with Argon SCREEN: In-View NOTE: Include exterior brickmold</p>	 Unreleased
 <p>Pella Architect Series Double Hung Window</p>	<p>MFR: Pella SERIES: Architect Double Hung MATERIAL: Enduraclad Exterior, Pine Interior INTERIOR FINISH: Unfinished EXTERIOR FINISH: Almond HARDWARE: Antique Brass HARDWARE STYLE: Spook Style & Sash Lift GRILLE PATTERN:Traditional (both sashes) GRILLE STYLE: 7/8" Ogee Intergral Light Technology GRILLE INTERIOR FINISH: White GRILLE EXTERIOR FINISH: Almond GLASS: Low E with Argon SCREEN: In-View NOTE: Include Exterior brickmold</p>	 Unreleased

Choice	Description	Status/Alerts
 <p>Pella Lifestyle Series Casement Window</p>	<p>MFR: Pella SERIES: Lifestyle MATERIAL: Enduraclad Exterior, Pine Interior INTERIOR FINISH: Unfinished EXTERIOR FINISH: Almond HARDWARE: Oil Rubbed Bronze HARDWARE STYLE: Standard fold away GRILLE PATTERN: Traditional GRILLE STYLE: Simulated Divided Light w/ spacer GRILLE INTERIOR FINISH: White GRILLE EXTERIOR FINISH: Almond GLASS: Low E with Argon SCREEN: In-View</p>	 Unreleased
 <p>Pella Lifestyle Series Double Hung Window</p>	<p>MFR: Pella SERIES: Lifestyle MATERIAL: Enduraclad Exterior, Pine Interior INTERIOR FINISH: Unfinished EXTERIOR FINISH: Almond HARDWARE: Oil Rubbed Bronze HARDWARE STYLE: Cam-action Lock GRILLE PATTERN: Traditional (both sashes) GRILLE STYLE: Simulated Divided Light w/ spacer GRILLE INTERIOR FINISH: White GRILLE EXTERIOR FINISH: Almond GLASS: Low E with Argon SCREEN: Full, In-View</p>	 Unreleased

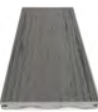

Custom Fields
Selection Status: N/A

13-DECKING

1. Install new decking to the areas noted in the design drawings.
2. Locations:
 - o On new covered deck
 - o On treads & riser on playroom steps

Category: 13-Decks & Porches **Due Date:** N/A
Location: Exterior

Choices

Choice	Description	Status/Alerts
 <p>TimberTech Pro Terrain Collection</p>	<p>MFR: TimberTech COLORS: Brown Oak/ Rustic elm/ Sandy Birch/ Silver Maple/ Stone Ash</p>	 Unreleased

Custom Fields
Selection Status: N/A

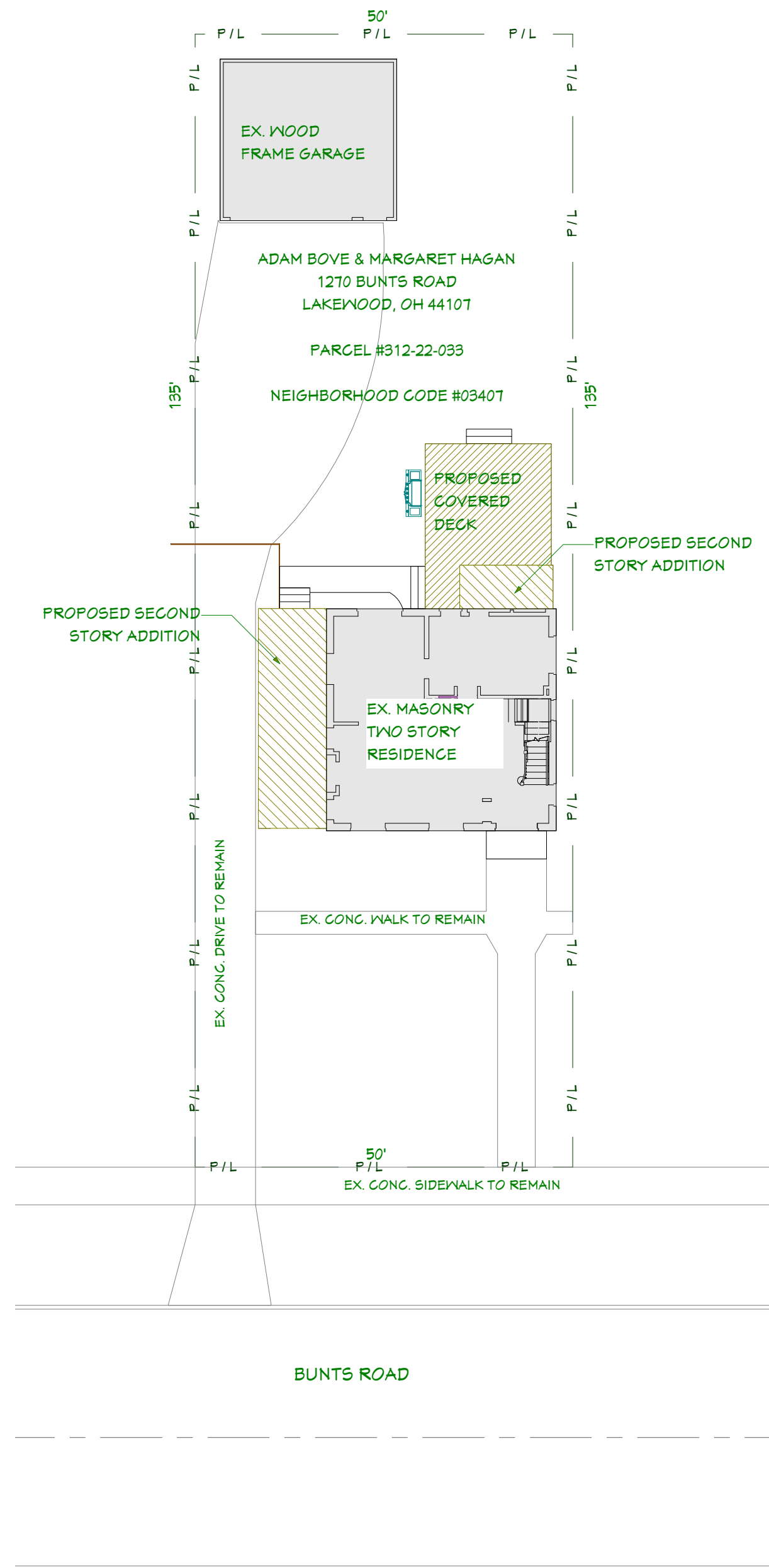
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Approved By: _____

Date: _____



G.I.S. SITE PLAN
Not to Scale



ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

Job #	Print Date	
7434	9/20/2021	
Design Info		
Design Phase	D#	Date
Detail	1.4	09.21.21
Designer	trg	
Client Initials		

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Westlake, Ohio 44145
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BOVE HAGAN RESIDENCE

Adam Bove & Margaret Hagan
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Lakewood, OH 44107

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Application Cover Page

Docket No.: 10-140-21

Permit No.: BBS21-000172

Applicant Name: David Maniet, Maniet Architects LLC

Project Address: 15023 Madison Ave.

Project Name: The Evelyn

Project: Applicant proposes storefront renovation.



THE EVELYN

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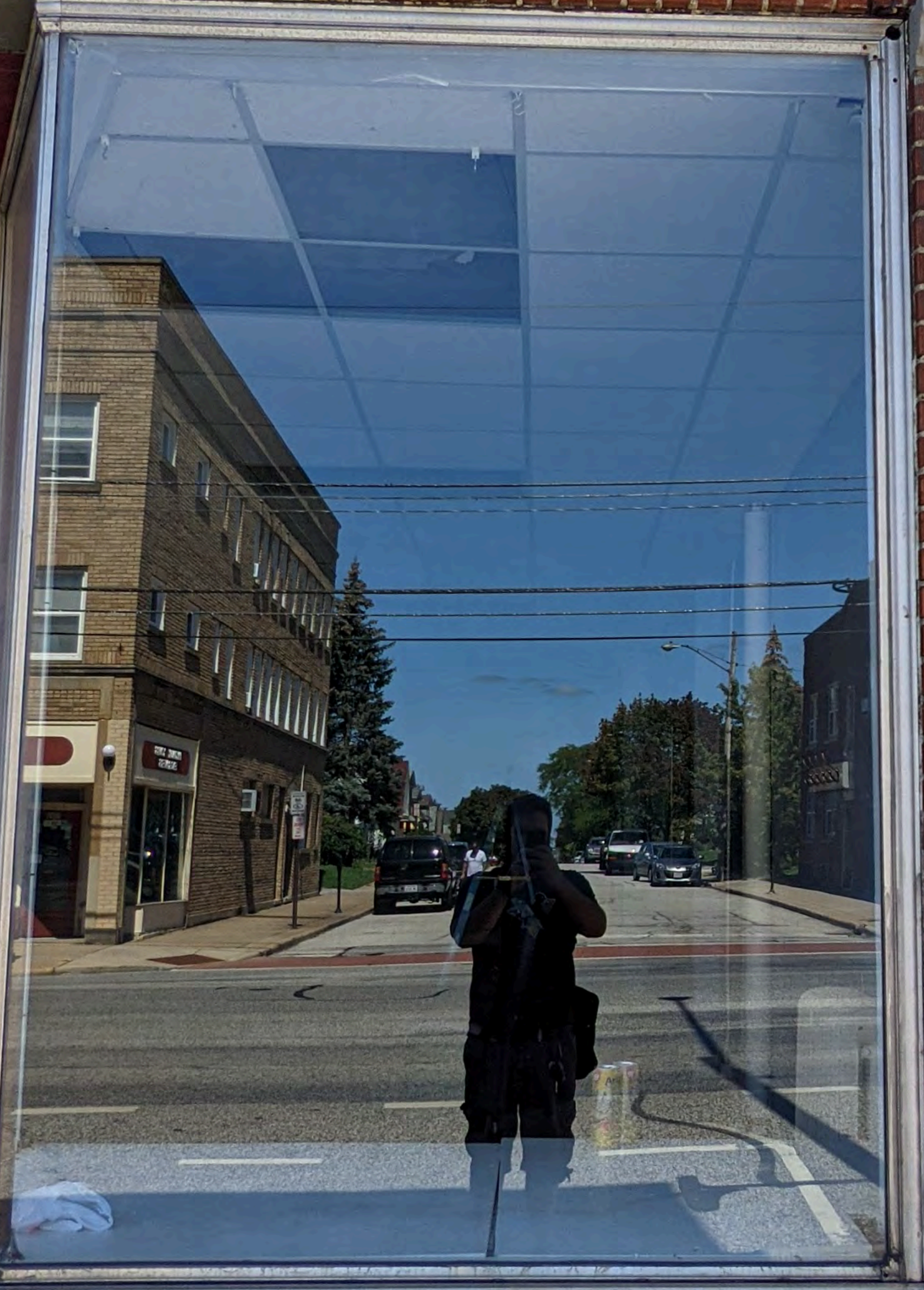


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SHELL
ON PRODUCTS

WATSONTOWN BRICK
THOMAS BRICK
VERTICAL SOLID
218-219
Type 1 Standard



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DZD 5713



THE EVELYN

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RECYCLED PAPER

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15023

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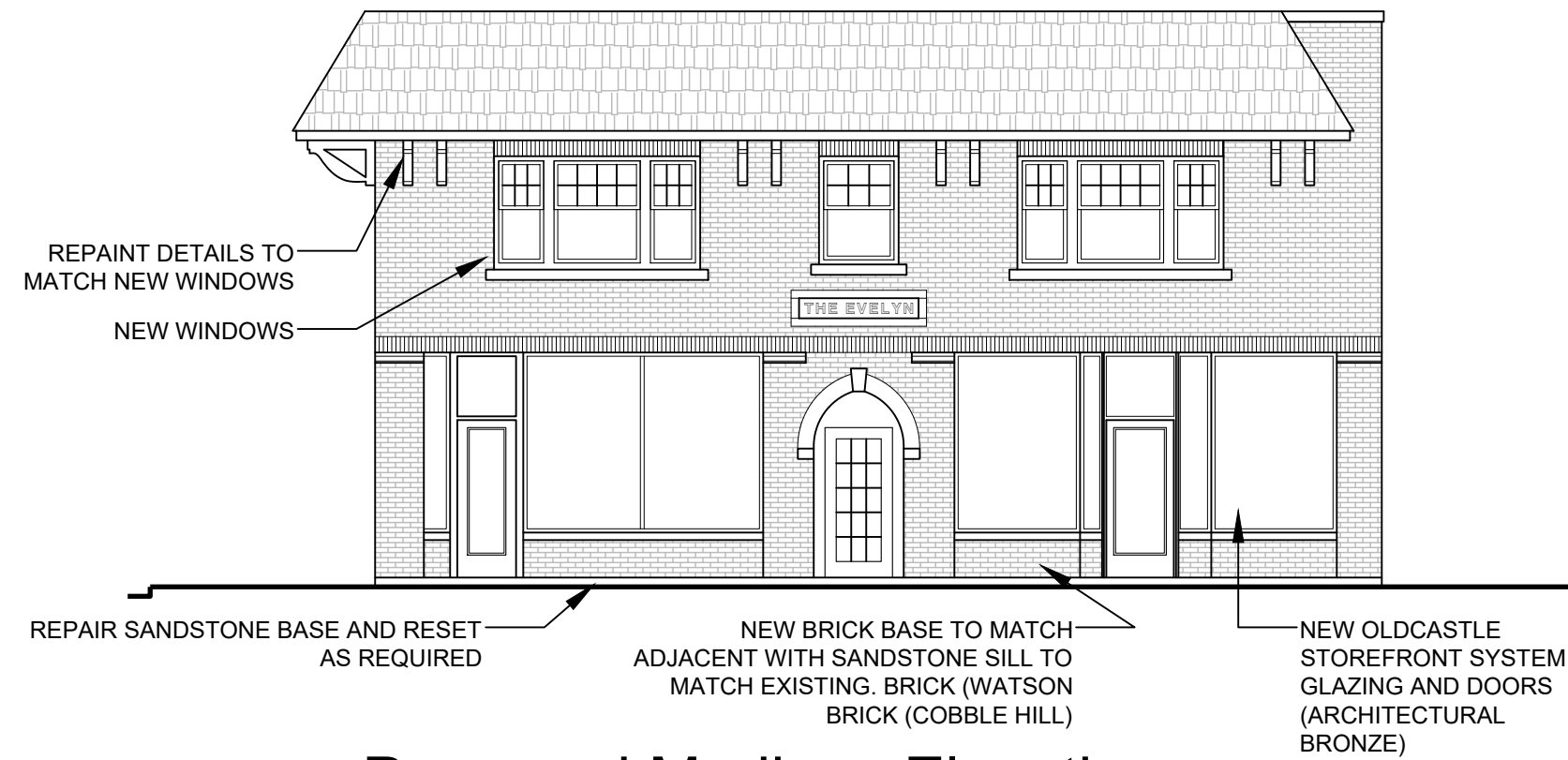


THE EVELYN



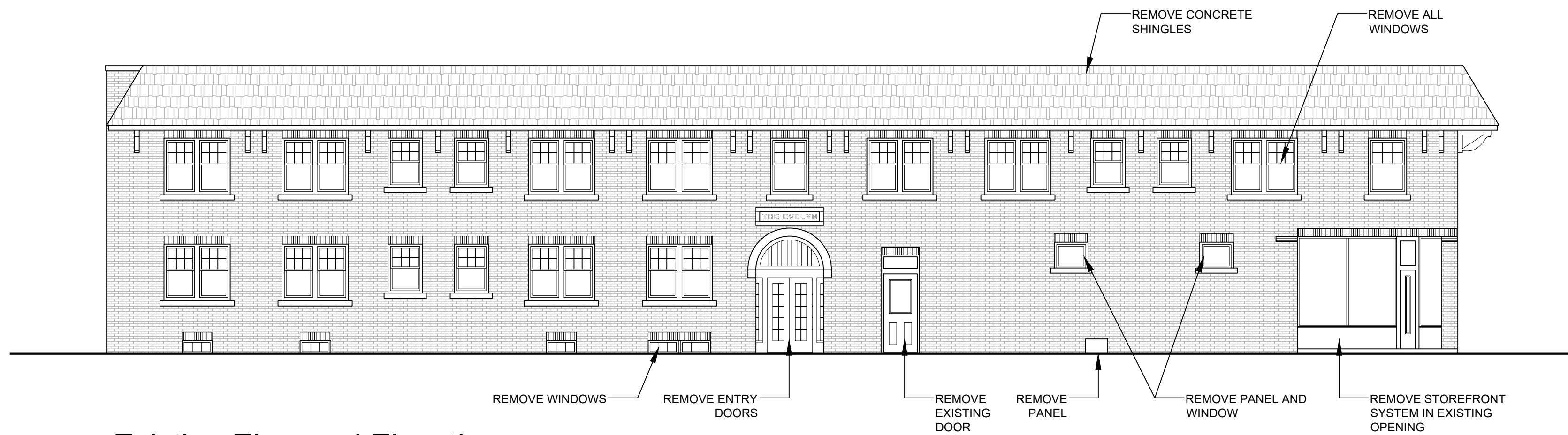
Existing Madison Elevation

1/8" = 1'-0"



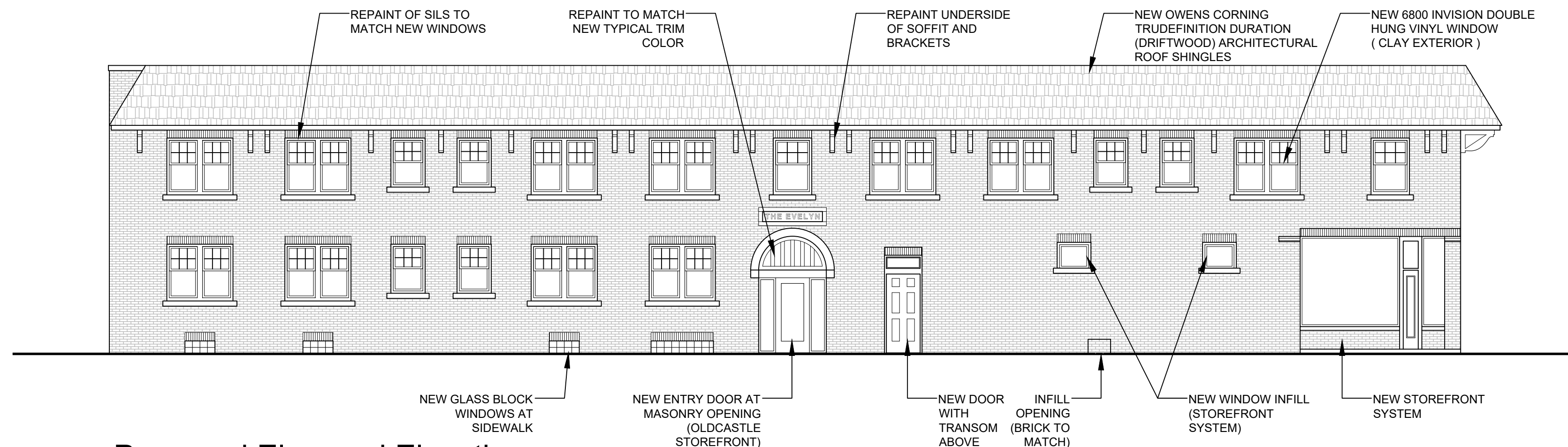
Proposed Madison Elevation

1/8" = 1'-0"



Existing Elmwood Elevation

1/8" = 1'-0"



Proposed Elmwood Elevation

1/8" = 1'-0"



4 1 2 . 7 2 0 . 0 4 2 4
DavidJManiet@gmail.com

Name / Project Address
The Evelyn - Storefront
15023 Madison Avenue
Lakewood, Ohio 44107

Issue for
ABR SUBMISSION

Date
9/16/2021

Drawn By
DJM

Sheet

A1



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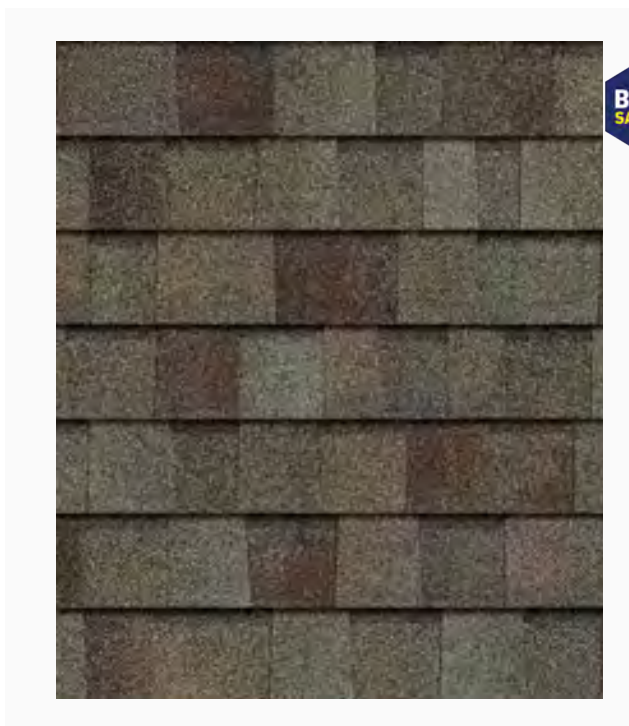


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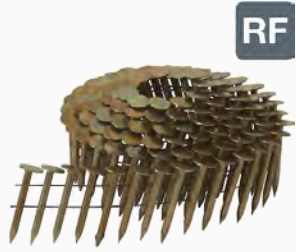
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Oatey Galvanized No-Calk Flashing 3-in x 14.5-in Galvanized Steel Vent and...

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OVERVIEW

TruDefinition® Duration® shingles are specially formulated to provide dramatic color contrast and dimension to any roof and are available in all the popular colors. Beyond the impressive curb appeal, they also come with the advanced performance of patented SureNail® technology—a technological breakthrough in roofing.

- Duration roofing shingles provide strength and durability to your roof thanks to patented SureNail technology
- TruDefinition is Owens Corning's color design platform specially formulated to capture bright, vibrant hues and dramatic shades
- 3 Bundles per 98.4 square feet
- The SureNail strip is a tough-engineered woven fabric on the nailing line, allowing for fast and accurate nailing
- The outstanding grip of the SureNail strip provides exceptional wind resistance – 130 MPH limited warranty
- StreakGuard Algae resistance protection helps inhibit the growth of blue-green algae to provide protection against ugly black streaks
- Features unique “triple layer” of reinforcement where the fabric overlays two shingle layers, called the common bond area

Dimensions Guide PDF	Installation Manual PDF
Use and Care Manual PDF	Warranty Guide PDF
Prop65 Warning Label PDF	

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SPECIFICATIONS

Series Name	TruDefinition Duration	Algae Resistant	✕
Shingle Length (metric) (Centimeters)	100.012	Manufacturer Color/Finish	Driftwood
Shingle Width (metric) (Centimeters)	33.655	Warranty	Limited lifetime
Shingle Length (imperial) (Inches)	39.375	Laminated	✓
		CA Residents: Prop 65	▲ Prop 65

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Name	THIS ITEM	
Price	\$34.48	\$34.48
Ratings	★★★★★ 1	★★★★★ 9785
Algae Resistant	✘	✔
Bundles per 100 Sq Feet	3	3
Color/Finish Family	Brown	Brown
Fire Rating	Class A	Class A

Feedback



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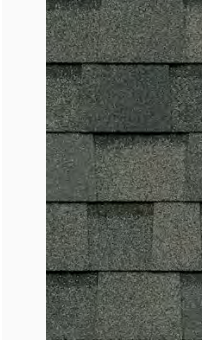
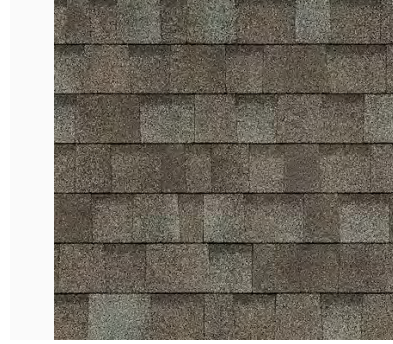
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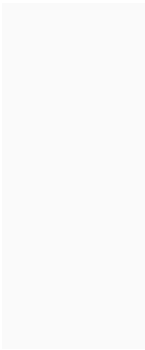
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★★★★★ 16

★★★★★ 14

★★★★★ 11



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Gray Laminated Architectural Roof

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with Golden Brush Steel Wood-
Burning Fire Pit

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Style Selection
Antique Black S
Fire Pit

Feedback



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or

6
Months
Special Financing**
Minimum purchase
required.

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Owens Corning TruDefinition
Duration 32.8-sq ft Driftwood
Laminated Architectural Roof Shingles

\$34.48

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MODEL 6800 InVision Vinyl Double Hung Windows

State of the Art Window Design - Our top-of-the-line vinyl model offers beauty, performance and versatility - everything you want in a window.



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Our products and processes emphasize energy savings – and that means we consume less energy released into our environment.

Our buildings save energy by utilizing in-floor radiant heating during off-peak energy hours and b controlled lighting.

Our processes conserve resources – like filtering and reusing glass wash water for glass rinsing, a glass scrap created during the fabrication process. And of course, we have a recycling program fo paper.

Interstate belongs to a voluntary energy cooperative that monitors and helps reduce energy usag demand. We are helping to protect our community from blackouts, to keep energy rates stable ai environment by reducing reliance on peaking power plants.



GENERAL DETAILS



Remarkable beauty, exceptional performance and distinctive design of the InVision Model 6800 w energy efficient vinyl windows from Interstate.

World class engineering and advanced material science creates a new window standard for perfo strength and efficiency..



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Features

- Up to 14% more glass and light than many traditional wood and vinyl windows.
- Over 20% more vinyl by weight than many typical vinyl double hung windows.
- InNergy Rigid Thermal Reinforcement now standard in double hung keeper rail for added strength.
- Double Hung now at PG-50 structural and water rating “out of the box” withstands wind and snow – gateway size 40” x 63”.
- Double Hung optional HC-55 Heavy Commercial rating to size 48” x 80” and HC-35 to size 56” x 96”.
- Incredible Double Hung Triple Fuel Saver Glass U-Factor now at .16 (low e/low e/clear, argon/argon) as .13 on other InVision window styles.
- Obsoletes expensive krypton gas.
- U-factor up to 54% better than ENERGY STAR Most Efficient qualification.
- Narrow frame and sash design: More Glass + More Light = More Window!
- Up to 15 times less air leakage than ENERGY STAR qualification.
- Four beautiful interior laminates now in stock: Dark Oak, Winchester Light Oak, Cherry & Natural.
- Unlimited exterior paint colors.
- Low profile tilt latch for easy tilt-to-clean.
- Continuous InterLock promotes security and structural strength.
- Multiple internal chamber placement designed for superior structural and thermal performance.
- Anti-drift design keeps top sash in place when operating primary lower sash.
- Limited Lifetime Warranty



COLOR / FINISHES



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White

Clay

Interior Stock Laminates



Custom Paint Finishes (14 in Stock Exterior Colors)



Unlimited Color Match Exterior Colors

Custom blended colors available to suit your design needs – limited only by yo



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GLASS PACKAGES

Incredible Thermal Values



Standard Whole Window NFRC Certified Dual Energy Saver Glass Package

- Nominal 3/4"
U-Factor: Double Hung & Slider- .26
Low E + clear; argon
- With Energy Saver IS - .23
Low E + Low E inside surface; argon
- Dual HeatGuard 362 - .26
Low E 362 + clear; argon

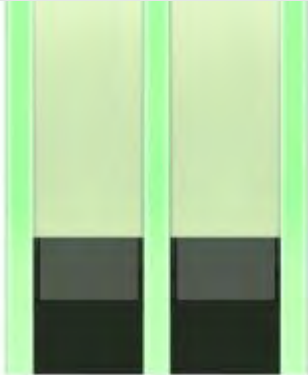


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Standard Whole Window NFRC Certified Triple Glazed Glass Packages

- Nominal 1 1/8"

Triple Fuel Saver U-Factor:

Double Hung & Slider- .20

Low E + Low E + clear; argon + argon

Triple Fuel Saver Plus U-Factor:

Double Hung & Slider – .16

Low E + Low E + clear; argon + argon

and/or krypton



Climaguard™ Low E Glass and Argon Gas Add Comfort Savings

Low E is a transparent metallic oxide coating applied onto a glass surface. The coating allows light to pass through but reflects long-wave infrared energy, which lowers the U-value and that means more energy savings. Argon is an odorless, colorless, tasteless, non-toxic gas, argon is six times denser than air. It is used to replace air in window panes to reduce thermal energy transfer and heat loss.

ClimaGuard glass has heat reflective coatings – microscopically thin layers of metal and metal oxide that keep heat inside in winter and outside in summer.



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HARDWARE / GRIDS

Built Tough Hardware

All Interstate vinyl windows come standard with the industry's finest hardware system. The opera have all been developed to work together to meet or exceed maximum performance requiremen the strongest, most attractive, easiest operating and highest performing hardware in today's mar

Surface Lock



Grid Options

Grids bring a distinctive look to your home. Four grid styles in a variety of color and style combina when selecting grids for your windows. Grids Between Glass (GBG) afford easy cleaning, Simulate permanently adhered to the panes inside and out and are designed to look like a true multi-pane

Grid Color Options

InVision Model 6800 Grids:

Flat Grids

- White
- Clay



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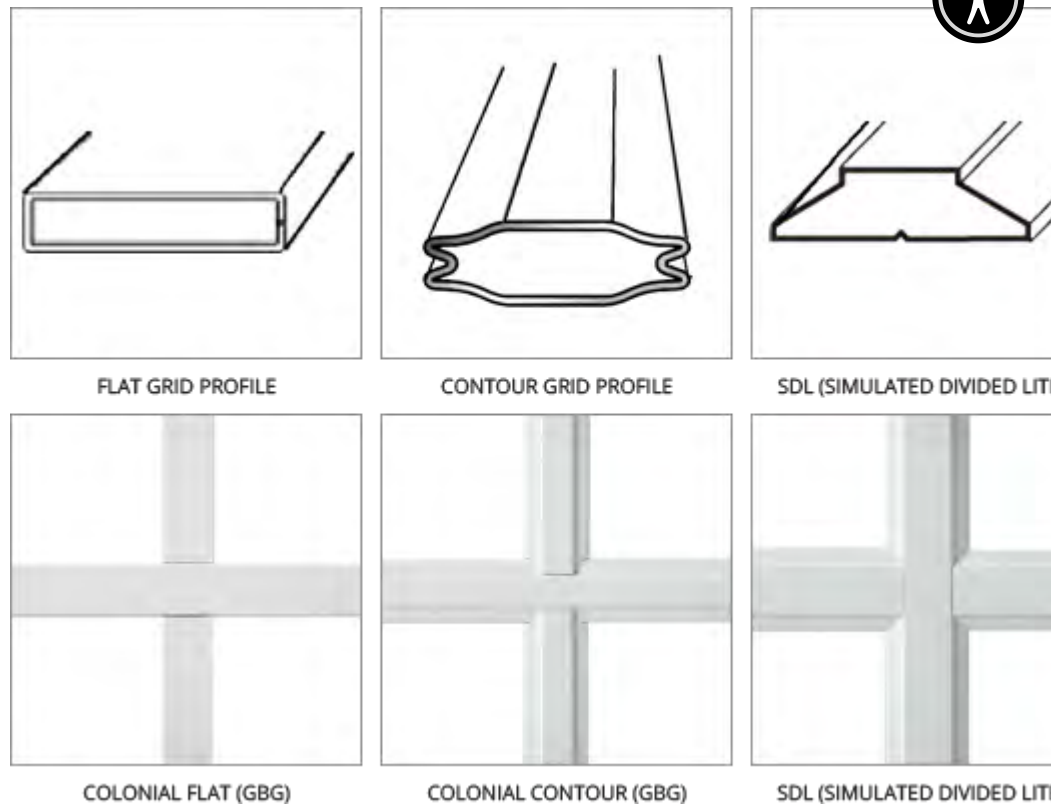
APPLY FOR
JOBS

- white
- Clay
- Bronze Exterior/White Interior
- White Exterior/Woodgrain Laminate Interior

SDLs (Simulated Divided Lites)

- White (exterior & interior)
- Clay exterior/White interior
- Bronze exterior/White interior
- White exterior/Woodgrain Laminate Interior
- Removable Grids with Frame Surround, interior mounted
- Custom Painted

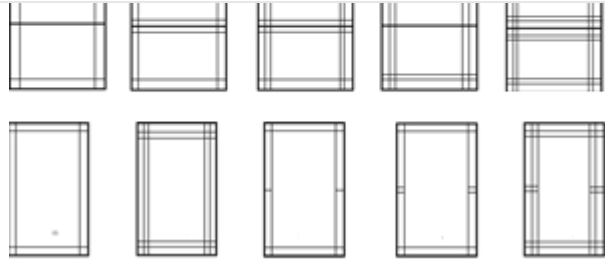
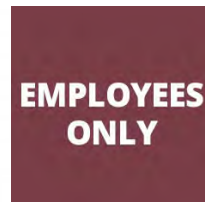
**** Only Flat and exterior Simulated Divided Lites can be custom painted.***



Sample Grids



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WINDOW OPTIONS

> COMPOSITWOOD

- > Model 9800 Double Hung Windows
- > Casement/Awning Windows
- > Slider Windows
- > Picture Windows
- > Bow & Bay Windows
- > Model 9400 Architectural Series New Construction

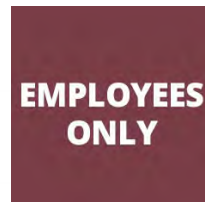


> VINYL WINDOWS

- > Double Hung Windows
- > Casement/Awning Windows
- > Slider Windows
- > Picture Windows
- > Bow & Bay Windows
- > Architectural Styles



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Thermal

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Application Cover Page

Docket No.: 10-141-21

Permit No.: BBS21-000173

Applicant Name: Joe Palecek, Advanced Installation & Sign Service

Project Address: 14873 Detroit Ave.

Project Name: Wing-Stop

Project: Applicant proposes wall and window signage for a new business.



CLIENT

Wing Stop

SALES REP

John Maiuri
 National Accounts Manager
 3750 East Outer Drive
 Detroit, MI 48234
 p: 313.731.2105
 email: jmaiuri@fairmontsign.com

PROJECT LOCATION

14873 Detroit Ave
 Cleveland, OH 44107

REVISIONS

DATE	DESCRIPTION

CONTENTS

PAGE	DESCRIPTION
1	WARRANTY INFORMATION
2	WALL SIGN SPECS
3	WINDOW VINYL
4	SITE PLAN
5	WALL SIGN

NOTE: Renderings below utilize sample dimensions.

WING STOP SIGNAGE WARRANTY			
DESCRIPTION	WARRANTY	PARTS	LABOR
PAINT	10 YEARS	10 YEARS	10 YEARS
LED LIGHTING	7 YEARS	7 YEARS	7 YEARS
POWER SUPPLIES	7 YEARS	7 YEARS	7 YEARS
ACRYLIC / 2ND SURFACE 3M VINYL	7 YEARS	7 YEARS	7 YEARS
1ST SURFACE WINDOW VINYL	3 YEARS	3 YEARS	3 YEARS
WARRANTY EXCLUDES			
CONDITION, MALFUNCTIONS OR DAMAGE NOT RESULTING FROM DEFECTS IN MATERIAL OR WORKMANSHIP			
DAMAGE CAUSED BY EXTREME WEATHER CONDITIONS AND / OR BY OTHERS			

WING STOP INSURANCE REQUIREMENTS FOR SIGNAGE PROVIDERS

SIGN PROVIDER MUST CARRY A MINIMUM OF \$5,000,000 AGGREGATE FOR EACH OCCURRENCE

Client:



14873 Detroit Ave
Cleveland, OH 44107

Date:
8/9/21

File:
Accounts/Misc/Wing Stop/
Cleveland, OH

Designer:
RNB

Scale:
NA

Job# **Sheet#**
00000 1 of 5

Revision # **Date:**
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Revision Description:

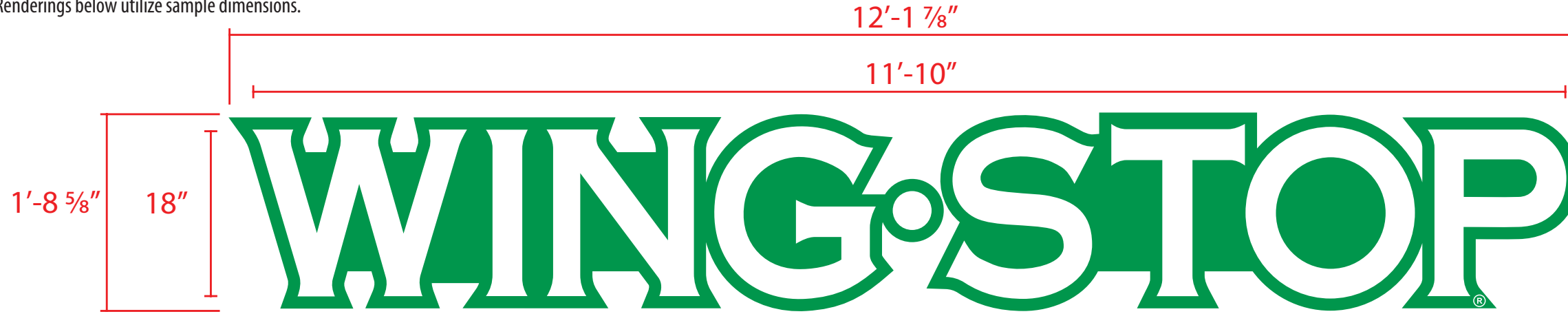
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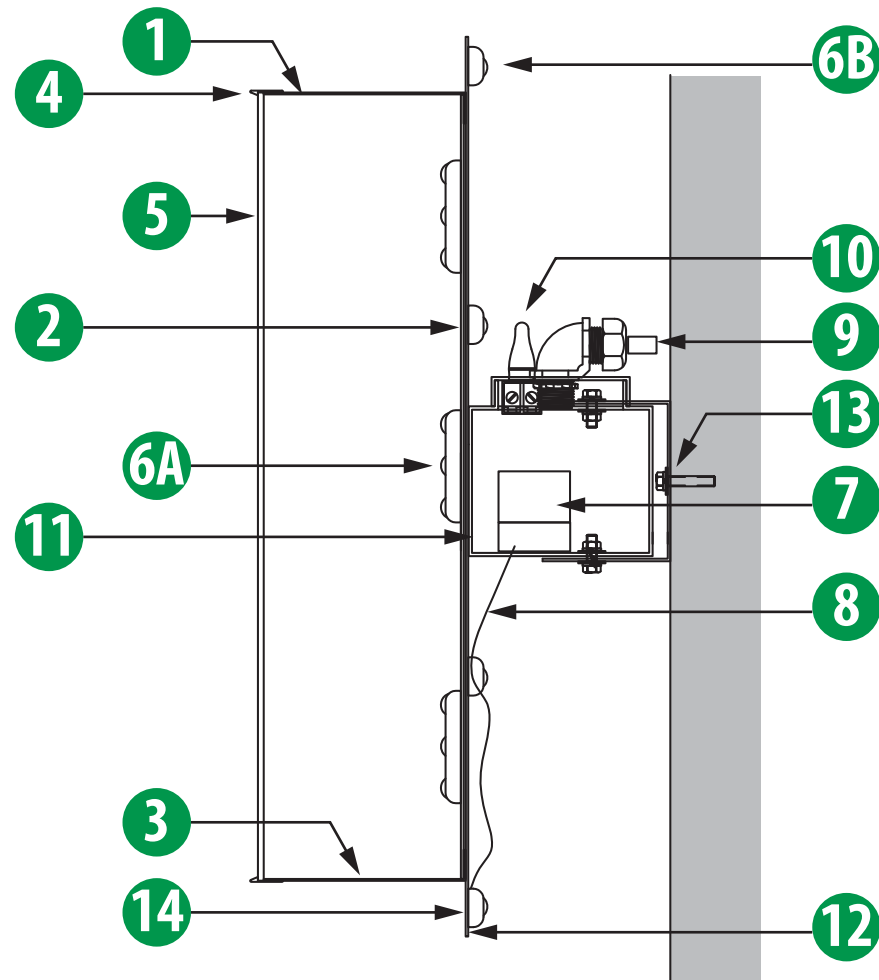
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NOTE: Renderings below utilize sample dimensions.



A QTY 1: LED Illuminated Channel Letters on Contoured Aluminum Backing Panel w/ Green Halo Lighting



EXTERIOR CHANNEL LETTERS FACE AND HALO LIT ON RACEWAY		
ITEM	DESCRIPTION	
1	RETURN	5" .040 PREFINISHED METALLIC FINISH OUTSIDE & WHITE INSIDE
2	BACK	.063 PREFINISHED WHT/WHT- INTERIOR
3	HOLES	WEEP HOLES
FACE / DECORATION		
4	RETAINER	1" JEWELITE- METALLIC SILVER
5	FACE	3/16" WHITE ACRYLIC #7328
LIGHTING / ASSEMBLY		
6A	WHITE LED	PRINCIPAL PL-QM3-TW200-P-TRUE WHITE
6B	GREEN LED	PRINCIPAL PL-QM3-GR129-P (M-QMTXO-GR) FOR HALO LIGHTING
6C	ALL LEDS	ATTACHED WITH SILICONE / CAULK APPROVED FOR OUTDOOR APPLICATIONS
7	POWER SUPPLY	PRINCIPAL 60W POWER SUPPLY PRIPL-60-12-U
8	SECONDARY	SUPPLY CABLE WITH GROUND ACCORDING TO CODE
9	WIRE FEED	90° ELBOW CONNECTOR TO SEAL-TITE PAINTED TO MATCH RACEWAY
10	SWITCH	ON / OFF SWITCH ON ENCLOSURE BOX
11	RACEWAY	.090 FABRICATED 4 1/2" X 4 1/2" RACEWAY PAINTED TO MATCH STRUCTURE- AS DETAILED
MOUNTING / SUPPORT		
12	B/G PANEL	.090 ALUMINUM CONTOUR BACKGROUND PAINTED AKZO NOBEL PMS #355 SATIN GREEN
13	MOUNTING	FABRICATED BRACKET W/ NON-CORROSIVE HARDWARE TO SECURE TO RACEWAY ALL PAINTED TO MATCH RACEWAY- AS DETAILED
14	® REGISTER	3M VINYL #010 WHITE ON CONTOUR BOTTOM OF "P" AS RENDERED

Client:

 14873 Detroit Ave
 Cleveland, OH 44107

Date:
 8/9/21
 File:
 Accounts/Misc/Wing Stop/
 Cleveland, OH

Designer:
 RNB
 Scale:
 NA
 Job# Sheet#
 00000 2 of 5
 Revision # Date:
 0 00-00-00

Revision Description:

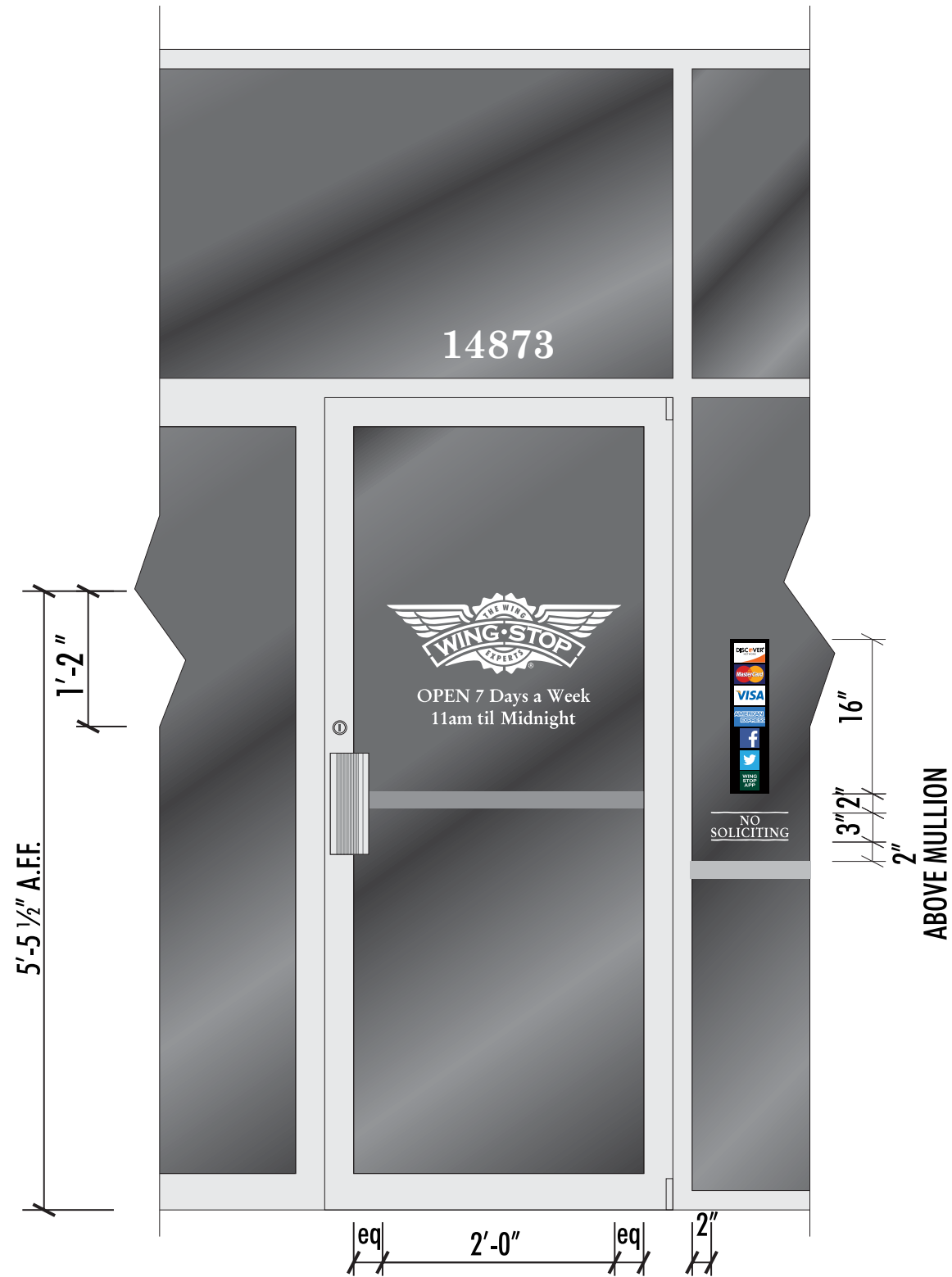
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Wing Stop | Cleveland, OH

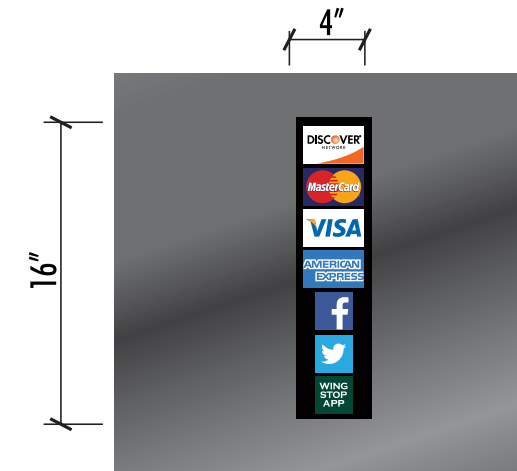
NOTE: Renderings below utilize sample dimensions.



QTY 1: Address Vinyl



QTY 1: No Soliciting Window Vinyl



QTY 1: Payment Window Vinyl



QTY 1: Hours Door Window Vinyl

VINYL GRAPHICS

ITEM	DESCRIPTION
1	VINYL GRAPHICS 3M VINYL #010 WHITE VINYL GRAPHICS APPLIED ON 2ND SURFACE TO GLASS
2	PAYMENT GRAPHICS 3M VINYL #010 WHITE VINYL PRINTED PAYMENT GRAPHICS APPLIED ON 2ND SURFACE TO GLASS
3	PAYMENT GRAPHICS UV PROTECTION APPLIED OVER VINYL



FAIRMONT
SIGN COMPANY

3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

WING-STOP

14873 Detroit Ave
Cleveland, OH 44107

Date:

8/9/21

File:

Accounts/Misc/Wing Stop/
Cleveland, OH

Designer:

RNB

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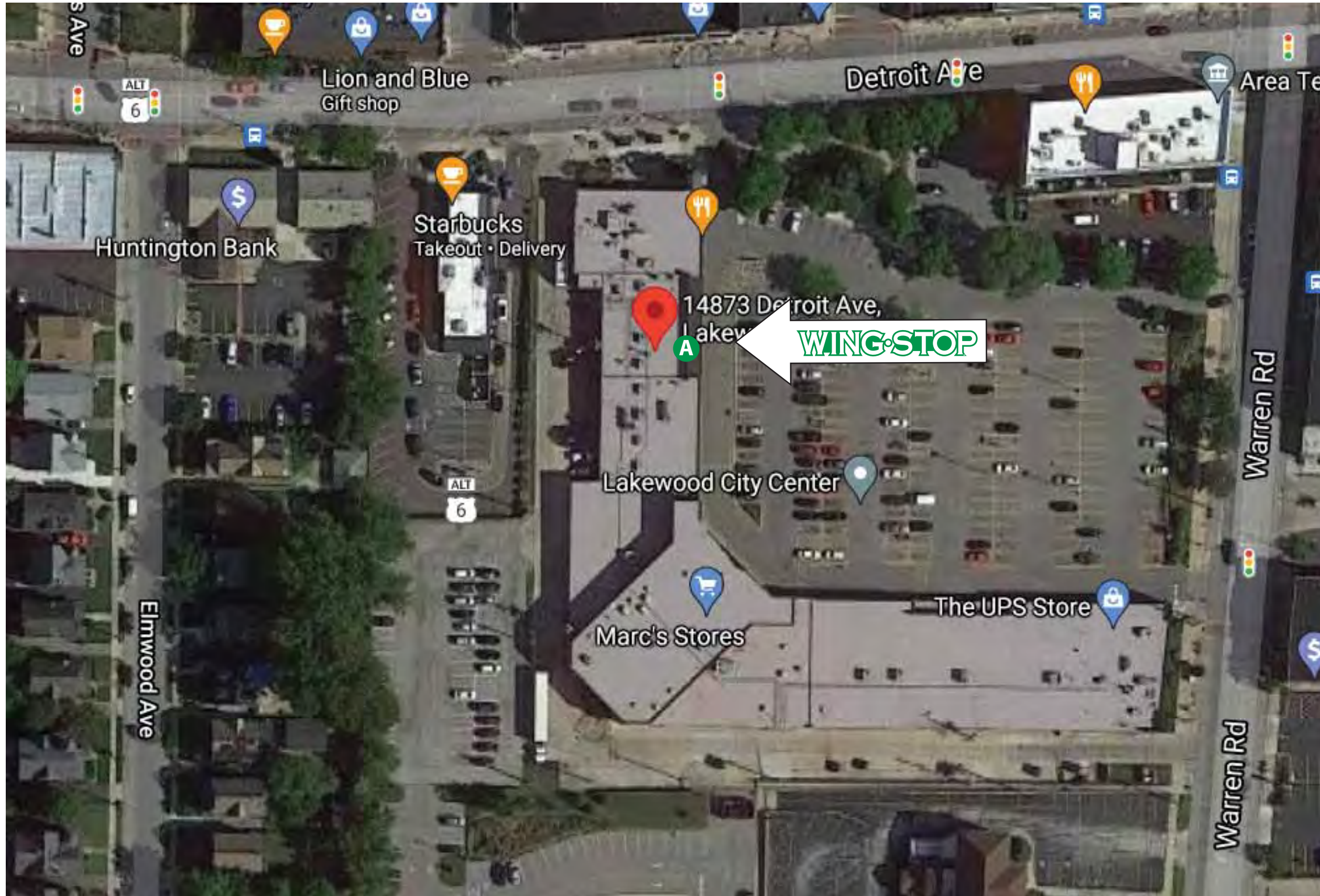
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Wing Stop | Cleveland, OH

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Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

WING STOP

14873 Detroit Ave
Cleveland, OH 44107

Date:
8/9/21

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Accounts/Misc/Wing Stop/
Cleveland, OH

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EXISTING SIGNAGE



PROPOSED SIGNAGE - DAY VIEW



PROPOSED SIGNAGE - NIGHT VIEW

A QTY 1: LED Illuminated Channel Letters on Contoured Aluminum Backing Panel w/ Green Halo Lighting



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www.fairmontsign.com

Client:

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Date:

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MAIN (216) 529-6270
FAX (216) 529-5930

building_permits@lakewoodoh.net

www.lakewoodoh.gov

DIVISION OF HOUSING AND BUILDING
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107

APPLICATION FOR COMMERCIAL PLAN APPROVAL

(For projects subject to the provisions of the Ohio Building Code Section 107.2)

ALL INFORMATION MUST BE PROVIDED AND LEGIBLE

Project Location [OBC 107.2-2]:	Applicant Information [OBC 107.2-5] (Building Owner or Representative)
Street Address: <u>14873 Detroit Ave</u> Floor Number: _____ Suite: _____ Is this building in the floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Name: <u>Dustin James</u> Business Name: <u>Advanced Installation & Sign</u> Mailing Address: <u>28 Elevator Ave</u> City/State/Zip Code: <u>Plainesville, Oh 44077</u> Phone Number: <u>440-488-9759</u> For Best Service Provide Email Address: <u>Joe advancedsignsandlighting@gmail.com</u>
Project Information [OBC 107.2-1]: (Project Use and Occupancy [OBC 107.2-3]) Project Type (check all that apply): <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign Project Scope (check all that apply): <input type="checkbox"/> Demolition <input checked="" type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below) <input type="checkbox"/> Site Work over 8,000 sq. ft. Describe the (proposed) use (e.g.: Restaurant, boutique, office, etc.): <u>RESTAURANT</u> Occupancy class [OBC Chapter 3]: _____ If Mixed Use [OBC 508.1] check one: <input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only Construction Type [OBC Chapter 6]: _____ Total Project Work Area: <u>20.8</u> Sq. Ft. Total cost of construction (valuation): \$ <u>\$1,100.00</u> Describe the project: <u>INSTALL WALL SIGNAGE TO THE FRONT OF BUSINESS</u>	Registered Design Professional [OBC 106.2.1] <input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA Name: _____ Firm or Business: _____ Certificate or Registration Number: _____ Mailing Address: _____ City/State/Zip Code: _____ Contact Name: _____ Contact Phone: _____ For Best Service Provide Email Address: _____
Fire Protection Systems [OBC 106.1.1.1] (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	Certification [OBC 107.2.5] I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official. Signature: <u>[Signature]</u> Printed Name: <u>DUSTIN JAMES</u> Date of Application: <u>9/7/21</u>
Building Sprinkler System _____ Limited Area Sprinkler System _____ In-Rack Sprinkler System _____ Demand at Riser Base _____ psi Kitchen Hood Suppression _____ Fire Alarm System _____ Fire Detection System _____ Smoke Detection System _____	For Building Department Use Case Number: <u>521-000096</u> Date Received: _____ Received By: _____ Other Approvals Required (prior to permit issuance): Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Plan Review Fees Outside Plans Examiner: \$ _____ Stormwater Review: \$ _____
Required Construction Documents [OBC Section 106] 3 sets required for Building Department plus 1 set for Fire Department Review (if applicable) 1 (Civil) set for Engineering Review (if applicable) Date on Plans: _____	

PLANS EXAMINATION ROUTING SLIP

DO NOT FORWARD TO NEXT REVIEWER – RETURN TO THE BUILDING DEPARTMENT

PLEASE RETURN WITH COMMENTS WITHIN FIVE WORKING DAYS

ATTACHMENTS: _____

DATE OF PLANS: _____

DEPARTMENT	COMMENTS	REVIEWED DATE
TO: PLAN EXAMINER ROUTED: _____ RETURNED: _____		
TO: LDFP ROUTED: _____ RETURNED: _____		
TO: WATER DEPT. ROUTED: _____ RETURNED: _____		
TO: CITY ENGINEER ROUTED: _____ RETURNED: _____		
TO: LPD ROUTED: _____ RETURNED: _____		
TO: _____ ROUTED: _____ RETURNED: _____		



Case #: S21-000046

City of Lakewood Division of Housing and Building
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: 14873 Detroit Ave Suite/Unit # _____
or **PERMANENT PARCEL NUMBER:** 31401001

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Restaurant Change of Use?

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical ***(complete reverse side)**

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number: _____

SCOPE OF PERMIT (Check all that apply):
 New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
 Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing
 Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration
 Demolition Paving Storm Sewer Other (Please specify): _____

***VALUATION: (cost of the work) \$** \$1,100.00 **PROJECT SIZE: (in square feet)** 2085 sq ft

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) DRAIN NO DRAIN

PROPERTY OWNER NAME: _____ **Phone:** _____
Business Name (if applicable) _____ **Email:** _____
Mailing Address: _____ **City:** _____ **State:** _____ **Zip:** _____

CONTRACTOR NAME: Advanced Installation & Sign **Phone:** 440-488-9759
License/Reg. No.: CR19-000453 **Email:** soeadvancedsignsandlighting@gmail.com
Mailing Address: 28 Elevator Ave **City:** Parisville **State:** Oh **Zip:** 44077

ARCHITECT/ENGINEER: _____ **Phone:** _____
Mailing Address: _____ **City:** _____ **State:** _____ **Zip:** _____

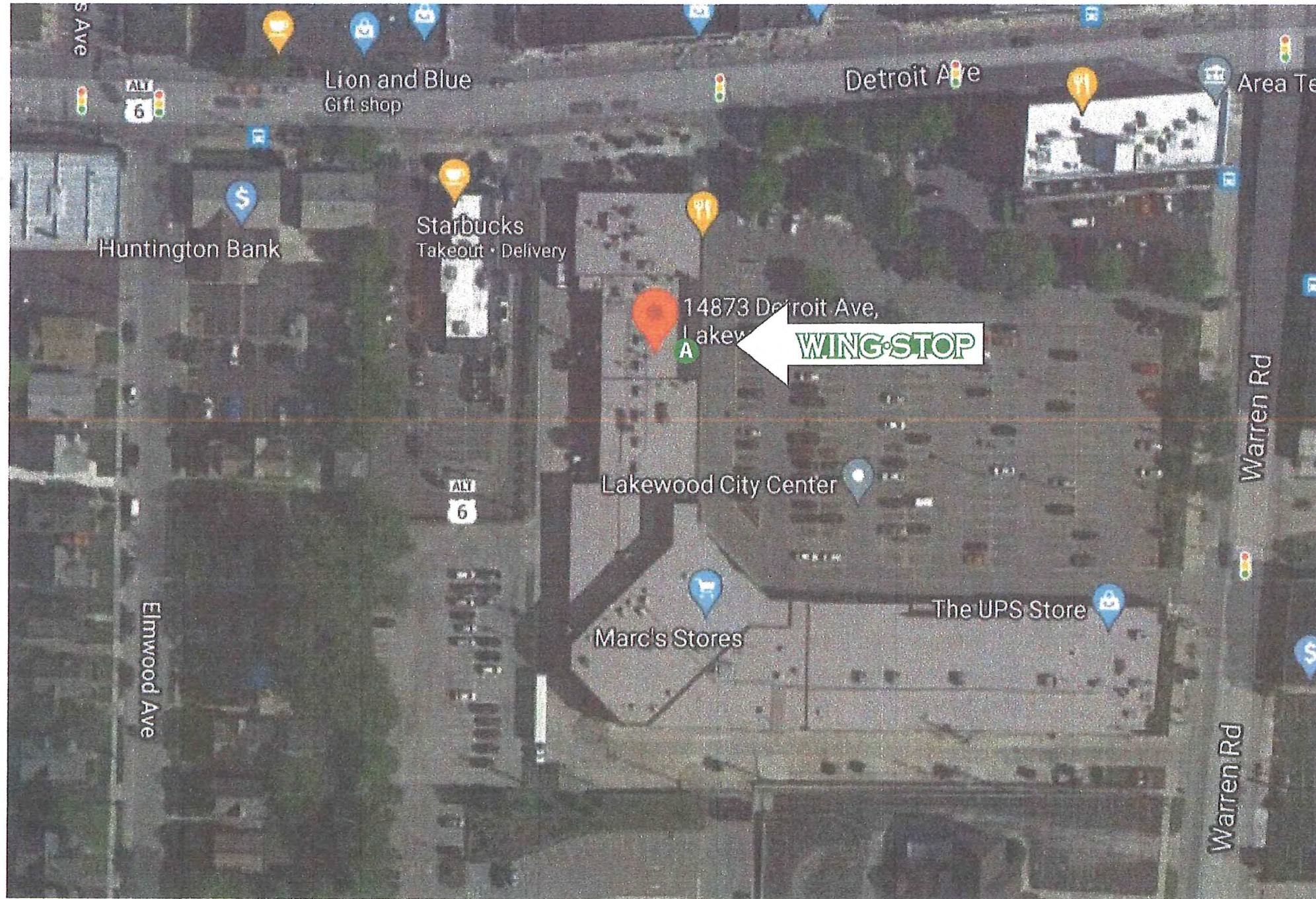
I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

[Signature] 9/7/21 **Anticipated Completion Date:** _____
SIGNATURE OF CONTRACTOR / OWNER DATE

ELECTRICAL PERMIT							
Items	Qty	Cost per	Extended cost				
Base Fee		\$30.00	\$30.00				
Each 120 volt receptacle		3.00					
Each fixture outlet		3.00					
Each outlet or receptacle in excess of 120 volts		12.00					
Motors (each unit): 1/4 HP or less		10.00					
1/3 hp to and including 3/4 HP		15.00					
7/8 HP to and including 5 HP		20.00					
Over 5 HP		25.00					
X-ray machines or equipment		50.00					
Corrections or Alterations		20.00					
Panel, services, related equipment, and disconnects		50.00					
Low voltage smoke and/or fire alarm systems		50.00					
Residential State Fee add 1% - Commercial State Fee add 3%	1%	3%					
Subcontractor Name:		Total	\$				
PLUMBING PERMIT							
Items	Qty	Cost per	Extended cost				
Base Fee		\$30.00	\$30.00				
Lavatories, sinks, laundry trays, bath tubs, showers, standpipes, combination fixtures, urinals, water closets, floor drains, area drains, yard drains, refrigerator drains, dishwashers, sterilizers, dental chairs, water filters, ejector, sump pumps, garbage grinders, grease interceptor, and each three feet or fraction thereof of gang shower length, per each unit		3.00					
Gas Piping: For each outlet		5.00					
Each indoor sprinkler head		5.00					
Each outdoor sprinkler head		2.00					
Each inside leader		3.00					
Each air admittance valve		10.00					
Hot water storage tanks: Up to and including 150 gallon capacity		5.00					
151 gallon and up to and including 300 gallon capacity		8.00					
301 gallon and more		10.00					
Each drain or sewer per 100 feet of aggregate length or part thereof according to diameter:							
Up to and including 6 inches in diameter		10.00					
8 inch diameter		15.00					
10 inch diameter		20.00					
12 inch diameter		25.00					
Potable water piping per 100 feet of aggregate length or part thereof <small>(excluding service line governed by Water Dept.)</small>		10.00					
Residential State Fee add 1% - Commercial State Fee add 3%	1%	3%					
Subcontractor Name:		Total	\$				
HVAC PERMIT							
Unit	Qty	Make	Model	BTU's/Tons of Cooling	Type of Fuel	New or Replacement	
Warm Air Furnace						<input type="checkbox"/> New <input type="checkbox"/> Replacement	
Boiler						<input type="checkbox"/> New <input type="checkbox"/> Replacement	
Unit Heater						<input type="checkbox"/> New <input type="checkbox"/> Replacement	
Heat Pump						<input type="checkbox"/> New <input type="checkbox"/> Replacement	
Air Conditioner						<input type="checkbox"/> New <input type="checkbox"/> Replacement	
*Will the A/C be placed in the side yard? YES or NO *If YES, please attach A/C side yard placement worksheet.							
Solar						<input type="checkbox"/> New <input type="checkbox"/> Replacement	
Other						<input type="checkbox"/> New <input type="checkbox"/> Replacement	
If new whole house A/C, cost is: \$		Increase in heating BTU's:					
Add \$40.00 Base Fee							\$40.00
Residential State Fee add 1% - Commercial State Fee add 3%							\$
Subcontractor Name:							Total \$

Wing Stop | Cleveland, OH

NOTE: Renderings below utilize sample dimensions.



f.
FAIRMONT
 SIGN COMPANY
 3750 East Outer Drive
 Detroit, MI 48234
 t: 313.368.4000 f: 313.368.9335
 www.fairmontsign.com

Client:
WING-STOP
 14873 Detroit Ave
 Cleveland, OH 44107

Date:
 8/9/21

File:
 Accounts/Misc/Wing Stop/
 Cleveland, OH

Designer:
 RNB

Scale:
 NA

Job#	Sheet#
00000	4 of 5

Revision #	Date:
0	00-00-00

Revision Description:

Customer Approval:

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ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION

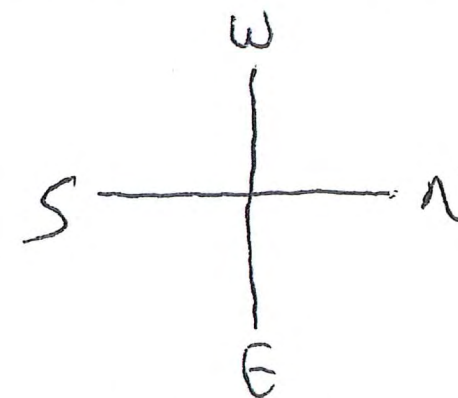
521-000046
RECEIVED
 SEP 08 2021
 By Email

Google Maps 14873 Detroit Ave



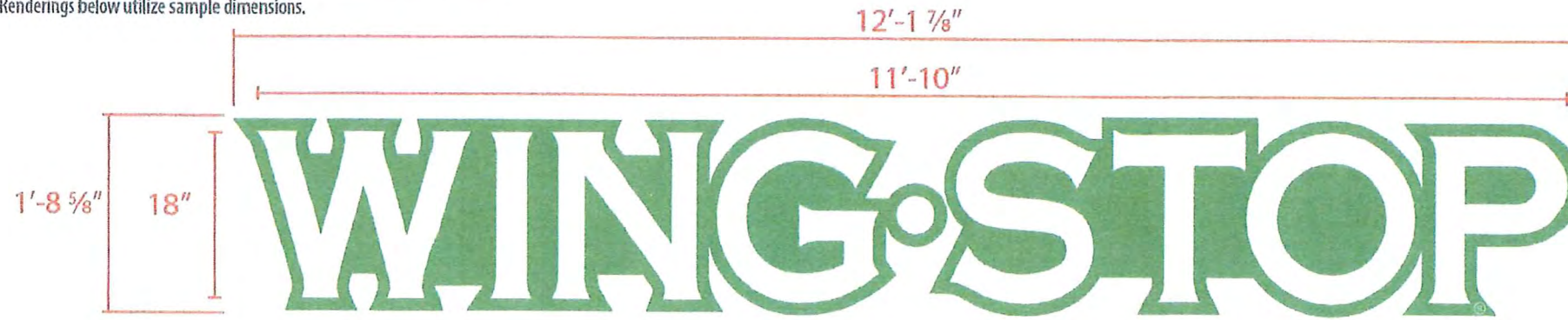
Imagery ©2021 Google, Map data ©2021, Map data ©2021 Google 20 ft

* wall sign to go here *

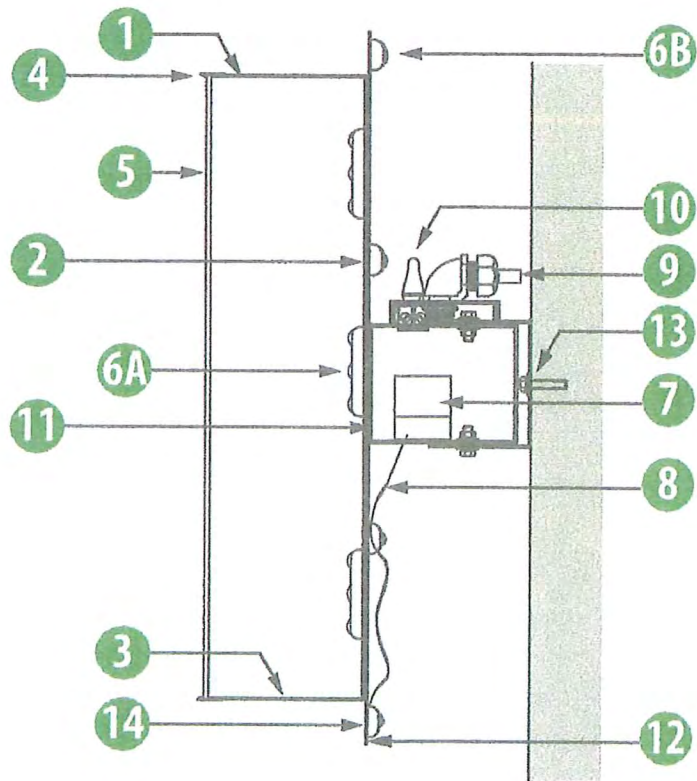


Wing Stop | Cleveland, OH

NOTE: Renderings below utilize sample dimensions.



A QTY 1: LED Illuminated Channel Letters on Contoured Aluminum Backing Panel w/ Green Halo Lighting



EXTERIOR CHANNEL LETTERS FACE AND HALO LIT ON RACEWAY		
ITEM		DESCRIPTION
1	RETURN	5" .040 PREFINISHED METALLIC FINISH OUTSIDE & WHITE INSIDE
2	BACK	.063 PREFINISHED WHT/ WHT- INTERIOR
3	HOLES	WEEP HOLES
FACE / DECORATION		
4	RETAINER	1" JEWELITE- METALLIC SILVER
5	FACE	3/16" WHITE ACRYLIC #7328
LIGHTING / ASSEMBLY		
6A	WHITE LED	PRINCIPAL PL-QM3-TW200-P-TRUE WHITE
6B	GREEN LED	PRINCIPAL PL-QM3-GR129-P (M-QMTXO-GR) FOR HALO LIGHTING
6C	ALL LEDS	ATTACHED WITH SILICONE / CAULK APPROVED FOR OUTDOOR APPLICATIONS
7	POWER SUPPLY	PRINCIPAL 60W POWER SUPPLY PRIPL-60-12-U
8	SECONDARY	SUPPLY CABLE WITH GROUND ACCORDING TO CODE
9	WIRE FEED	90° ELBOW CONNECTOR TO SEAL-TITE PAINTED TO MATCH RACEWAY
10	SWITCH	ON / OFF SWITCH ON ENCLOSURE BOX
11	RACEWAY	.090 FABRICATED 4 1/2" X 4 1/2" RACEWAY PAINTED TO MATCH STRUCTURE- AS DETAILED
MOUNTING / SUPPORT		
12	B/G PANEL	.090 ALUMINUM CONTOUR BACKGROUND PAINTED AKZO NOBEL PMS #355 SATIN GREEN
13	MOUNTING	FABRICATED BRACKET W/ NON-CORROSIVE HARDWARE TO SECURE TO RACEWAY ALL PAINTED TO MATCH RACEWAY- AS DETAILED
14	® REGISTER	3M VINYL #010 WHITE ON CONTOUR BOTTOM OF "P" AS RENDERED

FAIRMONT
SIGN COMPANY

3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:

14873 Detroit Ave
Cleveland, OH 44107

Date:
8/9/21

File:
Accounts/Misc/Wing Stop/
Cleveland, OH

Designer:
RNB

Scale:
NA

Job# Sheet#
00000 2 of 5

Revision # Date:
0 00-00-00

Revision Description:

Customer Approval:

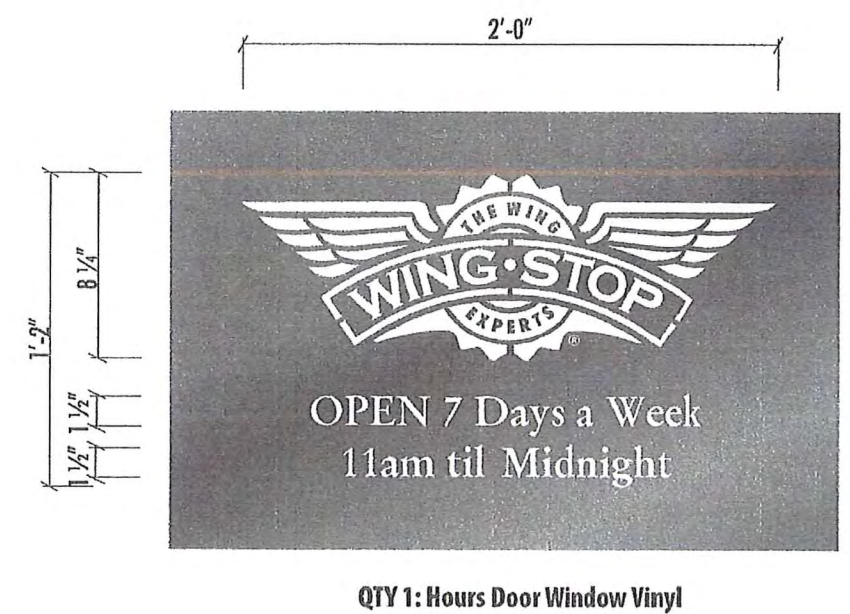
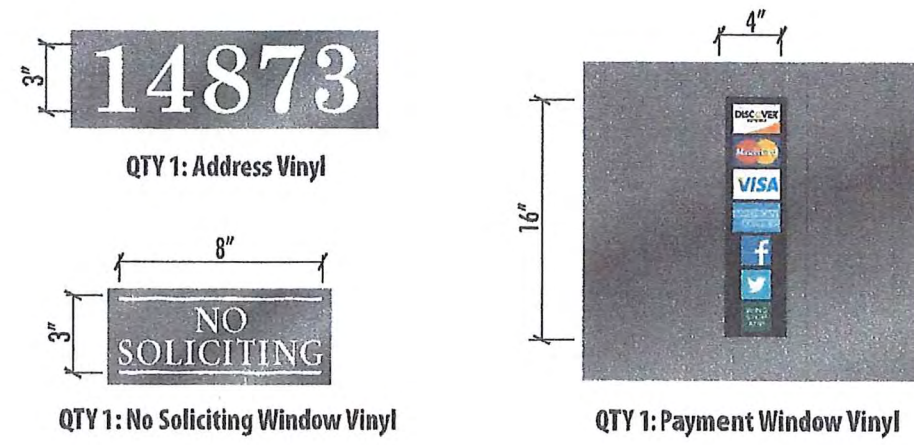
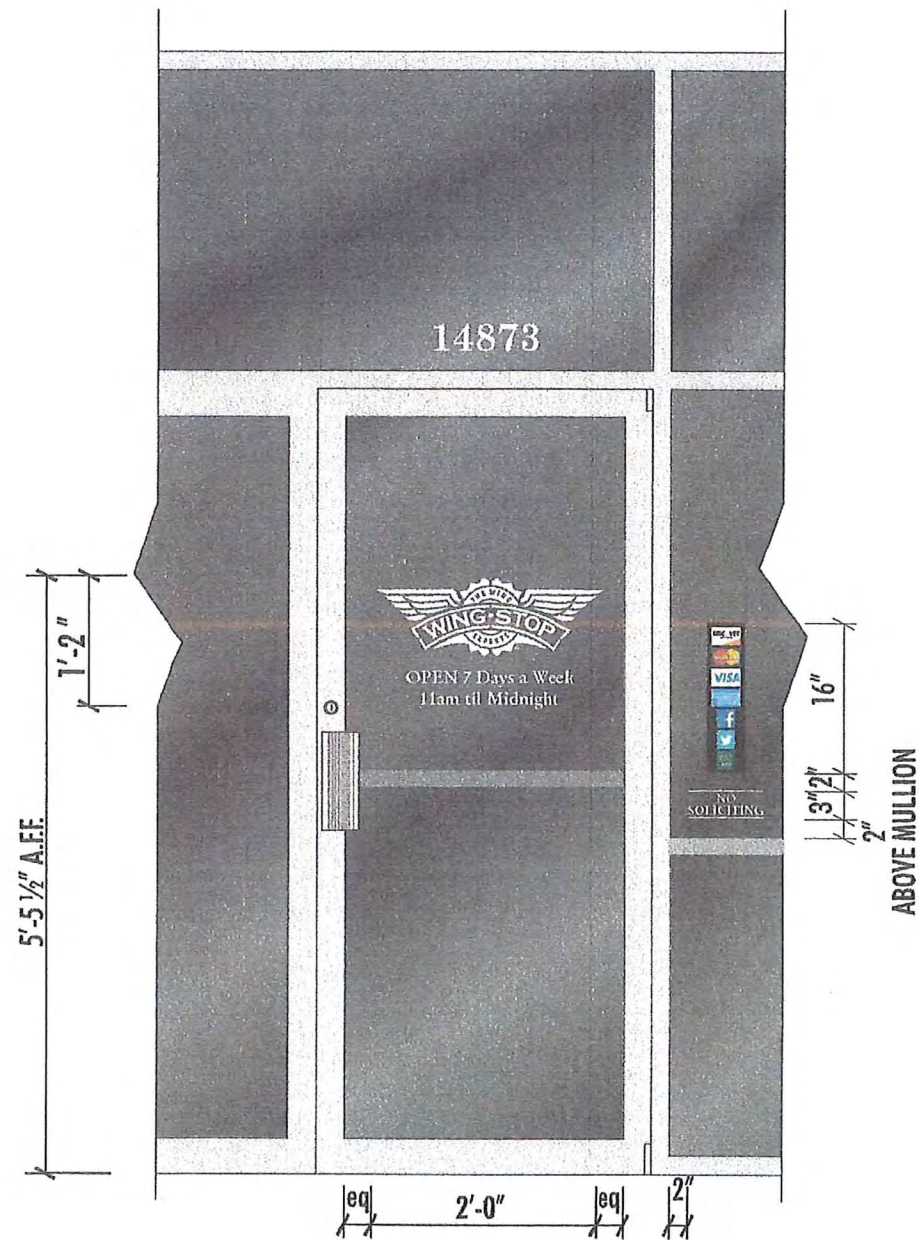
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ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION

Wing Stop | Cleveland, OH

NOTE: Renderings below utilize sample dimensions.



VINYL GRAPHICS		
ITEM		DESCRIPTION
1	VINYL GRAPHICS	3M VINYL #010 WHITE VINYL GRAPHICS APPLIED ON 2ND SURFACE TO GLASS
2	PAYMENT GRAPHICS	3M VINYL #010 WHITE VINYL PRINTED PAYMENT GRAPHICS APPLIED ON 2ND SURFACE TO GLASS
3	PAYMENT GRAPHICS	UV PROTECTION APPLIED OVER VINYL

FAIRMONT SIGN COMPANY
 3750 East Outer Drive
 Detroit, MI 48234
 t: 313.368.4000 f: 313.368.9335
 www.fairmontsign.com

Client: **WING STOP**

14873 Detroit Ave
 Cleveland, OH 44107

Date: 8/9/21

File: Accounts/Misc/Wing Stop/ Cleveland, OH

Designer: RNB

Scale: NA

Job# 00000 Sheet# 3 of 5

Revision # 0 Date: 00-00-00

Revision Description:

Customer Approval:

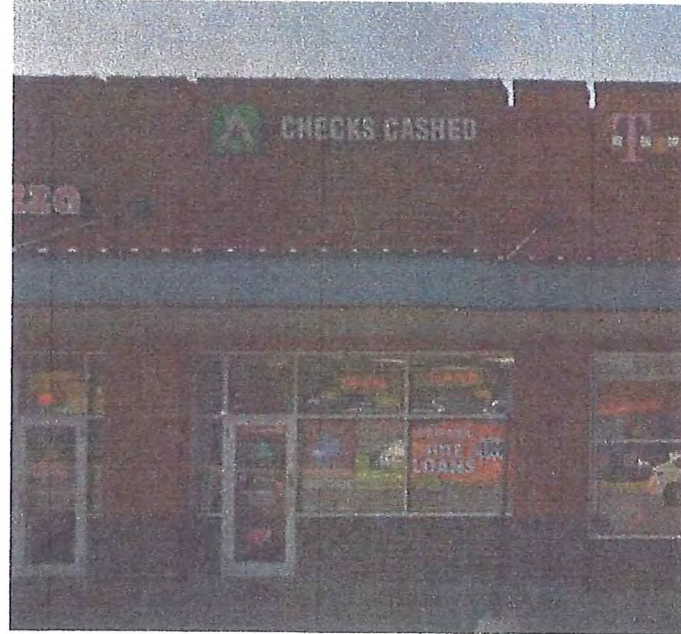
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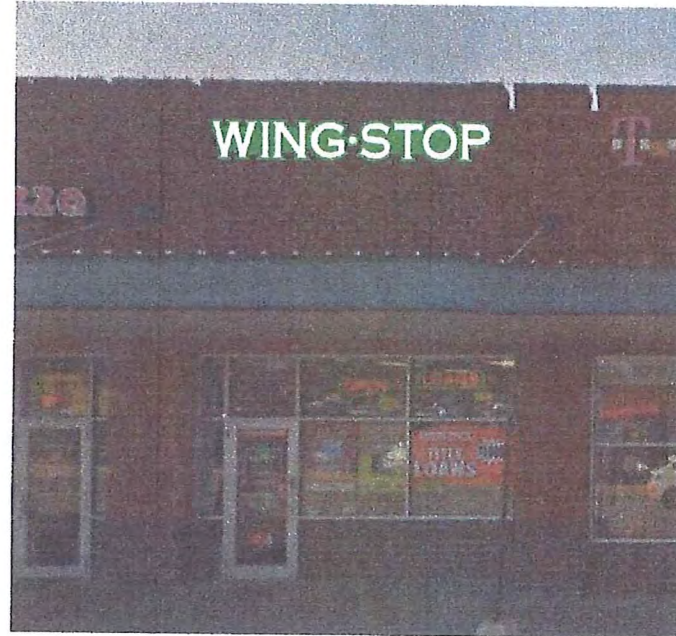
ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION

Wing Stop | Cleveland, OH

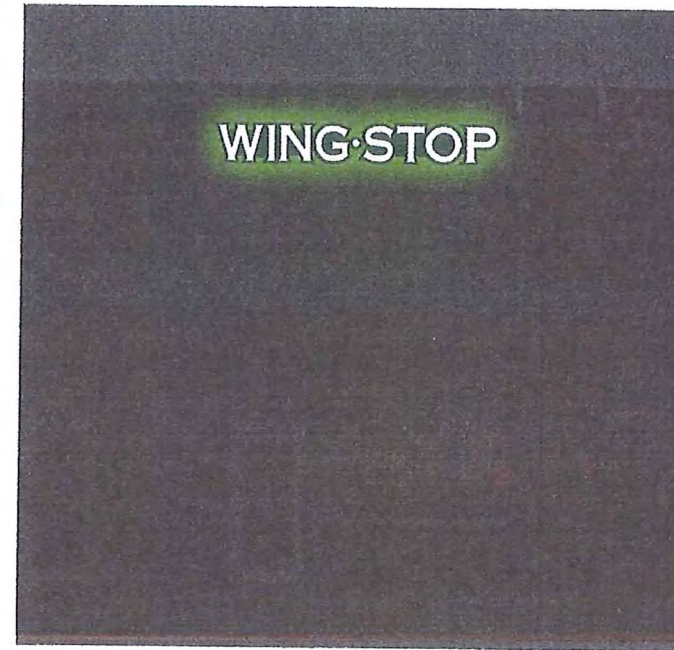
NOTE: Renderings below utilize sample dimensions.



EXISTING SIGNAGE



PROPOSED SIGNAGE - DAY VIEW



PROPOSED SIGNAGE - NIGHT VIEW

A QTY 1: LED Illuminated Channel Letters on Contoured Aluminum Backing Panel w/ Green Halo Lighting



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Designer:
RNB

Scale:
NA

Job# Sheet#
00000 5 of 5

Revision # Date:
0 00-00-00

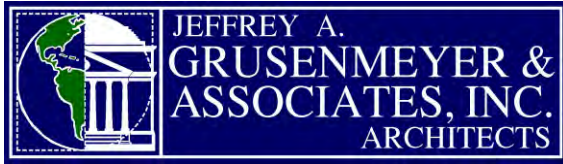
Revision Description:

Customer
Approval:

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ALL DIMENSIONS TO BE
FIELD VERIFIED PRIOR TO
INSTALLATION



INTERNATIONAL CODE DIVISION
 President
 JEFFREY A. GRUSENMEYER RA NCARB
 Master Plans Examiner, Building Official
 Vice President of Project Development
 JASON D. GALDUN RA NCARB
 grusenmeyerarchitects.com

September 10, 2021

Christopher Parmelee, Building Commissioner
 City of Lakewood, Division of Building Inspection
 12650 Detroit Ave.
 Lakewood, Ohio 44107

RE: Plan Review No. S21-000046
 PROJECT: Wingstop Sign, 14873 Detroit Avenue, Suite 5, Lakewood, Ohio 44107
 OWNER/OWNER'S REP:
 DESIGN PROFESSIONALS:

Discipline	Name	Ohio. Reg. No.
ARCHITECT:		

OCCUPANCY CLASSIFICATION: N/A
 MIXED OCCUPANCY FIRE SEPARATION N/A
 TYPE OF CONST. CLASSIFICATION: IIB
 SPACE UNIT AREA (s.f.) OCCUPANCY OCCUPANCY FACTOR OCC. LOAD
 N/A

*Subject to building official approval per OBC 1004.1. and OBC 2902.1.

BUILDING HEIGHT: 1-Story

FIRE PROTECTION SYSTEMS: Automatic Sprinkler Standpipe Fire Alarm Fire
 Detection Smoke Control Smoke and Heat Vents Explosion Control Commercial
 Kitchen Hood/Suppression Emergency Voice/Alarm Communication System

ENERGY CODE COMPLIANCE:

Compliance: Demonstrated Not Demonstrated N/A

Method: 2018 IECC 2010 ASHRAE 90.1

Using: Prescriptive Tables Trade-off Software/COMcheck Performance Analysis Software

Please find enclosed the plan review report for the above-named project.

Sincerely,

Jeffrey A. Grusenmeyer, RA, NCARB, President
 JEFFREY A. GRUSENMEYER & ASSOCIATES, INC., ARCHITECTS
 Certified Master Plans Examiner, Certified Building Official
 ENCL: Plan Review Report

PLAN REVIEW REPORT

DATE Received: August 8, 2021

DATE Returned: August 10, 2021

RE: Plan Review No. S21-000046

PROJECT: Wingstop Sign, 14873 Detroit Avenue, Suite 5, Lakewood, Ohio 44107

The documents have been reviewed in accordance with OBC 107.1, 107.4, 107.5, and 107.6. The following comments are recommendations which the Building Official may accept or reject at his sole discretion in accordance with his responsibilities under OBC 107.5.1 and OBC 106.1 inclusive.

The drawings shall be revised and resubmitted since an approval cannot be granted per OBC 105.1 inclusive, or the drawings are inadequate per OBC 107.4.1, with the following exceptions taken. Items 1 through 7 are provided to indicate a statutory requirement or the basis under which the plan review was completed, and require no further comment:

1. The construction, erection, and alteration of a building and any addition thereto, and the equipment and maintenance thereof, shall conform to the required plans which have been approved by the building official, except for minor deviations which do not involve a violation of the rules of the Board. OBC 105.2.
2. One set of approved construction documents shall be kept at the work site along with manufacturer's installation instructions and product information and shall be open available for use by the inspector. OBC 107.7.
3. If substantive changes to the building are contemplated after first document submission, or during construction, those changes must be submitted to the building official for review and approval prior to those changes being executed. OBC 106.3.
4. No building or structure, in whole or in part, shall be used or occupied until the building official has issued an approval in the form of a certificate of occupancy. OBC 111.1.
5. After construction documents have been approved, construction or work may proceed in accordance with the approved documents. Construction or work for which an approval is required shall be subject to inspection by the building official. It shall be the duty of the owner or owner's duly authorized representative to notify the building department when work is ready for inspection. Access to and means for inspection of such work shall be provided for any inspections that are required by this code. OBC 108.1.
6. OBC 102.2 Other laws. The provisions of this code shall not be deemed to nullify any provisions of state or federal law. Municipal corporations may make further and additional regulations, not in conflict with Chapters 3781. and 3791. of the Revised Code or with the rules of the board of building standards. However, approval by the board of building standards of any fixture, device, material, system, assembly or product of a manufacturing process, or method or manner of construction or installation shall constitute approval for their use anywhere in Ohio.
7. OBC 102.3 Other rules. As provided in division (B) of section 3781.11 of the Revised Code, the rules of the board of building standards shall supersede and govern any order, standard, or rule of the divisions of the fire marshal or industrial compliance in the department of commerce, and the department of health and of counties and townships, in all cases where such orders, standards or rules are in conflict with the rules of the board of building standards, except that rules adopted and orders issued by the fire marshal pursuant to Chapter 3743. Of the Revised Code prevail in the event of a conflict. There may be other requirements owners

may be required to meet as set forth by other licensing agencies such as the Ohio State Fire Marshal, Ohio Department of Health, the Ohio Department of Jobs and Family Services, Ohio Department of Mental Health and Addiction Services, Ohio Department of Developmental Disabilities, federal agencies, or other licensing authorities. Owners and designers should investigate these additional licensing agency requirements to ensure they are incorporated into the building design before submitting to the certified building department for plan approval. The rules of the board of building standards adopted pursuant to section 3781.10 of the Revised Code shall govern any rule or standard adopted by the board pursuant to sections 4104.02 and 4105.011 of the Revised Code.

8. The wall sign drawings require additional information or information shown is inadequate or incorrect as follows OBC 106.1.1:
 - a) Define letters attachment to the raceway, including the number, types, and locations of fasteners required for each letter.
 - b) Define raceway attachment to the mounting bracket and the mounting bracket attachment to the wall, including the number, types, sizes, and locations of fasteners required for its attachment to the wall.
 - c) Define the substrate of the wall and how fasteners are to attach into it or through it.
9. No electrical was provided or reviewed. Separate electrical permit may be required for the sign if not previously provided for under the tenant permit package/ application.

The foregoing plan review report is based on a general review of code requirements and is not intended to be comprehensive in nature. The Architect, Engineer and Contractor are not relieved from the requirement to comply with the OBC, the OMC, OPC, the NEC, and all other applicable codes and ordinances. The Architect, Engineer, and/or Certified Sprinkler Designer of record under OBC 106.2, OBC 107.4.3, OBC 107.4.4, or ORC 3791.04 retain sole responsibility for design, plan preparation, and for the provisions for safety and sanitation shown therein.

There may be other regulations applicable under local, state, or federal statutes which this examiner has no authority to enforce and therefore have not been evaluated as part of this plan review.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 10-142-21

Permit No.: BBS21-000174

Applicant Name: Vince Dionno, Blink Signs and Blink Swag

Project Address: 16016 Hilliard Rd.

Project Name: Sunoco

Project: Applicant proposes new signage for rebranding of an existing business.



Case #:

City of Lakewood Division of Housing and Building
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: 16016 Hilliard Rd Lakewood, OH 44107 Suite/Unit #
or PERMANENT PARCEL NUMBER:

PROPERTY CLASSIFICATION: [] 1, 2 or 3 Family OR [x] Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Gas Station reimage [] Change of Use?

PERMIT TYPE: [x] Building [] *Plumbing [] *Mechanical [] *Electrical *(complete reverse side)

RELATED CASES: [] Correction Notice [] Plan Review [] A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):

- [] New Primary Structure [] Addition [x] Alteration [x] Repair [] Equip. Replacement [] Commercial Sign
[] Tent or Temporary [] Rear Deck [] Shed [] Pool [] Water Controlling [] Waterproofing
[] Commercial Hood [] Fire Suppression [] Fire Alarm [] HVAC [] Refrigeration
[] Demolition [] Paving [] Storm Sewer [x] Other (Please specify): refresh, paint, etc.

*VALUATION: (cost of the work) \$ 187500 PROJECT SIZE: (in square feet)

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) DRAIN N/A NO DRAIN

Site refresh - paint, upgrade mid faces (only)
Canopy signage - upgrade to new image spec per artbook
Building fresh paint on Fascia

All measurement call outs in artbook

PROPERTY OWNER NAME: Scott Morrow Phone: 216-228-4300

Business Name (if applicable) Sunoco Gas Station Email:

Mailing Address: 16016 Hilliard Rd City: Lakewood State: OH Zip: 44107

CONTRACTOR NAME: Blink Signs Phone: 216 503 2568 ext 119

License/Reg. No.: Email: Sales@Blinksigns.com

Mailing Address: 1925 St. Clair Ave City: Cleveland State: OH Zip: 44114

ARCHITECT/ENGINEER: N/A Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

SIGNATURE OF CONTRACTOR/OWNER

09/21/2021 DATE

Anticipated Completion Date: Dec 2020 - Jan 2021

ELECTRICAL PERMIT

Items

Qty

Cost per

Extended cost

Base Fee

Hook up to existing like for like

\$30.00

\$30.00

Each 120 volt receptacle

3.00

Each fixture outlet

3.00

Each outlet or receptacle in excess of 120 volts

12.00

Motors (each unit): 1/4 HP or less

10.00

1/3 hp to and including 3/4 HP

15.00

7/8 HP to and including 5 HP

20.00

Over 5 HP

25.00

X-ray machines or equipment

50.00

Corrections or Alterations

20.00

Panel, services, related equipment, and disconnects

50.00

Low voltage smoke and/or fire alarm systems

50.00

Residential State Fee add 1% - Commercial State Fee add 3%

1%

3%

Subcontractor Name:

Total

\$

PLUMBING PERMIT

Items

Qty

Cost per

Extended cost

Base Fee

\$30.00

\$30.00

Lavatories, sinks, laundry trays, bath tubs, showers, standpipes, combination fixtures, urinals, water closets, floor drains, area drains, yard drains, refrigerator drains, dishwashers, sterilizers, dental chairs, water filters, ejector, sump pumps, garbage grinders, grease interceptor, and each three feet or fraction thereof of gang shower length, per each unit

3.00

Gas Piping: For each outlet

5.00

Each indoor sprinkler head

5.00

Each outdoor sprinkler head

2.00

Each inside leader

3.00

Each air admittance valve

10.00

Hot water storage tanks: Up to and including 150 gallon capacity

5.00

151 gallon and up to and including 300 gallon capacity

8.00

301 gallon and more

10.00

Each drain or sewer per 100 feet of aggregate length or part thereof according to diameter:

Up to and including 6 inches in diameter

10.00

8 inch diameter

15.00

10 inch diameter

20.00

12 inch diameter

25.00

Potable water piping per 100 feet of aggregate length or part thereof (excluding service line provided by Water Dept.)

10.00

Residential State Fee add 1% - Commercial State Fee add 3%

1%

3%

Subcontractor Name:

N/A

Total

\$

HVAC PERMIT

Unit

Qty

Make

Model

BTU's/Tons of Cooling

Type of Fuel

New or Replacement

Warm Air Furnace

New Replacement

Boiler

New Replacement

Unit Heater

New Replacement

Heat Pump

New Replacement

Air Conditioner

New Replacement

***Will the A/C be placed in the side yard? YES or NO *If YES, please attach A/C side yard placement worksheet.**

Solar

New Replacement

Other

New Replacement

If new whole house A/C, cost is: \$

Increase in heating BTU's:

Add \$40.00 Base Fee

\$40.00

Residential State Fee add 1% - Commercial State Fee add 3%

1%

3%

\$

Subcontractor Name:

Total

\$



MAIN (216) 529-6270
FAX (216) 529-5930

building_permits@lakewoodoh.net
www.onelakewood.com

DIVISION OF HOUSING AND BUILDING
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107

APPLICATION FOR COMMERCIAL PLAN APPROVAL
(For projects subject to the provisions of the Ohio Building Code Section 107.2)
ALL INFORMATION MUST BE PROVIDED AND LEGIBLE

<p>Project Location [OBC 107.2-2]:</p>	<p>Applicant Information [OBC 107.2-5] (Building Owner or Representative)</p>
<p>Street Address: <u>16016 Hilliard Rd</u> Floor Number: _____ Suite: _____ Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p>Name: <u>Vince DiLonaio</u> Business Name: <u>Blink Signs</u> Mailing Address: <u>1925 St. Clair Ave</u></p>
<p>Project Information [OBC 107.2-1]: (Project Use and Occupancy [OBC 107.2-3])</p>	<p>City/State/Zip Code: <u>Cleveland, OH 44114</u> Phone Number: <u>216 359 8860</u></p>
<p>Project Type (check all that apply): <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> Repair <input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign</p>	<p>For Best Service Provide Email Address: <u>Vince@BlinkSigns.com</u></p>
<p>Project Scope (check all that apply): <input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below) <input type="checkbox"/> Site Work over 8,000 sq. ft.</p>	<p>Registered Design Professional [OBC 106.2.1] <input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA</p>
<p>Describe the (proposed) use (e.g., Restaurant, boutique, office, etc.): _____</p>	<p>Name: _____ Firm or Business: _____ Certificate or Registration Number: _____</p>
<p>Occupancy class [OBC Chapter 3]: _____ If Mixed Use [OBC 508.1] check one: <input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only</p>	<p>Mailing Address: _____ City/State/Zip Code: _____ Contact Name: _____ Contact Phone: _____ For Best Service Provide Email Address: _____</p>
<p>Construction Type [OBC Chapter 6]: _____ Total Project Work Area: _____ Sq. Ft. Total cost of construction (valuation): \$ _____</p>	<p>Certification [OBC 107.2.5] I certify that I am the building <input type="checkbox"/> Owner <input type="checkbox"/> Owner's Authorized Agent</p>
<p>Describe the project: <u>Refresh, reface existing MID</u> <u>faces, canopy signage</u> <u>replaced to new spec.</u> <u>per artwork</u></p>	<p>All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official.</p>
<p>Fire Protection Systems [OBC 106.1.1.1] (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)</p>	<p>Signature: _____ Printed Name: _____ Date of Application: _____</p>
<p>Building Sprinkler System _____ Limited Area Sprinkler System _____ In-Rack Sprinkler System _____ Demand at Riser Base _____ psi Kitchen Hood Suppression _____ Fire Alarm System _____ Fire Detection System <u>NA</u> Smoke Detection System _____</p>	<p>For Building Department Use Case Number: _____ Date Received: _____ Received By: _____</p>
<p>Required Construction Documents [OBC Section 106] 3 sets required for Building Department plus 1 set for Fire Department Review (if applicable) 1 (Civil) set for Engineering Review (if applicable) Date on Plans: _____</p>	<p>Other Approvals Required (prior to permit issuance): Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA</p> <p>Plan Review Fees Outside Plans Examiner: \$ _____ Stormwater Review: \$ _____</p>



BEFORE

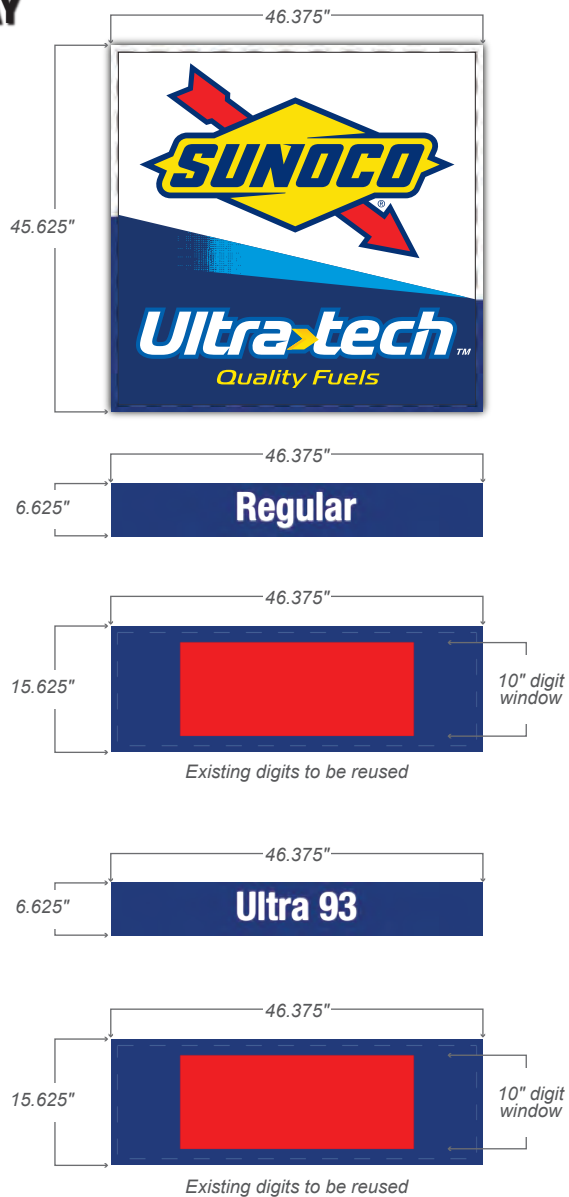


AFTER

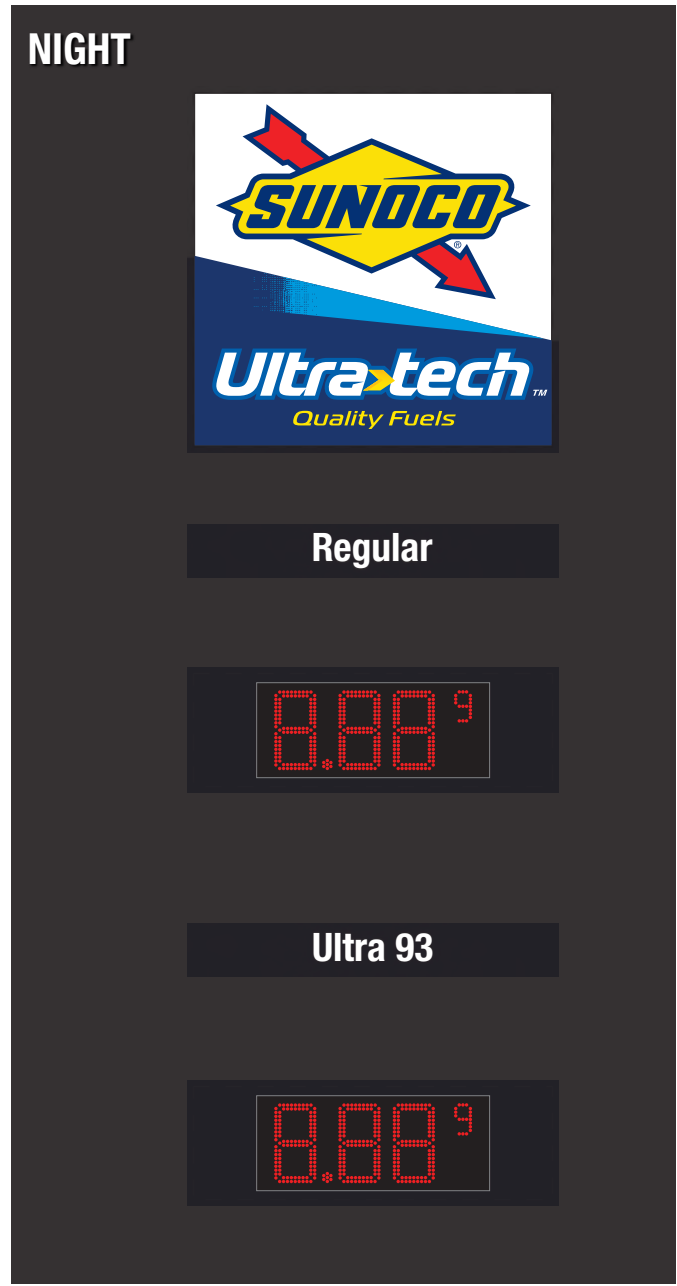
Rendering
 ...for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to final engineering specifications and install drawings.

NOTE:
 Final dimensions to be determined by Final Engineering

DAY



NIGHT



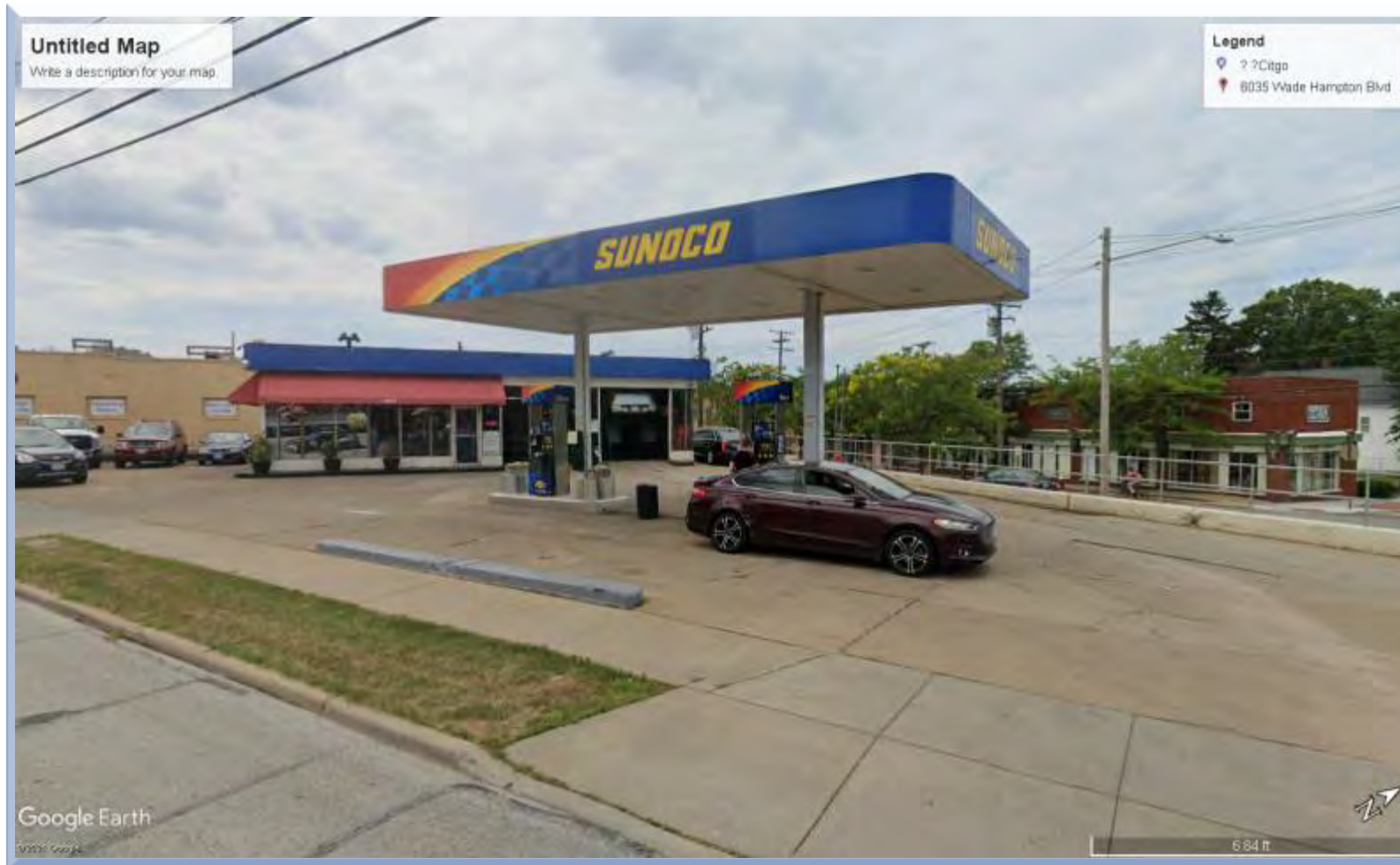
DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings.
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Customer: SUNOCO		Description: New Image Sunoco — Sunoco Face, Regular Grade Face, Ultra 93 Grade Face, & Digit Faces	Customer Approval: Graphics and colors on file will be used unless otherwise specified by customer. Please review drawing carefully. By signing below, you agree to graphics as shown above, and to location of sign as shown. Please return signed copy back to Everbrite.	
Project No: 456196-0 ACDE	Scale: 1/2" = 1'			
Date: 09/07/21	Drawn By: T. Heesen	Revised:	CUSTOMER SIGNATURE	DATE
Location & Site No: 16016 HILLIARD RD., LAKEWOOD, OH 44107		Revised:	LANDLORD SIGNATURE	DATE



16016 Hilliard Rd
Lakewood, OH

BL# 8001012001



Revisions:	
Rev. 0 - Original Drawing	08/23/2021

Address: **16016 Hilliard Rd.
Lakewood, OH**

Customer: PRO SIGNS

Drawn by: JH

Job Number: **SUN-28235-SR**

Date: 08/23/2021

Customer Approval: _____

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Main ID Sign

Scope of Work:

MID Scope Of Work TBD

Contractor working with Everbrite directly on MID SOW.
This Page to be updated as soon as Everbrite Drawing is available

Square Footage Totals:

Existing:
TBV sq ft
Proposed:
TBD sq ft



Existing Pylon Sign:



Revisions:

Rev. 0 - Original Drawing	08/23/2021

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Premium Image Gas Canopy

20'-0" x 40'-0" x 36"
Qty: 2 Round Columns

Existing Gas Canopy



1 Front Elevation



2 Left Elevation

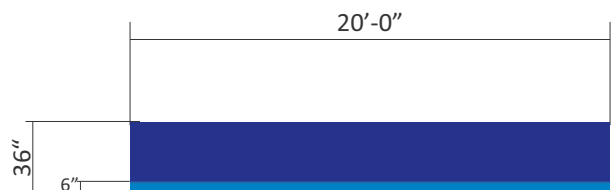


3 Rear Elevation

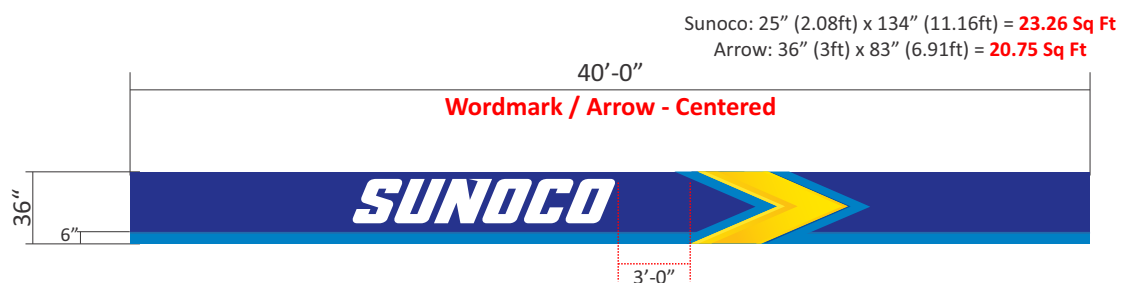


4 Right Elevation

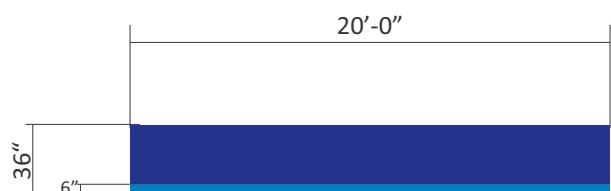
Flat - Non-Illuminated Fascia



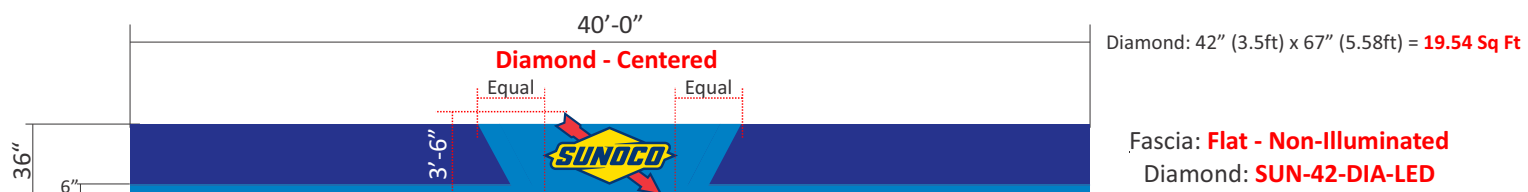
1 Front Elevation



2 Left Elevation



3 Rear Elevation



4 Right Elevation

Fascia: **Flat - Non-Illuminated**

Sunoco: 25" (2.08ft) x 134" (11.16ft) = **23.26 Sq Ft**
Arrow: 36" (3ft) x 83" (6.91ft) = **20.75 Sq Ft**

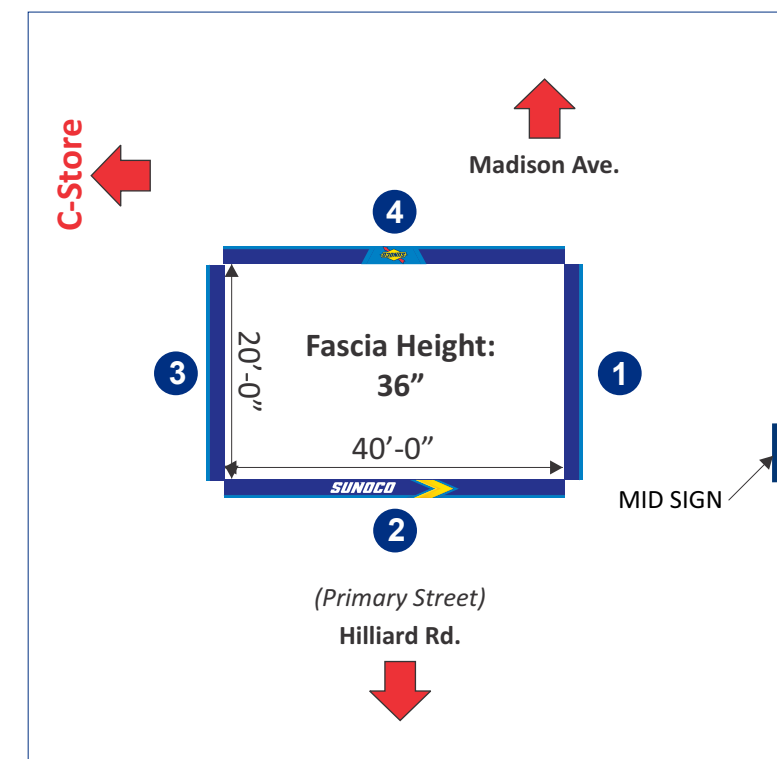
Fascia: **Flat - Non-Illuminated**
Arrow: **SUN-36-ARW-LED**
Arrow Backer: **SUN-36-ABVNL**
Wordmark: **SUN-25-WM-LED**

Diamond: 42" (3.5ft) x 67" (5.58ft) = **19.54 Sq Ft**

Fascia: **Flat - Non-Illuminated**
Diamond: **SUN-42-DIA-LED**

Scope of Work:

Remove existing canopy signs, radius corners and fascia & dispose.
Install new square corner kits provided by Fed Heath.
Install new pre-imagined 36" Sunoco Blue/Lt Blue fascia panels.
Fascia to be Flat, Non-illuminated on all elevations.
Install Qty: 1 Sunoco Wordmark Cloud Sign & Arrow on left elevation
Install Qty: 1 Sunoco diamond on right elevation.



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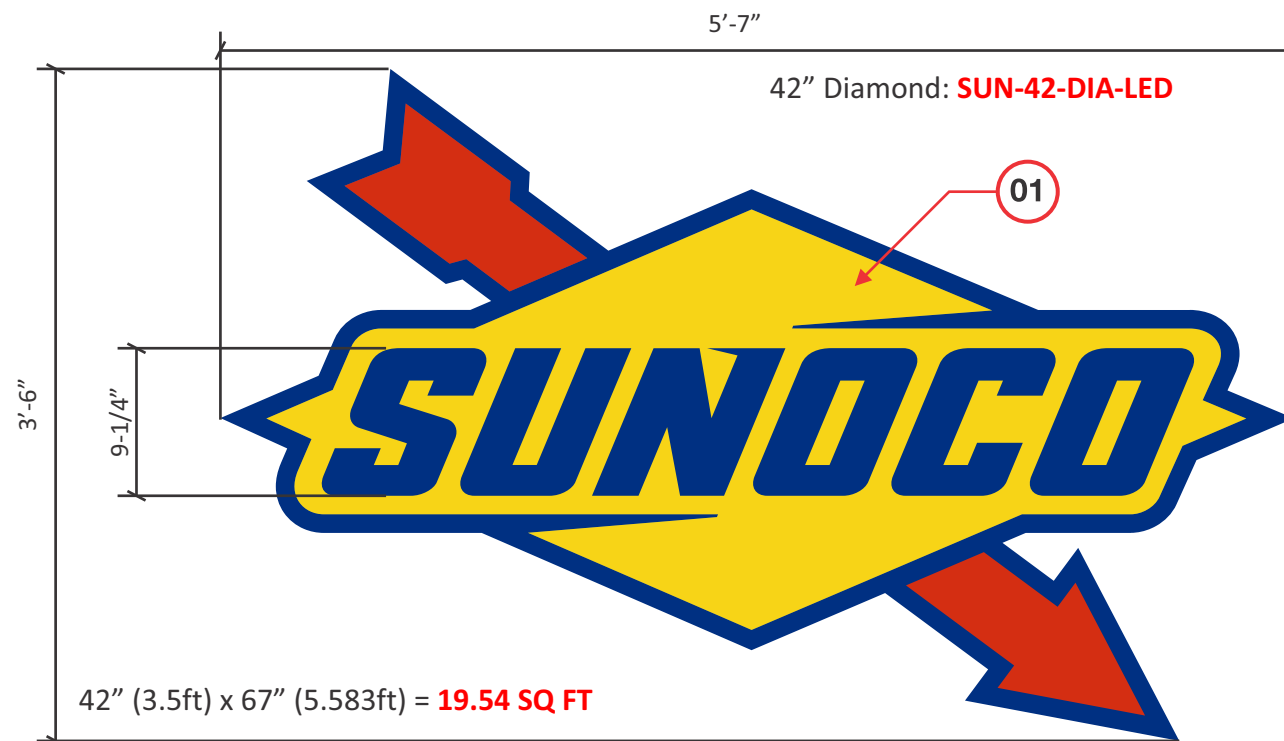
Customer Approval: _____

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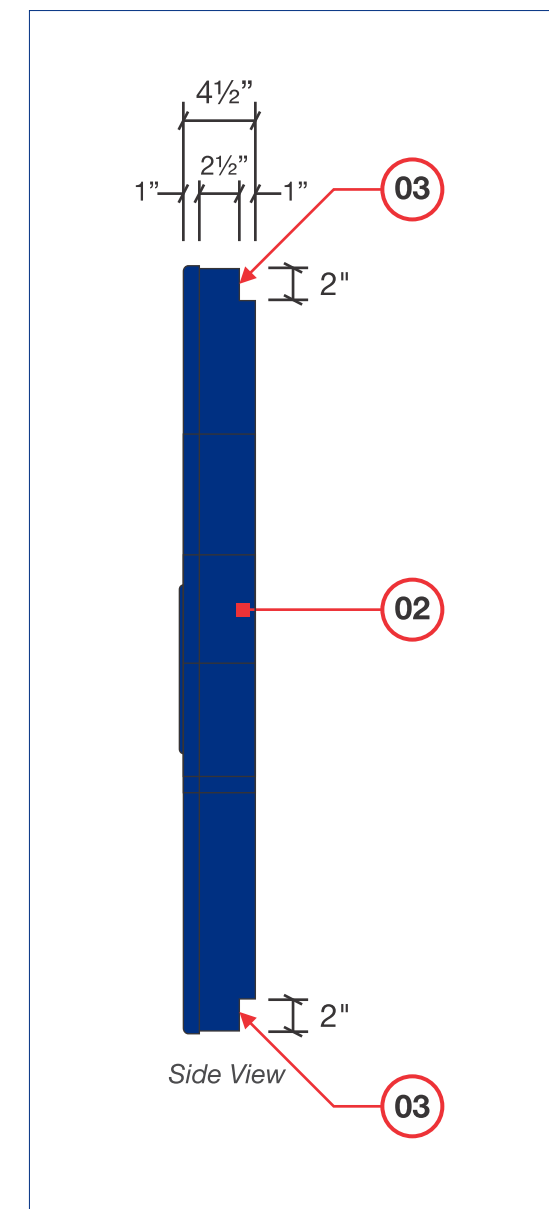
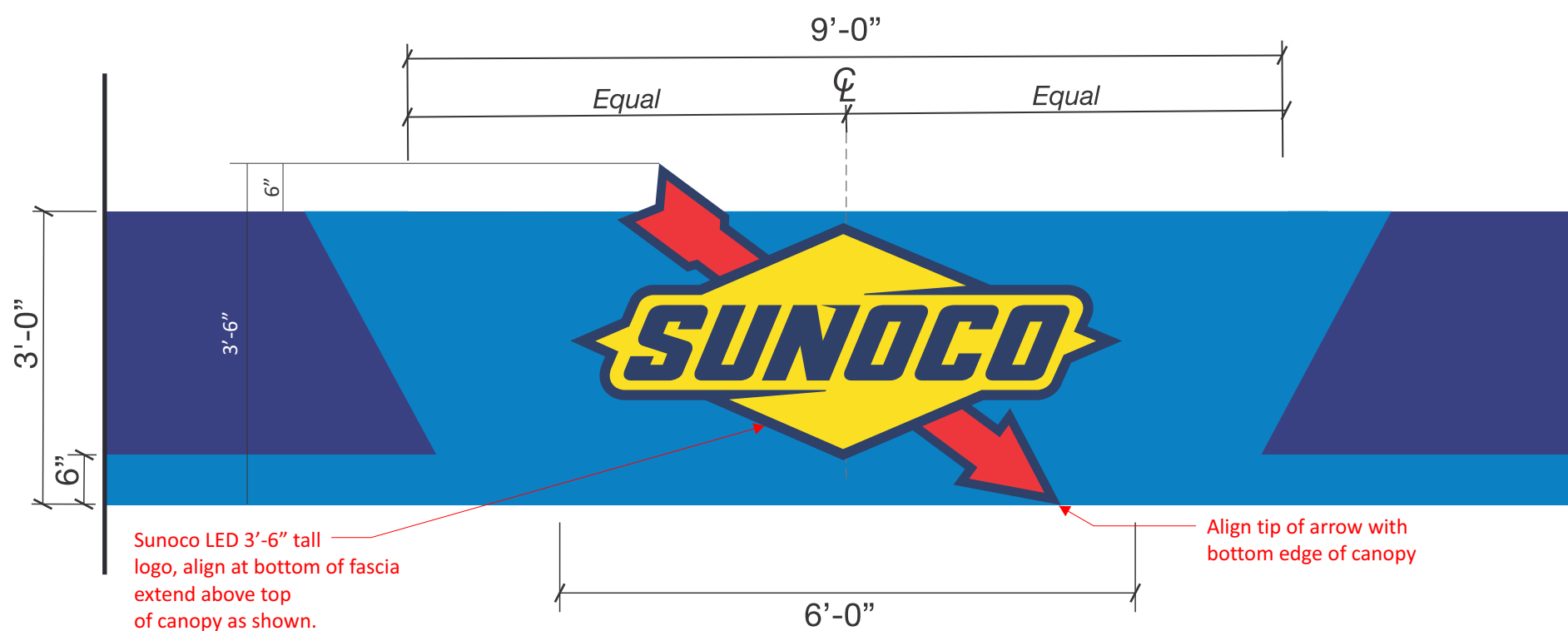
----- Please initial here -----



Canopy Diamond Sign



- 01 -Vacuum Formed Polycarbonate Face w/ 1/4" thk Embossed Logo (See Emboss Detail Below)
- 02 -Vacuum Formed Polycarbonate Opaque Backer w/ clear "window" around rear perimeter for Halo Lighting.
- 03 -Clear Halo Window around Rear Perimeter of sign



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CLEARANCE SIGNS & PUMP # SIGN SPECS

OPTIONAL

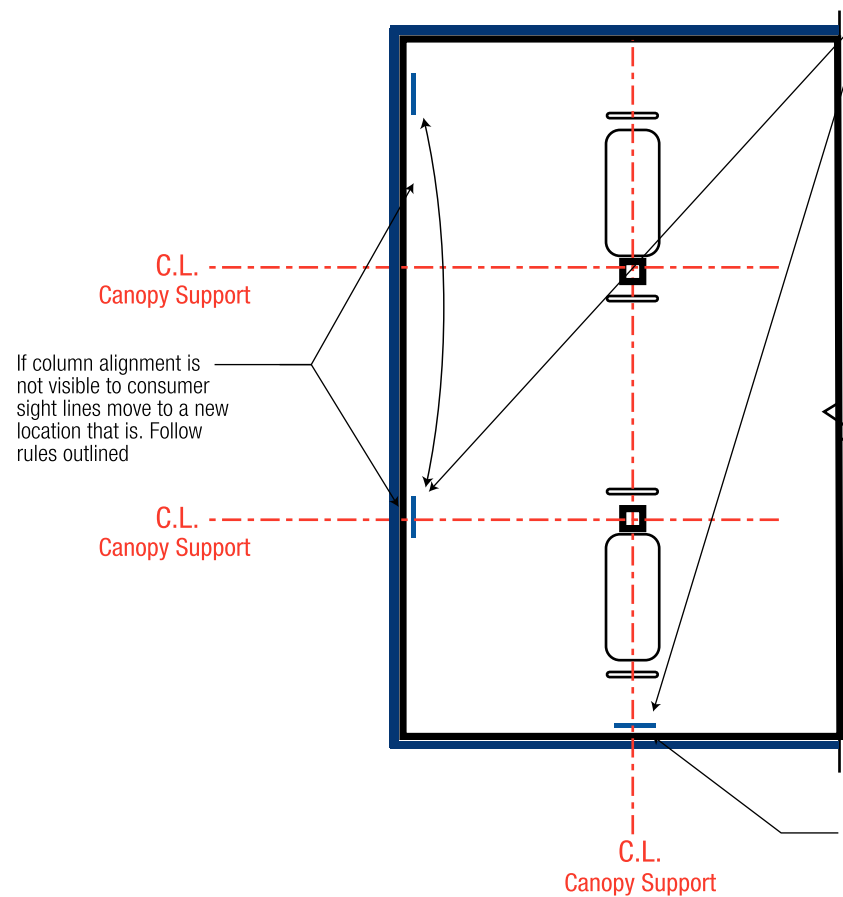
Note:

1. Canopy Clearance Sign should be positioned in the most visible sight lines for consumers entering the forecourt.

2. Align off column as first priority. If that location does not provide adequate visibility, move to a position that does.

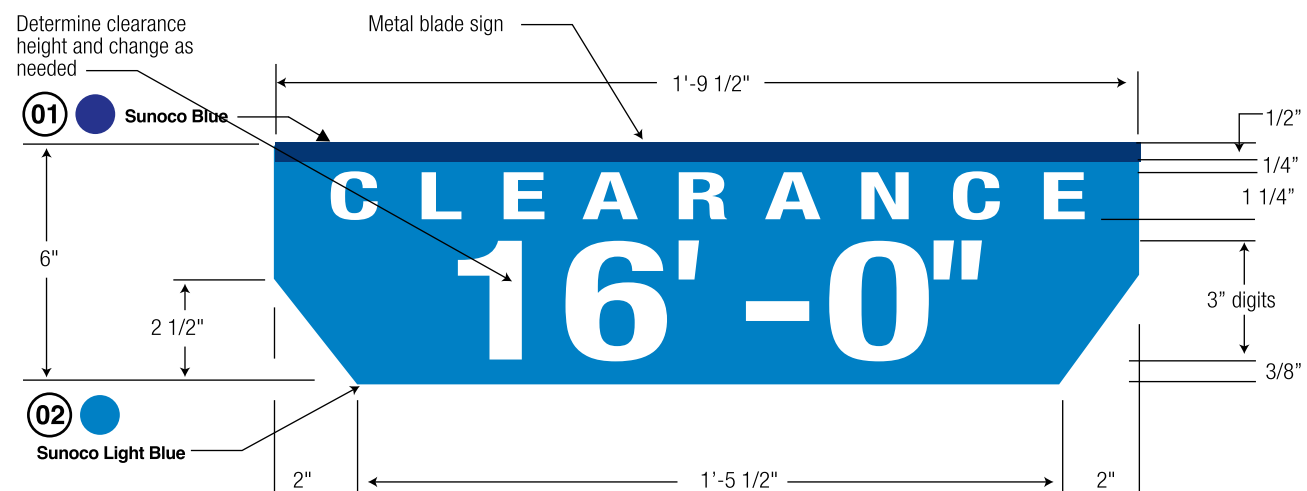
3. Do not position Clearance sign under a Sunoco word mark sign or Sunoco diamond sign when possible. Follow rules established on this sheet

4. (2) Clearance signs are typically used per canopy. If more are needed, seek approval from Sunoco reimage team



Plan View - Location of sign

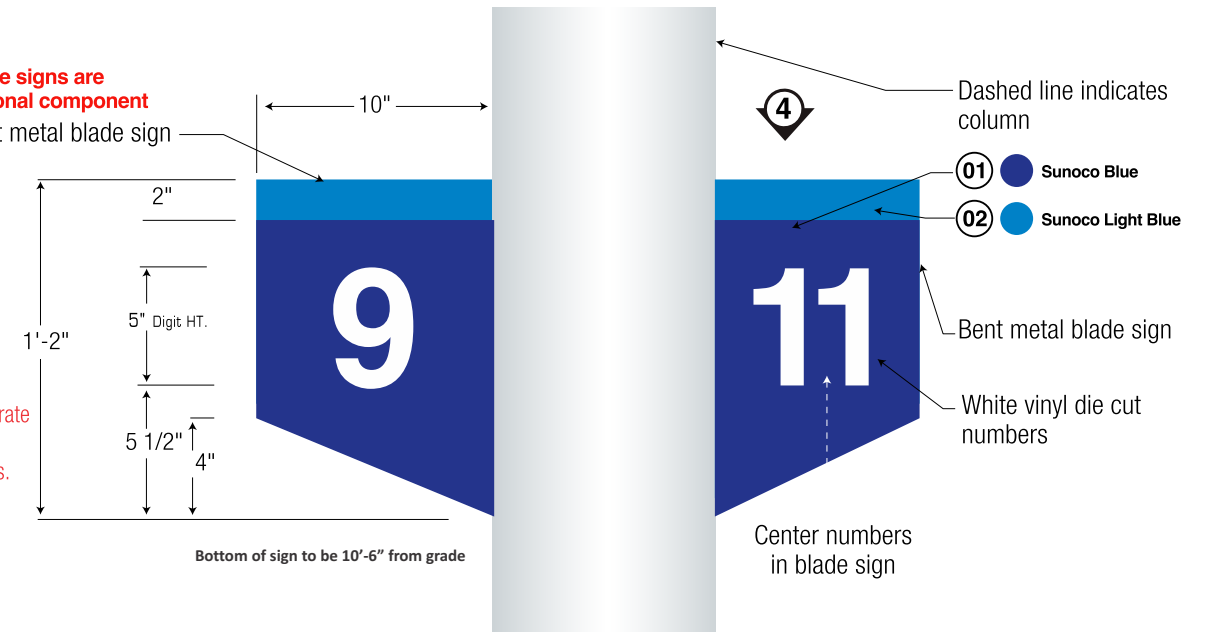
SCALE: 1 1/2" = 1'-0"



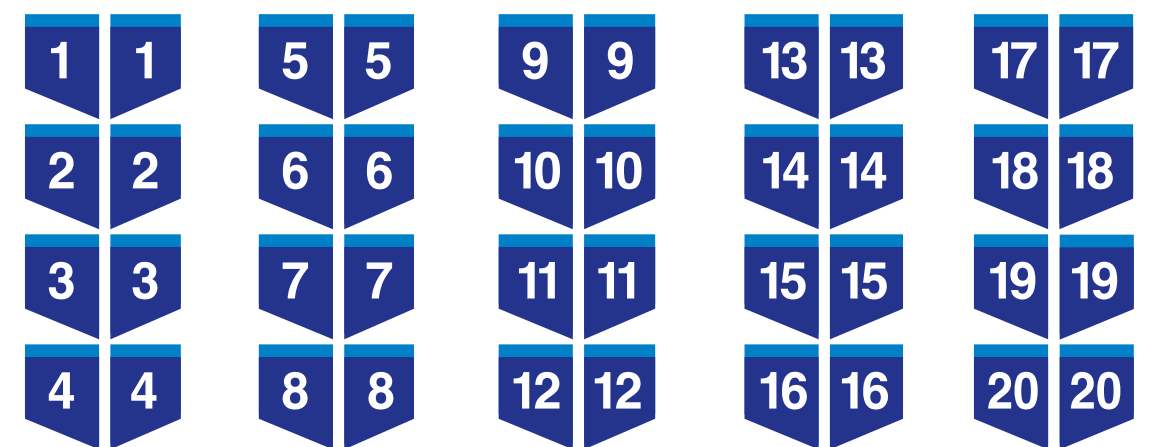
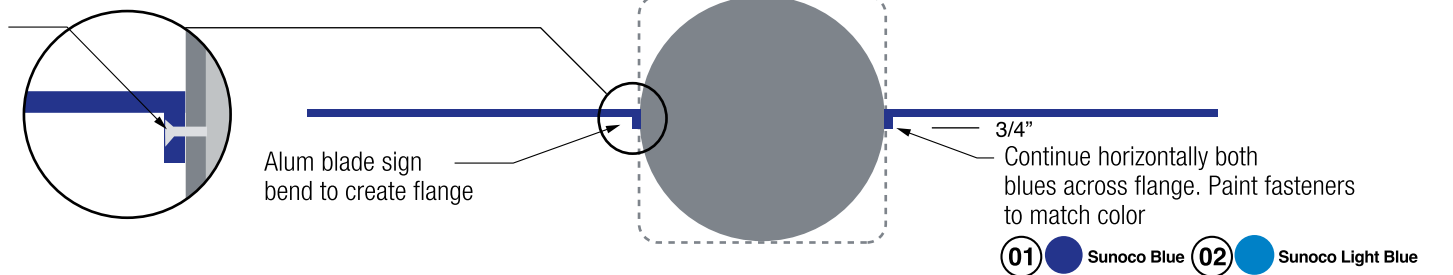
Blade signs are optional component
Bent metal blade sign

Fuel Blade Sign (Optional)

Blade signs are not recommended for sites that have 5 or less dispensers. If site has 6 or more dispensers it is recommended to incorporate blade signs. Flag signs are mounted on the canopy columns. Should be visible for both the consumer and C-Store.



All fasteners to be same color as blade, countersunk



IMAGING THE PETROLEUM INDUSTRY FOR OVER 30 YEARS

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Job Number: SUN-28235-SR

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Canopy Deck & Lighting

Scope of Work:

- Pressure Wash Gas Canopy Decking.
- Repaint Canopy Decking White if needed.
- Replace decking lights with LED if not already existing.

Per Sunoco specifications, all gas canopy decks should be White; diesel canopy decking should be painted Black.
 Canopy decks should be clean and free of peeling paint.
 Canopy decks that are not clean should be power washed.
 Canopy decks should be freshly re-painted if the underside was previously painted.

All canopy lights should be fully functional with clean lenses.
 Damaged or missing lenses should be replaced.
 If site does not currently have LED decking lights they must be updated to LED.

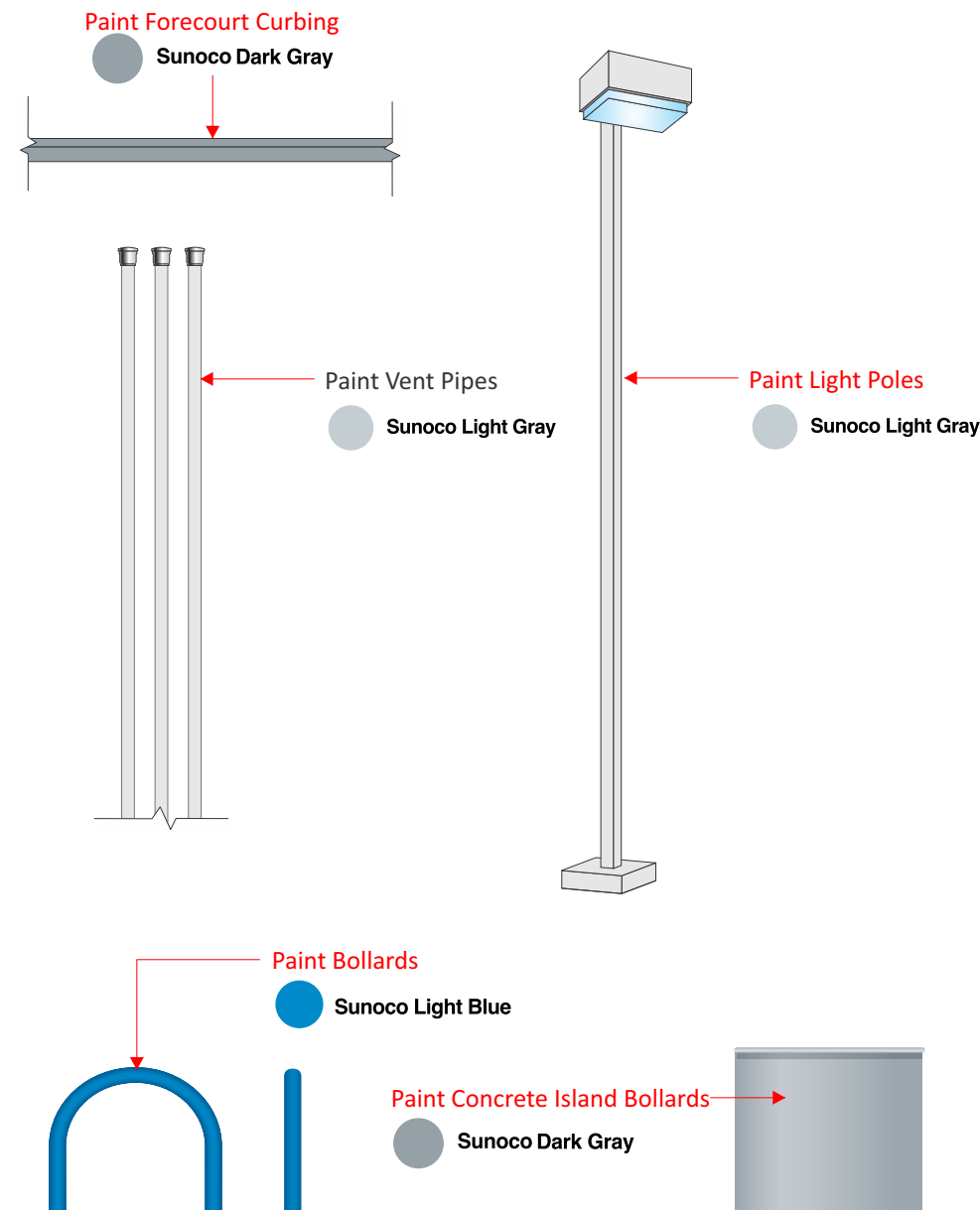
Existing Gas Canopy Decking & Lighting



Forecourt Imaging

Forecourt Scope of Work:

- Vent Pipes to be painted Sunoco Light Gray
- Forecourt Bollards to be painted Sunoco Light Blue
- Light poles to be painted Sunoco Light Gray
- Painted curbing to be re-painted Sunoco Dark Gray



Note: If bollards are stainless steel they are to remain unpainted



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Under Canopy Imaging

Under Canopy Scope of Work:

Top of Canopy columns to be painted Sunoco Light Gray w/ bottom 7'-1" from grade painted Sunoco Blue with 2" Light Blue Band (Qty: 2)
 Fuel Blade Signs installed (Qty: 2 sets) - Optional
 Island Curbing to be painted Sunoco Dark Gray (Qty: 2) - if existing is not stainless steel
 Concrete Bollards to be painted Sunoco Dark Gray (Qty: 4) - if existing is not stainless steel
 Install trashcans (1 per dispenser), pump # decals, regulatory decals etc.
 Install Pump Toppers (1 per dispenser)

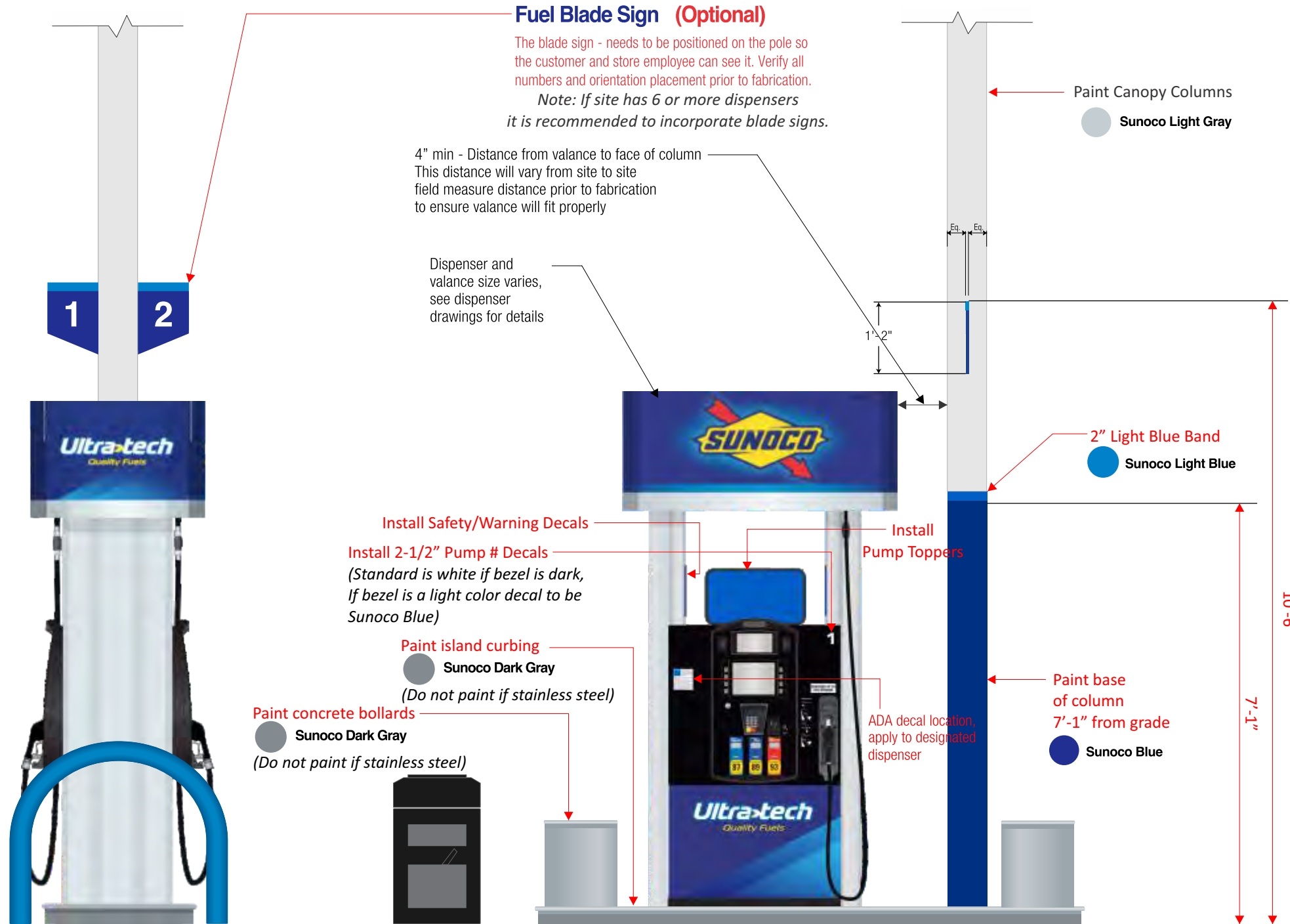
Fuel Blade Sign (Optional)

The blade sign - needs to be positioned on the pole so the customer and store employee can see it. Verify all numbers and orientation placement prior to fabrication.

Note: If site has 6 or more dispensers it is recommended to incorporate blade signs.

4" min - Distance from valance to face of column
 This distance will vary from site to site field measure distance prior to fabrication to ensure valance will fit properly

Dispenser and valance size varies, see dispenser drawings for details



Install Safety/Warning Decals
 Install 2-1/2" Pump # Decals
 (Standard is white if bezel is dark, If bezel is a light color decal to be Sunoco Blue)

Paint island curbing
 Sunoco Dark Gray
 (Do not paint if stainless steel)

Paint concrete bollards
 Sunoco Dark Gray
 (Do not paint if stainless steel)

ADA decal location, apply to designated dispenser

Paint base of column 7'-1" from grade
 Sunoco Blue

Install Pump Toppers



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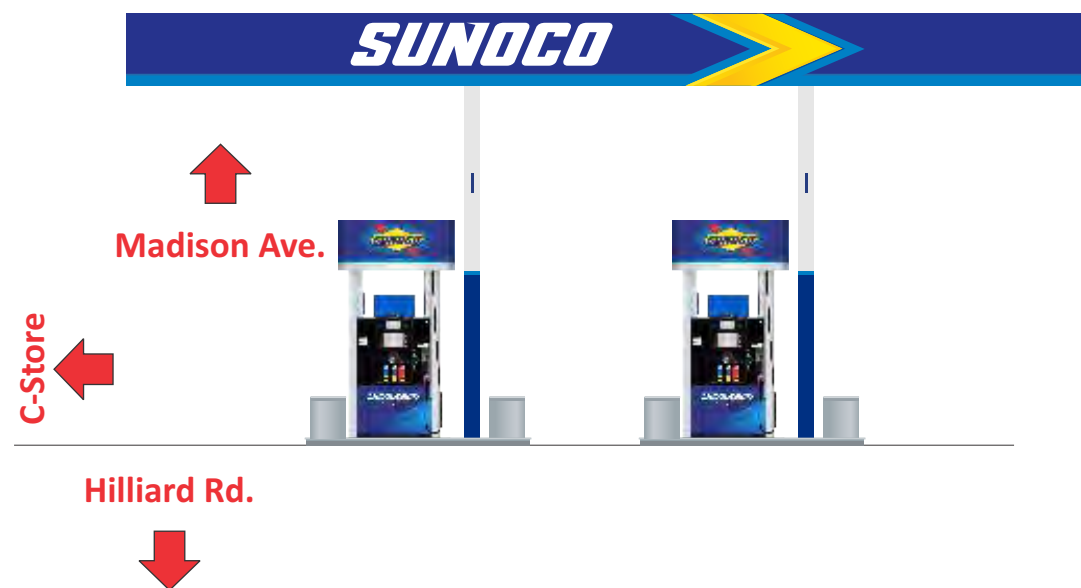
Customer Approval: _____

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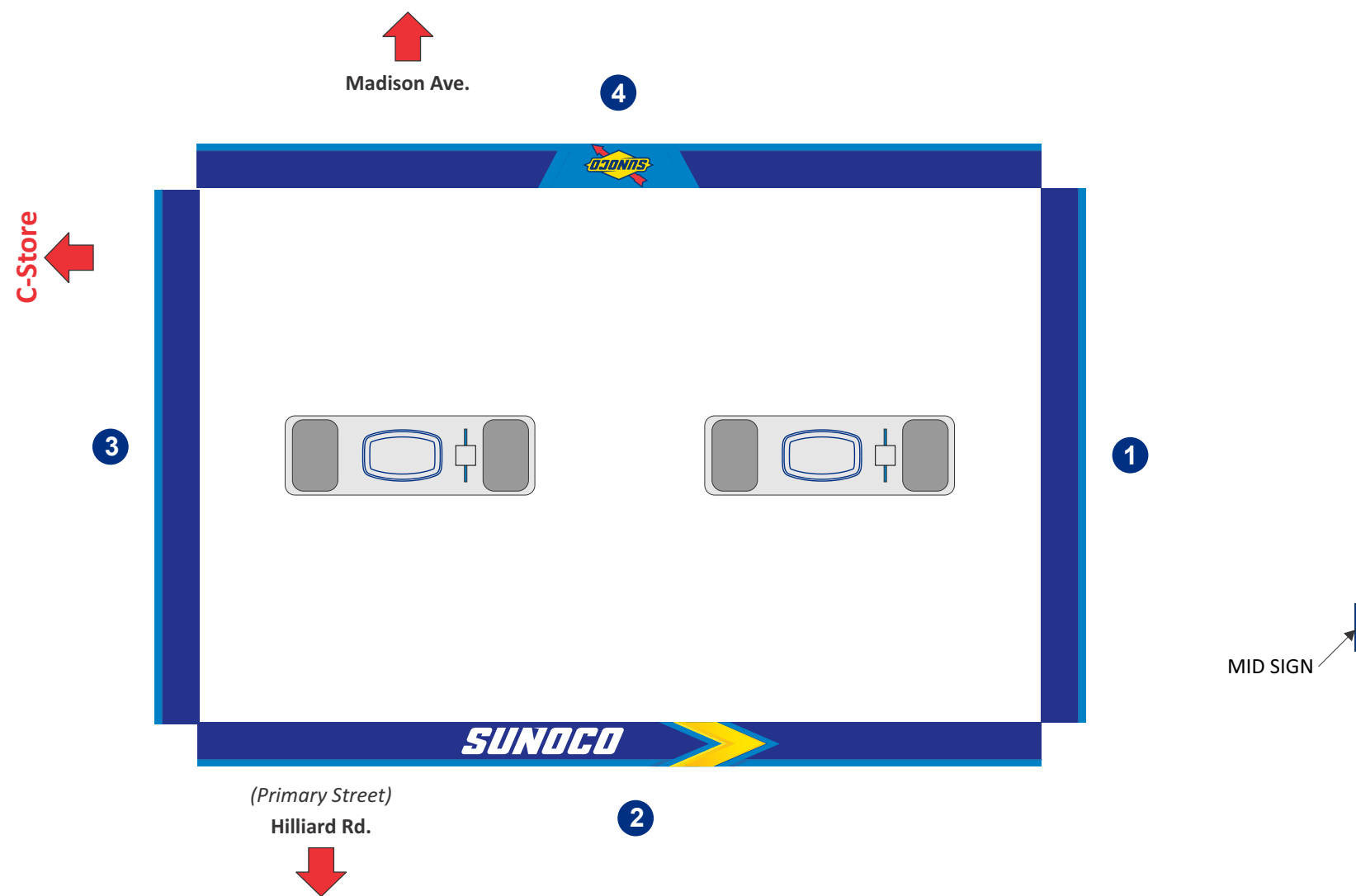
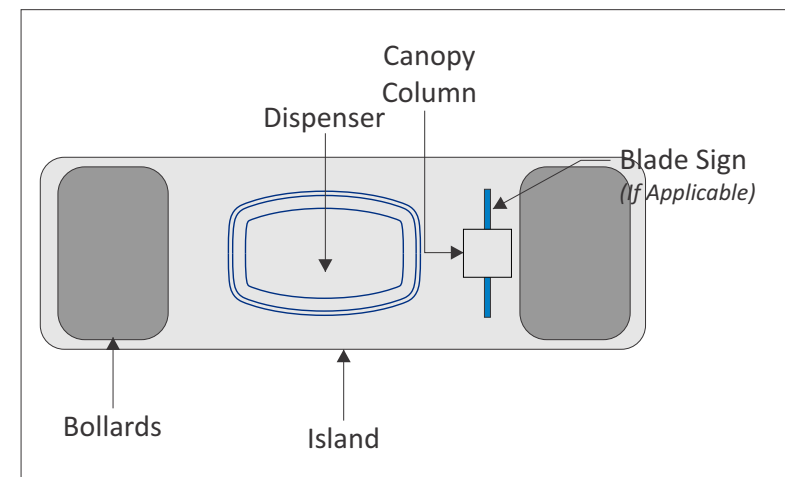
----- Please initial here



Under Canopy Imaging



SITE KEY



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Dispenser Imaging

Existing Dispensers Under Gas Canopy:



Wayne Ovation 2 3+0
Qty = 2

PROPOSED:

Ultra Tech Logo
on both sides of valance



Decal applied to
both sides of
valance

Valance: **SUN-V-24x56x21**
Material Supplier: Pro Sign
Qty: 2

A

Bent metal valance
with Sunoco
decoration



I

E

Health and Safety
decal (Primary
location inside risers)
one per dispenser

H

2 1/2" tall die
cut white number
coordinate
with blade sign
numbers

F

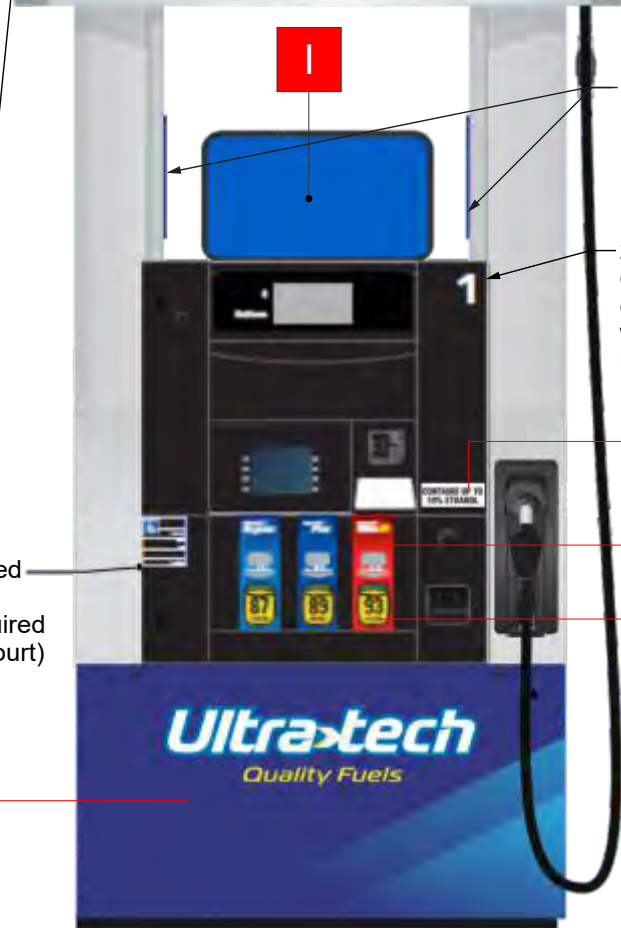
C

B

J

New ADA sticker applied
to replace existing
ADA sticker. (only required
on one pump on forecourt)

G



Gas Dispenser Scope of Work:

- New pre-imaged Wayne Ovation 2 dispensers to be installed. (Qty: 2 3+0)
- Dispensers will come with valances if ordered through Sunoco.
- a. SUNOCO Valances provided by ProSign to be fitted on all dispensers (Qty: 2)
- b. Install 2-1/2" Pump # Decal to to dispenser crind/bezel.
- c. Health & Safety decals (2 per dispenser) installed on inside risers
- d. Install all required regulatory decals as needed (ethanol, low sulfur, ADA etc.)
- e. Install Qty: 2 Pump Topper Frame

Required Dispenser Items:

- A** Valance
- B** Octane Decals
- C** Fuel Grade Decals (PIDs)
- D** ULSD Decal (If applicable)
- E** Health/Safety/Warning Decals
- F** Ethanol Decals
- G** Door Skirt
- H** 2-1/2" Pump # Decals
- I** Pump Topper
- J** ADA Decal
- K** Diesel Surround Overlay (If applicable)

Revisions:	
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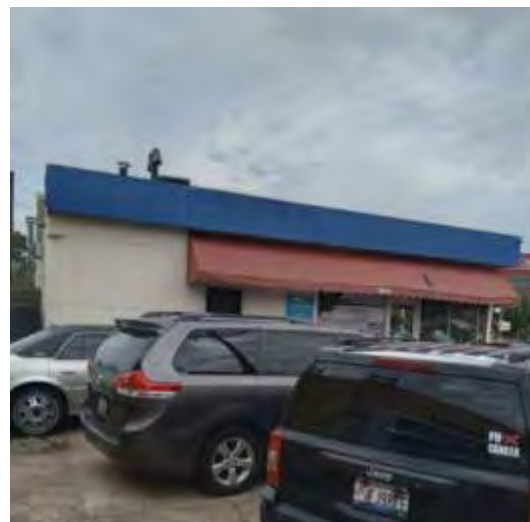
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C-Store Imaging

Existing C-Store

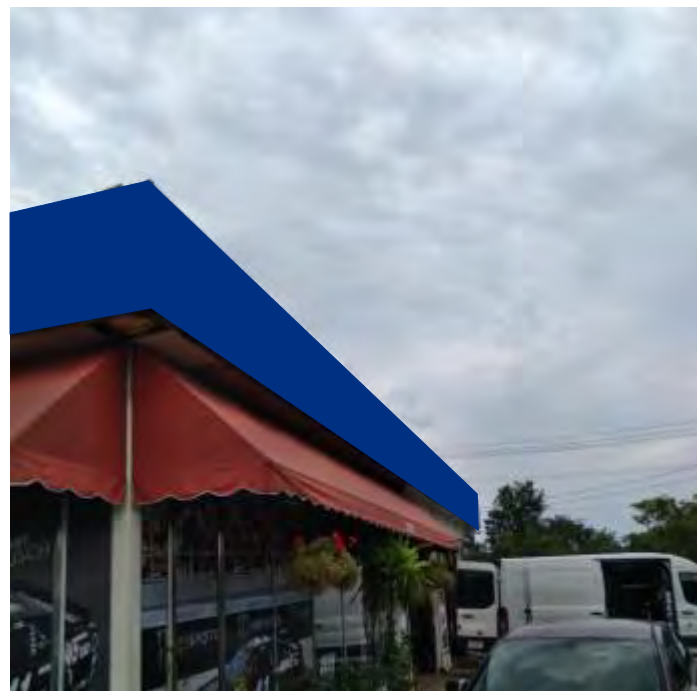


Scope of Work:

C-Store Image Work TBV

Pressure Wash C-Store Fascia & repaint Sunoco Blue.
Red Fabric Awning to be replaced?
Pressure Wash C-store Walls.
Repaint C-Store walls Sunoco Light Gray.

Proposed C-Store



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IMAGING THE PETROLEUM INDUSTRY FOR OVER 30 YEARS



Color Specifications

Sunoco Bright Blue

Material / Color Match

Pantone Process Blue C Match

Color Usage on Site

Dispenser Valance and Skirt gradations, MID Gradation accent

Sunoco Light Blue

Material / Color Match

Pantone 2935 C Match

3M Film - Intense Blue

Color Usage on Site

Canopy Fascia, Canopy Arrow Accents, Bollards, Blade Sign Accent, POP Accent, Architectural Forecourt Arrow Vertical Accent, Express Store fascia, Car Wash



Paint Spec

Sherwin Williams
Intense Blue - Satin Finish

Color Usage on Site
Bollards



Sunoco Medium Blue

Material / Color Match

Pantone 2935C Match

Color Usage on Site

Sign on Express Store

Sunoco Blue

Material / Color Match

Pantone 288 C Match

3M Film - Sapphire Blue

ACM - Reynobond Duragloss 3000 Sapphire Blue

Color Usage on Site

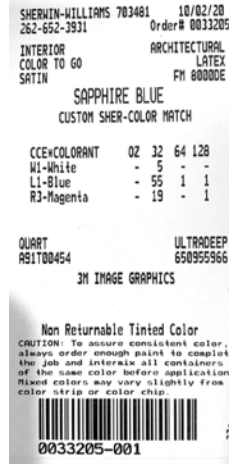
Canopy Fascia, Dispenser, Canopy Column, Blade Signs, POP Frame, Architectural Forecourt Arrow, MID Panels, Undercanopy Kiosk Fascia, Express Store fascia, Car Wash



Paint Spec

Sherwin Williams
Sapphire Blue - Satin Finish

Color Usage on Site
Canopy Column, Retro Fit MID Structural Columns, Undercanopy Kiosk Fascia



Sunoco Light Gray

Material / Color Match

SW 6253 Olympus White

Color Usage on Site

Canopy Columns, Vent Stacks, Site Lighting Poles, Undercanopy Kiosk Walls, Mullions for Kiosk if not approved approved colors, Express Store walls, Car Wash Walls

Paint Spec

Sherwin Williams

6253 Olympus White - Satin Finish

Color Usage on Site

Canopy Columns, Vent Stacks, Site Lighting Poles, Undercanopy Kiosk Walls, Mullions for Kiosk if not approved approved colors



Sunoco Silver

Material / Color Match

Pantone 877 C Match

Color Usage on Site

Valance Band, Unbranded diesel canopy fascia band



Paint Spec

TBD

Powder Coated Metal

Color Usage on Site
Valance Band

Sunoco Medium Gray

Material / Color Match

Pantone Cool Gray 6 C Match

Color Usage on Site

Unbranded Canopy Fascia
Wainscot on Car Wash



Paint Spec

Sherwin Williams

6255 Morning Fog

Color Usage on Site

Unbranded Canopy Fascia



Sunoco Dark Gray

Color Usage on Site

Canopy Island Curbs



Paint Spec

Sherwin Williams

6256 Serious Gray - Satin Finish

Color Usage on Site

Canopy Island Curbs





Color Specifications



Sunoco Yellow

Material / Color Match

Pantone 109 C Match
3M Films - Opaque - Bright Yellow - Translucent - Yellow

Color Usage on Site

MID Sunoco Logo, Ultratech Logo, graphic Arrow on Canopy



Paint Spec

Sherwin Williams

Yellow 109 Custom - Satin Finish

Color Usage on Site



Sunoco Warm Yellow

Material / Color Match

Pantone 116 C Match

Color Usage on Site

Illuminated Formed Arrow on Canopy, Accent Vertical Band on Architectural Arrow



Paint Spec

Sherwin Williams

Yellow 109 Custom - Satin Finish

Color Usage on Site



Sunoco Dark Yellow

Material / Color Match

Pantone 7408 C Match

Color Usage on Site

Digital Gradations on Arrow for Canopy to Create Dimension, Ultra Tech Arrow Gradations to Create Dimension



Sunoco White

Material / Color Match

White ACM / White Vinyl

Color Usage on Site

Express Store fascia, Unbranded diesel valance, Unbranded diesel canopy fascia



Paint Spec

TBD

Powder Coated Metal

Color Usage on Site

Express Store fascia, Unbranded diesel valance, Unbranded diesel canopy fascia



Sunoco Red

Material / Color Match

Pantone 485 C Match
3M Films - Opaque - Tomato Red - Translucent - Red

Color Usage on Site

Sunoco Logo



Sunoco Green

Material / Color Match

Pantone 355 C Match
3M Films - Opaque - Bright Green - Translucent - Vivid Green

Color Usage on Site

Diesel Dispensars, Diesel Grade Labels

Material Part Summary



Contacts
 Jessica Davis - jdavis@prosign.net
 Meghan Langley - mlangley@prosign.net

Illuminated: DIAMOND Decals:

Part # SUN-36-DIA-LED Qty: 1
 Part # SUN-42-DIA-LED
 Part # SUN-48-DIA-LED
 Part # SUN-54-DIA-LED

Part # SUN-36-DIA-VNL
 Part # SUN-42-DIA-VNL
 Part # SUN-48-DIA-VNL

Illuminated: WORDMARKS Decals:

Part # SUN-25-WM-LED Qty: 1
 Part # SUN-32-WM-LED

Part # SUN-25-WM-VNL
 Part # SUN-32-WM-VNL

Non-Illuminated:

Part # SUN-25-WM-NI
 Part # SUN-32-WM-NI

Branded: Diesel

Part # SUN-25-WMDSL
 Part # SUN-32-WMDSL

Part # SUN-25-WMD-VNL
 Part # SUN-32-WMD-VNL

Unbranded: Diesel

Part # SUN-25-WMUDSL
 Part # SUN-32-WMUDSL

Part # SUN-25-WMUDVNL
 Part # SUN-32-WMUDVNL

DISPENSER VALANCES

GAS:

Part # SUN-V-24x43x21
 Part # SUN-V-24x56x21 (Qty: 2)
 Part # SUN-V-24x56x27
 Part # SUN-V-24x58x25
 Part # SUN-V-24x68x30
 Part # SUN-V-24x56x36
 Part # SUN-V-16x50x34
 Part # SUN-V-16x56x36

DIESEL:

Part # SUN-V-24x43x21D
 Part # SUN-V-24x56x21D
 Part # SUN-V-24x56x27D
 Part # SUN-V-24x58x25D
 Part # SUN-V-24x68x30D
 Part # SUN-V-24x56x36D

UNBRANDED:

Part # TBV

Illuminated: CANOPY ARROWS Decals:

Part # SUN-36-ARW-LED Qty: 1
 Part # SUN-42-ARW-LED
 Part # SUN-48-ARW-LED

Part # SUN-36-ARW-VNL
 Part # SUN-42-ARW-VNL
 Part # SUN-48-ARW-VNL

Non-Illuminated:

Part # SUN-36-ARW-NI
 Part # SUN-42-ARW-NI
 Part # SUN-48-ARW-NI

VINYL BACKER FOR ARROW (IF FLAT FASCIA)

Part # SUN-36-ABVNL Qty: 1 set
 Part # SUN-42-ABVNL
 Part # SUN-48-ABVNL

Part # SUN-36-ARW-VNL
 Part # SUN-42-ARW-VNL
 Part # SUN-48-ARW-VNL

Qty: 2 per Arrow Sign

SOLID COLORED VINYL

Part # SUN-SV37-BLUE
 Part # SUN-SV48-BLUE
 Part # SUN-SV6-INTBLU
 Part # SUN-SV8-INTBLU

FEDERAL HEATH
 VISUAL COMMUNICATIONS
 Diane Day
DDay@FederalHeath.com

POP POSTER FRAMES / ARROWS

Part # SUN0012 Qty: N/A
 POP Poster Frame

Part # SUN0013 Qty: N/A
 Small Fuel Island Arrow

Note: Need Qty: 2 per dispenser

CANOPY COLUMN WRAPS

Part # SUN0015 Qty: 2
 2" Intense Blue Vinyl Decal

Note: Need Qty: 1 per canopy column

CLEARANCE SIGNS / BLADE SIGNS (OPTIONAL)

CLEARANCE 16'-0"
 IF CHOSEN:
 Part # SUN001 Qty: 2

IF CHOSEN:

Part # SUN004 Qty: 4
 Part # SUN-0006
 Blade Sign 1-12 Number Set
 Part # SUN-007
 Blade Sign 12-24 Number Set

DISPENSER DECALS

Health & Safety Decal (Large)
 Health & Safety Decal (Small) - 2 per dispenser required (Qty: 4)
 Dispenser ADA Decal - (Qty: 2)
 10% Ethanol Decals - (Qty: 4)

Decals to be provided by LSI

REQUIRED TRASH CAN

COMMERCIAL ZONE PRODUCTS

Part # 73720199 Qty: 2
 30 Gal Black Waste/Windshield
 Hex Service Center w/ Anchor
 Kit & One Squeegee

Note: 1 per dispenser required

cpsservice@commercialzone.com

For other optional items refer to the DCI Tab on the Sunoco Distributor Centennial Order Form

PUMP TOPPER FRAMES

M&M VISUAL POP SOLUTIONS

Part # 911
 (12" x 20" Side Mounted)
 Part # 910 (Qty: 2)
 (12" x 20")

Fran@mmdisplays.com
Bobdigiorgio@mmdisplays.com

Note: Everbrite, LSI & Fed Heath all require CUSTOM Site Specific Quotes. Please contact them directly for your site specific material quote(s)

Everbrite
 Nisrin Darwich
NDarwich@Everbrite.com
 Trevor Koehn
TKoehn@Everbrite.com

LSI
 Kim White
Kim.White@lsi-industries.com

FEDERAL HEATH
 VISUAL COMMUNICATIONS
 Diane Day
DDay@FederalHeath.com



Contractor Checklist

THIS SECTION TBD



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

C

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Application Cover Page

Docket No.: 10-143-21

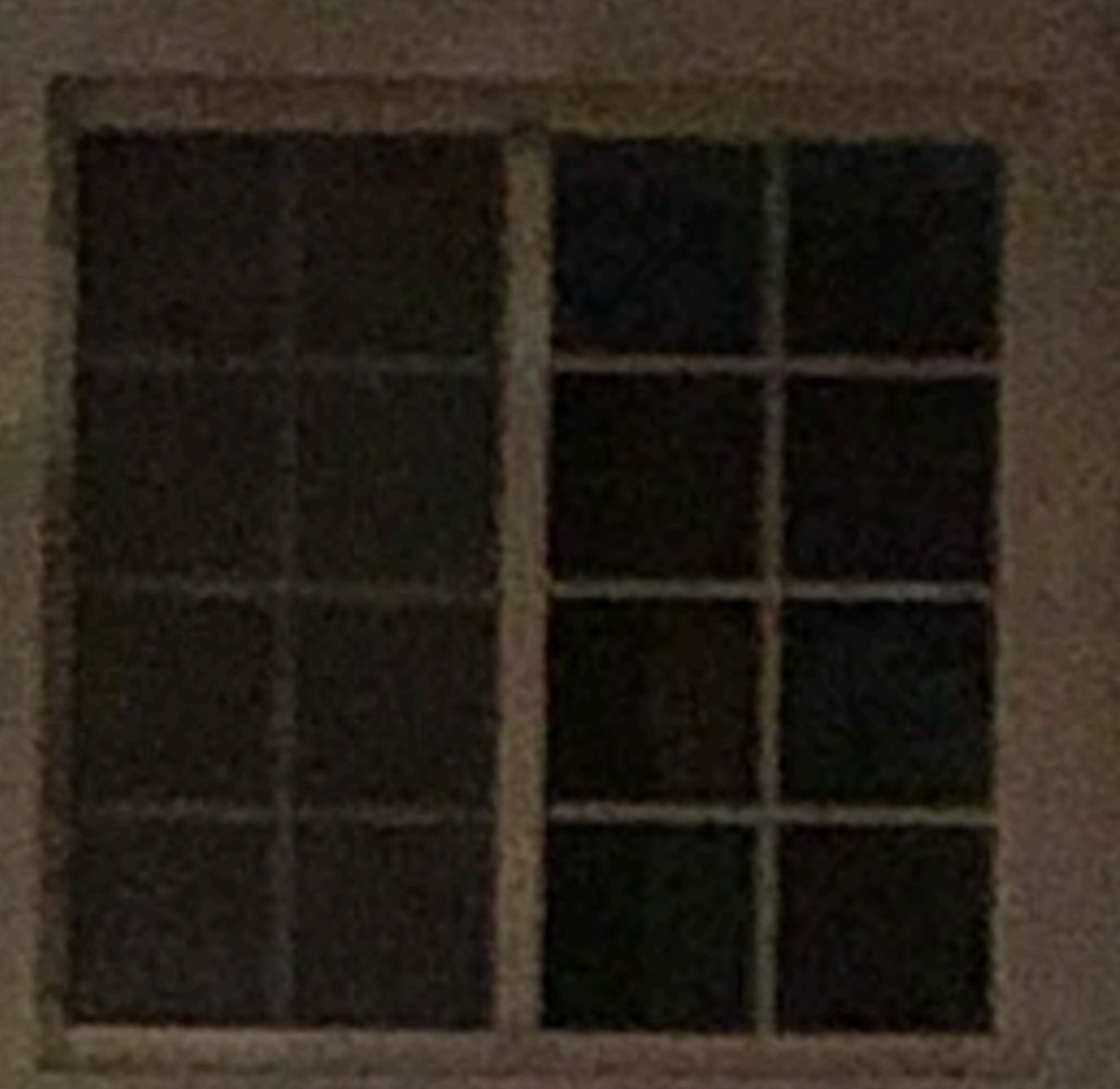
Permit No.: BBS21-000176

Applicant Name: Charles Matthews, The French Quarter Furniture Gallery

Project Address: 12607 Madison Ave.

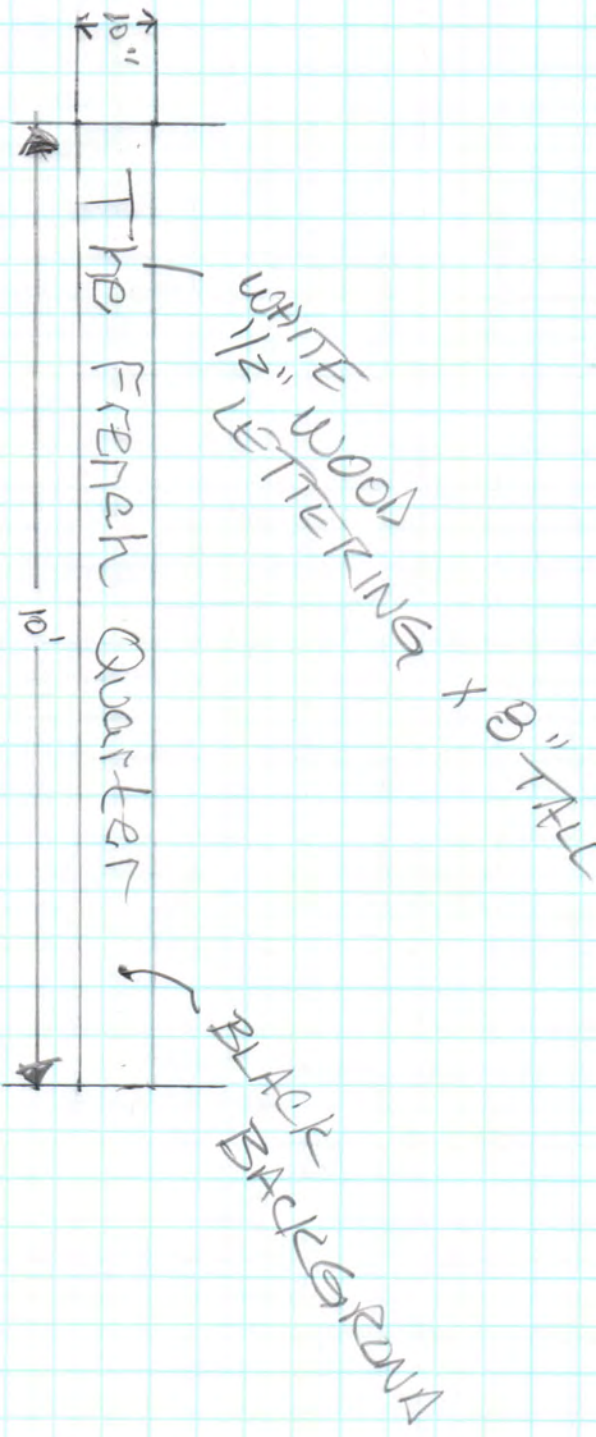
Project Name: The French Quarter Furniture

Project: Applicant proposes signage in the sign band for a new business.



SummerGirl Studio





LETTERING TO BE ADHEREED WITH LIQUID NAIL AND BRAD NAILS TO EXISTING STRUCTURE.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 10-144-21

Permit No.: BBS21-000177

Applicant Name: Jon Legato, Circle Home Group Realty

Project Address: 15616 Detroit Ave.

Project Name: CW Citywide – Circle Home Group

Project: Applicant proposes door and window signage.

18.89 in

14.5 in

CIRCLE
HOME GROUP

72.77 in

kw CITYWIDE
KELLERWILLIAMS

4.02 in

14.72 in

15616



30 in
15616

CIRCLE
HOME GROUP

94"

76"



kw CITYWIDE
KELLERWILLIAMS

30"x76"=15.83 sq. ft.
*design comes to 1.9 sq. ft

94"x76"=49.61 sq. ft.
*design comes to 7.43 sq. ft

Customer		Job No.	
Company		Date: 8/16/2021	
Address		Order No.	
City		Estimate	
Phone		0.00	
Fax		Quantity	
		20.701in x 11.212in	

Signarama North Olmsted 26747 Brookpark Rd. EXT. North Olmsted, Ohio 44170
PH: 440-715-0000

PROOF APPROVAL
PLEASE THOROUGHLY REVIEW ALL DIGITAL AND PHYSICAL PROOFS OF THE PROJECT.
The client understands that all proof readings and final checking is your responsibility, and understands that printed product colors may vary from what you may see on your computer screen. Client accepts full responsibility for the approval and timely final proof approval to proceed with the production. The client understands that by the 100% release, extra work may apply.









