

**AGENDA
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**

**PRE-REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
EAST CONFERENCE ROOM
DECEMBER 7, 2023
4:00 P.M.**

**REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
DECEMBER 14, 2023
5:30 P.M.**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE NOVEMBER 9, 2023 MEETING
3. OPENING REMARKS

OLD BUSINESS

SIGN REVIEW

4. Docket No. 10-79-23

**13306 Detroit Ave.
Cloud City Vapes**

- () Approve
- () Deny
- () Defer

Sam Baadani
Cloud City Smokes
13306 Detroit Ave.
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 4)

ARCHITECTURAL BOARD OF REVIEW

5. Docket No. 11-93-23 (R)

**12534 Lake Ave.
Shady Cove Townhouses**

- () Approve
- () Deny
- () Defer

Tyler Brummett
Brookside Shady LLC
716 University Court
Cleveland, OH 44113

Applicant proposes demolition of a residential home. (Page 9)

6. Docket No. 11-94-23 (C)

12534 Lake Ave.
Shady Cove Townhouses

- Approve
- Deny
- Defer

Tyler Brummett
Brookside Shady LLC
716 University Court
Cleveland, OH 44113

Applicant proposes the development of 16 townhouses. (Page 54)

NEW BUSINESS

SIGN REVIEW

7. Docket No. 12-96-23

14701 Detroit Ave.
Signature Health

- Approve
- Deny
- Defer

Laura Higgins-Woyma
Brilliant Electric Sign Company
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes a wall sign. (Page 83)

8. Docket No. 12-97-23

16300 Detroit Ave.
The Cleveland Bagel Cafe

- Approve
- Deny
- Defer

Erika Durham
The Cleveland Bagel Cafe
16300 Detroit Ave.
Cleveland, OH 44102

Applicant proposes an illuminated blade sign, a single-sided illuminated circular capsule for interior of window, and two single-sided illuminated rectangular capsules for interior of windows. (Page 85)

ARCHITECTURAL BOARD OF REVIEW

9. Docket No. 12-98-23 (R)

1134 Brockley Ave.

- Approve
- Deny
- Defer

Barry Hoffman
Hoffman Construction, Inc.
23775 Commerce Park, Suite 1
Beachwood, OH 44122

Applicant proposes exterior alteration at side of house. (Page 101)

10. Docket No. 12-99-23 (R)

1490 Victoria Ave.

- Approve
- Deny
- Defer

Yousufuddin Mohammed
1490 Victoria Ave.
Lakewood, OH 44107

Applicant proposes repair and enclosure of the front porch and steps repair. (Page 109)

11. Docket No. 12-100-23 (C)

**12507 Plover St.
Mixed-Use Commercial and Apartments**

- Approve
- Deny
- Defer

Heather Mease
12507 Plover St.
Lakewood, OH 44107

Applicant proposes a first floor window replacement. (Page 114)

12. Docket No. 12-101-23 (C)

**11818 and 11810 Madison Ave.
RISE Lakewood**

- Approve
- Deny
- Defer

Jonathan Ziegen
Osborn Engineering
1111 Superior Ave. E., Suite 2100
Cleveland, OH 44114

Applicant proposes expansion of a commercial building and parking lot. (Page 126)

ADJOURN

"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 michelle.nochta@lakewoodoh.net."



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 10-79-23

Permit No.: BBS23-000073

Applicant Name: Sam Baadani, Cloud City Smokes

Project Address: 13306 Detroit Ave.

Project Name: Cloud City Vapes

Project: Applicant proposes signage in the sign band.

RBG Lakewood LLC
13302 Detroit Ave.
Lakewood Ohio, 44280
(216-235-8484)

9/20/2023

To the City of Lakewood,

I Rick Groetsch owner of the building in which Aish Alhanash will be opening a Vape Store within, I DO give permission for him to place a new sign either on the inside windows or outside wall either is totally fine by me.

If needed you may reach me on my cell listed above.

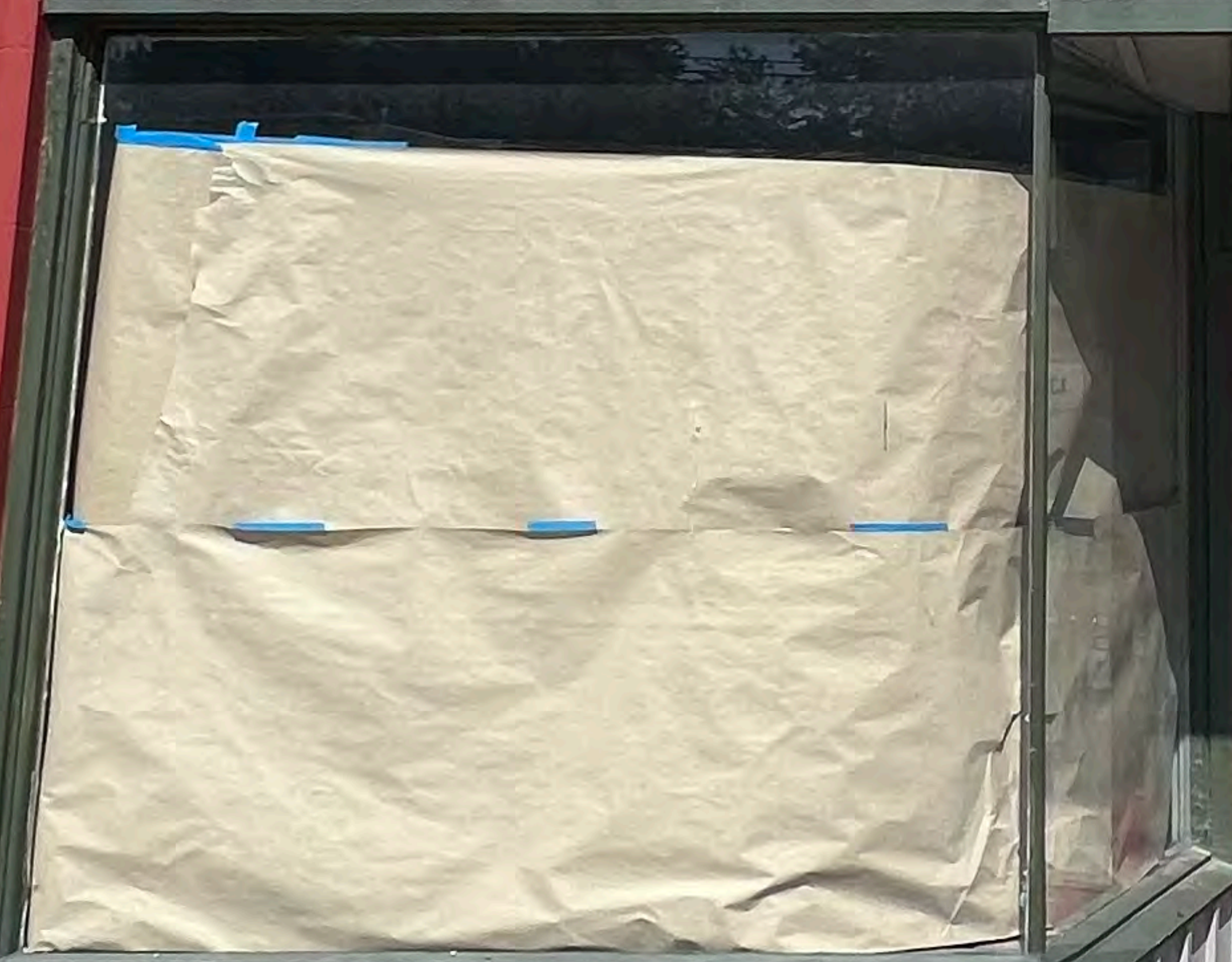
Thank you,

Rick Groetsch



3 1/2 - 4 ft

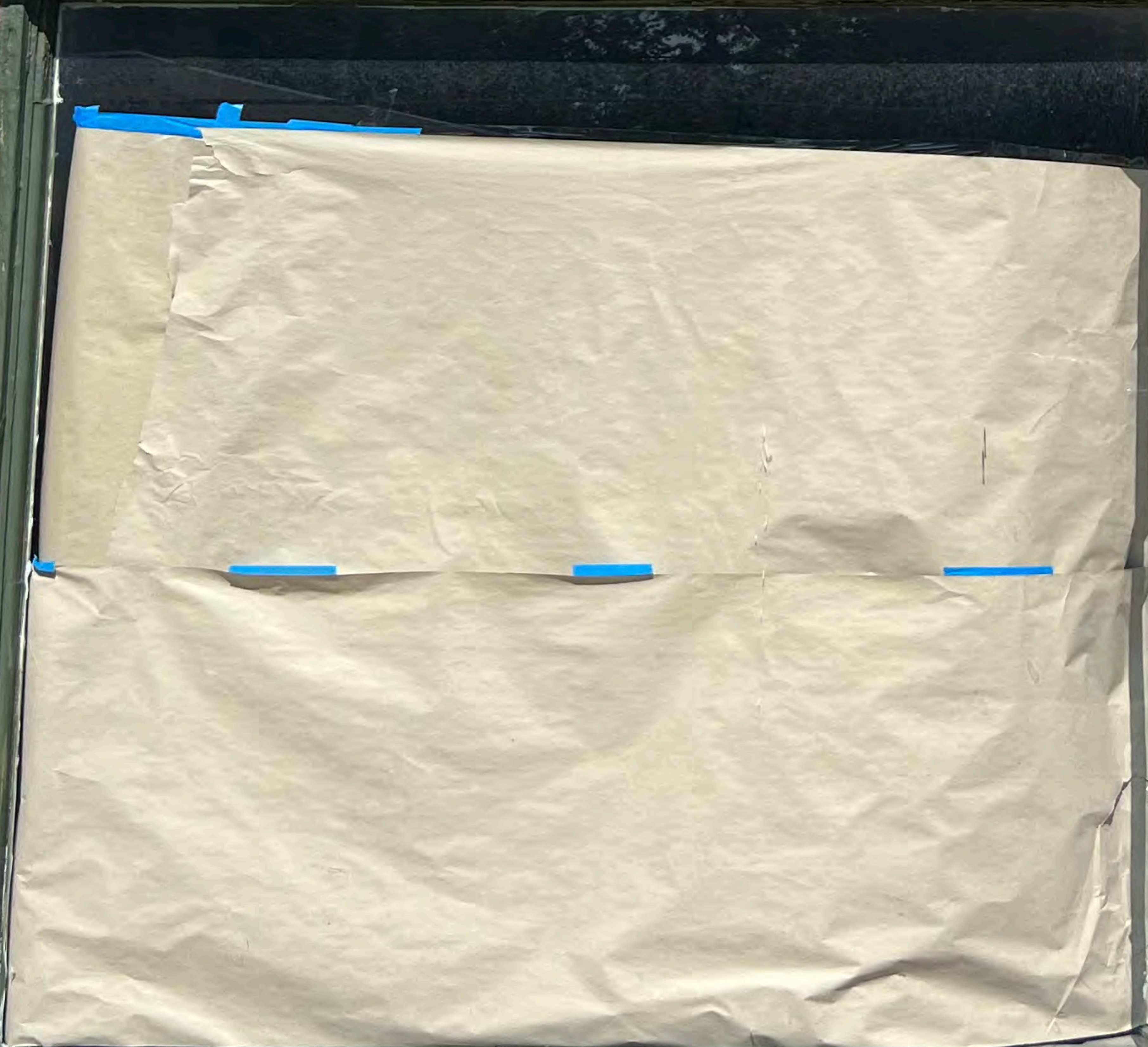
11 1/2 - 12 ft





11 1/2 - 12 ft

3 1/2 - 4 ft



Text





**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-93-23

Permit No.: BBS23-000089

Applicant Name: Tyler Brummett, Brookside Shady LLC

Project Address: 12534 Lake Ave.

Project Name: Shady Grove Townhouses

Project: Applicant proposes demolition of a residential home.



CORRECTION NOTICE



DIVISION OF HOUSING AND BUILDING
12650 DETROIT AVENUE • LAKEWOOD,
OHIO 44107
PHONE (216) 529-6270 • FAX (216) 529-5930
www.lakewoodoh.gov

VL FREELAND LLC
P.O. BOX 30339
MIDDLEBURG HTS, OH 44130

Date: July 17, 2023
Zoning District: MH

RE: 12534 LAKE AVE

Date of Inspection: 07/13/2023

Conditions on Date of Inspection: Cloudy

Re-Inspection Date: 08/17/2023

Temperature on Date of Inspection: 75

Type of Inspection: Safety and Maintenance - 23-002741

Dear Sir/Madam:

A recent inspection of the above noted property disclosed the following corrections are necessary for safe, sanitary, and proper maintenance standards as required by the Codified Ordinances of the City of Lakewood (Ord. 85-78).

The personnel of the Division of Housing and Building want to cooperate with you in keeping this city a fine place to reside. Efforts in maintaining this property are appreciated. The enforcement of Lakewood's Codes is critical to the future of the City and our department is prepared to work with you to make the following corrections.

If you have any questions on complying with the aforementioned correction(s), or if I may be of any assistance, do not hesitate to contact me. A re-inspection will occur on or about the above listed dates to verify compliance.

Property owners may qualify for financial assistance for major building corrections. Please contact the Division of Community Development at (216) 529-4663 for information about financial assistance.

This was a VISUAL INSPECTION. The city assumes no liability or responsibility for failure to report violations that may exist and makes no guarantee whatsoever that future violation(s) cannot or will not occur.

Correction Needed	Additional Information	Date to Comply
120 - Maintain foundation/exterior walls/roof (1306.29(a)(c)), 1306.30(a)(b)(1), (1306.32)	Throughout property.	08/17/2023
125 - Repair soffit/fascia (1306.30(b)(1)(2))	Where damaged through out property.	08/17/2023
128 - Paint exterior surfaces where weathered/peeling (1306.30(c))	Throughout property.	08/17/2023
133 - Maintain/provide doors/windows/screens (1306.25), 1306.29(d), (1306.30(b)(1), 1306.32)	Throughout property.	08/17/2023
137 - Provide/repair/replace steps (1306.30(b)(1)) (1306.32)	Repair damaged steps at rear of property.	08/17/2023
201 - Provide/Maintain basic kitchen and bathroom facilities (1306.10/32)	Throughout	08/17/2023
208 - Maintain interior doors operable (1306.15(c))	Throughout	08/17/2023
209 - Provide/Maintain approved means of egress (1306.24/32)	Throughout	08/17/2023
210 - Maintain window(s)/door(s) operable/in good repair (1306.29(d)) (1306.32/73)	Throughout	08/17/2023
215 - Provide/Maintain locks at entrances (1306.29(f))	Throughout	08/17/2023
218 - Remove unapproved window coverings (1306.73)	Throughout	08/17/2023
232 - Provide/Maintain approved heating facilities (1306.18/19)	Throughout	08/17/2023
239 - Provide/Maintain electrical facilities (1306.22/32)	Throughout	08/17/2023
242 - Maintain receptacles/switches/fixtures (1306.22)	Throughout	08/17/2023
253 - Maintain Premises		

safe and sanitary (1306.29/32)	Throughout	08/17/2023
257 - Maintain foundation, floors and walls (1306.29(a)(b)) (1306.32)	Throughout	08/17/2023
260 - Maintain floors/walls/ceilings clean & sanitary (1306.29(k))	Throughout	08/17/2023
261 - Repair/seal drywall/plaster (1306.29(k))	Throughout	08/17/2023
262 - Scrape/paint interior surfaces (1306.29(k))	Throughout	08/17/2023
263 - Remove debris from interior (1306.29(k))	Throughout	08/17/2023
267 - Secure a housing license (1306.43(a))	Secure vacant housing license	08/17/2023
268 - Provide for re-inspection (1306.49/50)	8/17/23 at 10:00 AM	See Details of Letter
269 - Secure required permit (1306.62/63/65)	Secure permits for all work requiring permitting.	08/17/2023

PER THE REQUIREMENT OF LAKEWOOD CODIFIED ORDINANCES, FAILURE TO COMPLY BY THE SPECIFIED DATES MAY RESULT IN THIS MATTER BEING REFERRED TO THE LAKEWOOD MUNICIPAL COURT POSSIBLY RESULTING IN FINES AND/OR PROSECUTION.

Prior to the start of work, permits are required for electrical, plumbing, heating, air conditioning, building, fencing, paving, and/or demolition work.

Thank you for your anticipated cooperation.

Goran Najdenovski

216-529-7697

goran.najdenovski@lakewoodoh.net

CC: Electronic File



07/17/2023 -



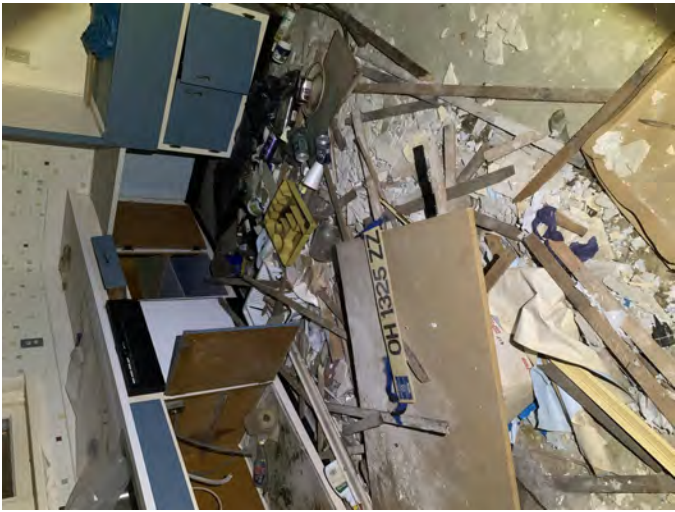
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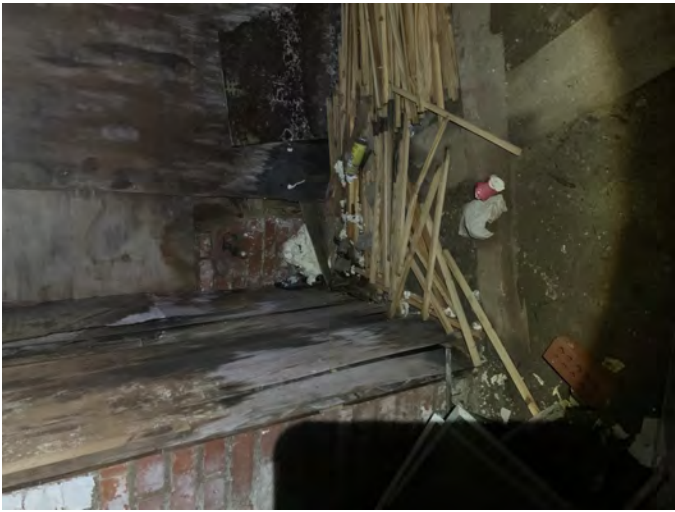
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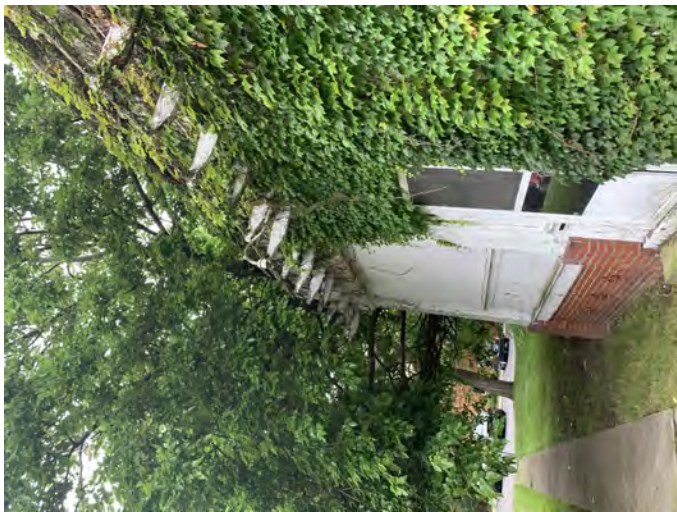
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07/17/2023 -



CITY OF LAKEWOOD
Department of Planning and Development



12650 Detroit Avenue, Lakewood, Ohio 44107
216-529-HOME (529-4663)
www.LakewoodOH.gov

HOMEOWNER REHABILITATION PROGRAMS

- ✓ **Own and occupy a Lakewood home?**
- ✓ **Want to make home repairs or improve**



energy efficiency?

- ✓ **Seeking affordable, fixed rate financing, grants, or rebates?**

LOW INTEREST LOANS - Not sure how to pay for that home repair project you've been postponing? Funds are available for roof replacement, paint or vinyl siding, waterproofing, porch rebuild, electrical work and HVAC. Our program features low interest rates and affordable monthly payments for qualified applicants. All loans are secured by a lien.

HOME IMPROVEMENT REBATES - Don't need financing, but want to get money back for eligible exterior and interior improvements? Qualified applicants receive 50% up to \$10,000 so long as the exterior of your home is in full compliance with the Division of Housing and Building.

WEATHERIZATION GRANTS - High energy bills, cold and drafty home? Go green and save money with a free energy audit and receive up to \$5,000 grant assistance for approved improvements that increase energy efficiency including insulation, air sealing, furnaces, & hot water tanks.



Plover Avenue rehab: exterior siding, new front steps, interior renovations, driveway, and garage.

2022 INCOME GUIDELINES	
Household Members	Moderate Income
1	\$47,850
2	\$54,650
3	\$61,500
4	\$68,300
5	\$73,800
6	\$79,250
7	\$84,700
8	\$90,200

Learn more about our programs on the City's website: www.lakewoodOH.gov/housingprograms.

Program participants must comply with all federal, state and local law; all are welcome to apply.

ADDITIONAL PROGRAMS AVAILABLE TO LAKEWOOD PROPERTY OWNERS

CITY OF LAKEWOOD RENTAL REHAB LOANS – Special financing is available for rental owners making improvements that bring their units into code compliance and increase energy efficiency and/or accessibility. Funding is dedicated to units that are or will be occupied by low & moderate income tenants. \$14,000 maximum per unit investment & five (5) year commitment to affordability required. Contact the City's Planning Department at 216-529-4663 for program information and requirements.

HOUSING ENHANCEMENT LOAN PROGRAM (HELP) – Who wouldn't like a 3% interest rate reduction on a fixed rate equity loan? Cuyahoga County sponsors the HELP Loan for County residents making improvements to their homes. No income restrictions. Use your home's equity to make necessary home improvements at very low interest rates. Contact your local Key or Huntington Bank branch for additional information.

LEAD SAFE CUYAHOGA GRANT PROGRAM – Want to get the lead out? If you are a renter or homeowner with children under the age of 5 who occupy or frequently visit your home, the Cuyahoga County Board of Health provides grant based assistance to remediate lead hazards. Contact the Board of Health staff at 216-201-2000.



WINTER CRISIS PROGRAM – Emergency assistance is available through Step Forward, a northeast Ohio agency, for residents who are threatened with or have already been disconnected by a utility provider. Contact the Council at (216) 350-8008 to make an appointment. Additional information is available on their website at <https://www.stepforwardtoday.org/energy-assistance-programs>.

DOMINION EAST OHIO GAS OHIO HOME PERFORMANCE WITH ENERGY STAR PROGRAM - Dominion Energy helps customers of all income levels boost their home's comfort and long-term value, while keeping energy bills in check. To schedule a Home Performance Energy Assessment, call 877.287.3416 or go online at <https://www.deohpwes.com/>.

HOME ENERGY ASSISTANCE PROGRAM – Looking to improve your home's energy efficiency? Contact Lakewood Alive at 216-521-0655 for information on this program offered through the Ohio Department of Development. Income guidelines and additional information at <https://dsas.cuyahogacounty.us/en-US/energy-assistance-programs.aspx>.

LAKEWOODALIVE PROGRAMS

PAINT LAKEWOOD - Provides a grant of up to \$3,500 to qualified Lakewood homeowners and residents for exterior paint, supplies and professional labor costs to paint their home. The program has been designed to offer a grant on a sliding scale to help reduce the cost of an exterior paint job.

LAKEWOODALIVE PRIDE FUND - Provides loan guaranties to qualified Lakewood homeowners with incomes not more than 120% of the Area Median Income to help them secure a home repair loan of up to \$8,000 (the "Pride Loan") from First Federal of Lakewood.

Contact Lakewood Alive at 216-521-0655 for more information about their programs.

CUYAHOGA COUNTY BOARD OF HEALTH

Lead Safe Cuyahoga

Target Cities

Bratenahl
 Brooklyn
 Brooklyn Hts.
 Brook Park
 Cleveland Hts.
 Cuyahoga Hts.
 East Cleveland
 Euclid
 Fairview Park
 Garfield Hts.
 Lakewood
 Linndale
 Maple Hts.
 Newburgh Hts.
 Parma
 Rocky River
 Shaker Hts.
 South Euclid
 Warrensville Hts.

What? Free Home Repairs

Who? Owners or Renters in target cities with children **5 years of age or younger** and qualify by income

How Much? Up to \$8,000*

What may get fixed? Windows, doors, porches and the outside of the house



Call: 216-201-2000

*Landlords are required to pay a *minimum* of \$500 towards the cost of repairs



Protect Your Child from Lead

Lead is a poison. When it gets into a child's body it can harm their brain and cause learning and behavior problems. Many homes built before 1978 may have paint that contains lead.

Testing: To have your child tested for lead, contact our clinic at:
216-201-2041

Cleveland residents, call the Community Development office at: 216-664-2045

CCBH-LSC-10/15-1













OH 1325 ZZ

05

48P DSP-12

PROOF



OH 1325 ZZ





















Fluoresce

ORTON
ET-SALT



THE MARTIN ELECTRIC CO.
ELECTRICAL CONSTRUCTION
CLEVELAND, OHIO

1. Living Room
2. Kitchen
3. Bathroom
4. Hallway
5. Staircase
6. Living Room
7. Dining Room
8. Kitchen
9. Living Room
10. Staircase
11. Living Room
12. Dining Room
13. Kitchen
14. Living Room
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99. Dining Room
100. Kitchen





























**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 11-94-23

Permit No.: BBS23-000080

Applicant Name: Tyler Brummett, Brookside Shady LLC

Project Address: 12534 Lake Ave.

Project Name: Shady Grove Townhouses

Project: Applicant proposes the development of 16 townhouses.

LAKEWOOD TOWNHOMES

ADDRESS: 12534 LAKE AVE, LAKEWOOD, OH

The Lakewood Townhome project proposes for sale residential urban living on Lakewood's Gold Coast. The site is the nexus of three urban conditions:

1. Lakewood's famous mid-century high-rises,
2. Nearby historic colonial revival, art deco, and midcentury mid-rises,
3. And the beautiful historic homes that line Lake Avenue as it moves west.

The townhouse concept brings together elements of all three urban conditions with a new element that melds the other three. The townhouses together relate to the massing and site placement of the mid-rises to the east, they reflect the architectural styling of the high-rises to the north that serve as a backdrop when viewed from Lake Avenue, and in use they match the single-family private ownership of the houses to the south.

The site and urban design proposed will increase the walkability and livability of the Gold Coast by creating context that is human scaled, friendly to the street, and fills the existing void between Lake Avenue and Edgewater Drive.

SHADY COVE TOWNHOUSES

LAKEWOOD, OHIO

PRICING PACKAGE

AUGUST 11, 2023

DRAWING INDEX:

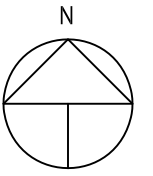
TS.011	TITLE SHEET
A1.09	SITE PLAN
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A3.01	TYPICAL FLOOR PLAN
A4.01	INTERIOR ELEVATIONS

SHADY COVE TOWNHOUSES

12534 LAKE AVE
LAKEWOOD, OHIO

KEY PLAN:

NOT TO SCALE



SITE



THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND CONCEPTS ARE THE PROPERTY OF RDL ARCHITECTS AND SHALL BE KEPT IN THE POSSESSION OF THE ARCHITECT. NO PART OF THESE DRAWINGS OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED SHALL BE REPRODUCED, COPIED, REPRODUCED OR DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THE ARCHITECT'S KNOWLEDGE OF ANY VIOLATION. DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

ISSUE

▲ PRICING PACKAGE	08.11.2023
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TITLE SHEET

PROJECT #	22214
DRAWN BY	_____
CHECKED BY	RDL
FILE NAME	_____
PLOT DATE	_____

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MATERIAL SCHEDULE:

1. SIDING: 10.25" Wide Artisan Shiplap cement Panels. Color 1: TBD
- 2A. SIDING: Fiber cement Panels. Color 1: TBD
- 2B. SIDING: Fiber cement Panels. Color 2: TBD
- 3A. BRICK: Modular Brick Veneer. Color: TBD
- 3B. BRICK SILL: Brick rowlock sill / water table. Color to match face brick.
- 3C. BRICK HEADER: 8" Soldier course brick over windows. Color to match face brick.
- 3D. CAST STONE: 4" high cast stone cap. Color: TBD
4. DOOR & WINDOW TRIM: Boral trim. Color: TBD
 - 4A. 3/4" x 7 1/4" surround with 1"x2 1/2" horizontally installed sill (when applicable).
5. CORNICE TRIM: 18" high cement bd. panel with 1" x 2 1/2" Boral trim at bottom & 1 1/2" x 3 1/2" Boral trim at top. Color to match door & window trim.
6. TRIM: 1" x 2 1/2" Boral trim set over 3/4" x 1 1/4" Boral trim. Color to match door & window trim.
7. PANEL BREAK.
8. GUTTERS, DOWN SPOUTS & ALUMINUM WRAPPED FASCIAS: Pre-finished aluminum. Color to match trim.
9. COLUMN / POST WRAP: Square, Fypon or Cement Bd. Color to match trim.
10. RAILING: Stainless Steel Cable railing system.
11. OVERHEAD GARAGE DOOR: Steel.
12. ADDRESS PLACARD
13. EXTERIOR WALL SCENCE

21111 Chagrin Blvd, Suite 110
Shaker Heights, Ohio 44120
PHONE: 216-752-4300
FAX: 216-752-4301
www.RDLarchitects.com

SHADY COVE TOWNHOUSES

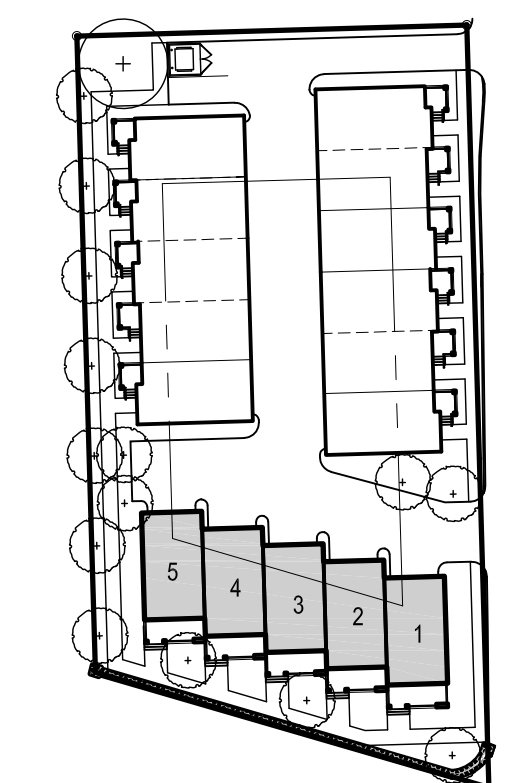
12534 LAKE AVE
LAKEWOOD, OHIO

THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND CONCEPTS ARE THE PROPERTY OF RDL ARCHITECTS AND SHALL BE LOANED TO THE CLIENT FOR THE PROJECT ONLY. ANY REPRODUCTION OR DISCLOSURE TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT SHALL CONSTITUTE A VIOLATION OF THE ARCHITECT'S PROFESSIONAL ETHICS AND SHALL BE SUBJECT TO LEGAL ACTION. CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN ON THE SITE AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

ISSUE

- ▲ PRICING PACKAGE 08.11.2023
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KEY PLAN:



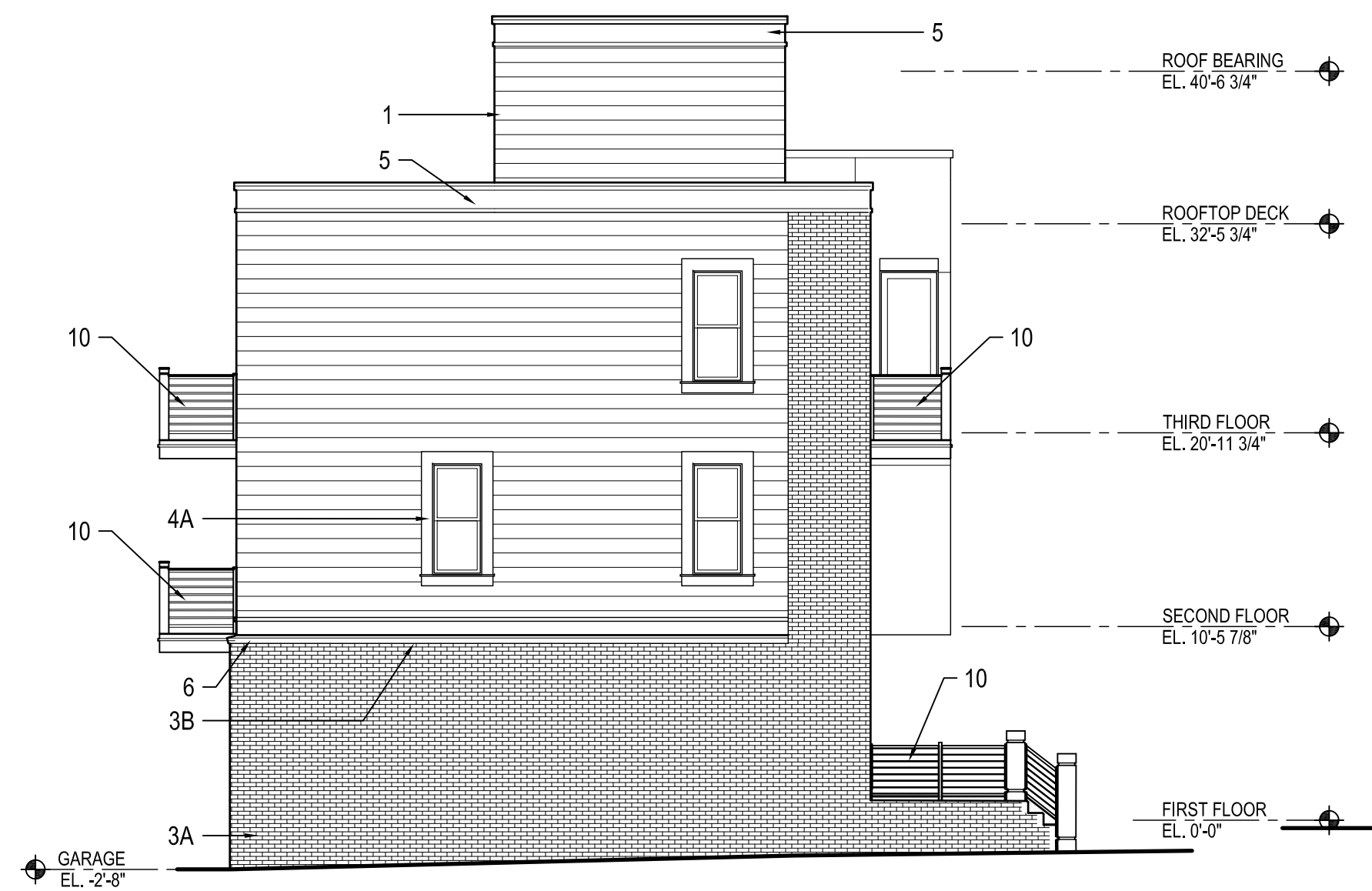
EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"
0 1 2 4 8 16'

PROJECT # 22214
DRAWN BY
CHECKED BY RDL
FILE NAME
PLOT DATE

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A2.01



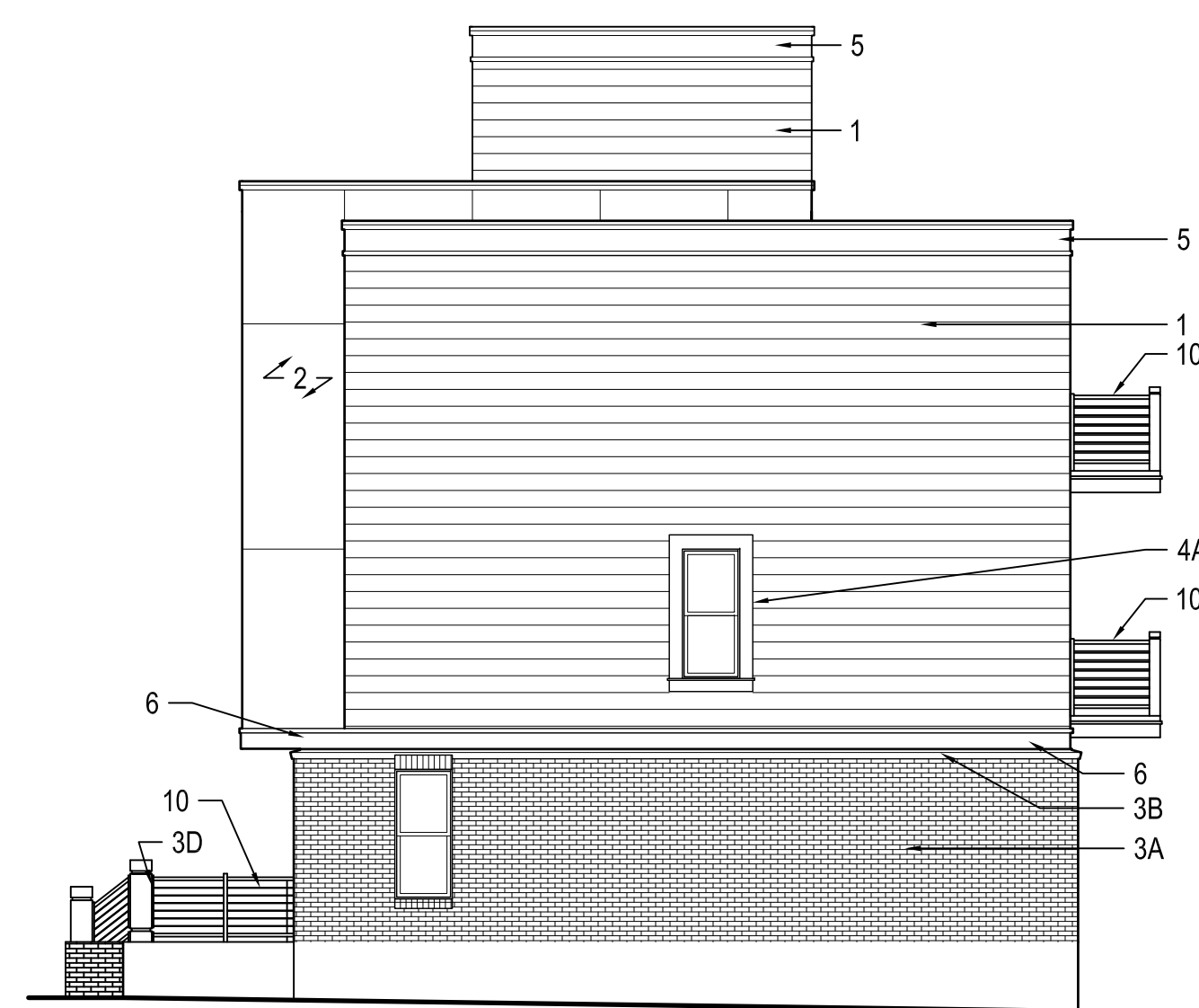
2 LEFT SIDE ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION: TOWNHOUSES 1 - 5

A3.07 SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE:

1. SIDING: 10.25" Wide Artisan Shiplap cement Panels. Color 1: TBD
- 2A. SIDING: Fiber cement Panels. Color 1: TBD
- 2B. SIDING: Fiber cement Panels. Color 2: TBD
- 3A. BRICK: Modular Brick Veneer. Color: TBD
- 3B. BRICK SILL: Brick rowlock sill / water table. Color to match face brick.
- 3C. BRICK HEADER: 8" Soldier course brick over windows. Color to match face brick.
- 3D. CAST STONE: 4" high cast stone cap. Color: TBD
4. DOOR & WINDOW TRIM: Boral trim. Color: TBD
- 4A. 3/4" x 7 1/4" surround with 1"x2 1/2" horizontally installed sill (when applicable).
5. CORNICE TRIM: 18" high cement bd. panel with 1" x 2 1/2" Boral trim at bottom & 1 1/2" x 3 1/2" Boral trim at top. Color to match door & window trim.
6. TRIM: 1" x 2 1/2" Boral trim set over 3/4" x 1 1/4" Boral trim. Color to match door & window trim.
7. PANEL BREAK.
8. GUTTERS, DOWN SPOUTS & ALUMINUM WRAPPED FASCIAS: Pre-finished aluminum. Color to match trim.
9. COLUMN / POST WRAP: Square, Fypon or Cement Bd. Color to match trim.
10. RAILING: Stainless Steel Cable railing system.
11. OVERHEAD GARAGE DOOR: Steel.
12. ADDRESS PLACARD
13. EXTERIOR WALL SCENCE



SHADY COVE TOWNHOUSES

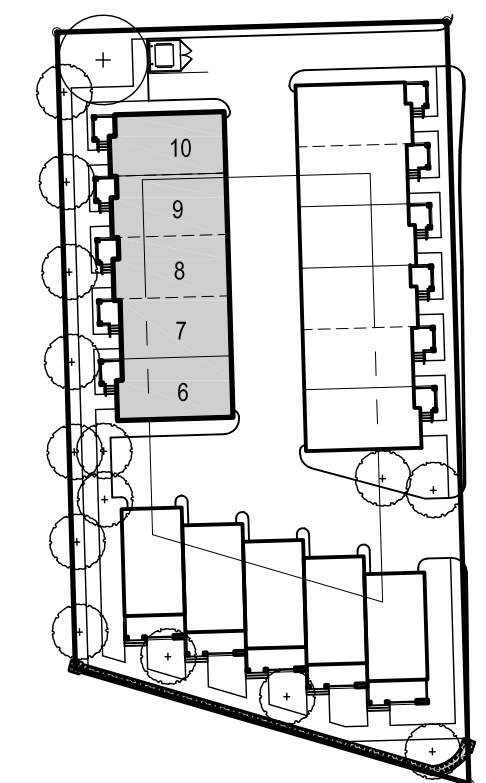
12534 LAKE AVE
LAKEWOOD, OHIO

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KEY PLAN:



EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"
0' 1' 2' 4' 8' 16'

PROJECT # 22214
DRAWN BY _____
CHECKED BY RDL
FILE NAME _____
PLOT DATE _____

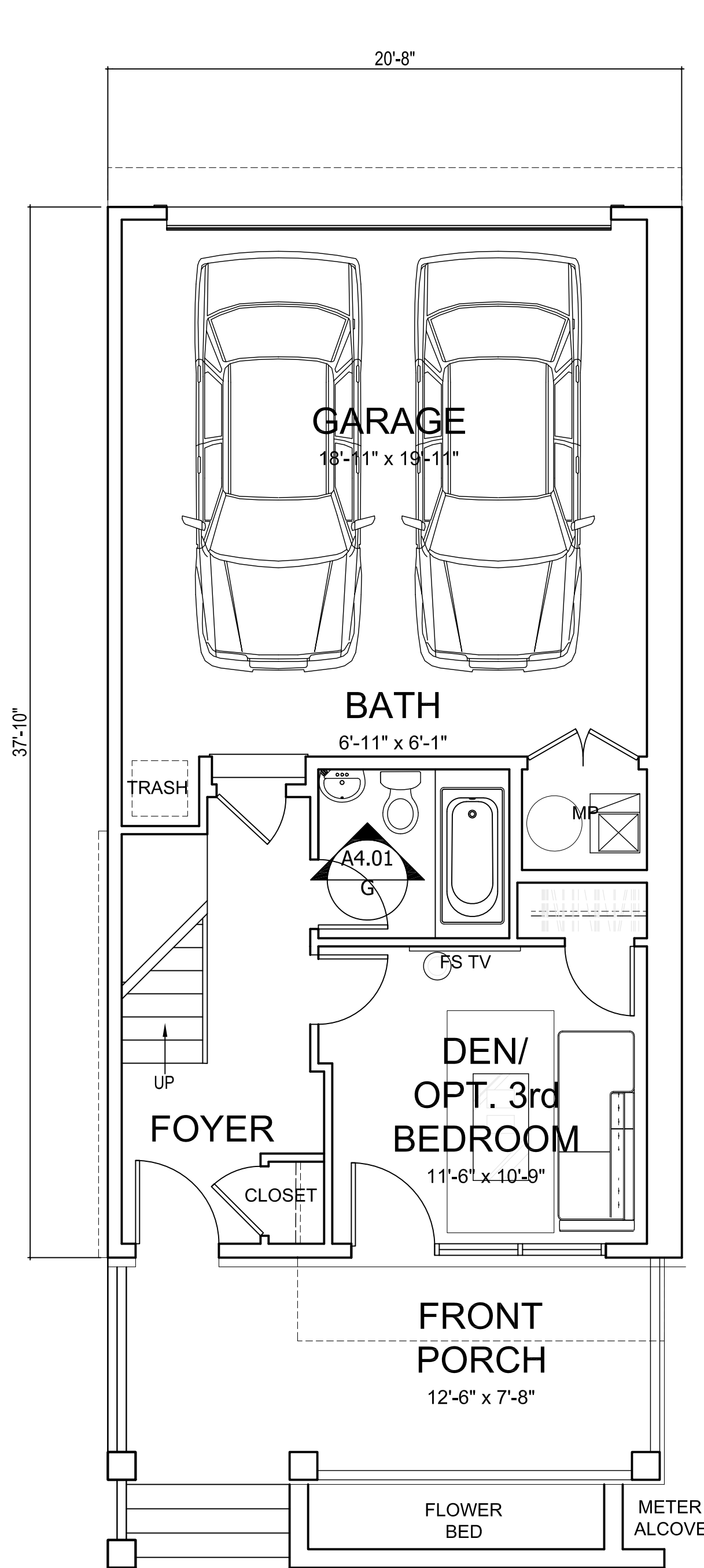
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ISSUE

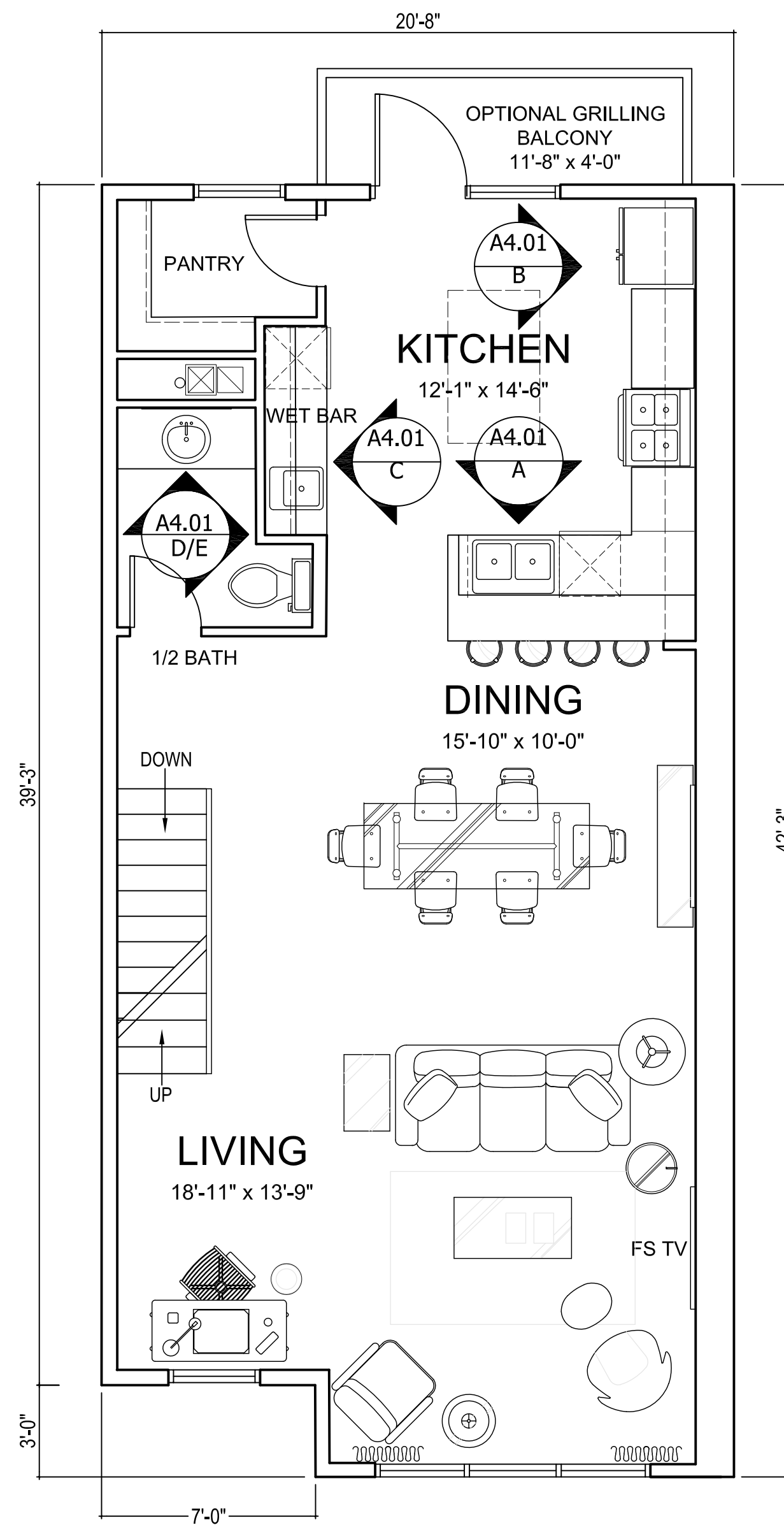
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**TYPICAL
TOWNHOUSE
FLOOR PLANS**

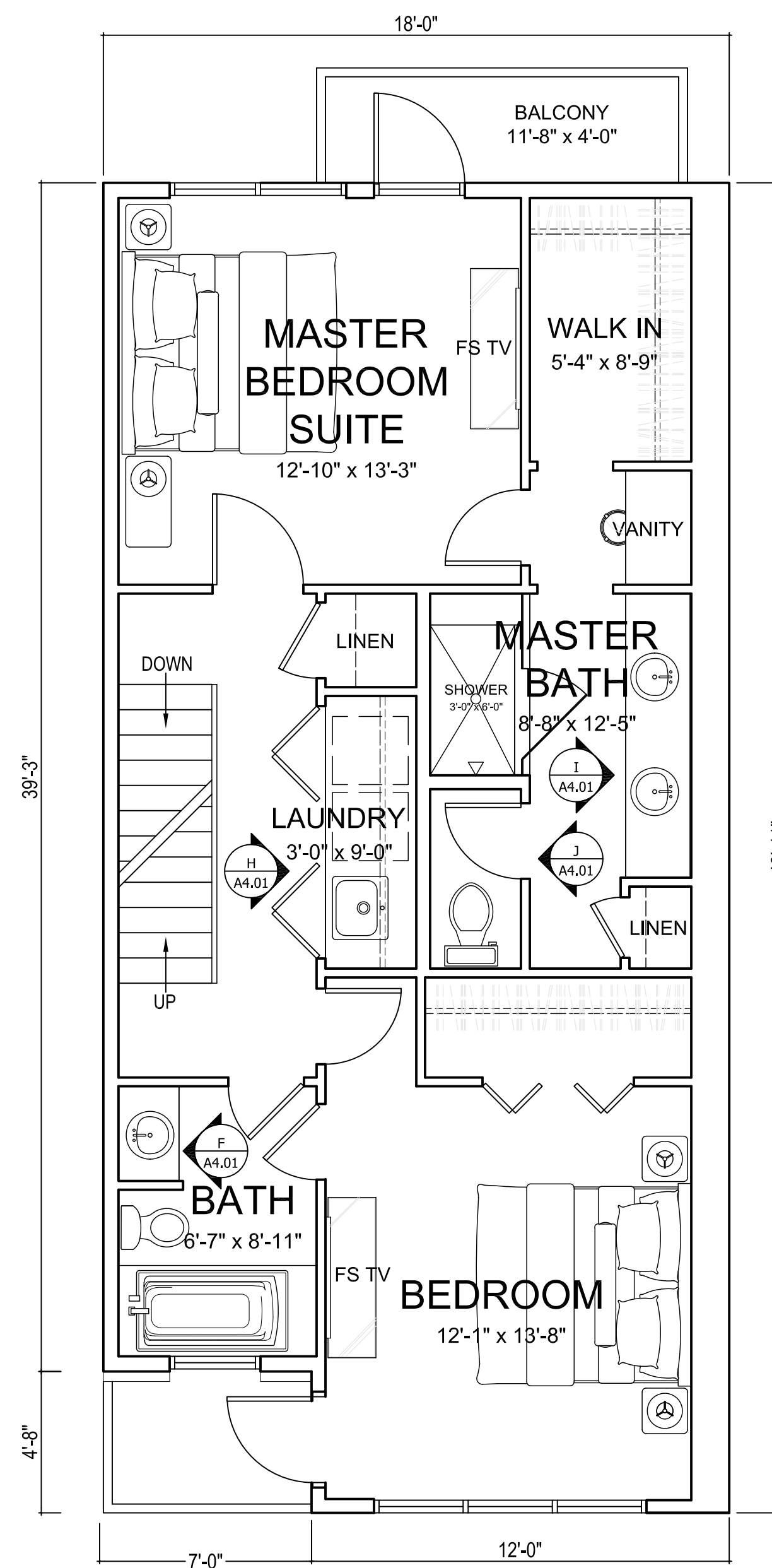
PROJECT #	22214
DRAWN BY	
CHECKED BY	RDL
FILE NAME	
PLOT DATE	



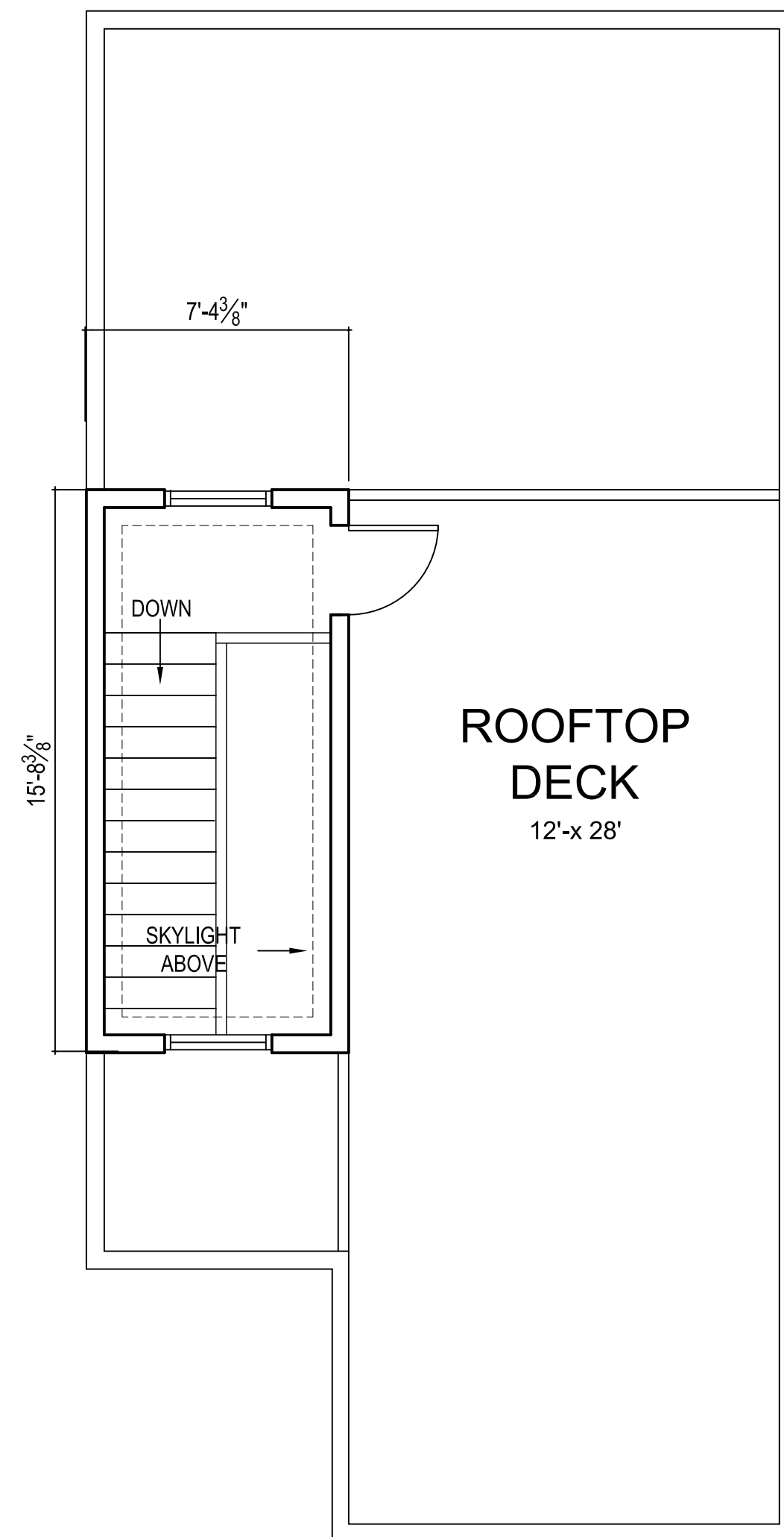
1 GROUND FLOOR
SCALE: 1/4" = 1'-0" AREA: 329 sf (includes stairwall)



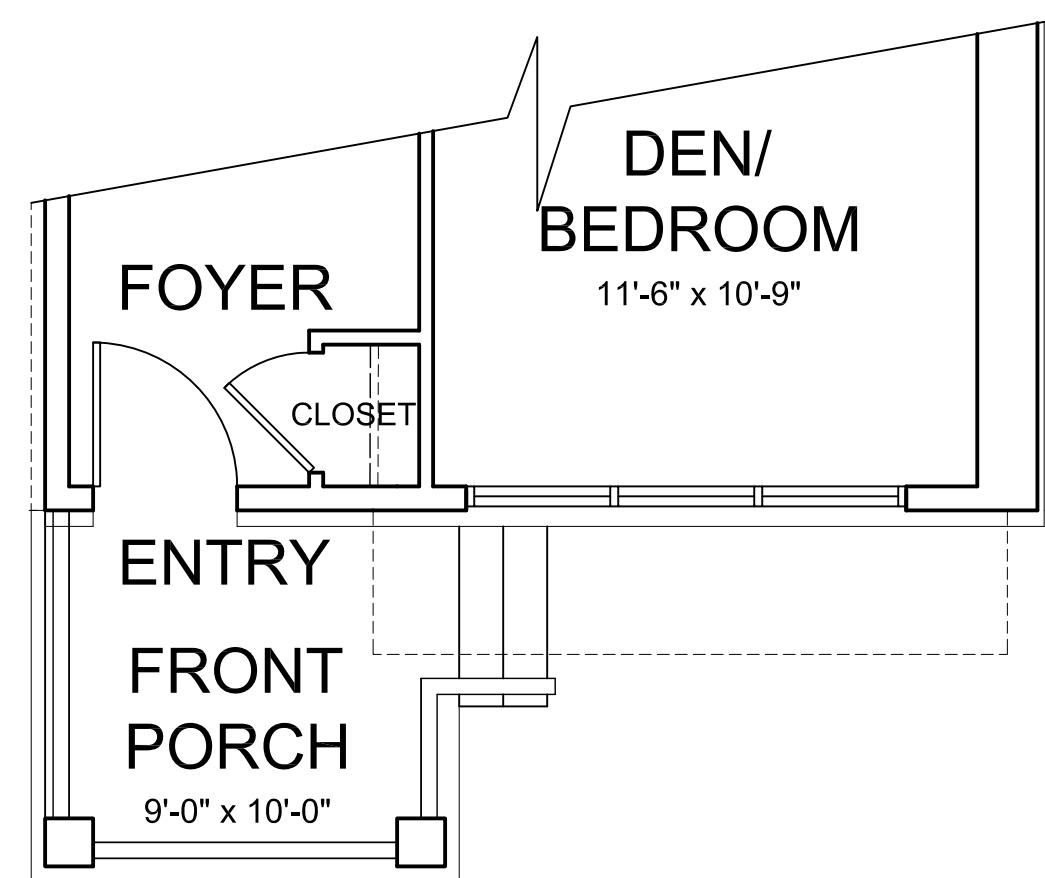
2 FIRST FLOOR
SCALE: 1/4" = 1'-0" AREA: 815 sf



3 SECOND FLOOR
SCALE: 1/4" = 1'-0" AREA: 815 sf



4 ROOF
SCALE: 1/4" = 1'-0" AREA: 103 sf TOTAL AREA: 2,022 sf



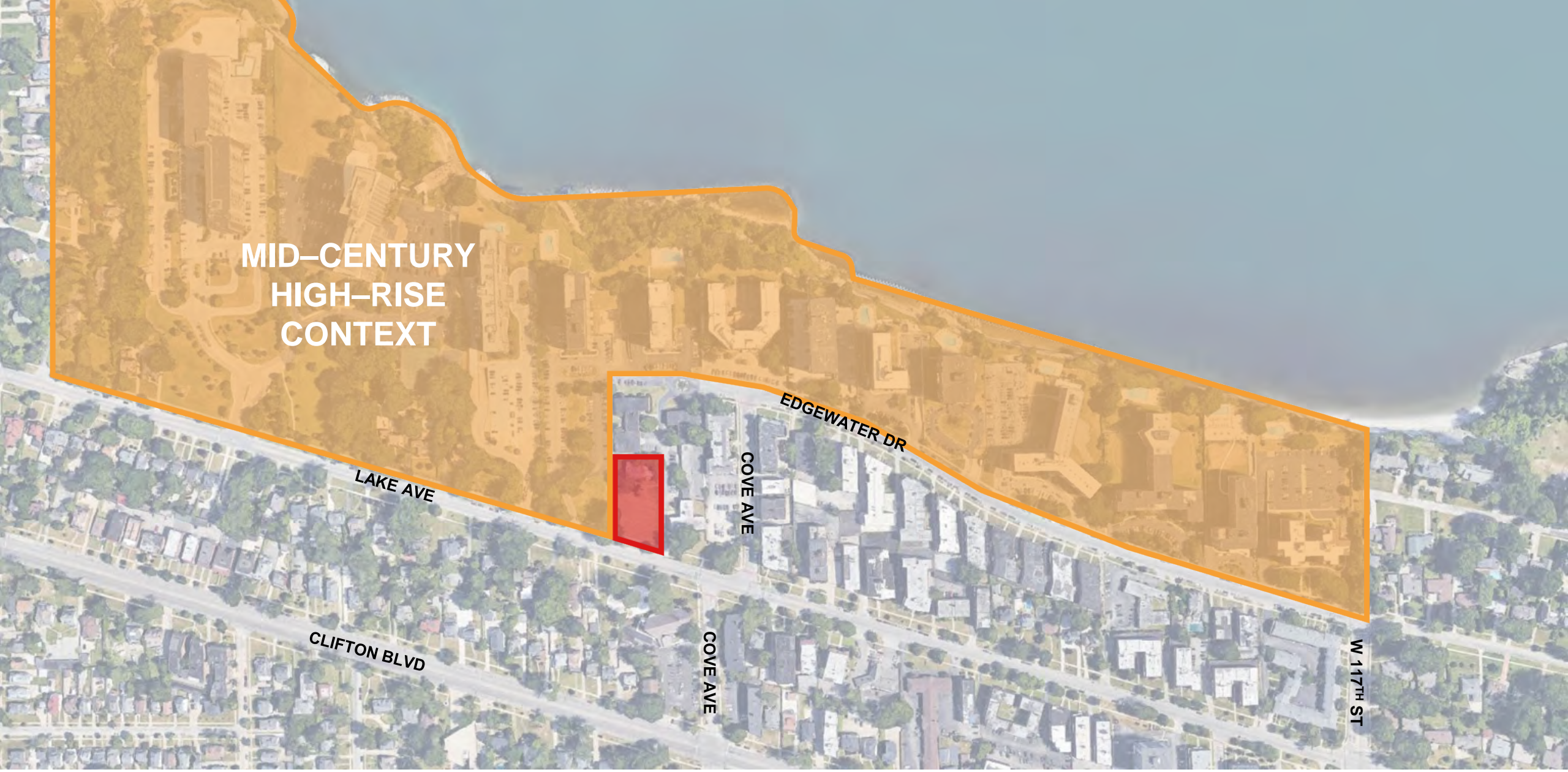
5 GROUND FLOOR - FRONT PORCH UNITS 6 - 16
SCALE: 1/4" = 1'-0" AREA: 329 sf (includes stairwall)



LAKWOOD TOWNHOMES | LAKWOOD, OH | SITE LOCATION MAP

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**MID-CENTURY
HIGH-RISE
CONTEXT**

LAKE AVE

EDGEWATER DR

COVE AVE

CLIFTON BLVD

COVE AVE

W 117TH ST

LAKWOOD TOWNHOMES | LAKWOOD, OH | SITE CONTEXT PLAN

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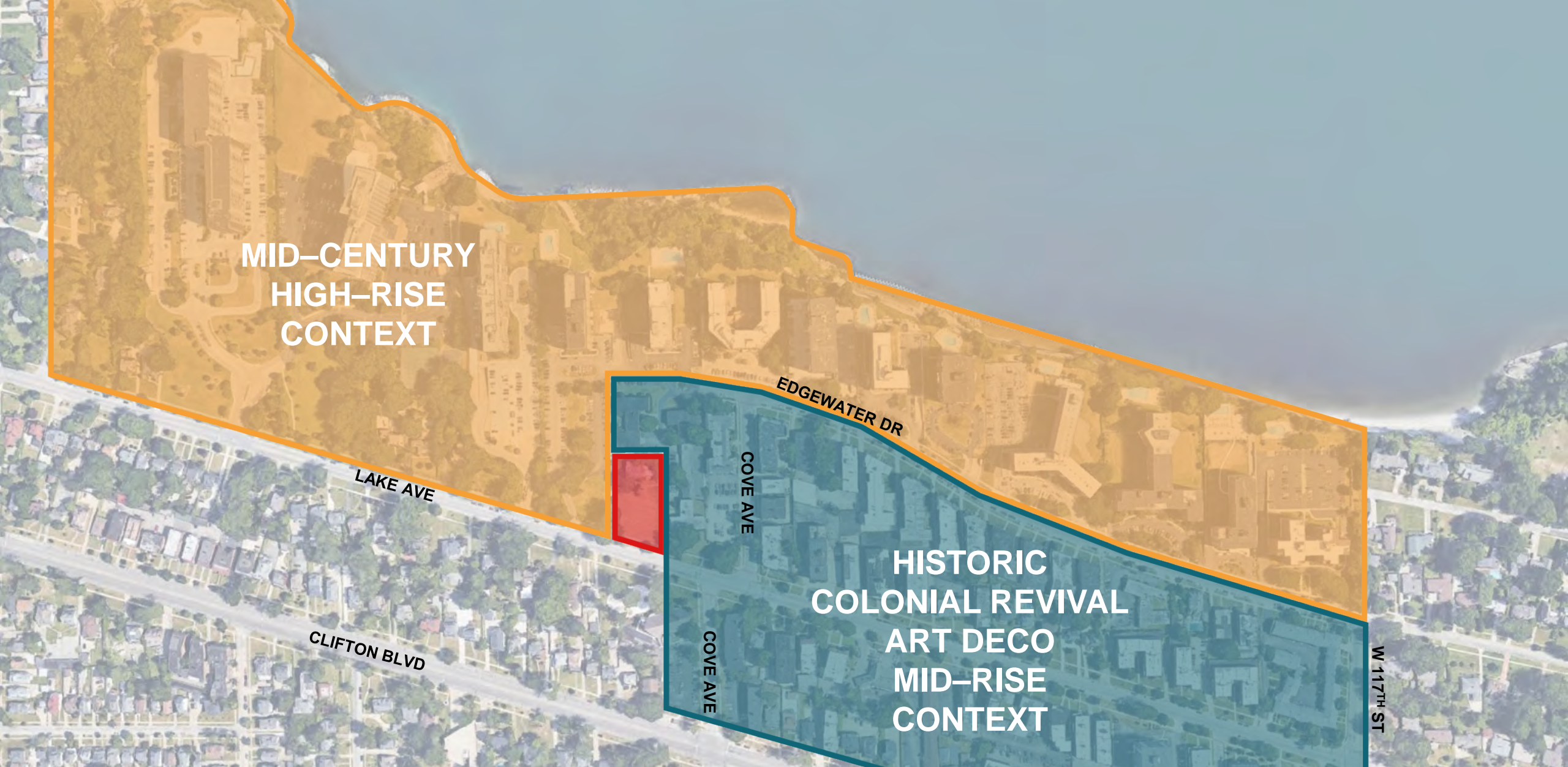


LAKWOOD TOWNHOMES | LAKEWOOD, OH | SITE CONTEXT HIGH-RISE IMAGES

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FREELAND
VENTURES 

RDL
ARCHITECTS



**MID-CENTURY
HIGH-RISE
CONTEXT**

**HISTORIC
COLONIAL REVIVAL
ART DECO
MID-RISE
CONTEXT**

LAKE AVE

CLIFTON BLVD

EDGEWATER DR

COVE AVE

COVE AVE

W 117TH ST

LAKWOOD TOWNHOMES | LAKWOOD, OH | SITE CONTEXT PLAN

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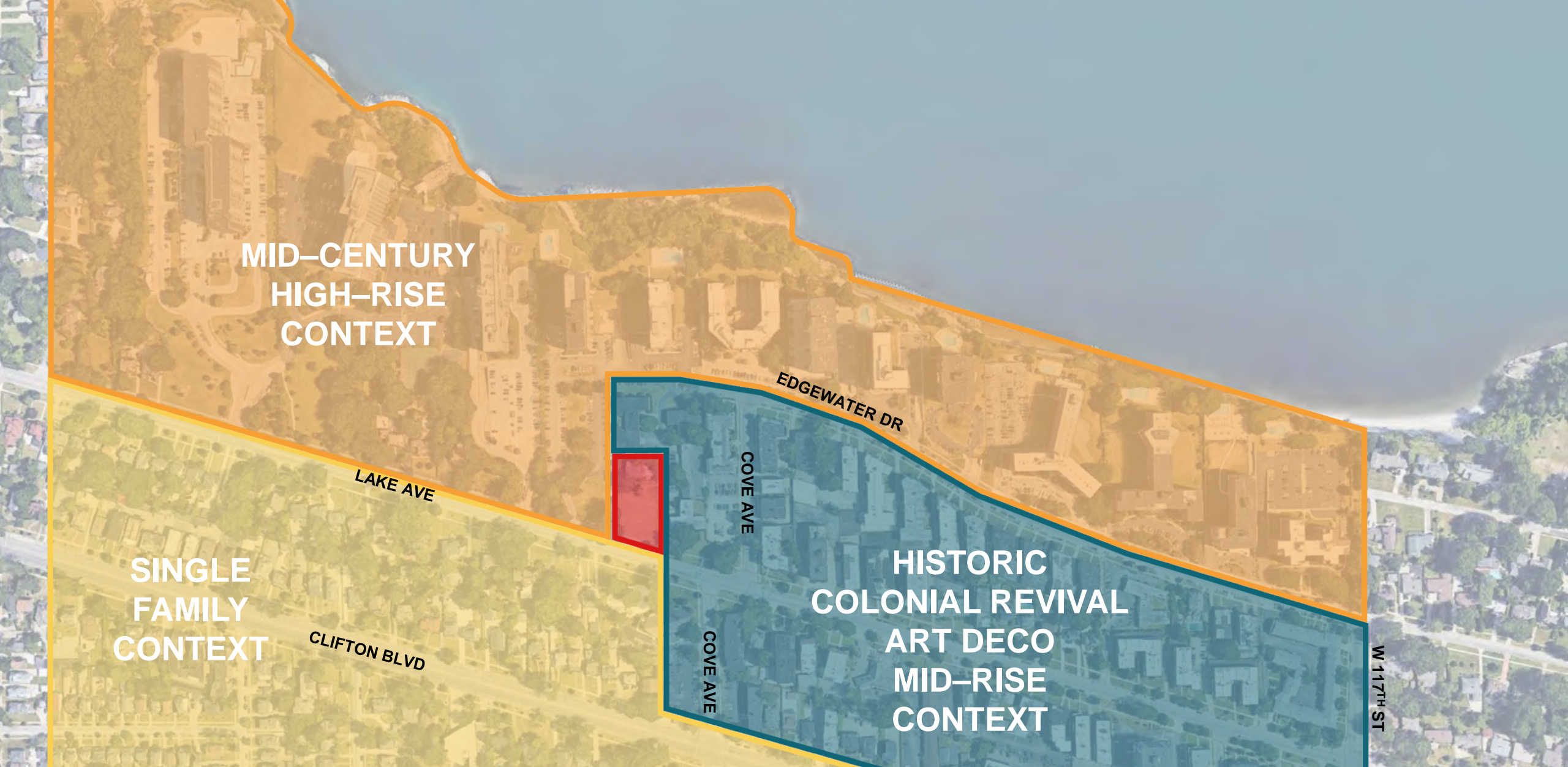




LAKWOOD TOWNHOMES | LAKEWOOD, OH | SITE CONTEXT MID-RISE IMAGES

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**MID-CENTURY
HIGH-RISE
CONTEXT**

**SINGLE
FAMILY
CONTEXT**

**HISTORIC
COLONIAL REVIVAL
ART DECO
MID-RISE
CONTEXT**

LAKE AVE

CLIFTON BLVD

EDGEWATER DR

COVE AVE

COVE AVE

W 117TH ST

LAKWOOD TOWNHOMES | LAKWOOD, OH | SITE CONTEXT PLAN

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LAKEWOOD TOWNHOMES | LAKEWOOD, OH | SITE CONTEXT SINGLE FAMILY HOMES

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LAKWOOD TOWNHOMES | LAKEWOOD, OH | CONTEXT VOLUME STUDY

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LAKWOOD TOWNHOMES | LAKEWOOD, OH | CONTEXT VOLUME STUDY

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FREELAND
VENTURES 

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LAKEWOOD TOWNHOMES | LAKEWOOD, OH | IMMEDIATE EXISTING CONDITIONS

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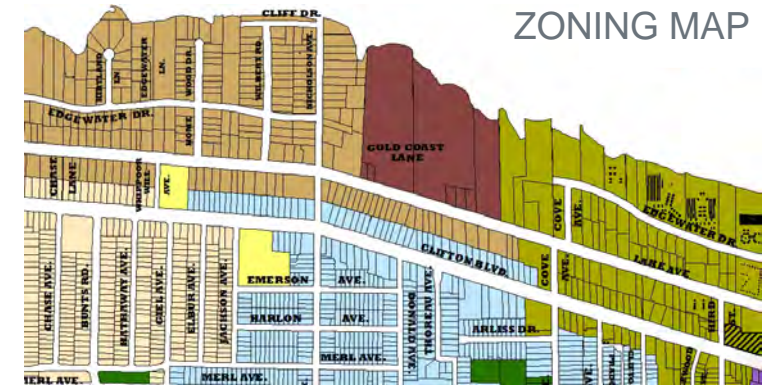
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ARCHITECTS



SITE DATA

ZONING	MH –RESIDENTIAL, MULTI-FAMILY (HIGH DENSITY)
ACREAGE	+/- 0.70-AC (30,315-SF)
PROPOSED USE	SINGLE-FAMILY RESIDENTIAL
BUILDING FOOTPRINT	+/- 800 SF
BUILDING TOTAL SF	+/- 2,000 SF
BUILDING HEIGHT	36' (3 STORIES) 43' (ROOF ACCESS)
PARKING	2 SPACES / DU
FRONT YARD SETBACK	R. 50'-0" P.20'-0"
SIDE YARD SETBACK	R. 20'-0" P. 13'-2"W, 11'-6" E
REAR YARD SETBACK	R. 50'-0" P. 7'-6"

- Mixed Use Overlay
- MH - Residential, Multi-Family (High Density)
- ML - Residential, Multi-Family (Low Density)
- R1H - Residential, Single Family (High Density)
- R1M - Residential, Single Family (Medium Density)
- R1L - Residential, Single Family (Low Density)
- R2 - Residential, Single and Two Family



LAKWOOD TOWNHOMES | LAKWOOD, OH | PROPOSED SITE PLAN

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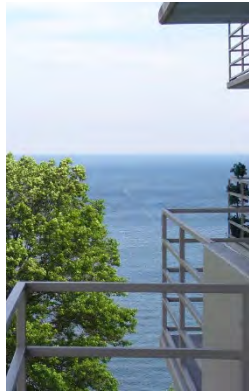




- ①. LAWN
- ②. COMMUNITY SEATING AREA
- ③. SIDEWALK CONNECTIONS
- ④. GARDEN TERRACES

LAKWOOD TOWNHOMES | LAKEWOOD, OH | PROPOSED LANDSCAPE PLAN

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LAKEWOOD TOWNHOMES | LAKEWOOD, OH | REFERENCE + INSPIRATION IMAGES

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FREELAND
VENTURES 

RDL
ARCHITECTS

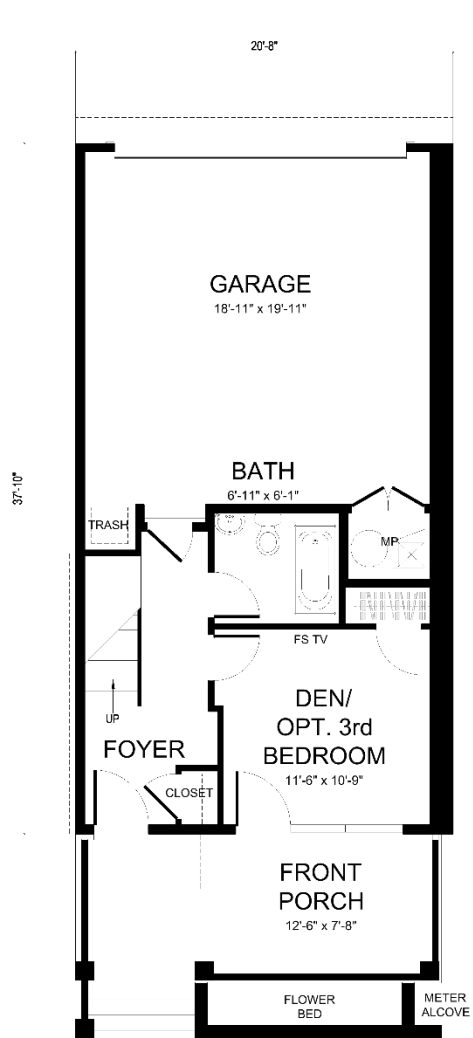


SHADY COVE TOWNHOMES | LAKEWOOD, OH | REFERENCE + INSPIRATION IMAGES

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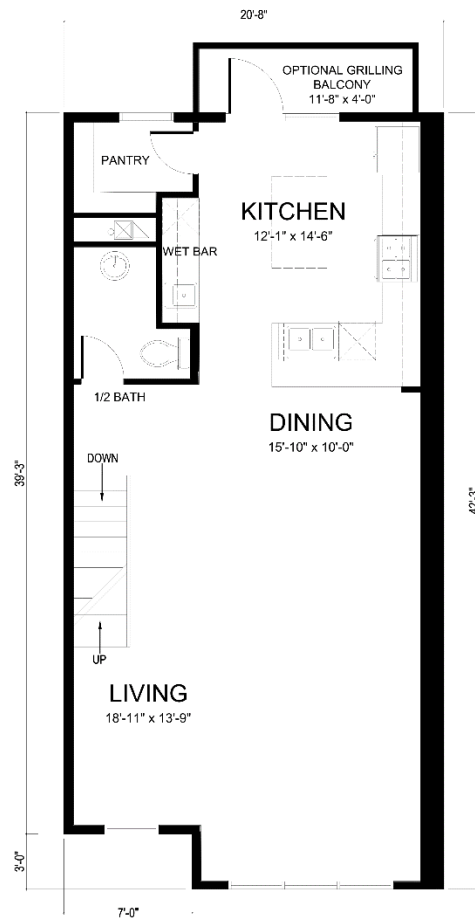
FREELAND
VENTURES 

RDL
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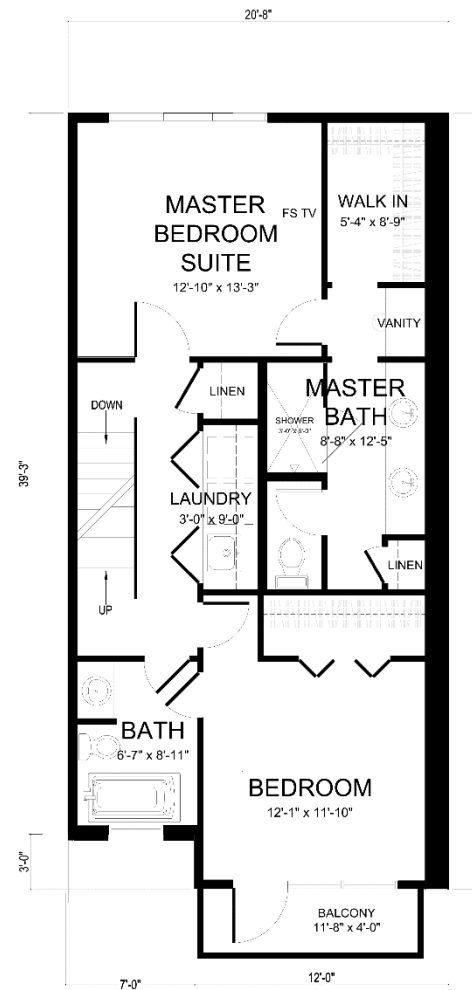
GROUND FLOOR

329-SF (INCLUDES STAIRWELL)



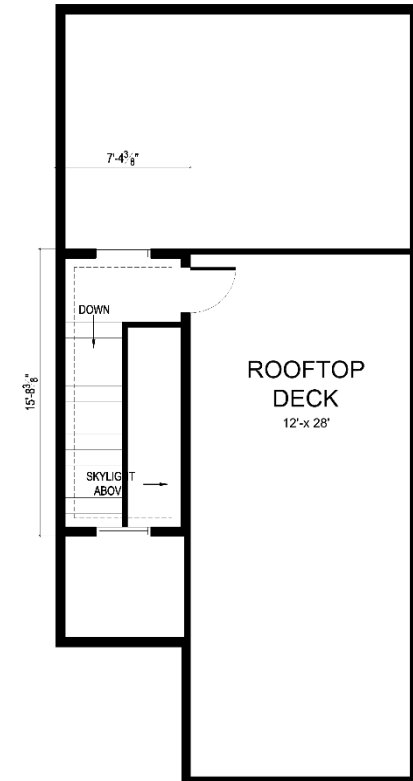
FIRST FLOOR

795-SF



SECOND FLOOR

795-SF



ROOF

103-SF (TOTAL 2,022-SF)

LAKWOOD TOWNHOMES | LAKEWOOD, OH | PROPOSED FLOOR PLANS

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SOUTH ELEVATION LAKE AVE



LAKWOOD TOWNHOMES | LAKEWOOD, OH | PROPOSED ELEVATIONS

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WEST ELEVATION



LAKWOOD TOWNHOMES | LAKEWOOD, OH | PROPOSED ELEVATIONS

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NORTH ELEVATION



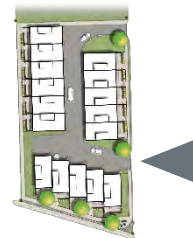
LAKWOOD TOWNHOMES | LAKWOOD, OH | PROPOSED ELEVATIONS

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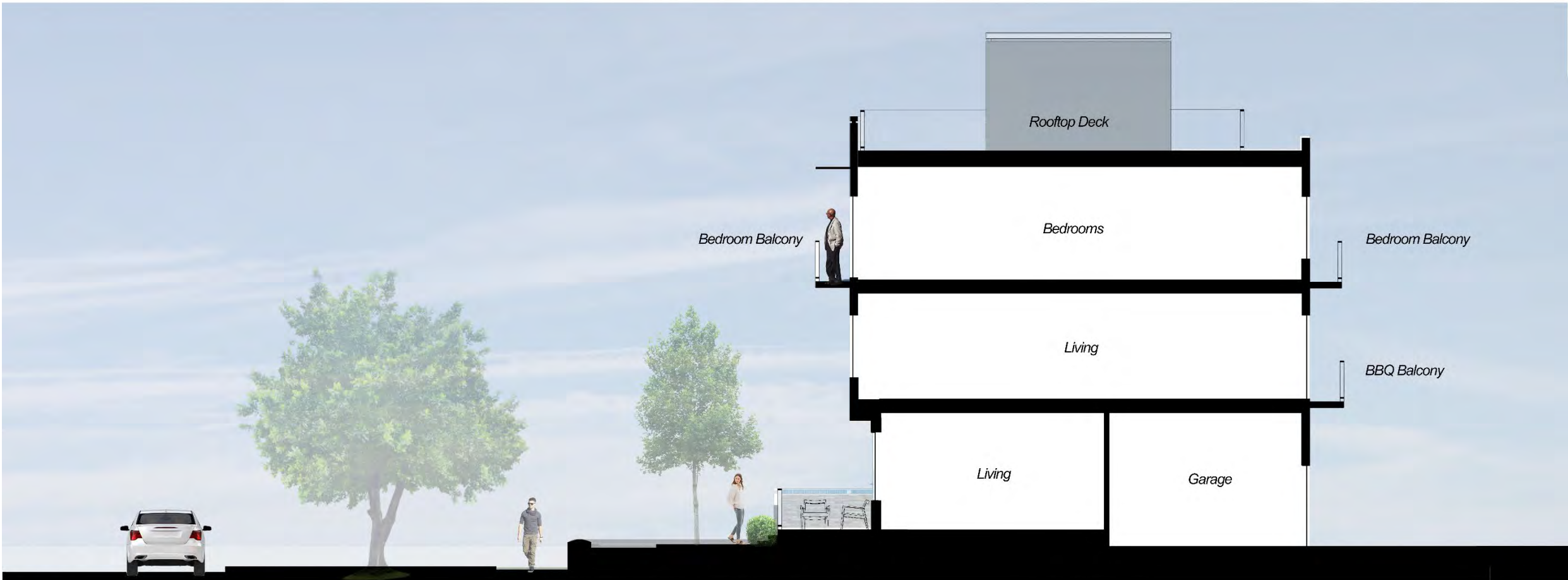
EAST ELEVATION



LAKWOOD TOWNHOMES | LAKWOOD, OH | PROPOSED ELEVATIONS

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Lake Avenue

LAKE AVENUE SECTION

Public
Tree Lawn
~ 24'

Public
Sidewalk
~ 6'

Private
Sidewalk
5'

Private
Tree-
Lawn
~ 10'
(varies)

Garden
Terrace
8'



Townhouse
40'

LAKWOOD TOWNHOMES | LAKWOOD, OH | STREET SECTION

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RAILING
GRECO
BLACK



LAP SIDING
HARDIE PLANK
KHAKI BROWN



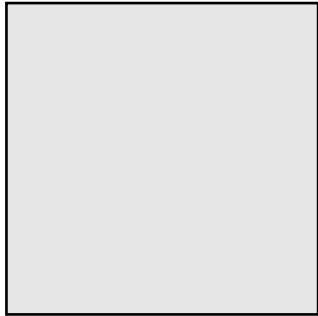
LAP SIDING
HARDIE PLANK
COBBLESTONE



BRICK
GLEN GERY
SILVER CITY SMOOTH



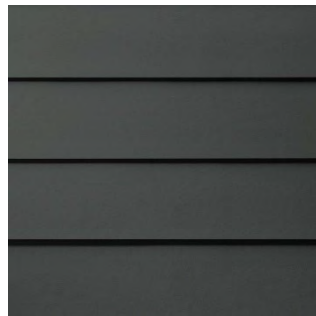
BRICK
GLEN GERY
BELGIAN GREY WIRECUT



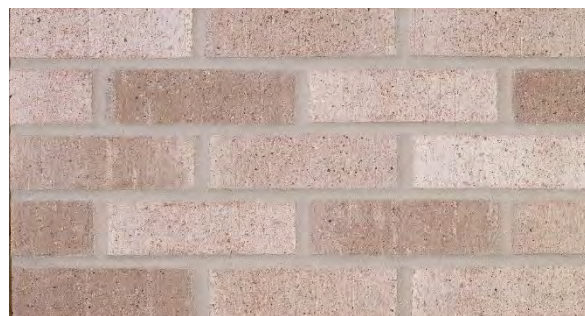
RAILING
GRECO
WHITE



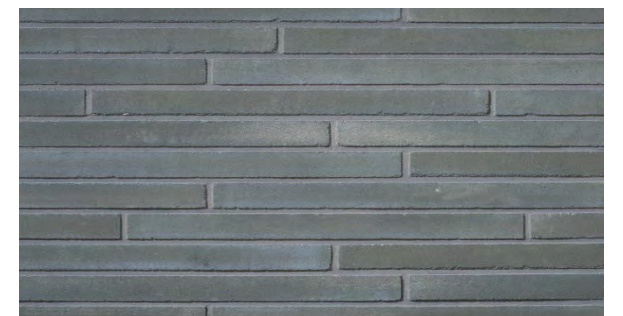
LAP SIDING
HARDIE PLANK
PECAN



LAP SIDING
HARDIE PLANK
IRON GREY



BRICK
GLEN GERY
WHITE PLAINS VELOUR



BRICK
ARRISCRAFT
FORGED STEEL

MATERIAL SELECTIONS REPRESENT GENERAL CONCEPTUAL INTENT AND ARE SUBJECT TO CHANGE.

SHADY COVE TOWNHOMES | LAKEWOOD, OH | PROPOSED BUILDING MATERIALS

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**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 12-96-23

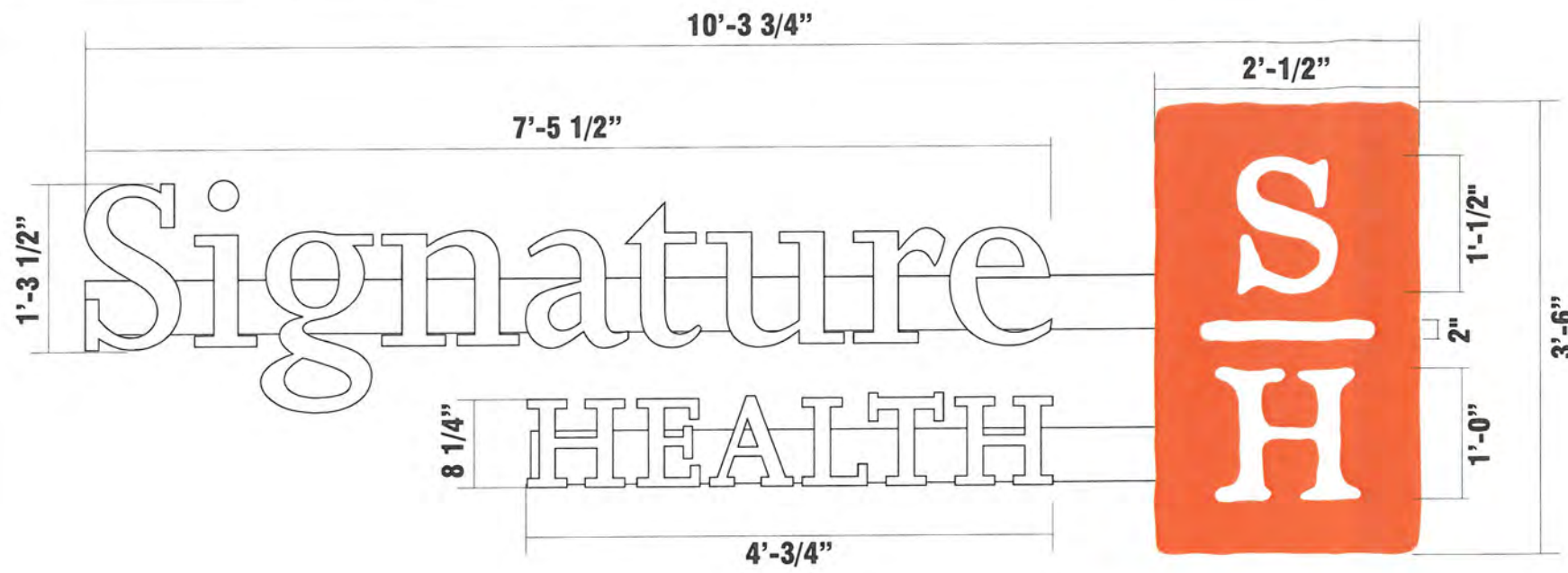
Permit No.: BBS23-000090

Applicant Name: Laura Higgins-Woyma, Brilliant Electric Sign Company

Project Address: 14701 Detroit Ave.

Project Name: Signature Health

Project: Applicant proposes a wall sign.



SIGN 3 (A)

SIGN ELEVATION: 3/4"=1'-0'

Notes

Manufacture & install one (1) set of internally illuminated, LED channel logo/letters mounted on raceway on the building; raceway to contain power supplies

- Logo & letters to have white 7328 plexiglass; logo to have first surface, orange vinyl reversed so the copy & rule line in the middle to be white; the letters to be white; trim & returns to be painted white
- Raceway to be painted to match building fascia

RATED 120 VOLTS

*Specific colors to be determined



PHOTO RENDERING NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	SIGNATURE HEALTH	SALESMAN	MH	DATE	4/6/23	REVISION	4/10/23CP 6/6/23CP	DESIGN NO.	B23-530
LOCATION	14701 DETROIT RD., LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		9/12/23cp 10/17/23cp	COPYRIGHT ©	2023
								FILE NAME	charlotte/ signature health (lakewood)



**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 12-97-23

Permit No.: BBS23-000093

Applicant Name: Erika Dunham

Project Address: 16300 Detroit Ave.

Project Name: The Cleveland Bagel

Project: Applicant proposes an illuminated blade sign, a single-sided illuminated circular capsule for interior of window, and two single-sided illuminated rectangular capsules for interior of windows.

COMMERCIAL PROPERTY REVITALIZATION PROGRAM
Property Owner Project Support Statement

I, Frank Scalish, Trinity Project, LLC, owner of 16300 Detroit Ave. Lakewood, OH 44107, understand that my commercial/retail tenant Cleveland Bagel Lakewood LLC has applied to the City's Commercial Property Revitalization Program and intends to complete the below repairs.

-Replace building signage

I am in support of this application and hereby acknowledge that all of the proposed repairs/renovations listed above (and any additional requirements as determined by the Building Commissioner) will require approval by the Architectural Board of Review as one of the components of the program.

FRANK SCALISH

Property Owner Print Name



Property Owner Signature

216.226.5251

Phone Number

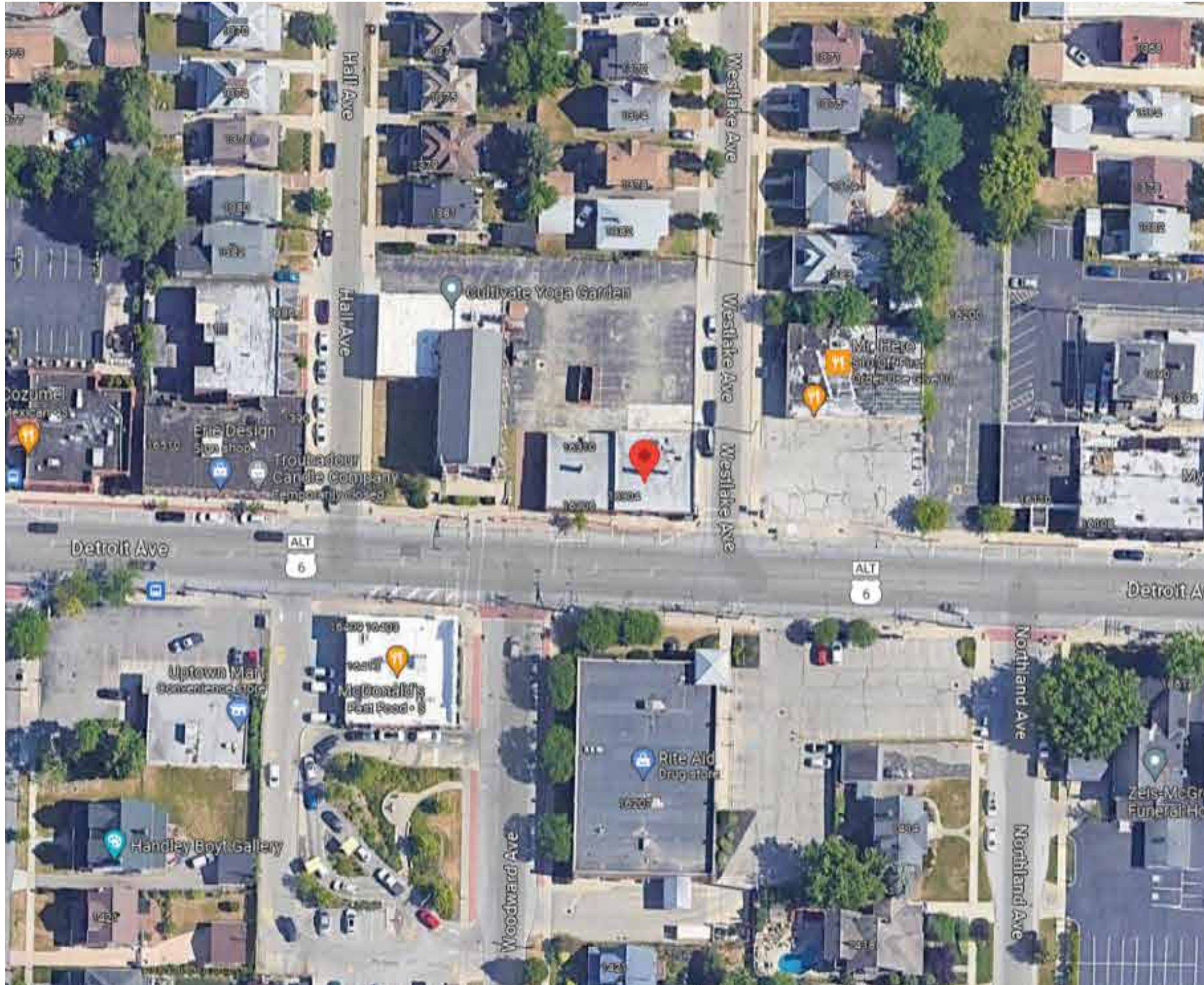
FRANK.SCALISH@SCALISHCONSTRUCTION.COM

Email

Date: 9.18.2023

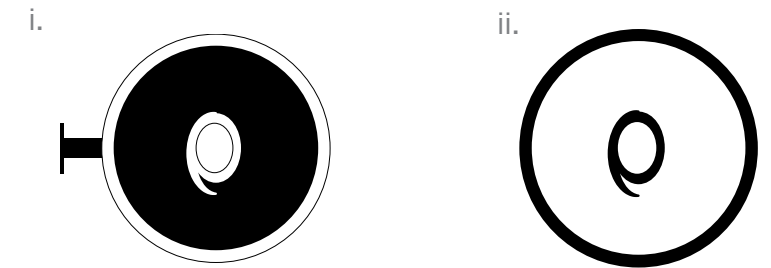
Note to Applicant: Please submit this completed document through your online account at <https://www.citizenserve.com/Portal/PortalController>

CLEVELAND BAGEL CAFE (LAKEWOOD)

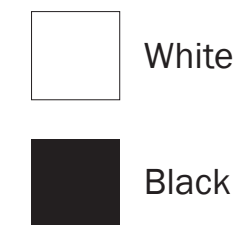


SCOPE OF PROJECT

- i. One (1) double-sided illuminated blade sign
- ii. One (1) single-sided illuminated circular capsule for interior of window
- iii. Two (2) single-sided illuminated rectangular capsules for interior of windows



COLORS

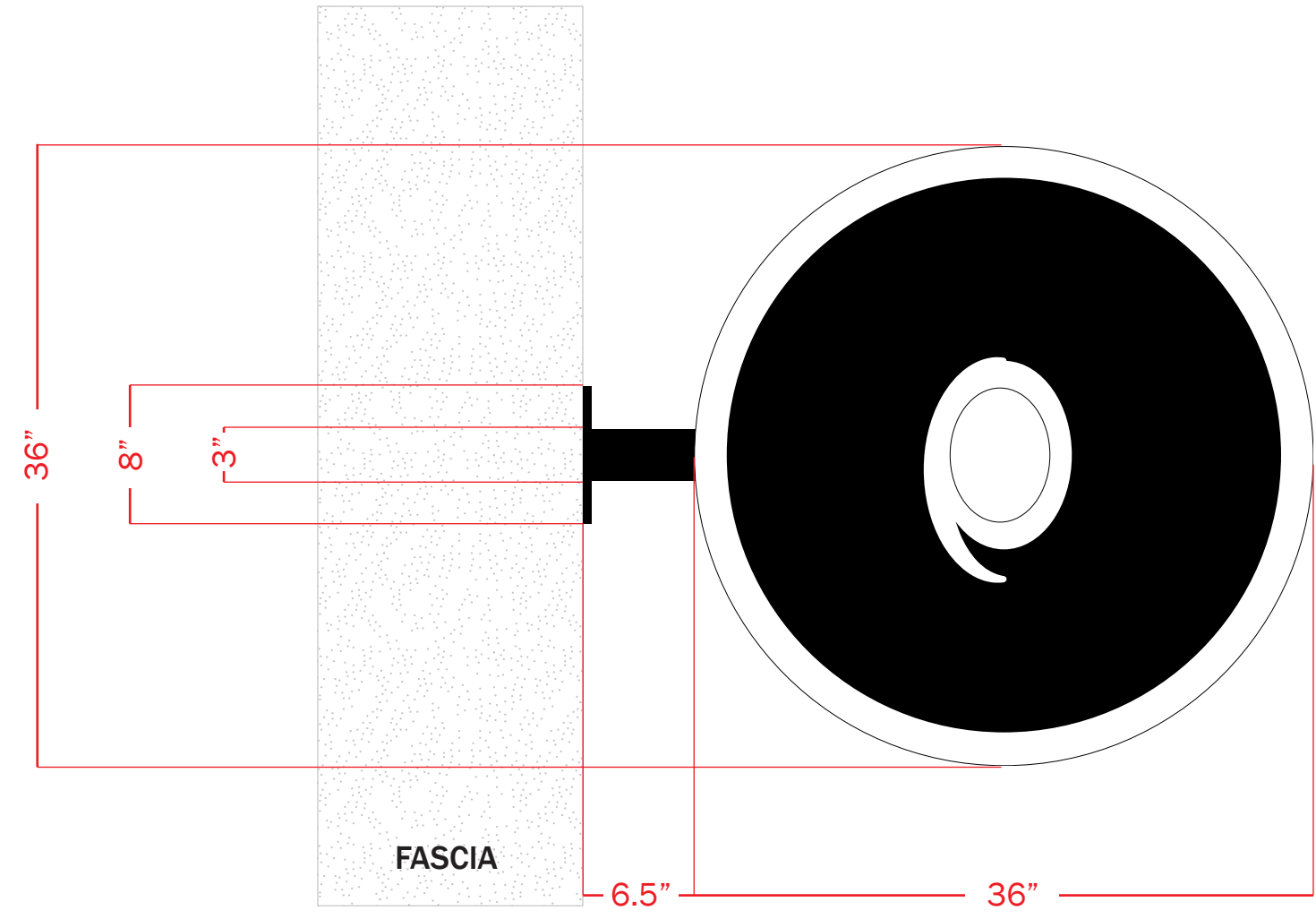


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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>VERSIONS V1: 09/27/23 V2: 11/09/23</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION LOCATION & SCOPE</p>	<p>PAGE NO. 1 OF 14</p>
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<p>MATERIALS</p> <p>CABINET: 5" D .040 aluminum can, painted black</p> <p>FACES: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced</p> <p>TRIM CAP: 1" black</p> <p>GRAPHICS: Weeded translucent black vinyl</p> <p>LIGHTING: Internally-illuminated with white LEDs & 12V internal power supplies (<i>location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer</i>); UL listed</p> <p>MOUNTING: 2" x 3" horizontal aluminum mounting arm w/ 8" x 8" x 1/2" aluminum plates, painted black, bolted to fascia with appropriate hardware (<i>TBD by installer</i>)</p> <p>PAINT: Std. black (satin)</p>
<p>COLORS</p> <div style="display: flex; align-items: center; margin-bottom: 10px;"> <div style="width: 20px; height: 20px; background-color: white; border: 1px solid black; margin-right: 5px;"></div> White </div> <div style="display: flex; align-items: center;"> <div style="width: 20px; height: 20px; background-color: black; margin-right: 5px;"></div> Black </div>

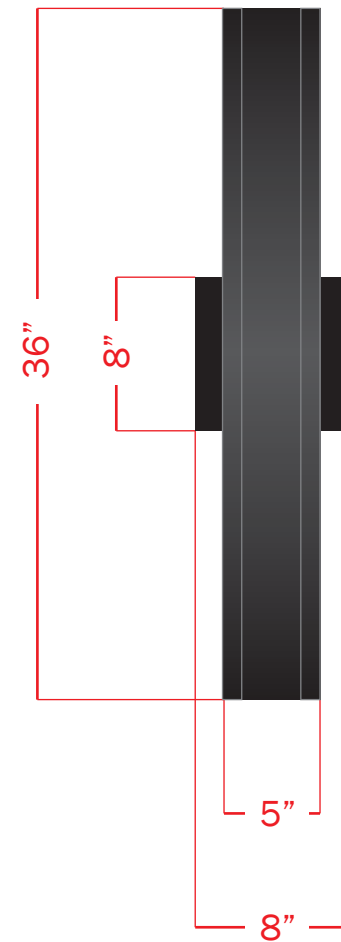


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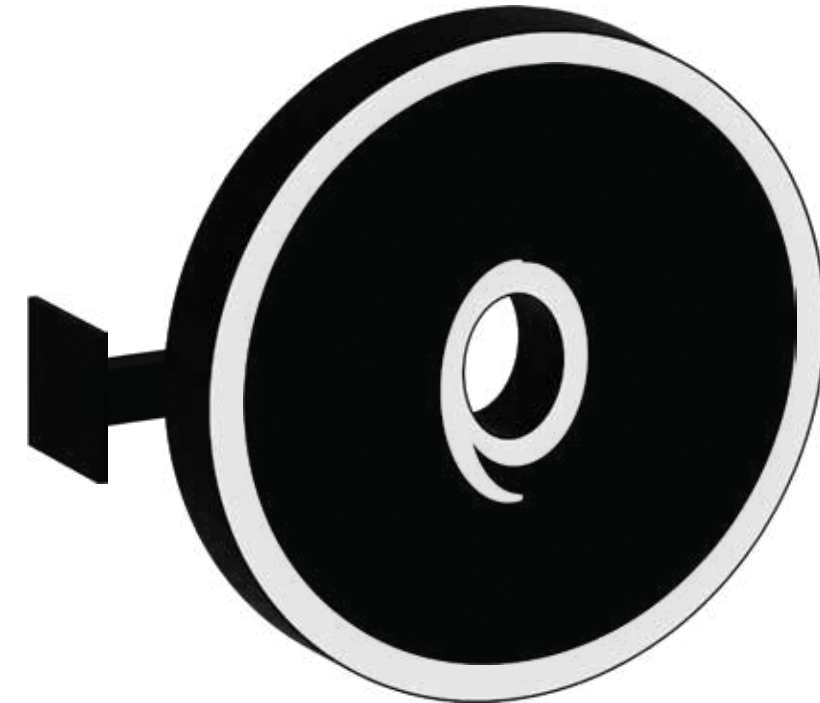
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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>OVERALL DIMENSIONS 3' - 0" W x 3' - 0" H x 5" D <i>(excluding mounting)</i> SQUARE FOOTAGE 9 ft.²</p>	<p>SCALE 1 : 10</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION BLADE SIGN FRONT/BACK VIEW</p>	<p>PAGE NO. 2 OF 14</p>
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DIRECT SIDE VIEW



ORTHOGRAPHIC VIEW



MATERIALS

CABINET: 5" D .040 aluminum can, painted black

FACES: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced

TRIM CAP: 1" black

GRAPHICS: Weeded translucent black vinyl

LIGHTING: Internally-illuminated with white LEDs & 12V internal power supplies (*location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer*); UL listed

MOUNTING: 2" x 3" horizontal aluminum mounting arm w/ 8" x 8" x 1/2" aluminum plates, painted black, bolted to fascia with appropriate hardware (*TBD by installer*)

PAINT: Std. black (satin)

COLORS



White



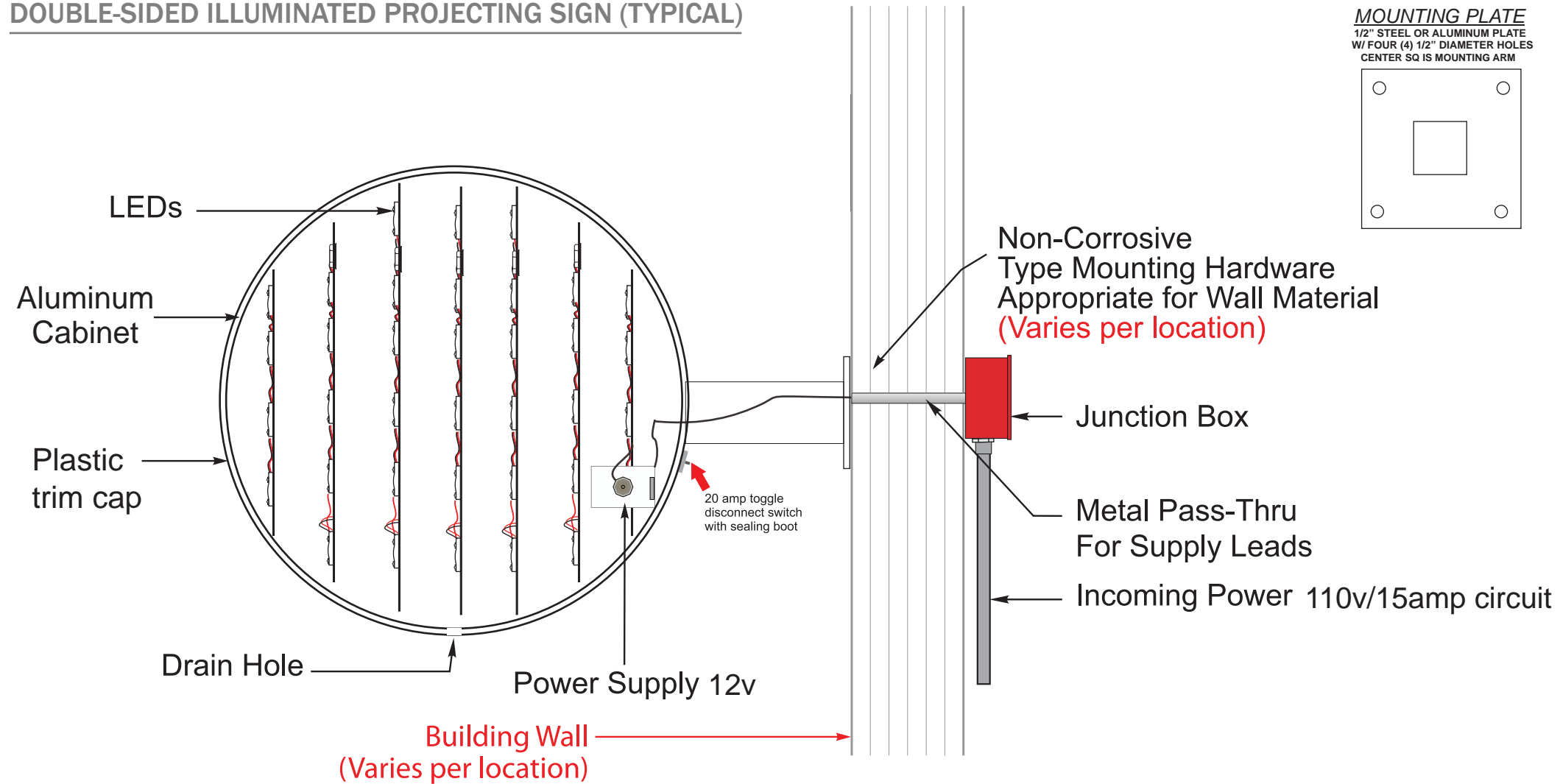
Black

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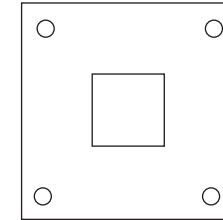
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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>OVERALL DIMENSIONS 3' - 0" W x 3' - 0" H x 5" D <i>(excluding mounting)</i> SQUARE FOOTAGE 9 ft.²</p>	<p>SCALE 1 : 10</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION BLADE SIGN SIDE VIEWS</p>	<p>PAGE NO. 3 OF 14</p>
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DOUBLE-SIDED ILLUMINATED PROJECTING SIGN (TYPICAL)



MOUNTING PLATE
1/2" STEEL OR ALUMINUM PLATE
W/ FOUR (4) 1/2" DIAMETER HOLES
CENTER SQ IS MOUNTING ARM



SECTION VIEW
SCALE: NTS

Customer is to provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or electrician. Each sign must have a minimum of one (1) dedicated 120V 20A circuit. Junction box must be installed within 6 feet of the sign. Whips provided by sign manufacturer to include three (3) wires: ground, line & neutral.

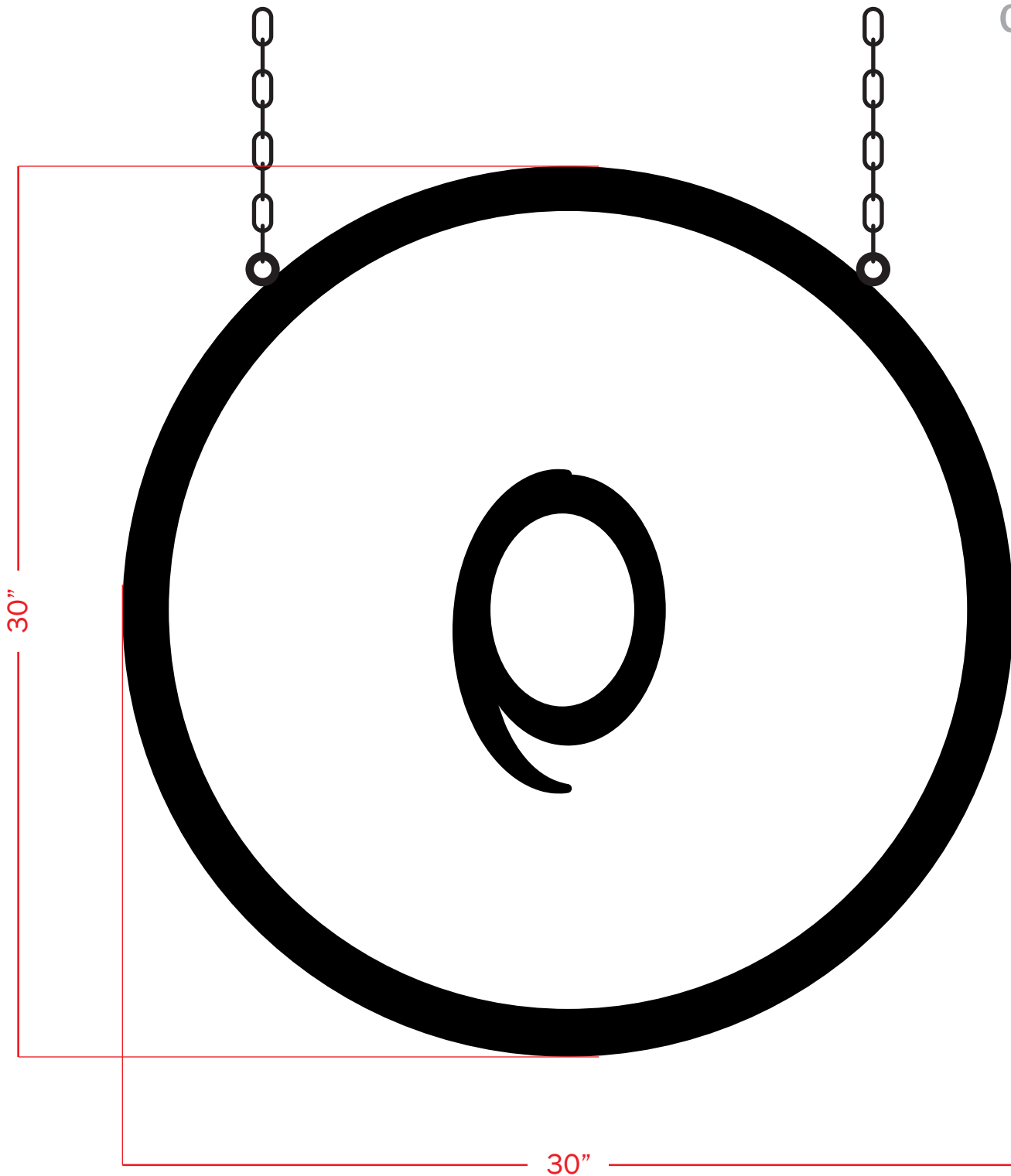
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ii. OVERVIEW Singe-sided illuminated circular capsule for interior of window

CIRCULAR WINDOW SIGN
FRONT VIEW



MATERIALS

FACE: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced

RETURNS: 3" .040 black

TRIM CAP: 1" black

BACK: 3mm ACM, finished black

GRAPHICS: Reverse-weeded translucent black vinyl

LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (*location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer*); UL listed

MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer

COLORS



White



Black



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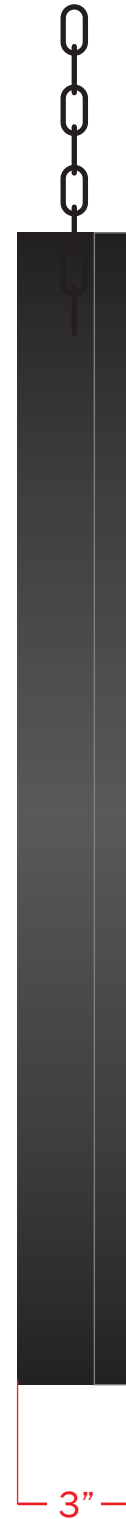
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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>OVERALL DIMENSIONS 2' - 6" W x 2' - 6" H x 3" D <i>(excluding mounting)</i> SQUARE FOOTAGE 6.25 ft.²</p>	<p>SCALE 1 : 5</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION CIRCULAR WINDOW SIGN FRONT VIEW</p>	<p>PAGE NO. 5 OF 14</p>
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ii. OVERVIEW Singe-sided illuminated circular capsule for interior of window

CIRCULAR WINDOW SIGN
SIDE VIEWS

<p>MATERIALS</p> <p>FACE: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced</p> <p>RETURNS: 3" .040 black</p> <p>TRIM CAP: 1" black</p> <p>BACK: 3mm ACM, finished black</p> <p>GRAPHICS: Reverse-weeded translucent black vinyl</p> <p>LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (<i>location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer</i>); UL listed</p> <p>MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer</p>
<p>COLORS</p> <p> White</p> <p> Black</p>



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MATERIALS

FACES: 5" D .040 aluminum can, painted black

RETURNS: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics

TRIM CAP: 2" black

BACKS: 3mm ACM, finished black

GRAPHICS: Weeded translucent black vinyl

LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (*location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer*); UL listed

MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer

COLORS

 White

 Black



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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>EACH</p> <p>OVERALL DIMENSIONS 4' - 0" W x 2' - 6" H x 3" D <i>(excluding mounting)</i></p> <p>SQUARE FOOTAGE 10 ft.²</p>	<p>SCALE</p> <p>1 : 10</p>	<p>DATE</p> <p>11/09/23</p>	<p>PROJECT MANAGER</p> <p>ANNA A.</p>	<p>PAGE DESCRIPTION</p> <p>RECTANGULAR WINDOW SIGNS FRONT VIEW</p>	<p>PAGE NO.</p> <p>7 OF 14</p>
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MATERIALS

FACES: 3/16" #2447 white acrylic w/ vinyl graphics
RETURNS: 3" .040 black
TRIM CAP: 1" black
BACKS: 3mm ACM, finished black
GRAPHICS: Reverse-weeded translucent black vinyl
LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (*location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer*); UL listed
MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer

COLORS

 White

 Black

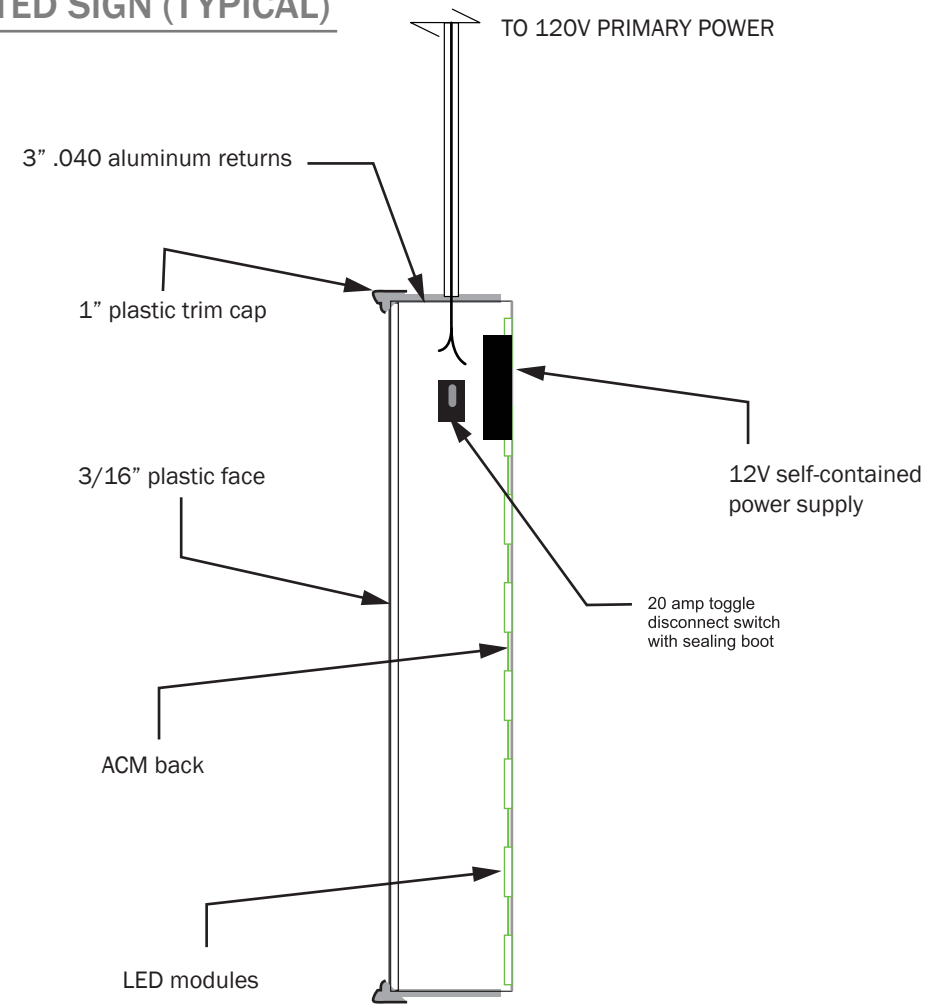


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SINGLE-SIDED ILLUMINATED SIGN (TYPICAL)



All components used in the fabrication of our signs are UL certified.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or applicable codes. This includes proper grounding and bonding of the sign.

Customer is to provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or electrician. Each sign must have a minimum of one (1) dedicated 120V 20A circuit. Junction box must be installed within 6 feet of the sign. Whips provided by sign manufacturer to include three (3) wires: ground, line & neutral.

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FRONTAGE: 33.67 ft.



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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>SCALE AS NOTED</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION EXISTING CONDITIONS</p>	<p>PAGE NO. 10 OF 14</p>
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FRONTAGE: 33.67 ft.



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FRONTAGE: 33.67 ft.



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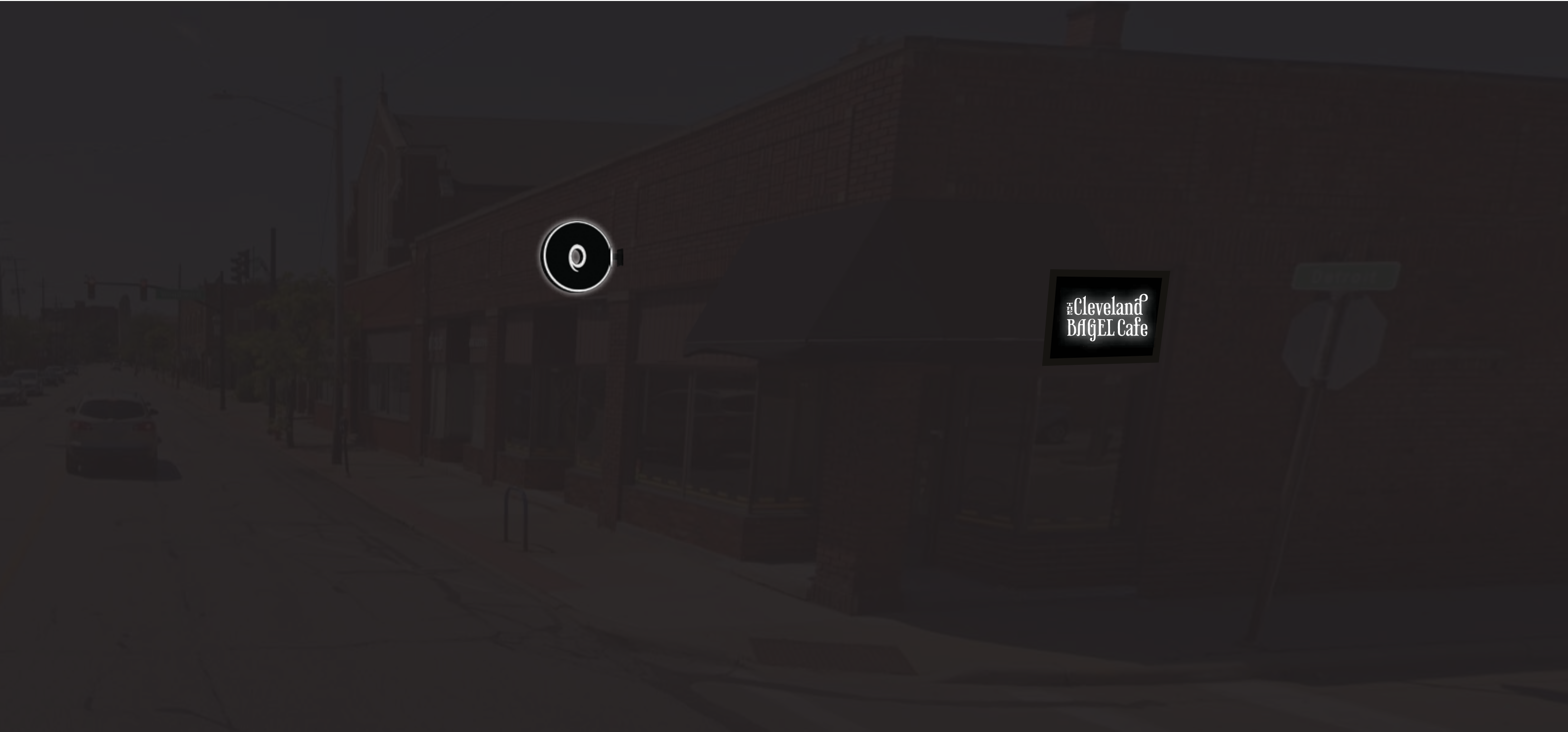
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CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	SCALE AS NOTED	DATE 11/09/23	PROJECT MANAGER ANNA A.	PAGE DESCRIPTION MOCK-UP ON SITE - NIGHT	PAGE NO. 12 OF 14
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FRONTAGE: 33.67 ft.



<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>SCALE AS NOTED</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION MOCK-UP ON SITE - DAY</p>	<p>PAGE NO. 13 OF 14</p>
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CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	SCALE AS NOTED	DATE 11/09/23	PROJECT MANAGER ANNA A.	PAGE DESCRIPTION MOCK-UP ON SITE - NIGHT	PAGE NO. 14 OF 14
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**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 12-98-23

Permit No.: BBS23-000091

Applicant Name: Barry Hoffman, Hoffman Construction, Inc.

Project Address: 1134 Brockley Ave.

Project Name: n/a

Project: Applicant proposes exterior alteration at side of house.



Case #:

Building Permit Application

City of Lakewood Division of Housing and Building

12650 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-6270 • Fax: (216) 529-5930

building.permits@lakewoodoh.net

PROJECT ADDRESS: 1134 BROCKLEY Suite/Unit #

or **PERMANENT PARCEL NUMBER:**

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

Who is performing the work? Homeowner OR Contractor

PERMIT TYPE: Building *Plumbing *Mechanical *Electrical *** (complete reverse side)** →

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number:

SCOPE OF PERMIT (Check all that apply):
 New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign
 Tent or Temporary Rear Deck Shed Pool/Hot Tub Water Controlling Waterproofing
 Commercial Hood Fire Suppression Fire Alarm Storm Sewer Refrigeration
 Demolition Paving Drain No Drain Fence New or Existing
 Other (Please specify): convert sun room into 3 piece bath + sitting room

***VALUATION: (cost of the work) \$** 24,581⁰⁰ ***PROJECT SIZE: (in square feet)** 1021⁵

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location)

DRAIN IN WORKSPACE NEW REPLACEMENT EXISTING

DIVIDE EXISTING SUN ROOM roughly in half to create a three (3) piece bath and a sitting room.

PROPERTY OWNER NAME: Kathleen + Kelly Hornbacher *Phone: 971-303-2779

Business Name (if applicable) *Email:

Mailing Address: 1134 Brockley City: Lakewood State: OH Zip: 44107

CONTRACTOR CO. NAME: Hoffman Construction, Inc. *Phone: 216-319-1320

CONTRACTOR NAME: Barry Hoffman *Email: barry@hoffmanconstruction.net

Mailing Address: 23775 Commercepark #1 City: Beschood State: OH Zip: 44122

ARCHITECT/ENGINEER: Phone:

Mailing Address: City: State: Zip:

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

Barry Hoffman 10/27/2023 Anticipated Completion Date: Feb 2024
SIGNATURE OF CONTRACTOR / OWNER **DATE**

Hoffman Construction, Inc.

23775 Commerce Park. -- Suite 1

Beachwood, OH 44122

Tel: 216.310.1320 -- email: barry@hoffmanconstruction.net

www.hoffmanconstruction.net

October 27, 2023

Proposal No. 2406.1

Proposal Submitted to: Kathleen & Kelly Hornbacher

Job Name: Sun room to bath

Address: 1134 Brockley Ave., Lakewood, OH 44107

Location: same

Tel. Kathleen Hornbacher, 971.303.2779

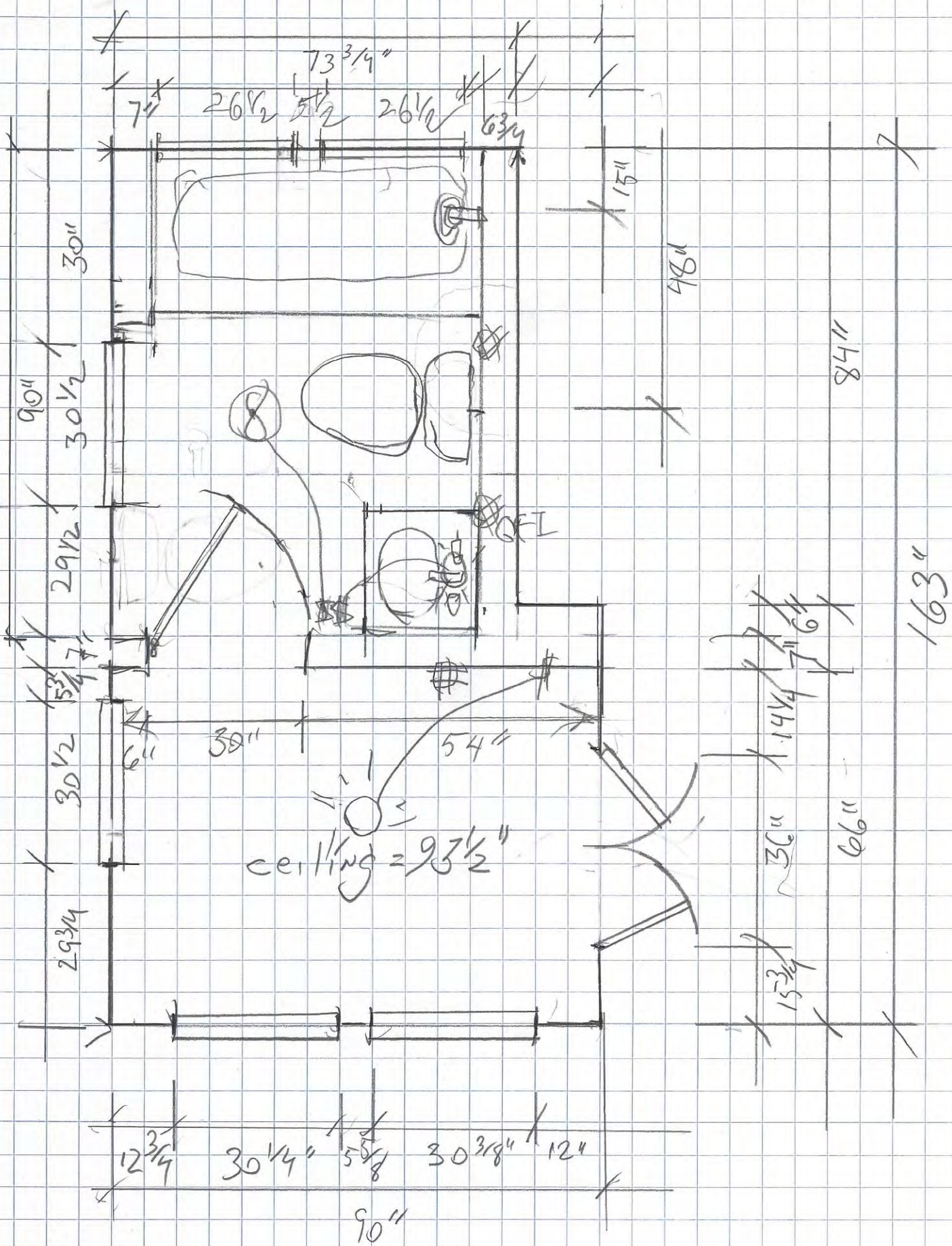
Tel. Kelly Hornbacher 216.645.7985

Email: kkhorbacher@gmail.com

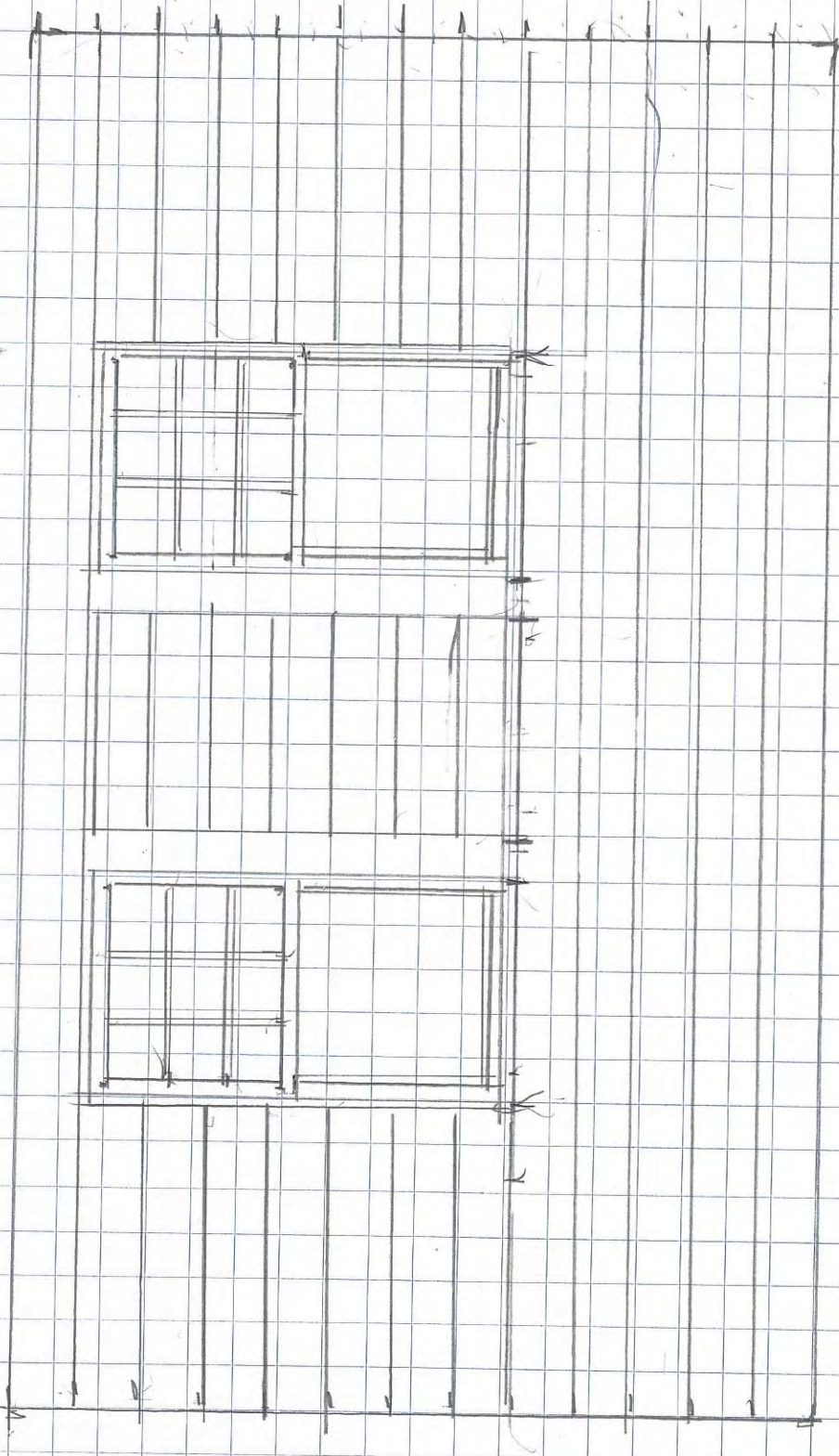
We Propose to do the following tasks:

- Secure permits if/as necessary
 - Cost not included. Client will be invoiced. Amount due upon receipt.
- Protect existing hardwood floors
- Remove
 - Wall coverings as necessary for conversion
 - Remove and fill in Window as indicated in drawing
 - Remove and save casework and woodwork if possible
- Install new vinyl siding to match existing as closely as possible to cover up where window was been removed and opening boarded over
- Rework exterior window trim to match existing as necessary
- Rough Carpentry
 - Create new wall, as per drawing, to divide bath from sitting room
 - Build non-bearing wall against interior party wall to accommodate new plumbing
 - Frame in space to accommodate new bathtub
 - Insulate exterior walls where stud bays joist bays are exposed as necessary and if possible.
 - Install 3/4" ply over existing floor for base for new ceramic floor
- Plumbing rough-in.
 - Rough in for supply and drains for three piece bath as per drawing
 - Tap into existing four inch stack in basement by surface mounting new drain along basement walls.
 - Install vent through roof as per code
 - Rought in for new Kingston Brass Clawfoot Tub Faucet Package With Shower Combo, Polished Chrome (Material allowance \$1,021.00)
 - Install new Americast Princeton tub (Material allowance \$650.00)
- Split existing vent to heat both sitting room and bathroom
- Electrical
 - Install three (3) switches
 - Install one (1) GFI
 - Install one outlet

- Install Clients bath sconce
- Install one ceiling light
- Install bath Fan (Material allowance \$140.00)
- Up to two new new circuits
- Demo old work as necessary
- Install new drywall and/or repair existing, as appropriate, to best trade practice up to 353 SF
- Repair up to 150SF of drwall
- Ceramic tile
 - Tub surround walls
 - Install over Schluter Kerdi cloth over drywall in tub surround as per manufacturers recommendations
 - Install 12 x 28 Schluter Niche
 - Install 65SF of 12" x 24 tile over Kerdi Cloth (Material allowance \$560.00)
 - Install stone shelves (Material allowance \$150.00)
 - Finish edges with Schluter Channel
 - Install tile around two windows on long wall over tub. Install stone window sills, (Material allowance \$250.00)
 - Install and wire Ditra matt.
 - Provide dedicated circuit for floor heat if necessary for code.
 - Install 30SF of 12" x 24" format tile (Material allowance \$256.00)
- Install new Gerber Viper (or equivalent) Toilet (Material allowance \$260.00)
- Install new 24" vanity with top, sink, side and backsplash as per drawing (Material allowance \$500.00)
 - New Moen Eva Chromed widespread faucet (\$260.00 allowance)
- Install Kohler medicine cabinet (Material allowance \$180.00)
- Install Moen Eva Chromed TP holder and towel bar (\$60.00 Material allowance)
- Install molding for baseboards, window and door trim. Preserve original as much as possible
- Install 30" Perhung solid core one panel door (Material allowance \$418.00)
- Paint bath and sitting room
 - One coat prime and Two coats finish
 - Ceiling white
 - Paint trim
 - Deep or rich colors on wall may require an upcharge
- Clean up nightly, do final clean up and remove all debris



$1\frac{1}{2}''$



SOUTH ELEVATION OF SURROOM
— MIDDLE WINDOW FILLED IN





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ARCHITECTURAL REVIEW BOARD
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Application Cover Page

Docket No.: 12-99-23

Permit No.: BBS23-000095

Applicant Name: Yousufuddin Mohammed

Project Address: 1490 Victoria Ave.

Project Name: n/a

Project: Applicant proposes repair and enclosure of the front porch and steps repair.

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COMMENTS / REVISIONS	3.	4.	5.
1.			
2.			

CLIENT/LOCATION
1490 VICTORIA AVE
LAKEWOOD, OHIO

PROJECT:
ENCLOSE FRONT PORCH

CONTRACTOR:

FOLLOW ONLY 2019
RESIDENTIAL CODE OF OHIO

PLAN NAME

SCALE: 1/4" = 1'-0"
DATE PRINTED

PAGE 1 OF 4



BEFORE ENCLOSED PORCH



BEFORE ENCLOSED PORCH



ENCLOSED PORCH AFTER



ENCLOSED PORCH AFTER

REVISED
1st

RB23-000652
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NOV 21 2023
By Counter Keys

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BEFORE & AFTER PICTURES	PAGE 1
SIDES & FRONT ELEVATIONS	PAGE 2
FOUNDATION & PORCH PLAN	PAGE 3
CROSS-SECTION - A	PAGE 4

NOTE: LIST OF ITEMS SUPPLIED BY OTHERS

- ENERGY CODE COMPLIANCE SHEETS
- MECHANICALS HVAC, PLUMBING ISOMETRIC DRAWINGS
- PROPERTY SURVEY OR SITE PLAN
- DETAIL ON FRAMING, AND FASTNERS FOR TRUSS PACKAGE
- DETAIL ON MATERIAL, COLORS & TRIM SELECTIONS
- SMOKE AND FIRE ALARM SYSTEM.

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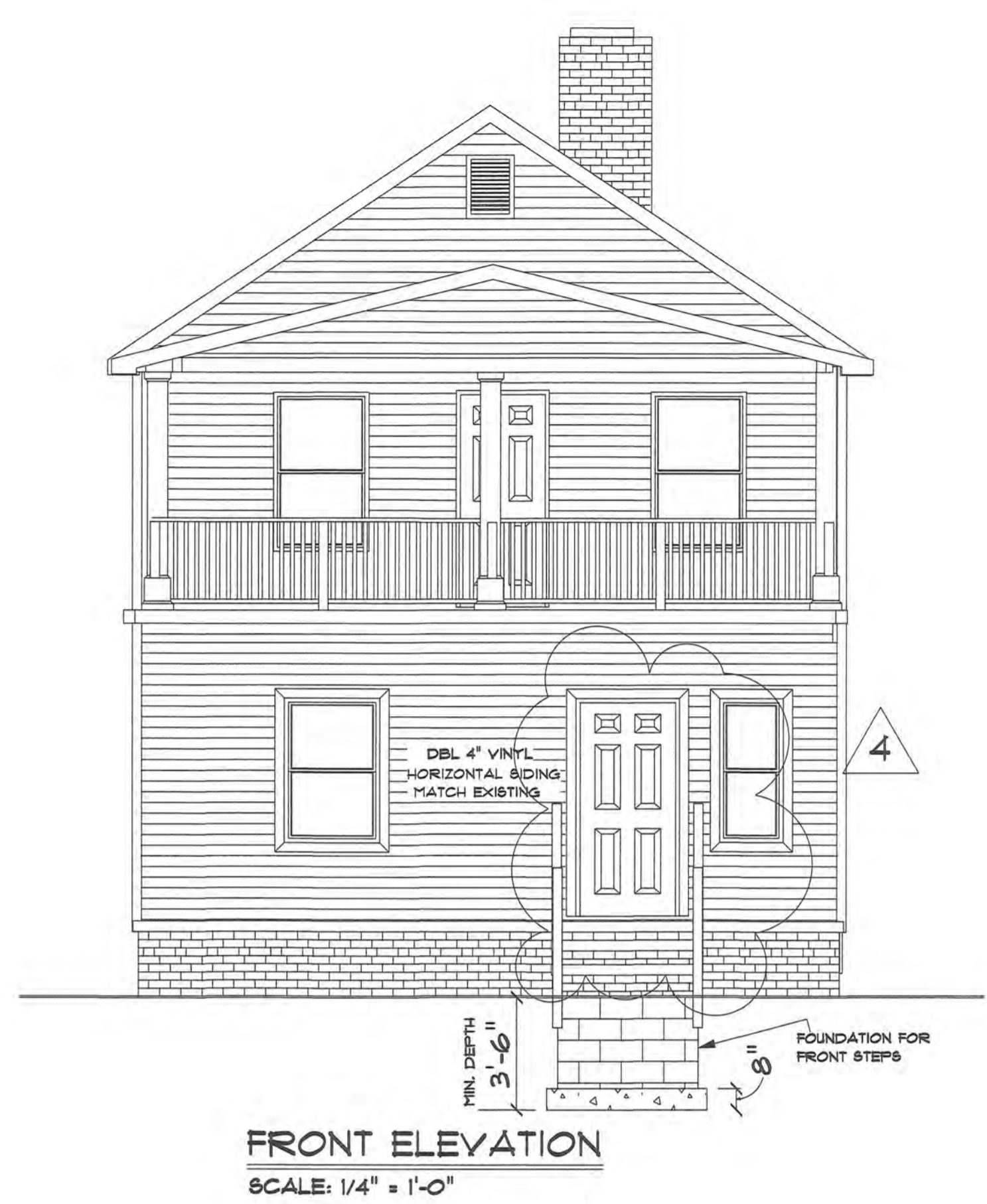
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Signature _____ Date _____

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FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

ENCLOSE FRONT PORCH



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

1. ALL NEW WORK ON THIS PROJECT, INCLUDING ALL ELECTRICAL SHALL BE IN COMPLIANCE WITH ALL BUILDING CODES INCLUDING THE 2019 VERSION OF THE OHIO RESIDENTIAL CODES.
2. DEMO EXISTING PORTION OF REAR OF EXTERIOR KITCHEN WALL, REBUILD NEW WALLS TO CURRENT CODE REQUIREMENTS.
3. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD CONSTRUCTION, W/ 7/16 OSB EXT. WALL SHEATHING W/ 8D NAILS PER PROVISION SECTION 602.10 IN R.C.O.
4. STRUCTURAL HEADERS: 2= 2X10", EXCEPT AS OTHERWISE NOTED, FIELD VERIFY ALL EXISTING WALL BEARING EXTERIOR WINDOWS AND DOOR HEADERS ARE PROPERLY SIZED. IF NOT, REPLACE WITH PROPER SIZED HEADER, AT NEW OPENINGS, PROVIDE ONE JACK ON EACH SIDE FOR SPANS UNDER 6', TWO JACKS FOR SPANS OVER 6'.
5. ALL NEW WINDOWS OPENINGS TO BE SET AT MAN DOOR HEIGHT
6. FOR SILL PLATE USE PRESSURE-TREATED WOOD IN ACCORDANCE WITH THE PROVISION OF SECTION 318.1 IN R.C.O. WITH FASTENERS HOT-DIPPED ZINC-COATED GALVANIZED STEEL. PER PROVISION SECTION 317.3.3 IN R.C.O.
7. GENERAL CONTRACTOR SHALL VERIFY THAT THE EXISTING UTILITIES ARE NOT IN THE WAY OF OF THE NEW CONSTRUCTION.
** CONTRACTOR SHALL BE LICENSED, INSURED AND BONDED FOR THIS JOB. **
8. PRIOR TO START OF WORK, HOMEOWNER WILL NEED TO REMOVE ALL INTERIOR PERSONAL BELONGINGS, IN THE THE AREA TO BE REMODELED PRIOR TO THE START OF WORK.
9. ALL NEW SIDING ON HOME TO MATCH THE TO CURRENT SIZE WITH VINYL SIDING.
10. ALL NEW SOFFITS, GUTTER BOARD, FLY RAFTERS, AND OTHER EXTERIOR TRIM TO BE ALUMINUM / VINYL WRAPPED. ALL TRIM DETAILS AND OVERHANG SOFFITS TO BE VENTED.
11. ROOF SHINGLES OVER SYNTHETIC FELT WITH A MIN. 3' ICE GUARD UP FROM GUTTER BOARD.
12. PROVIDE CONT. RIDGE VENTS FOR PROPER VENTILATION AS REQUIRED BY CODE.
13. ALL WINDOWS TO BE DETERMINED WINDOW CHOSEN BY CUSTOMER.
14. ALL NEW EXTERIOR DOORS TO BE INSULATED METAL
15. ALL ELECTRICAL SHALL BE IN ACCORDANCE TO ANY LOCAL CODES.
16. DECKING ON SECOND FLOOR PORCH RECOVER OLD FLAT DECK WITH CERTAINTED FLINTASTIC SA NAILBASE AND FLINTASTIC SA MIDPLY FOR A 20 YR. WARRANTY TWO LAYER MATERIAL FOR A LOW SLOPE DECK

NOTE: LIST OF ITEMS SUPPLIED BY OTHERS

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Signature _____ Date _____
Signature _____ Date _____

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COMMENTS / REVISIONS	3.	4.	5.
1.			
2.			

CLIENT/LOCATION

1480 VICTORIA AVE.
LAKEWOOD, OHIO

PROJECT:

ENCLOSE FRONT PORCH

CONTRACTOR:

FOLLOW ONLY 2019
RESIDENTIAL CODE OF OHIO

PLAN NAME

SCALE: 1/4" = 1'-0"
DATE PRINTED

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PROJECT:
ENCLOSE FRONT PORCH

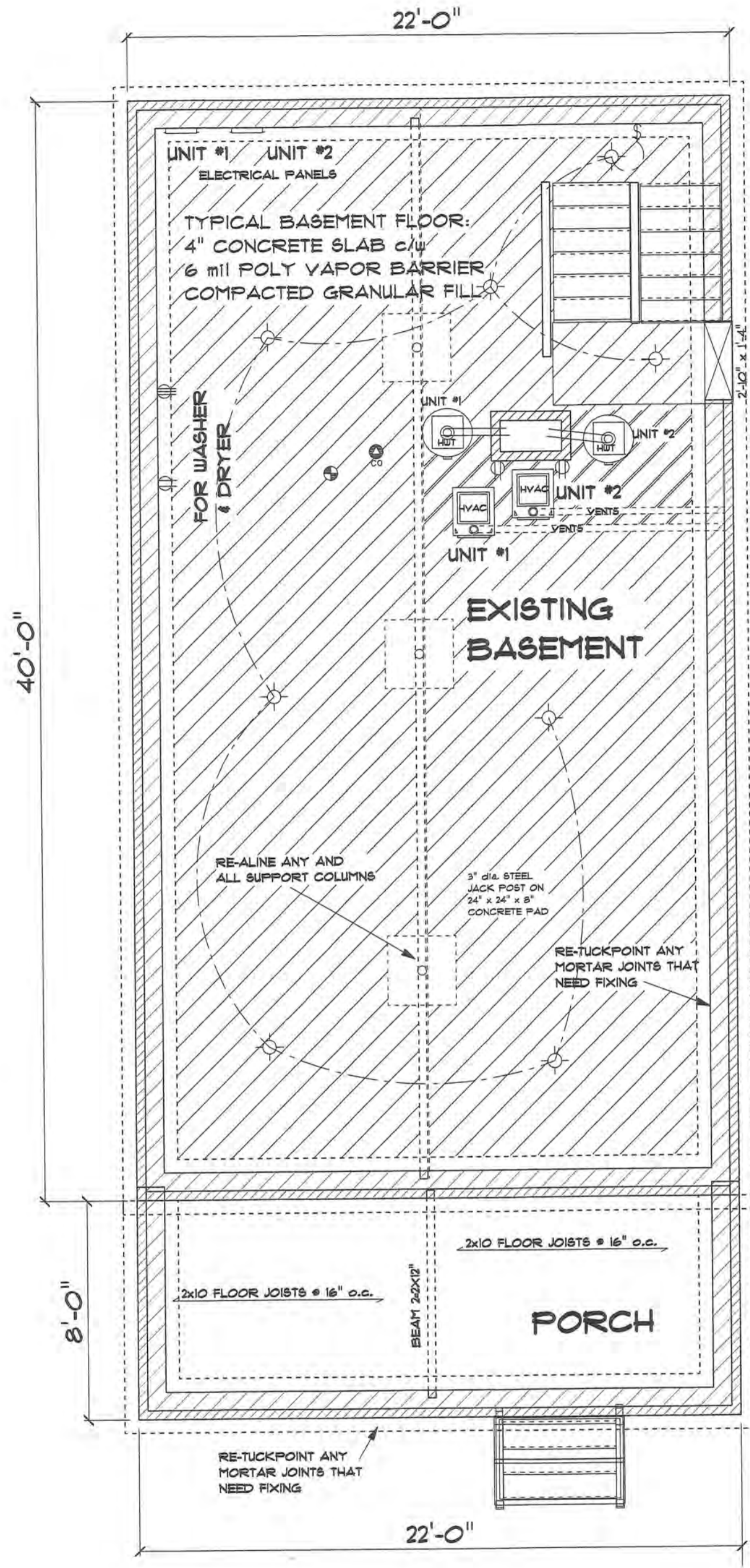
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PORCH LAYOUT
SCALE: 1/4" = 1'-0"

FOUNDATION BLOCK WALL REPAIR NOTES:

1. BLOCK/TILE BASEMENT FOUNDATION WALLS THAT NEED REPAIR SHOULD USE TYPE S-MORTAR. TRY TO MATCH GROUT COLOR AS CLOSE AS POSSIBLE. SAME WITH BRICK FACING TO EXISTING MORTAR
2. REINFORCE ANY DAMAGED FLOOR JOISTS ON FIRST & SECOND FLOORS OR ANY LOSE PLANKING.
3. ALL BASEMENT AND CRAWL SPACE FOUNDATION WALLS BELOW GRADE TO BE WATERPROOFED WITH TAR SEAL COATING OVER IRONITE WATERPROOFING BRUSHED SMOOTH INTO THE CEMENT 1/2" THICK PARGING ON FOUNDATION WALLS FOR THE REPAIRING OF THE BACK PORCH WALLS TO REBUILD THE BACK PORCH
4. REPAIR ANY AN ALL DAMAGED GLASS BLOCK FOR BASEMENT WINDOWS USE WHITE MORTAR.
5. REPAIR ALL DOWNSPOUTS THAT ARE BROKEN & TEST FLOW OF WATER.

ELECTRICAL / MECHANICAL NOTES:

1. ALL ELECTRICAL, PLUMBING AND MECHANICAL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING, 2019 IRC, LOCAL ZONING AND CURRENT NATIONAL ELECTRICAL AND PLUMBING CODES
2. ALL RECEPTACLES TO BE TAMPER RESISTANT, WHERE ALL BRANCH CIRCUITS, EXCEPT FOR "GFCI" CIRCUITS, SHALL BE PROTECTED BY A "AFCI" COMBINATION TYPE CIRCUIT BREAKER.
3. PROVIDE LABELING OF ALL CIRCUIT BREAKERS IN ALL PANELS AND SUB-PANELS.
4. PROVIDE TWO GROUNDING, GROUNDING ROD EXTERIOR AND ALSO TO MAIN COPPER WATER LINE ON THE INTERIOR
5. PROVIDE STICKER ON PANELS WITH ELECTRICAL CONTRACTORS NAME & PHONE NUMBER FOR EMERGENCIES
6. ALL ELECTRICAL OUTLETS SHALL BE SPACED NO MORE THAN 12' o.c. ALONG WALL SPACE. AN ELECTRICAL OUTLET SHALL BE PLACED NO MORE THAN 6' FROM ANY DOOR OR WINDOW.
7. ANY LIGHT FIXTURES ABOVE A SHOWER, TUB MUST BE DAMP PROOF WITH TEMPERED GLASS.
8. EXISTING ELECTRICAL WIRING, OUTLETS AND SWITCHES IN EXISTING AREAS NOT AFFECTED BY RENOVATION, TO REMAIN.
9. IN REMODELED AREAS, IF NECESSARY, UPDATE EXISTING ELECTRICAL WORK TO BRING UP TO CURRENT CODES.
10. CHECK ALL CANS WITH WHITE TRIM AND ALL CAN SWITCHED WITH DIMMER SWITCHES. ALL EXTERIOR CANS TO BE RATED FOR EXTERIOR USE.
11. INSTALL SMOKE DETECTORS ON EVERY BEDROOM, HARDWIRED TO EACH WITH BATTERY BACKUP. ALSO INSTALL "CO" DETECTOR ON EACH FLOOR
12. IF NECESSARY, IF ELECTRICAL PANEL NEEDS TO BE UPGRADED, INSTALL NEW "125 AMP" SERVICE PANEL FOR EACH UNIT.

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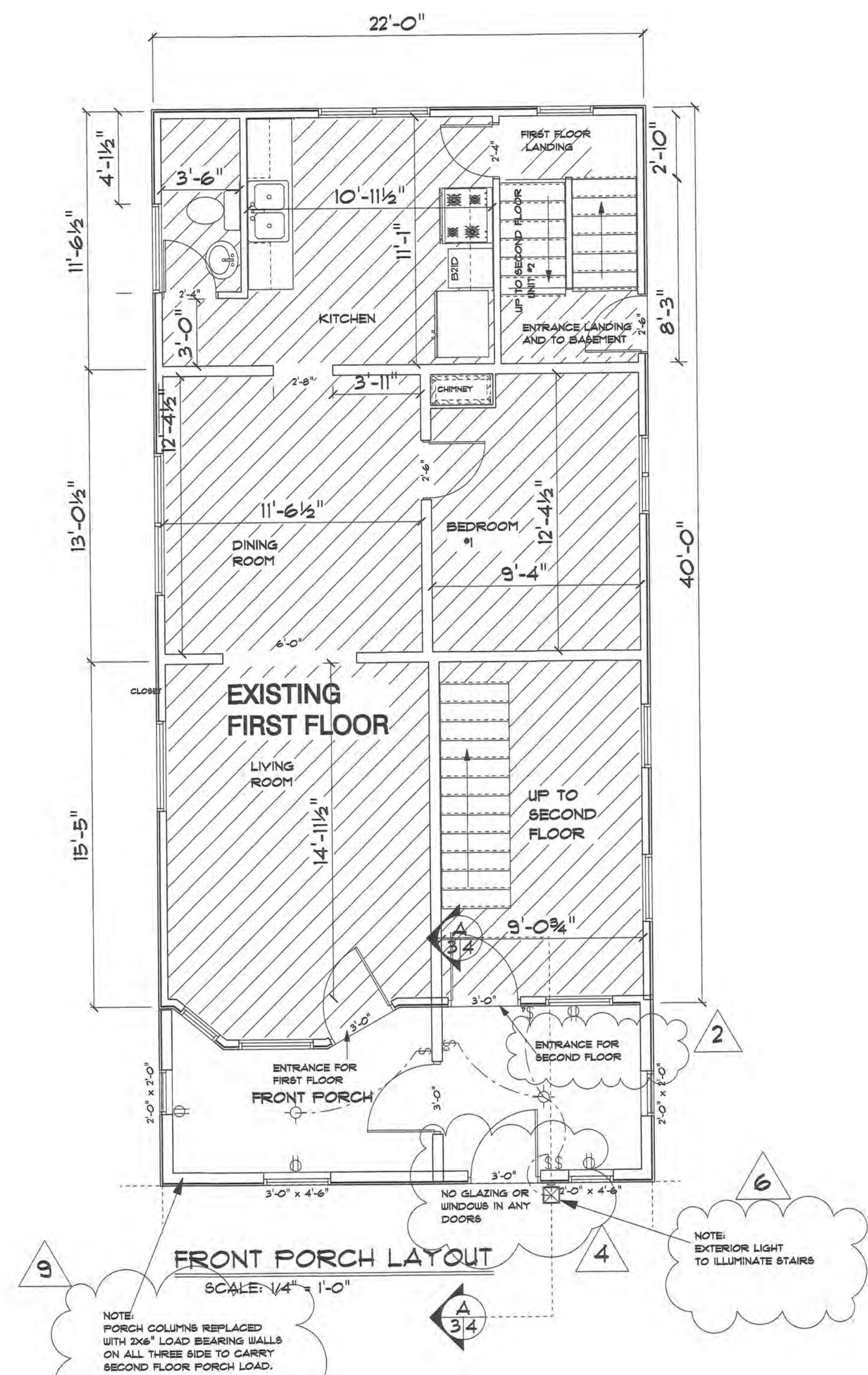
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FRONT PORCH LAYOUT
SCALE: 1/4" = 1'-0"

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PROJECT:
ENCLOSE FRONT PORCH

CONTRACTOR:

FOLLOW ONLY 2019
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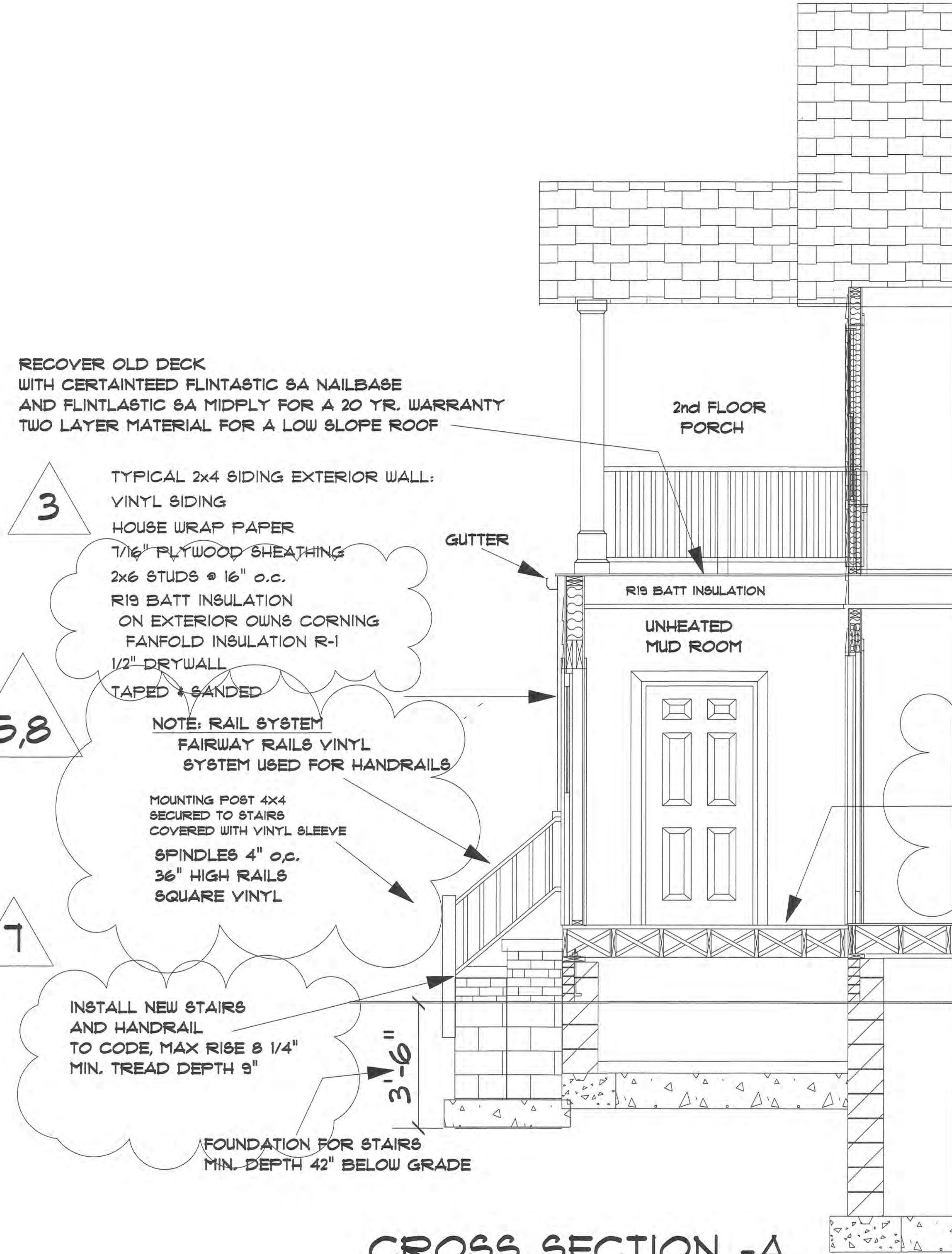
PLAN NAME

SCALE: 1/4" = 1'-0"
DATE PRINTED

PAGE 4 OF 4

COMMENTS / REVISIONS

3.	4.	5.
1.	2.	



RECOVER OLD DECK WITH CERTAINTED FLINTASTIC 6A NAILBASE AND FLINTLATIC 6A MIDPLY FOR A 20 YR. WARRANTY TWO LAYER MATERIAL FOR A LOW SLOPE ROOF

2nd FLOOR PORCH

GUTTER

R19 BATT INSULATION

UNHEATED MUD ROOM

9

FLOORING
5/4" X 6" TREATED DECK MATERIAL ON 2X8" FLOOR JTS.

3
TYPICAL 2x4 SIDING EXTERIOR WALL:
VINYL SIDING
HOUSE WRAP PAPER
7/16" PLYWOOD SHEATHING
2x6 STUDS @ 16" o.c.
R19 BATT INSULATION ON EXTERIOR OWNS CORNING
FANFOLD INSULATION R-1
1/2" DRYWALL
TAPED & SANDED

5,8
NOTE: RAIL SYSTEM
FAIRWAY RAILS VINYL SYSTEM USED FOR HANDRAILS

MOUNTING POST 4X4 SECURED TO STAIRS COVERED WITH VINYL SLEEVE
SPINDLES 4" o.c.
36" HIGH RAILS
SQUARE VINYL

7

INSTALL NEW STAIRS AND HANDRAIL TO CODE, MAX RISE 8 1/4" MIN. TREAD DEPTH 9"

3'-6"

FOUNDATION FOR STAIRS MIN. DEPTH 42" BELOW GRADE

CROSS SECTION -A

SCALE: 1/2" = 1'-0"

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Signature _____ Date _____



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ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

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Application Cover Page

Docket No.: 12-100-23

Permit No.: BBS23-000094

Applicant Name: Heather Mease

Project Address: 12507 Plover St.

Project Name: Mixed-Use Commercial Building and Apartments

Project: Applicant proposes a first floor window replacement.

NORTH EXTERIOR



NORTH INTERIOR



SOUTH EXTERIOR



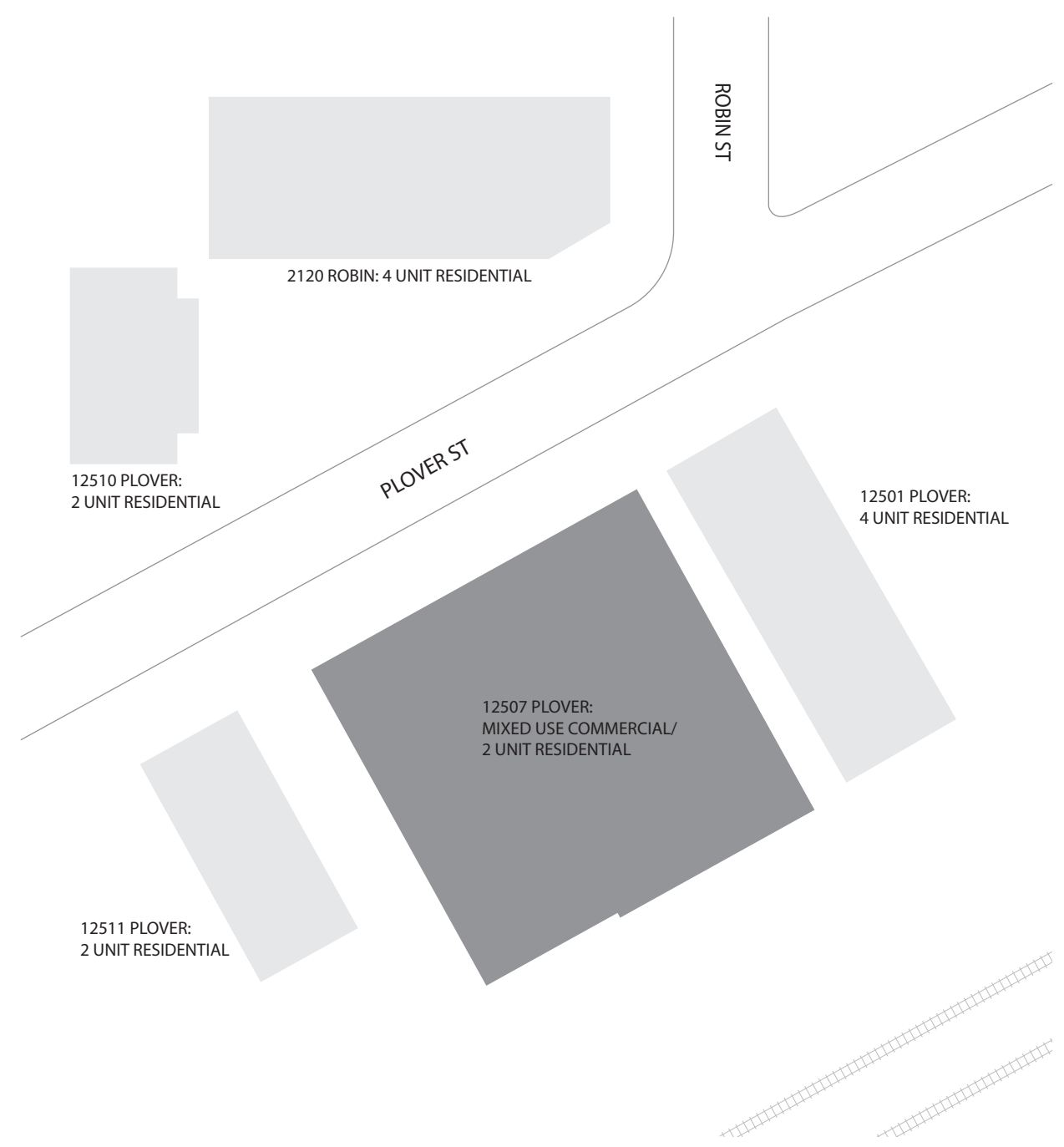
SOUTH INTERIOR



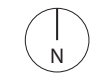
ADJACENT MULTIFAMILY HOUSING

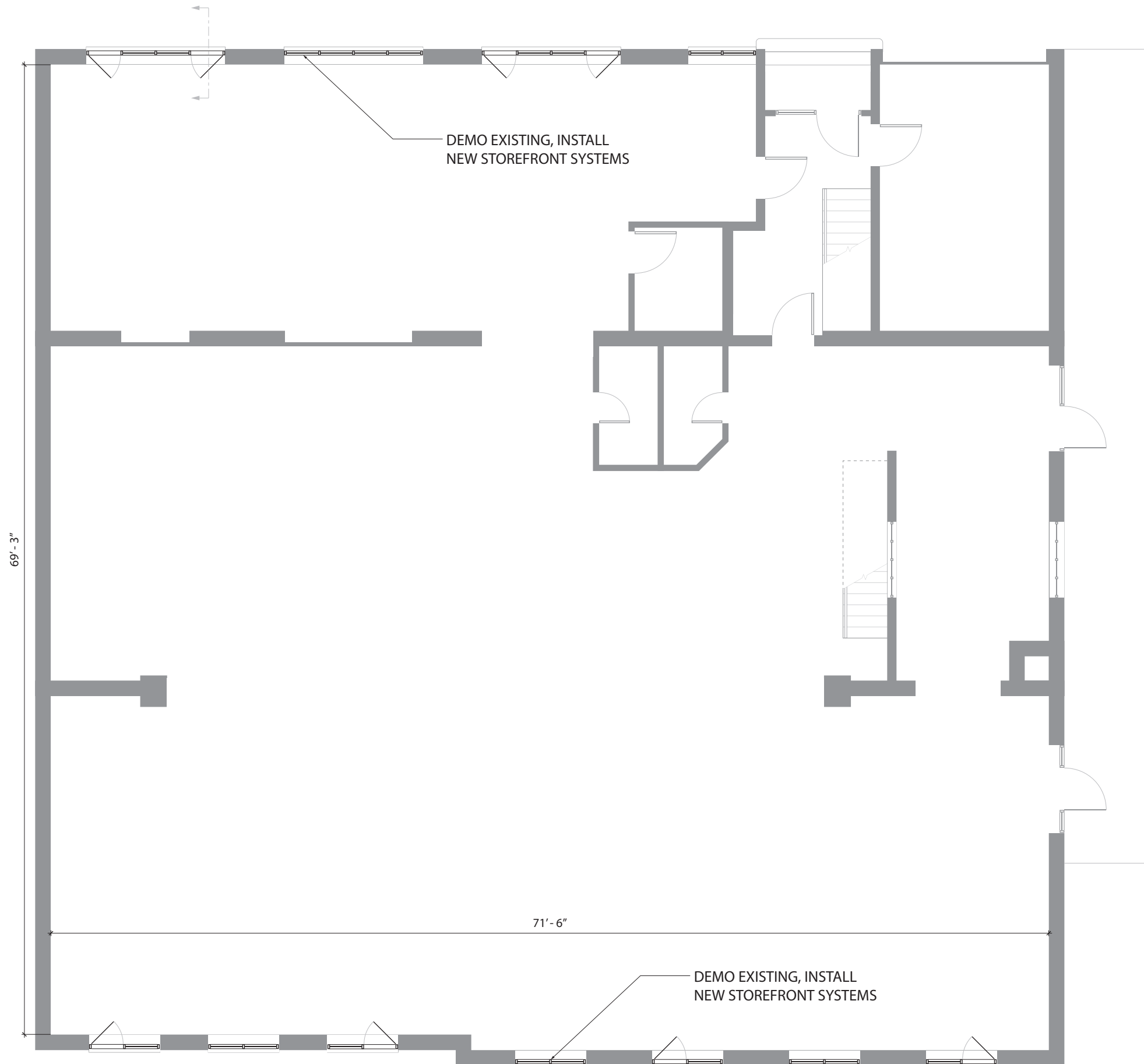


EXISTING CONDITIONS

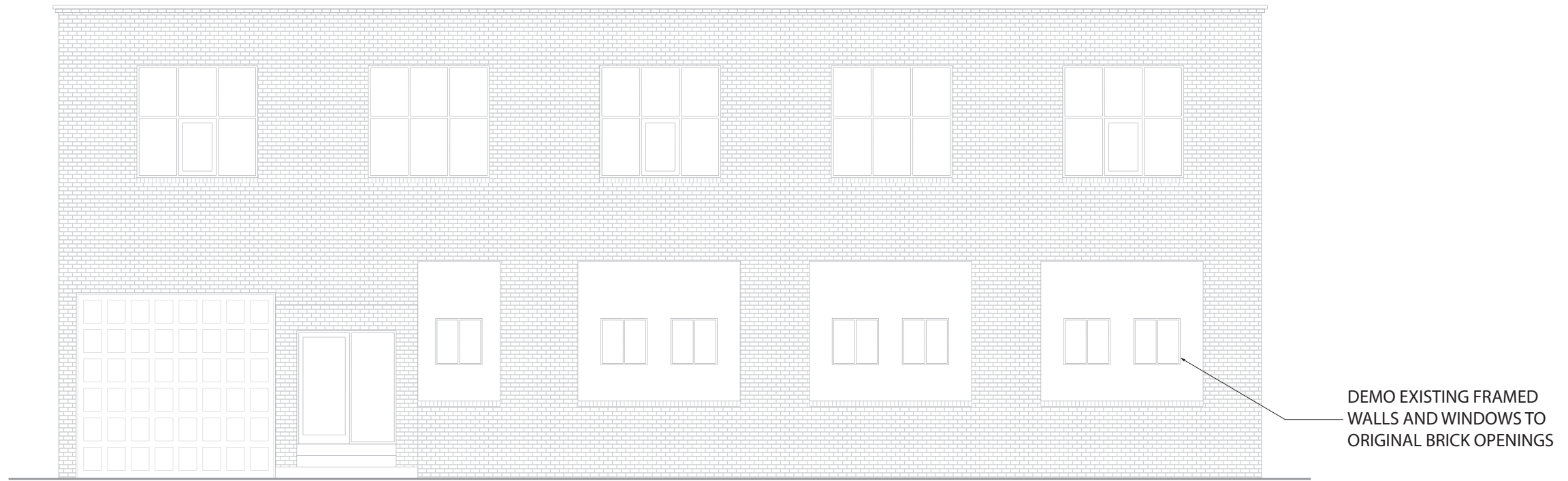


SITE PLAN
1/32" = 1'-0"





FIRST FLOOR PLAN
1/8" = 1'-0"



EXISTING NORTH ELEVATION

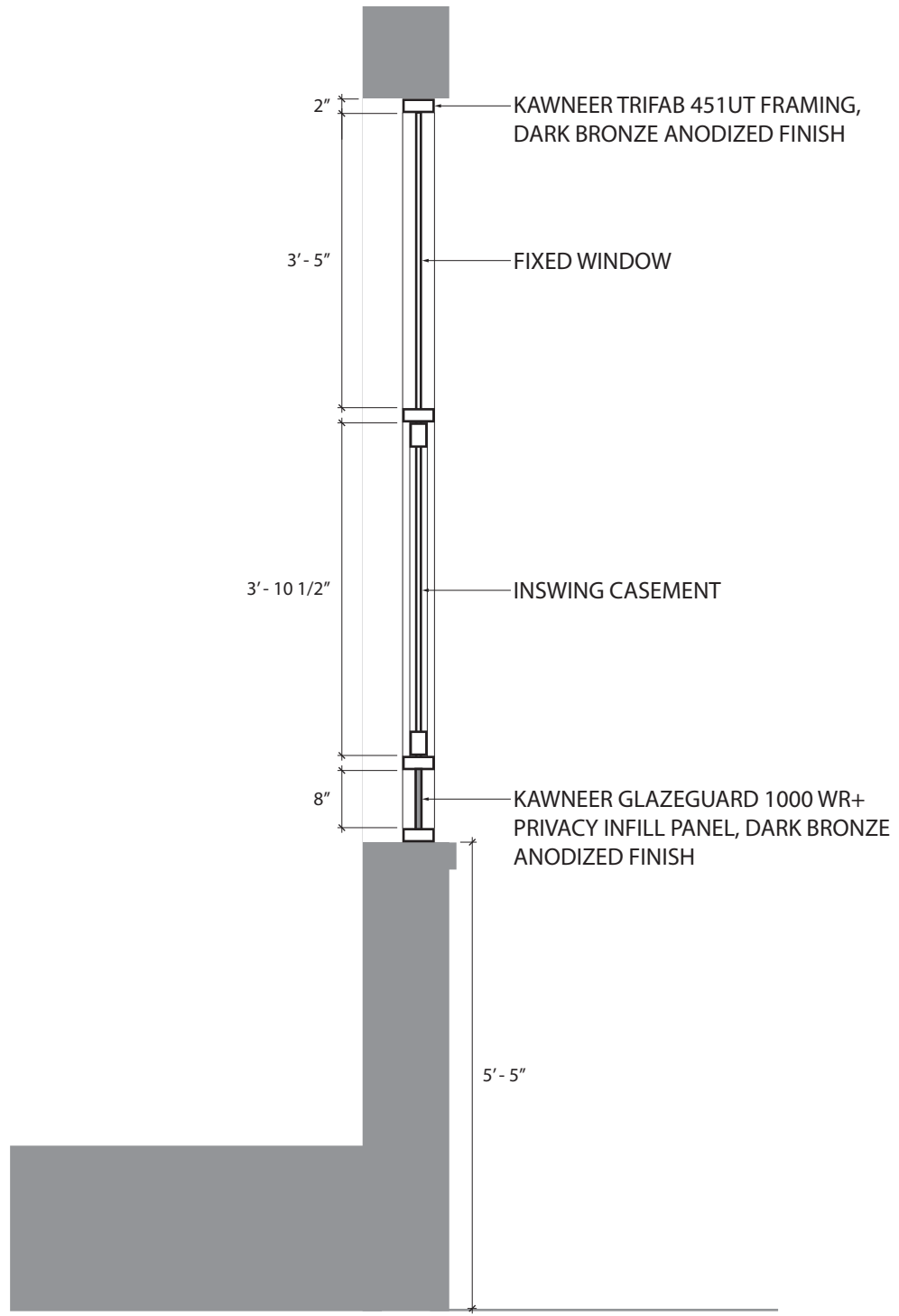


PROPOSED NORTH ELEVATION
1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

NEW KAWNEER STOREFRONT SYSTEMS



NORTH WINDOW SECTION

1/2" = 1'-0"



INTENDED MATERIAL

Design + Performance

Versatility with Unmatched Fabrication Flexibility



Geisinger Professional Building
Jenkins Township, Pennsylvania
ARCHITECT
Mericle Commercial Real Estate Services
Wilkes-Barre, Pennsylvania
GLAZING CONTRACTOR
Sterling Glass, Inc., Scranton, Pennsylvania
PHOTOGRAPHER
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Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



Brighton Landing
Cambridge, Massachusetts
 ARCHITECT
ADD Inc., Cambridge, Massachusetts
 GLAZING CONTRACTOR
Ipswich Bay Glass Company, Inc., Rowley, Massachusetts
 PHOTOGRAPHER
 © Gordon Schenck, Jr.

All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

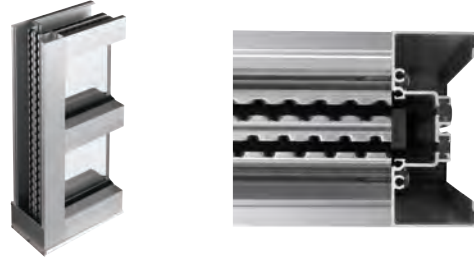
FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.



PERFORMANCE

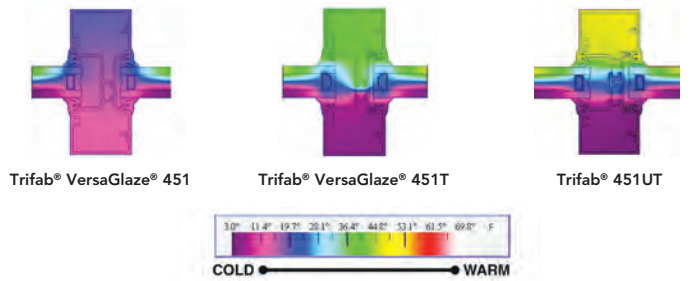
Kawneer’s IsoLock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual IsoLock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual IsoLock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

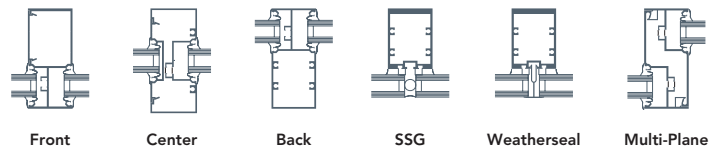
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425



Water Resistant Infill Solution
With Increased Thermal Value



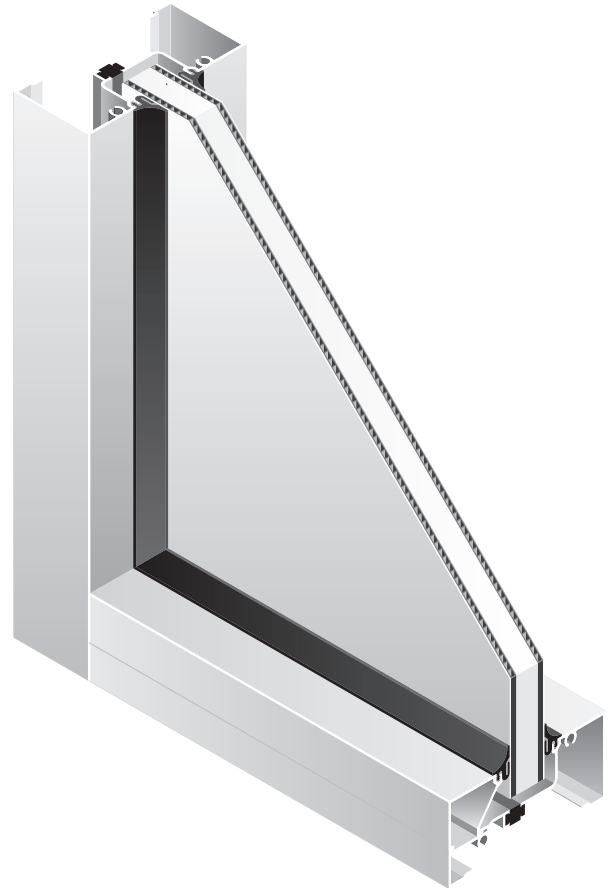
CITADEL
ARCHITECTURAL PRODUCTS

GLAZEGUARD® 1000 WR+

WATER RESISTANT GLAZING INFILL PANELS

FEATURES & BENEFITS

- fits standard 1" glazing systems
- custom thicknesses up to 3-1/2"
- economical, textured polyester finishes
- long-lasting, smooth Kynar 500® finishes
- anodized finishes to match storefronts
- water resistant
- polypropylene stabilizers, foam core
- can be easily cut-to-size in the field
- very low maintenance
- no minimum quantities
- quick lead time
- available in several standard sizes

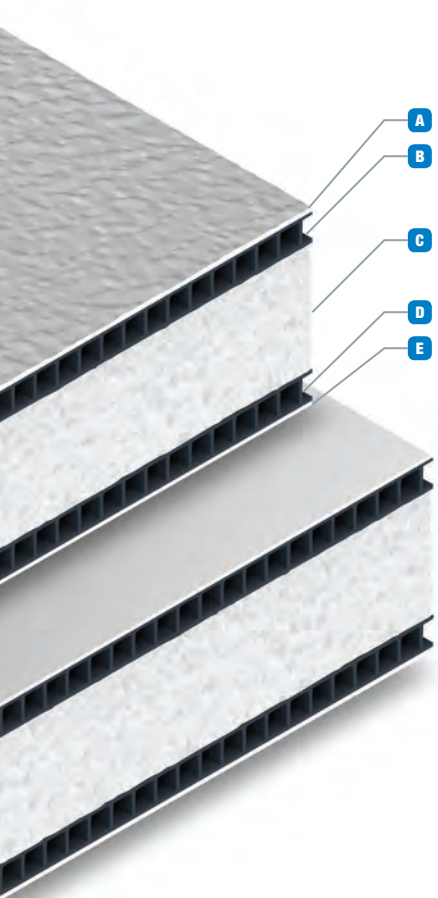


Description:

GlazeGuard® 1000 WR+ is a composite panel with textured or smooth aluminum skins, polypropylene stabilizers, and an EPS or ISO foam core. Panels are furnished with a strippable film on the painted surfaces to protect the finish during shipment and installation.

Use & Application:

GlazeGuard® 1000 WR+ is installed in aluminum glazing or storefront channels (on setting blocks) and sealed using gaskets. No fasteners or adhesives are used in the installation of the panel. Typical applications include glazing infill, modesty screens, spandrel panels, and railing inserts.



GLAZEGUARD® 1000 WR PLUS

MATERIAL PROPERTIES

Component	Standard (in)	Metric (mm)
A Prefinished Textured Aluminum ¹ (or) Prefinished Smooth Aluminum ¹	.010"	0.25mm
	.024"	0.61mm
B High Density Polypropylene	1/8"	3.00mm
C Expanded Polystyrene (EPS) Foam (or) Polyisocyanurate (ISO) Foam	11/16"	17.4mm
	11/16"	17.4mm
D High Density Polypropylene	1/8"	3.00mm
E Prefinished Textured Aluminum ¹ (or) Prefinished Smooth Aluminum ¹	.010"	0.25mm
	.024"	0.61mm

PANEL PROPERTIES

Property	Standard (in)	Metric (mm)	
Panel Weight	Textured Skins - EPS / ISO	0.80 / 0.84 lbs/ft ²	3.88 / 4.10 kg/m ²
	Smooth Skins - EPS / ISO	1.18 / 1.23 lbs/ft ²	5.77 / 5.99 kg/m ²
Nominal Thickness	1"	25mm	
Thickness Tolerance	±1/16"	±1.59mm	
Length & Width Tolerance	+0, -1/8"	+0, -3.18mm	
Squareness	1/64" per lineal ft		
Flatness	visually flat		

FINISH PROPERTIES

Finish	Type	Coating
Textured Polyester	1-coat	0.80 mil color
Smooth Kynar 500®	2-coat PVDF (solid, mica)	0.20 mil primer + 0.80 mil color
	3-coat PVDF (metallic)	0.20 mil primer + 0.80 mil color + 0.70 mil clear
Smooth Anodized	Exterior Standard No. 1 ²	0.20 mil to 0.45 mil (depending on color)

PANEL PERFORMANCE

Property	Test	Value	Unit
Flame Spread	ASTM E84	Class A	---
R-Value - EPS / ISO	---	4.19 / 6.13	°F-ft ² -h/BTU
Wind Load (4' x 4' and 4' x 8' tested)	ASTM E72	varies, available upon request	

1 - Prefinished aluminum skins are furnished with a PVC film for protection during shipment and installation.
 2 - Class I or Class II anodizing is available as a premium custom finish. However, the warranty remains the same and fabrication difficulties will result (increased crazing, cracking) due to the increased film thickness.

STANDARD SIZES

48" x 96"	(121.9cm x 243.8cm)
48" x 120"	(121.9cm x 304.8cm)
48" x 144"	(121.9cm x 365.8cm)
60" x 96"	(152.4cm x 243.8cm)
60" x 120"	(152.4cm x 304.8cm)
60" x 144"	(152.4cm x 365.8cm)

Cut-to-size panels are available in any increment up to 60" x 144".

WARRANTY

Panel Composition:	5 years
Polyester Finishes:	5 years
Kynar 500® Finishes:	30 years
Anodized Finishes:	20 years

RECYCLED CONTENT (BY WEIGHT)

Panels With Textured Skins

Post-Consumer:	EPS - 0.9% ISO - 0.9%
Post-Industrial:	EPS - 13.1% to 17.0%
	ISO - 12.5% to 16.2%

Panels With Smooth Skins

Post-Consumer:	EPS - 0.7% ISO - 0.7%
Post-Industrial:	EPS - 29.9% to 32.5%
	ISO - 28.7% to 31.2%

Citadel Architectural Products, Inc.

3131-A North Franklin Road
 Indianapolis, Indiana 46226
 phone (317) 894-9400 • (800) 446-8828
 fax (317) 894-6333 • (800) 247-2635
www.citadelap.com • info@citadelap.com





**BOARD OF BUILDING STANDARDS
ARCHITECTURAL REVIEW BOARD
SIGN REVIEW BOARD**

12650 Detroit Avenue • (216) 529-6630 • FAX (216) 529-5907 • www.lakewoodoh.gov

Application Cover Page

Docket No.: 12-101-23

Permit No.: BBS23-000096

Applicant Name: Jonathan Ziegan, Osborn Engineering

Project Address: 18118 and 11810 Detroit Ave.

Project Name: RISE Lakewood

Project: Applicant proposes expansion of a commercial building and parking lot.

Cleveland, OH 44114

p 216 861 2020 x13005 | c 440 785 4691 | jziegan@osborn-eng.com

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Existing Photos for 11818 & 11810 Madison Avenue – 11/22/2023



View of 11810 Madison from Coutant Ave (#1)



View of 11810 Madison from Coutant Ave (#2)

Existing Photos for 11818 & 11810 Madison Avenue – 11/22/2023



View of 11810 & 11818 Madison from intersection of Madison Ave and Coutant Ave



View of 11810 Madison from Madison Ave

Existing Photos for 11818 & 11810 Madison Avenue – 11/22/2023



View of 11818 Madison from Madison Ave

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION

11818 MADISON AVE., LAKEWOOD, OHIO 44107

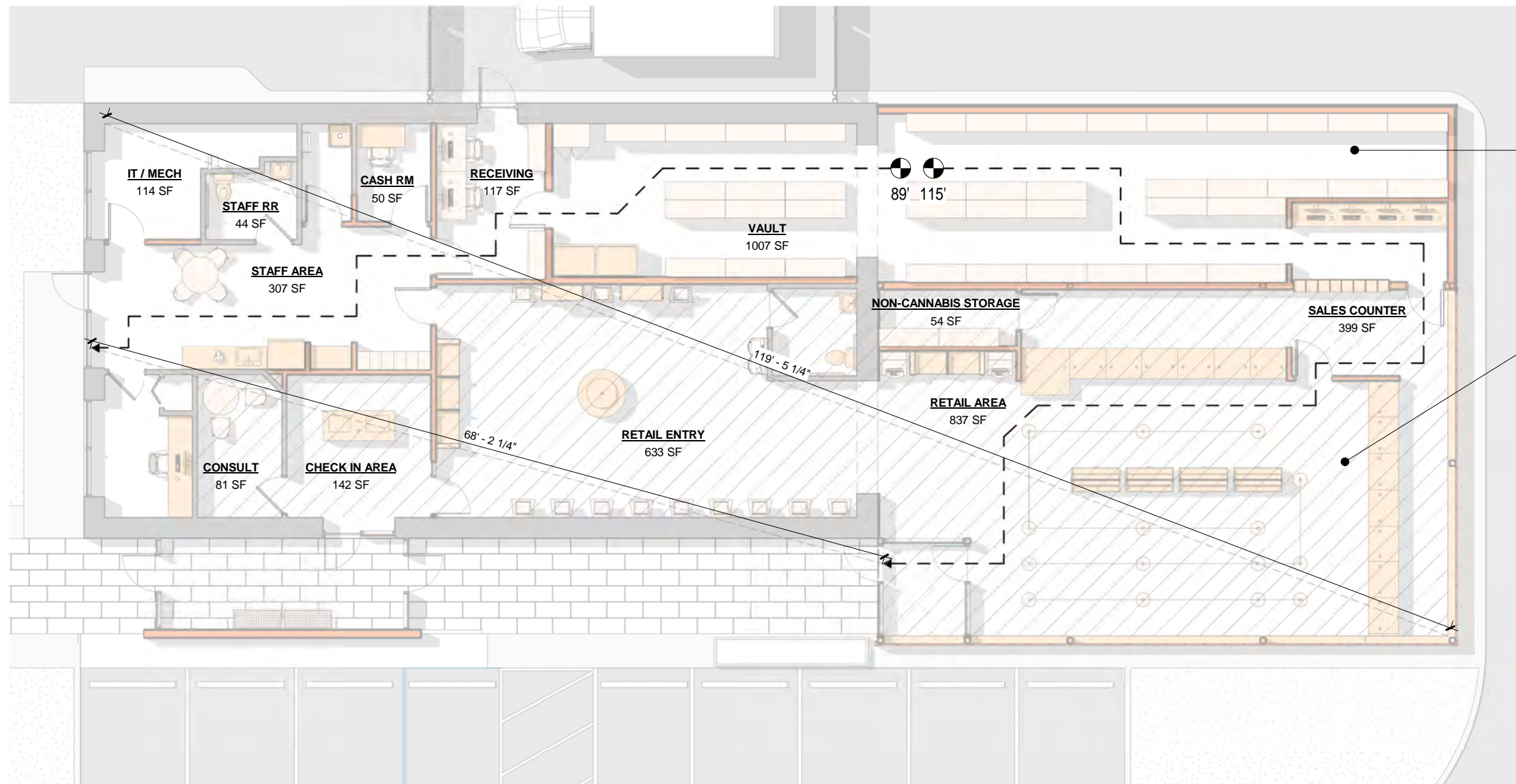


DRAWING INDEX - CONCEPT SET

CS	COVER SHEET
LS-1	CODE ANALYSIS PLAN
A-1	LOCATION MAP
A-2	EXISTING PHOTOS
A-3	EXISTING FLOOR PLAN
A-4a	PROPOSED SITE PLAN
A-4b	ALTERNATE SITE PLAN
A-5	PROPOSED FLOOR PLAN
A-6	EXTERIOR RENDERING
A-7	EXTERIOR RENDERING
A-8	EXTERIOR RENDERING
A-9	PARTIAL AXON
A-10	OVERALL AXON

PROJECT DESCRIPTION

CDA has been engaged to expand the existing Rise dispensary located at 11818 Madison Avenue. The expansion will consist of two volumes added to the rear of the building expanding both the sales floor and the back of house space. The final building square footage will be approximately 4,551 square feet. The front of house volume is proposed to be clad in polycarbonate which allows extensive daylighting into the space while fully obscuring views into the sales floor from the exterior. The interior of the existing space will be fully renovated with minor upgrades to the exterior of the existing building.



STORAGE, STOCK & SHIPPING
 1,780 S.F. @ 300 GROSS OCCUPANTS
 = 6 OCCUPANTS (TABLE 1004.5)

MERCANTILE
 2,300 S.F. @ 60 GROSS OCCUPANTS
 = 38 OCCUPANTS (TABLE 1004.5)
 DESIGN OCCUPANT LOAD = 49 OCCUPANTS

CODE SUMMARY NOTES - 2018 IBC

PROJECT TYPE:	RENOVATION / ADDITION TENANT FIT-OUT (LEVEL 3 ALTERATION)
LOCATION:	LAKEWOOD, OH
OCCUPANCIES:	MERCANTILE (M)
MAX. OCCUPANT LOAD:	44
CONSTRUCTION:	TYPE VB CONSTRUCTION (UNPROTECTED WOOD FRAME)
EXISTING FIRE RESISTANCE:	NON-SPRINKLERED
MAX. TRAVEL DISTANCE:	200'-0" AS PER TABLE 1017.2
TOTAL SF=	GROUND FLOOR: 4,160 SF (INTERIOR GROSS S.F.) (MAX. 9,000 SF 0 TABLE 506.2)
NUMBER OF STORIES:	1 STORY (MAX. 1 STORY - TABLE 504.4)
HEIGHT=	+/- 26' 7" (MAX. 40' 0" - TABLE 504.3)

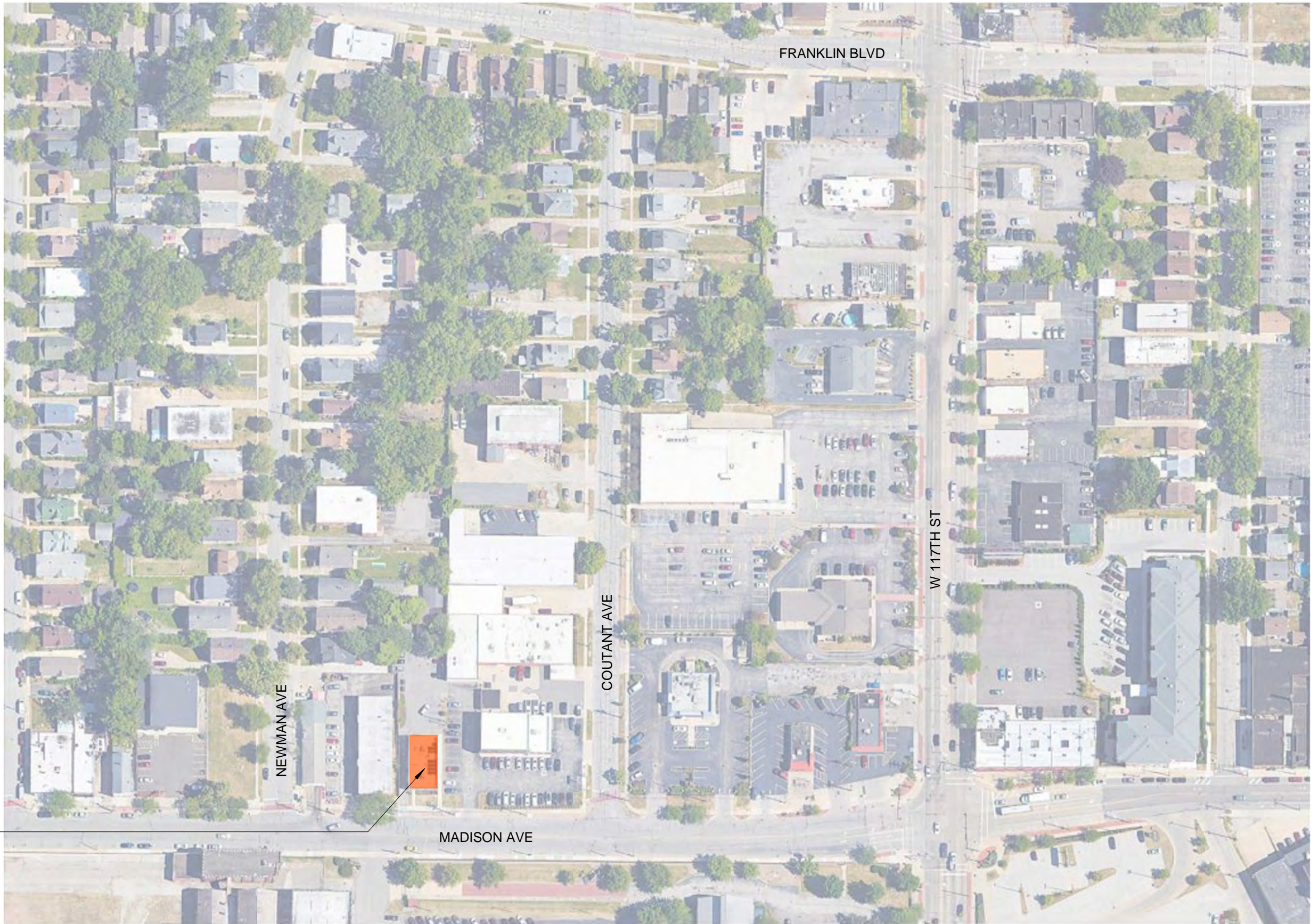
OHIO CODES IN FORCE

OHIO BUILDING CODE 2017
 OHIO FIRE CODE 2017
 OHIO PLUMBING CODE 2017
 OHIO MECHANICAL CODE 2017
 OHIO FUEL GAS CODE 2015
 OHIO ENERGY CODE 2017
 OHIO ACCESSIBILITY CODE 2009
 ADA STANDARDS 2010
 OHIO ELECTRICAL CODE 2017
 LIFE SAFETY CODE OF CMS
 OHIO FIRE ALARM CODE 2016

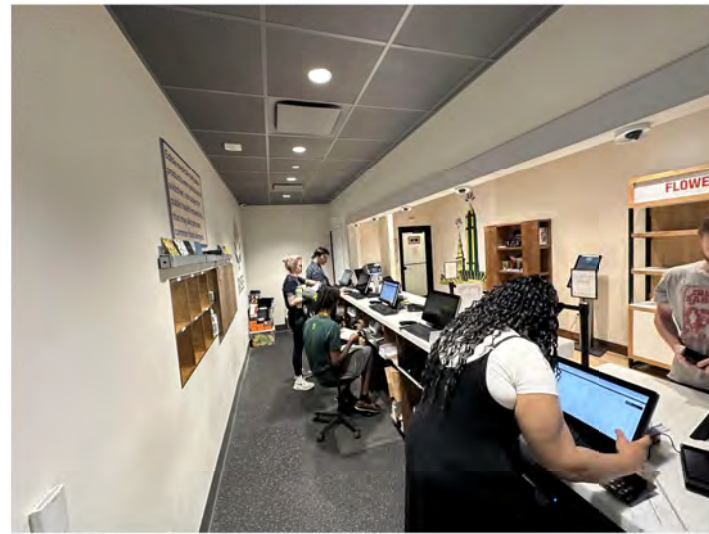
PLUMBING

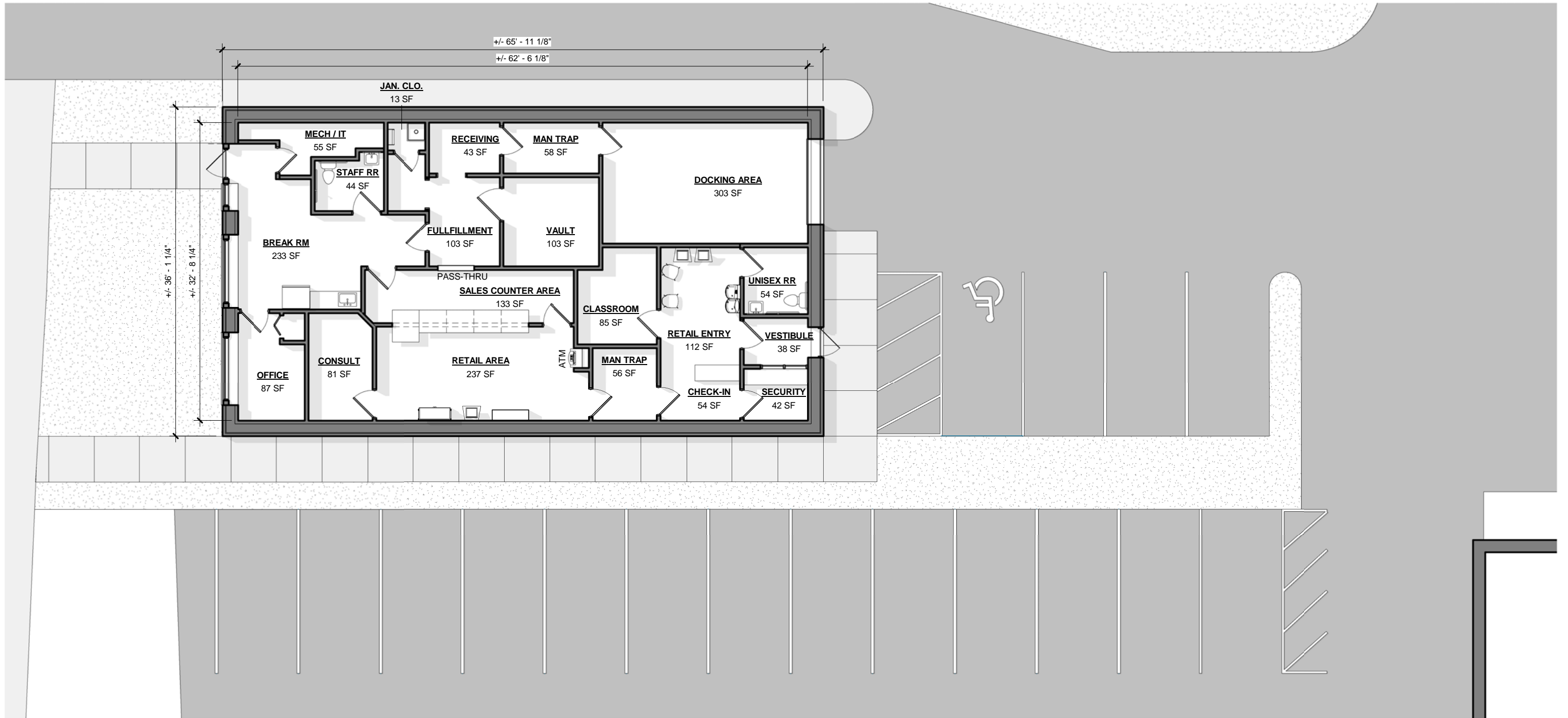
PLUMBING PER IBC TABLE 2902.1

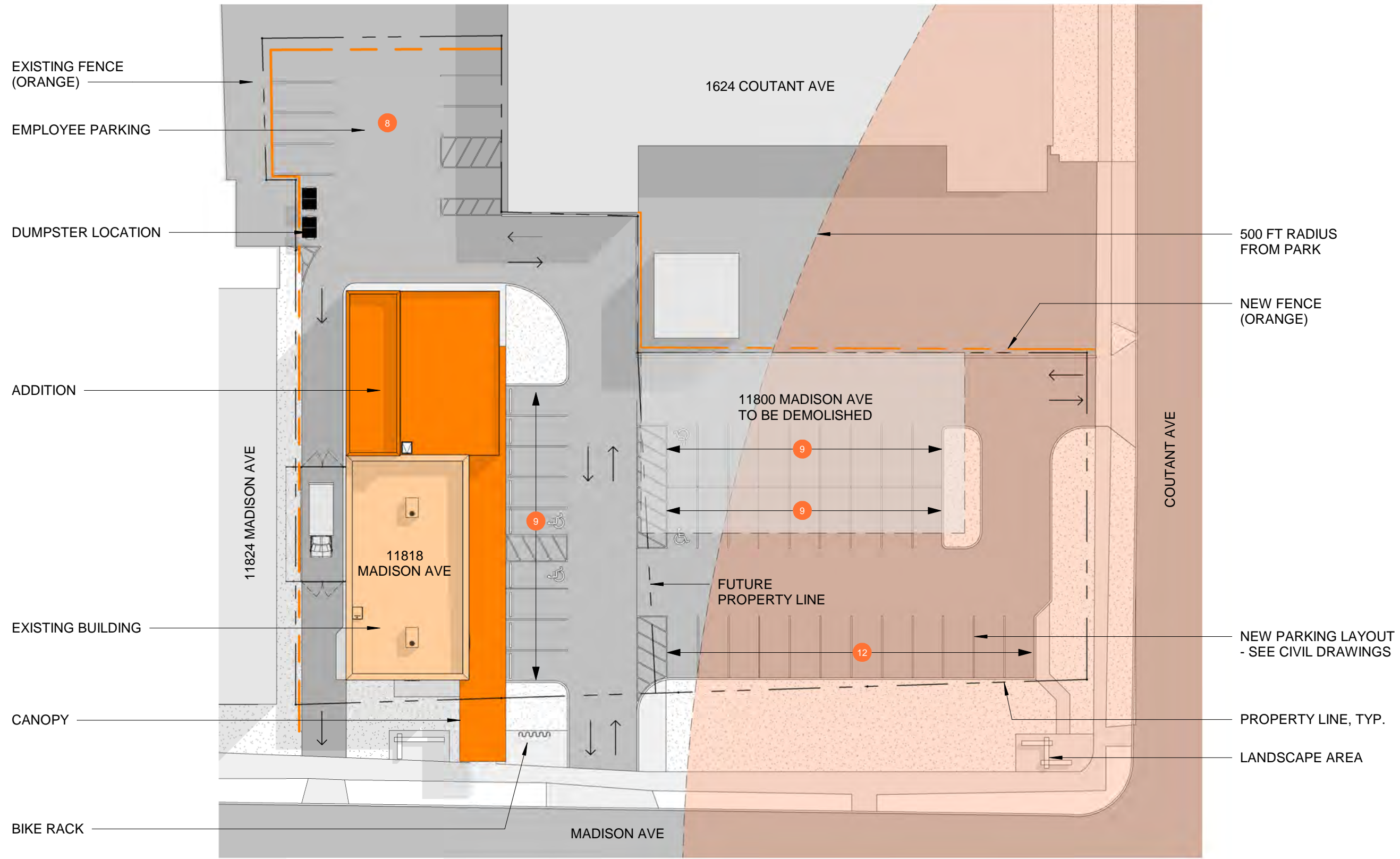
1 WATER CLOSET PER 500 OCC.	1 REQ'D / 2 PROVIDED
1 LAVATORY PER 750 OCC.	1 REQ'D / 2 PROVIDED
1 WATER FOUNTAIN PER 1000 OCC.	1 REQ'D / 1 PROVIDED
1 JANITOR CLOSET	1 REQ'D / 1 PROVIDED

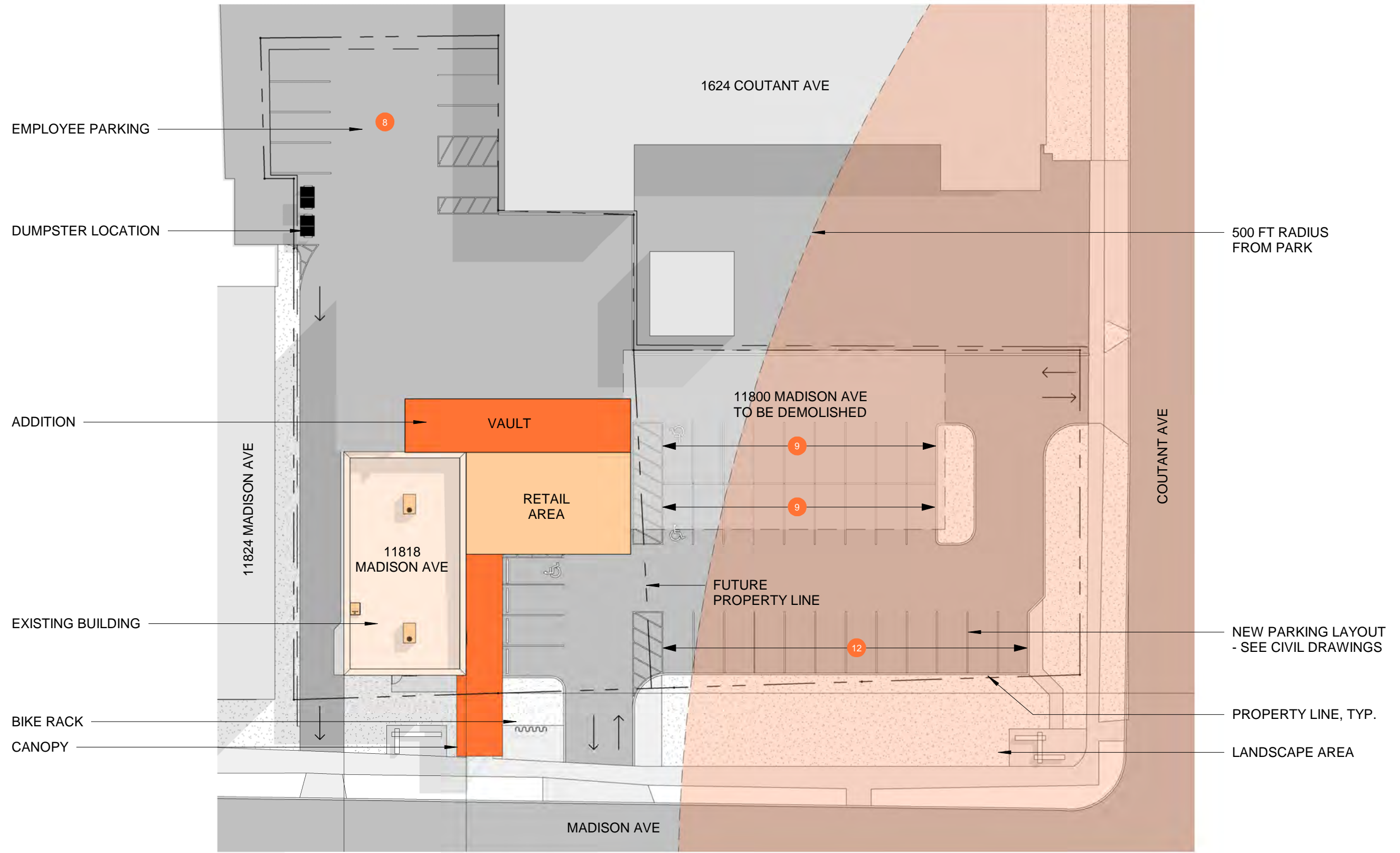


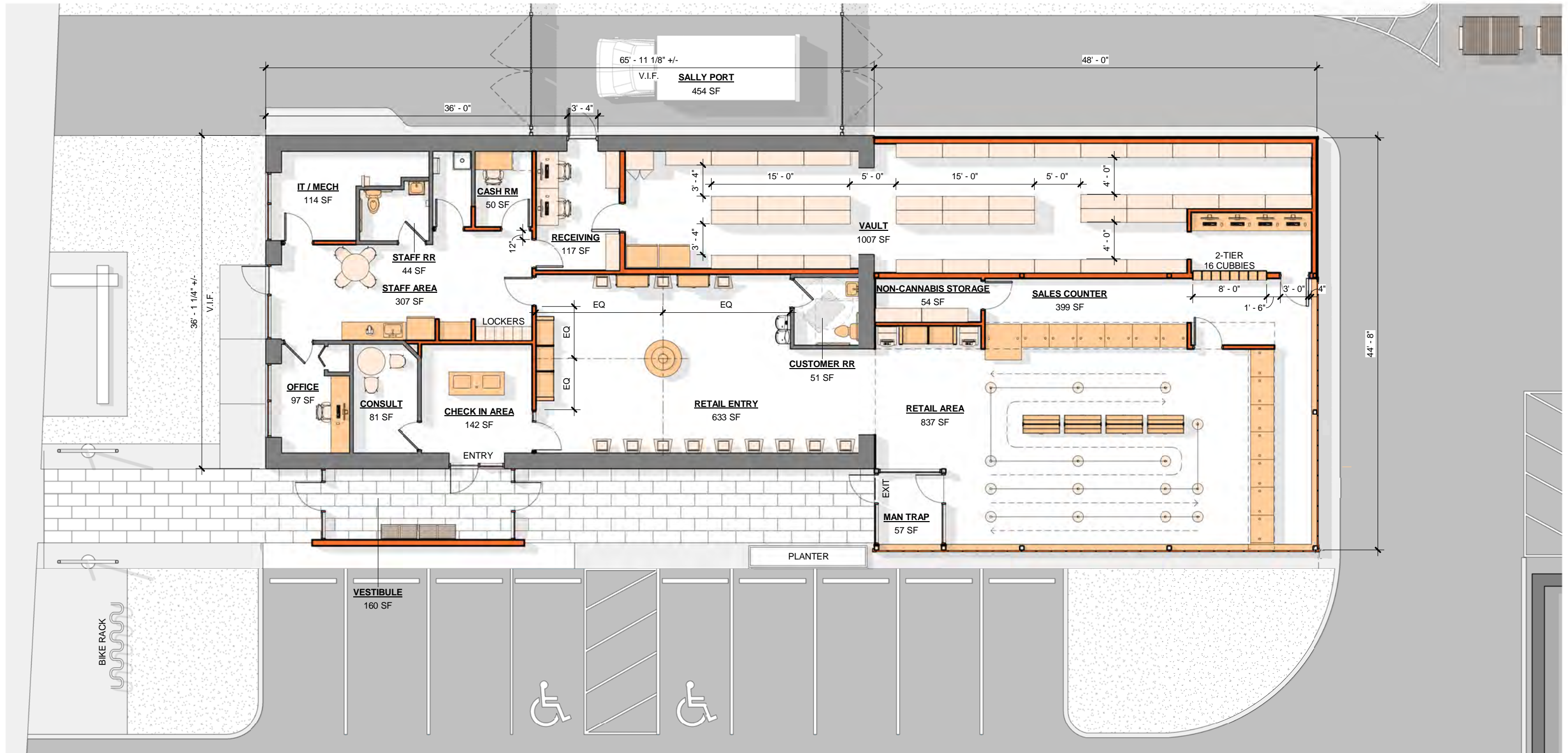
11818 MADISON AVE
LAKEWOOD, OH







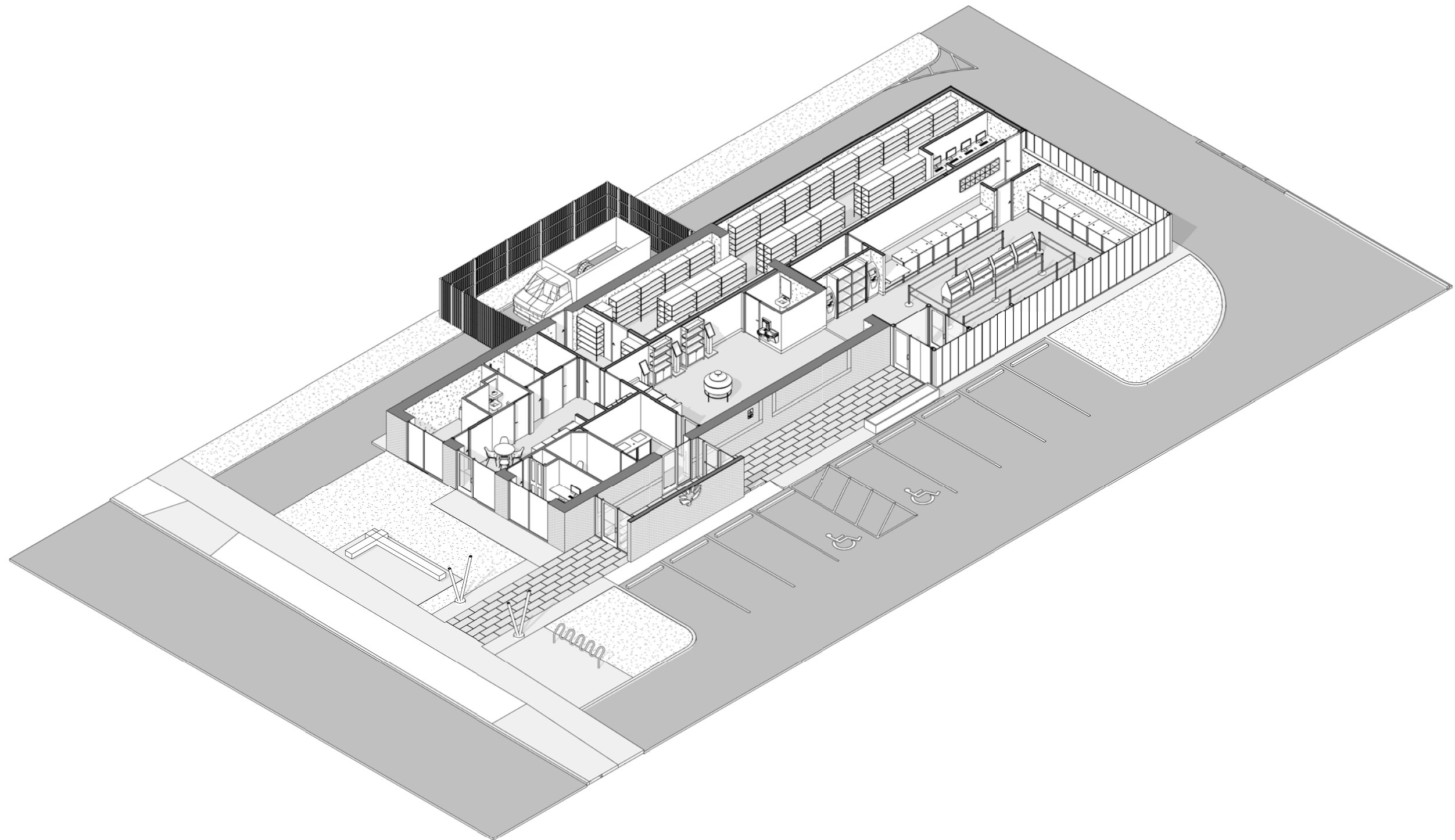


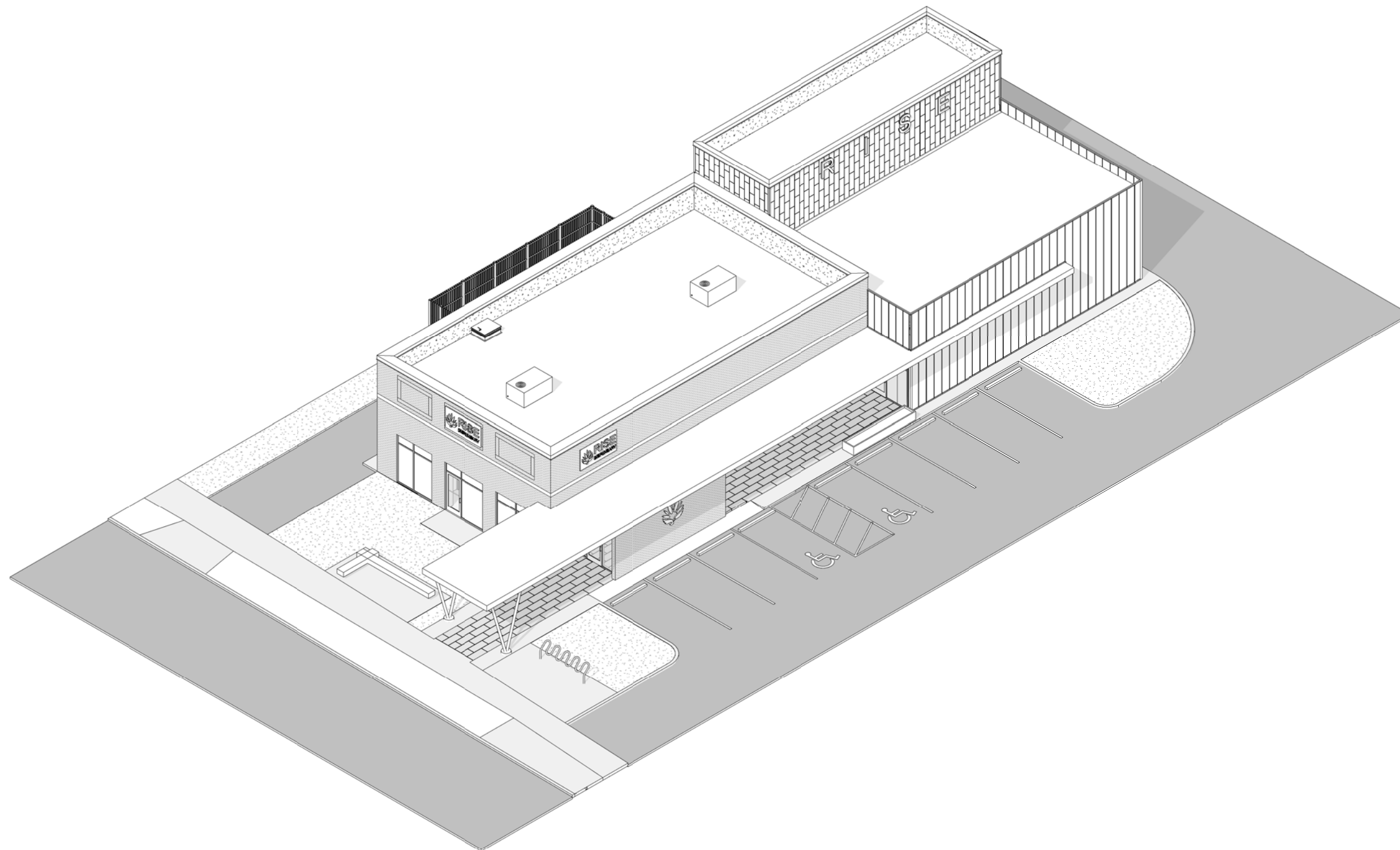














Theory bench from Landscape Forms- in green



Hi Roller bike rack from DERO



Ornamental fence with brick pillars- 4 ft.



Board on board fence- 6 ft.



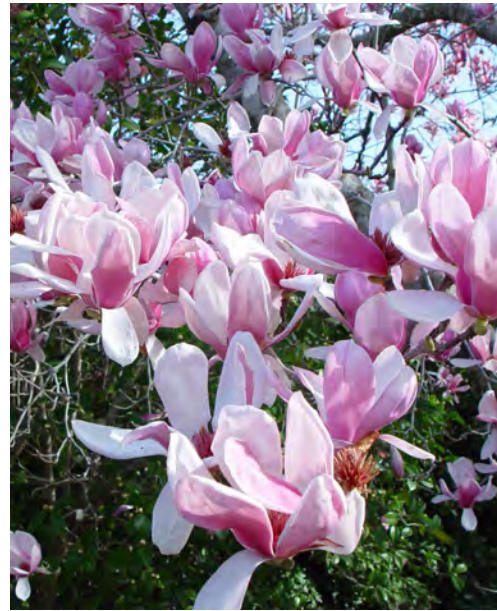
Security fence- 6 ft. in dark bronze



AC- Multi-stem Serviceberry



AG- Single-stem Serviceberry



MAG- Saucer Magnolia



GTI- Honeylocust



DL- Bush Honeysuckle



JGO- Grey Owl Juniper



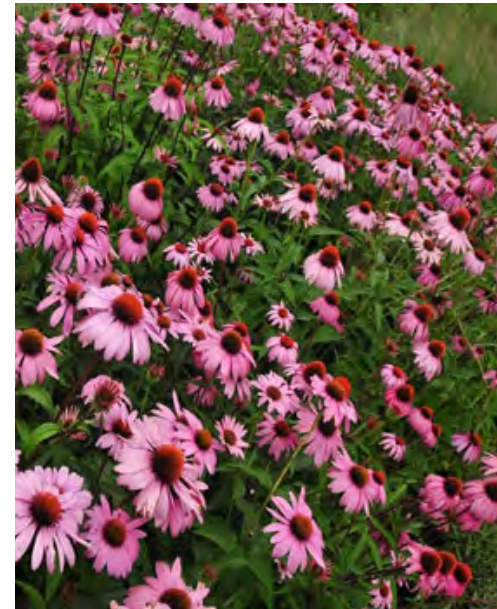
RR- White Rugosa Rose



PO- Tiny Wine Ninebark



BAP- False Indigo



ECH- Purple Coneflower



PAN- Northwind Switchgrass



CAL- Karl Foerster Reed Grass

Plant Schedule					
Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
		Trees			
AC	1	Amelanchier x grandiflora/ Apple Serviceberry	6'	B&B	See Plan
AG	4	Amelanchier x grandiflora 'Autumn Brilliance'/ Apple Serviceberry	2"	B&B	See Plan
MAG	6	Magnolia x soulangiana/ Saucer Magnolia	8'	B&B	See Plan
GTI	2	Gleditsia t.f.i. Street Keeper/ Street Keeper Honeylocust	2"	B&B	See Plan
				B&B	See Plan
		Shrubs			
DL	36	Diervilla lonicera/ Dwarf Bush Honeysuckle	18"	No. 3	3' O.C.
JGO	9	Juniperus v. 'Grey Owl'/ Grey Owl Juniper	30"	B&B	4' O.C.
RR	10	Rosa rugosa 'Alba'/ White Rugosa Rose	SHRUB	No. 3	4' O.C.
PO	3	Physocarpus o. 'Tiny Wine'/ Tiny Wine Ninebark	24"	No. 3	4' O.C.
		Perennials			
BAP	20	Baptisia australis/ Blue False Indigo	Clump	No. 3	36" O.C.
ECH	20	Echinacea purpurea 'Magnus'/ Magnus Coneflower	Clump	No. 2	24" O.C.
PAN	30	Panicum v. 'Northwind'/ Northwind Switchgrass	Clump	No. 2	30" O.C.
CAL	62	Calamagrostis x ac. 'Karl Foerster'/ Karl Foerster Reed Grass	Clump	No. 2	24" O.C.
		Lawn			