



- Approve
- Deny
- Defer

David Hesse  
Payne & Payne Builders  
10750 Mayfield Rd.  
Chardon, OH 44024

Applicant proposes the demolition and rebuild of a single-family home. (Page 37)

**8. Docket No. 09-61-22**

**1474 Riverside Dr.**

- Approve
- Deny
- Defer

David Harala  
DHA Architects, Ltd.  
7835 Oakhurst Cir.  
Brecksville OH 44141-1123

Applicant proposes an unroofed second floor deck on the rear of the home (west facing). (Page 44)

**NEW BUSINESS**  
**ARCHITECTURAL BOARD OF REVIEW**

**9. Docket No. 11-73-22**

**1464 Riverside Dr.**

- Approve
- Deny
- Defer

Linda Fredrickson  
Everything Recovery  
3300 Wooster Rd.  
Rocky River, Ohio 44116

Applicant requests approval of a demolition and rebuild of a single-family home. (Page 46)

**10. Docket No. 11-74-22**  
**1485 Parkwood Rd.**

- Approve
- Deny
- Defer

Frank Gritti  
1485 Parkwood Rd.  
Lakewood, OH 44107

Applicant proposes a front porch addition. (Page 71)

**REQUEST FOR MODIFICATIONS**

**11. Docket No. 11-75-22**  
**17788 Edgewater Dr.**

- Approve
- Deny
- Defer

Elizabeth Sheehan  
Mancuso Homes  
20006 Detroit Rd.  
Rocky River, OH 44116

Applicant requests modifications to plans that were approved in 2021 for addition and renovation of an existing home. (Page 83)

**NEW BUSINESS**

**12. Docket No. 11-76-22**  
**1655 Roosevelt Ave.**

- Approve
- Deny
- Defer

Christopher Walling  
14225 Cedarwood Ave.  
Lakewood, OH 44107

Applicant proposes the construction of a new garage. (Page 139)

**13. Docket No. 10-77-22**  
**1374 Manor Park Ave.**  
**Lakewood New Life Church**

- Approve
- Deny
- Defer

Gregory Ernst  
A°DK Inc.  
14394 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes construction of an addition on the east and south sides of the existing church. (Page 145)

**SIGN REVIEW**

**14. Docket No. 11-78-22**  
**1474 W. 117<sup>th</sup> St.**  
**Take 5 117<sup>th</sup> Way**

- Approve
- Deny
- Defer

Damiane' Handa  
4MC  
8040 Jordan Rd.  
Argenta, IL 62501

Applicant proposes updated signage for an existing business. (Page 166)

**15. Docket No. 11-79-22**  
**16910 Detroit Ave.**  
**Take 5 Detroit Ave.**

- Approve
- Deny
- Defer

Damiane' Handa  
4MC  
8040 Jordan Rd.  
Argenta, IL 62501

Applicant proposes updated signage for an existing business. (Page 170)

**16. Docket No. 11-80-22\***  
**1450 Belle Ave.**  
**Lakewood Community Health Center**

- Approve
- Deny
- Defer

Laura Higgins-Woyma  
Brilliant Electric Sign Company  
4811 Van Epps Rd.  
Cleveland, OH 44131

Applicant proposes ground signs. (Page 175)

**\*This item is withdrawn by the applicant.**

**17. Docket No. 11-81-22**  
**14601 Detroit Ave.**  
**Cleveland Clinic**

- Approve
- Deny
- Defer

Laura Higgins-Woyma  
Brilliant Electric Sign Company  
4811 Van Epps Rd.  
Cleveland, OH 44131

Applicant proposes wall and two double face ground signs. (Page 181)

**18. Docket No. 11-82-22**  
**14526 Detroit Ave.**  
**Blossom Cleveland**

- Approve
- Deny
- Defer

Steven Foster  
The Sign & Graphics Firm, LLC  
14837 Detroit Ave., Ste. 195  
Lakewood, OH 44107

Applicant proposes signage in the sign band and updated awnings. (Page 190)

**19. Docket No. 11-83-22**  
**13731 Madison Ave.**  
**Doki Doki**

- Approve
- Deny
- Defer

Steven Foster  
The Sign & Graphics Firm, LLC  
14837 Detroit Ave., Ste. 195  
Lakewood, OH 44107

Applicant proposes a blade sign and signage in the sign band. (Page 192)

**COMMUNICATION**  
**PUBLIC ART**

**20. Docket No. 11-84-22**  
**16019 Hilliard Rd.**  
**Foxy's Salon**

- Approve
- Deny
- Defer

Matthew Szaraz  
MJM Building Standards  
2193 Carabel Ave.  
Lakewood, OH 44107

Applicant proposes public art (mural) on the west side of the building. (Page 194)

**ADJOURN**

*"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 [michelle.nochta@lakewoodoh.net](mailto:michelle.nochta@lakewoodoh.net)."*



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 07-41-22**

**Permit No.: BBS22-000045**

**Applicant Name: Griffin Caldwell, CASTO**

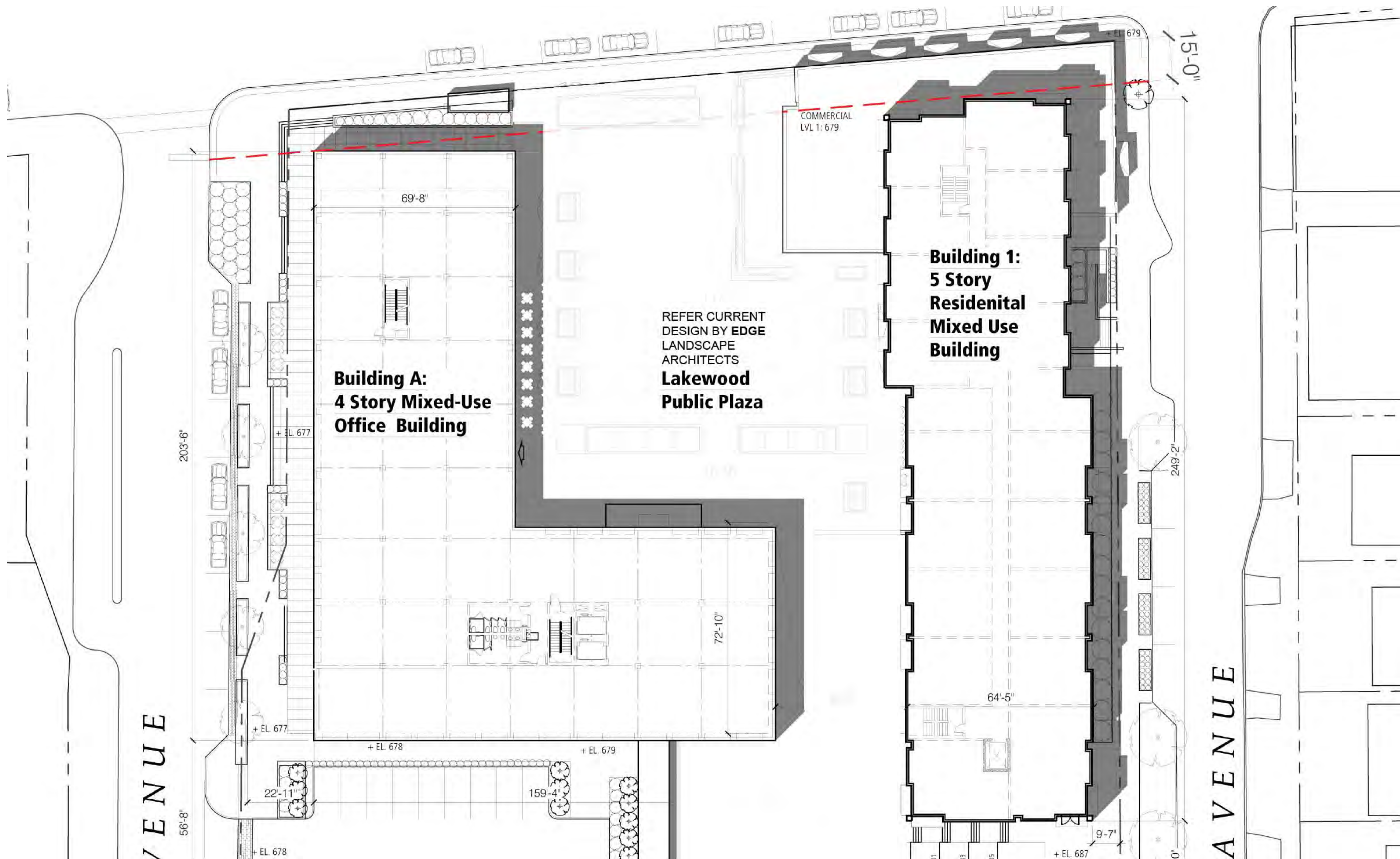
**Project Address: 14519 Detroit Ave.**

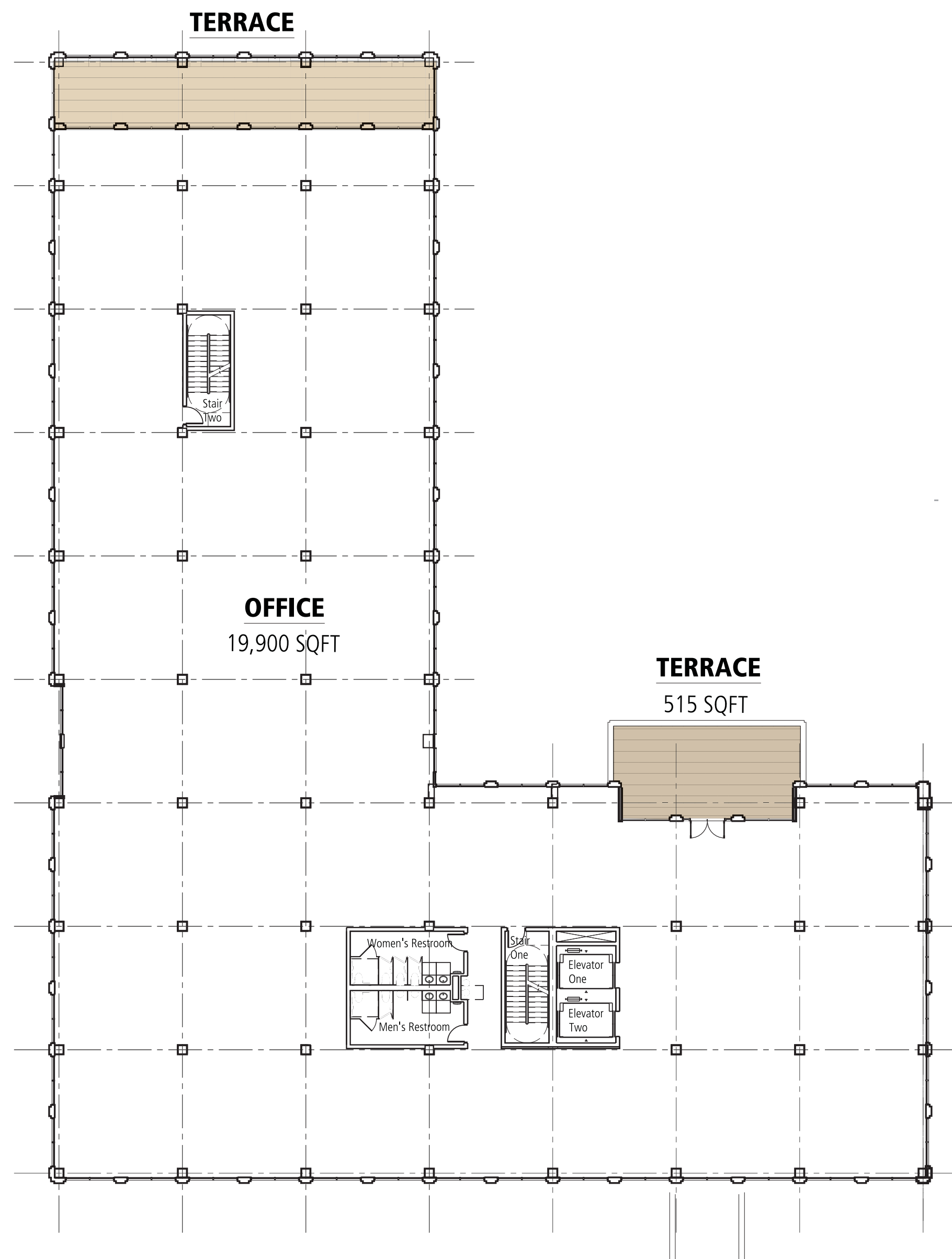
**Project Name: Downtown Development**

**Project: Applicant proposes a planned development.**

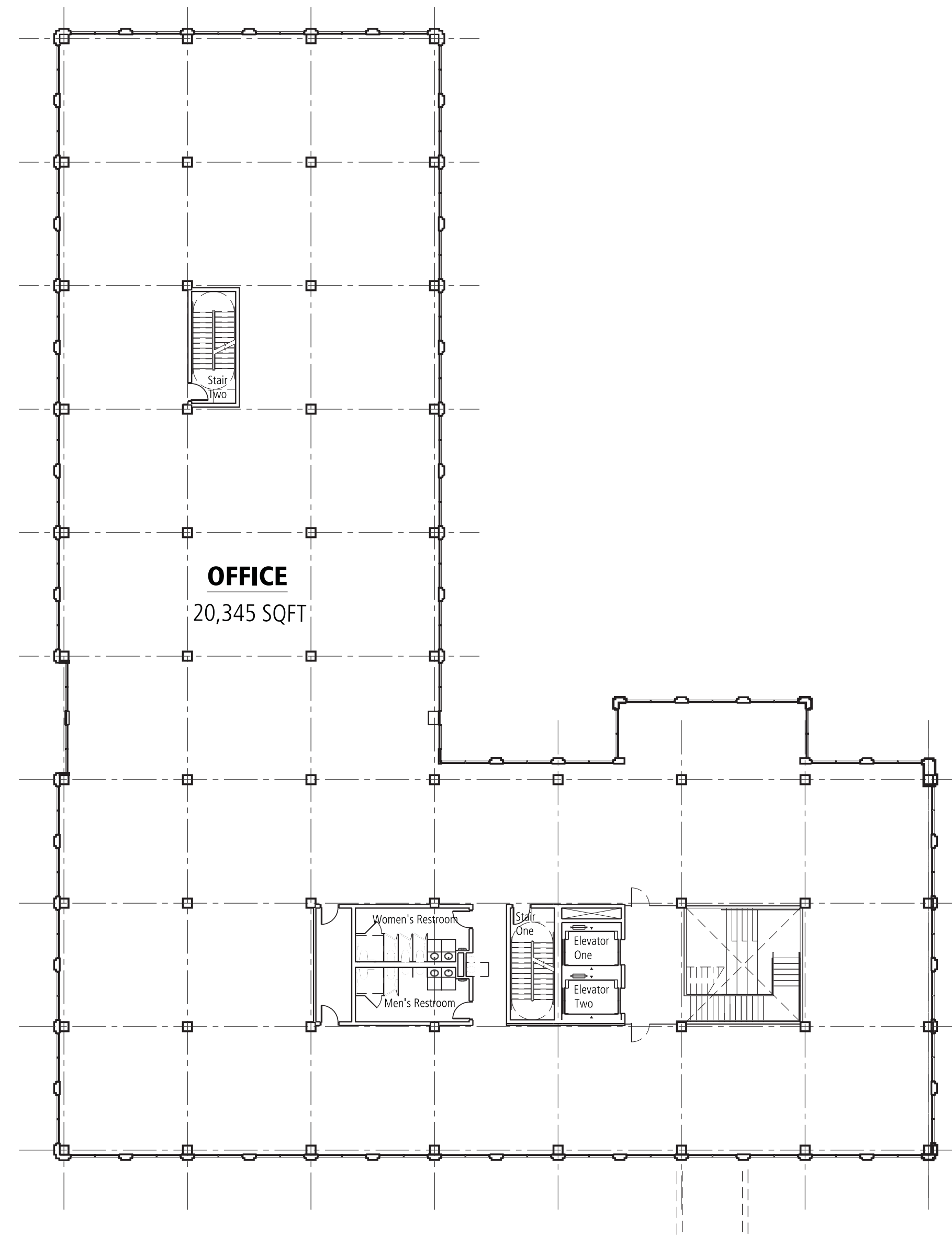


<b>Site Summary</b>		
<b>Building A: Mixed Use Commercial Building</b>		<b>79,578 Total GSF</b>
Retail Space (lv 1)		12,000 GSF
Office Lease Space (lvs 2-4)		65,504 GSF
<b>Building 1: Mixed Use Residential Building</b>	<b>82 Units</b>	<b>87,645 Total GSF</b>
Commercial Space (lv 1)		17,000 GSF
Residential Apartments (lv 2-5)		70,645 GSF
11 Studios, 64 1-Bed, 7 2-Bed		
<b>Building 2: 4 Story Apartment Building</b>	<b>78 Units</b>	<b>61,428 GSF</b>
Residential Apartments (lv 1-4)		61,428 GSF
8 Studios, 56 1-Bed, 14 2-Bed		
<b>Garden Apartments (Rental Apartments)</b>	<b>68 Units</b>	<b>62,846 GSF</b>
0 Studios, 44 1-Bed, 24 2-Bed		
<b>Parking Garage: 3-1/2 Story</b>	<b>540 Spaces</b>	<b>172,900 GSF</b>
<b>Garage Liner Units: 2-3 Stories</b>	<b>5 Units</b>	<b>7,230 GSF</b>
2 2-Bed, 2 3-Bed		
<b>For Sale Single Family Townhomes:</b>	<b>7 Units</b>	<b>+/-2000 GSF / Unit</b>
<b>TOTAL APARTMENT / RENTAL RESIDENTIAL YIELD:</b>		<b>233 UNITS</b>
<b>TOTAL OFFICE LEASE SPACE:</b>		<b>65,504 GSF</b>
<b>TOTAL RETAIL LEASE SPACE:</b>		<b>12,000 GSF</b>
<b>COMMERCIAL LEASE SPACE:</b>		<b>17,400 GSF</b>
<b>Site Parking Summary</b>		
Structured Garage Parking:		540 Spaces
Street Parking:		56 Spaces
<b>Total Parking Spaces:</b>		<b>596 Spaces</b>

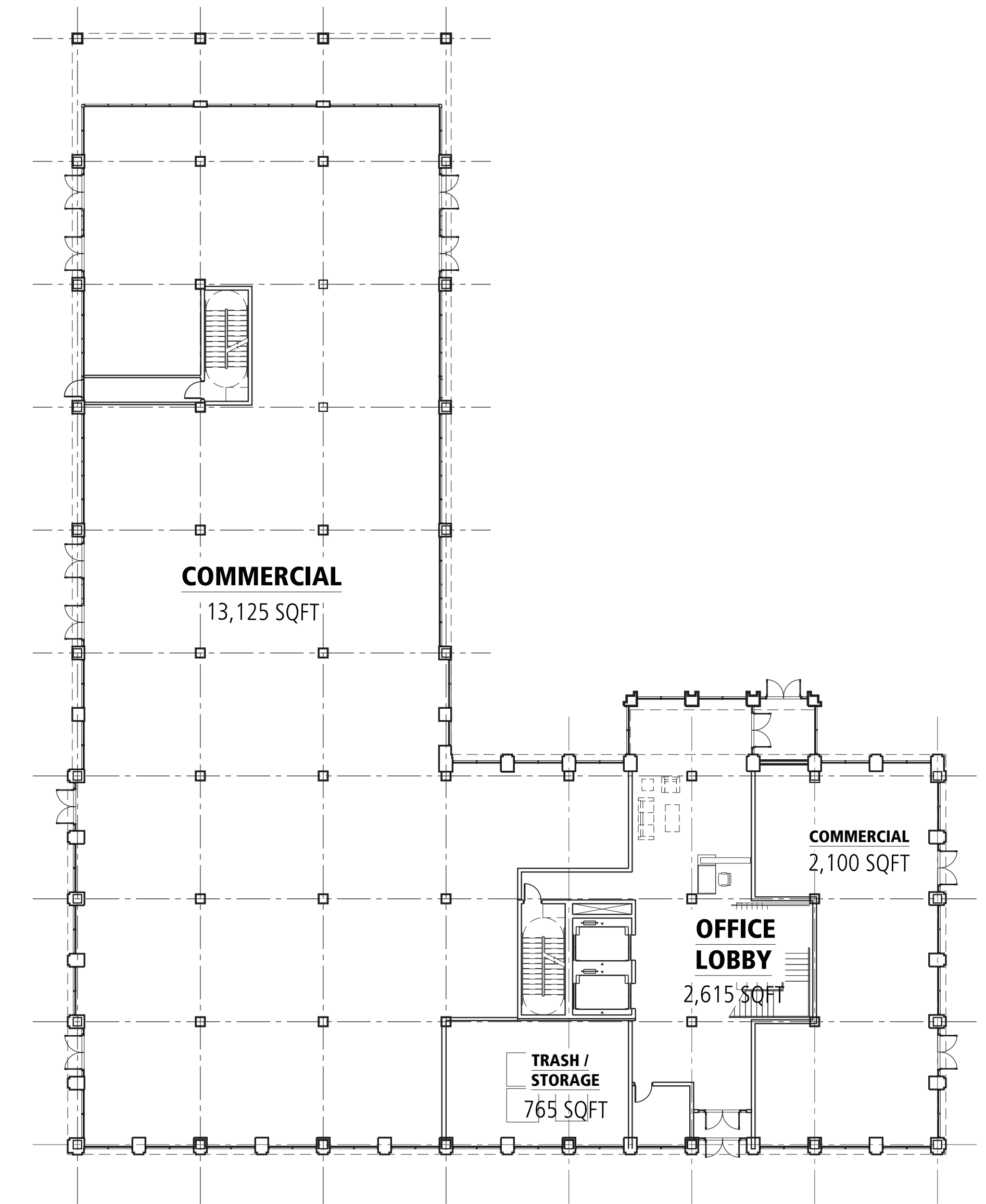




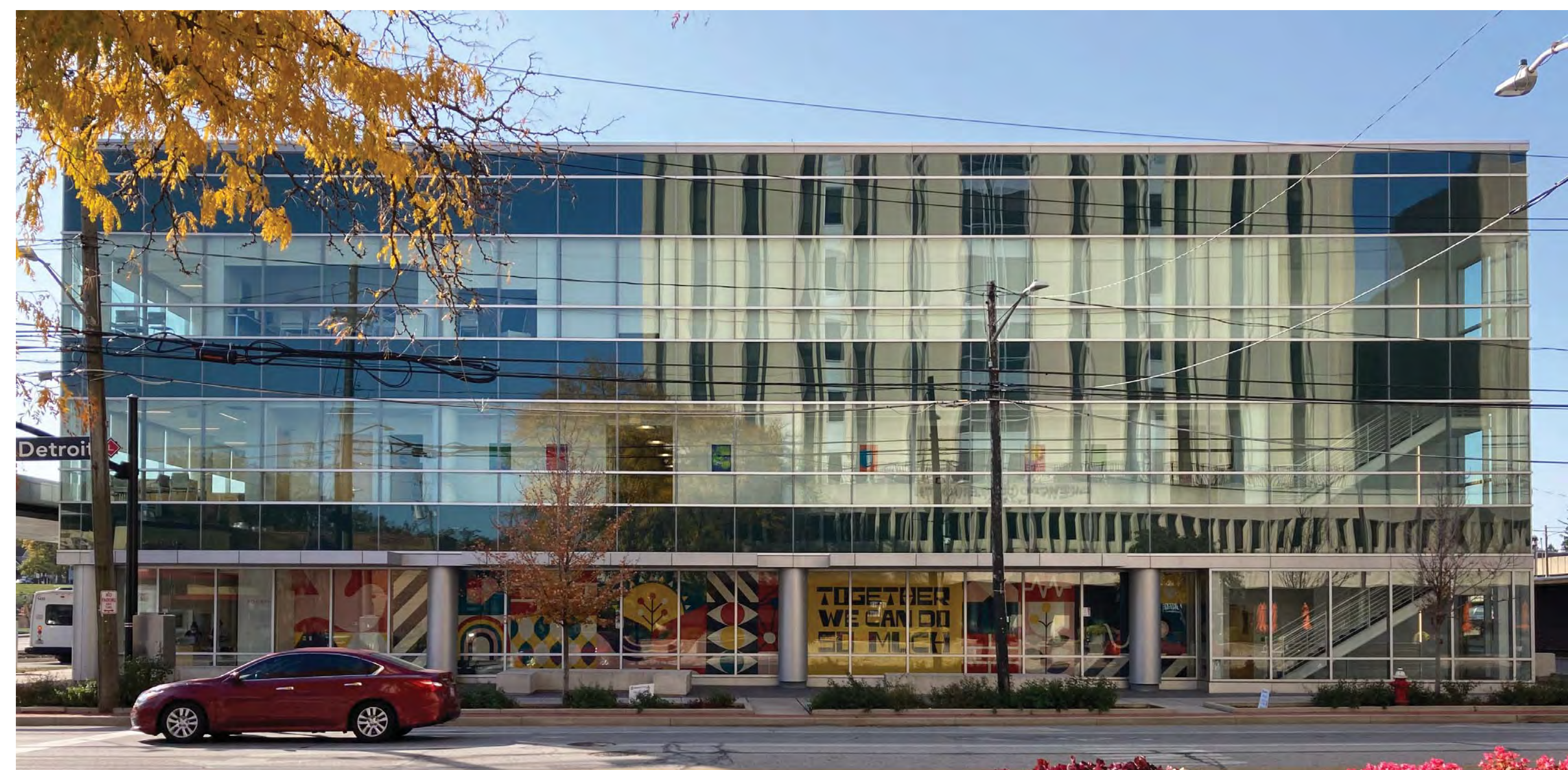
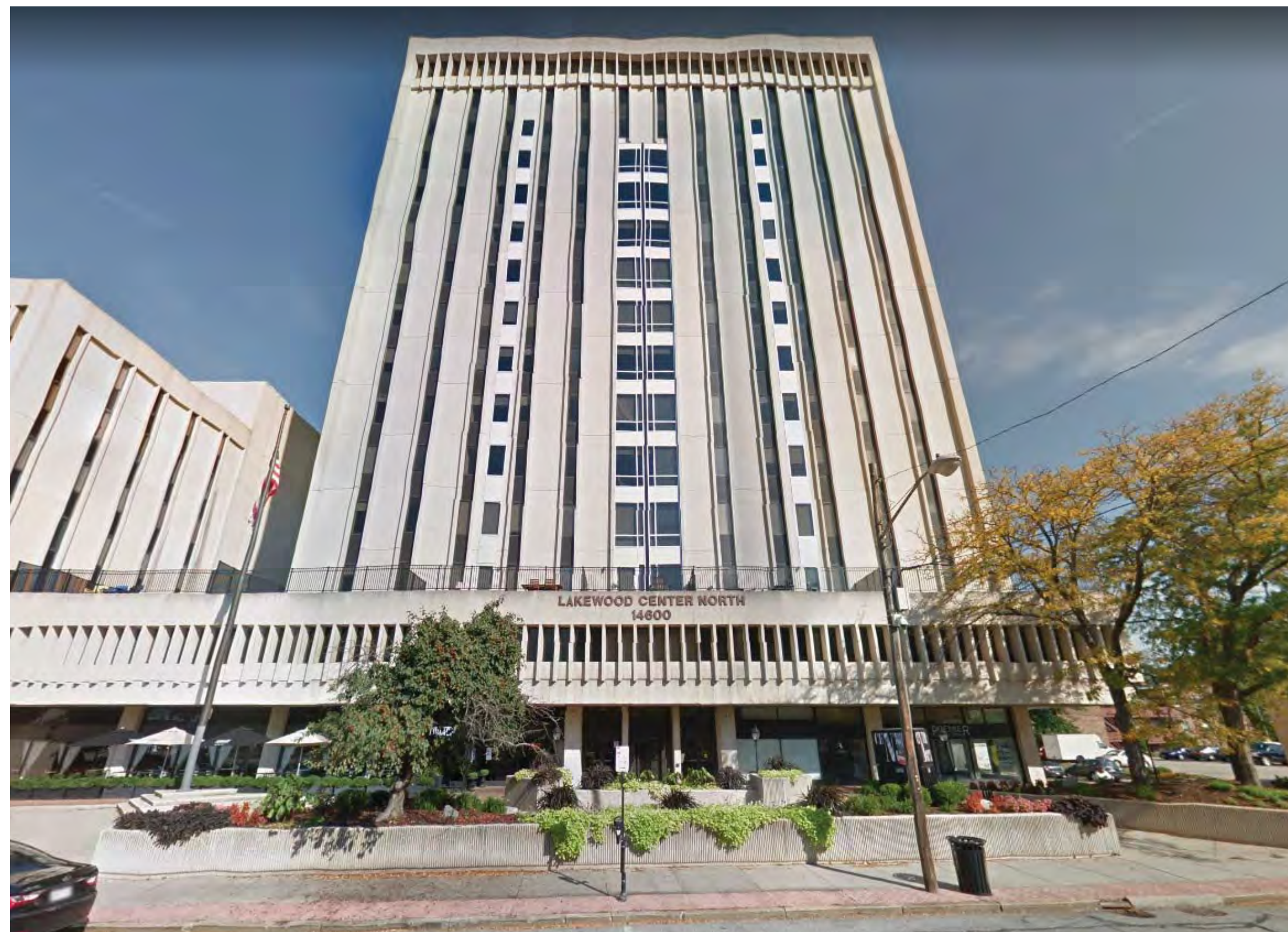
**Level 04**



**Level 02-03**



**Level 01**





DETROIT AVE ELEVATION

BUILDING-A: ELEVATIONS

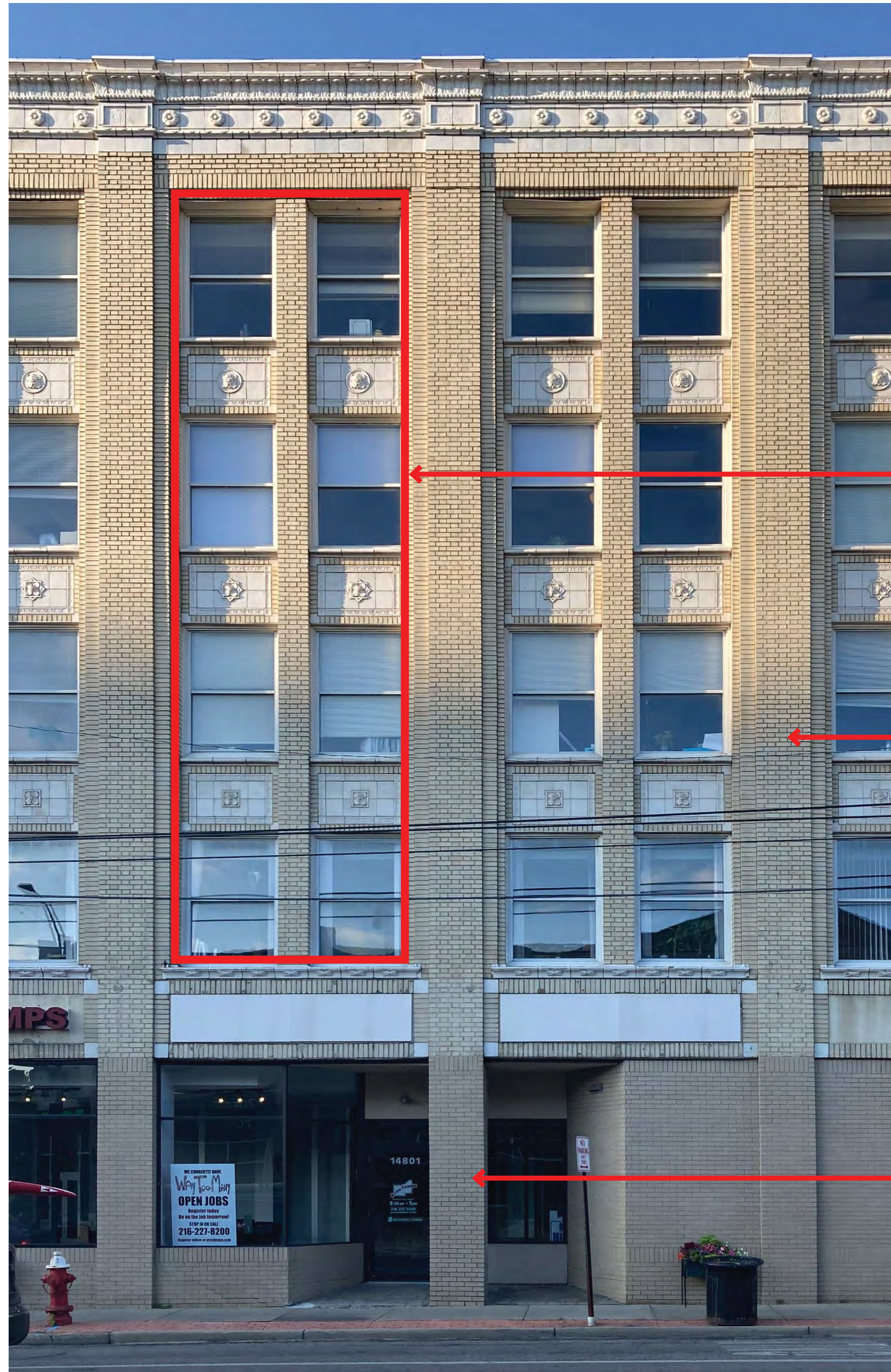


PLAZA (EAST FACING) ELEVATION



BELLE AVE NORTH END ELEVATION

BUILDING-A: ELEVATIONS



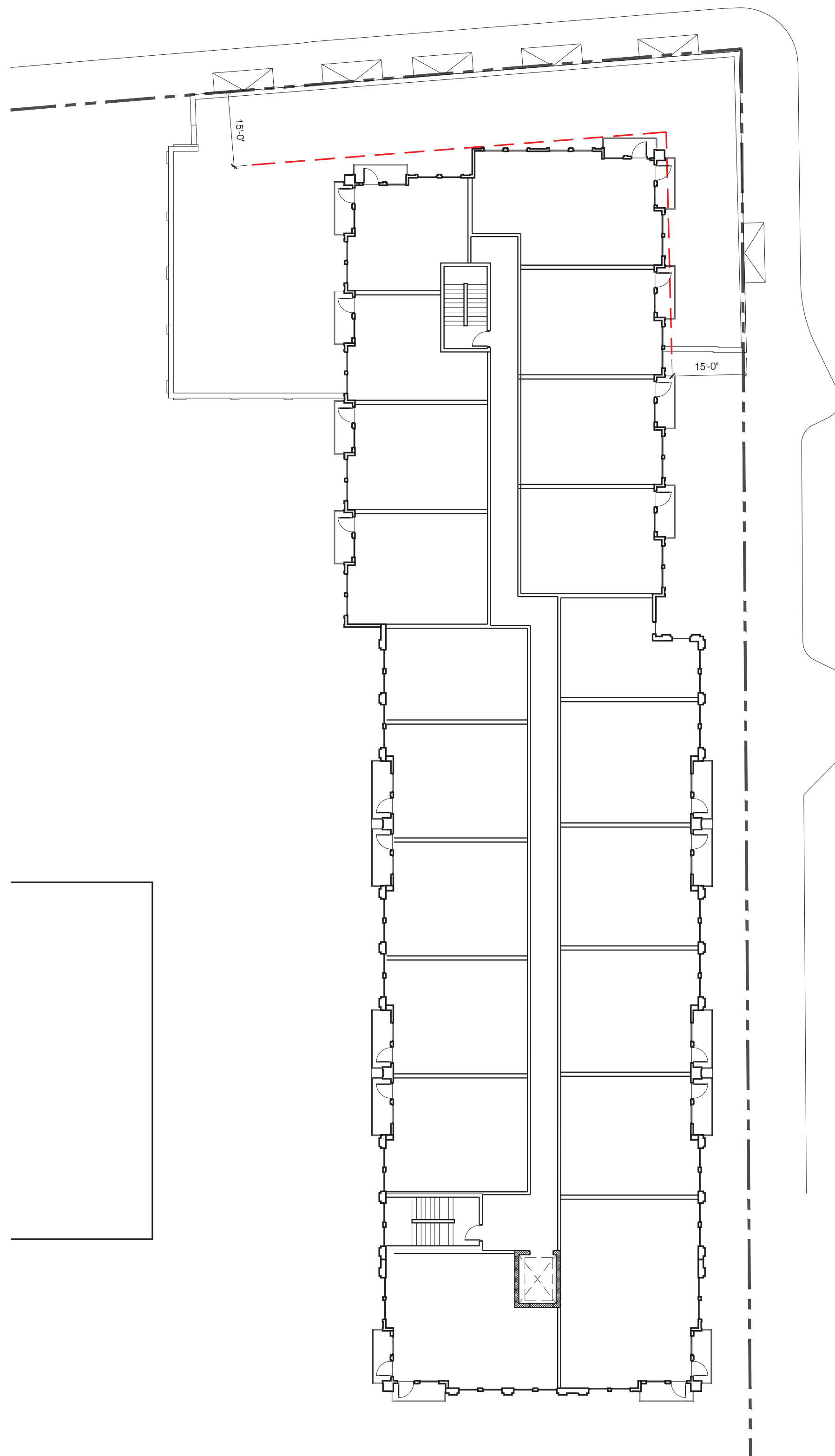
CORNICE

VERTICAL GROUPING

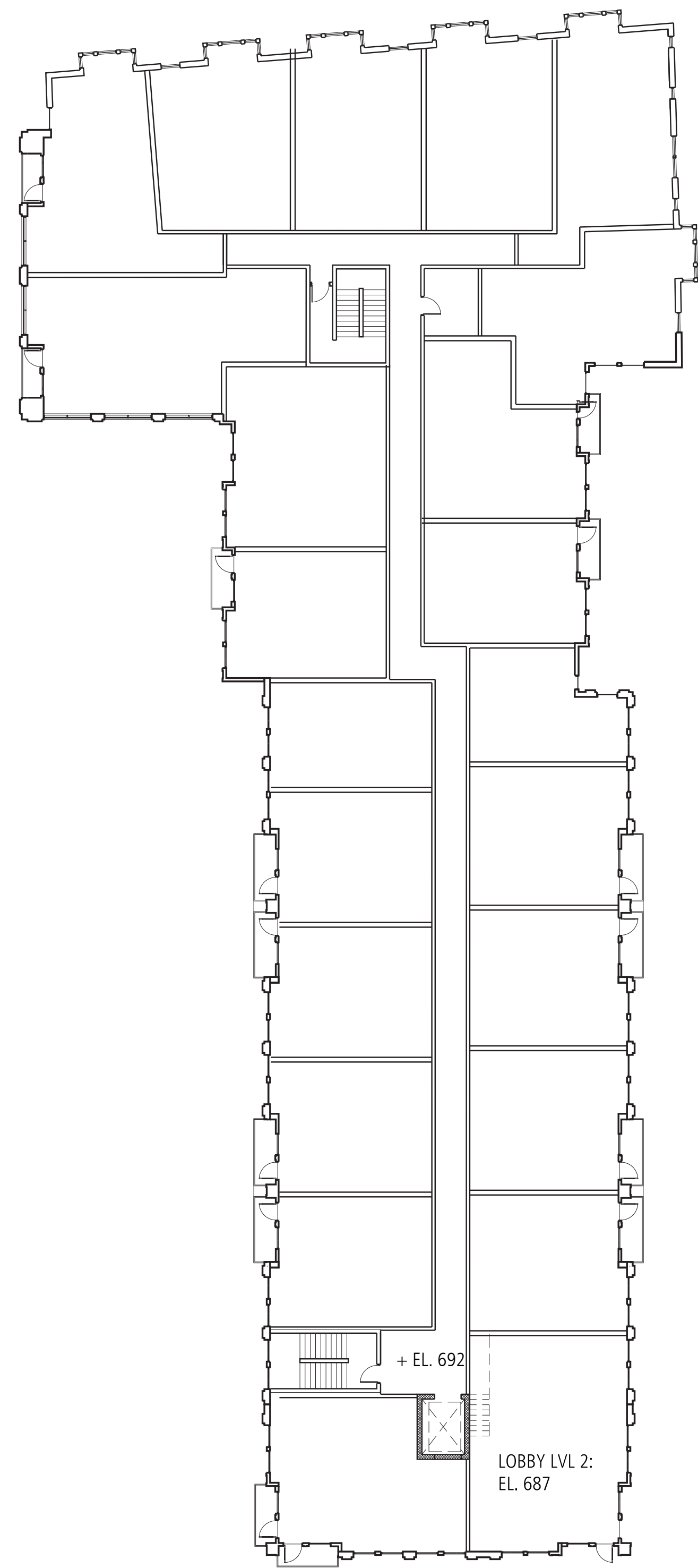
BRICK PILASTERS

PIANO NOBILE

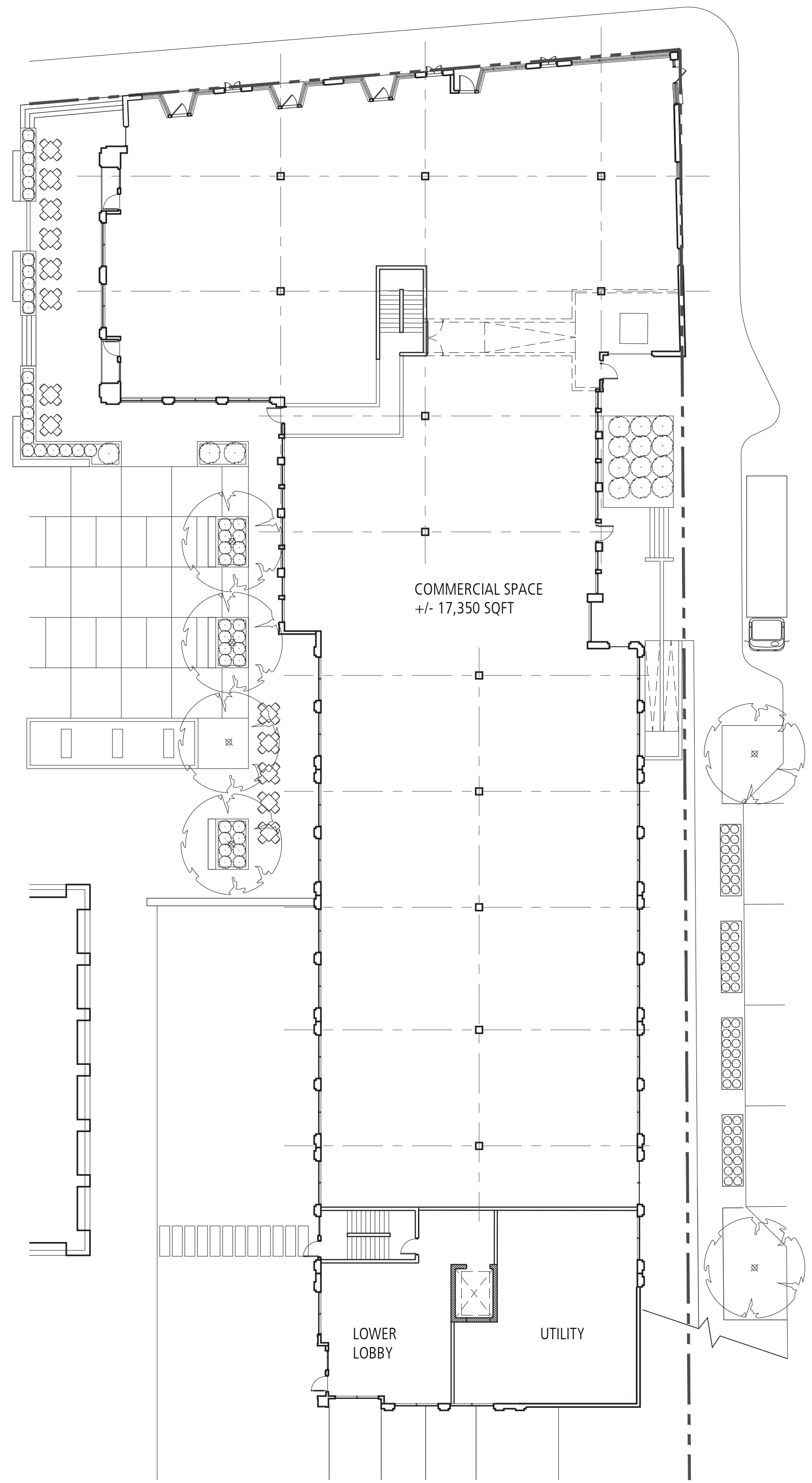




**Level 03-05**



**Level 02**



**Level 01**

**BUILDING-1: REVISED PLAN**



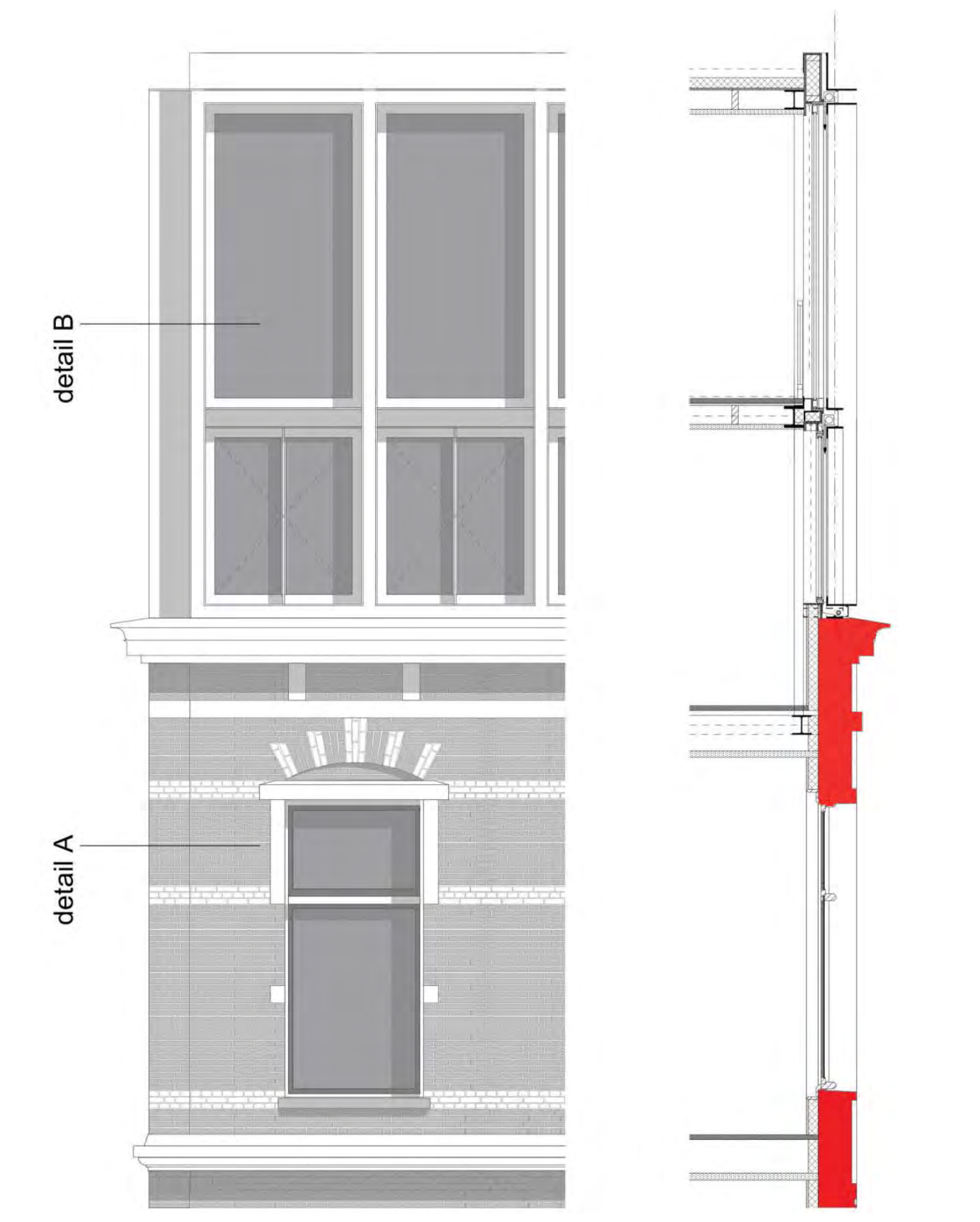
DETROIT AVE ELEVATION

### BUILDING-1: ELEVATIONS

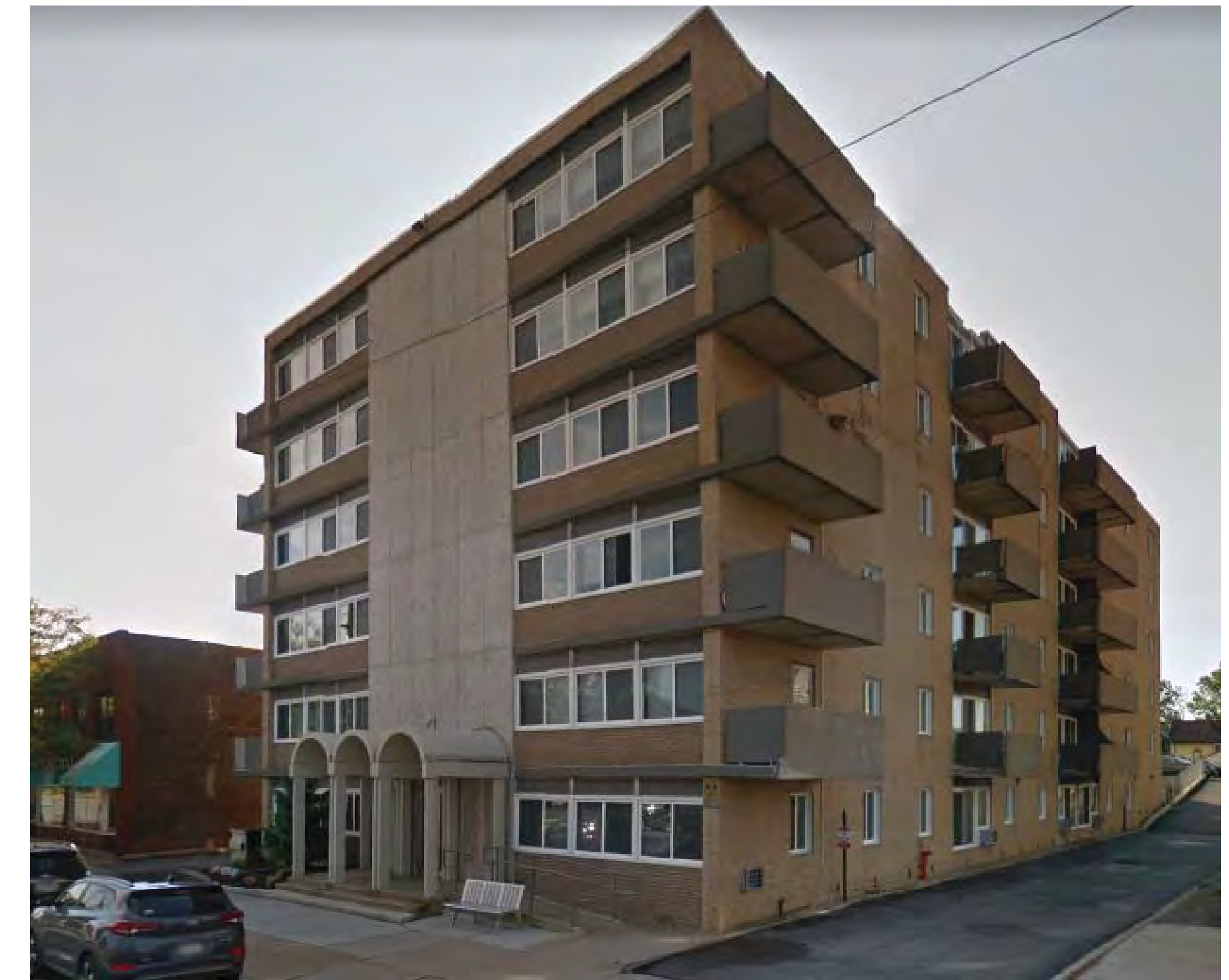
# Curtis Block



# W99 Amsterdam







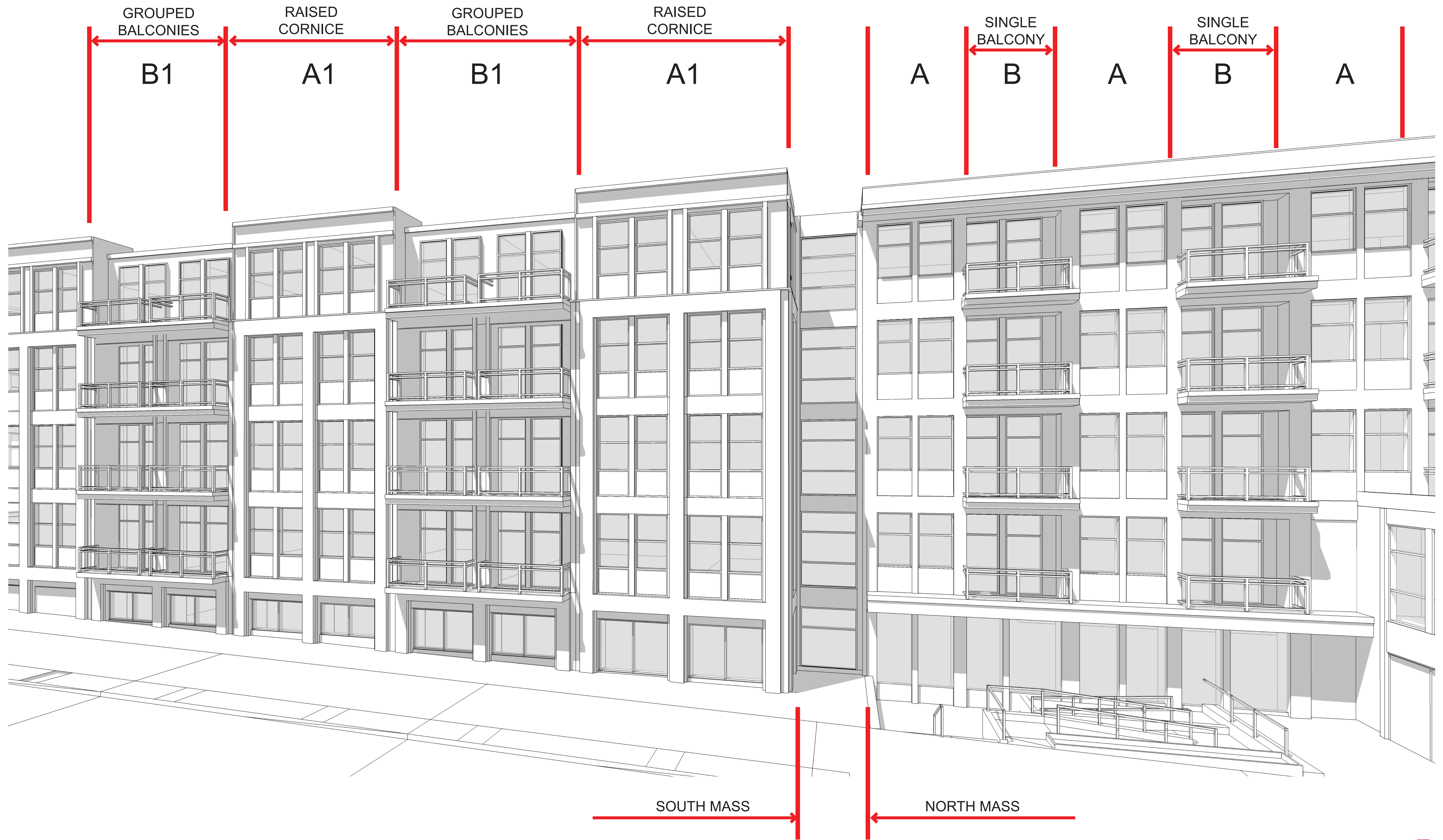


MARLOWE AVE NORTH END ELEVATION



PLAZA (WEST FACING) ELEVATION

BUILDING-1: ELEVATIONS



BUILDING 1 - FACADE ARTICULATION



DETROIT AVE ELEVATION

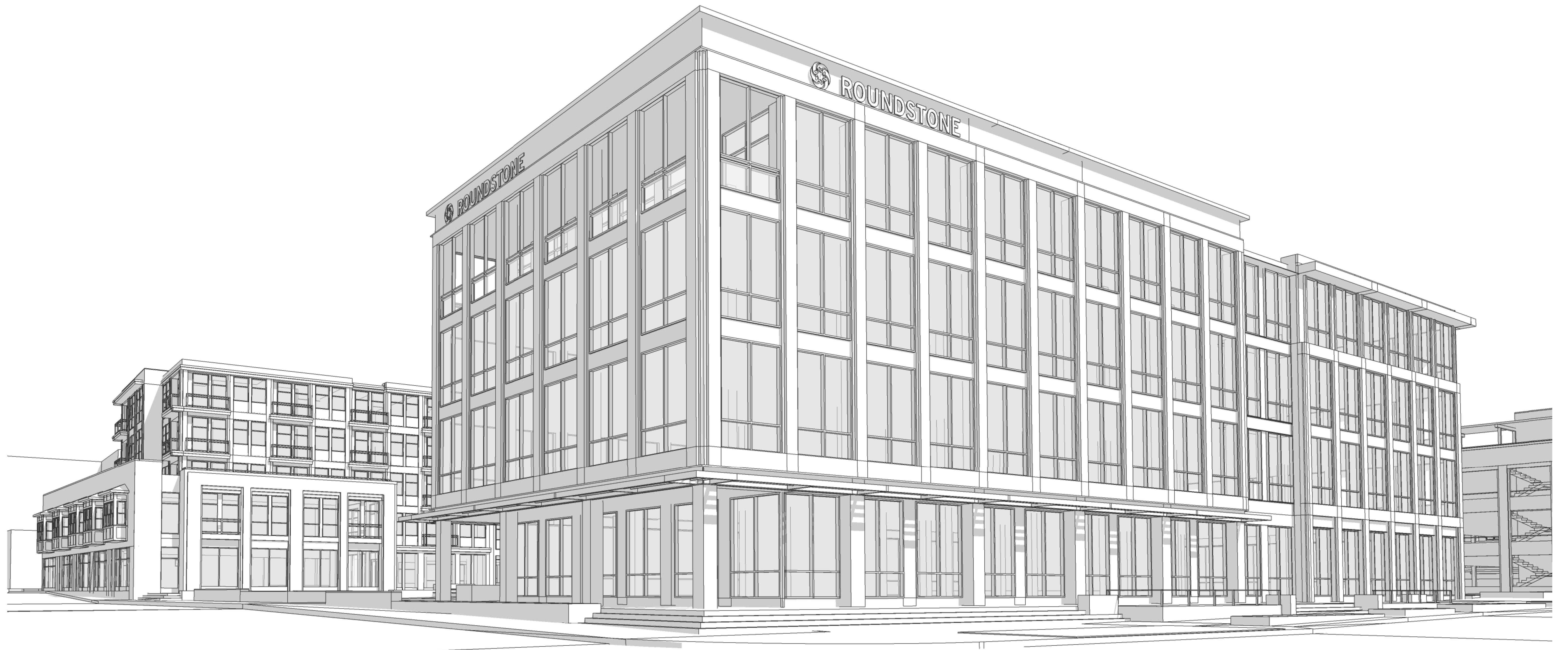


VIEW FROM DETROIT LOOKING EAST

*Lakewood Downtown Redevelopment Site*  
Lakewood, Ohio



VIEW FROM DETROIT LOOKING WEST

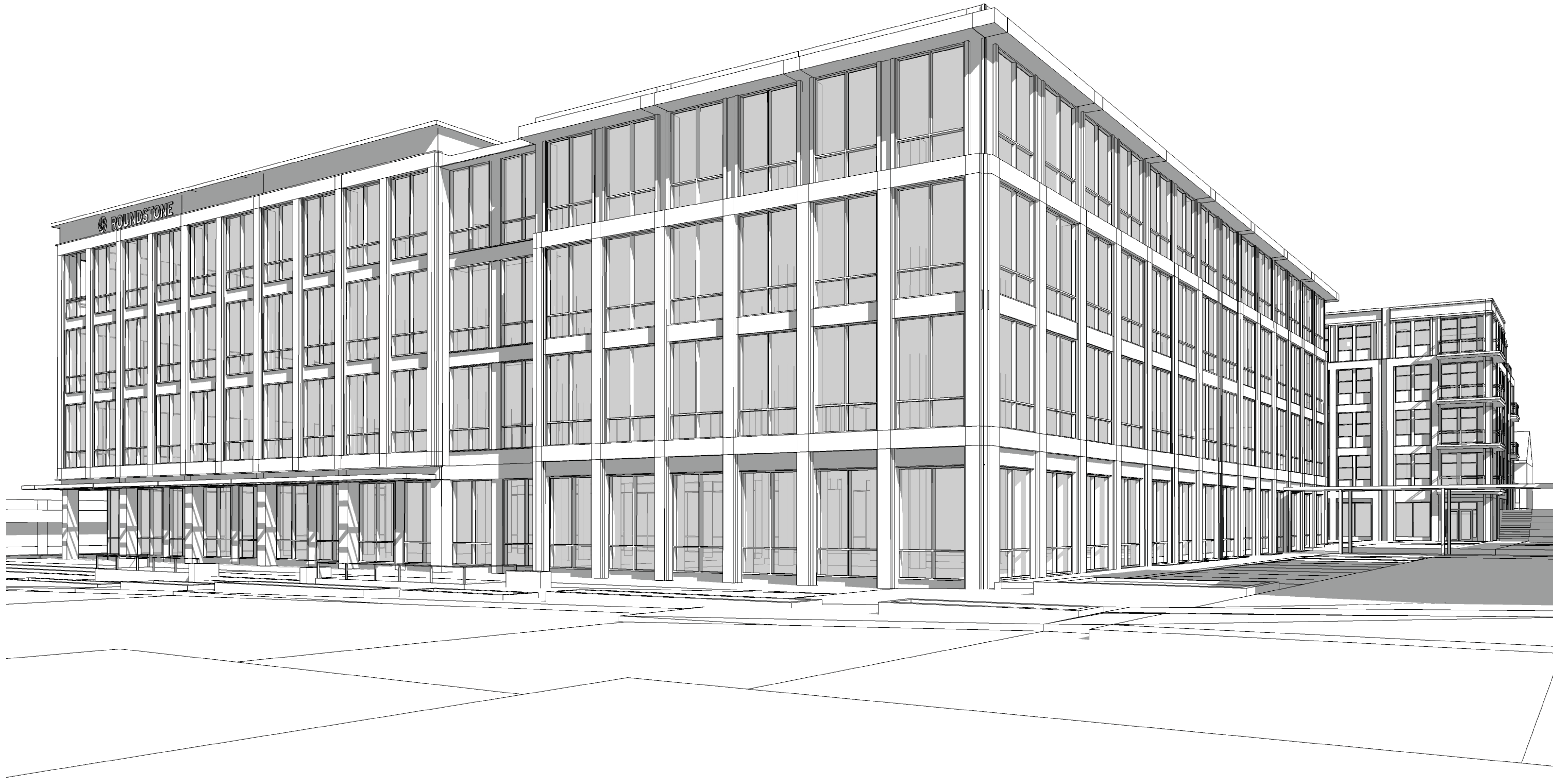


VIEW FROM THE CORNER OF BELLE AND DETROIT

*Lakewood Downtown Redevelopment Site*  
Lakewood, Ohio



OCT. 14th, 2022



VIEW FROM BELLE LOOKING NORTHEAST



VIEW FROM DETROIT LOOKING SOUTH

*Lakewood Downtown Redevelopment Site*  
Lakewood, Ohio



VIEW FROM CORNER OF DETROIT & MARLOWE



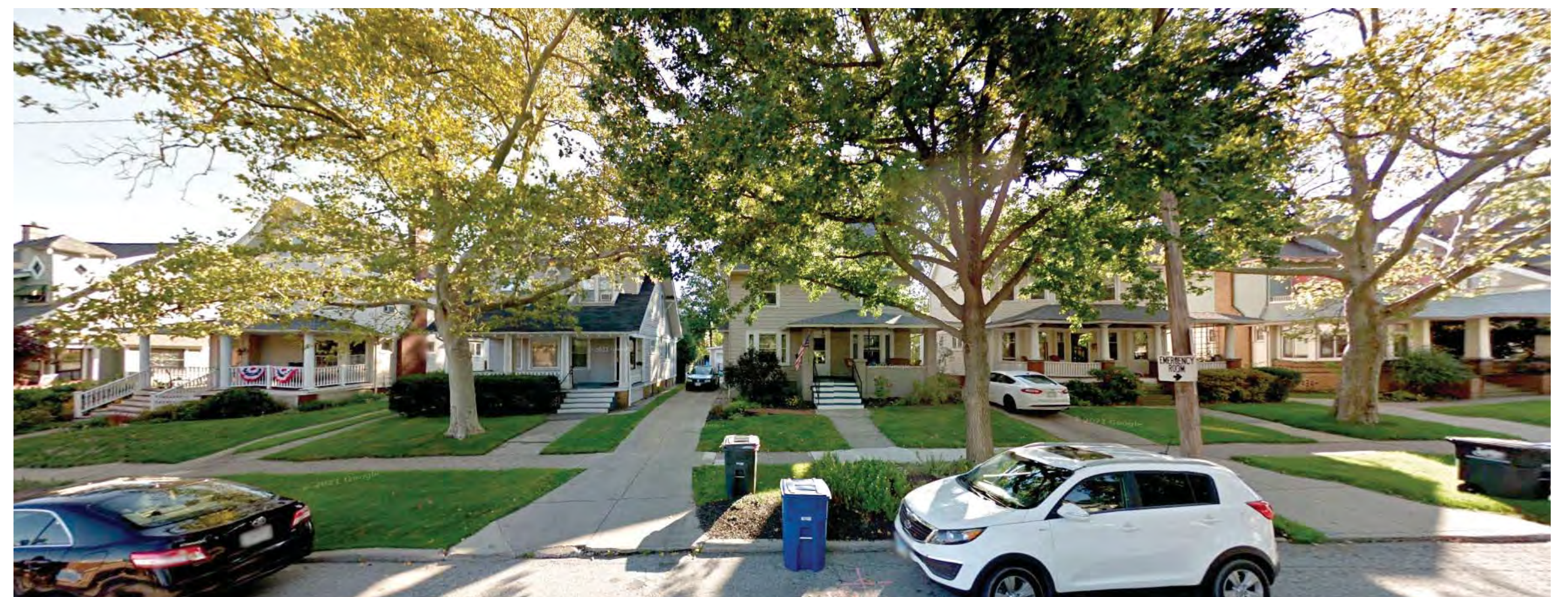
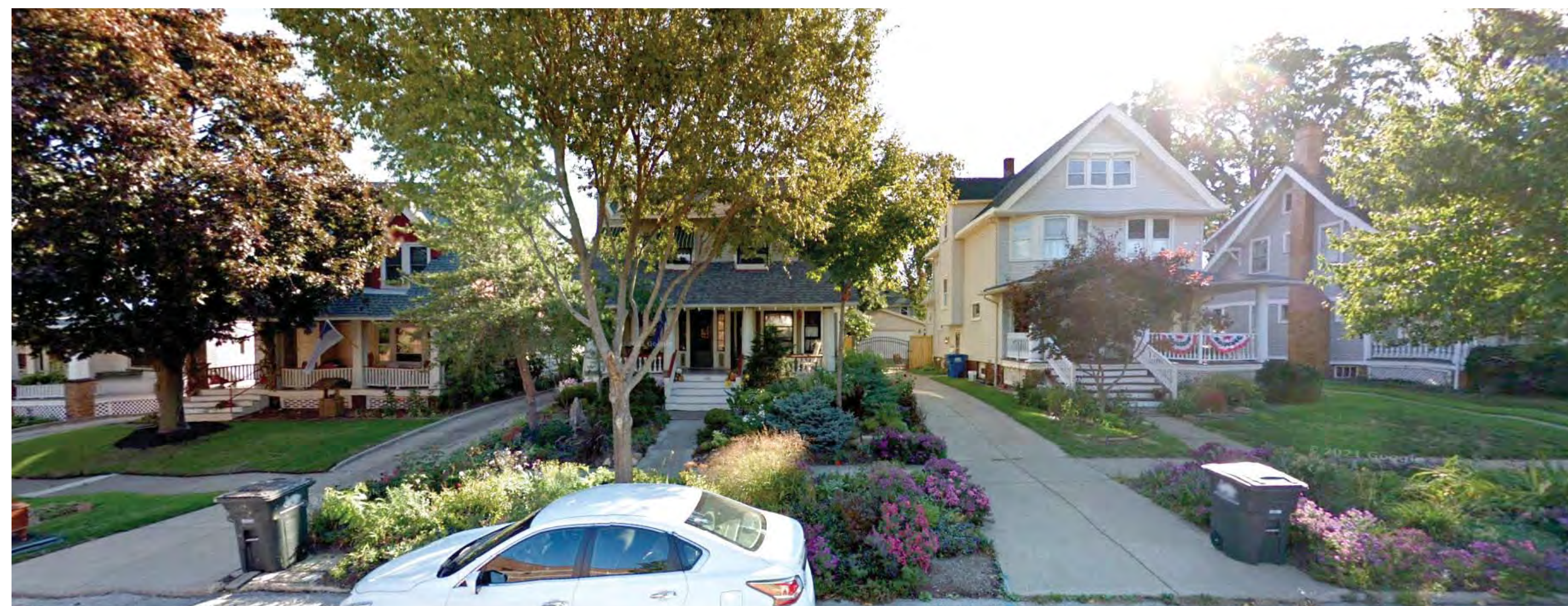
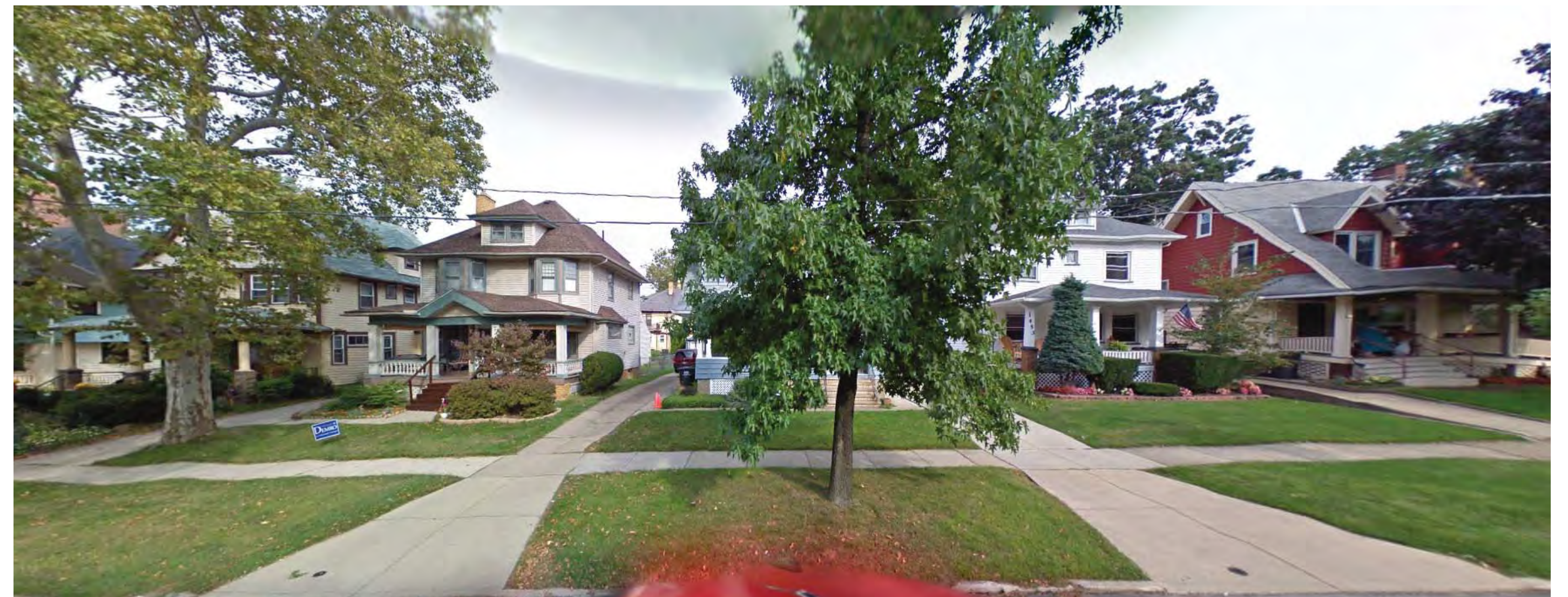
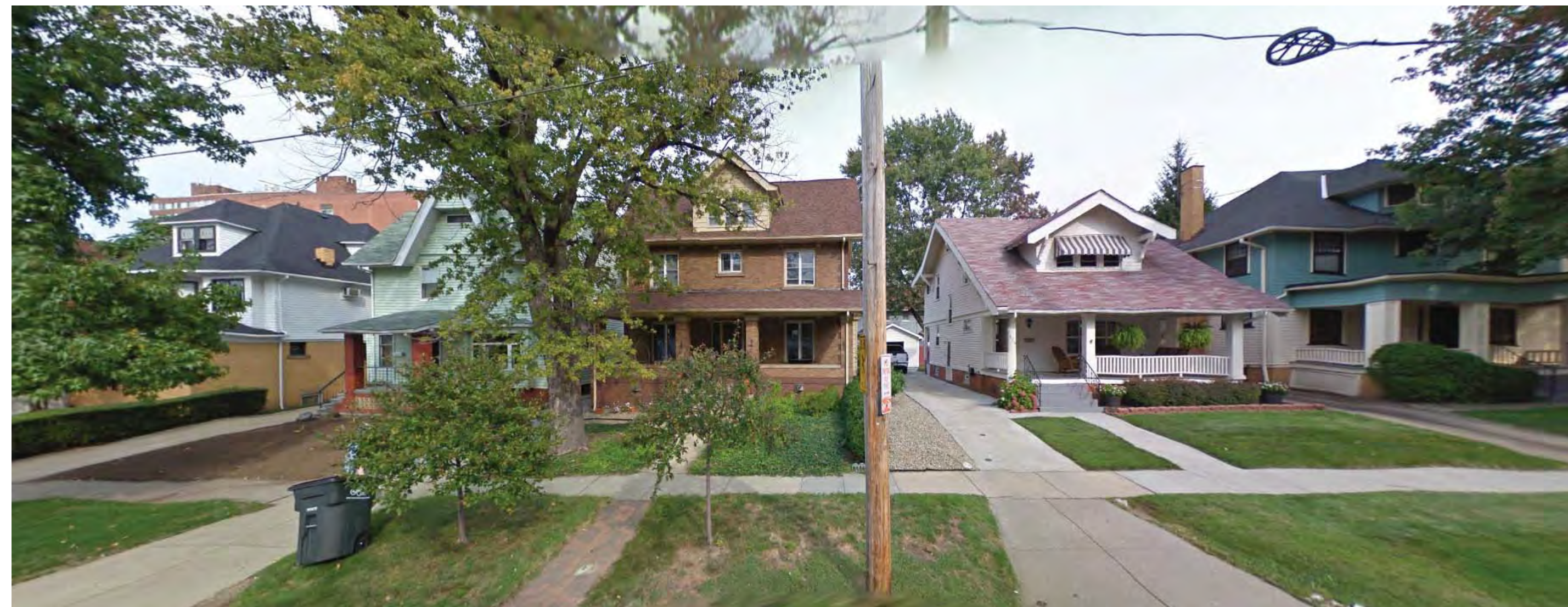
VIEW FROM MARLOWE LOOKING NORTHWEST

*Lakewood Downtown Redevelopment Site*

*Lakewood, Ohio*



OCT. 14th, 2022



*Lakewood Downtown Redevelopment Site*  
Lakewood, Ohio

MARLOWE WEST

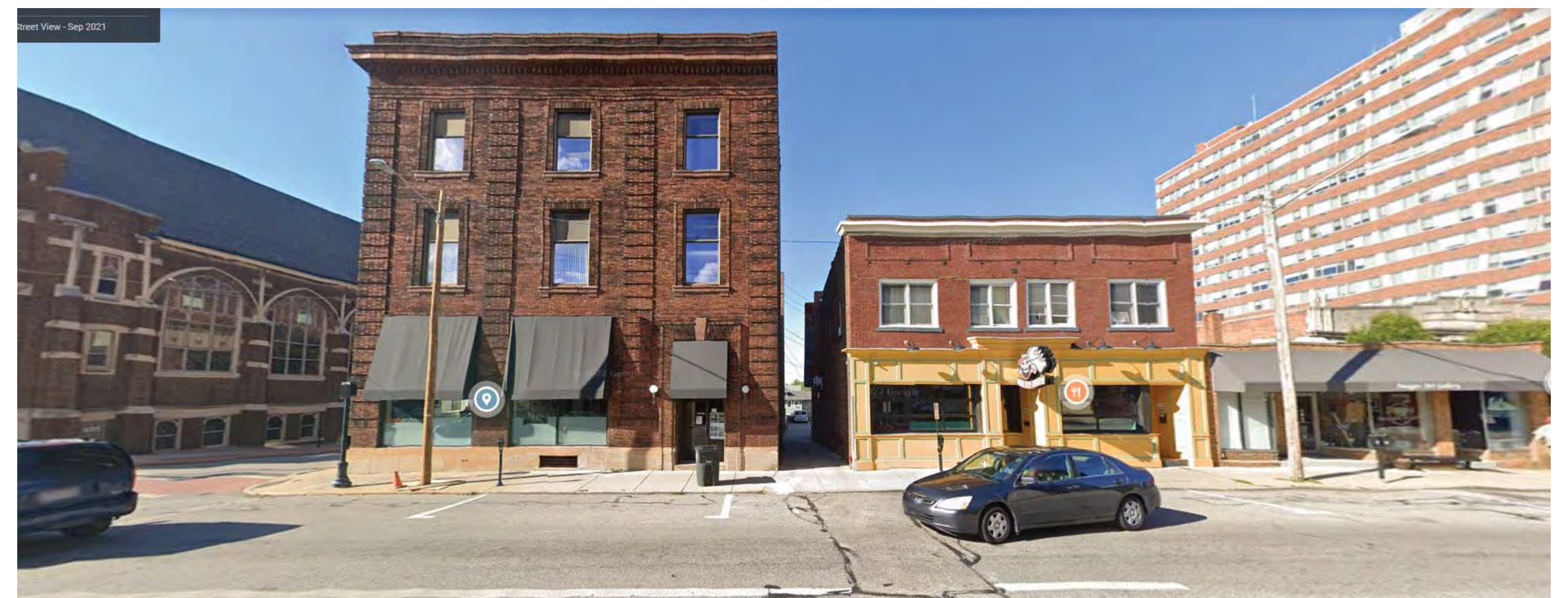
**EDGE** PLANNING  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN

**CASTO** NORTH  
POINTE  
REALTY, INC.

**DIMITARCHITECTS**  
architecture + interiors + urban design

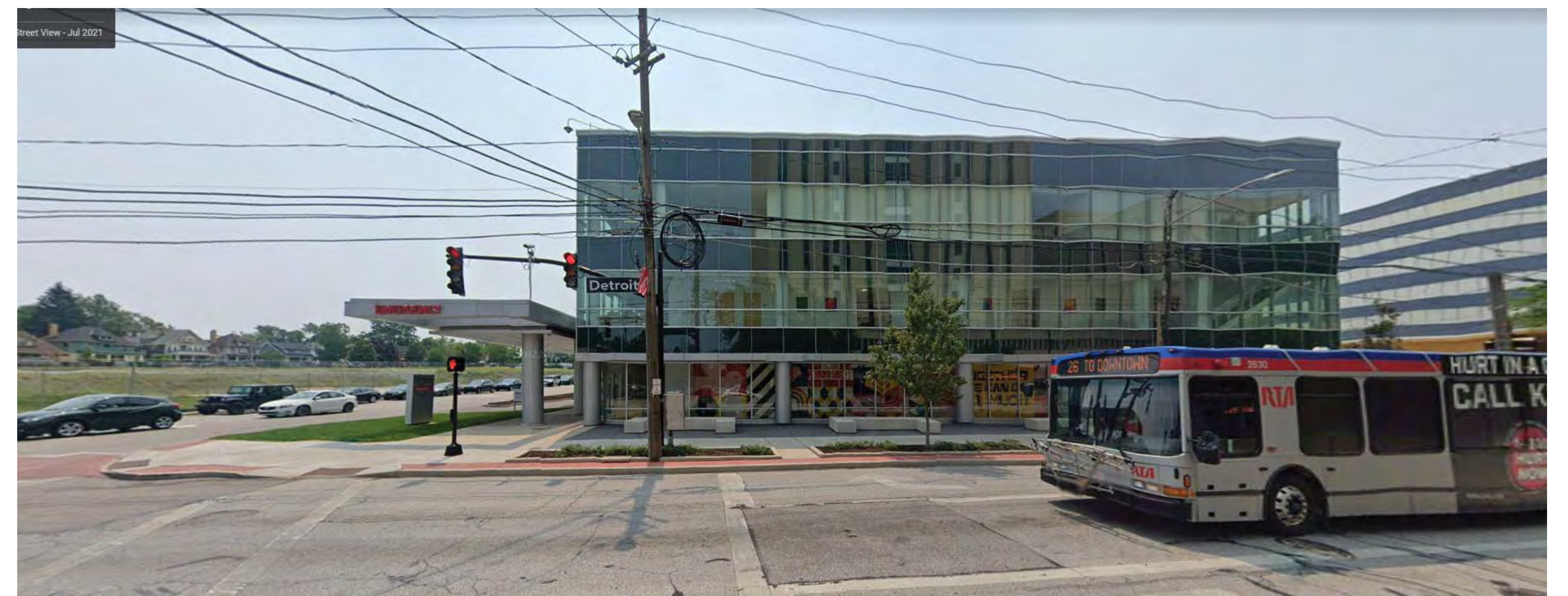
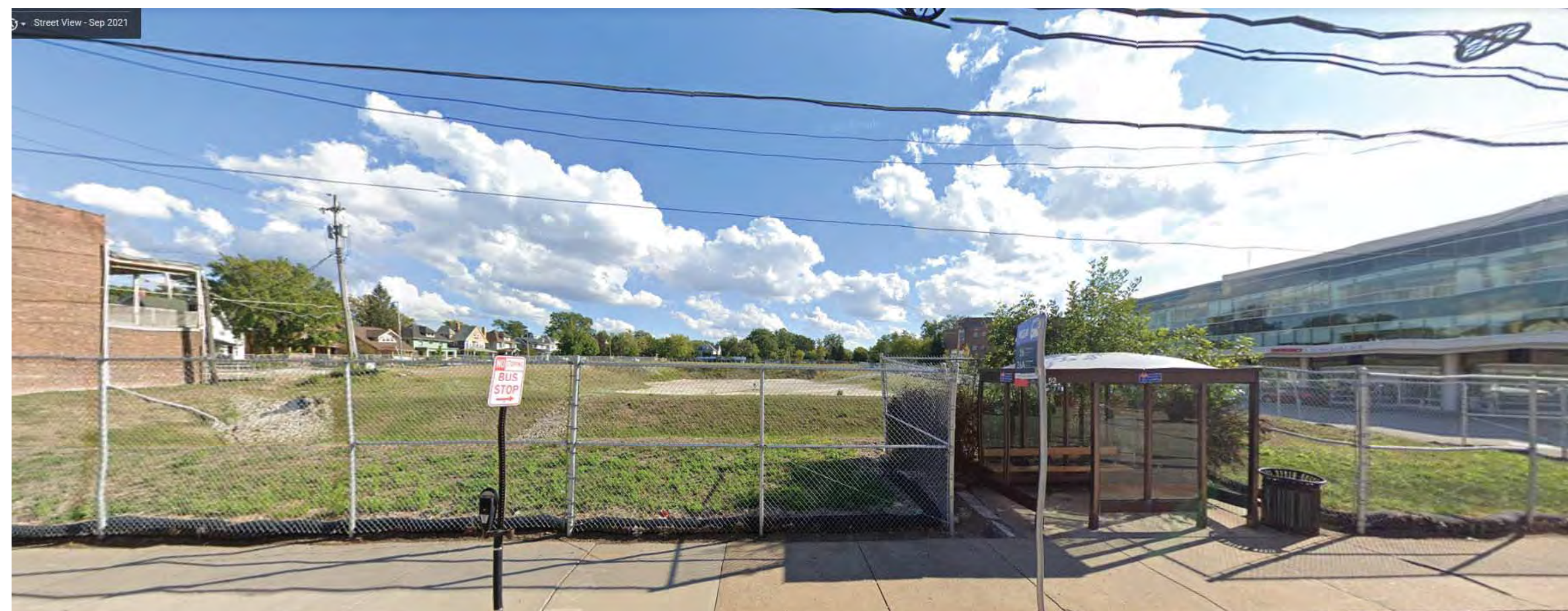
OCT. 14th, 2022





*Lakewood Downtown Redevelopment Site*  
Lakewood, Ohio

DETROIT NORTH





**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 07-42-22**

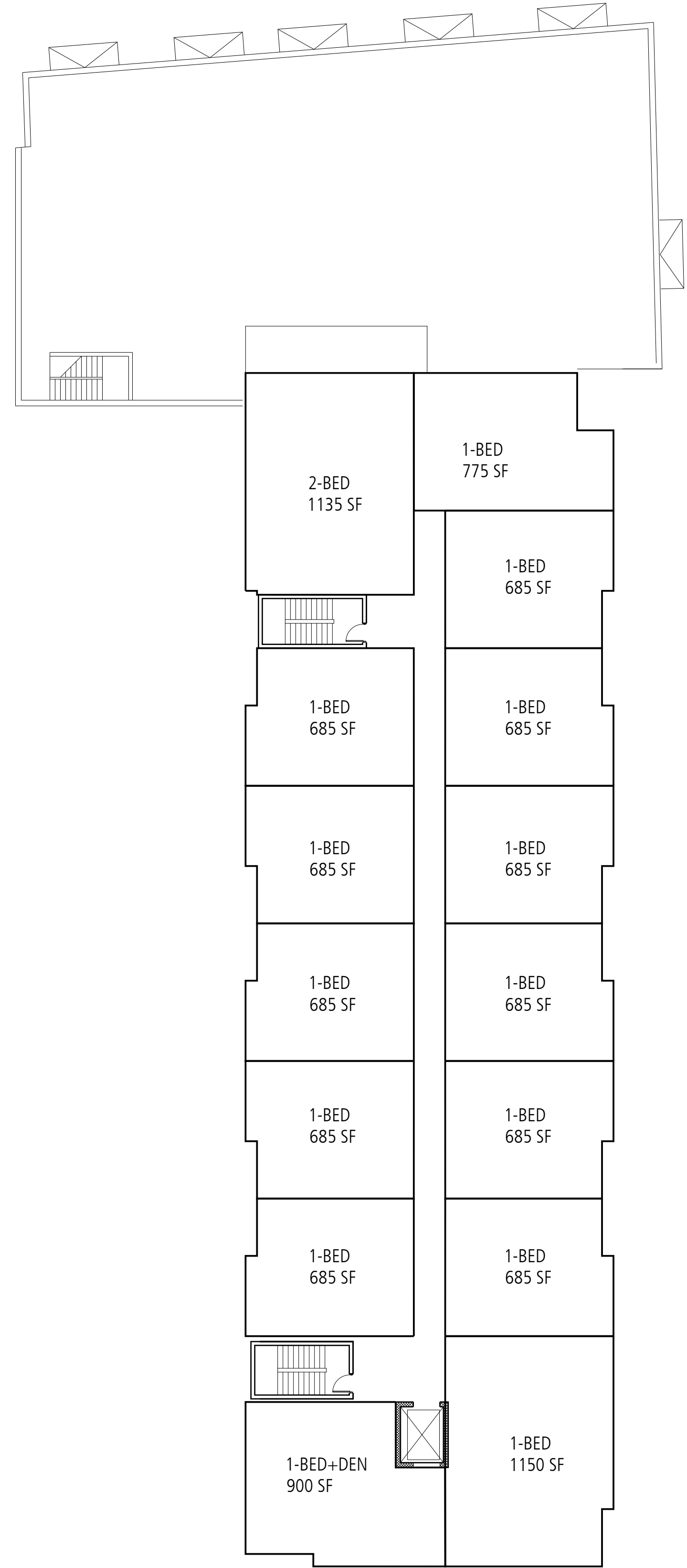
**Permit No.: BBS22-000046**

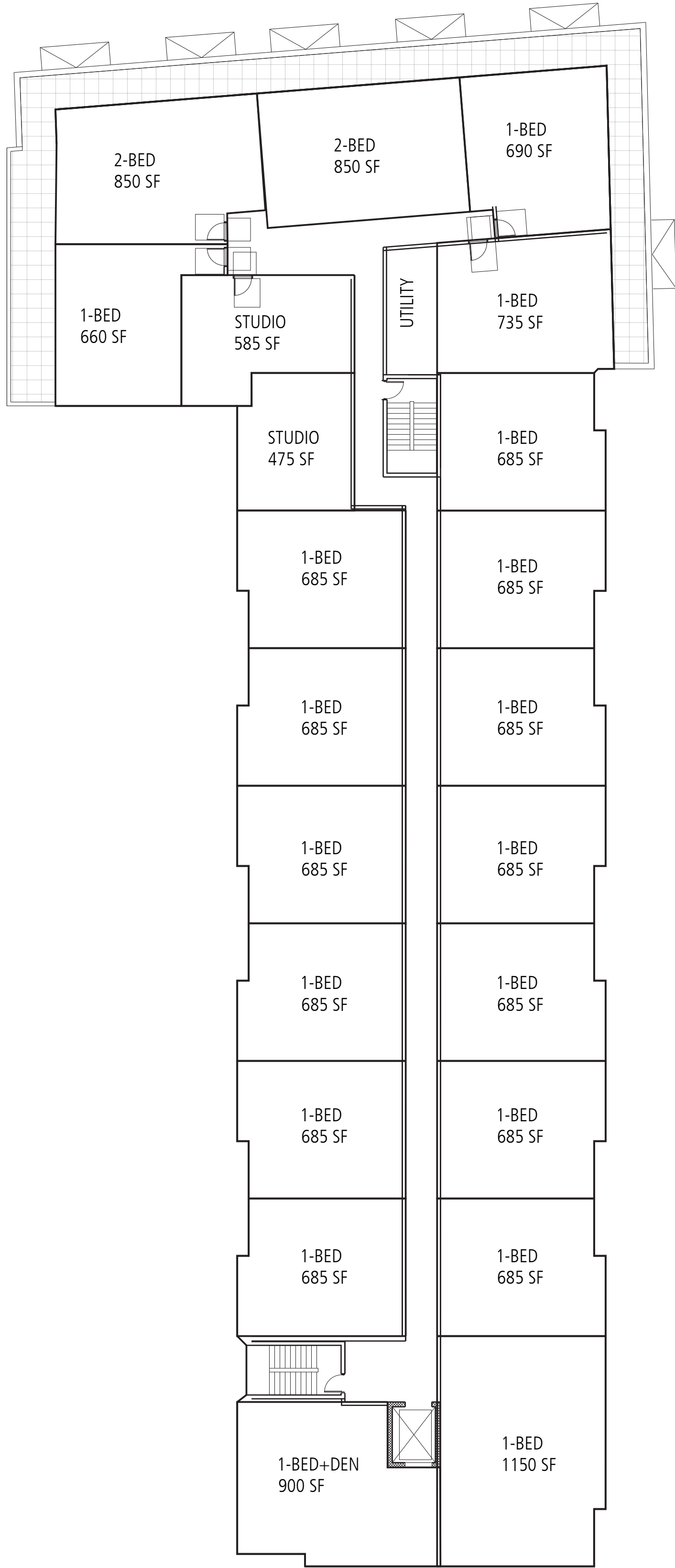
**Applicant Name: Griffin Caldwell, CASTO**

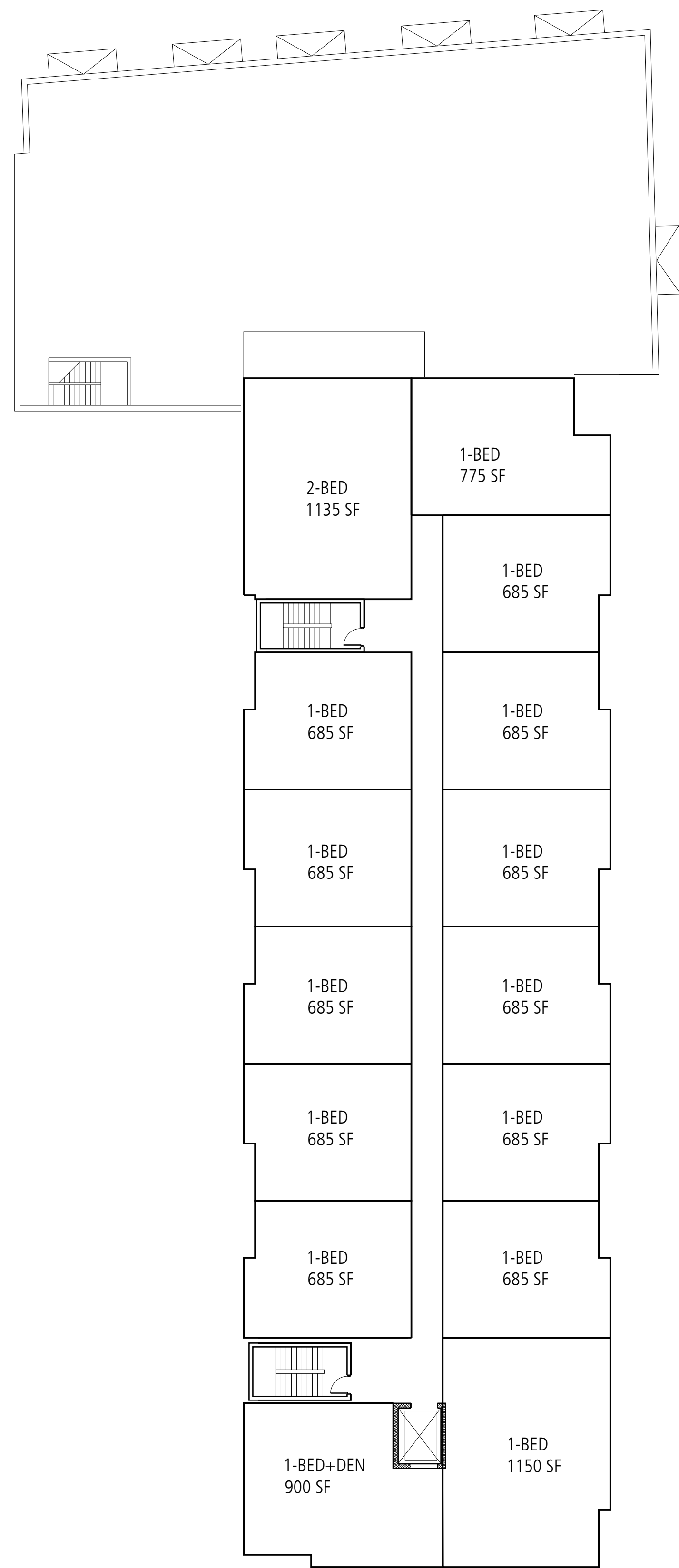
**Project Address: 14501-09 Detroit Ave.**

**Project Name: Curtis Block Building**

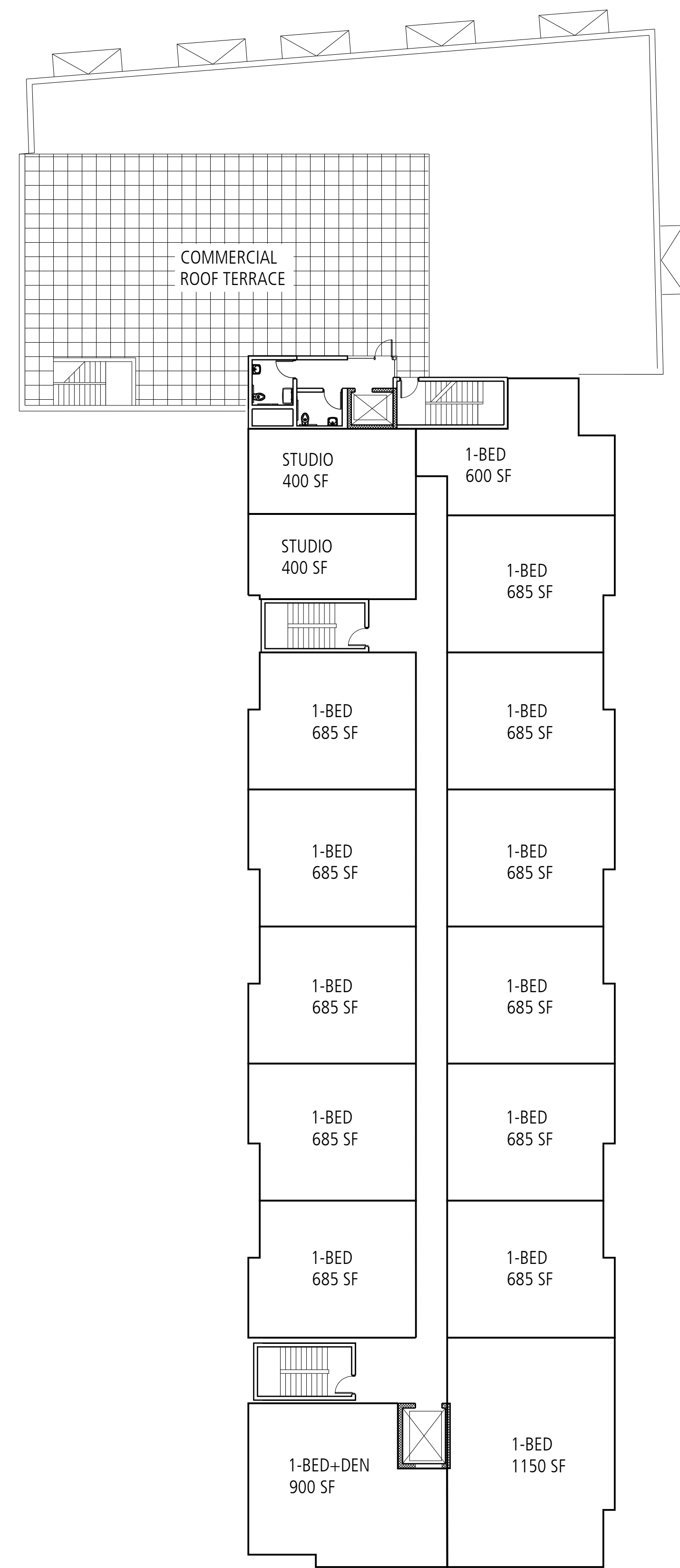
**Project: Applicant seeks a Certificate of Appropriateness for alterations to the Curtis Block Building.**



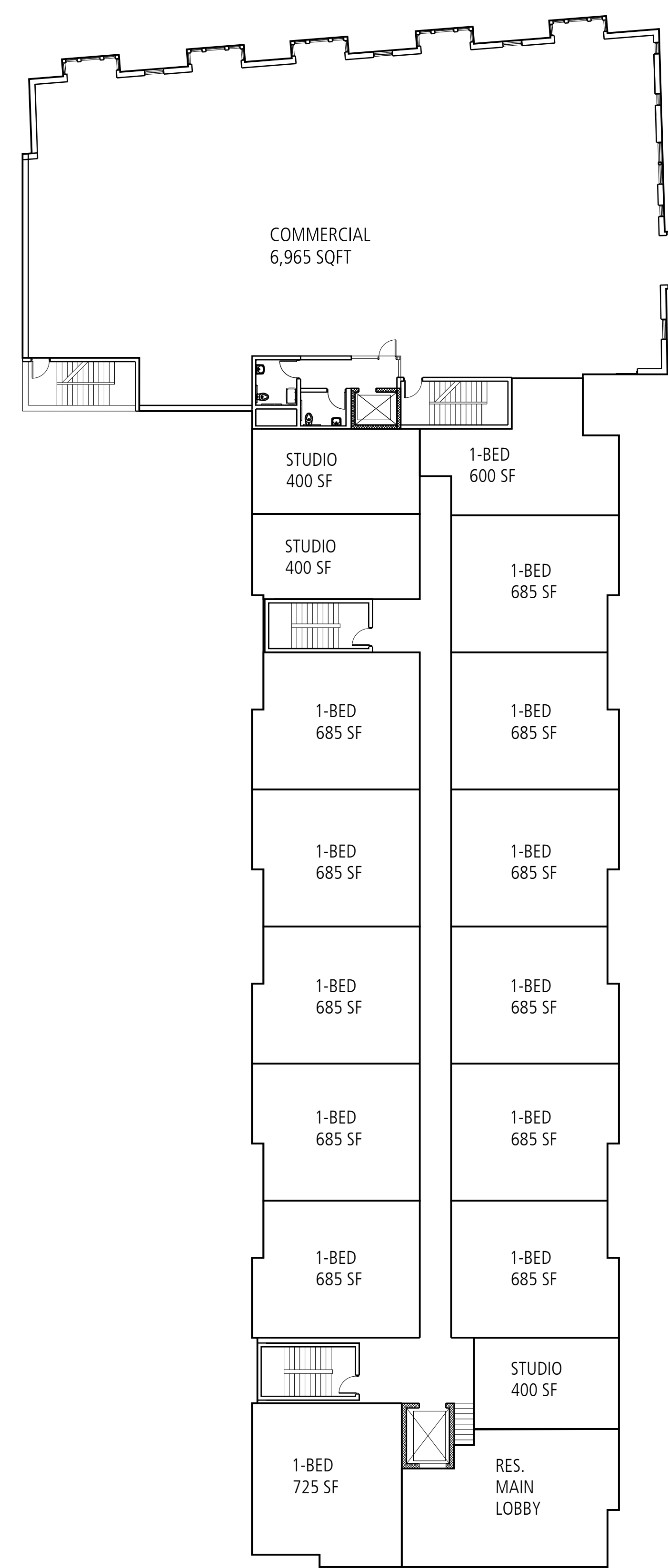




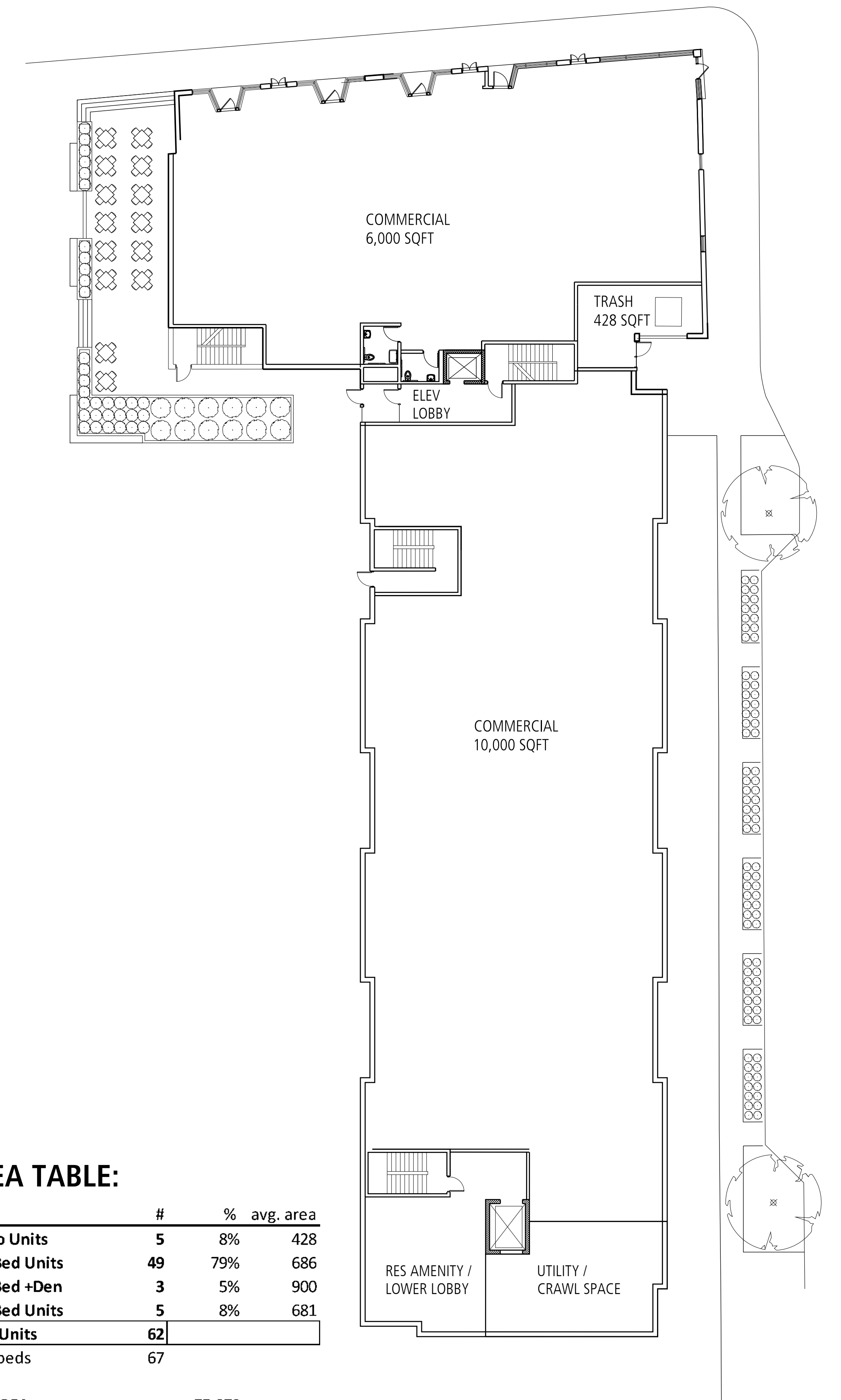
Level 04-05



Level 03



Level 02



Level 01

**AREA TABLE:**

	#	%	avg. area
Studio Units	5	8%	428
One Bed Units	49	79%	686
One Bed +Den	3	5%	900
Two Bed Units	5	8%	681
<b>Total Units</b>	<b>62</b>		
total beds		67	

<b>Total GFA</b>	<b>75,072</b>
<b>Commercial GFA</b>	<b>23,707</b>
<b>Residential GFA</b>	<b>51,365</b>
Total unit area	41,860 81.5%
Total circulation	7,775 15.1%
Lobby / amenity	1,730 3.4%



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 07-35-22**

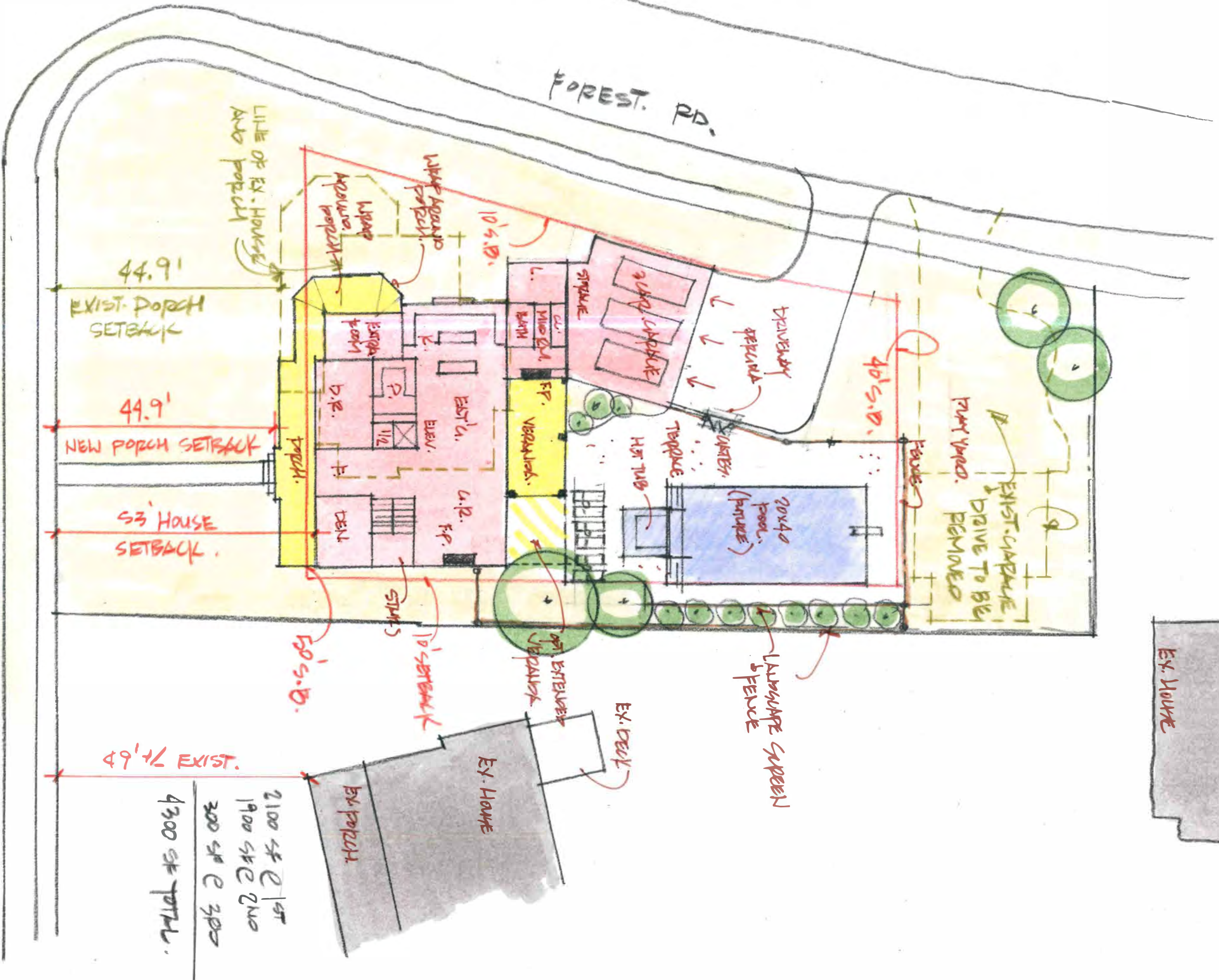
**Permit No.: BBS22-000043**

**Applicant Name: David Hesse, Payne & Payne Builders**

**Project Address: 17853 Lake Rd.**

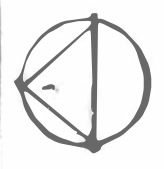
**Project Name:**

**Project: Applicant proposes the demolition and rebuild of a single-family home.**



Ex. House

2100 sq ft 1st  
 1900 sq ft 2nd  
 300 sq ft 3rd  
 4300 sq ft total.



North.

1" = 20'  
 SWEENEY SITE CONCEPT (W/WR APPOINTMENT PORCH)  
 8.28.22 PAGE 4 PAGE

LAKE RD.

FOREST RD.

44.9' EXIST. PORCH SETBACK  
 44.9' NEW PORCH SETBACK  
 53' HOUSE SETBACK

10' SETBACK  
 50' S.B.

40' S.D.

49' 1/2' EXIST.

EXIST. CHAPMAN DRIVE TO BE REMOVED  
 FRONT YARD.

LANDSCAPE SCREEN & FENCE

EX. HOUSE

EX. PORCH

EX. DECK

OPT. EXTENDED VERANDA

10' SETBACK

51M-5

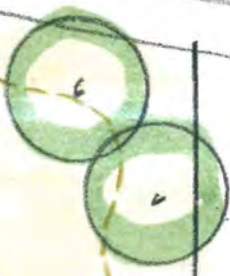
10' S.D.

10' S.D.

W/WR APPOINTMENT PORCH

W/WR APPOINTMENT PORCH

LINE OF EX. HOUSE AND PORCH



HT TUB

20x40 POOL (BRICK)

WATER

SEPARATE

DRIVEWAY

STORAGE

STORAGE

BATH

W.C.

W.C.

K.

K.

K.

EST. 1/2

EST. 1/2

EST. 1/2

D.R.

D.R.

D.R.

BRN

BRN

BRN

EST. 1/2

EST. 1/2

EST. 1/2

PORCH

PORCH

PORCH

PORCH

PORCH

PORCH

PORCH

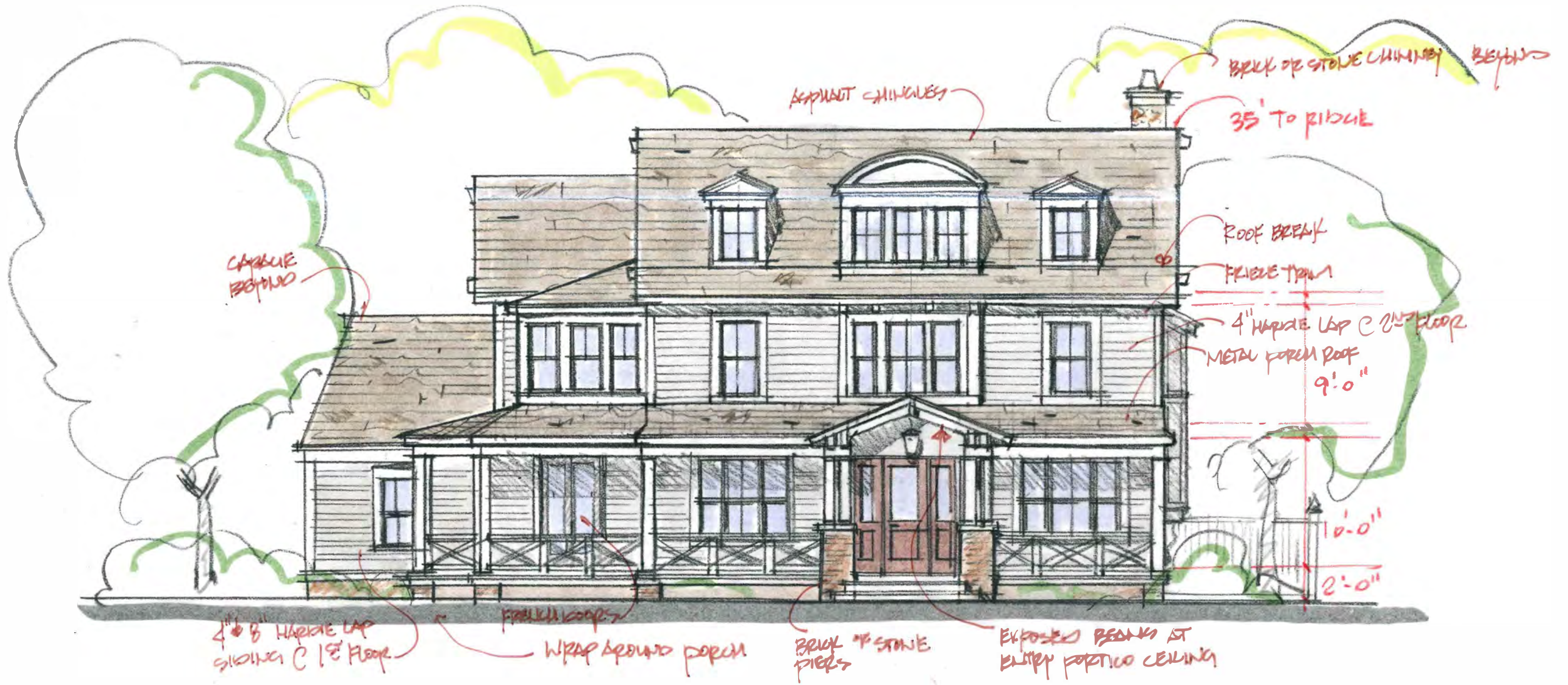
PORCH

PORCH

PORCH

PORCH

PORCH



SWEENEY

FRONT ELEVATION PORCH (LAKE ROMO)

1/8" = 1'-0"

8.26.22

**Payne & Payne**

BUILDERS INC

COPYRIGHT 2022



SWEENEY

EAST ELEVATION

(FOREST RD.)

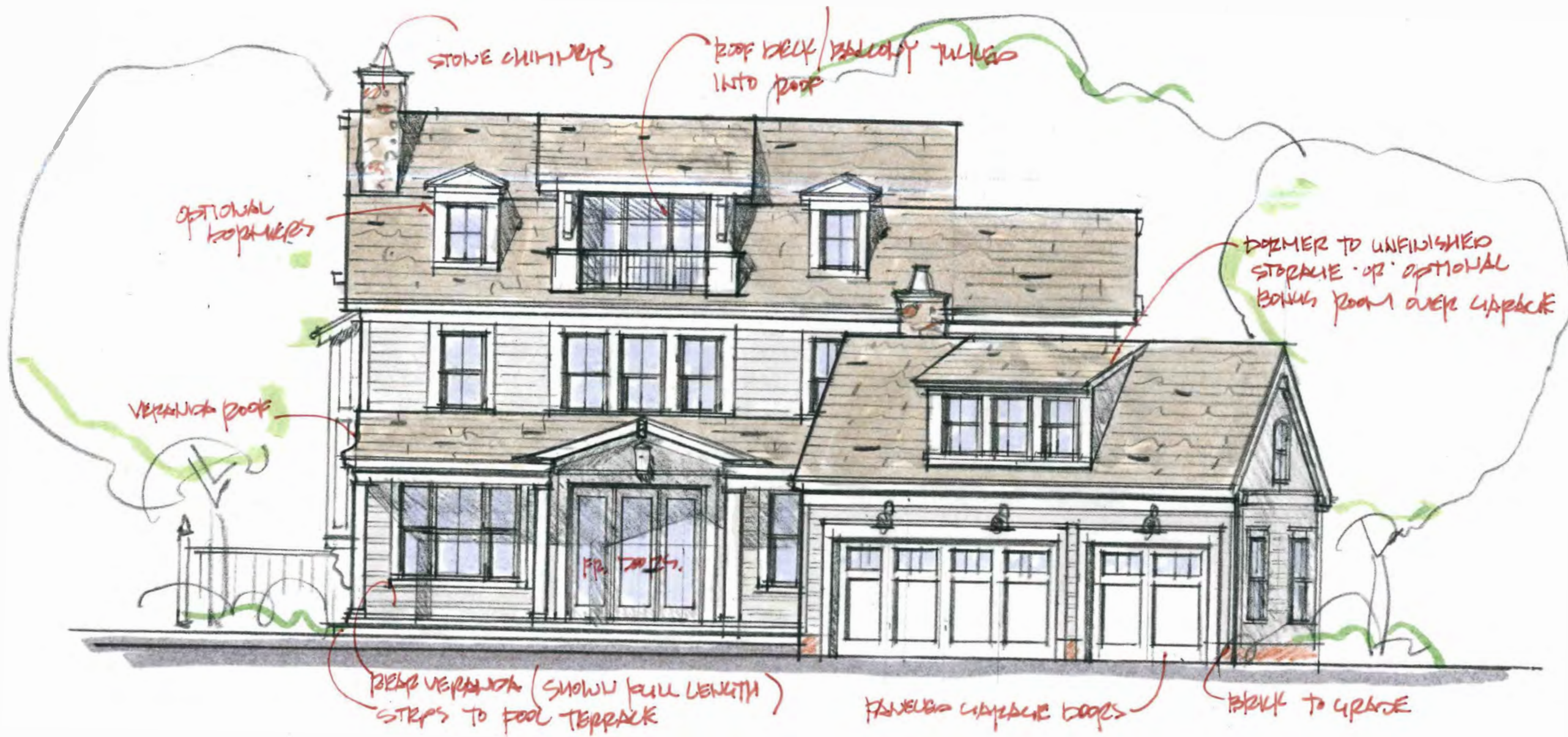
11/8" = 1'-0"

8.26.22

**Payne & Payne**

BUILDERS INC

COPYRIGHT 2022



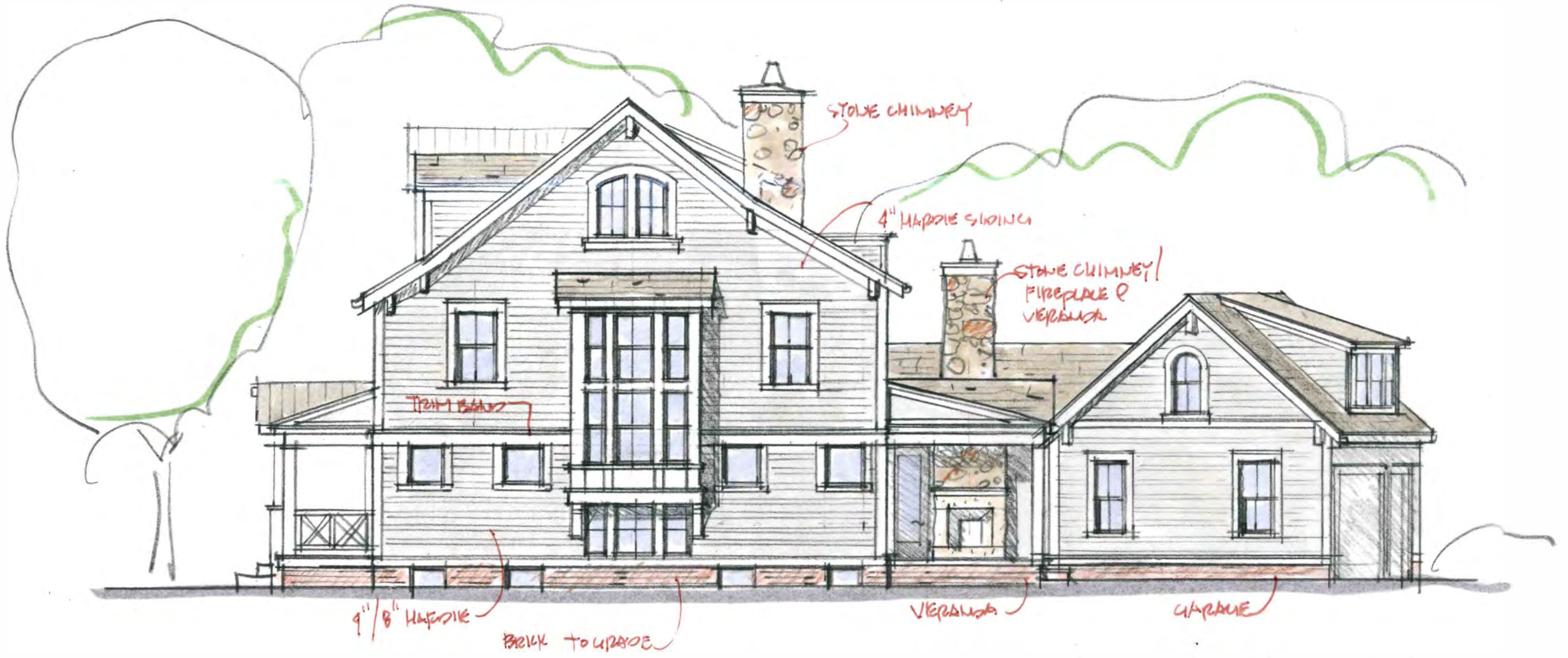
SWEENEY REAR ELEVATION (SOUTH)

1/8" = 1'-0"

10.11.22

**Payne & Payne**  
BUILDERS INC

COPYRIGHT 2022



SWEENEY WEST ELEVATION

1/8" = 1'-0"

10-11-22

**Payne & Payne**

BUILDERS INC

COPYRIGHT 2022



FIELDTONE

Natural color variations and dark edges create the dramatic appearance of blended slate.



# Cultured Stone<sup>®</sup> by Boral<sup>®</sup>

Ridge<sup>®</sup> Southern LedgeStone

**BRAMPTON  
BRICK**  
THE Trusted Source

[BramptonBrick.com](http://BramptonBrick.com)

BROWNSTONE<sup>™</sup>  
MODULAR  
CROSSROADS SERIES





**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 09-61-22**

**Permit No.: BBS22-000082**

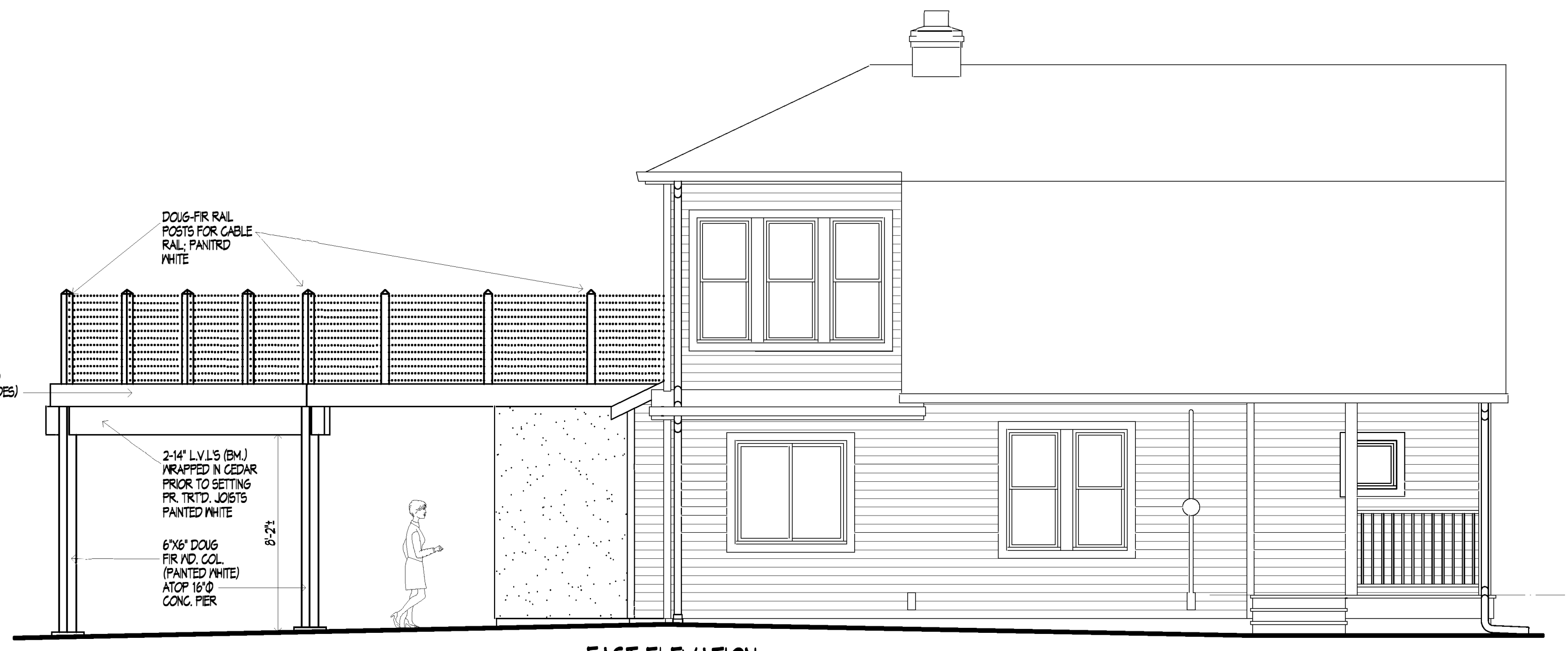
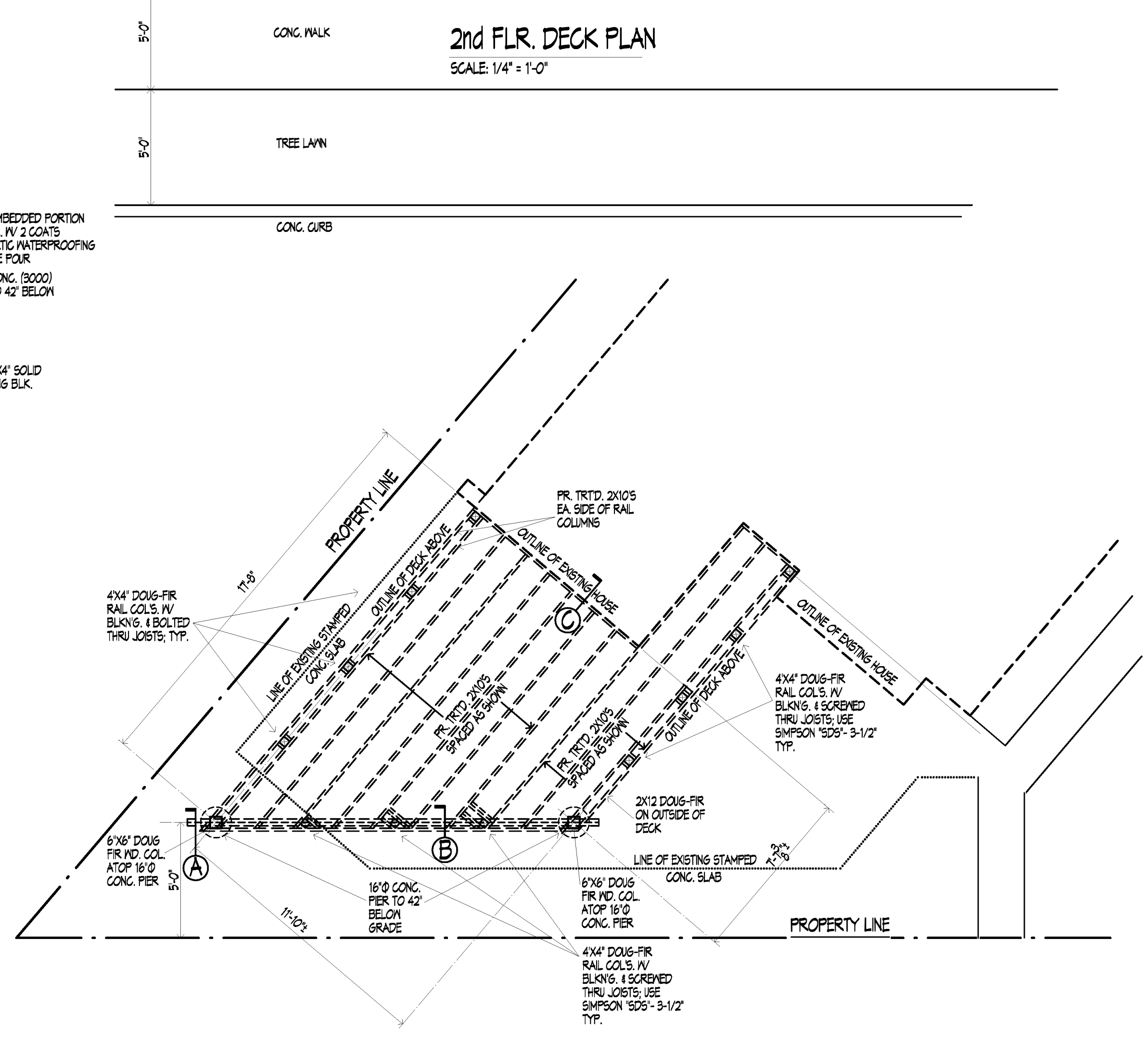
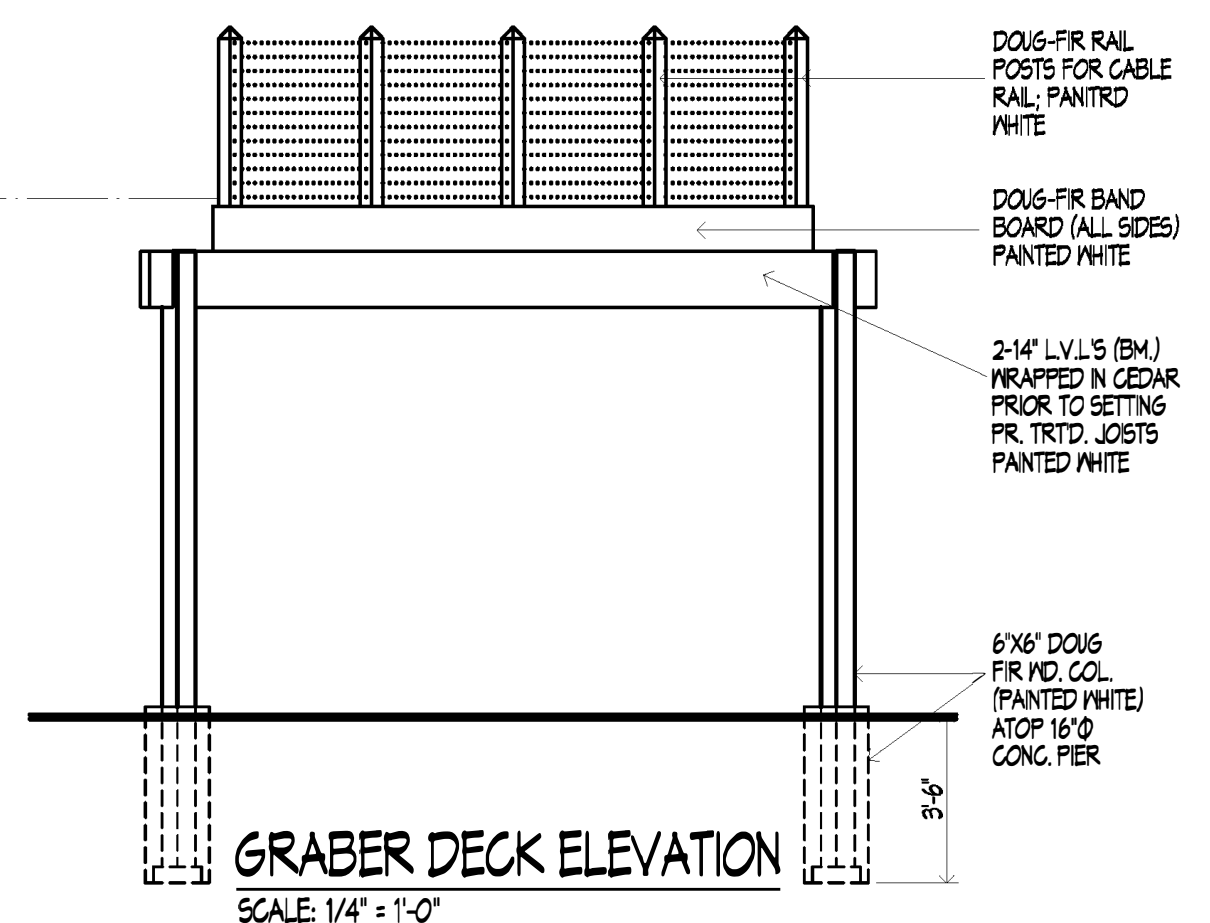
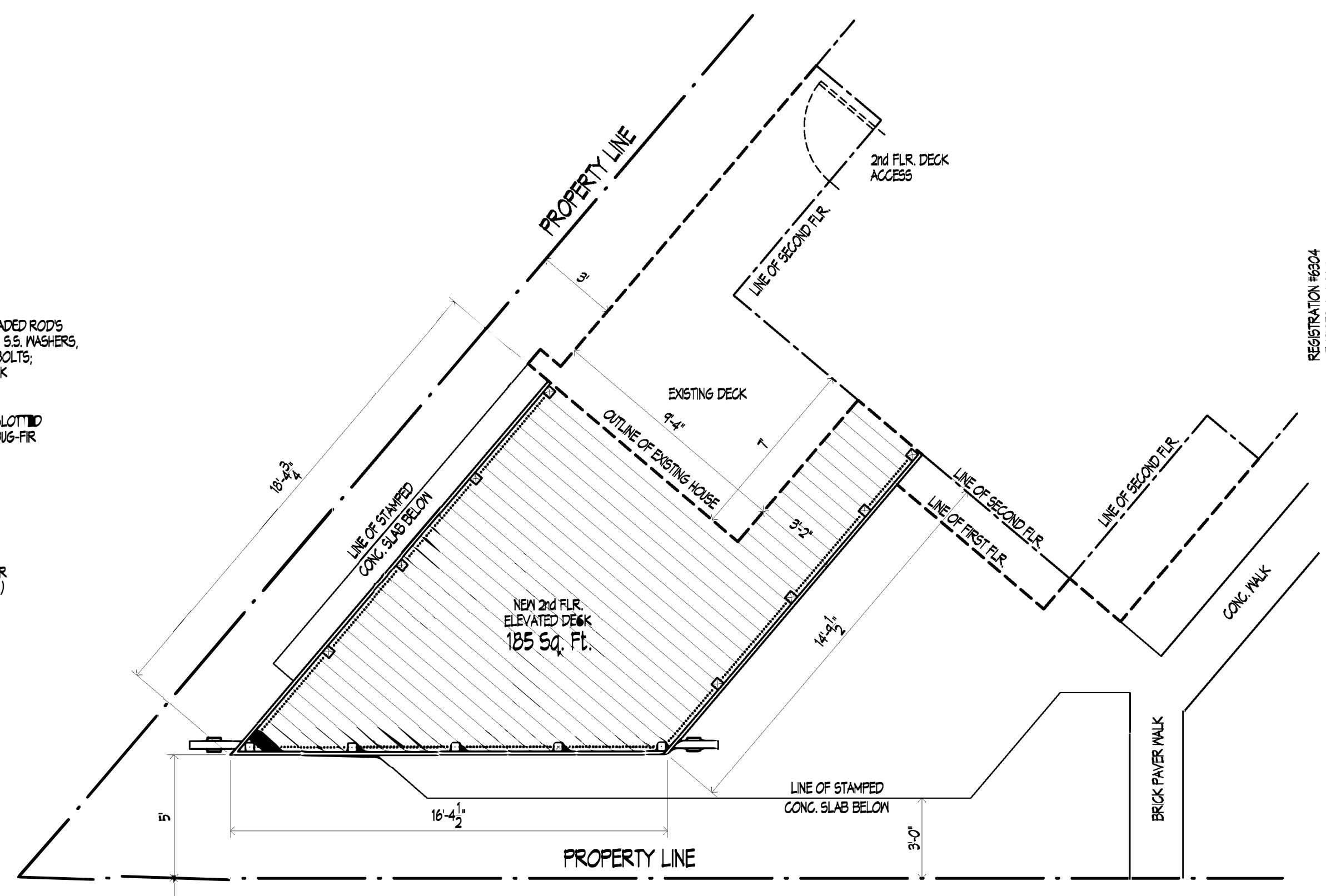
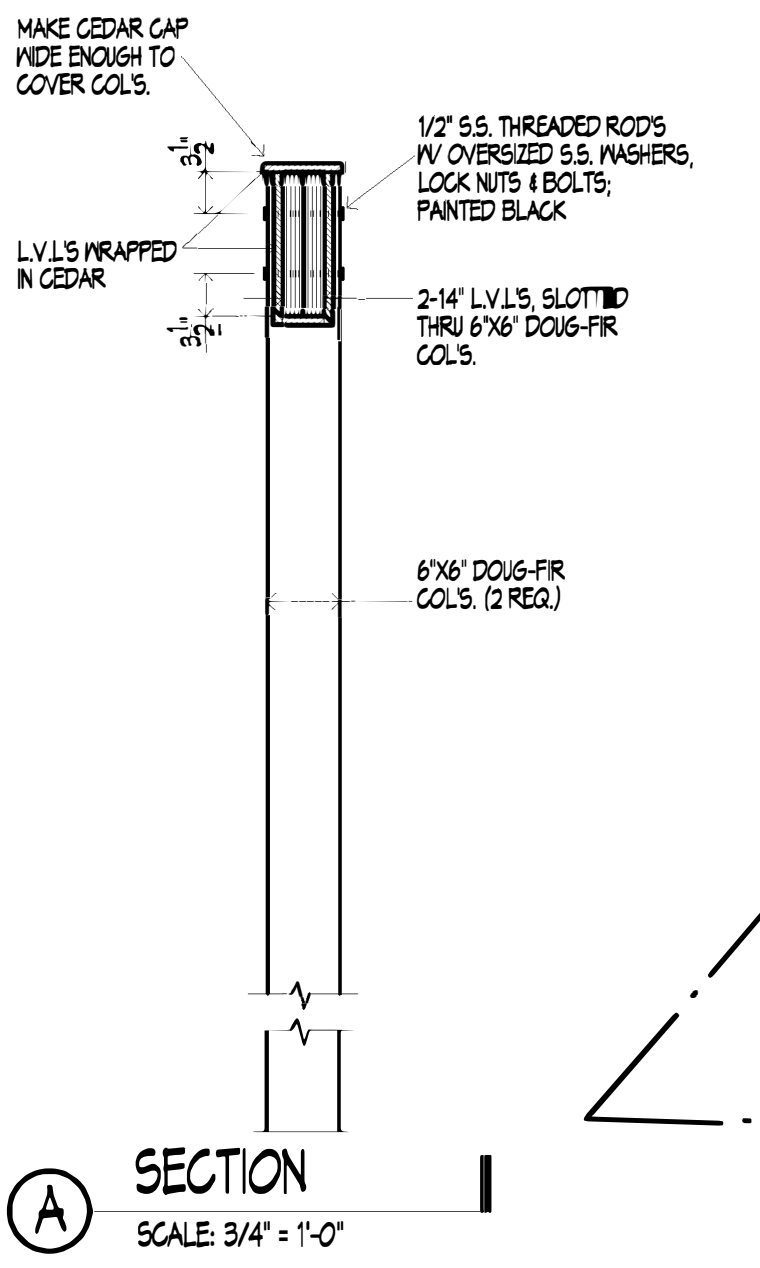
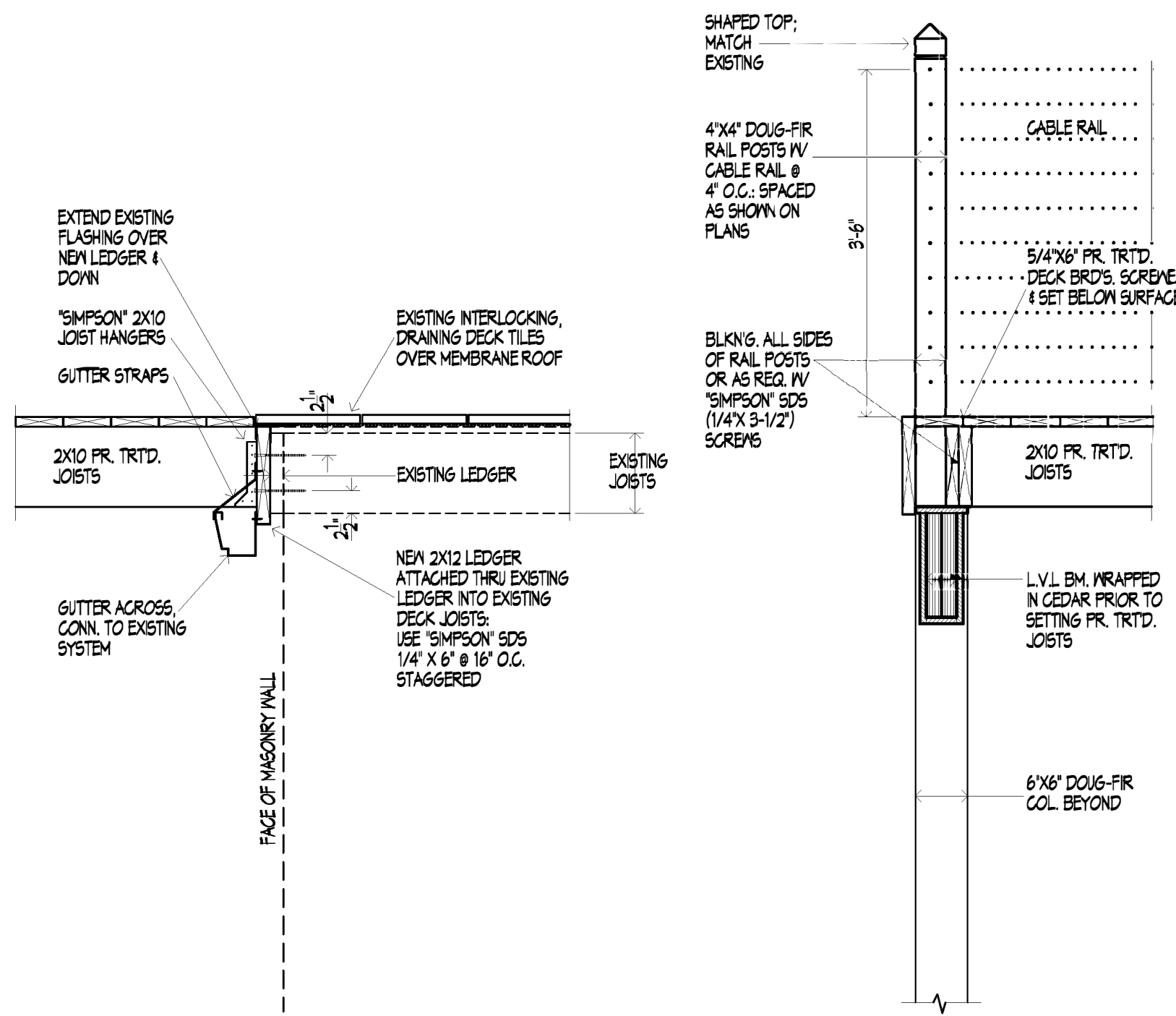
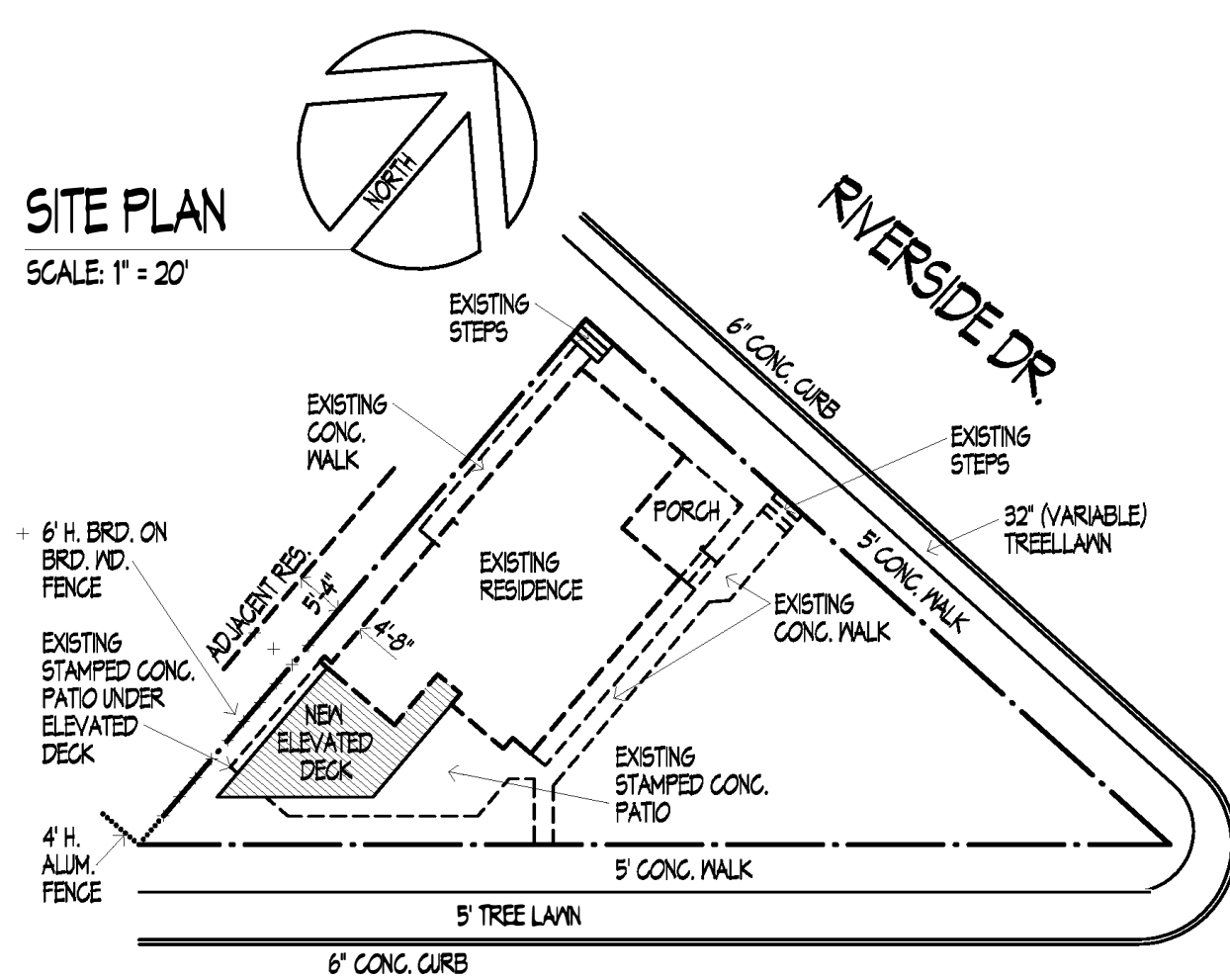
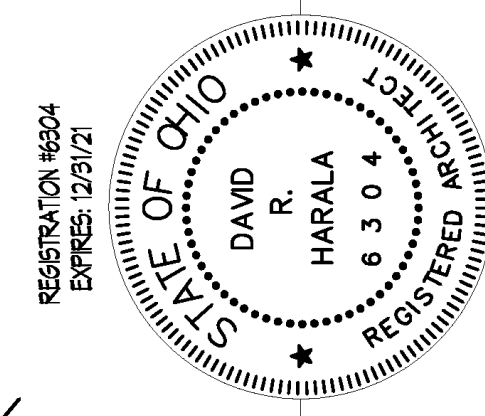
**Applicant Name: Tim Akhadov, Platinum Construction**

**Project Address: 1474 Riverside Dr..**

**Project Name:**

**Project: Applicant proposes an unroofed second floor deck on the rear of the home (west facing).**

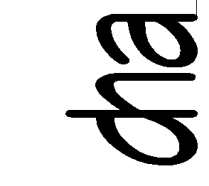
DATE	ISSUE
1/25/22	APPLY FOR PERMIT
9/19/22	FOR ARB (10/15/22)
10/10/22	DAVID BAE6 DONALD DAVIS



**SECOND FLOOR DECK PLAN**  
1414 RIVERSIDE DRIVE  
LAKEWOOD, OHIO 44107

PLANS, DETAILS & ELEVATIONS

DHA ARCHITECTS, LTD.  
7035 OAKHURST CIRCLE  
BRECKSVILLE, OHIO 44144  
PHONE: (440) 582-0025  
e-mail: dha@dhadesign.com



A1



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-73-22**

**Permit No.: BBS22-000091**

**Applicant Name: Linda Fredrickson, Everything Recovery**

**Project Address: 1464 Riverside Dr.**

**Project Name:**

**Project: Applicant proposes demolition and rebuild of a single-family home.**



**FILE COPY**

BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

### Application Cover Page

Docket No.: 03-09-22

Permit No.: BBS22-000006

Applicant Name: Gary Fischer, Fischer Associates Architects Inc.

Project Address: 1464 Riverside Dr.

Project Name: n/a

Project: Applicant proposes design review of addition and renovation of an existing historic home.

City of Lakewood  
Architectural Board of Review  
Approved as set forth in the minutes

of MAY 12 2022 meeting.

CHAIRMAN

\* **RENDERS PER POWER POINT**  
(see next page)

FISCHER & ASSOCIATES



ARCHITECTS INC.

354 West Ninth Street  
Lorain, Ohio 44032  
Tel: (440) 315-2300  
E mail: andrea@fischerarch.com

Fischer & Associates © 2021 DATE:

PROJ: 05/12/21

PROGRESS: 02/07/21

FINAL REVIEW: 02/20/21

FINAL REVISIONS: RC-1-REVISIT 02/27/21

Client Name/Project Name/Address

1464 Riverside Drive

Lakewood, Ohio 44107

(Alterations & ADDITIONS)

1464 Riverside Drive

Lakewood, Ohio 44107

Drawing Name: ELEVATIONS

Fischer Project Number: 21-046A

SHEET #

A-103

Scale

Professional Seal: GARY FISCHER, LICENSE #8826, EXPIRATION DATE 12/31/2022



WEST ELEVATION  
1/4" = 1'-0"



NORTH ELEVATION  
1/4" = 1'-0"



SOUTH ELEVATION  
1/4" = 1'-0"

\* Renders from Power Point

EXISTING STREET CURB, & SIDEWALK

LOT SIZE - 5,698 SQ. FT.
HOUSE - 1,534 SQ. FT.
PORCHES - 72 SQ. FT.
LOT COVERAGE - 30%
EXIST GAR. - 398 SQ. FT.
REAR LOT COVER - 21%

PROPERTY LINE, TYP..

EXT'G. CONCRETE PATIO & STEPS.

LINE OF ROOF EDGE, TYP..

LINE OF BUILDING EDGE PERIMETER, DASHED, TYP..

LINE OF NEW TO EXT'G. HOUSE INTERIOR, DASHED. REF. ALL DWGS..

NEW STEEL REINF. C.I.P. CONC. DRIVEWAY LEVEL WITH EXT'G. DRIVEWAY AND SLOPED FOR POSITIVE DRAINAGE AWAY FROM BUILDING

EXISTING 2 CAR GARAGE (398 SQ.FT.)

EXISTING STREET CURB, & SIDEWALK

EXT'G. 2 STORY RES. WD. FRAMED HOUSE W/ ALTERATIONS & NEW CRAWL SPACE FOUNDATION TO REPLACE EXT'G. BSMT. FOUNDATION. TYP. AS INDICATED AND REQUIRED TO ACCOMMODATE. REF. ALL DRAWINGS.

NEW 2 STORY RES. WD. FRAMED HOUSE AND GARAGE ADDITION W/ NEW CRAWL SPACE/FOUNDATION TYP. AS INDICATED AND REQUIRED TO ACCOMMODATE. REF. ALL DRAWINGS.

NEW COVERED PORCH ADDITION. REF. ALL DRAWINGS.

NEW WOOD STEPS.

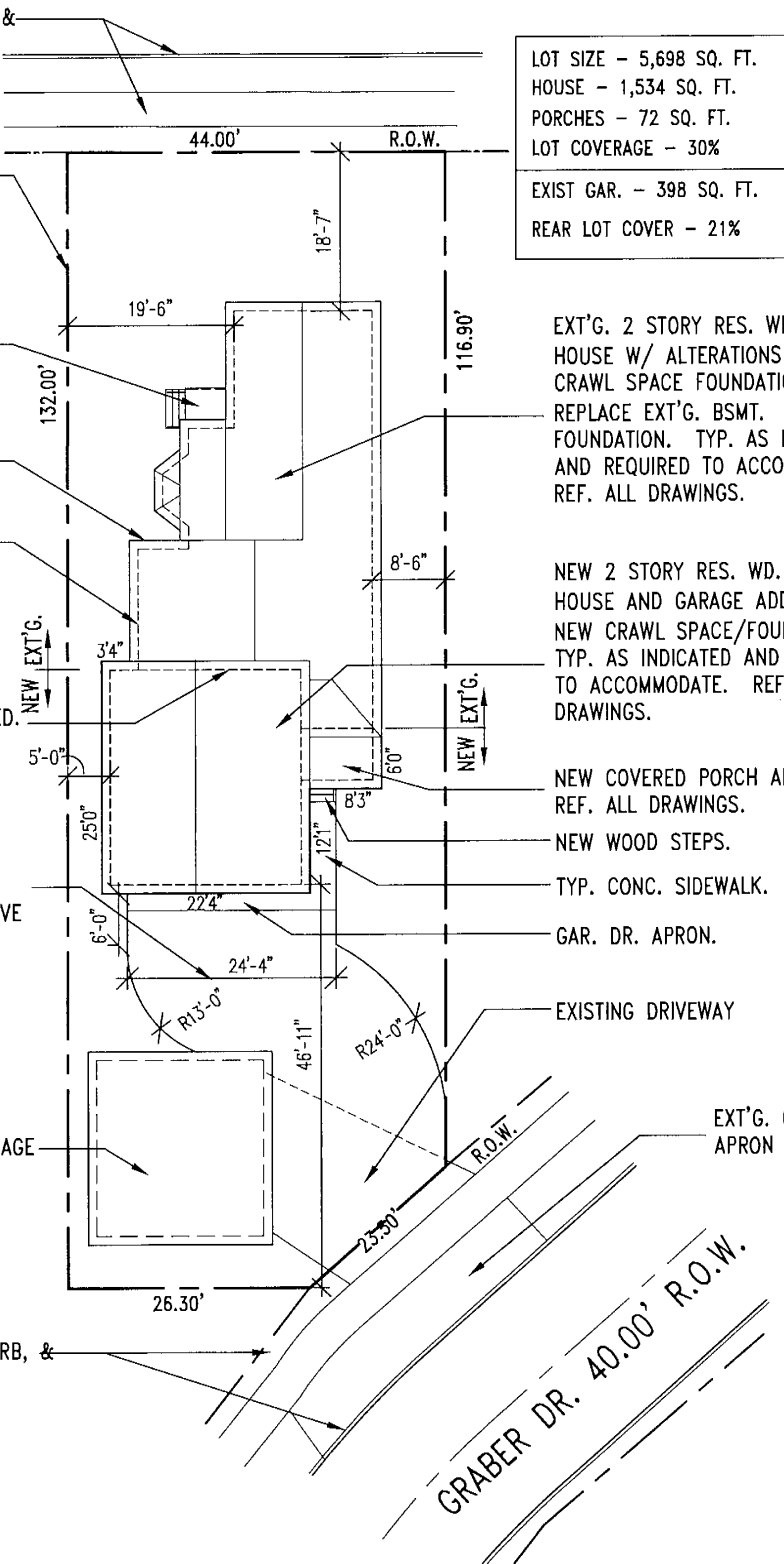
TYP. CONC. SIDEWALK.

GAR. DR. APRON.

EXISTING DRIVEWAY

EXT'G. CONCRETE PAVED APRON & CURB CUT.

GRABER DR. 40.00' R.O.W.



Client Name/Project Name/Address	1464 Riverside Drive Lakewood, Ohio 44107
DATE	06/17/21
PREPARED BY	12/20/21
DRAWN BY	12/20/21
DATE REVISED/REVISED BY	04/01/22

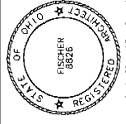
1464 Riverside Drive  
(Alterations & Additions)

Drawing Name  
DRAWINGS

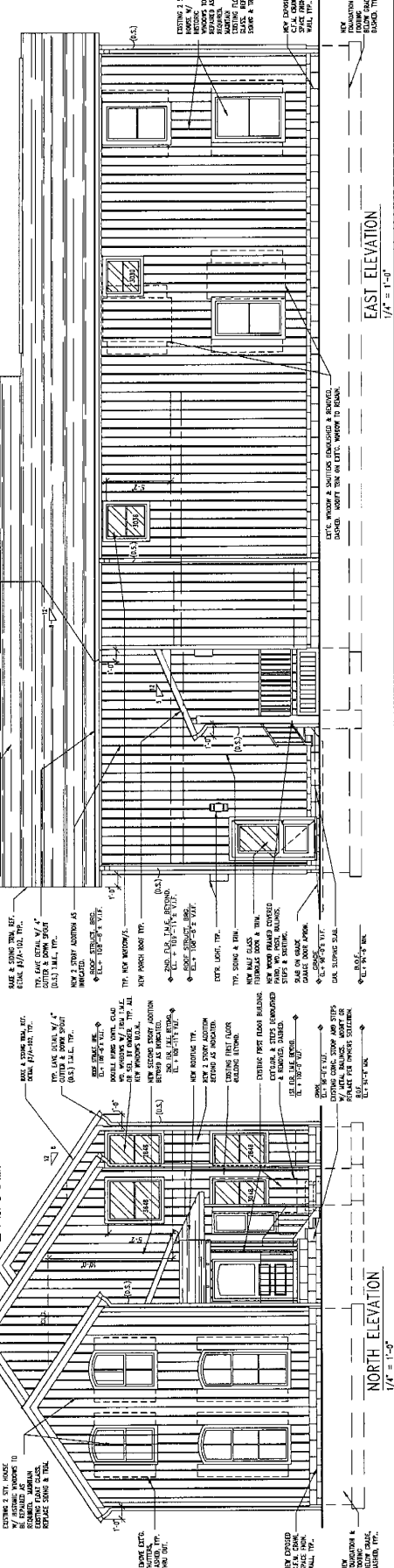
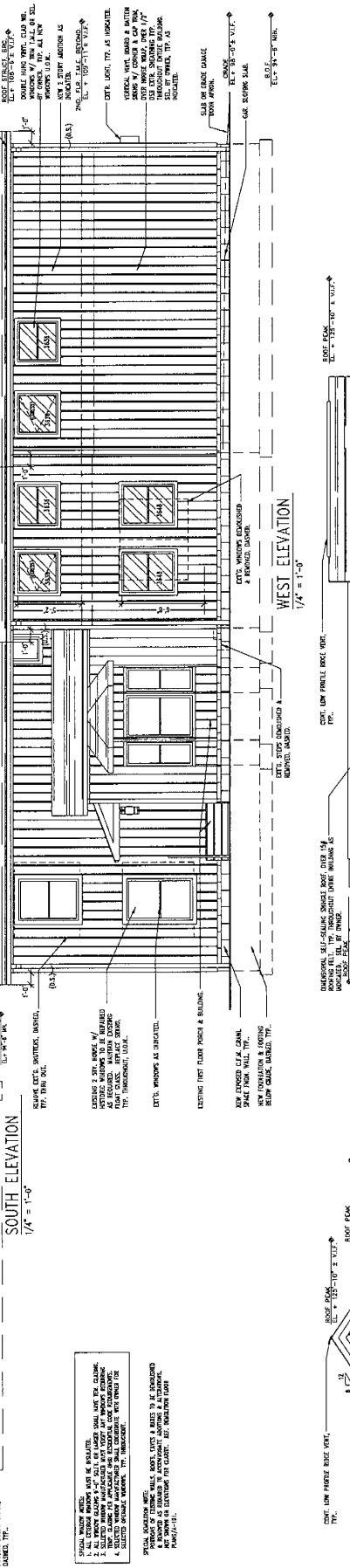
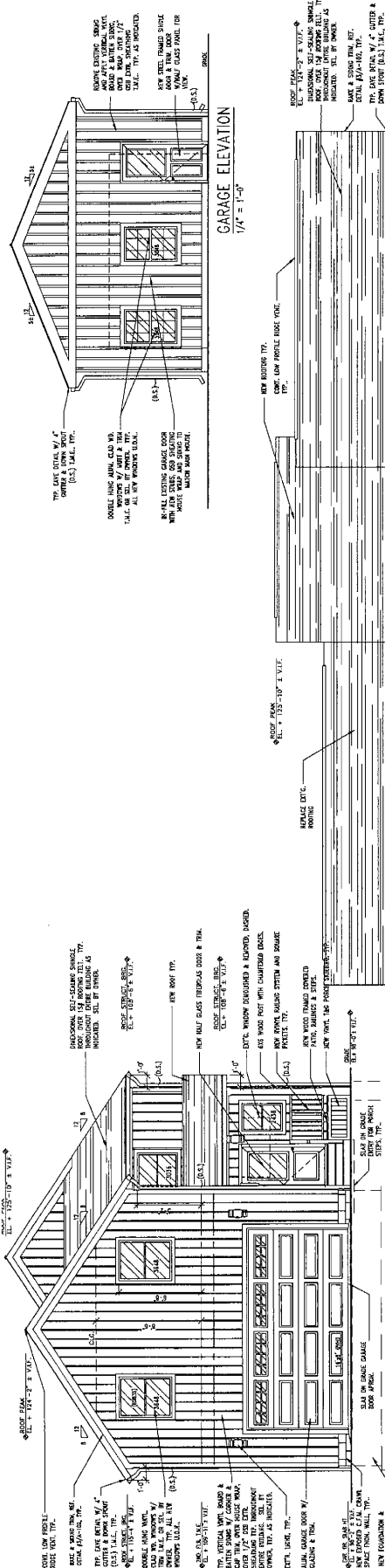
Fisher Project Number  
21.046A

SHEET #  
A-103

Scale



DANEY FISCHER, LICENSE #9858  
EXPIRES DATE 12/31/2022



GENERAL NOTES:  
1. ALL NEW WORK SHALL BE INSTALLED AS SHOWN ON THESE DRAWINGS.  
2. ALL NEW WORK SHALL BE INSTALLED AS SHOWN ON THESE DRAWINGS.  
3. ALL NEW WORK SHALL BE INSTALLED AS SHOWN ON THESE DRAWINGS.  
4. ALL NEW WORK SHALL BE INSTALLED AS SHOWN ON THESE DRAWINGS.  
5. ALL NEW WORK SHALL BE INSTALLED AS SHOWN ON THESE DRAWINGS.



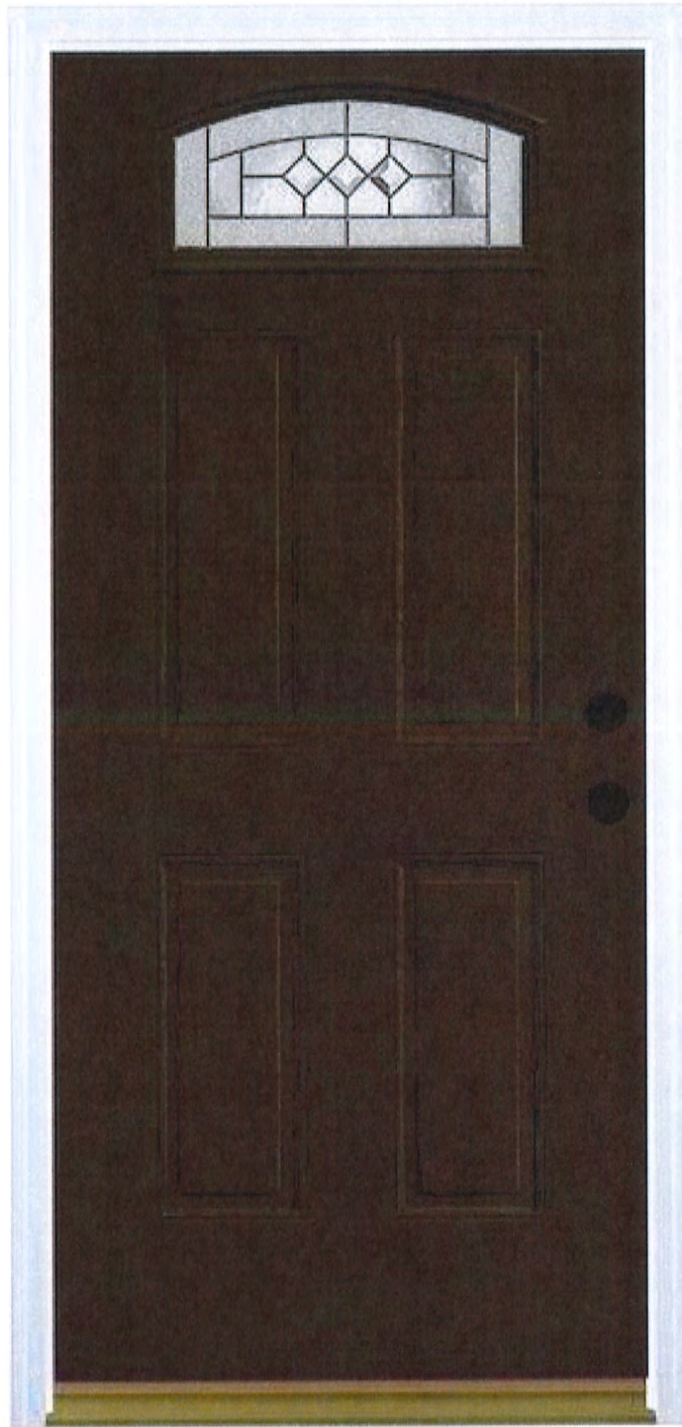
WEST ELEVATION  
1/4" = 1'-0"



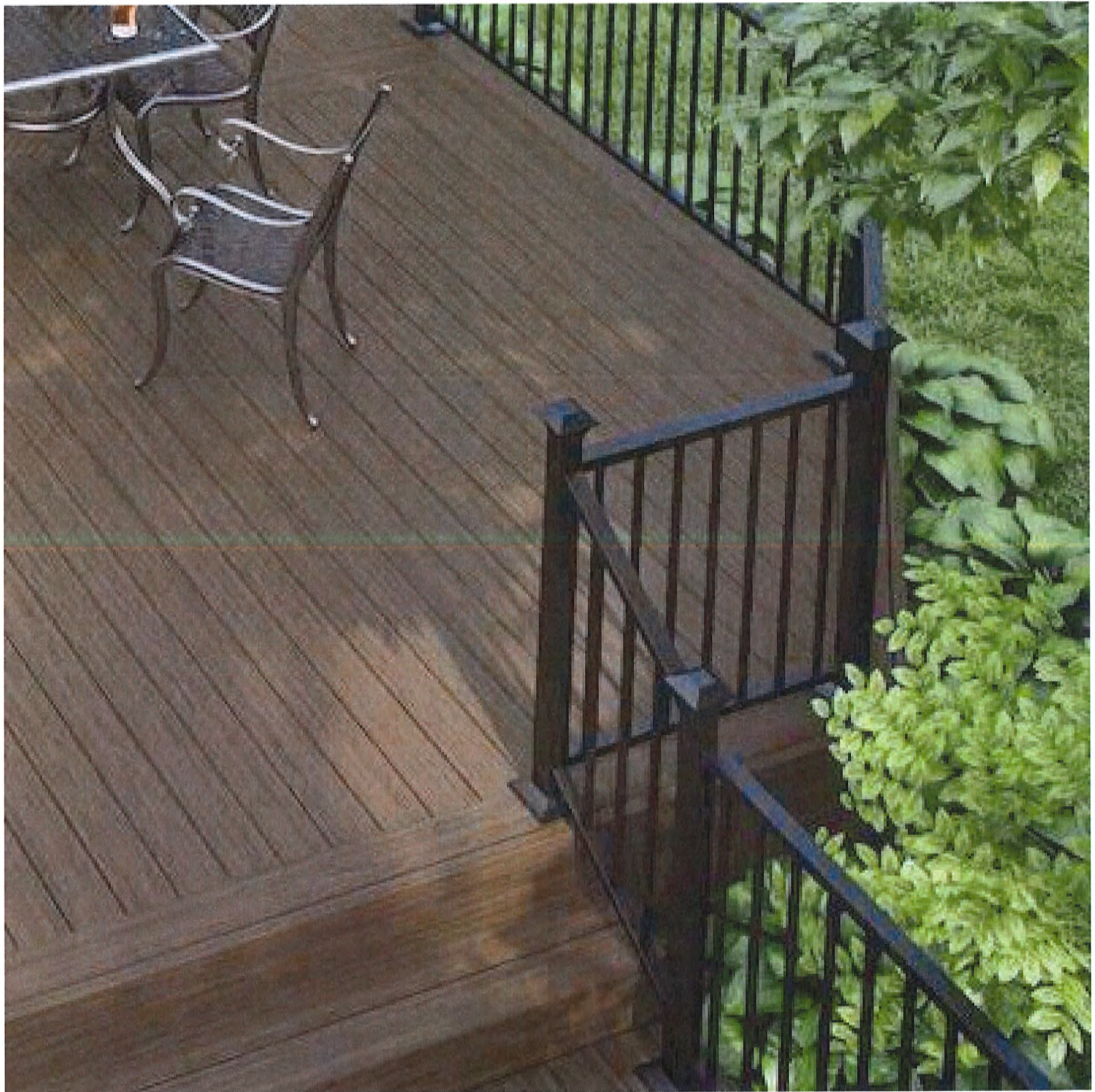
NORTH ELEVATION  
1/4" = 1'-0"



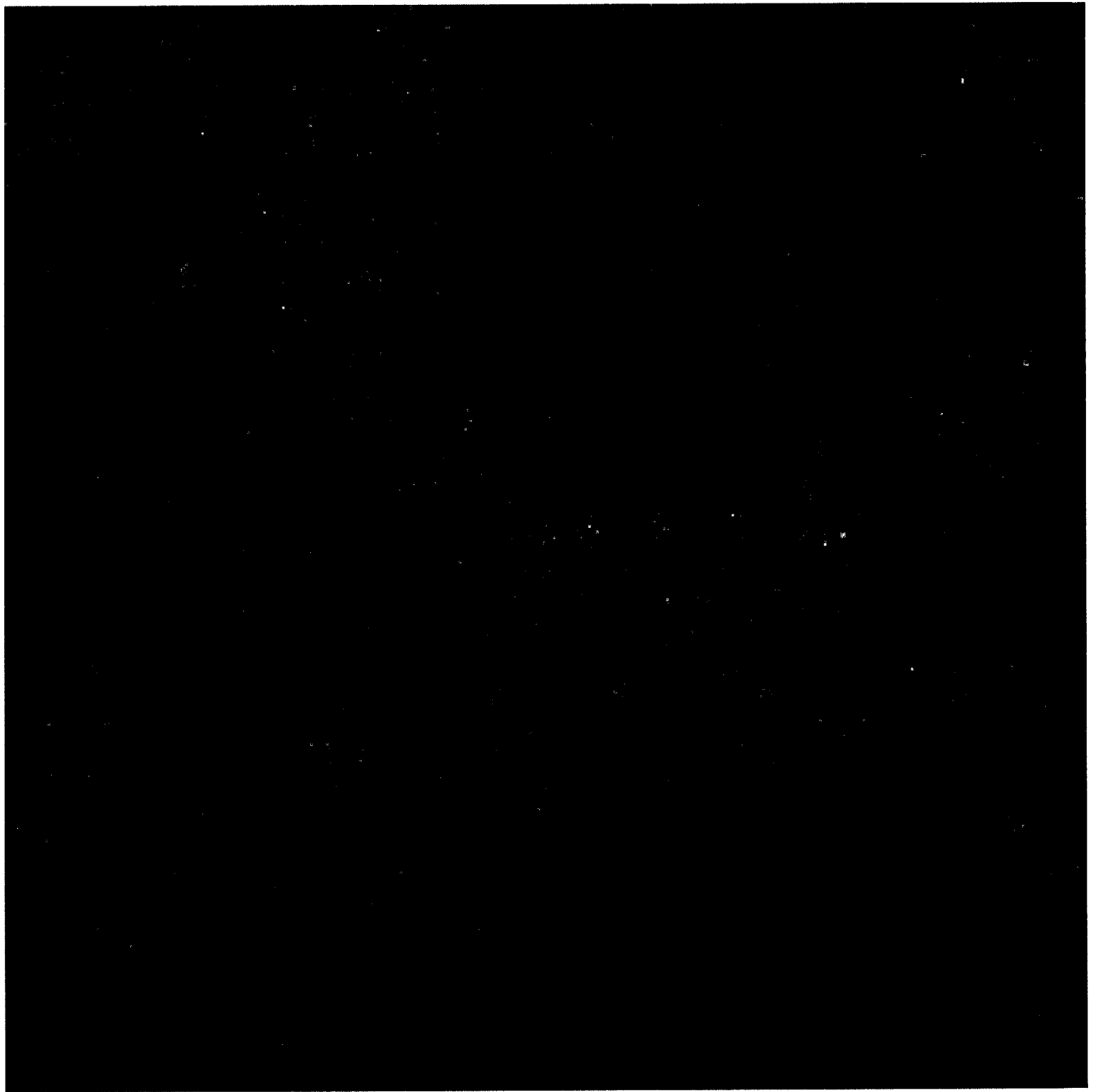
SOUTH ELEVATION  
1/4" = 1'-0"

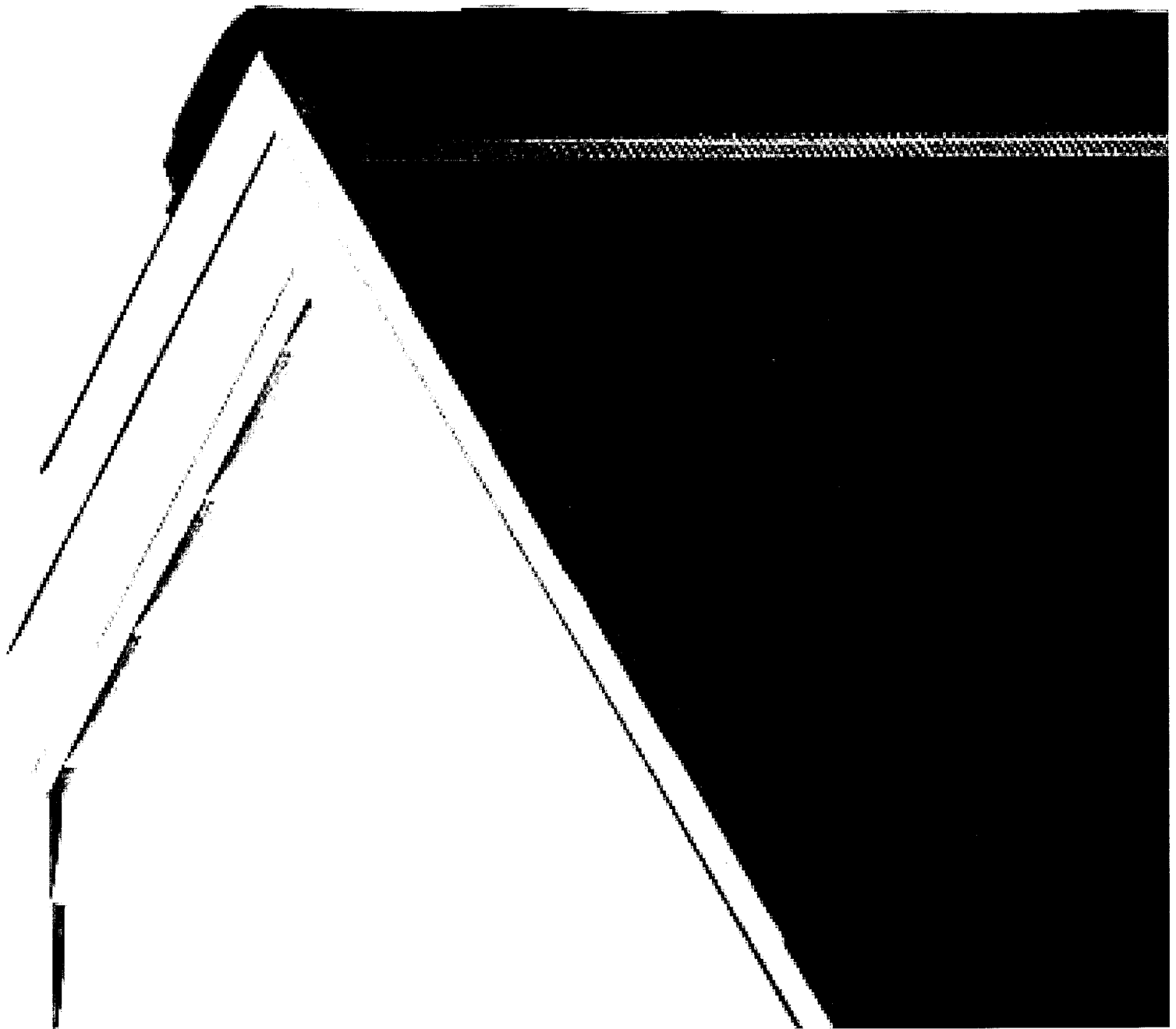




















Small white rectangular label on the utility shed.

*Spurs  
Stable  
Southern*

CENTURY +





# 1464 RIVERSIDE DRIVE

## (Alterations & Additions)

1464 Riverside Drive – Lakewood, Ohio 44107

### GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

GOVERNING CODE: LATEST (R.C.O. 2019 RESIDENTIAL BUILDING CODE INCLUDING AMENDMENTS GROUPS AND ALL APPLICABLE STATE & LOCAL APPLICABLE STATE OF OHIO AND LOCAL CODES AND ORDINANCES.

IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDING/S APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS.

ALL INFORMATION RELATED TO EXISTING CONDITIONS HAS BEEN PROVIDED BY OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF ANY WORK.

USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL & ELECTRICAL INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENTS BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTORS RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATIONS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

### DEMOLITION:

PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. SECURE ALL WORK TO REMAIN. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED. REF. DEMO. PLAN & NOTES/G-100.

PROVIDE ALL CUTTING AND PATCHING OF EXISTING FLOORS, WALLS AND CEILING AS REQUIRED TO ACCOMMODATE NEW LAYOUT, WHERE APPLICABLE. PATCH, AS REQUIRED AND INDICATED, TO MATCH EXISTING AND/OR NEW ADJACENT WALLS, FLOORS AND CEILING IN A MANNER TO ACHIEVE A SMOOTH EVEN AND UNIFORM APPEARANCE UNLESS OTHERWISE INDICATED.

### STRUCTURAL NOTES: (GENERAL)

1. THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND THE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.

2. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.

3. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

### DESIGN CRITERIA:

1. DEAD LOAD 1ST. FLOOR – 10 PSF LIVE LOAD FLOOR – 40 PSF
2. DEAD LOAD 2ND. FLOOR/PORCH – 10 PSF LIVE LOAD FLOOR – 30 PSF
3. DEAD LOAD ROOF– 20 PSF LIVE LOAD ROOF– 25 PSF
4. WIND LOAD 115 MPH EXPOSURE B
5. GROUND SNOW LOAD – 30 PSF
6. SEISMIC – SITE CLASSIFICATION (C) USE GROUP (1) DESIGN (A) (WIND LOAD GOVERNS)

### CONCRETE AND MASONRY

1. CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.
2. CAST IN PLACE CONC. FOOTINGS TO BE SET ON MIN. 1,500 PSF SOIL BEARING.
3. EXTERIOR CONC. FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF 3'-6" BELOW FINISHED GRADE.
4. ALL REINFORCING SHALL BE A.S.T.M. A-36.
5. CONC. BLOCK: ASTM C90 (HOLLOW) ASTM C145 (SOLID).
6. MORTAR: TYPE S, MIN. COMPRESSIVE STRENGTH: 1,800 PSI.
7. CORE FILL: ASTM C476, COARSE TYPE.
8. JOINT REINFORCING: STANDARD DURAWALL, MILL GALVANIZED FINISH.
9. ALL C.M.U. SHALL BE MADE USING DRY BLOCK.
10. PROVIDE UNITS OF SIZE INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE OR FINISH CANNOT BE PRODUCED FROM STANDARD SHAPES. TYPICAL ALL BRICK VENEER THROUGHOUT, WHERE APPLICABLE.

### ROUGH CARPENTRY

1. SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
  - A. NATIONAL DESIGN SPECIFICATION FOR WOOD & METAL FRAME CONSTRUCTION.
  - B. U.S. PRODUCT STANDARDS PS-1 FOR CONSTRUCTION & INDUSTRIAL PLYWOOD.
  - C. APA CONSTRUCTION GUIDE – RESIDENTIAL.
2. CONNECTIONS:
  - A. PLYWOOD TO RAFTERS/JOISTS ROOFS & FLOORS – USE 8D NAILS @ 6" O.C. @ PANEL EDGES AND 12" O.C. @ INTERMEDIATE SUPPORTS.

### ROUGH CARPENTRY (CONTINUED)

- B. ALL CONNECTIONS OF STRUCTURAL BEAMS & RIDGE MEMBERS SHALL BE MADE UTILIZING HIGH STRENGTH (MIN. 14 GA.) HURRICANE STRENGTH, METAL FRAMING HANGERS/CONNECTORS WITH NAILING AT ALL HOLES.
- C. ANY LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE AND/OR MASONRY MUST BE TREATED. ALL FASTENERS MUST BE COMPATIBLE WITH SELECTED WOOD OR METAL TREATMENT MATERIAL UTILIZED USING HDC. OR SS WHERE APPLICABLE.
- D. CORNER BRACING TO BE METAL T STRIP DIAGONAL BRACING, SIMPSON TWB OR EQUAL. LOCATE AT ALL BUILDING CORNERS AND UNINTERRUPTED SPANS OF 8'-0" OR GREATER.
- E. ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL UTILIZE MIN. 3Ø 2"x8" HEADER WITH 2Ø 2"x6" JAMB BLOCKING EACH END OF OPENING UNLESS OTHERWISE INDICATED. ALL INTERIOR DOOR, DOORWAY, WINDOW AND PASS THRU OPENINGS SHALL UTILIZE MIN. 2Ø 2"x6" HEADER WITH 2Ø 2"x4" BLOCKING EACH END OF OPENING. TYPICAL UNLESS OTHERWISE INDICATED.
- F. ALL SOLID BLOCKING, (S.B.) AT EXTERIOR OPENINGS, BEARING POINTS AND EXTERIOR CORNERS AS REQUIRED AND SHOWN ON DRAWINGS SHALL BE 3Ø2" x 6", FOR INTERIOR 3Ø2"x4" WALLS, STRUCT. SET ALL ON SOLID BEARING. SOLID BLOCKING AT BEARING POINTS HIDDEN IN WALLS SHALL HAVE 2x4 LATERAL BRACING TO NEXT STUDS Ø2'-0" O.C. HORIZONTAL.
- G. PROVIDE ALL NECESSARY MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT AND ACCESSORIES INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS AND HARDWARE, CABINETS, COUNTERS AND KITCHEN, LAUNDRY ROOM AND ACCESSORIES.
- H. DOUBLE JOISTS UNDER PARTITIONS, AT FLOOR OPENINGS IN A MANNER TO AFFORD STRUCTURAL INTEGRITY.
- I. ALL NEW INTERIOR AND EXTERIOR STAIRS AND STEPS SHALL HAVE MAX. 8.25" RISERS AND MIN. 10" TREADS, TYP. U.O.N.. V.I.F. ALL ELEVATION CHANGES PRIOR TO START OF ANY WORK.
- J. ALL NEW EXTERIOR WALL INSULATION SHALL BE MIN. R-20. ALL NEW EXTERIOR ROOF INSULATION SHALL BE MIN R-49. FLOOR ABOVE CRAWL SPACE & BELOW GARAGE SHALL BE R-30. TYP. IN A MANNER COMPLETE BUILDING ENVELOPE.
- K. WHERE BEAMS MAY END ON OPEN POCKET, PROVIDE BEAM ATTACHMENT BY WELDING OR BOLTED CLIP ANGLE EACH SIDE W/ NOT LESS THAN ONE ½" BEAM BOLT AND ONE ½" WALL ANCHOR PER ANGLE, AS REQUIRED FOR ADEQUATE STRUCT. SUPPORT, WHERE MAY BE APPLICABLE.

### FINISHES

1. ALL FINISH MATERIALS AND COLORS, EXTERIOR AND INTERIOR, NOT SPECIFIED SHALL BE TO MATCH EXISTING OR SELECTION BY OWNER.
2. ALL WINDOWS ARE SHOWN WITH NOMINAL DESIGNATIONS. MATCH EXISTING OR COORDINATE WITH OWNER FOR MANUF. AND ACCESSORIES.
3. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED OR ARCHITECT APPROVED EQUIVALENT. ANY SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FINAL SELECTION.

### CUSTOM FINISH SPECIAL NOTES:

1. ALL INTERIOR FLOOR FINISH SHALL BE T.M.E. OR SELECTION BY OWNER.
2. ALL INTERIOR TRIM SHALL BE FINISH WOOD INCLUDING BUT NOT LIMITED TO BASE, DOOR TRIM AND WINDOW TRIM T.M.E. OR SELECTION BY OWNER.
3. ALL COUNTER TOPS SHALL BE PER OWNERS SELECTION.
4. ALL KITCHEN & OTHER CABINETS/VANITIES SHALL BE FULL CUSTOM.
5. ALL EXTERIOR WINDOWS AND DOORS SHALL BE INSUL. & T.M.E., OR AS SELECTED BY OWNER
6. ALL EXTERIOR FINISHES SHALL BE NEW TO REPLACE EXT'G. SELECTED BY OWNER INCLUDING BUT NOT LIMITED TO SIDING, TRIM, DECKING & ROOFING U.O.N..
7. COORDINATE ALL WITH OWNER, U.O.N..

### SHOP DRAWINGS

- MIN. 4 COPIES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION FOR THE ITEMS LISTED BELOW INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
1. MASONRY UNITS, MORTAR, GROUT, REINFORCEMENT & ACCESSORIES
  2. WINDOWS, DOORS AND HARDWARE
  3. CABINETS & COUNTERS PER OWNERS SELECTION
  4. MECHANICAL & ELECTRICAL FIXTURES, EQUIPMENT & ACCESSORIES
  5. KITCHEN COUNTERS, CABINETS, FIXTURES & ACCESSORIES
  6. STAIRS, RAILING, GUARD & HAND RAILS.
  7. FLASHING, CAULKING & SEALANTS
  8. INTERIOR AND EXTERIOR TRIM/MOLDED MILLWORK
  9. EXTERIOR FINISHES.
  10. ROOFING, ROOFING MATERIALS, GUTTERS & DOWNSPOUTS

### GENERAL CONSTRUCTION NOTES:

- FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
1. NEW WET AREAS. USE MOISTURE RESISTANT G.W.B. AT ALL NEW WET WALLS ON THE SIDE OF THE WALL THAT RECEIVES A FIXTURE WITH A WATER HOOKUP.
  2. ALL DIMENSIONS REFERENCE FROM CONCRETE/MASONRY WALLS ARE FROM FACE OF MASONRY AND NOT FROM FURRED GYP. BD.
  3. BRACE ALL INTERIOR PARTITIONS TO STRUCT. OF ADJACENT WALLS, FLOOR BELOW, CEILING &/OR ROOF ABOVE CEILING AS REQUIRED TO PREVENT WALLS FROM FLEXING.
  4. ALL NEW DOOR & WINDOW HEADS SHALL BE AT 6'-8" A.F.F. U.O.N..
  5. ALL NEW DOOR OPENINGS ARE TO BE LOCATED 4" FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
  6. FRAMING CONTRACTORS SHALL PROVIDE SOLID BLOCKING CONCEALED IN WALLS AND ROUGH OPENINGS, AS REQUIRED, FOR ALL ACCESSORIES INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, CLOSET SHELVING/RODS, BATHROOM FIXTURES & ACCESSORIES, ETC.
  7. CABINET/MILLWORK CONTRACTOR SHALL VERIFY ARCHITECTS OPENING DIMENSIONS FOR REFRIGERATORS, MICROWAVES, CABINETS, FURNITURE AND OTHER EQUIPMENT TO ENSURE ADEQUATE FIT, CLEARANCE AND VENTILATION.
  8. VERIFY ALL ROUGH OPENINGS OF ALL NEW DOORS AND WINDOWS WITH THE SELECTED MANUFACTURER'S REQUIREMENTS.
  9. IN AREAS WHERE EXISTING FLOORING MATERIALS ARE TO BE REMOVED. PREP FLOOR TO RECEIVE NEW FINISHES IN A MANNER TO MAINTAIN LEVEL UNIFORM TRANSITION.

### ENGINEERING COORDINATION

PLUMBING:  
COORD. WITH FLOOR PLANS/A-100 FOR SCHEMATIC PLUMBING FIXTURE LOCATIONS. REFERENCE SPECS. & RISER DIAGRAMS /MPE-100.

### H.V.A.C.

PROVIDE H.V.A.C. ADDITIONS & ALTERATIONS AS REQUIRED TO ACCOMMODATE BUILDING RENOVATION LAYOUT. INSTALL PER SELECTED MANUF. SPECS. & INSTALLATION INSTRUCTIONS. COORD. WITH OWNER FOR NUMBER AND LOCATION OF ZONES. REF. MECHANICAL SPECS/MPE-100. FILED UNDER SEPARATE PERMIT.

### ELECTRICAL:

COORDINATE WITH FLOOR PLANS/A-100 FOR SCHEMATIC ELECTRICAL FIXTURE LOCATIONS & ELECTRICAL ENGINEERING SPECS. & SCHEDULE/MPE-100.

### SPECIAL CONTRACTORS NOTE:

ARCHITECT IS RESPONSIBLE FOR ARCHITECTURAL DESIGN AND DRAFTING ONLY. ALL INFORMATION SUPPLIED BY OWNER.  
VERIFY ALL DETAILS INCLUDING BUT NOT LIMITED TO SITE CONDITIONS, CITY UTILITY REQUIREMENTS & STANDARDS, AND STRUCTURAL LOADS AND BEARING (WHERE APPLICABLE).

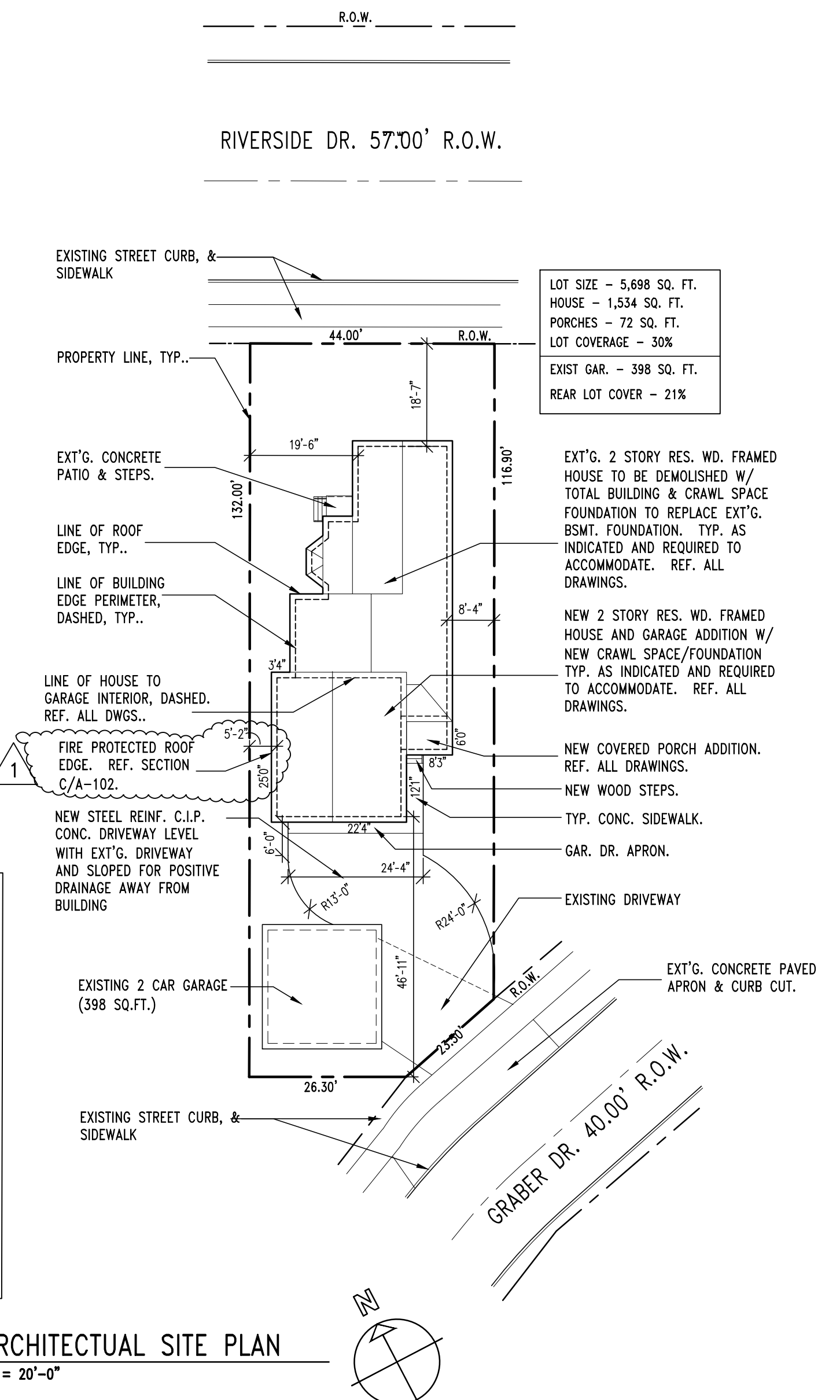
### GENERAL DEMOLITION NOTES:

1. ALL SAFEGUARDS FOR DEMOLITION SHALL FOLLOW O.B.C. CHAPTER 33.
2. FIELD VERIFY ALL EXISTING CONDITIONS/DIMENSIONS PRIOR TO START OF WORK.
3. ALL DEMOLITION DIMENSIONS ARE TO BE FIELD VERIFIED AND COORDINATED WITH FLOOR PLAN INFORMATION.
4. COORDINATE ALL ASPECTS OF DEMOLITION WITH NEW FLOOR AND ENGINEERING PLANS, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DWGS.
5. CONTRACTOR SHALL VISIT JOB SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH WILL AFFECT THE EXECUTION OF WORK. IF ADDITIONAL INTERPRETATION IS REQUIRED REGARDING THE SCOPE DEMOLITION INTENT, CONTACT THE ARCHITECT PRIOR TO START OF WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR FAILURE TO OBTAIN THIS INFORMATION.
6. PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE RENOVATION WORK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTAINING FOLLOWING DURING WORK:
  - A. FIRE DETECTORS IN COMPLIANCE WITH LOCAL BUILDING CODE AND FIRE MARSHALL
  - B. DEBRIS DISPOSAL AND DUMPSTER
  - C. INTERIOR AND EXTERIOR DUST CONTROL/SANITARY SAFEGUARDS
  - D. EXISTING STRUCTURAL ELEMENTS
8. PROVIDE SHORING/BRACING AS REQUIRED AT ALL AREAS OF DEMOLITION. STRUCTURE SHALL BE SELF-SUPPORTING AFTER DEMOLITION IS COMPLETE.
9. INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, AND PERMITS NECESSARY FOR COMPLETION OF THE DEMOLITION WORK. PROVIDE PROTECTION FOR ALL ADJACENT AREAS BEFORE, DURING AND AFTER EXECUTION OF THE DEMOLITION WORK.
10. PROVIDE ALL CUTTING OF EXISTING WALLS, FLOORS & CEILING AS REQUIRED TO ACCOMMODATE EXISTING BUILDING NEW RENOVATION LAYOUT.
11. CAP OFF OR DISCONNECT ALL UNUSED PLUMBING, HVAC & ELECTRICAL BEHIND WALLS, ABOVE CEILING OR UNDER FLOORS.
12. CONTACTOR SHALL ENSURE THAT ALL EXTERIOR OPENINGS ARE CLOSED OFF AS REQUIRED TO SECURE AGAINST INTRUSION, WEATHER, ETC. DURING ALL PHASES OF THE DEMOLITION WORK.
13. CONTRACTOR SHALL GIVE OWNER FIRST RIGHT TO SALVAGE ANY AND ALL EXISTING ITEMS, EQUIPMENT, MATERIALS, ETC. ALL ITEMS TO BE SALVAGED BY THE OWNER SHALL BE CAREFULLY REMOVED AND STORED ON SITE BY THE CONTRACTOR FOR SALVAGE BY THE OWNER. ALL OTHER MATERIALS, EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
14. IN THE REMOVAL OF ANY PART OF A DRAINAGE SYSTEM, DEAD ENDS SHALL BE PROHIBITED. CLEANOUT EXTENSIONS AND APPROVED FUTURE DRAINAGE SHALL NOT BE CONSIDERED AS DEAD ENDS PER OHIO PLUMBING CODE SECTION 704.5.
15. COORDINATE UTILITY SERVICE OUTAGES WITH THE APPLICABLE LOCAL UTILITY COMPANIES.
16. ALL ITEMS NOT INDICATED AS TO BE REMOVED OR RELOCATED SHALL REMAIN. PLEASE VERIFY WITH ARCHITECT PRIOR TO REMOVAL OF ANY ITEMS WHICH HAVE NOT BEEN IDENTIFIED ON ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS.



### AERIAL SITE LOCATION MAP

1" = 30'-0"



### ARCHITECTURAL SITE PLAN

1" = 20'-0"

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street  
Lorain, Ohio 44052  
Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2021  
ISSUE: DATE:

PRELIM	05/12/21
PROGRESS	12/07/21
FINAL REVIEW	12/20/21
FINAL REVIEW CLIENT REV.-PERMIT	04/01/22
CODE COMPLIANT PERMIT REVISION 1	08/14/22
COMPLETE NEW HOUSE REV. -PERMIT	09/21/22

Client Name/Project Name/Address

1464 Riverside Drive  
(Alterations & ADDITIONS)  
1464 Riverside Drive  
Lakewood, Ohio 44107

Drawing Name

COVER SHEET-GENERAL NOTES-  
ARCH. SITE PLAN-AERIAL SITE MAP

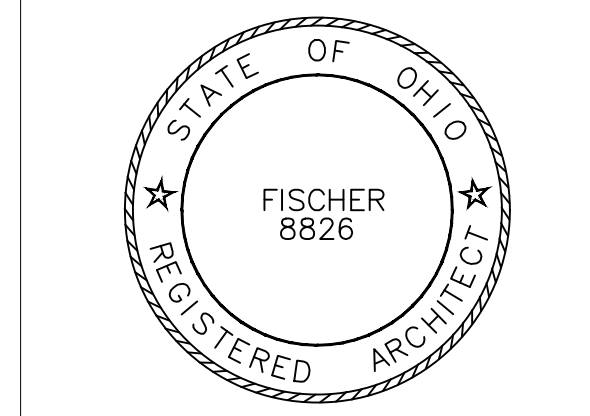
Fischer Project Number

21.046A

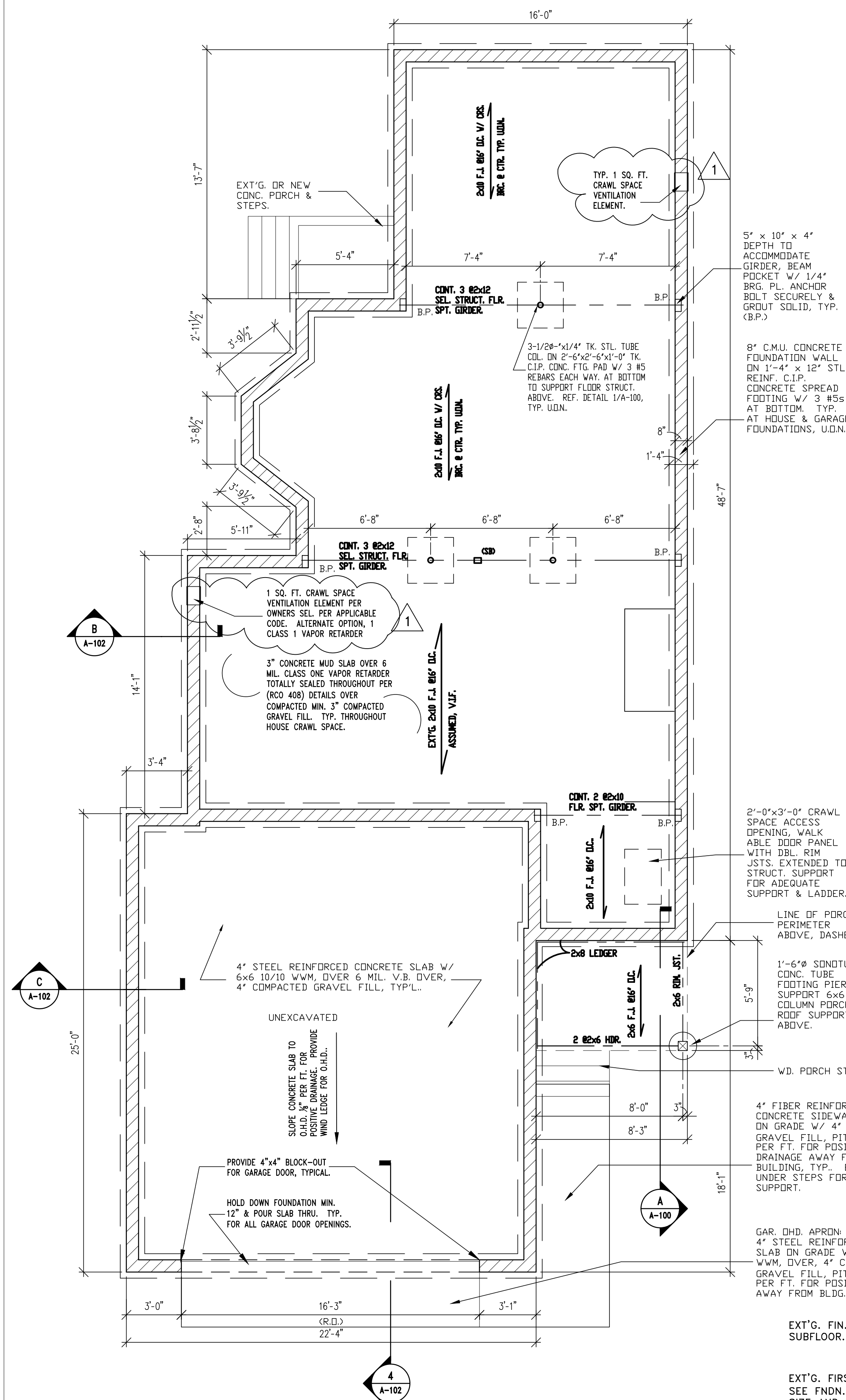
SHEET #

G-100

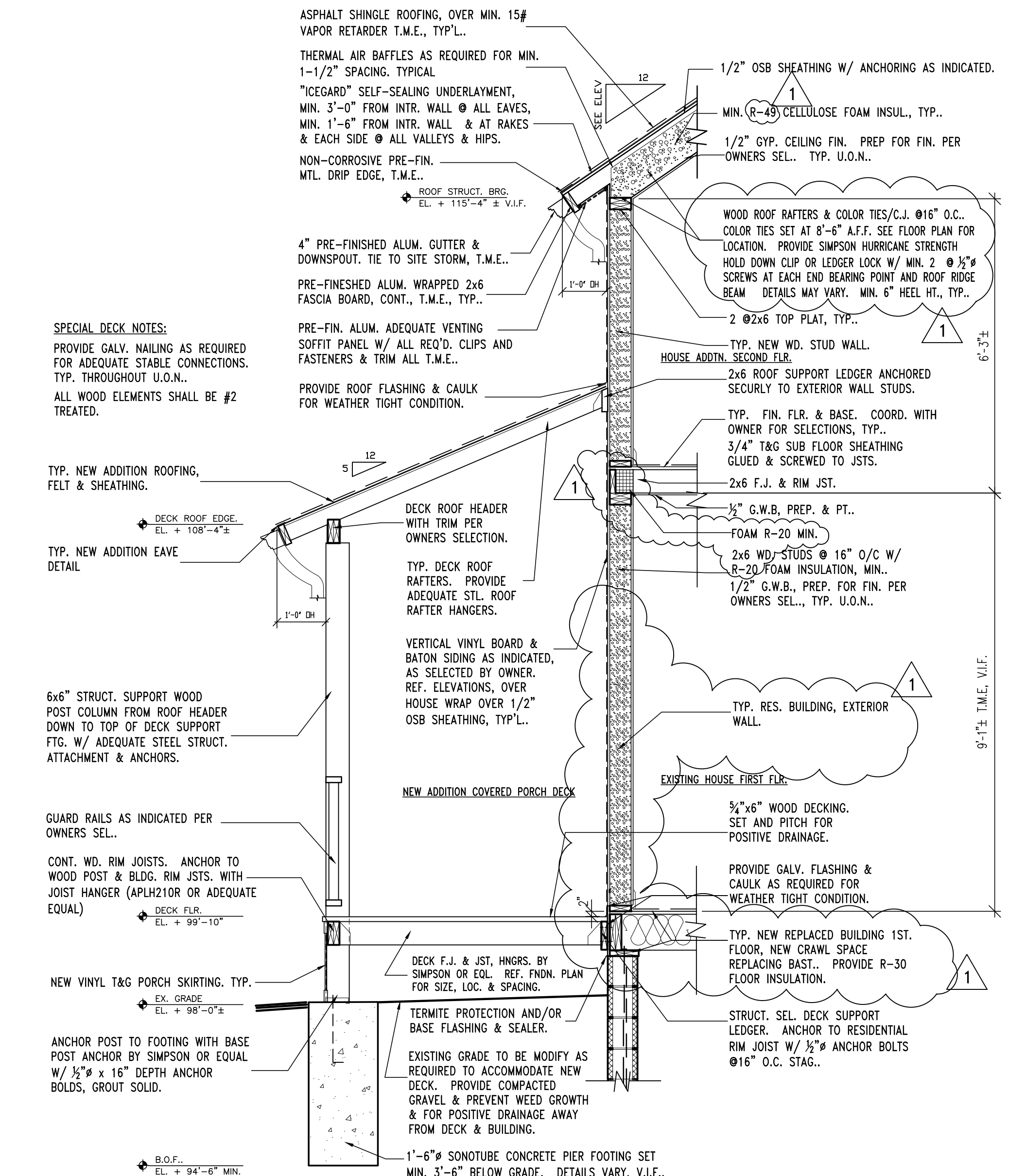
Seal



GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022

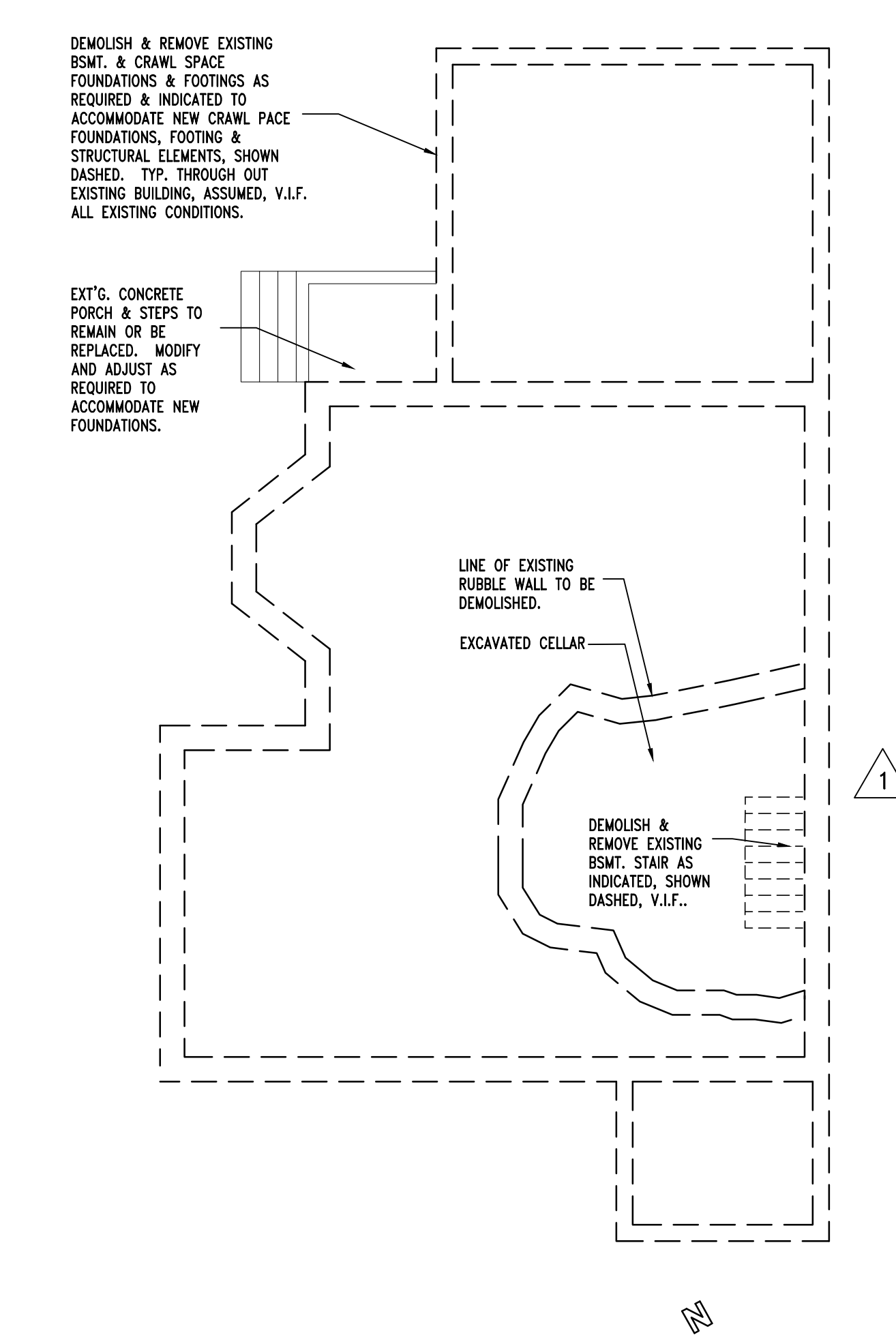


**ADDITION & REVISIONS FOUNDATION PLAN**  
1/4" = 1'-0"

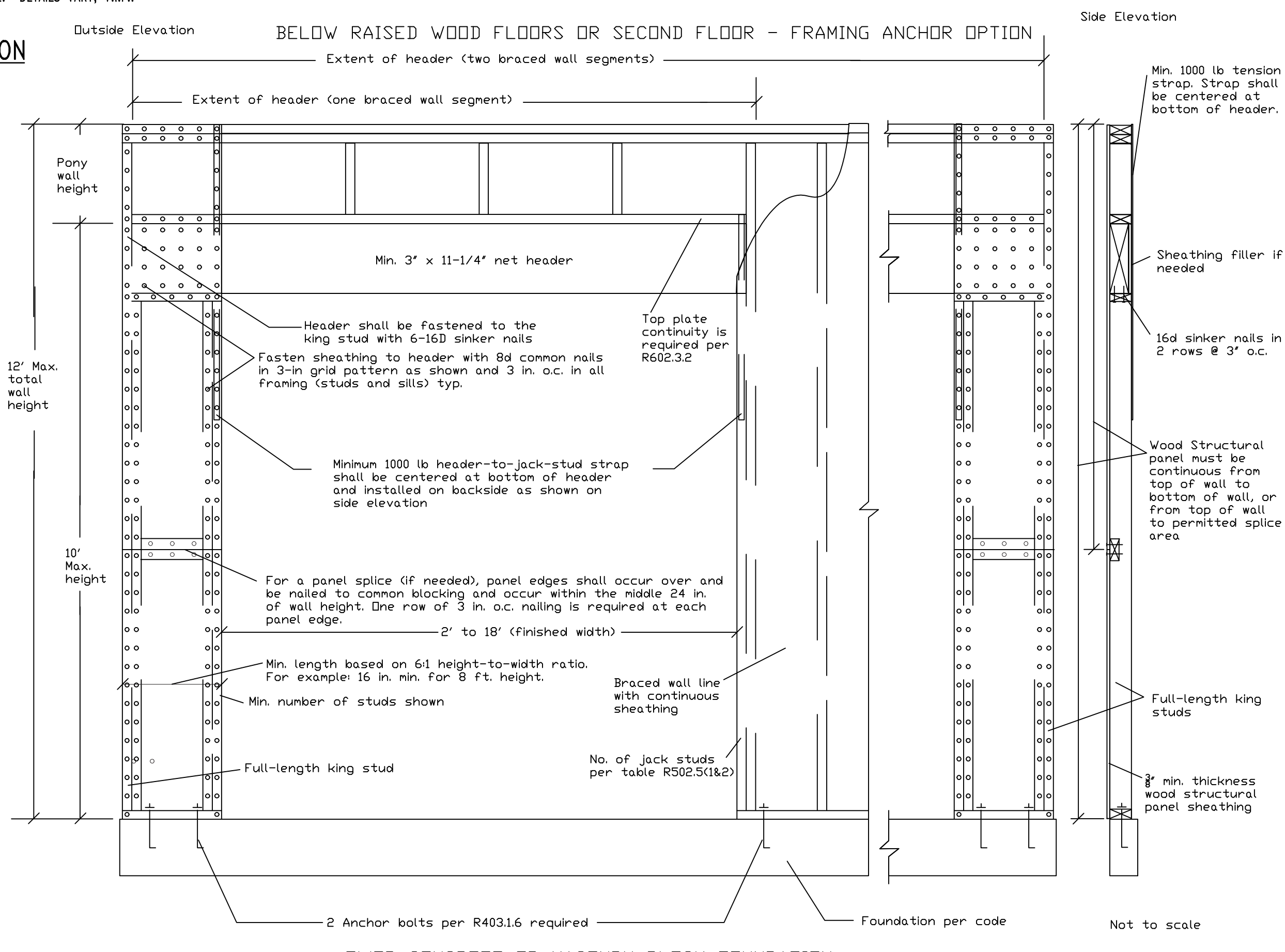


**NEW PORCH & SECOND FLOOR ADDITION SECTION**  
1/2" = 1'-0"

**CRAWL SPACE COLUMN/GIRDER SECTION DETAIL**  
3/4" = 1'-0"



**DEMOLITION FOUNDATION PLAN**  
3/16" = 1'-0"



**BELOW RAISED WOOD FLOORS OR SECOND FLOOR - FRAMING ANCHOR OPTION**  
Side Elevation

**FISCHER & ASSOCIATES**  
ARCHITECTS INC.  
554 West Ninth Street  
Lorain, Ohio 44052  
Tel: (440) 315-2300  
E mail: andrea@fischerarch.com

Fischer & Associates	© 2021
ISSUE:	DATE:
PRELIM	05/12/21
PROGRESS	12/07/21
FINAL REVIEW	12/20/21
FINAL REVIEW CLIENT REV.-PERMIT	04/01/22
CODE COMPLIANT PERMIT REVISION 1	08/14/22
COMPLETE NEW HOUSE REV. -PERMIT	09/21/22

Client Name/Project Name/Address

**1464 Riverside Drive**  
(Alterations & ADDITIONS)  
1464 Riverside Drive  
Lakewood, Ohio 44107

Drawing Name  
**DEMOLITION FOUNDATION PLAN-SECTION-DETAILS-NEW FOUNDATION PLAN**

Fischer Project Number  
21.046A

SHEET #  
**A-100**

Seal

GARY FISCHER LICENSE #8826  
EXPIRATION DATE 12/31/2022



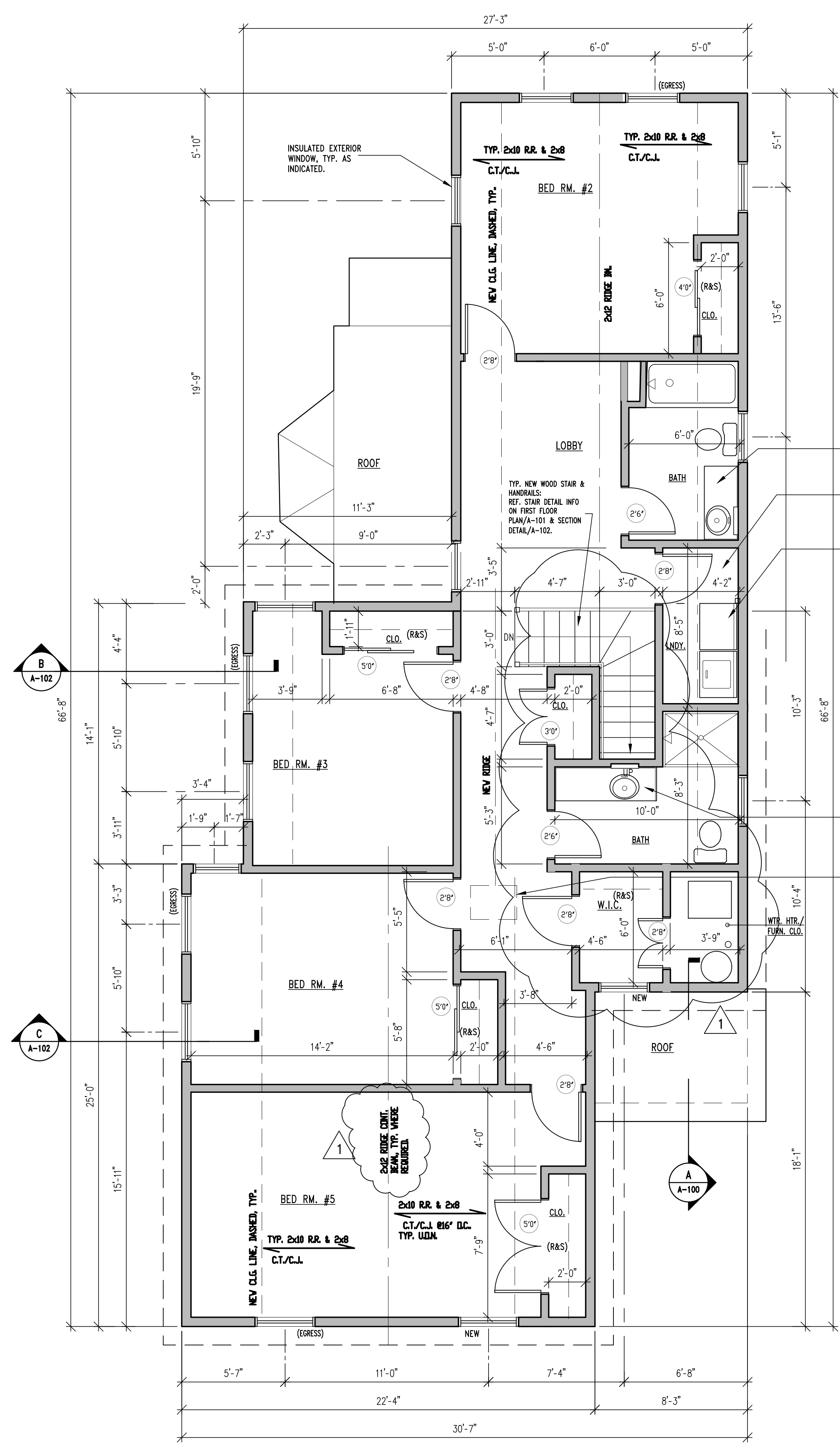
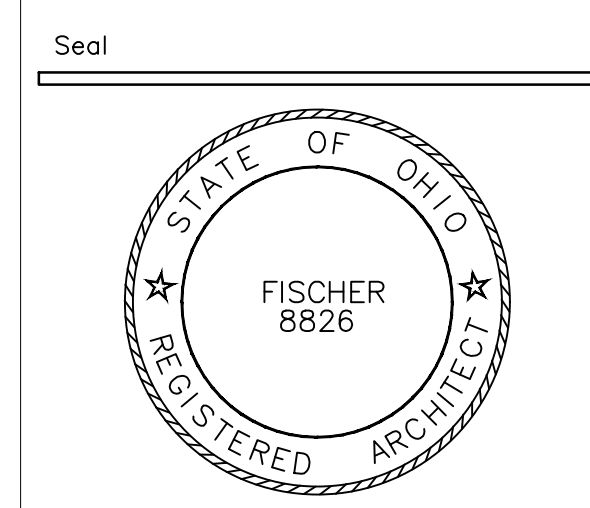
PRELIM	05/12/21
PROGRESS	12/07/21
FINAL REVIEW	12/20/21
FINAL REVIEW CLIENT REV.-PERMIT	04/01/22
CODE COMPLIANT PERMIT REVISION 1	08/14/22
COMPLETE NEW HOUSE REV. -PERMIT	09/21/22

1464 Riverside Drive  
 (Alterations & ADDITIONS)  
 1464 Riverside Drive  
 Lakewood, Ohio 44107

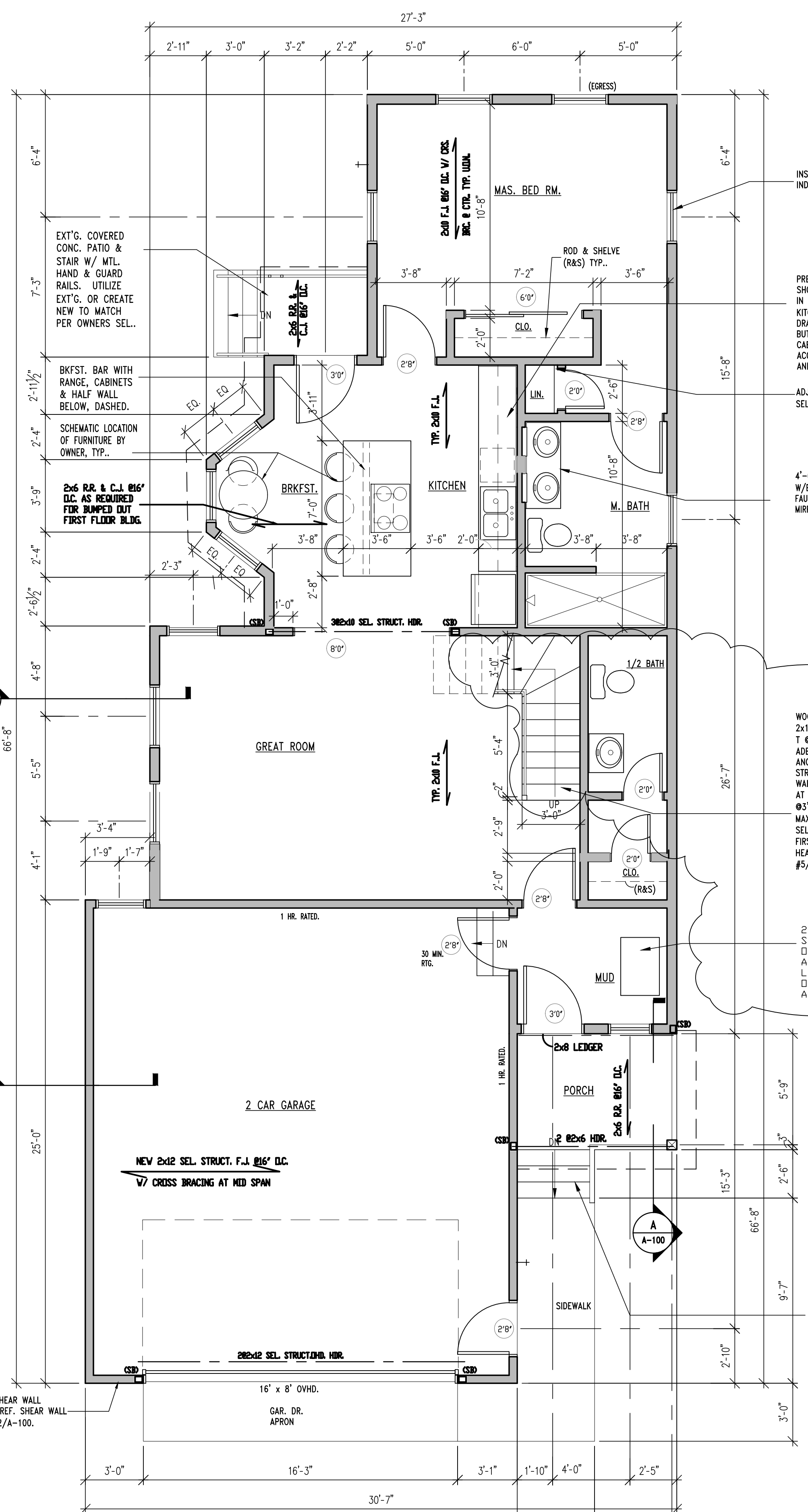
Drawing Name  
 DEMOLITION FLOOR PLANS-  
 ADDITIONS & REVISIONS FIRST & SECOND  
 FLOOR PLANS

Fischer Project Number  
 21.046A  
 SHEET #

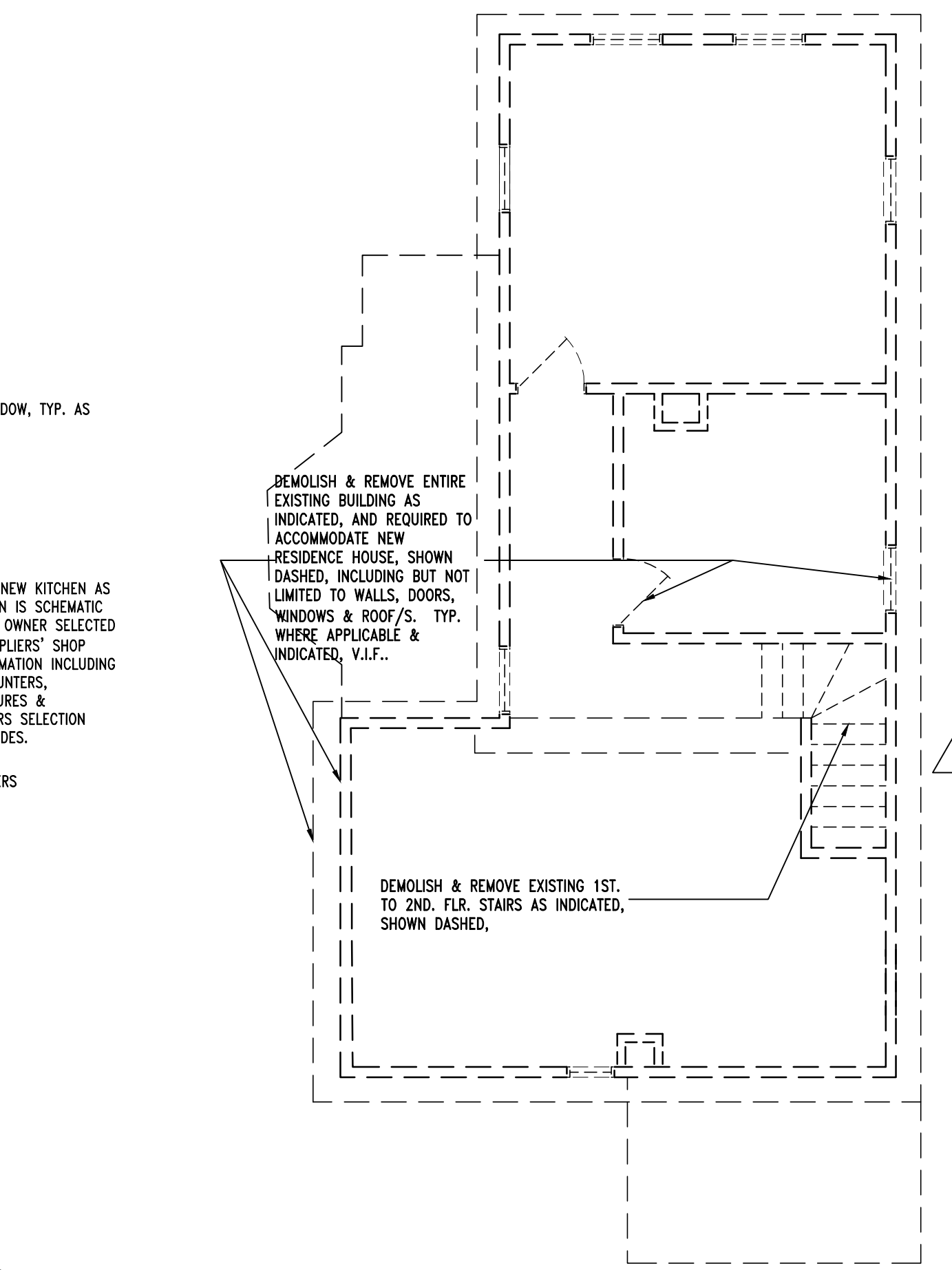
A-101



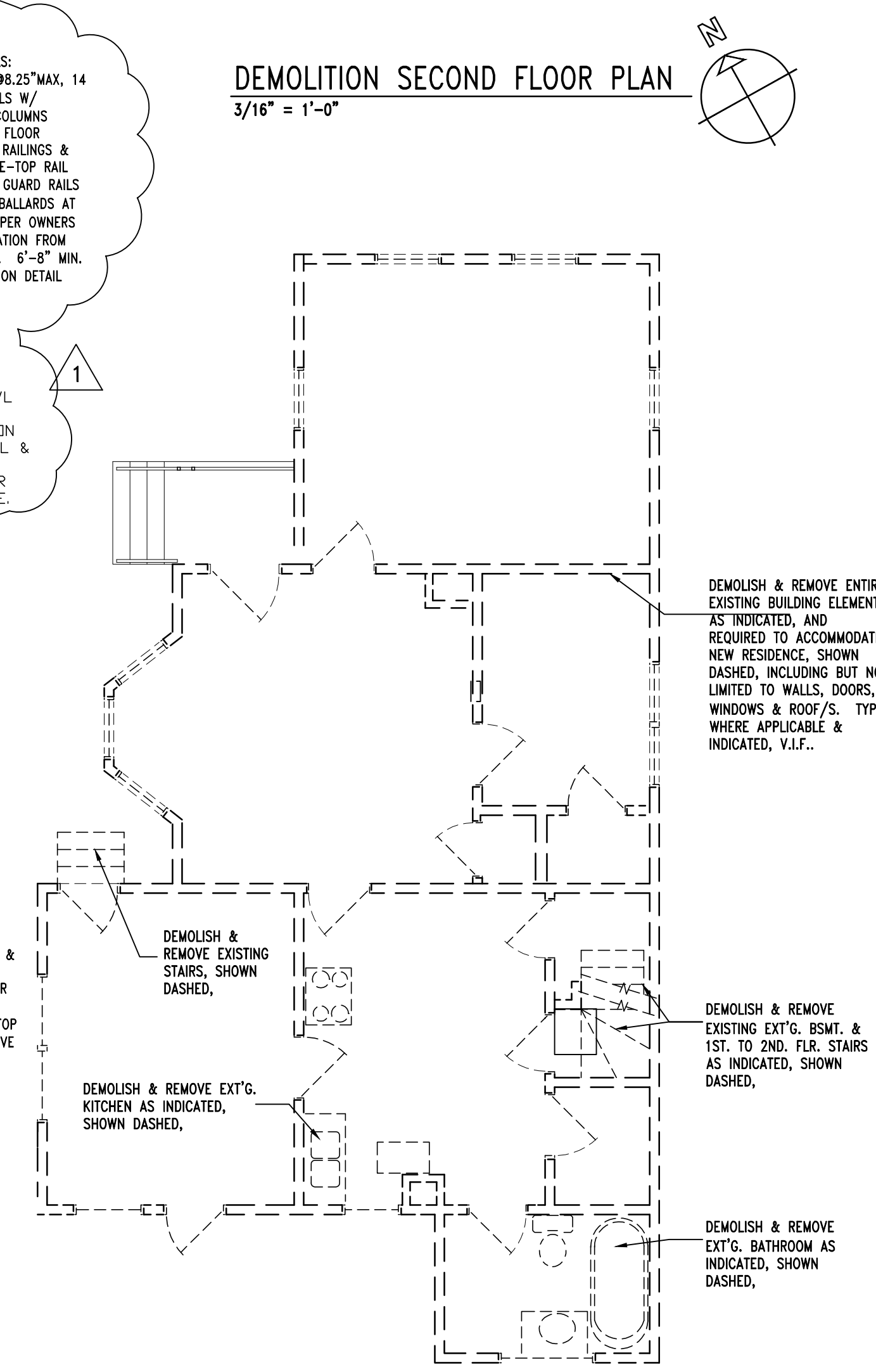
ADDITION & REVISIONS SECOND FLOOR PLAN  
 1/4" = 1'-0"



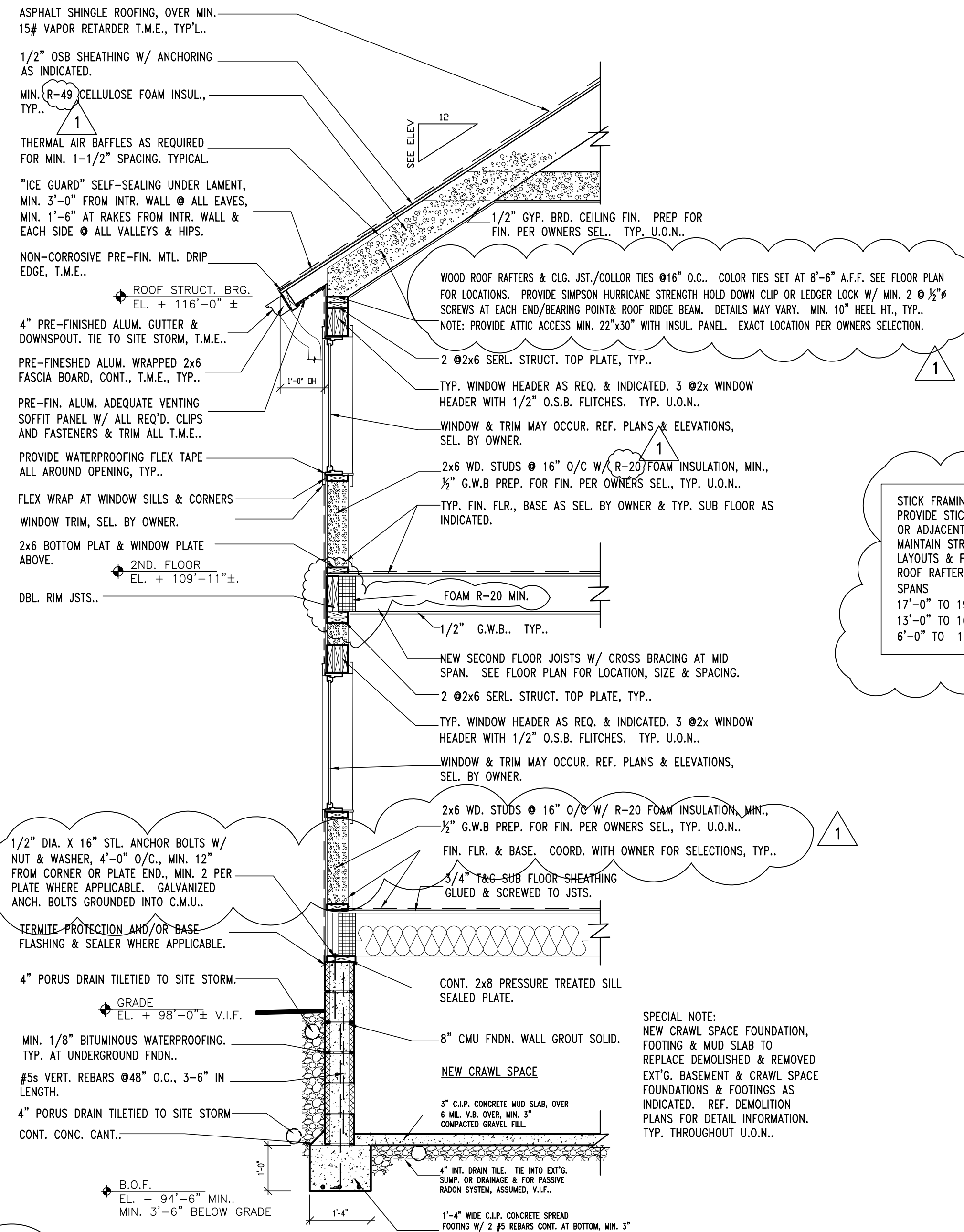
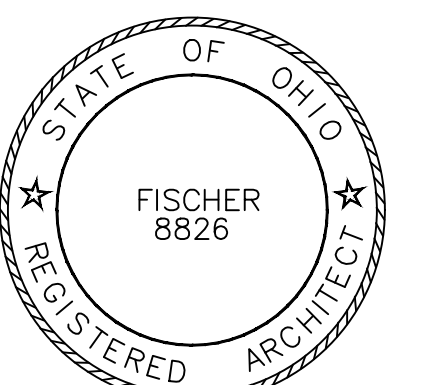
ADDITION & REVISIONS FIRST FLOOR PLAN  
 1/4" = 1'-0"



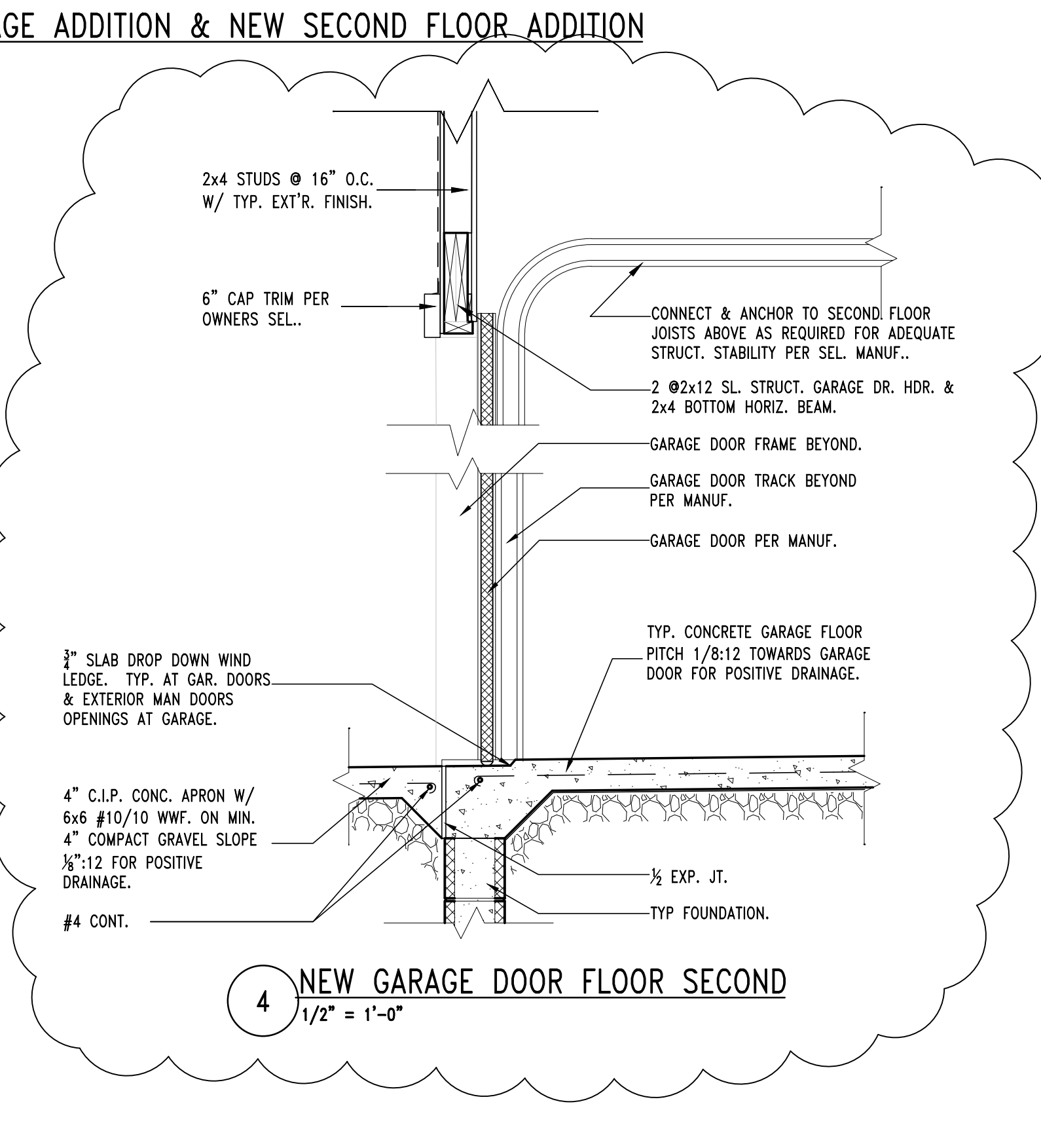
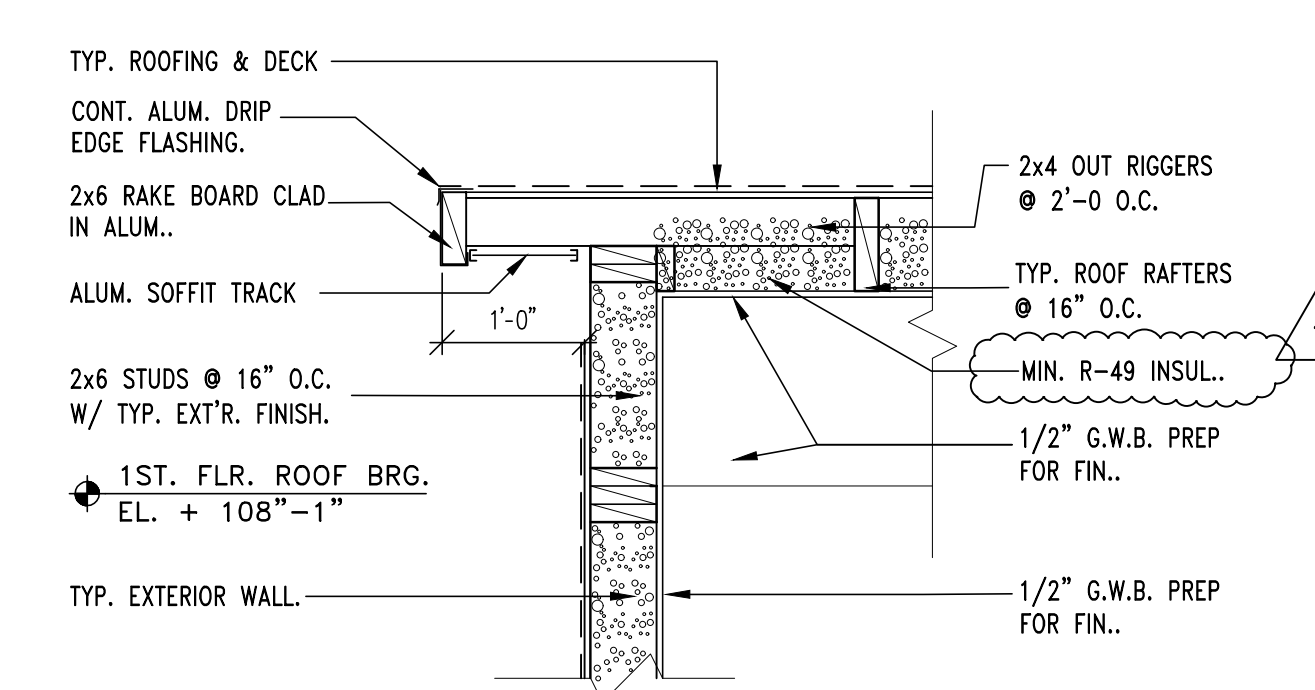
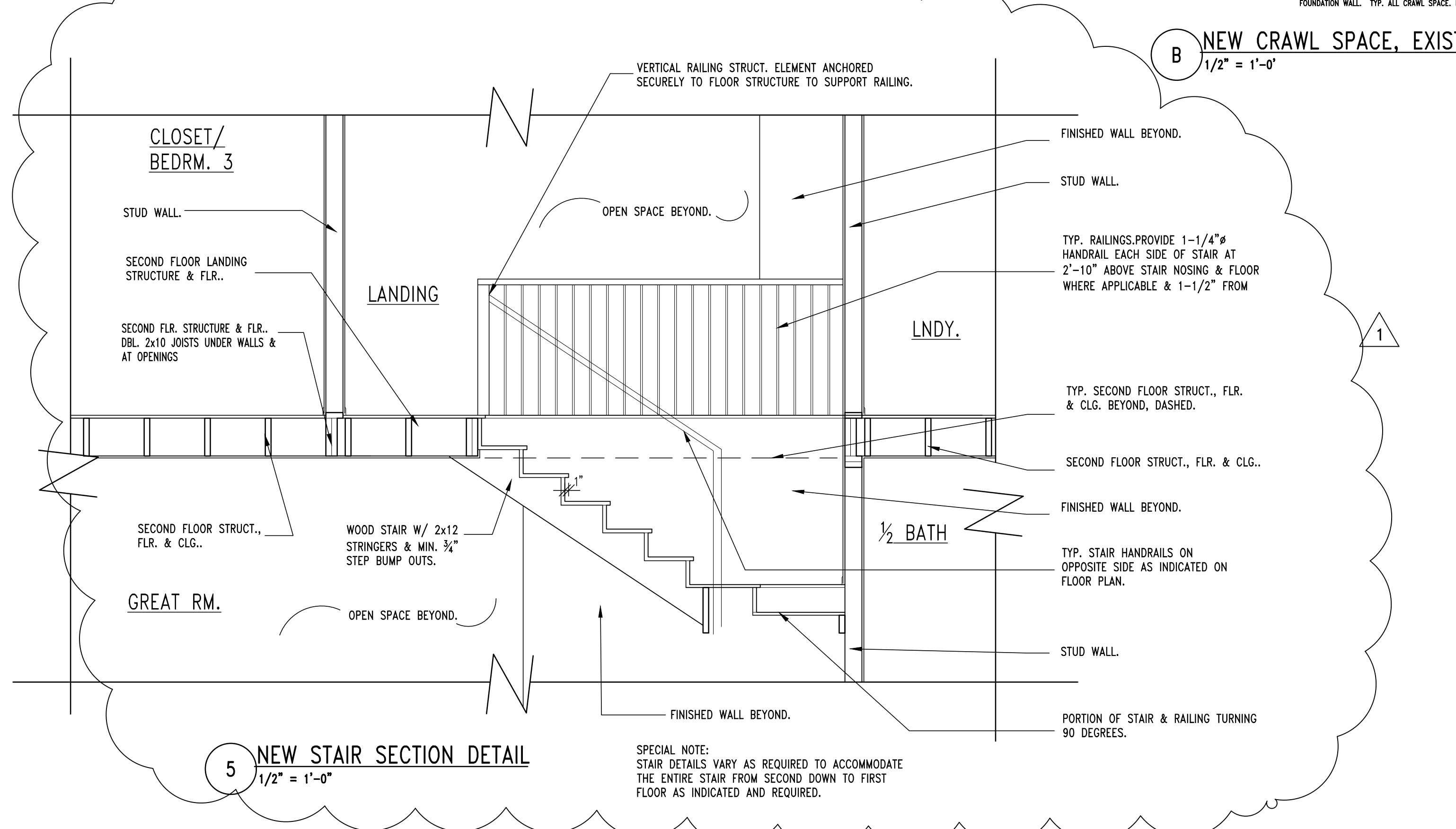
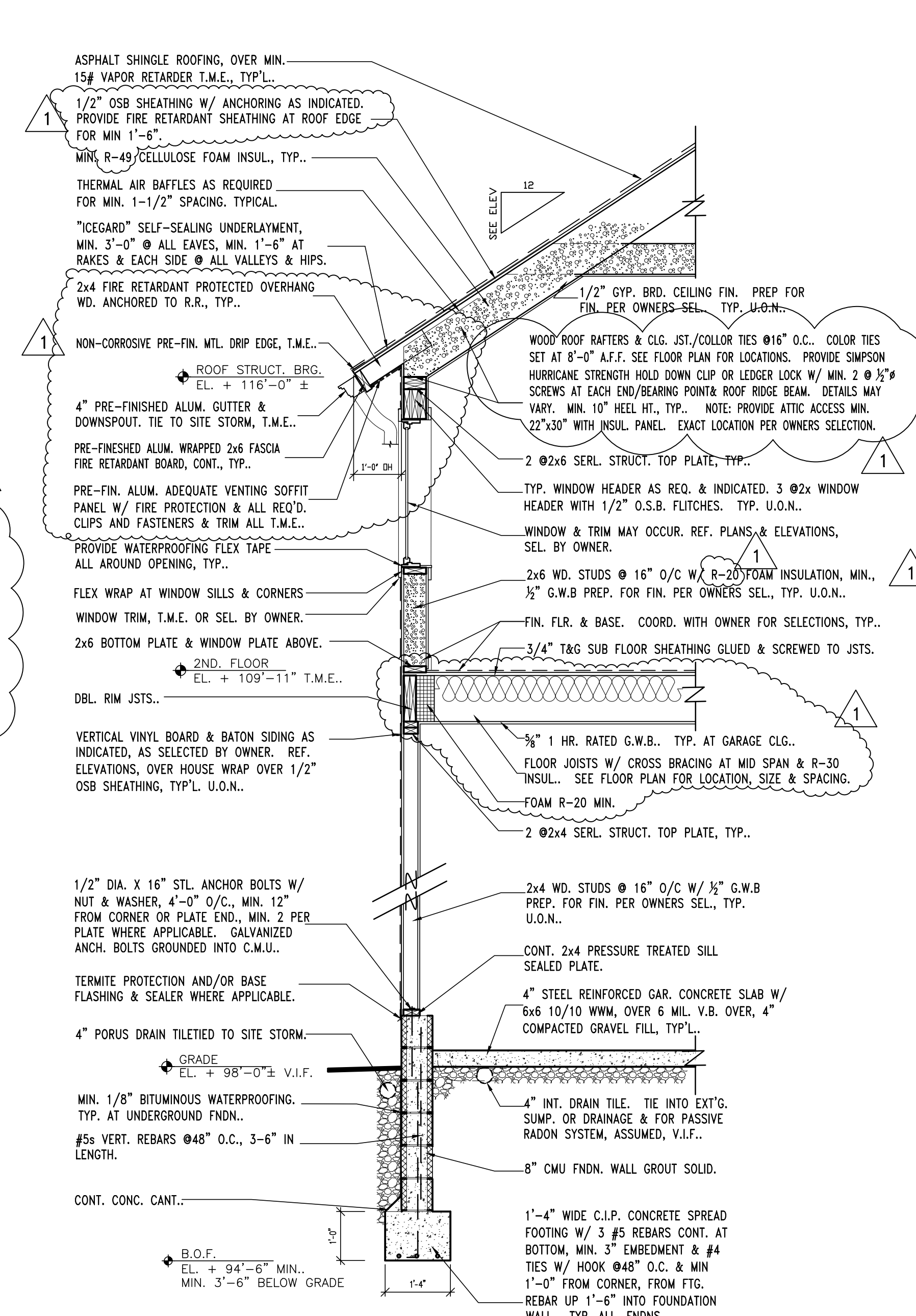
DEMOLITION SECOND FLOOR PLAN  
 3/16" = 1'-0"



DEMOLITION FIRST FLOOR PLAN  
 3/16" = 1'-0"



STICK FRAMING SPECIAL NOTES:  
PROVIDE STICK FRAMING ROOFING STRUCTURE ABOVE OR ADJACENT TO ROOF INDICATED IN A MANOR TO MAINTAIN STRUCTURAL INTEGRITY, ROOF ELEVATION LAYOUTS & POSITIVE DRAINAGE.  
ROOF RAFTER SIZE NOTES:  
SPANS RAFTER SIZE @16" O.C.  
17'-0" TO 19'-6" 2x10  
13'-0" TO 16'-6" 2x8  
6'-0" TO 13'-0" 2x6



3 NEW ROOF RAKE SECTION  
3/4" = 1'-0"

4 NEW GARAGE DOOR FLOOR SECOND  
1/2" = 1'-0"

B NEW CRAWL SPACE, EXISTING FIRST FLOOR & NEW SECOND FLOOR  
1/2" = 1'-0"

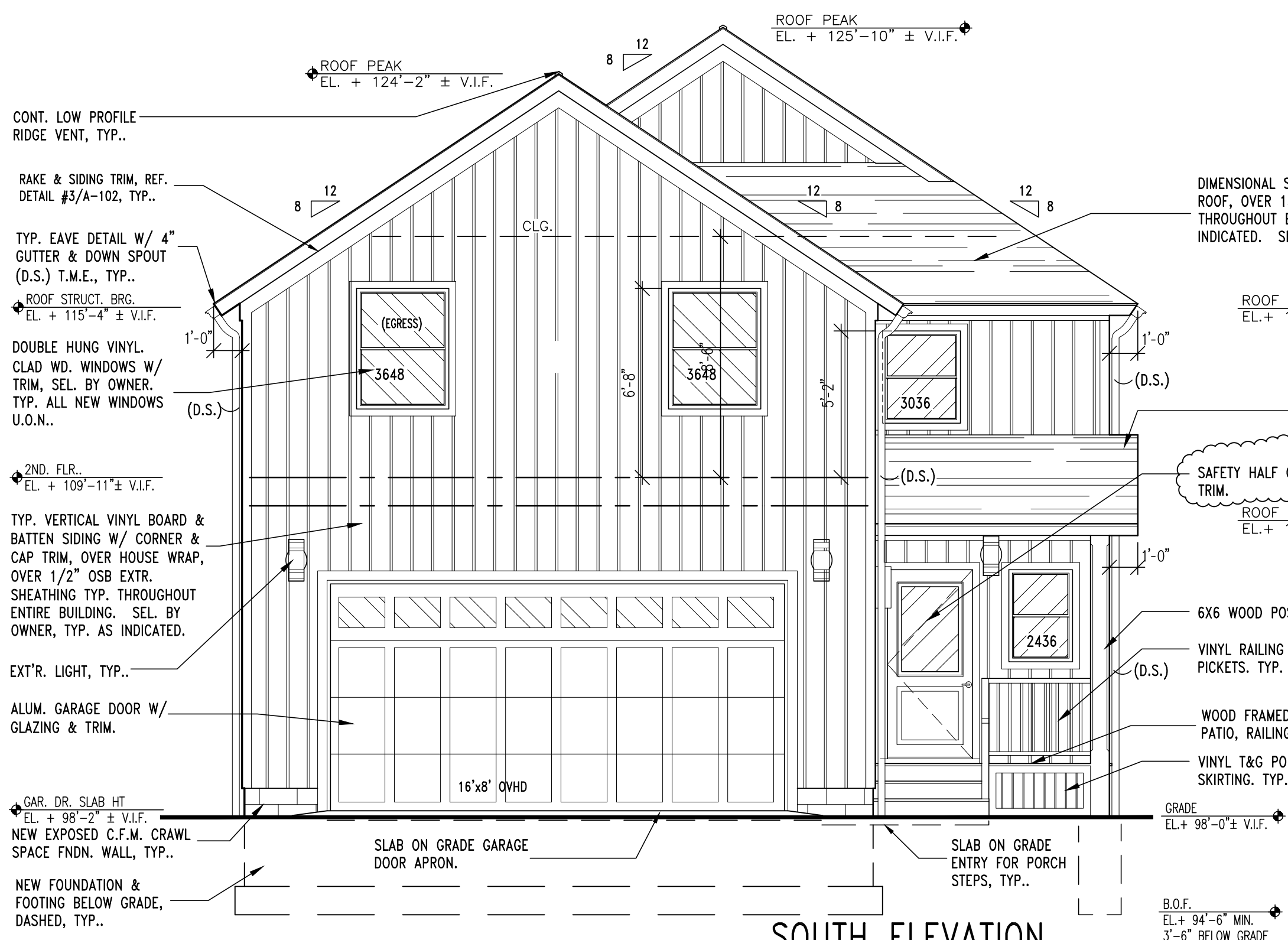
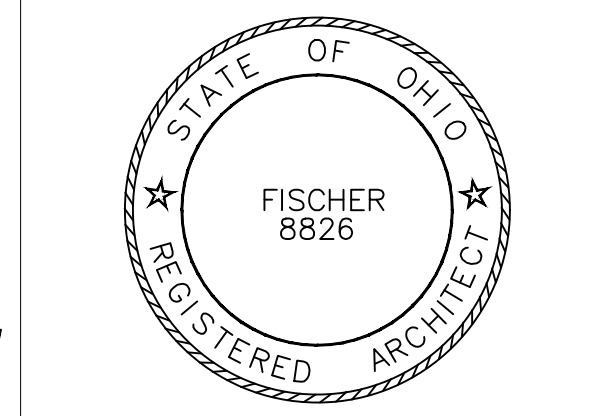
C NEW GARAGE ADDITION & NEW SECOND FLOOR ADDITION  
1/2" = 1'-0"

5 NEW STAIR SECTION DETAIL  
1/2" = 1'-0"

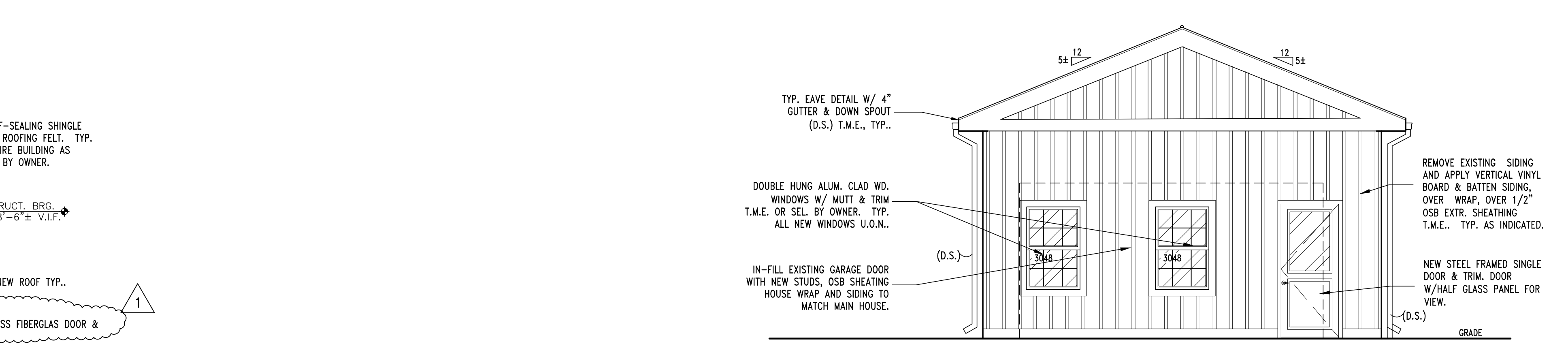


PRELIM	05/12/21
PROGRESS	12/07/21
FINAL REVIEW	12/20/21
FINAL REVIEW CLIENT REV.-PERMIT	04/01/22
CODE COMPLIANT PERMIT REVISION 1	08/14/22
COMPLETE NEW HOUSE REV. -PERMIT	09/21/22

**1464 Riverside Drive**  
 (Alterations & Additions)  
 1464 Riverside Drive  
 Lakewood, Ohio 44107



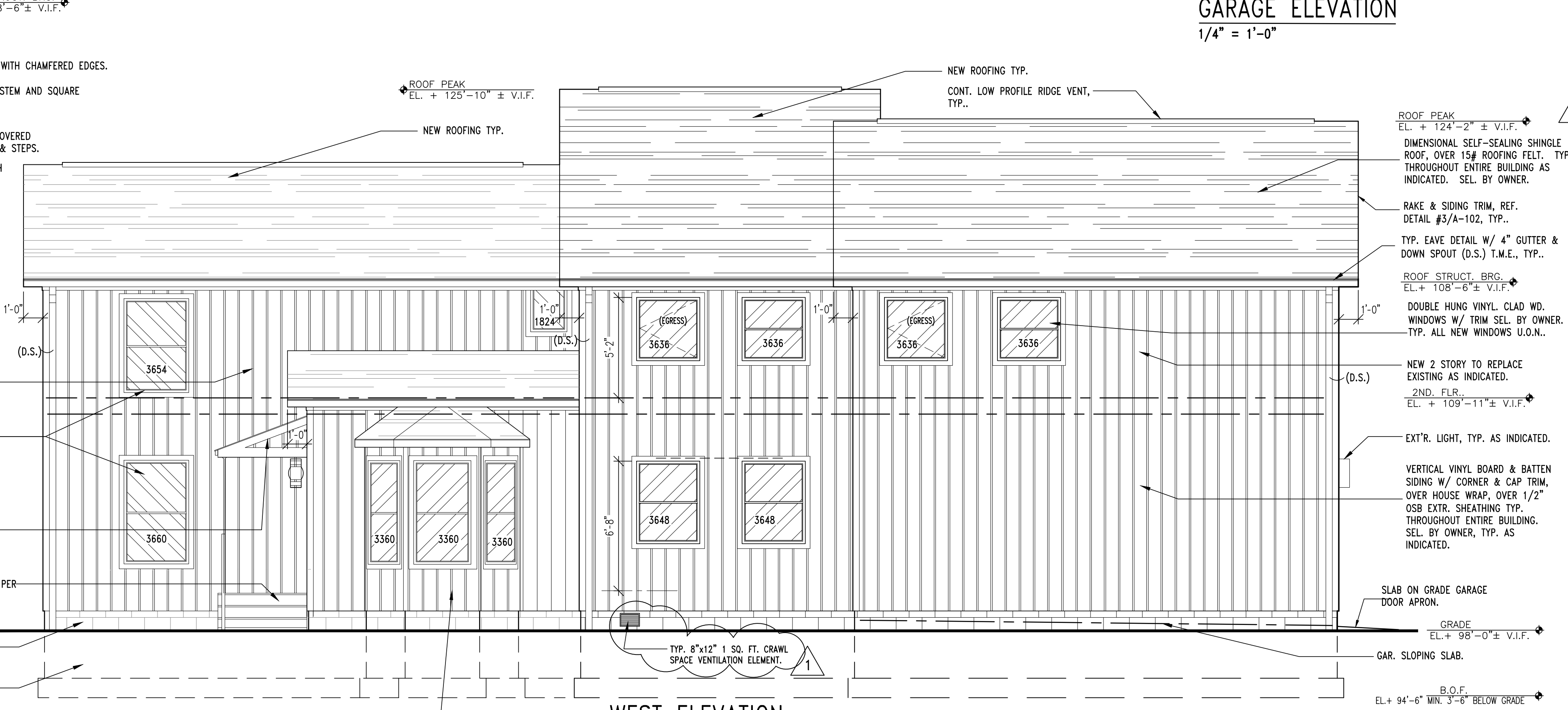
**SOUTH ELEVATION**  
1/4" = 1'-0"



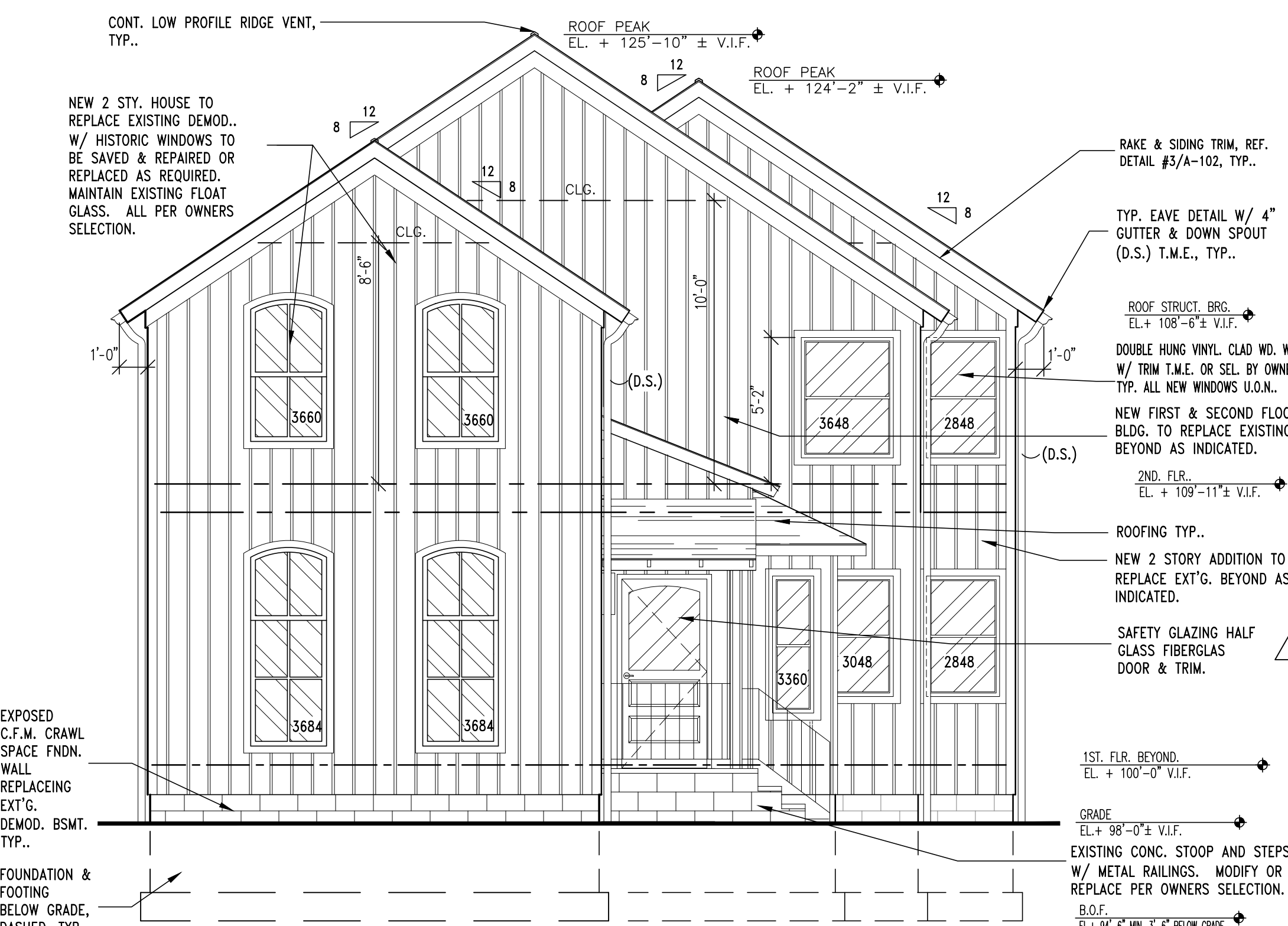
**GARAGE ELEVATION**  
1/4" = 1'-0"

**SPECIAL WINDOW NOTES:**  
 1. ALL EXTERIOR WINDOWS MUST BE INSULATED.  
 2. ALL WINDOW GLAZING 9'-0" SQ. FT. OR LARGER SHALL HAVE TEM. GLAZING.  
 3. SELECTED WINDOW MANUFACTURERS MUST VERIFY ANY WINDOWS REQUIRING TEMP. GLAZING PER APPLICABLE OHIO RESIDENTIAL CODE REQUIREMENTS.  
 4. SELECTED WINDOW MANUFACTURER SHALL COORDINATE WITH OWNER FOR SELECTED OPERABLE WINDOWS. TYP. THROUGHOUT.

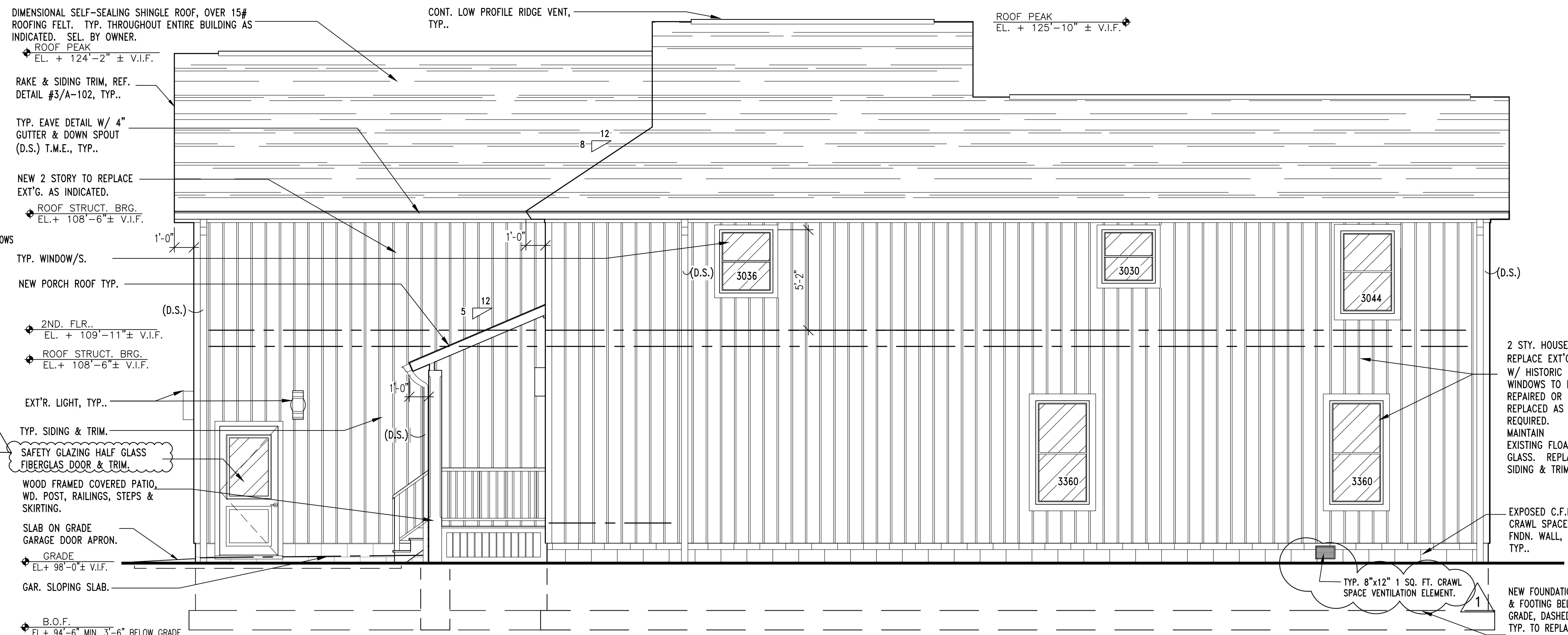
**SPECIAL DEMOLITION NOTE:**  
 ENTIRE EXISTING BUILDING TO BE DEMOLISHED & REMOVED INCLUDING BUT NOT LIMITED TO WALLS, ROOFS, EAVES & RAKES. NOT SHOWN ON ELEVATIONS FOR CLARITY. REF. DEMOLITION FLOOR PLANS/A-101.



**WEST ELEVATION**  
1/4" = 1'-0"



**NORTH ELEVATION**  
1/4" = 1'-0"



**EAST ELEVATION**  
1/4" = 1'-0"

2 STY. HOUSE TO REPLACE EXT'G. W/ HISTORIC WINDOWS TO BE REPAIRED OR REPLACED AS REQUIRED. MAINTAIN EXISTING FLOAT GLASS. REPLACE SIDING & TRIM.

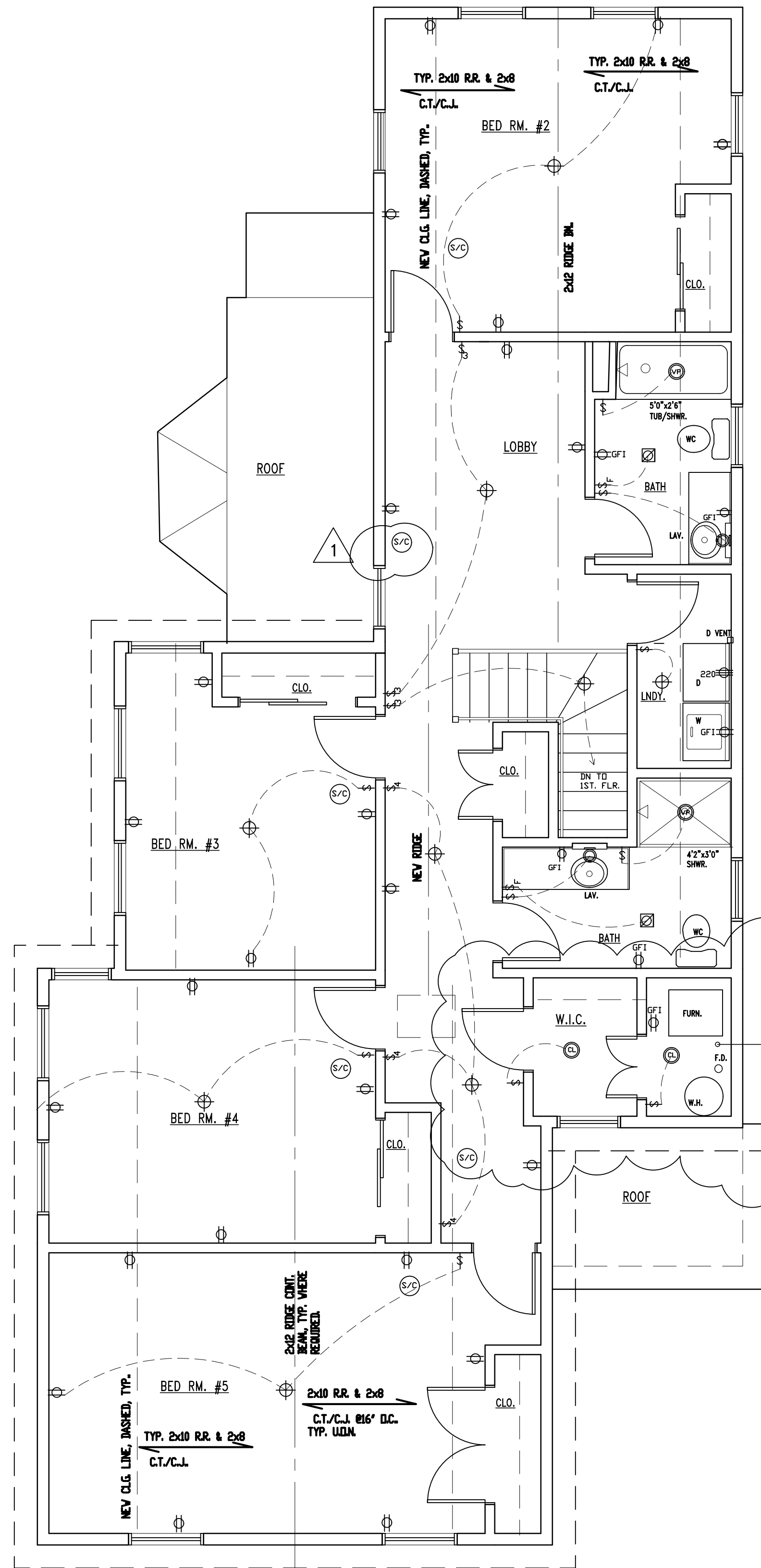
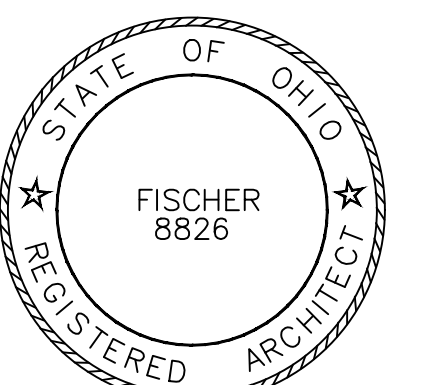
EXPOSED C.F.M. CRAWL SPACE FNDN. WALL, TYP..

NEW FOUNDATION & FOOTING BELOW GRADE, DASHED, TYP. TO REPLACE EXT'G. BSMT. WHERE APPLICABLE.



PRELIM	05/12/21
PROGRESS	12/07/21
FINAL REVIEW	12/20/21
FINAL REVIEW CLIENT REV.-PERMIT	04/01/22
CODE COMPLIANT PERMIT REVISION 1	08/14/22
COMPLETE NEW HOUSE REV. -PERMIT	09/21/22

1464 Riverside Drive  
(Alterations & ADDITIONS)  
1464 Riverside Drive  
Lakewood, Ohio 44107



SYMBOL	DESCRIPTION
	CEILING LIGHT
	WALL MOUNT'D. LIGHTS, INTR. & VAPORPROOF EXTR.
	GARAGE DOOR OPENER
	VAPORPROOF CAN LIGHT INTR. & EXTR. AS SHOWN
	ELECT. PANEL, SIZE & EXACT LOC. PER OWNERS SEL.
	CEILING (FAN) DR FAN/LIGHT COMBO (F/L)
	75 CFM EXHAUST FAN
	OUTLET AT 16" AFF. DR (X) INDICATES HEIGHT A.F.F..
	220V OUTLET
	GF1 OUTLET 44" AFF.
	WEATHERPROOF GF1 OUTLET
	CAN LIGHT INTR..
	SWITCH
	SWITCH 3-WAY
	SWITCH 4-WAY
	FAN SWITCH
	COMBO SMOKE DETECTOR/ALARM & C/D DETECTOR/ALARM & C.I. @ 6'

SPECIAL FIXTURE NOTES:

ALL CEILING FANS TO BE WIRED FOR FAN & LIGHT EACH ON THEIR OWN SWITCHES.

PROVIDE MIN. 1 DUPLEX POWER RECEPTACLE & ONE CEILING MTD. LIGHT FIXTURE AT A ATTIC ACCESS. COORD. EXACT LOCATION WITH OWNER.

ALL LIGHTS SHALL BE LED.

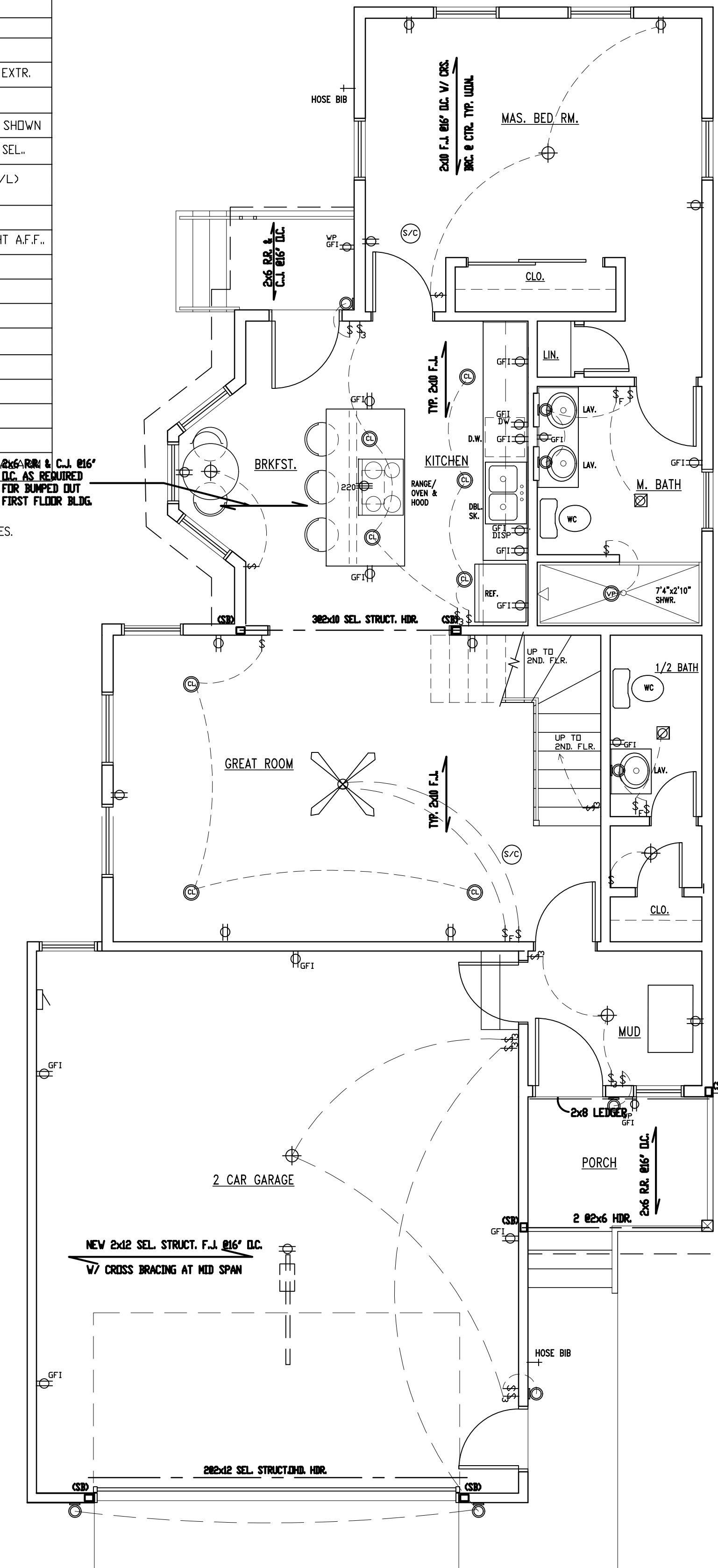
PROVIDE EXHAUST FAN & GRILL WITH 4" DUCT EXTENDED TO WALL OR ROOF EXTERIOR WITH PRESSURE ACTIVATED VENT. TYP. AT ALL EXHAUST FAN LOCATIONS INDICATED.

ALL MECHANICAL AND ELECTRICAL FIXTURES AND LOCATIONS SHOWN ON PLANS ARE SCHEMATIC IN NATURE. FINAL SELECTION AND LOCATIONS SHALL BE BY OWNER PER APPLICABLE CODES.

ELECTRICAL CONTRACTOR SHALL PROVIDE CIRCUITING AND PANEL BALANCING DIAGRAMS TO BUILDING ELECTRICAL DEPARTMENT. ALL IN COMPLIANCE WITH N.E.C..

ALL POWER OUTLETS SHALL BE ARC RESISTANT.

COMBO SMOKE DETECTOR/ALARM & C/D DETECTOR/ALARMS SHALL BE INTERCONNECTED, HARDWIRED W/ BATTERY BACKUP. EACH OUTSIDE SLEEPING AREA SHALL INCLUDE PHOTO ELECTRIC TECH.



WTR. HTR./ FURN. S.U.O.  
FURNACE & WATER HEATER, SIZES & EXACT LOCATIONS PER OWNERS SEL.. PROVIDE ADEQUATE VENTING AS REQUIRED & INDICATED.







**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-74-22**

**Permit No.: BBS22-000093**

**Applicant Name: Frank Gritti**

**Project Address: 1485 Parkwood Rd.**

**Project Name:**

**Project: Applicant proposes a front porch addition.**

SITE PLAN – no change to site



Front porch - 1485 Parkwood Road Lakewood, OH 44107

Joist design example



1485 parkwood road – front porch addition



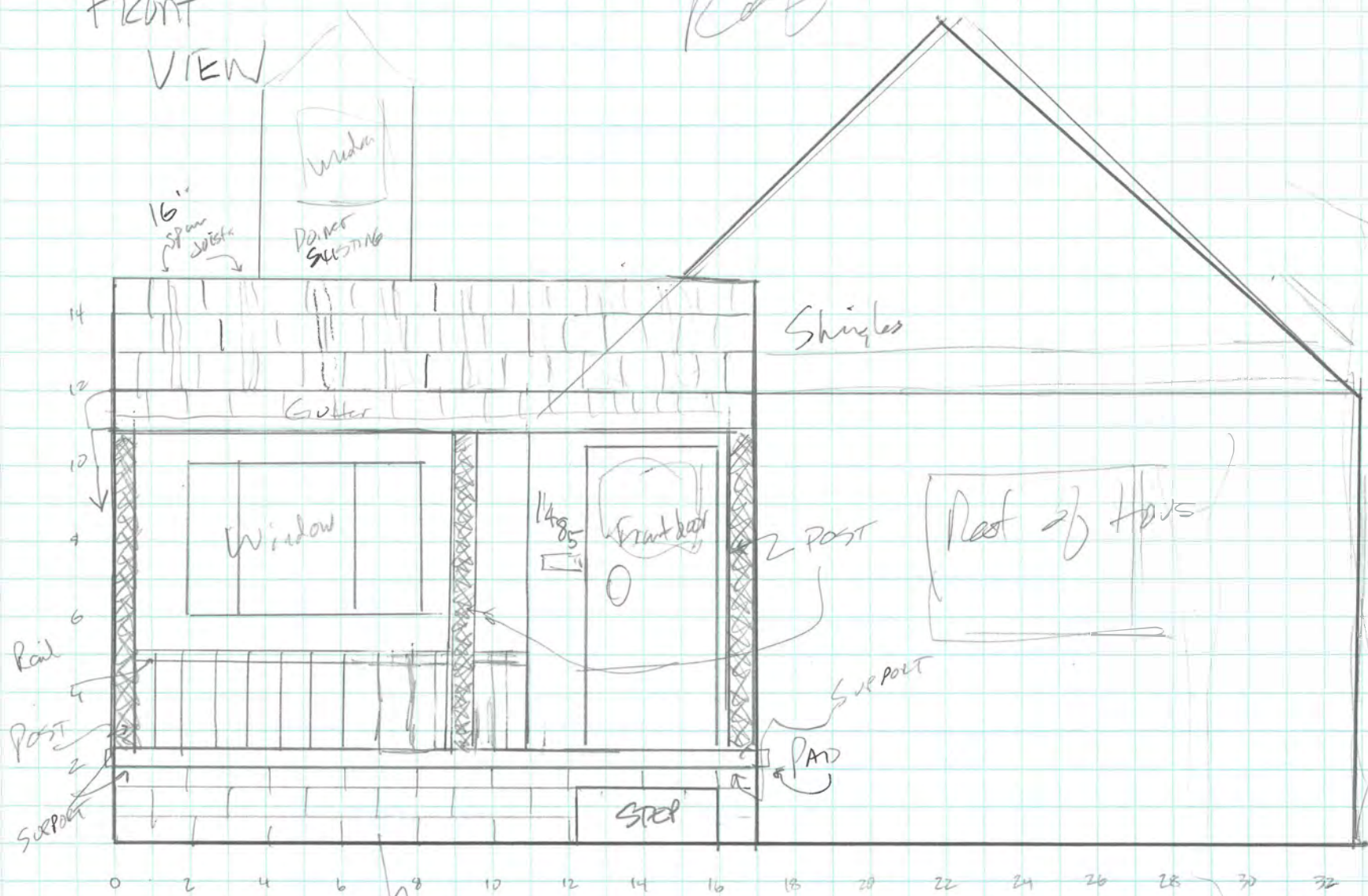
Front porch - 1485 Parkwood Road Lakewood, OH 44107



1485 PARKWOOD ROAD  
LAKWOOD OHIO 44107

FRONT  
VIEW

Roof



Brick to match house

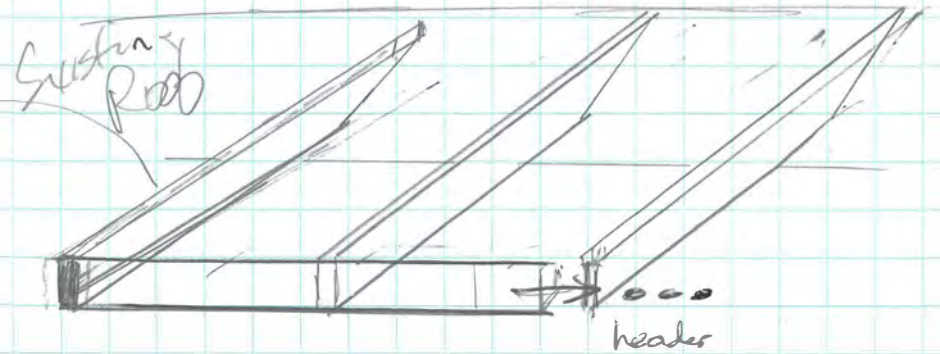
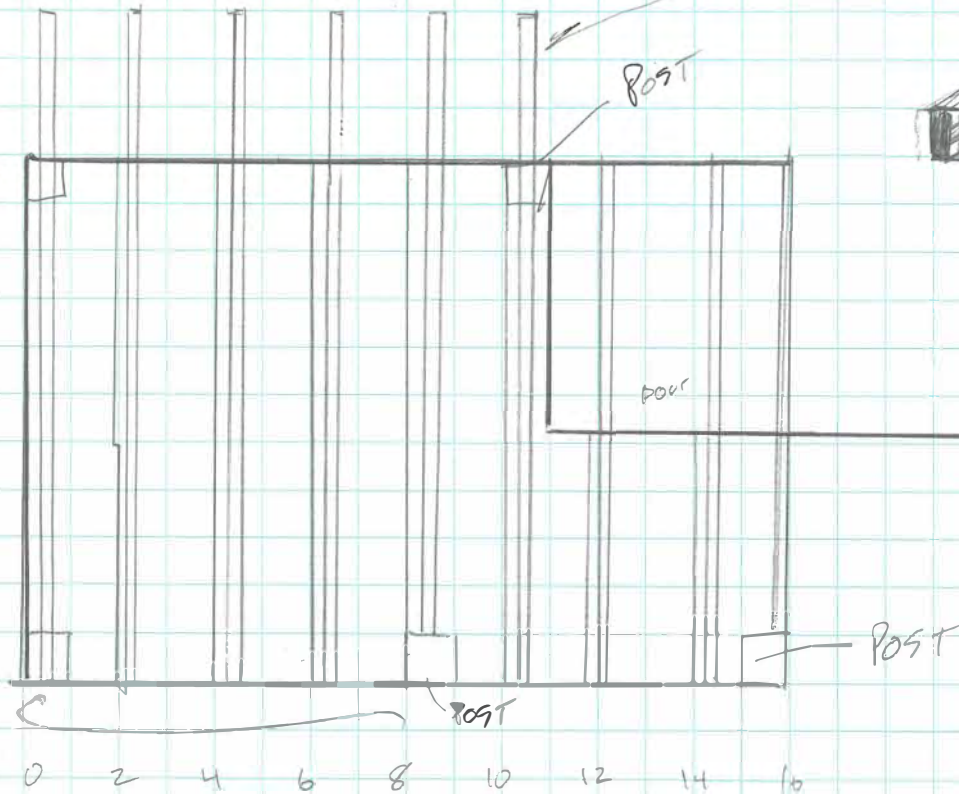
- back

1485 PARKWOOD ROAD  
LAKWOOD OH 44107

Rafters/Joists to roof

2' On center

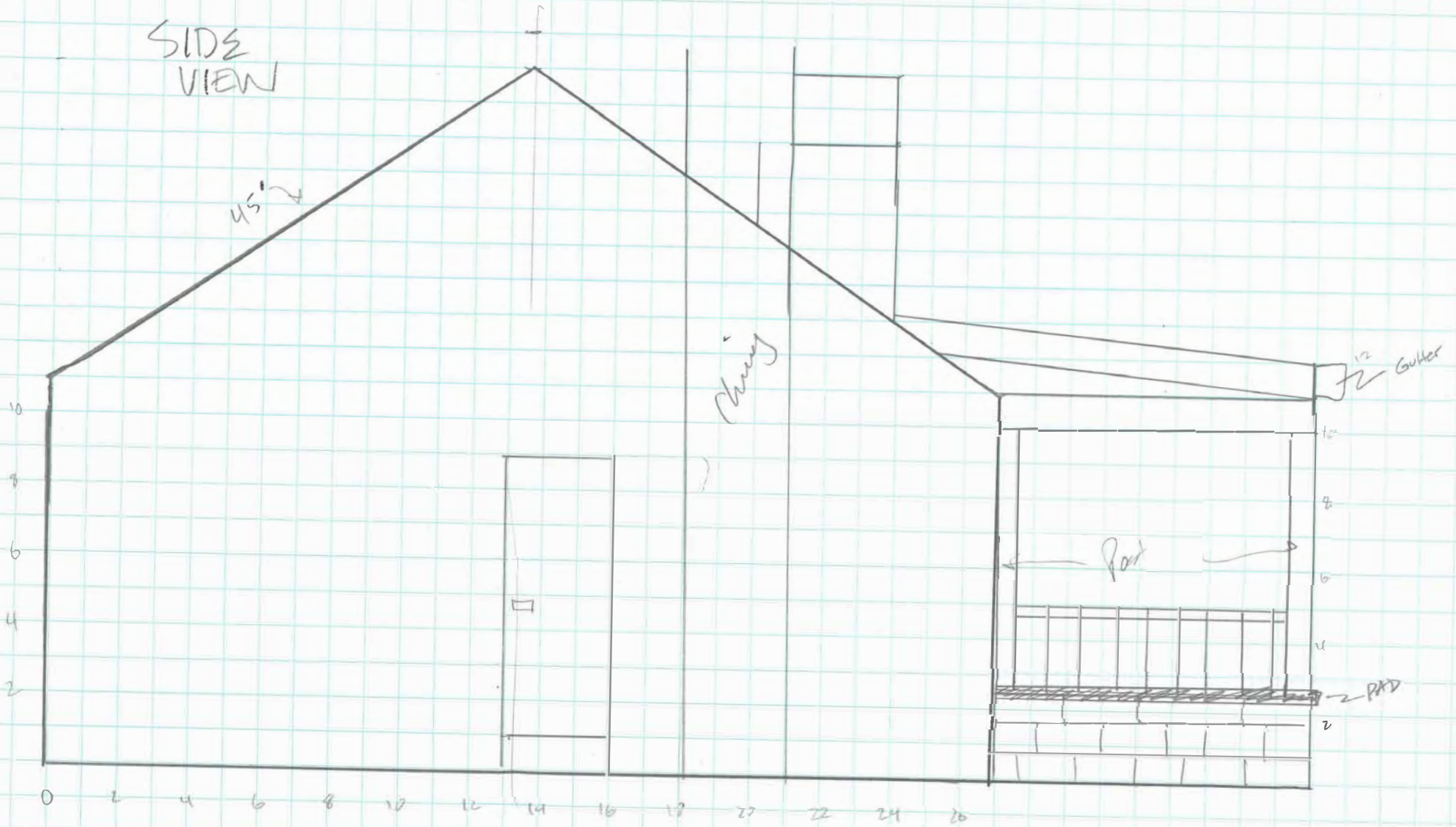
TOP VIEW



House

1485 PARKWOOD ROAD  
LAKEWOOD OHIO 44107

SIDE  
VIEW



10/3/22  
copy

1485 parkwood road – front porch addition



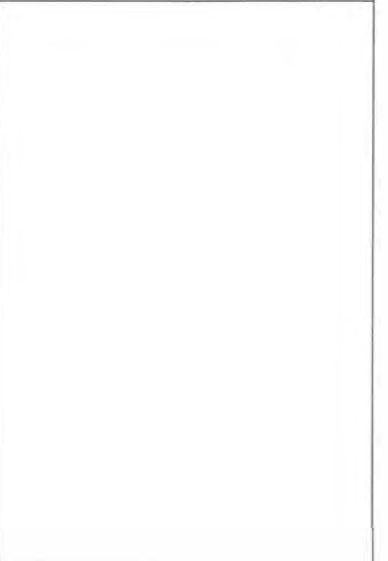
Step 1 - Cement porch - specs attached

Step 2 - Build Overhang Roof - ① Waiting on final  
② drawing

③ Submit when final drawing  
is delivered for ARCHITECTURAL  
REVIEW

FOOTER

Mark stake 36"



1485 PARKWOOD Rd...

Cement Pad...

44107

HOUSE

NOTES

\* EXPANSION  
Joint

\* Fill

304 Limestone

Driveway  
11'

Cement PAD

Front  
Step

{ Clear  
&  
Replace  
Porch Pad

SHRUBS 13'6" SHRUBS

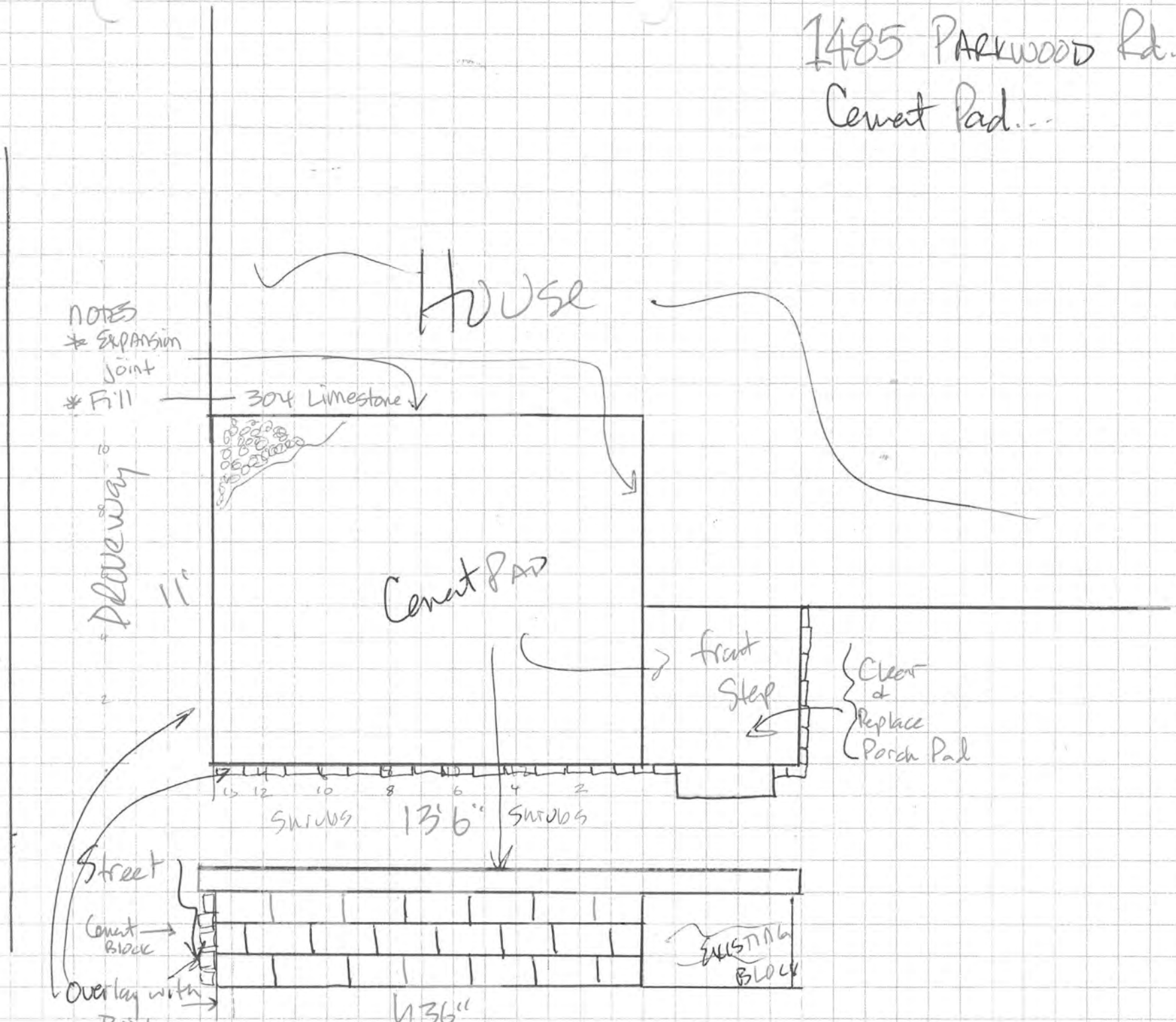
Street

Cement  
Block

Overlay with

EXISTING  
BLOCK

13'6"



# MATERIALS

Install roofing underlayment on the remaining roofing deck. Type: Synthetic

Install drip edge (1-1/2") on all gutter and rake edges. Color: W White

Install starter shingles on all gutter and rake edges.

Install shingles to manufacturer's specifications. Certainteed Landmark Shingle,

Color: MAX Def Weathered wood – to match existing roof



Number of masonry chimneys to be flashed: N/A

Type of valley: shingle/closed

Wood cost

\$65.00 per sheet of 7/16" OSB,

\$85.00 for plywood, \$7.50 per lineal foot for spaced decking,

\$7.00 per foot for fascia board.

Structural work will be additional charged

Apron flashing will be charged out at \$6.50 per foot.

Brick flashing will be charged out at \$7.50 per foot

PAD

8 inch block 11x13

#304 limestone fill

\$ inch cement pad



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-75-22**

**Permit No.: BBS22-000094**

**Applicant Name: Elizabeth Sheehan, Mancuso Homes**

**Project Address: 17788 Edgewater Dr.**

**Project Name:**

**Project: Applicant proposes modifications to plans that were approved in 2021 for addition and renovation of an existing home.**









# MANCUSO HOMES HALL RES-BRONZE W/ BLACK INT

Quote #: 56PG5PL

A Proposal for Window and Door Products prepared for:

**Job Site:**

HALL RESIDENCE  
17788 EDGEWATER DRIVE  
LAKEWOOD, OH 44107

**Shipping Address:**

PROGRESSIVE BUILDING SUPPLY  
9911 WASHINGTON ST  
CHAGRIN FALLS, OH 44023-5483



MIKE ZEMBOWER  
PROGRESSIVE BUILDING SUPPLY  
9911 WASHINGTON ST  
CHAGRIN FALLS, OH 44023-5483  
Phone: (440) 543-1060

Email: [mikez@pbsbuild.com](mailto:mikez@pbsbuild.com)

This report was generated on 6/1/2022 9:54:13 AM  
using the Marvin Order Management System,  
version 0003.14.00 (Current). Price in USD. Unit  
availability and price are subject to change. Dealer  
terms and conditions may apply.

**Featuring products from:**



## GLOBAL SPECS

The following product and option choices were designated as part of this project's Global Spec. Global Specs can be over-ridden on a line item basis. Exceptions to the specification are outlined in Line Item Quotes. Please proof all units thoroughly to ensure accuracy.

### Elevate Spec



Elevate Specification - Advanced Options	Advanced Options
Exterior/Interior Colors/Finishes - Exterior Color	Bronze
Exterior/Interior Colors/Finishes - Interior Finish	Painted Interior Finish - Designer Black
Window Glass Type - Glazing	IG
Window Glass Type - Glazing Configuration	Standard Glazing
Window Glass Type - Glass Types	Low E2 w/Argon
Window Glass Type - Capillary Tube	False
Window Glass Type - Perimeter Bar Color	Stainless
Divided Lites - Divided Lite Type	None
Window Hardware - Window Handle/Lock Color	Matte Black
Window Hardware - Coastal Hardware	False
Window Hardware - Window Control Device	False
Window Hardware - Sash Limiter	None
Window Screens - Screen Type	Aluminum Screen
Window Screens - Interior Screen Surround Color	Ebony
Window Screens - Exterior Screen Surround Color	Ebony
Window Screens - Mesh Type	Bright View Mesh
Jams - Jamb Depth	6 9/16"
Casing/Subsill - Top Casing Type	None
Casing/Subsill - Side Casing Type	None
Installation Method - Installation Options	Nailing Fin
Miscellaneous Options - Interior Weather Strip Color	Black
Miscellaneous Options - Sash Exterior Color	Ebony
Miscellaneous Options - Sash Interior Finish	Painted Interior Finish - Designer Black
Ship Loose Options - Screen/Combo Ship Loose	True
Unit Multiplier - Unit Multiplier	False
Finish / Species Multiplier - Finish / Species Multiplier	False
Glass Multiplier - Glass Multiplier	False
Divided Lite Multiplier - Divided Lites Multiplier	False
Hardware Multiplier - Hardware Multiplier	False
Screen Multiplier - Screen Multiplier	False
Casing Multiplier - Exterior Casing Multiplier	False
Jamb Extension Multiplier - Jamb Extension Multiplier	False



## Quote #GED16391

THIS QUOTE SUPERSEDES AND REPLACES ALL PRIOR QUOTES, ELECTRONIC COMMUNICATIONS (EMAIL, PHONE, TEXT, ETC.), ETC. BOTH WRITTEN AND ORAL. IN THE EVENT ANY PRIOR QUOTES OR COMMUNICATIONS CONFLICT WITH THIS QUOTATION, THE TERMS AND DETAILS OF THIS QUOTE SHALL CONTROL.

ANY REQUESTS FOR CHANGES OR MODIFICATIONS MUST BE MADE IN WRITING AND WILL BE SUPPLIED ON A REVISION TO THIS QUOTE. NO OTHER METHODS OF MODIFICATION WILL BE ACCEPTED.

PLEASE REVIEW THE QUOTE, ITEM DETAILS, AND ANY INCLUDED SPECIFICATIONS AND/OR DRAWINGS FOR ACCURACY PRIOR TO ORDERING.

YOUR ORDER WILL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS INCLUDED IN THIS QUOTE. PLEASE CONTACT US IF YOU HAVE ANY QUESTIONS OR NEED ANY CLARIFICATIONS.

Thank you for the opportunity to provide this quote. Please let us know if you have any questions by replying to this email. We appreciate your consideration. This quote was created by **Grand Entry Doors** ® Sales on June 29th 2022.

**Mancuso Homes - Bob Hall**  
**Ph: 229-869-5493**  
**Lakewood, Ohio 44107**

**Terms: Credit Card**  
**Quoted by: Grand Entry Doors** ® Sales  
**Valid until: July 29th 2022**

*Notes: Good evening. Our quote for the Custom 1W3H unit is below. This would ship from NC (14-16) weeks from time of order.*

*Please review and approve the specifications by clicking "Review Documents".*

*The price quoted is for the unfinished (not stained) pre-hung unit which includes the jambs, brickmould, weather-stripping, door sweep, adjustable threshold (sill), 4x4 ball bearing hinges.*

*\*\*\*\*Requirements for adequate overhang protection: Installer must ensure proper protection requirements are provided where the door will be installed. All doors must be installed providing sufficient protection from exposure to weather including excessive moisture/rain as well as excessive heat due to sun exposure. This protection required includes adequate overhang distance that is at a minimum projection from the home at one half the distance from the floor of the overhang to the ceiling of the overhang. Failure to provide adequate overhang protection will void the warranty.*

*All wood doors are constructed using floating panels. This construction method allows for expansion and contraction. Exposure to severe moisture such as rain in an unprotected environment may result in water penetration through the panels and is not considered a defect. In the event of water penetrating through the edges of the panels in this environment, it will be the consumers responsibility to caulk and or provide a remedy for the water penetration.*

*\*\*\*\*Staining or painting the door black or any other dark opaque colors will void the warranty. These colors cause harm to the wood components by absorbing excess heat/UV rays.*

*Feel free to email me at [kevin@grandentrydoors.com](mailto:kevin@grandentrydoors.com) or call me direct at 704-912-1984 if you have any questions. Thank you for your consideration.*

*- Kevin*

## Custom Door

DESCRIPTION: CUSTOM 42 X 96 1W3H ENTRY DOOR  
WITH SIDELIGHT

DOOR SIZE: 42" , 12" X 96"

ROUGH OPENING: 58" X 99-1/2"

OUTSIDE BM: 59-3/4" X 100"

FRAME SIZE: 57-1/4" X 98-3/4"

MATERIAL: MAHOGANY

DOOR THICKNESS: 1-3/4"

JAMB SIZE: 6-9/16"

THRESHOLD AND HINGES: BLACK

BRICKMOULD: STANDARD, ATTACHED

GLASS: FLEMISH

HANDLESET PREPARATION: DOUBLE BORE, 2-3/8"

BACKSET FOR HANDLESET & DEADBOLT

DOOR HANDING/SWING: LEFT-HAND IN-SWING

Shipping: Ships in 14-16 weeks



**Important Note On Delivery:** Our doors are shipped ground via common carrier (LTL) on a secure crate system designed to protect them during shipment. Doors and other large items will be shipped to a local delivery terminal. The carrier will contact you when the unit arrives at their delivery terminal to schedule a delivery appointment. Deliveries are generally made between the hours of 8:00 AM and 5:00 PM Monday through Friday. When your door ships we will provide you with the carrier's name, contact information, and tracking number.

Our carriers provide a curbside delivery with lift-gate and pallet jack service. Curbside delivery service provides delivery of your door(s) to the curb at the end of your driveway. This service does not include set up or assembly of items or removal of packaging materials.

In most cases the delivery truck will pull up to the curb outside of your job site within your appointment window. From there, you will be responsible for unloading the item(s) from the truck and any further transport beyond that point. Our door units are heavy and therefore we recommend at least 2 people be present at time of delivery.

A lift-gate and pallet jack are included with every delivery. However, large doors might exceed the capacity of the truck's lift-gate. In this case, it is the customer's responsibility to unload the doors from the back of the truck. The driver will sometimes assist in removing the product from the truck, but they are not required to do so.

- If you want to make changes to your quote please reply to this email with the requested changes and we'll get a revised quote sent asap.
- Pricing is subject to change at any time.
- We may add additional taxes in some states.
- Feel free to contact us at [sales@grandentrydoors.com](mailto:sales@grandentrydoors.com) or call us at [833-BUY-DOOR](tel:833-BUY-DOOR).

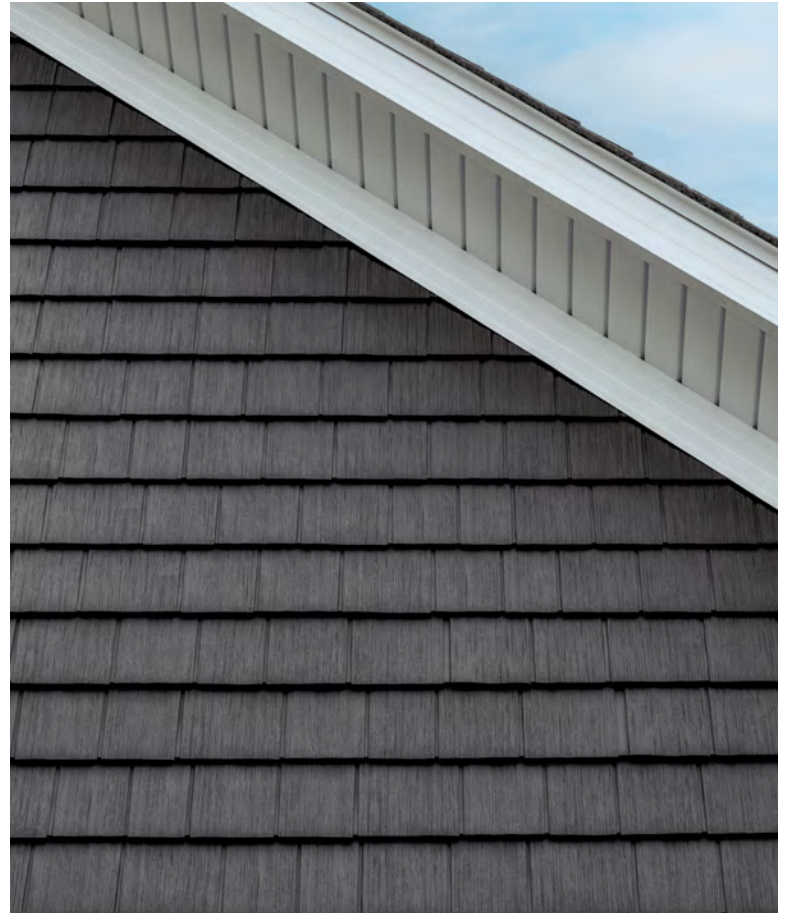
# TIMBERBAY™ VINYL SHAKE SIDING

*Inspired by the timeless influence of nature*

Add texture, dimension and a touch of rustic charm to your home's exterior by featuring Timberbay shake siding, which captures the look of authentic cedar without the continual upkeep of wood.

ProVia is proud to partner with Novik® to create this unique collection of shake products that offer a perfect balance of realistic beauty and unparalleled performance. They require no painting, caulking or staining and can be cleaned with a simple rinse from your garden hose, giving you time to relax and enjoy what matters most to you.

The rustic feel of Timberbay faux cedar shake siding also makes it a great finishing touch for outbuildings like tool or garden sheds, creating a complementary extension of your home's beautiful exterior design.



## All Timberbay Shake Siding Features:

- Rigid, yet lightweight polypropylene material
- No painting, staining or caulking required
- Inherently moisture resistant—will not rot like wood
- Low maintenance—just rinse with a garden hose



Why Choose ProVia?

Where to Buy (/where-to-buy/)

Resources

For the Pros

Careers (<https://www.provia.com/careers/>)

Contact (/contact/)

Warranty (/)

DOORS    WINDOWS    SIDING    STONE    ROOFING

SUBMIT  
(/PHOTO-SUBMISSION/)

SEARCH



# TIMBERBAY PROFILES

*Options that fit your design style*

Timberbay shake siding is available in three unique profiles, all of which coordinate well with ProVia's vinyl siding and manufactured stone.

### \*\* SINGLE 6.5" ROUGH-SAWN \*\* SHAKE



***Authentic cedar-like details that provide a perfectly natural appearance.***

- 8' single-course panel; attractive 6.5" wide exposure
- Generates less unsightly seams
- Charmingly gentle staggered edges
- Shown in Linen

### DUAL 6.5" ROUGH-SAWN SHAKE



***Lifelike woodgrain texture offers innate beauty and charm.***

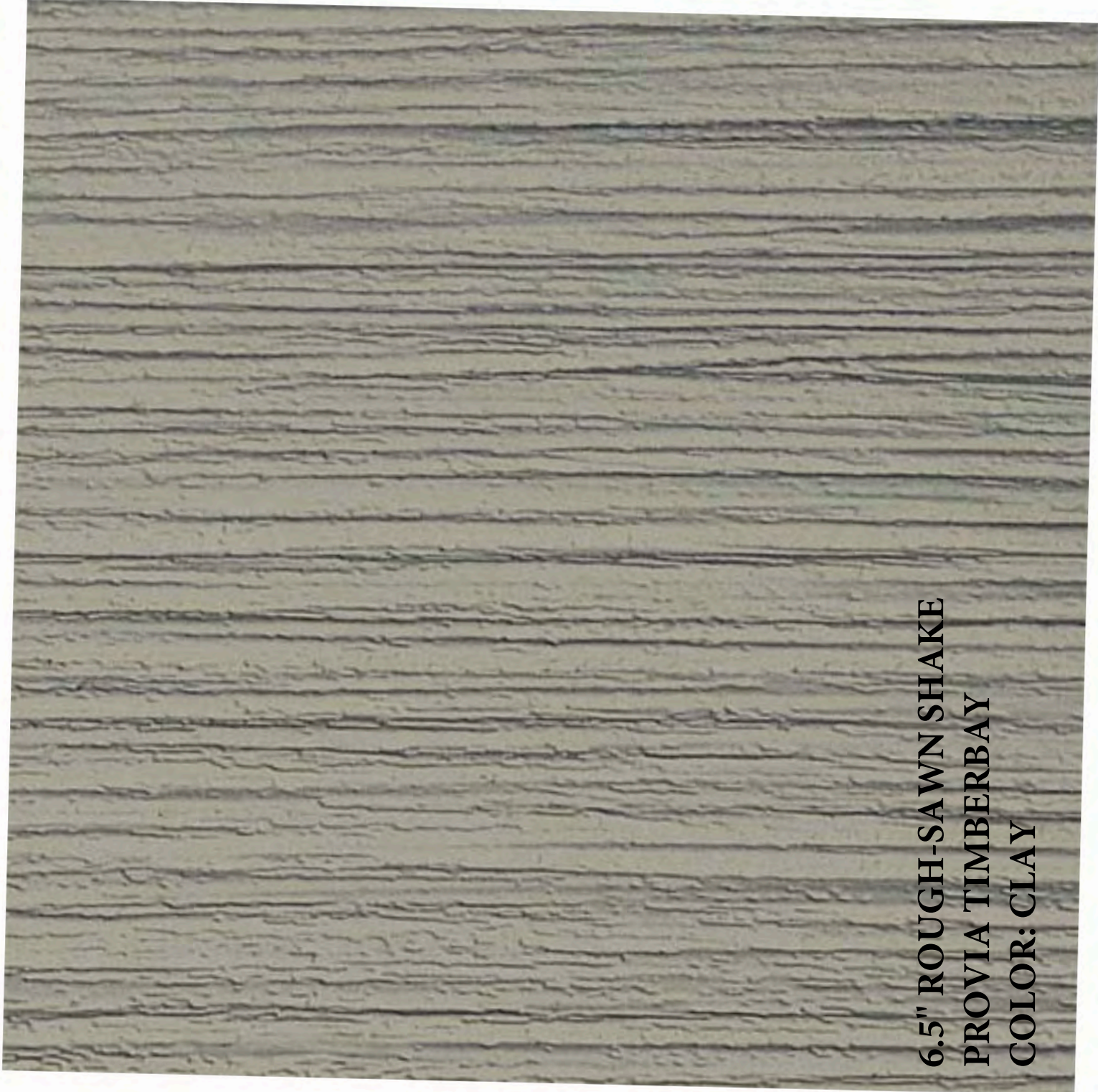
- 4' double-course panel provides 13" panel exposure
- Clean, straight-cut edges
- Shown in Birchwood

### SINGLE 9" STAGGERED SHAKE



***Wonderfully distinctive look of natural wood shake siding.***

- 6' single-course panel with curb-appealing 9" wide exposure
- Bold, realistic staggered-cut edges
- Shown in Anthracite Blended



**6.5" ROUGH-SAWN SHAKE  
PROVIA TIMBERBAY  
COLOR: CLAY**

# CEDARMAX® INSULATED VINYL SIDING

[verge3d id="36522"]



## *Outstanding performance inside and out*

CedarMAX insulated vinyl siding combines rigid foam EPS insulation<sup>1</sup> with our Super Polymer vinyl siding, providing an impressive combination of beauty, durability and energy efficiency.

Showcasing an authentic cedar woodgrain texture, CedarMAX siding offers a wide array of color options and four unique profiles so that you can easily choose colors that coordinate with your home's exterior.

CedarMAX traditional lap siding and dutch lap siding profiles (Single 7", Double 6" and Triple 4" Dutch Lap) can be used to clad an entire house. Or, they can be combined with CedarMAX Board and Batten vertical siding for a contrasting look. Any of the CedarMAX profiles pair well with ProVia's manufactured stone or Timberbay™ shakes.

<sup>1</sup>*Progressive Foam Technologies, Inc's Fullback Insulation*

## BENEFITS OF **INSULATED SIDING**

*Take a closer look at what makes CedarMax outstanding*

## **ENGINEERED FOR IMPACT RESISTANCE**

**SIDING BUILT TO WITHSTAND WHAT LIFE THROWS AT IT.**

Our Super Polymer formulation is engineered with high-grade impact modifiers that act as

shock absorbers. These impact modifiers add strength and durability, providing protection from the unexpected—whether it's an accidental strike from your child's baseball or a stone projected from your lawn mower. In addition, the rigid EPS foam backing on CedarMAX provides five times greater impact resistance than non-insulated siding for even greater peace of mind.

<sup>2</sup> R-values are based on Federal Trade Commission requirements under the ASTM C1363 standard, which provides stringent, repeatable and reproducible results. While R-values for some profiles produced through ASTM C1363 testing may result in lower R-values than simulation modeling, the home insulating performance of insulated siding has not changed. ASTM C1363 testing provides added assurance of its energy efficiency performance and R-value results.

## CEDARMAX PROFILES

*Style options that increase your home's unique curb appeal*



Why Choose ProVia? [Where to Buy \(/where-to-buy/\)](#) [Resources](#) [For the Pros](#) [Careers \(https://www.provia.com/careers/\)](https://www.provia.com/careers/) [Contact \(/contact/\)](#) [Warranty](#)

DOORS WINDOWS SIDING  
**CEDARMAX®**  
 INSULATED SINGLE 7"



- .050" Thick
- 16' 2 1/2" Length
- 2.3 R-Value
- Shown in Neptune

STONE ROOFING  
**CEDARMAX®**  
 INSULATED DOUBLE  
 6"



- .050" Thick
- 12'6" & 16' 2 1/2" Lengths
- 2.4 R-Value
- Shown in Granite

SUBMIT  
 ((PHOTO SUBMISSION))  
**CEDARMAX® TRIPLE**  
 4" DUTCH LAP

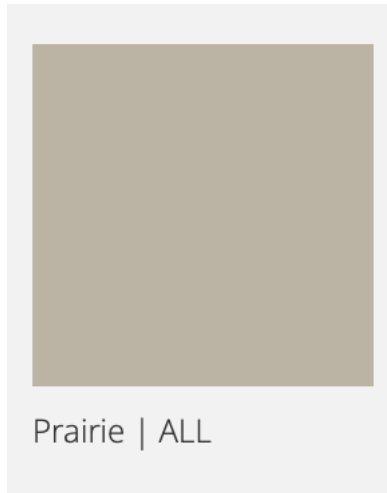


- .046" Thick
- 16' 2 1/2" Length
- 2.8 R-Value
- Shown in White

SEARCH  
**CEDARMAX® 8"**  
 BOARD AND BATTEN



- .050" Thick
- 10' Length
- 2.2 R-Value
- Shown in Aspen



7" CEDARMAX SINGLE PROFILE SIDING  
COLOR: PRAIRIE



**ALL TRIM BOARD  
TO BE COLOR MATCHED  
TO CedarMAX Pueblo color**



## DAKOTA

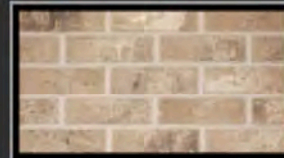
**Pueblo Color:** 376GB (Dakota)

**Production Plant:** Pueblo

**Color Classification:** Gray

**Size Availability:** Modular, queen, other sizes special order

**Texture Availability:** Antique



Summit Brick Company



## Biscayne

Dynasty®

**SHINGLE COLOR:**

Biscayne

Laid-back, welcoming, carefree.

**PERFECT PAIRING:**

Stone, wood, brick, siding  
(especially white or various pastels)



**COORDINATING ACCESSORIES** See Architectural Specifications for color availability



3/4" J-Channel



3/4" Inside  
Corner Post



3/4" Outs  
Post 3:

6

**SOLIDS**

White	Linen	Antique White	Birchwood	Cream
Alabaster	Sienna	Sand	Chateau	Sandalwood
Gray	Pewter	Clay	Everest	Prairie



Complete the look of your home  
coordinating Dual 6.5" Rough Siding  
ProVia's extensive portfolio



GRAY SIDING

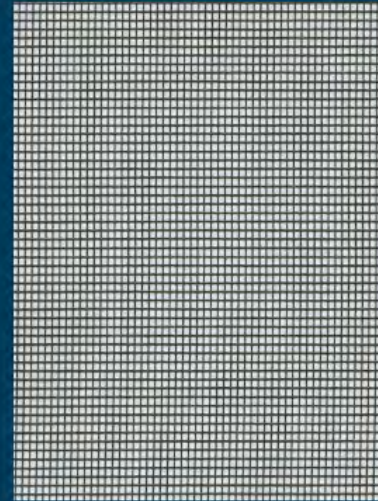


**Docket No. 9-128-21 (17788 Edgewater)**  
Residential – Home Addition

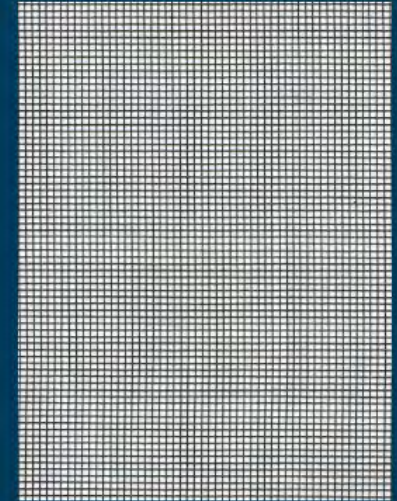
BetterVue®  
BY PHIFER



Water Shed Technology™ keeps the screen cleaner longer and clear of water for maximum viewing clarity.



Phiferglass®  
Standard Insect Screen



BetterVue®  
Improved Visibility Insect Screen



SCREEN WITHOUT  
Water Shed Technology



SCREEN WITH  
Water Shed Technology



**Docket No. 9-128-21 (17788 Edgewater)**  
Residential – Home Addition

Item # bci3407677

# Troy Lighting Mission Beach Single Light 23" Tall Outdoor Wall Sconce with Opal Glass Tapered Shade

Model: **B6353**

[Write a Review](#)



---

**PRO PRICE**

---

## — Overview

---

### Features

- Constructed from hand-worked iron
- Comes with opal glass tapered shade
- Requires (1) 60 watt max medium (E26) bulb
- This product is designed for use outdoors
- UL rated for wet locations
- Covered under a 1 year manufacturer warranty

### Dimensions

- Height: 23"
- Width: 9"
- Extension: 10-3/4"

- Backplate Height: 6"
- Backplate Width: 6"
- Backplate Depth: 1/2"

## Electrical Specifications

- Bulb Base: Medium (E26)
- Number of Bulbs: 1
- Bulb Included: No
- Watts Per Bulb: 60 watts
- Wattage: 60 watts
- Voltage: 120 volts

## Additional Troy Lighting Links

- [View the Manufacturer Warranty](#)
- [Browse all Troy Lighting Products](#)
- [Troy Lighting Mission Beach Collection](#)

## Dimensions and Measurements

Backplate Depth	?	0.5 in.
Backplate Height	?	6 in.
Backplate Width	?	6 in.
Extension	?	10.75 in.
HCO	?	3.25 in.
Height	?	23 in.
Width	?	9 in.

## Included Components

Bulb Included	?	No
Shade	?	Yes

## Characteristics and Features

<b>Bulb Base</b>	?	Medium (E26)
<b>Bulb Visible</b>	?	No
<b>Fixture Shape</b>	?	Lantern
<b>Full Backplate</b>	?	No
<b>Genre</b>	?	Transitional
<b>Glass Features</b>	?	Frosted Glass
<b>Light Direction</b>	?	Ambient Lighting
<b>Material</b>	?	Iron
<b>Number of Bulbs</b>	?	1
<b>Number of Light Source(s)</b>	?	1
<b>Sconce Type</b>	?	Lantern
<b>Shade Color</b>	?	White
<b>Shade Material</b>	?	Glass
<b>Shade Shape</b>	?	Tapered
<b>Theme</b>	?	Transitional

## Electrical and Operational Information

<b>Power Source</b>	?	Hardwired
<b>Voltage</b>	?	120
<b>Voltage Type</b>	?	Line Voltage (110-120V)
<b>Wattage</b>	?	60
<b>Watts Per Bulb</b>	?	60

## Warranty and Product Information

ADA	?	No
Collection	?	Mission Beach
Country Of Origin	?	China
Location Rating	?	Wet Location
Manufacturer Warranty	?	1 Year
UL Listed	?	Yes

## Related Troy Lighting Categories

[Browse by Brand](#)  
[New Releases](#)  
[Troy Lighting Clearance](#)  
[Pendants](#)  
[Chandeliers](#)  
[Bathroom Lighting](#)  
[Ceiling Fixtures](#)  
[Outdoor Wall Lights](#)

## + Reviews

## + Product Q&A

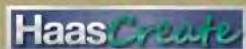
## + Matching Products

# AMERICAN TRADITION™ SERIES

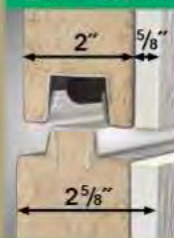
We've taken the elegance of the original handcrafted wooden carriage house doors and the detail of the wrought iron hardware to produce a classic style made with modern technology and materials. Backed by a Lifetime Limited Warranty, American Tradition™ doors are the ideal choice to add the classic look of a genuine carriage house door.

- 9200 Models - 2-5/8" Thick with Full Thermal Break (2" Base & 5/8" Overlay)
- 9600 Models - 2" Thick with Full Thermal Break (1-3/8" Base & 5/8" Overlay)
- 17.66 or 13.45 Calculated R-Values
- Environmentally Compliant Polyurethane Insulation
- Air Infiltration Seal (9200 Models)
- 26-Gauge Galvanized Steel
- Polyurethane Overlay Boards
- 13 Base & Overlay Colors
- 12 Door Designs
- 10 Window Options available in top 2 sections
- 4 Impact Polycarbonate Glazing Options
- 15 Insulated Glass Options
- 9 Non-Insulated Glass Options
- Available with Wind Load and Impact Options
- Industry Leading Warranty
- Lifetime Rust-Through & Delamination
- 10-Year Finish
- 6-Year Hardware
- 5-Year Overlay Delamination
- 3-Year Spring

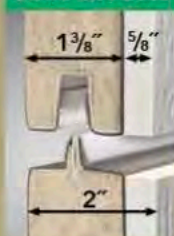
CREATE YOUR DOOR



9200 Models

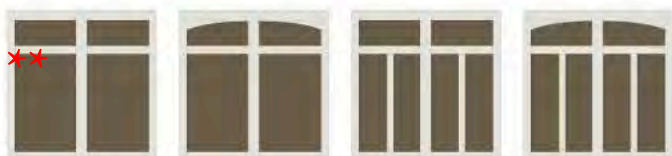


9600 Models



## SINGLE DOOR MODELS

Models are shown with solid top sections



Model 9220/9620    Model 9230/9630    Model 9221/9621    Model 9231/9631



Model 9222/9622    Model 9232/9632    Model 9240/9640    Model 9250/9650

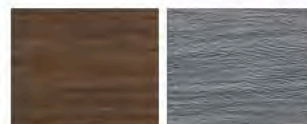


Model 9241/9641    Model 9251/9651    Model 9242/9642    Model 9252/9652

## PREMIUM WOOD GRAIN COLORS



Ash    Mahogany    American Walnut



English Oak    Graywood

## STANDARD BASE COLORS



Almond    Polar White    Sandstone



Gray    Bronze    Brown



**Model 9220/9620**



**Glazed 3-Pane**



**SUMMIT**  
BRICK COMPANY

*Inspiring Architectural Elegance...*

summitbrick.com

Pueblo Plant

376GB  
DAKOTA





BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 09-128-21

Permit No.: BBS21-000165

Applicant Name: Andrew Erker, ACE Design LLC

Project Address: 17788 Edgewater Rd.

Project Name: n/a

Project: Applicant proposes an addition and renovation of an existing home.

CHAIRMAN

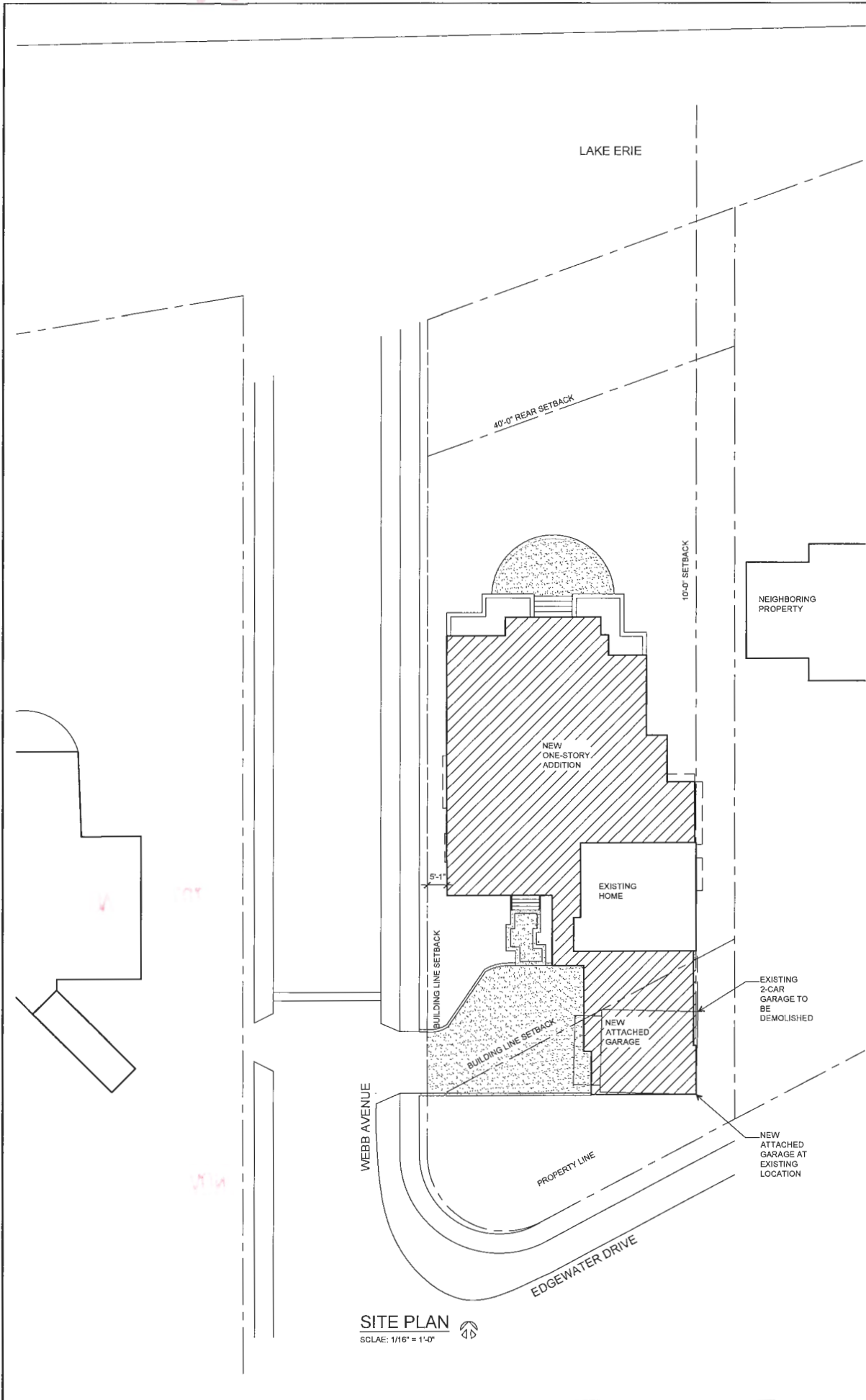
of NOV 11 2021 meeting.

City of Lakewood  
Architrcal Board of Review  
Approved as set forth in the minutes

City of Lakewood  
Architrcal Board of Review  
Approved as set forth in the minutes

of NOV 11 2021 meeting.

*[Handwritten Signature]*  
CHAIRMAN



ZONING REVIEW	DATE
	09.09.2021

2076 LINCOLN AVENUE  
 LAKEWOOD, OHIO 44107  
 216.333.7458



NEW RENOVATION AND ADDITION FOR THE  
**HALL RESIDENCE**  
 17788 EDGEWATER DRIVE  
 LAKEWOOD, OHIO 44107

JOB NO: 2188
SUBMIT: BOARD OF ARCH. REVIEW
DATE: 10.14.2021
SHEET:

**SITE PLAN**  
 SCALE: 1/16" = 1'-0"

## David Baas

---

**From:** Andrew Erker <acerker@hotmail.com>  
**Sent:** Thursday, November 11, 2021 1:55 PM  
**To:** David Baas  
**Subject:** 17788 Edgewater Brick  
**Attachments:** Beeckosil\_Fine&Coarse\_US\_English\_TDS+2017-08-01.pdf; PermaTint - 1010 QuartzGuard TDS.pdf; PermaTint Product Brochure.pdf

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi David;

As you are aware we are trying to find the best solution to achieve a uniform brick texture, size, and grey color (squirrel tail) to apply to the existing and new brick on the home.

First, I spoke with Brian Williams at Thomas Brick about the Hall's brick options. As I suspected, the grey color that we are trying to achieve is not made in the brick texture that matches the home, therefore, changing the color of a brick would be the route, see accompanying email from Brian.

Secondly, I contacted Brian's recommended masonry staining contractor, Masonry Cosmetics I spoke with Sarah which she tells me their stain product is transparent and pigment is added in order to change the color of the brick. This, of course, will let the underlying texture and color variants come through (which is not our goal in creating the uniform look).

Thirdly, I also contacted John Bogart from Beeck's Mineral Paints, from my previous submittal, to talk through the different applications that we can use to achieve our goal of the finish. We spoke about the different mineral binders that the company has, including both, paint and stain. From his explanation of the different binders, he tells me that mineral products bind to the brick and become part of the brick rather than the traditional acrylic, latex and oil based paints which just coats the surface. The mineral binding of the product makes the brick act as a traditional lime wash would, as it weathers only with erosion, will not peel (as acrylic paints would), and lasts 20-25 years longer than a lime wash (which is roughly 5-10 years). I spoke with him about our goal to make a uniform coating on the old and new brick and he recommended using the mineral paint vs. the mineral stain. The stain, as he put it, creates a "glazing effect" as it is meant to be diluted with water to be able to see the substrate beyond the stain. Beeck has a stain product that can give the opaque uniform look that we want to achieve but he says that it is, not only difficult to achieve, as you would need to add layers and layers of the stain to achieve the same effect that their mineral paint would. And because both mineral paint and mineral stain have the same end result and allow the brick to act as it was intended, in order to achieve the opaque uniform color, Beeckosil Fine mineral paint is his recommendation. On a side note, he cautioned using any masonry stain as a lot of companies use a masonry stain with a diluted acrylic base which will clog the pores of the brick being stained. Beeck mineral paints are used and accepted in architectural review boards in many historic parts of the world, including (but not limited to) New York, NY, Savanna, GA, Wilson-Salem, North Carolina, Louisiana, South Carolina, Germany, and Switzerland. I do not have an email from John, as this was a phone conversation. Feel free to contact him directly with any questions.

Beeck's Mineral Paints (704) 940-3603

Fourthly, I spoke with Dustin Jepson, Owner of Permatint Limited. He sent me his recommendations in order to achieve our goal. Like the Beeck product, this is a mineral binding agent that becomes part of the brick. The product is meant to let the bricks "breathe" and has a life expectancy of 30-40 years or longer! His recommendation is "1010 QuartzGuard" (cut sheet attached) which is an "Exterior Silicate Dispersion Paint for Brick." See his email and supplemental attachments below.

**Email from Brian Williams;**

Andy,

Thanks for reaching out in regards to the addition at 17788 Edgewater Dr in Lakewood. To match that brick texture and size would be impossible in a grey color. Most of this brick is produced with the sole intent to match old brick projects. We represent over 15 different manufacturers with over 50 plants from sea to sea, and no one makes a grey brick with a vertical scored texture.

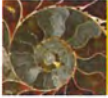
If there is something else I can offer you on this project please let me know! We have many fine tile products that would be a perfect addition to an Edgewater Dr abode!!

We do work with companies that specialize in staining masonry. [www.masonrycosmetics.com](http://www.masonrycosmetics.com) Masonry Cosmetics is one of the best.

Thanks, Brian

*Brian Williams*

**Vice President, Architectural Sales**



# Beeckosil Fine & Coarse

Traditional Pure Mineral Silicate Finish Exterior/Interior

Extremely durable active silicate paint based on our historic formulation using pure potassium water glass for maximum silicification. Beeckosil represents a centuries old hand crafted paint that is extremely water vapor permeable, weather resistant and UV stable. This sustainable product is hand made today with century old methods using the best quality raw materials and pure mineral pigmentation. Used for restoration and renovation on masonry, concrete, all types of stucco, lime cement plaster, terracotta and other raw mineral surfaces of historic as well as new structures. Beeckosil is a great fit for the building physics characteristics of historic structures because of its unique handcrafted quality, period correct formulation, durability, and its physical properties.

## 1. Product Properties

Beeckosil is a single component ready-to-use silicate paint system with BEECK ASF® Active Silicate Formulation. Manufactured according to VOB/C DIN 18363 2.4.1. Beeckosil is ideal for all raw mineral substrates such as lime and cement stuccos/renders or plasters, concrete, brick, stone and other masonry or mineral wall systems. Beeckosil provides a classic mineral profile and timeless quality aesthetic. It can be used for both conservation of listed buildings and for contemporary architecture. When applied a chemical reaction takes place between the mineral substrate and the potassium water glass, producing uniform inseparable bonding. This reaction is called silicification, the bonding between mineral substrate, pigments and potassium water glass does not produce a surface film, but instead a microporous inseparable single unit of substrate and coating. The sole use of inorganic mineral pigments ensures extreme UV stability while maintaining the original color integrity.



### 1.1. Composition

- Pure mineral potassium water glass, produces the best breathability properties
- Alkali-resistant inorganic pure mineral pigments: lightfast, non-fading even in the most extreme conditions
- Beeck historic formulation – manufactured according to VOB/C DIN 18363 2.4.1.
- Free from solvents, biocides and preservatives – a sustainable, healthy and environmentally responsible product

### 1.2. Technical properties

#### 1.2.1. Overview

- Exterior and Interior façades and surfaces – excellent durability even in extreme weather conditions
- BEECK ASF® Active Silicate Formulation – This BEECK exclusive formulation gives you the best silicate bonding properties and the most durable finish.
- Maximum colorfastness A1 (BFS leaflet No. 26) - best possible - No fading, UV stable
- Extremely high water vapor permeable (breathable) and valuable building physics properties
- Natural alkalinity helps to prevent algae and mold
- Active moisture regulating - allows substrate to naturally maintain optimum moisture balance
- Mineral finish stays clean longer and is easy to clean when necessary
- Extreme flat mineral matt finish - desirable appearance
- High hiding capacity – easy to refinish, no stripping ever required before recoating
- Outstanding long lifecycle delivers great value and sustainability – helping to preserve property value
- Nonflammable – will not burn
- Pollution and acid rain resistant
- Non-film-forming – surface remains breathable
- Environmentally responsible, sustainable, extremely low VOC product containing no solvents
- Exceeds the strictest air quality regulations, can be applied anywhere
- Contributes to LEED

#### 1.2.2. Important building physics characteristics\*

Parameter	Value	Conformity
Density 20°C:	1,50 kg / litre	
pH value 20°C:	11	
Dynamic viscosity 20°C:	4,500 mPas	
W <sub>24</sub> value:	< 0.08 kg / (m <sup>2</sup> h <sup>1/2</sup> )	EN1062-3
Vapor Permeability (H <sub>2</sub> O):	(Best in class) 0.01 - 0.02 m, s <sub>d</sub> value	ISO 7783-2
	75 - 85 Perms	ASTM E96
V value Water vapor transmission rate	≥ 1900 (g/m <sup>2</sup> d)	EN 1062-1
Colorfastness**:	(Best in class) A1	BFS Information Sheet No. 26
Grain size:	fine	EN 13300
Gloss level at 85°:	dull matt	EN ISO 2813
Flammability class:	A2 nonflammable	EN 13501-1, DIN 4102
VOC content (max.): white or tinted	≤ 4 g / L	ChemVOCFarbV, Cat. A / c
Thermal Expansion	Matches the masonry surface	
Flash point	nonflammable	
Accelerated Weathering	pass	ASTM G154
Wind Driven rain	pass	ASTM E514



# Beeckosil Fine & Coarse Traditional Pure Mineral Silicate Finish

Exterior/Interior

\* applicable to White | \*\* applicable to tinted

## 1.2.3. Color

- White and all 200 colors in the BEECK Mineral Paint Color Chart
- Color groups: I – IV on the BEECK color charts
- Monochrome color shades: C-651, C-652, C-653, C-654, C-655, C-656, C-657, C-658, C-659, C-660 and C-661
- Custom color matching available. Contact BEECK about getting your color matched.

## 2. Use

### 2.1. Substrate requirements

- Can be used on porous, absorbent to semi-water-repellent mineral substrates.
- The substrate must be clean, dry, sound, and stable. It must be free from efflorescent, salts, oils and other incompatible substances.
- All new plaster, stucco, render, concrete or masonry must be properly cured before painting.
- Carefully patch areas needing repair with the same type of material and the same texture.
- Use mortar or plaster to repair large cracked substrates. Pretreat surfaces that have small or hairline cracks all over with BEECK Quartz Filler or BEECK Bonding Coat Coarse, alternatively with Beeckosil Coarse in case of minor surface defects.
- Uniform substrates and application is important for appearance on high visual quality surfaces and in glancing light.
- Horizontal and slightly sloping surfaces like sills and the tops of walls traditionally weather faster than vertical walls and may require more frequent maintenance.

### 2.2. Brief information on the standard system

- Apply two coats of Beeckosil Fine. Additional coats extend the lifecycle of the coating
- Primer and possible intermediate coat, optionally with Beeckosil Fine or Coarse, same color topcoat with Beeckosil Fine.
- Optimally adjust and thin Beeckosil Fine with BEECK Fixative to the substrate texture and absorbency by adding Fixative mixture up to 24 oz. per gallon. Do not exceed 20%. Typically only on the first coat.
- Critical imperfect or surface damaged substrates: apply BEECK Quartz Filler or BEECK Bonding Coat Fine / Coarse over the entire surface as a pretreatment. Perform trials on site to determine the best product for your needs
- Use BEECK Silane Primer, BEECK Quartz Filler and/or BEECK Bonding Coat Fine / Coarse to apply a primer coat to critical surfaces if required.
- Optional pretreatment with BEECK Silane Primer for added water repellency or post treat with BEECK SP Plus.

### 2.3. Substrate and preparatory treatment

- **Lime, lime-cement or cement plaster/stucco/render:**
  - Allow proper drying and curing of newly installed surfaces.
  - Use an etching fluid to remove sinter skin on solid new mortar, plaster/stucco/render. Do not etch thin coat renders and composite materials (for example, ETICS/EIFS).
  - Clean, treat and rinse all algae and fungi infested surfaces with a biological cleaner and a fungicidal treatment.
  - Prime highly absorbent surfaces with BEECK Fixative, thinned with 2 parts water.
  - For sanding surfaces, flow coat several times with the following mixture, 1 part BEECK Fixative and 5 parts water, until completely saturated.
- **Concrete, GFRC, fiber cement boards and other cementitious surfaces:**
  - Allow proper drying and curing of newly installed cement.
  - Use an etching fluid to remove sinter skin on solid new surfaces
  - Clean, treat and rinse all algae and fungi infested surfaces with a biological cleaner and a fungicidal treatment.
  - Prime highly absorbent surfaces with BEECK Fixative, thinned with 2 parts water.
  - For sanding surfaces, flow coat several times with the following mixture, 1 part BEECK Fixative and 5 parts water, until completely saturated.
  - Use a high-pressure cleaner and BEECK Formwork Oil Remover according to the factory specifications to clean concrete pore-deep and to remove any residual release agent, then rinse with plenty of clean water.
  - Prime fiber cement substrates that are being used exterior with BEECK Silane and BEECK Bonding Coat Fine/Coarse before coating with Beeckosil.
- **Natural stone, brick, terra cotta, CMU and other masonry:**
  - Allow proper drying and curing of newly installed masonry.
  - Clean thoroughly, check for moisture damage and efflorescence (e.g. salt edges, iron salts) and repair all defective joints and bricks/masonry.
  - Clean, treat and rinse all algae and fungi infested surfaces with a biological cleaner and a fungicidal treatment.
  - Prime highly absorbent surfaces with BEECK Fixative, thinned with 2 parts water.
  - For sanding surfaces, flow coat several times with the following mixture, 1 part BEECK Fixative and 5 parts water, until completely saturated.
  - For CMU apply BEECK Quartz Filler or BEECK Bonding Coat Fine / Coarse over the entire surface as a pretreatment to fill small holes or voids. Perform trials on site to determine the best product for your needs
- **Old film-forming coatings, synthetic resin renders/stucco, external thermal insulation composite systems (ETICS/EIFS):**
  - Remove all cracked or loosely bonded old coatings.
  - Check the adhesion and soundness of all remaining coats.
  - Thoroughly clean tightly bonded coatings and renders/stuccos.



## Beeckosil Fine & Coarse Traditional Pure Mineral Silicate Finish

Exterior/Interior

- Clean, treat and rinse all algae and fungi infested surfaces with a biological cleaner and a fungicidal treatment.
- Make repairs with proper mortar matching existing surface texture.
- Prime highly absorbent or crumbling surfaces with BEECK MBA-Fixative, thinned with 2 parts water.
- Note regarding façade cleaning: synthetic resin renders/stuccos swell when they absorb water and are slow to dry; allow for sufficiently long drying periods between cleaning and coating. Clean composite systems, insulating renders and similar pressure-sensitive surfaces gently, without damaging the material.
- Prime with highly adherent, white primer coating with BEECK Bonding Coat Fine / Coarse. In case of hairline cracks or minor structural defects, pre-coat the whole façade surface with BEECK Quartz Filler or Beeckosil Coarse, try on a test area first.
- Use only light colors with lightness value (LV) > 40 on external thermal insulation composite systems (ETICS/EIFS).
- **If your substrate was not listed or if you have questions contact your BEECK representative for recommended application and surface prep.**
- **Unsuitable substrates** are large horizontal or slightly sloping surfaces exposed to the weather, walking surfaces, unstable substrates, efflorescent surfaces containing salts and non-alkali-resistant substrates such as wood-based materials (MDF, OSB), many old oil based coatings, loam, gypsum, and plastics as well as non-firm and plasto-elastomeric coatings.
- **Defective substrates** require specific approaches. Contact your BEECK representative regarding recommended application and surface prep for your specific condition.
  - Clean, treat and rinse all algae and fungi infested surfaces with a biological cleaner and a fungicidal treatment.

### 2.4. Application instructions

#### 2.4.1. General information

Check substrate suitability as required (see 2.1 and 2.3). Pay particular attention to the absorbency, strength and texture of the respective substrate. Prepare a trial or test area before using on high visibility and critical surfaces. Ensure that the product is applied by a qualified person.

- Carefully cover surfaces which are not to be treated – especially glass, ceramics, window sills, expansion joints, lacquer and anodic coatings – protect them from splashes, drips or splatters.
- Provide personal protective equipment.
- Only use containers from the same production batch to coat self-contained or continuous surface areas.
- Before use, stir Beeckosil thoroughly with a power mixer. Take care not to incorporate air into the product.
- Adjust consistency of Beeckosil for substrate absorbency and product flow by adding BEECK Fixative mixture. Max 24 oz. per gallon or 20% in first coat, Max 12 oz. per gallon or 10% in finish coat.
- Do not apply in wet conditions, if there is a risk of frost, on hot surfaces or in the blazing sun.
- Application surface and drying temperature: +40°F – +86°F (+4°C - +30°C)
- Drying time: at least 12 hours per coat
- Protect freshly coated areas from the rain; hang up scaffolding sheeting in front of the surface being worked on.

#### 2.4.2. Application

Apply with roller, brush or using an airless spraying method. Apply to continuous surface areas without any breaks or stops maintaining a wet edge. No overlapping or dry edges; apply in one continuous equal pass.

- **Application with roller or brush:**
  - Rollers and brushes with a uniform coating finish are suitable.
  - Avoid roller edges, ridges, overlapping and over coating areas that have already begun to dry, especially in scaffold working areas.
  - Cut-in edges smoothly and seamlessly, wet-on-wet, together with the main area.
  - When applied by brush, it is recommended to use a BEECK Mineral Paint Brush or similarly high quality tool to spread in any direction.
  - Coats:
    - Primer coat: Thin product with no more than 24 oz/gal or 20 % with BEECK Fixative mixture to improve flow.
    - Intermediate and Topcoat: After at least 12 hours, un-thinned is recommended however in some cases it may be acceptable to thin up to 12 oz/gal or 10% with BEECK Fixative mixture
  - Never thin with water
- **Spraying method (airless):**
  - Nozzle: 0.79 mm / 0.031 inch
  - Always sieve product before use, apply uniformly and as a thin coat.
  - If necessary, uniformly lay-off with a brush or roller.

### 2.5. Auxiliary products

- BEECK Etching Fluid for removing sinter layers on solid new plaster. Do not etch thin coat renders or ETICS.
- BEECK Silane Primer, water-repellent primer for reducing moisture transport and salt efflorescence.
- BEECK Bonding Coat Coarse, slurry white primer (0.4 mm) with excellent adhesion properties.
- BEECK Quartz Filler, fiber reinforced, silicate-based, slurry priming coat for covering hairline cracks and minor structural defects. Apply over whole surface with the brush. BEECK Quartz Filler can also be mixed 1:1 with Beecko-SOL Fine as a coarse-grained primer and/or intermediate coat. Same color topcoat with Beecko-SOL Fine.
- Beeckosil Coarse, with texture grain (0.4 mm) for coarse-grained primer and intermediate coatings. Same color topcoat with Beeckosil Fine.



## Beeckosil Fine & Coarse Traditional Pure Mineral Silicate Finish Exterior/Interior

- BEECK SP Plus, long-term water repellent treatment for representative façades, screen walls, noise barriers and other excessively exposed surfaces. Apply maximum flow coat of BEECK SP Plus to fresh silicate coatings after at least 10 days drying time.

### 3. Application Rate and Container Sizes

The application rate (i.e. the quantity required for smooth, normally absorbent substrates) is approx. 300-350 sq.ft. / gallon (0.12 L/m<sup>2</sup>) per coat. Try out on a test area on site to determine substrate-related differences.

Container sizes: 1 Gal / 4 Gal pails

### 4. Cleaning

Thoroughly clean equipment, tools and soiled clothing with water immediately after use.

### 5. Storage

Stored cool and frost-free unopened original container, Beeckosil Fine can be kept for at least 12 months.

### 6. Hazard notes, safety instructions and disposal

Comply with the Safety Data Sheet. Safety Data Sheet available on request.

**Precautionary statements:** Keep out of reach of children. Do not get in eyes, on skin, or on clothing. Wear eye/face protection. The product is alkaline. Do not breathe vapors, spray-mist and dust. Carefully protect the area surrounding the surface to be coated, wash off splashes immediately with water. Dispose of product and containers in accordance with all official regulations.

Waste disposal number: 080112

### 7. Declaration

This technical information is offered as advice based on our knowledge and experience. All information is provided without guarantee. It does not release the user from their responsibility to check the product suitability and application for the specific substrate on which the product is to be used. All information is subject to change without notice as part of our ongoing product development. Non-system additives for tinting, thinning, etc. are not permitted. Check the colors before use. This information sheet automatically becomes invalid when a new edition is issued. The information in the current version of the Safety Data Sheets is binding for classification according to the Hazards identifications, disposal considerations, etc.

# PERMATINT



## Technical Data Sheet

## #1010 QuartzGuard

Interior & Exterior Silicate Dispersion  
Paint for Concrete, Stone, Bricks, Concrete Block,  
Lime and Cement Mortar, Plaster and Drywall





### Properties

#1010 QuartzGuard is a highly durable interior & exterior silicate dispersion paint due to its vapour permeability and chemical bonding with the substrate. It is non-combustible, fire retardant, washable and bonds & cures after penetrating the substrate and petrification of the quartz binder. QuartzGuard is 96% mineral-sourced in a water base, a property which makes it odourless within hours (zero VOCs) and gives it microcrystalline properties of natural stone. It doesn't blister or peel, is water repellent and dries to matt finish with a life expectancy of 20 years or more.

### Where to use

#1010 QuartzGuard Silicate Dispersion Paint can be used on most rigid and absorbent exterior and interior wall surfaces. Ideal are mineral-based surfaces such as concrete, lime & cement plaster (stucco), brick, stone or old powdery stucco, if it has been solidified by a mineralizing coat of #1050 PrimaSil. Not suitable for wood (not stable), plastic, metal (non-absorbent) and floors (too much abrasion).

Important for proper product performance is a proper preparation of the substrates:

-  The substrate must be chemically neutral or alkaline, free of dust and fatty or other separating substances. If necessary or as a precaution, power-wash with TSP solution.
-  Loose or powdery particles from weathered mineral surfaces must be removed or stabilized with #1075 Masonry Strengthener.
-  Old paint coats that restrict the surface absorbency must be removed, i.e. old glossy latex and alkyd paints have to be 90% removed. Old Lime paints can be compatible but should be checked for adherence. Very absorbent surfaces must be primed & saturated with 1 coat of #1050 PrimaSil.
-  The surface MUST be dry, with a moisture content less than 20% to ensure proper penetration into the substrate and allow curing to occur.

### Disclaimer:

All directions in this technical data sheet are given in good faith to help you to achieve the desired results. However due to unpredictable circumstances no legal liability can be based on this content. By purchasing this product, the user assumes full responsibility for testing its suitability for the intended purpose including any consequential liability arising from its use. The manufacturer's liability is limited to the replacement of faulty product.

### Colours

Over 150 standard colours.  
Custom tinting is available with a minimum volume requirement per colour.

### Coverage

approx. 300 sq ft. per gallon  
(varies with surface material, texture and pre-treatment).

### Drying Time

Depending on the temperature and the relative humidity, dry to touch after 2 hrs, but allow min. 12 hrs before applying 2nd coat.

### Application

Stir well before using. Do not apply at working temperatures (surface + air) below 5° C or above 45° C. Apply 2 coats by brush, roller or airless sprayer after proper surface preparation. Final coat to be applied continuously wet-in-wet especially when using stronger tinted colours.

### Cleaning

Wash tools with warm water and soap.

### Storage

Keep containers tightly sealed in a cool, dry and frost-free place. Shelf life is min. 24 months in unopened containers.

### Safety

Keep out of reach of children.  
Do not empty wet paint into drains or water courses, but let dry and discard solid leftover with regular garbage. Use goggles & protective gear when working overhead.

### Ingredients

water, potassium silicate, mineral fillers & extenders, earthen & mineral pigments, < 5 % acrylic stabilizer, ammonia solution, polysaccharide, cellulose, sodium phosphonate, fatty acid defoamer, hydrophobing agent

# PERMATINT



Technical  
Data  
Sheet

## #1010 QuartzGuard

Interior & Exterior Silicate Dispersion  
Paint for Concrete, Stone, Bricks, Concrete Block,  
Lime and Cement Mortar, Plaster and Drywall

### General Preparation

Surfaces must be rigid & absorbent, dry (less than 20% moisture content), clean and free of dust, oily residues and chemically neutral or alkaline. Remove any loose particles and make good with cementitious filler. Old coats of latex or alkyd paints must be removed, since they inhibit penetration of the silicate binder into the substrate and vapour-permeability. Flaking or peeling paints must be removed completely. Carefully protect all adjacent glass, metal, ceramic etc against splatters. Remove unavoidable splatters immediately with water.

Note:

Silicate Paint products are alkaline. (pH = 8.5 - 9.5)

### Old Exterior Lime & Cement Stucco and Other Highly Absorbent Mineral Surfaces

If there are loose particles, remove and solidify the substrate with #1050 PrimaSil or #1075 Masonry Strengthener. Seek manufacturer's advice regarding which product to use. Then apply one coat of #1010 QuartzGuard diluted with up to 20% #1050 PrimaSil and a second coat of #1010 QuartzGuard undiluted.

### New Exterior Concrete, Mortar Stucco etc.

Make sure surfaces are fully cured, i.e. min. 30 days old at time of painting. Remove or neutralize any oily residues such as forms release agents, etc. Apply 1 Primer coat of #1010 QuartzGuard diluted with 20% #1050 PrimaSil plus one coat of #1010 QuartzGuard exterior/interior silicate mineral paint undiluted for best results.

Disclaimer:

All directions in this technical data sheet are given in good faith to help you to achieve the desired results. Due to unpredictable circumstances no legal liability can be based on this content. By purchasing this product, the user assumes full responsibility for testing its suitability for the intended purpose including any consequential liability arising from its use. The manufacturer's liability is limited to the replacement of faulty product.

### Breathability

Technically breathability is measured as **Water Vapour Permeance and it can be expressed in US-perms or in Metric-perms.**

### Comparative Data:

1 coat of latex paint = 1.2 US-perms.

2 coats of latex paint = 0.7 US-perms.

**2 coats of #1010 QuartzGuard = 77.5 US-perms.**

This means a standard 2 coat application of our Interior & Exterior Silicate Dispersion Paint has approximately 100 X the Water Vapour Transmission rate of a 2 coat Latex Paint and is in the same range as house wraps, which are specially designed for optimal water vapour permeance.

RESISTANCE AGAINST PENETRATING RAIN IS EQUALLY IMPORTANT, WHEN PAINTING EXTERIOR SURFACES.

An independent US - test laboratory from Brooklyn, NY has tested the "Resistance against Wind-driven Rain" in accordance with ASTM D 6940 on #1010 QuartzGuard Interior & Exterior Silicate Dispersion Paint.

### Test Results:

**#1010 QuartzGuard complies with the qualitative requirements** stated in US Federal TT-C-555B "Coating, Textured for interior and exterior masonry surfaces." -3.3.3

Resistance against wind-driven rain, from which ASTM D 6940 has been derived.

# A DIFFERENT KIND OF PAINT...

## THE RIGHT WAY TO PAINT YOUR BRICK



Our Family of Companies: [permatint.com](http://permatint.com) | [bjbrickwork.com](http://bjbrickwork.com) | [vintagebrick.ca](http://vintagebrick.ca)

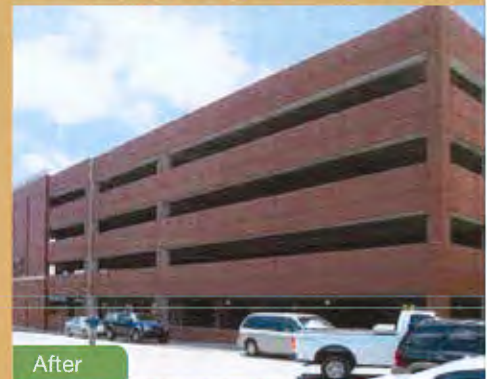
# A DIFFERENT KIND OF PAINT

PermaTint Limited manufactures unique and durable masonry paints and stains for stone, brick, block, concrete, stucco and other masonry surfaces. Traditional paints (latex, acrylic or oil) mechanically bond (or stick) to the surface they are applied to and form a coating on it. These coatings will not allow moisture from within the wall to escape naturally. In time, this trapped moisture will cause the paint coating to lift, crack and peel. Further, exterior environmental factors such as humidity fluctuations, UV rays and freeze/thaw cycles constantly wear at the vulnerable mechanical bonds causing fading and eventual failure. The result is a paint coating that requires consistent, expensive maintenance.

Our mineral based paints and stains function completely differently from traditional paints. They soak into the surface they are applied to and crystallize within it. Rather than sticking to the surface, our mineral paints go through a chemical reaction that permanently locks the colour in – simply put, they become part of the brick rather than being a coating on it. Because the paint is comprised of natural minerals, it leaves the surface in a breathable state allowing internal moisture to evaporate normally. Our pigments are natural inorganic iron-oxides that are impervious to UV, allowing our paints and stains to maintain their rich and vibrant colours. Our products come with a 10 year replacement warranty and have a life expectancy of 20 – 30 years or more, with no maintenance.



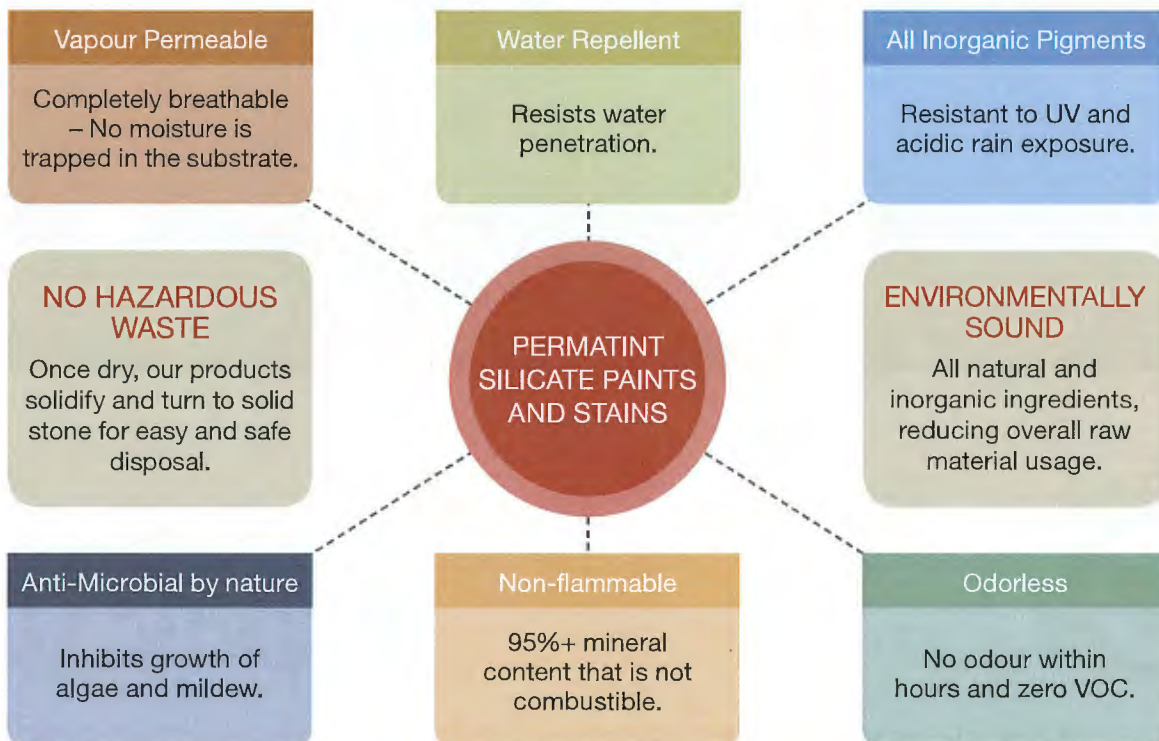
Before



After

Danville, Kentucky

## BENEFITS OF OUR COLOURING SYSTEM



# OUR PRODUCTS

## Fixative #1050

Fixative is a silicate dilution and our most versatile product allowing for several different applications. Fixative is almost completely transparent and allows for the natural background variation of the surface to show through. It can be used to pre-treat surfaces, to fill absorbent pores and to solidify older lime or cement plasters. Fixative is recommended as a primer to all mineral paint applications.



Halifax, Nova Scotia

## SiLasur #1020

SiLasur is a semi-transparent silicate stain that depending on the level of dilution can be used to create a more natural stained look. SiLasur is designed as a carrier for strong colouration from opaque to transparent finishings. It can be used for colour washes, glazings and faux painting effects.



Toronto, Ontario

## Quartzguard #1010

Quartzguard is a vapour permeable and water repellent paint designed to provide the same type of coverage as a traditional latex paint. Quartzguard has excellent hiding capabilities with a matt finish. Quartzguard is a superior product for exterior painting of any masonry including brick, stone, stucco, concrete and plaster.



San Marino, California

# ABOUT PERMATINT

Gary Jepson started BJ Brickwork Construction Limited more than 30 years ago focusing on masonry restoration. The everyday issues of matching brick, stone, mortar or other existing materials was the motivation for starting PermaTint Limited in 2001. PermaTint has developed a highly trained staff of technicians who are specialists in custom colour matching for masonry. Virtually all masonry restoration projects can benefit from the art of custom colour matching to allow new and old materials to blend seamlessly. Vintage Brick rounds out our family of companies and imports new molded brick and other specialty brick from the UK.

While we are now offering mineral based paints and stains for sale, if your project requires an on-site custom colour match we have the staff to do it. Simple one colour treatments can be done by a competent painter but multi-colour treatments can be complicated and difficult. All of our PermaTint technicians have years of experience and are specialists in on-site colour matching. We can always provide different pricing options for supplying the material or supplying and installing it.



Toronto, Ontario

## OUR MASONRY COLOURS

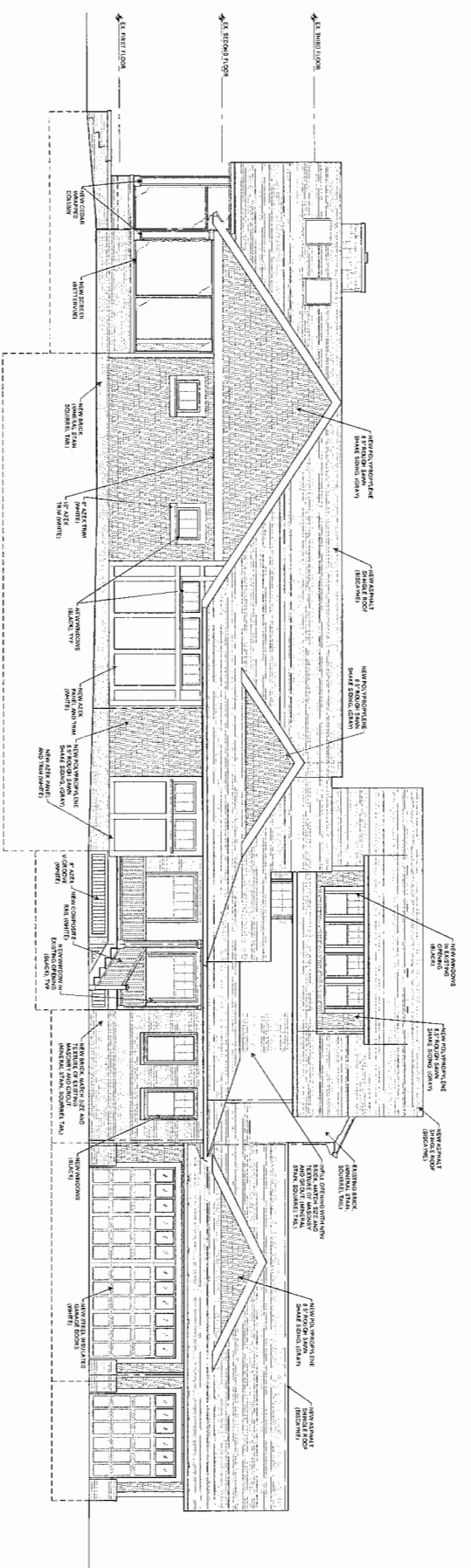
Our Family of Companies: [permatint.com](http://permatint.com) | [bjbrickwork.com](http://bjbrickwork.com) | [vintagebrick.ca](http://vintagebrick.ca)

**PermaTint Toronto**  
Head Office  
100 Bradwick Dr., Unit 2  
Concord, ON L4K 1K8  
T. 905 764 7503  
E. [info@permatint.com](mailto:info@permatint.com)

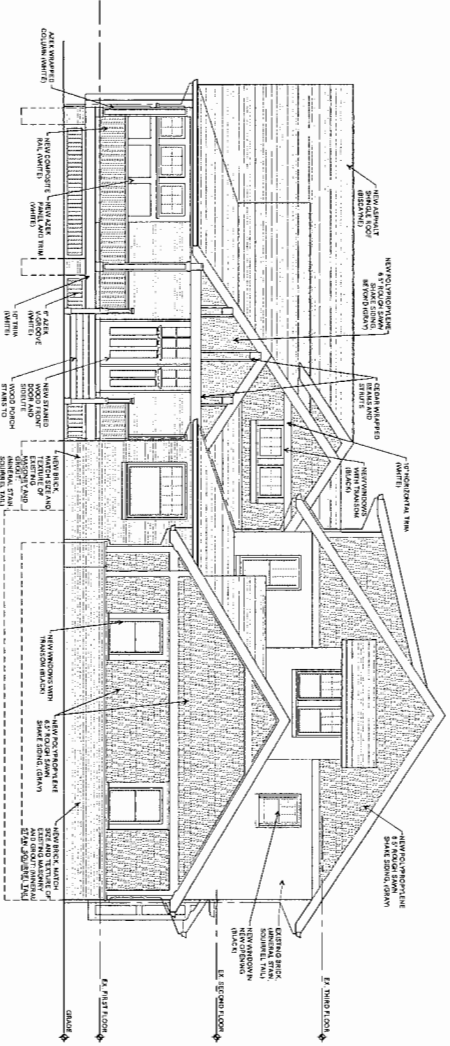
**PermaTint Ottawa/Montreal**  
1469 Merivale Road  
PO BOX 78024  
Ottawa, ON K2E 5P0  
T. 613 697 3854  
E. [info@permatint.com](mailto:info@permatint.com)

**PermaTint New York**  
1323 Potter Blvd.  
Bay Shore, NY 11706  
T. 1 866 850 TINT (8468)  
E. [info@permatint.com](mailto:info@permatint.com)

WEST (SIDE) ELEVATION



SOUTH (FRONT) ELEVATION



NEW RENOVATION AND ADDITION FOR THE  
 HALL RESIDENCE  
 17788 EDGEWATER DRIVE  
 LAKEWOOD, OHIO 44107

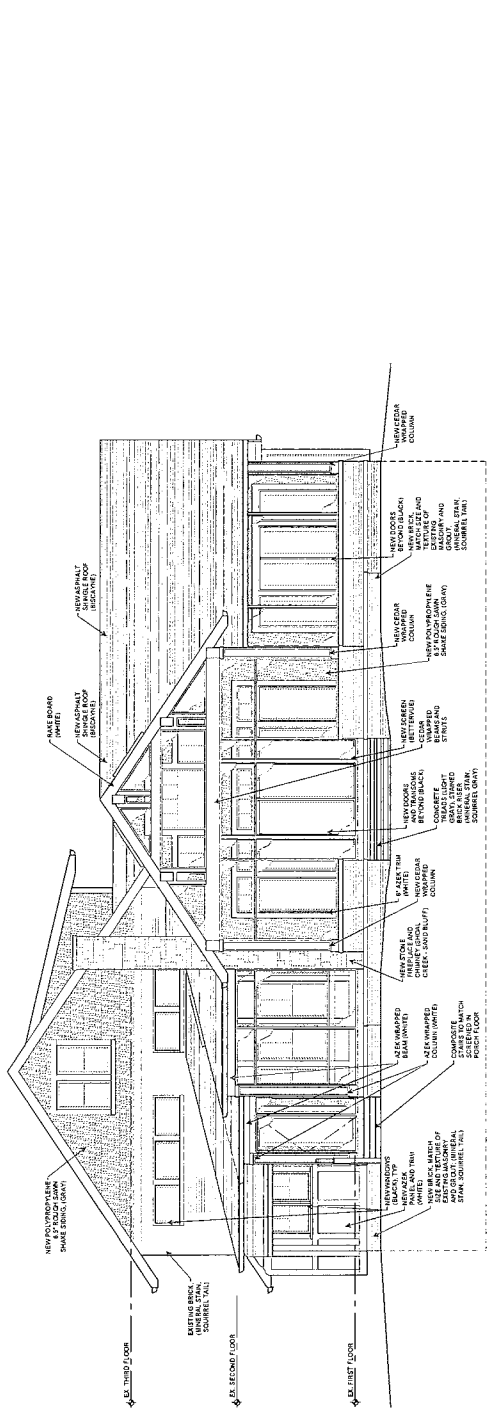
ACE DESIGN  
 2024 UNION AVENUE  
 CLEVELAND, OHIO 44115  
 216.747.4458

DATE	11/13/2021
BY	ACE DESIGN
APP'D	ACE DESIGN
SCALE	AS SHOWN
SHEET	11/13/2021

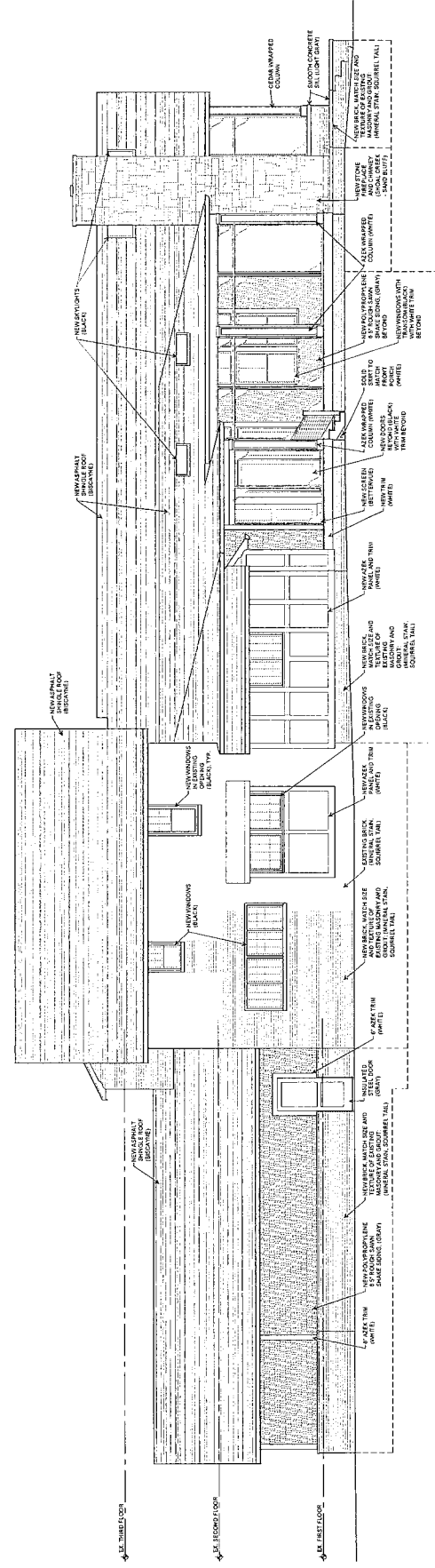
JOB NO. 2108  
 SUBMIT ELEVATION  
 DATE: 11/13/2021  
 SHEET



DATE	11/13/2021
REVISION	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT



**NORTH (REAR) ELEVATION**  
 1/8" = 1'-0"



**EAST (SIDE) ELEVATION**  
 1/8" = 1'-0"



Arrington 6" Wide Mystic Black - Gold Outdoor Ceiling Light

\$79.99

Comparable Value \$129.99
FREE SHIPPING & FREE RETURNS\*
SHIPS TODAY / ordered in the next 5 H: 25 Min.

1 ADD TO CART SAVE

Open Box Available

MORE OPTIONS



VIEW IN YOUR ROOM! DESIGN CHART

Product Details

This handsome outdoor ceiling light comes with a beautiful gold accent and a vintage Edison style filament light bulb.

Additional Info:

Brighten up your home's exterior with this semi-flushmount ceiling light from the Arrington collection by John Timberland. This updated industrial design comes in a tapering black frame with a sleek, strength-meets-form. Clear glass panels offer a full view of the beautiful gold finish socket and vintage Edison style bulb that is included with purchase. Rated for use in damp locations such as covered porches and patios.

JOHN TIMBERLAND

Shop at John Timberland

- 11.5" high x 6" wide. Square canopy is 4.1" wide x 1/2" high. Weighs 2.79 lbs.
• Includes one 60 watt vintage style Edison bulb. Can use an incandescent, LED, or CFL bulb.
• Semi-flushmount outdoor ceiling light from the Arrington collection by John Timberland.
• Mystic black finish. Gold finish socket. Steel construction. Clear glass panels.
• Rated for damp locations such as covered porches and patios. Can also be used indoors.

Recommended Bulbs



60W Equivalent Taper Clear T10 LED Dimmable Standard Edison Style E110 Bulb Style # 19802

1 \$7.89 ea.

ADD TO CART

More Like This | View All



\$99.99



\$124.99



\$149.99



\$158.99



\$128.99

Related Items



\$149.99



\$199.99



\$95.99

Related Videos



Outdoor Buying Guide



Outdoor Lighting Size Guide



Security Lighting



Contemporary Style Tips and Ideas



Mid Century Modern Style Tips and Ideas

Questions & Answers

Customer Reviews

Review For a Chance to Win \$500.00! [View Details](#)

BACK TO TOP

RECENTLY VIEWED

VIEW ALL



OUR COMPANY
About Lamps Plus
Contact Us
Rate Us
Careers

OUR STORES
Store Locator
Lighting Design Services
New Homeowner Coupon

HELP
Customer Service
Order Status
FAQs
Return Policy
Shipping Information

RESOURCES
Ideas and Advice
Catalogs
Gift Cards
Manage Account
Privacy Policy

STAY CONNECTED
Great deals & inspiration to your inbox
Sign Up for Email Updates

#myLampsPlus
Social media icons

800-782-1967
EMAIL US
LIVE CHAT

LAMPS PLUS PROS
Discount Pricing for the Trade

LAMPS PLUS HOSPITALITY
Custom Lighting for Homes & More



VIEW IN YOUR ROOM | CUSTOMER CARE

MOST POPULAR

Arrington 13" Mystic Black - Gold Outdoor Lights Set of 2

★★★★★ 2 Reviews

\$199.99

Comparable Value 1299.99

or 4 interest-free payments of \$50.00 with @sezzle

FREE SHIPPING & FREE RETURNS

SHIPS TODAY if ordered in the next 5 Hrs 24 Min.

1 ADD TO CART SAVE

Open Box Available

MORE OPTIONS

Product Details

This pair of outdoor wall lights feature a designer black finish with gold finish accents and clear glass.

Additional Info:

Brighten up your home's exterior with this handsome outdoor wall light set from the Arrington collection by John Timberland. This updated industrial design comes in a tapering black frame with gold finish accents. Clear glass panels offer a full view of the beautiful vintage Edison style bulb that is included with purchase. Wet location outdoor rated. Vertical installation and wall mount only.

John Timberland

Shop all John Timberland

- Set of 2 outdoor lights. Each is 13" high x 6.3/4" wide on top x 6" wide at the bottom. Extend 8.3/4" from the wall. Weights 4.99 lbs.
- Backplate is 7" high x 5" wide. Distance from mounting point to the bottom of the fixture is 10 1/2".
- Includes two 60 watt standard-medium base Edison style bulbs. Maximum 60 watt bulb.
- Mystic black finish. Gold finish accents. Steel construction. Clear glass panels.
- Outdoor wall lights from the Arrington collection by John Timberland. Wet location outdoor rated. Can also be used indoors. Vertical installation only as shown. Wall mount only.

Product Documents

- Assembly Instructions for Arrington 13" Mystic Black - Gold Outdoor Lights Set of 2

More Like This | View All



Related Items



Related Videos



Questions & Answers

Customer Reviews

Review For a Chance to Win \$500.00! [view rules](#)

BACK TO TOP

RECENTLY VIEWED VIEW ALL



SHOW LIKE THIS

OUR COMPANY About Lamps Plus Contact Us Rate Us Careers

OUR STORES Store Locator Lighting Design Services New Homeowner Coupon

HELP Customer Service Order Status FAQs Return Policy Shipping Information

RESOURCES Ideas and Advice Catalogs Gift Cards Manage Account Privacy Policy

STAY CONNECTED Great deals & inspiration to your inbox. Sign up for our newsletter.

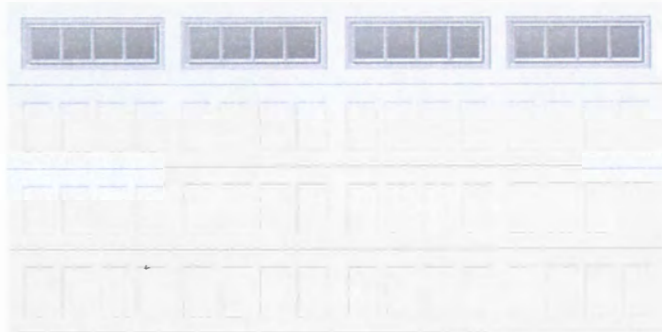
#myLampsPlus

800-782-1967 EMAIL US LIVE CHAT

LAMPS PLUS PROS Discount Pricing for the Trade

LAMPS PLUS HOSPITALITY Contact Lighting for Hotels & More

DOWNLOAD PDF



### Product Summary

Model 2518

<b>Size</b>
Width: 16' 0" X Height: 8' 0" ..
<b>Products</b>
Timeless Collection , Stamped Shaker ..
<b>Thermal Performance Construction</b>
R-16.55, / 2", Heavy Duty, 2-Sided Steel Sandwich , Polyurethane Insulation - 1-7/8" Thick ..
"
<b>Color</b>
Solid Colors , White ..
<b>Windows</b>
Position , FIRST ROW ..
Window Inserts , Madison ..
<b>Glass</b>
Plain ..
<b>Exterior Hardware</b>
Omit Decorative Handles And Hinges ..
<b>Options/Upgrades</b>
No Upgrades ..

**Please Note:** These woodtones, colors, and door panels are to be used as an indication only. Some sizes not available in all models and configurations. Refer to your local distributor for the exact look of your garage door and availability.







## David Baas

---

**From:** Planning Dept  
**Sent:** Thursday, October 28, 2021 10:06 AM  
**To:** David Baas  
**Subject:** FW: Home on Lake Avenue



Administrative Assistant II  
Department of Planning and Development  
City of Lakewood  
12650 Detroit Avenue  
Lakewood, Ohio 44107  
216-529-6631  
216-529-5907 fax

**From:** Nancy McCann <nmccann@murphykulas.org>  
**Sent:** Thursday, October 28, 2021 9:26 AM  
**To:** Planning Dept <Planning@lakewoodoh.net>  
**Subject:** Home on Lake Avenue

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Mr. David Baas, City Planner  
Board Secretary  
Department of Planning and Development

Dear Mr. Baas,

I am Nancy McCann, living at 17802 Lake Ave, and I am writing to you as a neighbor whose home faces a home at 17788 Edgewater Drive, recently purchased by Barbara and Bob Hall. Their intention is to enhance, upgrade and expand their home, while also maintaining and integrating a major portion of the 100 plus year old historical residence along our lake front.

As a neighbor of the previous owners, I had the opportunity, many times over the years, to be in their home. They were great neighbors, but it was very apparent that nothing had been done to upgrade the internal infrastructure of the home, and to correct some exterior structural matters.

I have had an opportunity to review the architectural rendering which has been submitted to the zoning and architectural boards, and I find that the enhancements, addition and upgrades will certainly lead to a beautification of this property consistent with the other properties along the lake on Edgewater Drive, and I am excited to view what they plan to do. As I said, my home faces directly across the small park at the end of Webb.

I understand that the Zoning Board has given approval of the their plans, but there is an issue with the Architectural Board about the painting of the existing brick which represents about 30% of the home, with the remainder of the home to be in Hardie board and Cedar shakes, and there needs to be a "necessary" condition to be met to conform to the new standard for painting masonry surfaces. Matching old brick and mortar with new brick and mortar is always difficult and different weathering conditions apply not to mention curb appeal.

I hope my support for what the Hall family plans for upgrade and beautification of their new home will help in your consideration for approval.

Sincerely yours,  
Nancy McCann

## David Baas

---

**From:** Planning Dept  
**Sent:** Monday, October 25, 2021 9:06 AM  
**To:** David Baas  
**Subject:** FW: 17788 Edgewater

For November's meeting...



Administrative Assistant II  
Department of Planning and Development  
City of Lakewood  
12650 Detroit Avenue  
Lakewood, Ohio 44107  
216-529-6631  
216-529-5907 fax

**From:** JEFFREY BARTLETT <jeff17436@aol.com>  
**Sent:** Saturday, October 23, 2021 5:24 PM  
**To:** Planning Dept <Planning@lakewoodoh.net>  
**Cc:** Bob Hall <rhall37735@gmail.com>  
**Subject:** 17788 Edgewater

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

We are writing to you in support of Barb and Bob Hall and about 17788 Edgewater Dr. which is the house directly to the west of us. We met the new owners shortly after the house was acquired by them. They told us that they planned on rehabilitating the current structure and adding on some new living space. At the time, we mentioned to them that the previous owners had plans to demolish the existing home and rebuild. We were happy to hear that the Halls respected the age of the current dwelling and wanted to incorporate its original footprint as a base off which to build.

They recently informed us that they planned to paint the existing brick on the house and that there is an active ordinance which prohibits the unnecessary painting of existing brick in Lakewood. We understand why in some cases the city may find it necessary to restrict the painting of certain buildings. However, having lived in the Edgewater Clifton Corridor neighborhood for over 10 years, we have never found the brick homes that have been painted to be offensive or unappealing as most of our neighbors are interested in improving and maintaining their property values.

It is not clear to us how The Halls, irrespective of their design, could successfully incorporate new brick which would match the existing brick. In fact, one of the previous owners put an addition on the east side of the house that attempted to match the original brick. The brick and mortar on that addition look bad because they have weathered over the years in a way that no longer matches the original. Our concern is that any added new brick will do the same and the result may be three different brick colors on the home. We understand why the Halls are insisting that painting the brick is necessary and we agree with their assessment.

We thought it would be appropriate to send a note to the ABR to let you know that we support them painting the brick on their home.

Jeff Bartlett and Anthony Rizzo  
17742 Edgewater Dr  
216-228-9020

## David Baas

---

**From:** Planning Dept  
**Sent:** Wednesday, October 27, 2021 2:26 PM  
**To:** Christopher Parmelee  
**Cc:** David Baas; Shawn Leininger  
**Subject:** FW: Barb and Bob Hall

Hi Chris,

If you want someone else to answer this inquiry, feel free to forward. Thanks.



Administrative Assistant II  
Department of Planning and Development  
City of Lakewood  
12650 Detroit Avenue  
Lakewood, Ohio 44107  
216-529-6631  
216-529-5907 fax

**From:** Tom Clause <tclause@calyxit.com>  
**Sent:** Wednesday, October 27, 2021 2:08 PM  
**To:** Planning Dept <Planning@lakewoodoh.net>  
**Subject:** Barb and Bob Hall

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

David,

I'm neighbors with Barb and Bob Hall at 17788 Edgewater Drive. From what I understand the City of Lakewood has an issue with them painting their brick on the house. I would like to understand why this ordinance has come to be.

I've seen the plans and it looks like they are going to make significant improvements to the structure. I find it silly to not allow them to match the rest of the structure by painting the brick. We trust the Halls would not create an eye sore so I would have no issues with them painting the brick and saving a good amount of the original structure.

Please feel free to call my mobile anytime to discuss. Thank you for your time.

Kind Regards,

**TOM CLAUSE**  
DIRECTOR OF SALES

[TCLAUSE@CALYXIT.COM](mailto:TCLAUSE@CALYXIT.COM)  
216.916.0639 x777 P  
216.773.0094 M  
909 Canterbury Road  
Unit O  
Westlake, OH 44145

CALYXIT.COM

*This message has been scanned by Proofpoint Essentials*



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-76-22**

**Permit No.: BBS22-000099**

**Applicant Name: Christopher Walling**

**Project Address: 1655 Roosevelt Ave.**

**Project Name:**

**Project: Applicant proposes the construction of a new garage.**

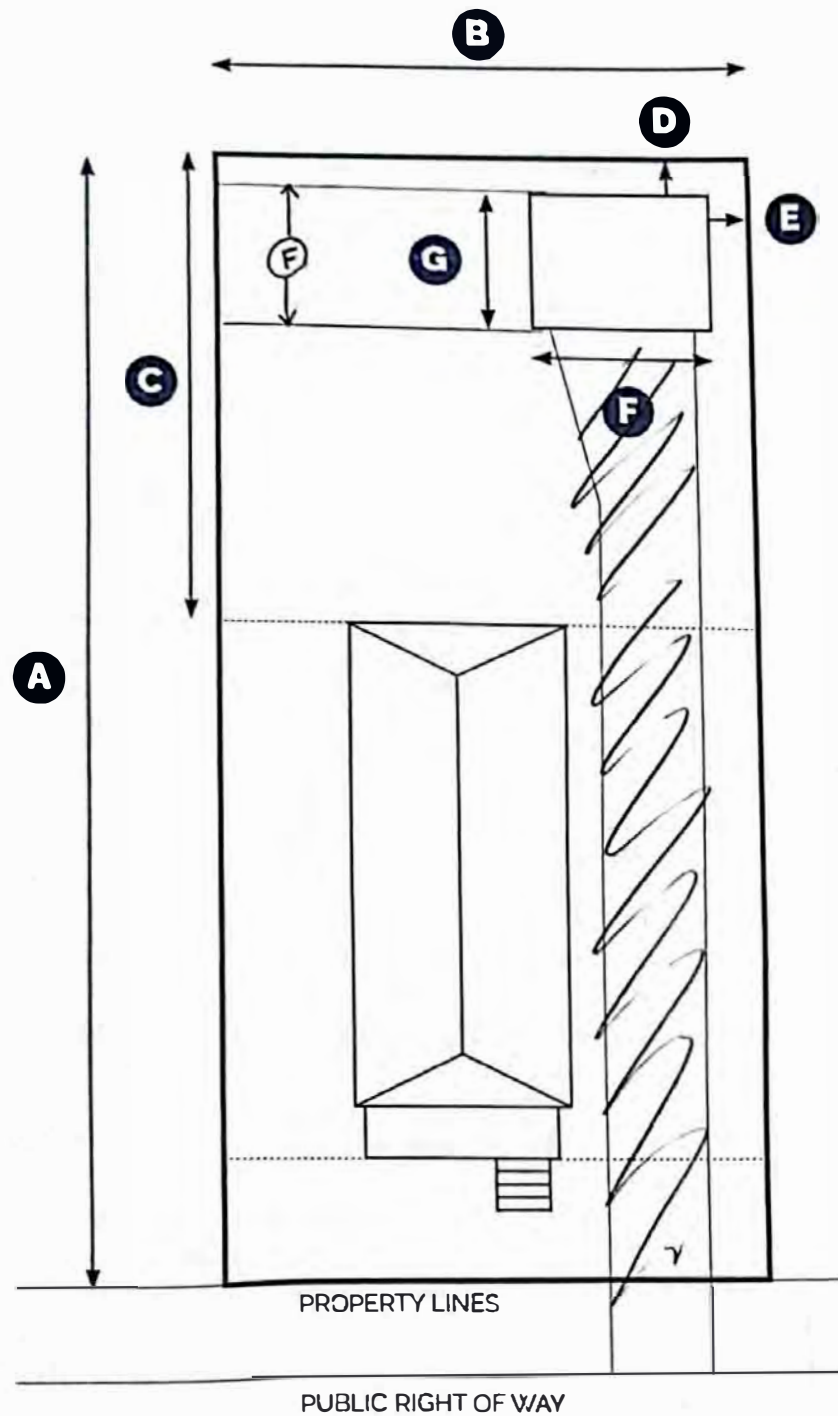


# DETACHED GARAGE PLACEMENT PLACEMENT WORKSHEET (RIGHT-HAND OPTION)

CITY OF LAKEWORTH  
Division of Housing  
12650 Detroit Ave, Lakewood, OH 44107  
buildingpermits@lakeworth.gov  
(216) 525-1234

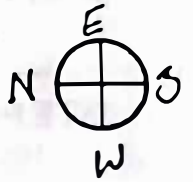
DETAIL FLOOR

PROPERTY ADDRESS: 11655 Rosewood Drive Lakewood, OH 44107



## ORIENTATION

NORTH  
(INDICATE DIRECTION)



## DETACHED GARAGE (IN FEET)

<b>A</b>	LOT DEPTH	114.97'
<b>B</b>	LOT WIDTH	40'
<b>C</b>	REAR YARD DEPTH	28'10"
<b>D</b>	REAR SETBACK	3'
<b>E</b>	SIDE SETBACK	1'
<b>F</b>	GARAGE WIDTH	24'20"
<b>G</b>	GARAGE DEPTH	20'

GARAGE AREA (WIDTH X DEPTH)

480 SF ~~315 SF~~ SF

## DRIVE WAY

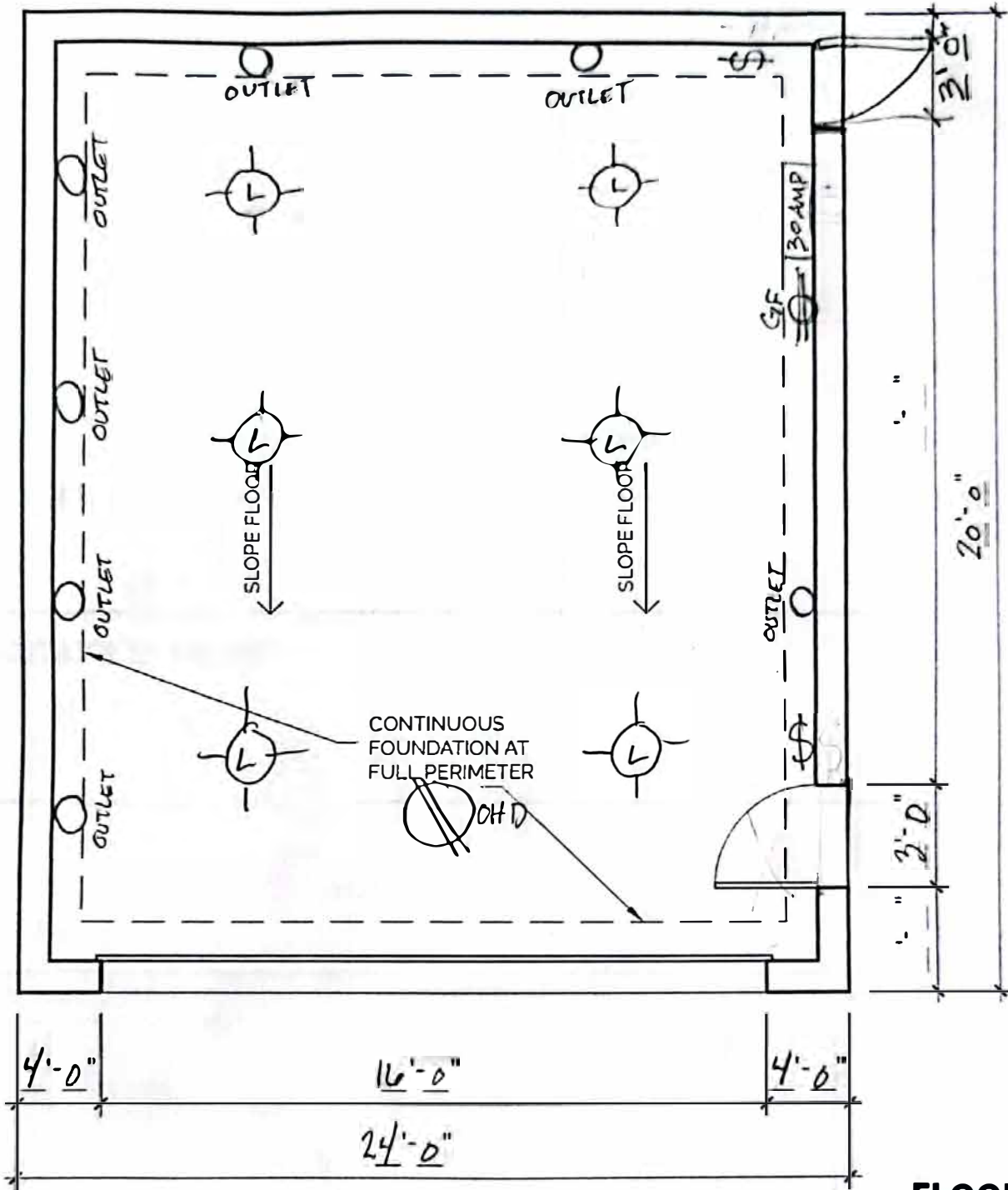
REPLACEMENT Y / N

DRAIN Y / N

## SITE PLAN



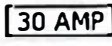


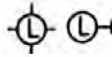
**DETACHED GARAGE PROTOTYPE  
 FLOOR PLAN (LEFT-HAND OPTION)**

PROPERTY ADDRESS: 1655 Roosevelt ave, Lakewood, OH, 44107



**FLOOR PLAN**

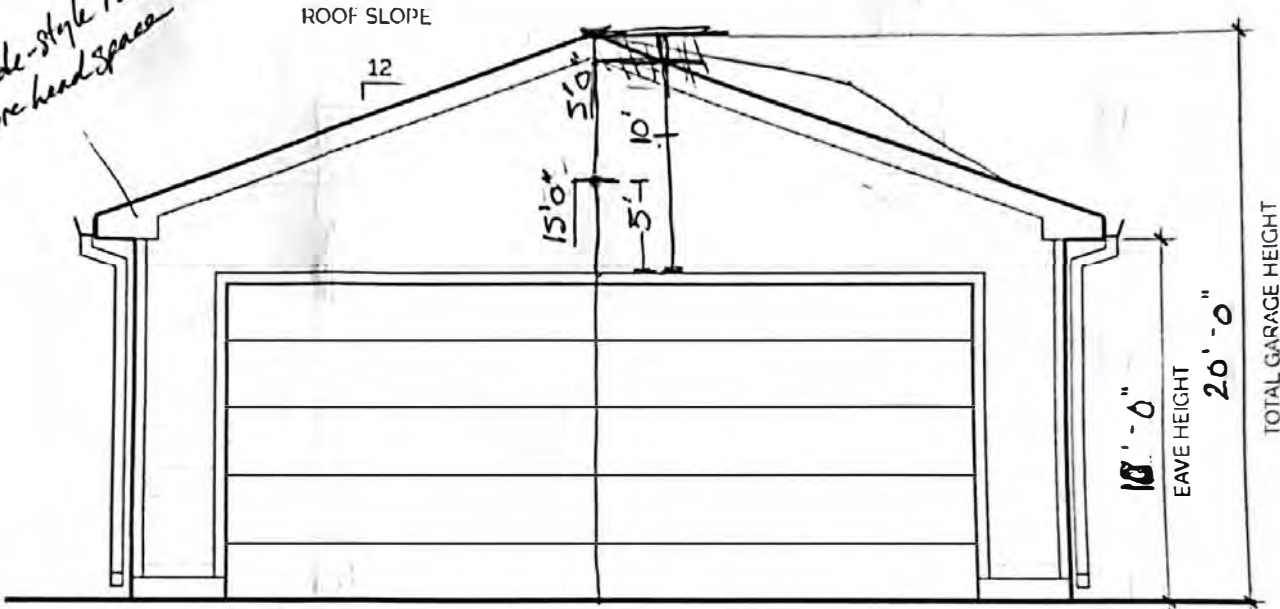
**ELECTRICAL SYMBOL LEGEND**

 OHD	110V DUPLEX CEILING DOOR OPERATOR		LIGHT SWITCH		30 AMP		SUB-PANEL WITH DISCONNECT RATING
 GF	110V GFCI RECEPTACLE		LIGHTS: RECESSED, SURFACE MOUNT, WALL MOUNT				

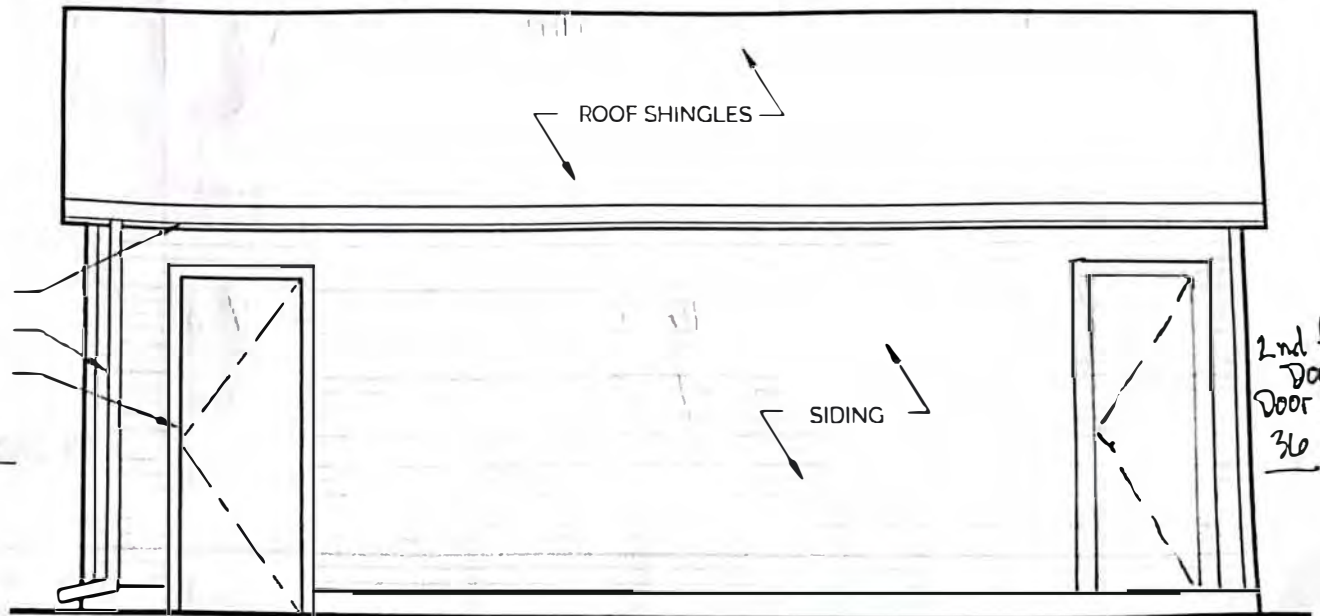
# DETACHED GARAGE PROTOTYPE ELEVATIONS (LEFT-HAND OPTION)

PROPERTY ADDRESS: 1655 Roosevelt ave, Lakewood OH, 44107

*Cramble-style roof?  
more head space*



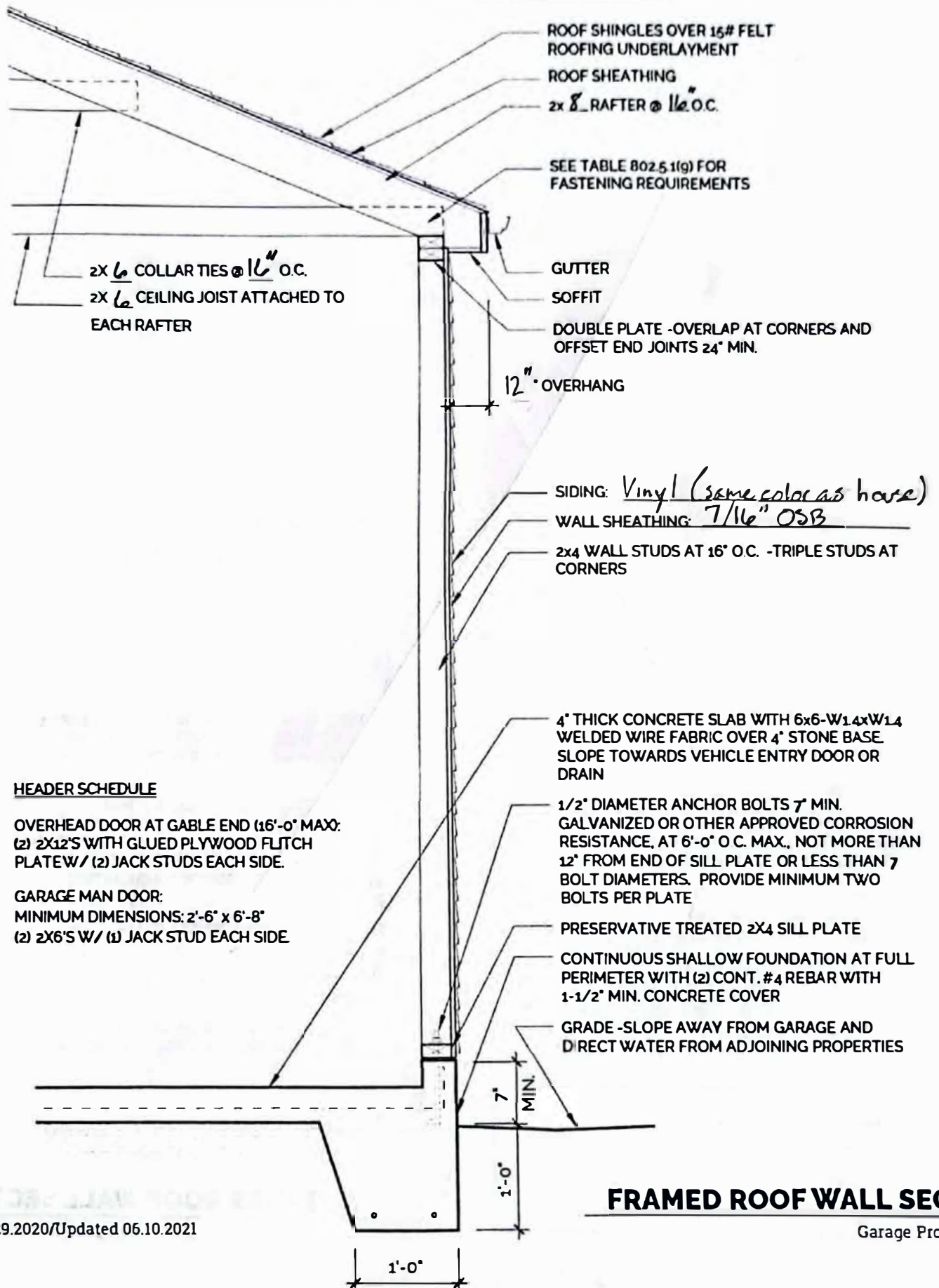
**FRONT ELEVATION**



**LEFT SIDE ELEVATION**

# DETACHED GARAGE PROTOTYPE SECTIONS

PROPERTY ADDRESS: 1655 Roosevelt



**HEADER SCHEDULE**

OVERHEAD DOOR AT GABLE END (16'-0" MAX):  
 (2) 2x12'S WITH GLUED PLYWOOD FLITCH PLATE W/ (2) JACK STUDS EACH SIDE.

GARAGE MAN DOOR:  
 MINIMUM DIMENSIONS: 2'-6" x 6'-8"  
 (2) 2x6'S W/ (1) JACK STUD EACH SIDE

**FRAMED ROOF WALL SECTION**



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-77-22**

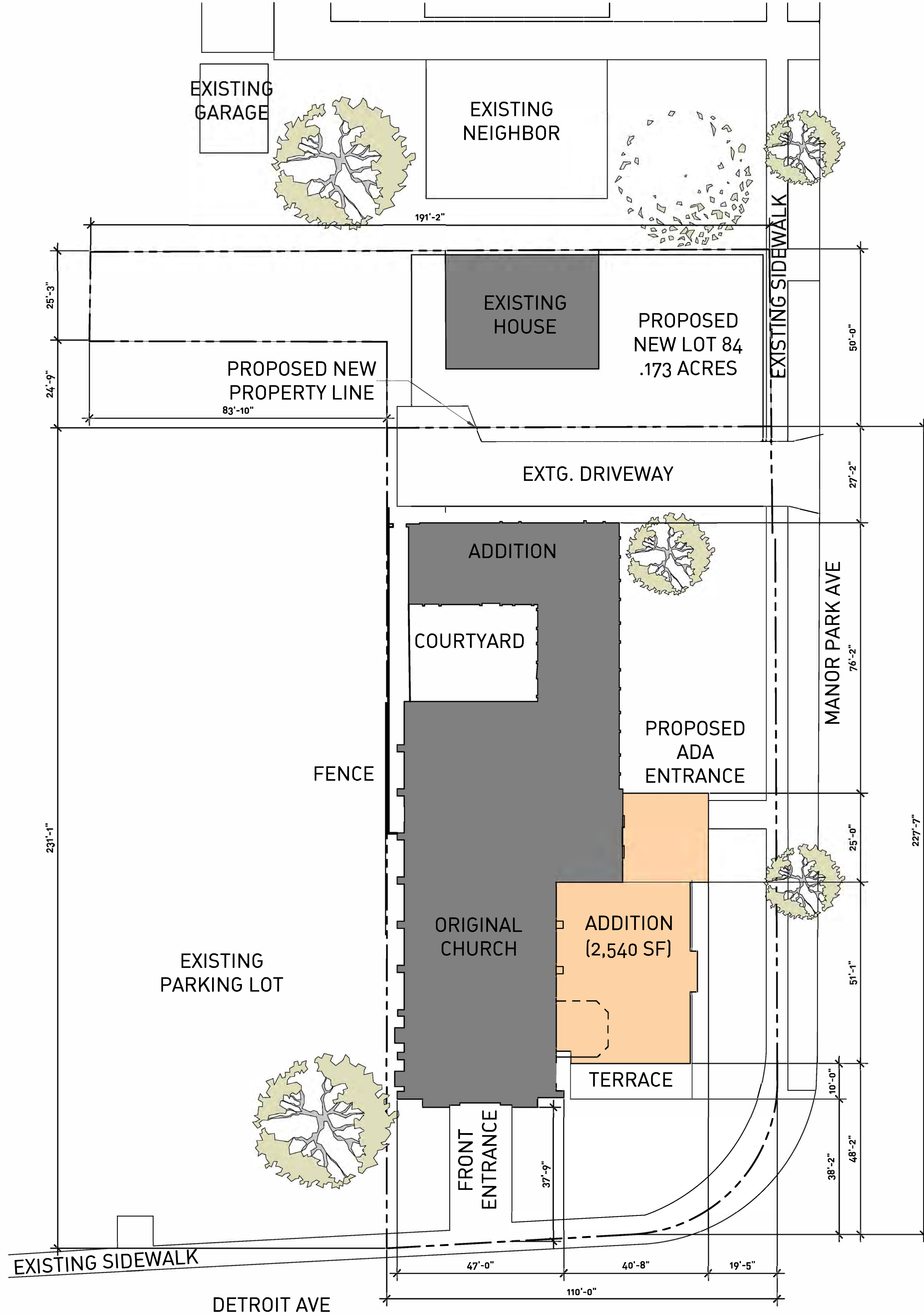
**Permit No.: BBS22-000100**

**Applicant Name: Gregory Ernst, A°DK Inc.**

**Project Address: 1374 Manor Park Ave.**

**Project Name: Lakewood New Life Church**

**Project: Applicant proposes the construction of an addition on the east and south sides of the existing church.**



1	<b>PROPOSED SITE PLAN</b>	SCALE: 1/16" = 1'-0"	 NORTH
a2.5			

SHEET NO.: a.100 a.200 a.300 a.400 a.500 a.600 a.700 a.800  
 SHEET TITLE: JOB NO.: ARCHITECTURE OFFICE: DAVID WREES  
 PROJECT: NEW LIFE CHURCH LAKEWOOD 14224 DETROIT AVE, LAKEWOOD OH, 44107  
 ISSUE DATE: 10.18.2022  
 AUTHORIZATION: THESE DRAWINGS, DESIGN, CONCEPT AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF ADDK, INC. THEY ARE FOR CONSTRUCTION ONLY AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION OR REPRODUCTION OF THE DOCUMENTS AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM ADDK, INC.  
 PROJECT TITLE:

# NEW LIFE CHURCH LAKEWOOD

SMALL ADDITION OPTIONS

ADDK, INC. | (A): 1424 Detroit Avenue, Lakewood, OH 44107 | P: 216.771.9900 | F: 216.771.7971 | W: www.addkinc.com

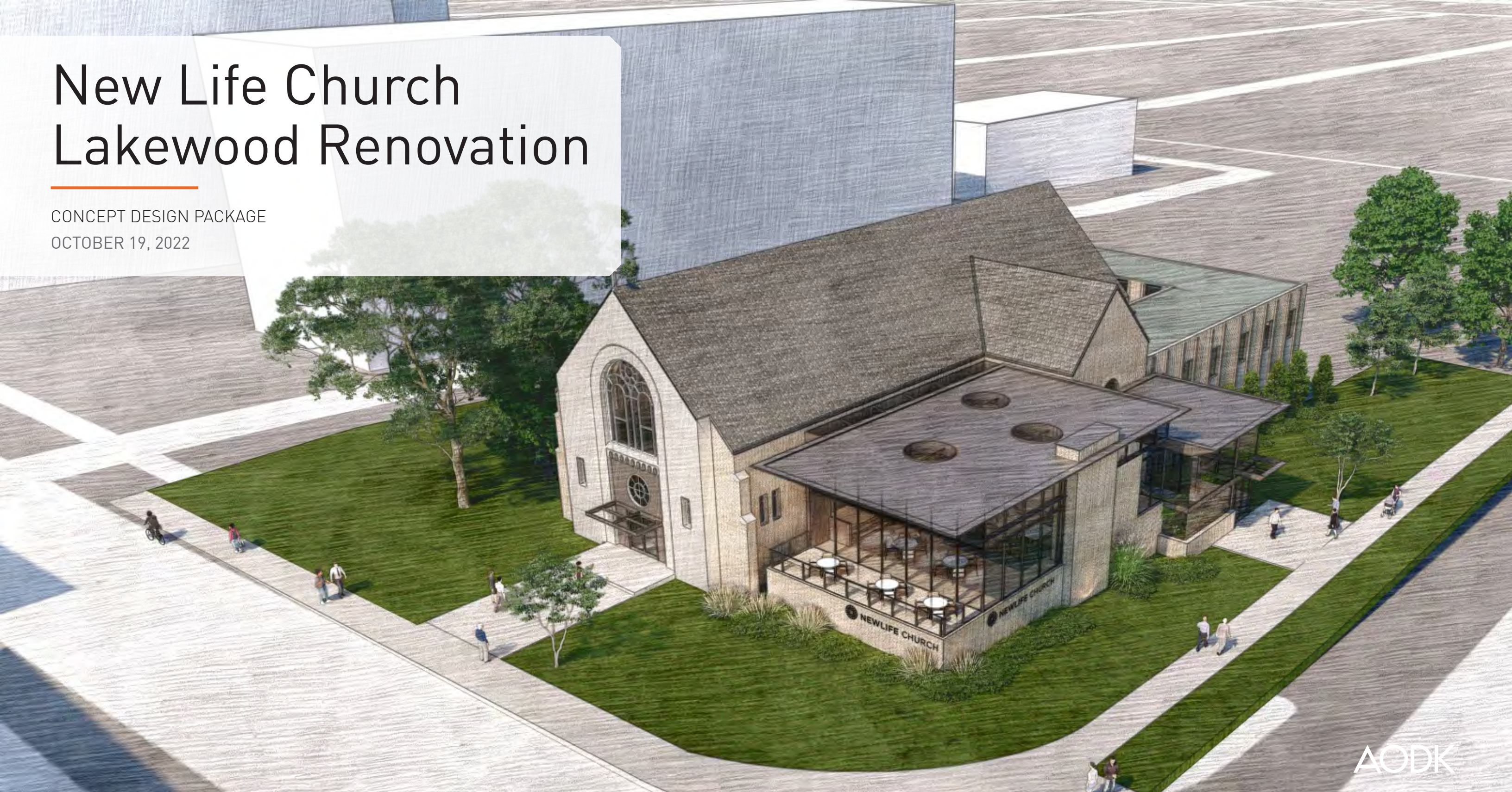
**a°dk**

PRELIMINARY  
NOT FOR CONSTRUCTION

**a2.5**

# New Life Church Lakewood Renovation

CONCEPT DESIGN PACKAGE  
OCTOBER 19, 2022



# PROPOSED MASSING



# PROPOSED MASSING



# PROPOSED MASSING



# PROPOSED MASSING

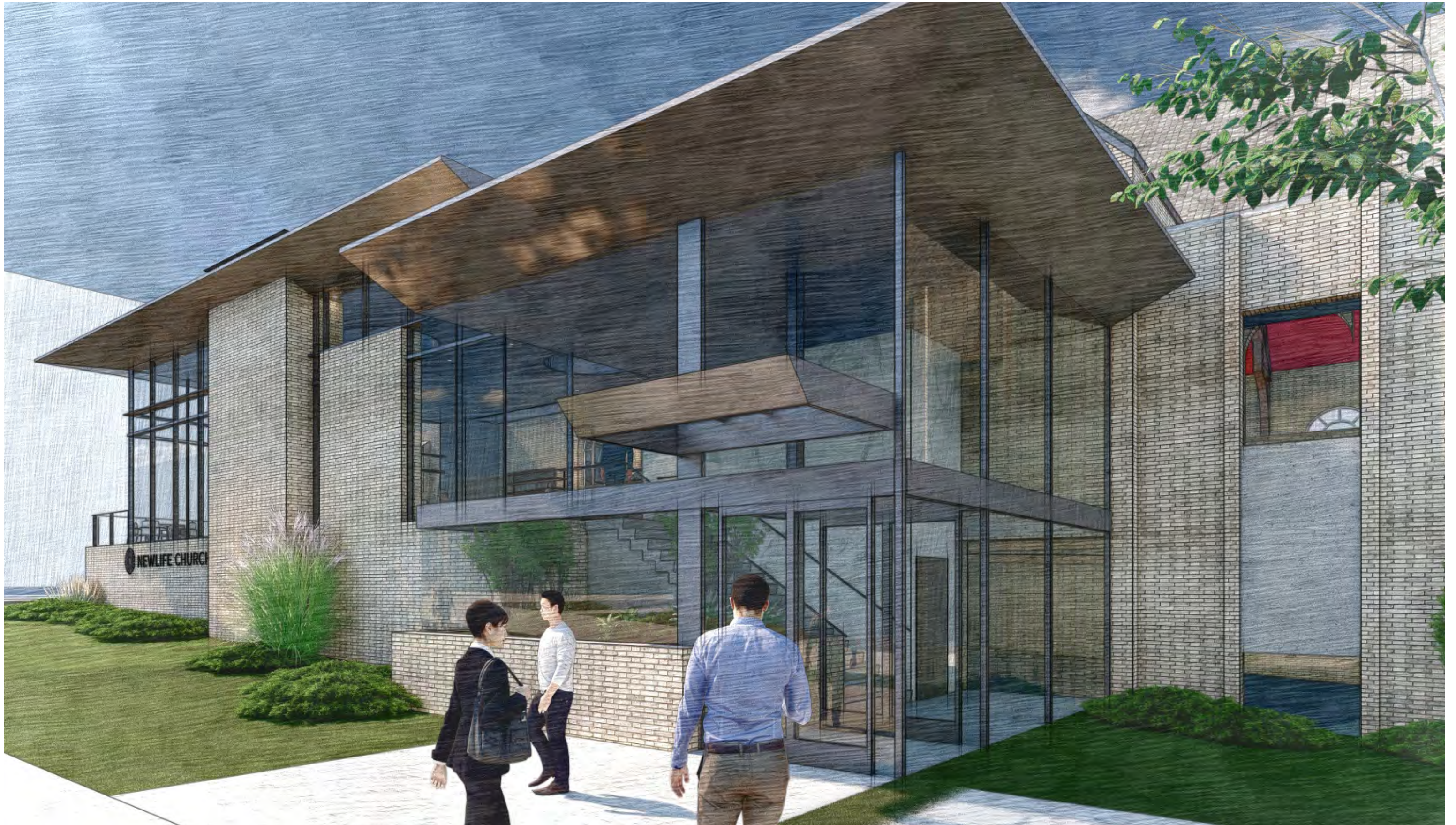


# PROPOSED MASSING



NEW LIFE CHURCH RENOVATION

# PROPOSED MASSING



OCTOBER 18, 2022

# PROPOSED MASSING

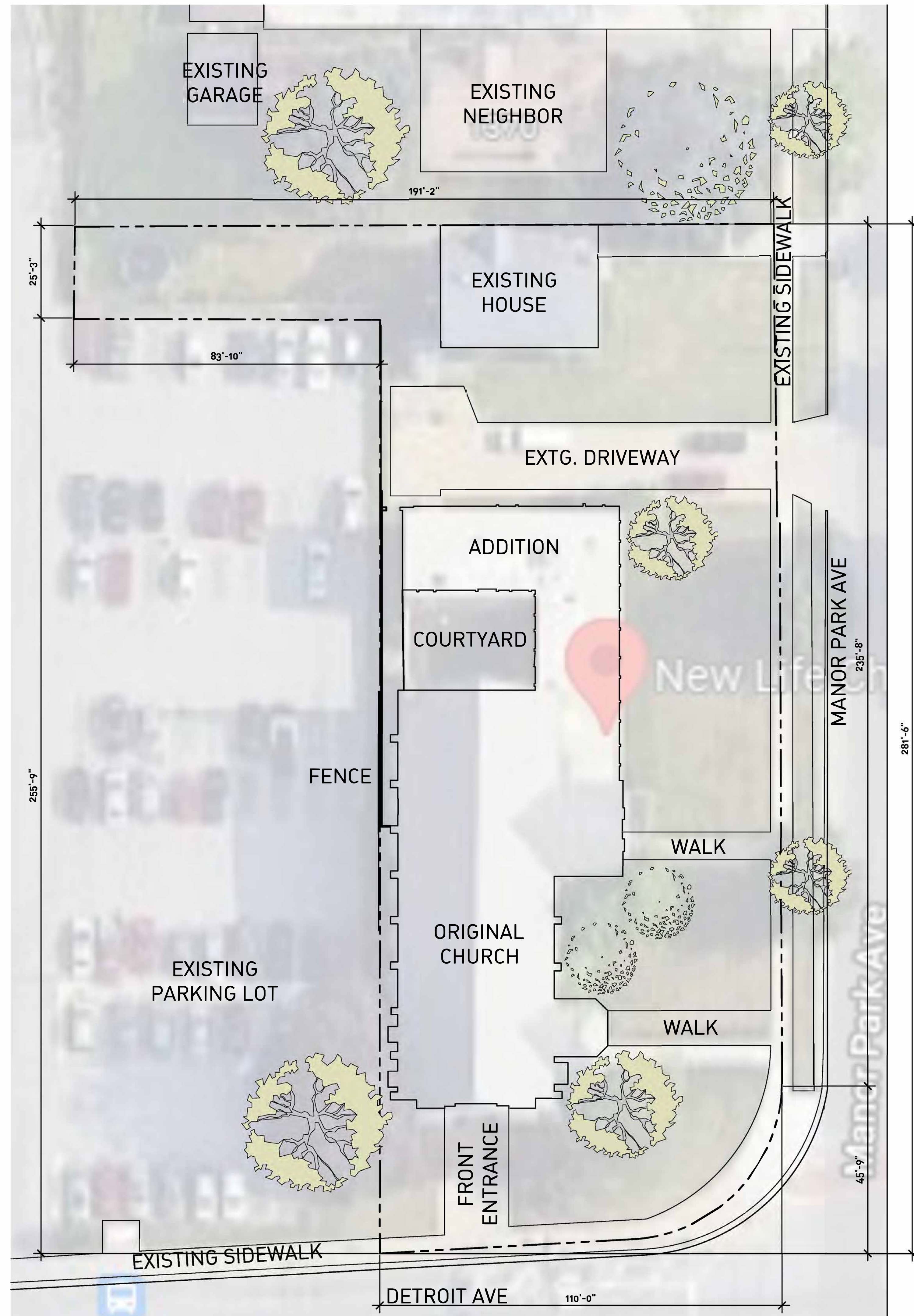


# PROPOSED MASSING



# PROPOSED MASSING





1  
a2.0

**EXISTING SITE PLAN**

SCALE: 1/16" = 1'-0"

  
NORTH

SHEET NO.: a2.0  
 JOB NO.: 22-46  
 AUTHORIZATION:  
 THESE DRAWINGS, DESIGN, CONCEPT AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF ADDK, INC. THEY ARE FOR CONSTRUCTION ONLY AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION OR REPRODUCTION OF THE DOCUMENTS AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM ADDK, INC.  
 ISSUE/DATE:  
 PROJECT:  
 PROJECT TITLE:  
 ARCHITECTURE OFFICE: DAVID BREES  
 ADDK, INC. - (A): 1424, Detroit Avenue, Lakewood, OH 44107 - (P): 216.771.9920 - (F): 216.771.7771 - (W): www.addkinc.com

**NEW LIFE CHURCH LAKEWOOD**

SD PLANS	10.18.2022

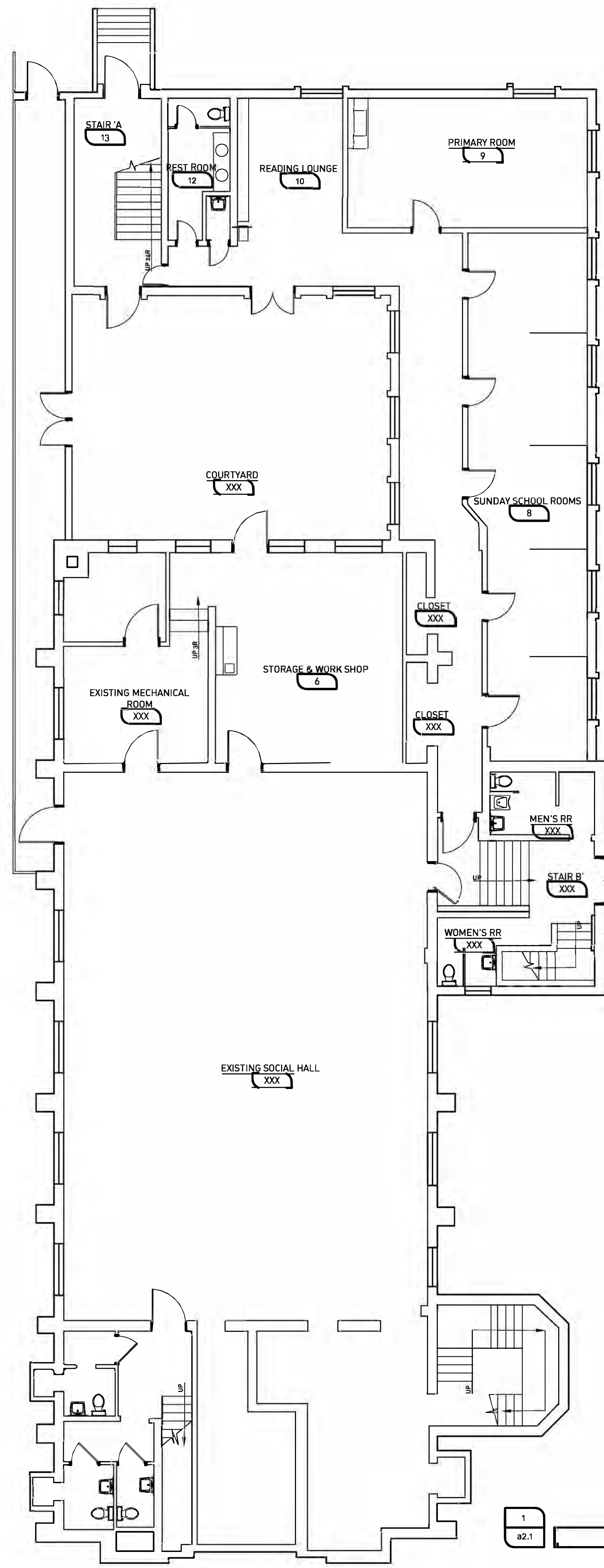
22-46

**a2.0**

**a°dk**

PRELIMINARY  
NOT FOR CONSTRUCTION

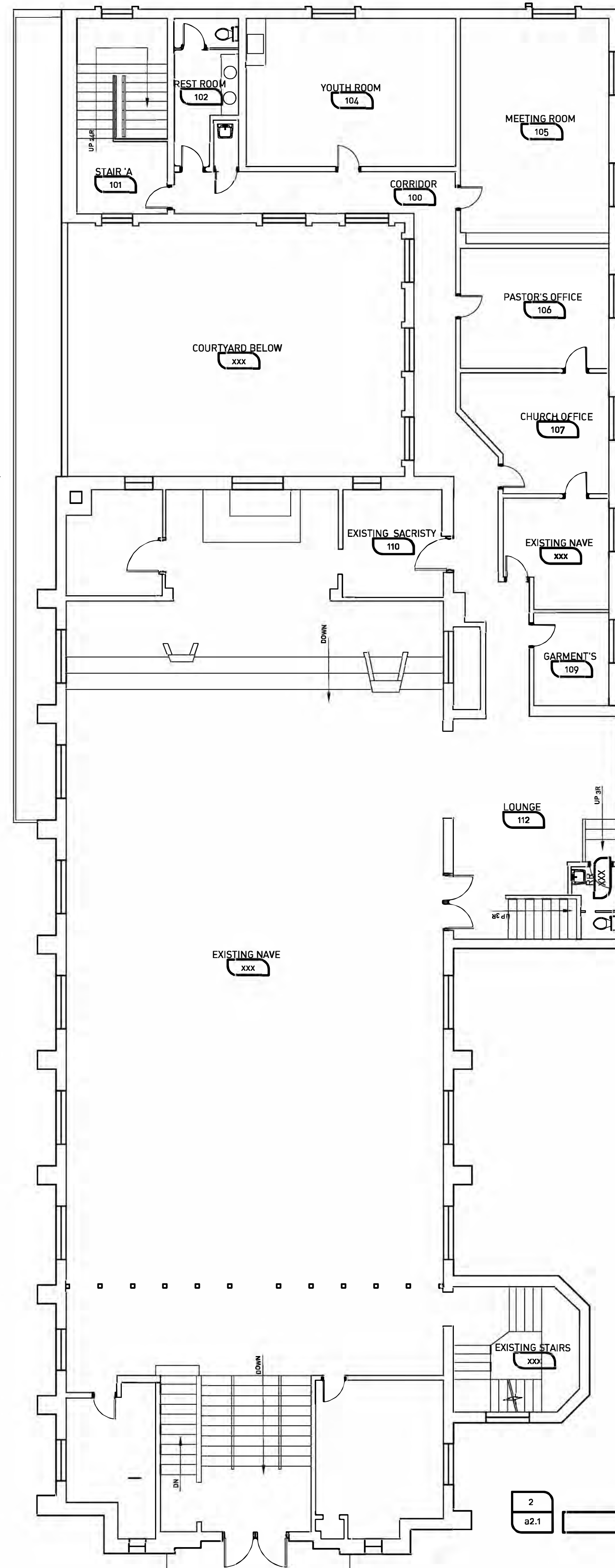
ORIGINAL CHURCH ADDITION (1975)



**EXISTING GROUND FLOOR**  
SCALE: 1/8" = 1'-0"  
EXISTING AREA : 9147 SQ FT



ORIGINAL CHURCH ADDITION (1975)



**EXISTING GROUND FLOOR**  
SCALE: 1/8" = 1'-0"  
EXISTING AREA : 9141 SQ FT



ARCHITECTURE OFFICE: DAVID BREESE  
PROJECT TITLE: NEW LIFE CHURCH LAKEWOOD  
PROJECT: NEW LIFE CHURCH LAKEWOOD  
14224 DETROIT AVE, LAKEWOOD OH, 44107  
SD PLANS 10.18.2022  
ISSUE DATE:  
AUTHORIZATION:  
JOB NO.:  
SHEET TITLE: EXISTING FLOOR PLANS  
SHEET NO.:  
ADDK, INC. - (A) - 14284 Durrich Avenue, Lakewood, OH 44107 - (F) - 216.771.9920 - (T) - 216.771.1971 - (W) - www.addk.com

# NEW LIFE CHURCH LAKEWOOD



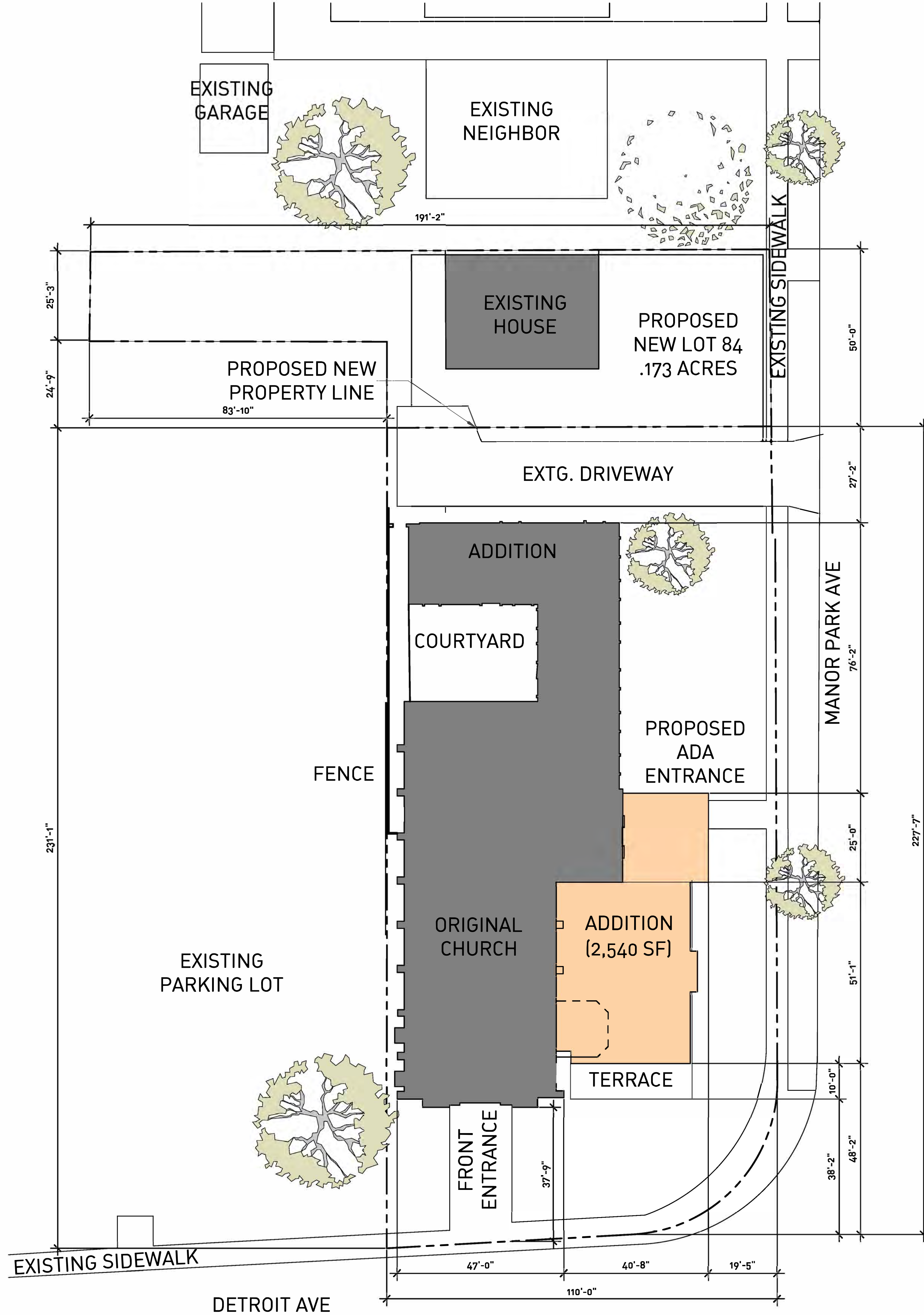
PRELIMINARY  
NOT FOR CONSTRUCTION

THESE DRAWINGS, DESIGN, CONCEPT AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF ADDK, INC. THEY ARE FOR CONSTRUCTION ONLY AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION OR REPRODUCTION OF THE DOCUMENTS AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM ADDK, INC.

22.46

EXISTING FLOOR PLANS

**a2.1**



1	<b>PROPOSED SITE PLAN</b>	SCALE: 1/16" = 1'-0"	 NORTH
a2.5			

SHEET NO.: a.100 a.200 a.300 a.400 a.500 a.600 a.700 a.800  
 SHEET TITLE: JOB NO.: ARCHITECTURE OFFICE: DAVID WREES  
 PROJECT: NEW LIFE CHURCH LAKWOOD 14224 DETROIT AVE, LAKWOOD OH, 44107  
 ISSUE DATE: 10.18.2022  
 AUTHORIZATION: THESE DRAWINGS, DESIGN, CONCEPT AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF ADDK, INC. THEY ARE FOR CONSTRUCTION ONLY AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION OR REPRODUCTION OF THE DOCUMENTS AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM ADDK, INC.  
 PROJECT TITLE: NEW LIFE CHURCH LAKWOOD  
 ARCHITECTURE OFFICE: DAVID WREES  
 ADDK, INC. - (IA: 1428) Detroit Avenue, Lakewood, OH 44107 - (P: 216.771.9900 - (F: 216.771.7971 - (W: www.addk.com)



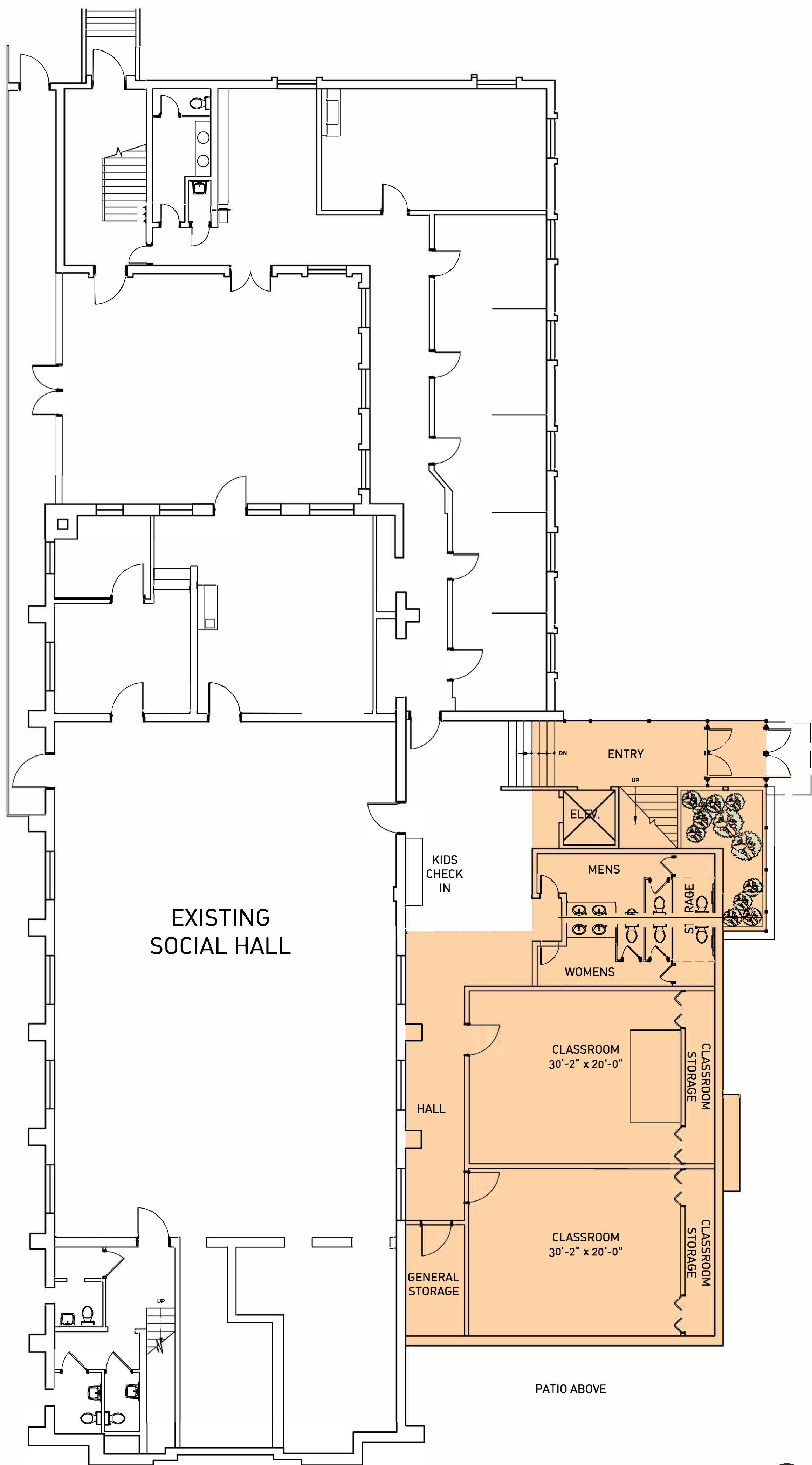
PRELIMINARY  
NOT FOR CONSTRUCTION

# NEW LIFE CHURCH LAKWOOD

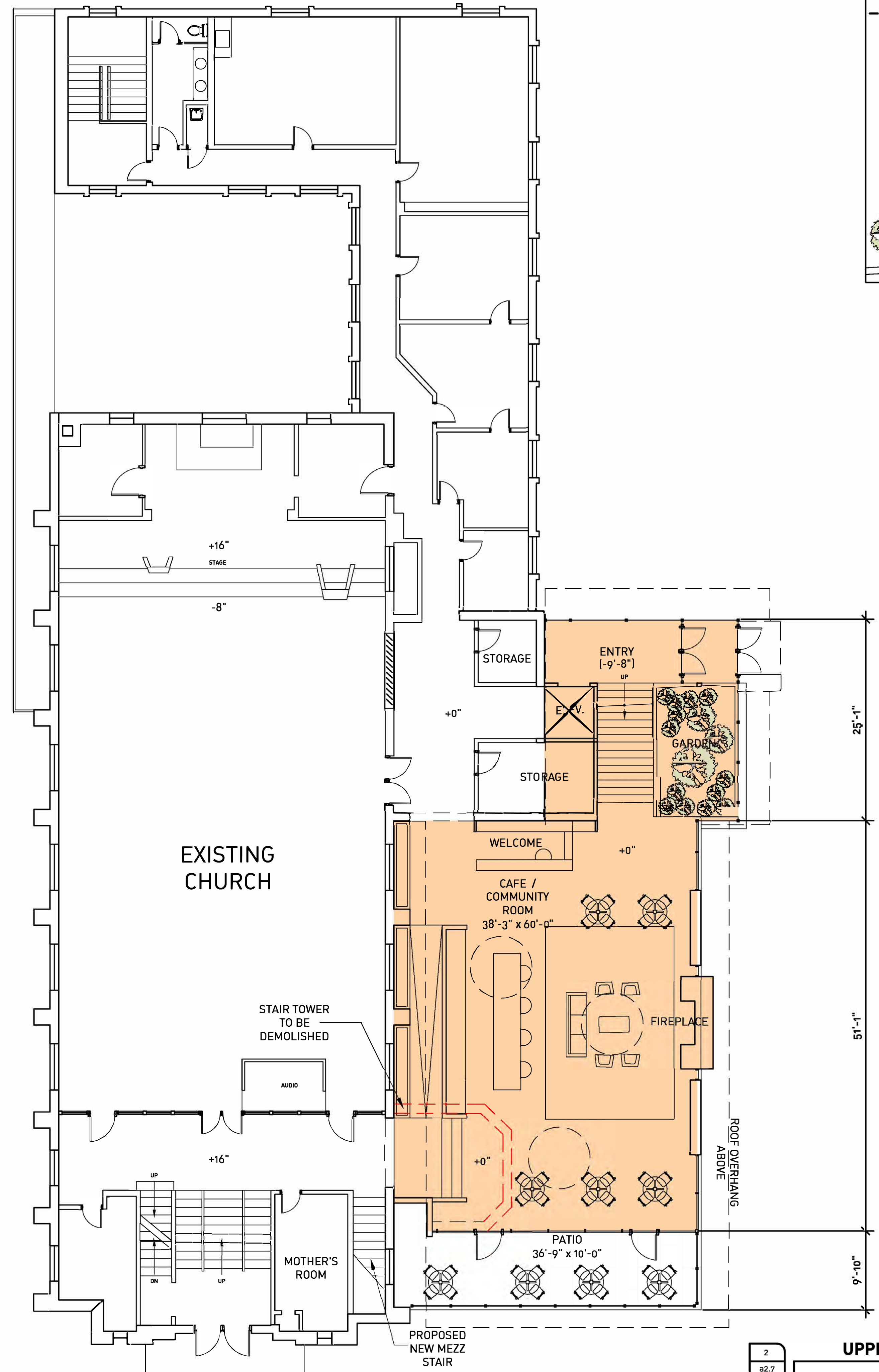
SD PLANS	10.18.2022

SMALL ADDITION OPTIONS

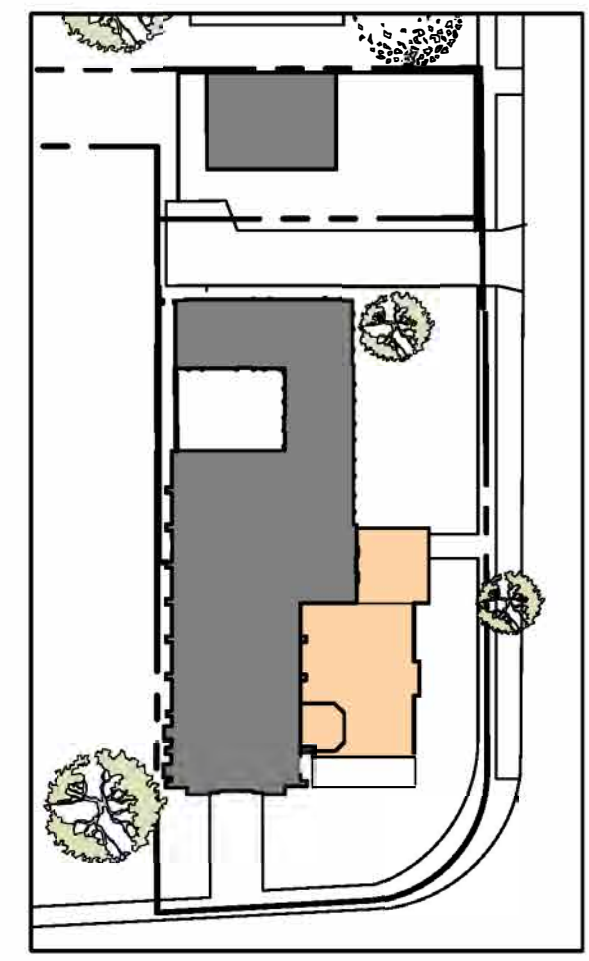
# a2.5



1  
a2.7  
**LOWER LEVEL LARGE ADD.**  
SCALE: 1/8" = 1'-0"  
NORTH



2  
a2.7  
**UPPER LEVEL LARGE ADD.**  
SCALE: 1/8" = 1'-0"  
NORTH



**SITE PLAN**



PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT TITLE: **NEW LIFE CHURCH LAKEWOOD**

PROJECT: NEW LIFE CHURCH LAKEWOOD  
14224 DETROIT AVE, LAKEWOOD OH,  
44107

SD PLANS 10.18.2022

ISSUE DATE:

THESE DRAWINGS, DESIGN, CONCEPT AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF ADDK, INC. THEY ARE FOR CONSTRUCTION ONLY AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION OR REPRODUCTION OF THE DOCUMENTS AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM ADDK, INC.

22.46

LARGE ADDITION OPTIONS



ADDK, INC. - (A): 14284, Detroit Avenue, Lakewood, OH 44107 - (P): 216.771.9920 - (F): 216.771.7971 - (W): www.addkinc.com  
ARCHITECTURE OFFICE: DAVID WREES













**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-78-22**

**Permit No.: BBS22-000089**

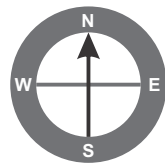
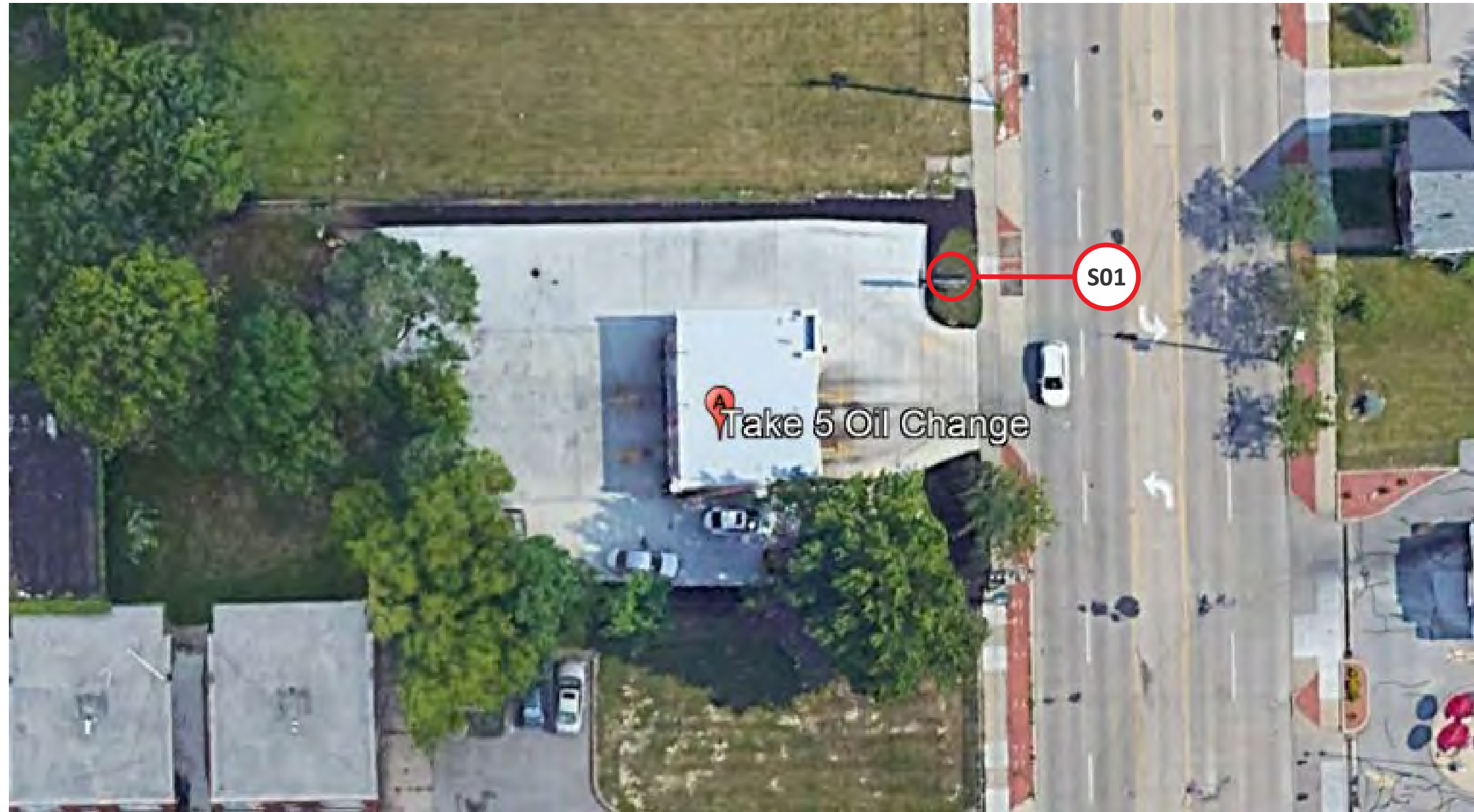
**Applicant Name: Damiane" Handa, 4MC**

**Project Address: 1474 W. 117<sup>th</sup> St.**

**Project Name: Take 5 117<sup>th</sup> Way**

**Project: Applicant proposes updated signage for an existing business.**

# SITE PLAN



Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

PM: JAMES	Address: 1476 W 117th St.,
Drawn By: RD	City State: Lakewood OH 44107
Date: 07.11.2022	Drawing Number: 140344

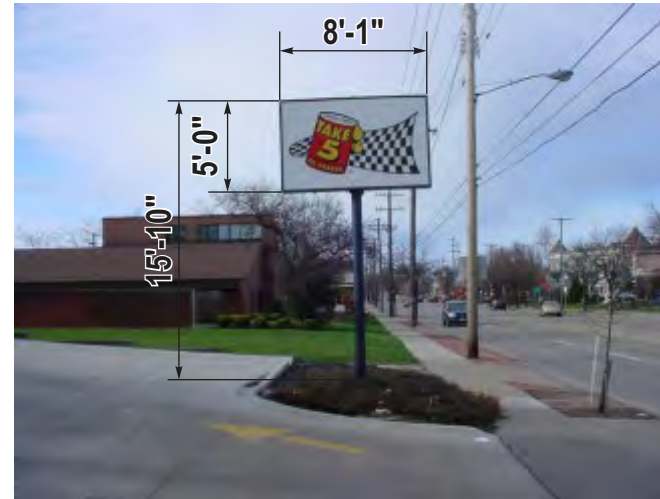
## Replacement Cabinet

### Action:

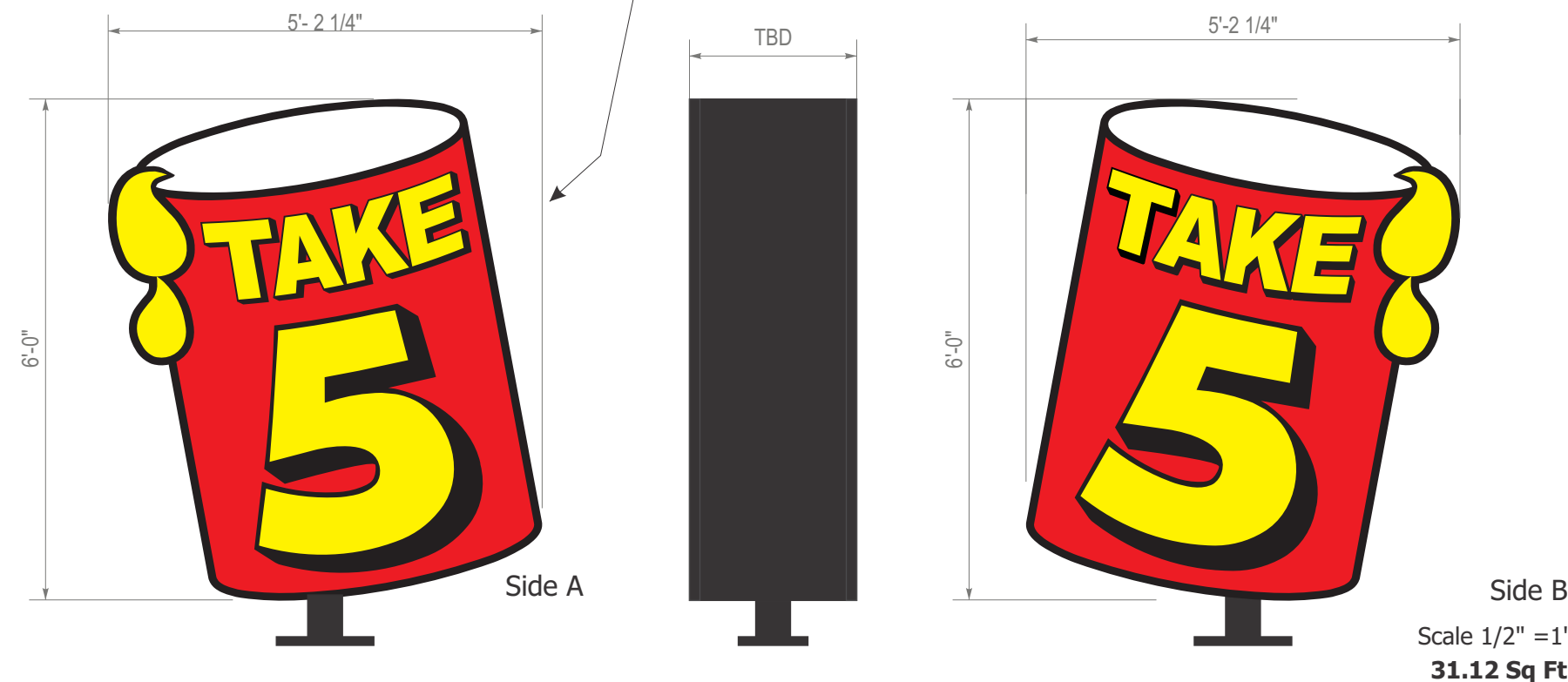
- Remove cabinet from existing pole.
- Manufacture and install one double sided cabinet.  
Cabinet to be of aluminum construction with aluminum skin and retainers painted black. Faces to white polycarbonate with vinyl applied. Internally illuminated with white LEDs. Sign to be mounted to existing pole per engineering.
- **Tech Survey Required to verify mounting requirements.**

### Material & Color:

- Vinyl - 3M 3630-235 Autumn Yellow
- Vinyl - 3630-93 Fire Engine Red
- Vinyl - 3M 3630-22 Black
- Substrate - White Polycarbonate
- Cabinet and Retainers - Painted Black
- White LEDs



Pylon Cabinet orientation  
(Side A) towards shop



Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

# ELEVATIONS



Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

PM: JAMES	Address: 1476 W 117th St.,
Drawn By: RD	City State: Lakewood OH 44107
Date: 07.11.2022	Drawing Number: 140344



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-79-22**

**Permit No.: BBS22-000090**

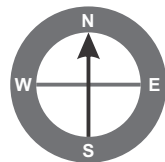
**Applicant Name: Damiane" Handa, 4MC**

**Project Address: 16910 Detroit Ave.**

**Project Name: Take 5 Detroit Ave.**

**Project: Applicant proposes updated signage for an existing business.**

# SITE PLAN



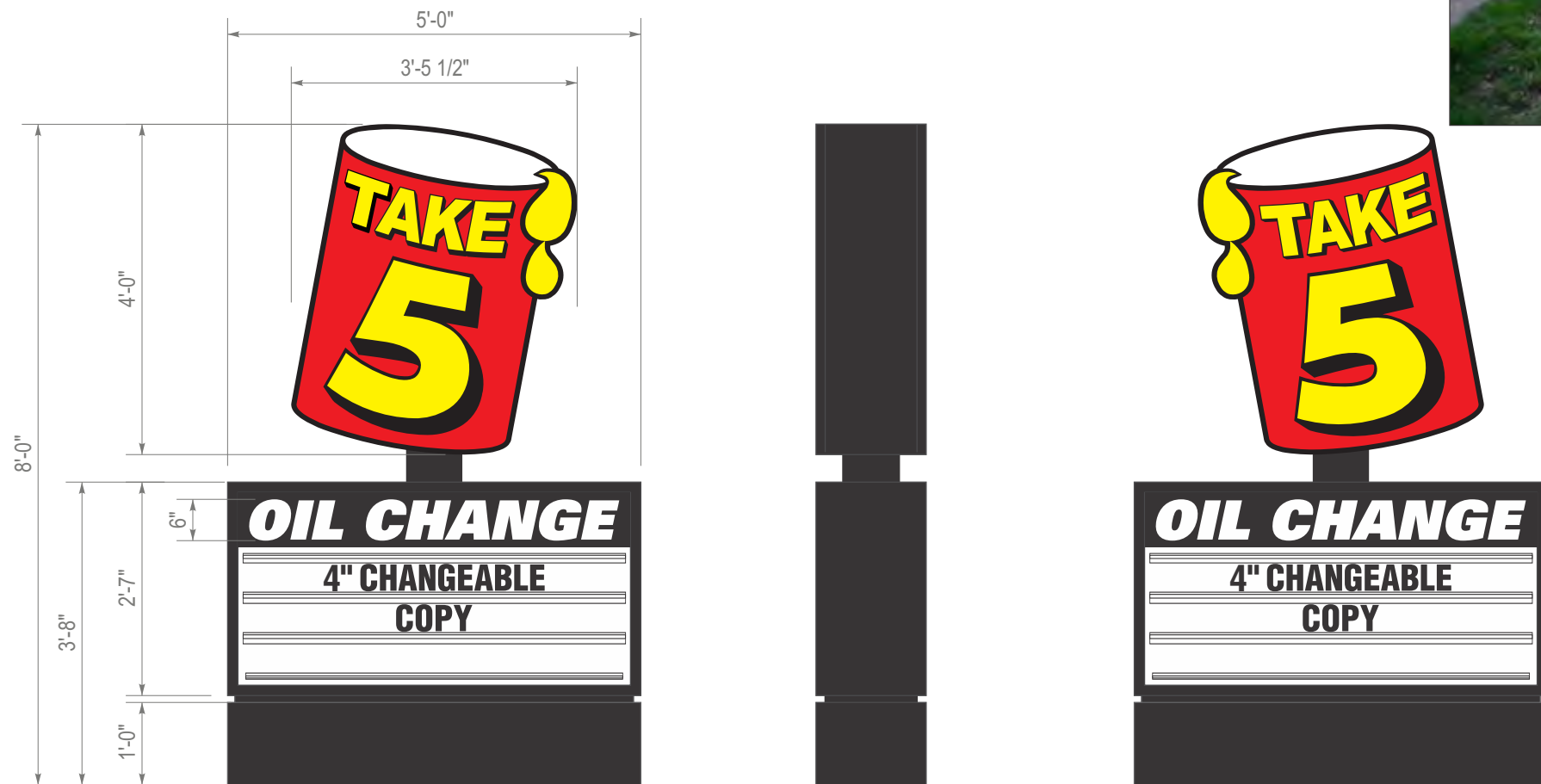
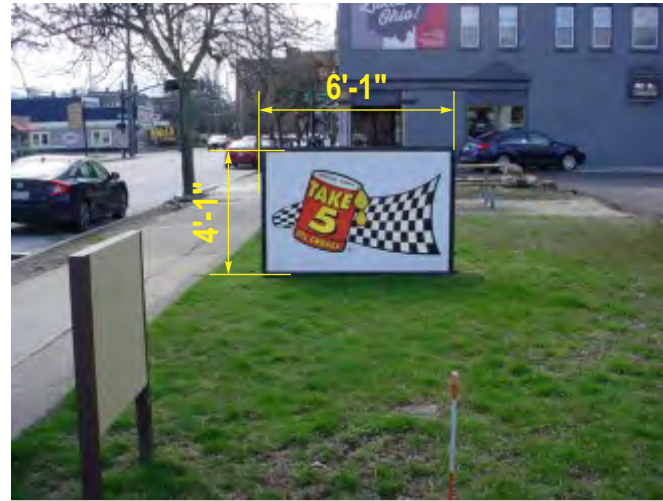
Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

PM: WY	Address: 16910 Detroit Ave
Drawn By: CC	City State: Lakewood, OH
Date: 07.11.2022	Drawing Number: 140343

# Replacement Monument

## Action:

- Remove existing cabinet.
- Manufacture and install new cabinet and pole cover. Header cabinet to be of aluminum construction with flat polycarbonate faces with vinyl applied. Sign to be internally illuminated with white LEDs. Mount to existing support pole. Manufacture and install (2) Single sided cabinets.
- Cabinets to be of aluminum construction with .080 aluminum skin and retainers painted black. Faces to white polycarbonate with changeable copy tracks and vinyl applied. Internally illuminated with white LEDs. Signs to be mounted back to back to existing round pole with aluminum filler panels. Cabinets, retainers, pole cover to be painted black.



Scale 1/2" = 1'  
26.7 Sq Ft

## Material & Color:

- Vinyl - 3M 3630-235 Autumn Yellow
- Vinyl - 3630-93 Fire Engine Red
- Vinyl - 3M 3630-22 Black
- Substrate - White Polycarbonate
- Cabinet and Retainers - Painted Black

## Code:

10' Max OAH. 40 sq ft max sign area.



National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

## Revisions:

...	...
...	...
...	...
...	...
...	...

S01






PM: WY	Address: 16910 Detroit Ave
Drawn By: CC	City State: Lakewood, OH
Date: 07.11.2022	Drawing Number: 140343

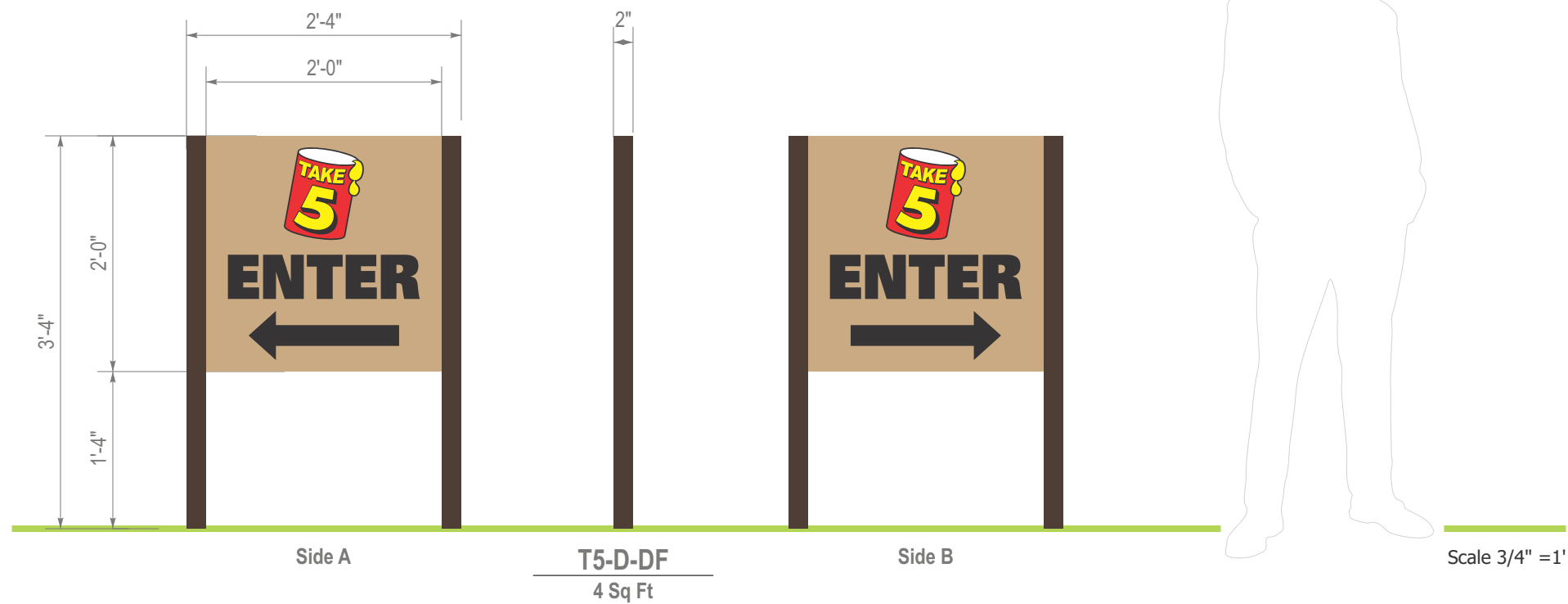
## Directional Sign

### Action:

- Remove existing sign.
- Manufacture and install (1) double sided directional sign. Sign to have .080 Aluminum face.. Faces to be painted SW7693 with vinyl applied. Sign to have 2x2 square aluminum posts painted SW 6076 direct set in foundation.

### Material & Color:

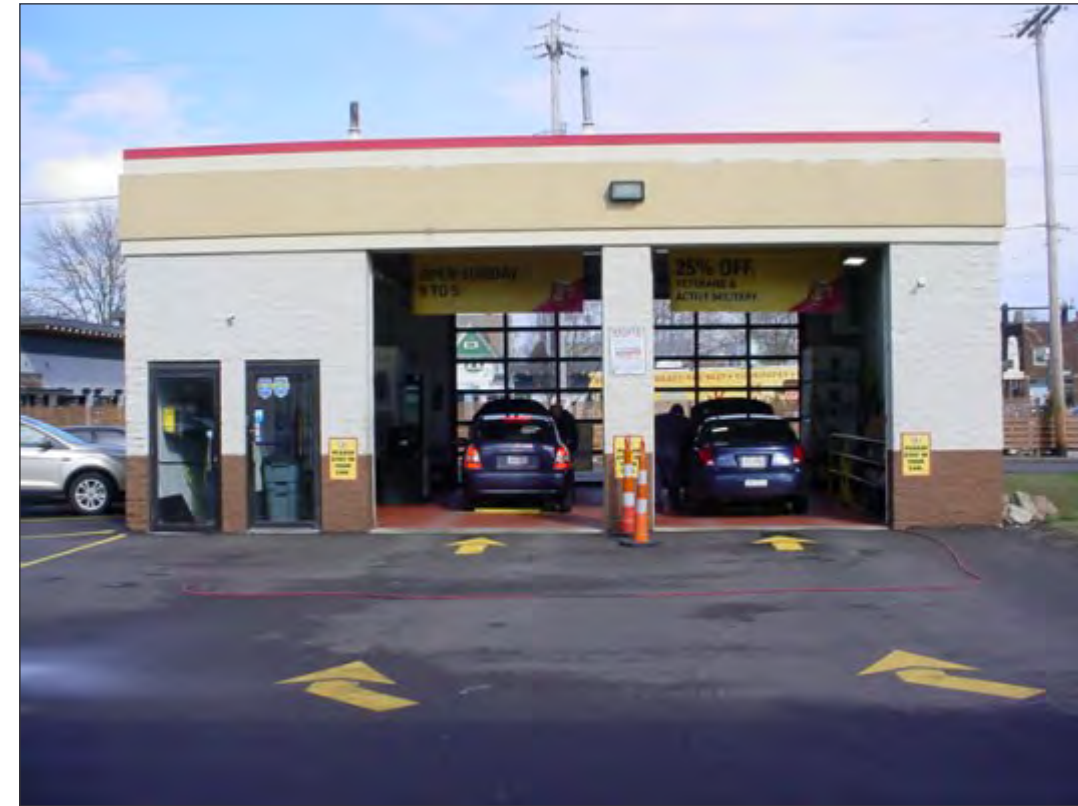
-  Vinyl - 3M 3630-235 Autumn Yellow
-  Vinyl - 3630-93 Fire Engine Red
-  Vinyl - 3M 3630-22 Black
-  Paint - SW7693 Stonebriar
-  Paint - SW6076 Turkish Coffee



Revisions:	
...	...
...	...
...	...
...	...
...	...

PM: WY	Address: 16910 Detroit Ave
Drawn By: CC	City State: Lakewood, OH
Date: 07.11.2022	Drawing Number: 140343

# ELEVATIONS



National Headquarters: 1077 West Blue Heron Blvd.  
 West Palm Beach, Florida 33404  
 800.772.7932  
 www.atlasbtw.com

Revisions:	
...	...
...	...
...	...
...	...
...	...
...	...

ELV

PM: WY	Address: 16910 Detroit Ave
Drawn By: CC	City State: Lakewood, OH
Date: 07.11.2022	Drawing Number: 140343



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-80-22**

**Permit No.: BBS22-000095**

**Applicant Name: Laura Higgins-Woyma, Brilliant Electric Sign Company**

**Project Address: 1450 Belle Ave.**

**Project Name: Lakewood Community Health Center**

**Project: Applicant proposes ground signs.**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



# Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	<b>CLEVELAND CLINIC (LAKEWOOD FHC)</b>	SALESMAN	<b>JM</b>	DATE	<b>10/18/22</b>	REVISION		DESIGN NO.	<b>B22-1727</b>
LOCATION	<b>1450 BELLE AVE., LAKEWOOD, OH</b>	DESIGNER	<b>CP</b>	SCALE	<b>SHOWN</b>			COPYRIGHT ©	<b>2022</b>
FILE NAME						<b>cleveland c new/ lakewood FHC (sp) 2</b>			



## SIGN C

SIGN ELEVATION: 1"=1'-0'

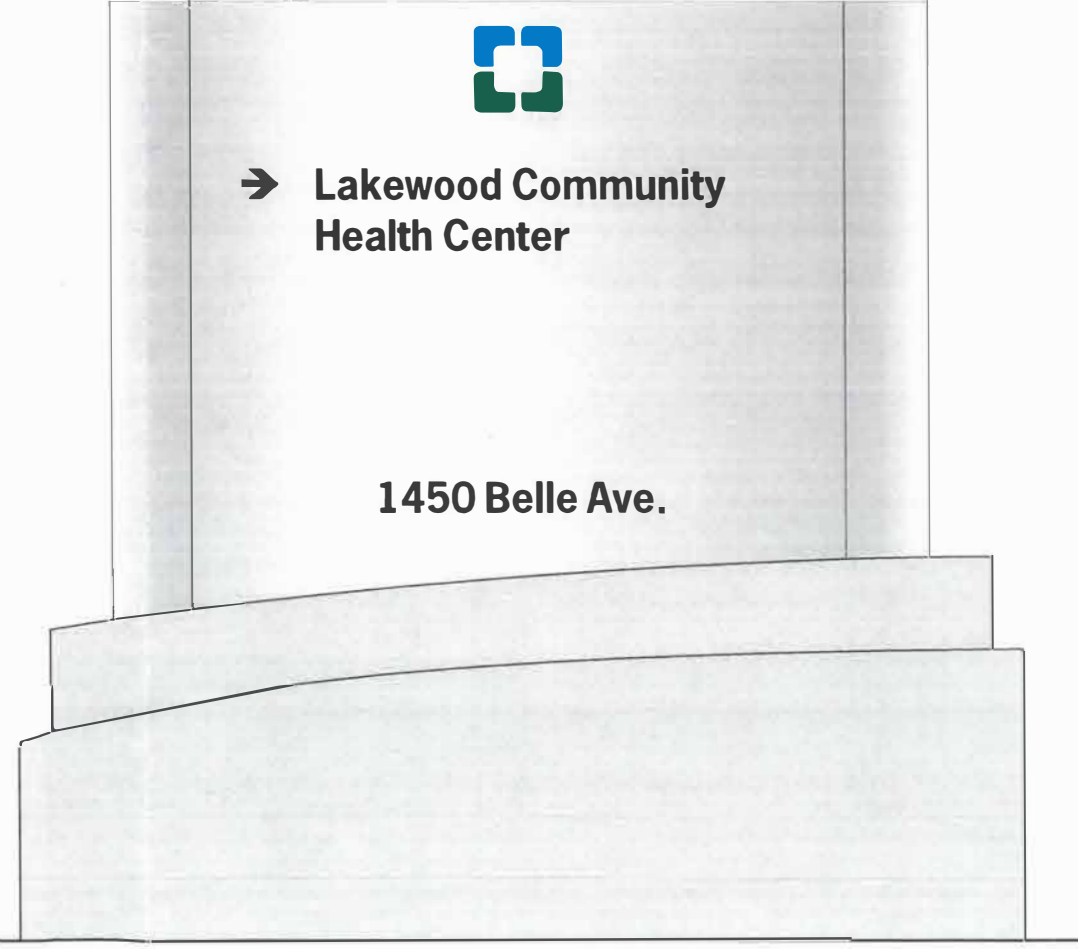
### Notes

Remove & scrap two (2) faces of the existing, double face, ground sign

Manufacture & install two (2) single face, aluminum, replacement faces; with routed out logo/copy; to be installed in one (1) existing, internally illuminated, ground sign

- Faces to be painted matthews brushed aluminum 41-342

- Logo segments & copy to be routed out & backed up by white 2447 plexiglass with first surface, translucent vinyls; top two (2) leaves to be blue A9561-T; bottom two (2) leaves to be green A9461-T; all the remaining copy & arrows to be black perforated duo-film



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

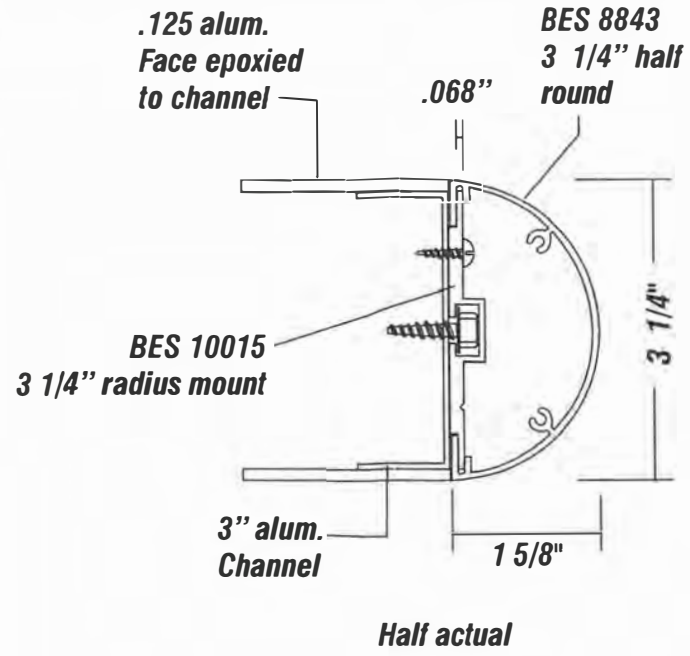
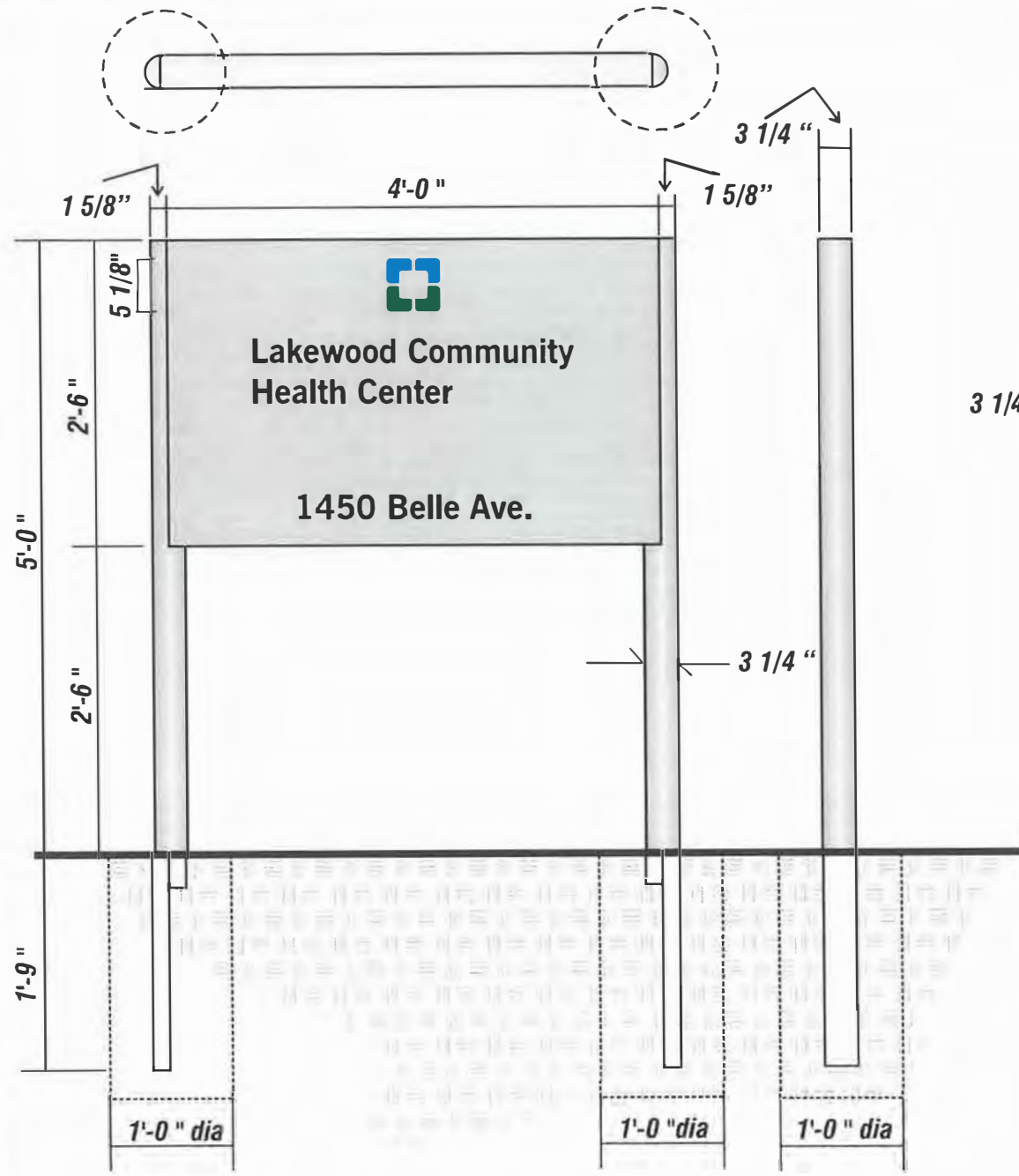


**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE. IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU, IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	CLEVELAND CLINIC (LAKEWOOD FHC)	SALESMAN	JM	DATE	10/12/22	REVISION		DESIGN NO.	B22-1683
LOCATION	1450 BELLE AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2022
FILE NAME: <small>cleve c new/ Lakewood FHC (2022)/ sign C</small>									



## SIGN D

SIGN ELEVATION: 3/4" = 1'-0'

### Notes

- Manufacture & install one (1) single face, non-illuminated, aluminum, directional sign with concealed fasteners; to be mounted on double posts
- Background & posts to be painted matthews brushed aluminum 41-342
- Top two (2) leaves to be blue PMS 3005C; bottom two (2) leave so to be green PMS 348C; all remaining copy to be black vinyl
- All vinyls to be applied on first surface

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	CLEVELAND CLINIC (LAKEWOOD FHC)	SALESMAN	JM	DATE	10/12/22	REVISION		DESIGN NO.	B22-1684
LOCATION	1450 BELLE AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2022
FILE NAME <small>cleve c new/ Lakewood FHC (2022)/ sign D</small>									



site photo #4

1450 Belle





site photo #5

1450 Belle

N ←



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-81-22**

**Permit No.: BBS22-000096**

**Applicant Name: Laura Higgins-Woyma, Brilliant Electric Sign Company**

**Project Address: 14601 Detroit Ave.**

**Project Name: Cleveland Clinic**

**Project: Applicant proposes wall and two double face ground signs.**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



# Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	<b>CLEVELAND CLINIC (LAKEWOOD FHC)</b>	SALESMAN	<b>JM</b>	DATE	<b>10/18/22</b>	REVISION		DESIGN NO.	<b>B22-1726</b>
LOCATION	<b>14601 DETROIT AVE., LAKEWOOD, OH</b>	DESIGNER	<b>CP</b>	SCALE	<b>SHOWN</b>			COPYRIGHT ©	<b>2022</b>
FILE NAME						<b>cleveland c new/ lakewood FHC (sp) 1</b>			



## SIGN B

**SIGN ELEVATION:** 3/8" = 1'-0'

### Notes

- Manufacture & install one (1) set of internally illuminated, trimless, LED channel logo segments/copy to be flush mounted to the building; remote power supplies
- Logo segments/copy to have white 2406 plexiglass faces with first surface, translucent vinyls
- Logo top two (2) leaves to be blue A9561-T; bottom two (2) leaves to be green A9641-T
- Copy to the right to have black perforated duo-film
- Returns to be painted Dark grey Alumet

**RATED 120 VOLTS**



PHOTO RENDERING NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

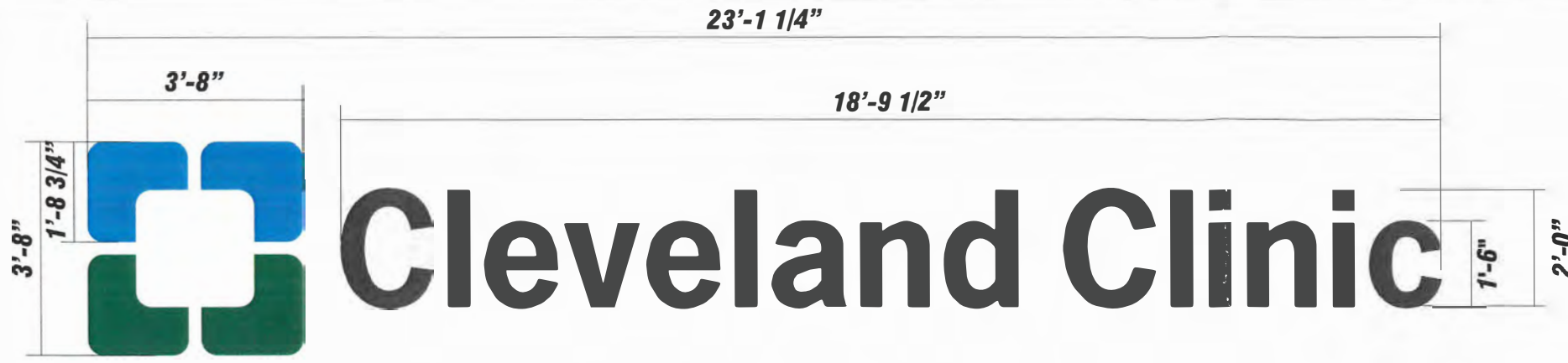


**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	CLEVELAND CLINIC (LAKEWOOD FHC)	SALESMAN	JM	DATE	10/12/22	REVISION	10/13/22cp	DESIGN NO.	B22-1682
LOCATION	14601 DETROIT AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		10/17/22cp	COPYRIGHT ©	2022
FILE NAME		cleve c new/ Lakewood FHC (2022)/ sign B							



## SIGN B

**SIGN ELEVATION:** 3/8" = 1'-0'

### Notes

Manufacture & install one (1) set of internally illuminated, trimless, LED channel logo segments/copy to be flush mounted to the building; remote power supplies

- Logo segments/copy to have white 2406 plexiglass faces with first surface, translucent vinyls
- Logo top two (2) leaves to be blue A9561-T; bottom two (2) leaves to be green A9641-T
- Copy to the right to have black perforated duo-film
- Returns to be painted Dark grey Alumet

**RATED 120 VOLTS**



PHOTO RENDERING NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

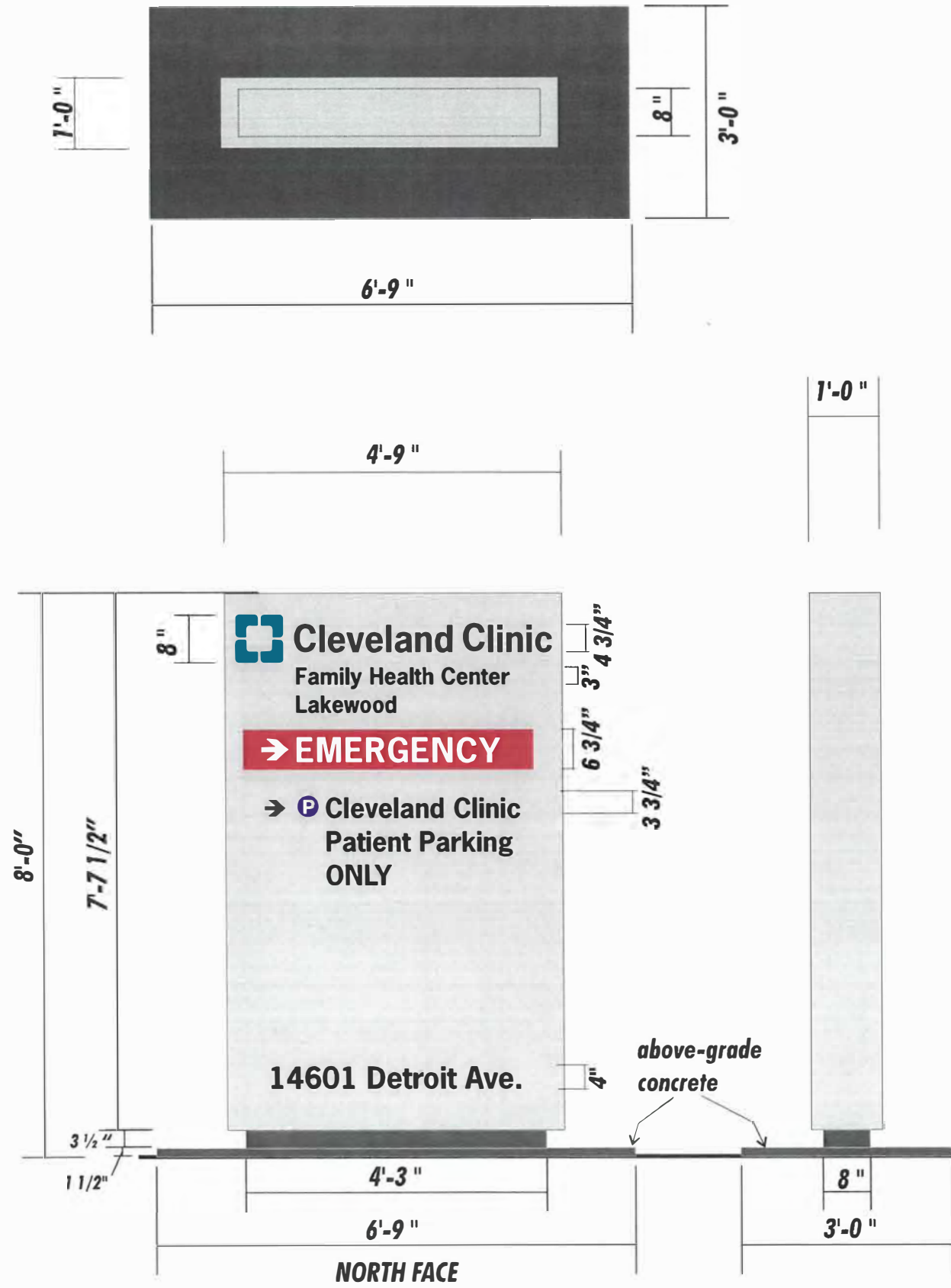


**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	CLEVELAND CLINIC (LAKEWOOD FHC)	SALESMAN	JM	DATE	10/12/22	REVISION	10/13/22cp	DESIGN NO.	B22-1682
LOCATION	14601 DETROIT AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		10/17/22cp	COPYRIGHT ©	2022
FILE NAME <small>cleve c new/ Lakewood FHC (2022)/ sign B</small>									



## SIGN A (1) BELLE AVE

SIGN ELEVATION: 1/2"=1'-0'

### Notes

Manufacture & install one (1) double face, non- illuminated, aluminum, ground sign with no visible fasteners & above grade painted concrete base

- Face backgrounds & cabinets to be painted matthews brushed aluminum 41-342
- Logo/copy/arrows to be routed out & backed up by plastic; logo/copy/arrows to be backed up by white 2447 plexiglass with first surface, translucent vinyls; logo top two (2) leaves to be blue A9561-T; bottom two (2) leaves to be green A9641-T; all remaining to be black perforated duo-film

- "EMERGENCY," bar & "P," symbol to be routed out & backed with white 7328 plexiglass with first surface, translucent vinyls; the bar to be red 3630-33 reversed so the copy & arrow would be white; the circle for "P," to be plum purple 3630-128 reversed so the outline & "P," in the middle to be white
- Concrete base to be painted black

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

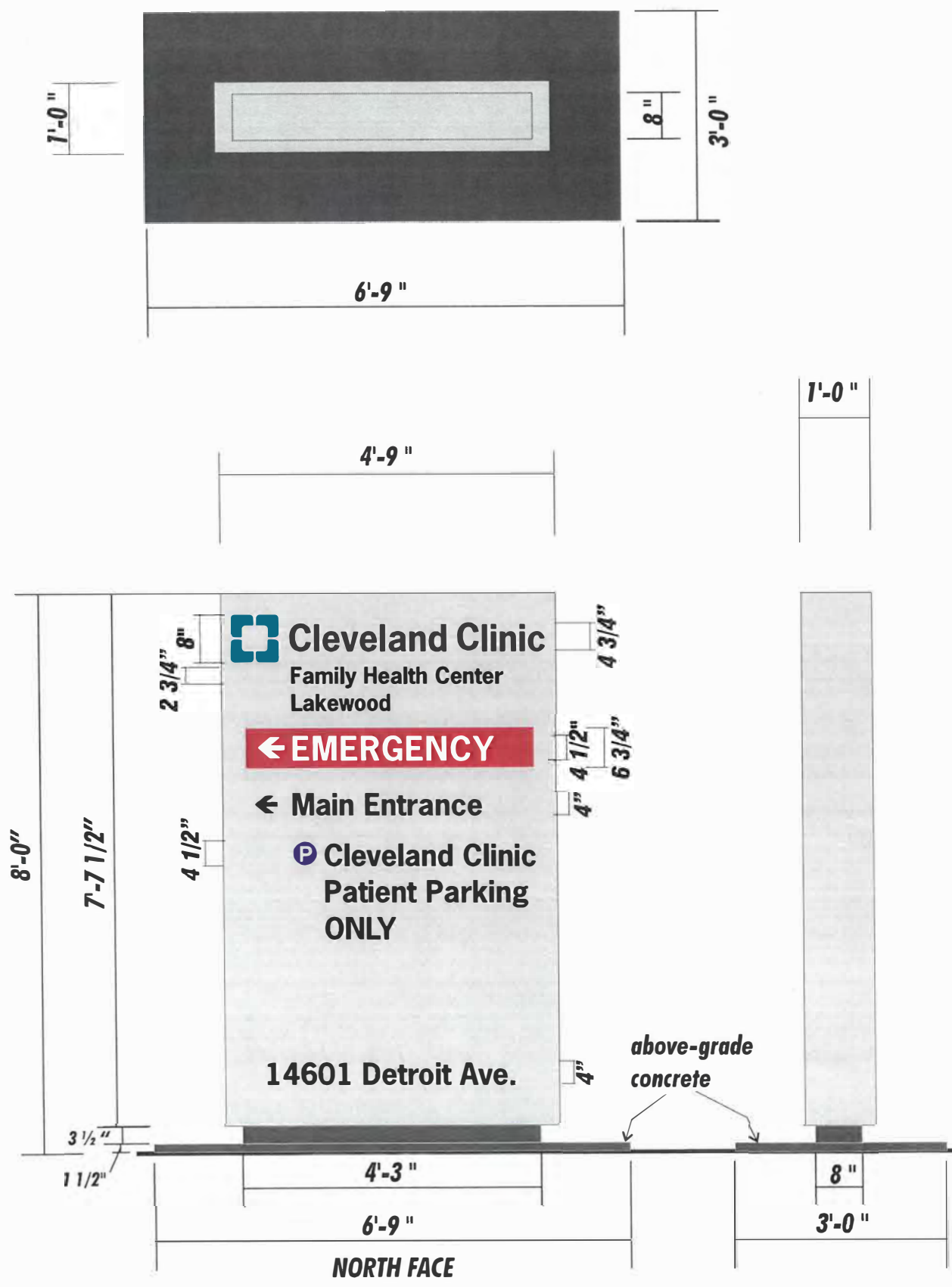


**Brilliant Electric Sign Co., Ltd.**

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	CLEVELAND CLINIC (LAKEWOOD FHC)	SALESMAN	JM	DATE	10/12/22	REVISION	10/13/22cp	DESIGN NO.	B22-1681
LOCATION	14601 DETROIT AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		10/17/22cp	COPYRIGHT ©	2022
								FILE NAME	cleve c new/ Lakewood FHC (2022)/ sign A



## SIGN A (2) ST. CHARLES AVE

SIGN ELEVATION: 1/2" = 1'-0'

- Notes**
- Manufacture & install one (1) double face, non- illuminated, aluminum, ground sign with no visible fasteners & above grade painted concrete base
  - Face backgrounds & cabinets to be painted matthews brushed aluminum 41-342
  - Logo/copy/arrows to be routed out & backed up by plastic; logo/copy/arrows to be backed up by white 2447 plexiglass with first surface, translucent vinyls; logo top two (2) leaves to be blue A9561-T; bottom two (2) leaves to be green A9641-T; all remaining to be black perforated duo-film
  - "EMERGENCY," bar & "P," symbol to be routed out & backed with white 7328 plexiglass with first surface, translucent vinyls; the bar to be red 3630-33 reversed so the copy & arrow would be white; the circle for "P," to be plum purple 3630-128 reversed so the outline & "P," in the middle to be white
  - Concrete base to be painted black

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

**Brilliant Electric Sign Co., Ltd.**  
 4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800



NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	CLEVELAND CLINIC (LAKEWOOD FHC)	SALESMAN	JM	DATE	10/13/22	REVISION	10/17/22cp	DESIGN NO.	B22-1688
LOCATION	14601 DETROIT AVE., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2022
FILE NAME c:\elec_new\lakewood FHC (2022)\SIGNA (2)									



site photo #1

14601 Detroit;

N ↘



Site Photo #2

14601 Detroit





© 2022 Google

Google Earth

Imagery Date: 9/2019 41°23'05.08" N 81°47'49.94" W elev: 713 ft eye alt: 688 ft

Site Photo #3

14601 Detroit

N ↖



**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-82-22**

**Permit No.: BBS22-000097**

**Applicant Name: Stephen Foster, The Sign & Graphics Firm, LLC**

**Project Address: 14526 Detroit Ave.**

**Project Name: Blossom Cleveland**

**Project: Applicant proposes signage in the sign band and updated awnings.**

BEFORE



PROPOSED



Sunbrella Durable Fabric Awnings



Painted 6mm DiBond Sheeting Sign Board

NOTE: Renderings are approximate representations of final production.

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

**Steven Foster**  
216.390.0198  
sgfoster09@gmail.com

**S&G SIGN & GRAPHICS FIRM**

BUSINESS NAME:  
**Blossom Cleveland**

ADDRESS:  
14526 Detroit Avenue  
Lakewood, OH 44107

**1**  
10-18-22





**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-83-22**

**Permit No.: BBS22-000098**

**Applicant Name: Stephen Foster, The Sign & Graphics Firm, LLC**

**Project Address: 13731 Madison Ave.**

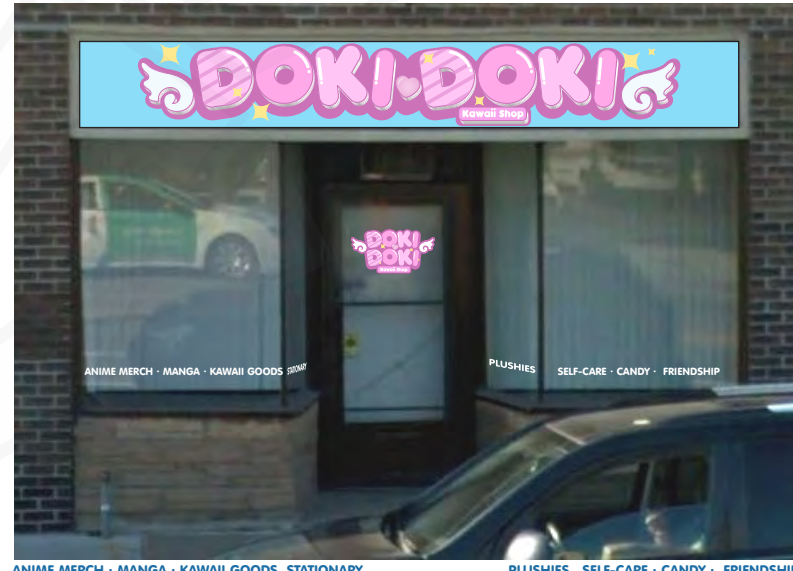
**Project Name: Doki Doki**

**Project: Applicant proposes a blade sign and signage in the sign band.**

**BEFORE**



**PROPOSED**



ANIME MERCH · MANGA · KAWAII GOODS STATIONARY PLUSHIES · SELF-CARE · CANDY · FRIENDSHIP

**White Window Vinyl**



**Double-sided 3mm DiBond Blade Sign**



**Painted 6mm DiBond Sheeting Sign Board**

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

NOTE: Renderings are approximate representations of final production.

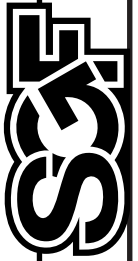
**1**  
10-20-22

ADDRESS:  
13737 Madison Ave.  
Lakewood, OH 44107

BUSINESS NAME:  
DOKI DOKI

Steven Foster  
216.390.0198  
sgfoster09@gmail.com

**THE SIGN & GRAPHICS FIRM**





**BOARD OF BUILDING STANDARDS  
ARCHITECTURAL REVIEW BOARD  
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • [www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Application Cover Page**

**Docket No.: 11-84-22**

**Permit No.: BBS22-000101**

**Applicant Name: Matthew Szaraz, MJM Building Standards**

**Project Address: 16019 Hilliard Rd.**

**Project Name: Foxy's Salon**

**Project: Applicant proposes public art (mural) on the west side of the building.**

