

MINUTES
**BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
FEBRUARY 9, 2023
5:30 P.M.
RECORDED
<https://www.lakewoodoh.gov/videos-2/>

1. OATH: CHRIS EGERVARY

Chris Egervary read the oath into record.

2. ROLL CALL

Board Members

Chris Egervary
Brian Grambort, Vice Chair
David Maniet, Chair
Hanna Cohan Plessner
Jeremy Smith

Staff

David Baas, Board Secretary, Senior Planner
Shawn Leininger, Director, Planning & Development

Brian Grambort, Vice Chair would arrive later; the arrival time would be noted.

3. APPROVE THE MINUTES OF THE JANUARY 12, 2022 MEETING

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the January 12, 2023 minutes. All the members voting yea, the motion passed.

4. OPENING REMARKS

Staff read the Opening Remarks into record.

ARCHITECTURAL BOARD OF REVIEW – RESIDENTIAL

**5. Docket No. 11-76-22
1655 Roosevelt Ave.**

- () Approve
- () Deny
- () Defer

Christopher Walling
14225 Cedarwood Ave.
Lakewood, OH 44107

Applicant proposes the construction of a new garage. (Page 4)

Christopher Walling, applicant was present to explain the request; he stated the displayed plans were not the more recent ones. Staff reminded the members the proposal needed the Board of Zoning Appeals (“BZA”) approval due to the height of the garage, and the renderings lacked detail and consistency. Public comment was closed as no one addressed the proposal. After much discussion, it was recommended the item was tabled.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **TABLE** the request. All the members voting yea, the motion passed.

Note: Mr. Grambort arrived 21 minutes into the meeting.

**6. Docket No. 01-02-23
2160 Overbrook Ave.**

- () Approve
- () Deny
- () Defer

Michael Horton
Horton Harper Architects
812 Huron Rd. E., Ste. 301
Cleveland, OH 44115

Applicant proposes the construction of a new home. (Page 10)

Mike Wilmot, representative for Michael Horton was present to explain the updated request. The members said the amended proposal was a more cohesive package, discussed the materials/cutsheet, clarified the lattice, liked the larger front windows, asked about the column capitals, asked about the proposal railing differing from the displayed. Staff provided photographs of Lakewood homes and thanked the applicant for the proposal looking more like a Lakewood home. Public comment was taken. Staff explained the process for building a new construction home. The members said the use of a shutters system should be a functioning unit that covered the window and did not recommend them for this particular home. The height of the railings is determined by the Building Commissioner as it is a code issue.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request with the following conditions:

- **Lower the height of the column capitals to allow the continuum of the beam board to run across the underside.**
- **The front porch railings are submitted for administrative approval.**

All the members voting yea, the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW – RESIDENTIAL

**8. Docket No. 02-16-23
1464 Riverside Dr.**

- () Approve
- () Deny
- () Defer

Gary Fischer
Fischer & Associates Architects Inc.
554 West 9th St.
Lorain, OH 44052

Applicant proposes the construction of a new home. (Page 31)

Staff spoke with the applicant and recommended that the members table the application as items were missing from the application, and the proposal required approval for several variances from BZA. The April meeting was the earliest the item would be heard.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **TABLE** the request. All the members voting yea, the motion passed.

Items 10 and 11 were called together – same address.

ARCHITECTURAL BOARD OF REVIEW – COMMERCIAL

10. Docket No. 02-18-23

15322 Detroit Ave.

Crumb & Spigot

- () Approve
- () Deny
- () Defer

Tommy Chesnes
Onyx Creative
25001 Emery Rd., Suite #400.
Cleveland, OH 44128

Applicant proposes façade renovation and outdoor dining. (Page 71)

SIGN REVIEW

11. Docket No. 02-19-23

15322 Detroit Ave.

Crumb & Spigot

- () Approve
- () Deny
- () Defer

Jeff Clark
Easy Sign Group
9478 Ravenna Rd.
Twinsburg, OH 44087

Applicant requests wall signage at the front and rear entrances. (Page 83)

Tom Chesnes, Onyx Creative, applicant was present to explain the request. There was discussion about sign colors (three options), new awning fabric, railing return, egress. The members liked the proposal.

Jeff Clark, Easy Sign Group, applicant was present to explain the signage request. There was discussion about no need for additional illumination; the shiny signs were three-dimensional and reflected the ambient light. Staff said the proposal was compliant with the code. Vinyl graphics would be added to the window and would be approved administratively.

Public comment was closed as no one addressed the items.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE Docket No. 02-18-23 with the following conditions:**

- **Use Option 1 rendering.**
- **Update site plan to include return of patio fencing from front edge to carry along edge of ADA ramp.**

All the members voting yea, the motion passed.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE Docket 02-19-23 with the following condition:**

- **Submit business hours window/door graphics (front and rear) for administrative approval.**

All the members voting yea, the motion passed.

Mr. Maniet recused himself as he was the applicant for items 7 and 9.

ARCHITECTURAL BOARD OF REVIEW – RESIDENTIAL

**7. Docket No. 02-15-23
17899 Lake Rd.**

- Approve
- Deny
- Defer

David J. Maniet AIA
Maniet Architects
1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes a two-story addition on the south side of an existing home. (Page 18)

David Maniet, Maniet Architects, applicant was present to explain the request. It was confirmed the shutters would remain. The members liked the proposal, discussed the south side round window. Public comment was closed as no one addressed the item.

A motion was made by Mr. Grambort, seconded by Mr. Smith to **APPROVE** the request as submitted. All the members voting yea, the motion passed.

ARCHITECTURAL BOARD OF REVIEW – COMMERCIAL

**9. Docket No. 02-17-23
13370 Madison Ave.
Benchek Building**

- Approve
- Deny
- Defer

David J. Maniet AIA
Maniet Architects
1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes façade renovation. (Page 41)

David Maniet, Maniet Architects, applicant was present to explain the request. Signage would be presented later. The members discussed the proposed the window dark bronze color, transoms replacing the sign bands, newer recessed lighting, updating of the building was nice. Staff agreed with the bronze color would be appropriate. Public comment was closed as no one addressed the item.

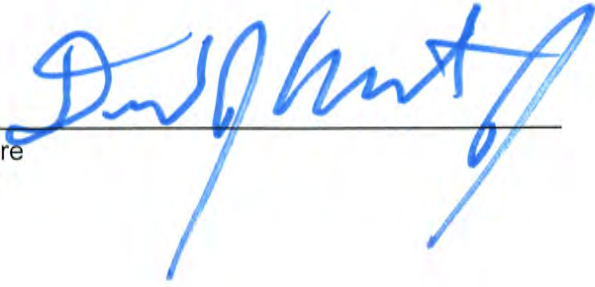
A motion was made by Mr. Grambort, seconded by Mr. Smith to **APPROVE** the request as submitted. All the members voting yea, the motion passed. Staff

There was a follow-up discussion from last month's meeting about the residential architectural standards and processes.

ADJOURN

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **ADJOURN** the meeting at 7:12 p.m. All the members voting yea, the motion passed.

Signature

A handwritten signature in blue ink, appearing to read "D. J. Hunt", written over a horizontal line.

Date

03-09-2023



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. Chris Walling
2. Mike Wilmet
3. Laura A. Grodek
4. Thomas Cheskes
5. JEFF CHARL
6. DAVID MANIET
7. _____
8. _____
9. _____
10. _____
11. _____

1. [Signature]
2. [Signature]
3. [Signature]
4. [Signature]
5. [Signature]
6. [Signature]
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11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

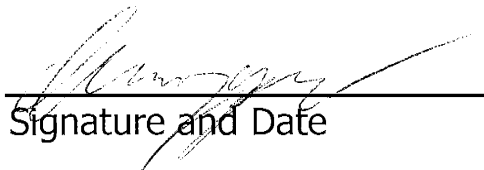
Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, February 9, 2023

OATH OF OFFICE

I, Chris Egervary, being first duly sworn according to law, upon my oath depose and say:

That I will support the Constitution of the United States and the State of Ohio, and the Charter and Ordinances of the City of Lakewood and will faithfully discharge the duties of the Board of Building Standards/Architectural Board of Review/ Sign Review Board of the City of Lakewood, Ohio so help me God.


Signature and Date

2/9/23

Johanna Schwarz

From: Kate Rybak <k8.rybak@gmail.com>
Sent: Sunday, January 15, 2023 3:23 PM
To: Planning Dept
Subject: Overbrook Plans

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good Day,

I am writing because I live on Overbrook Avenue and I have recently seen the plans for the new build on our street. The plan is not a flattering one. It looks like it belongs in a rundown home in Slavic Village. It truly does. I work in Slavic Village and pass countless homes that look just like this proposed home every day.

Our street is not only one of the most desirable streets in Lakewood because it receives little to no outside traffic, but it is also close to the metroparks & Riverside Drive, and has many differently styled homes. Each is different and unique and none have a familiar look that resembles any less than desirable areas, in my opinion.

I'm wondering who received information regarding this proposal? I did not get a letter at all. Neither did the other neighbors I spoke to.

Is this plan/architectural design actually approved?? If so, I think you'll have some very unhappy neighbors. But I could be wrong.

Please reply and advise what steps, if any, are able to be taken to propose a different design that wouldn't prove to be an eye sore almost equivalent to a burnt home sitting vacant on our beautiful street for over a year.

Thank you for your time.

Kate Rybak
2107 Overbrook Ave

Please excuse any typos as I have sent this from my iPhone.

Johanna Schwarz

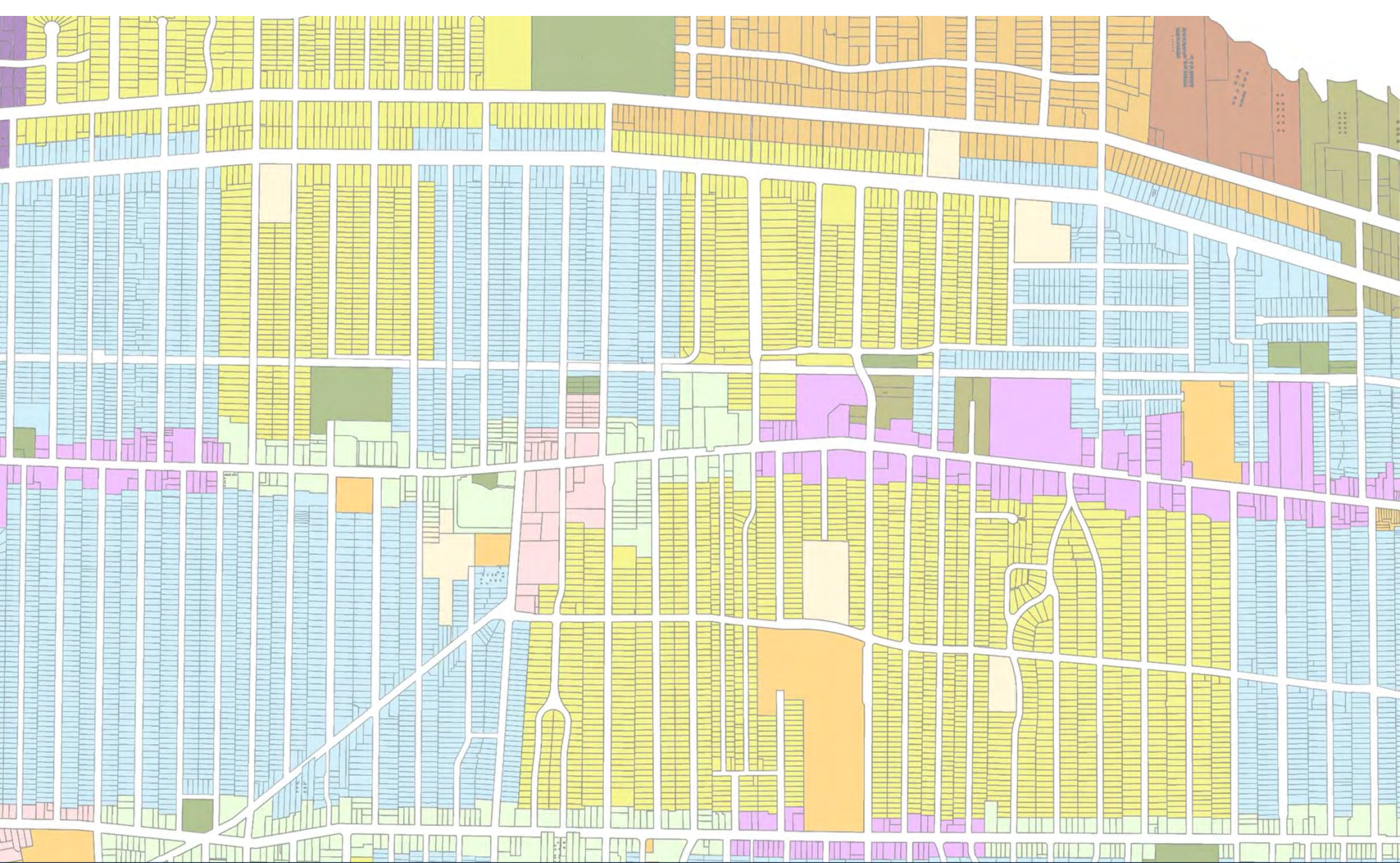
From: Carol Hacker <cjhacker@sbcglobal.net>
Sent: Sunday, January 15, 2023 2:29 PM
To: Planning Dept
Subject: Proposed house at 2160 Overbrook Ave.

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

It has come to my attention that a meeting was held on January 12th to discuss the proposed plan for a new house at this address. One neighbor received the notice and told me today she couldn't make it but wanted to know who attended. So far, I haven't heard from anyone who knew about the meeting (I'm the block watch captain so everyone always asks me what's going on).

Since learning of the meeting, a number of neighbors have looked up the plans (as explained in the letter) and there are a number of concerns about the house appearance not fitting in with the rest of the street. I'm wondering if the plans have been approved or if there is still discussion? I'd appreciate it if you could let me know and I will let the residents of Overbrook and Indianola know. Many thanks.

Carol Hacker
17739 Indianola



Architectural Board of Review

February 2023



Architectural Board of Review

Pre-Review Meeting: 2 February, 4pm (East Conf Rm)

Regular Meeting: 9 February, 5:30 pm (Auditorium)

Members

David Maniet (2023 Chair)

Brian Grambort (2023 Vice Chair)

Jeremy Smith

Hanna Cohan Plessner

Chris Egervary

Staff

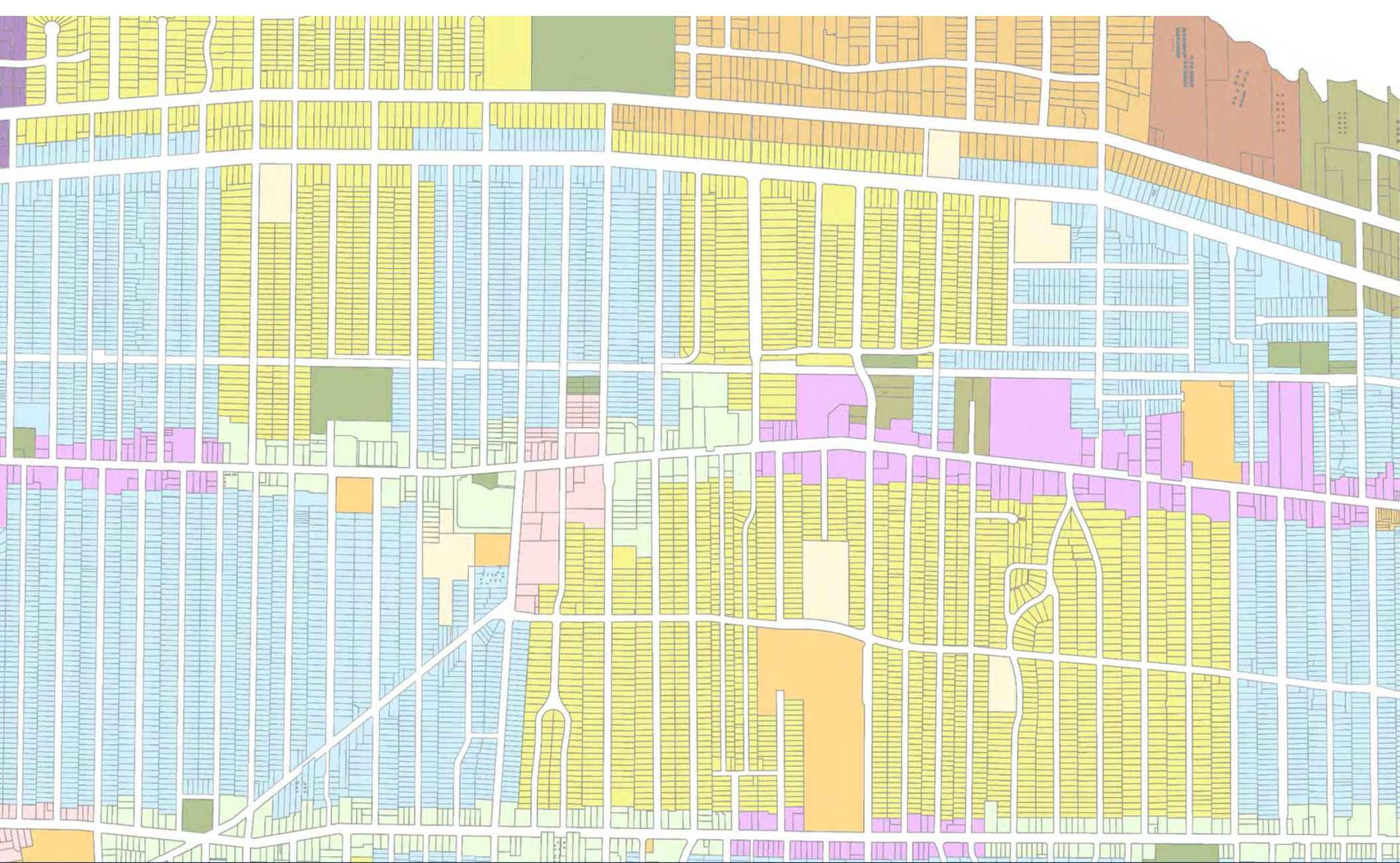
Board Secretary: David Baas

Building Commissioner: Chris Parmelee



Architectural Board of Review February Agenda

1. Oath: Chris Egervary
2. Roll call
3. Approve minutes – January 2023 meeting
4. Opening Remarks
5. Old Business
6. New Business
7. Sign Review
8. Adjourn



Architectural Board of Review

Old Business – February 2023

Applicant proposes new garage on corner lot.

City Notes:

- Applicant requires height variance (deferred at January BZA).



Recommend Table

Docket No. 11-76-22 (1655 Roosevelt)

**Residential – New Garage
Christopher Walling**



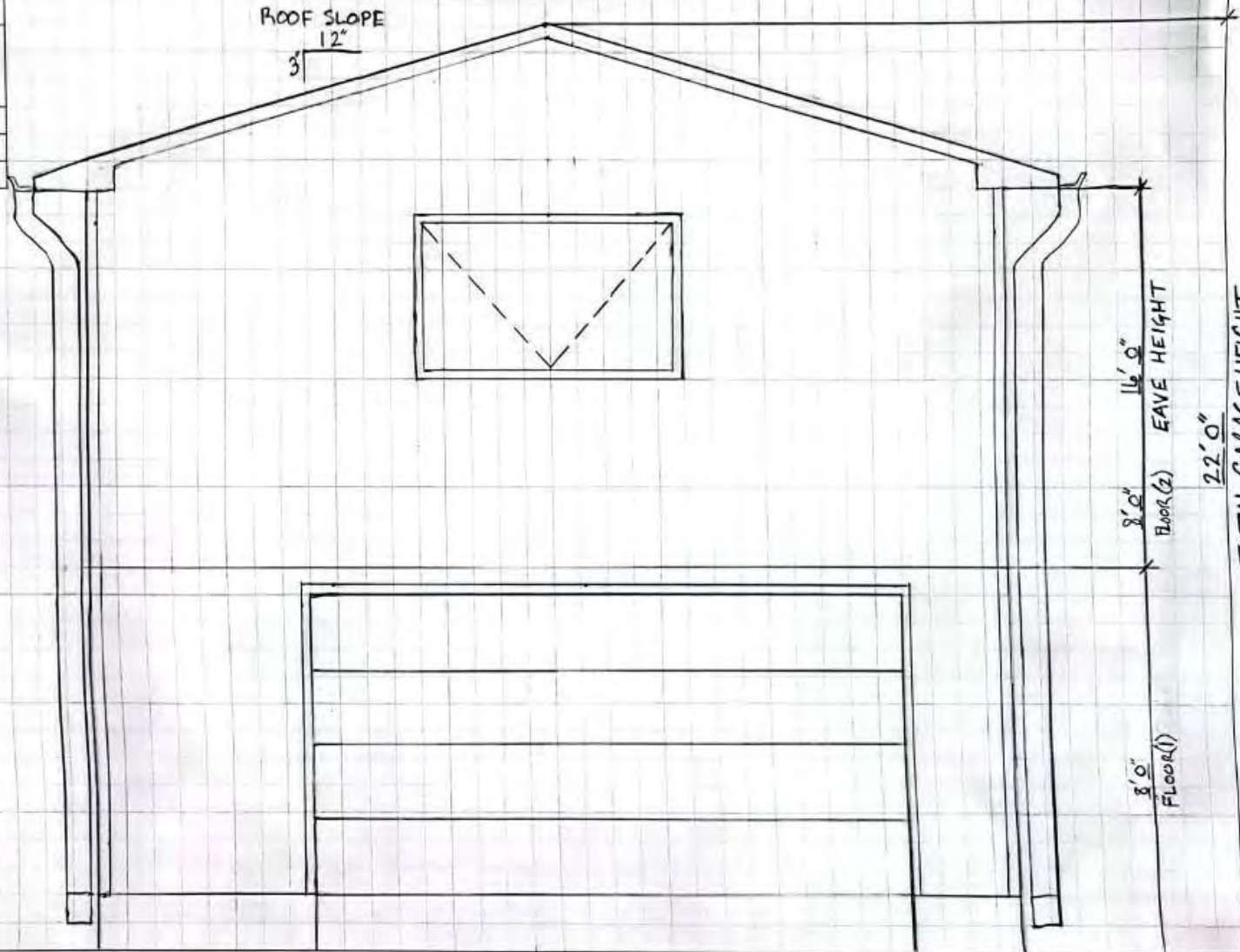


THE CONTRACTOR OF CHOICE®

Date	
Project	
Item of Work	1/2 Pitch Roof, TAFED WINDOW 32"x24" AWNING VINYL
Needed By	
Completed By	
Cell Phone #	

WINDOW = 32" x 24" AWNING
 GARAGE DOOR = 16' x 7'
 FRONTAGE = 24' WIDE

FRONT ELEVATION



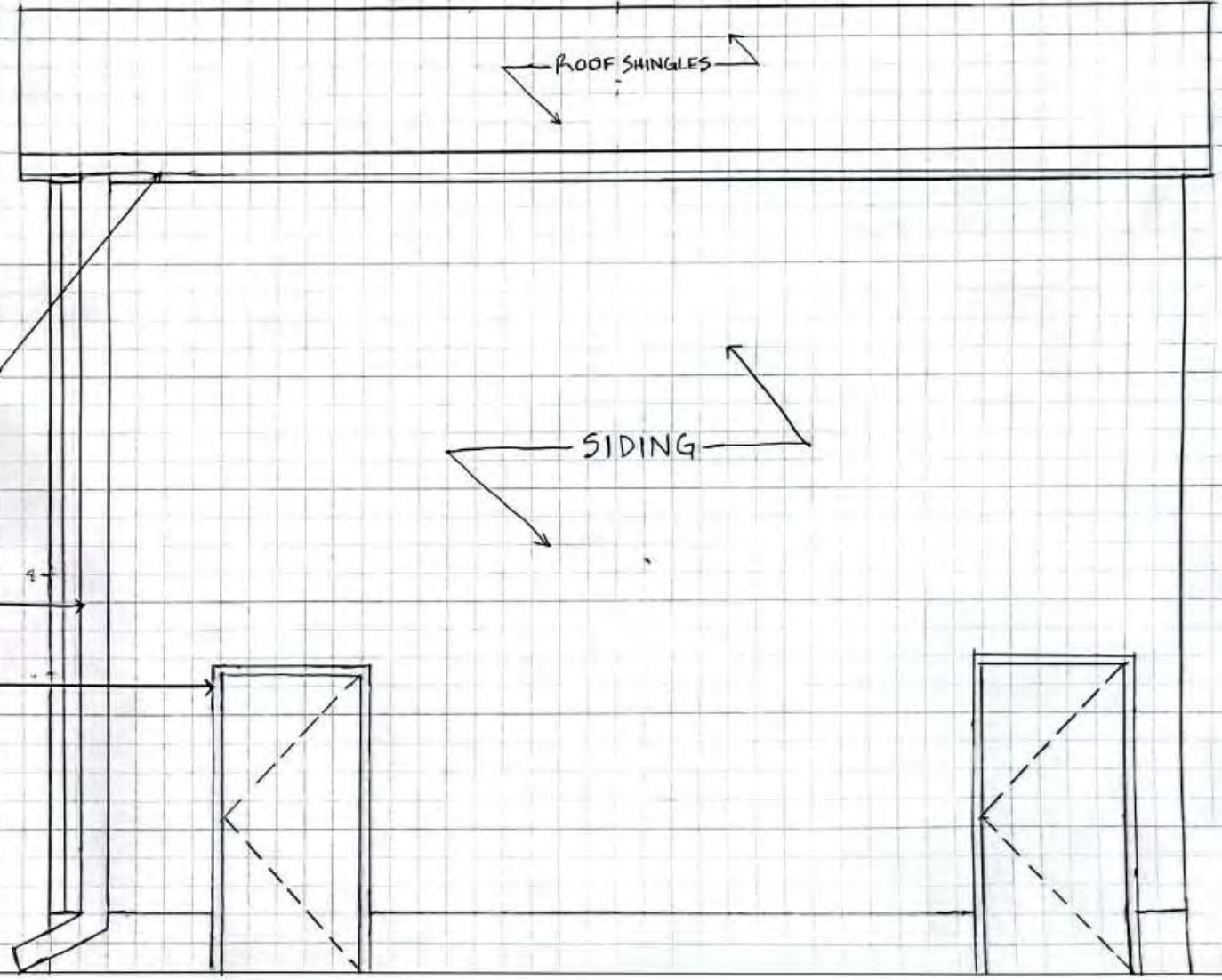
Docket No. 11-76-22 (1655 Roosevelt)
 New Garage



THE CONTRACTOR OF CHOICE®

LEFTSIDE ELEVATION

Date	
Project	
Item of Work	
Needed By	
Completed By	
Cell Phone #	



GUTTER

ROOF SHINGLES

SIDING

DOWN SPOUT

DOOR
SIZE (2)
36" x 80"

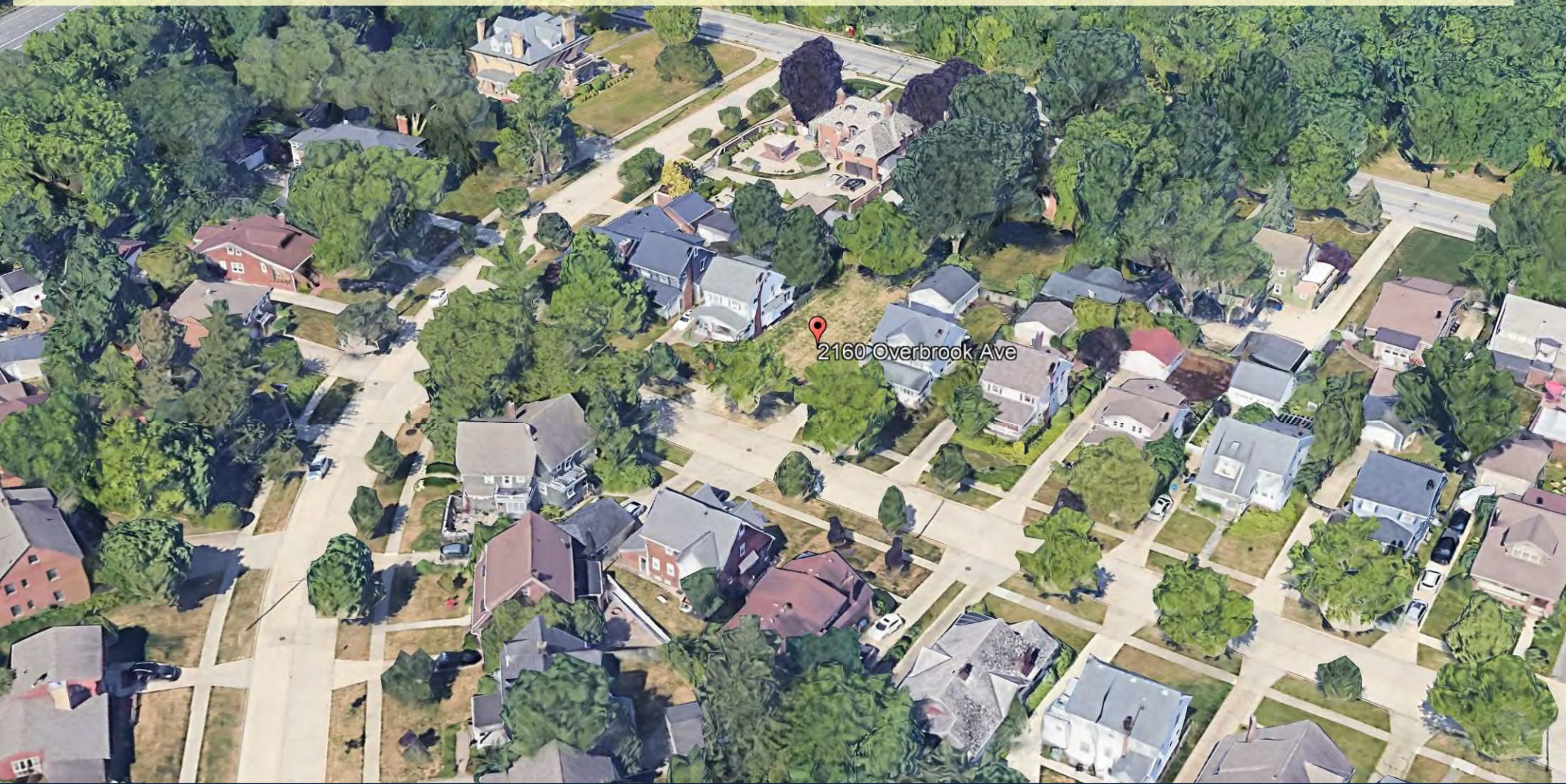


Docket No. 11-76-22 (1655 Roosevelt)
New Garage

Applicant proposes construction of a single-family home.

City Notes:

- Updated plans provided following January review (deferral)



Docket No. 01-02-23 (2160 Overbrook)

New Construction
Michael Horton

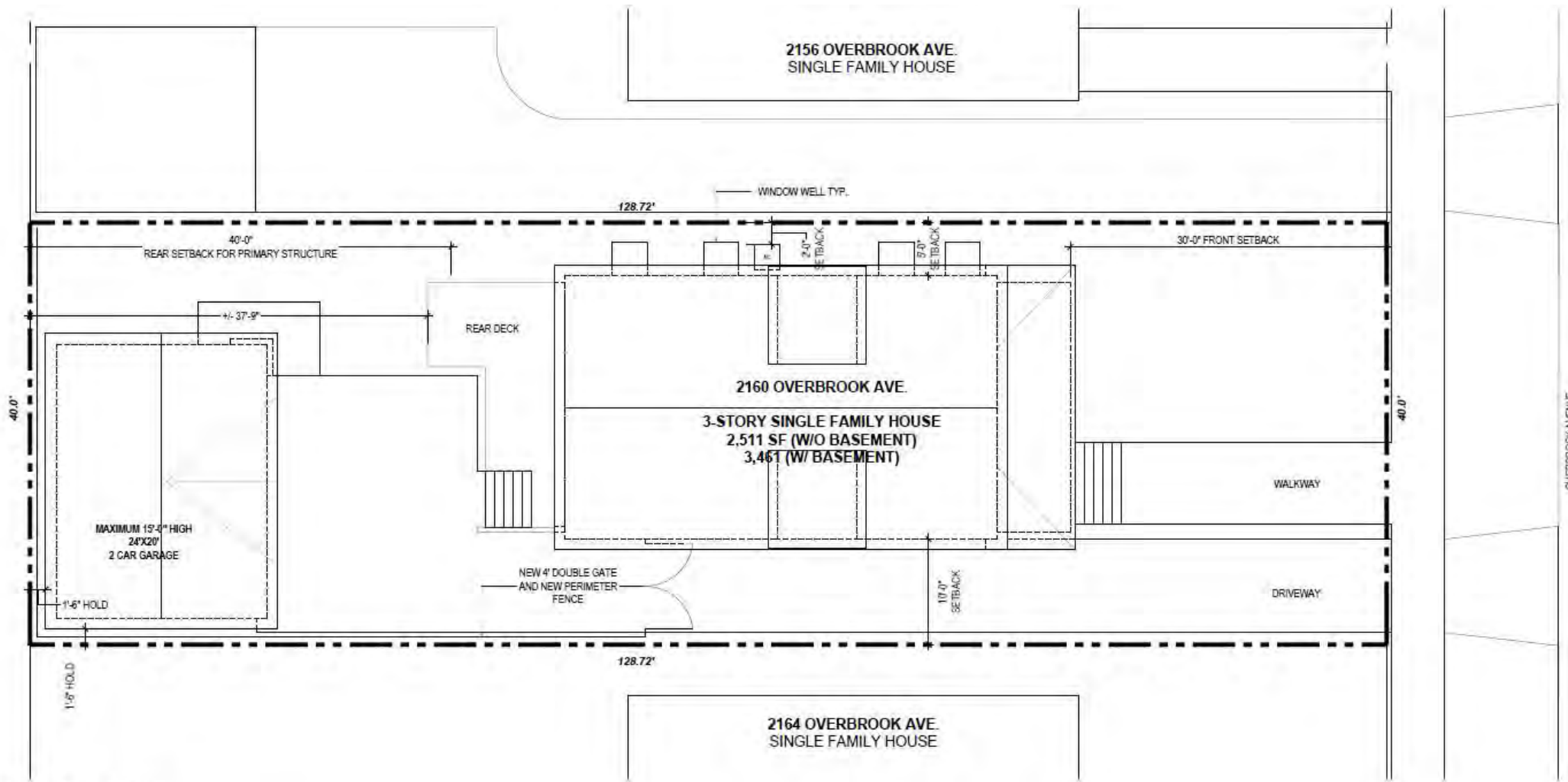


Existing Conditions



Docket No. 01-02-23 (2160 Overbrook)
New Construction





1 - Site Plan

Scale: 1/8" = 1'-0" N⁰



Docket No. 01-02-23 (2160 Overbrook)
New Construction

RIDGE
ELEV: +30'-0" (34'-1" ABOVE GRADE)

B/O ATTIC JOISTS
ELEV: +18'-2 1/4"

T/O 2nd FLOOR SHEATHING
ELEV: +10'-1 1/8"

T/O 1st FLOOR SHEATHING
ELEV: 0'-0"

T/O PORCH DECKING
ELEV: -0'-7"

GRADE
ELEV: -4'-1"



1 - East Elevation

Scale: 1/4" = 1'-0"



Docket No. 01-02-23 (2160 Overbrook)

New Construction



2 - South Elevation
 Scale: 1/4" = 1'-0"



Docket No. 01-02-23 (2160 Overbrook)
 New Construction

EXTERIOR MATERIALS LEGEND

GENERAL NOTE

1. ALL MATERIAL SPECIFICATIONS, INSTALLATION, & FINISHES SHALL COMPLY WITH ENTERPRISE GREEN COMMUNITY REQUIREMENTS. G.C. IS RESPONSIBLE FOR ENSURING ALL MATERIALS MEET REQUIREMENTS AS NEEDED INCLUDING BUT NOT LIMITED TO V.O.C. LIMITS, RECYCLED CONTENT REQ., DURABILITY REQ., ROOFING LIGHT REFLECTANCE REQ., ETC.

MARK	MATERIAL	COLOR / FINISH / EXPOSURE	MANUF / FABRICATOR	FASTENER TYPE /PATTERN	REMARKS
C1	BRICK STAMPED CAST-IN-PLACE CONCRETE	COLOR: PEPPERCORN. PAINTED TO MATCH VINYL SHAKES	TBD	NA	
CB1	PAINTED FIBER CEMENT BOARD AND TRIM	COLOR: WHITE	TBD	NA	AZEKS ACCEPTABLE ALTERNATE
D1	FIBERGLASS ENTRY DOOR	COLOR: BLACK	THERMATRU	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED AT FRONT AND REAR DOOR
L1	EXTERIOR FLUSH MOUNT CEILING LIGHT	COLOR: BLACK	MAXIM	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED IN FRONT PORCH CEILING
L2	OUTDOOR WALL SCNCE	COLOR: BLACK	DWELED / CALIBER	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED AT FRONT AND REAR DOOR
M1	DOWNSPOUTS AND GUTTERS	COLOR: WHITE	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	TYPICAL FOR PROJECT
M2	WOOD RAILINGS	COLOR: WHITE	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	FABRICATED WOOD RAILING USED ON PORCHES AND STEPS
R1	ASPHALT SHINGLE ROOF	STYLE: TRUE DEFINITION DURATION COLOR: BLACK	OWENS CORNING	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
R2	MEMBRANE ROOF	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED ON DORMERS
V1	VINYL SIDING	COLOR: STERLING EXPOSURE: 5"	ROYAL BUILDING PRODUCTS	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	
V2	VINYL PORTSMOUTH SHAKE	COLOR: PEPPERCORN EXPOSURE: 5"	ROYAL BUILDING PRODUCTS	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	USED ON GABLE END FACES
VT1	TRIM	COLOR: WHITE	TBD	INSTALL PER ARCHITECTURAL & STRUCTURAL DETAILS	LINEAL WINDOW TRIM VYNIL CORNER POST GABLE / RAKE / EAVES / SOFFITS
W1	WINDOWS	COLOR: BLACK	TBD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS	TYPICAL FOR PROJECT
WT1	1X8 PAINTED BORDER WOOD BOARDS FOR STAIRS & OVER 1X6 VERTICAL PAINTED WOOD PLANKS	COLOR: BORDER - PEPPERCORN LATTICE - STERLING	TBD	INSTALL PER ARCHITECTURAL & STRUCTURAL DETAILS	USED ON FRONT / REAR PORCH



Docket No. 01-02-23 (2160 Overbrook)
New Construction

RIDGE
ELEV: +30'-0" (34'-1" ABOVE GRADE)

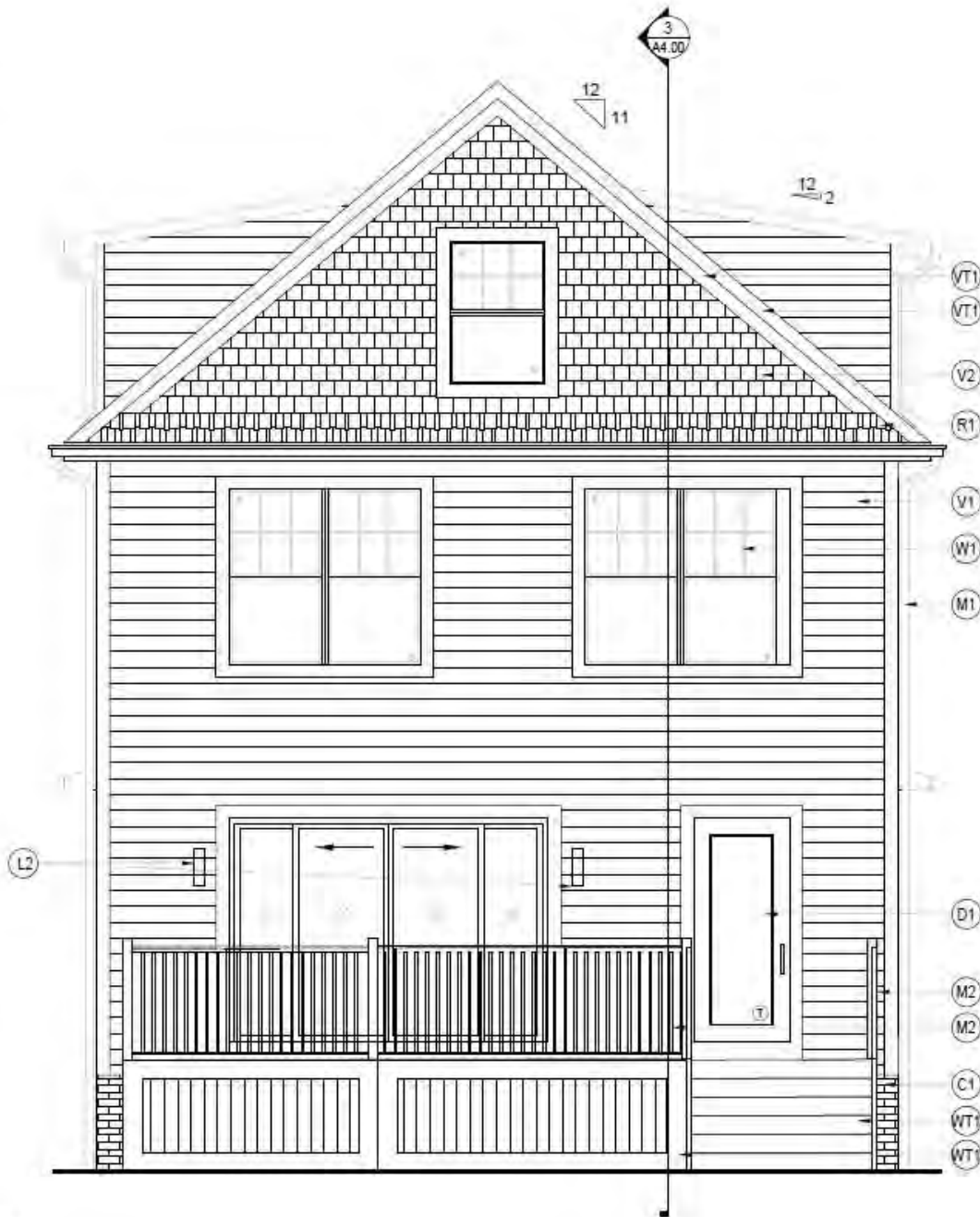
B/O ATTIC JOISTS
ELEV: +18'-2 1/4"

T/O 2nd FLOOR SHEATHING
ELEV: +10'-1 1/8"

T/O 1st FLOOR SHEATHING
ELEV: 0'-0"

T/O PORCH DECKING
ELEV: -0'-7"

GRADE
ELEV: -4'-1"



1 - West Elevation

Scale: 1/4" = 1'-0"



Docket No. 01-02-23 (2160 Overbrook)
New Construction



2 - North Elevation
 Scale: 1/4" = 1'-0"



Docket No. 01-02-23 (2160 Overbrook)
 New Construction



Interior Rendering



Vinyl Siding - Sterling



Asphalt Shingles & Membrane Roof at Dormer - Black



Vinyl Shake - Peppercorn



Black Metal Window Frames and Exterior Doors



Smooth Concrete Foundations - Painted Peppercorn



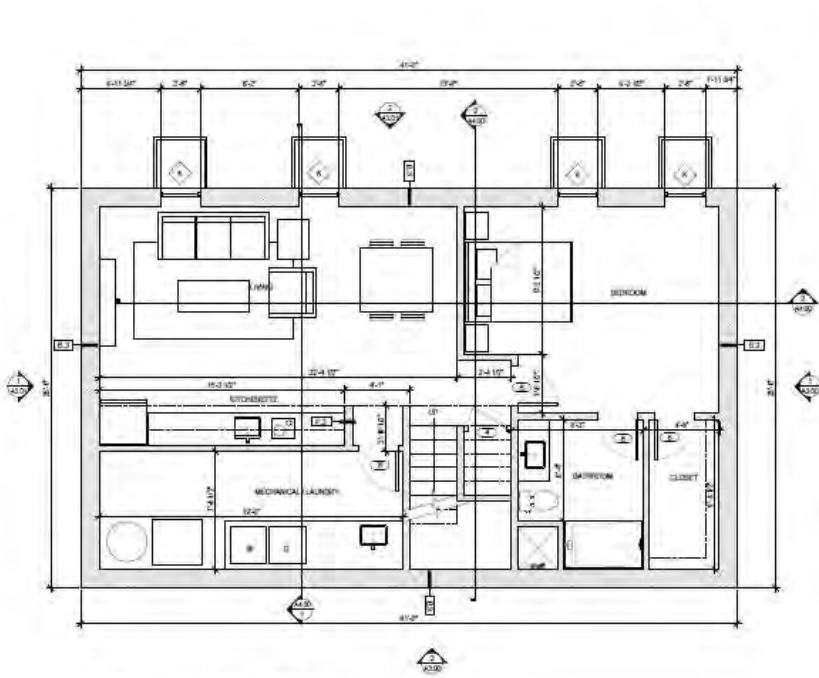
Exterior Wall Sconce - Black



Exterior Porch Flush Mount Fixture - Black

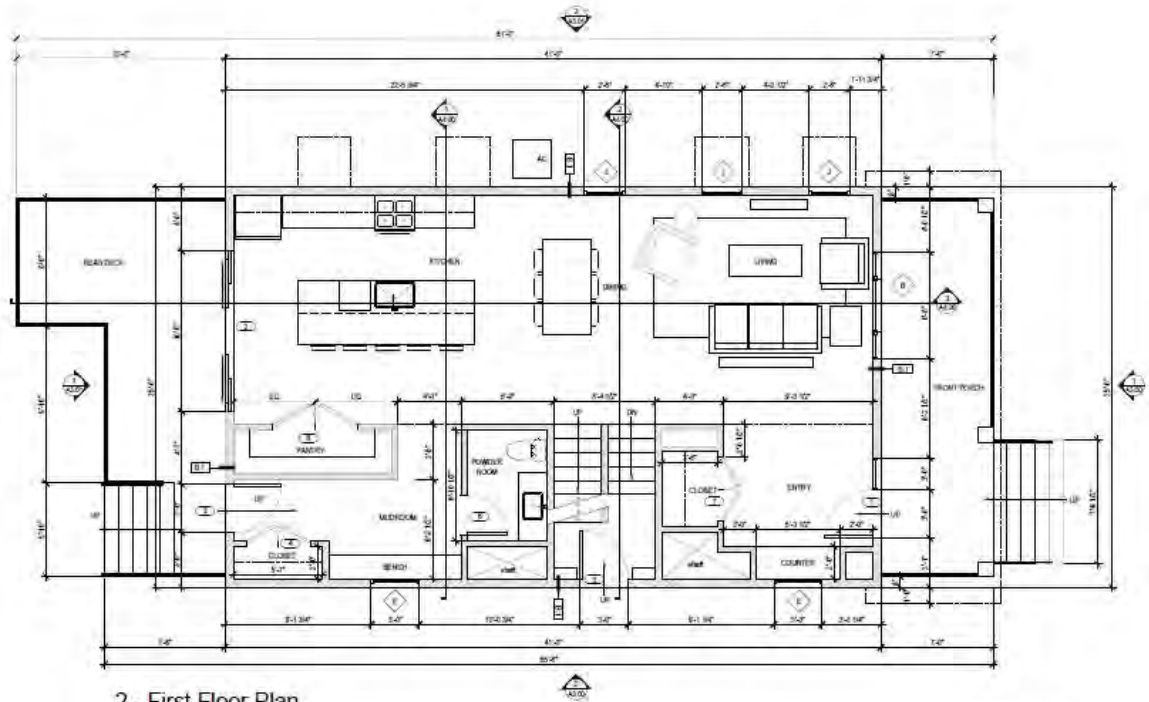


Docket No. 01-02-23 (2160 Overbrook)
New Construction



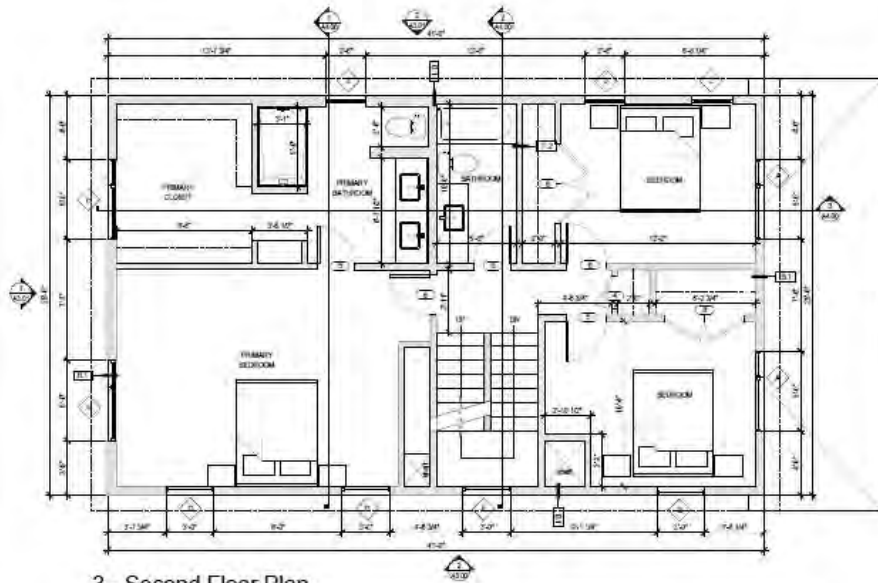
1 - Basement Floor Plan

Scale: 1/4" = 1'-0" N



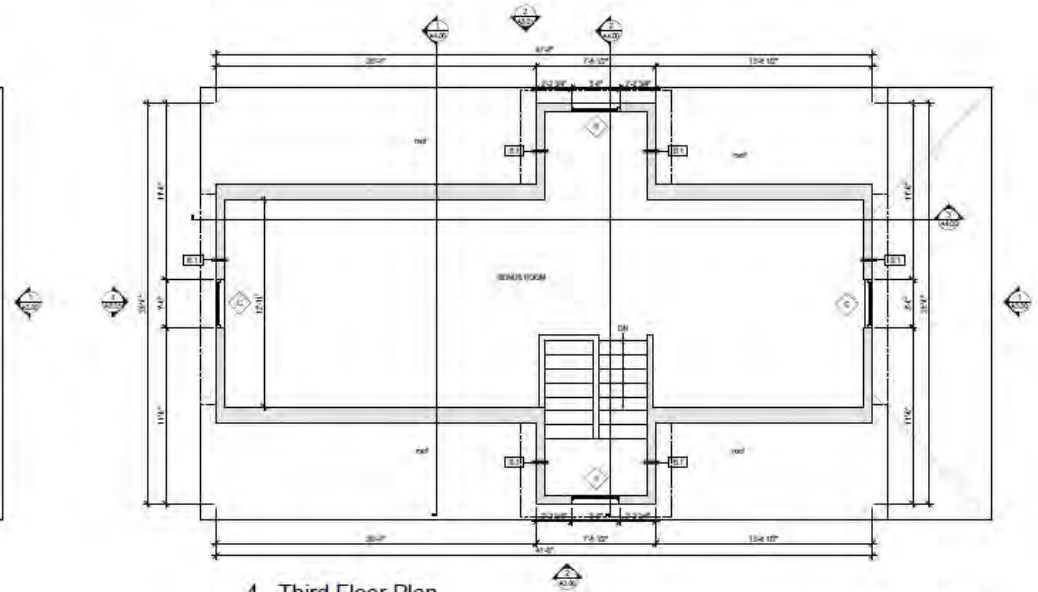
2 - First Floor Plan

Scale: 1/4" = 1'-0" N



3 - Second Floor Plan

Scale: 1/4" = 1'-0" N



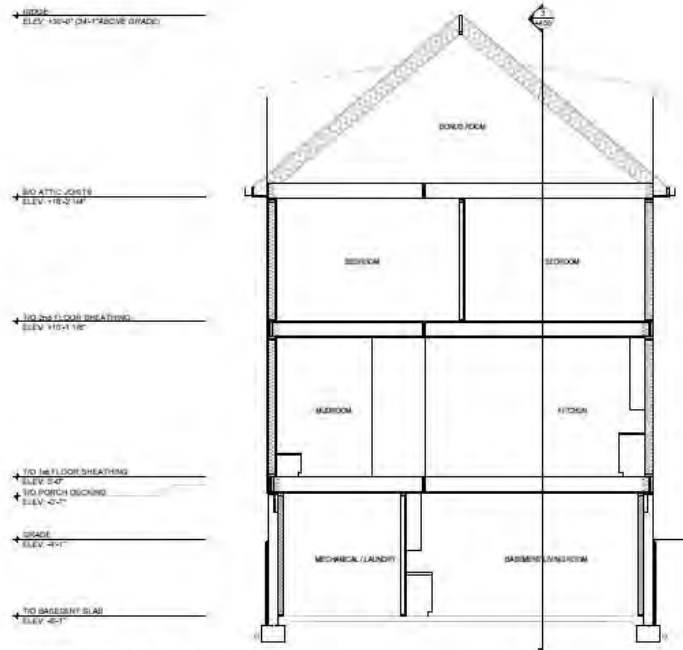
4 - Third Floor Plan

Scale: 1/4" = 1'-0" N

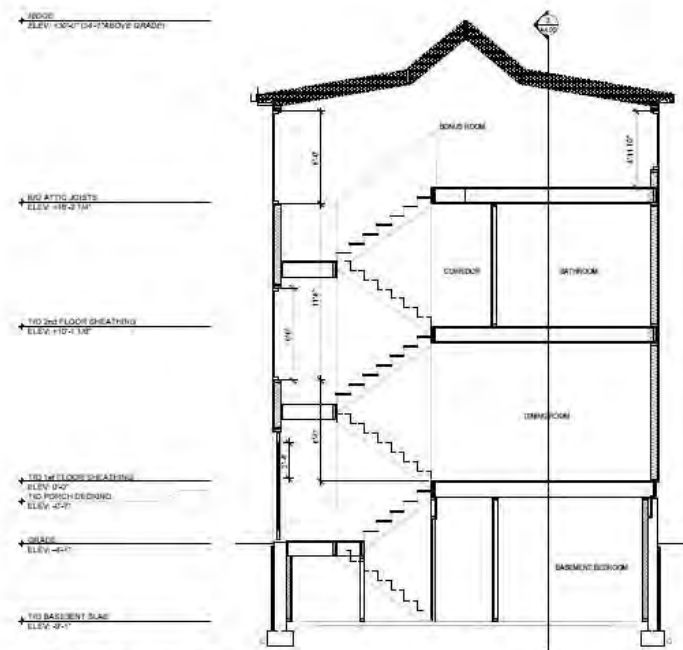


Docket No. 01-02-23 (2160 Overbrook)

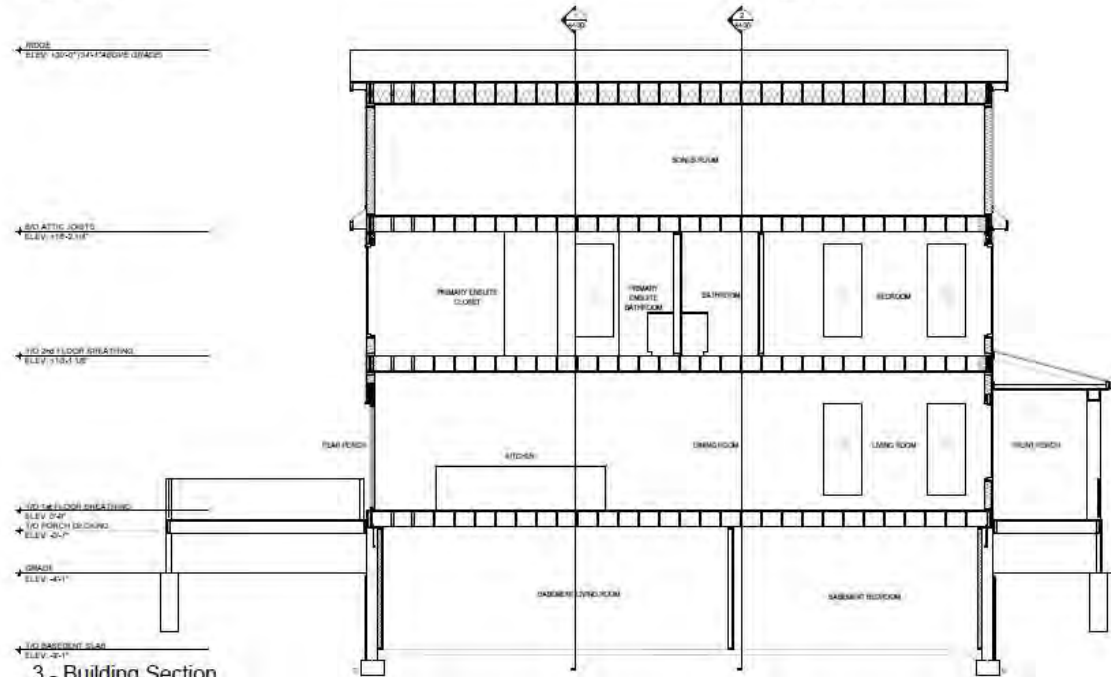
New Construction



1 - Building Section
Scale: 1/4" = 1'-0"



2 - Building Section
Scale: 1/4" = 1'-0"



3 - Building Section
Scale: 1/4" = 1'-0"



Docket No. 01-02-23 (2160 Overbrook)

New Construction

Neighborhood Context - Overbrook



Docket No. 01-02-23 (2160 Overbrook)
New Construction

Neighborhood Context - Overbrook



Docket No. 01-02-23 (2160 Overbrook)
New Construction

Neighborhood Context - Overbrook



Docket No. 01-02-23 (2160 Overbrook)
New Construction

Neighborhood Context - Overbrook



Docket No. 01-02-23 (2160 Overbrook)
New Construction



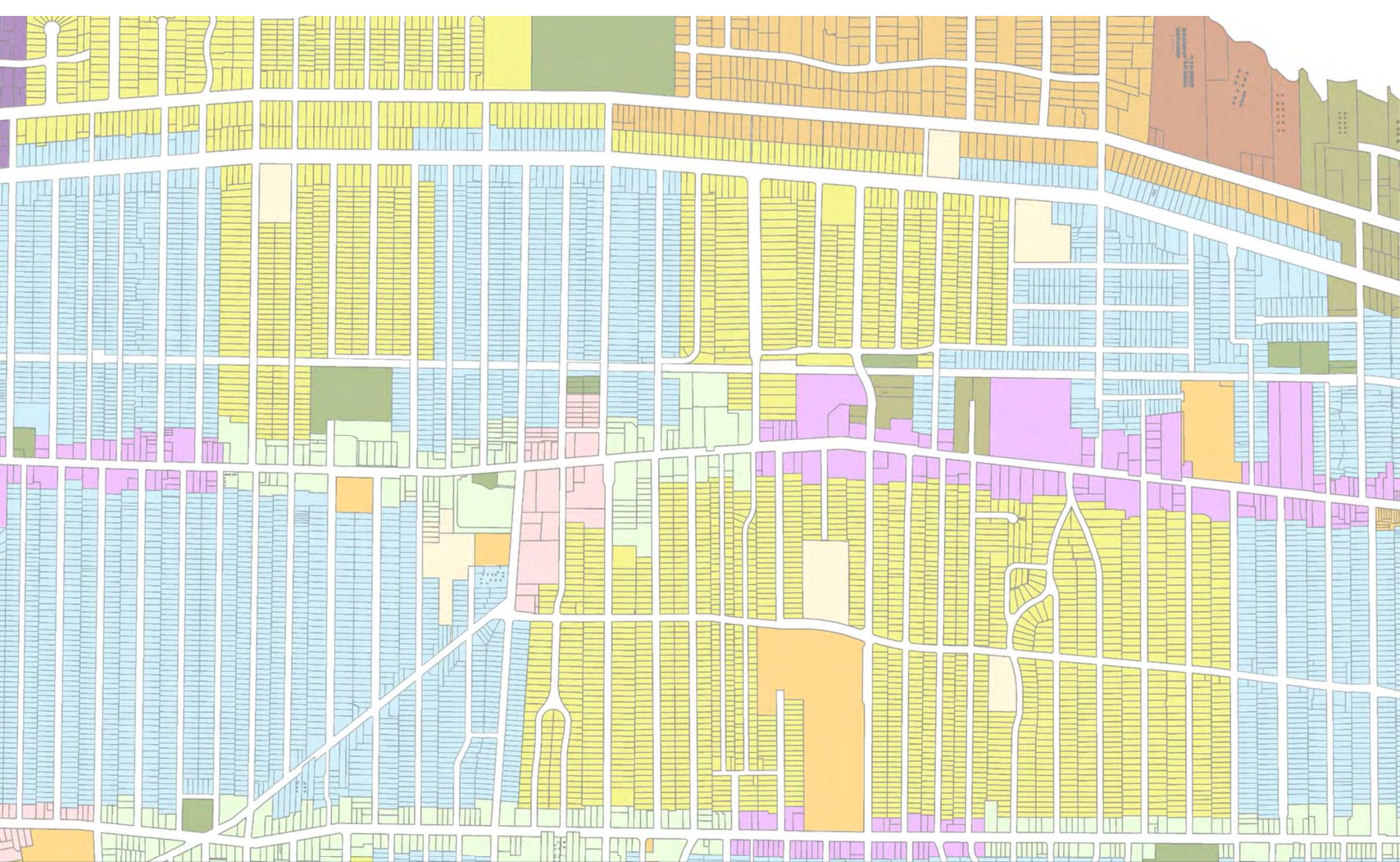
Reference Project 31540 Wyandotte Avenue



Reference Project 1588 Winton Avenue



Docket No. 01-02-23 (2160 Overbrook)
New Construction



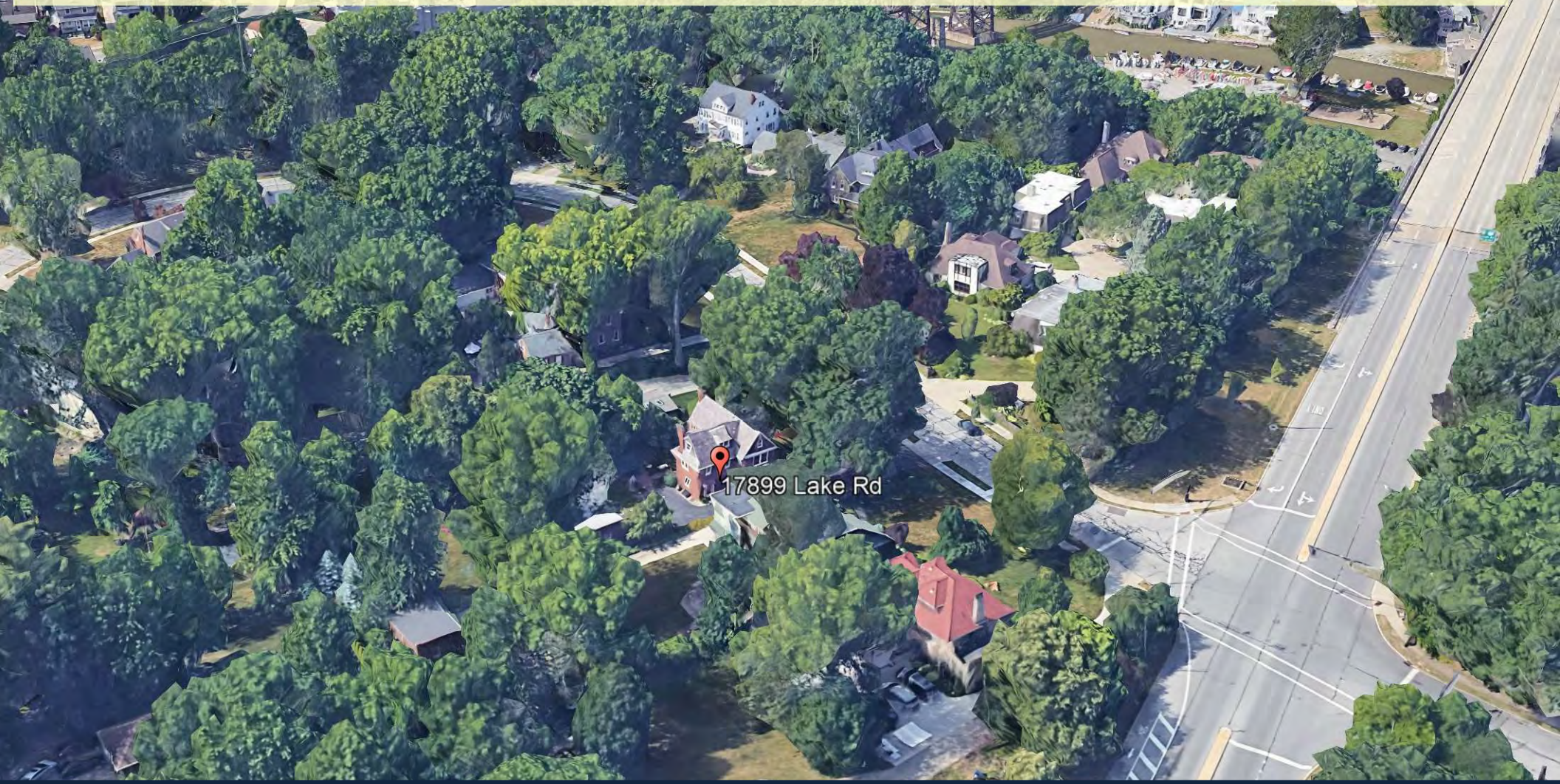
Architectural Board of Review

New Business – February 2023

Applicant proposes addition/renovation to existing home.

City Notes:

N/A.



Docket No. 02-15-23 (17899 Lake)

Residential Addition/Renovation
David Maniet



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



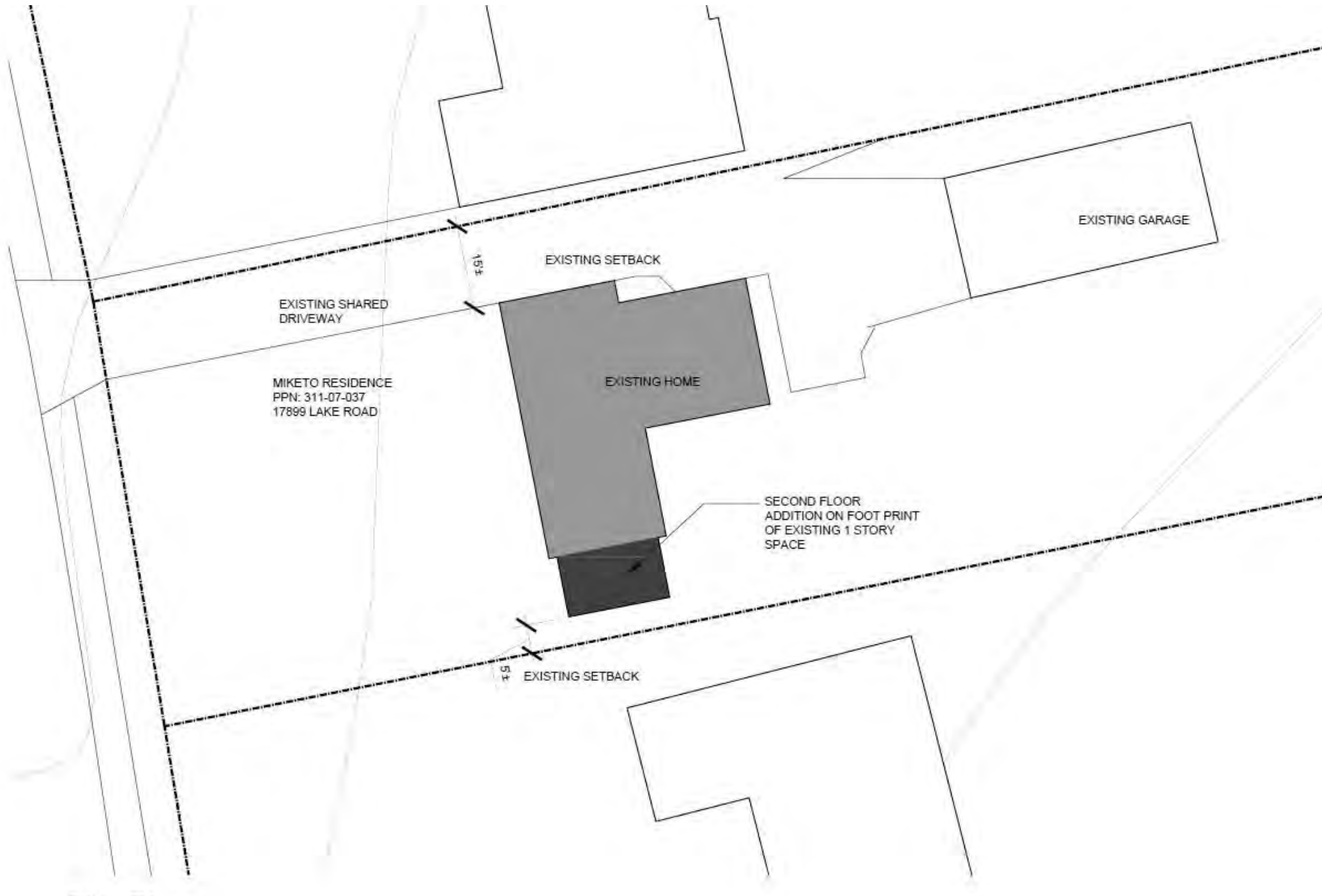
Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



EXISTING SHARED DRIVEWAY

MIKETO RESIDENCE
PPN: 311-07-037
17899 LAKE ROAD

EXISTING SETBACK

EXISTING HOME

EXISTING GARAGE

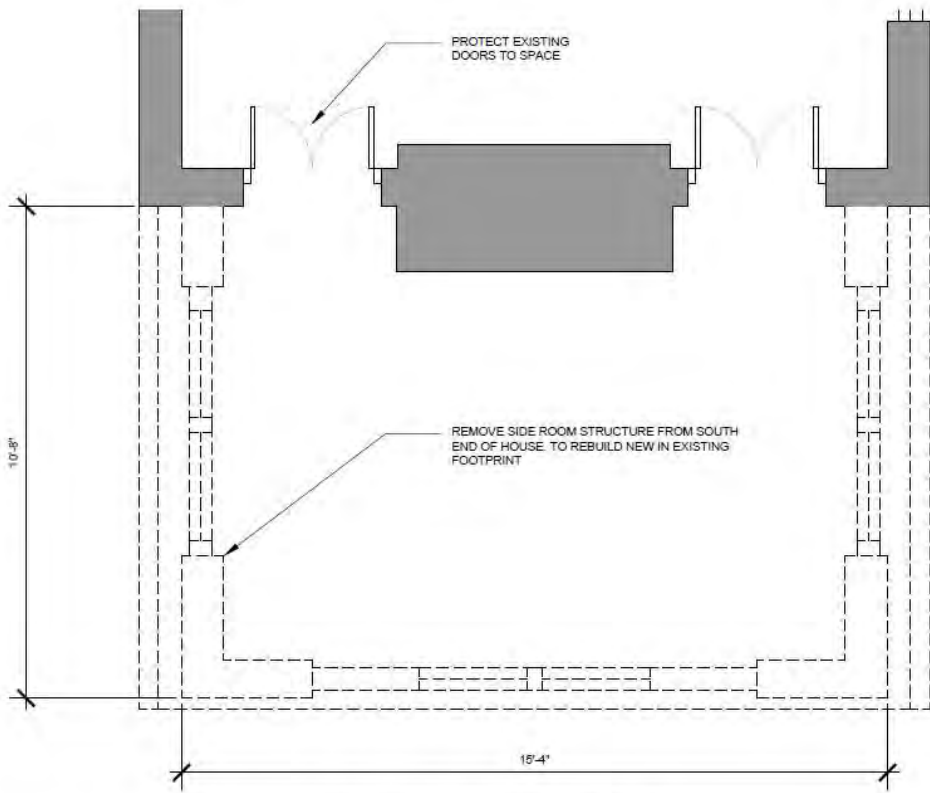
SECOND FLOOR
ADDITION ON FOOT PRINT
OF EXISTING 1 STORY
SPACE

EXISTING SETBACK

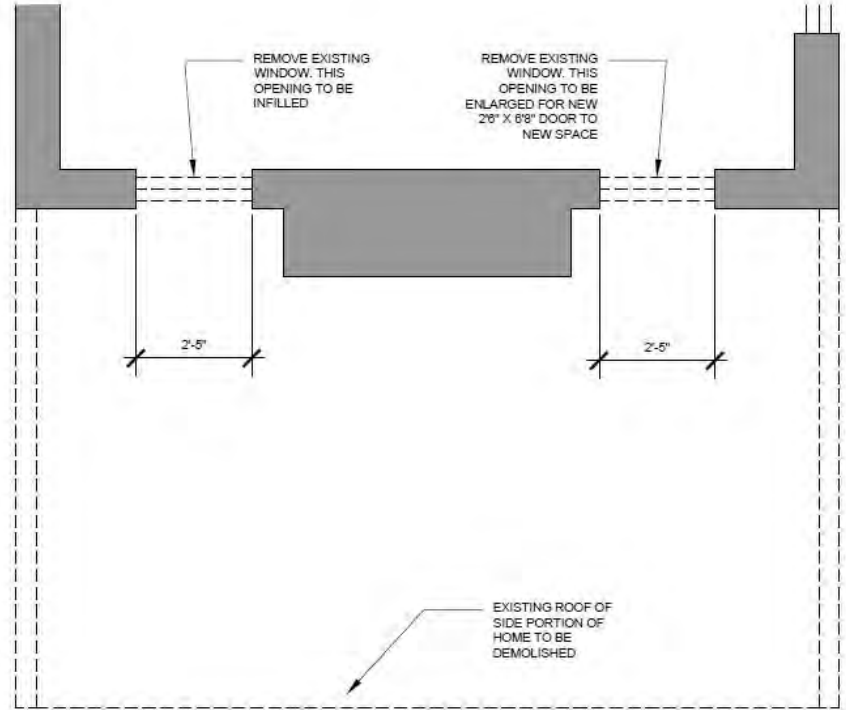


Docket No. 02-15-23 (17899 Lake)

Residential Addition/Renovation



Existing First Floor Plan
 1/4" = 1'-0"

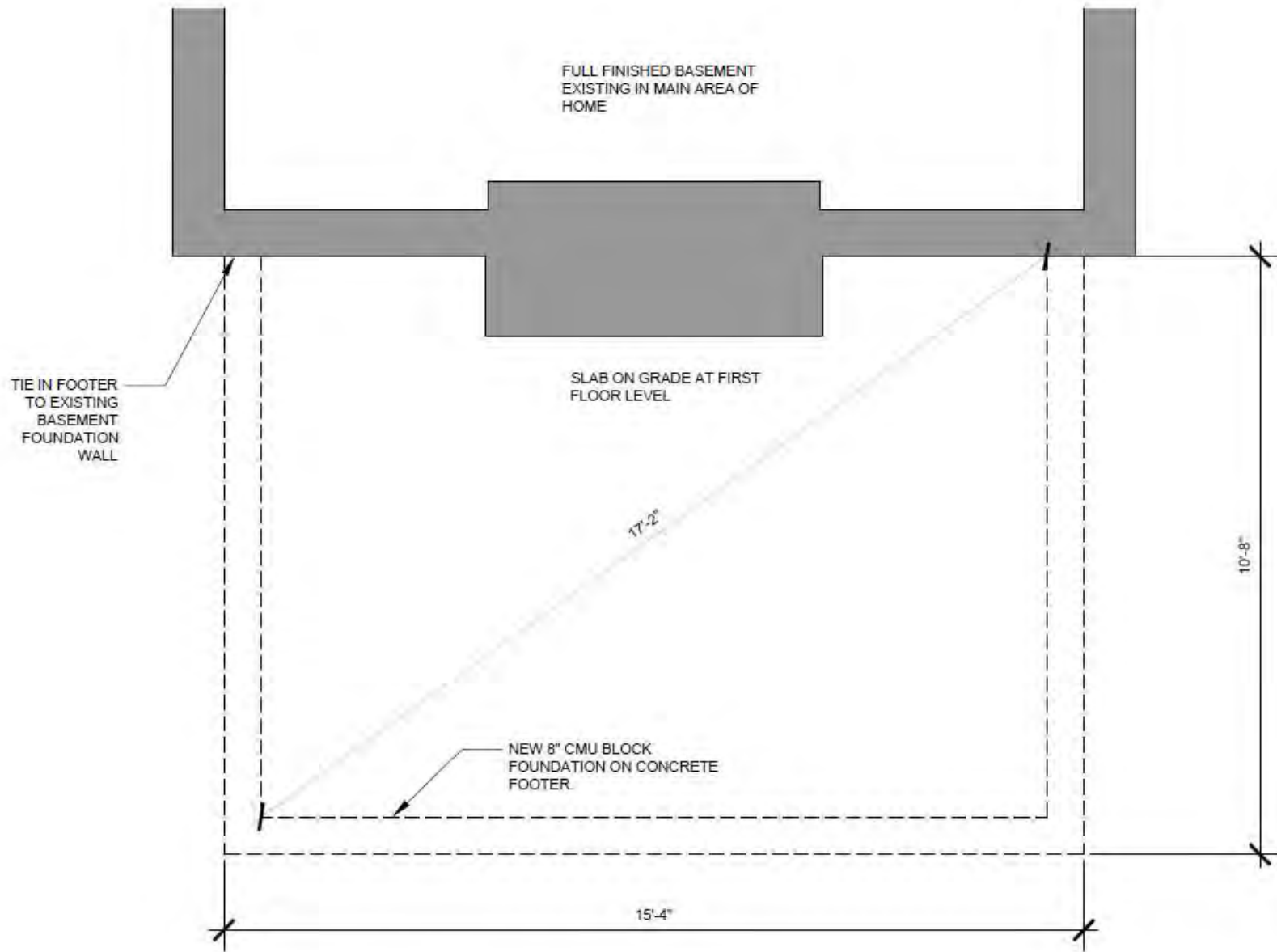


Existing Second Floor Plan
 1/4" = 1'-0"



Docket No. 02-15-23 (17899 Lake)

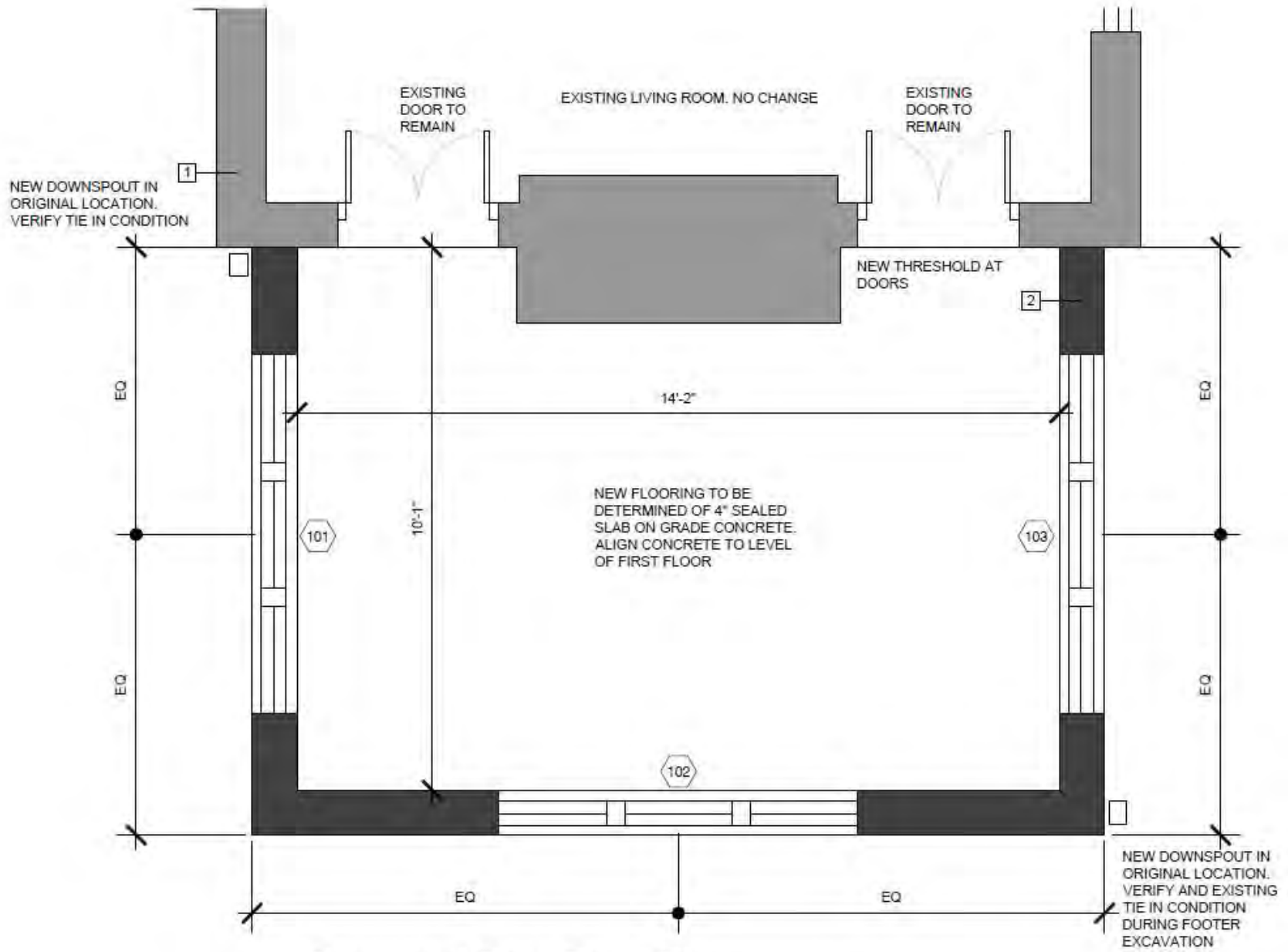
Residential Addition/Renovation




Proposed Foundation Plan
 1/2" = 1'-0"



Docket No. 02-15-23 (17899 Lake)
 Residential Addition/Renovation

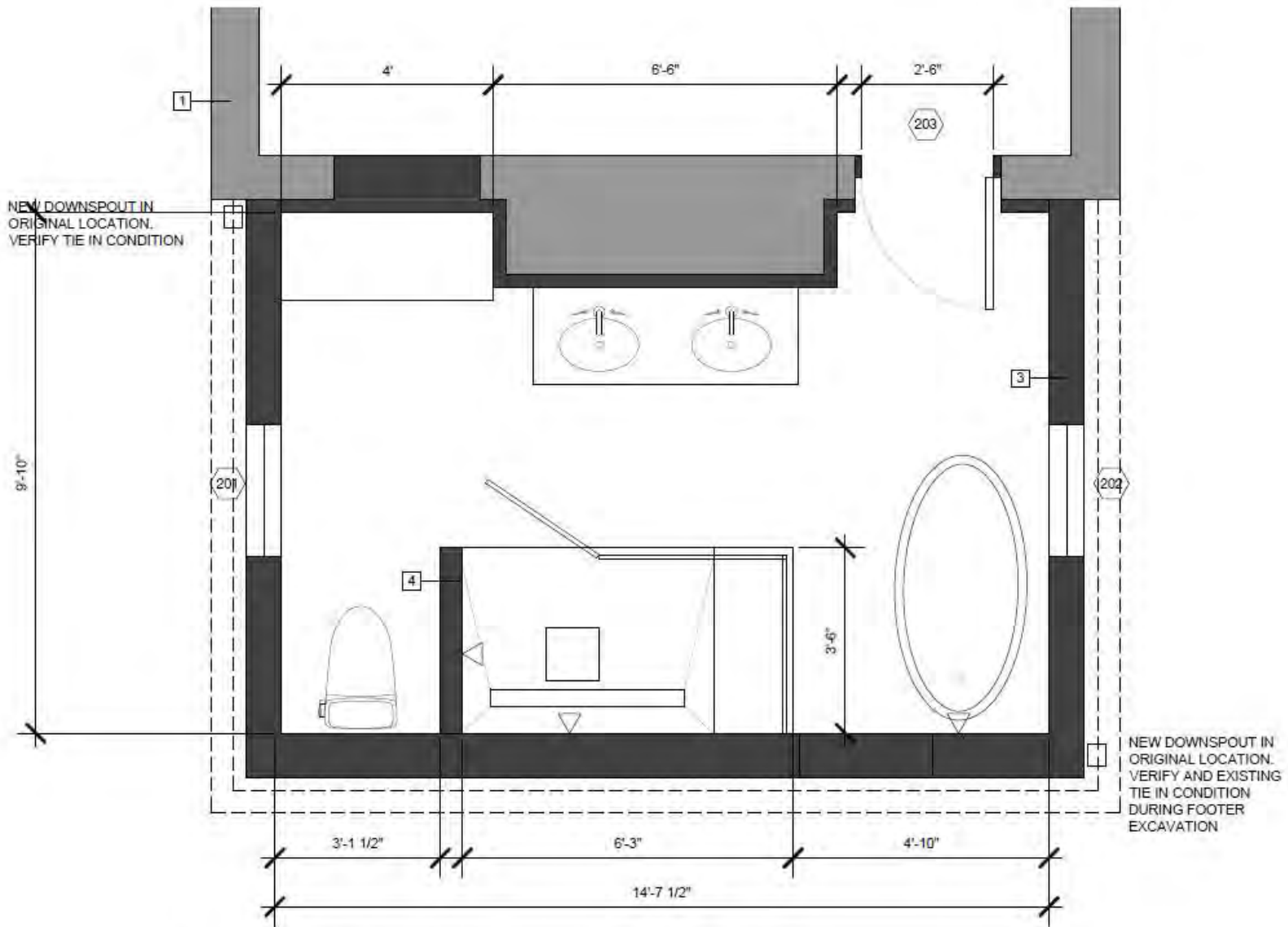



 Proposed First Floor Plan
 $\frac{1}{2}'' = 1'-0''$



Docket No. 02-15-23 (17899 Lake)

Residential Addition/Renovation

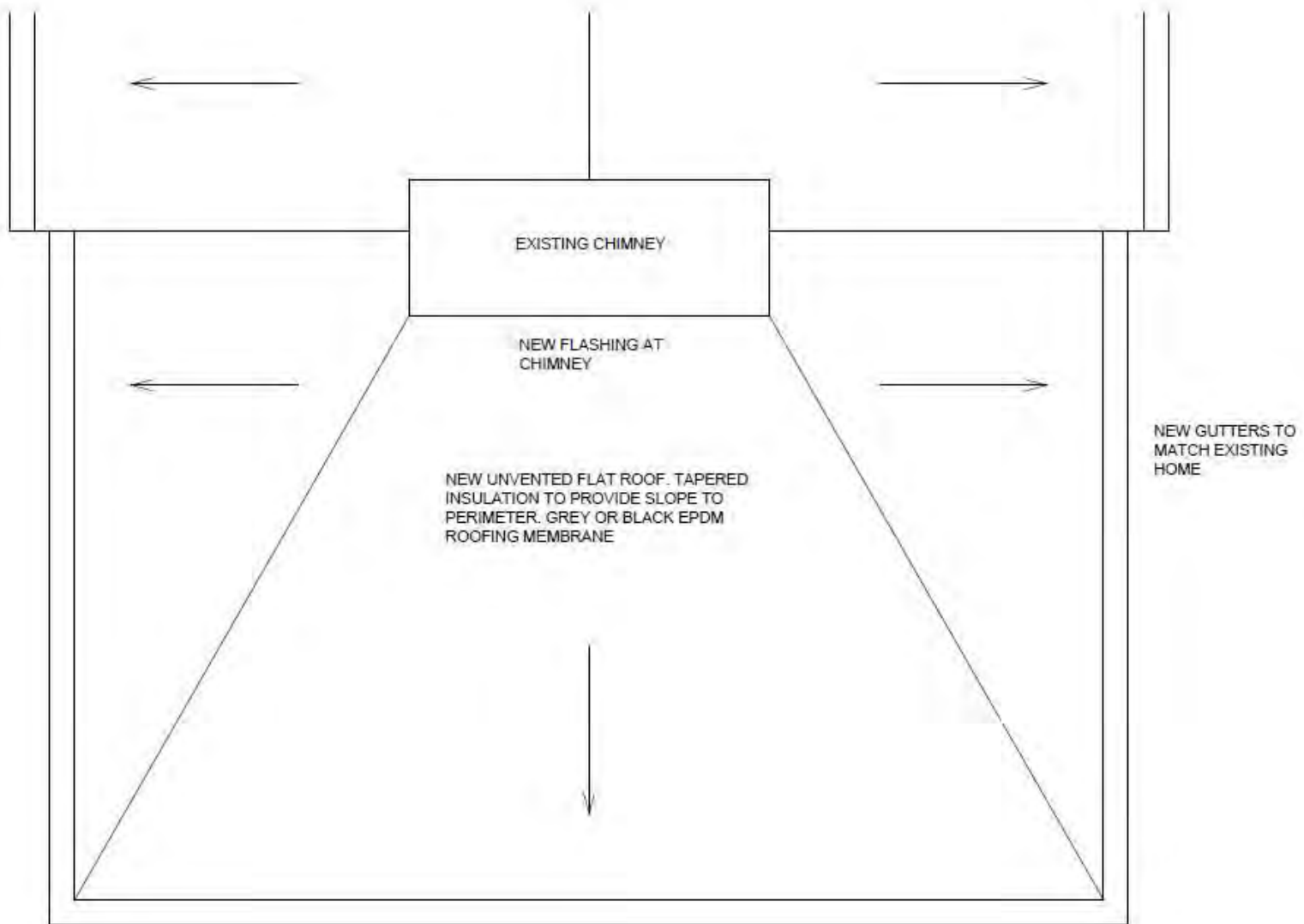


 Proposed Second Floor Plan
 1/2" = 1'-0"



Docket No. 02-15-23 (17899 Lake)

Residential Addition/Renovation



Proposed Roof Plan



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation

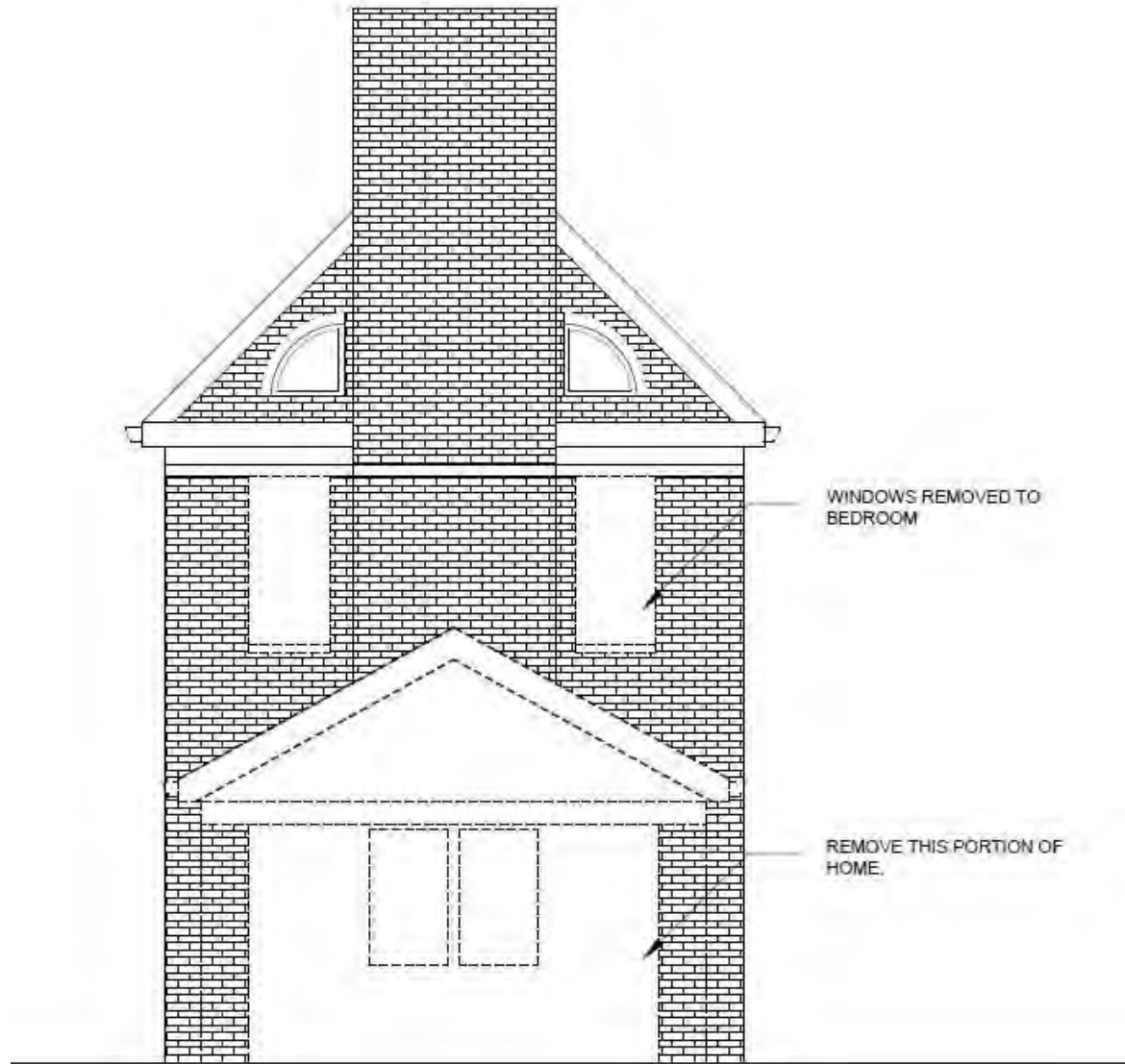


Existing West Elevation

1/4" = 1'-0"



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Existing Side (South) Elevation

$\frac{1}{2}'' = 1'-0''$



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation

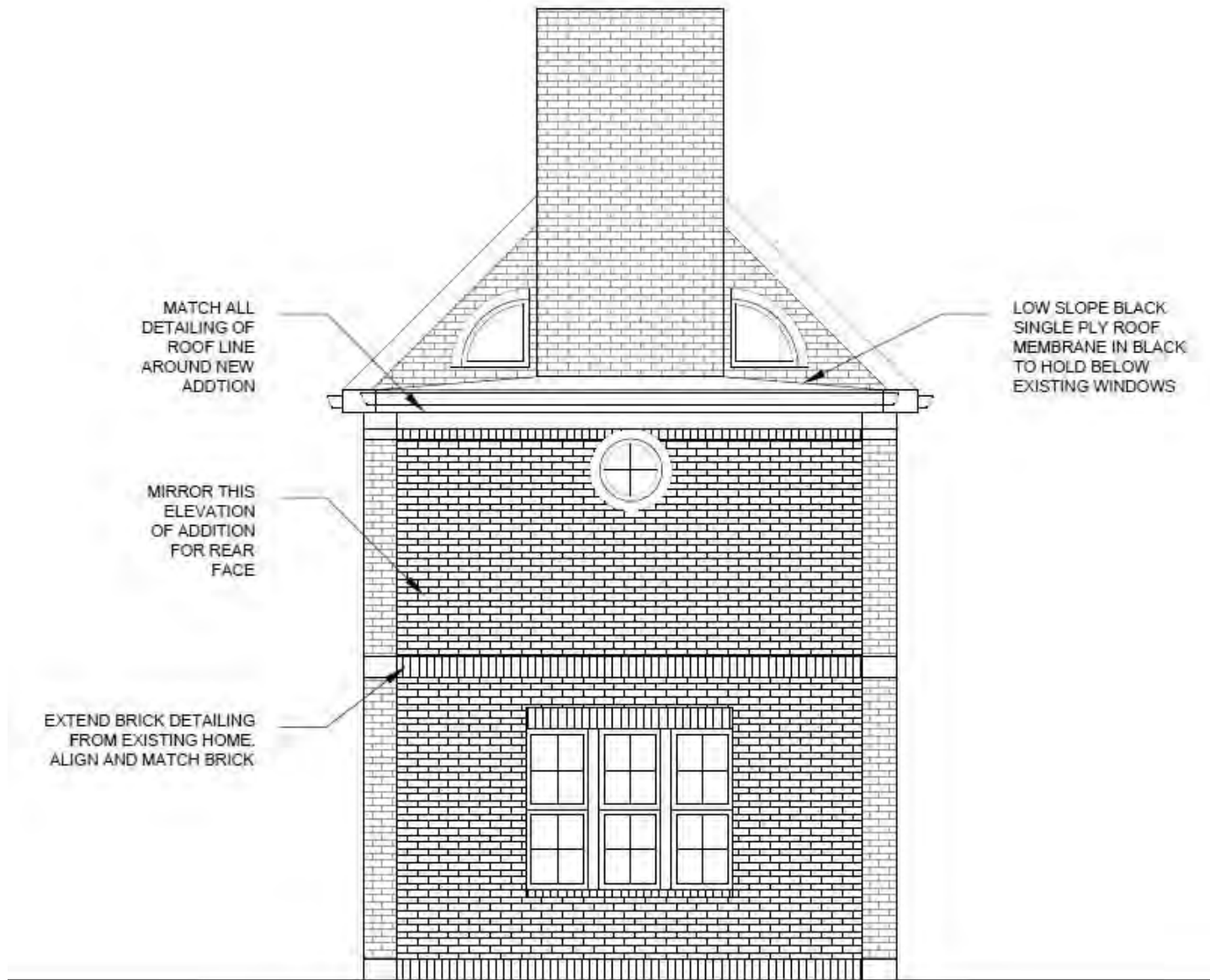


Proposed West Elevation

1/4" = 1'-0"



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Proposed Side (South) Elevation

1/4" = 1'-0"



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation



Docket No. 02-15-23 (17899 Lake)
Residential Addition/Renovation

Pella® Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior

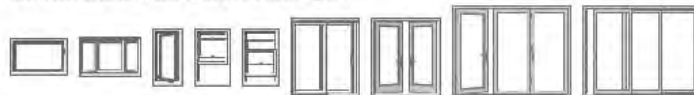


Double-Hung Exterior



- Designed with distinguished details**
 Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series - Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Fine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified¹**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series - Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2022.¹
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty²**
 Pella Architect Series - Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



Special shape windows also available.

¹ See back cover for disclosures.



Docket No. 02-15-23 (17899 Lake)

Residential Addition/Renovation

Applicant proposes residential demolition and new construction.

City Notes:

- Demolition per 1133.09 – home is not designated a local historic property.
- Fourth proposal from applicant: 2019 – 2020; 2022 (X2), and 2023 (17 total months of Board business)
- Requires approval of multiple variances (primary lot coverage, side year, and combined yard setbacks)
- Require updated plans that include the side (east/west) elevations.
- Require manufacturers cut sheets or photo examples of all new proposed materials – to include:
 - Foundation/Brick Veneer
 - Windows
 - Doors/Garage Doors
 - Trim
 - Roofing
 - Exterior Light Fixtures

Recommend Table

Docket No. 02-16-23 (1464 Riverside)

Demolition/New Construction
Gary Fischer



1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(b) Requirements Before Demolition or Removal of Principal Structures on Residential Properties. No demolition or removal of a principal structure, built in 1945 or earlier...shall be permitted unless and until one (1) of the following conditions is satisfied:

(1) The Safety Director of the *City* authorizes the Commissioner to grant a demolition or removal permit, based on causes such as fire or other source of property damage or loss, in order to remedy conditions immediately dangerous to life, health or property, or to remedy a nuisance, as jointly determined and recommended by the Commissioner, the Fire Chief, and the *City* Engineer; or (Ord. 24-2016. Passed 5-2-2016.)

(2) The passage of 180 days following application to the Commissioner for a demolition permit or permit to move a principal structure, during which time the applicant has further made good faith application to all required boards and commissions of the *City* for approval of a new principal structure at the location of such property; or

(3) The proposed principal structure at the location of such property **conforms to the design requirements set forth in Chapter 1325 of the Building Code and has been approved by the Architectural Board of Review**, and by any other required boards and commissions of the *City*, in order to proceed with the new principal structure. In addition, notwithstanding any other requirements, all approvals for such proposed principal structure shall be based on the following factors:

A. The **proposed principal structure is consistent with the Code, the Vision and the “Standards for Rehabilitation”** adopted by the U.S. Secretary of the Interior, as stated in Title 36 of the Code of Federal Regulations, Part 1208 (Formerly of Part 67); and

B. The **proposed principal structure is consistent with any historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood.**

C. The Secretary of all such required boards and commissions of the *City* shall immediately notify the Commissioner of compliance with the provisions of this section by any applicant that would allow and provide for the issuance of a demolition permit or a removal permit by the Commissioner.



Docket No. 02-16-23 (1464 Riverside)
Demolition/New Construction



Docket No. 02-16-23 (1464 Riverside)
Demolition/New Construction



Docket No. 02-16-23 (1464 Riverside)
Demolition/New Construction



Docket No. 02-16-23 (1464 Riverside)
Demolition/New Construction



Docket No. 02-16-23 (1464 Riverside)
Demolition/New Construction



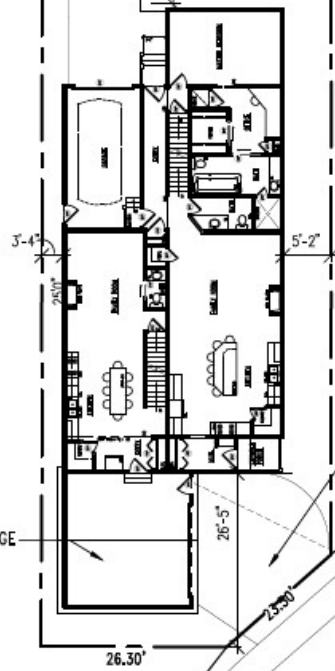
Docket No. 02-16-23 (1464 Riverside)
Demolition/New Construction

EXISTING STREET CURB, & SIDEWALK

PROPERTY LINE, TYP..

LOT SIZE - 5,698 SQ. FT.
HOUSE - 2,175 SQ. FT.
EXIST GAR. - 398 SQ. FT.
LOT COVERAGE - 45%

44.00' R.O.W.
132.00'
34'-3"
116.90'



EXISTING DRIVEWAY

EXISTING 2 CAR GARAGE (398 SQ.FT.)

EXT'G. CONCRETE PAVED APRON & CURB CUT.

EXISTING STREET CURB, & SIDEWALK

GRABER DR. 40.00' R.O.W.

SITE PLAN NOTES:
ARCHITECTURAL SITE PLAN IS DIAGRAMMATICAL, FOR REFERENCE ONLY AND SHOULD NOT BE CONSTRUED AS AN ACTUAL SURVEY.
COORD. W/ LOCAL UTILITY COMPANIES FOR LOCATION OF ANY UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. CALL (811)
TIE ALL NEW BUILDING UTILITY LINES TO EXISTING AND OR NEW HOUSE UTILITIES. COORDINATE WITH ENGINEERING DRAWINGS, LOCAL RESPECTIVE UTILITY COMPANIES AND LOCAL APPLICABLE CITY FOR REQUIREMENTS AND STANDARDS.
CONTRACTOR RESPONSIBLE FOR ALL UTILITY COORDINATION AND INSTALLATION.
ALL LANDSCAPING AND LAWNS SHOWN ARE EXISTING IN NATURE. ANY LAWN AND LANDSCAPING INSTALLATION SHALL BE BY OTHERS FILED UNDER SEPARATE PERMIT, WHERE APPLICABLE.
COORDINATE WITH CIVIL DRAWINGS BY SELECTED CIVIL ENGINEER FOR ALL SITE RELATED INFO, INCLUDING BUT NOT LIMITED TO PAVING AND GRADING., WHERE APPLICABLE.

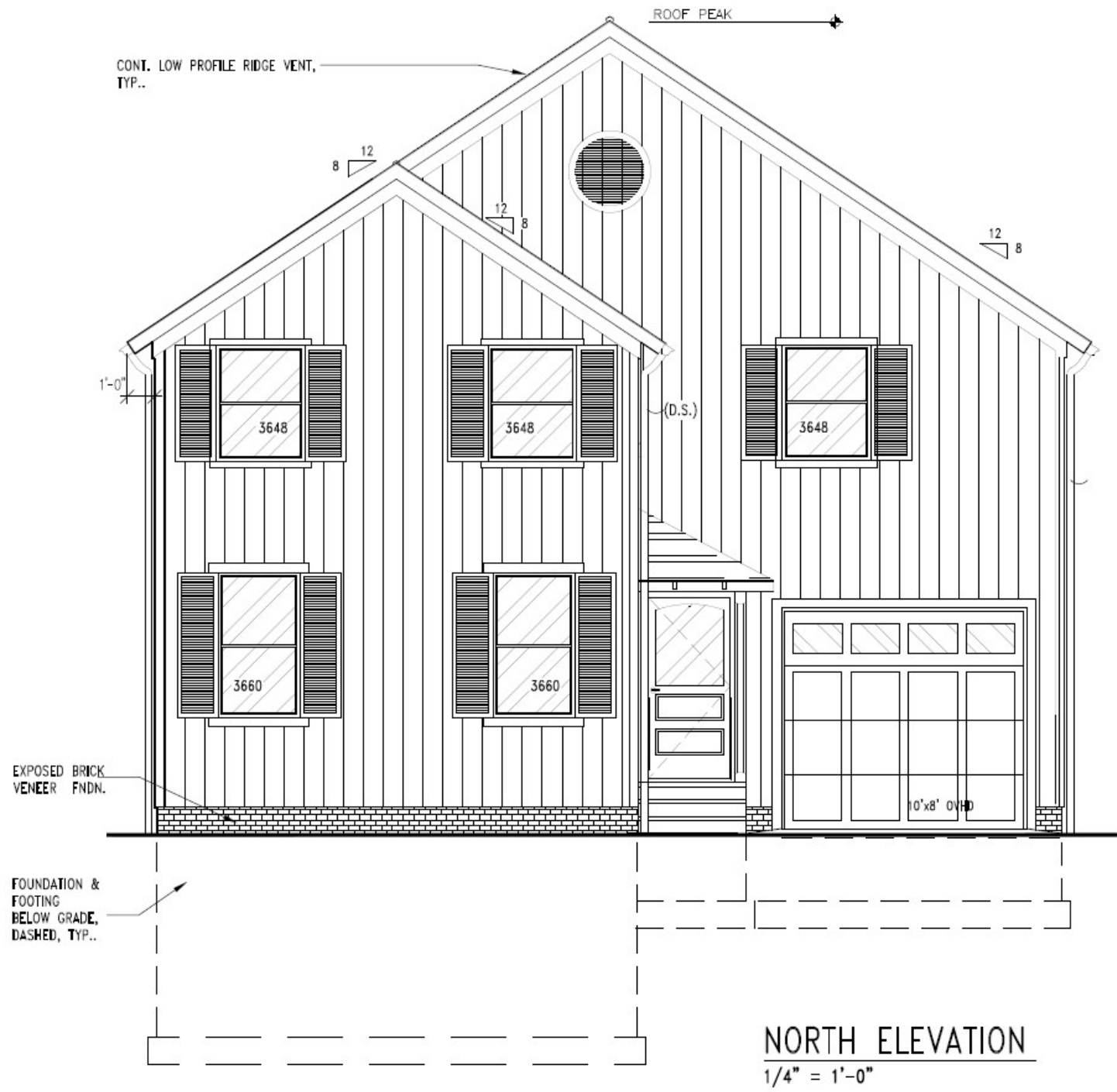
ARCHITECTUAL SITE PLAN

1" = 20'-0"

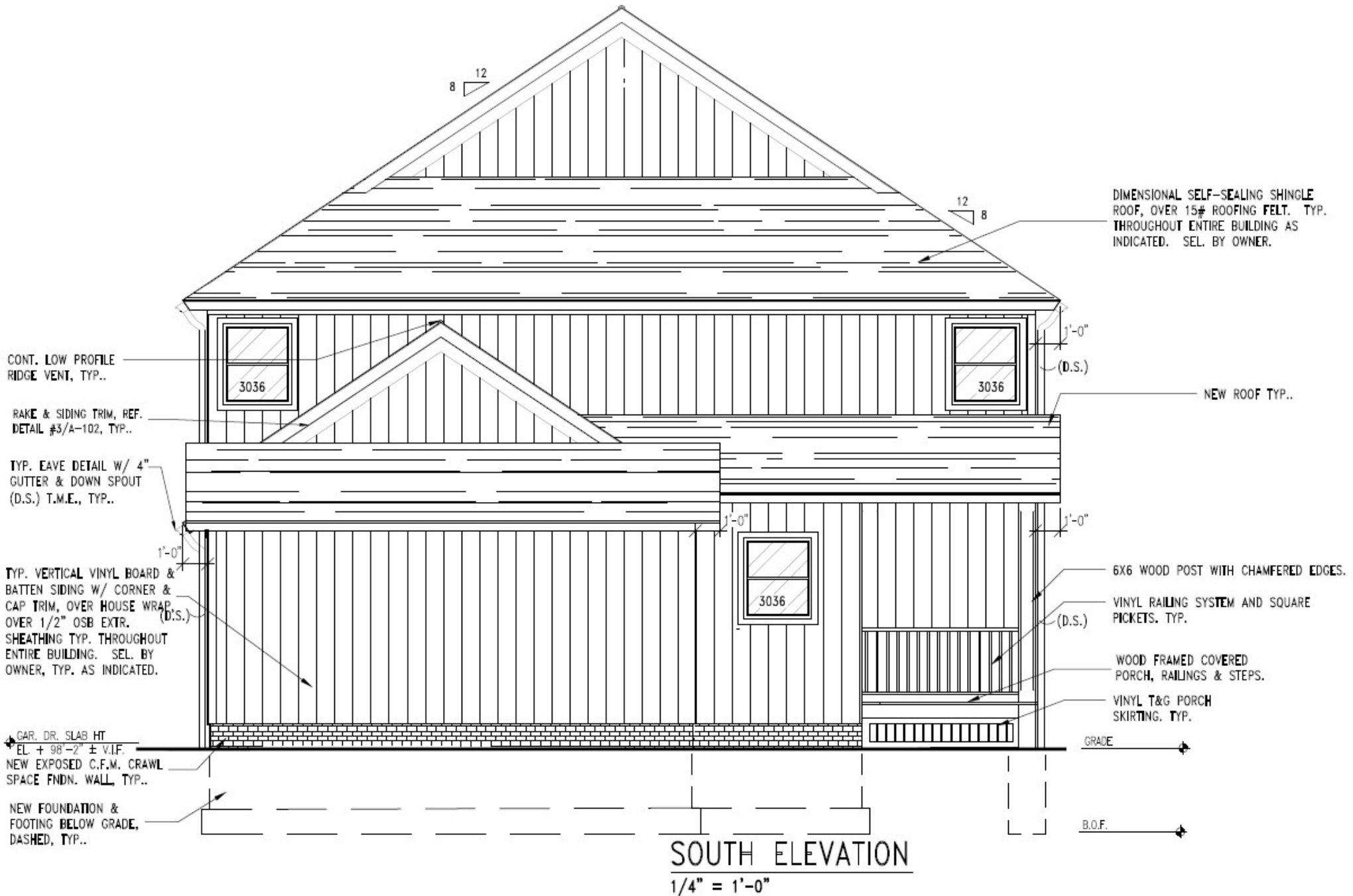


Docket No. 02-16-23 (1464 Riverside)

Demolition/New Construction

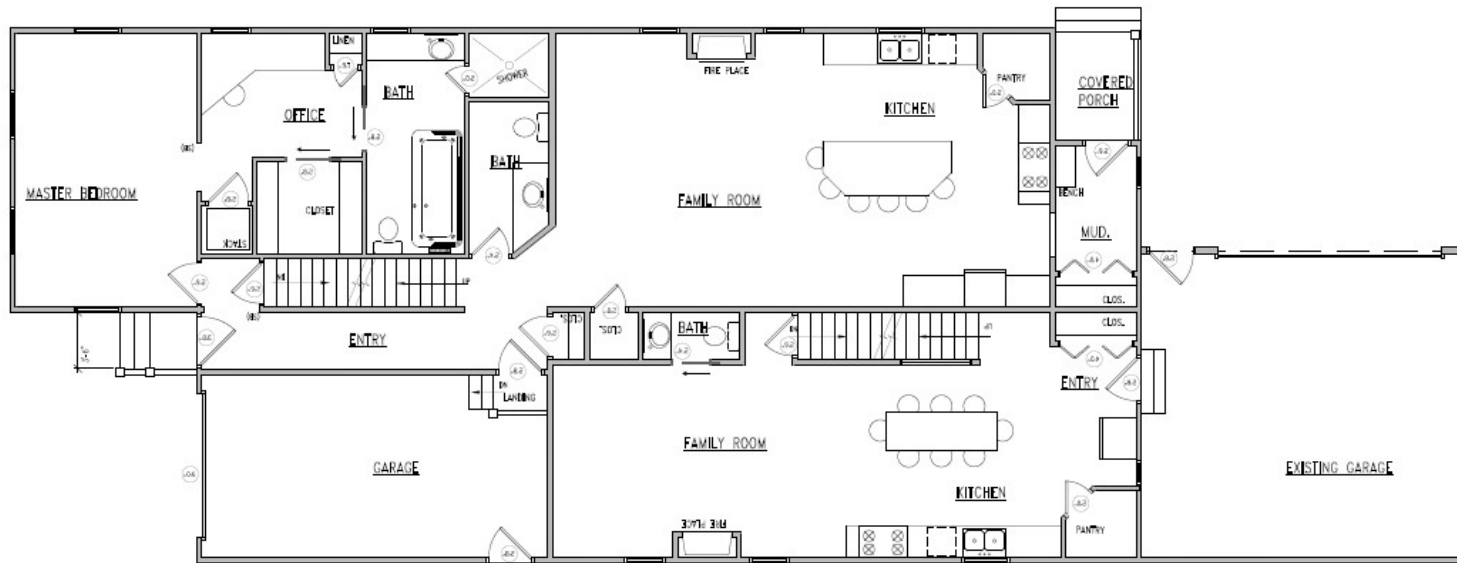


Docket No. 02-16-23 (1464 Riverside)
 Demolition/New Construction

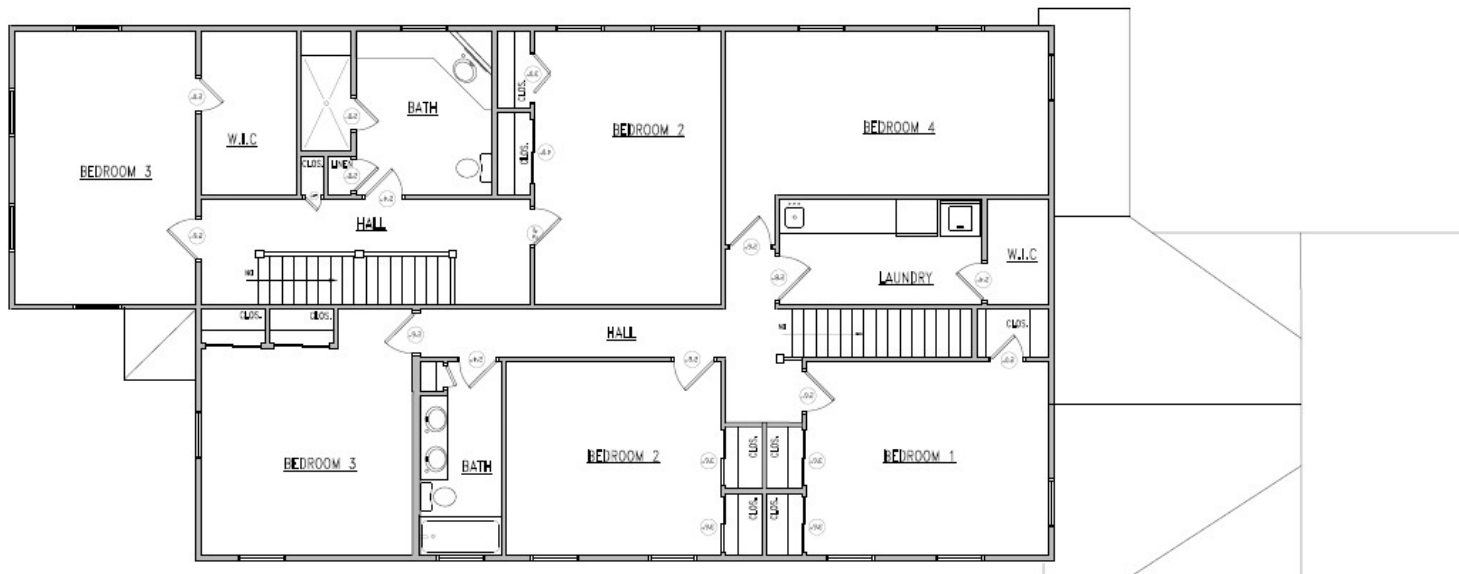


Docket No. 02-16-23 (1464 Riverside)

Demolition/New Construction



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



Docket No. 02-16-23 (1464 Riverside)

Demolition/New Construction



Docket No. 02-16-23 (1464 Riverside)
Demolition/New Construction

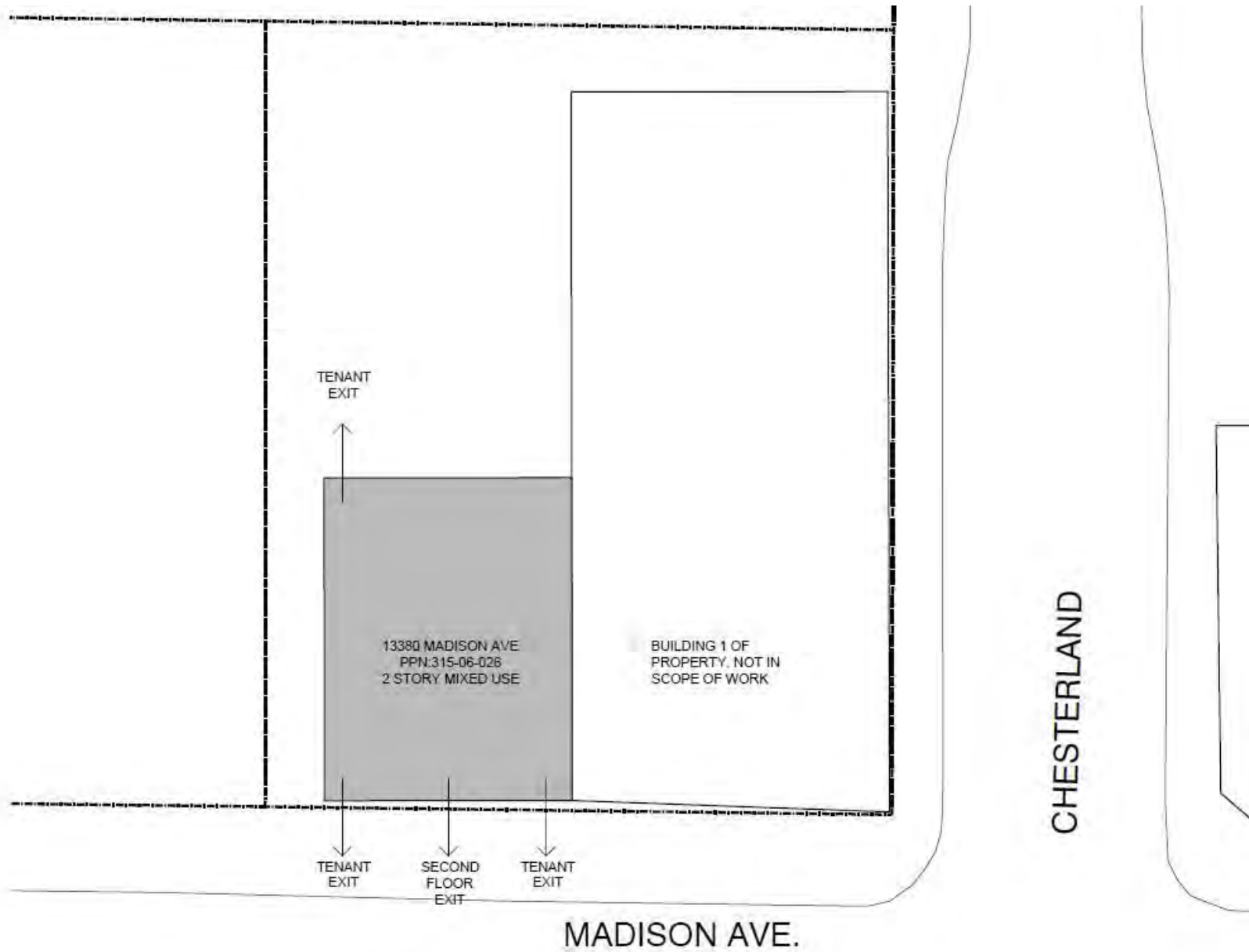
Applicant proposes commercial renovation.

City Notes:

N/A.



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation
David Maniet



Site Plan

1/8" = 1'-0"

SITE PLAN NOTES:

PROPERTY LINES LOCATED FROM CLIENT PROVIDED SURVEY.

DATED: OCT 25, 2016 AND COMPLETED BY EXACTAOHIO



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation

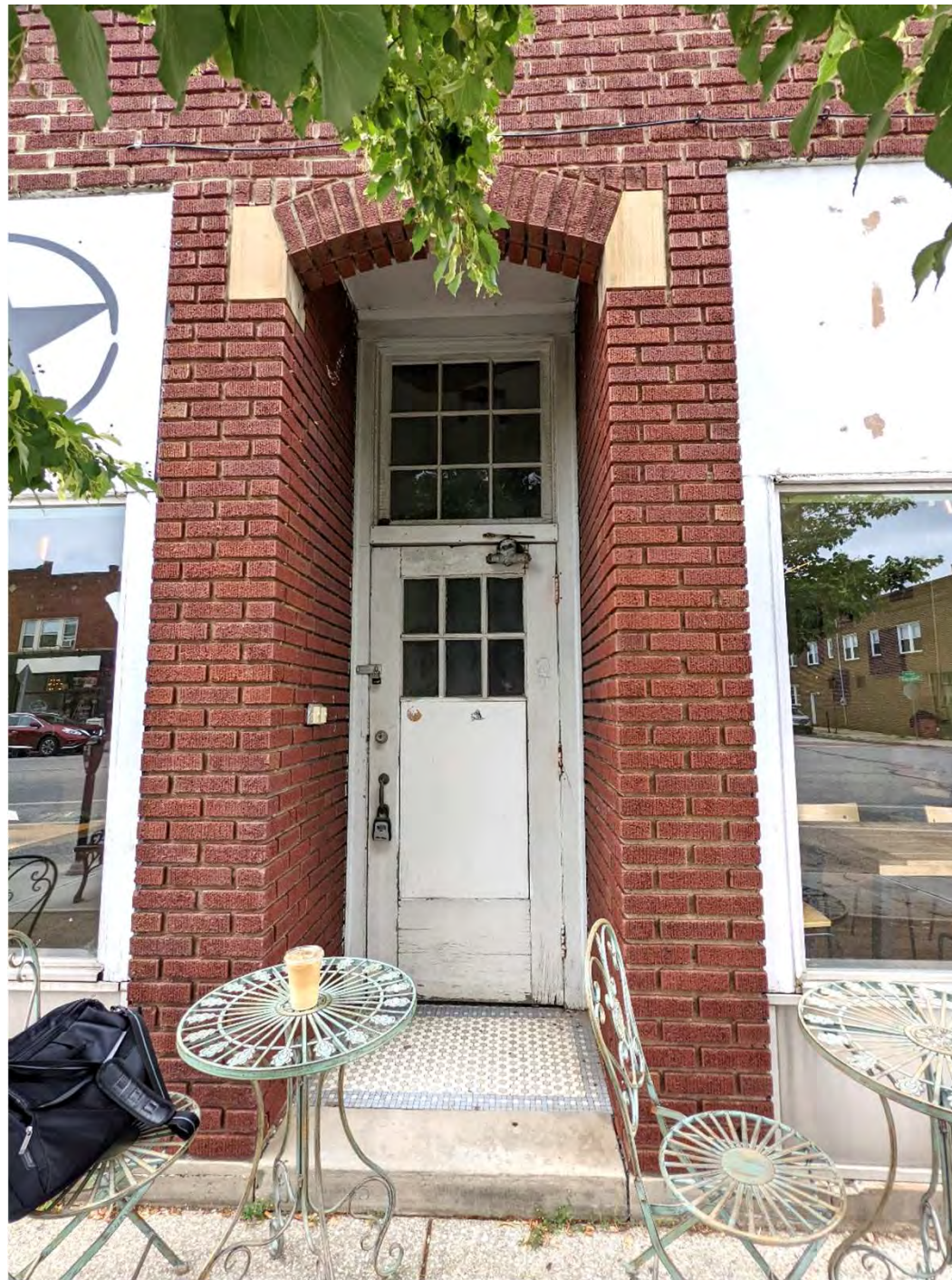


Docket No. 02-17-23 (13370 Madison)
Commercial Renovation



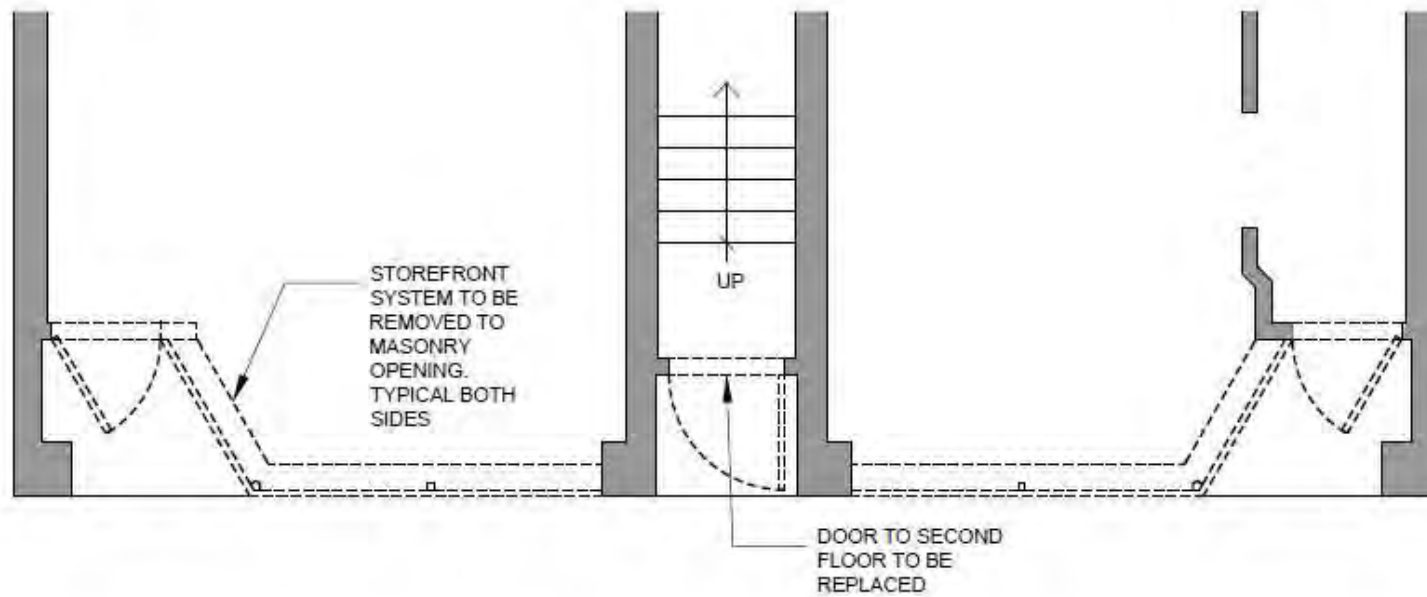
Docket No. 02-17-23 (13370 Madison)
Commercial Renovation

Current Conditions



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation





Existing Storefront Plan with Demolition Notes

$\frac{1}{4}'' = 1'-0''$



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation

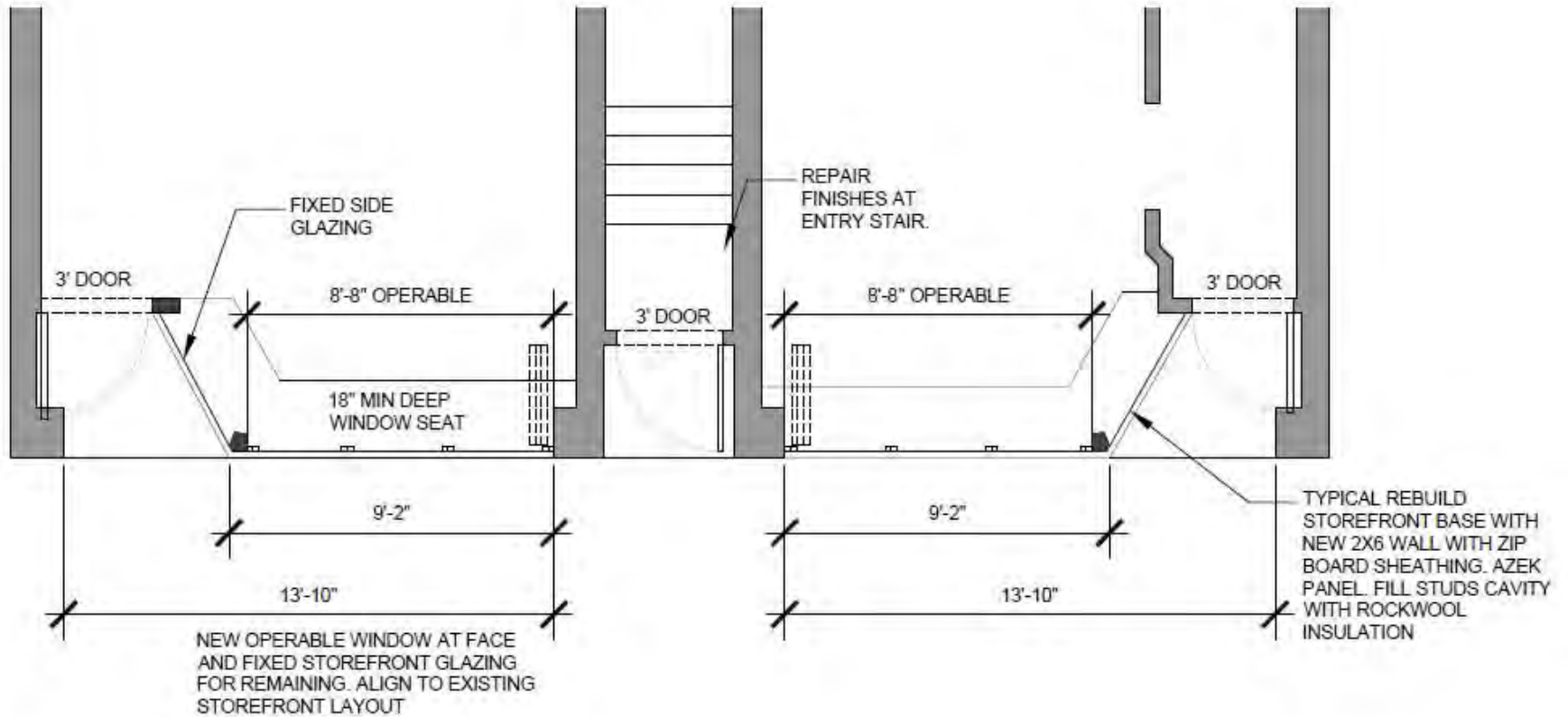


Existing Storefront Elevation with Demolition Notes

1/4" = 1'-0"

Docket No. 02-17-23 (13370 Madison)
Commercial Renovation





Proposed Storefront Plan

1/4" = 1'-0"



Docket No. 02-17-23 (13370 Madison)
 Commercial Renovation



Proposed Storefront Elevation

1/4" = 1'-0"



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation

COMMERCIAL FOLDING GLASS WALLS



HARPERS LANDING BAR & GRILL

PROJECT ID
12-09-180



LOCATION

Oakville, Ontario, Canada

SERIES

All Wall Folding Glass Wall System, Straight Eave
Lean-to Canopy and Curtain Walls

GLAZING

1" LoE 272 Insulated Tempered

FINISH

AAMA 2603 Bronze

GLASS SQUARE FOOTAGE

4,658 sq. ft

NUMBER OF PANELS

15

SERIES SI3000
FOLDING GLASS WALL SYSTEMS

PRODUCT DATA SHEET



SOLAR INNOVATIONS®
ARCHITECTURAL GLAZING SYSTEMS

The most versatile doors in the industry

Folding Glass Walls, (Bi-fold Doors or Accordion-Style Doors), have been a signature product of Solar Innovations® since 2004. Designed and manufactured in the USA, our Folding Glass Walls are custom manufactured to fit virtually any rough opening and be configured to operate dozens of ways, with any number of panels. These operable walls offer a flexible and customizable opening that can be incorporated into any residential or commercial project including covered patios, living rooms, decks, enclosed porches, and pool houses. Swing doors can be integrated into the system, allowing the user to easily enter or exit a room without opening all of the panels. The endless possibilities — including custom color finishes, custom hardware, and decorative grids — coupled with the highest performance in the industry, make our Folding Glass Walls the perfect solution for any application.

FEATURES

OPERATION:

- Top or bottom load
- In-fold or out-fold operation
- Endless configurations possible
- Swing door integration
- No corner post setup available
- Center pivot option

FRAMING:

- Aluminum, wood or vinyl
- Frame widths: 3/4", 2 1/4", and 1 1/2" (G3 only)
- Up to 3' x 15' panels and larger
- Standard, high performance and ADA compliant sills
- Matching sillsides and transoms
- LEED friendly system including recycled content

HARDWARE:

- Multiple handle styles and finishes
- Panic hardware and closer options available
- Roller assemblies designed to minimize and simplify panel maintenance
- Zero-maintenance extruded aluminum hinges with stainless steel pins
- Custom manufactured pulls and locks
- Closers (overhead)

GLAZING:

- Designed to accommodate almost any glazing infill including glass, acrylic, polycarbonate and solid panels, from 3/4" to 1 1/2"

PERFORMANCE:

- Air, water, structural, impact, acoustical and thermally tested options

FINISHES:

- Standard finishes:
 - AAMA 2603: Black, White, Sandstone, Natural Clay, Bronze and Hartford Green
 - AAMA 611 Class I Anodized: Clear, Dark Bronze
- Designer finishes:
 - AAMA 2604: Black, White, Sandstone, Natural Clay, Bronze and Hartford Green
- Custom finishes:
 - Powder coat finish: AAMA 2604, 2605
 - Fluoropolymer (50% or 70%): AAMA 2604, 2605
 - faux wood
 - Dual finish — interior/exterior applications

OPTIONS:

- Wood veneer or metal cladding
- Framed and cartridge retractable screen options
- Manufacturer-installed sill drain tubes, if required
- Mullions, decorative muntins, simulated divided lites (SDLs), interior and exterior grids

solarinnovations.com | 800 618 0669 | 31 Roberts Road, Pina Cove, PA 17963 | Rev 6.9.22



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation



BARLEY FLATS APARTMENT

PROJECT ID
15-06-378

LOCATION

Grand Rapids, Michigan

SERIES

Three Split Wall G2 Folding Glass Wall Systems

GLAZING

1" Insulated

FINISH

AAMA 2603 Bronze

GLASS SQUARE FOOTAGE

360 sq. ft

NUMBER OF PANELS

15



Docket No. 02-17-23 (13370 Madison)
Commercial Renovation

Applicant proposes façade renovation/outdoor dining.

City Notes:

- Approved by Planning Commission - Conditional Use (Outdoor Dining).



Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining
Tommy Chesnes



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining

Current Conditions



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining



SOUTH ELEVATION
FRONT



NORTH ELEVATION
REAR



SOUTH ELEVATION
FRONT





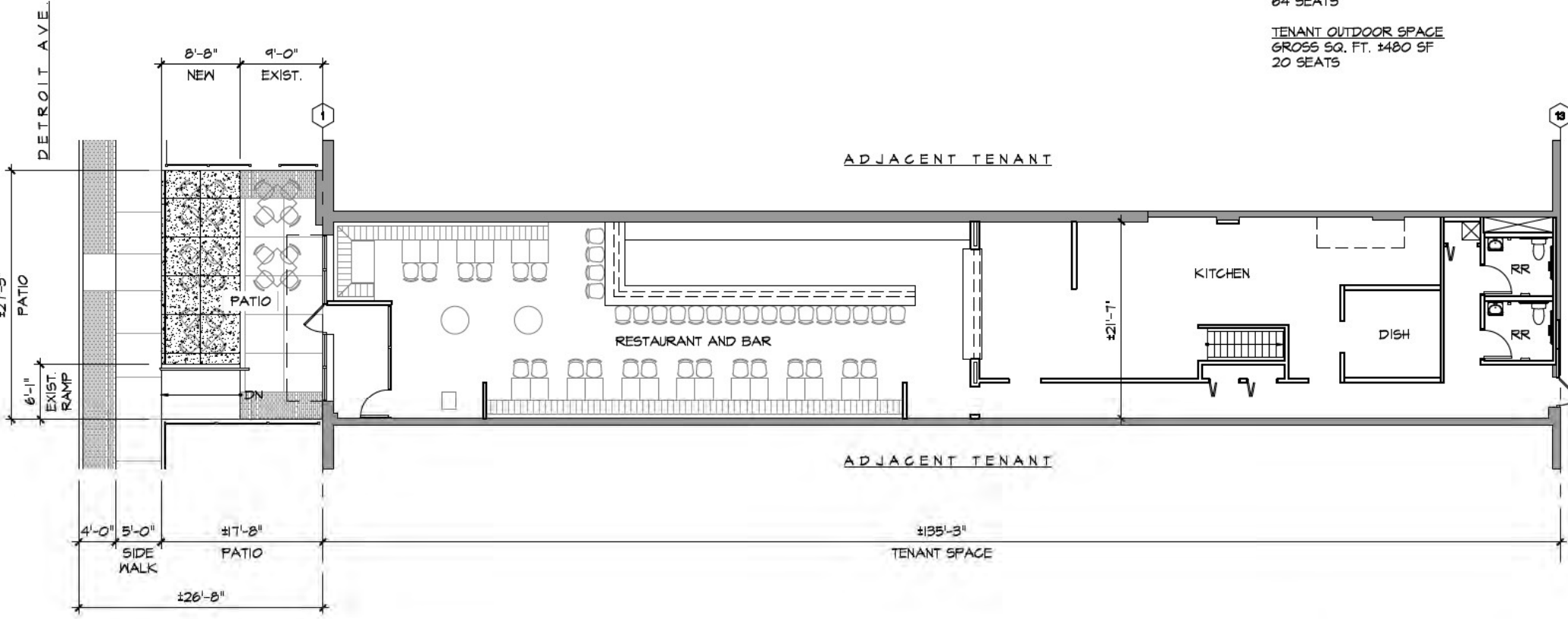
Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining

TENANT INTERIOR SPACE
GROSS SQ. FT. ±3,000 SF
64 SEATS

TENANT OUTDOOR SPACE
GROSS SQ. FT. ±480 SF
20 SEATS



 **FLOOR PLAN**
3/18/17-0"

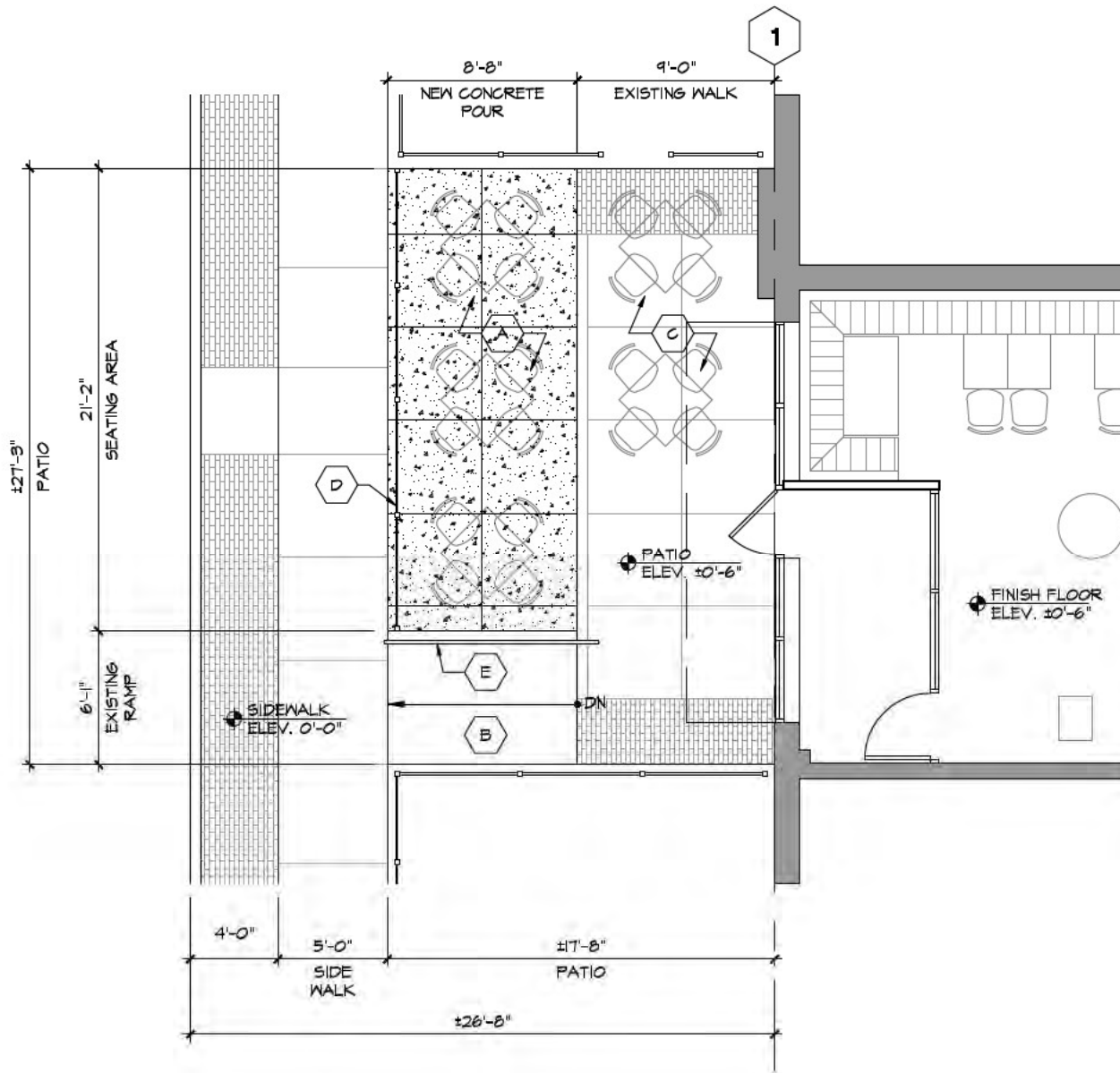


FLOOR PLAN
CRUMB & SPIGOT • LAKEWOOD, OH • 01.17.23



Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining



KEYNOTES

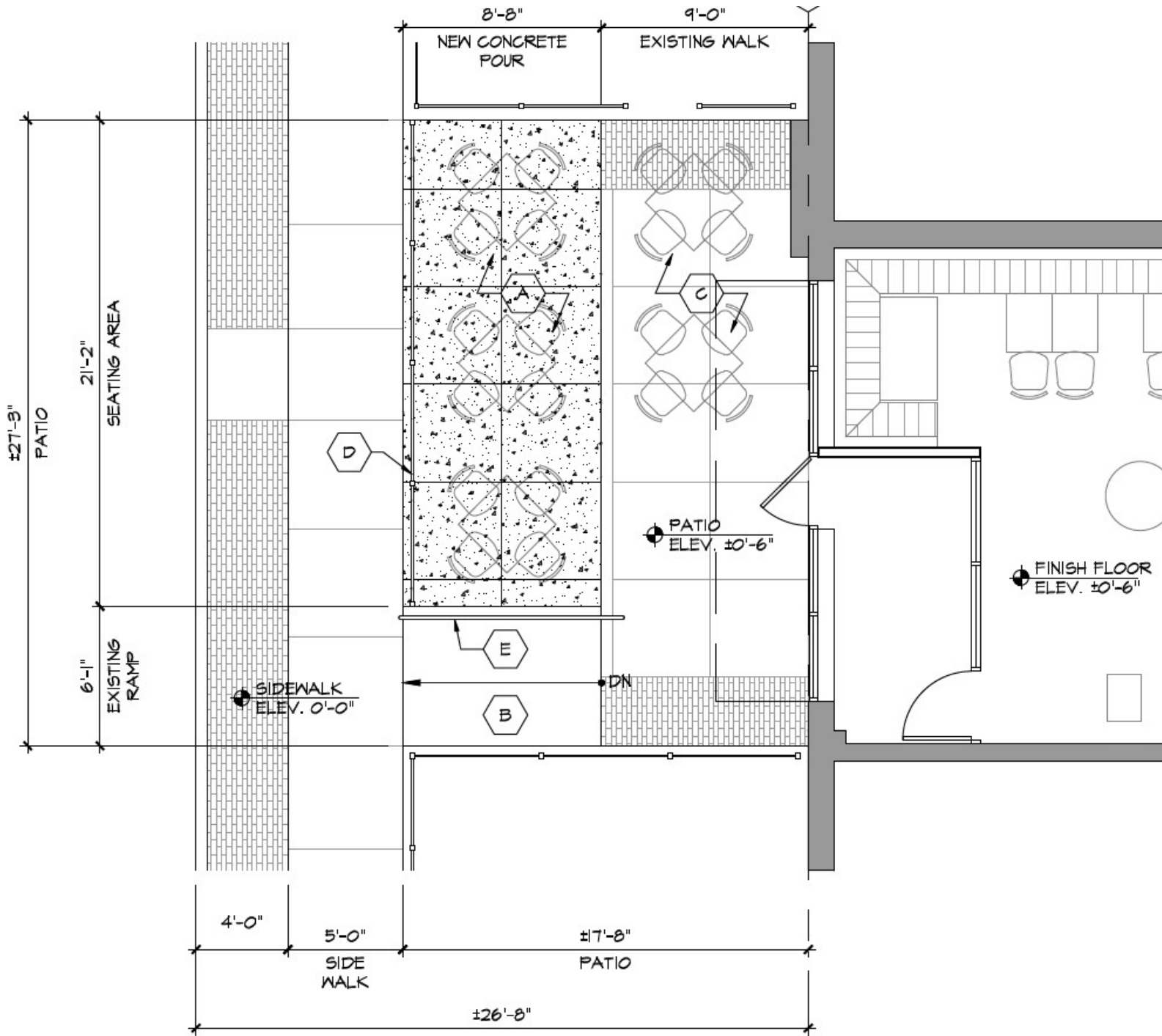
- A** NEW CONCRETE PATIO POUR OVER EXISTING CONCRETE. SLOPE AWAY FROM BUILDING, MAX SLOPE 2%. MAKE FLUSH WITH EXISTING UPPER PATIO. ALIGN JOINTS WITH EXISTING SIDEWALK JOINTS ALONG STOREFRONT.
- B** EXISTING ADA RAMP TO REMAIN
- C** EXISTING CONCRETE WALK TO REMAIN
- D** NEW ALUMINUM POWDER COATED FENCE. 36" TALL FENCE, BLACK, STYLE TO MATCH ADJACENT TENANT TO EAST, "TAPSTER"
- E** EXISTING ADA RAMP RAILING TO REMAIN



Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining





Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining



onyx|creative

EXTERIOR PERSPECTIVE | RENDERED
CRUMB & SPIGOT • LAKEWOOD, OH • 01.17.23



Docket No. 02-18-23 (15322 Detroit) Façade Renovation/Outdoor Dining



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EXTERIOR PERSPECTIVE | RENDERED
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Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



EIFS-1
Sherwin Williams
SW 9180 Aged White



EIFS-2
Sherwin Williams
SW 7729 Edamame



AWN-1
Awning Fabric on
existing frame
Sunbrella
Charcoal



PD-1
Mtl Fence Powder Coat
Black
36" tall fence to match
adjacent "Tapster"

NOTE:
Medallion and text signage by
sign vendor under separate
application. Shown for elevation
design intent only.





Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining

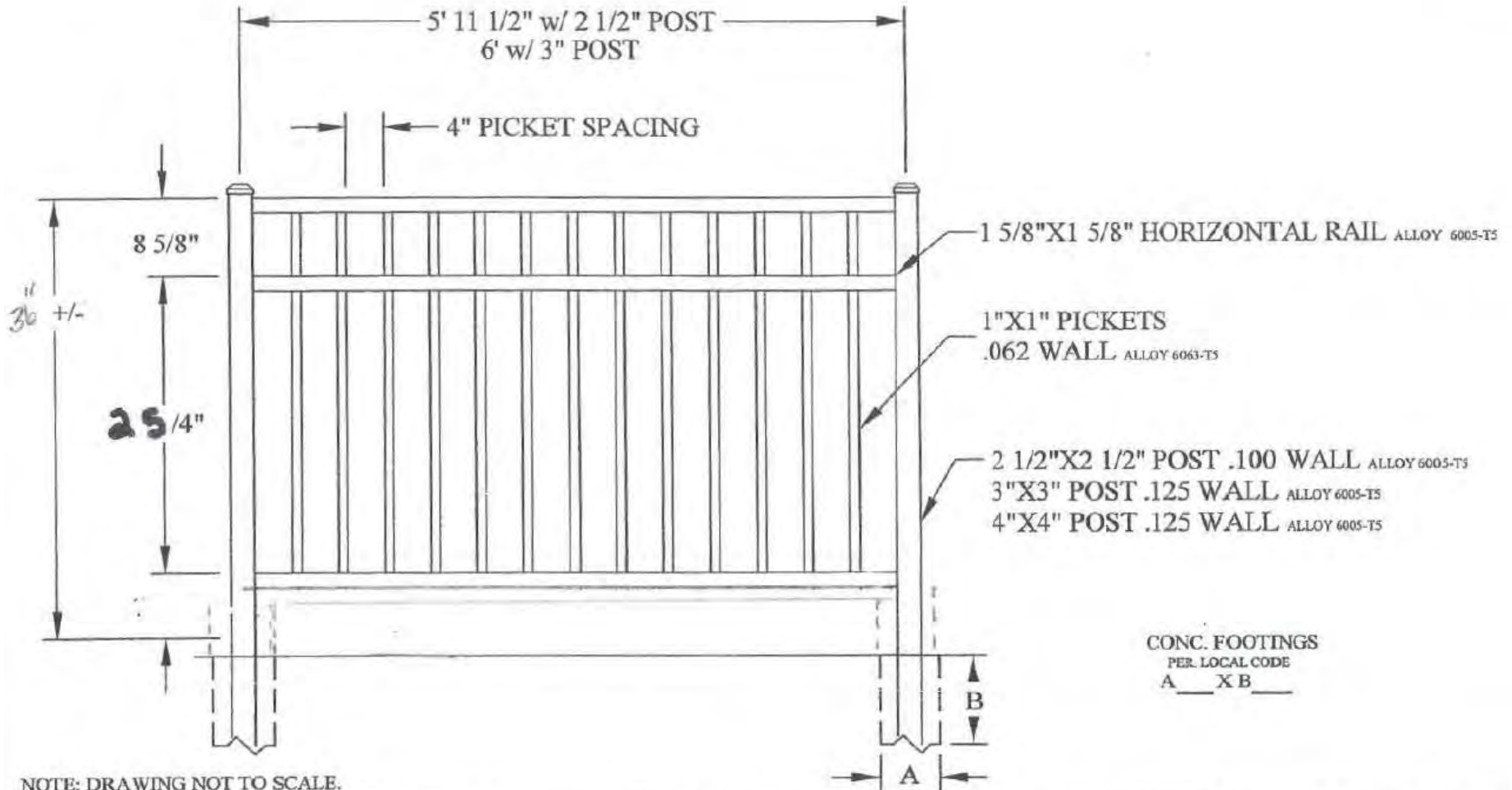


Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining



NOTE: DRAWING NOT TO SCALE.

EFF-20 INDUSTRIAL.	COLOR	PROJECT	OWNER/CONTRACTOR	DATE
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Docket No. 02-18-23 (15322 Detroit)
 Façade Renovation/Outdoor Dining

Fermob

STUDIE

CHAIR
DESIGN BY TRISTAN LEHNER

ITEM 6911

COLOR: ANTHRACITE



WARRANTY

	IN ALUMINUM	IN STEEL
STRUCTURAL	3 YEARS	2 YEARS
FINISH	2 YEARS	1 YEAR

TESTING STANDARDS - Upon request
NF EN 581-1 (all products), NF EN 581-2 (seats)

TECHNICAL FEATURE - STRUCTURE



Tubular aluminum frame
Curved aluminum sheet seat
Curved aluminum sheet backrest
Silence pads
Stacking capacity : x 8 (Height—stacked : 47 in.)
Available colors: see limited color chart.



FURTHER INFORMATION

Bespoke project : Ground attachment, Cable attachment, Ballasting, Special RAL, Silkscreen printing
Spare parts : Pads

Fermob

COSTA

TABLE 31.5 X 31.5 IN.

ITEM 8143

COLOR: ANTHRACITE



TESTING STANDARDS - Upon request

WARRANTY

	IN ALUMINUM	IN STEEL
STRUCTURAL	3 YEARS	2 YEARS
FINISH	2 YEARS	1 YEAR

TECHNICAL FEATURE - STRUCTURE



Aluminum frame
Aluminum table top



32 in.



Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining

PATIOCONTRACT®

Treasure Garden Commercial Aluminum 9'
Octagon Push Up Lift Vented Umbrella



PRODUCT INFO

PRODUCT SPECIFICATIONS

Item Code	EXUCP400
SKU	UCP400
Material	Aluminum Material
Brand	Treasure Garden
Collection	Commercial
Shade Size	9 Foot
Shape Type	Octagon
Pole Material	Aluminum Pole
Lift System	Push Up Lift
Tilt System	No Tilt
Construction Quality	Commercial
Dimension	9'
Weight	18
Ribs	8
Height Opened	93.5
Pole Diameter	1.53 Smooth
Pole Wall	0.06 Thick
Vent Style	Single or Double Wind Vent
Cube	2.68

PRODUCT FEATURES

- Medium 9 foot shade size
- Classic octagon shaped canopy
- Very durable and light weight aluminum pole
- Featuring push up lift system
- 57 square foot coverage
- Recommended minimum of 70 lb. base for this style
- LEAD TIMES ARE SUBJECT TO FABRIC AVAILABILITY

Finish



Bronze

Fabric



Sunbrella Canvas

Grade A

Docket No. 02-18-23 (15322 Detroit)
Façade Renovation/Outdoor Dining

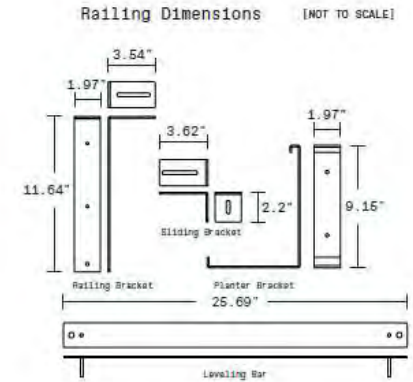
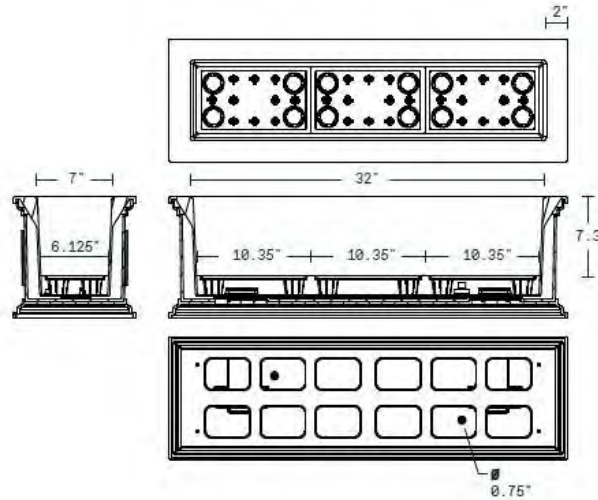





brixton series

window box planter with bracket

window box thirty-six with brackets

36"L x 11"W x 11"H
Weight: 26 lbs
Capacity: 7.6 gal | 34.6 L
Capacity with Shelf: 6.5 gal | 29.0 L



- black 
- white 
- gray 

materials

durable polypropylene construction
 thick gauge galvanized steel brackets
 made in Canada


features


- all weather resistant
- crack proof
- fade resistant
- scratch resistant
- drainage holes
- 5 year limited warranty


Interior Dimensions




Exterior Dimensions

 Phillips Rounded Head Thread-Forming Screw Number 10 Size, 1/2" Long

 Round Head Square Neck Screw (slider bolt) M6x1mm Thread, 12mm Long

 Phillips Pan Head Screw M6x1mm Thread, 8mm Long

 Cap Nut M6x1mm Thread

 Hex Nut M6x1mm Thread

Hardware Included

veradek — outdoor

info@veradek.com | veradek.com | @veradek



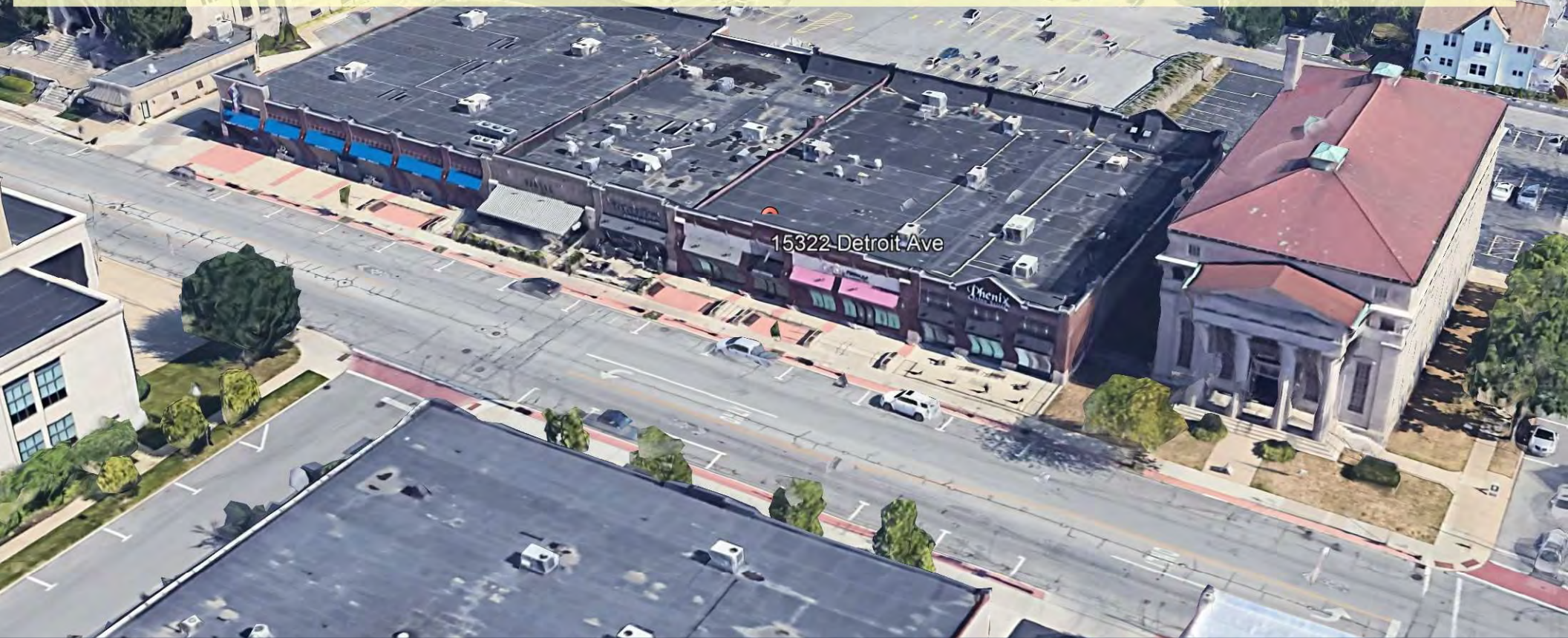
Docket No. 02-18-23 (15322 Detroit)

Façade Renovation/Outdoor Dining

Applicant proposes new signage.

City Notes:

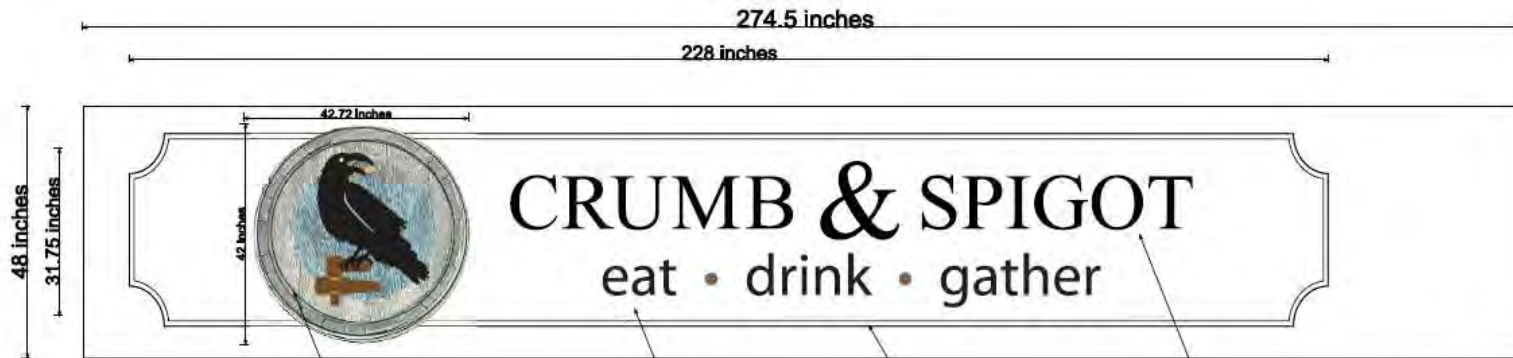
- ❑ Storefront of ~27 ft...maximum allowable sign area of ~41 ft².
- ❑ Front wall signage = 32 ft² (logo – 9.6ft², lettering – 22.5 ft²)
- ❑ Rear wall logo = 9.6 ft²
- ❑ *1329.04 MEASUREMENT STANDARDS. (c) Buildings...secondary entrance to a parking area may be permitted additional signs...not exceed 25% of the area...permitted along the main facades. (10.25ft²)*



Docket No. 02-19-23 (15322 Detroit)

Sign – Crumb & Spigot
Jeff Clark

PLAN DRAWING B-MS0063 CRUMB & SPIGOT LAKEWOOD, SOUTH ELEVATION



Dimensional carved faux-wood applied to backer panel

Background green wall painted by others

Backer board of 1/2" MDO

1" ogee molding

10" x 1/2" flat cut acrylic-matte black stud-mounted letters with 1/2" spacers

COLORS



EJFS-1
Sherwin Williams
SW 9180 Aged White



EJFS-2
Sherwin Williams
SW 7729 Edamame



IMPOSED DRAWINGS ARE NOT TO EXACT SCALE AND ARE PROVIDED FOR REPRESENTATIONAL PURPOSES ONLY.



9478 Ravenna Rd.
Twinsburg, OH 44087
330-405-4799
easysigngroup.com

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Project # B-MS0063
Date 1.18.23
Sales Rep MARY ANN
Designer JMARY ANN

CRUMB & SPIGOT
15233 Detroit
Lakewood, OH



Docket No. 02-19-23 (15322 Detroit)
Sign – Crumb & Spigot

9.6 ft²

~130" (W) X ~25" = ~22.5 ft²

274.5 inches

228 inches

42.72 inches

42 inches

CRUMB & SPIGOT
eat • drink • gather

Backer board
of 1/2" MDO

1" ogee molding

10" x 1/2" flat cut
acrylic-matte black
stud-mounted letters
with 1/2" spacers

Dimensional carved faux-wood
applied to backer panel

48 inches
31.75 inches



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IMPOSED DRAWINGS ARE NOT TO EXACT SCALE AND ARE PROVIDED FOR REPRESENTATIONAL PURPOSES ONLY.



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Dimensional carved HDU faux-wood sign installed with cleat mounting



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Project # B-MS0063
Date 1.18.23
Sales Rep MARY ANN
Designer JMARY ANN

CRUMB & SPIGOT
15233 Detroit
Lakewood, OH



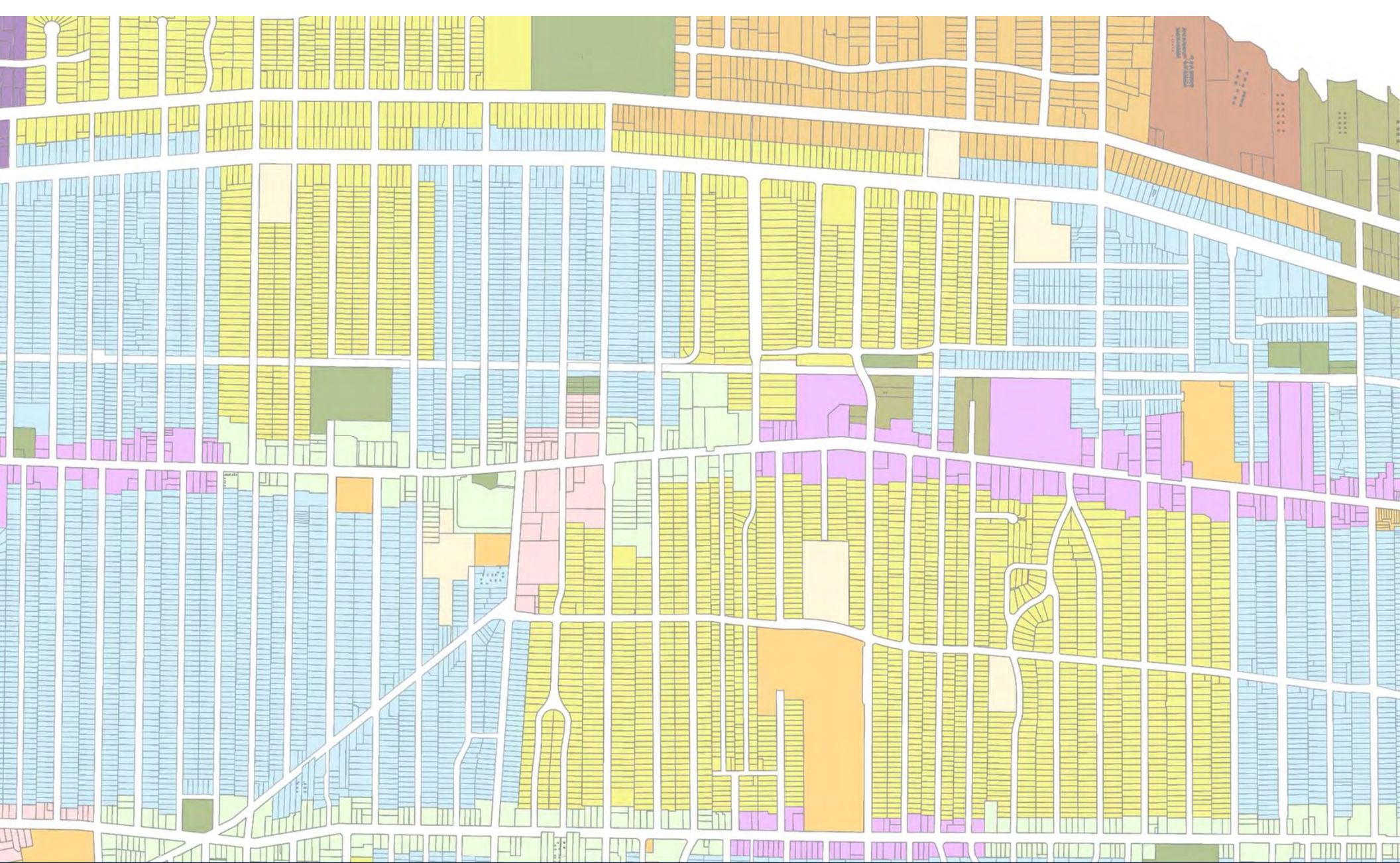
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Architectural Board of Review

February 2023