

MINUTES
**BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
FEBRUARY 8, 2024
5:30 P.M.
RECORDED
<https://www.lakewoodoh.gov/videos-2/>**

1. ROLL CALL

Board Members

Chris Egervary

David Maniet, Chair

Hanna Cohan Plessner, Vice Chair

Staff

Amanda Cramer, Board Secretary, City Planner

William Wagner, Assistant Building Commissioner

Shawn Leininger, Director, Planning and Development

Jeremy Smith was absent from the meeting.

2. APPROVE THE MINUTES OF THE JANUARY 11, 2024 MEETING

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the January 11, 2024 meeting minutes**. All the members voted yea; the motion passed.

3. OPENING REMARKS

Staff read the Opening Remarks into the record.

SUMMARY APPROVED

At the pre-review meeting, one item was Summary Approved (any conditions will be noted). A motion and a second is needed for approval of Docket No. 02-06-24, Docket No. 02-09-24, and Docket No. 02-10-24,

SIGN REVIEW

4. Docket No. 02-06-24

13614 Madison Ave.

Peak Dental

() Approve

() Deny

() Defer

Tonia Watkins

Watkins Lighting & Sign Mtc, Inc.

300 Karl St.

Berea, OH 44017

Applicant proposes sign band signage for a new business. (Page 53)

*Summary Approved with no conditions.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request as submitted**. All the members voted yea; the motion passed.

5. Docket No. 02-09-24

**13729 Madison Ave.
Slife Heating & Cooling**

- () Approve
- () Deny
- () Defer

Shawn Warren
Erie Design Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes signage on the building front. (Page 72)

*Summary Approved with no conditions.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request**. All the members voted yea; the motion passed.

6. Docket No. 02-10-24

**17900 Detroit Ave.
Artis Hospitality**

- () Approve
- () Deny
- () Defer

Andrew Mansour
Artis Hospitality
17900 Detroit Ave.
Lakewood, OH 44107

Applicant proposes ~~sign on front of building~~ and an internally illuminated projecting sign. (Page 78)

*Summary Approved with no conditions.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request**. All the members voted yea; the motion passed.

OLD BUSINESS

SIGN REVIEW

7. Docket No. 01-03-24

**15002 Detroit Ave.
Lakewood Optical**

- () Approve
- () Deny
- () Defer

Shawn Warren
Erie Design Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes vinyl window signage and blade sign. (Page 4)

Shawn Warren, Erie Design Co. Inc. was present to explain the updated request. The members liked the reduction of vinyl window signage, discussed the placement and background color of the blade sign, talked about having wall signage in the sign band. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request with the following conditions:**

- **There will be no blade sign.**
- **There will be flat signage in the sign band (non-illuminated).**
- **Vinyl graphics as displayed (in the presentation).**

All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

8. Docket No. 02-05-24	(R)	1428 Grace Ave.
<input type="checkbox"/> Approve		Joseph Park
<input type="checkbox"/> Deny		Compass Studio
<input type="checkbox"/> Defer		7948 Mayfield Rd.
		Chesterland, OH 44026

Applicant proposes an addition and exterior renovation. (Page 10)

Nathaniel Dunn, architect with Compass Studio, representative was present to explain the request. The members liked the proposal, asked about the roof slope on the tower, materials were appropriate. Public comment was closed as no one addressed the item. No comments were received prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request.** All the members voted yea; the motion passed.

SIGN REVIEW

9. Docket No. 02-07-24		1386 Bonnieview Ave. Get Yourself Together
<input type="checkbox"/> Approve		Shawn Warren
<input type="checkbox"/> Deny		Erie Design Co. Inc.
<input type="checkbox"/> Defer		16504 Detroit Ave.
		Lakewood, OH 44107

Applicant proposes vinyl window graphics and sign in sign band. (Page 61)

Payton Mackie, business owner, and Shawn Warren, Erie Design Co. Inc., applicant, were present to explain the revised request. The members liked the proposal. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request with the following condition:**

- **An updated drawing will be submitted that showed the amended square footage (38" x 36").**

All the members voted yea; the motion passed.

10. Docket No. 02-08-24		11817 Detroit Ave. Naomi's Recipes
--------------------------------	--	---

- Approve
- Deny
- Defer

Shawn Warren
Erie Design Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes vinyl window graphics and non-illuminated blade sign. (Page 66)

Shawn Warren, Erie Design Co. Inc. was present to explain the request; signage would be for the two adjoining storefronts. Discussion ensued about the location of the total vinyl window square footage, the blade sign bracket, height/placement and font size of the window graphics/logo. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request with the following conditions:**

- **The sign bracket is mounted fully onto the red brick.**
- **The window graphics: the logo is in line, as well as the larger text are also in line across the storefront.**

All the members voted yea; the motion passed.

11. Docket No. 02-11-24

**16300 Detroit Ave.
Jersey Mike's**

- Approve
- Deny
- Defer

Laura Higgins-Woyma
Brilliant Electric Sign Company
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes an internally illuminated projecting sign on front of building. (Page 102)

Jack Maxwell, Brilliant Electric Sign Company representative was present to explain the request and read an email regarding the projecting sign placement and federal and state historic tax credits (made part of record). Window vinyl signage was not part of the package. Staff stated the project was going through the city's storefront renovation rebate program. It was clarified that business would occupy the storefront to the left/west (16308 Detroit Ave.). Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request as presented.** All the members voted yea; the motion passed.

ADD-ON

RETURN FOR MODIFICATIONS

12. Docket No. 10-68-22

(C)

**12420 Madison Ave.
K-Town Restaurant/Market**

- Approve
- Deny
- Defer

Leon Sampat
LS Architects Inc.
22082 Lorain Rd.
Fairview Park, OH 44126

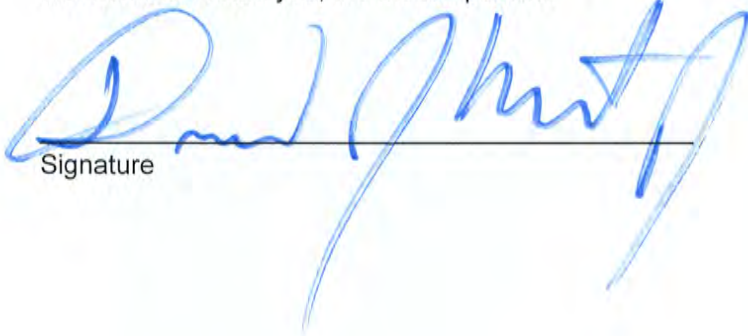
Applicant proposes modifications to approval granted at the October 13, 2022 meeting for commercial renovation into a restaurant/market. (Page 105)

Damon Kliment, General Contractor, representative stated the project address was 12500 Madison Ave. (four addresses for the entire building) and was present to explain the request. The right side wall was failing and had to be rebuilt. Mr. Wagner summarized the project. Approval was for the demolition and reconstruction, as there would be no exterior changes to the previously approved proposal. Public comment was closed as no one addressed the item. No comments were received prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request.**

ADJOURN

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **ADJOURN the meeting at 6:31 p.m.** All the members voted yea; the motion passed.



Signature

3-14-2024

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Nathaniel/Danna
- 2. Payton Mackie
- 3. Stu WARRER
- 4. Jack Maxwell
- 5. DAMON KLIMENT
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____

- [Signature]
- [Signature]
- [Signature]
- [Signature]
- [Signature]
- _____
- _____
- _____
- _____
- _____
- _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, February 8, 2024

Johanna Schwarz

From: Brian Meng <bmeng@bialosky.com>
Sent: Wednesday, January 31, 2024 5:17 PM
To: Johanna Schwarz; Amanda L. Cramer
Cc: Ian Andrews; amyjhaney@gmail.com
Subject: FW: FW: Agenda: BBS/ABR/Sign Review

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Johanna,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood ABR agenda for the 02/01/2024 Pre-Review Meeting.

- **Lakewood Optical:**
 - Suggested the ARB ask if the blade sign should be mounted on the pier in lieu of center in the sign band above the canopy. A similar condition exists at the Jewish Discovery Center.
- **Essi/Erb Residence**
 - No Comments
- **Peak Dental:**
 - No Comments
- **Get Yourself Together:**
 - We Suggest the ARB asks to clarify the large window vinyl cut logo is only for the portion demonstrated in white on the submission and that the majority of the glass with not be obscured.
- **Naomi's Recipes:**
 - We suggest the ARB ask why the Multi-Purpose Room Logo is different and if it is a different business.
- **Slife Heating & Cooling:**
 - No Comments
- **Artis:**
 - Did this project already receive approval of the storefront architecture?
 - Sheet SP-01 indicates a separate Tenant Space B. If this is to remain what signage opportunities will this tenant space have in the future?
- **Jersey Mike's:**
 - We suggest the applicant confirm that the proposed sign will not impede on the existing electrical line, assuming the line is intended to remain.



We truly appreciate the opportunity to share our thoughts with you on these applications. If you have any questions on our comments, please let us know and we would be happy to discuss further. It is exciting to see so many developments occurring in Lakewood.

Thank you,

BRIAN MENG LEED AP
Principal | Architect

BIALOSKY CLEVELAND
Celebrating 70 Years | 1951-2021

P 216 767 2023

Always By Design.

On Tue, Jan 30, 2024 at 2:16 PM Ian Andrews <ianandrews@lakewoodalive.org> wrote:

Ian Andrews

Executive Director
LakewoodAlive
12815 Detroit Avenue
Lakewood, OH 44107
216-521-0655



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Our mission is to foster and sustain vibrant and welcoming neighborhoods; your support empowers us to achieve our goals. [Donate Now](#)

Did you know that you can leave your own Lakewood legacy that will have a lasting impact? Support LakewoodAlive for years to come by making a [planned gift!](#)

Upcoming Events:

2/24/24 – [Loving Lakewood: Greatest Hits](#)



From: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Sent: Tuesday, January 30, 2024 1:15 PM

To: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Subject: Agenda: BBS/ABR/Sign Review

Good afternoon,

Please click on the link to view the February 8, 2024 BBS/ABR/Sign Review meeting. The pre-review meeting will be held Thursday, February 1, 2024 in the East Conference Room at 4:00 p.m.

https://www.lakewoodoh.gov/wp-content/uploads/2024/01/BBSARBAgenda_020824.pdf

Thank you.

Johanna Schwarz

Administrative Assistant II

City of Lakewood

Department of Planning and Development

12650 Detroit Avenue

Lakewood, Ohio 44107

(216)529-6630 main

(216)529-6631 office

www.lakewoodoh.gov

[Sign up for the City's e-Newsletter](#)

----- Forwarded message -----

From: **Heather Rudge** <heather@hpgroup-llc.com>

Date: Wed, Feb 7, 2024 at 6:57 PM

Subject: RE: City of Lakewood ABR: 16300 Detroit Ave

To: Steve Minnich <sminnich@jerseymikes.com>, mhouska@brilliantesign.com
<mhouska@brilliantesign.com>

CC: Frank Scalish <frank.scalish@scalishconstruction.com>, Wendy Kile <wendy@hpgroup-llc.com>

Steve and Myles,

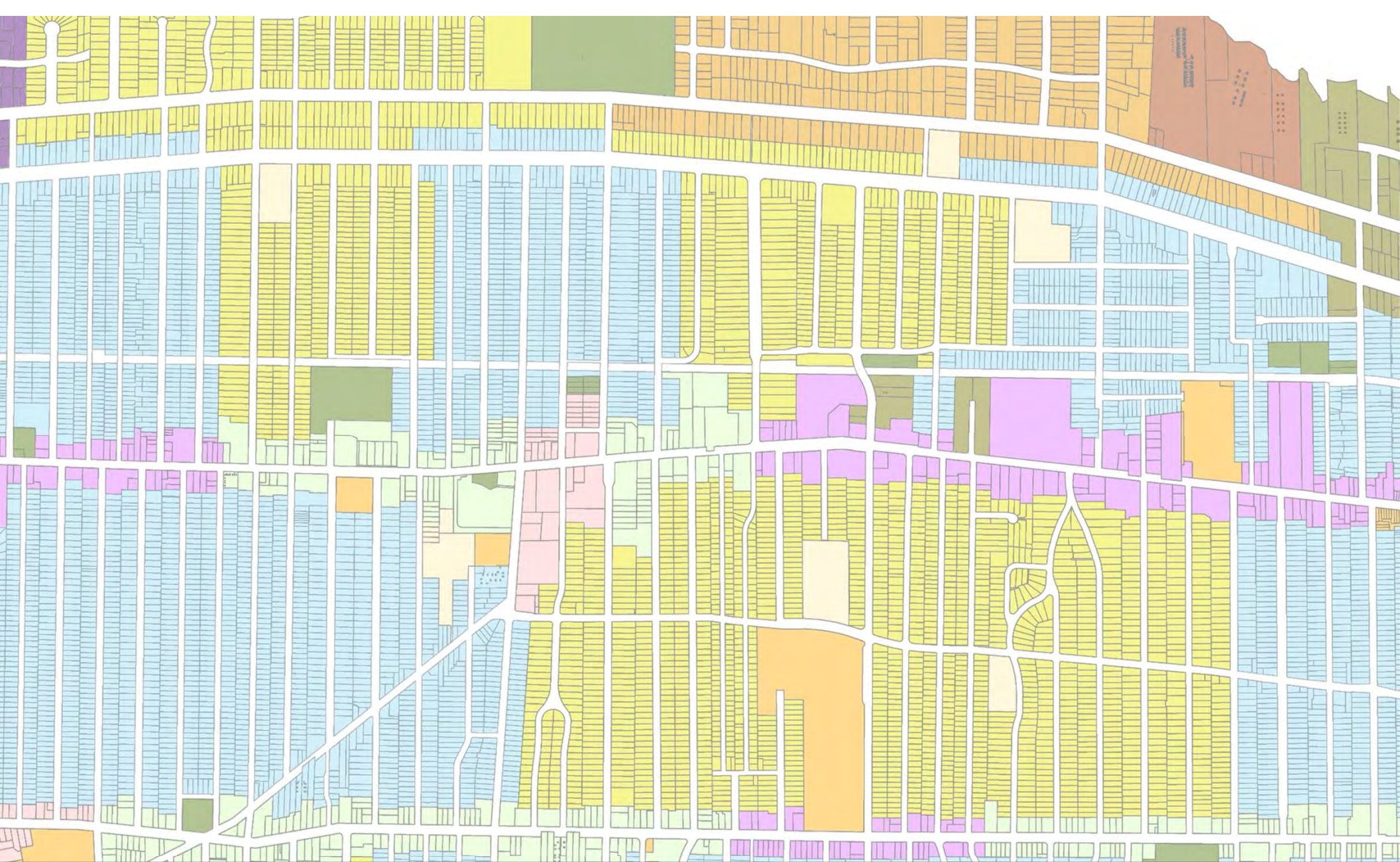
This project is receiving federal and state historic tax credits, which triggers review by the State Historic Preservation Office (SHPO) and the National Park Service (NPS). The SHPO and NPS reviewers look at the entirety of the project, not just the individual storefront or sign location for Jersey Mike's. In this case, they are also looking at the signage and storefront alterations for the adjacent building (16300 Detroit) to make sure that the signage proposed works across the entire two building assembly/streetscape. The signage locations for 16300 are preferred on the piers because it keeps the tapestry brick panels visible above the storefronts, the locations work with the tenant occupancy, and piers are of a size to handle the signage being proposed.

The front brick above the storefronts on 16306 is not original to the building. The storefronts were altered, removing the original storefronts between the original piers and brick above. Those areas were rebuilt with the brick that exists today. Signage placement with the reinstated storefront door locations for the two retail spaces must work together across the elevation. The SHPO and NPS will approve signs over the storefront doors for two reasons: 1) they will be attached to the non-original brick and 2) those locations work for the overall two building assembly/streetscape. Signage on the western pier ignores the symmetry of the building and the future tenant sign location for the other half of the building. The SHPO and NPS will not be approve on the westernmost pier where the city would prefer the Jersey Mike's sign to be located.

Please let me know if you have any questions.

Thanks,

Heather Rudge



Architectural Board of Review

February 2024



Architectural Board of Review

Pre-Review Meeting: 1 Feb, 4 pm (East Conf Rm)

Regular Meeting: 8 Feb, 5:30 pm (Auditorium)

Members

David Maniet (2023 Chair)

Hanna Cohan Plessner (2023 Vice-Chair)

Jeremy Smith

Chris Egervary

Staff

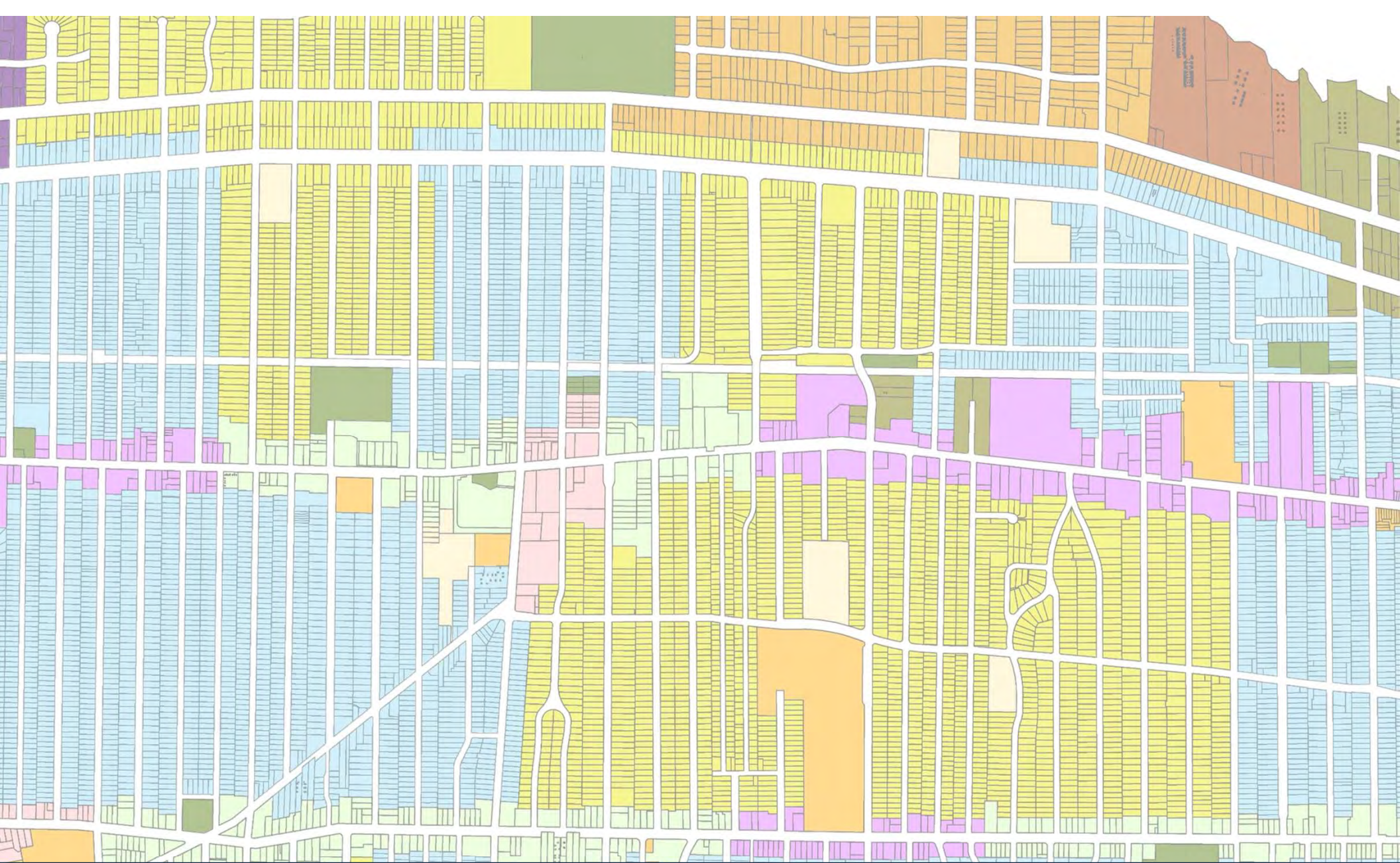
Board Secretary: Amanda Cramer, Sophia Jones

Assistant Building Commissioner: William Wagner



Architectural Board of Review
February Agenda

1. Roll call
2. Approve minutes – January 2024 meeting
3. Opening Remarks
4. Old Business
5. New Business
6. Sign Review
7. Adjourn



Architectural Board of Review

Summary Approvals – February 2024

Applicant proposes signage.

City Notes:

- Applicant proposes 2 wall signs (45 sq ft each)
- Business frontage ~ 50 sq ft; Allowed signage ~50 sq ft
- Total proposed square footage = 45 sq ft each



SUMMARY APPROVAL



Docket No. 2-6-24 (13614 Madison)

**Signage – Peak Dental
Tonia Watkins**

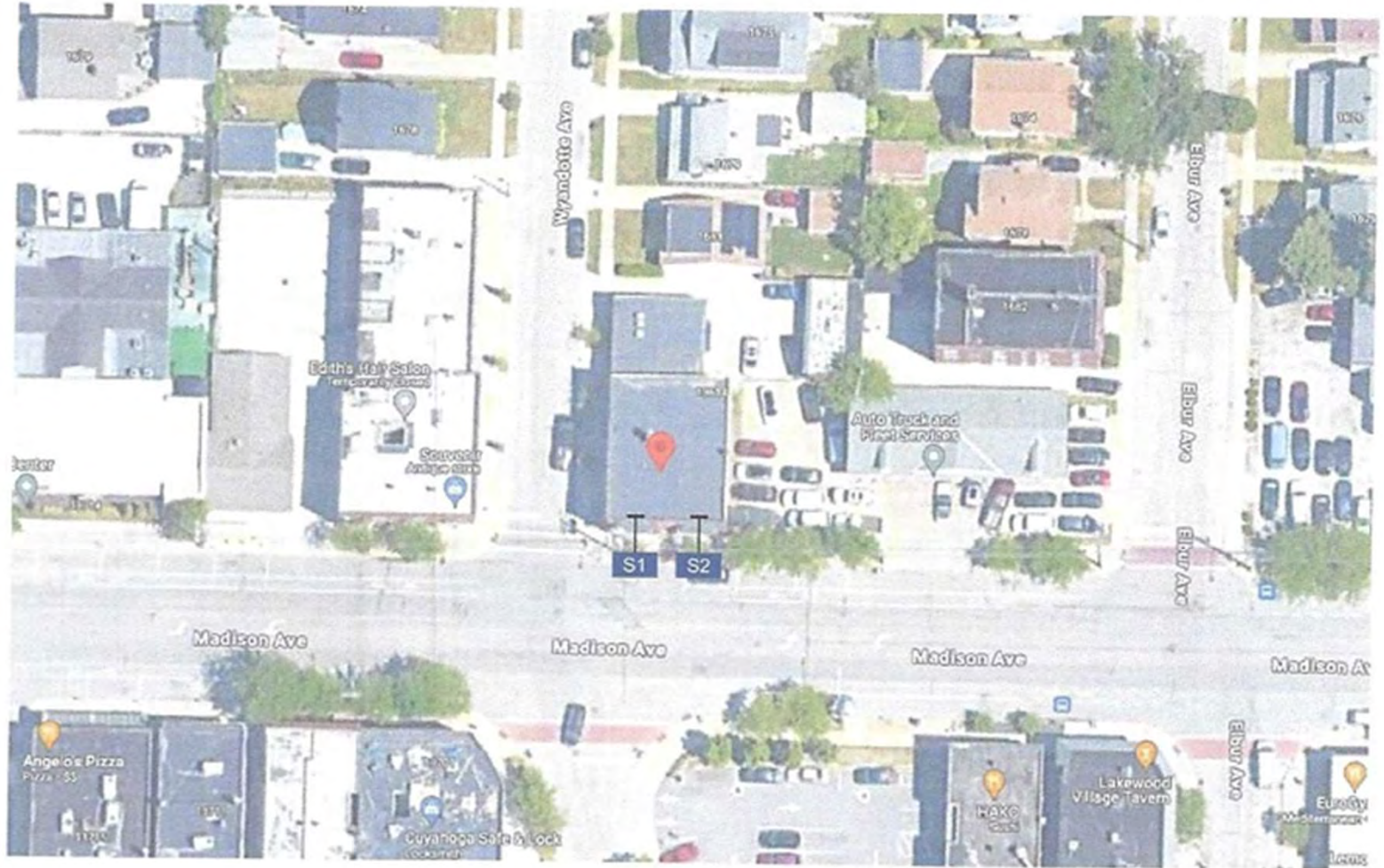
LEGEND

- S1 Panel Sign
- S2 Panel Sign

SIGNAGE CRITERIA

Code:
 Maximum sign face area = (W x 1.5) square feet, except that the total in all cases shall not exceed 100 square feet. Shall not project more than twelve inches from the building wall to which it is attached and shall be set back from the end of the building and party wall lines for a distance of at least eighteen inches and shall not project beyond any corner or above the coping or eaves of any building.
 Linear foot of frontage x 1.5
Landlord restrictions:
 N/A

- S1 46.2' x 1.5 = 69.31 SF NTE 100 SF
- S2 46.2' x 1.5 = 69.31 SF NTE 100 SF



IDENTITI
 425 N. Mansfield Rd
 18th Floor
 Schaumburg, IL 60172
 Office 847.301.0510
 ideroti.net

W.O. No. 29811
 Address 13614 Madison Ave.
 City, ST Lakewood, OH 44107

Orig. Draft 06.12.2023
 Project Mgr. Zach Edelstein
 Designer Melissa Malik

Rev. Art MM
 Rev. Date 12.01.2023
 Page Rev. 002

Customer



North 

Plan View:
 Site Plan
 Exterior



Docket No. 2-6-24 (13614 Madison)

Signage – Watkins

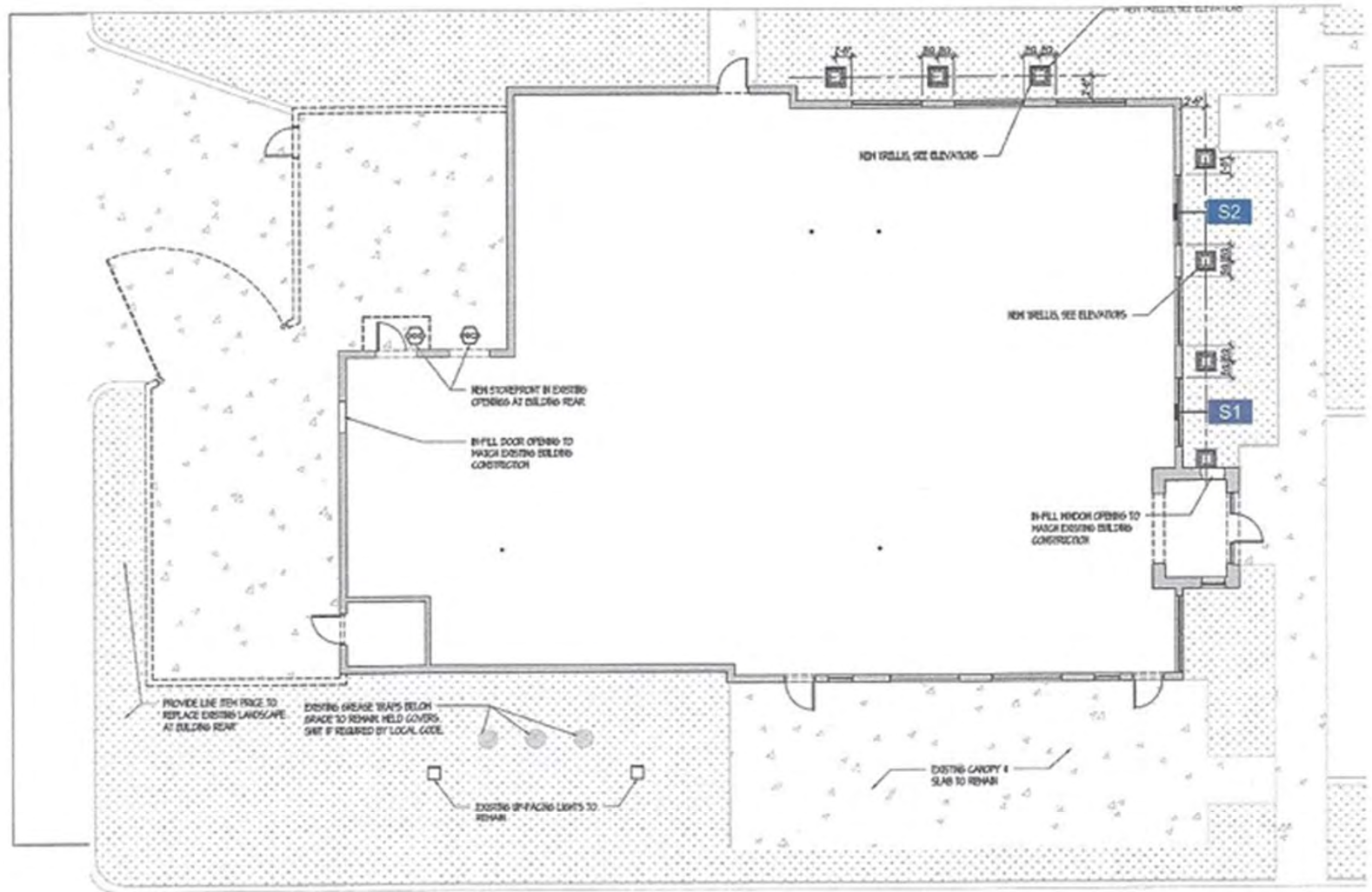
LEGEND

- S1 Panel Sign
- S2 Panel Sign

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Code:
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 Linear foot of frontage x 1.5
Landlord restrictions:
 N/A

- S1 46.2' x 1.5 = 69.31 SF NTE 100 SF
- S2 46.2' x 1.5 = 69.31 SF NTE 100 SF



IDENTITI 425 N Marringale Rd
 15th Floor
 Schaumburg, IL 60173
 Office 847.301.0510
 identiti.net

W.O. No. 29811
 Address 13614 Madison Ave.
 City, ST Lakewood, OH 44107

Orig. Draft 06.12.2023
 Project Mgr. Zach Edelstein
 Designer Melissa Malik

Rev. Art Samuel G
 Rev. Date 06.22.2023
 Page Rev. 001

Customer

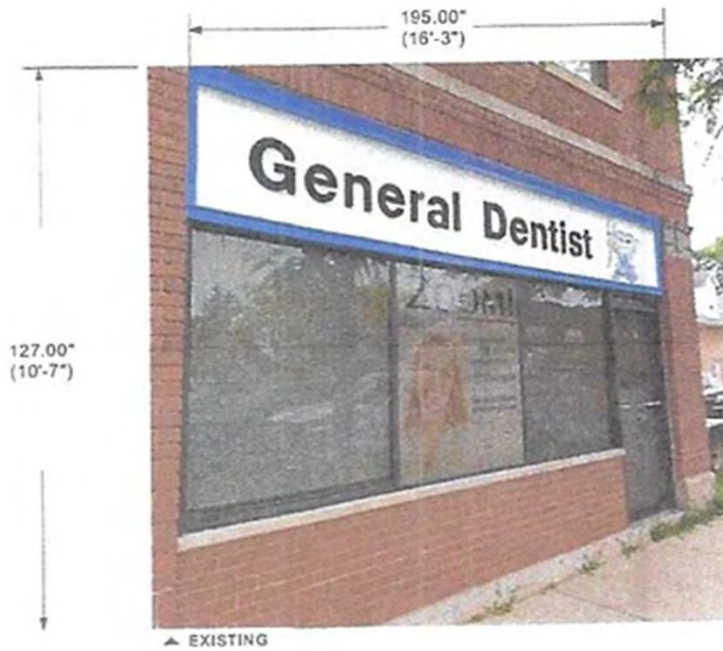


North Plan View:
Site Plan
 Exterior



Docket No. 2-6-24 (13614 Madison)

Signage – Watkins



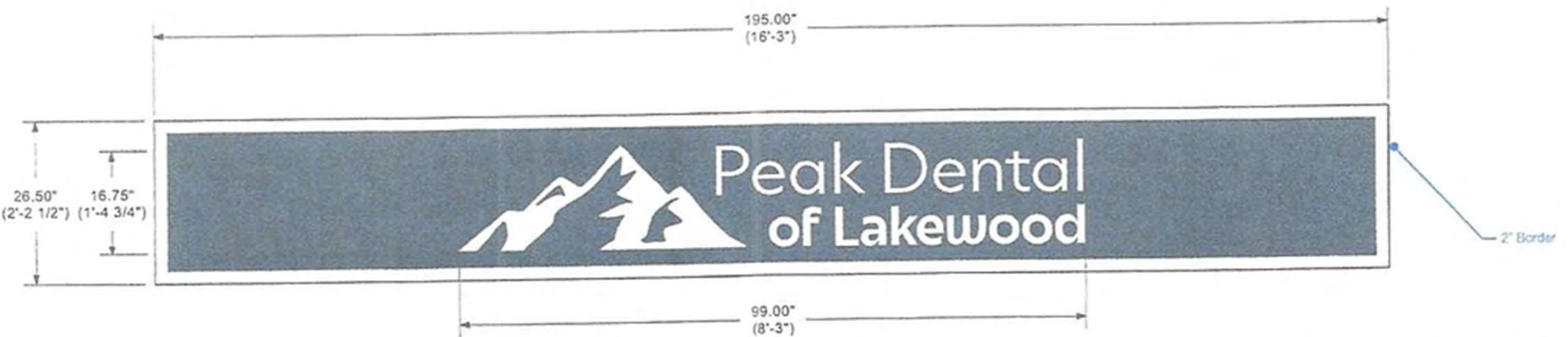
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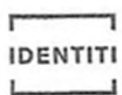
▲ PROPOSED

ALLOWED SF: 69.3

PROPOSED SF: 35.9



SCALE: 3/4\"/>



425 N Martingale Rd
16th Floor
Schaumburg, IL 60173
Office 847.301.0510
identiti.net

W.O. No. 29811
Address 13616 Madison Ave.
City, ST Lakewood, OH 44107

Orig. Draft 06.12.2023
Project Mgr. Zach Edelstein
Designer Melissa Malik

Rev. Art Samuel G
Rev. Date 06.22.2023
Page Rev. 001

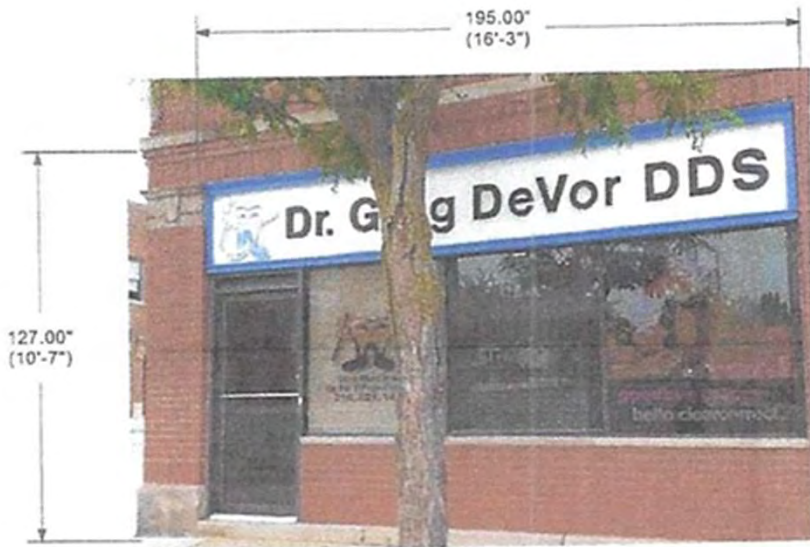
Color Palette
 Panel: Painted PMS 7545 c N/A
 Vinyl: Opaque White N/A
 N/A N/A

Sign Type:	Signage:
Aluminum panel sign painted w/ Applied vinyl - Flush Mounted	S2-2 Panel Sign

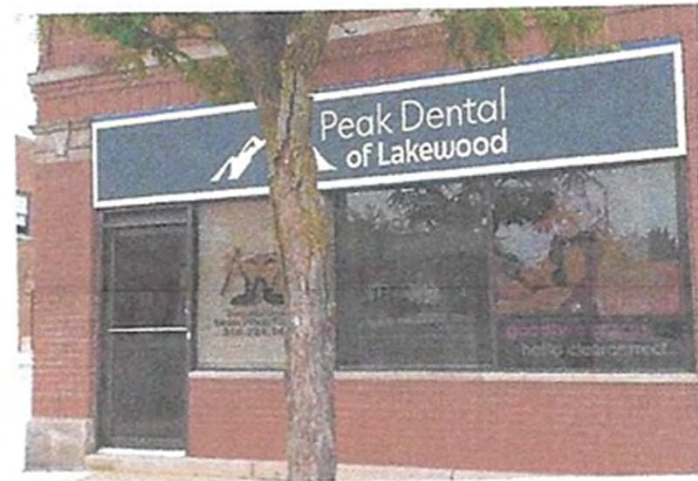


Docket No. 2-6-24 (13614 Madison)

Signage - Watkins



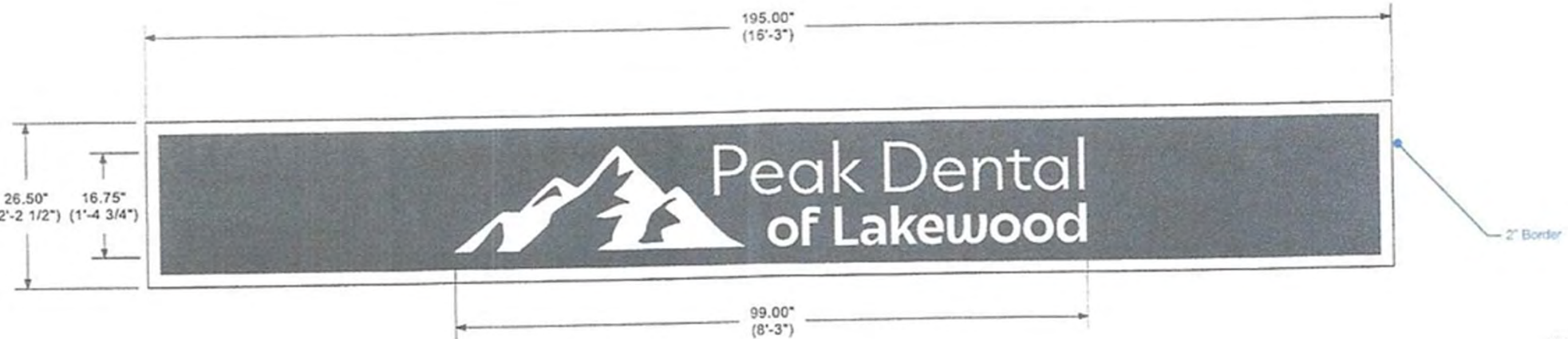
▲ EXISTING



▲ PROPOSED

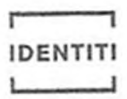
ALLOWED SF: 69.3

PROPOSED SF: 35.9



SCALE: 3/4" = 12"

Sign Type:	Signage:
Aluminum panel sign painted w/Applied vinyl - Flush Mounted	S1-2 Panel Sign



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18th Floor
Schaumburg, IL 60173
Office 847.301.0510
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Orig. Draft 06.12.2023
Project Mgr. Zach Edelstein
Designer Melissa Malik

Rev. Art Samuel G
Rev. Date 06.22.2023
Page Rev. 001

Color Palette

- Panel: Painted PMS 7545 c N/A
- Vinyl: Opaque White N/A
- N/A N/A



Docket No. 2-6-24 (13614 Madison)

Signage - Watkins

Applicant proposes signage.

City Notes:

- Applicant proposes 1 wall sign (22 sq ft)
- Business frontage ~ 38 sq ft; Allowed signage ~38 sq ft
- Total proposed square footage = 22 sq ft



SUMMARY APPROVAL



Docket No. 2-9-24 (13729 Madison)

**Signage – Slife Heating-Cooling
Shawn Warren**

Cut vinyl on
 /8" MaxxMetal (Aluminum with PVC Center)



Building as is

	CLIENT:	Slife	JOB #:	DATE:	1-3-23
	ADDRESS:	13729 Madison Ave.	SALESPERSON/ DESIGNER:	DATE:	
	REVISION HISTORY:	DATE:	CHANGES MADE:		
				CLIENT SIGNATURE OF APPROVAL:	DATE:

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



Docket No. 2-9-24 (13729 Madison)
 Signage – Warren

Cut vinyl on
 /8" MaxxMetal (Aluminum with PVC Center)



CLIENT:	Slife	JOB #:	DATE:
ADDRESS:	13729 Madison Ave.	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY:	CHANGES MADE:		
DATE:	CLIENT SIGNATURE OF APPROVAL DATE:		

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



Docket No. 2-9-24 (13729 Madison)
 Signage – Warren

MAXX METAL

3 mm Thick
PVC

.21mm Thick
Aluminum



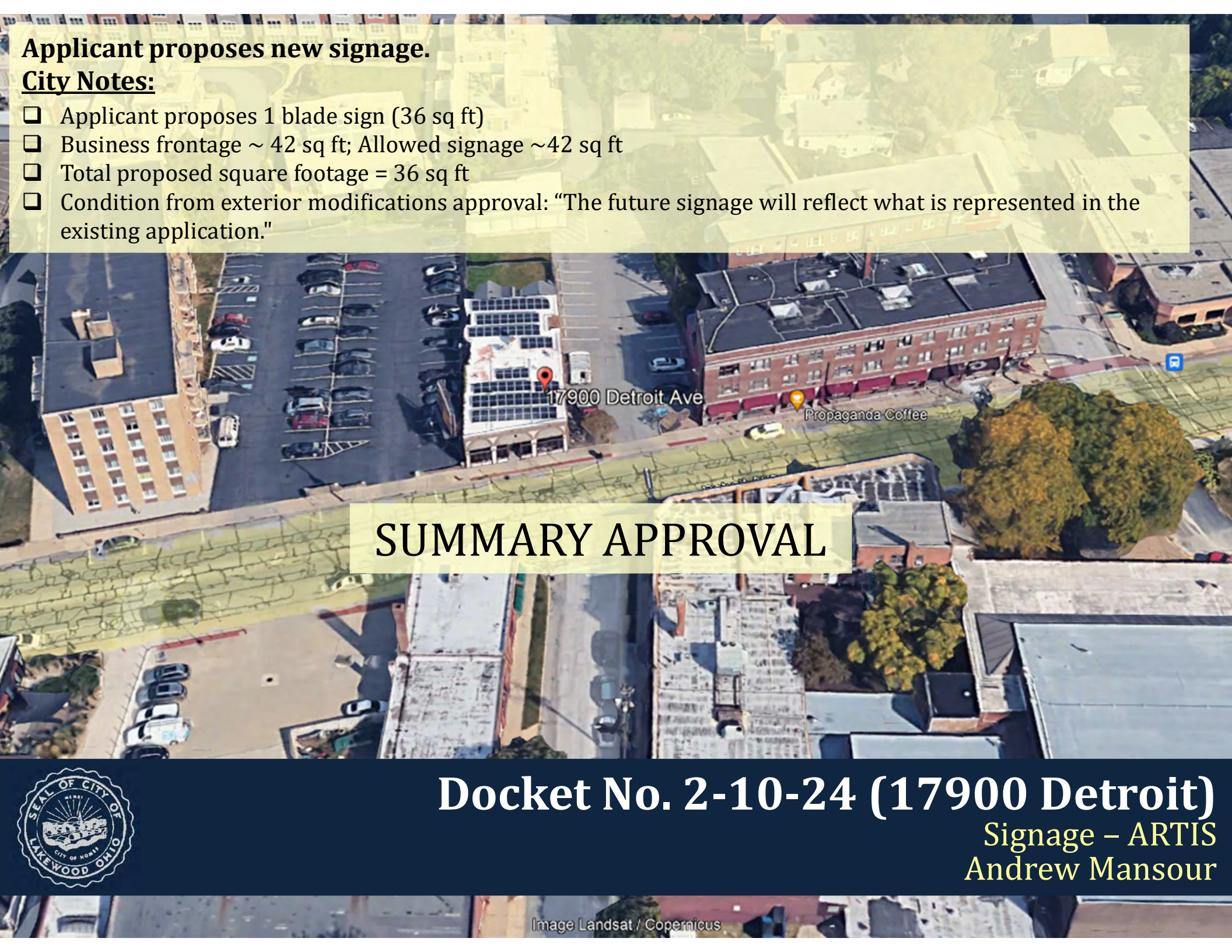
Docket No. 2-9-24 (13729 Madison)

Signage – Warren

Applicant proposes new signage.

City Notes:

- Applicant proposes 1 blade sign (36 sq ft)
- Business frontage ~ 42 sq ft; Allowed signage ~42 sq ft
- Total proposed square footage = 36 sq ft
- Condition from exterior modifications approval: "The future signage will reflect what is represented in the existing application."

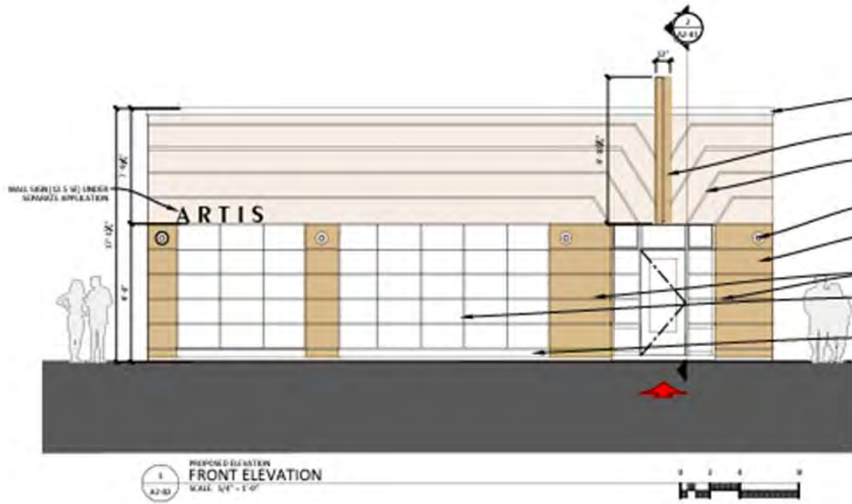


SUMMARY APPROVAL

Docket No. 2-10-24 (17900 Detroit)

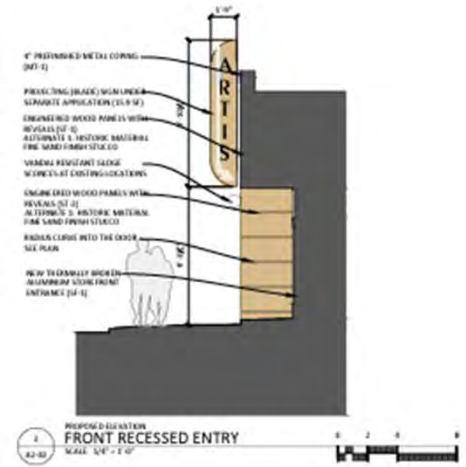
Signage – ARTIS
Andrew Mansour





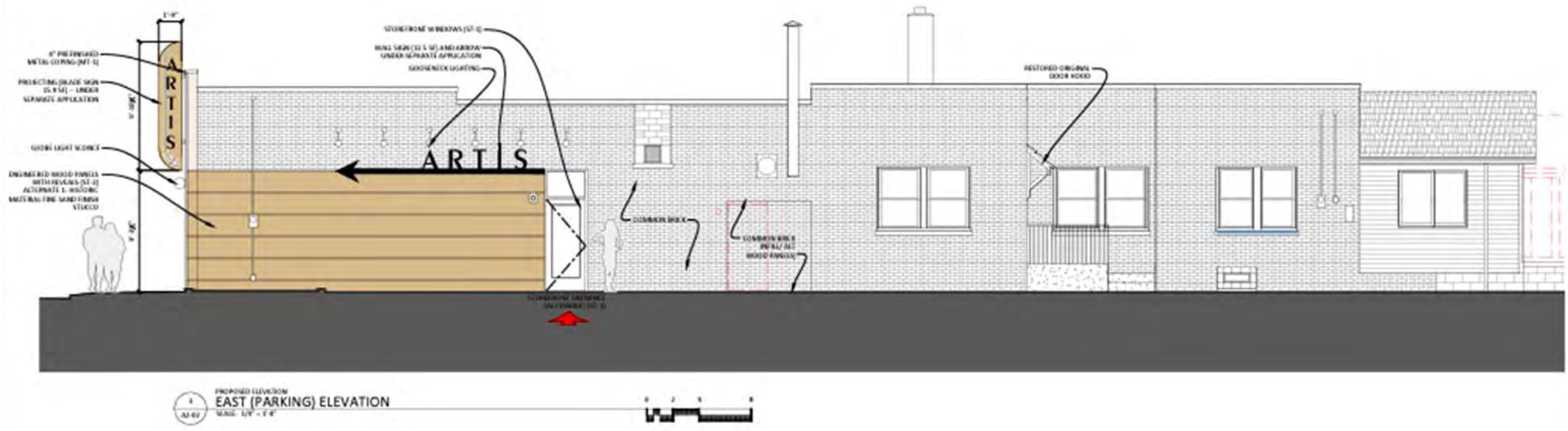
PROPOSED ELEVATION
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

- 4" PRESERVED METAL CORNING (NOT 4)
- BLACK VINYL LINER SEPARATE APPLICATION
- ENGINEERED WOOD PANELS WITH REVEALS (NOT 4)
- ALUMINUM & BRASS/BRONZE MATERIAL FIRE SAND FINISH STUCCO
- VENEER RESISTANT GUDGE MOUNTS AT EXISTING LOCATIONS
- ENGINEERED WOOD PANELS WITH REVEALS (NOT 2)
- ALUMINUM & BRASS/BRONZE MATERIAL FIRE SAND FINISH STUCCO
- RADIUS CORNER INTO THE DOOR-SEE PLAN
- NEW THICKENED BROWN ALUMINUM STOREFRONT WINDOWS WITH MOUNTING (NOT 4)
- PRESERVED METAL BRUSH FINISH WITH CLEAR TO MATCH (NOT 4)



PROPOSED ELEVATION
FRONT RECESSED ENTRY
SCALE: 1/8" = 1'-0"

- 4" PRESERVED METAL CORNING (NOT 4)
- PROJECTING (BLACK) VINYL LINER SEPARATE APPLICATION (NOT 4)
- ENGINEERED WOOD PANELS WITH REVEALS (NOT 4)
- ALUMINUM & BRASS/BRONZE MATERIAL FIRE SAND FINISH STUCCO
- VENEER RESISTANT GUDGE MOUNTS AT EXISTING LOCATIONS
- ENGINEERED WOOD PANELS WITH REVEALS (NOT 2)
- ALUMINUM & BRASS/BRONZE MATERIAL FIRE SAND FINISH STUCCO
- RADIUS CORNER INTO THE DOOR-SEE PLAN
- NEW THICKENED BROWN ALUMINUM STOREFRONT WINDOWS WITH MOUNTING (NOT 4)
- PRESERVED METAL BRUSH FINISH WITH CLEAR TO MATCH (NOT 4)



PROPOSED ELEVATION
EAST (PARKING) ELEVATION
SCALE: 1/8" = 1'-0"

- 4" PRESERVED METAL CORNING (NOT 4)
- PROJECTING (BLACK) VINYL LINER SEPARATE APPLICATION
- GLOBE LIGHT MOUNTS
- ENGINEERED WOOD PANELS WITH REVEALS (NOT 2)
- ALUMINUM & BRASS/BRONZE MATERIAL FIRE SAND FINISH STUCCO

- STONE/IRON MOUNTS (NOT 4)
- BLACK VINYL LINER SEPARATE APPLICATION UNDER UPWARD LIGHTING

RESTORED ORIGINAL DOOR WOOD

NOT FOR CONSTRUCTION

DATE:	
SCALE:	
PROJECT:	
CLIENT:	
ARCHITECT:	
DATE:	

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Artis Restaurant
Proposed Renovations to Accommodate:
Artis Restaurant
17900 Detroit Ave. Lakewood, Ohio 44107

PROPOSED ELEVATIONS
DATE: 11.28.2022
SCALE: A2-02



Docket No. 2-10-24 (17900 Detroit)

Restaurant Renovation – Mansour

17900 DETROIT AVENUE
LAKEWOOD, OHIO 44107

ARTIS RESTAURANT

PREPARED FOR:
 PROJECT NO.:
 DATE:
 DRAWING NO.:
 SHEET NO.:
 SHEET TOTAL:

PROJECT SCOPE & DATA:

A SUMMARY OF CODE AND BUILDING INFORMATION LISTED BELOW. PLEASE REFERENCE LS-01 AND LS-02 FOR MORE DETAILED INFORMATION.

PROJECT INFO:

TENANT RINGOUT WORK: THIS IS A REMODELING OF AN EXISTING RESTAURANT AND BAR (THIS SIDE QUOTE) AS A NEW RESTAURANT AND LOUNGE. NO CHANGE IN USE GROUP OR CONSTRUCTION CLASSIFICATION WILL OCCUR AS A RESULT OF THIS RENOVATION.

PPN: 311-22-022
 17900 DETROIT AVENUE
 LAKEWOOD, OHIO 44107

CONSTRUCTION TYPE: BB - INT. WITH VS. AD. ADDITIONS
 EXISTING, NO CHANGE

TOTAL BUILDING AREA: MAIN LEVEL: 4,382 SF + DETACHED GARAGE
 BASEMENT LEVEL: 3,200 SF

REMODELED AREA: 2,785 SF

CURRENT USE: RESTAURANT (A2), 5-2 OCCUPANCY/RESIDENTIAL (R OCCUPANCY)

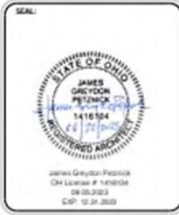
PROPOSED USE: UNCHANGED

LOT AREA: 9,968 SF
 ZONING: C2 - COMMERCIAL RETAIL

OCCUPANCY:
 Main Level: 311 Area A: 24
 311 Area B: 30
 Total Main Level: 54

Basement Level: 311 Area A: 7
 311 Area B: 2
 Total Basement Level: 10

OCCUPANCY CATEGORY: B (ASCE 7 Table 1-1)
 SITE CLASS: 2
 IMPORTANCE FACTOR: 1
 SEISMIC DESIGN CATEGORY: B



DATE	REVISION
06/22/2023	DATE PLOTTED
06/22/2023	DATE CHECKED
06/22/2023	DATE APPROVED
06/22/2023	DATE CONTRACT

SYMBOL LEGEND:

TYPICAL DESIGNATION TAGS:

- FLOOR FINISH
- POUR/US FILL
- CONCRETE
- CONCRETE / MASONRY
- BRICK / MASONRY
- GYP/PLM WALLBOARD
- RIGID INSULATION
- BATT INSULATION
- WOOD SOLID SECTION
- WOOD BLOCKING
- WOOD BLOCKING (CUT)
- WOOD PLYWOOD
- EXISTING DOOR SYMBOL
- PROPOSED NEW DOOR SYMBOL
- FLOOR DESIGNATION
- ELEV. HEIGHT DESIGNATION
- REVISION CLOUD & DEFS.

SECTION TAG:

- SECTION DESIGNATION
- SHEET DESIGNATION

INTERIOR ELEVATION TAG:

- SECTION DESIGNATION
- SHEET DESIGNATION

EXTERIOR ELEVATION TAG:

- SECTION DESIGNATION
- SHEET DESIGNATION

SHEET INDEX:

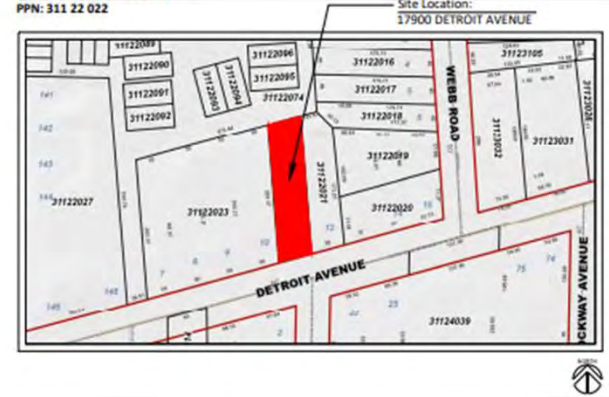
ARCHITECTURAL DRAWINGS	STRUCTURAL DRAWINGS
00-00 TITLE SHEET, GENERAL NOTES, SHEET INDEX & PROJECT DATA	S1-00 GENERAL STRUCTURAL NOTES
00-01 SURVEY	S1-01 DRAWING PLANS
00-02 GENERAL AND ARCHITECTURAL SITE PLAN	
LS-01 LIFE SAFETY/CODE ANALYSIS	
LS-02 LIFE SAFETY/CODE PLAN	
AD-01 AS FOUND / DEMOLITION BASEMENT PLAN	M3-01 MECHANICAL SPECIFICATIONS
AD-02 AS FOUND / DEMOLITION FIRST FLOOR PLAN	M3-02 MECHANICAL PLANS AND DETAILS
AD-03 DEMOLITION ELEVATION PLAN	
AD-01 INTERIOR WALL TYPES	M4-01 MECHANICAL SPECIFICATIONS
AD-01 ARCHITECTURAL FLOOR PLAN - BASEMENT	M4-02 MECHANICAL PLANS AND DETAILS
AD-01 ARCHITECTURAL FLOOR PLAN - FIRST FLOOR	
AD-00 EXISTING EXTERIOR CONDITIONS - PHOTOGRAPHY	P1-01 PLUMBING SPECIFICATIONS
AD-01 EXISTING ELEVATIONS AND HISTORIC PHOTOS	P1-02 PLUMBING SCHEDULES AND DETAILS
AD-02 EXTERIOR ELEVATIONS	P2-01 PLUMBING PLANS
AD-03 EXTERIOR RENDERING, DETAILS, AND MATERIALS	
AD-04 STOREFRONT ELEVATIONS/PLAN DETAILS	
AD-05 EXTERIOR WALL SECTION/DETAIL	
AS-03 RESTROOM PLANS AND ELEVATIONS	
AS-02 INTERIOR ELEVATIONS	
AS-03 INTERIOR ELEVATIONS	
AB-01 FINISH PLAN	
AB-01 REFLECTED CEILING AND LIGHTING PLAN	
AP-01 DOOR SCHEDULE, TYPES AND DETAILS	
FE-01 FOOD EQUIPMENT PLAN	

GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRA WORK SHALL NOT BE ALLOWED FOR UN-APPROVED EXISTING OR CONSTRUCTION CONDITIONS TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
- THE CONSTRUCTION DOCUMENTS AS SHOWN BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
 - ALL WORK SHALL BE PERFORMED TO THE HIGHEST QUALITY STANDARDS FOR QUALITY WORKMANSHIP. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE ORGANIZATION STANDARDS.
 - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, INTERNATIONAL, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHOD, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE REGULATIONS INCLUDING ADA ACCESSIBILITY STANDARDS (PERMITS, FEES AND TAXES). THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND INSURANCE NECESSARY FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FROM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OTHER RECEIPTS FOR THE SAME.
 - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR

- OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. A SUBSTANTIAL COMPLETION CERTIFICATE WILL BE ISSUED AND DISTRIBUTED BY THE ARCHITECT.
- REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA), LATEST EDITION.
- ALL CONTRACTORS ENGAGED BY THE G.C. SHALL BE BONDED, LICENSED CONTRACTORS, HAVING GOOD LABOR RELATIONS, CAPABLE OF PERFORMING QUALITY WORKMANSHIP AND CAPABLE OF WORKING IN HARMONY WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS.
- PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE. ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE OWNER AND/OR AS REQUIRED BY LOCAL & STATE AGENCIES.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MOODED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED WITHIN THESE DRAWINGS.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAJOR WORK HEADROOM, AND AVOID OBSTRUCTIONS. EACH SUBCONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE CONTRACT WORK, INCLUDING RIGGING OF MATERIALS AND EQUIPMENT, ALL HANGERS, SUPPORTS, ANCHORS, SURGUNG MEANS, CONDUIT, WIRE, FITTINGS, AND/OR SLEEVES.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ECT.) SHALL WORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.
- THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS. UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST AND RESIDUE AND CURB, GULLER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.
- ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET

SITE LOCATION:



- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING CONDITIONING, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- ALL WORK SUBCONTRACTORS SEPARATELY BY THE TENANT'S INTERIOR CONSULTANT IS THE RESPONSIBILITY OF THE INTERIORS CONSULTANT TO MEET THE CODE REQUIREMENTS OF THE OBC AND PERMIT AS APPROVED. CONTRACTOR TO FACILITATE THE WORK AND COORDINATE ALL ITEMS WITHIN THE SCOPE OF THE INTERIORS CONSULTANT.
- SUBSTITUTIONS AND QUALIFICATIONS, ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTIONS OF ALTERNATE. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ECT. WHICH IN THE GENERAL CONTRACTOR'S OPINION REDUCE THE TOTAL COST OF THE JOB SHALL BE OBTAINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG-LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PREPARED SUBMITTALS FOR MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECTS REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/OWNER'S REVIEW OF SHOP AND DETAIL DRAWINGS IS A

CLEVELAND
D R A W
 DESIGN & RESTORATION
 ARCHITECTURE WORKSHOP

Artis Restaurant
 Proposed Renovations to Accommodate:
Artis Restaurant
 17900 Detroit Ave., Lakewood, Ohio 44107

TITLE SHEET, GENERAL NOTES, SHEET INDEX & PROJECT DATA
 DATE: 06.22.2023
TO-00



Docket No. 2-10-24 (17900 Detroit)

Restaurant Renovation - Mansour

GENERAL NOTES

GROUND FLOOR ELEVATION 100'-0" AFF IS EQUIVALENT TO CIVIL ELEVATION 677.38'

DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF MAJORITY OF EXTERIOR FACE OF STRUCTURE, UNLESS OTHERWISE NOTED.

ALL INTERIOR DIMENSIONS ARE FROM FINISH FACE OF WALL.

ALL DOORS TO BE LOCATED 3" FROM HANGERS WALLS AT HANGERS BIDE (TYPICAL UNLESS NOTED OTHERWISE).

ALL STOREFRONT ROUGH OPENINGS MUST BE FIELD VERIFIED BEFORE PRICING, FABRICATION & INSTALLATION.

THE NUMBER AND LOCATIONS OF FIRE EXTINGUISHERS SHALL BE LOCATED & APPROVED BY THE LOCAL FIRE MARSHAL OR AUTHORITY HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL PROVIDE NEW FIRE EXTINGUISHERS, NEW RECEIVED CABINETS (AS NOTED), NEW STANDARD WHITE, RECEIVED CABINET (AS NOTED), AND ASSOCIATED FRAMING AND DRYPWALL FLOORING AS REQUIRED TO FULLY COMPLY WITH THE APPLICABLE LOCAL BUILDING CODE'S. FINAL LOCATIONS TO BE COORDINATED IN THE FIELD WITH THE OWNER AND ARCHITECT.

ALL KITCHEN EQUIPMENT IS TO BE SUPPLIED BY OWNER'S REPRESENTATIVE CONTRACTOR / SUPPLIER. GENERAL CONTRACTOR AND/OR SUB-CONTRACTOR IS RESPONSIBLE FOR SETTING EQUIPMENT IN PLACE AND PROVIDING CONNECTION FOR EQUIPMENT NEETS RECOMMENDATIONS TO ENSURE PROPER OPERATION.

ALL CONCRETE IS TO BE REPAIRED AS REQUIRED BY NEW WORK, INFILLED TO MATCH EXISTING TEXTURE AND FINISH THEN CLEANED AND FINISHED TO MATCH EXISTING.

TYPICAL EXTERIOR WALL CONSTRUCTION:
EXISTING 12" MASONRY

OUTSIDE WALL CONSTRUCTION:
1. REFER TO EXTERIOR PARTITION TYPES ON SHEET AD-01. ALL WALL CONSTRUCTION IS TYPE "A" UNLESS NOTED OTHERWISE.

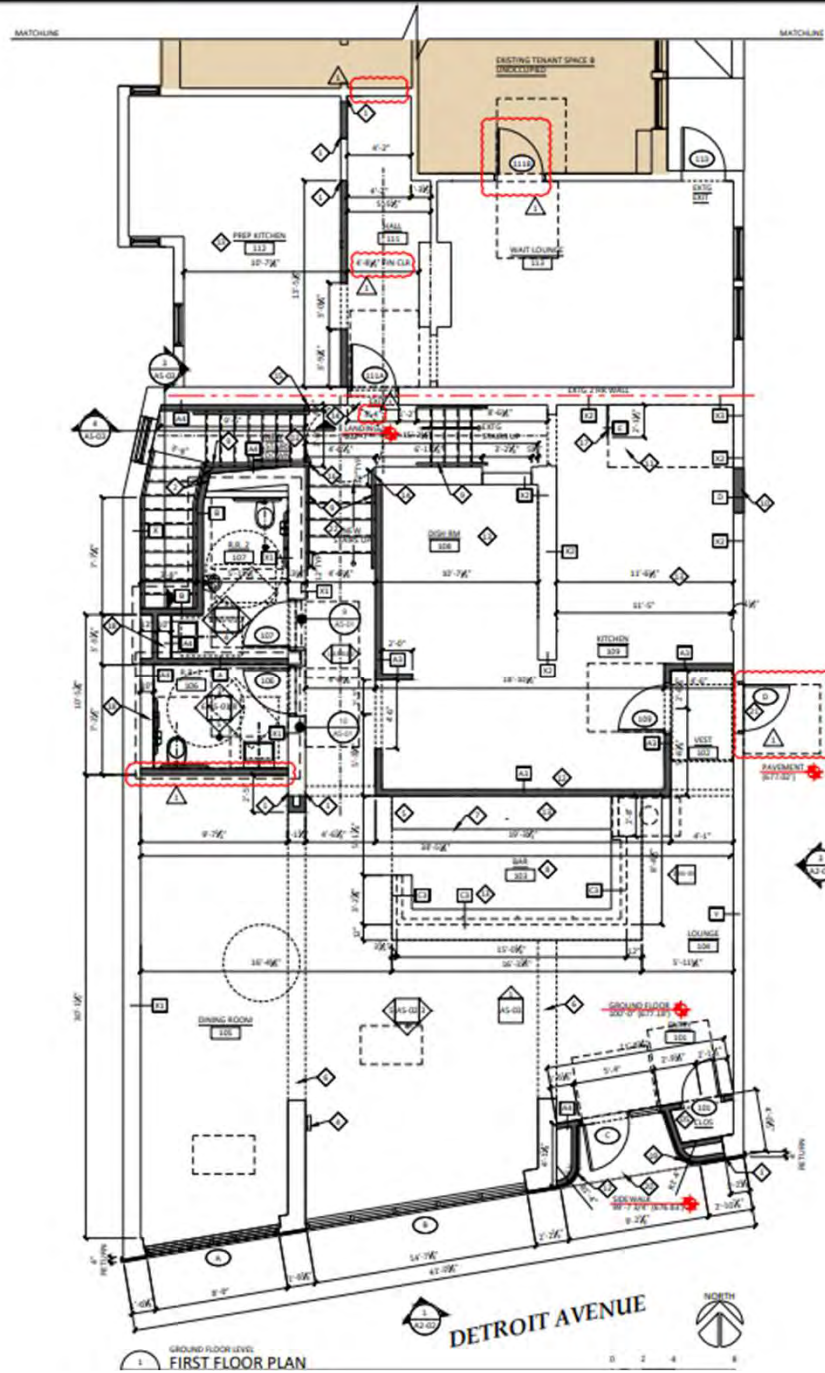
TEMPORARY ENCLOSURES SHALL BE PROVIDED BY THE CONTRACTOR OVER AND/OR AROUND ANY EXTERIOR OPENINGS AS NECESSARY FOR THE PROPER INSTALLATION OF ANY PORTION OF WORK AND SECURITY OF THE BUILDING.

THE FOLLOWING SYSTEMS WILL ALSO BE PROVIDED & INSTALLED BY THE OWNER'S REPRESENTATIVE CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WORK WITH ALL OTHER TRADES AS OUTLINED WITHIN & INTERFACES WITH OWNER'S REPRESENTATIVE CONTRACTOR AS REQUIRED (ALSO REFER TO REFLECTED CEILING PLAN) PRIOR TO INSTALLATION. THE G.C. SHALL ORGANIZE A PRE-INSTALL CONFERENCE WITH EACH OF THE OWNER'S REPRESENTATIVE CONTRACTORS.

- INTERIOR CONSULTANT
- FOOD SERVICE EQUIPMENT CONSULTANT
- SECURITY ALARM & CAMERA EQUIPMENT
- SOUND SYSTEM (SPEAKERS & CONTROLS)

PLAN KEY NOTES

- ◆ ALIGN TO EXTG
- ◆ FURR OUT FROM NEW M.G. TO FLANE GWS STARIGHT AND FLUSH FOR 2" R' FINISHED CLEAR
- ◆ NEW WOOD FRAMED STAIRS DOWN, MIN 2" 4" CLR. S.B. @4'-0"/11" T. REF AS-01
- ◆ EXTG FIRE ALARM PANEL. REF MEP
- ◆ SOUND EQUIPMENT AND CONTROLS. OPTIONAL LOCATIONS. CONSULT OWNER/OWNER'S CONSULTANT AT ROUGH FRAMING
- ◆ BEAM ABOVE REF RCP
- ◆ MILLWORK
- ◆ NEW BAR FRAMING AND FINISHES
- ◆ 1.5" O.D. PIPE RAIL HANDRAIL AT 34" AFF. PAINTED
- ◆ EXTERIOR INFILL-FLUSH NEW CWB/FLUSH TO INSIDE WITH FRAMING INSULATION AND EXTERIOR FINISH PER ELEVATIONS
- ◆ EXISTING TYPE 2 HOOD TO REMAIN
- ◆ OPTIONAL WAIT STATION PASS THRU. LOCATE WITH OWNER DURING FRAMING
- ◆ FOOD SERVICE EQUIPMENT - REFERENCE FOOD SERVICE DRAWINGS AND MAP
- ◆ FINISH MASONRY OPENING AFTER DEMO TO MATCH SURROUNDING
- ◆ RETURN HANDRAIL TO WALL
- ◆ JOIN HANDRAIL FOR CONTINUOUS BEND
- ◆ ST STL HOOD SIDE CURTAIN. REF AD-00
- ◆ FURR WALL. REFERENCE INTERIOR ELEVATION FOR HEIGHT
- ◆ NEW RADIUS ENTRY WALLS. REF ELEVATIONS
- ◆ NEW ENTRY CONCRETE STEP-4-1/4" APPROX. W/ NEW DOOR AT EXISTING ENTRY. CONFIRM/ENSURE FLUSH PAVIDENT TRANSITION CONDITION FOR NEW ADA ENTRY
- ◆ NEW WOOD FRAMED STAIRS UP. MIN 4" 4" CLR. S.B. @4'-0"/11" T. REF AS-02



DATE: 06.22.2023
 DRAWN BY: JGP
 CHECKED BY: JGP
 PROJECT: 17900 DETROIT

CLEVELAND
DRAW
 DESIGN & RESTORATION
 ARCHITECTURE WORKSHOP

Artis Restaurant
 Proposed Renovations to Accommodate:
Artis Restaurant
 17900 Detroit Ave., Lakewood, Ohio 44107

PROPOSED FLOOR PLAN
 DATE: 06.22.2023
 SCALE: 1/8" = 1'-0"



Docket No. 2-10-24 (17900 Detroit)

Restaurant Renovation – Mansour

LOCAL PRECEDENTS



CLEVELAND GREYHOUND BUS STATION



CLEVELAND GREAT LAKES EXPOSITION 1937



MILES ROAD DRIVE-IN



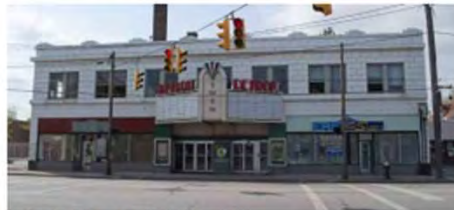
HALSTEAD AT MADISON - LAKEWOOD



BLOSSOM PARK AT DETROIT - LAKEWOOD



CLEVELAND GREYHOUND BUS STATION



DETROIT THEATER MARQUEE - LAKEWOOD



SEAL:
NOT FOR CONSTRUCTION

DATE: 11.28.2022
DATE: 11.28.2022

CLEVELAND
D R A W
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Proposed Renovations to Accommodate:
Artis Restaurant
17900 Detroit Ave. Lakewood, Ohio 44107

EXISTING CONDITIONS
PRECEDENTS
DATE: 11.28.2022
A P 01



Docket No. 2-10-24 (17900 Detroit) Restaurant Renovation – Mansour



1 EXISTING CONDITIONS
FRONT (SOUTH) ELEVATION AT DETROIT
A2-00 SCALE: N.T.S.



2 EXISTING CONDITIONS
FRONT (SOUTHWEST) CORNER AT DETROIT
A2-00 SCALE: N.T.S.



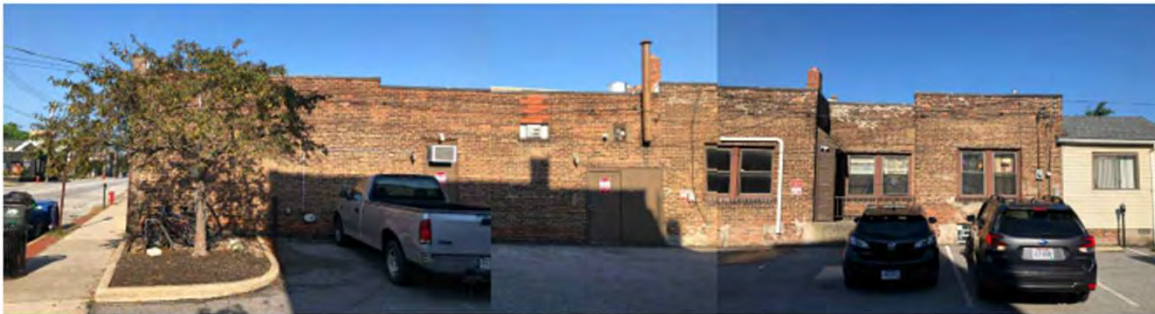
3 EXISTING CONDITIONS
FRONT (SOUTH) ELEVATION AT SIDEWALK
A2-00 SCALE: N.T.S.



4 EXISTING CONDITIONS
FRONT (SOUTH) ELEVATION AT SIDEWALK DETAIL
A2-00 SCALE: N.T.S.



5 EXISTING CONDITIONS
FRONT (SOUTHEAST) CORNER AT SIDEWALK DETAIL
A2-00 SCALE: N.T.S.



6 EXISTING CONDITIONS
SIDE (EAST) CORNER AT CITY PARKING LOT
A2-00 SCALE: N.T.S.



7 EXISTING CONDITIONS
REAR WOOD FRAMED ADDITIONS
A2-00 SCALE: N.T.S.

SEAL:
NOT FOR CONSTRUCTION

DATE: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

Artis Restaurant
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Artis Restaurant
17900 Detroit Ave. Lakewood, Ohio 44107

EXISTING CONDITIONS
DATE: 11.28.2022
SCALE: A2-00



Docket No. 2-10-24 (17900 Detroit)

Restaurant Renovation – Mansour



1 HISTORIC FACADE - STUCCO LATE 1930S - MAHEUS TAVERN
SCALE: N.T.S.



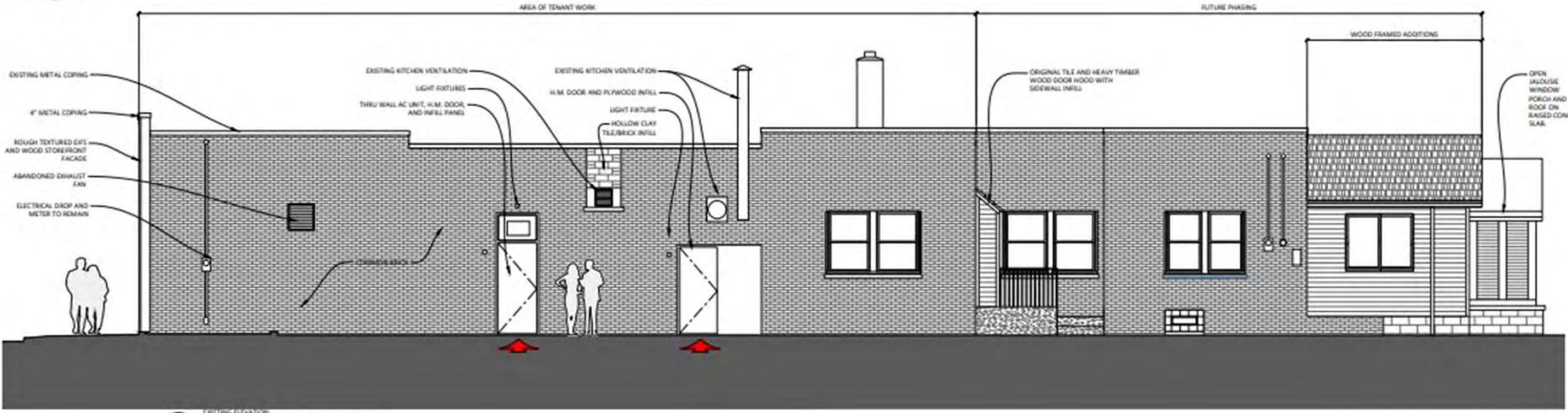
2 HISTORIC FACADE - REMODELED BRICK LATE 1970S - CUCKOO'S NEST
SCALE: N.T.S.

- BLADE SIGNAGE
- STUCCO MASONRY COPING
- STUCCO OVER CORNER BRICK MASONRY
- INGET TILE IN STUCCO
- RETRACTABLE AWNING
- WOOD STOREFRONT/PLATE GLASS

- DEMOLISHED ORIGINAL FACADE FOR NEW WOOD SHINGLE HOOD
- SOLID DOOR
- SIGNAGE
- PUNCHED WINDOWS
- AFFRUI FACE BRICK VENEER



EXISTING ELEVATION
1 AS-FOUND FRONT ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING ELEVATION
4 EAST (PARKING) ELEVATION
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

DATE:	11.13.2022
DATE:	11.28.2022
REVISION:	
DATE:	
DATE:	

CLEVELAND
DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

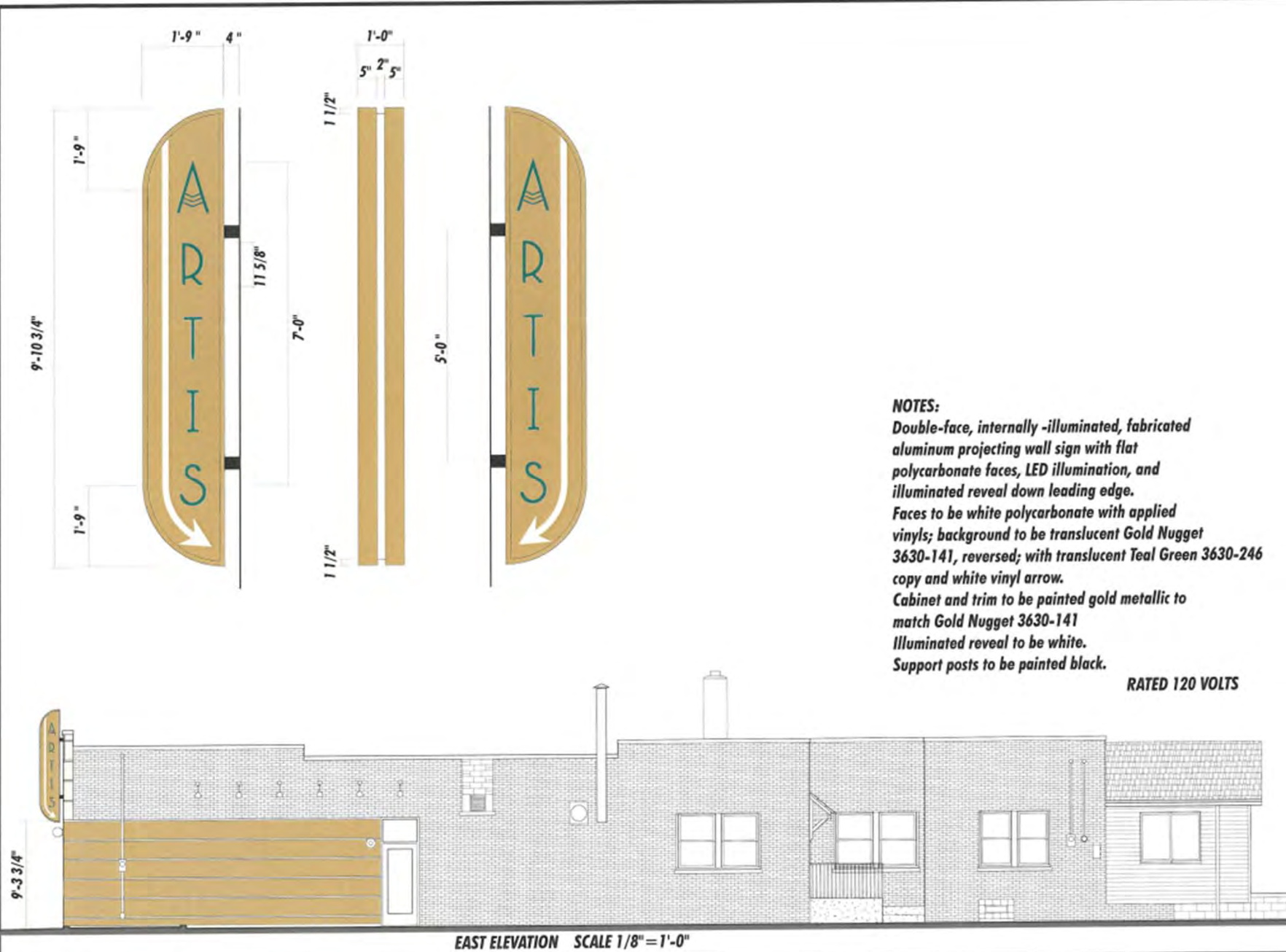
Artis Restaurant
Proposed Renovations to Accommodate:
Artis Restaurant
17900 Detroit Ave. Lakewood, OH 44107

EXISTING ELEVATIONS
DATE: 11.28.2022
A2-01



Docket No. 2-10-24 (17900 Detroit)

Restaurant Renovation – Mansour



NOTES:
 Double-face, internally-illuminated, fabricated aluminum projecting wall sign with flat polycarbonate faces, LED illumination, and illuminated reveal down leading edge.
 Faces to be white polycarbonate with applied vinyls; background to be translucent Gold Nugget 3630-141, reversed; with translucent Teal Green 3630-246 copy and white vinyl arrow.
 Cabinet and trim to be painted gold metallic to match Gold Nugget 3630-141
 Illuminated reveal to be white.
 Support posts to be painted black.

RATED 120 VOLTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE. IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU, IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

BES Brilliant Electric Sign Co., Ltd.
 4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

COMPANY NAME	Artis	SALESMAN	JR	DATE	1-3-23	REVISION	9/13/23cp	DESIGN NO.	B23-001
LOCATION	17900 Detroit Rd., Lakewood, Ohio	DESIGNER	DM	SCALE	1/2" = 1'-0"	11/1/23cp		COPYRIGHT ©	2023
								FILE NAME	N/murph/artis 1

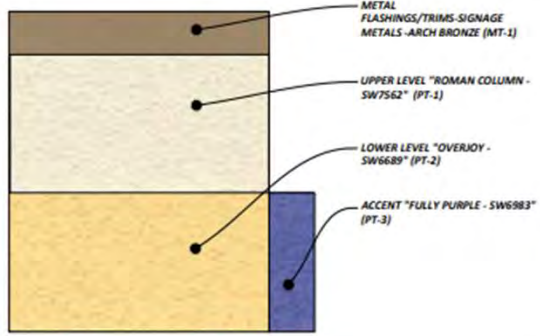


Docket No. 2-10-24 (17900 Detroit)

Signage – Mansour



1 PROPOSED SCHEMATIC RENDERING - SCHEME B
SCALE: N.T.S.



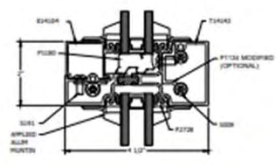
2 PROPOSED COLOR PALETTE - SCHEDULE
SCALE: N.T.S.



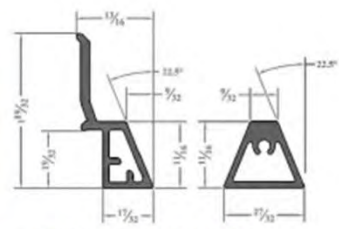
4 PROPOSED EXTERIOR LIGHTING
SCALE: N.T.S.

3 PROPOSED BLADE AND WALL SIGNAGE
SCALE: N.T.S.

SIGNAGE BY SEPARATE APPLICATION. PROJECTING (BLADE) AND WALL SIGN SHOWN RENDERED FOR INTENT, MATERIAL, SCALE, AND FEEDBACK. AS SHOWN AREA OF SIGNS ARE 41 SF < 61.6 SF (1.5 X 41'-1" FRONTAGE)

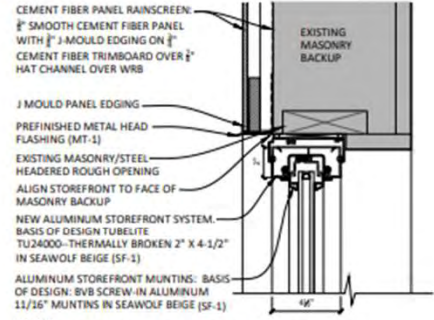


NEW ALUMINUM STOREFRONT/ENTRANCE SYSTEM. BASIS OF DESIGN TUBELITE TU24000-THERMALLY BROKEN 2" X 4-1/2" IN SEAWOLF BEIGE (SF-1)

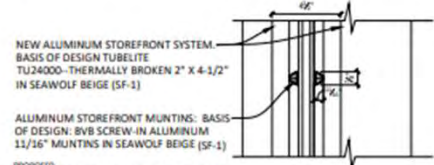


ALUMINUM STOREFRONT MUNTINS: BASIS OF DESIGN: BVB SCREW-IN ALUMINUM 11/16" MUNTINS IN SEAWOLF BEIGE (SF-1)

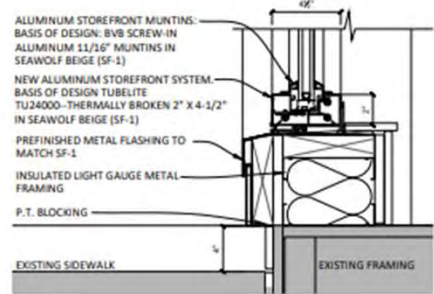
5 PROPOSED NEW STOREFRONT
SCALE: N.T.S.



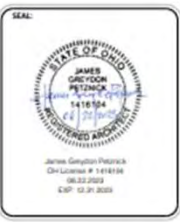
5A PROPOSED NEW STOREFRONT HEAD / JAMB (SIM)
SCALE: 3/8" = 1'-0"



5B PROPOSED NEW STOREFRONT MUNTINS
SCALE: 3/8" = 1'-0"



5C PROPOSED NEW STOREFRONT SILL
SCALE: N.T.S.



DATE:	06.22.2023
DESIGNED BY:	BRUCE BAKER

CLEVELAND DRAW DESIGN & RESTORATION ARCHITECTURE WORKSHOP

Artis Restaurant
Proposed Renovations to Accommodate:
Artis Restaurant
17900 Detroit Ave. Lakewood, Ohio 44107

PROPOSED ELEVATIONS COLOR - DETAILS
DATE: 06.22.2023

A2-03

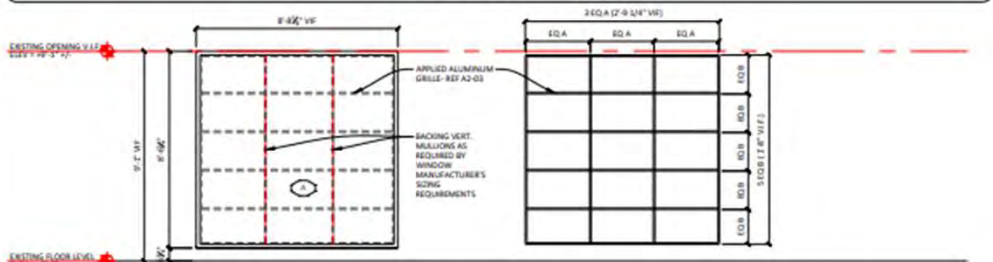


Docket No. 2-10-24 (17900 Detroit) Restaurant Renovation – Mansour

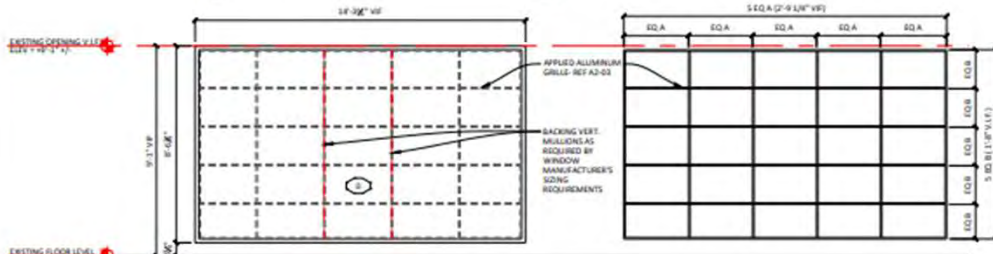


Docket No. 2-10-24 (17900 Detroit)
Restaurant Renovation – Mansour

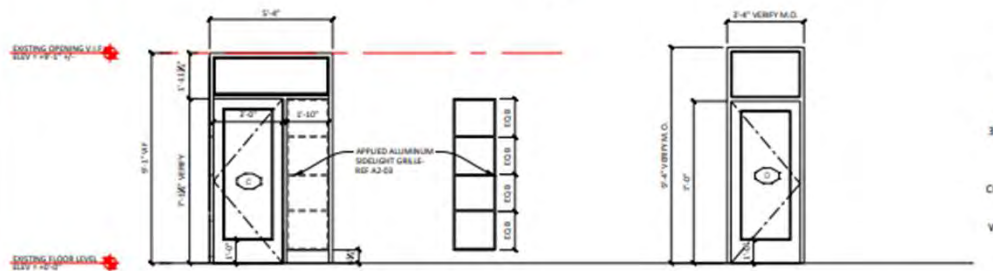
STOREFRONT AND GRILLE TYPES



1 PROPOSED ELEVATION FRONT ELEVATION WINDOW A SCALE: 3/8" = 1'-0"
 2 PROPOSED ELEVATION FRONT ELEVATION WINDOW A MUNTIN SCALE: 3/8" = 1'-0"



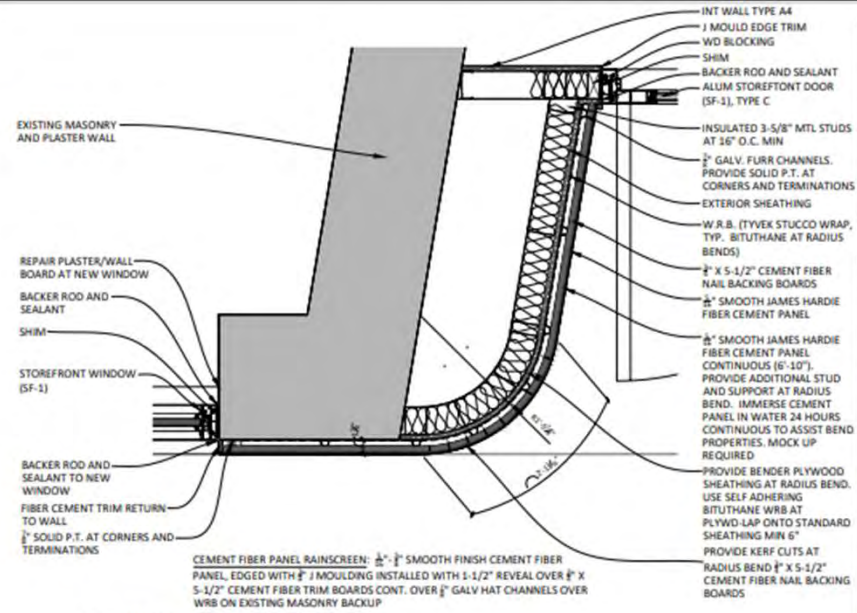
3 PROPOSED ELEVATION FRONT ELEVATION WINDOW B SCALE: 3/8" = 1'-0"
 4 PROPOSED ELEVATION FRONT ELEVATION WINDOW B MUNTIN SCALE: 3/8" = 1'-0"



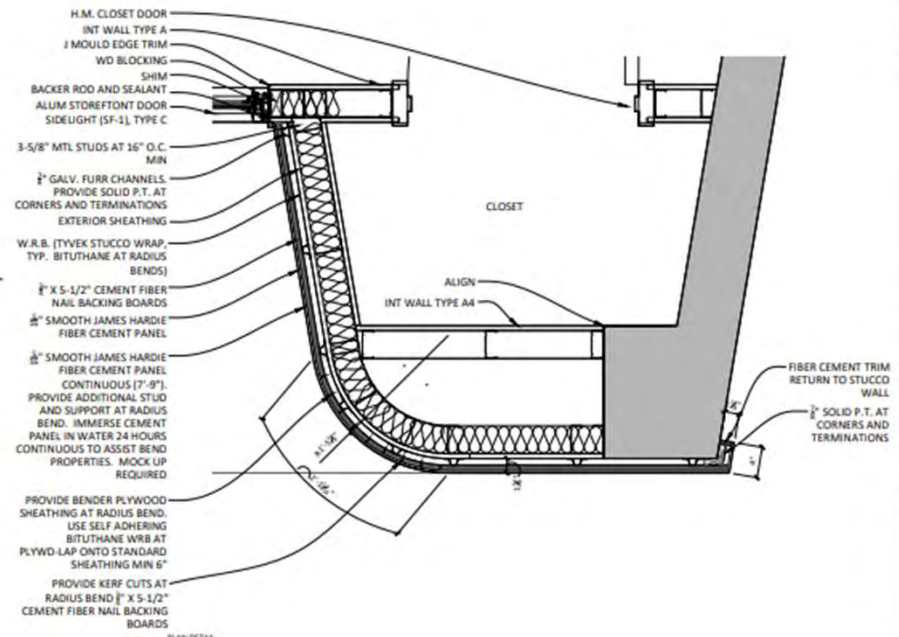
5 PROPOSED ELEVATION FRONT ELEVATION ENTRANCE C AND MUNTIN SCALE: 3/8" = 1'-0"
 6 PROPOSED ELEVATION SIDE ELEVATION ENTRANCE D SCALE: 3/8" = 1'-0"

STOREFRONT NOTES

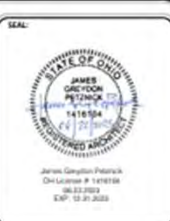
- MATERIAL:** STOREFRONT TUBEUTE OR ARCHITECT APPROVED EQUAL
MFR: T1024000
STYLE/TYPE: 4-1/2" DEEP W/ 2" SIGHTLINE
SIZE: MFR. S STANDARD FINISH (70% PVDF)- SEAWOLF GRAY SEE ELEVATIONS
COLOR: ALUMINUM APPLIED - SEE ELEVATIONS
MUNTINS: WIDE
DOOR STILE: 12" MIN
DOOR KICK: 12" MIN
- NOTES:**
 REFERENCE ELEVATIONS AND SHEETS A2-03, A2-05 DETAILS
 THERMALLY BROKEN SYSTEM, CENTER GLAZED WITH 1" INSULATED GLAZING (OVERALL U-VALUE TO BE 0.30 OR BETTER):
 -EXTERIOR LITE: 1/2" THICK W/ PPG SOLARBAN 60 CLEAR LOW-E COATING
 -CAVITY: 1/2" WIDE W/ ARGON GAS FILLED
 -INTERIOR LITE: 1/2" CLEAR
- TEMPERED GLAZING IS TO BE LOCATED AT ALL SWING DOORS & LOCATIONS WHERE LIGHTS LARGER THAN 9.5 SQ FT ARE LOCATED.



7 PLAN DETAIL WINDOW-ENTRY RADIUS PLAN DETAIL SCALE: 1-1/2" = 1'-0"



8 PLAN DETAIL ENTRY TO CORNER RADIUS PLAN DETAIL SCALE: 1-1/2" = 1'-0"



DATE:	06.22.2023
ISSUED:	06.22.2023
DESIGNED BY:	
CHECKED BY:	
DATE:	
ISSUED:	

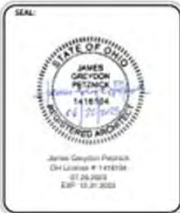
CLEVELAND
DRAW
 DESIGN & RESTORATION
 ARCHITECTURE WORKSHOP

Artis Restaurant
 Proposed Renovations to Accommodate:
 Artis Restaurant
 17900 Detroit Ave. Lake wood, Ohio 44107

WINDOW ELEVATIONS
 DATE: 06.22.2023
 SHEET: A2-04



Docket No. 2-10-24 (17900 Detroit)
 Restaurant Renovation – Mansour

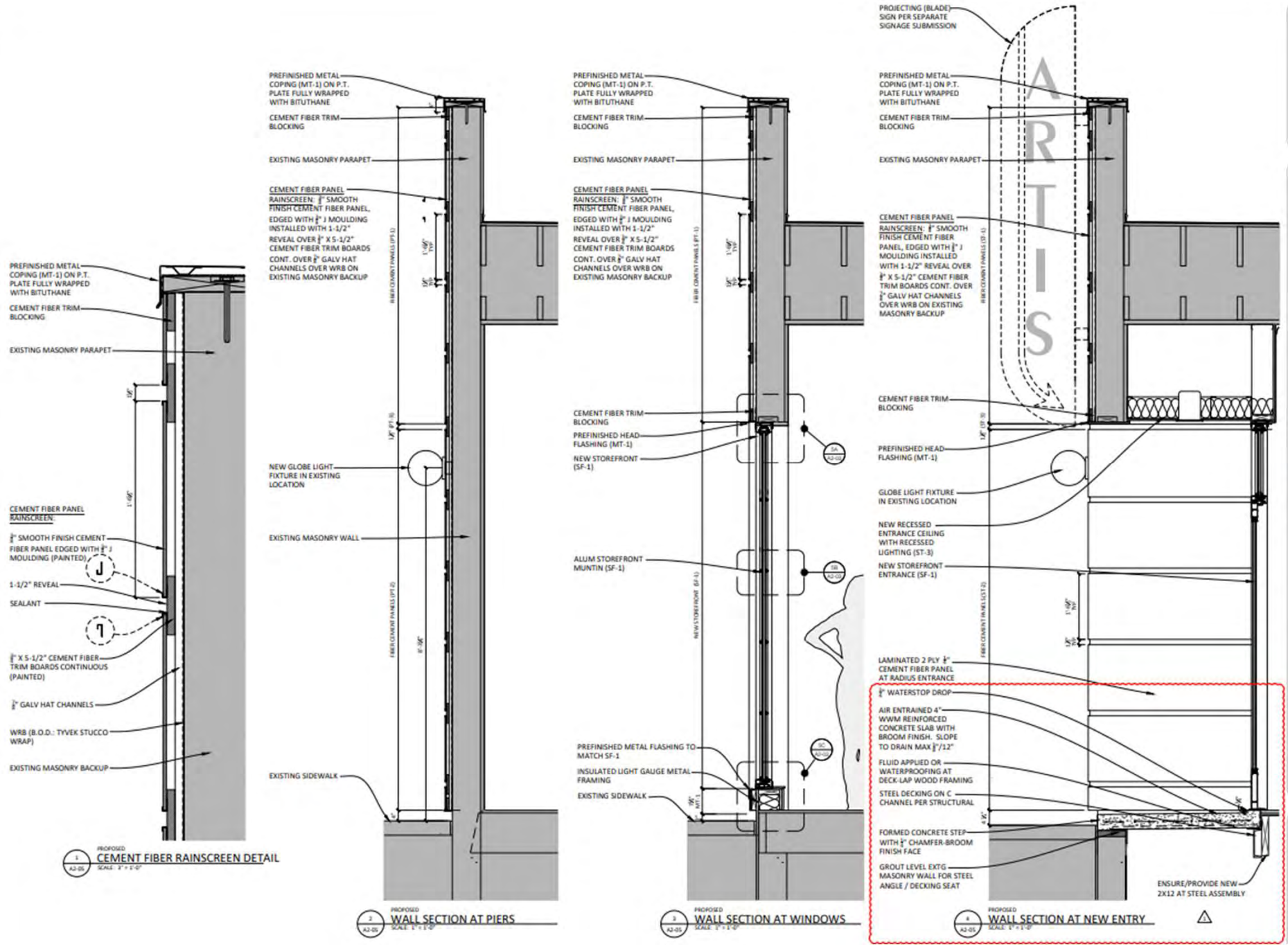


DATE	BY	DESCRIPTION
06.22.2023	A2-05	ISSUED FOR PERMIT
07.27.2023	A2-05	REVISED

CLEVELAND DRAW
DESIGN & RESTORATION
ARCHITECTURE WORKSHOP

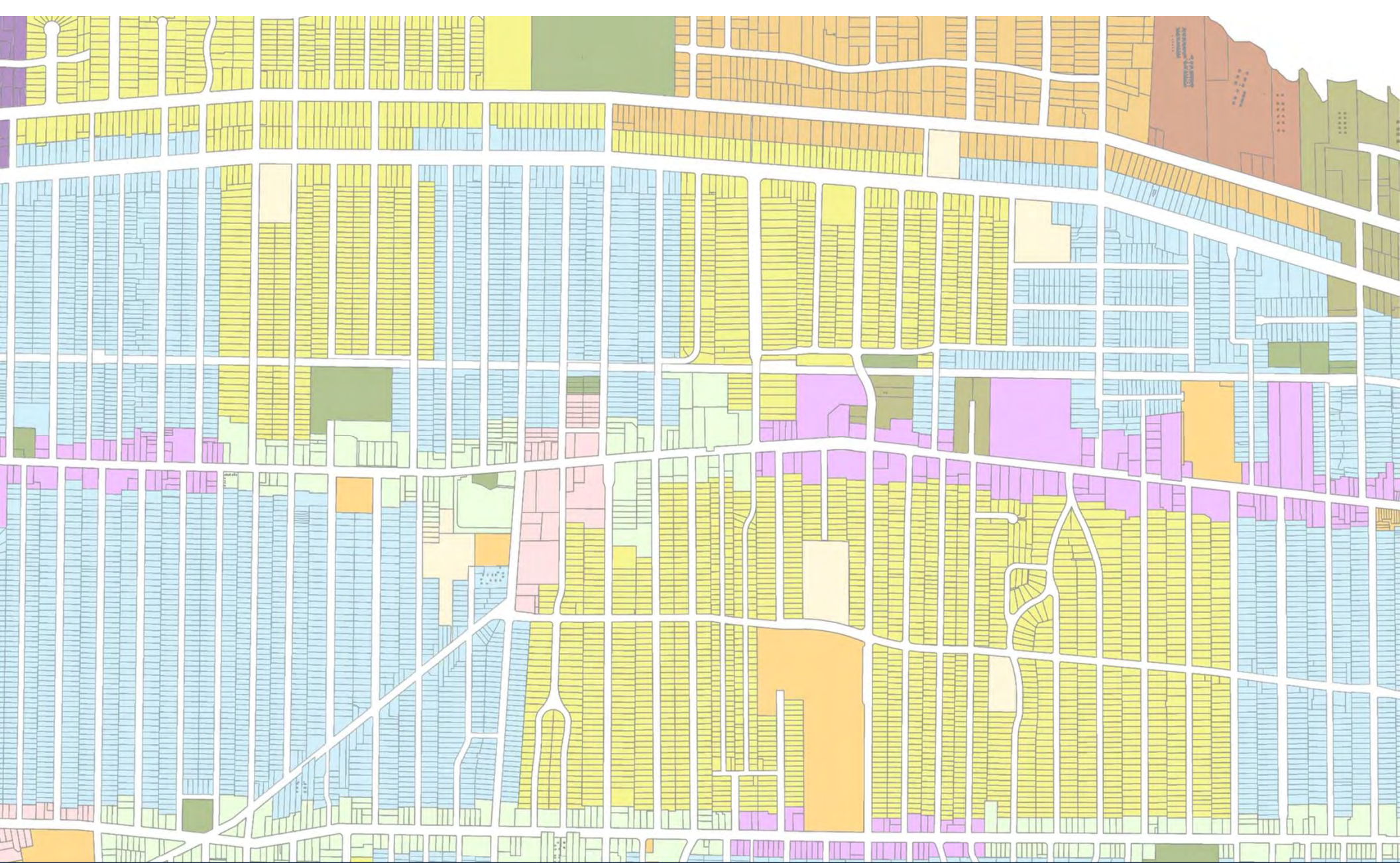
Artis Restaurant
Proposed Renovations to Accommodate:
Artis Restaurant
17900 Detroit Ave. Lakewood, Ohio 44107

PROPOSED WALL SECTIONS
DATE: 06.22.2023
A2-05



Docket No. 2-10-24 (17900 Detroit)

Restaurant Renovation – Mansour



Architectural Board of Review

Old Business – February 2024

Applicant proposes signage.

City Notes:

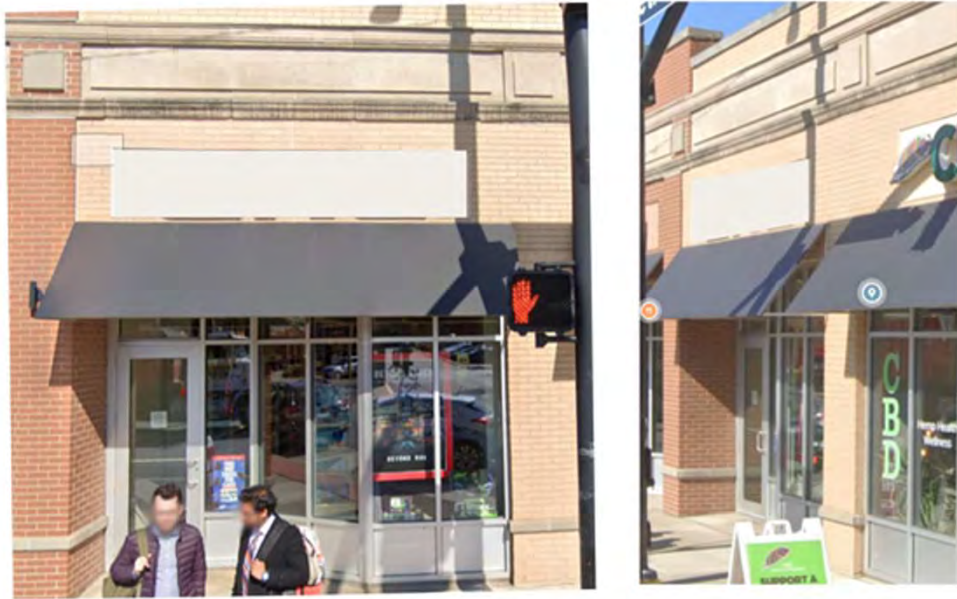
- Applicant proposes 3 vinyl window decals (3 sq ft) and 1 double-sided blade sign (7 sq ft).
- Business frontage ~ 16 sq ft; Allowed signage ~16 sq ft
- Total proposed square footage = 7 sq ft, **need dimensions for proposed wall sign**



Docket No. 1-3-24 (15000 Detroit)

Signage – Lakewood Optical Shawn Warren

EXISTING STORE FRONT



16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043

CLIENT: Lakewood Optical	JOB #:	DATE:
ADDRESS:	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
	CLIENT SIGNATURE OF APPROVAL	DATE:



Docket No. 1-3-24 (15000 Detroit)
Signage – Warren

3) logos 8" x 18" 1 sq. ft ea. and text 1.5 sq
4.5 sq. ft. total area.

216-227-0615
Lakewood Optical
16504 Detroit Avenue
Lakewood, OH 44107
www.lakewoodoptical.com

36" Dia.
2 Sided Blade
16 sq. ft. 1.5" THICK
3" Lag bolt and sleeve mounted to sign surface area

Back door window 56" w x 44" h
graphics 33" w x 23" h 5.8 s.q.

216-227-0043
www.eriadesign.com

CLIENT:	Lakewood Optical	JOB #:	DATE:
ADDRESS:		SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY:	CHANGES MADE:		
DATE:	CLIENT SIGNATURE OF APPROVAL DATE:		

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



Docket No. 1-3-24 (15000 Detroit)

Signage – Warren



3) logos 8" x 18" 1 sq. ft ea. and text 1.5 sq 4.5 sq. ft. total area.



36" Dia.
2 Sided Blade
16 sq. ft. 1.5" THICK
3" Lag bolt and sleeve mounted to sign surface area



Back door window 56" w x 44" h graphics 33" w x 23" h 5.8 s.q.



CLIENT: Lakewood Optical	JOB #:	DATE:
ADDRESS:	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
	CLIENT SIGNATURE OF APPROVAL	DATE:

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043

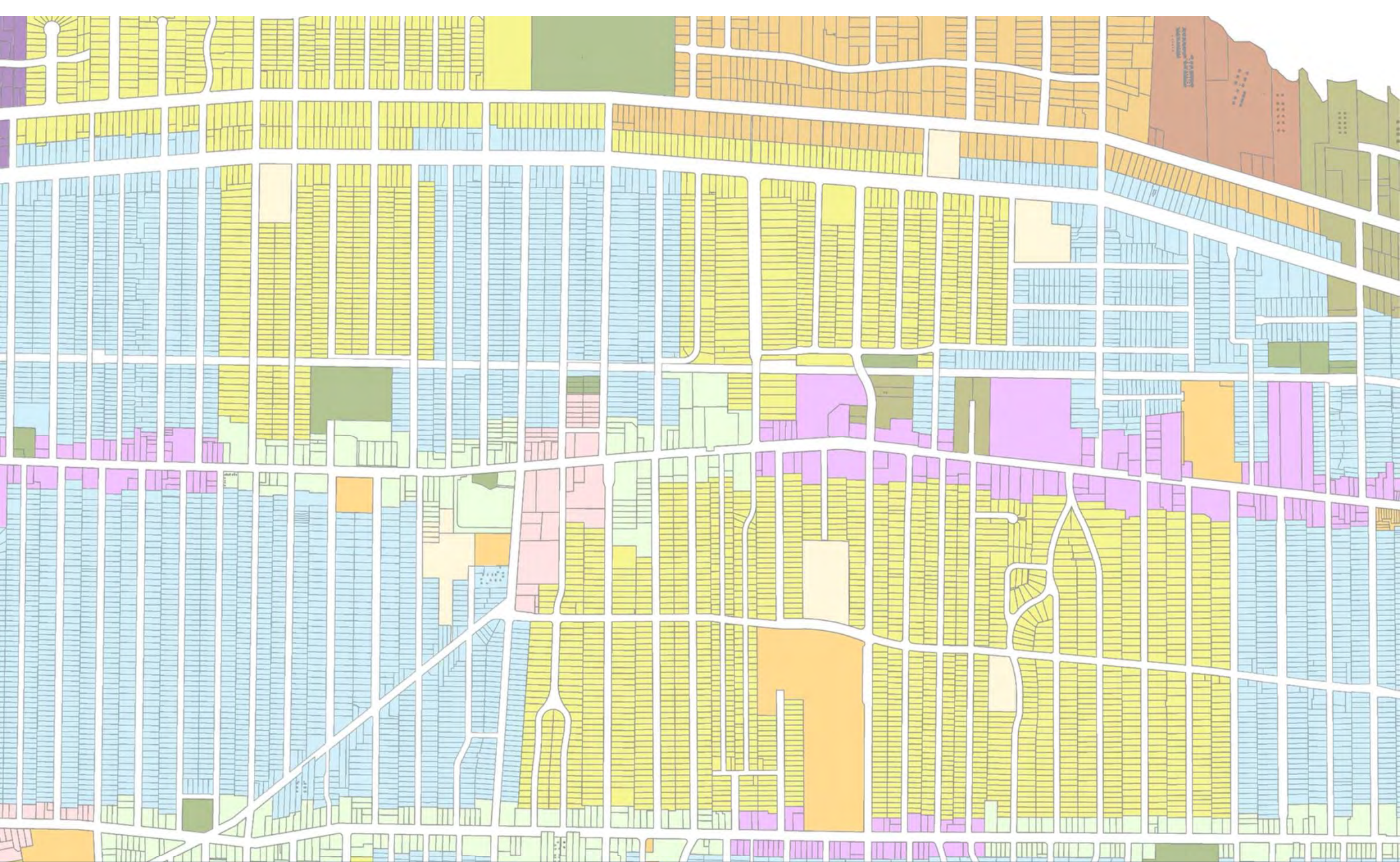


Docket No. 1-3-24 (15000 Detroit)
Signage – Warren



Docket No. 1-3-24 (15000 Detroit)
Signage – Warren





Architectural Board of Review

February 2024

Applicant proposes residential renovation in R1H district.

City Notes:

N/A



Docket No. 2-5-24 (1428 Grace)
Residential Renovation
Joseph Park



ABR 01 MEETING

1428 GRACE AVE, LAKEWOOD, OH 44107



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



SOUTH NEIGHBOR



1428 GRACE STREET



NORTH NEIGHBOR



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



STAINED CEILING + ENTRY DOORS



SW0022
PATCHWORK PLUM

SW6021
DREAMY WHITE

SW2811
ROOKWOOD
BLUE GREEN

SW0016
BILLIARD
GREEN



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



SHINGLES: CEDAR (TO NATURALLY WEATHER TO GREY)

DRIVEWAY PAVERS: UNILOCK COURTSTONE, BASALT

PATIO PAVERS: RECLAIMED SANDSTONE



Docket No. 2-5-24 (1428 Grace) Residential Renovation – Park



ARM:
AMERICAN GAS LAMP WORKS,
WM1, TIMELESS BLACK FINISH



FINIAL:
AMERICAN GAS LAMP WORKS,
F12, TIMELESS BLACK FINISH



LAMP:
AMERICAN GAS LAMP WORKS,
ITEM 2900, TIMELESS BLACK FINISH



CHIMNEY POTS:
SUPERIOR CLAY CORPORATION, EDWARDIAN
CLAY CHIMNEY POT (35" TALL, 13" BASE)



EXISTING LIGHT FIXTURE



LAMP POST:
AMERICAN GAS LAMP WORKS

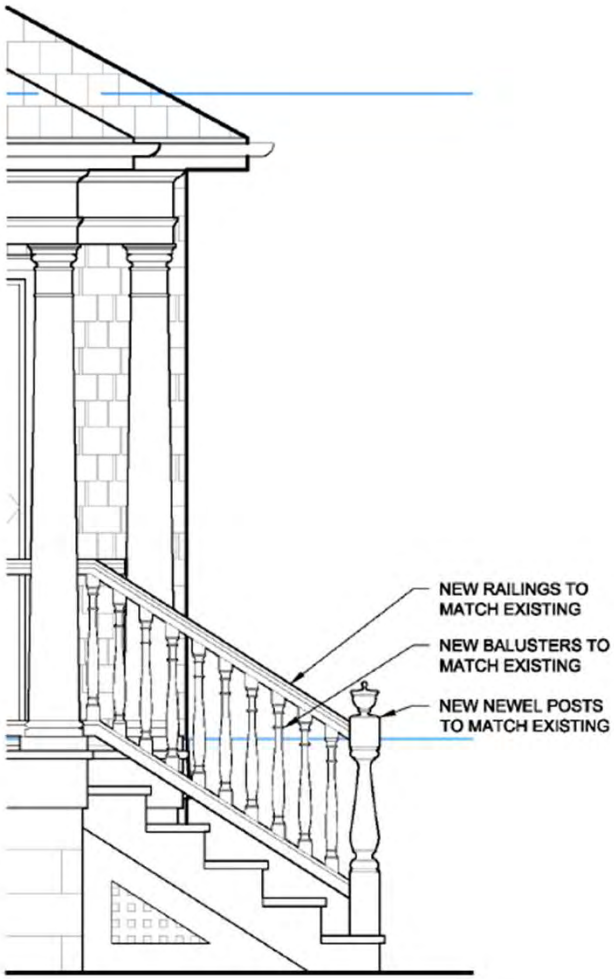


TERRA COTTA

Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park

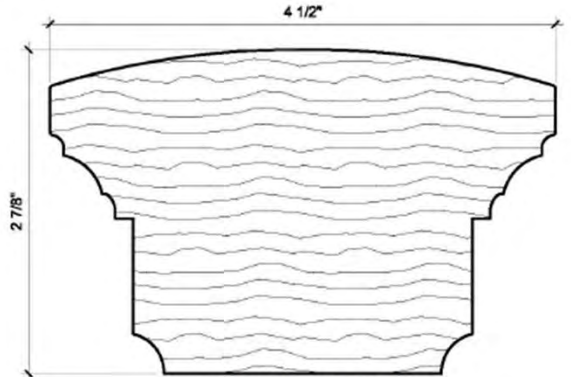




EXISTING NEWEL POST



EXISTING BALUSTERS



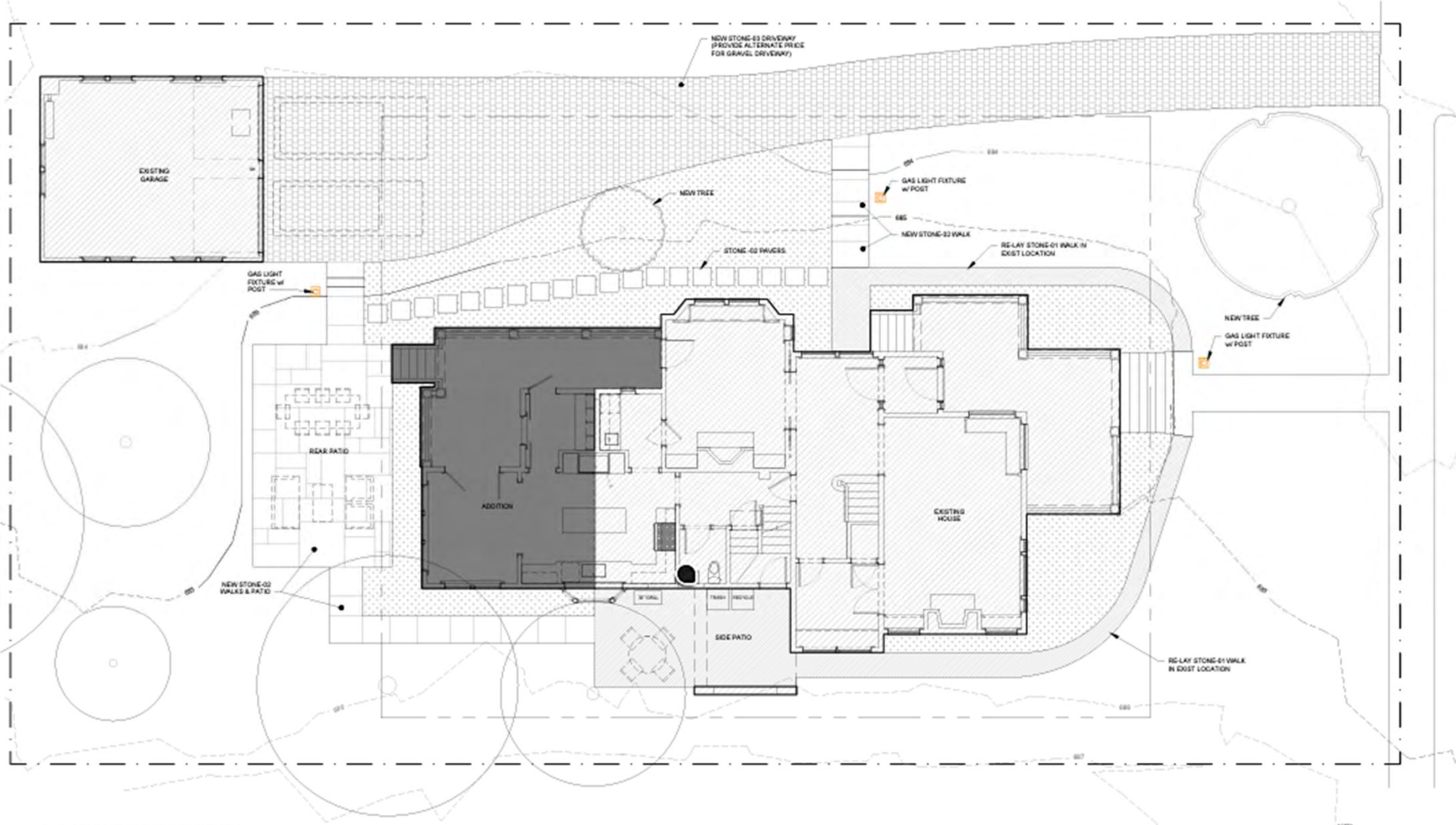
EXISTING RAILING PROFILE



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park

MATERIAL LEGEND						
HATCH	NAME	DESCRIPTION	W/F LINE	COLOR	PATTERN	NOTES
[Hatch]	STONE-01	EXISTING STONE PAVERS	-	-	-	-
[Hatch]	STONE-02	STONE PAVERS	-	-	MATCH EXISTING	MATCH EXIST STONE TYPE
[Hatch]	STONE-03	COBBLESTONE PAVERS	UNLOCKY COURTYARD	BASALT	5 UNIT RANDOM	-
[Hatch]	-	-	-	-	-	-
[Hatch]	-	-	-	-	-	-



PRELIMINARY
NOT FOR
CONSTRUCTION

RENOVATION FOR:
ESS/ERB RESIDENCE
1428 GRACE AVE
LAKWOOD, OH 44107

DATE	DESCRIPTION
10/20/23	REVISION #01
07/20/23	REVISION #02
05/20/23	REVISION #03
03/20/23	REVISION #04

ARCHITECTURAL SITE PLAN

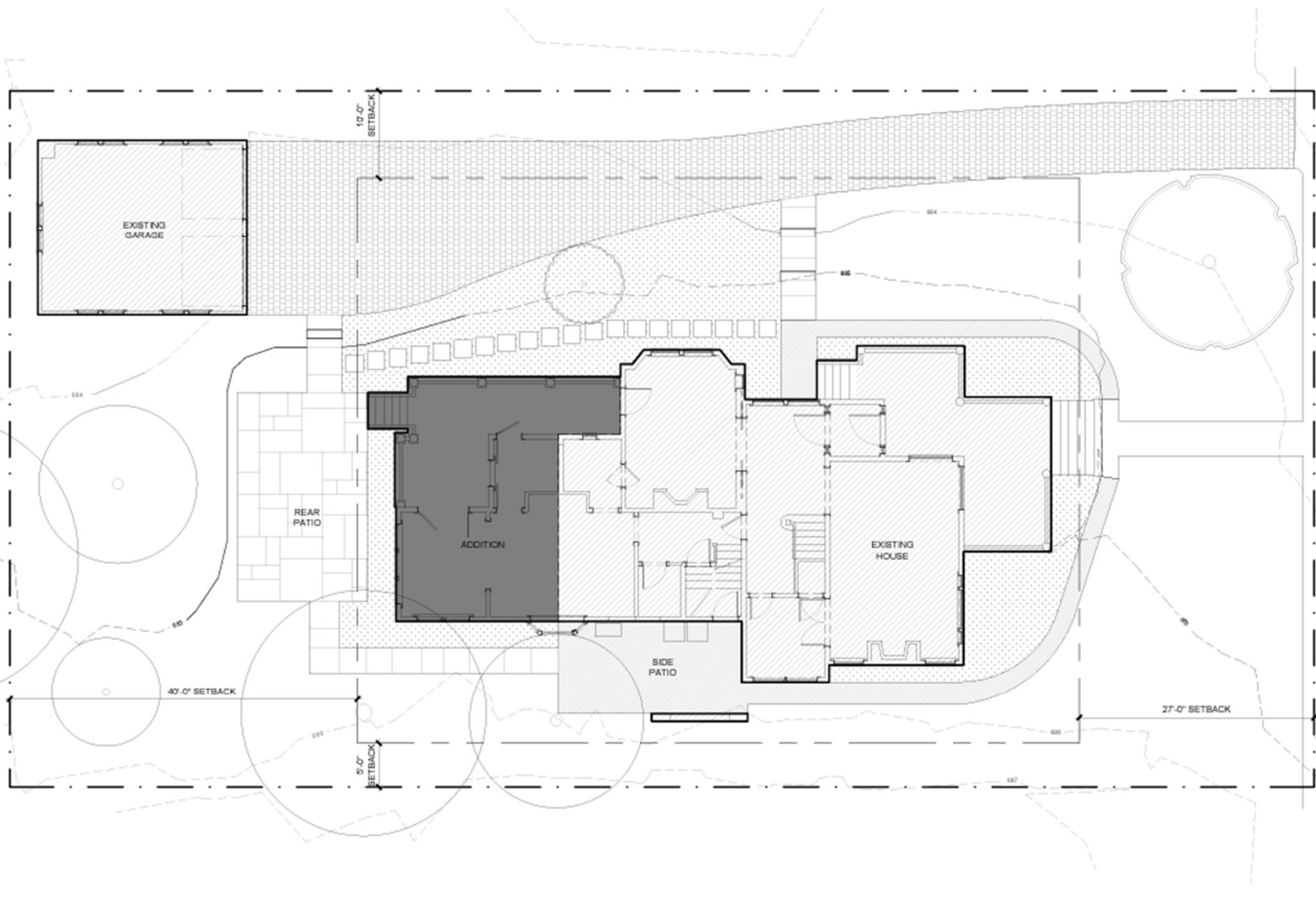
AS-103

1 ARCHITECTURAL SITE PLAN
3/16" = 1'-0"

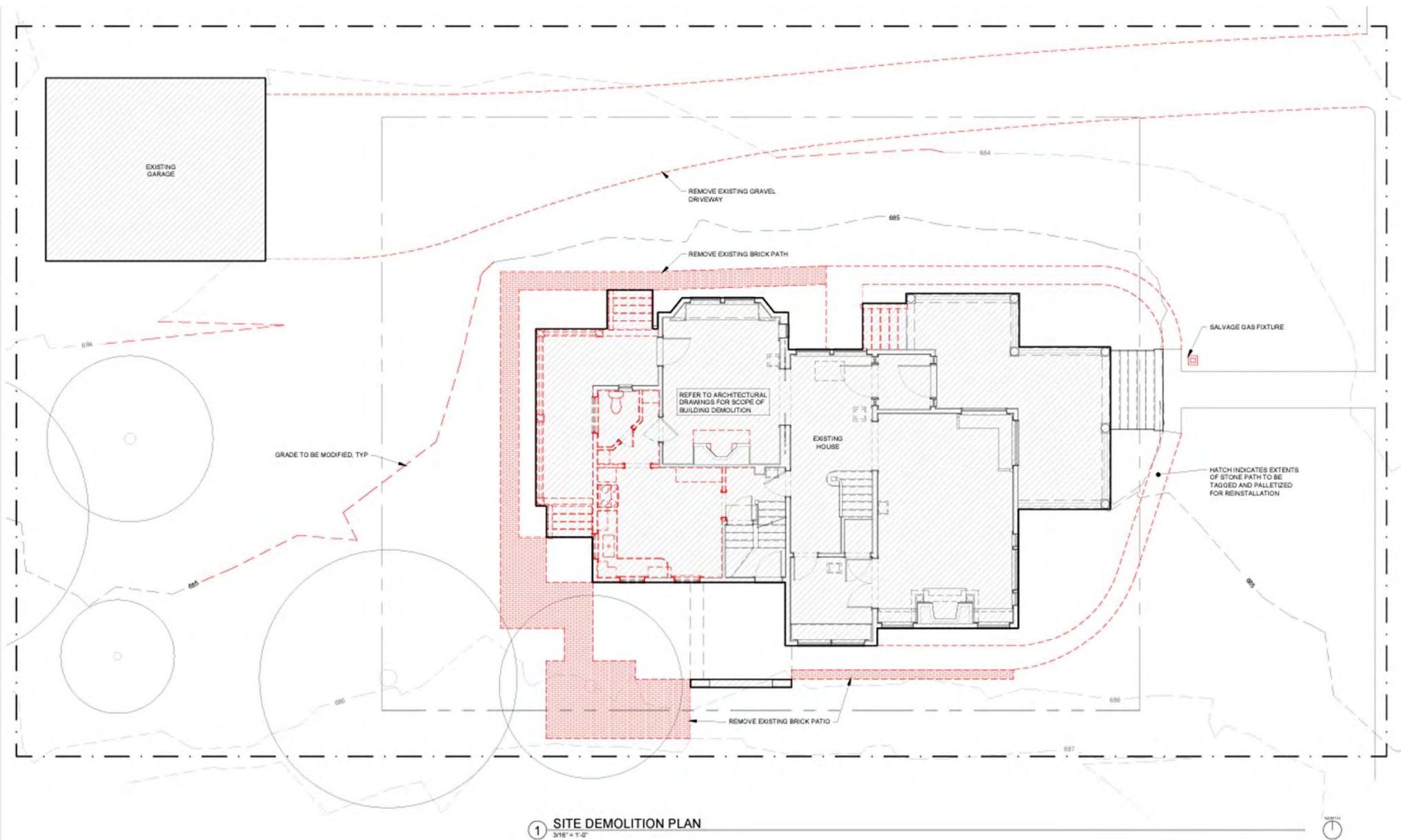


Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park

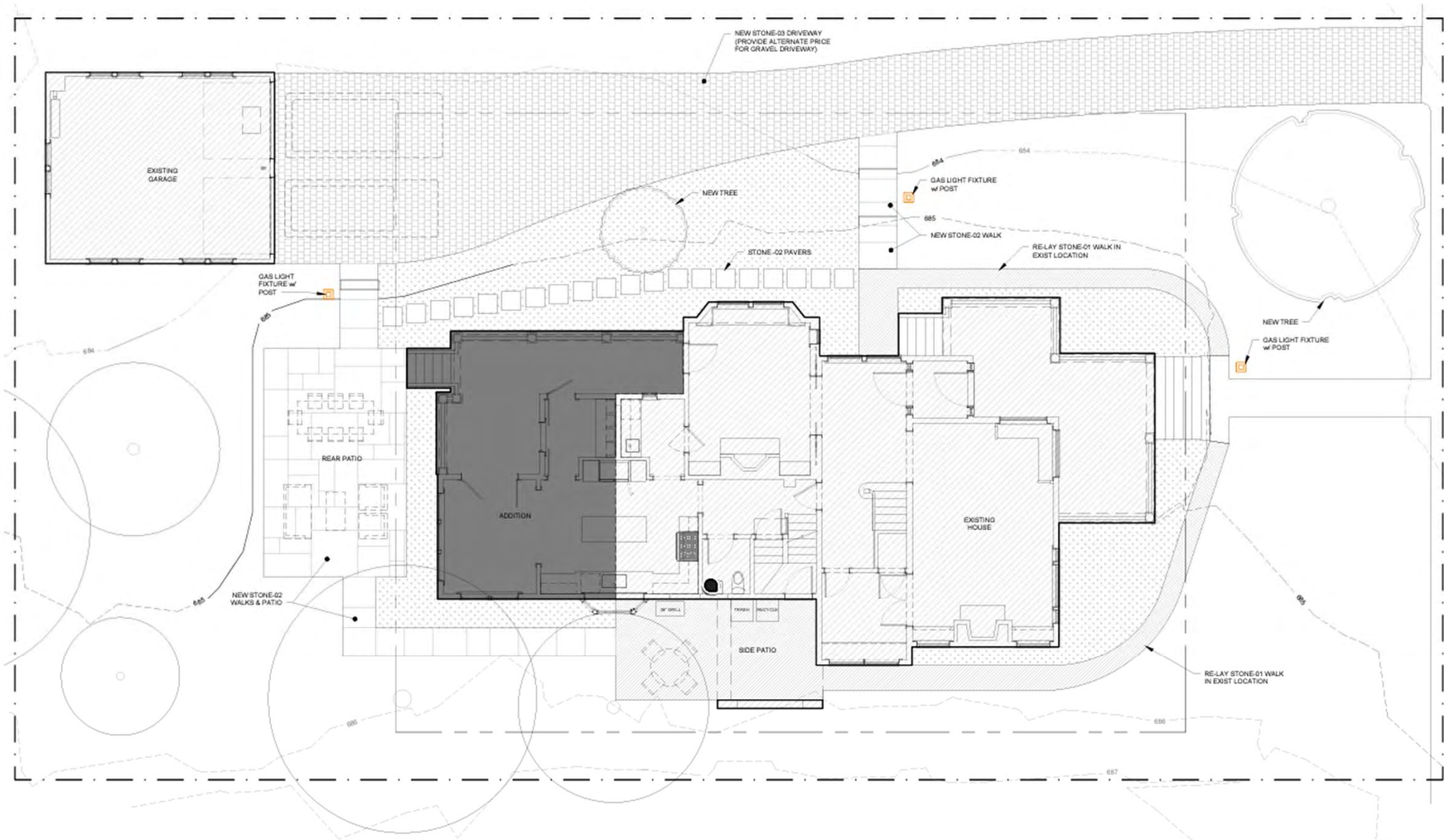


1 SITE DEMOLITION PLAN
3/16" = 1'-0"



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park

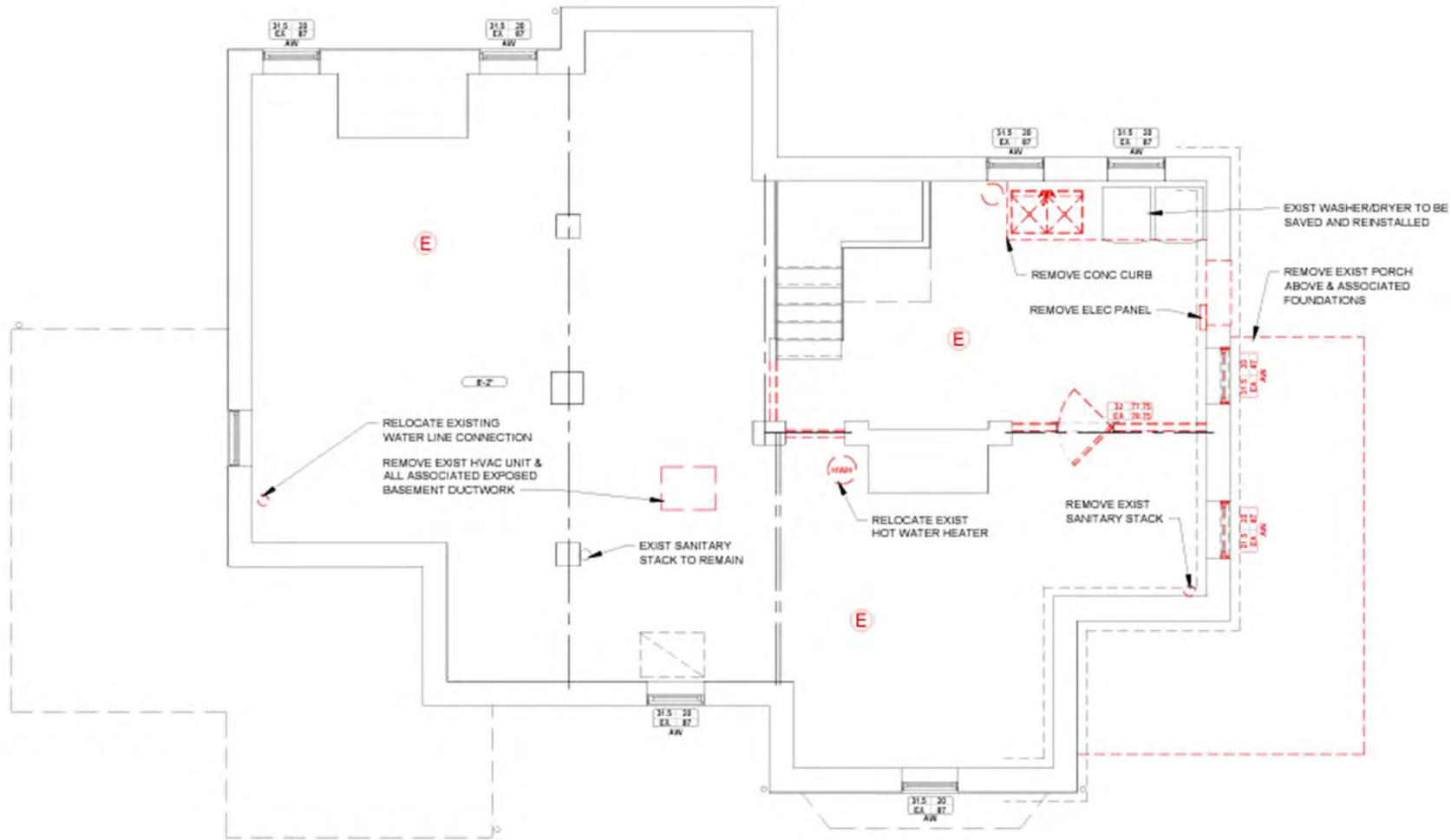


1 ARCHITECTURAL SITE PLAN
3/16" = 1'-0"



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



1 BASEMENT DEMOLITION PLAN
1/4" = 1'-0"

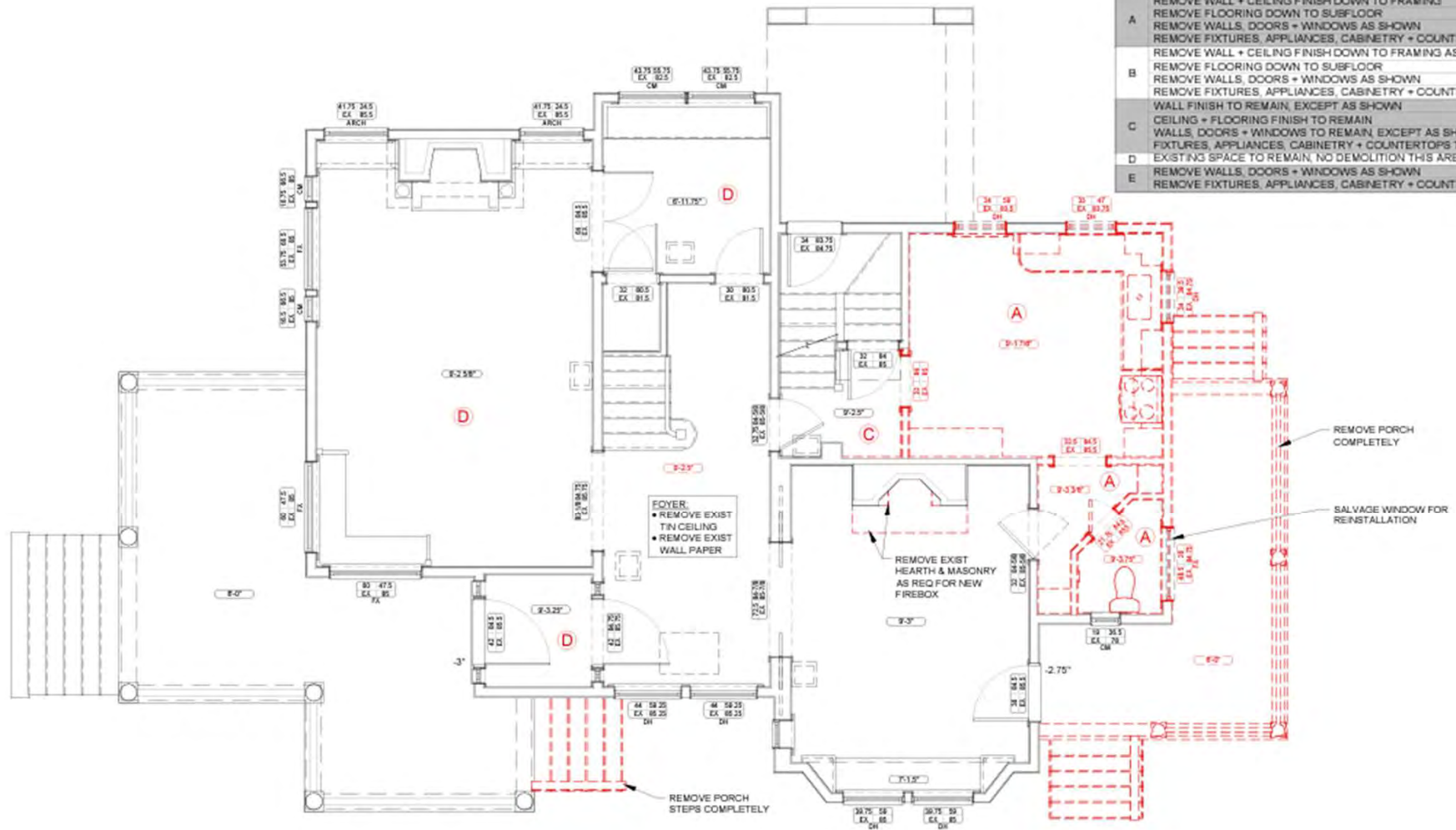


Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park

DEMOLITION NOTES

TAG	SCOPE
A	REMOVE WALL + CEILING FINISH DOWN TO FRAMING REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINERY + COUNTERTOPS
B	REMOVE WALL + CEILING FINISH DOWN TO FRAMING AS SHOWN REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINERY + COUNTERTOPS AS SHOWN
C	WALL FINISH TO REMAIN, EXCEPT AS SHOWN CEILING + FLOORING FINISH TO REMAIN WALLS, DOORS + WINDOWS TO REMAIN, EXCEPT AS SHOWN FIXTURES, APPLIANCES, CABINERY + COUNTERTOPS TO REMAIN, EXCEPT AS NOTED
D	EXISTING SPACE TO REMAIN, NO DEMOLITION THIS AREA
E	REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINERY + COUNTERTOPS AS SHOWN



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

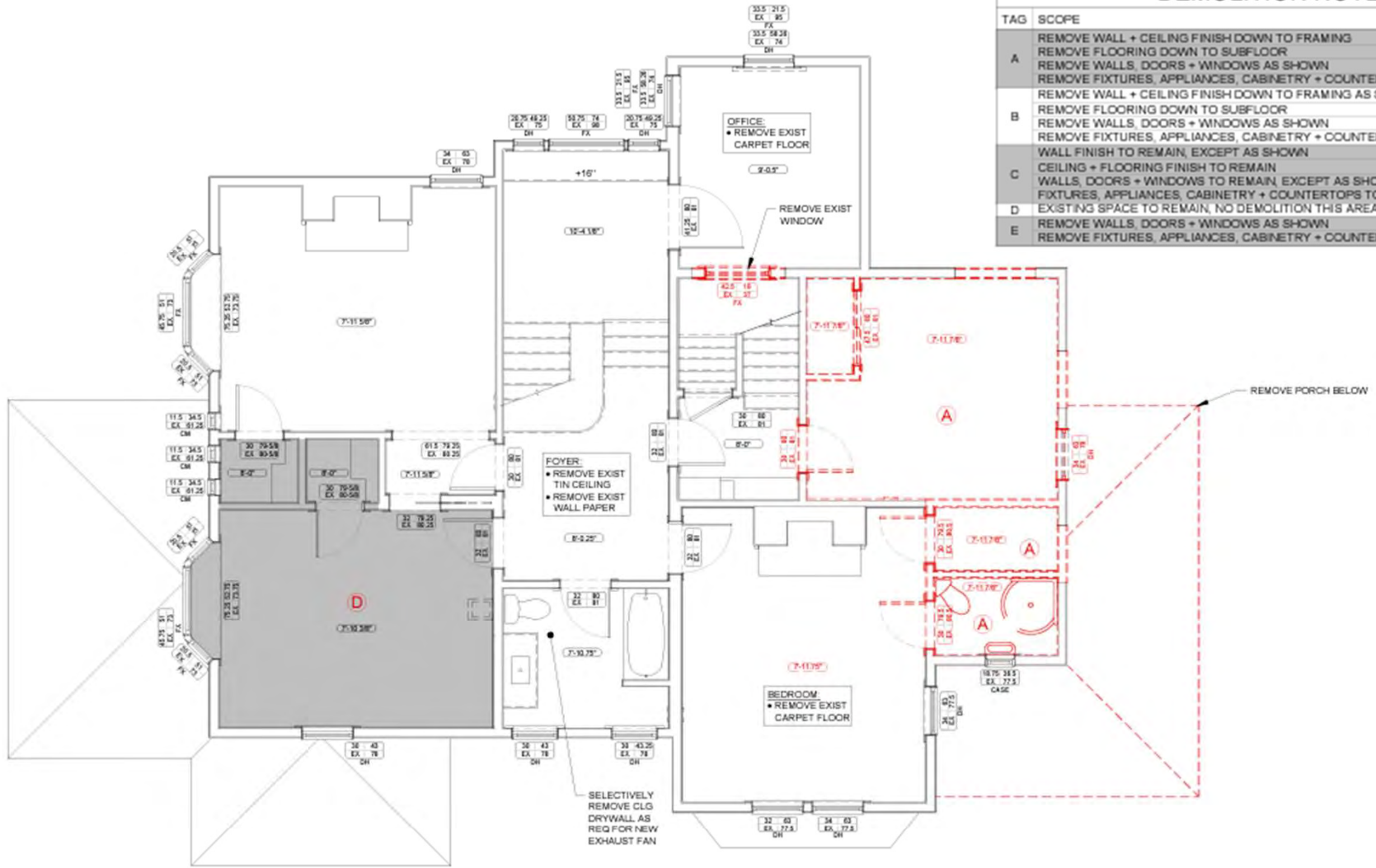


Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park

DEMOLITION NOTES

TAG	SCOPE
A	REMOVE WALL + CEILING FINISH DOWN TO FRAMING REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETRY + COUNTERTOPS
B	REMOVE WALL + CEILING FINISH DOWN TO FRAMING AS SHOWN REMOVE FLOORING DOWN TO SUBFLOOR REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETRY + COUNTERTOPS AS SHOWN
C	WALL FINISH TO REMAIN, EXCEPT AS SHOWN CEILING + FLOORING FINISH TO REMAIN WALLS, DOORS + WINDOWS TO REMAIN, EXCEPT AS SHOWN
D	FIXTURES, APPLIANCES, CABINETRY + COUNTERTOPS TO REMAIN, EXCEPT AS NOTED EXISTING SPACE TO REMAIN, NO DEMOLITION THIS AREA
E	REMOVE WALLS, DOORS + WINDOWS AS SHOWN REMOVE FIXTURES, APPLIANCES, CABINETRY + COUNTERTOPS AS SHOWN



① SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

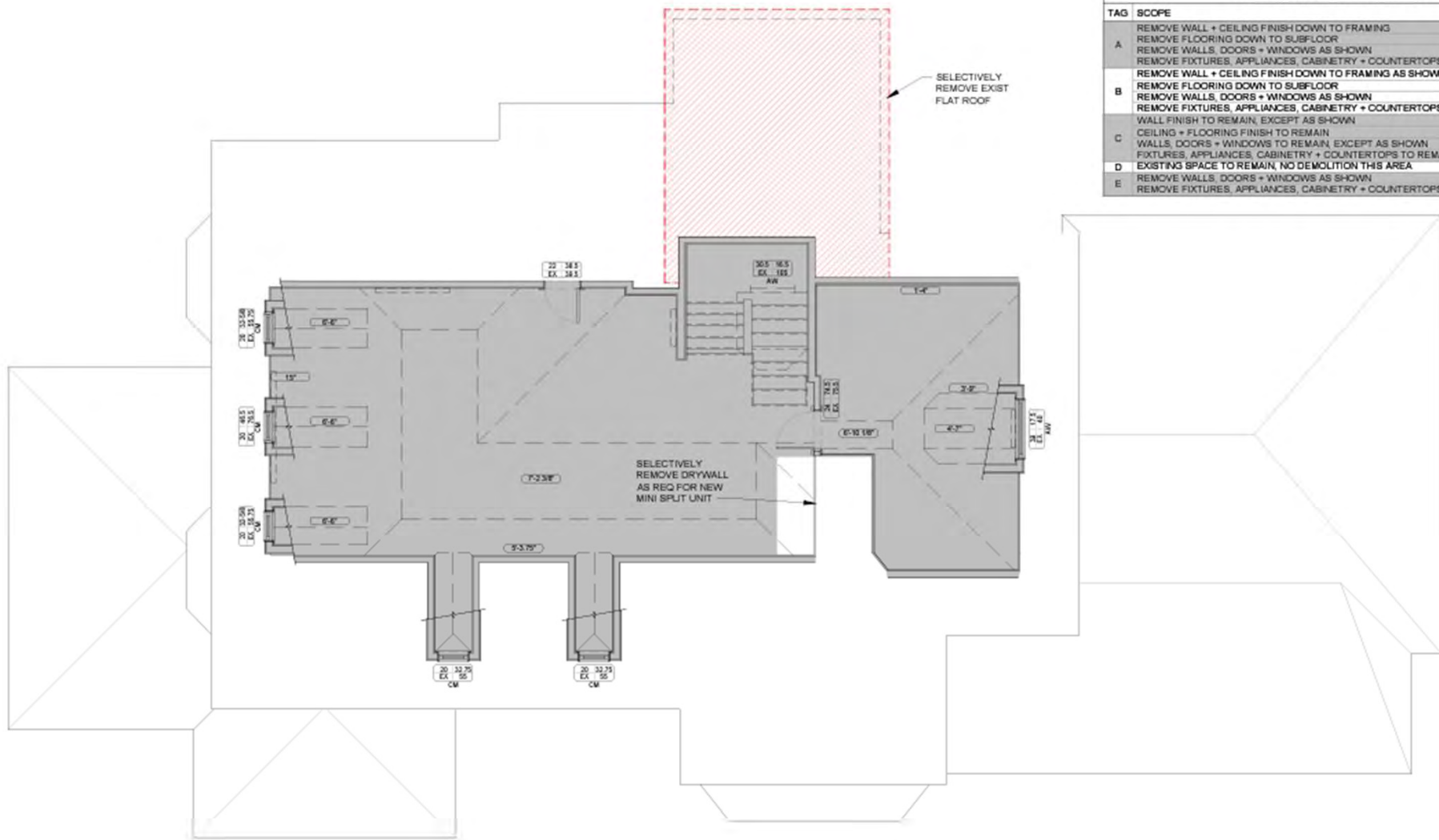


Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park

DEMOLITION NOTES

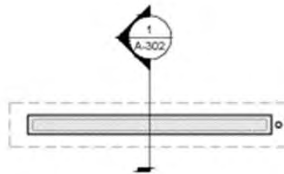
TAG	SCOPE
	REMOVE WALL + CEILING FINISH DOWN TO FRAMING
	REMOVE FLOORING DOWN TO SUBFLOOR
A	REMOVE WALLS, DOORS + WINDOWS AS SHOWN
	REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS
	REMOVE WALL + CEILING FINISH DOWN TO FRAMING AS SHOWN
B	REMOVE FLOORING DOWN TO SUBFLOOR
	REMOVE WALLS, DOORS + WINDOWS AS SHOWN
	REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN
	WALL FINISH TO REMAIN, EXCEPT AS SHOWN
C	CEILING + FLOORING FINISH TO REMAIN
	WALLS, DOORS + WINDOWS TO REMAIN, EXCEPT AS SHOWN
	FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS TO REMAIN, EXCEPT AS NOTED
D	EXISTING SPACE TO REMAIN, NO DEMOLITION THIS AREA
E	REMOVE WALLS, DOORS + WINDOWS AS SHOWN
	REMOVE FIXTURES, APPLIANCES, CABINETS + COUNTERTOPS AS SHOWN



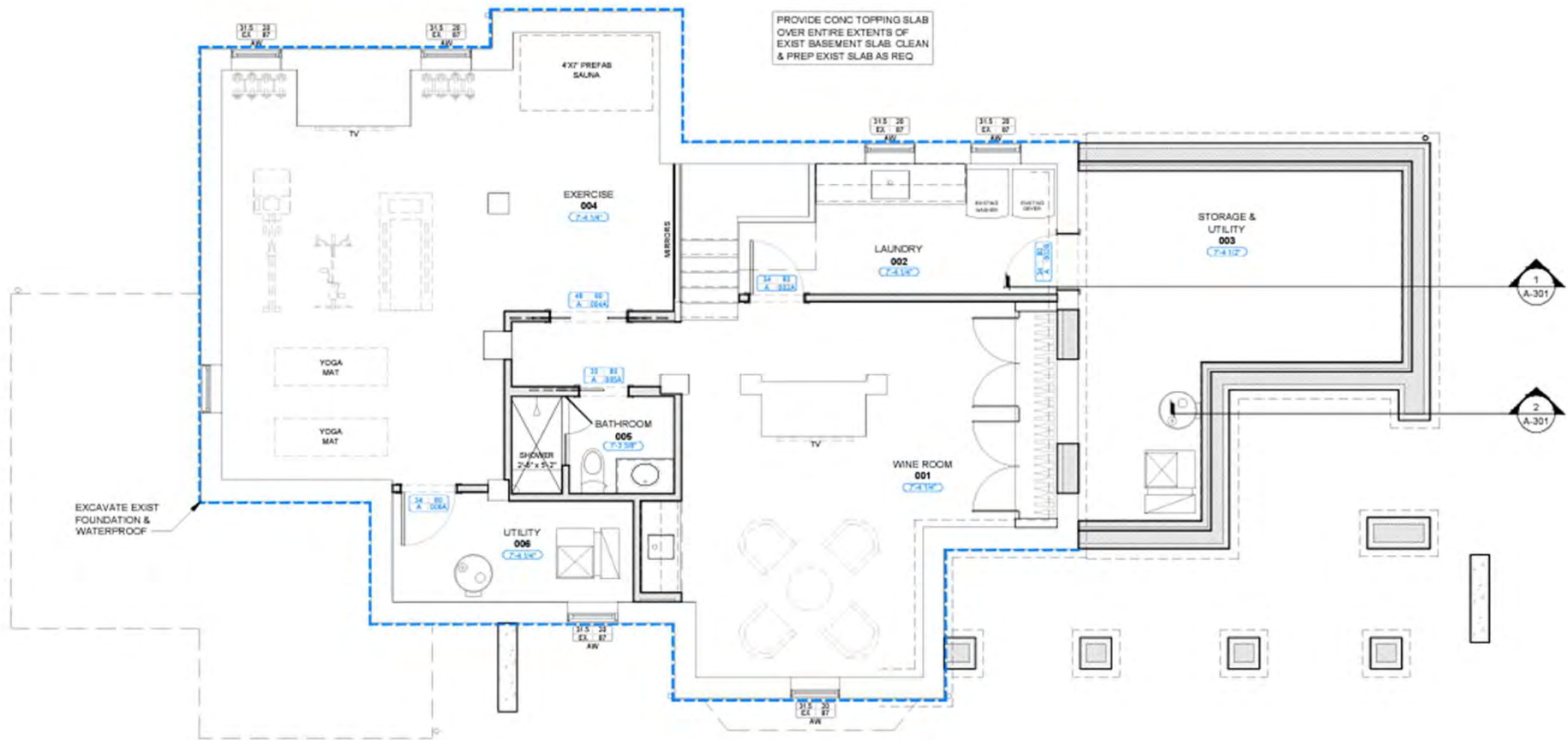
1 THIRD FLOOR DEMOLITION PLAN
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



PROVIDE CONC TOPPING SLAB
OVER ENTIRE EXTENTS OF
EXIST BASEMENT SLAB. CLEAN
& PREP EXIST SLAB AS REQ



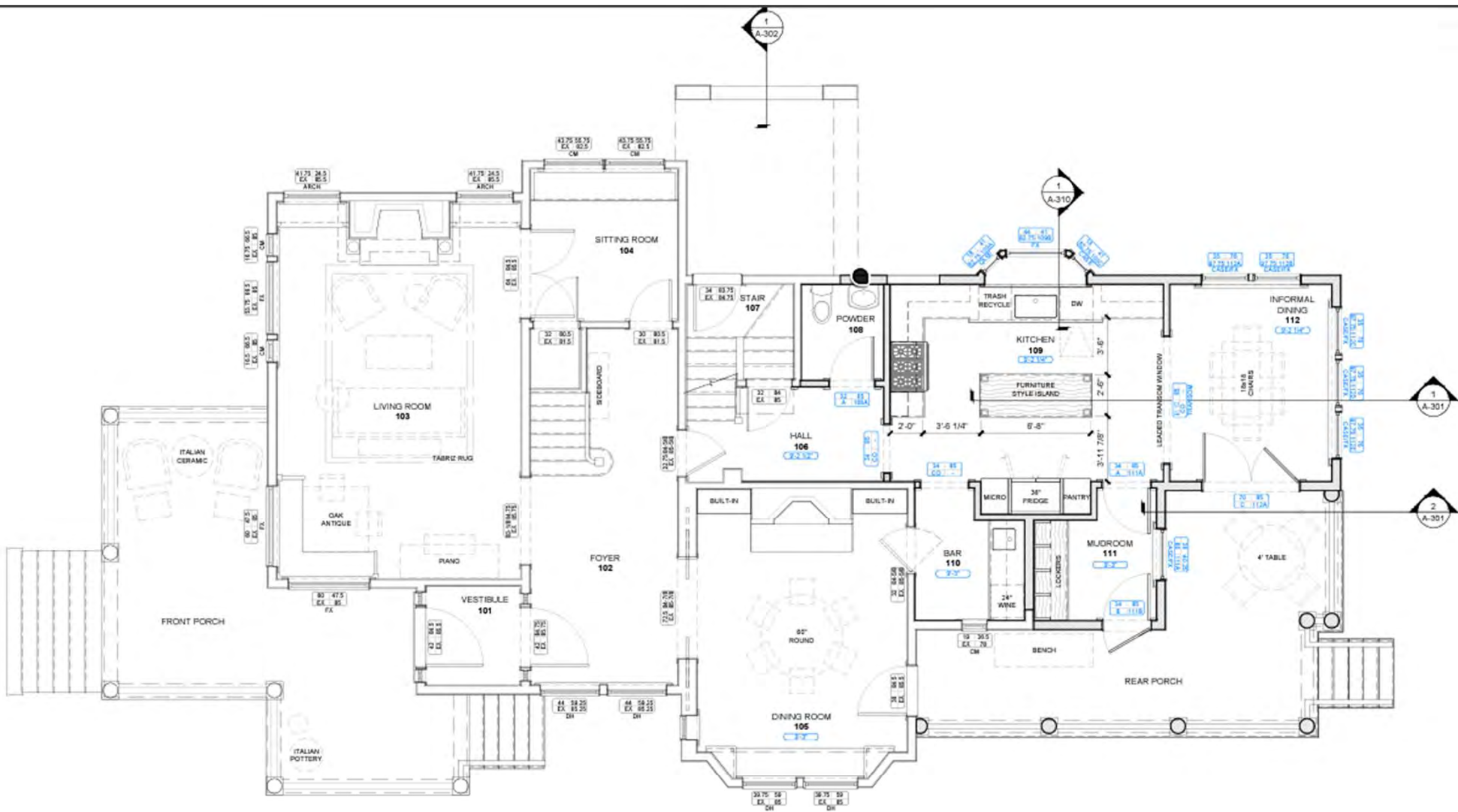
BASEMENT PLAN

NORTH



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



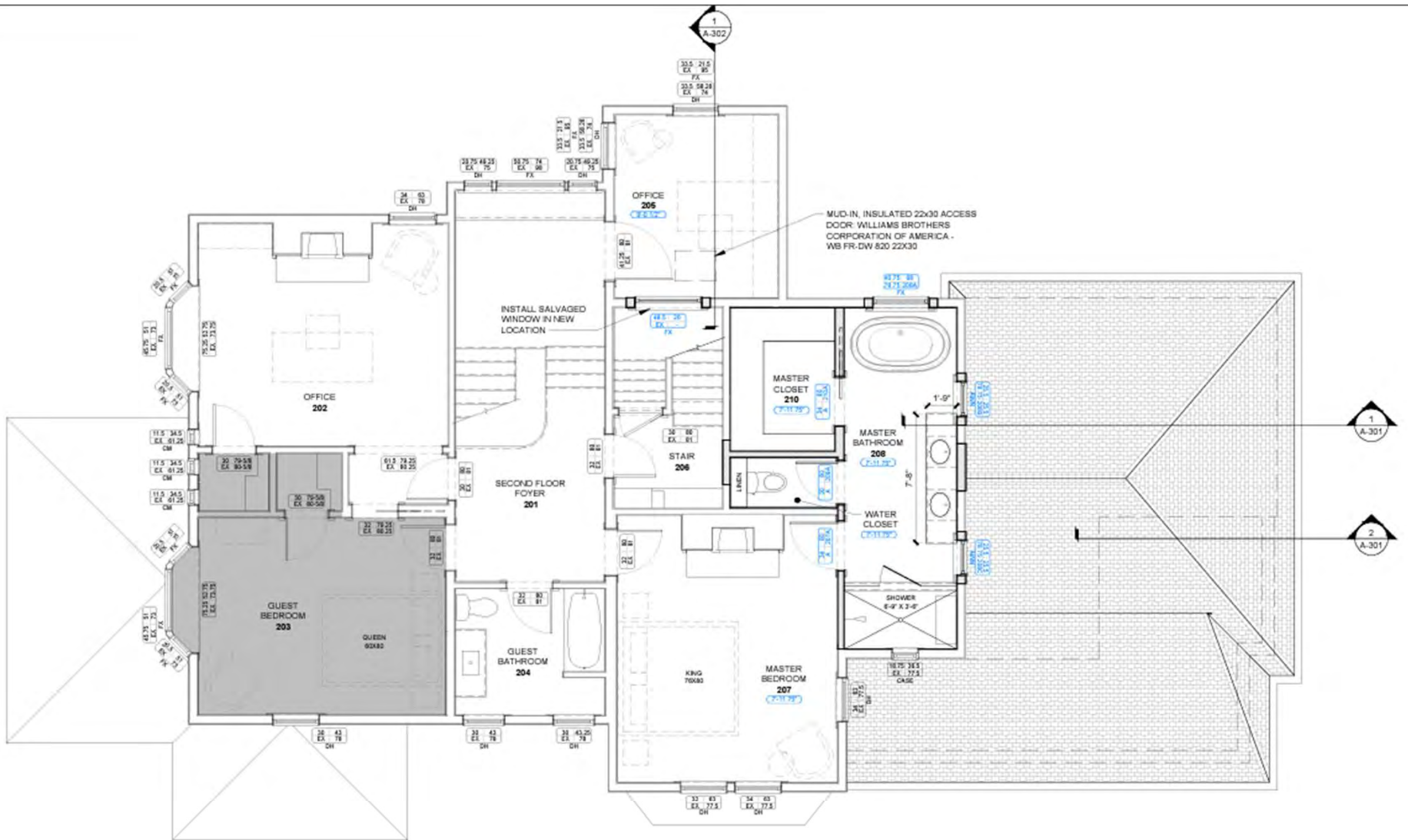
1 FIRST FLOOR PLAN
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



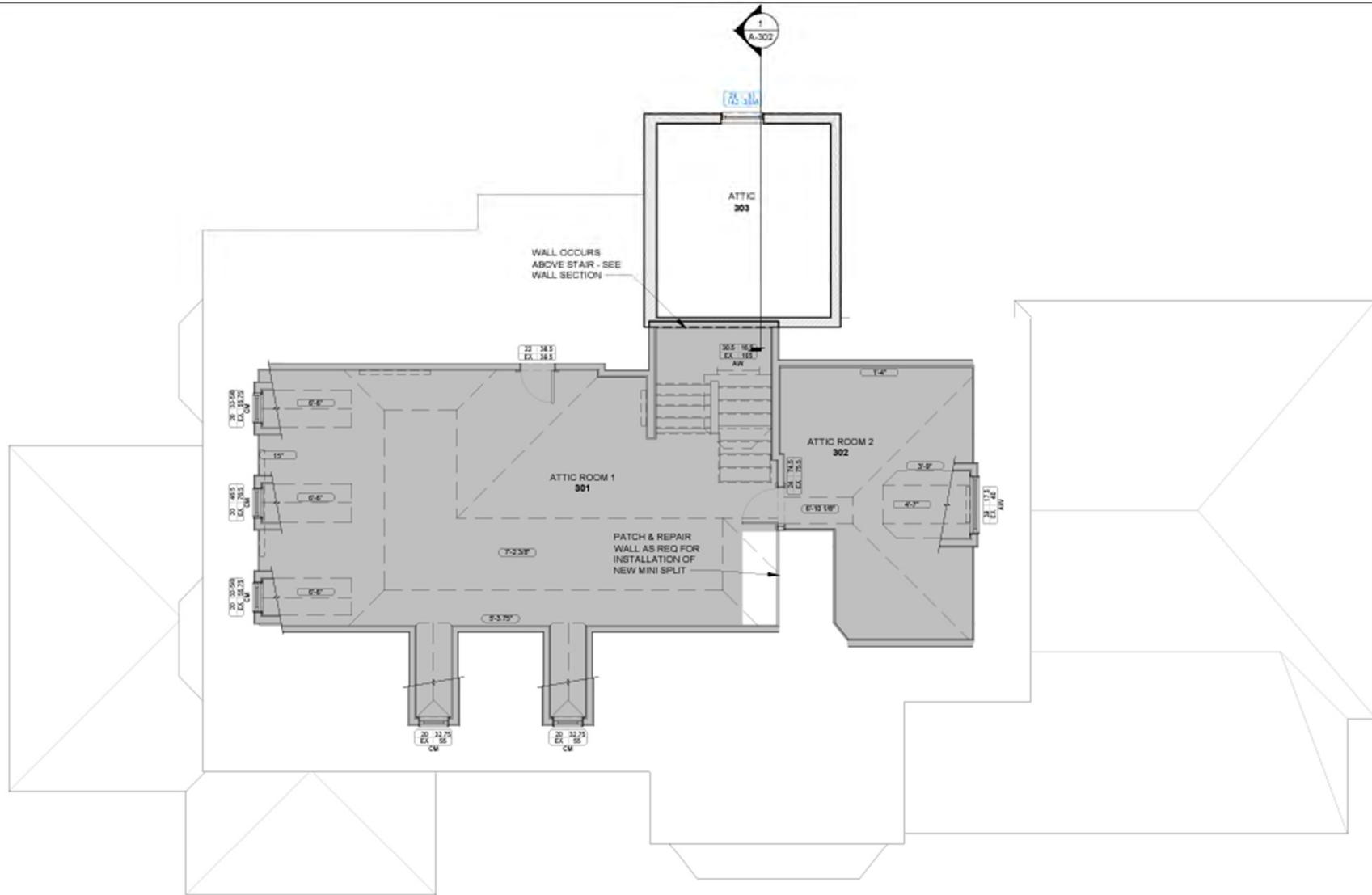


1 SECOND FLOOR PLAN
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



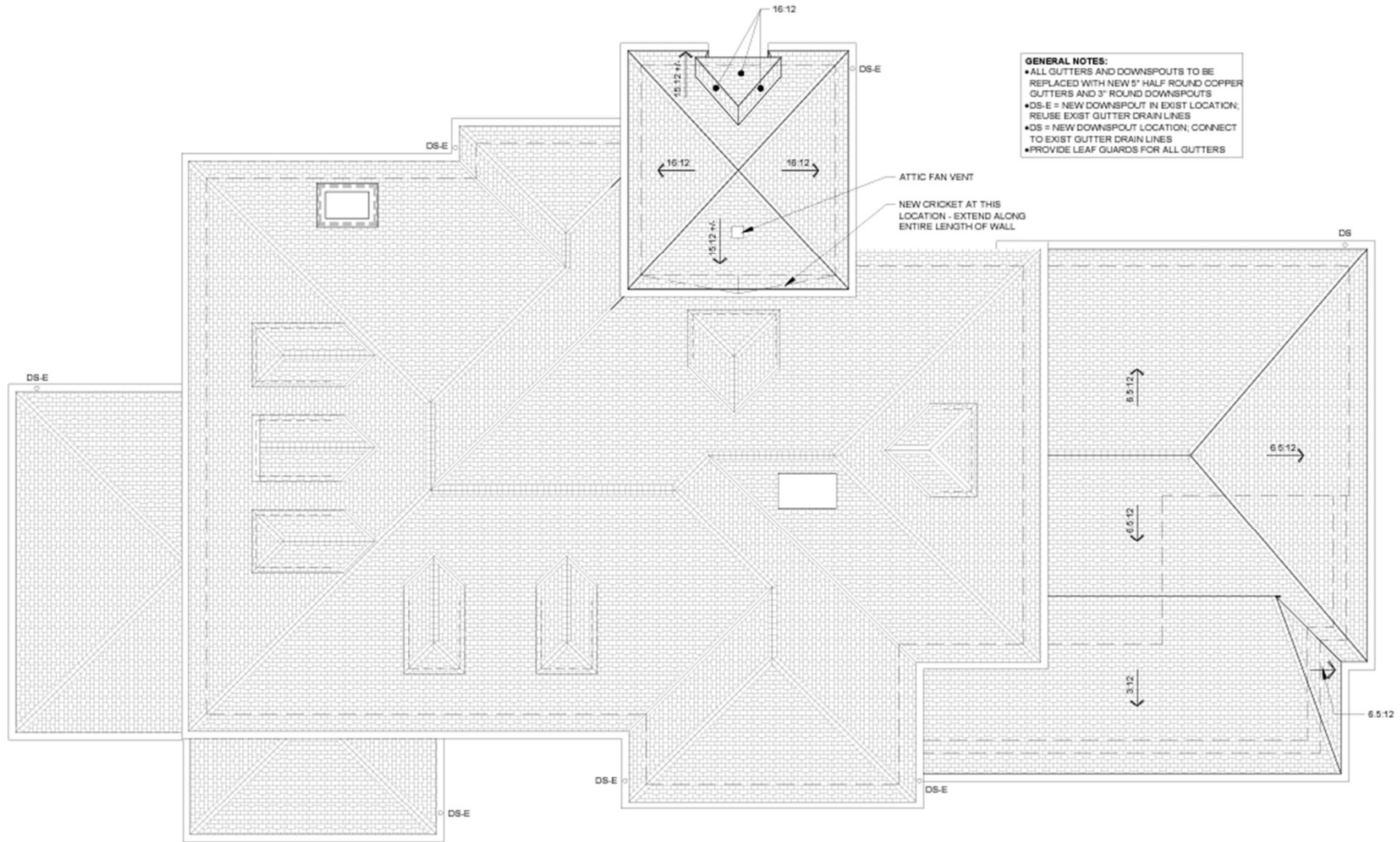
① THIRD FLOOR PLAN
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



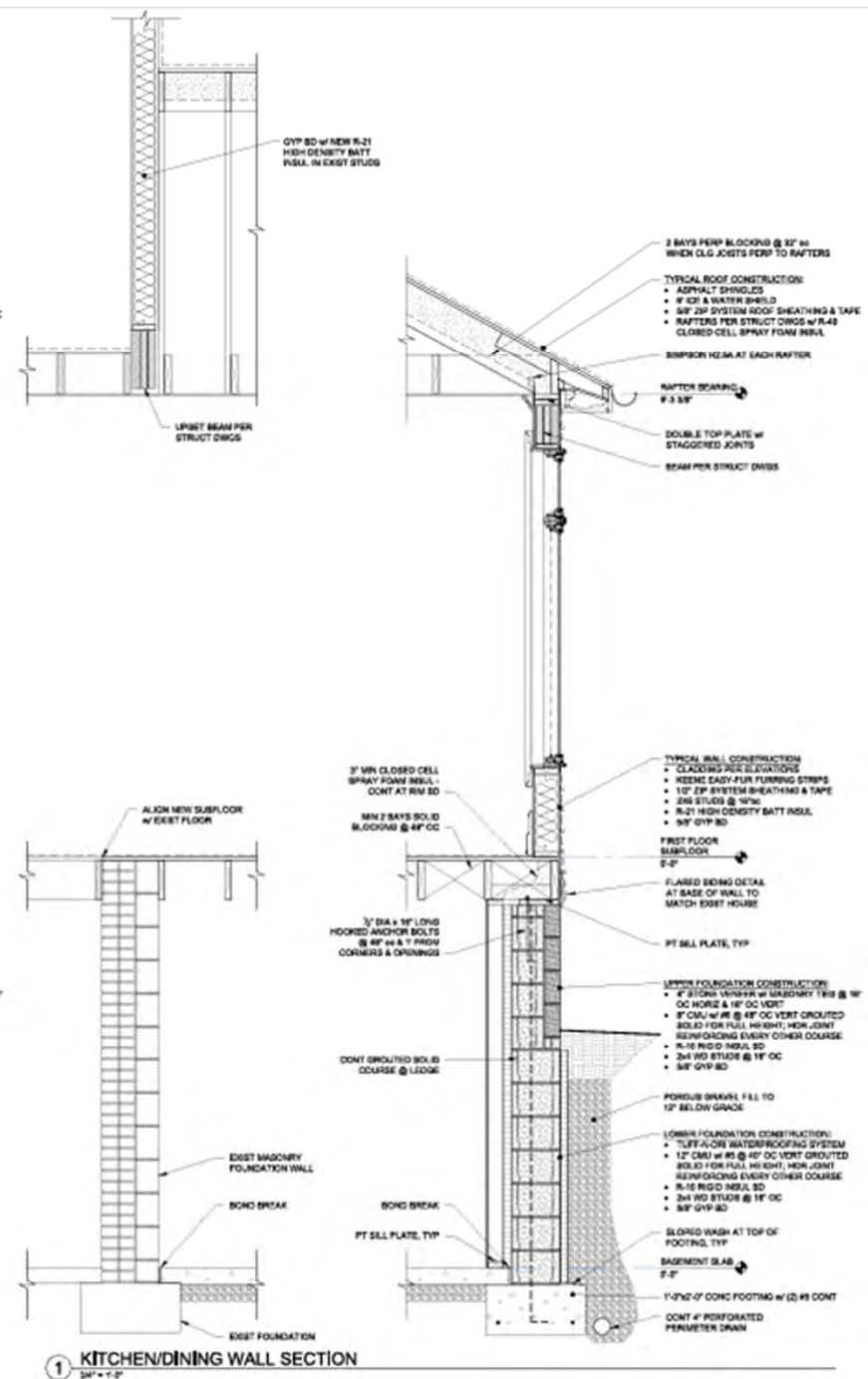
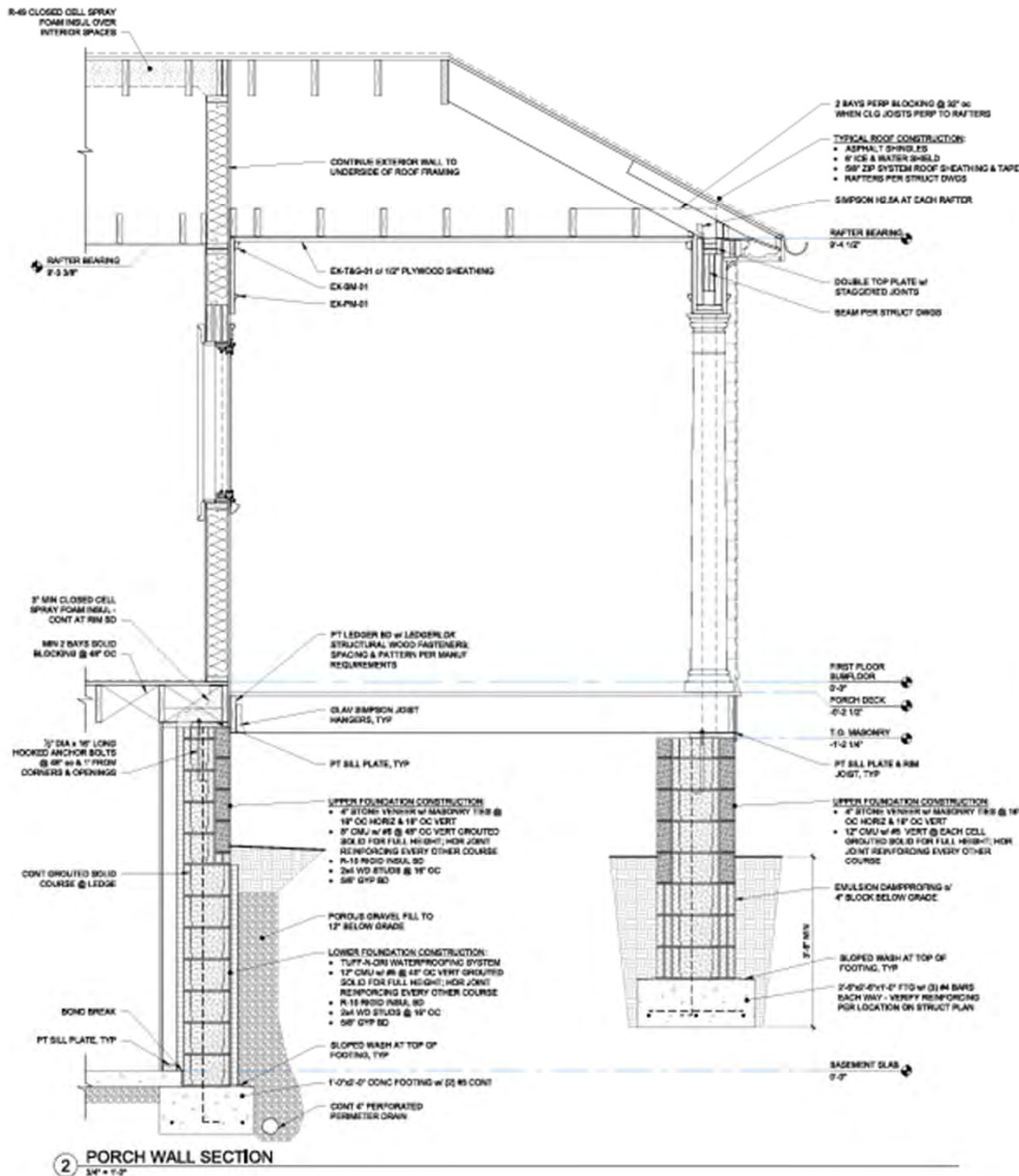


1 ROOF PLAN
1/4" = 1'-0"

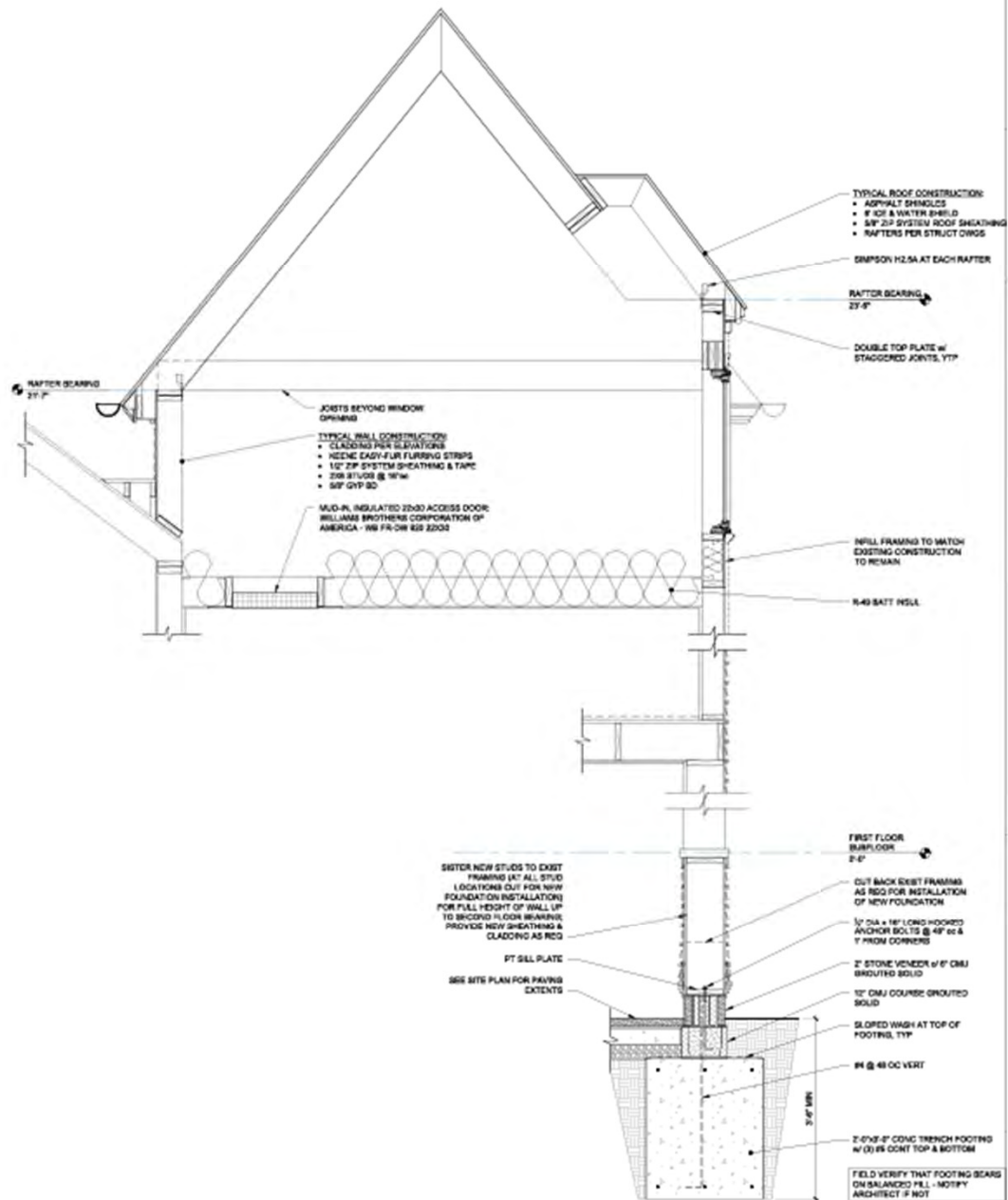


Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



Docket No. 2-5-24 (1428 Grace)
Residential Renovation - Park

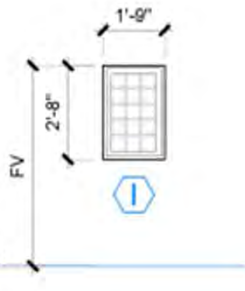


1 TOWER WALL SECTION
3/8" = 1'-0"



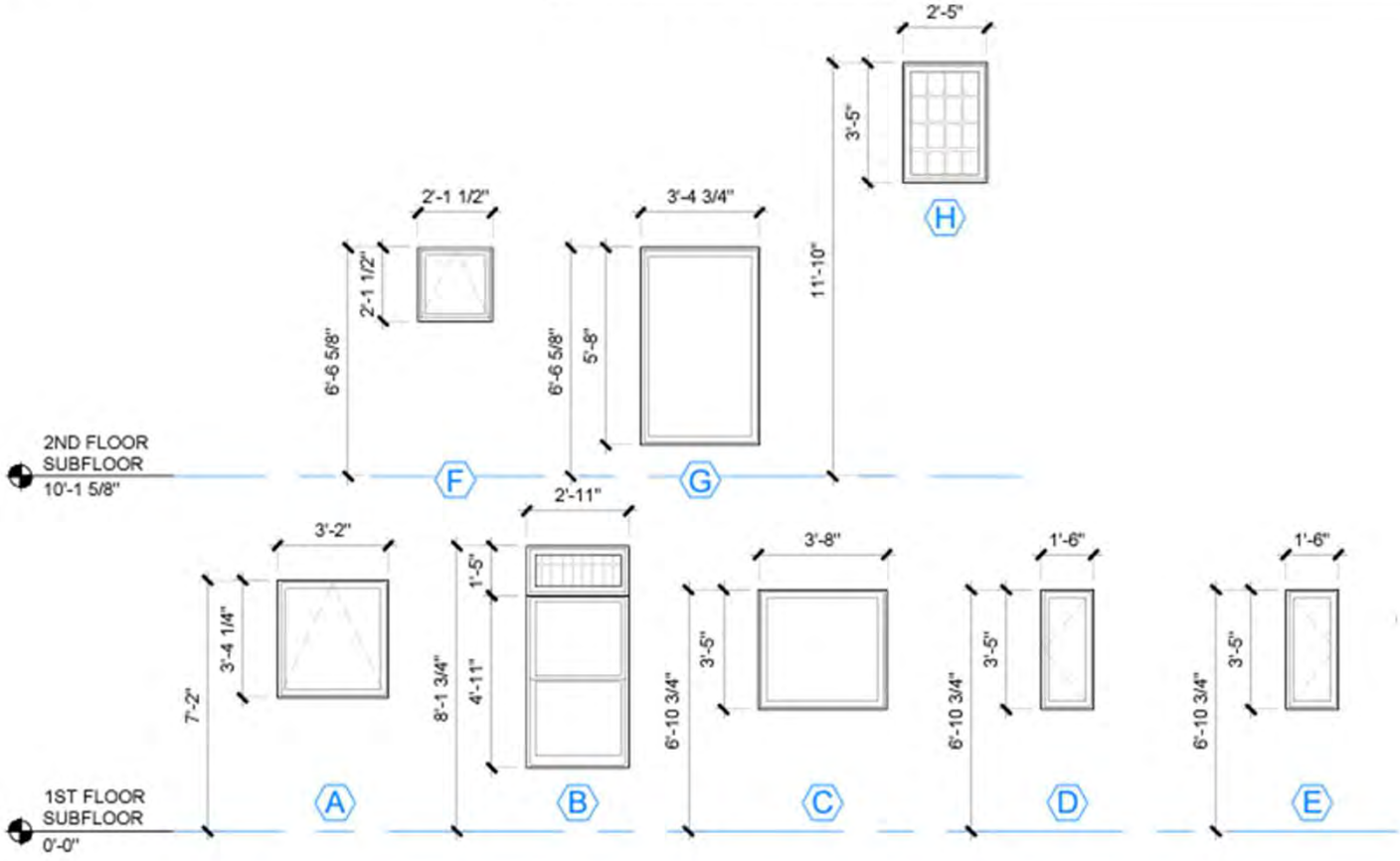
Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



WINDOW SCHEDULE								
WINDOW #	TYPE	FINISH	HARDWARE STYLE	HARDWARE FINISH	SCREEN	GRILLE	GLAZING	NOTES
109A	E	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	
109B	C	CUSTOM (SW2811) WHITE	-	NONE	INVIEW	NONE	LOW-E	
109C	D	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	
111A	A	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	OPERABLE ANTIQUE STAINED GLASS SASH INSERT
112A	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112B	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112C	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112D	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
112E	B	CUSTOM (SW2811) WHITE	SPOON	OIL-RUBBED BRONZE	INVIEW	NONE/KENYON	LOW-E	KENYON PATTERN AS SHOWN IN SCHEDULE
208A	G	CUSTOM (SW2811) WHITE	-	NONE	INVIEW	NONE	LOW-E, TEMPERED	FIXED ANTIQUE STAINED GLASS SASH INSERT
208B	F	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	OPERABLE ANTIQUE STAINED GLASS SASH INSERT
208C	F	CUSTOM (SW2811) WHITE	ANTIEK	OIL-RUBBED BRONZE	INVIEW	NONE	LOW-E	OPERABLE ANTIQUE STAINED GLASS SASH INSERT
303A	H	CUSTOM (SW2811) WHITE	-	NONE	NONE	5/8" PUTTY ILT	LOW-E	FROSTED GLAZING
100	I	CUSTOM (SW2811) WHITE	-	NONE	NONE	5/8" PUTTY ILT	LOW-E	FROSTED GLAZING

SPLIT FINISHES NOTATED BY EXTERIOR/INTERIOR
ALL WINDOWS TO BE RESERVE SERIES BY PELLA, UNO



3 WINDOW TYPES
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



(4) SUPERIOR CLAY CHIMNEY
POTS: 35" EDWARDIAN

3RD FLOOR
SUBFLOOR
18'-7 5/8"

2ND FLOOR
SUBFLOOR
10'-1 5/8"

1ST FLOOR
SUBFLOOR
0'-0"

TOOTH NEW S
INTO EXIST

TOOTH NEW S
INTO EXIST

2 WEST ELEVATION
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



2 EAST ELEVATION
 1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)
 Residential Renovation – Park

2 WEST ELEVATION
1/4" = 1'-0"

4) SUPERIOR CLAY CHIMNEY
POTS: 35° EDWARDIAN

NEW SIDING ON
DORMERS, TYP

TOOTH NEW SIDING
INTO EXIST

3RD FLOOR
SUBFLOOR
18'-7 5/8"

2ND FLOOR
SUBFLOOR
10'-1 5/8"

1ST FLOOR
SUBFLOOR
0'-0"

1 NORTH ELEVATION
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park

2 EAST ELEVATION
1/4" = 1'-0"



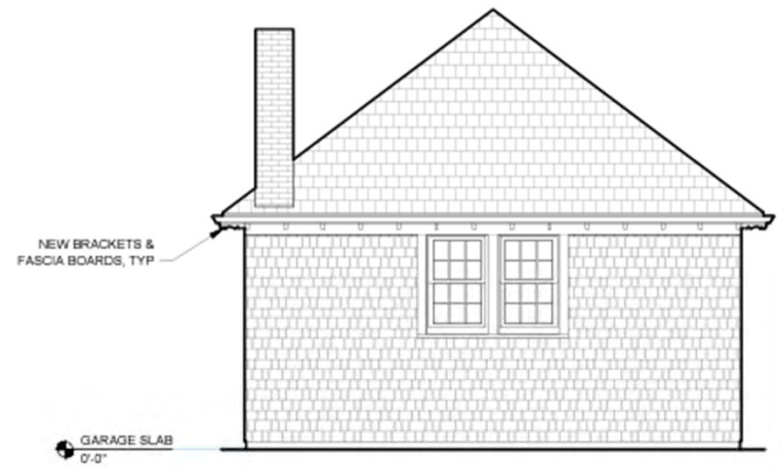
1 SOUTH ELEVATION
1/4" = 1'-0"



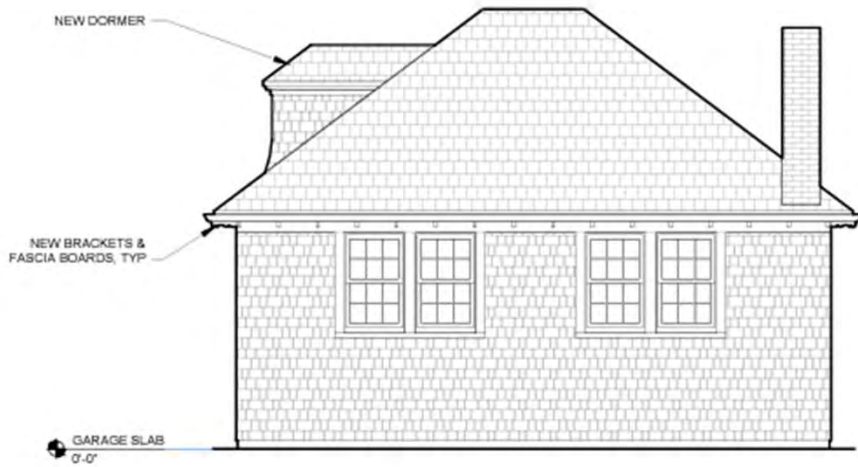
Docket No. 2-5-24 (1428 Grace)
Residential Renovation – Park



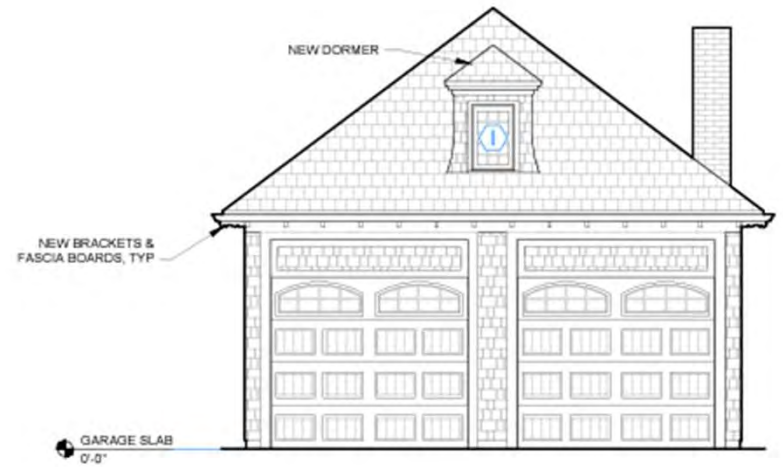
4 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

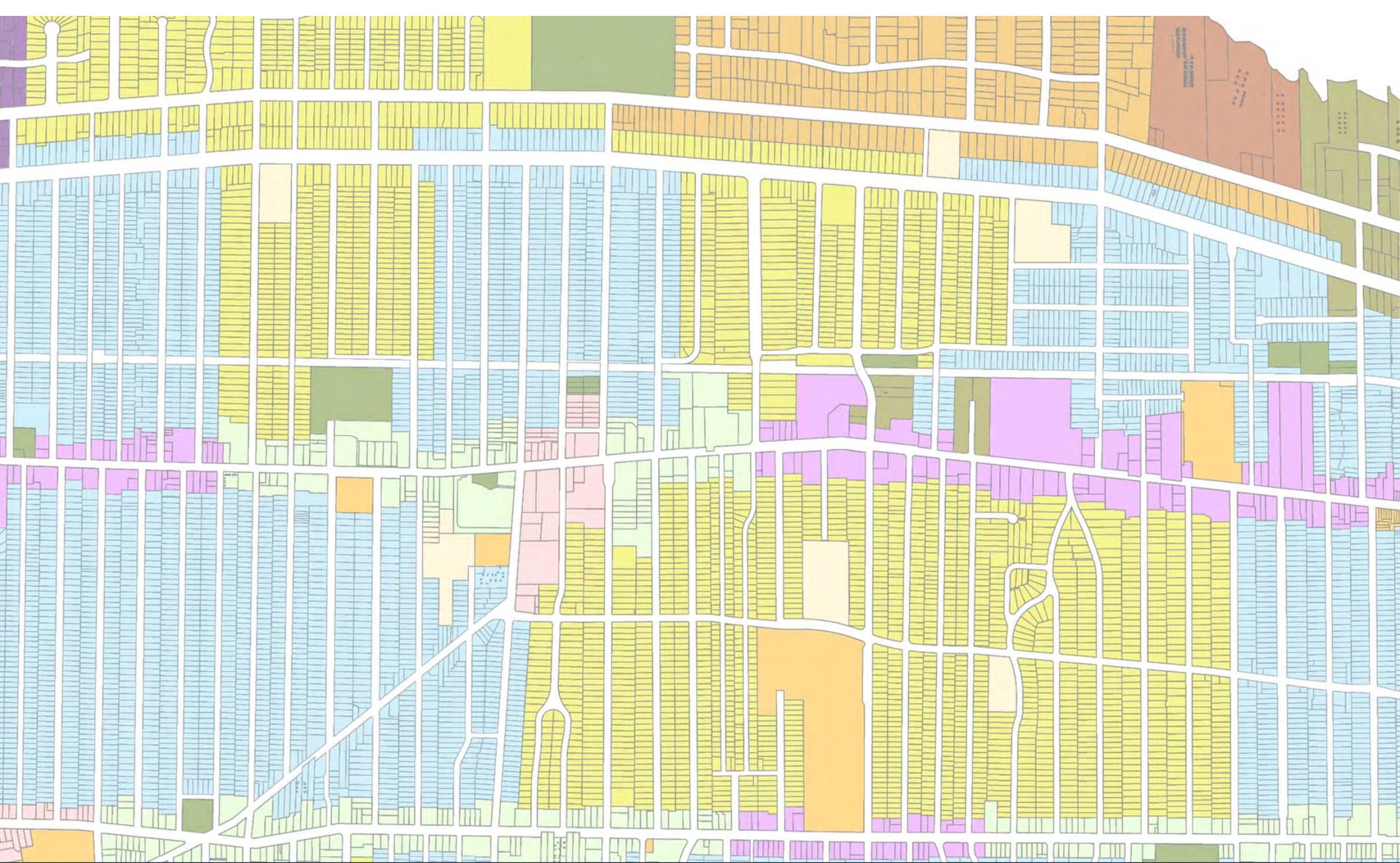


1 EAST ELEVATION
1/4" = 1'-0"



Docket No. 2-5-24 (1428 Grace)

Residential Renovation – Park



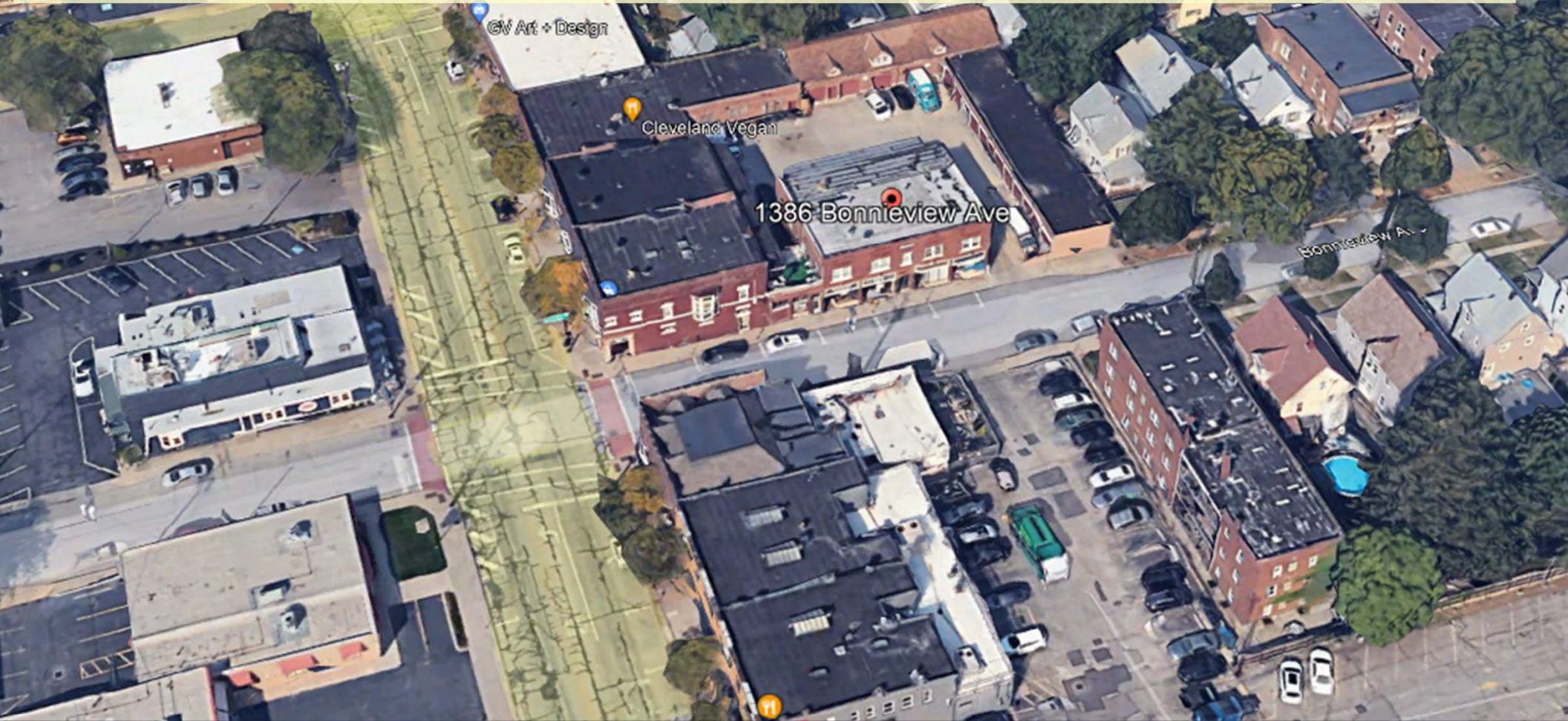
Architectural Board of Review

Sign Review – February 2024

Applicant proposes signage.

City Notes:

- Applicant proposes 1 wall sign (12.28 sq ft), 1 window sign (9 sq ft), and 1 vinyl window decal (2 sq ft)
- Business frontage ~ 16 sq ft; Allowed signage ~16 sq ft. Window signage allowed ~ 10.34 SF, proposed 11 SF
- Need updated dimensions for logo**



Docket No. 2-7-24 (1386 Bonnieview)

**Signage – Get Yourself Together
Shawn Warren**

Store front as is



	CLIENT:	GET YOURSELF TOGETHER	JOB #:	19029	DATE:	1-2-24
	ADDRESS:	1386 Bonnieview Ave	SALESPERSON/ DESIGNER:		DATE:	
	REVISION HISTORY:		CHANGES MADE:			
	DATE:					
				CLIENT SIGNATURE OF APPROVAL:	Phone	DATE:

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



Docket No. 2-7-24 (1386 Bonnieview)

Signage – Warren

store front sq ft =168
 window area 69 sq total

.5" THICK

GET YOURSELF TOGETHER

Logo 60"h x 69" w. =9 sq.
 \$90+ \$60 install

13.5" x 131" = 12.3 sq . ft.
 19 x \$25 \$475 install \$120

hours
 12" x 24" = 2 sq. 2=\$25



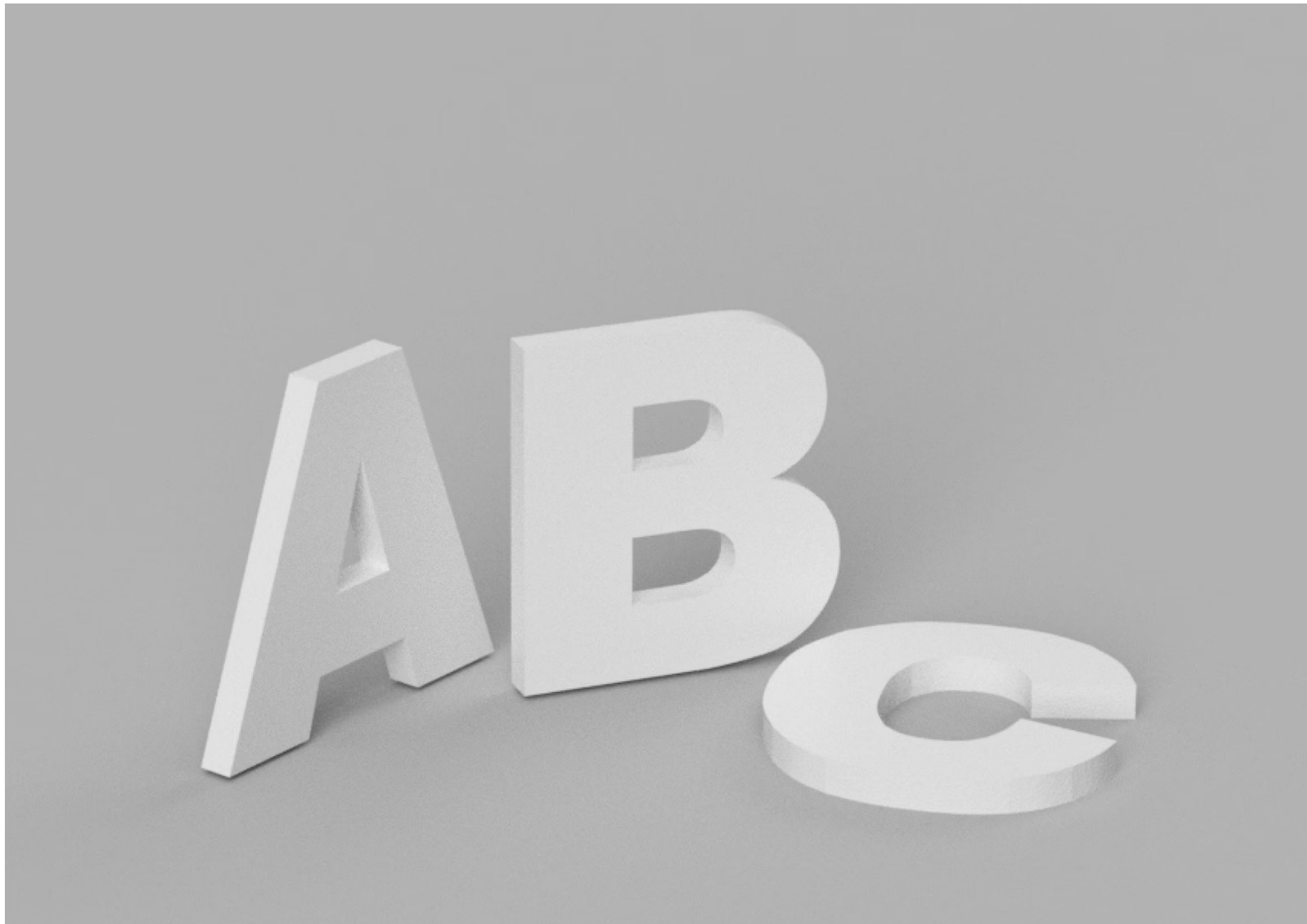
windows
 41" x 69" x 3
 door 24" x 60"
 69 sq ft

	CLIENT:	GET YOURSELF TOGETHER	JOB #:	19029	DATE:	1-2-24
	ADDRESS:	1386 Bonnieview Ave	SALESPERSON/ DESIGNER:		DATE:	
	REVISION HISTORY:		CHANGES MADE:		CLIENT SIGNATURE OF APPROVAL:	DATE:
	DATE:				Phone	1-2-24

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



Docket No. 2-7-24 (1386 Bonnieview)
 Signage – Warren



Docket No. 2-7-24 (1386 Bonnieview)

Signage – Warren

Applicant proposes signage.

City Notes:

- ❑ Applicant proposes 1 blade sign (14 sq ft) and 2 window signs (6 sq ft)
- ❑ Business frontage ~ 40 sq ft; Allowed signage ~40 sq ft
- ❑ Total proposed square footage = 14 sq ft blade, if provided window measurements are per storefront, allowed 7.25 SF of window signage

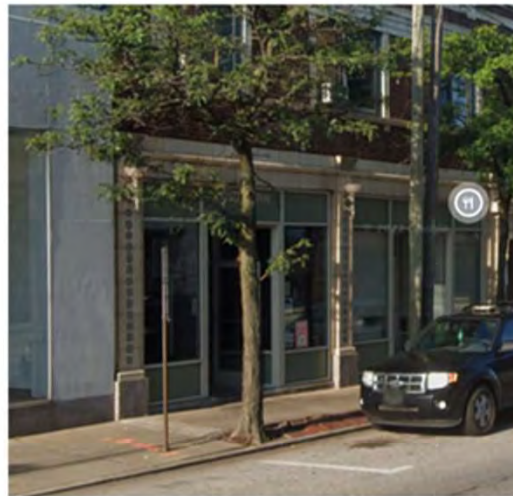
Druid Greenhouse



Docket No. 2-8-24 (11821 Detroit)

Signage – Naomi's Recipes
Shawn Warren

Store front
as is



16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043

CLIENT: Naomi's Recipes	JOB #:	DATE:
ADDRESS:	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
	CLIENT SIGNATURE OF APPROVAL	DATE:



Docket No. 2-8-24 (11821 Detroit)
Signage – Warren

Blade sign w/ 42" scroll bracket
 2 sided 38 x 28" oval sign 1/4" thick maxx,metal 14 sq. ft.



Only in clear window LOGOS ARE THE SAME SIZE



Cut vinyl window graphics 18" w x 24" h 18" w x 20" h

windows measure 81" h x 43" w total 109 sq ft and total windows - storefront of 141 sq ft
 15% is 21.5 sq. per store.



CLIENT: Naomi's Recipes	JOB #:	DATE:
ADDRESS:	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
	CLIENT SIGNATURE OF APPROVAL	DATE:

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



Docket No. 2-8-24 (11821 Detroit)
 Signage – Warren



6mm Thick

.21mm Thick
Aluminum



Docket No. 2-8-24 (11821 Detroit)

Signage – Warren

Applicant proposes signage.

City Notes:

- Applicant proposes 1 blade sign (12 sq ft)
- Business frontage ~ 40 sq ft; Allowed signage ~40 sq ft
- Total proposed square footage = 12 sq ft
- Ohio Historical Society will not approve blade sign being moved to western pier.



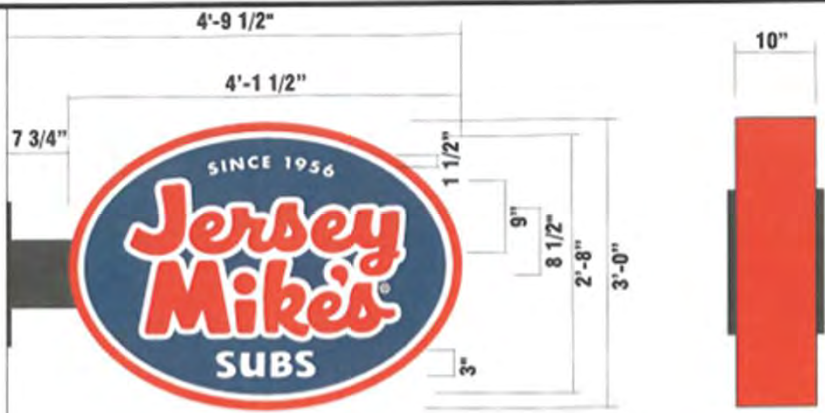
Docket No. 2-11-24 (16300 Detroit)

Signage – Jersey Mike's
Laura Higgins-Wyoma



Docket No. 2-11-24 (16300 Detroit)
Signage – Higgins-Wyoma





SIGN ELEVATION: 3/4" = 1'-0'

Notes

Manufacture & install one (1) double face, internally illuminated, oval cabinet projecting from the building using custom, bracket with steel plate; fastened through mortar joints

- Background of the faces of the oval cabinet to be painted blue PMS 534C; outline around the oval to be first surface, white vinyl; outer outline to be painted red PMS 485C; cabinet & trim to be painted red PMS 485C
- Copy reading "Jersey Mike's," to be routed out & backed up by white acrylic with first surface, translucent red 3630-33 vinyl; copy reading "SINCE 1956," & "SUBS," to be first surface, die cut vinyl
- Custom bracket & steel plate to be painted black

RATED 120 VOLTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

NOTE: THIS IS AN ORIGINAL UNPUBLISHED PRINTING CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE. IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

Brilliant Electric Sign Co., Ltd.
 4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

COMPANY NAME	JERSEY MIKES	SALESMAN	MH	DATE	10/18/23	REVISION	12/6/23CP	DESIGN NO.	B23-1323
LOCATION	LAKEWOOD, OH	DESIGNER	CP	SCALE	SHOWN		12-8-23dm	COPYRIGHT ©	2023
								FILE NAME	charlotte/ jersey mikes (lakewood)



PARTIAL WEST ELEVATION 3/16" = 1'-0"



PARTIAL SOUTH ELEVATION 3/16" = 1'-0"



Docket No. 2-11-24 (16300 Detroit)
 Signage – Higgins-Wyoma

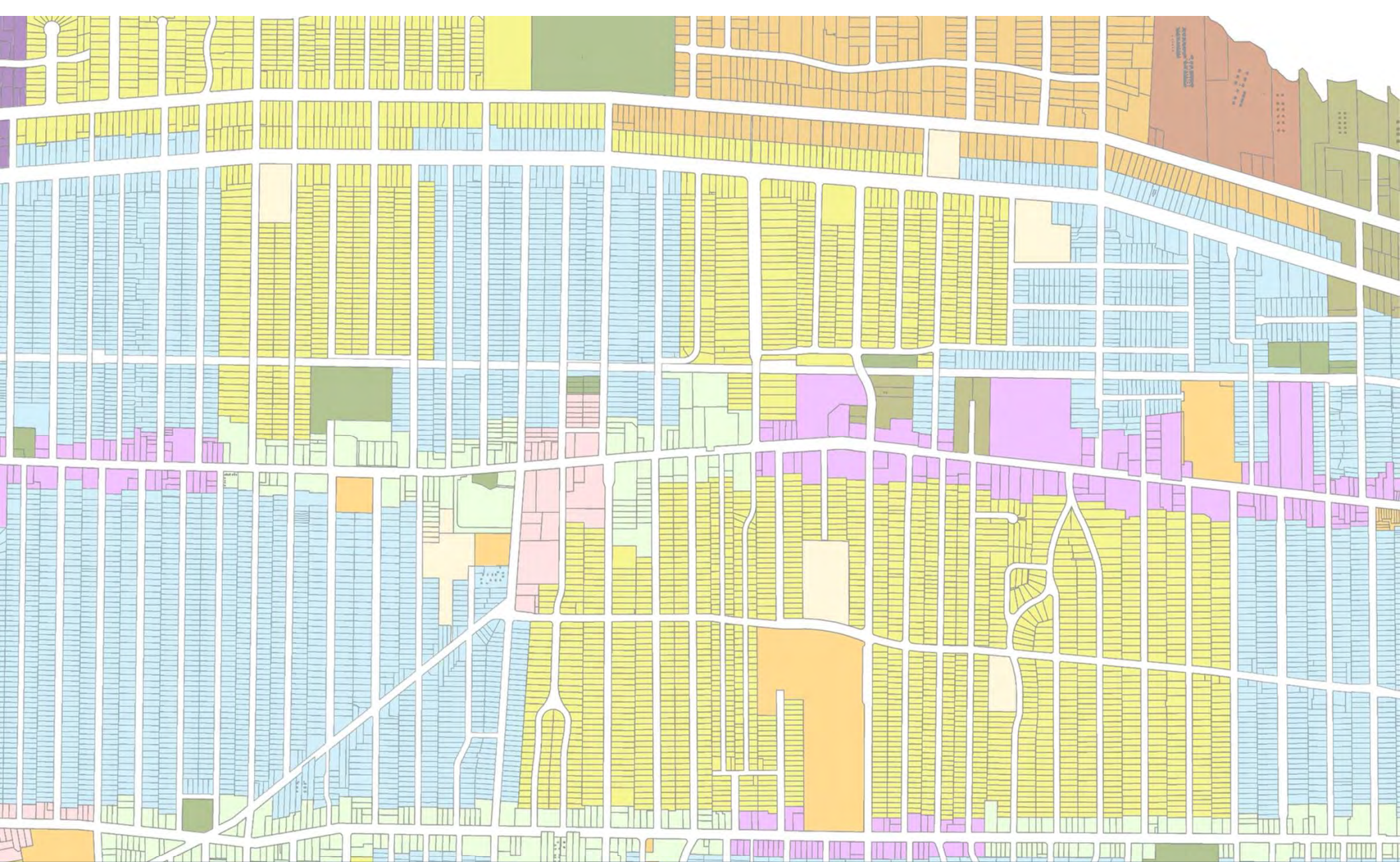
FRONTAGE: 33.67 ft.



CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	SCALE	DATE	PROJECT MANAGER	PAGE DESCRIPTION	PAGE NO.
	AS NOTED	11/09/23	ANNA A.	MOCK-UP ON SITE - DAY	13 OF 14



Docket No. 2-11-24 (16300 Detroit)
 Signage – Higgins-Wyoma



Architectural Board of Review

Return for Modifications – February 2024

Applicant is returning for modifications to approval granted at the October 13, 2022 meeting for commercial renovation into a restaurant/market.

City Notes:



Docket No. 10-68-22 (12420 Madison)

**Return for Modifications – K-Town Restaurant/Market
Leo Sampat**



K TOWN
12500 MADISON AVE.
LAKEWOOD, OH 44107

LS ARCHITECTS
22082 LORAN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 26-403-9654 FAX 440-76-8837



Docket No. 10-68-22 (12420 Madison)
Return for Modifications – Sampat



MAC METAL: TEAK

MAC METAL: BLACK

JAMES HARDIE IRON GRAY WALNUT

[SIGN WALL LIGHTING IMAGE]



SCONCE LIGHTING IMAGE]

[BRICK PAINT COLOR]



SW 7076
CYBERSPACE



UTILITY BRICK: THOMAS
BRICK VINTAGE BLACK



[FOLDING DOOR IMAGE]
Wood color frame (teak)



YAOWSZM
_ Outdoor Wall Sconce IP65 LED
Black Wall Lights 18W Long Strip Suitable



OUTDOOR PATIO IMAGE

[WALL LIGHTING]



LANFU _ LED Aluminum
Waterproof Outdoor Light 6W
100-277V 3000K Warm Light 2LEDS
(Black-6W, Outdoor)



Docket No. 10-68-22 (12420 Madison)
Return for Modifications – Sampat



Docket No. 10-68-22 (12420 Madison)
Return for Modifications – Sampat



Docket No. 10-68-22 (12420 Madison)
Return for Modifications – Sampat



22082 LORAIN ROAD
PHONE 216 - 403 - 9654

FAIRVIEW PARK, OHIO 44126
FAX: 440 - 716 - 8837

February 06, 2024

Christopher Parmelee
Lakewood Building Commissioner
12650 Detroit Avenue
Lakewood, OH 44107-2832

Re: K-Town Restaurant
12420 Madison Ave.
Lakewood, OH 44107
Application Number: CB23-000055

To Whom It May Concern,

Regarding the demolition of the existing East wall, the length of the wall is to be demolished to sixteen inches below the existing ground floor as indicated on Sheet D1.1, revision one dated January 01, 2024: During the review of the existing conditions it was found that the existing East wall is made of clay tile. It was determined that the existing wall was unsuitable for use as a bearing wall for a new roof structure.

If you have any questions and/or concerns, please contact me at 216-403-9654.

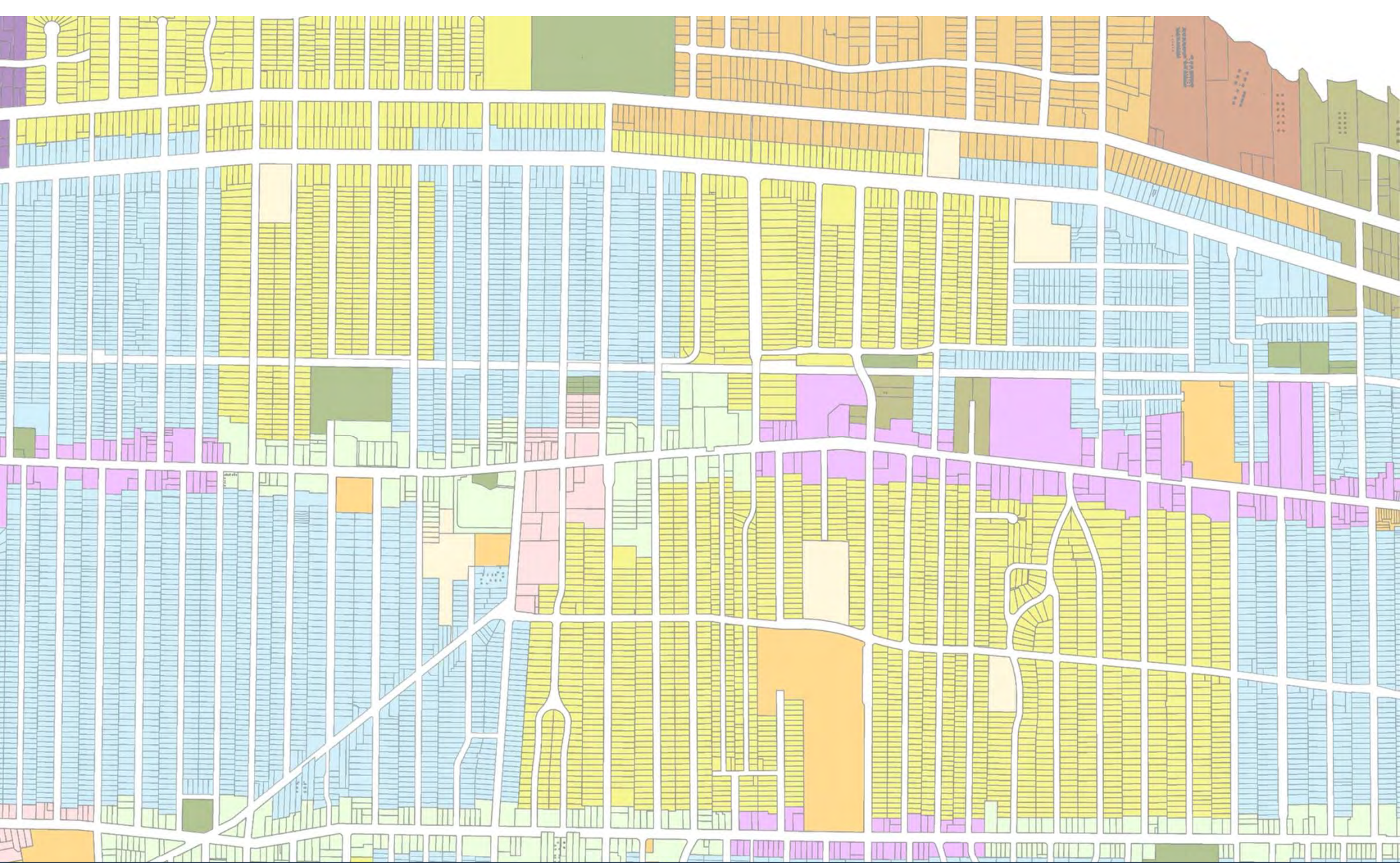
Respectfully,

A handwritten signature in black ink, appearing to read 'Leon S. Sampat'.

Leon S. Sampat, Architect
LS ARCHITECTS
22082 Lorain Road
Fairview Park, Ohio 44126



Docket No. 10-68-22 (12420 Madison)
Return for Modifications – Sampat



Architectural Board of Review

February 2024