

**AGENDA
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
EAST CONFERENCE ROOM
NOVEMBER 2, 2023
4:00 P.M.**

**REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
NOVEMBER 9, 2023
5:30 P.M.**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE OCTOBER 12, 2023 MEETING
3. OPENING REMARKS

OLD BUSINESS

SIGN REVIEW

4. Docket No. 10-79-23

**13306 Detroit Ave.
Cloud City Vapes**

- () Approve
- () Deny
- () Defer

Sam Baadani
Cloud City Smokes
13306 Detroit Ave.
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 6)

5. Docket No. 10-80-23

**17119 Madison Ave.
Ayurveda Wellness House**

- () Approve
- () Deny
- () Defer

Shilpika Devaiah
Ayur-Shilpi Ayurveda & Wellness LLC
17119 Madison Ave.
Lakewood, OH 44107

Applicant proposes new signage in an existing ground sign. (Page 10)

6. Docket No. 10-81-23

- Approve
- Deny
- Defer

**15000 Madison Ave.
NextHome Experts**

Laura Higgins-Woyma
Brilliant Electric Sign Co.
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes a ground sign. (Page 14)

NEW BUSINESS

SIGN REVIEW

7. Docket No. 11-83-23

- Approve
- Deny
- Defer

**15613 Detroit Ave.
Black Market Meats**

Jim Briola
North Coast Sign and Lighting Services Inc.
310 N. Broadway St.
Medina, OH 44256

Applicant proposes a neon window sign. (Page 18)

8. Docket No. 11-84-23

- Approve
- Deny
- Defer

**15500 Madison Ave.
Vapor Kings**

Aldo Dure
Be Next Awning & Graphics
5109 Clark Ave.
Cleveland, OH 44102

Applicant proposes illuminated cloud channel letters on flush mount sign in sign board. (Page 23)

9. Docket No. 11-85-23

- Approve
- Deny
- Defer

**15729 Madison Ave.
Happy Bear Chandlery**

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes window signage. (Page 28)

10. Docket No. 11-86-23

- Approve

**18119 Detroit Ave.
Onward Design Collaborative**

Steven Foster

- Deny
- Defer

The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes window signage. (Page 31)

11. Docket No. 11-87-23

**12815 Detroit Ave.
LakewoodAlive and Larsen Architects**

- Approve
- Deny
- Defer

James Ptacek
Larsen Architects
12506 Edgewater Dr., Ste 10
Lakewood, OH 44107

Applicant proposes signage on doors and building for two separate businesses. (Page 34)

12. Docket No. 11-88-23

**13804 Detroit Ave.
iRiE Jamaican Restaurant**

- Approve
- Deny
- Defer

Shadi Almikdad
Neon Signs
10505 Berea Rd.
Cleveland, OH 44102

Applicant proposes internally illuminated flush mounted channel letters in the sign band. (Page 40)

13. Docket No. 11-89-23

**12211 Madison Ave.
Miss Frillery's Costume Jewelry Emporium**

- Approve
- Deny
- Defer

Shawn Warren
Erie Design Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes vinyl window signage. (Page 42)

ARCHITECTURAL BOARD OF REVIEW

14. Docket No. 11-90-23 (R)

1100 Maple Cliff Dr.

- Approve
- Deny
- Defer

Charles McGettrick
Architects, C.A. McGettrick LLC
14551 Madison Ave.
Lakewood, OH 44107

Applicant proposes renovations of an existing residence. (Page 47)

15. Docket No. 11-91-23 (R)

15703 Lake Ave.

- Approve
- Deny
- Defer

Charles McGettrick
Architects, C.A. McGettrick LLC
14551 Madison Ave.
Lakewood, OH 44107

Applicant proposes renovations of an existing residence. (Page 58)

16. Docket No. 11-92-23 (C)

**12815 Detroit Ave.
LakewoodAlive and Larsen Architects**

- Approve
- Deny
- Defer

James Ptacek
Larsen Architects
12506 Edgewater Dr., Ste 10
Lakewood, OH 44107

Applicant proposes exterior renovations of an existing commercial building. (Page 72)

17. Docket No. 11-93-23 (R)

**12534 Lake Ave.
Shady Cove Townhouses**

- Approve
- Deny
- Defer

Tyler Brummett
Brookside Shady LLC
716 University Court
Cleveland, OH 44113

Applicant proposes demolition of a residential home. (Page 78)

18. Docket No. 11-94-23 (C)

**12534 Lake Ave.
Shady Cove Townhouses**

- Approve
- Deny
- Defer

Tyler Brummett
Brookside Shady LLC
716 University Court
Cleveland, OH 44113

Applicant proposes the development of 16 townhouses. (Page 110)

COMMUNICATION: PRELIMINARY REVIEW

19. Docket No. 11-95-23 (C)

**11818 Madison Ave.
RISE LAKEWOOD**

- Approve
- Deny
- Defer

Jonathan Ziegen
Osborn Engineering
1111 Superior Ave. E., Suite 2100
Cleveland, OH 44114

Applicant proposes an informational presentation of a new project. (Page 117)

ADJOURN

“Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nocht at (216) 529-5906 michelle.nochta@lakewoodoh.net .”



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SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 10-79-23

Permit No.: BBS23-000073

Applicant Name: Sam Baadani, Cloud City Smokes

Project Address: 13306 Detroit Ave.

Project Name: Cloud City Vapes

Project: Applicant proposes signage in the sign band.

RBG Lakewood LLC
13302 Detroit Ave.
Lakewood Ohio, 44280
(216-235-8484)

9/20/2023

To the City of Lakewood,

I Rick Groetsch owner of the building in which Aish Alhanash will be opening a Vape Store within, I DO give permission for him to place a new sign either on the inside windows or outside wall either is totally fine by me.

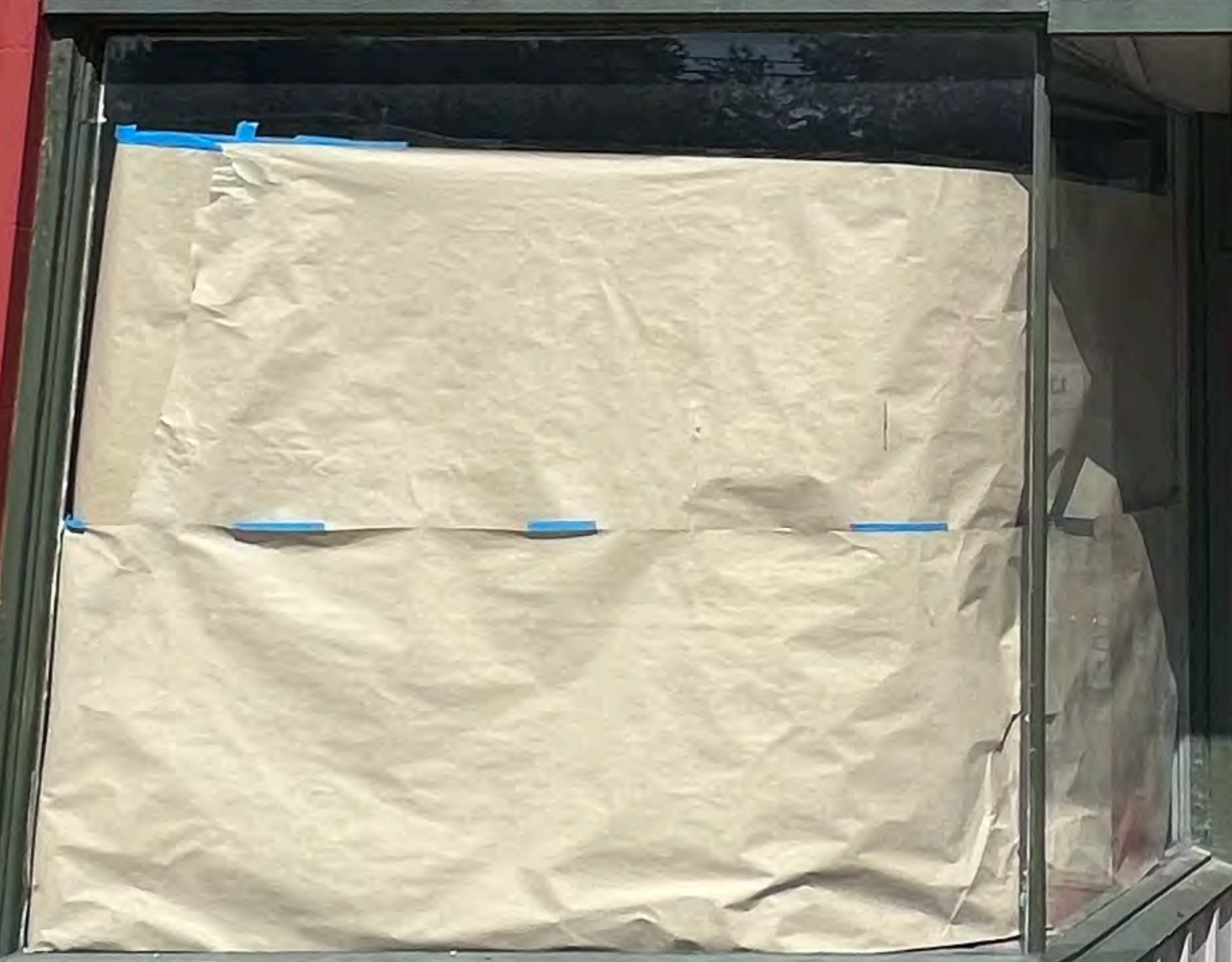
If needed you may reach me on my cell listed above.

Thank you,

Rick Groetsch

3 1/2 - 4 ft

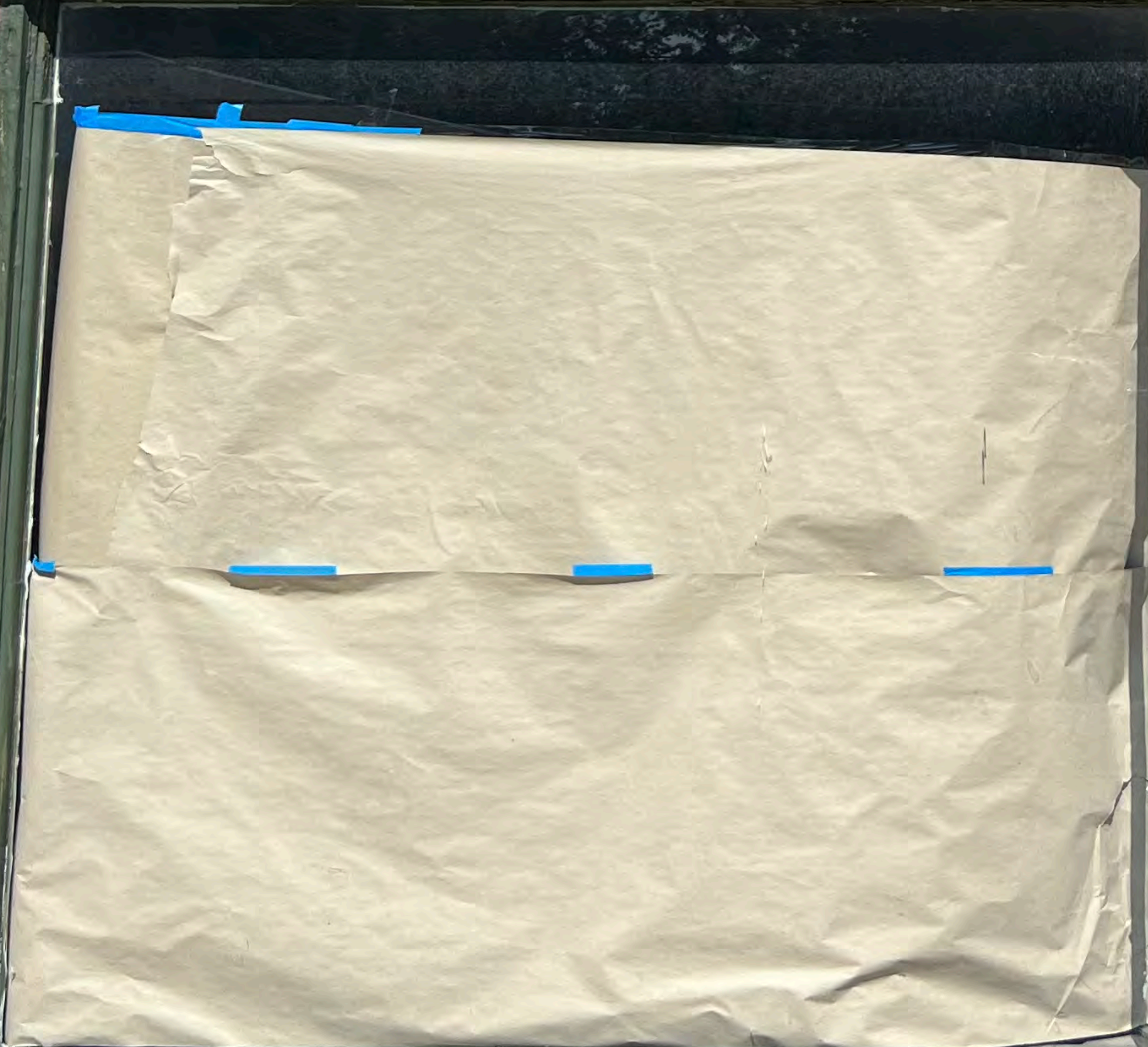
11 1/2 - 12 ft





11 1/2 - 12 ft

3 1/2 - 4 ft



Text





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Application Cover Page

Docket No.: 10-80-23



Permit No.: BBS23-000069

Applicant Name: Shilpika Devaiah, Ayurveda Wellness House

Project Address: 17119 Madison Ave.

Project Name: Ayurveda Wellness House

Project: Applicant proposes new signage in an existing ground sign.



चान्दे अयुरवेदोपी

Ayurveda

Wellness House





Fulton & Hudson

Real Estate

1000 ...

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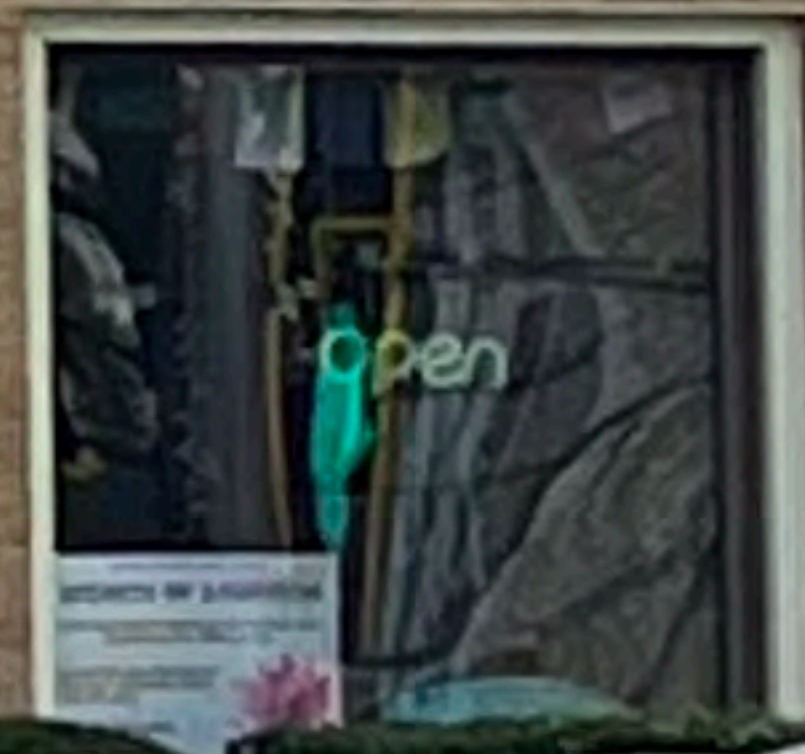
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Application Cover Page

Docket No.: 10-81-23

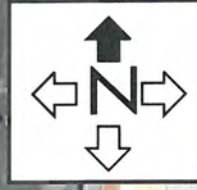
Permit No.: BBS23-000088

Applicant Name: Laura Higgins-Woyma, Brilliant Electric Sign Co.

Project Address: 15000 Madison Ave.

Project Name: NextHome Experts

Project: Applicant proposes a monument sign.



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

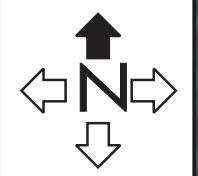


Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING. CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	15000 BUILDING	SALESMAN	JM	DATE	9/18/23	REVISION		DESIGN NO.	B23-1197
LOCATION	15000 MADISON AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2023
								FILE NAME	charlotte/ 15000 building S3 (2)



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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COMPANY NAME	15000 BUILDING	SALESMAN	JM	DATE	10/6/23	REVISION		DESIGN NO.	B23-1274
LOCATION	15000 MADISON AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2023
		FILE NAME		charlotte/ next home gs					



SIGN ELEVATION: 1/2" = 1'-0'

Notes

Manufacture & install one (1) single face, LED internally illuminated, curved, aluminum, cabinet holding four (4) single face, polycarbonate, panels; one (1) to be header panel; three (3) to be interchangeable panels; whole cabinet to be mounted in between two (2) aluminum, columns on top of masonry base with stone cap

- Cabinet & divider bars to be painted orange
- Tenant panels to have first surface, digital print
- Columns on either side of the cabinet to be painted black
- Masonry base to be black brick; with stone cap

RATED 120 VOLTS

***Specific colors to be determined**



PHOTO RENDERING NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Brilliant Electric Sign Co., Ltd.

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COMPANY NAME	15000 BUILDING	SALESMAN	JM	DATE	8/9/23	REVISION	DESIGN NO.
LOCATION	15000 MADISON AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		B23-1095
							COPYRIGHT © 2023
							FILE NAME charlotte/ next home gs



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Application Cover Page

Docket No.: 11-83-23

Permit No.: BBS23-000076

Applicant Name: Jim Briola, North Coast Sign and Lighting Services Inc.

Project Address: 15613 Detroit Ave.

Project Name: Black Market Meats

Project: Applicant proposes a neon window sign.

To whom it may concern:

I, Peter Spirolis,

Grant permission to North Coast Sign & Lighting to act on our behalf in meetings and install signage on the said property below.

Property:

15613 Detroit Ave.


Lakewood, OH 44107

Owner/Landlord contact information:

Name: Peter Spirolis

Address: 15613 Detroit Ave, Lakewood, OH 44107

Contact (phone & e-mail): 216.235.8297

Signature: 

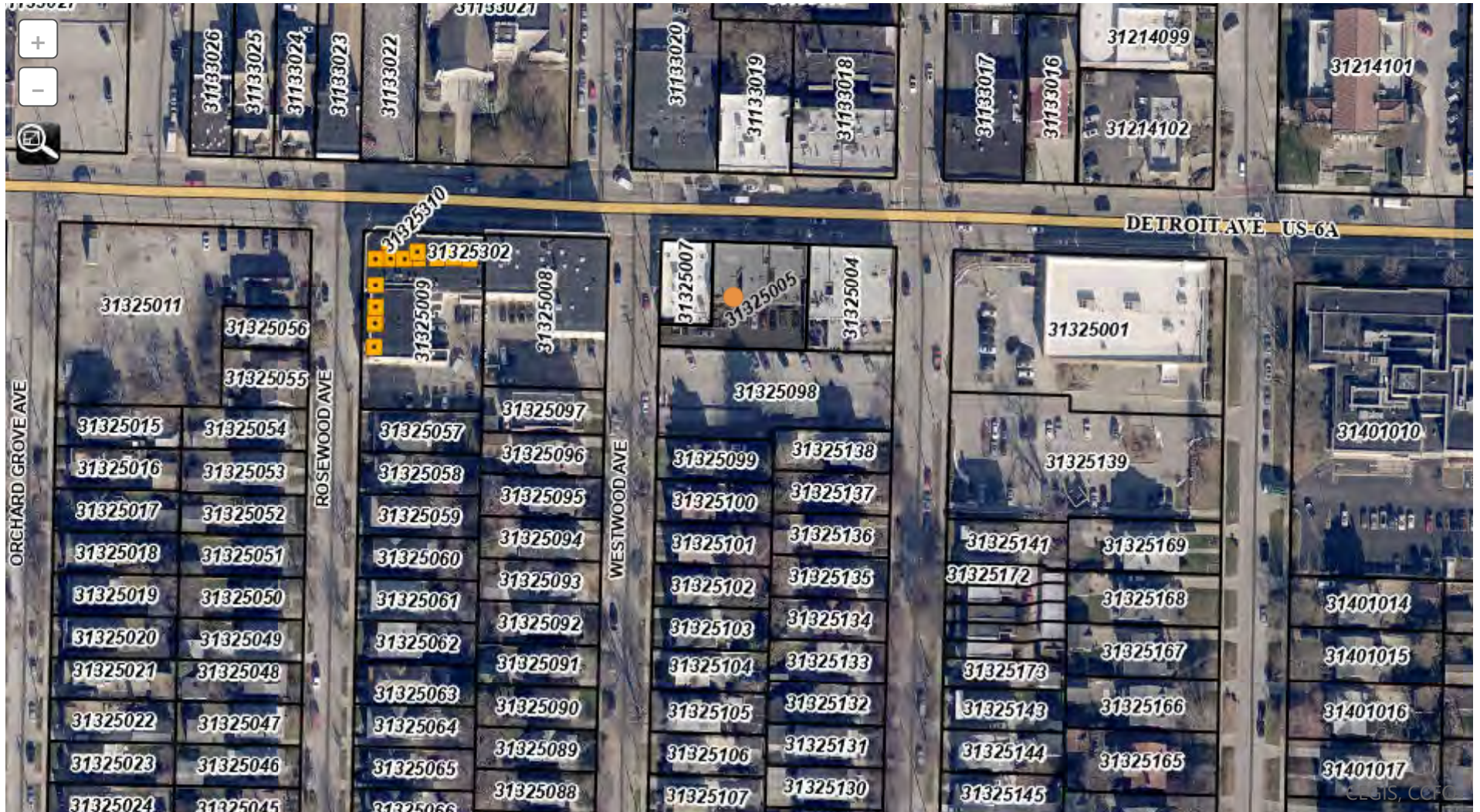
LEGAL RECORDINGS

[Get a Document List](#)

ACTIVITY

[Informal Reviews](#)

[Board of Revisions Cases](#)



Zoom in and click on a parcel for more information or click the banner to reset the map



ARTS
Grille
Est. 1933

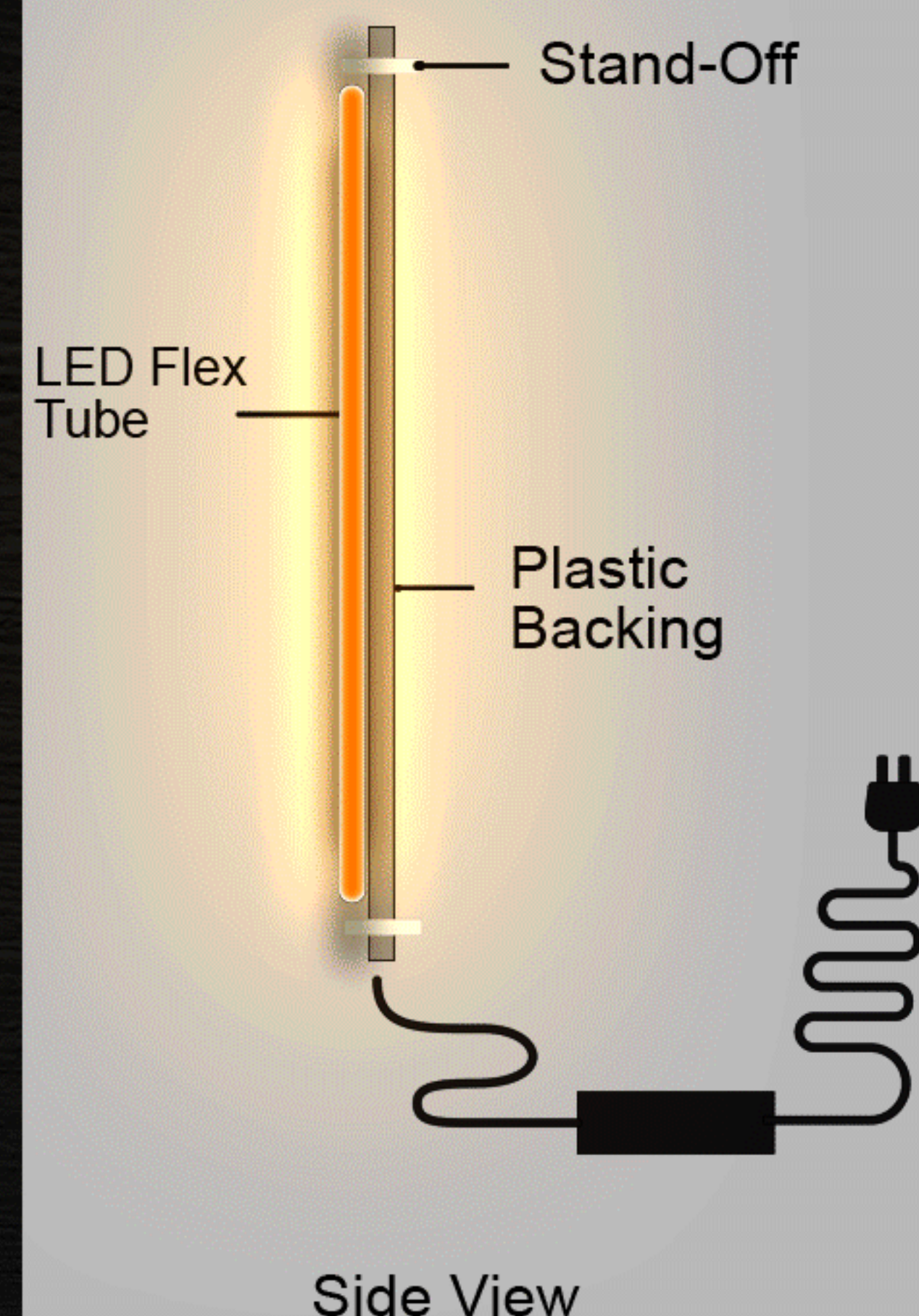
ARTS
Grille

ALS
TACOS
WINGS
BURGERS
PASTAS

15613



DESIGN PROOF



Customer's Name: Cory Hajde

Artist: Designer

Size: 38" Tall x 36" Wide x 1" Deep

Backing: Contour-cut Clear Acrylic

Color: RGB LED Flex Neon

Font Style: n/a


DISCLAIMER

Actual product may differ slightly from the proof.

Comments/Notes:

- Made Overseas
- Wall Hanging
- Stand-offs included
- Indoor Use
- Date: July 31, 2023

 bestbuyneonsigns.com

 sales@bestbuyneonsigns.com

LED Meter: 16.86m



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Application Cover Page

Docket No.: 11-84-23

Permit No.: BBS23-000077

Applicant Name: Aldo Dure, Be Next Awning & Graphics.

Project Address: 15500 Madison Ave.

Project Name: Vapor Kings

Project: Applicant proposes illuminated cloud channel letters on flush mount sign in sign board.

Letter owner consent

Subject : Sign Installation

Owner's name : malik mohammed.

Address : 9560 boundary lane Parma OH

Telephone no: (330)214-3553 or (216)299-2828.

I. the undersigned am the owner of the abobe name property and hereby the proposed sign installation by(company performing installation) BNEXT DESIGN

Address of work : 15500 madison Ave Lakewood OH.



Owner's Signature

10/9/23.

Date:



BNEXT

Cleveland Office

5109 Clark Ave.
Cleveland, Ohio 44102
216-688-1800

TEXT 216-407-7711 TO CHAT NOW!

| Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: VAPOR KINGS

CONTACT:

ADDRESS: 15500 Madison Ave, Lakewood, OH 44107

DRAWING: 0000110

DATE: 09-22-2023

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: VAPOR KINGS / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	09-22-23
Design	Juan J. Monsanto	09-22-23

JOB DESCRIPTION

ILLUMINATED CLOUD CHANNEL LETTERS ON FLUSH MOUNT

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

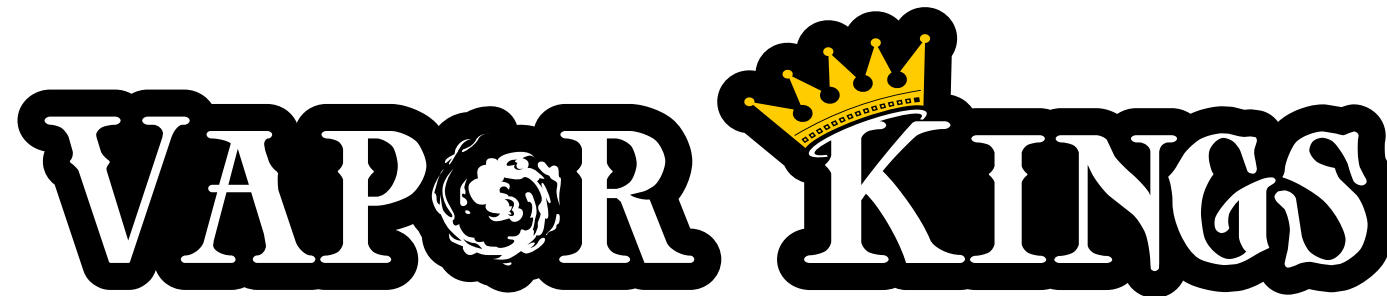
LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:



15500 Madison Ave, Lakewood, OH 44107



BNEXT

Cleveland Office
5109 Clark Ave.
Cleveland, Ohio 44102
216-688-1800

TEXT 216-407-7711 TO CHAT NOW!

| Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: VAPOR KINGS

CONTACT:

ADDRESS: 15500 Madison Ave, Lakewood, OH 44107

DRAWING: 0000110 DATE: 09-22-2023

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: VAPOR KINGS / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	09-22-23
Design	Juan J. Monsanto	09-22-23

JOB DESCRIPTION

ILLUMINATED CLOUD CHANNEL LETTERS ON FLUSH MOUNT

Illuminated cloud sign on flush mount for "Vapor Kings" mounted flush. cloud channel Letters & bar faces to be 3/16" WHITE ACRYLIC with translucent vinyl ORACAL 8500 #010 White 1" BLACK trim cap. 5" BLACK Returns for cloud channel Letters Raceway painted to match facade TBD.

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

ILLUMINATED CLOUD CHANNEL LETTERS ON FLUSH MOUNT SIGN A

21'0" FRONTAGE



SURVEY NEEDED TO VERIFY DIMENSIONS
BASED ON ARCHITECTURAL RENDERINGS
NEED SIGN PLACEMENT APPROVAL

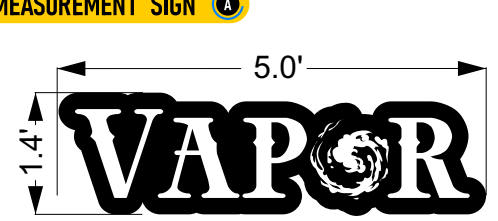
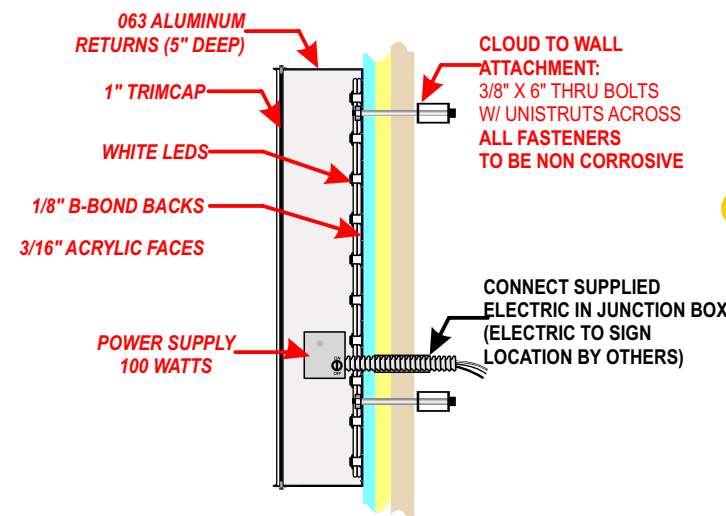
COLOR SPECIFICATIONS

- 3/16" WHITE ACRYLIC
- 1/8" WHITE B-BOND BACKS
- 1" BLACK TRIMCAP
- 063 BLACK ALUMINUM RETURNS
- PAINT TO MATCH FACADE TBD
- ORACAL 8500 #010 White
- ORACAL 8500 #021 Yellow

Customer Initials to approve colors

This drawing and the concepts contained herein are the exclusive property of BNEXT DESIGN Signs and are not to be shared without our expressed written consent. All rights are retained.

SIDE VIEW



SIGNAGE REPRESENTS 16.6' SQ FT



BNEXT

Cleveland Office
5109 Clark Ave.
Cleveland, Ohio 44102
216-688-1800

TEXT 216-407-7711 TO CHAT NOW!
| Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: VAPOR KINGS

CONTACT:

ADDRESS: 15500 Madison Ave, Lakewood, OH 44107

DRAWING: 0000110 DATE: 09-22-2023

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: VAPOR KINGS / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	09-22-23
Design	Juan J. Monsanto	09-22-23

JOB DESCRIPTION

ILLUMINATED CLOUD CHANNEL LETTERS ON FLUSH MOUNT

Illuminated cloud sign on flush mount for "Vapor Kings"
mounted flush. cloud channel Letters & bar faces to be 3/16" WHITE
ACRYLIC with translucent vinyl ORACAL 8500 #010 White
1" BLACK trim cap.
5" BLACK Returns for cloud channel Letters
Raceway painted to match facade TBD.

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

A SIGN LOCATION





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Application Cover Page

Docket No.: 11-85-23

Permit No.: BBS23-000081

Applicant Name: Steven Foster, The Sign & Graphics Firm, LLC

Project Address: 15729 Detroit Ave.

Project Name: Happy Bear Chandlery

Project: Applicant proposes window signage.

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive, flowing style.

Steve Foster

The Sign & Graphics Firm

(216) 390-0198





Storefront Window Decals



Door Decals



Left Window Decals



Right Window Decals

NOTE: Renderings are approximate representations of final production.

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SGF
THE SIGN & GRAPHICS FIRM

BUSINESS NAME:
Happy Bear Chandlery

ADDRESS:
2011 Carabel Ave.
Lakewood, OH 44107

1
10-17-23

Steven Foster
216.390.0198
sgfoster09@gmail.com



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Application Cover Page

Docket No.: 11-86-23

Permit No.: BBS23-000082

Applicant Name: Steven Foster, The Sign & Graphics Firm, LLC

Project Address: 18119 Detroit Ave.

Project Name: Onward Design Collaborative

Project: Applicant proposes window signage.

Signature of consent

I hereby provide my signature for consent on behalf of the owner and tenant of said property for which I am submitting a sign application for review.

A handwritten signature in black ink that reads "Steve Foster". The signature is written in a cursive style with a large, stylized "S" and "F".

Steve Foster

The Sign & Graphics Firm

(216) 390-0198



BEFORE

PROPOSED



Proposed Vinyl Decal - Front Window

NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

THE SIGN & GRAPHICS FIRM
Steven Foster
216.390.0198
sgfoster09@gmail.com

BUSINESS NAME:
Onward Design Collaborative

ADDRESS:
18119 Detroit Ave.
Lakewood, OH 44107

1
10-17-23





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Application Cover Page

Docket No.: 11-87-23

Permit No.: BBS23-000087

Applicant Name: James Ptacek, Larsen Architects

Project Address: 12815 Detroit Ave.

Project Name: LakewoodAlive and Larsen Architects

Project: Applicant proposes signage on doors and building for two separate businesses.

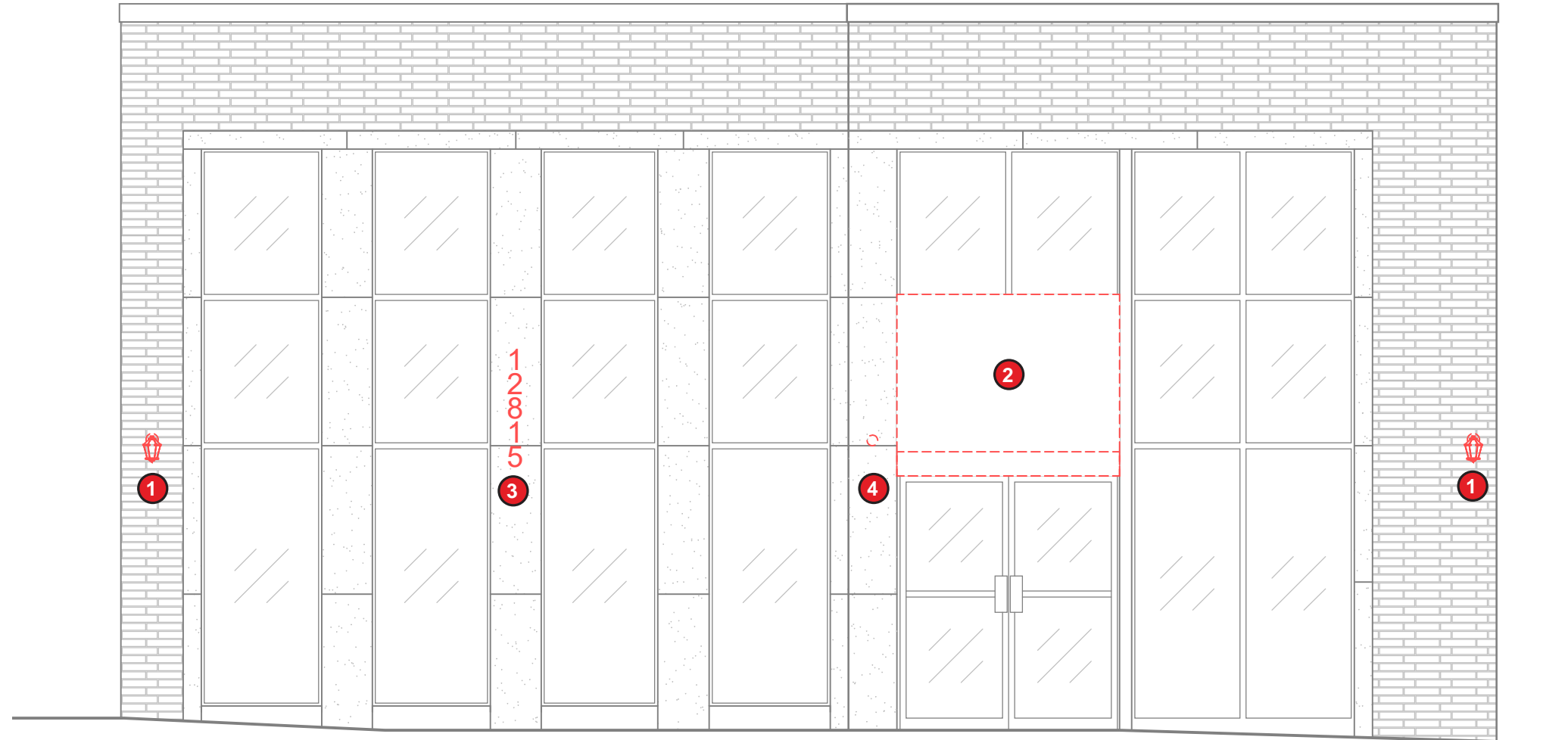
James Ptacek

Subject: re: 12815 Detroit - Placeholder - Lakewood Alive Consent for ABR Submittal.

This is the placeholder email for final confirmation of LakewoodAlive's tenant consent for the ABR submittal.

12815 Detroit Avenue

Proposed Demolition Exterior Elevation



Proposed Demolition Elevation

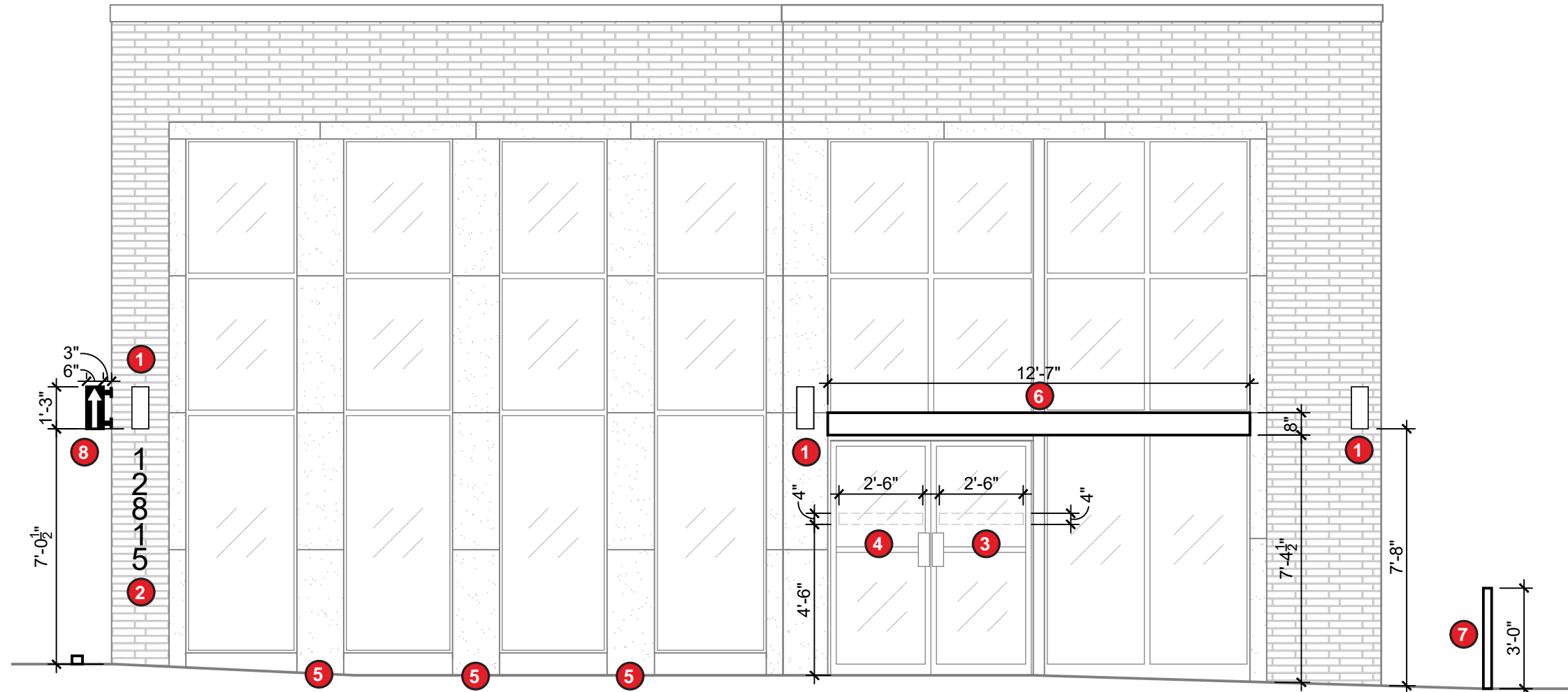
Scale: 1/4" = 1'-0"



DEMOLITION CODED NOTES

- ① Remove existing carriage lighting-discard.
Retain electrical box for new fixture.
- ② Remove existing canopy and mounting hardware- discard.
If possible, patch all holes from abandoned fasteners.
- ③ Remove existing address numbers-discard
Patch all holes from abandoned fasteners.
- ④ Remove existing cover plate.
Prepare existing circuit to receive new fixture.

12815 Detroit Avenue
Proposed Exterior Elevation



Proposed Elevation
Scale: 1/4" = 1'-0"

ELEVATION CODED NOTES

- 1 Install new Kichler Cylinders Outdoor Wall Light
Black powder coat finish.
Lamp: GE Outdoor Par38 1300 lumen LED 3000k
- 2 Install new 8" tall address numbers on stand offs
Polished aluminum finish.
- 3 Install new Lakewood Alive vinyl decal
- 4 Install new Larsen Architects vinyl decal
- 5 Install new Hinkley aluminum landscape spotlight
Black powder coat finish.
Lamp: GE 12v MR16 530 lumens LED 3000k
- 6 Furnish and install new 12'-8" wide, 8" tall, 3'-0"
deep metal canopy. Black powder coat finish.
- 7 Furnish and install new 30" wide, 36" tall, 3"
deep custom metal bike rack.
- 8 Furnish and install new 6"X1'-3" projected parking
directional signage.



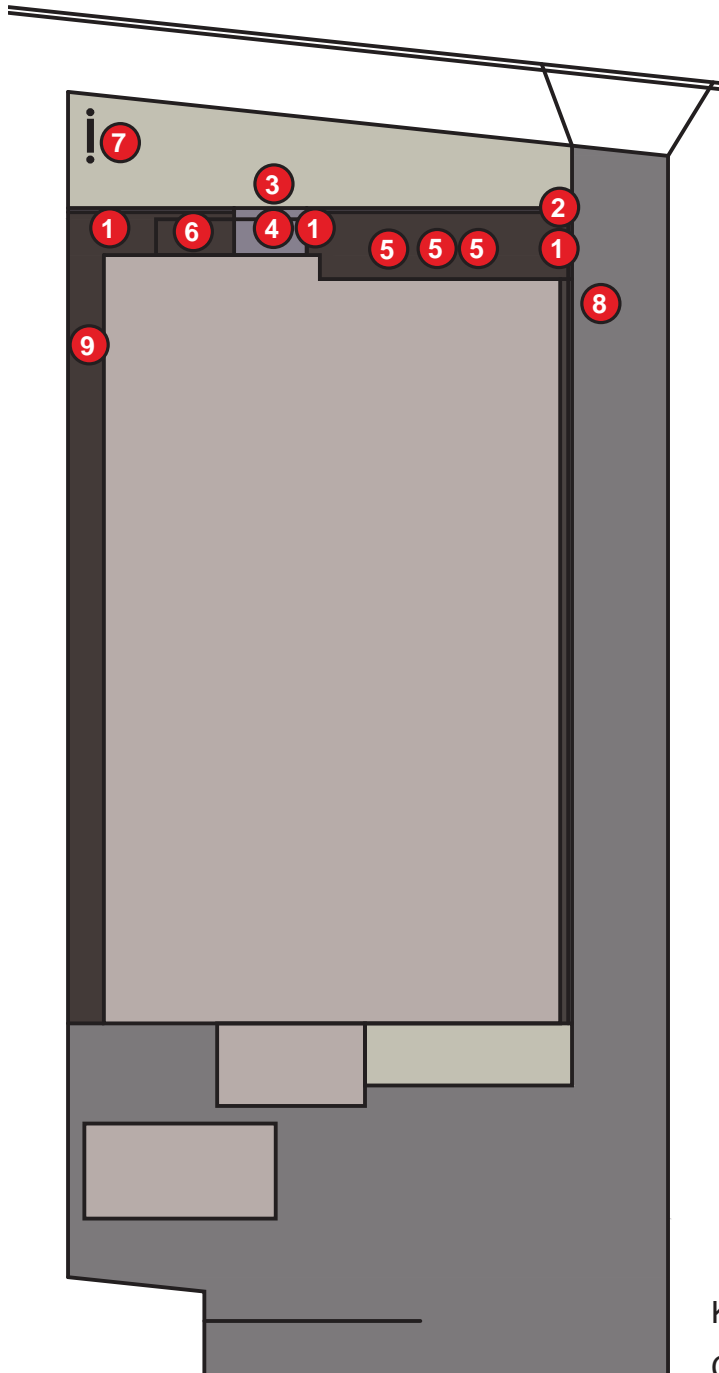
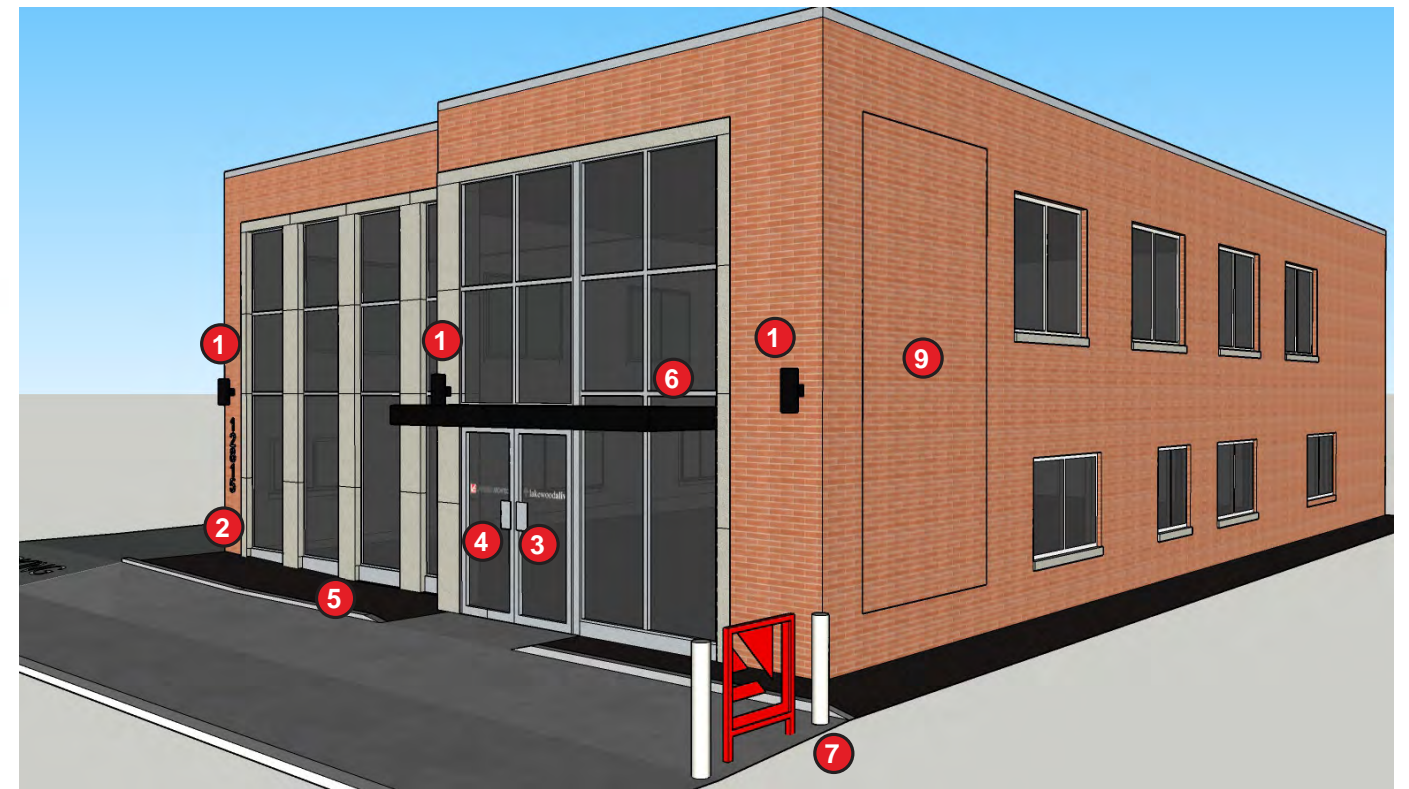
Enlarged Door Signage
Scale: Not to scale

12815 Detroit Avenue

Proposed Exterior Renovations & Signage

CODED NOTES

- ① Install new Kichler Cylinders Outdoor Wall Light
Black powder coat finish.
Lamp: GE Outdoor Par38 1300 lumen LED 3000k
- ② Install new 8" tall address numbers on stand offs
Polished aluminum finish.
- ③ Install new Lakewood Alive vinyl decal
- ④ Install new Larsen Architects vinyl decal
- ⑤ Install new Hinkley aluminum landscape spotlight
Black powder coat finish.
Lamp: GE 12v MR16 530 lumens LED 3000k
- ⑥ Furnish and install new 12'-8" wide, 8" tall, 3'-0" deep metal canopy. Black powder coat finish.
- ⑦ Furnish and install new 30" wide, 36" tall, 3" deep custom metal bike rack.
- ⑧ Furnish and install new 6"X1'-3" projected parking directional signage.
- ⑨ Future mural location. 8' wide x 14' high



Proposed Site Plan

Scale: 1/16" = 1'-0"

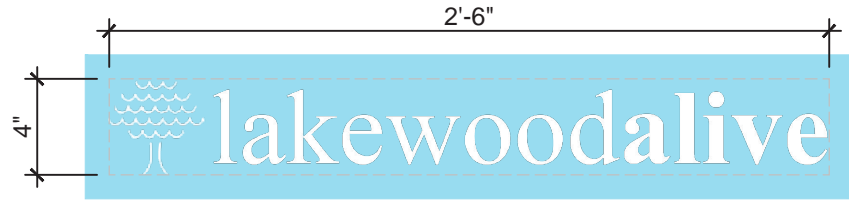


Kichler
Cylinders
Outdoor Wall Light
Black powder coat finish.
Lamp: GE Outdoor Par38
1300 lumen LED 3000k



Hinkley
Aluminum landscape spotlight
Black powder coat finish.
Lamp: GE 12v MR16 530
lumens LED 3000k

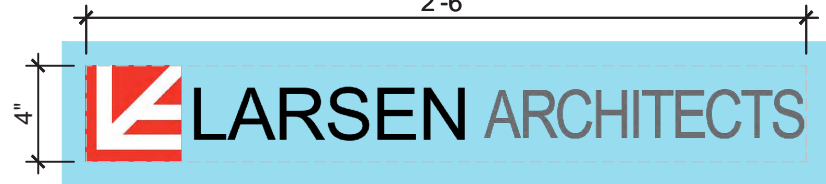
12815 Detroit Avenue
Proposed Signage



LAKESWOOD ALIVE SIGN
SCALE 1 1/2" = 1'-0"

2'-6" X 4", 0.83 SF
REVERSE PRINTED VINYL LETTERING AND LOGO APPLIED TO INSIDE OF TRANSPARENT GLASS DOOR.

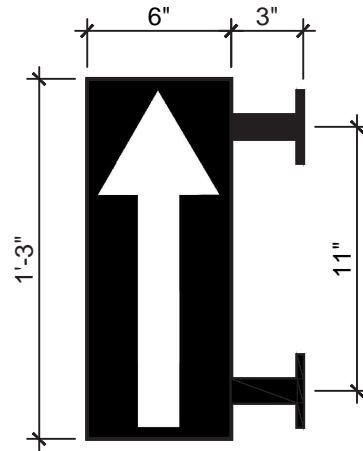
NOTE: BLUE BACKGROUND SHOWN TO REPRESENT GLASS FOR IMAGE CLARITY AND IS NOT PART OF THE SIGNAGE DESIGN.



LARSEN ARCHITECTS SIGN
SCALE 1 1/2" = 1'-0"

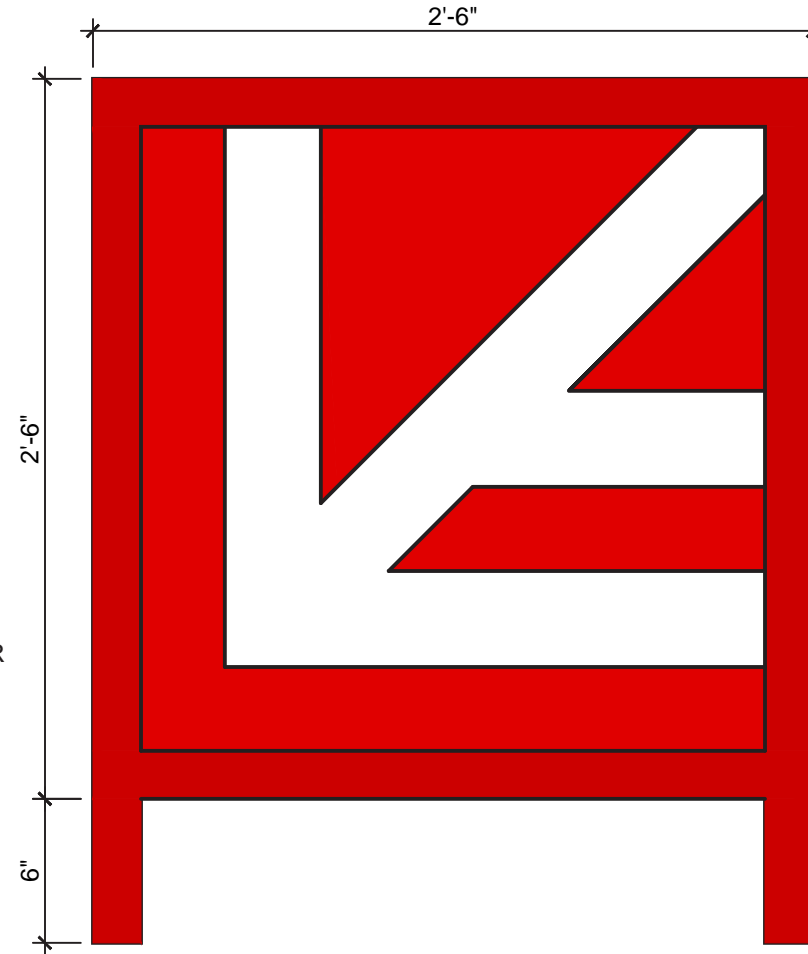
2'-6" X 4", 0.83 SF
REVERSE PRINTED VINYL LETTERING AND LOGO APPLIED TO INSIDE OF TRANSPARENT GLASS DOOR.

NOTE: BLUE BACKGROUND SHOWN TO REPRESENT GLASS FOR IMAGE CLARITY AND IS NOT PART OF THE SIGNAGE DESIGN.



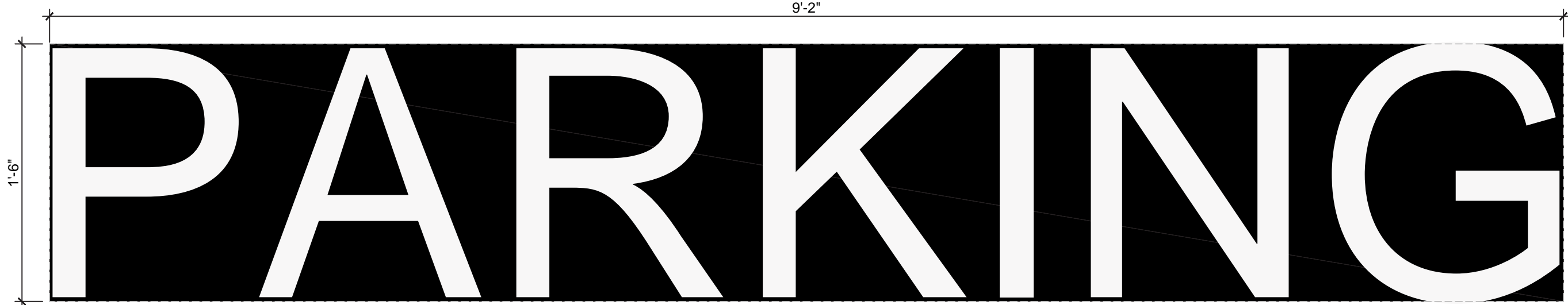
BLADE PARKING DIRECTIONAL SIGN
SCALE 1 1/2" = 1'-0"

6" X 1'-3", .63 SF.
POWDER COATED ALUMINUM BASE WITH PAINTED WHITE ARROW. TUBULAR POWDER COATED ALUMINUM BRACKETS.



LARSEN ARCHITECTS LOGO BIKE RACK
SCALE 1 1/2" = 1'-0"

3'-0" X 2'-6" 7.5SF EACH SIDE. 15 SF TOTAL
POWDER COATED STEEL LOGO SUPPORTED BY 3"X2" TUBULAR STEEL.



PARKING LOT MARKING
SCALE 1 1/2" = 1'-0"

1'-6" X 9'-2", 13.75 SF
PARKING LOT STRIPING PAINT APPLIED TO EXISTING ASPHALT.
NOTE: BLACK BACKGROUND SHOWN TO REPRESENT ASPHALT FOR IMAGE CLARITY AND IS NOT PART OF THE SIGNAGE DESIGN.



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-88-23

Permit No.: BBS23-000085

Applicant Name: Shadi Almikdad, Neon Signs

Project Address: 13804 Detroit Ave.

Project Name: iRiE Jamaican Restaurant

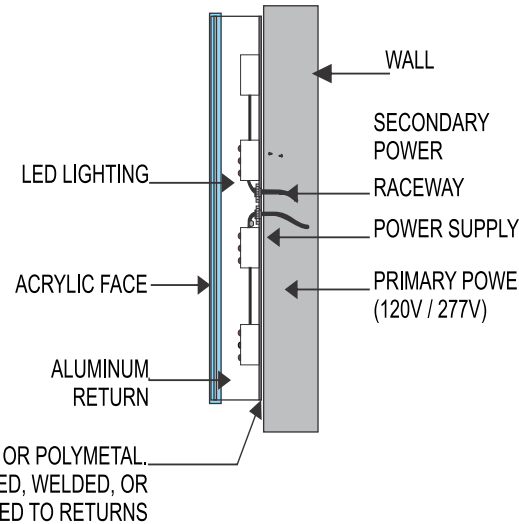
Project: Applicant proposes internally illuminated flush mounted channel letters in the sign band.



EXISTING

(1) COMPLETE SET OF INTERNALLY ILLUMINATED
flush MOUNTED CHANNEL LETTERS.
THE FACES ARE TO BE GREEN & WHITE
WITH 1" TRIM CAP.
LETTER DEPTH IS TO BE 5" LED ILLUMINATION
WHITE 0.040 RETURNS

letter backs 1/8" ACM



TYPICAL MOUNTED LED CHANNEL LETTERS
U.L. 2161 LISTED AND 1999 N.E.C. COMPLIANT
NOT TO SCALE

13804 Detroit Ave
Lakewood, OH 44107

new



	THIS SIGN SHALL REMAIN THE PROPERTY OF NEON & SIGNS UNTIL FULLY PAID FOR.	THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.
ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY OF NEON AND SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITH OUT WRITTEN CONSENT FROM NEON AND SIGNS	SCALE: 1:16	DATE:
	SALES: Shadi Mikdad	



**BOARD OF BUILDING STANDARDS
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12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-89-23

Permit No.: BBS23-000086

Applicant Name: Shawn Warren, Erie Design Co. Inc.

Project Address: 12211 Madison Ave.

Project Name: Miss Frippery's Costume Jewelry Emporium

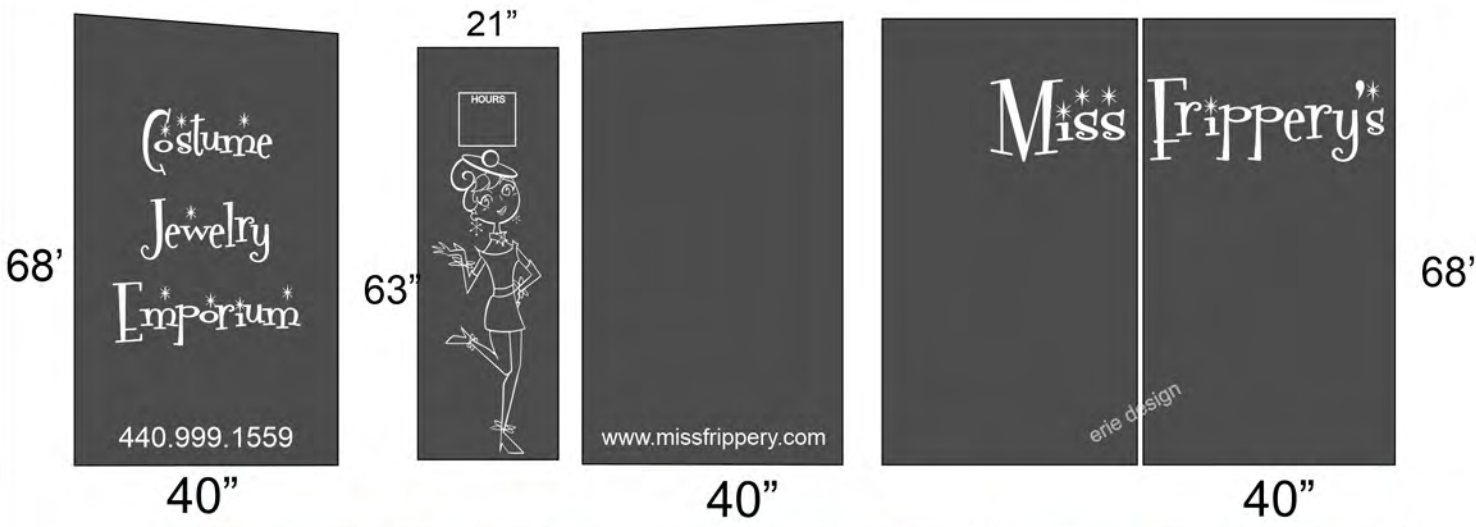
Project: Applicant proposes vinyl window signage.

space as is now



Cut vinyl graphics - White
 logo 12" x 5" girl 18' x 48" text 28" x 36" text 6" x 30"
 total 19.5 sq. ft

CLIENT:	JOB #:	DATE:
Miss Frippery's		
ADDRESS:	SALESPERSON/ DESIGNER: DATE:	
12211 Madison ave		
REVISION HISTORY:		
DATE:	CHANGES MADE:	
Camelia M. Carter	CLIENT SIGNATURE OF APPROVAL DATE:	
440-999-1559		



Cut vinyl graphics - White
 logo 12" x 5" girl 18" x 48" text 28" x 36" text 6" x 30"
 total 19.5 sq. ft

ERIE
deSign
 Signs, Banners & Graphics
 216-227-0043
 www.eriadesign.com

CLIENT: Miss Frippery's	JOB #:	DATE:
ADDRESS: 12211 Madison ave	SALESPERSON/ DESIGNER: _____ DATE: _____	
REVISION HISTORY:		
DATE:	CHANGES MADE:	
Camelia M. Carter 440-999-1559	CLIENT SIGNATURE OF APPROVAL _____ DATE: _____	



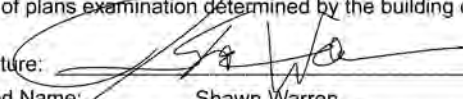
MAIN (216) 529-6270

FAX (216) 529-5930

building.permits@lakewoodoh.netwww.lakewoodoh.govDIVISION OF HOUSING AND BUILDING
12650 DETROIT AVENUE • LAKEWOOD, OHIO 44107**APPLICATION FOR COMMERCIAL PLAN APPROVAL**

(For projects subject to the provisions of the Ohio Building Code Section 107.2.)

ALL INFORMATION MUST BE PROVIDED AND LEGIBLE

Project Location [OBC 107.2-2]:	Applicant Information [OBC 107.2-5] (Building Owner or Representative)
Street Address: 12211 Madison Ave Floor Number: _____ Suite: _____ Is this building in the floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Name: <u>Camelia M. Carter</u> Business Name: <u>Miss Frillery's</u> Mailing Address: <u>12211 Madison ave</u> City/State/Zip Code: <u>LAKEWOOD, OH 44107</u> Phone Number: <u>440-999-1559</u> For Best Service Provide Email Address: <u>cameliacarter@gmail.com</u>
Project Information [OBC 107.2-1]: (Project Use and Occupancy [OBC 107.2-3])	Registered Design Professional [OBC 106.2.1]
Project Type (check all that apply): <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Fence, pool, paving, landscaping, shed, tent, other <input checked="" type="checkbox"/> Sign	<input type="checkbox"/> Architect <input type="checkbox"/> Engineer <input type="checkbox"/> Certified Fire Protection System Designer <input type="checkbox"/> NA Name: <u>Shawn Warren</u> Firm or Business: <u>Erie design</u> Certificate or Registration Number: <u>on file</u>
Project Scope (check all that apply): <input type="checkbox"/> Demolition <input type="checkbox"/> General Building <input type="checkbox"/> Mechanical (HVAC) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Fire Protection (see below) <input type="checkbox"/> Site Work over 8,000 sq. ft.	Mailing Address: <u>16504 detroit Ave</u> City/State/Zip Code: <u>Lakewood Oh 44107</u> Contact Name: <u>Shawn Warren</u> Contact Phone: <u>216-227-0043</u> For Best Service Provide Email Address: <u>eriedesign@ameritech.net</u>
Describe the (proposed) use (e.g.: Restaurant, boutique, office, etc.): RE- FACE EXISTING ACRYLIC SIGN FACE ON MONUMENT SIGN	Certification [OBC 107.2.5]
Occupancy class [OBC Chapter 3]: _____ If Mixed Use [OBC 508.1] check one: <input type="checkbox"/> Separated <input type="checkbox"/> Non-separated <input type="checkbox"/> Accessory only	I certify that I am the building <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Owner's Authorized Agent
Construction Type [OBC Chapter 6]: _____	All information provided on this application is true, accurate and complete to the best of my knowledge. All official correspondence in connection with this application should be sent to my attention at the mailing address above. I consent to these plans being reviewed in the order of plans examination determined by the building official.
Total Project Work Area: <u>total 19.5 sq. ft</u> Sq. Ft.	Signature: 
Total cost of construction (valuation): \$ <u>\$400</u>	Printed Name: <u>Shawn Warren</u> Date of Application: <u>9-15-22</u>
Describe the project: <u>Cut vinyl graphics - White</u> <u>logo 12" x 5" girl 8' x 48" text 28" x 36" text 6" x 30"</u> <u>total 19.5 sq. ft</u>	For Building Department Use
Fire Protection Systems [OBC 106.1.1.1] (Indicate all that apply as "E" for Existing, "N" for New, or NA if none)	Case Number: _____ Date Received: _____ Received By: _____
Building Sprinkler System _____ Limited Area Sprinkler System _____ In-Rack Sprinkler System _____ Demand at Riser Base _____ psi Kitchen Hood Suppression _____ Fire Alarm System _____ Fire Detection System _____ Smoke Detection System _____	Other Approvals Required (prior to permit issuance): Fire Marshall: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA Engineering <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA ABR/Planning/Zoning: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> NA
Required Construction Documents [OBC Section 106] 3 sets required for Building Department plus 1 set for Fire Department Review (if applicable) 1 (Civil) set for Engineering Review (if applicable) Date on Plans: <u>10-26-23</u>	Plan Review Fees Outside Plans Examiner: \$ _____ Stormwater Review: \$ _____



Case #:

City of Lakewood Division of Housing and Building
12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: 12211 Madison ave Suite/Unit #

or **PERMANENT PARCEL NUMBER:**

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Change of Use?

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical *** (complete reverse side)** 

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):

- New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
- Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing
- Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration
- Demolition Paving Storm Sewer ²-Other (Please specify): Sign

***VALUATION: (cost of the work) \$**

PROJECT SIZE: (in square feet)

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) _____ DRAIN _____ NO DRAIN

Cut vinyl graphics - White
logo 12" x 5" girl 18' x 48" text 28" x 36" text 6" x 30"
total 19.5 sq. ft

PROPERTY OWNER NAME: Camelia M. Carter

Phone: 440-999-1559

Business Name (if applicable) Miss Frippery's

Email: cameliamcarter@gmail.com

Mailing Address: 12211 Madison ave City: LAKEWOOD, State: OH Zip: 44107

CONTRACTOR NAME: Erie design Shawn Warren Phone: 216-227-0043

License/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

ARCHITECT/ENGINEER: Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.


SIGNATURE OF CONTRACTOR / OWNER

10-26-23
DATE

Anticipated Completion Date: 10-26-23



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
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12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-90-23

Permit No.: BBS23-000078

Applicant Name: Charles McGettrick, Architects, C.A. McGettrick

Project Address: 1100 Maple Cliff Dr.


Project Name: n/a

Project: Applicant proposes renovations of an existing residence.

ACCEPTANCE

To serve as our agreement, you may sign and return the enclosed copy of this proposal to me. This document shall represent our total agreement. Any amendment shall be in writing and signed by both parties. Our understanding shall be construed under the laws of the State of Ohio.

Acceptance by:



Signature

Title

Company



Date



14551 Madison Ave.
Lakewood, OH 44107
(216) 227-0709 - Fax (216) 227-0712
Email: archcam@amstech.net

HOUSE ADDITION

1100 Maple Cliff Dr.

Lakewood, Ohio

ARCHITECTS C.A. McGETTRICK, LLC

14551 Madison Ave.
Lakewood, Ohio 44107
216-227-0700



DATE: 9/27/23
REVISION:
FOR BID

GENERAL NOTES

THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS (IN WHOLE OR IN PART), FOR ANY OTHER PURPOSE IS PROHIBITED.

VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

SYMBOLS AND ABBREVIATIONS USED ON THESE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS, IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR SYMBOLS AS TO THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED AT ONCE FOR CLARIFICATION.

SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED / BATTERY BACKUP. SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SMOKE ALARMS LOCATED IN ACCORDANCE WITH RCO 314.5 SHALL INCLUDE PHOTOELECTRIC TECH.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ALL SIDES BY 5/8" GYPSUM BOARD.

ALL HANDRAILS SHALL BE MOUNTED BETWEEN 34" MINIMUM & 38" MAXIMUM, MEASURED FROM THE NOSING OF THE TREAD.

BALCONY RAILINGS SHALL FORM A GUARD NOT LESS THAN 36" IN HEIGHT WHEN MORE THAN 30" ABOVE FLOOR OR GRADE BELOW.

ALL BALLUSTERS SHALL BE SPACED TO PROHIBIT A SPHERE 4" IN DIAMETER FROM PASSING THROUGH IT.

ACCESS TO THE ATTIC AREAS IN COMPLIANCE WITH RCO SECTION B071 IS REQUIRED. THE ACCESS PANELS OR DOORS SHALL BE IN READILY ACCESSIBLE LOCATIONS.

A GEOTECHNICAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNER. NOTIFY THE ARCHITECT OF UNUSUAL SOIL CONDITIONS.

SOIL BEARING PRESSURE IS ASSUMED TO BE 2000 PSF. CONTRACTOR SHALL VERIFY IN FIELD.

CONCRETE DESIGN FOR FOOTINGS SHALL BE MIN. F = 2000 PSI

CONCRETE DESIGN FOR FLOOR SLABS SHALL BE MIN. F = 3000 PSI

CONTRACTOR SHALL USE NO LESS THAN TYPE "M" OR "S" MORTAR IN CRAWL SPACE BLOCK WALLS

ALL STEEL BEAMS, PLATES, AND COLUMNS SHALL BE ASTM A 36 STEEL.

ALL FLOOR JOISTS, CEILING JOISTS AND ROOF RAFTERS ARE DESIGNED TO BE MIN. F = 1200 PSI

ARCHITECTS C.A. McGETTRICK, LLC DOES NOT PROVIDE ANY CONSTRUCTION SUPERVISION. CONTRACTOR AND / OR OWNER IS RESPONSIBLE TO VERIFY THAT ALL STRUCTURE MATCHES THE PLANS AS DRAWN AND DESIGNED.

ARCHITECTS C.A. McGETTRICK, LLC IS NOT RESPONSIBLE FOR STRUCTURAL OR NON STRUCTURAL ISSUES RELATED TO SOIL CONDITIONS. ANY CHANGES AFTER ISSUANCE OF FINAL CONSTRUCTION SETS WILL BE CONSIDERED CHANGES TO THE DRAWINGS AND INVOICED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO FIELD VERIFY ALL AS BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES. ARCHITECTS C.A. McGETTRICK, LLC ASSUMES NO RESPONSIBILITY FOR TRUSSES ORDERED SOLELY FROM THIS SET OF CONSTRUCTION DOCUMENTS.

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES.

ALL ENGINEERED FLOOR SYSTEMS SHALL BE DESIGNED BY THE MANUFACTURER.

ADJUST ALL OVERHAUNG OF DIFFERENT PITCHES TO MAINTAIN CONSISTANT LEVEL.

ALL JOISTS, BEAMS AND GIRDS SHALL BEAR A MINIMUM OF 1/2" ON WOOD OR METAL, AND 3" ON MASONRY.

ALL FRAMING LUMBER SHALL BE SPF OR DOUGLAS FIR LARCH #2 WITH A MINIMUM MODULUS OF ELASTICITY OF 1,700,000. ANY MICROLAM (LVL) NOTED ON THESE DRAWINGS MUST MEET THE FOLLOWING DESIGN CRITERIA:
M.O.E.....2,000,000PSI FB.....2,900PSI

WINDOWS:
BASED ON PELLA "250 SERIES", W/ ADVANCED LOW E 5/8" INSULATED GLASS, OR APPROVED EQUAL.

DOOR HARDWARE TO BE SELECTED BY OWNER.

KITCHEN EQUIPMENT WILL BE ENERGY STAR RATED.

PLUMBING FIXTURES WILL BE FURNISHED OWNER.

MECHANICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH HEAT LOSS CALCULATIONS PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH SIZING OF ELECTRICAL SERVICE (MINI 50 INCREASE) AND PANEL DIAGRAM PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR (EC) SHALL PROVIDE 120V / 240V 3-WIRE SINGLE PHASE SERVICE WITH THE FOLLOWING CONDUCTOR BASED ON TABLE IS NATIONAL ELECTRICAL CODE (NEC). PROVIDE 400AMP SERVICE PER RISER DIAGRAM PROVIDED COPPER 2 / 0 AWG (COPPER).

ELECTRICAL CONTRACTOR SHALL BOND TOGETHER ALL ELECTRODES TO FORM A GROUNDING SYSTEM. CONDUCTOR SIZES SHOULD BE AS SHOWN IN NEC 250.66 ELECTRICAL GROUNDING CAN INCLUDE FOLLOWING: (1) METAL UNDERGROUND WATER LINE IN CONTACT WITH EARTH FOR A MIN. 10'-0". (2) CONCRETE ELECTRODES. (3) RCP PIPE AND PLATE ELECTRODES IN ACCORDANCE WITH NEC 250.55.

ALL GENERAL LIGHTING AND RECEPTACLE OUTLETS BRANCH CIRCUITS SHALL BE 15AMP OVERLOAD PROTECTED CIRCUITS INSTALLED WITH #14A COPPER CONDUCTORS. ALL GENERAL BRANCH CIRCUITS TO BEDROOMS SHALL BE PROTECTED WITH ARC-FALLT CIRCUIT INTERRUPTER DEVICE NEC 210.12.

RECEPTACLES BE SPACED NO MORE THAN 12'-0" APART OR 6'-0" FROM AND INSIDE CORNER SEE NEC 210.52. A RECEPTACLE MUST BE INSTALLED ON EACH WALL SPACE GREATER THAN 12'-0" SEE NEC 210.52.

REFRIGERATORS, MICROWAVE OVENS, DISHWASHERS AND ANY OTHER MAJOR APPLIANCE SHALL HAVE A DEDICATED BRANCH CIRCUIT OF AMPERAGE IN ACCORDANCE WITH APPLIANCE RCPD SERVICE.

OVEN, COOK TOPS, RANGES AND CLOTHES DRYER SHALL HAVE A 240V OUTLET WITH AMPERAGE AS RCPD FOR APPLIANCE.

KITCHEN SMALL APPLIANCE CIRCUITS TO BE A MIN. OF TWO (2) 20AMP 120V CIRCUITS. CIRCUITS WITHIN 6FT OF A SINK OR WATER SOURCES SHALL BE PROTECTED BY A GROUND-FALLT CIRCUIT INTERRUPTER (GFCI) NEC 210.8.

ALL EXTERIOR OUTLETS, GARAGE OUTLETS, AND ANY OUTLET IN A WET OR EXTERIOR LOCATION SHALL BE PROTECTED BY A GFCI BRANCH CIRCUIT SEE NEC 210.8.

PLUMBING CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH PLUMBING ISOMETRIC DIAGRAM PRIOR TO COMMENCEMENT OF THE WORK.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE AN ACCURATE SITE AND GRADING PLAN PRIOR TO THE COMPLETION OF THE DESIGN PHASE.

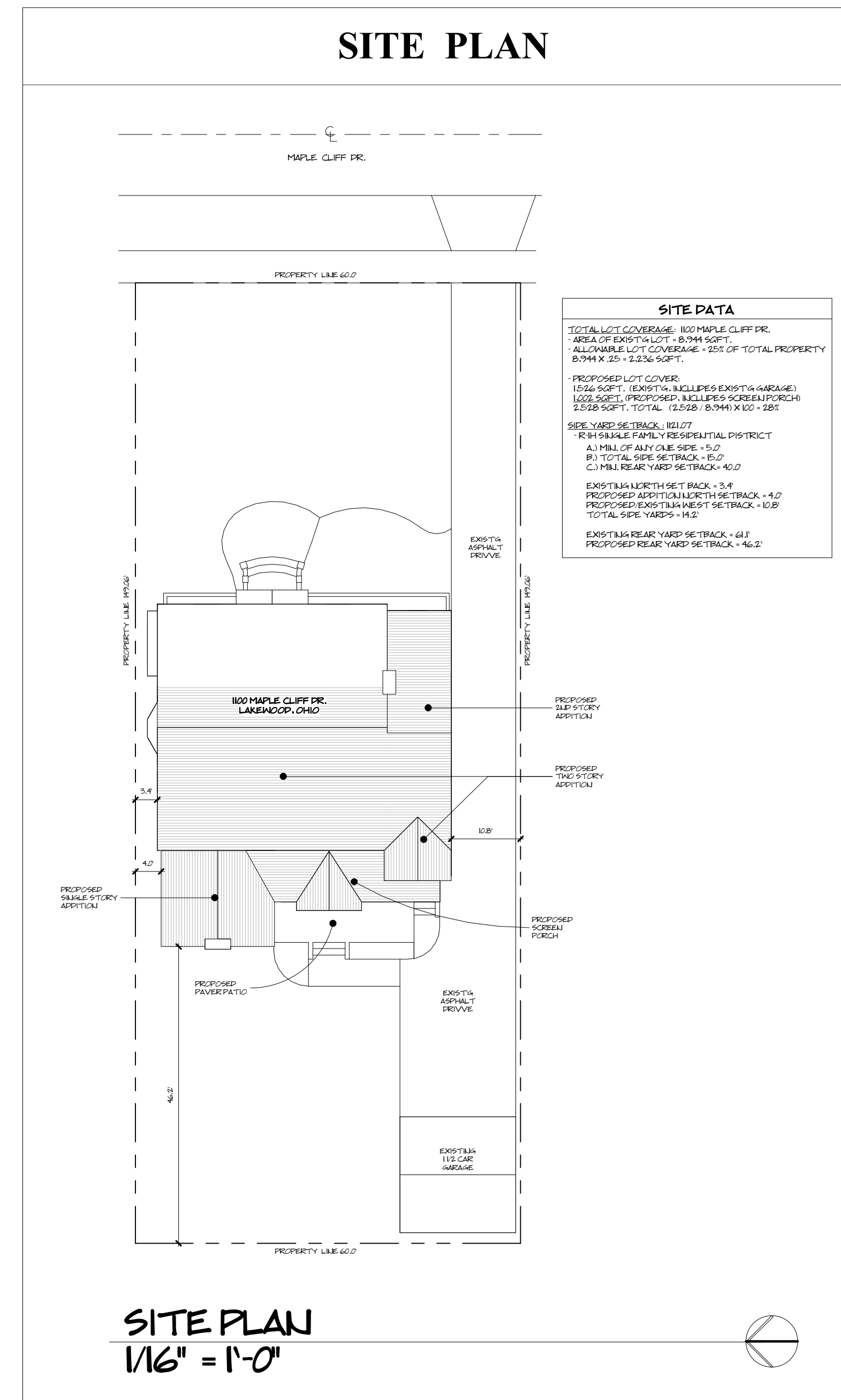
ALL WINDOWS SHALL BE FLASHED AND SEALED OVER NAILING FLANGES WITH WINDOW FLASHING TAPE.

CONTRACTOR AND / OR OWNER SHALL NOTIFY THE ARCHITECT OF ANY FIELD CHANGES MADE TO THE PLANS OR BUILDING DURING CONSTRUCTION. FIELD CHANGES MADE TO THE BUILDING WITHOUT THE CONSULTATION AND/OR APPROVAL OF THE ARCHITECT WILL BE THE SOLE RESPONSIBILITY OF CONTRACTOR AND OWNER.

DRAWING INDEX

- TS GENERAL NOTES / ARCHITECTURAL SITE PLAN
- A-1 FIRST & SECOND FLOOR DEMO PLANS / FOUNDATION PLAN
- A-2 FIRST & SECOND FLOOR PLANS
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS

SITE PLAN



HOUSE RENOVATION
 1100 Maple Cliff Dr. Lakewood, Ohio 44107
ARCHITECTS, C.A. McGETTRICK, LLC
 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO:
223--
CHARLES McGETTRICK, JR. #77595
EXPIRATION DATE: 12/31/2023

TS

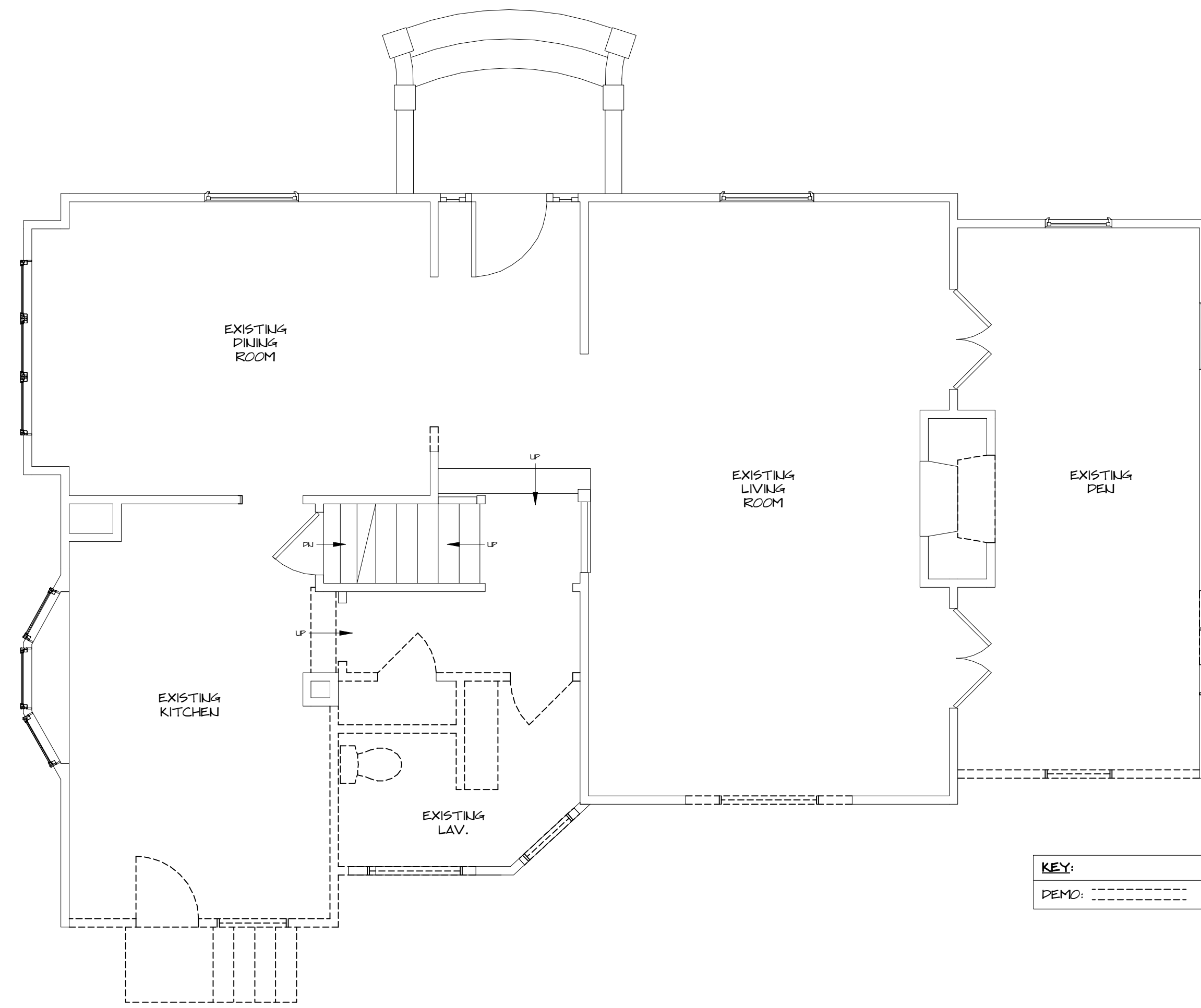


DATE: 9/27/23
 REVISION:

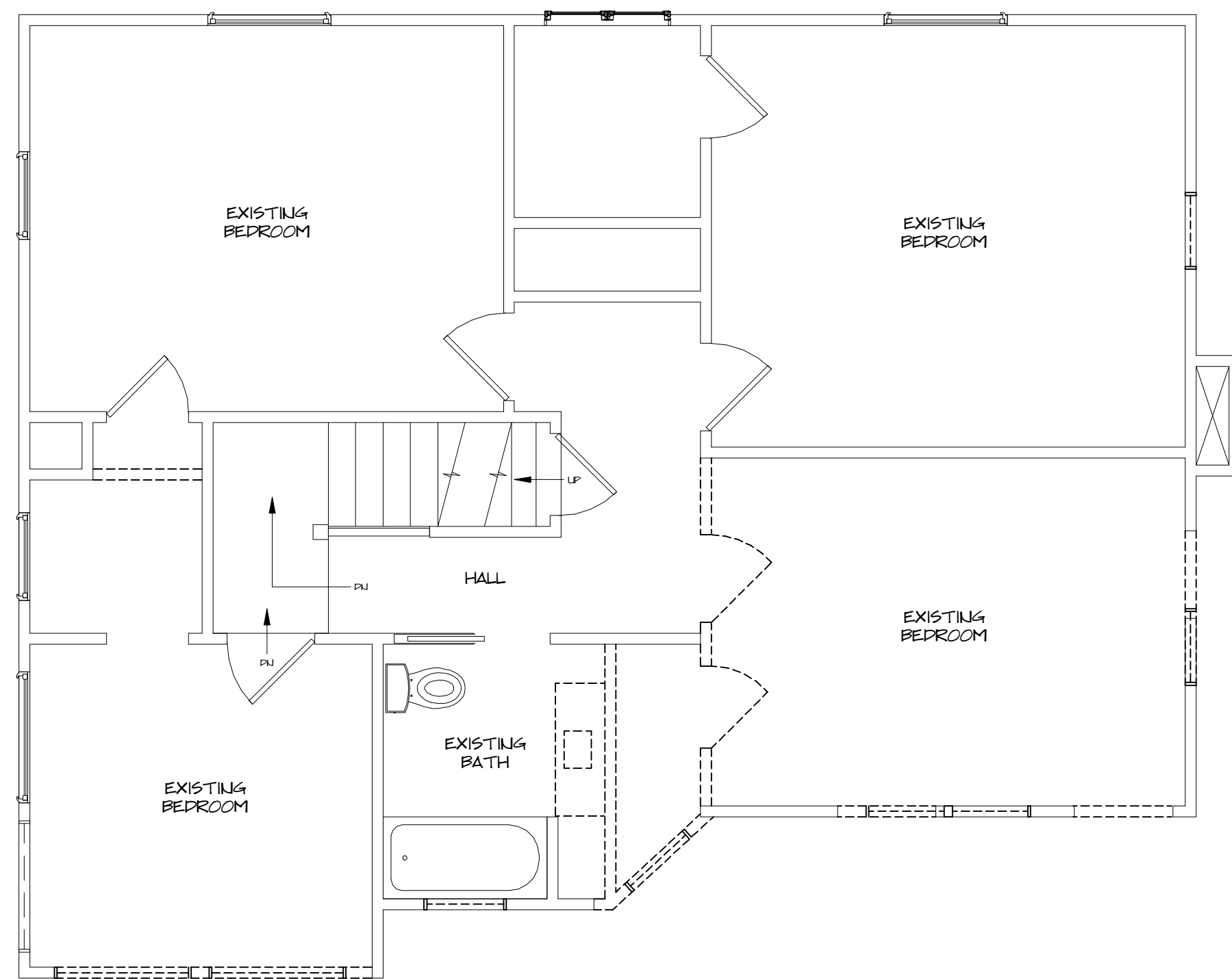
FOR BID

HOUSE RENOVATION
 1100 Maple Cliff Dr. Lakewood, Ohio 44107
ARCHITECTS, C.A. McGETTRICK, LLC
 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

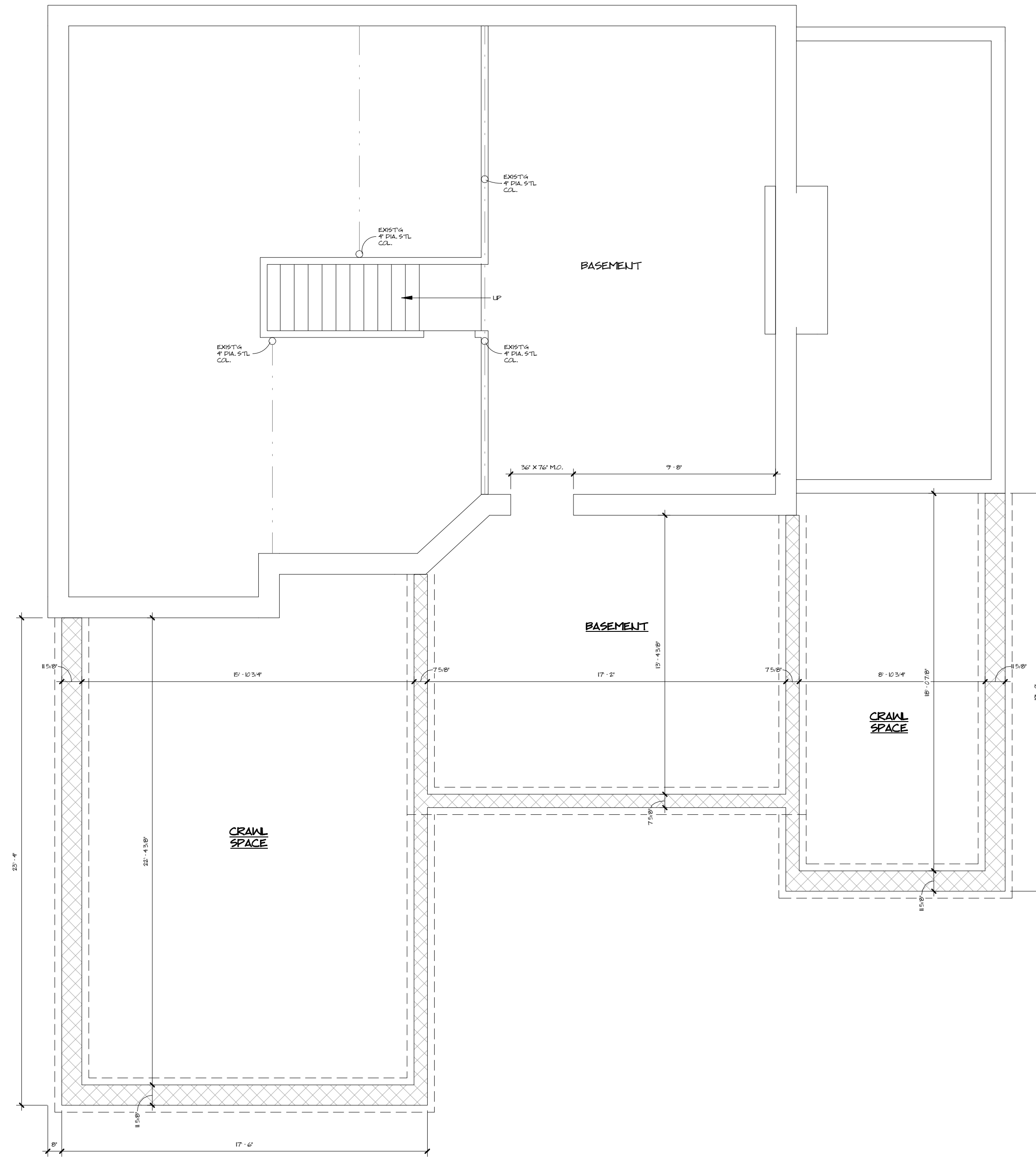
COMMISSION NO.
 223--
 CHARLES McGETTRICK JR. #775915
 EXPIRATION DATE: 12/31/2023



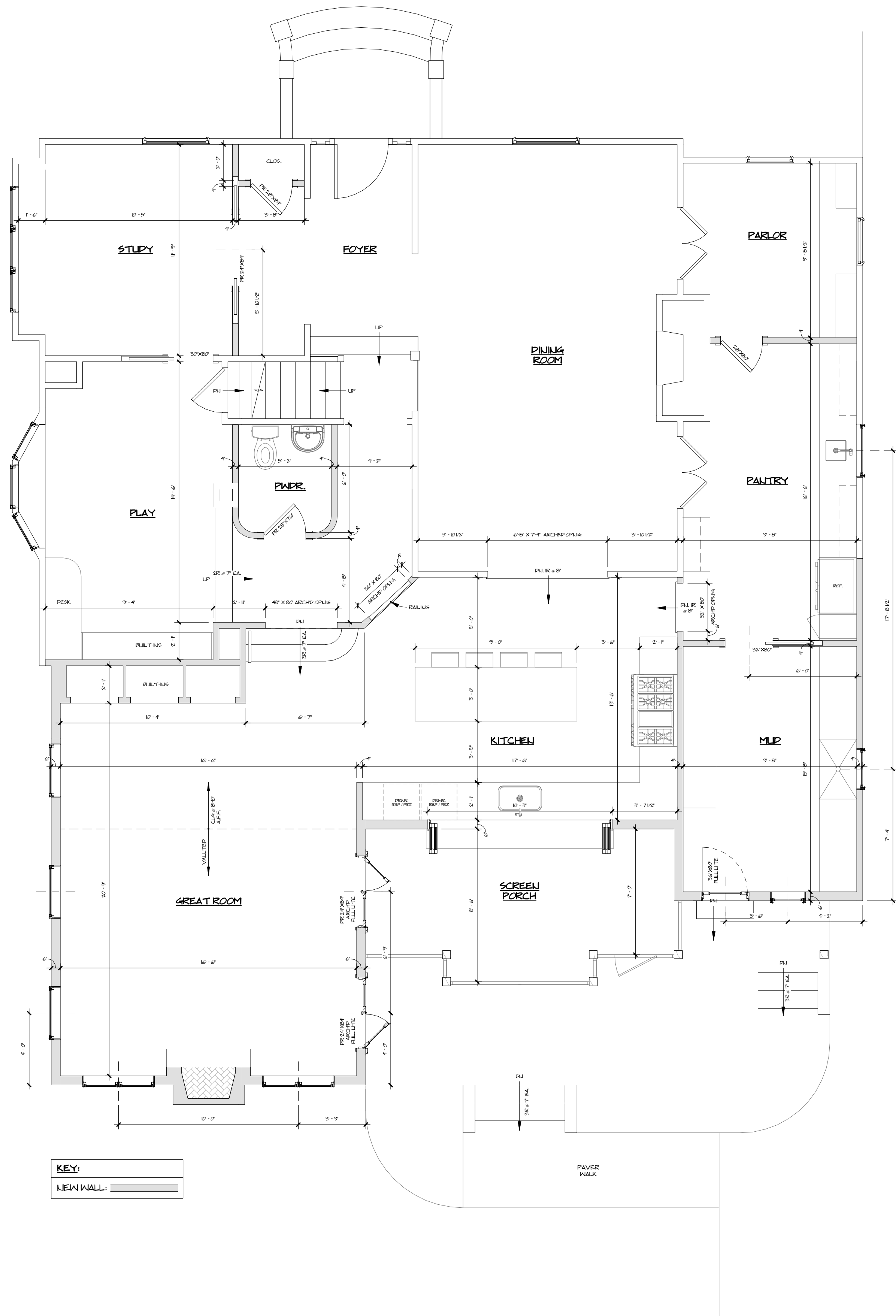
FIRST FLOOR DEMO PLAN
 1/4" = 1'-0"



SECOND FLOOR DEMO PLAN
 1/4" = 1'-0"

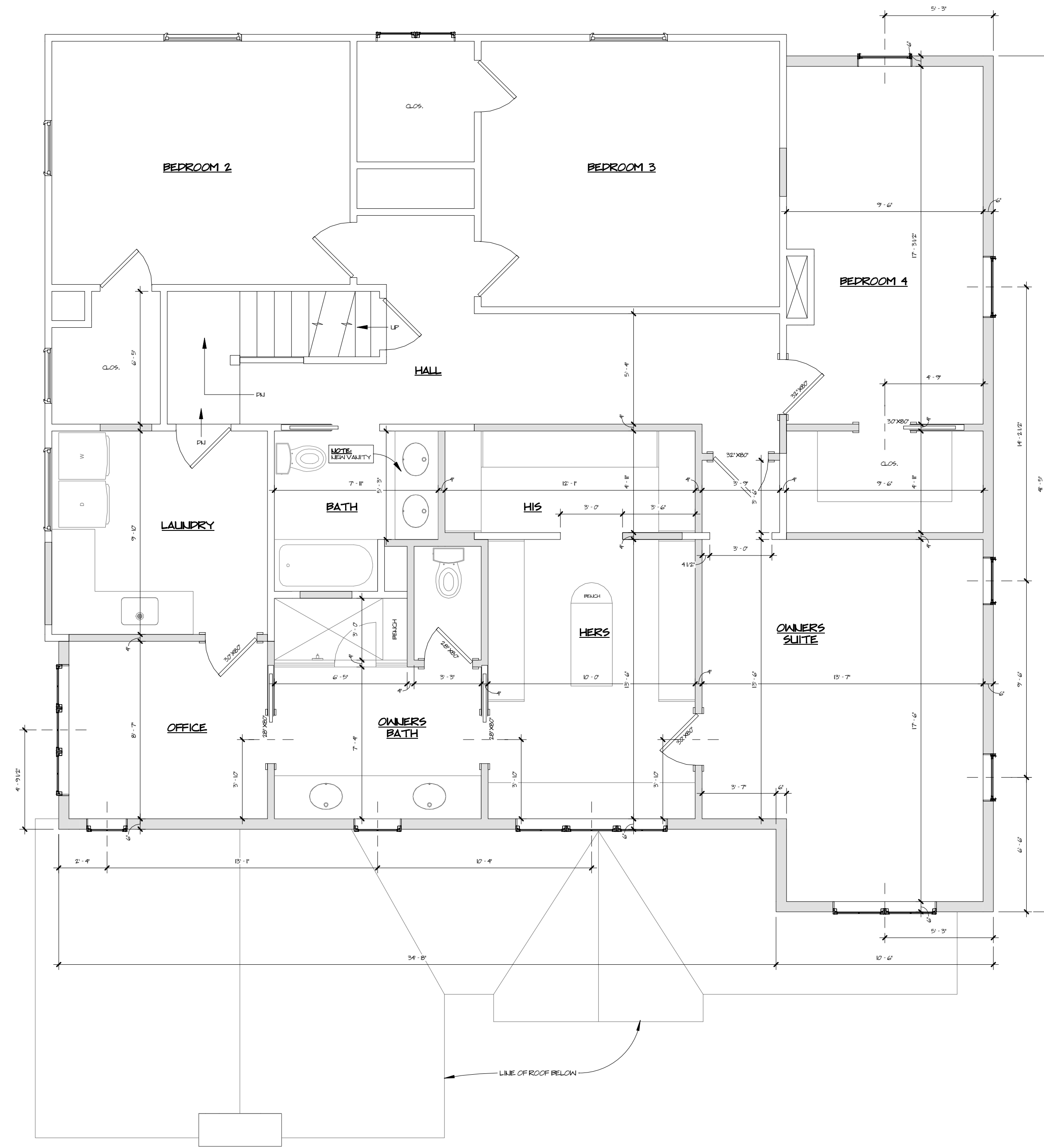


FOUNDATION PLAN
 1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

KEY:
NEW WALL:



SECOND FLOOR PLAN
1/4" = 1'-0"



DATE: 9/27/23
REVISION:

FOR BID

HOUSE RENOVATION

1100 Maple Cliff Dr. Lakewood, Ohio 44107

ARCHITECTS, C.A. MCGETTRICK, LLC
14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.
223--
CHARLES MCGETTRICK JR. #77595
EXPIRATION DATE: 12/31/2023

A-2

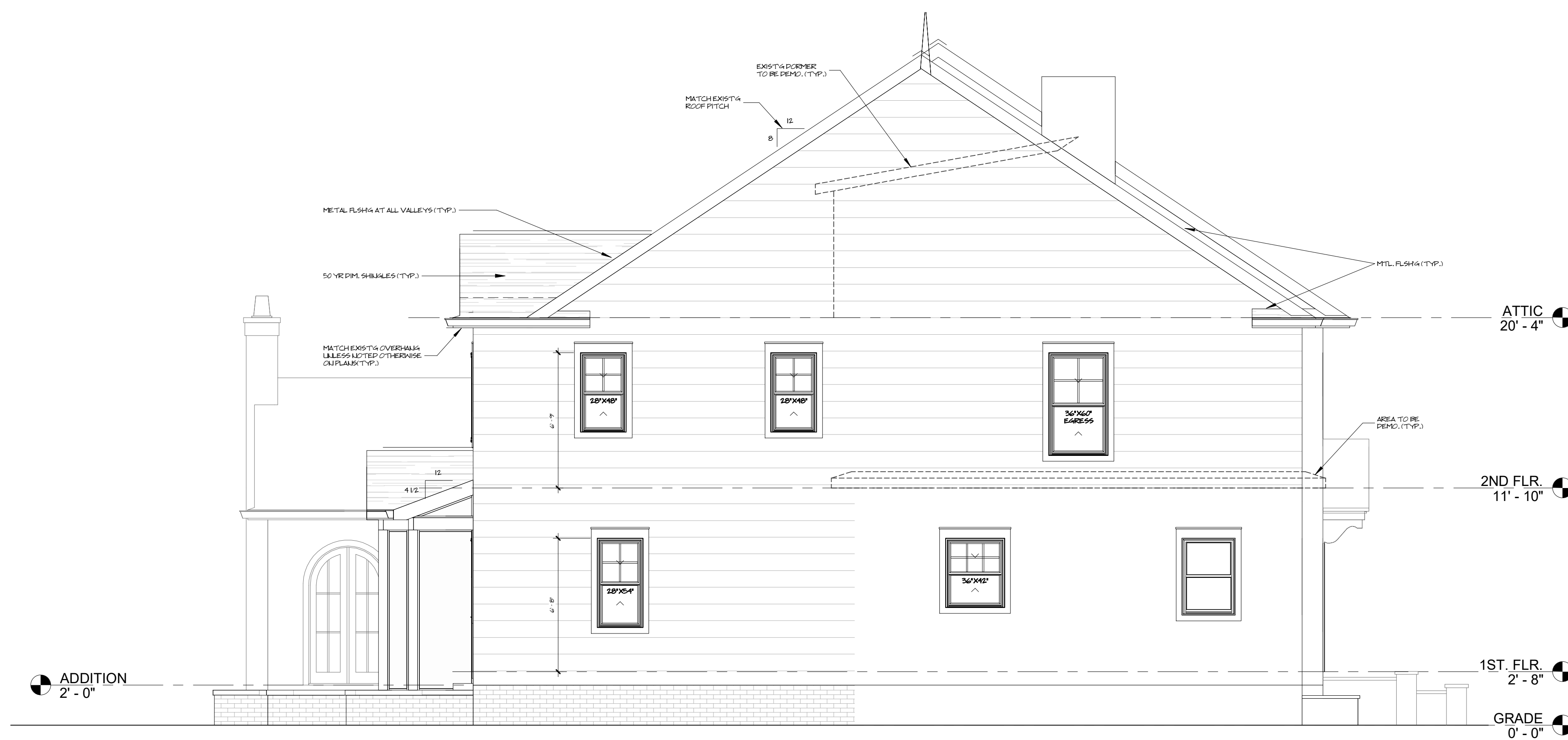


DATE: 9/27/23
 REVISION:

FOR BID



EAST ELEVATION
 1/4" = 1'-0"



SOUTH ELEVATION
 1/4" = 1'-0"

HOUSE RENOVATION

1100 Maple Cliff Dr. Lakewood, Ohio 44107

ARCHITECTS, C.A. McGETTRICK, LLC

14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO.
 223--
 CHARLES McGETTRICK JR. #775915
 EXPIRATION DATE: 12/31/2023

A-3



1100









**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
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12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-91-23

Permit No.: BBS23-000079

Applicant Name: Charles McGettrick, Architects, C.A. McGettrick

Project Address: 15703 Lake Ave.

Project Name: n/a

Project: Applicant proposes renovations of an existing residence.

ACCEPTANCE

To serve as our agreement, you may sign and return the enclosed copy of this proposal to me. This document shall represent our total agreement. Any amendment shall be in writing and signed by both parties. Our understanding shall be construed under the laws of the State of Ohio.

Acceptance by:

J. Stumba
Signature

owner
Title

Company

7/27/23
Date



14551 Madison Ave.
Lakewood, OH 44117
(216) 227-0700 • Fax (216) 227-0712
Email: admin@mcgettrick.net

HOUSE ADDITION

15703 Lake Ave.

Lakewood, Ohio

ARCHITECTS C.A. McGETTRICK, LLC

14551 Madison Ave.
Lakewood, Ohio 44107
216-227-0700



DATE: 10/11/23
REVISION:

GENERAL NOTES

THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS (IN WHOLE OR IN PART), FOR ANY OTHER PURPOSE IS PROHIBITED.

VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

SYMBOLS AND ABBREVIATIONS USED ON THESE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR SYMBOLS AS TO THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED AT ONCE FOR CLARIFICATION.

SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED / BATTERY BACKUP. SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SMOKE ALARMS LOCATED IN ACCORDANCE WITH RCO 314.5 SHALL INCLUDE PHOTOELECTRIC TECH.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ALL SIDES BY 5/8" GYPSUM BOARD.

ALL HANDRAILS SHALL BE MOUNTED BETWEEN 34" MINIMUM & 38" MAXIMUM, MEASURED FROM THE NOSING OF THE TREAD.

BALCONY RAILINGS SHALL FORM A GUARD NOT LESS THAN 36" IN HEIGHT WHEN MORE THAN 30" ABOVE FLOOR OR GRADE BELOW.

ALL BALLUSTERS SHALL BE SPACED TO PROHIBIT A SPHERE 4" IN DIAMETER FROM PASSING THROUGH IT.

ACCESS TO THE ATTIC AREAS IN COMPLIANCE WITH RCO SECTION 807.1 IS REQUIRED. THE ACCESS PANELS OR DOORS SHALL BE IN READILY ACCESSIBLE LOCATIONS.

A GEOTECHNICAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNER. NOTIFY THE ARCHITECT OF UNUSUAL SOIL CONDITIONS.

SOIL BEARING PRESSURE IS ASSUMED TO BE 2000 PSF. CONTRACTOR SHALL VERIFY IN FIELD.

CONCRETE DESIGN FOR FOOTINGS SHALL BE MIN. F = 2000 PSI

CONCRETE DESIGN FOR FLOOR SLABS SHALL BE MIN. F = 3000 PSI

CONTRACTOR SHALL USE NO LESS THAN TYPE "M" OR "S" MORTAR IN CRAWL SPACE BLOCK WALLS

ALL STEEL BEAMS, PLATES, AND COLUMNS SHALL BE ASTM A 36 STEEL.

ALL FLOOR JOISTS, CEILING JOISTS AND ROOF RAFTERS ARE DESIGNED TO BE MIN. F = 1200 PSI

ARCHITECTS C.A. McGETTRICK, LLC DOES NOT PROVIDE ANY CONSTRUCTION SUPERVISION. CONTRACTOR AND / OR OWNER IS RESPONSIBLE TO VERIFY THAT ALL STRUCTURE MATCHES THE PLANS AS DRAWN AND DESIGNED.

ARCHITECTS C.A. McGETTRICK, LLC IS NOT RESPONSIBLE FOR STRUCTURAL OR NON STRUCTURAL ISSUES RELATED TO SOIL CONDITIONS. ANY CHANGES AFTER ISSUANCE OF FINAL CONSTRUCTION SETS WILL BE CONSIDERED CHANGES TO THE DRAWINGS AND INVOICED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO FIELD VERIFY ALL AS BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES. ARCHITECTS C.A. McGETTRICK, LLC ASSUMES NO RESPONSIBILITY FOR TRUSSES ORDERED SOLELY FROM THIS SET OF CONSTRUCTION DOCUMENTS.

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES.

ALL ENGINEERED FLOOR SYSTEMS SHALL BE DESIGNED BY THE MANUFACTURER.

ADJUST ALL OVERHAUNG OF DIFFERENT PITCHES TO MAINTAIN CONSISTANT LEVEL.

ALL JOISTS, BEAMS AND GIRDS SHALL BEAR A MINIMUM OF 1/2" ON WOOD OR METAL, AND 3" ON MASSCONCRETE.

ALL FRAMING LUMBER SHALL BE SPF OR DOUGLAS FIR LARCH #2 WITH A MINIMUM MODULUS OF ELASTICITY OF 1,700,000

ANY MICROLAM (LVL) NOTED ON THESE DRAWINGS MUST MEET THE FOLLOWING DESIGN CRITERIA:
M.O.E. 2,000,000 PSI FB 2,900 PSI

WINDOWS:
BASED ON PELLA "250 SERIES", W/ ADVANCED LOW E 5/8" INSULATED GLASS, OR APPROVED EQUAL.

DOOR HARDWARE TO BE SELECTED BY OWNER.

KITCHEN EQUIPMENT WILL BE ENERGY STAR RATED.

PLUMBING FIXTURES WILL BE FURNISHED OWNER.

MECHANICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH HEAT LOSS CALCULATIONS PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH SIZING OF ELECTRICAL SERVICE (MINI 50 INCREASE) AND PANEL DIAGRAM PRIOR TO COMMENCEMENT OF THE WORK.

ELECTRICAL CONTRACTOR (EC) SHALL PROVIDE 120V / 240V 3-WIRE SINGLE PHASE SERVICE WITH THE FOLLOWING CONDUCTOR BASED ON TABLE IS NATIONAL ELECTRICAL CODE (NEC) (310). PROVIDE 400 AMP SERVICE PER RISER DIAGRAM PROVIDED COPPER 2 / 0 ANS (COPPER).

ELECTRICAL CONTRACTOR SHALL BOND TOGETHER ALL ELECTRODES TO FORM A GROUNDING SYSTEM. CONDUCTOR SIZES SHOULD BE AS SHOWN IN NEC 250.66 ELECTRICAL GROUNDING CAN INCLUDE FOLLOWING: (1) METAL UNDERGROUND WATER LINE IN CONTACT WITH EARTH FOR A MIN. 10'-0" (2) CONCRETE ELECTRODES (3) RCP PIPE AND PLATE ELECTRODES IN ACCORDANCE WITH NEC 250.55.

ALL GENERAL LIGHTING AND RECEPTACLE OUTLETS BRANCH CIRCUITS SHALL BE 15AMP OVERLOAD PROTECTED CIRCUITS INSTALLED WITH 14GA COPPER CONDUCTORS. ALL GENERAL BRANCH CIRCUITS TO BEDROOMS SHALL BE PROTECTED WITH ARC-FALLT CIRCUIT INTERRUPTER DEVICE NEC 210.12.

RECEPTACLES BE SPACED NO MORE THAN 12'-0" APART OR 6'-0" FROM AND INSIDE CORNER SEE NEC 210.52. A RECEPTACLE MUST BE INSTALLED ON EACH WALL SPACE GREATER THAN 12'-0" SEE NEC 210.52.

REFRIGERATORS, MICROWAVE OVENS, DISHWASHERS AND ANY OTHER MAJOR APPLIANCE SHALL HAVE A DEDICATED BRANCH CIRCUIT OF AMPERAGE IN ACCORDANCE WITH APPLIANCE RCPD SERVICE.

OVEN, COOK TOPS, RANGES AND CLOTHES DRYER SHALL HAVE A 240V OUTLET WITH AMPERAGE AS RCPD FOR APPLIANCE.

KITCHEN SMALL APPLIANCE CIRCUITS TO BE A MIN. OF TWO (2) 20AMP 120V CIRCUITS. CIRCUITS WITHIN 6FT OF A SINK OR WATER SOURCES SHALL BE PROTECTED BY A GROUND-FALLT CIRCUIT INTERRUPTER (GFCI) NEC 210.8.

ALL EXTERIOR OUTLETS, GARAGE OUTLETS, AND ANY OUTLET IN A WET OR EXTERIOR LOCATION SHALL BE PROTECTED BY A GFCI BRANCH CIRCUIT SEE NEC 210.8.

PLUMBING CONTRACTOR TO PROVIDE BUILDING DEPARTMENT WITH PLUMBING ISOMETRIC DIAGRAM PRIOR TO COMMENCEMENT OF THE WORK.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE AN ACCURATE SITE AND GRADING PLAN PRIOR TO THE COMPLETION OF THE DESIGN PHASE.

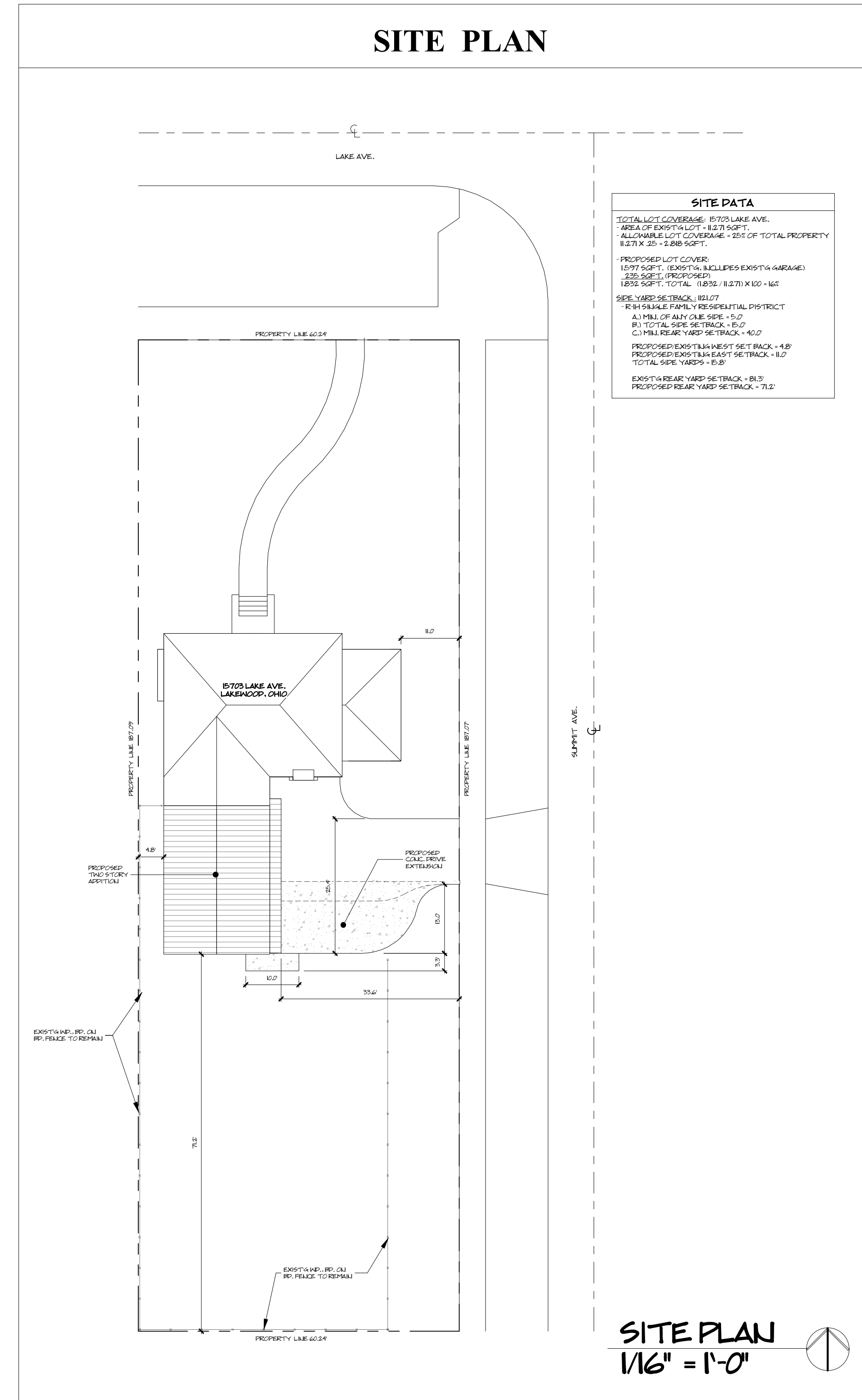
ALL WINDOWS SHALL BE FLASHED AND SEALED OVER NAILING FLANGES WITH WINDOW FLASHING TAPE.

CONTRACTOR AND / OR OWNER SHALL NOTIFY THE ARCHITECT OF ANY FIELD CHANGES MADE TO THE PLANS OR BUILDING DURING CONSTRUCTION. FIELD CHANGES MADE TO THE BUILDING WITHOUT THE CONSULTATION AND/OR APPROVAL OF THE ARCHITECT WILL BE THE SOLE RESPONSIBILITY OF CONTRACTOR AND OWNER.

DRAWING INDEX

- TS GENERAL NOTES / ARCHITECTURAL SITE PLAN
- A-1 FIRST & SECOND FLOOR DEMO PLANS / FOUNDATION PLAN
- A-2 FIRST & SECOND FLOOR PLANS
- A-3 EXTERIOR ELEVATIONS
- A-4 FIRST & SECOND FLOOR FRAMING PLANS / SECTIONS / DETAILS
- A-5 FIRST & SECOND FLOOR POWER/LIGHTING PLANS

SITE PLAN

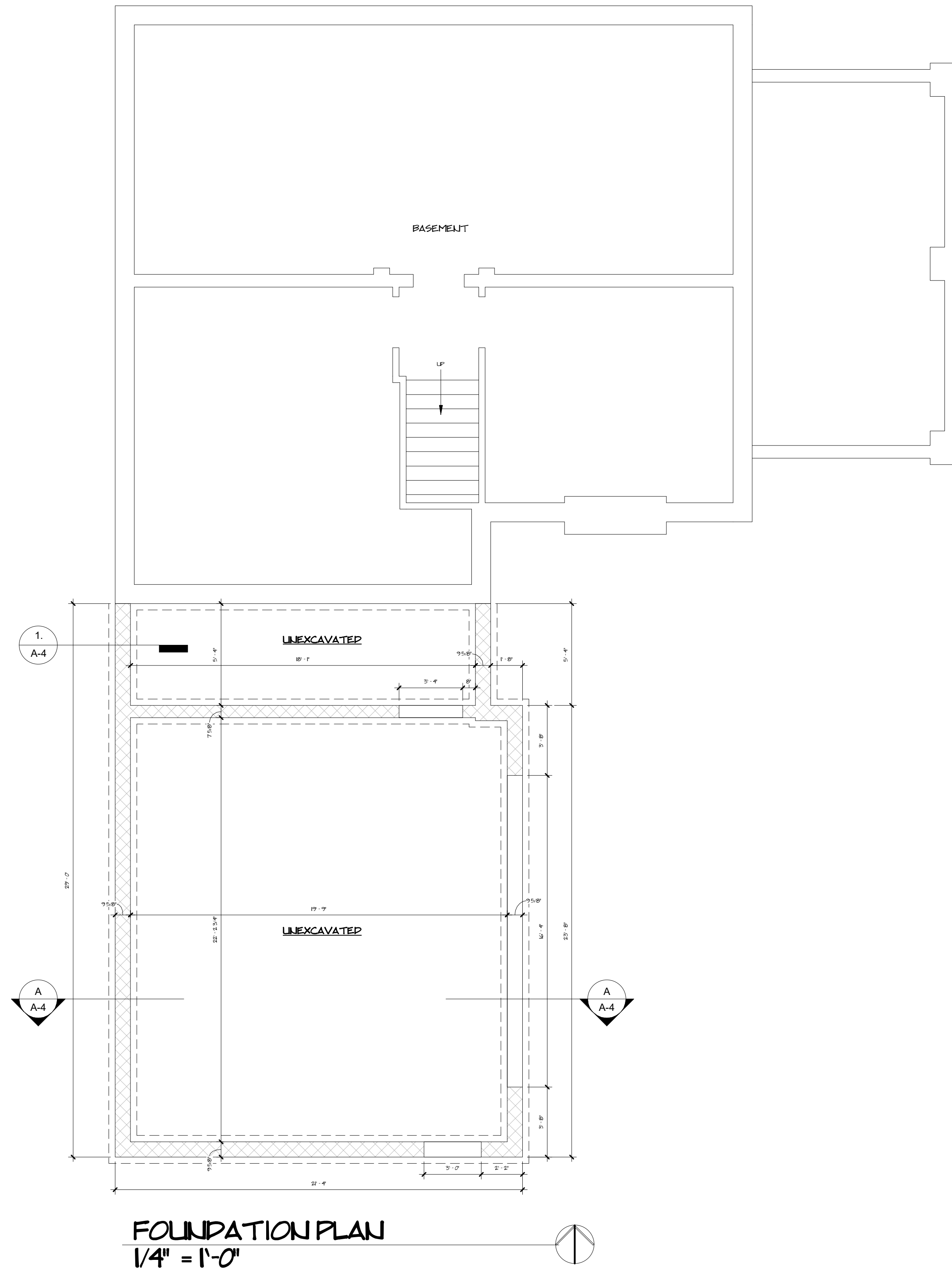
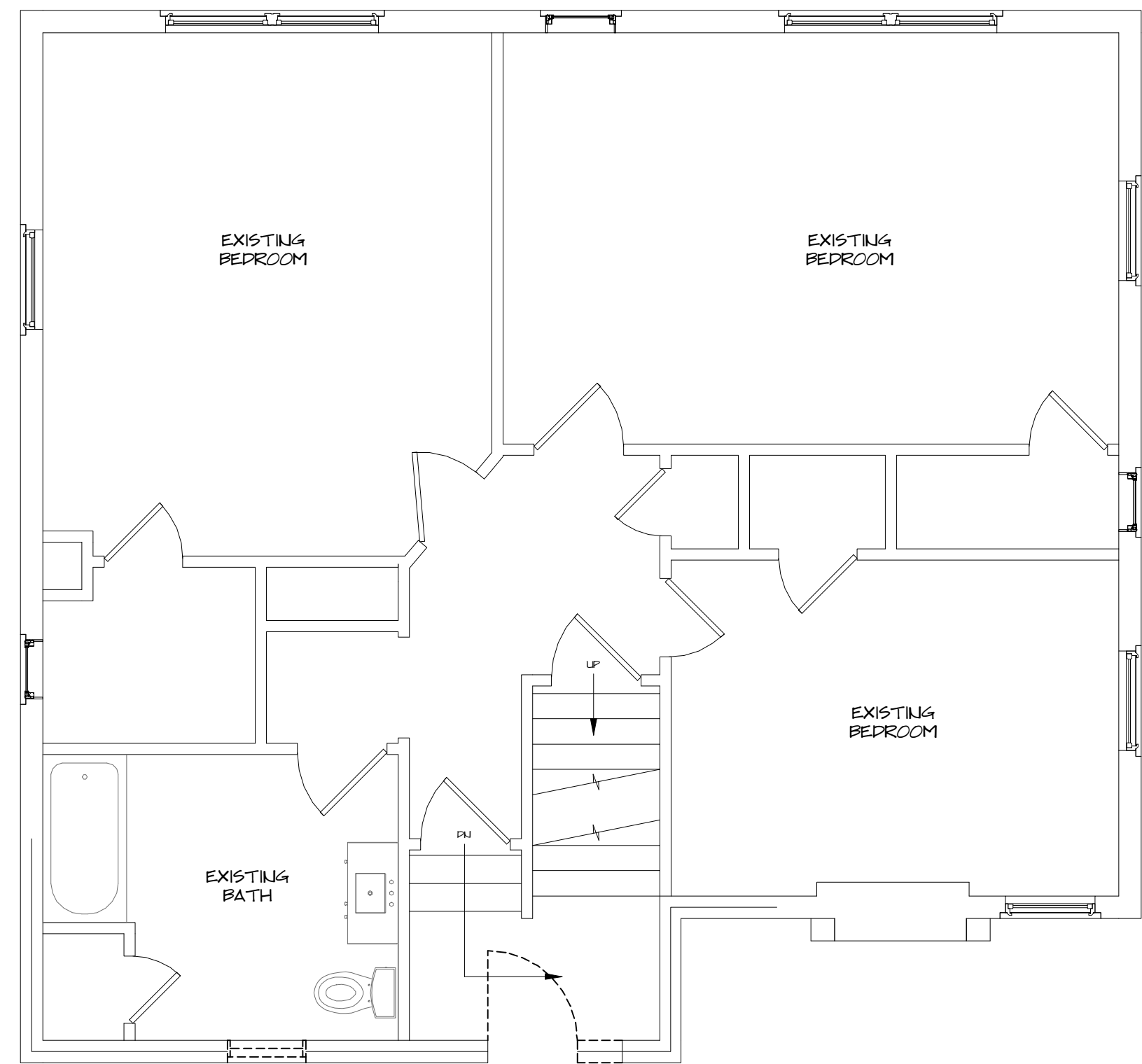
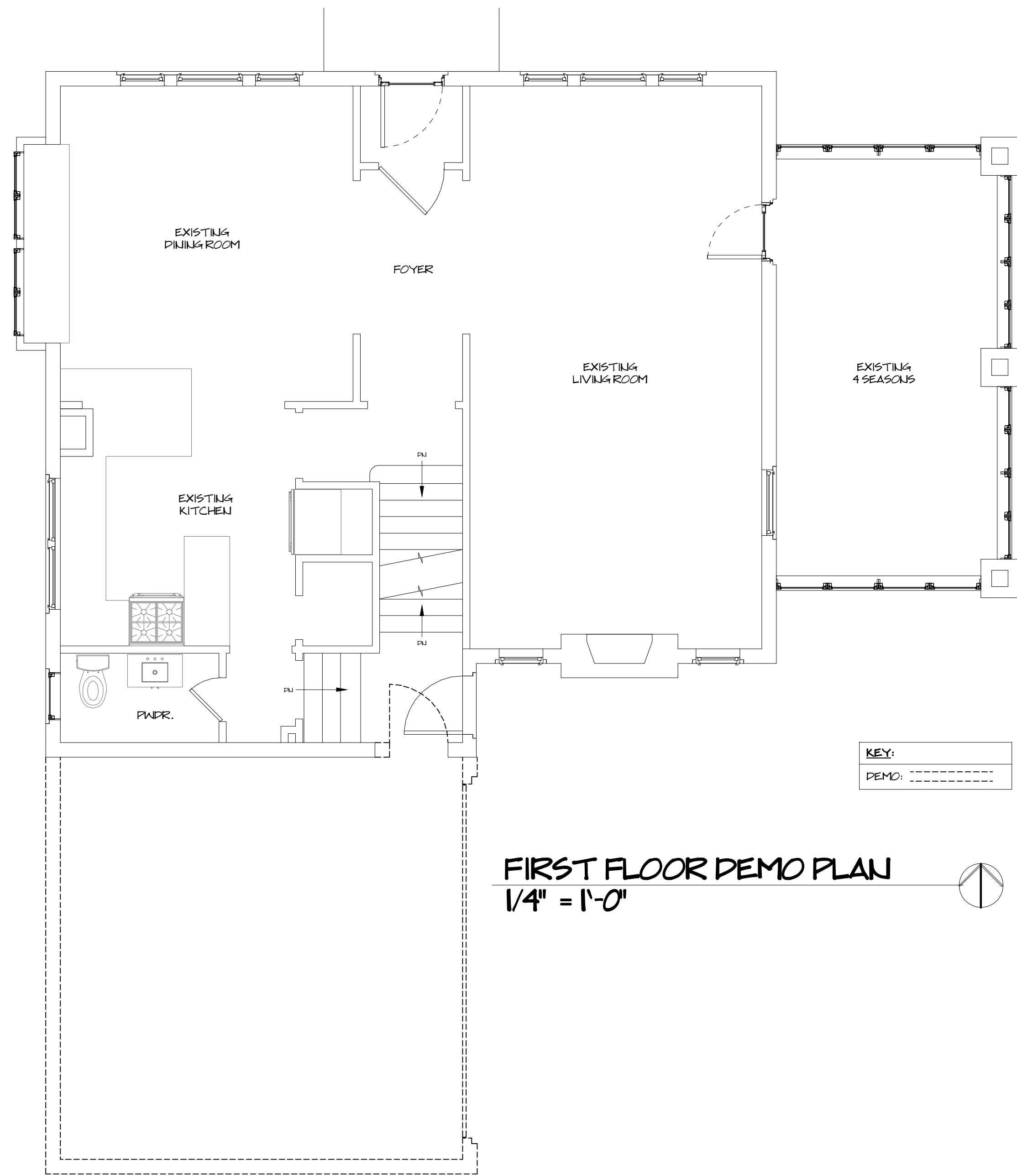


HOUSE ADDITION
 15703 Lake Ave. Lakewood, Ohio 44107
ARCHITECTS, C.A. McGETTRICK, LLC
 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

COMMISSION NO:
 223--
 CHARLES McGETTRICK, JR. #77595
 EXPIRATION DATE: 12/31/2023

TS

SITE PLAN
 1/16" = 1'-0"

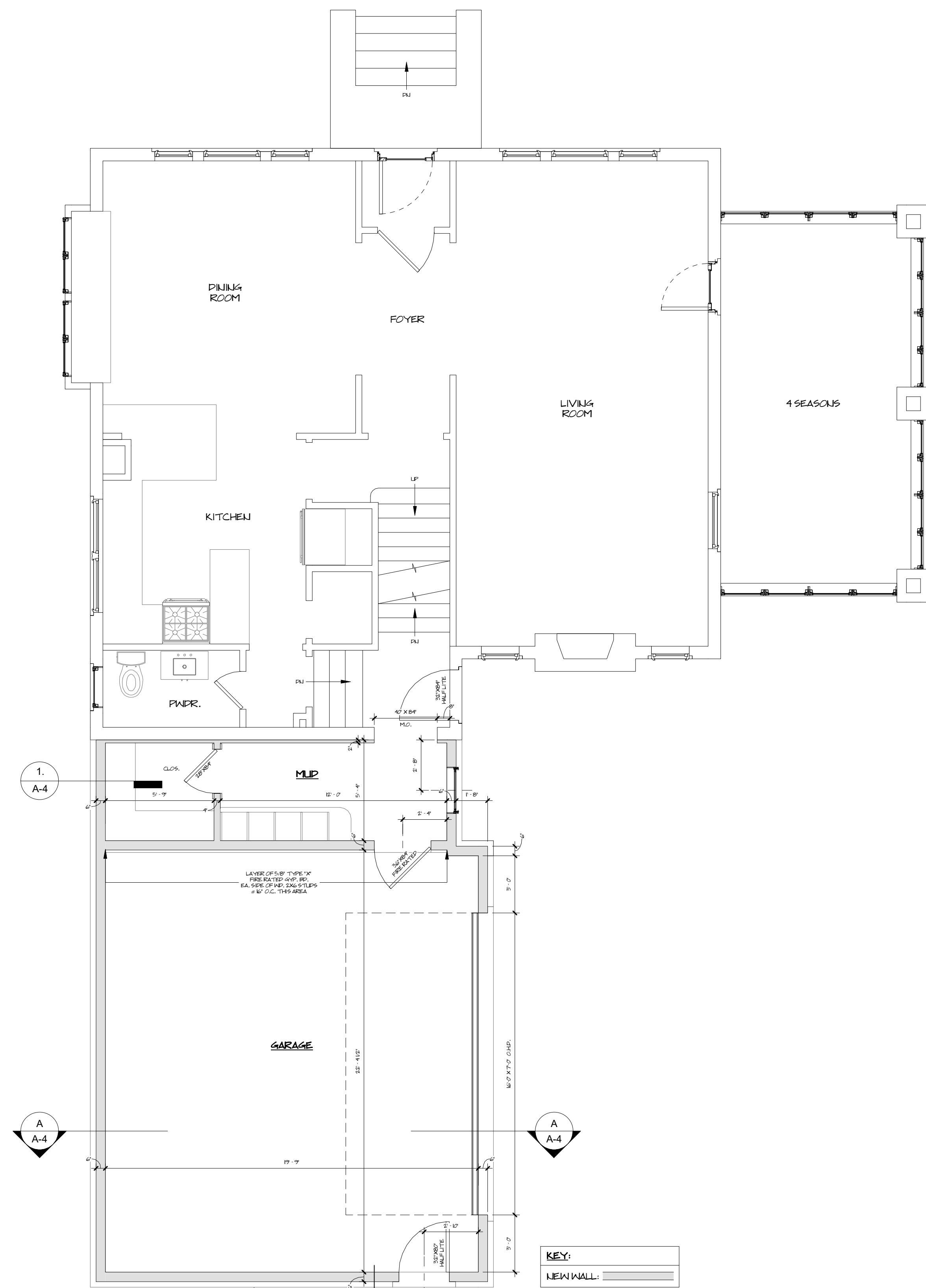


DATE: 10/11/23
 REVISION:

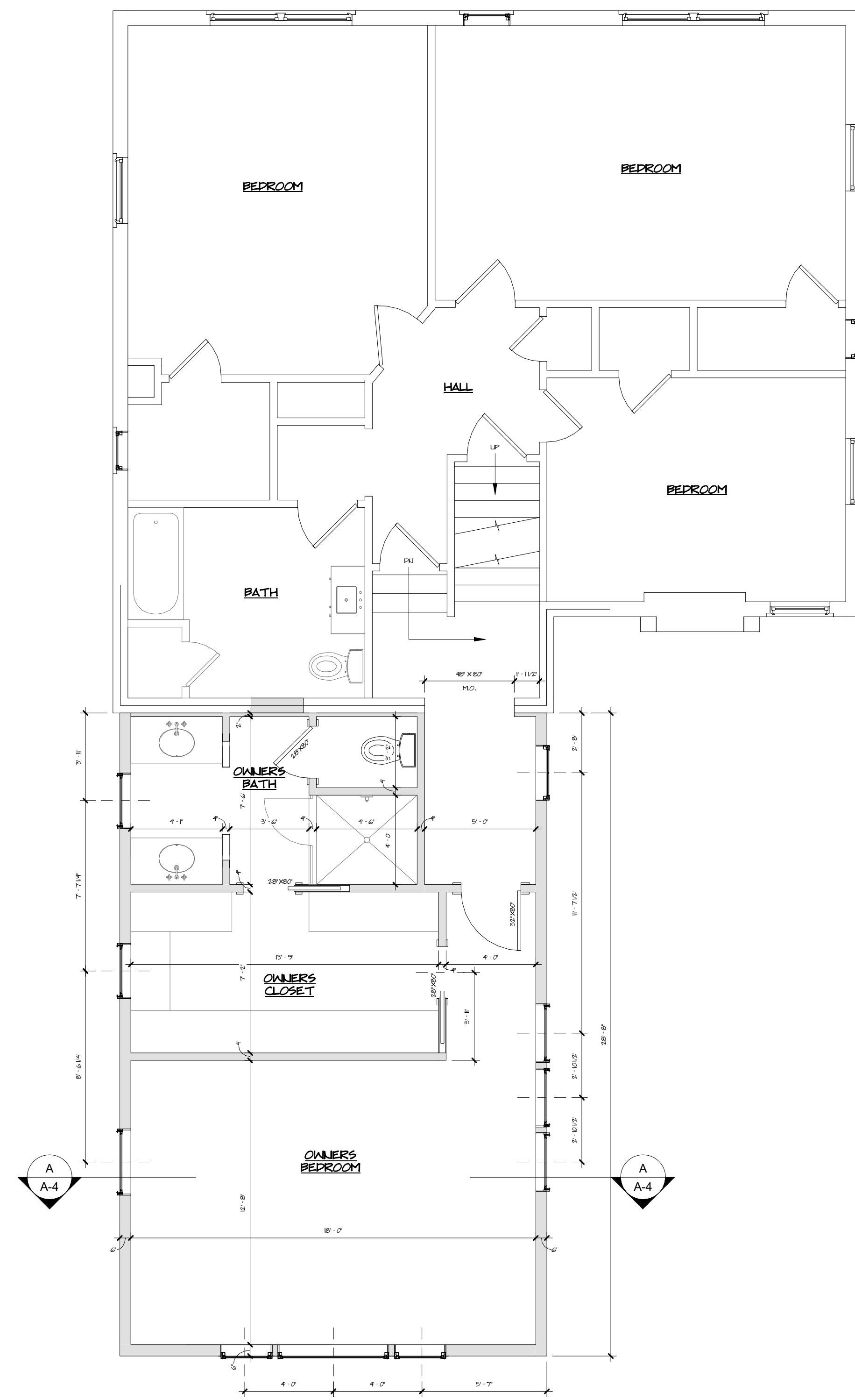
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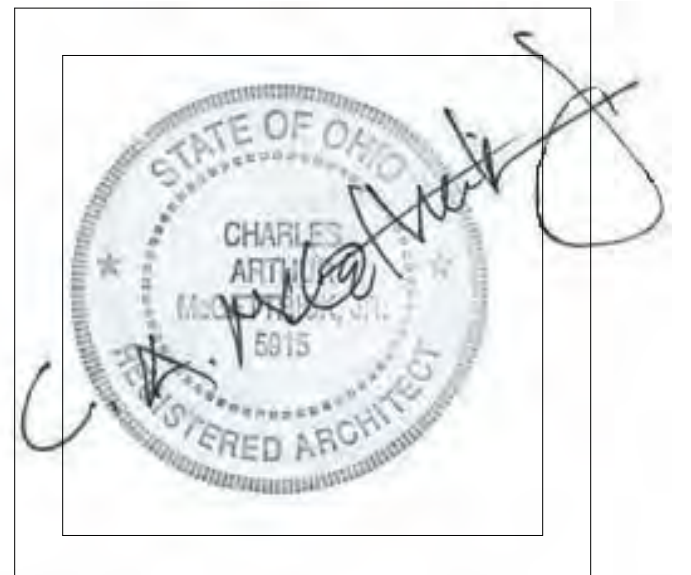
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 22300
 CHARLES McGETTRICK, JR. #775915
 EXPIRATION DATE: 12/31/2023



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



DATE: 10/11/23
REVISION:

HOUSE ADDITION
15703 Lake Ave. Lakewood, Ohio 44107

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14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

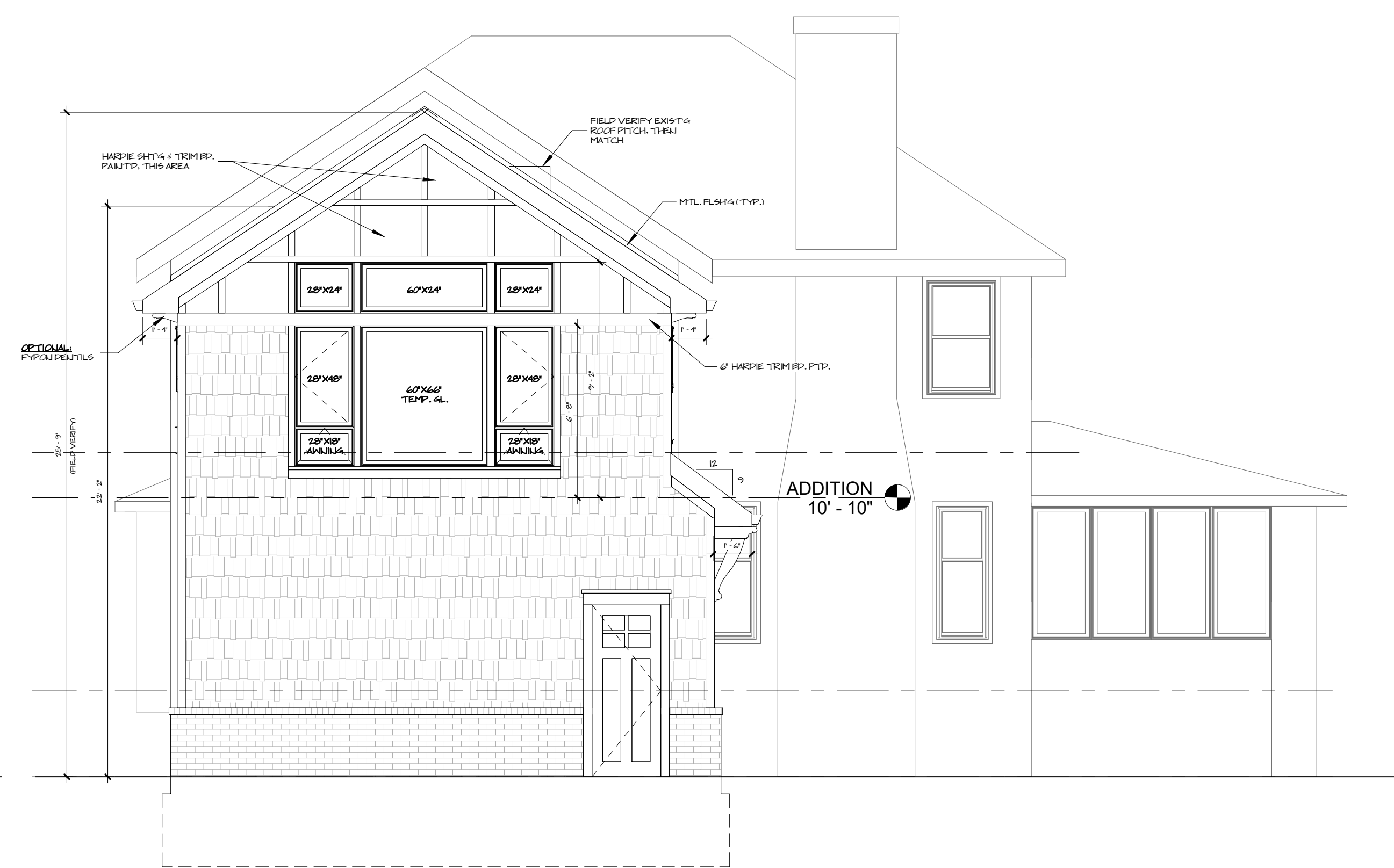
COMMISSION NO.
223--
CHARLES McGETTRICK JR. #775995
EXPIRATION DATE: 12/31/2023



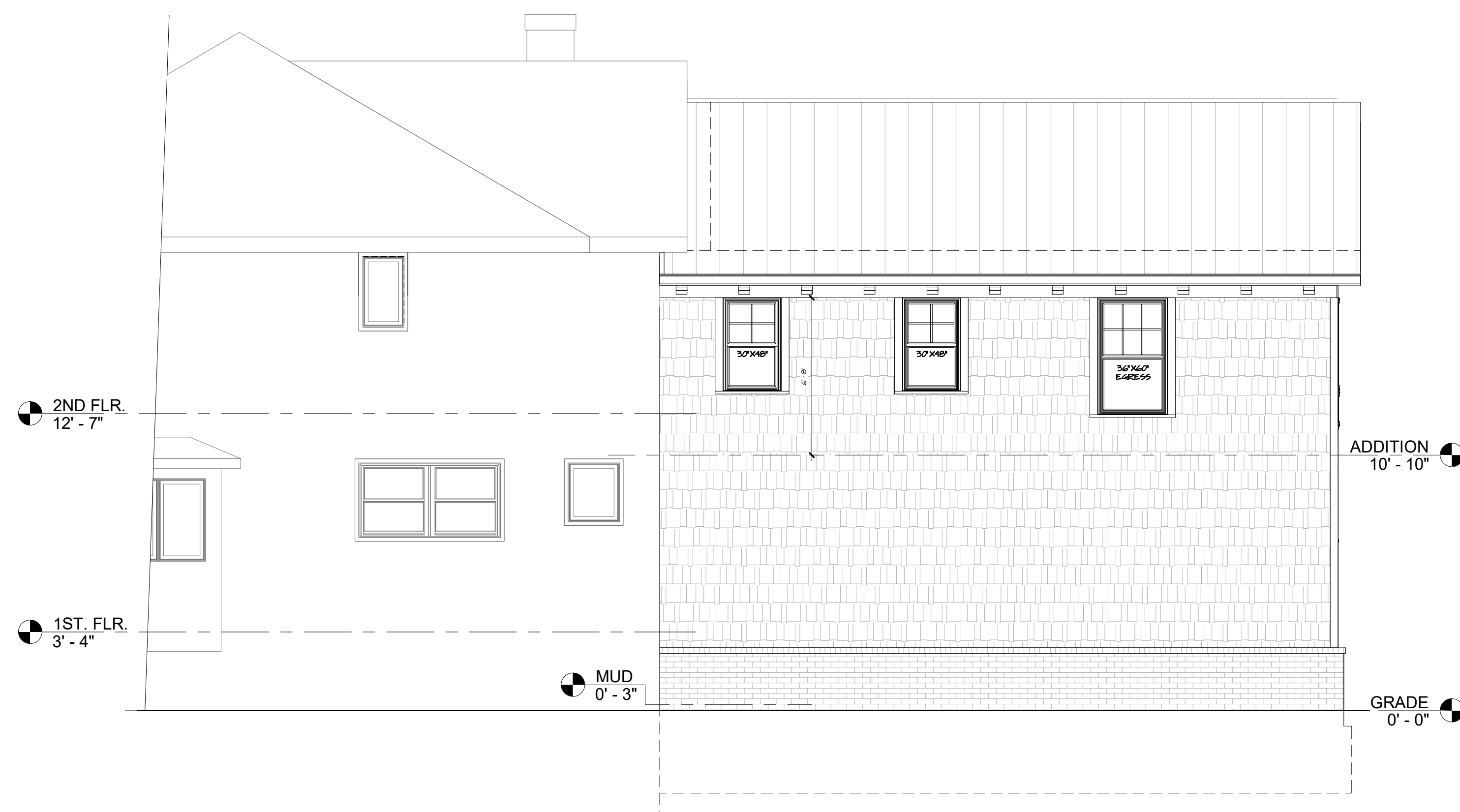
DATE: 10/11/23
 REVISION:



EAST ELEVATION
 1/4" = 1'-0"



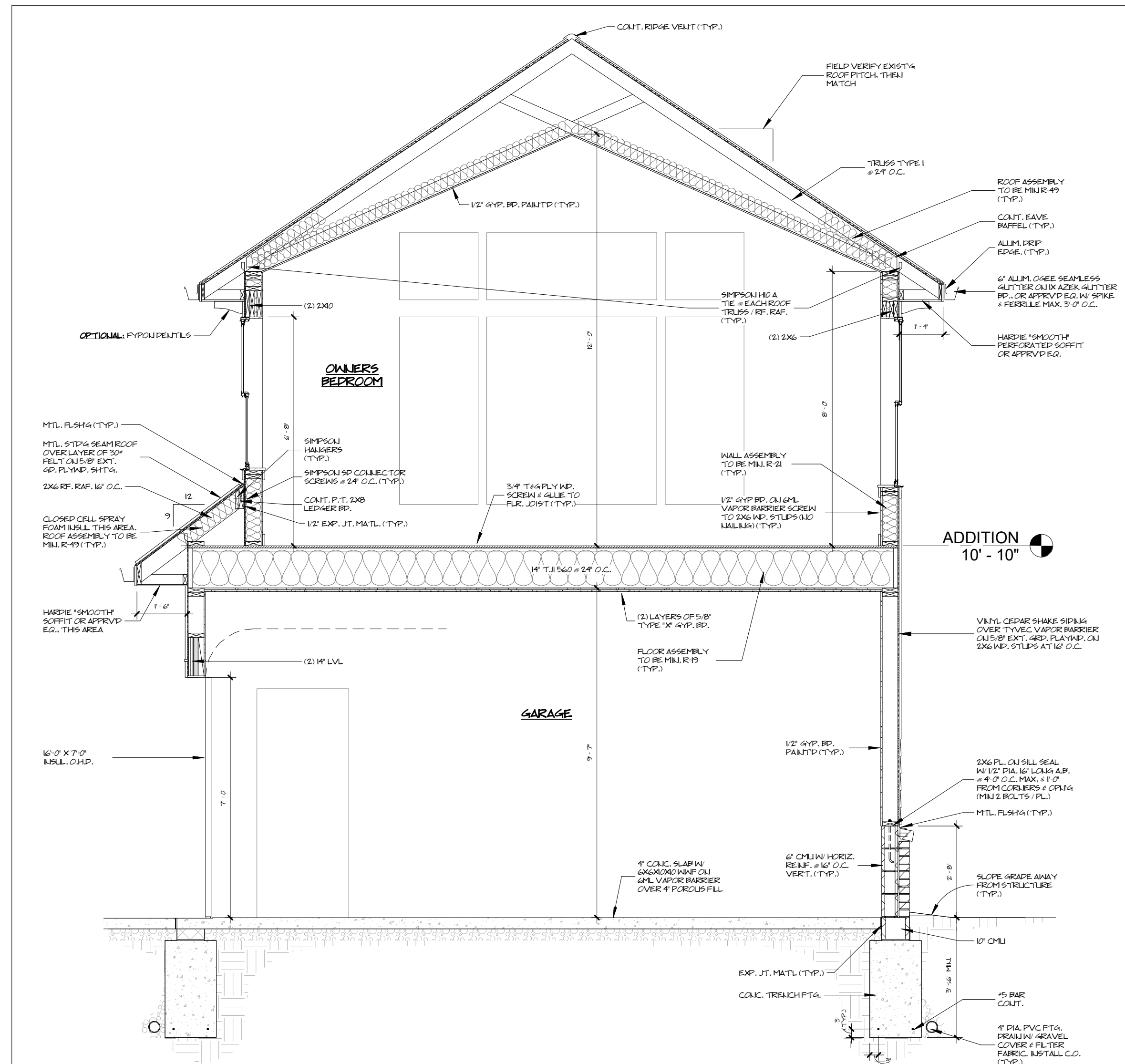
SOUTH ELEVATION
 1/4" = 1'-0"



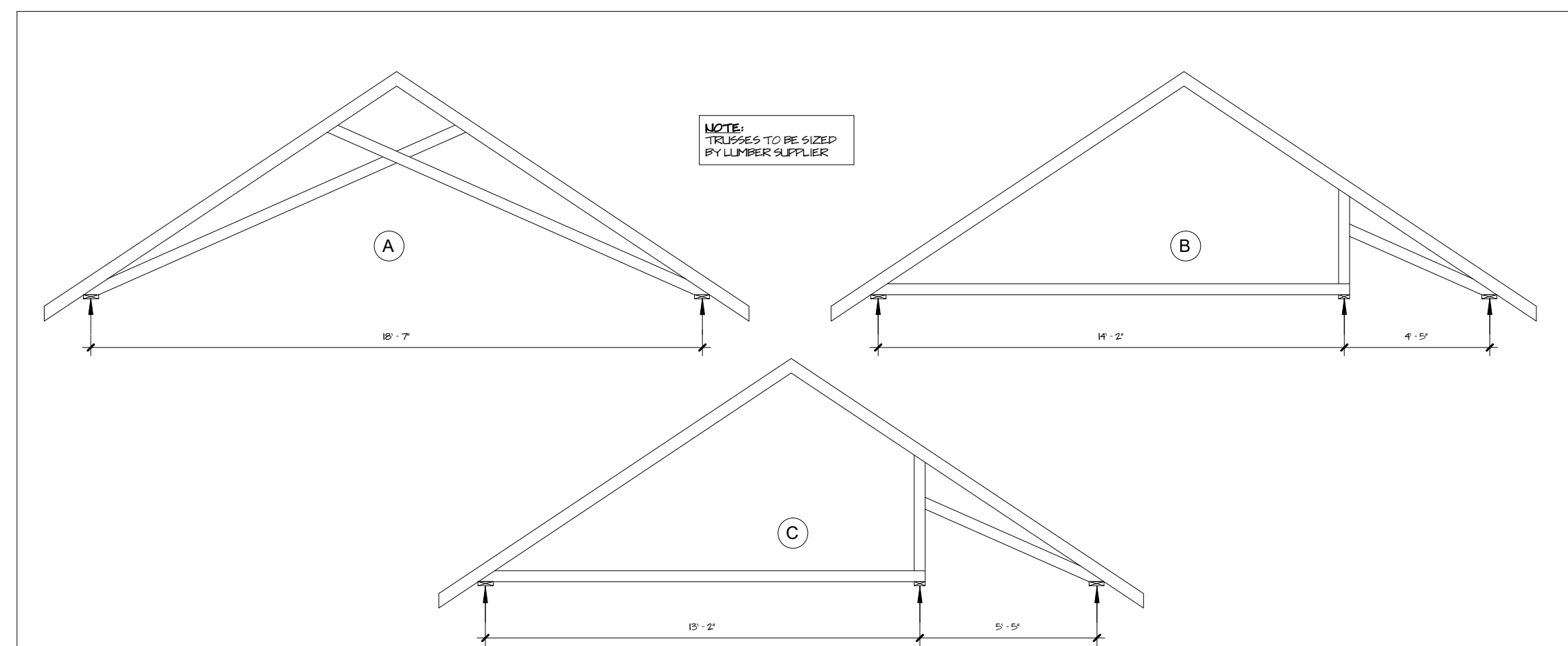
WEST ELEVATION
 1/4" = 1'-0"

HOUSE ADDITION
 15703 Lake Ave. Lakewood, Ohio 44107
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 14551 Madison Ave. Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712

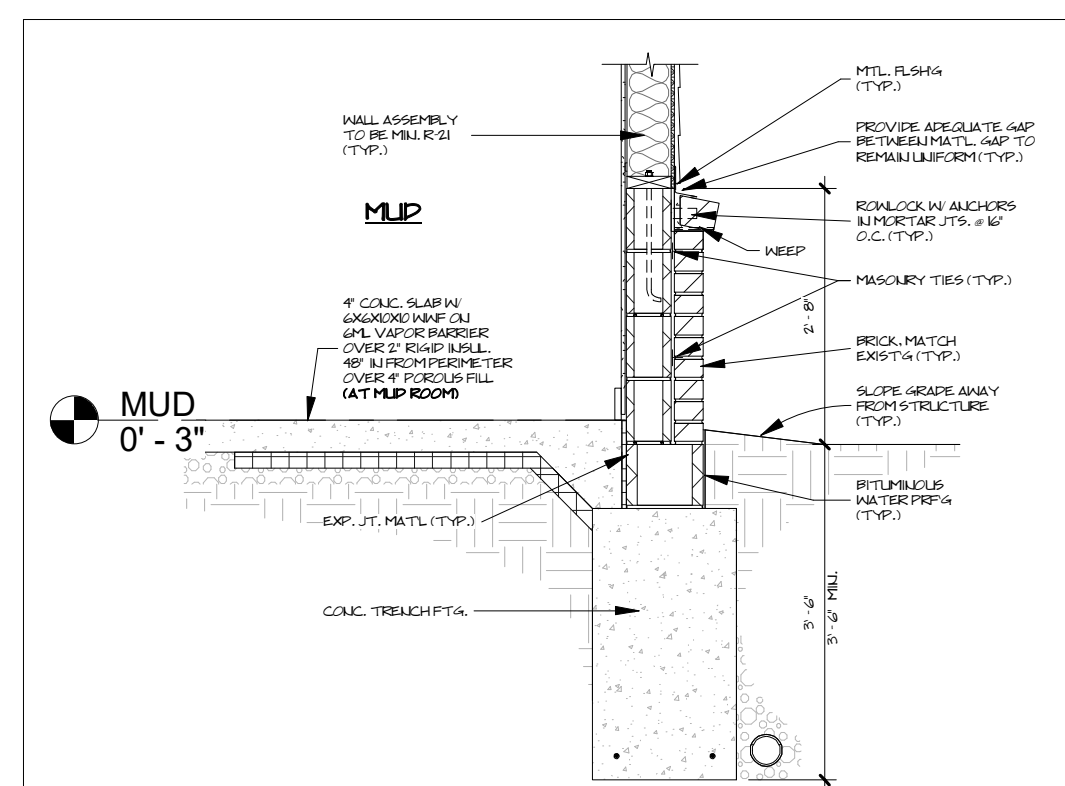
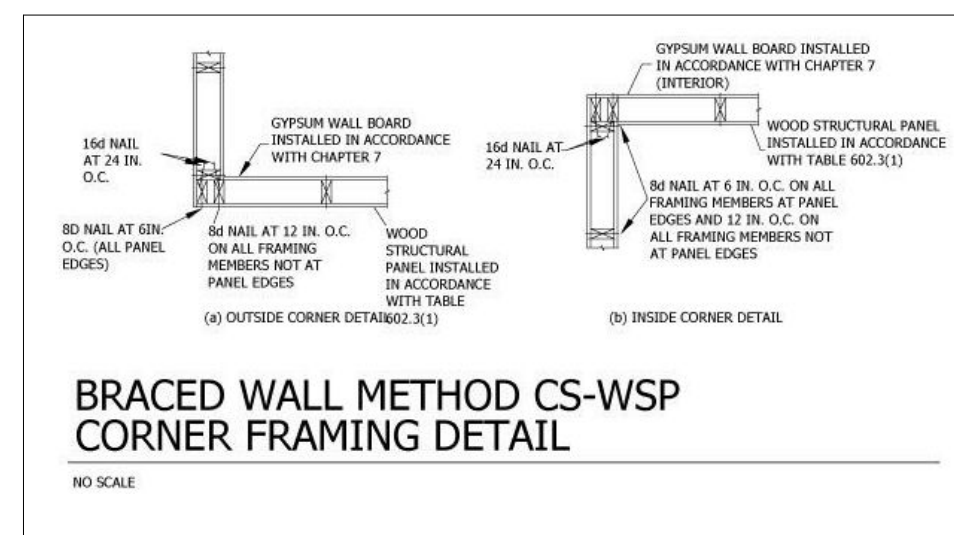
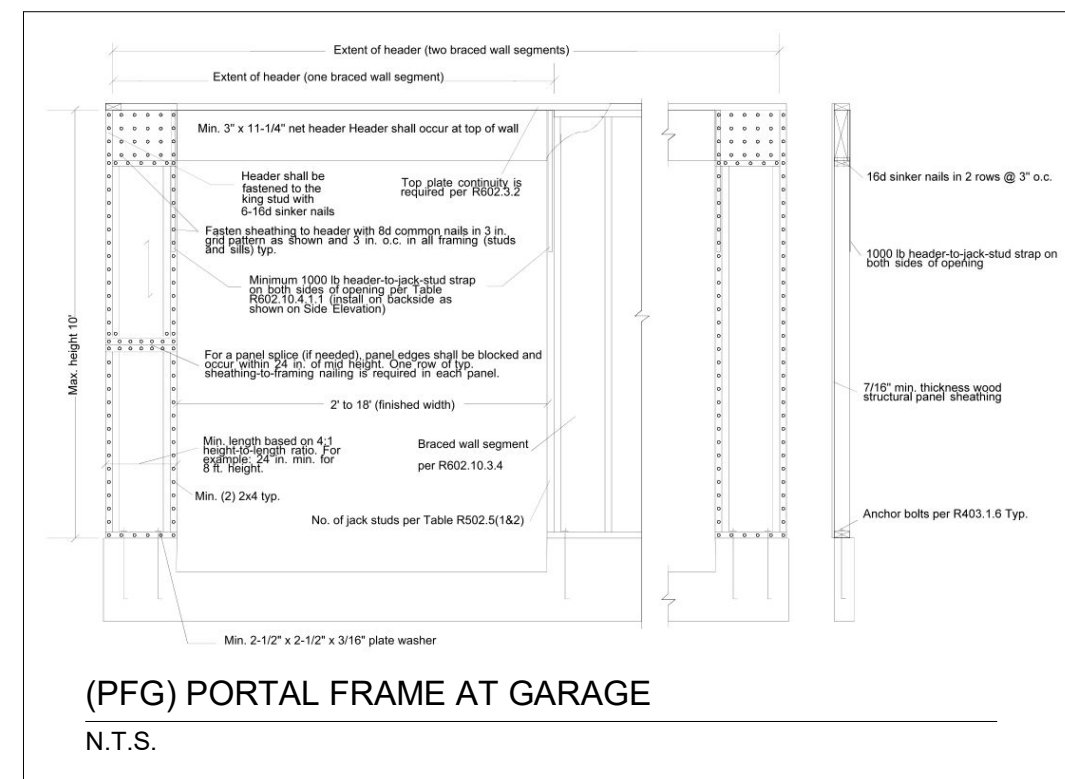
COMMISSION NO.
 223--
 CHARLES McGETTRICK, JR. #77598
 EXPIRATION DATE: 12/31/2023



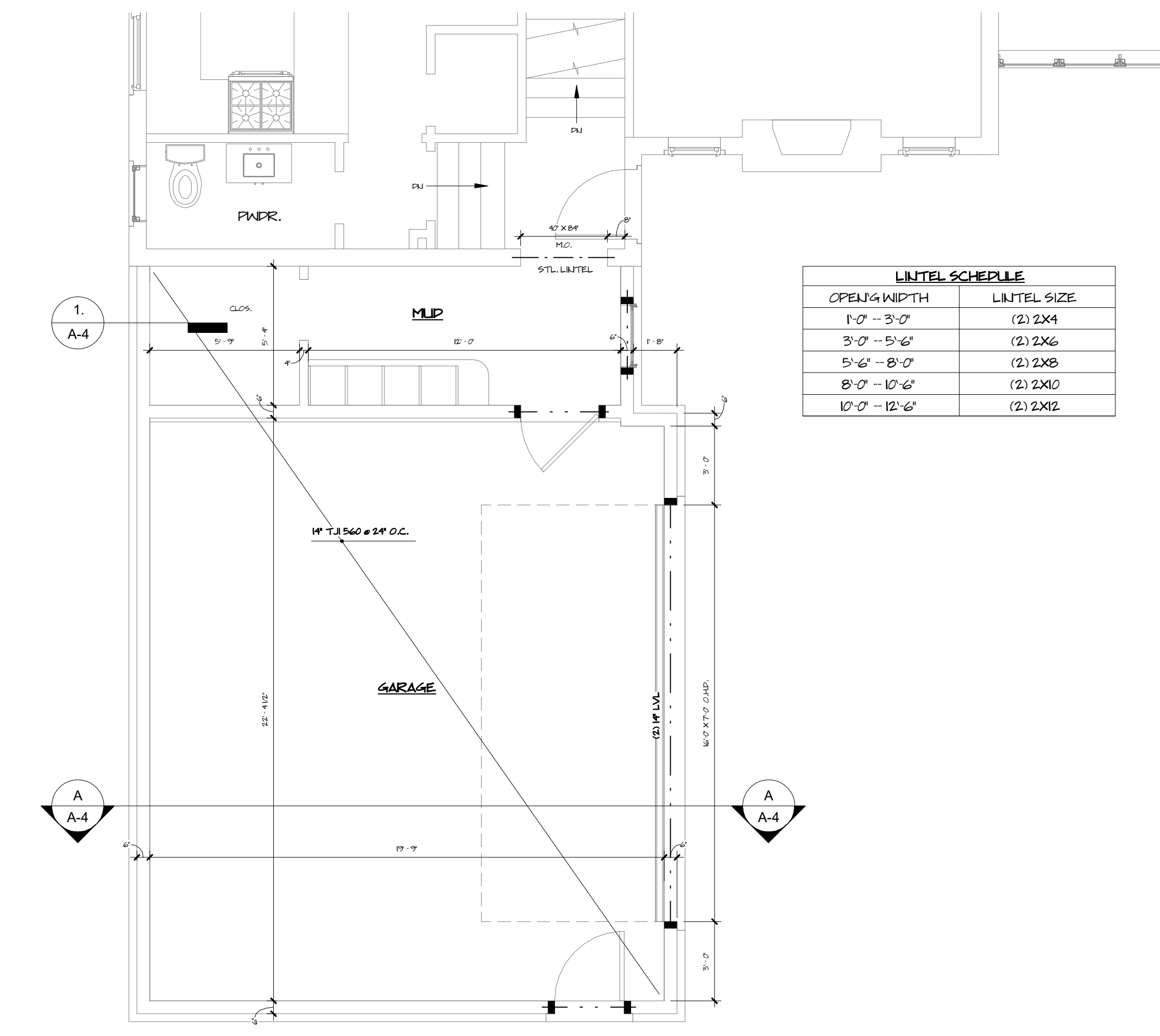
SECTION A
3/8" = 1'-0"



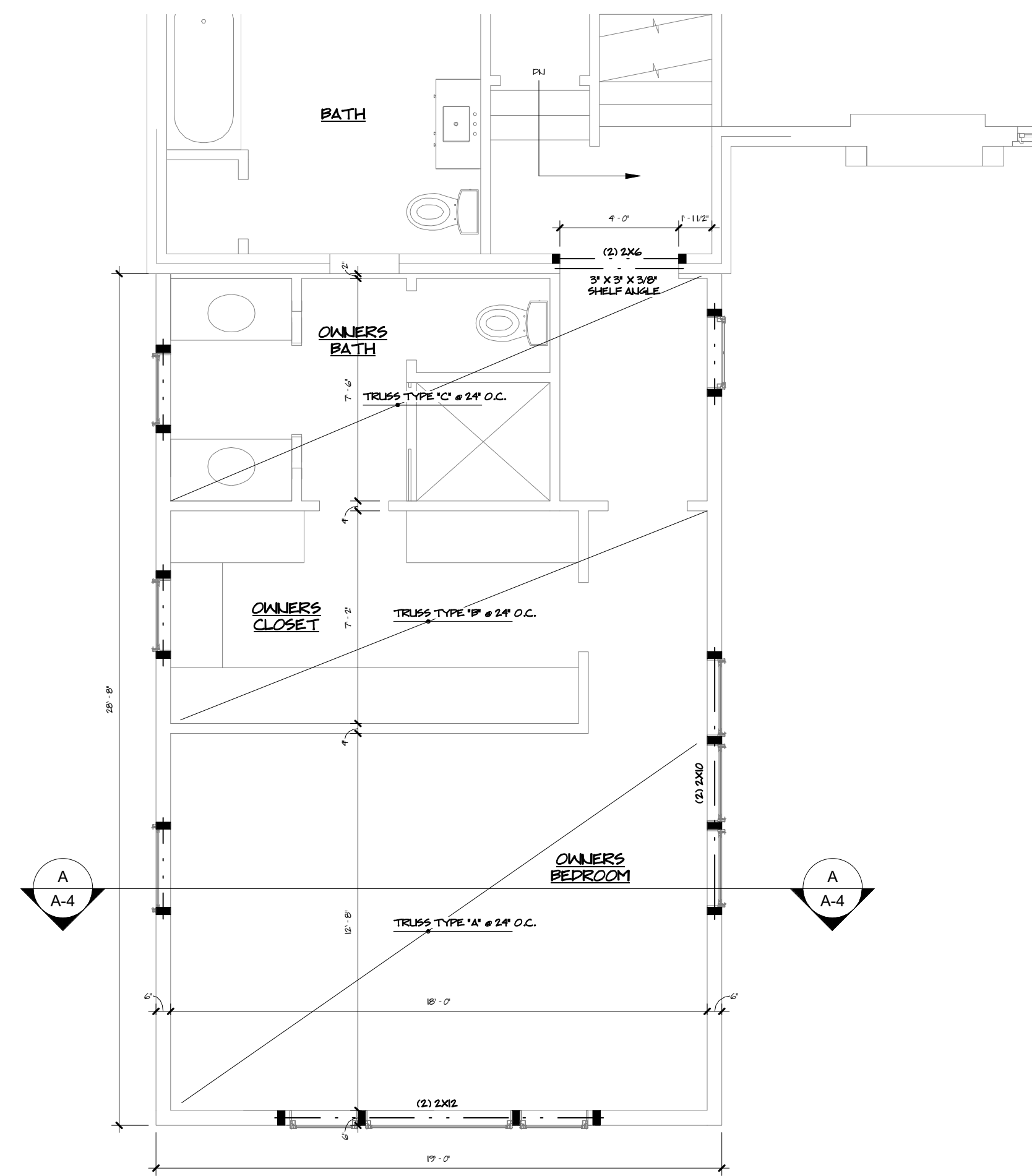
TRUSS DIAGRAM
1/4" = 1'-0"



DETAIL 1
1/2" = 1'-0"



FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



DATE: 10/11/23
REVISION:

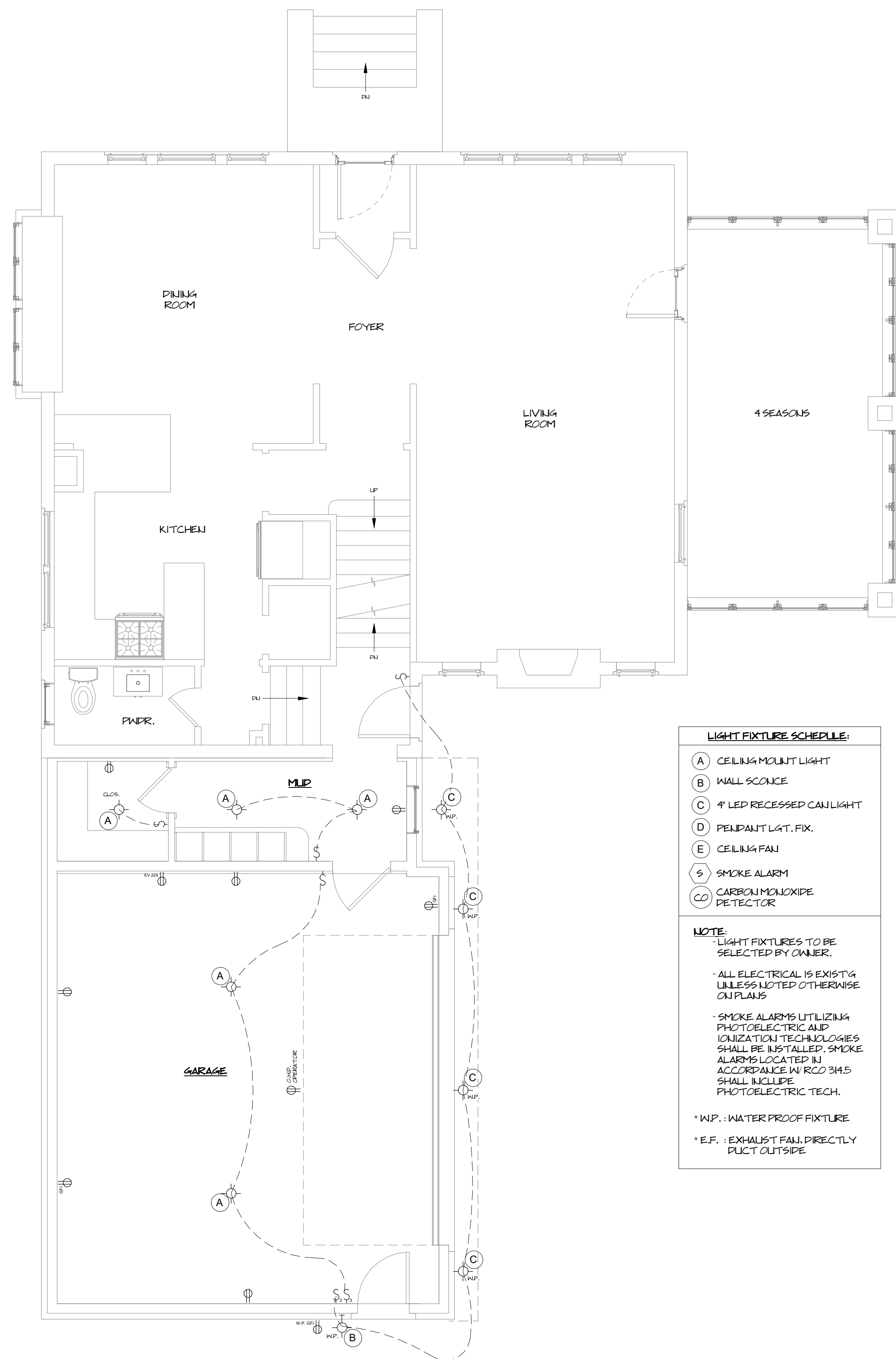
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15703 Lake Ave. Lakewood, Ohio 44107

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Lakewood, Ohio 44107 216-227-0700 FAX: 216-227-0712
14551 Madison Ave.

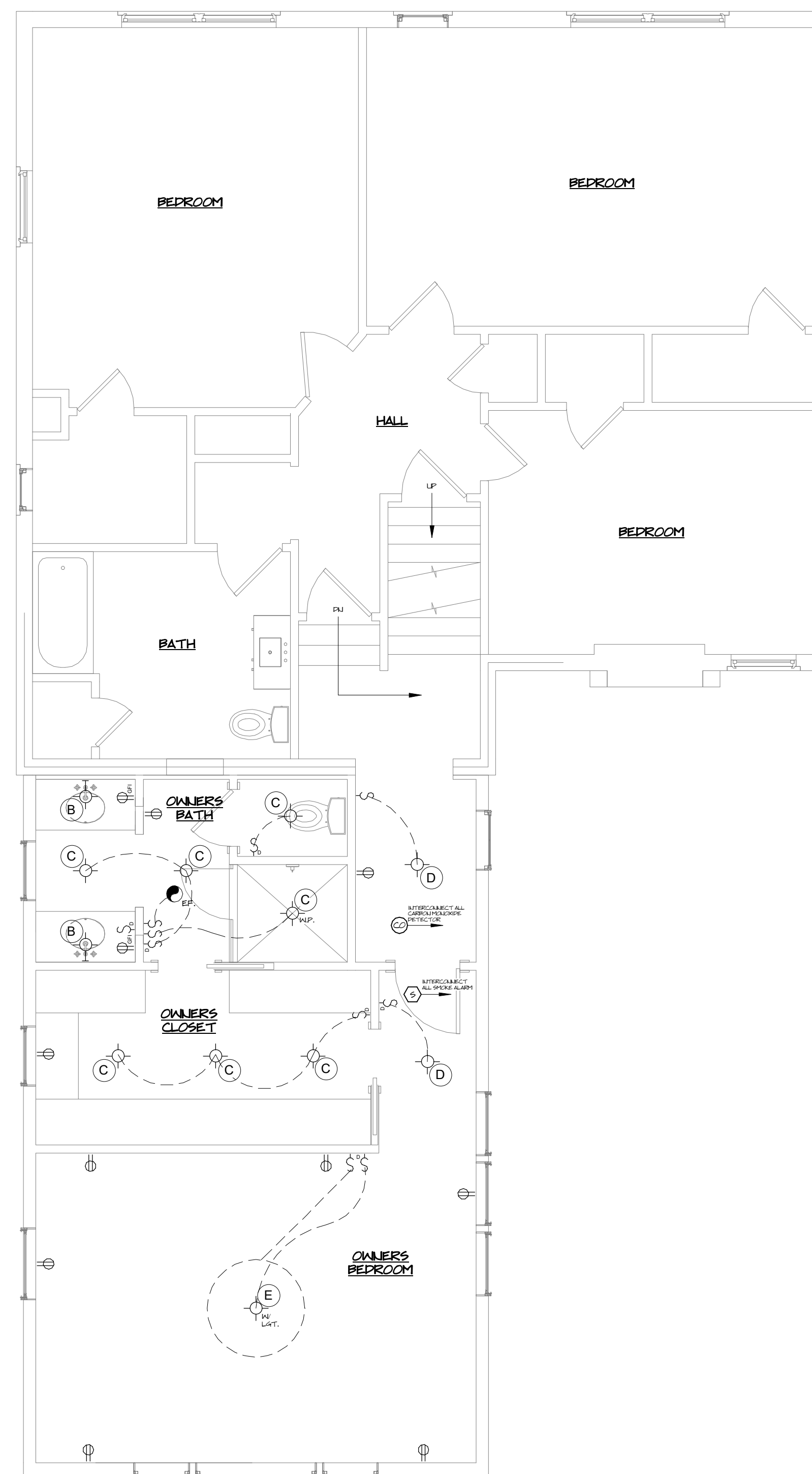
COMMISSION NO. 223--
CHARLES McGETTRICK, JR. #77595
EXPIRATION DATE: 12/31/2023



DATE: 10/11/23
 REVISION:



FIRST FLOOR POWER/LIGHTING PLAN
 1/4" = 1'-0"



SECOND FLOOR POWER/LIGHTING PLAN
 1/4" = 1'-0"

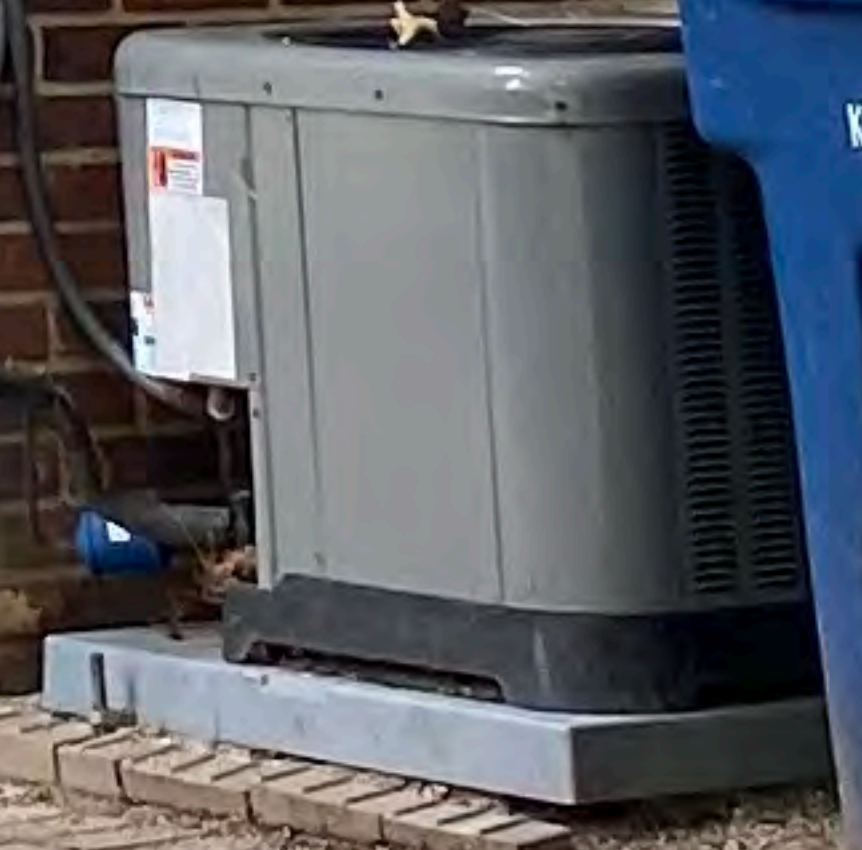
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COMMISSION NO.
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 EXPIRATION DATE: 12/31/2023









15703

NO on ISSUE 1
AUGUST 6







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ARCHITECTURAL REVIEW BOARD
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12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-92-23

Permit No.: BBS23-000083

Applicant Name: James Ptacek, Larsen Architects

Project Address: 12815 Detroit Ave.

Project Name: LakewoodAlive and Larsen Architects

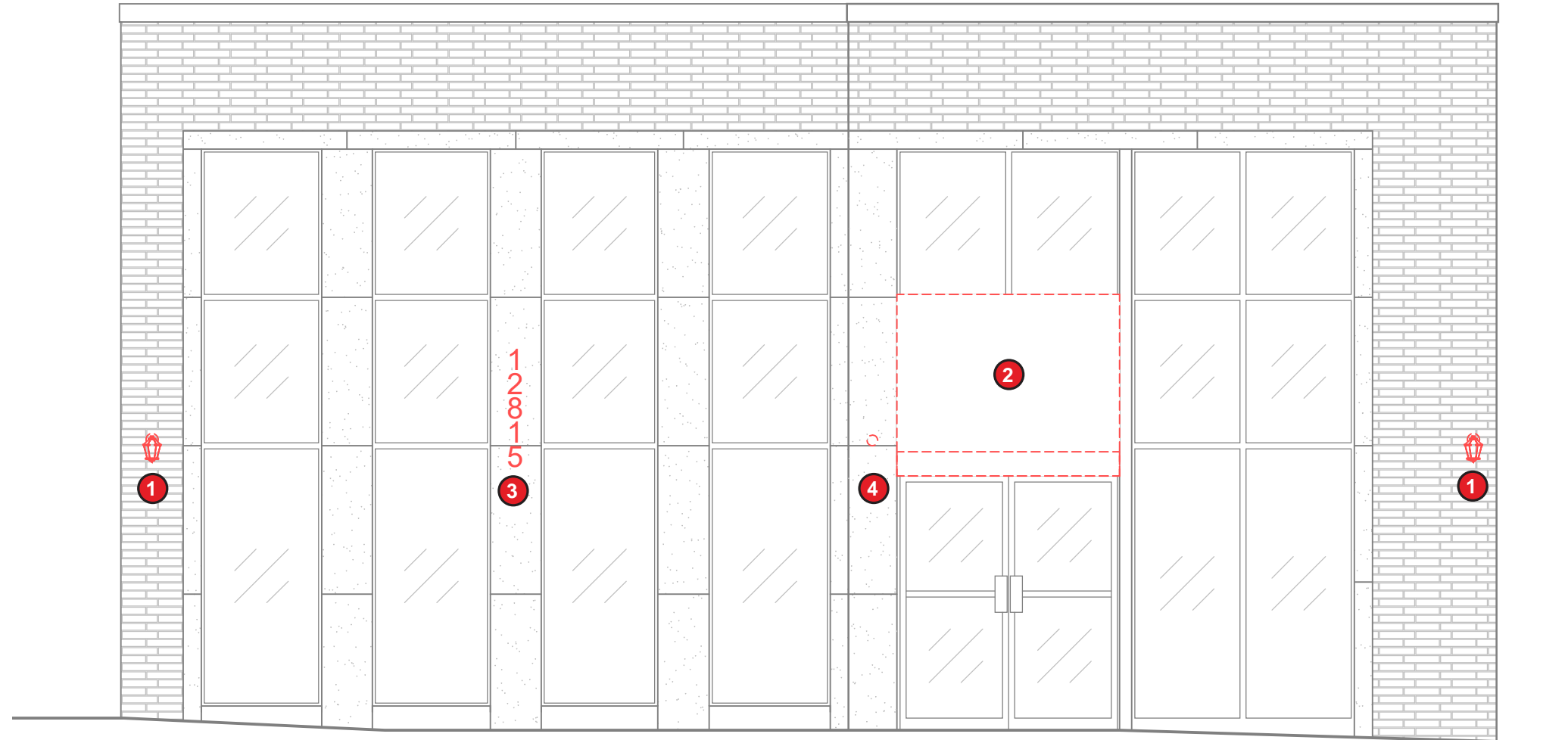
Project: Applicant proposes exterior renovations of an existing commercial building.

James Ptacek

Subject: re: 12815 Detroit - Placeholder - Lakewood Alive Consent for ABR Submittal.

This is the placeholder email for final confirmation of LakewoodAlive's tenant consent for the ABR submittal.

12815 Detroit Avenue
Proposed Demolition Exterior Elevation



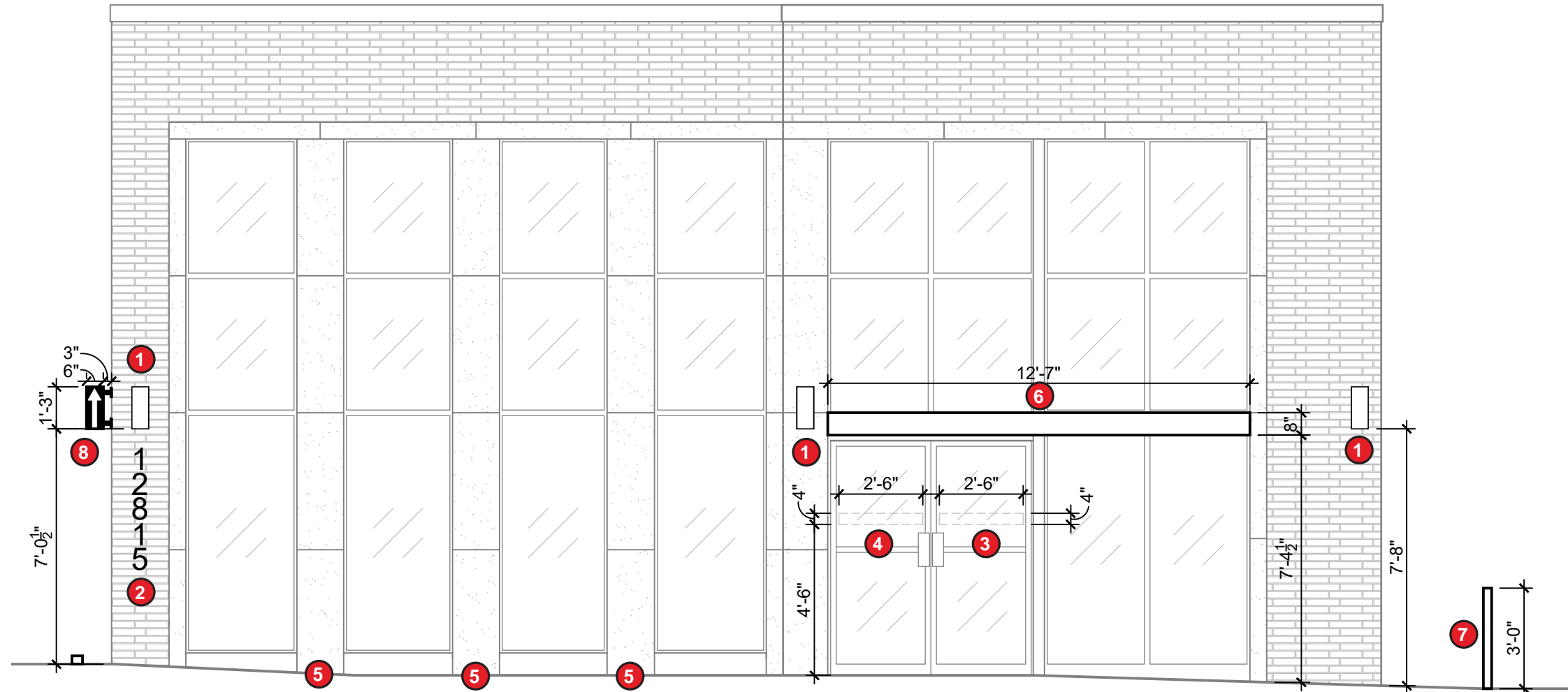
Proposed Demolition Elevation
Scale: 1/4" = 1'-0"



DEMOLITION CODED NOTES

- ① Remove existing carriage lighting-discard.
Retain electrical box for new fixture.
- ② Remove existing canopy and mounting hardware- discard.
If possible, patch all holes from abandoned fasteners.
- ③ Remove existing address numbers-discard
Patch all holes from abandoned fasteners.
- ④ Remove existing cover plate.
Prepare existing circuit to receive new fixture.

12815 Detroit Avenue
Proposed Exterior Elevation



Proposed Elevation
Scale: 1/4" = 1'-0"

ELEVATION CODED NOTES

- 1 Install new Kichler Cylinders Outdoor Wall Light
Black powder coat finish.
Lamp: GE Outdoor Par38 1300 lumen LED 3000k
- 2 Install new 8" tall address numbers on stand offs
Polished aluminum finish.
- 3 Install new Lakewood Alive vinyl decal
- 4 Install new Larsen Architects vinyl decal
- 5 Install new Hinkley aluminum landscape spotlight
Black powder coat finish.
Lamp: GE 12v MR16 530 lumens LED 3000k
- 6 Furnish and install new 12'-8" wide, 8" tall, 3'-0" deep metal canopy. Black powder coat finish.
- 7 Furnish and install new 30" wide, 36" tall, 3" deep custom metal bike rack.
- 8 Furnish and install new 6"X1'-3" projected parking directional signage.



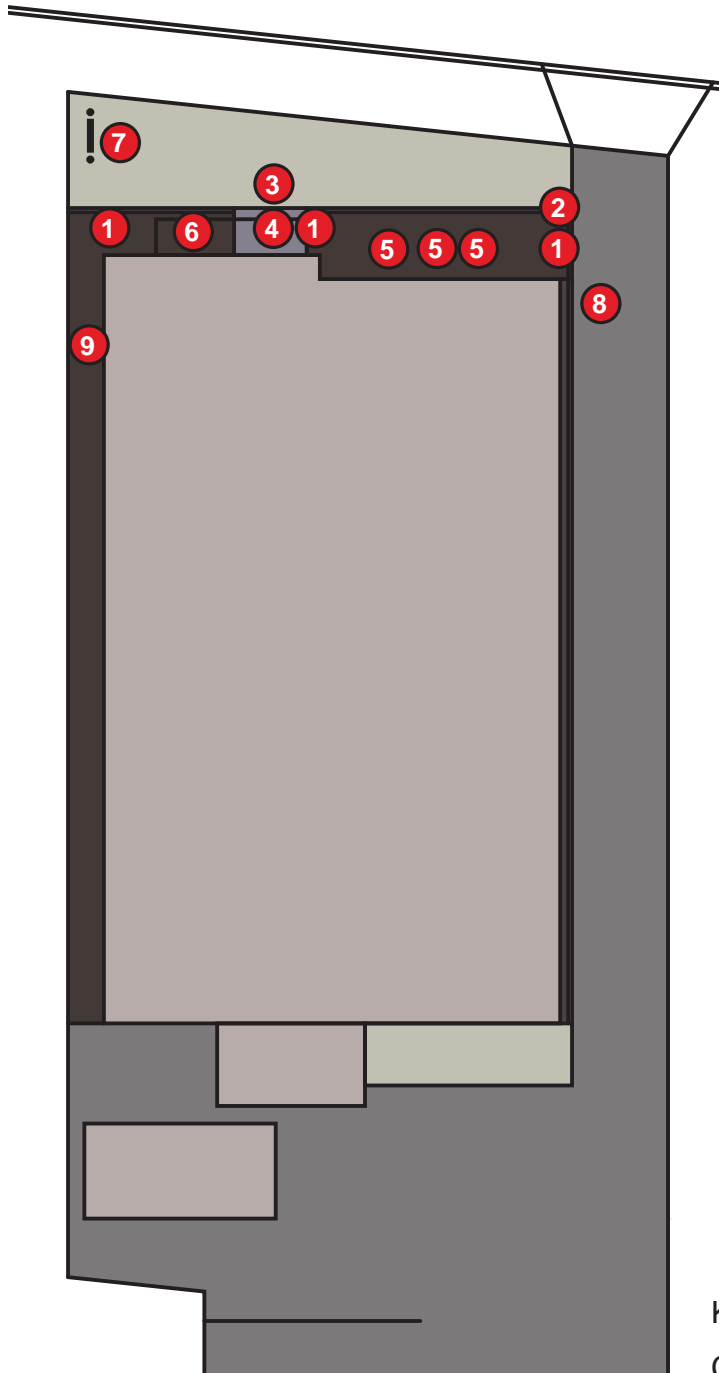
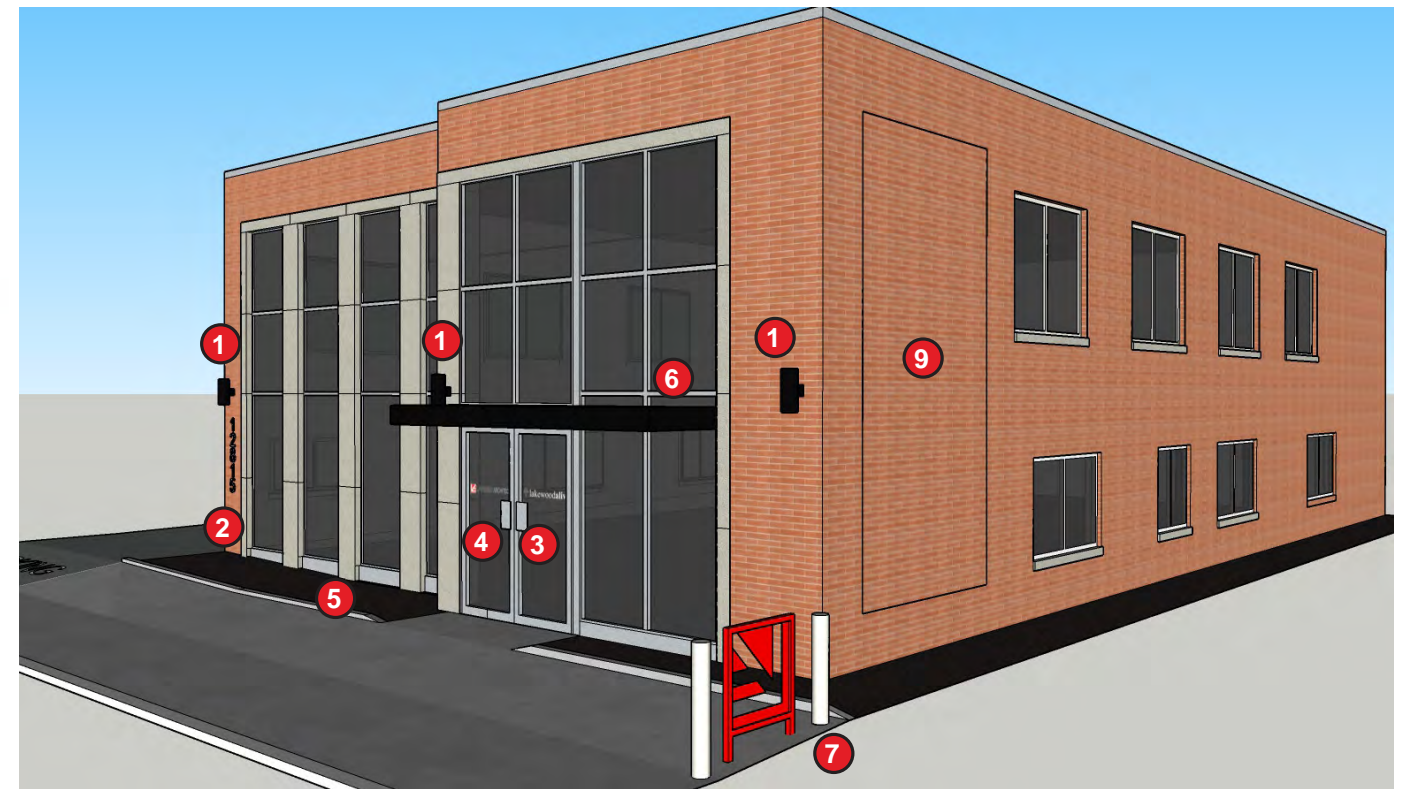
Enlarged Door Signage
Scale: Not to scale

12815 Detroit Avenue

Proposed Exterior Renovations & Signage

CODED NOTES

- 1 Install new Kichler Cylinders Outdoor Wall Light
Black powder coat finish.
Lamp: GE Outdoor Par38 1300 lumen LED 3000k
- 2 Install new 8" tall address numbers on stand offs
Polished aluminum finish.
- 3 Install new Lakewood Alive vinyl decal
- 4 Install new Larsen Architects vinyl decal
- 5 Install new Hinkley aluminum landscape spotlight
Black powder coat finish.
Lamp: GE 12v MR16 530 lumens LED 3000k
- 6 Furnish and install new 12'-8" wide, 8" tall, 3'-0"
deep metal canopy. Black powder coat finish.
- 7 Furnish and install new 30" wide, 36" tall, 3" deep
custom metal bike rack.
- 8 Furnish and install new 6"X1'-3" projected parking
directional signage.
- 9 Future mural location. 8' wide x 14' high



Proposed Site Plan

Scale: 1/16" = 1'-0"

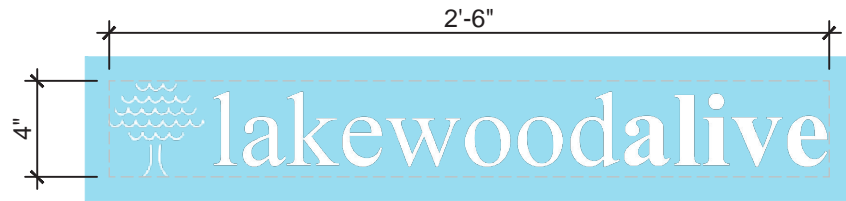


Kichler
Cylinders
Outdoor Wall Light
Black powder coat finish.
Lamp: GE Outdoor Par38
1300 lumen LED 3000k



Hinkley
Aluminum landscape spotlight
Black powder coat finish.
Lamp: GE 12v MR16 530
lumens LED 3000k

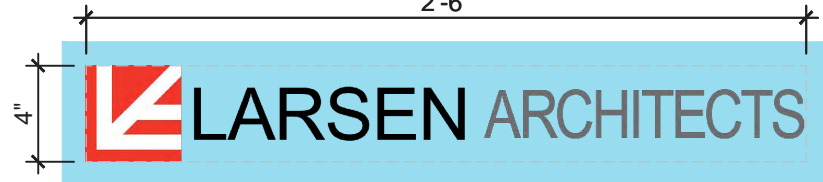
12815 Detroit Avenue
Proposed Signage



LAKWOOD ALIVE SIGN
SCALE 1 1/2" = 1'-0"

2'-6" X 4", 0.83 SF
REVERSE PRINTED VINYL LETTERING AND LOGO APPLIED TO INSIDE OF TRANSPARENT GLASS DOOR.

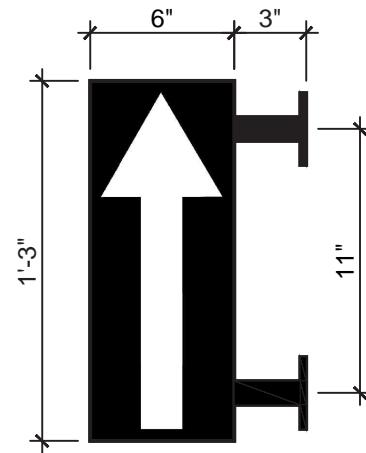
NOTE: BLUE BACKGROUND SHOWN TO REPRESENT GLASS FOR IMAGE CLARITY AND IS NOT PART OF THE SIGNAGE DESIGN.



LARSEN ARCHITECTS SIGN
SCALE 1 1/2" = 1'-0"

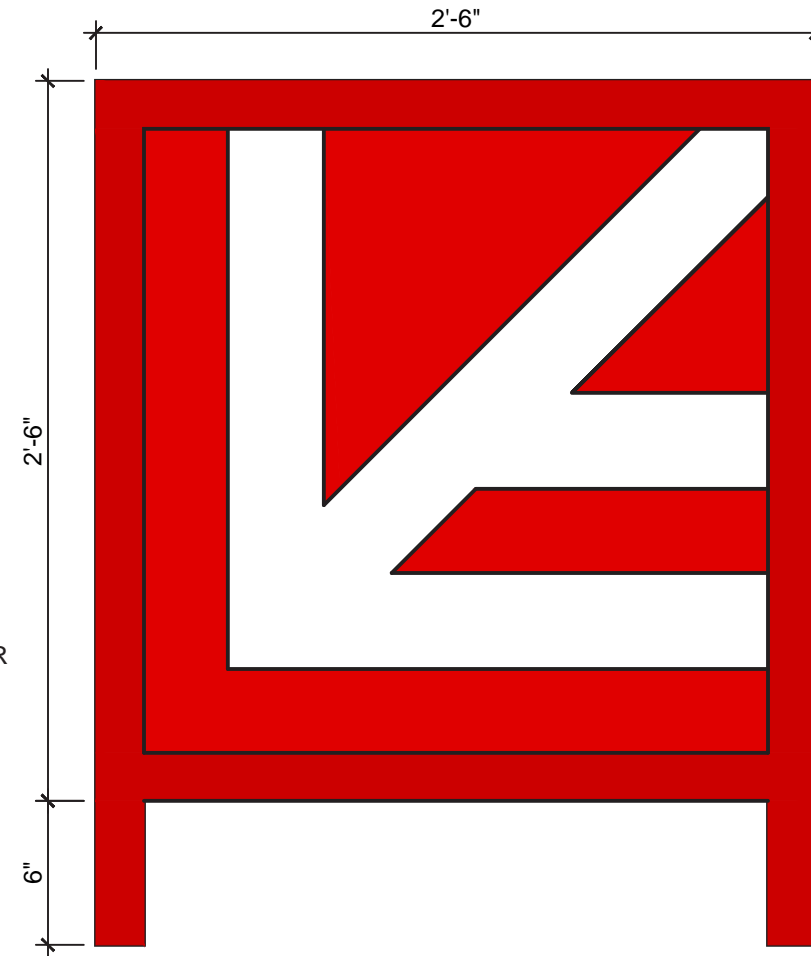
2'-6" X 4", 0.83 SF
REVERSE PRINTED VINYL LETTERING AND LOGO APPLIED TO INSIDE OF TRANSPARENT GLASS DOOR.

NOTE: BLUE BACKGROUND SHOWN TO REPRESENT GLASS FOR IMAGE CLARITY AND IS NOT PART OF THE SIGNAGE DESIGN.



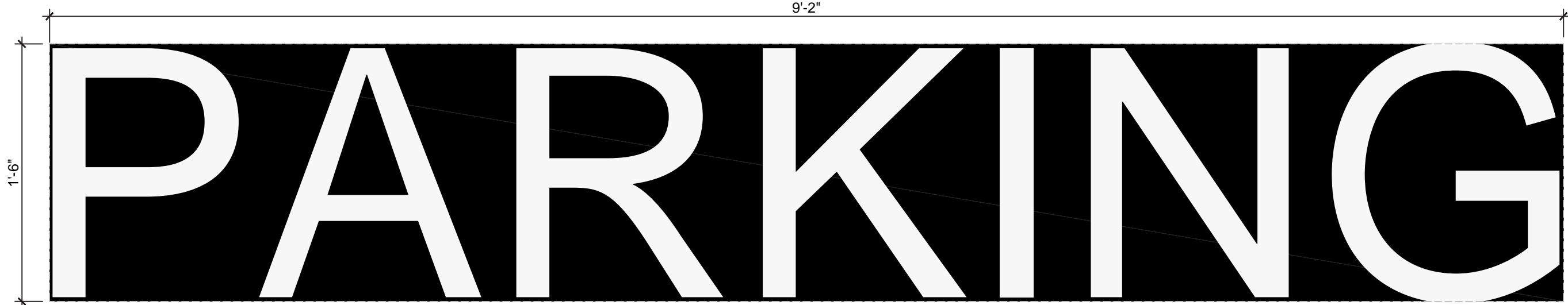
BLADE PARKING DIRECTIONAL SIGN
SCALE 1 1/2" = 1'-0"

6" X 1'-3", .63 SF.
POWDER COATED ALUMINUM BASE WITH PAINTED WHITE ARROW. TUBULAR POWDER COATED ALUMINUM BRACKETS.



LARSEN ARCHITECTS LOGO BIKE RACK
SCALE 1 1/2" = 1'-0"

3'-0" X 2'-6" 7.5SF EACH SIDE. 15 SF TOTAL
POWDER COATED STEEL LOGO SUPPORTED BY 3"X2" TUBULAR STEEL.



PARKING LOT MARKING
SCALE 1 1/2" = 1'-0"

1'-6" X 9'-2", 13.75 SF
PARKING LOT STRIPING PAINT APPLIED TO EXISTING ASPHALT.
NOTE: BLACK BACKGROUND SHOWN TO REPRESENT ASPHALT FOR IMAGE CLARITY AND IS NOT PART OF THE SIGNAGE DESIGN.



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Application Cover Page

Docket No.: 11-93-23

Permit No.: BBS23-000089

Applicant Name: Tyler Brummett, Brookside Shady LLC

Project Address: 12534 Lake Ave.

Project Name: Shady Grove Townhouses

Project: Applicant proposes demolition of a residential home.













OH 1325 ZZ

05

48P DSP-12

PROOF



OH 1325 ZZ

















































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Application Cover Page

Docket No.: 11-94-23

Permit No.: BBS23-000080

Applicant Name: Tyler Brummett, Brookside Shady LLC

Project Address: 12534 Lake Ave.

Project Name: Shady Grove Townhouses

Project: Applicant proposes the development of 16 townhouses.

SHADY COVE TOWNHOUSES

LAKEWOOD, OHIO

PRICING PACKAGE

AUGUST 11, 2023

DRAWING INDEX:

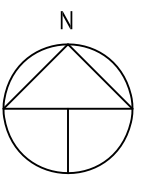
TS.011	TITLE SHEET
A1.09	SITE PLAN
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A3.01	TYPICAL FLOOR PLAN
A4.01	INTERIOR ELEVATIONS

SHADY COVE TOWNHOUSES

12534 LAKE AVE
LAKEWOOD, OHIO

KEY PLAN:

NOT TO SCALE



SITE



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TITLE SHEET

PROJECT #	22214
DRAWN BY	_____
CHECKED BY	RDL
FILE NAME	_____
PLOT DATE	_____

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MATERIAL SCHEDULE:

1. SIDING: 10.25" Wide Artisan Shiplap cement Panels. Color 1: TBD
- 2A. SIDING: Fiber cement Panels. Color 1: TBD
- 2B. SIDING: Fiber cement Panels. Color 2: TBD
- 3A. BRICK: Modular Brick Veneer. Color: TBD
- 3B. BRICK SILL: Brick rowlock sill / water table. Color to match face brick.
- 3C. BRICK HEADER: 8" Soldier course brick over windows. Color to match face brick.
- 3D. CAST STONE: 4" high cast stone cap. Color: TBD
4. DOOR & WINDOW TRIM: Boral trim. Color: TBD
 - 4A. 3/4" x 7 1/4" surround with 1"x2 1/2" horizontally installed sill (when applicable).
5. CORNICE TRIM: 18" high cement bd. panel with 1" x 2 1/2" Boral trim at bottom & 1 1/2" x 3 1/2" Boral trim at top. Color to match door & window trim.
6. TRIM: 1" x 2 1/2" Boral trim set over 3/4" x 1 1/4" Boral trim. Color to match door & window trim.
7. PANEL BREAK.
8. GUTTERS, DOWN SPOUTS & ALUMINUM WRAPPED FASCIAS: Pre-finished aluminum. Color to match trim.
9. COLUMN / POST WRAP: Square, Fypon or Cement Bd. Color to match trim.
10. RAILING: Stainless Steel Cable railing system.
11. OVERHEAD GARAGE DOOR: Steel.
12. ADDRESS PLACARD
13. EXTERIOR WALL SCENCE

21111 Chagrin Blvd, Suite 110
Shaker Heights, Ohio 44120
PHONE: 216-752-4300
FAX: 216-752-4301
www.RDLarchitects.com

SHADY COVE TOWNHOUSES

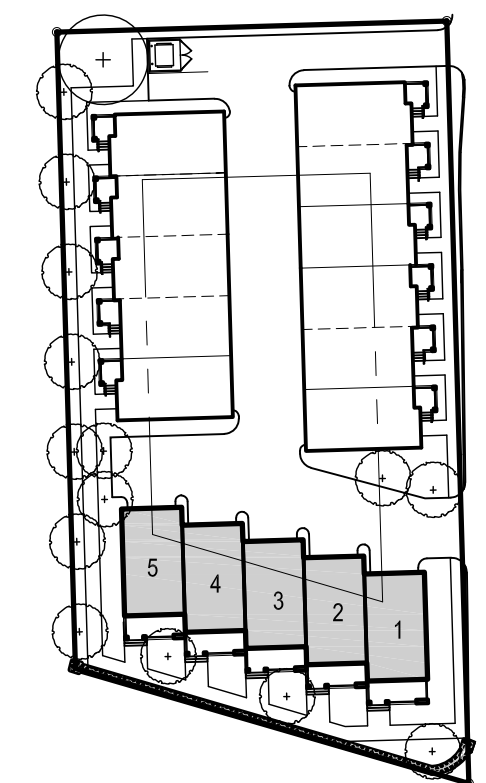
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KEY PLAN:



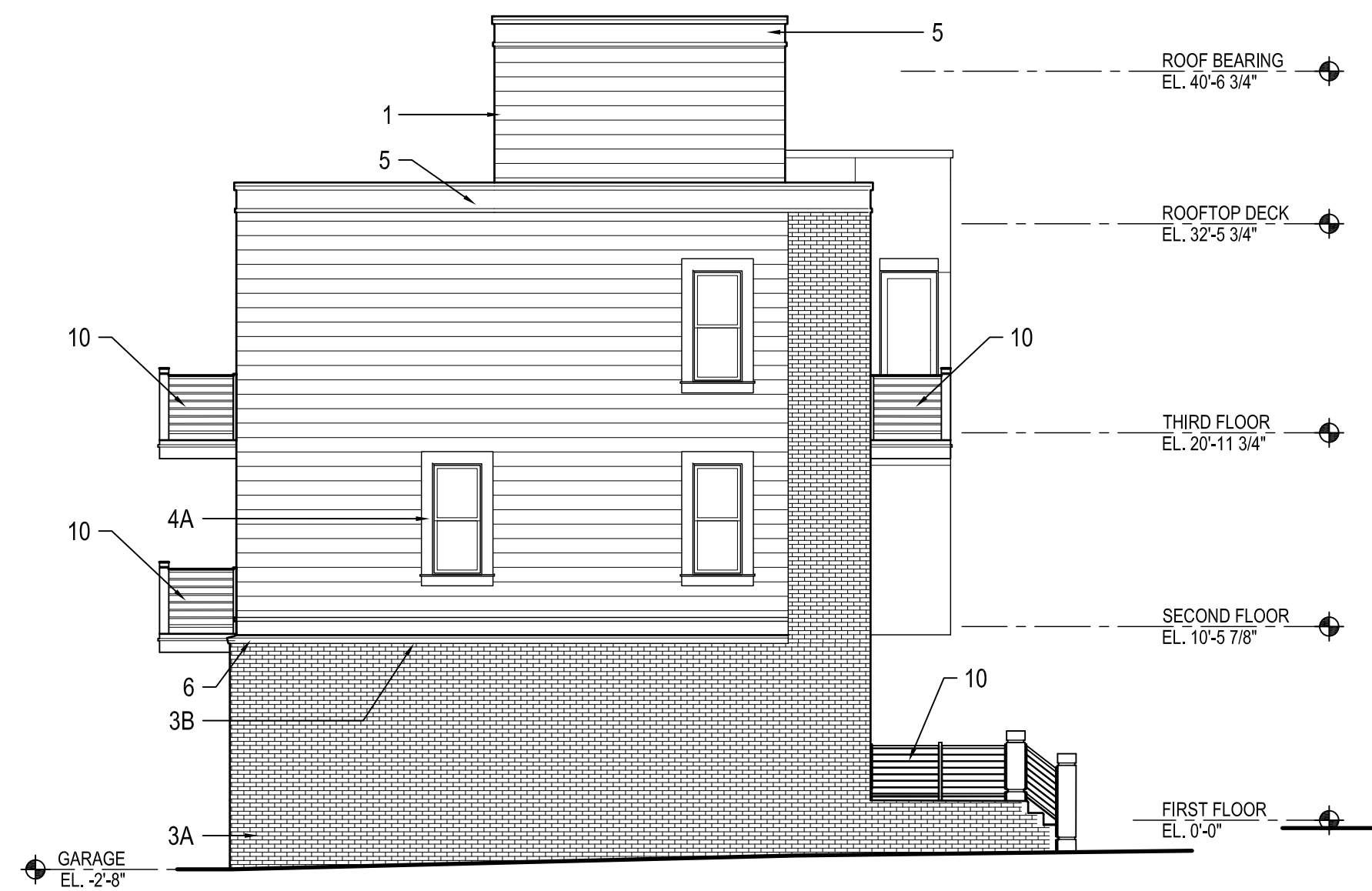
EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"
0' 1' 2' 4' 8' 16'

PROJECT # 22214
DRAWN BY
CHECKED BY RDL
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A2.01



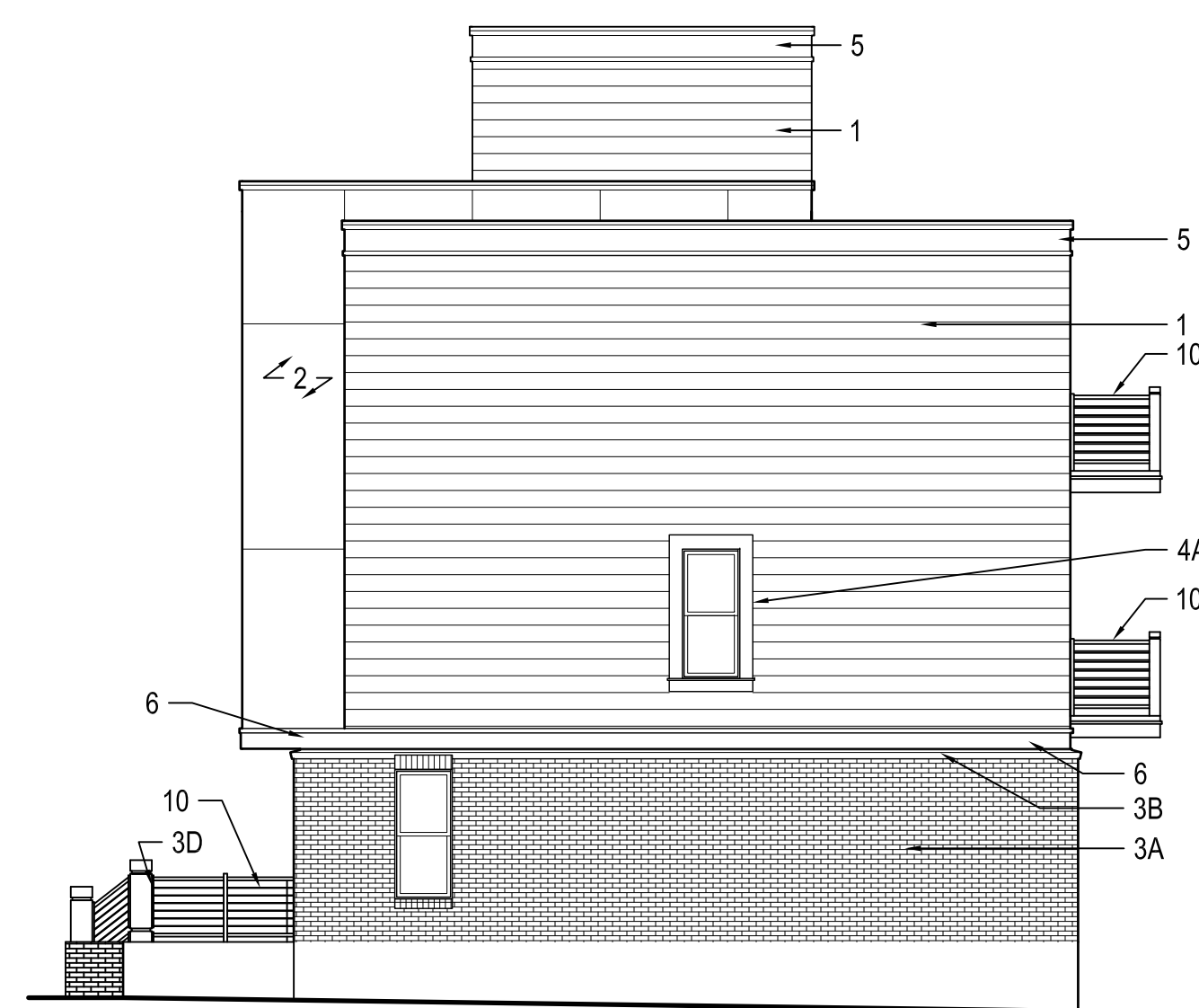
2 LEFT SIDE ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE:

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SHADY COVE TOWNHOUSES

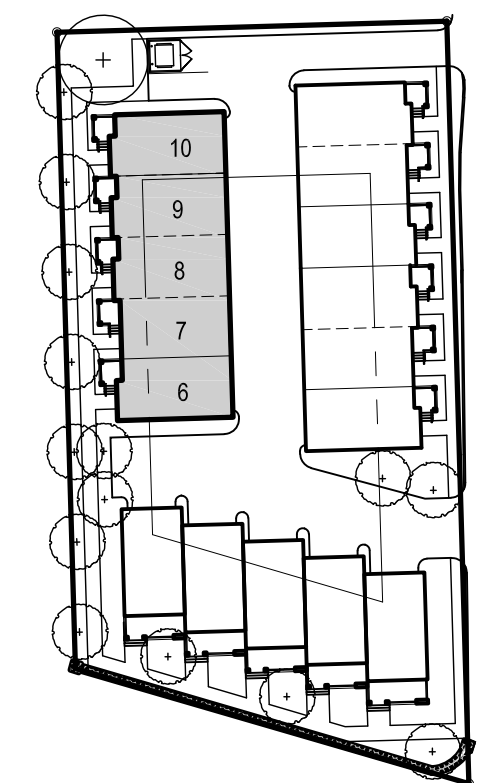
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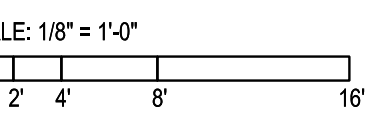
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KEY PLAN:



EXTERIOR ELEVATIONS



PROJECT # 22214
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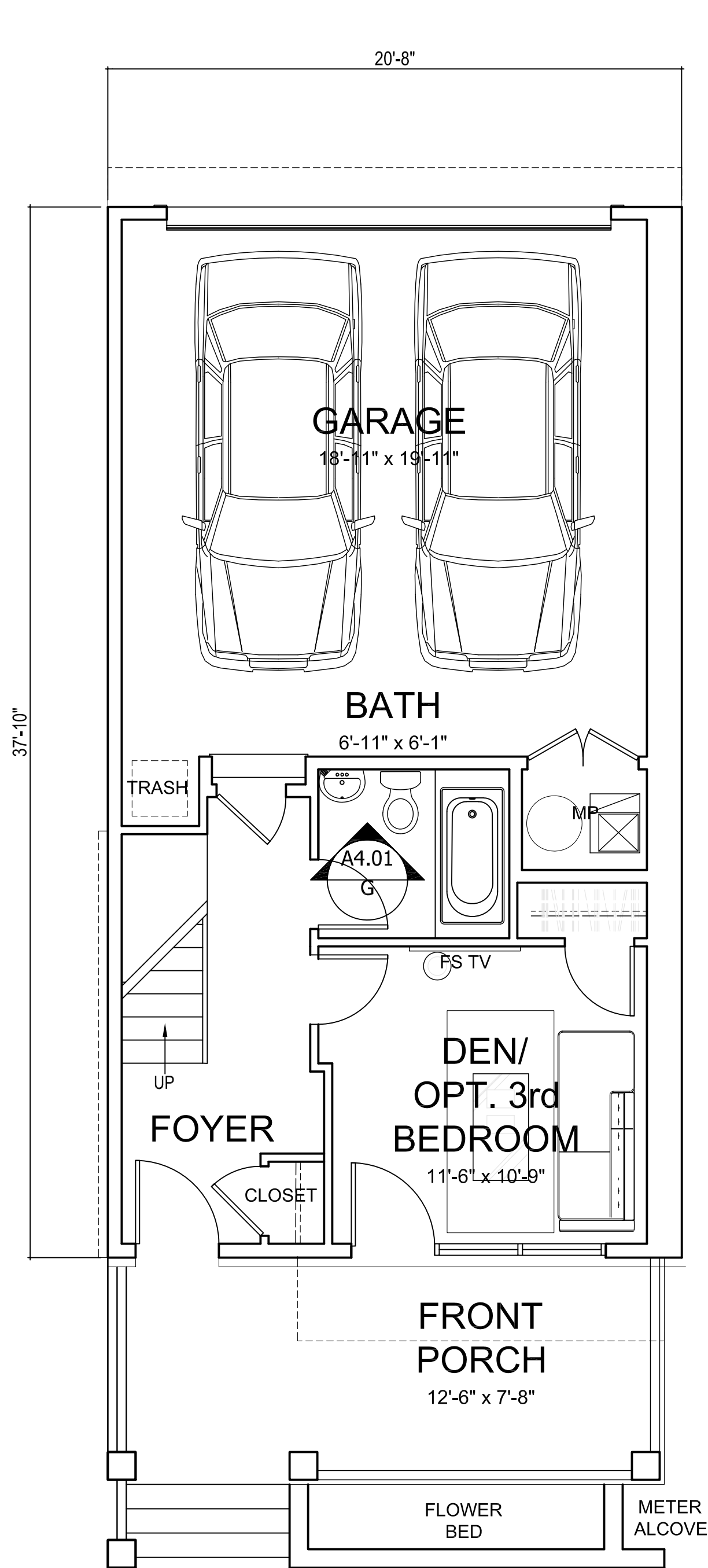
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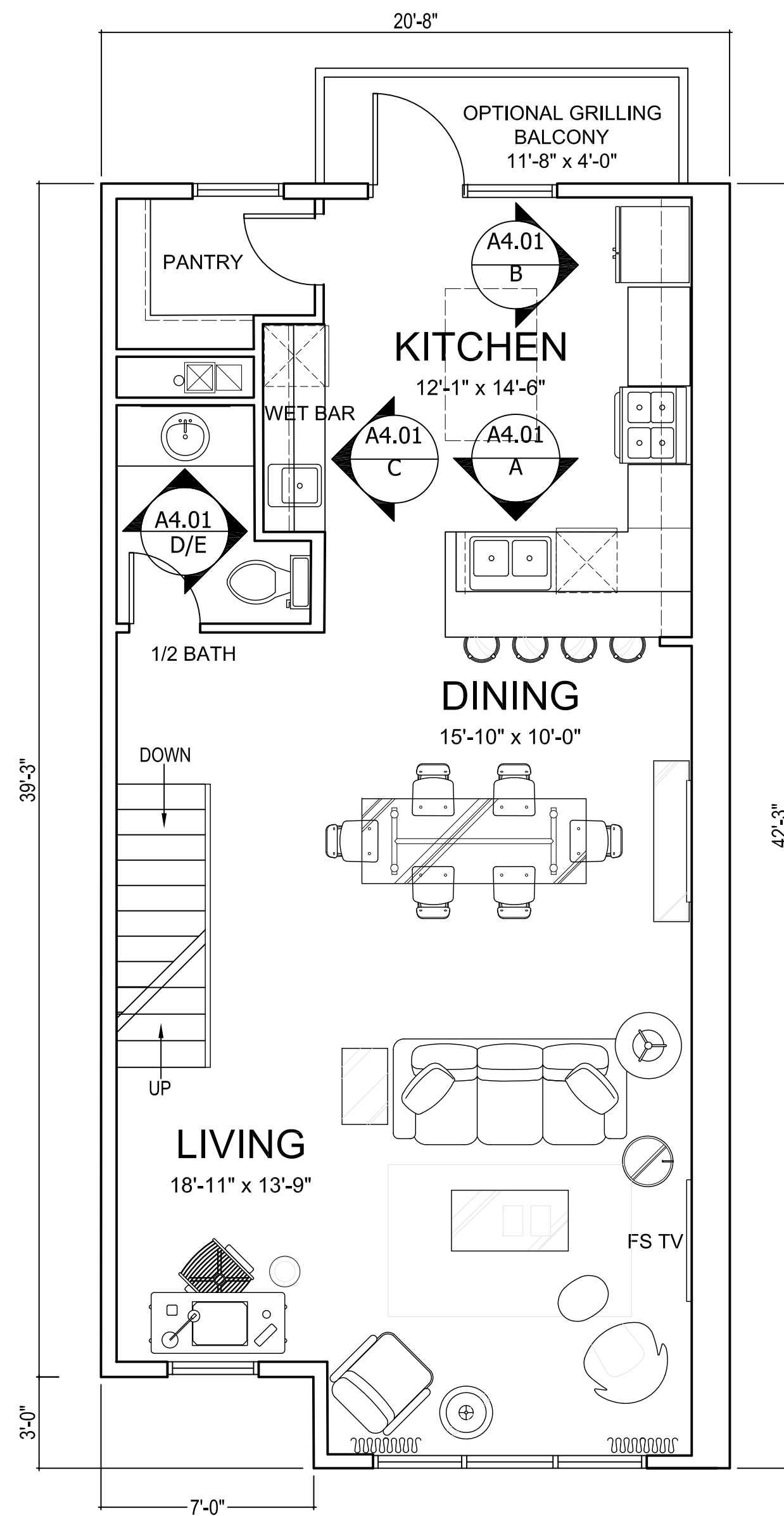
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TYPICAL
TOWNHOUSE
FLOOR PLANS

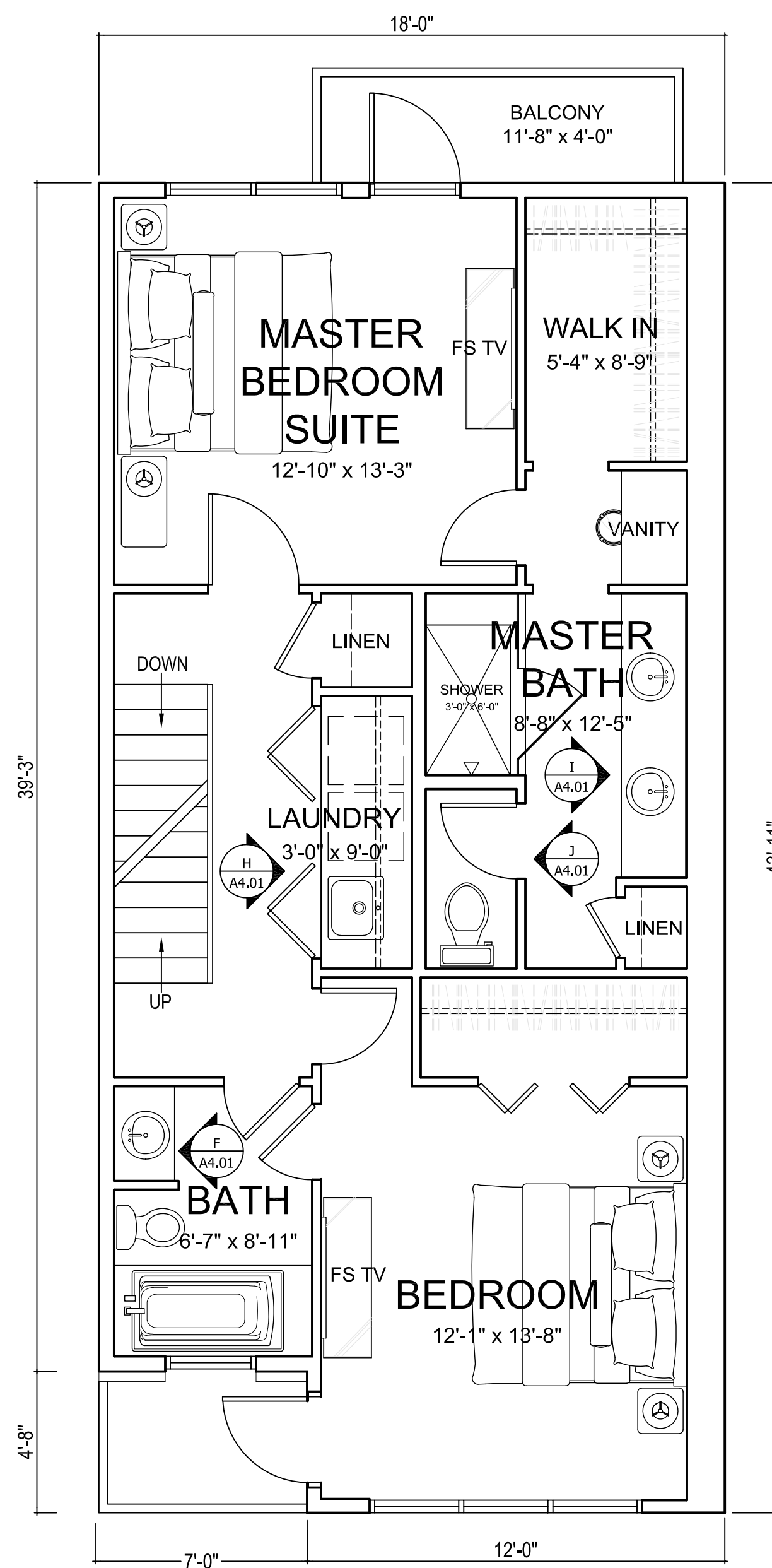
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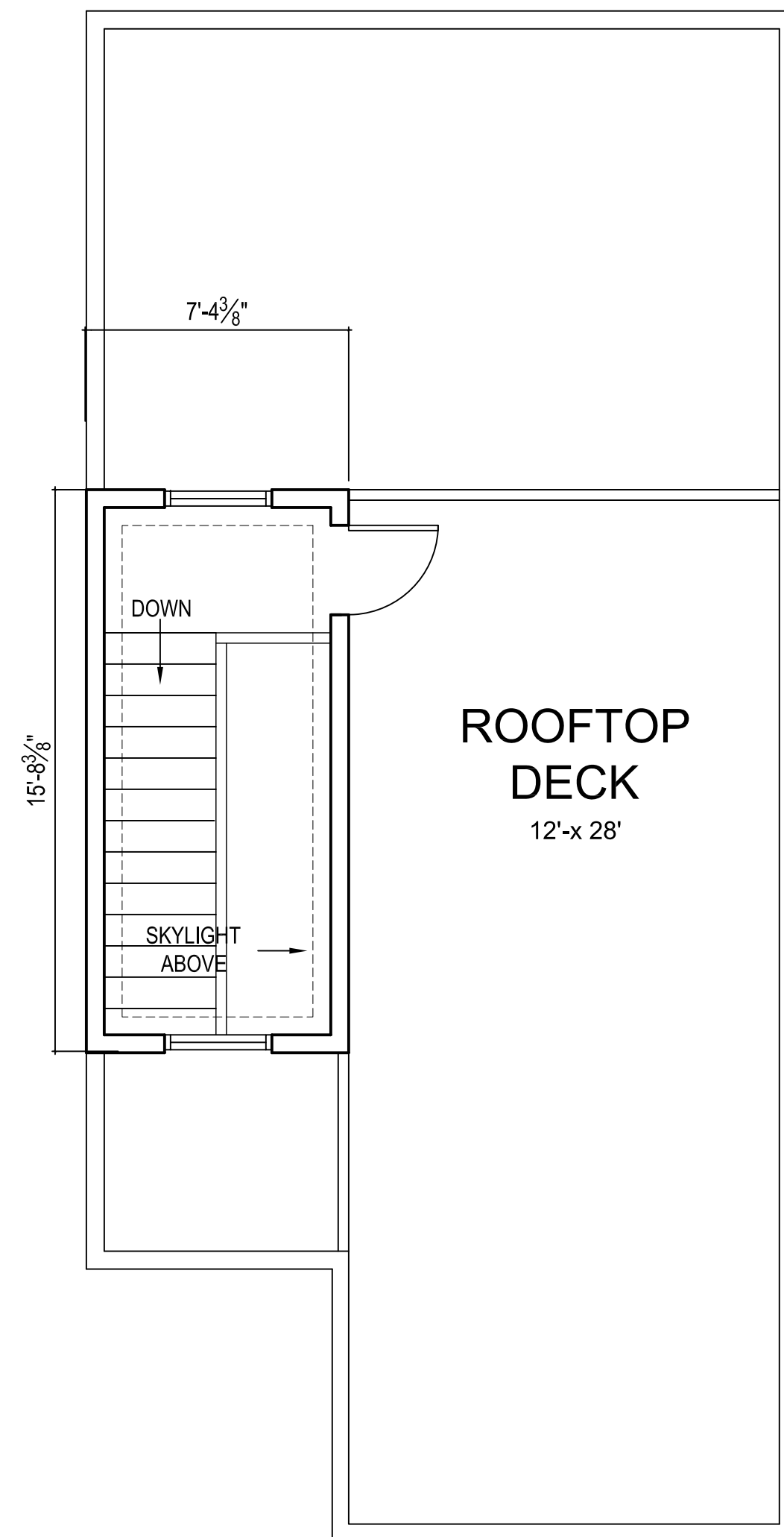
1 GROUND FLOOR
SCALE: 1/4" = 1'-0" AREA: 329 sf (includes stairwall)



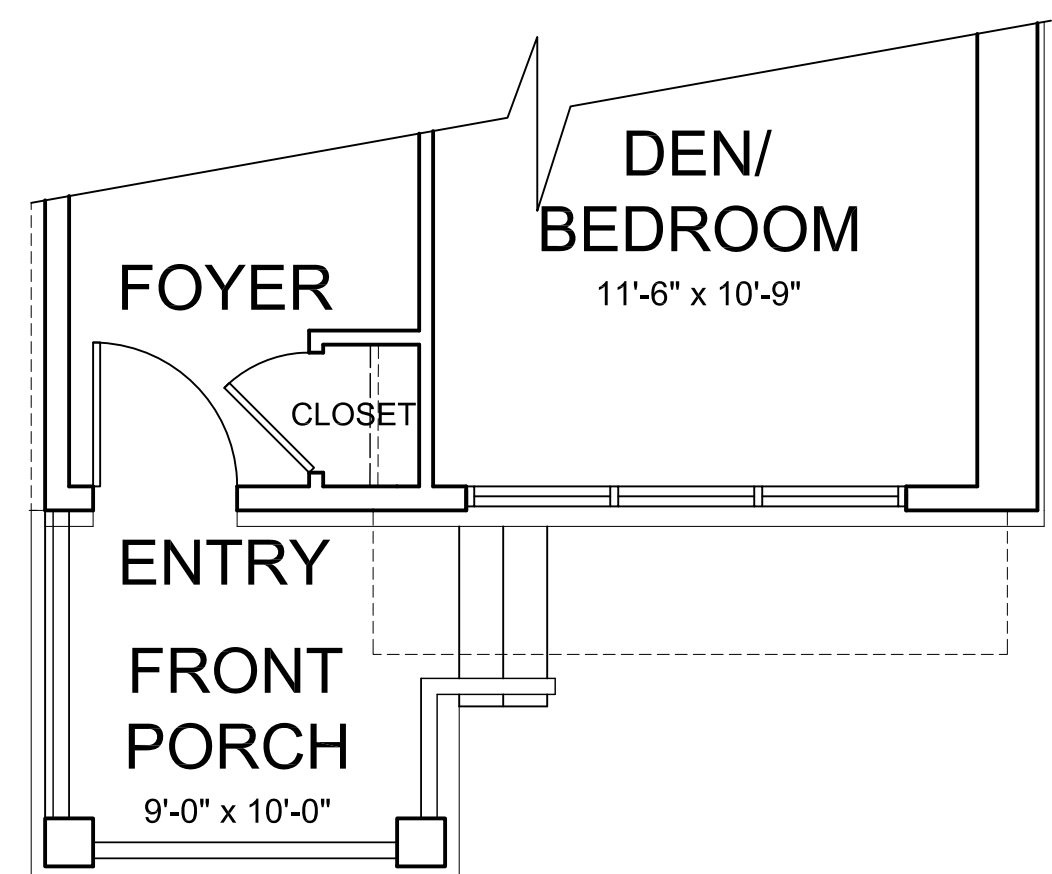
2 FIRST FLOOR
SCALE: 1/4" = 1'-0" AREA: 815 sf



3 SECOND FLOOR
SCALE: 1/4" = 1'-0" AREA: 815 sf



4 ROOF
SCALE: 1/4" = 1'-0" AREA: 103 sf TOTAL AREA: 2,022 sf



5 GROUND FLOOR - FRONT PORCH UNITS 6 - 16
SCALE: 1/4" = 1'-0" AREA: 329 sf (includes stairwall)



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-95-23

Permit No.: BBS23-000084

Applicant Name: Jonathan Ziegan, Osborn Engineering

Project Address: 11818 Madison Ave.

Project Name: RISE LAKEWOOD

Project: Applicant proposes an informational presentation of a new project.

Cleveland, OH 44114

p 216 861 2020 x13005 | c 440 785 4691 | jziegan@osborn-eng.com

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RISE LAKEWOOD - MADISON DISPENSARY RENOVATION

11818 MADISON AVE., LAKEWOOD, OHIO 44107

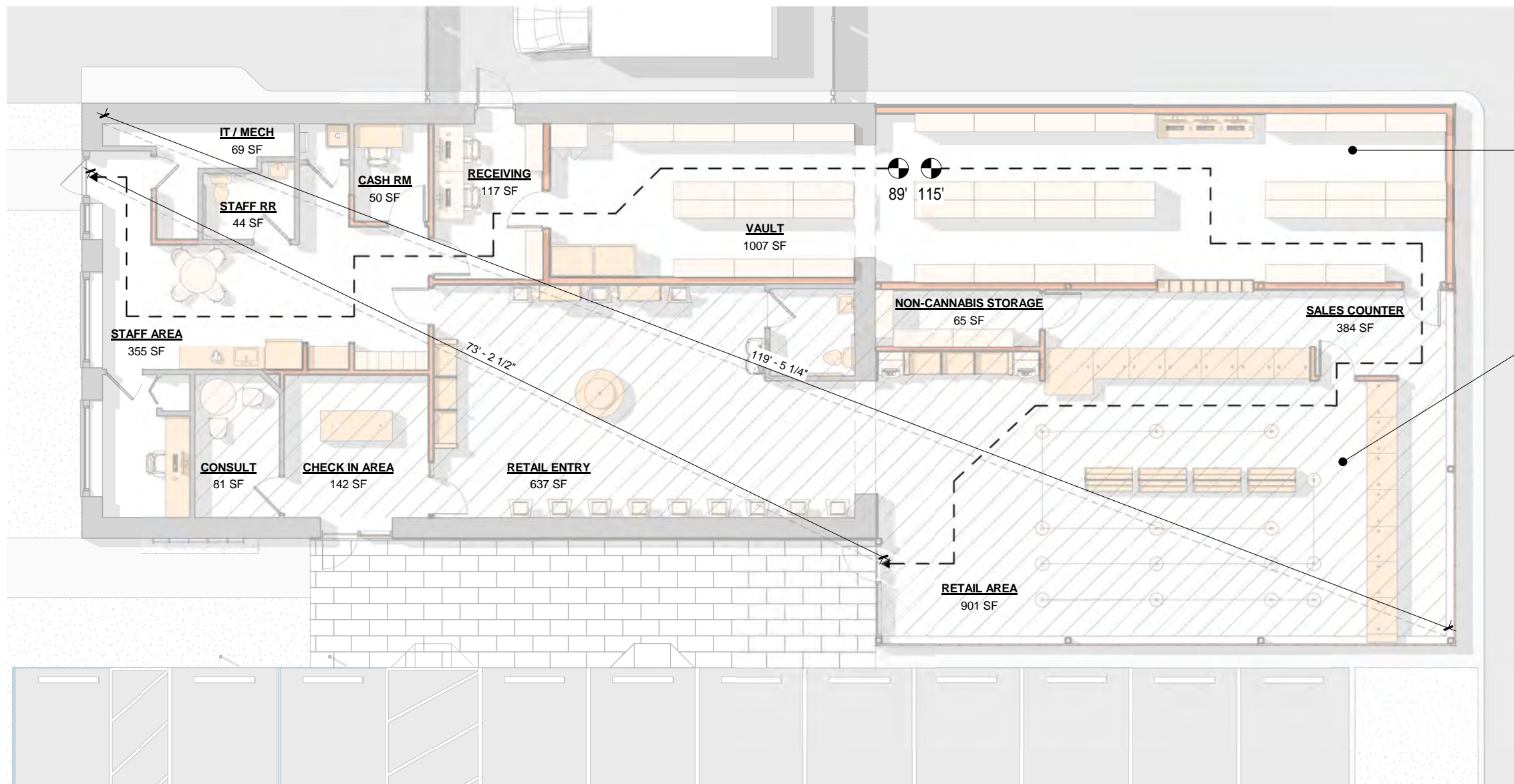


DRAWING INDEX - CONCEPT SET

CS	COVER SHEET
LS-1	CODE ANALYSIS PLAN
A-1	LOCATION MAP
A-2	EXISTING PHOTOS
A-3	EXISTING FLOOR PLAN
A-4	PROPOSED SITE PLAN
A-5	PROPOSED FLOOR PLAN
A-6	EXTERIOR RENDERING
A-7	EXTERIOR RENDERING
A-8	EXTERIOR RENDERING
A-9	EXTERIOR RENDERING
A-10	EXTERIOR RENDERING
A-11	EXTERIOR RENDERING
A-12	PARTIAL AXON
A-13	OVERALL AXON

PROJECT DESCRIPTION

CDA has been engaged to expand the existing Rise dispensary located at 11818 Madison Avenue. The expansion will consist of two volumes added to the rear of the building expanding both the sales floor and the back of house space. The final building square footage will be approximately 4,551 square feet. The front of house volume is proposed to be clad in polycarbonate which allows extensive daylighting into the space while fully obscuring views into the sales floor from the exterior. The interior of the existing space will be fully renovated with minor upgrades to the exterior of the existing building. A drive through will be added to the West facade of the building and parking will be expanded on site.



STORAGE, STOCK & SHIPPING
 1,780 S.F. @ 300 GROSS OCCUPANTS
 = 6 OCCUPANTS (TABLE 1004.5)

MERCANTILE
 2,300 S.F. @ 60 GROSS OCCUPANTS
 = 38 OCCUPANTS (TABLE 1004.5)
 DESIGN OCCUPANT LOAD = 49 OCCUPANTS

CODE SUMMARY NOTES - 2018 IBC

PROJECT TYPE:	RENOVATION / ADDITION TENANT FIT-OUT (LEVEL 3 ALTERATION)
LOCATION:	LAKWOOD, OH
OCCUPANCIES:	MERCANTILE (M)
MAX. OCCUPANT LOAD:	44
CONSTRUCTION:	TYPE VB CONSTRUCTION (UNPROTECTED WOOD FRAME)
EXISTING FIRE RESISTANCE:	NON-SPRINKLERED
MAX. TRAVEL DISTANCE:	200'-0" AS PER TABLE 1017.2
TOTAL SF=	GROUND FLOOR: 4,160 SF (INTERIOR GROSS S.F.) (MAX. 9,000 SF 0 TABLE 506.2)
NUMBER OF STORIES:	1 STORY (MAX. 1 STORY - TABLE 504.4)
HEIGHT=	+/- 26' 7" (MAX. 40' 0" - TABLE 504.3)

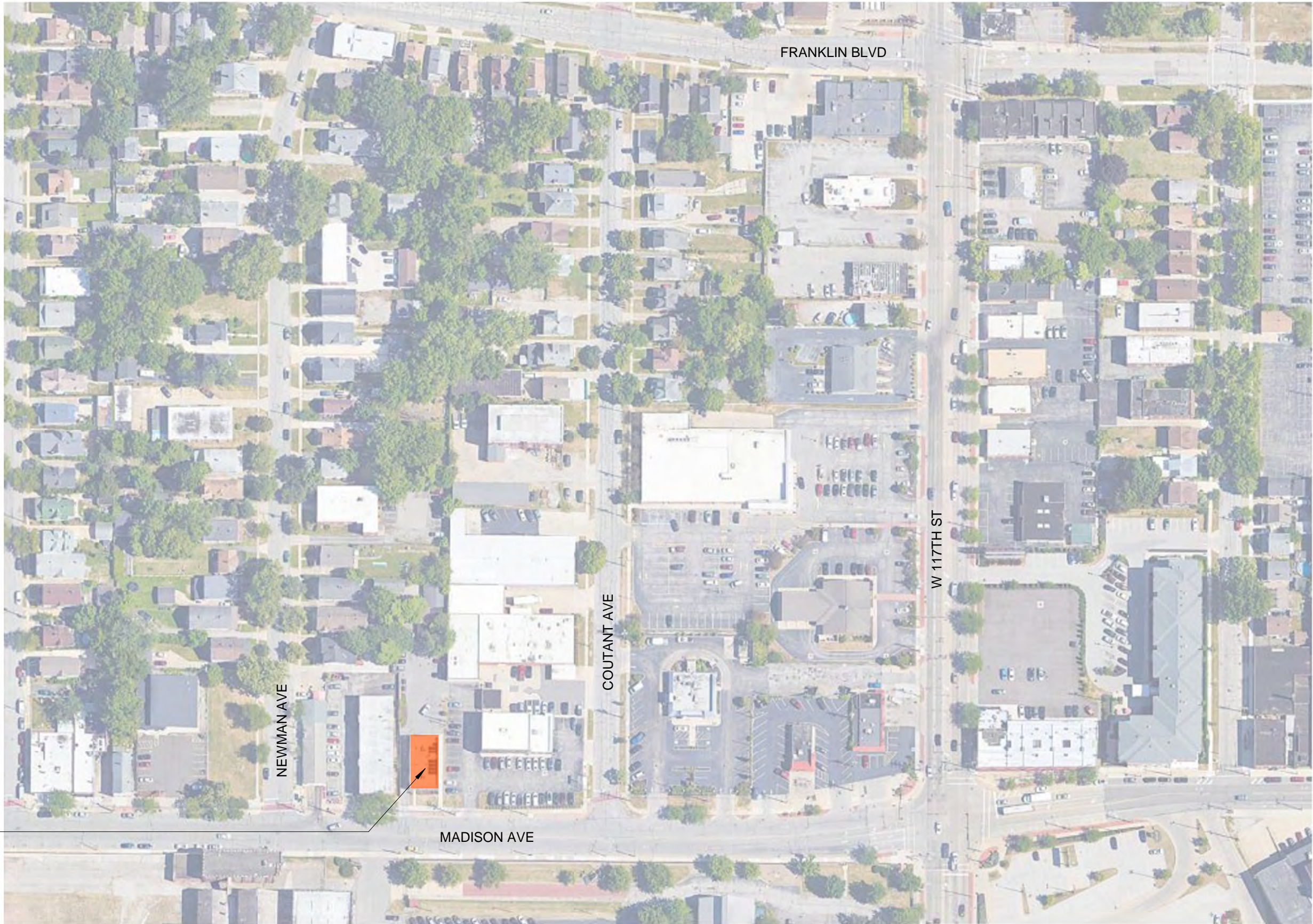
OHIO CODES IN FORCE

OHIO BUILDING CODE 2017
 OHIO FIRE CODE 2017
 OHIO PLUMBING CODE 2017
 OHIO MECHANICAL CODE 2017
 OHIO FUEL GAS CODE 2015
 OHIO ENERGY CODE 2017
 OHIO ACCESSIBILITY CODE 2009
 ADA STANDARDS 2010
 OHIO ELECTRICAL CODE 2017
 LIFE SAFETY CODE OF CMS
 OHIO FIRE ALARM CODE 2016

PLUMBING

PLUMBING PER IBC TABLE 2902.1

1 WATER CLOSET PER 500 OCC.	1 REQ'D / 2 PROVIDED
1 LAVATORY PER 750 OCC.	1 REQ'D / 2 PROVIDED
1 WATER FOUNTAIN PER 1000 OCC.	1 REQ'D / 1 PROVIDED
1 JANITOR CLOSET	1 REQ'D / 1 PROVIDED



11818 MADISON AVE
LAKEWOOD, OH

