



MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
FEBRUARY 12, 2026
5:30 P.M.
MEETING RECORDED
<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Chris Egervary
Nick Slaughterbeck
Hanna Cohen Plessner
Matthew Stevenson
Ashley Matonis

Staff

Amanda Cramer, Co-Board Secretary, City Planner
William Wagner, Assistant Building Commissioner
Jeffrey Crossman, First Assistant Law Director

2. APPROVE THE MINUTES OF THE JANUARY 8, 2026 MEETING

A motion was made by Ms. Plessner, seconded by Mr. Stevenson to **APPROVE** the January 8, 2026 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

SUMMARY APPROVED

At the pre-review meeting, three items were Summary Approved (conditions are noted). A motion and a second is needed for approval of Docket No. 02-13-26, Docket No. 02-14-26, Docket No. 02-15-26.

4. Docket No. 02-13-26 (C) 13400 Madison Ave.
Allstate Insurance

- Approve
- Deny
- Defer

Kathy Clarke
ACE Lighting Services
1260 Moore Rd.
Avon, OH 44011

Applicant proposes new wall signage.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 02-13-26 with the following condition:

- Any window signage be approved by the board before installation.

All the members voted yea; the motion passed.

5. Docket No. 02-14-26 (C) 1411-1413 Lauderdale Ave.
Advance Glass Sales & Service LLC

- Approve
- Deny
- Defer

William Eppich
Advance Glass Sales & Service LLC
1260 Moore Rd.
Avon, OH 44011

Applicant proposes new window signage.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 02-14-26 with the following conditions:

- Reduce the size of the QR Code and phone number to the scale of the glass door.
- Submit updated elevation to board secretary.

All the members voted yea; the motion passed.

6. Docket No. 02-15-26 (C) 15800 Detroit Ave.
Cleveland Clinic

- Approve
- Deny
- Defer

Thomas Yankovich
Ellet Neon Sales & Service, LLC
3041 East Waterloo Rd.
Akron, OH 44312

Applicant proposes new face to existing signage.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 02-15-26 as presented. All the members voted yea; the motion passed.

OLD BUSINESS

SIGN REVIEW

- | | | |
|----------------------------------|-----|------------------------------------|
| 7. Docket No. 01-10-26 | (C) | 2035 Quail St.
Birdtown Brewing |
| <input type="checkbox"/> Approve | | Kathy Clarke |
| <input type="checkbox"/> Deny | | ACE Lighting Services |
| <input type="checkbox"/> Defer | | 1260 Moore Rd.
Avon, OH 44011 |

Applicant proposes new aluminum signage for front fascia and internal wayfinding signage.

Kathy Clarke, Ace Lighting was present to discuss the updated plans. Discussion was made on the "B" sign on the white masonry.

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 01-10-26 with the following condition:

- The "B" sign on the white masonry is not included.

All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

- | | | |
|----------------------------------|-----|---|
| 8. Docket No. 09-77-25 | (R) | 11730 Detroit Ave.
Northcoast Apartments |
| <input type="checkbox"/> Approve | | Milan Milasinovic |
| <input type="checkbox"/> Deny | | Virginia Marti, Inc |
| <input type="checkbox"/> Defer | | 11724 Detroit Ave.
Lakewood, OH 44107 |

Applicant proposes exterior façade renovations.

Eric Loomis, Loomis Companies and Frank Castrulari, FMC Architects, were both present to discuss their plans. They want to keep the classic look of the building. There will be 14 apartments and a retail café. Added balconies but would like to see them "squared off" instead of fluted as presented. They could be simpler, clean lines. Discussion on the metal siding and concerns that it will "oil can" so suggested to go with a heavier gauge metal to prevent that. Discussion on how to match the surrounding of the window so it is one continuous band and the how the windows will be trimmed since they are going into the brick. Restoration of the brick will be happening. Cut sheets for all exterior products are needed. More detail on the elevations is needed.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to DEFER Docket No. 09-77-25. All the members voted yea; the motion passed.

9. Docket No. 12-114-25	(R)	1114 Forest Rd.
() Approve		Elizabeth Davis
() Deny		Old World Classics, LLC
() Defer		7056 Mears Gate Dr. NW North Canton, OH 44720

Applicant proposes the construction of a new single family home.

Ms. Plessner, Chair, recused herself.
Mr. Egervary took over the conversation.

Jason Leon, property owner, Matt Bowen, Old World Classics, LLC were present to discuss. The board members commended Mr. Leon and Mr. Bowen on how they have modified things and done everything they were asked of them to get this approved. Glass was added to the front door, the chimney will be full brick and there is a new landscape plan. Mr. Leon is planning on keeping as many of the century old trees as possible.

Several public comments were made:

- o Concern about removal of the century old trees, value of the homes and the surroundings of Clifton Park
- o Lack of respect for the historic district

A motion was made by Mr. Egervary, seconded by Mr. Stevenson to APPROVE Docket No. 12-114-25 as presented. All the members voted yea; the motion passed.

10. Docket No. 01-07-26	(C)	15501 Madison Ave. Vital Pilates & Wellness
() Approve		Jake Szaraz
() Deny		MJM Building Standards
() Defer		14819 Lake Ave. Lakewood, OH 44107

Applicant proposes a second floor addition.

Jake Szaraz and Liz Gonzalez, MJM Building Standards were present to discuss the plans. Discussion was made on how the building is aligned with other businesses on Madison. They are trying to create a pedestrian friendly façade with a covered patio in front. An 8 foot parapet was added to the front of the building and the windows were shrunk to be more in scale with the first floor. Mr. Szaraz feels the left arches break up the façade. There was also discussion on the air conditioning unit on the side and Mr.

Szaraz stated that it will be moved as there will be roof top units added. The board members discussed the following items:

- Make the 3 square window match the rest
- Clean up the details so the width of the windows matches those below it
- Consider matching the first floor window on the left side of south elevation for the second floor in the same spot
- What is the material used for the horizontal band? Stucco
- Center the light fixtures on column or center of space on rear elevation
- Cut sheets needed with the final colors, window type, stucco type, exterior lights and trim details
- Add more landscaping up front to enhance and extend walk to Madison to make more welcoming

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to DEFER Docket No. 01-07-26. All the members voted yea; the motion passed.

11. Docket No. 01-08-26 (R) 14819 Lake Ave.

() Approve Jake Szaraz
() Deny MJM Building Standards
() Defer 14819 Lake Ave.
Lakewood, OH 44107

Applicant proposes the construction of a front porch addition.

Jake Szaraz, owner, was present to discuss the plans. Mr. Szaraz provided a cut sheet as requested, added bottom rail, the column size is much more in line and the fascia board is azek not vinyl.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to APPROVE Docket No. 01-08-26 as presented. All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

12. Docket No. 02-16-26 (C) 1374 W.117th St.
Norton Industries

() Approve Jeffrey Foster
() Deny 1220 W.6th St. STE 405
() Defer Cleveland, OH 44113

Applicant proposes a storefront renovation.

Jeff Foster, Payto Architects and Tricia Rhea, owner were both present. Discussion was made on opening up the storefront and keeping the door opaque. The Board felt the lap siding is an issue as it reads residential. If the garage door was removed, it would really open it up. There are three parcels and only one is office space. The back building is a warehouse that can only be accessed from the dock door. Discussion

on changing the dock door as there is no vehicular access to the back building. The idea of a recess door is a good idea. The Board was unsure of the color choice for the front façade. Applicant wants the building to look nicer but there are budget constraints. Two of the parcels will be sold at some point, leaving only the occupied office space belonging to Ms. Rhea. Mr. Foster provided additional information/details that was asked for. Additional discussion on the left bay being spandrel and that it would go a long way or could the left side just be solid. Mr. Foster also mentioned that there were no windows and that they are proposing vision glass.

Ms. Cramer discussed the Storefront Renovation Program with Ms. Rhea and is willing to work with Ms. Rhea to educate her on the program and what it could possibly offer her.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to DEFER Docket No. 02-16-26. All the members voted yea; the motion passed.

13. Docket No. 02-17-26	(R)	1654 Waterbury Rd.
<input type="checkbox"/> Approve		Bridget Gouker
<input type="checkbox"/> Deny		1206 Cranford Ave.
<input type="checkbox"/> Defer		Lakewood, OH 44107

Applicant proposes construction of a new single family home.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to TABLE Docket No. 02-17-26. All the members voted yea; the motion passed.

14. Docket No. 02-18-26	(R)	1337 Edanola (Edanola & Riverside)
<input type="checkbox"/> Approve		Timothy Bennett
<input type="checkbox"/> Deny		Bennett Builders and Remodelers, LLC
<input type="checkbox"/> Defer		27899 Clemens Rd.
		Westlake, OH 44145

Applicant proposes construction of a new single family home.

Timothy Bennett, Bennett Builders was present. The left side elevation was reorganized and the windows in the bedroom and kitchen were addressed. A shed roof was added over the garage along with a landscape plan with shrubs and arborvitae. The Board felt the porch needs aligned, the height was brought up and rail/balusters were added. Ms. Plessner added that the porch is much better but the length of the façade is so long. Would like to see the left side façade broken up a bit, maybe adding a dormer? Reassess the back part of the roof and consider widening the bay in the center of the left elevation. More details are definitely needed for that left side.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to DEFER Docket No. 02-18-26. All the members voted yea; the motion passed.

15. Docket No. 02-19-26

(C)

16620 Madison Ave.
The Illuminating Company
(Lauderdale Substation)

- Approve
- Deny
- Defer

Jason Van Schoor
The Illuminating Company
16620 Madison Ave.
Lakewood, OH 44107

Applicant proposes alteration to fencing on both front facades.

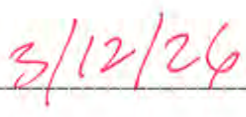
A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to TABLE Docket No. 02-19-26. All the members voted yea; the motion passed.

ADJOURN

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to ADJOURN the meeting at 7:35 p.m. All the members voted yea; the motion passed.



Signature



Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Kathy Clarke
- 2. Frank Castellan
- 3. ERIK LOOMIS
- 4. Jason Leon
- 5. MATT BOWEN
- 6. Tara Keener
- 7. James Romer
- 8. John Pate
- 9. Jake Szasz
- 10. Lizandra Gonzalez
- 11. JEFF FOSTER / TRICIA RHEX

- Kathy Clarke
- [Signature]
- [Signature]
- J Leon
- [Signature]
- Tara Keener
- [Blank]
- [Blank]
- [Blank]
- [Blank]
- [Signature]

TIM BENNETT

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: THURSDAY, FEB. 12, 2020

February 12 ABR Meeting Public Feedback - 15501 Madison Ave.



Margaret Brinich <mbrinich@gmail.com>

To ● Planning Dept; ● Bryan J. Evans

Cc ● Troy Bratz; ● Tom Bullock; ● Angelina Hamilton Steiner; ● Sarah Kepple

⚙️ Reply Reply All Forward ⋮

Thu 2/12/2026 11:59 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good morning,

We are writing to share our feedback regarding the secondary notice for the proposed project at 15501 Madison Ave. Following the January 8th ABR meeting, we were glad to see the Board request a full site plan, as parking congestion and pedestrian safety remain top priorities for the neighborhood.

After reviewing the submitted plan, we believe there are some discrepancies between the drawings and the actual site conditions that may impact the Board's ability to assess safety. Specifically:

1. **Safety & Dimensions - East Lot:** The plan's measurements appear to overlap with the existing sidewalk and conflate what is actually *treelawn* as "existing sidewalk/streetscape." In reality, the parking area is tighter than depicted behind the angled spots, leading to frequent sidewalk obstruction. Because the current site plan lacks a clear delineation between the parking lot and the sidewalk, vehicles are frequently forced to use the pedestrian right-of-way to complete turns. This creates a persistent blind backing hazard, where drivers reversing from angled spots have zero visibility of approaching pedestrians—including children walking to nearby schools—until the vehicle has already entered the sidewalk path.
2. **Safety & Capacity - South Lot:** The plan depicts nine spots behind the building, whereas there are currently six painted spots behind the building and three more "unofficial" spots to the east of those six. These additional three spots impede the flow of traffic in and out of the southern most apron - again, causing congestion and ongoing blockage of the pedestrian sidewalk. In addition, we are concerned that adding the proposed exterior staircase will further tighten the aisle width, potentially falling short of code requirements and increasing sidewalk blockage.

To address the site plan discrepancies and ensure neighborhood safety, we respectfully submit the following requests for the Board's consideration:

Verification of Site Accuracy

- **Professional Survey:** We request that the applicant provide a stamped, scaled survey from a licensed surveyor. This should clearly delineate the private property line versus the public right-of-way (including the Arthur Avenue sidewalk AND treelawn separately).
- **Existing vs. Proposed Comparison:** We request a plan that accurately reflects the *current* number of painted spots versus the *proposed* number, ensuring all proposed spots meet Lakewood's minimum aisle width and stall dimension requirements.

Pedestrian Safety Infrastructure

- **Physical Separation:** To prevent vehicles from encroaching onto the Arthur Avenue sidewalk, we request the installation of **permanent wheel stops or a raised curb** at the edge of the East parking lot where it meets the sidewalk.
- **Apron Clearance:** We request a "No Parking" buffer zone near the southern apron to ensure that vehicles exiting and entering the lot have clear sightlines and do not block the pedestrian right-of-way while waiting to pull in or out.

Code Compliance Review

- **Egress Impact:** We request a formal review of the South parking lot aisle width, specifically calculating how the new exterior staircase will impact the maneuverability of vehicles.
- **Pedestrian Traffic Study:** Given the proximity to schools and local dining, we suggest the City verify that the proposed density of parking does not create a "blind backing" hazard onto the Arthur sidewalk.

Further Expansion of Parking Opportunities

- **Adjacent Lot:** We understand that there are limitations to the existing lot and do not wish to hinder the expansion of the business. One additional (safe) solution may be found in the adjacent Dollar Bank/Hudek Dental lot. We suggest a B2B outreach/collaboration to allow expanded non-towing hours for Vital Pilates customers.

To ensure this project is a success for both the property owner and the community, we respectfully request that before this project moves forward additional, more precise data be collected and presented to ABR. Ultimately, this data will be essential to ensuring that this development enhances—rather than hinders—neighborhood safety.

Best regards,

Margaret Brinich & Troy Bratz

Re: 1114 Forest Rd Design

Date: January 7, 2026

Dear Architectural Board of Review Members,

This updates my previous letter delivered to ABR this past December.

I am writing to express concerns regarding the proposed design at 1114 Forest Rd. I ask the ABR to reject the proposed design for the reasons expressed herein. Should the ABR not have enough information on the concerns expressed by me and others, then the ABR should continue to defer consideration of the design until further clarification is obtained and other administrative and process matters are resolved.

Administrative and Process Considerations:

There are several administrative and process items that impact this application to the ABR. First, the existing variance granted by the BZA is now under notice of appeal to the Court of Common Pleas, which will take several weeks or months at a minimum to resolve. The BZA granted unprecedented substantial area setback variances in this historic neighborhood. While the appeal is pending, the ABR can thoughtfully use that time to address concerns this board and neighbors are bringing forth.

Second, the applicant in the pre-meeting on December 4 disclosed that he had entered into a temporary grading easement with Cuyahoga County (believed to be through mid 2029). The scope of that easement abuts and possibly overlays the proposed building footprint. The impact of that easement should be fully assessed in the design, especially if the simultaneous construction of the home and the Clifton Rd project limit ABR's ability to assess and enforce design standards. The easement and its impact were not disclosed in the BZA application and was only revealed by the applicant in the ABR pre-meeting on December 4.

Finally, in the pre-meeting on December 4, the applicant also mentioned his intent to add a third bedroom in a finished basement. ABR members inquired about egress in such a situation. This application (and the BZA application) does not disclose the third bedroom and describes the proposed home as two-bedroom. Egress design may be a material concern based upon the permanent relocation of bi-directional travel lanes on Clifton Blvd closer to the North facing elevation of the proposed home.

Historic Nature of Clifton Park South:

Because Clifton Park South is listed on the National Register of Historic Places — recognized for its “community planning and architectural quality and diversity” dating from the late 19th / early 20th century — the board’s review should go well beyond mere building-code compliance.

The ABR should not use comparisons with moderate-density and high-density properties in the Sloane neighborhood (high density) or recent approvals at 18169 Clifton Rd (moderate density along the railroad right of way). Nor should the ABR impose planning design for "infill" use. This proposed home sits on an intentionally orphaned lot in a zoned **low-density** neighborhood.

My comments focus on these overarching ideas:

- The ABR should **protect and preserve the historic and architectural character** of this district — its sense of time, place, and community. New construction should respect and respond to that character, rather than ignore it.
- The ABR should focus on ensuring compatibility in scale and material of the proposed home.
- The ABR should consider not just the new building in isolation — but how it fits within the context **of the neighborhood and streetscape**. The ABR should ensure the new structure does not disrupt the rhythm and character that makes the district historically significant.
- The original development of Clifton Park was a **planned community**, with curving streets, irregular large lots, set-back lines, and an emphasis on cohesive planning (parks, and shared community spaces). That planning legacy suggests the board’s evaluation should include how the new house impacts more than just the lot — but the sense of community, lot pattern, and neighborhood openness.
- Preserving **historic integrity and neighborhood character**: helping maintain the cultural, aesthetic, and historical value of Clifton Park South. A single badly-designed infill visually “breaks” the rhythm of this, diminishing the historic feel.
- Avoiding site designs that disrupt established patterns of lot orientation or front-yard character.

Design Concerns related to Proposed Home on 1114 Forest Rd:

This proposed home purports to be a "Modern Craftsman" design, though fails to honor the legacy of the community expressed in aforementioned objectives. My concerns center on the following:

- The proposed structure does not match prevailing scale in terms of footprint and fails to respect the width to height ratios in neighboring homes. This design is an outlier compared to every other home on the street. It intrudes as a vertical shard, conflicting with the aesthetic of the neighborhood. Its width to height ratio is less than 1.0; it is 0.79 (23' x 29'). Every other home on this side of the street has a width to height ratio greater than 1.0 (see table below using a 29' height standard).

Property	Width (in feet)	Width to Height Ratio	Square Footage
Proposed Building	23	0.79	1750
1116 Forest	36	1.24	2380
1120 Forest	44	1.52	2852
1122 Forest	38	1.31	2970
1124 Forest	55	1.89	6908
1126 Forest	43	1.48	3244
1128 Forest	36	1.24	2504
1130 Forest	36	1.24	4600
1132 Forest	42	1.44	3240

- Many of the homes on Forest Rd have front porches or welcoming distinctive front entrances. This proposed home already has an exceptional setback variance (now under appeal). The recessed front entrance and minimalist porch further compound this abnormal setback and makes the home look grossly out of place.
- The volumes in the design struggle to be broken into legible forms and the proposed home resembles a compressed, unmodulated vertical box. This is in contrast to the more balanced volumes of neighboring homes.
- Are the materials proposed in the design consistent with the quality of the neighboring homes? Neighboring homes have an architectural richness derived from the use of real materials: wood, shingle, real brick, stucco, and stone. Does this home rely on antiseptic modern materials that falsify the age of the home with faux-like finishes?

- This solution uses "postage stamp" design found in high density lots. This attempt seeks to maximize the use of the land, rather than respect the architectural aesthetic of the planned community.
- The design does not provide supporting context photos or streetscape drawings. It does not accurately show how the proposed home would fit into the historic neighborhood. Instead, the application (on pages 73 and 74 December agenda and now pages 85 and 86 January agenda) shows an image of the home in an artificial – almost ex-urban—setting. It uses "stock-type" photo trees and landscaping that can't logically exist. This conveys a false sense of non-impact on the neighborhood, and an inaccurate depiction of the lot disconnected from surrounding homes and streetscape features.

This application, as proposed, must be denied for now. A simple "infill" design is not appropriate here, nor is it replacing an existing structure. If resubmitted after the BZA appeal is complete, the application must thoroughly address the problems cited above. It should also include a design with a more comprehensive analysis that explains:

- Understanding of the district's character through context photos, streetscape drawings, and architectural analysis.
- How the design impacts neighborhood patterns on Forest Rd.
- Material samples and clear elevations evidencing compatibility with the neighboring properties. How does this proposed house maintain the "the street rhythm" typical of Forest Rd?
- How the proposed home does not defy Clifton Park's spatial order — the distance between homes, their relation to the street, and views along curved roads.
- Given its minimalist width, how does the lack of a porch and recessed entrance fit into the neighborhood?

- How would the final home design ensure safety for its occupants and vehicular traffic that will pass closer to the home's footprint after the Clifton Connector project is complete? It is my understanding that the county's highway plan will permanently shift bi-directional traffic lanes closer to the north facing elevation of the proposed house. The design would shift bicycle and pedestrian lanes to the other side of Clifton Blvd. (away from the home), while orienting vehicular traffic even closer to the proposed structure.

Sincerely,



Thomas Fraser

1124 Forest Rd

Lakewood, OH 44107

FW: FW: BBS/ABR Meeting, 02-12-26 (Board of Building Standards/Architectural Board of Review)

BM

Brian Meng <bmeng@bialsosky.com>

To: Karrie M. Kois

Cc: Amanda L. Cramer; David Baas; Jo Higgins



Reply

Reply All

Forward

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Mon 2/9/2026 1:56 PM

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Terri, Amanda, and Dave,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood BBS/ABR/Sign Review agenda for the 11/11/2025 meeting.

- **Docket 01-10-26: 2035 Quail St. Birdtown Brewing**
 - o No comments.
- **Docket 09-77-25: 11730 Detroit Northcoast Apartments.**
 - o Great to see this property being revitalized and back on the Agenda. This could be a strong candidate for Lakewood's storefront renovation program.
 - o We would recommend maintaining, to the extent possible, all existing historic features of the building.
 - o Is the profile of the Juliette balconies contextual for Hird Avenue? If not perhaps the applicant would consider something more orthogonal.
 - o What is the dark material that is resented on the Exterior Elevations?
 - o Are there any improvements to be made to the parking lot against Hird?
 - o How will trash and recycling be stored and removed from site? Are there any exterior considerations that need to be provided?
 - o Is there any building lighting being proposed?
- **Docket 12-114-25: 1114 Forest Road**
 - o Good investment in Lakewood.
 - o Suggest considering breaking up the front mass, possibly with a band board to align with the second floor and shake siding above to make the house appear more consistent with Lakewood's typology.
- **Docket 01-07-26: 15501 Madison Ave. Vital Pilates & Wellness**
 - o Great to see this applicant reinvesting in Lakewood.

- o Suggest considering breaking up the front mass, possibly with a band board to align with the second floor and shake siding above to make the house appear more consistent with Lakewood's typology.
- **Docket 01-07-26: 15501 Madison Ave. Vital Pilates & Wellness**
 - o Great to see this applicant reinvesting in Lakewood.
 - o We suggest studying the proportions and openings of the second-floor addition.
- **Docket 01-08-26: 14819 Lake Ave**
 - o Nice addition and investment.
 - o We suggest the details of the tapered column in the inspiration image should be followed.
- **Docket 02-13-26: 13400 Madison.**
 - o No comment.
- **Docket 02-14-26: 1411-13 Laidrddale**
 - o Is a variance needed for the amount of signage or is this within the signage coverage area ratio?
 - o We suggest the replacing the QR code with a smaller version for passers-by to see inside the storefront.
- **Docket 02-15-26: 15800 Detroit. Cleveland Clinic**
 - o We suggest considering utilizing black out for an internally lit all-white sign similar to other recent installations in the City.
 - o Will the sign box and post be cleaned up and repainted.
- **Docket 02-16-26: 1374 West 117th Street. Norton Industries**
 - o This is another great project to see on Lakewood's east side and it is great to see this investment in the City.
 - o The applicant is calling for the brick to be painted. It appears the existing brick has already been painted. The brick prep for the new paint application is critical and should be reviewed by the City and/or Board.

- o Recommend the board review the proposed materials and provide direction.
- o Are there any improvements proposed for the South Elevation?
- **Docket 02-17-26: 1654 Waterbury.**
 - o It is great to see this type of investment in Lakewood.
 - o We suggest the ABR review the scale of the two-car garage compared to the front elevation.
 - o It would be great is the proposed construction could relate to the existing homes on the street and implement a front porch.
 - o 1383 Endanola Avenue is a good example of a new house blending into Lakewood's context while meeting the current market needs on a restrictive site.
- **Docket 02-18-26: 1337 Edanola.**
 - o Good investment in Lakewood.
 - o The ARB should note the rendering of the southwest façade/right side view is obscured from direct view due to neighboring properties.
- **Docket 02-19-26: 16620 Madison. The Illuminating Company**
 - o We are not sure what the scope of the proposed work is.
 - o If gates are being restored, is there an opportunity for them to be improved to be more pedestrian-friendly, especially facing Madison?

We truly appreciate the opportunity to share our thoughts with you on these applications. If you have any questions on our comments, please let us know and we would be happy to discuss further.

Thank you,

Architectural Board of Review Docket No. 02-18-26 1337 Edanola



S Mac <smmckinley101@gmail.com>
To Planning Dept

⚙️ Reply Reply All Forward ⋮

Wed 2/11/2026 2:35 PM

I am the homeowner/occupant at 1339 Riverside Drive. I am providing these comments in writing as I am unsure if I will be able to attend in-person due to my work schedule.

I want to first note that the notice was not received by myself or my neighbors until February 6th. This resulted in me being unaware and unable to participate in the pre-planning meeting, which I would have liked to have done to get a better understanding of the project. I would respectfully ask that in future instances, whether related to this project or others, that such notices be sent with enough time to be received in advance of the pre-planning meeting, even if it results in the hearing being delayed until the next meeting.

Turning to the project as proposed, I am generally not in favor for a number of reasons. Primarily, I think the proposal does not fit into the character and nature of the neighborhood. After reviewing the submitted materials for the agenda, there is no home in this area that is anywhere near the scope and design of the proposal. I understand that zoning variances were granted over my objection pertaining to the back area and the installation of a massive fence that will be one foot from the sidewalk. The fact remains that this home will sit mere feet from Riverside Drive. I do not know the exact distance as the drawings are not entirely clear on this matter, though admittedly there is a disclaimer added that such is the case.

Aside from the distance to the street, I take issue with the length of the home. From the drawings, it seems from the front porch to the back of the homes is approximately 75 feet, practically the length of an apartment building (like the one across the street from the proposed build). For context, my home is roughly the same width as the proposal but only about 33 feet deep, and it does not face the street. Such a massive structure a few feet from the street results in a significant departure from the norms in the area, and as a corner lot has an even more substantial effect on the character of the neighborhood. I understand that due to the existing layout it would be difficult to fit a home into the location (which is perhaps why no home has been there since the West End was built, but I was not imagining that the proposal would be a 5 bedroom/4 bathroom 75-foot long building. It may be useful to have a rendering of the property on the actual lot rather than in an open field as it is difficult to fully envision the proposal based on the currently submitted materials.

While I am against the project generally, I am certainly against it as proposed. To the extent my suggestions are taken into consideration, I would at least recommend that the space over the garage be removed, which would bring the home more into the character of the neighborhood. I understand that would remove a bathroom and bedroom, but the home would then have 4 bedrooms and 3 bathrooms which is more in-line with the neighborhood that primarily consists of 3-4 bedroom homes with 1-2 bathrooms and would lessen the substantial side profile of the building significantly. Currently, as my home faces the side of the house, I think it would blot out the sun in the evening during winter months.

Another issue is the side porch, which looks like it was hastily added on to comply with the Board's requirements for corner lots. Taste is subjective, but I just think it looks odd and slapped on. My front porch faces that side of the house so I may be too nitpicky here, but even for something behind the 6-foot tall fence I think it is a strange design. I understand it is meant to match the front porch, but my same criticisms extend to that as well. It feels as though they were added simply because it is required.

I reviewed prior Board meeting minutes for instances of approved new builds. One statement stood out to me that members commented on was the "scale, massing, and overall form" of the approved structure. I do not see how the current design passes that test. That lot has stood undeveloped since the West End was built, and I do not see why the current plan should change that. I understand that the owners of the lot and the existing home next door at 1339 Edanola recently purchased the property, but it was bought in its current state. There are no reliance interests in there being approval of a second home built on the property, and I don't agree generally with rewarding speculators but substantially altering the existing neighborhood and the expectations of surrounding homeowners. If you look around at the surrounding houses, you will see old homes with unique character and designs and I do not think this adds to that, rather it takes away from the integrity of the neighborhood. I think this would be a detriment to the neighborhood and likely lower surrounding property values.

Thank you for your time,

Shawn McKinley

1339 Riverside Drive

Amanda L. Cramer

From: Tom Fraser <tfraser@firstmutualholding.com>
Sent: Wednesday, February 11, 2026 11:44 AM
To: Amanda L. Cramer
Subject: RE: Updated Letter for ARB Regarding 1114 Forest Rd Matter
Attachments: 20260107115343500.pdf

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello Ms. Cramer:

1. Please include this comment in the meeting tomorrow. I am unable to attend in person. The design remains deficient for the reasons detailed below.
2. Please re-include my original letter in the public record from the January 8 meeting, a copy of which is attached here.
3. I would also comment that the revised design minimally addresses some of the ARB's concerns from the prior meeting, but it continues to fail to address concerns the ARB had about scale and fit into the neighborhood, particularly on the west side of Forest Rd. I draw the ARB's attention to those same concerns in my comment of letter from the last meeting.
4. I highlight below my previous concerns that remain unaddressed with this revised design:
 - The proposed structure does not match prevailing scale in terms of footprint and fails to respect the width to height ratios in neighboring homes. This design is an outlier compared to every other home on the street. It intrudes as a vertical shard, conflicting with the aesthetic of the neighborhood. Its width to height ratio is less than 1.0; it is 0.79 (23' x 29'). Every other home on this side of the street has a width to height ratio greater than 1.0 (see table below using a 29' height standard).

Property	Width (in feet)	Width to Height Ratio	Square Footage
Proposed Building	23	0.79	1750
1116 Forest	36	1.24	2380
1120 Forest	44	1.52	2852
1122 Forest	38	1.31	2970
1124 Forest	55	1.89	6908
1126 Forest	43	1.48	3244
1128 Forest	36	1.24	2504
1130 Forest	36	1.24	4600
1132 Forest	42	1.44	3240

- Many of the homes on Forest Rd have front porches or welcoming distinctive front entrances. This proposed home already has an exceptional setback variance (now under appeal). The recessed front entrance and minimalist porch further compound this abnormal setback and makes the home look grossly out of place.
- The volumes in the design struggle to be broken into legible forms and the proposed home resembles a compressed, unmodulated vertical box. This contrasts with the more balanced volumes of neighboring homes.

- This solution uses "postage stamp" design found in high density lots. This attempt seeks to maximize the use of the land, rather than respect the architectural aesthetic of the planned community.
- The design does not provide supporting context photos or streetscape drawings. It does not accurately show how the proposed home would fit into the historic neighborhood. Instead, the application continues to show an image of the home in an artificial – almost ex-urban—setting. It uses "stock-type" photo trees and landscaping that can't logically exist. This conveys a false sense of non-impact on the neighborhood, and a disingenuous depiction of the lot disconnected from surrounding homes and streetscape features.

This application, as proposed, must be denied for now. A simple "infill" design is not appropriate here, nor is it replacing an existing structure. If resubmitted after the BZA appeal is complete, the application must thoroughly address the problems cited above. It should also include a design with a more comprehensive analysis that explains:

- Understanding of the district's character through context photos, streetscape drawings, and architectural analysis.
- How the design impacts neighborhood patterns on Forest Rd.
- Material samples and clear elevations evidencing compatibility with the neighboring properties. How does this proposed house maintain the "the street rhythm" typical of Forest Rd?
- How the proposed home does not defy Clifton Park's spatial order — the distance between homes, their relation to the street, and views along curved roads.
- Given its minimalist width, how does the lack of a porch and recessed entrance fit into the neighborhood?

Sincerely,

Thomas Fraser
1124 Forest Rd
Lakewood, OH 44107



Thomas J. Fraser

President & CEO

14806 Detroit Avenue, Lakewood, Ohio 44107

o: (216) 529-2601 | c: (216) 798-8708

tfraser@firstmutualholding.com



From: Tom Fraser
Sent: Wednesday, January 7, 2026 12:09 PM
To: Amanda L. Cramer <amanda.cramer@lakewoodoh.net>
Subject: Updated Letter for ARB Regarding 1114 Forest Rd Matter

Hello Ms. Cramer,

Please find attached an updated letter from me regarding 1114 Forest Rd.

Would you please include this in materials related to the public comments?

Sincerely, Tom Fraser

CONFIDENTIALITY NOTICE: This e-mail and any files transmitted with it are confidential, and are intended solely for the use of the individual or entity to whom this e-mail is addressed. If you are not one of the named recipients or otherwise have reason to believe that you have received this message in error, please notify the sender and delete this message immediately from your computer. Any other use, retention, dissemination, forwarding, printing, or copying of this e-mail by unauthorized recipients is strictly prohibited. This e-mail and any files transmitted with it may contain nonpublic personal information about consumers subject to the restrictions of the Gramm-Leach-Bliley Act. You may not directly or indirectly reuse or redisclose such information for any purpose other than to provide the services for which you are receiving the information. Any views or opinions presented in this email are solely those of the author and do not necessarily represent those of First Mutual Holding Company. The recipient should check this email and any attachments for the presence of viruses. First Mutual Holding Company accepts no liability for any damage caused by any virus transmitted by this email.

February 11, 2026

To: City of Lakewood Architectural Review Board
ATTN: Amanda Cramer
Via email amanda.cramer@lakewoodoh.net

RE: Docket Number 12-114-25; 1114 Forest Road

From: James Romer, 1126 Forest Road, Lakewood, Ohio
Office: 440-895-1234
Email: jromer@pbrslaw.com

Dear Members of the Architectural Review Board:

I'm writing to voice my concerns about the matter Docket Number 12-114-25; 1114 Forest Road and to raise some issues for the Board's consideration.

In the January 8, 2026, meeting the Board requested several revisions from the applicant, namely addressing the fireplace, northern elevation and addressing the context of the design related to the neighborhood and streetscape and the scale and fit of the design relative to the rest of the neighborhood.

While the applicant has provided some additional cut sheets and installation guide to the Heat & Glo vented gas fireplace heater, no revisions have been submitted to the "right" north elevation as requested by the Board, and the application for the February 12, 2026 meeting is devoid of any information addressing how the design fits within the context of the rest of the neighborhood (with visual demonstrative support) which was a major request from the January 8, 2026 meeting.

The proposed structure does not match neighborhood scale in terms of structure footprint relative to the site area and fails to fit the context of the neighborhood with respect the width to height ratios in neighboring homes. The proposed design is a significant deviation from every other home on the street and the materials do not approximate the finishes in the neighborhood. Furthermore, the structure's height to width ratio is also significantly deviation from the other residences in the historic Clifton Park neighborhood.

The proposed design may be a better fit as an infill structure in another area, but not in the planned community of Clifton Park and the application fails to address how this design does not disrupt the aesthetic and historical value of Clifton Park.

Lastly, the Board of Zoning appeals adopted a Findings of Fact on Area Variances at the recent January 30, 2026 special zoom meeting that found the following:

9. Neighborhood character and detriment to adjoining properties.

The Board heard extensive testimony regarding neighborhood character in Clifton Park and the visibility of the corner; however, the Board is not charged with architectural review and finds that a single-dwelling, appropriately scaled and placed entirely on the parcel, will not substantially alter the essential character of the neighborhood or cause substantial detriment to adjacent properties, subject to the applicant obtaining Architectural Board of Review approval for design matters.

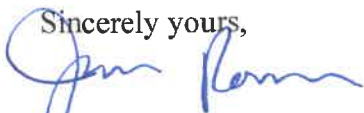
16. Determination on practical difficulty.

On balance, the Board finds that the owner has demonstrated practical difficulty: the unique triangular corner configuration and two 50-foot building lines create a hardship not generally shared by properties in the district; the property cannot yield a reasonable residential use without setback relief; the proposal does not materially impair governmental services; and, with Architectural Board of Review oversight, the essential character of the neighborhood will be preserved.

In light of the Board of Zoning Appeals decision to rely on the Architectural Review Board to address issues related to evaluating the application's design relative to the character of the neighborhood and abdication of responsibility to take any objective measure of the project relative to the character of the neighborhood, the Architectural Review Board must uphold its duty to the citizenry to make a serious evaluation of the applicant's proposal concerning the project's impact on the character of the neighborhood since there are no elected officials (i.e. city council or the mayor) involved in the zoning or design review function in Lakewood.

Therefore, I am voicing my request to either table a decision on the Docket Number 12-114-25 application for the February 12, 2026 meeting or to deny the Docket Number 12-114-25 application for the February 12, 2026 meeting.

Sincerely yours,



James Romer

PURCHASE ORDER

THIS PURCHASE ORDER IS CONDITIONED UPON COMPLIANCE BY THE VENDOR WITH ALL FEDERAL, STATE, AND LOCAL SAFETY, HEALTH AND ENVIRONMENTAL REGULATIONS INCLUDING, BUT NOT LIMITED TO, ALL LABELING, PACKAGING, AND SHIPPING REQUIREMENTS. IT IS A FURTHER REQUIREMENT THAT A MATERIAL SAFETY DATA SHEET BE PROVIDED BY THE VENDOR IN EVERY INSTANCE REQUIRED BY SUCH REGULATION(S).



P.O. NO.: 099454

DATE: 02/18/26

CITY OF LAKEWOOD, OH - FED. TAX I.D. # (TIN) 34-6001633

MAIL ALL INVOICES TO

FINANCE DEPT. ATTN A/P
CITY OF LAKEWOOD
12650 DETROIT AVE.
LAKEWOOD, OHIO 44107

TO: SARITA A RESTAURANT, INC
14523 MADISON AVENUE
LAKEWOOD, OH 44107

CITY OF LAKEWOOD
DIV. OF COMM. DEVELOPMENT
12650 DETROIT AVE.
LAKEWOOD, OH 44107-3015

K. KOIS

1. A PACKING LIST MUST BE ATTACHED TO THE OUTSIDE OF ONE CARTON PLAINLY MARKED.
2. PURCHASE ORDER NO. AND UNIT OF MEASURE PER CARTON (TOTAL QUANTITY PER CARTON) MUST APPEAR ON ALL CARTONS, PACKING LISTS, INVOICES AND CORRESPONDENCE.

VENDOR NO.	DELIVER BY	SHIP VIA	F.O.B.	FREIGHT	TERMS
7888	02/27/26	BESTWAY	DESTINATION		NET
REQ. NO.	ACCOUNT NO.	PROJECT	CONFIRM TO	VENDOR PHONE	
37736	24070124613910	252308	ANTHONY ROMERO	216) 226-5200	

LINE NO.	QUANTITY	UOM	ITEM NO. AND DESCRIPTION	UNIT COST	EXTENDED COST
THIS ORDER IS EXEMPT FROM FEDERAL & STATE TAXES					
1	1282.50	EA	FY 2026 CDEG FUNDED CPR GRANT/REBATE 14523-27 Madison Ave, Sarita A Restaurant, LAB APPROVED 11-12-25, Storefront Renovation Rebate, Project # 252308 CPR25-000015	1.0000	1282.50
SUB-TOTAL					1282.50
TOTAL					1282.50

PROJECT # 252308 WRITE ON CHECK

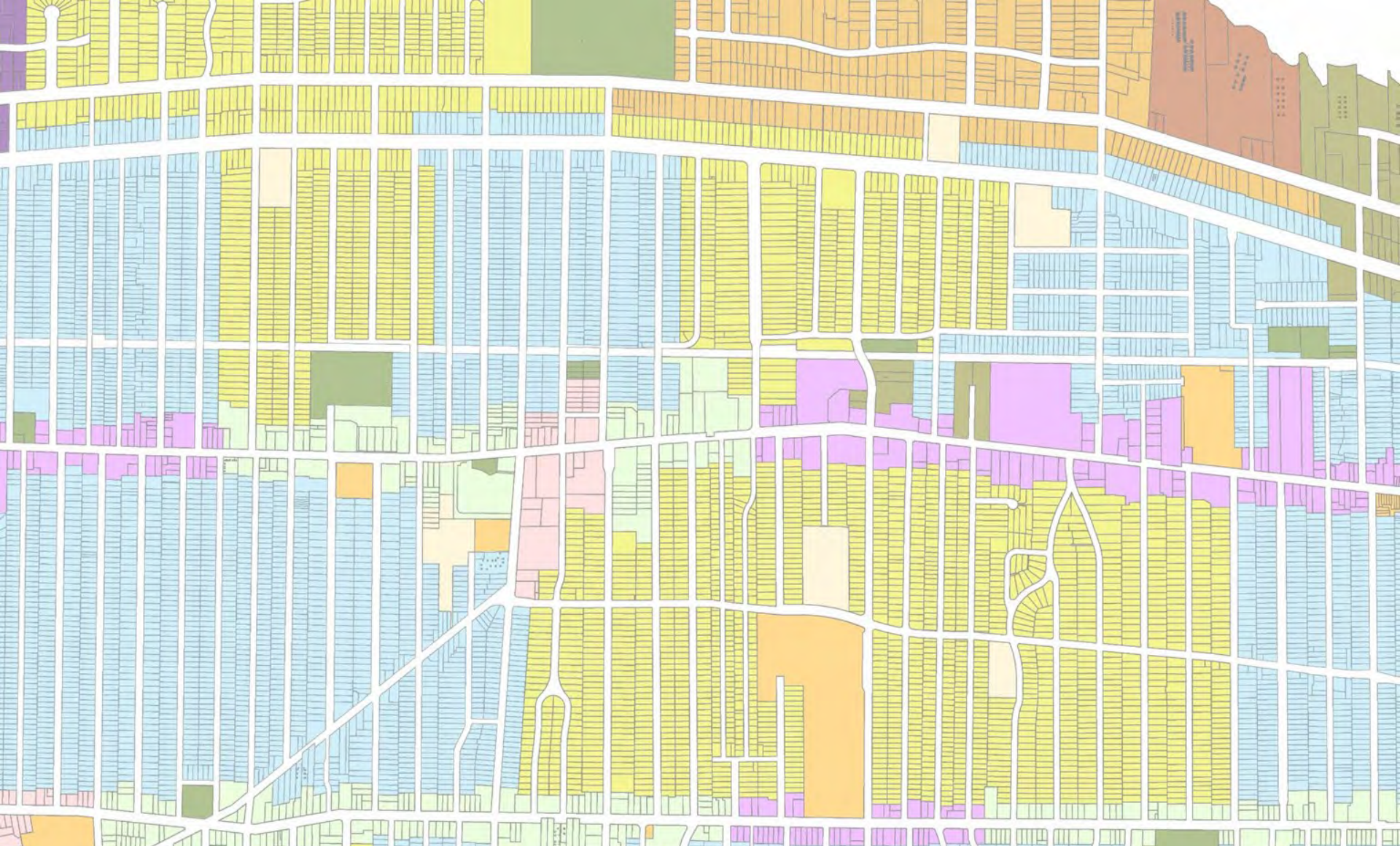
\$ 1,282.50 PAY 2/27/26

THIS PURCHASE ORDER IS SUBJECT TO THE TERMS AND CONDITIONS LISTED ON THE REVERSE SIDE HEREOF, AND BY ACCEPTING THIS ORDER THE SELLER AGREES TO BE BOUND THEREBY.

City of Lakewood
By: Eugene Byrne
Purchasing Manager

It is hereby certified that both at the time of the making of this contract or order and at the date of the execution of this certificate, the amount of funds required to pay this contract or order has been appropriated for the purpose of this contract or order and is in the treasury or in the process of collection to the credit of the Fund free from any previous encumbrance.

Director of Finance



Architectural Board of Review

February 2026



Architectural Board of Review

Pre-Review Meeting: February 5th, 4:00pm (Zoom)

Regular Meeting: February 12th, 5:30 pm (Auditorium)

Members

Hanna Cohan Plessner (2026 Chair)

Chris Egervary

Ashley Matonis

Nick Slaughterbeck

Matt Stevenson

Staff

Board Secretary: Amanda Cramer

Assistant Building Commissioner: William Wagner

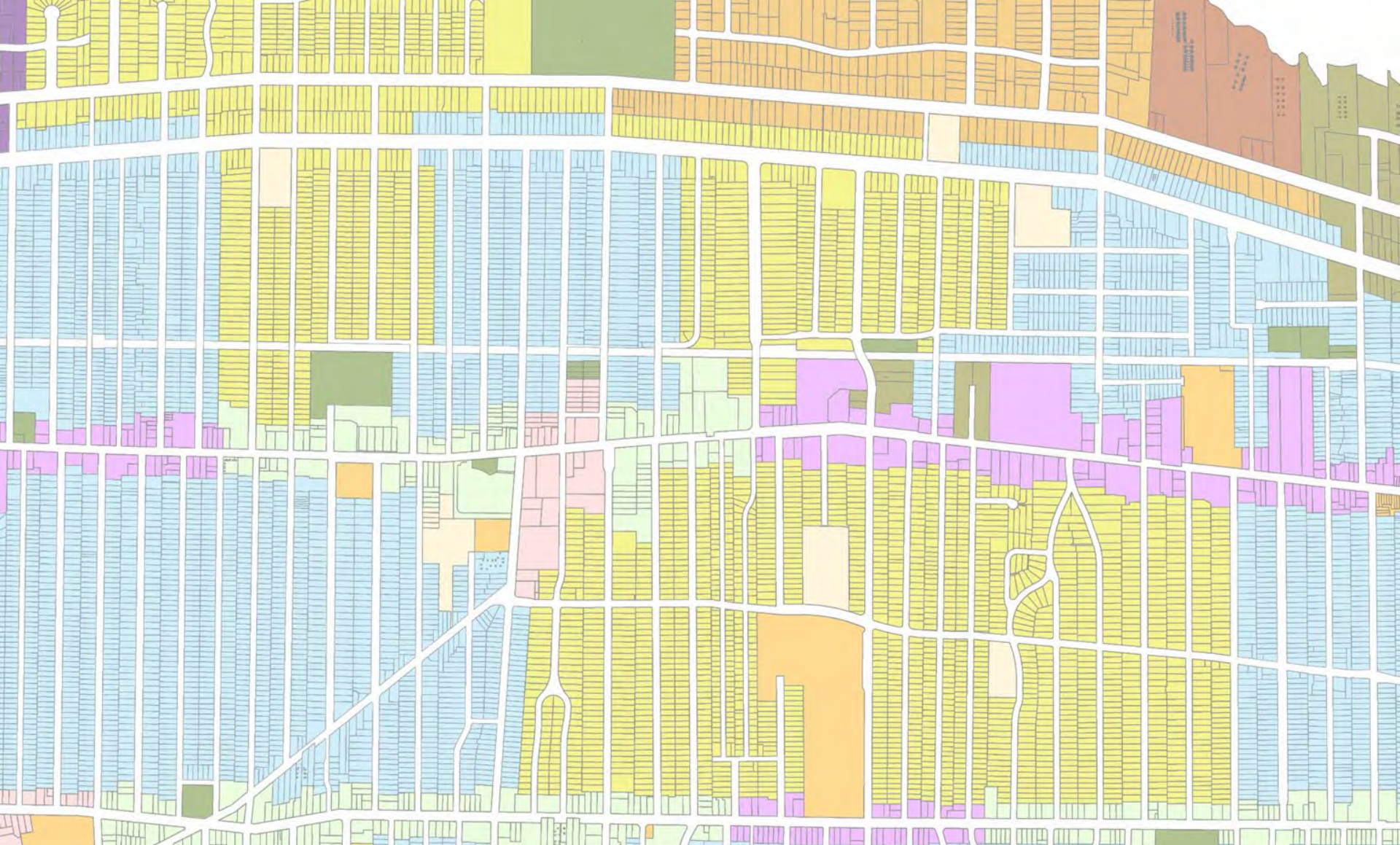


Architectural Board of Review **February Agenda**

1. Roll call
2. Approve minutes – January 2026 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn

1325.03 of the Lakewood Codified Ordinances: Purpose of ABR/BBS/Sign Review Board

- The purposes of the Architectural Board of Review are to protect the value, appearance and use of property on which buildings are constructed or altered, to maintain a high character of community development, to protect the public health, safety, convenience and welfare and to protect real estate within the City from impairment or destruction of value.
- Such purposes shall be accomplished by the Board by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all main and accessory buildings to be erected, moved, altered, remodeled or repaired, subject to the provisions of the Zoning and Building Codes and other applicable ordinances of the City, and shall take into consideration the Architectural Standards Workbook and any other design guidelines or standards, as recommended by the Administration or City Council and adopted by the Planning Commission pursuant to Part One, Title Five, Chapter [154](#) of the Codified Ordinances of the City of Lakewood, for use by the Board.
- In reviewing, regulating and approving building plans, the Board shall consider and take cognizance of the development of adjacent, contiguous and neighboring buildings and properties for the purpose of achieving safe, harmonious and integrated development of related properties.



Architectural Board of Review

Summary Approval, Sign Review – February 2026

Applicant proposes signage.

City Notes:

- Applicant proposes wall sign (12.64 SF)
- Max allowed square footage: 61.5 SF total
- Total proposed square footage: 12.64 SF

Summary Approved with the condition that any window signage be submitted to the Board before installation.

13400 Madison Ave



Docket No. 02-13-26 (13400 Madison)

Wall Sign – Allstate
Kathy Clarke

Applicant proposes wall sign.

City Notes:

- ❑ Applicant proposes window signage (59.82 SF total), existing wall sign (28 SF)
- ❑ Max allowed square footage: 34.5 SF total (23' width), 36.35 SF window
- ❑ Total proposed square footage: 87.82 SF

Summary Approved with the conditions:

- Reduce size of QR code and phone number to the scale of the glass in the doors.
- Submit updated elevation to Board Secretary.

Docket No. 02-14-26 (1411-1413 Lauderdale)

Window Signage – Advance Glass Sales & Service LLC

William Eppich



Applicant proposes new window signage.

City Notes:

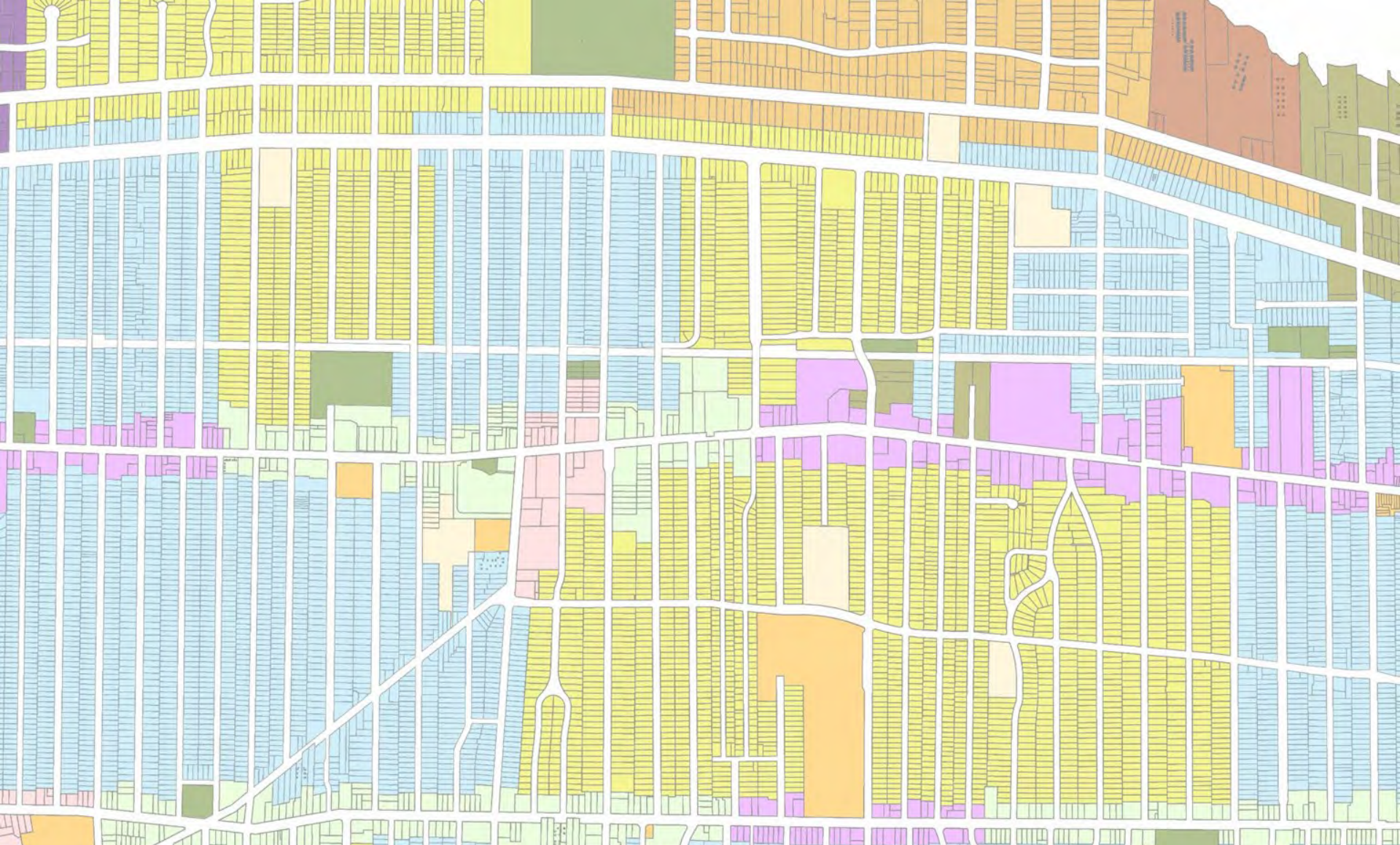
- ❑ Applicant proposes 2 window signs (10.5 SF each, 21 SF total), 32 SF Pole, wayfinding totaling 7.5 SF
- ❑ Max allowed square footage: 69 SF total, 22.92 SF windows
- ❑ Total proposed square footage: 60.5 SF



Summary Approved, no conditions

Docket No. 02-15-26 (15800 Detroit)
Pole, Window, Wayfinding Signage – Cleveland Clinic
Thomas Yankovich





Architectural Board of Review

Old Business – February 2026

Applicant proposes signage.

City Notes:

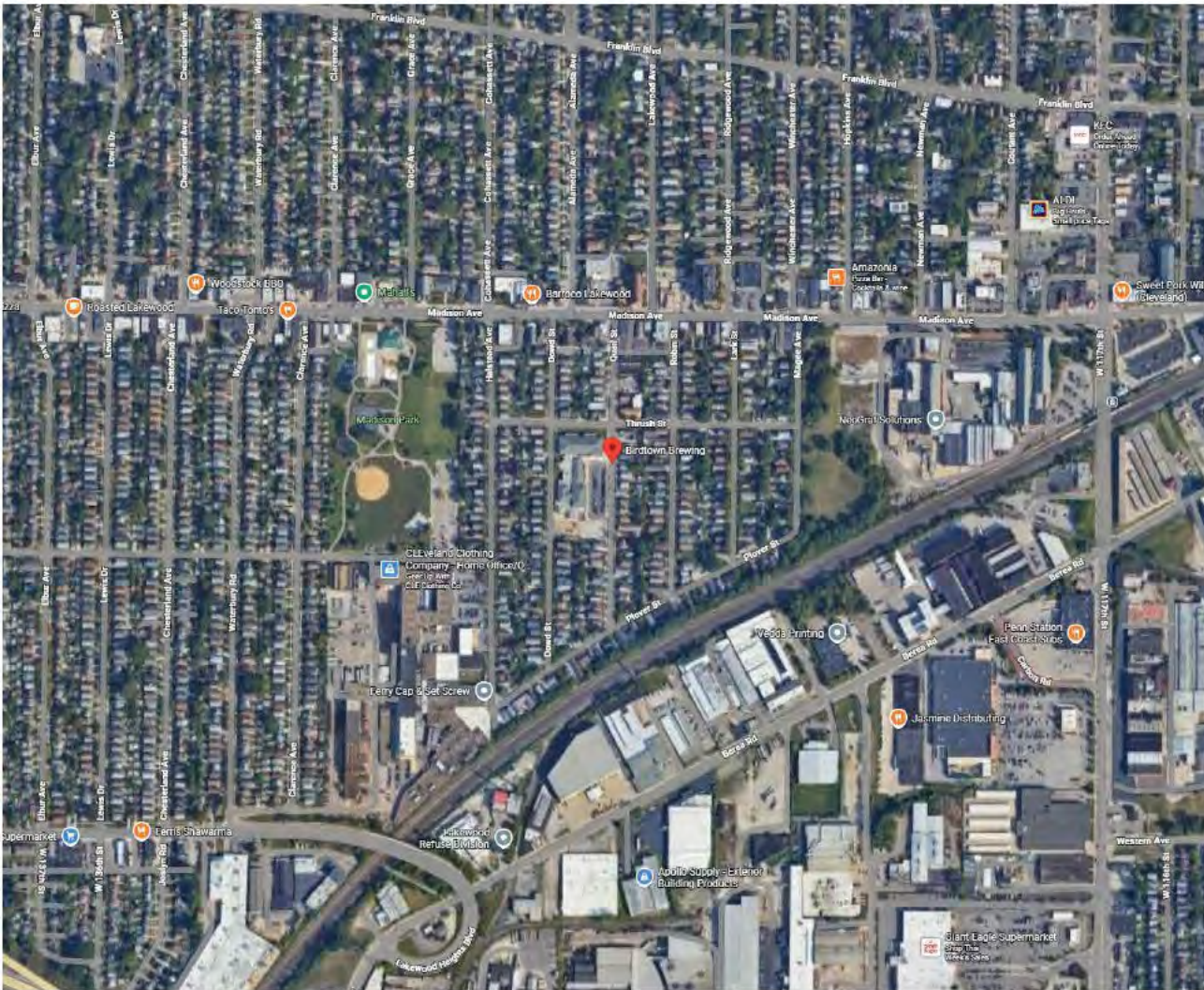
- ❑ Applicant proposes 1 wall sign (60.36 SF), existing unapproved mural sign (178 SF), Geraci/brewpub signs (38.55 SF)
- ❑ Max allowed square footage: 100 SF total
- ❑ Total proposed square footage: 276.91 SF



Docket No. 01-10-26 (2035 Quail)

Wall Signage – Birdtown Brewing
Kathy Clarke

BIRDTOWN BREWING



SCOPE OF PROJECT

- i. One (1) set of non-illuminated channel letters & FCO acrylic copy



COLORS

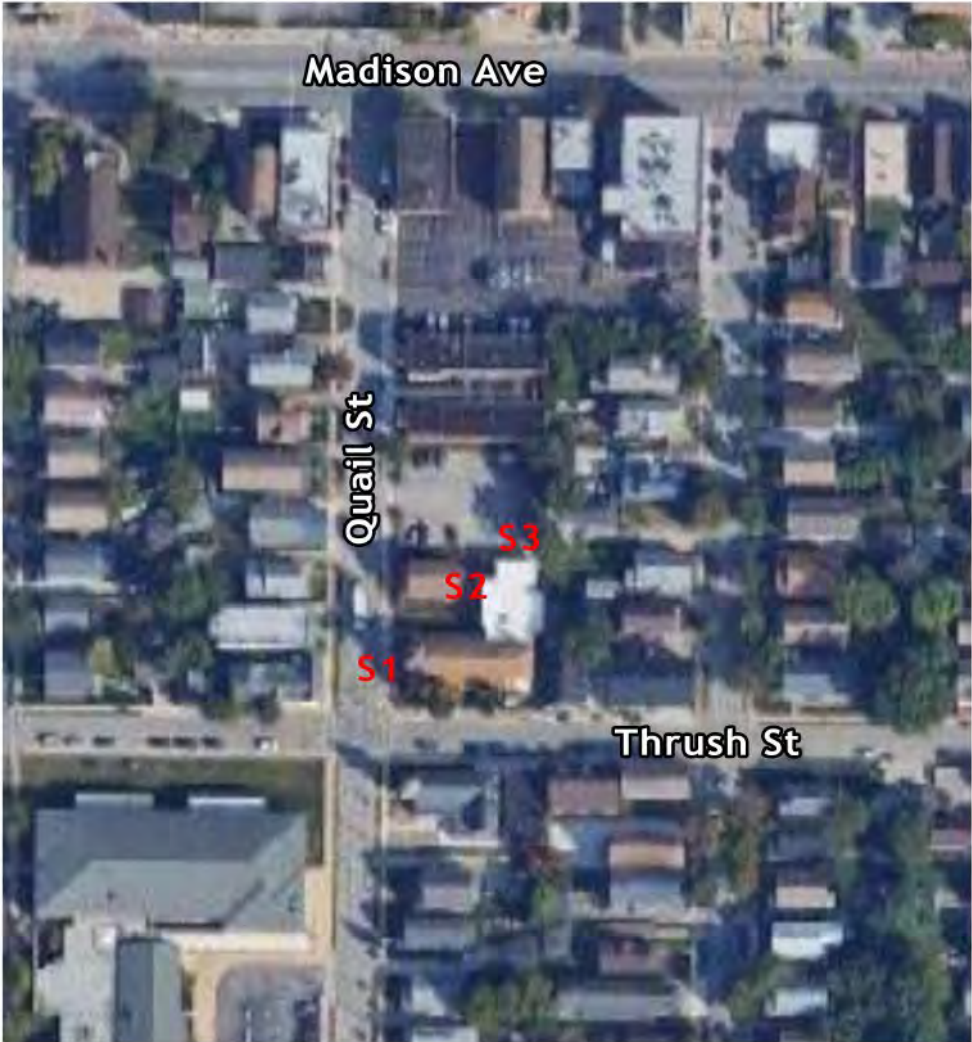


***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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Docket No. 01-10-26 (2035 Quail)



SCOPE OF PROJECT

i. One (1) set of non-illuminated channel letters & FCO acrylic copy



ii. Three (3) non illuminated MDO plywood signs



COLORS

-  White
-  Green
-  Red

***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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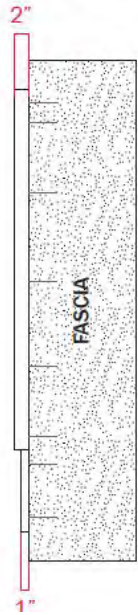
Docket No. 01-10-26 (2035 Quail)



<p>COLORS</p> <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; width: 20px; height: 20px; margin-right: 5px;"></div> <p>White</p> </div>	<p>MATERIALS</p> <p>A. "Birdtown" script FACES: .090 aluminum, painted white RETURNS: 2" .080 aluminum, painted white PAINT: Std. white, satin MOUNTING: Pads & threaded aluminum studs for flush mount to brick fascia</p> <p>B. "BREWING" ALL COPY: 1" FCO acrylic, painted white PAINT: Std. white, satin MOUNTING: Threaded aluminum studs for flush mount to brick fascia</p>	<p>*ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.</p> <p><small>These drawings are the exclusive property of Ace Lighting Services. They represent chargeable time spent. They are submitted for your personal use under the agreement that the use of this design in its entirety or any part will not be reproduced, copied, lent or used for any purpose without written consent from Ace Lighting Services.</small></p>				
<p>BIRDTOWN BREWING QUAIL ST. LAKEWOOD, OH 44107</p>	<p>OVERALL DIMENSIONS 13' - 7.5" W x 4' - 10" H x 2" D SQUARE FOOTAGE 65.9 ft.²</p>	<p>SCALE 1 : 15</p>	<p>DATE 12/16/25</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION FRONT/ BACK VIEW</p>	<p>PAGE NO. 2 OF 4</p>



DIRECT SIDE VIEW



ORTHOGRAPHIC VIEW





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DIRECT SIDE VIEW



<p>COLORS</p> <p> White</p> <p> Green</p> <p> Red</p>	<p>MATERIALS</p> <p>2.5" thick MDO plywood with painted graphics.</p> <p>MOUNTING</p> <p>1/4" X 3" Studs siliconed in wall</p>
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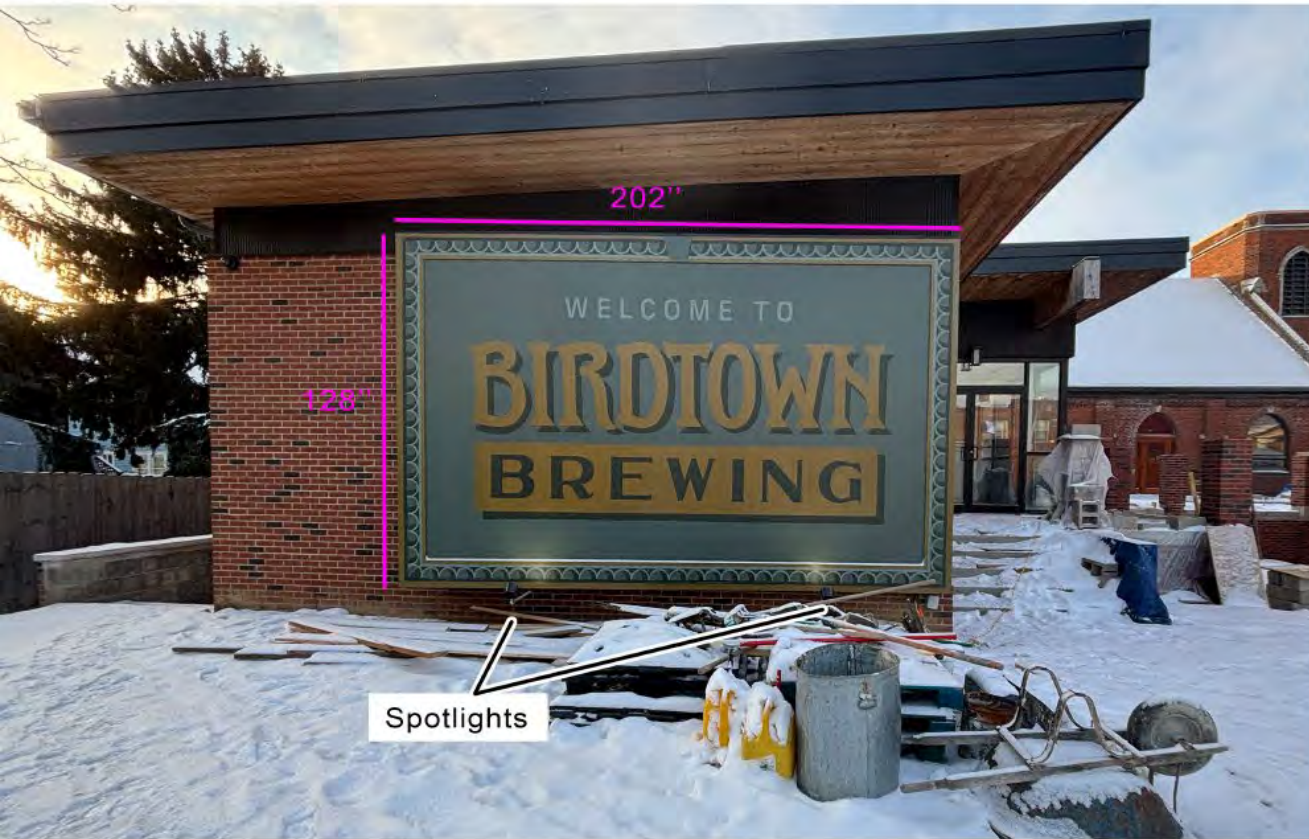
***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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Docket No. 01-10-26 (2035 Quail)

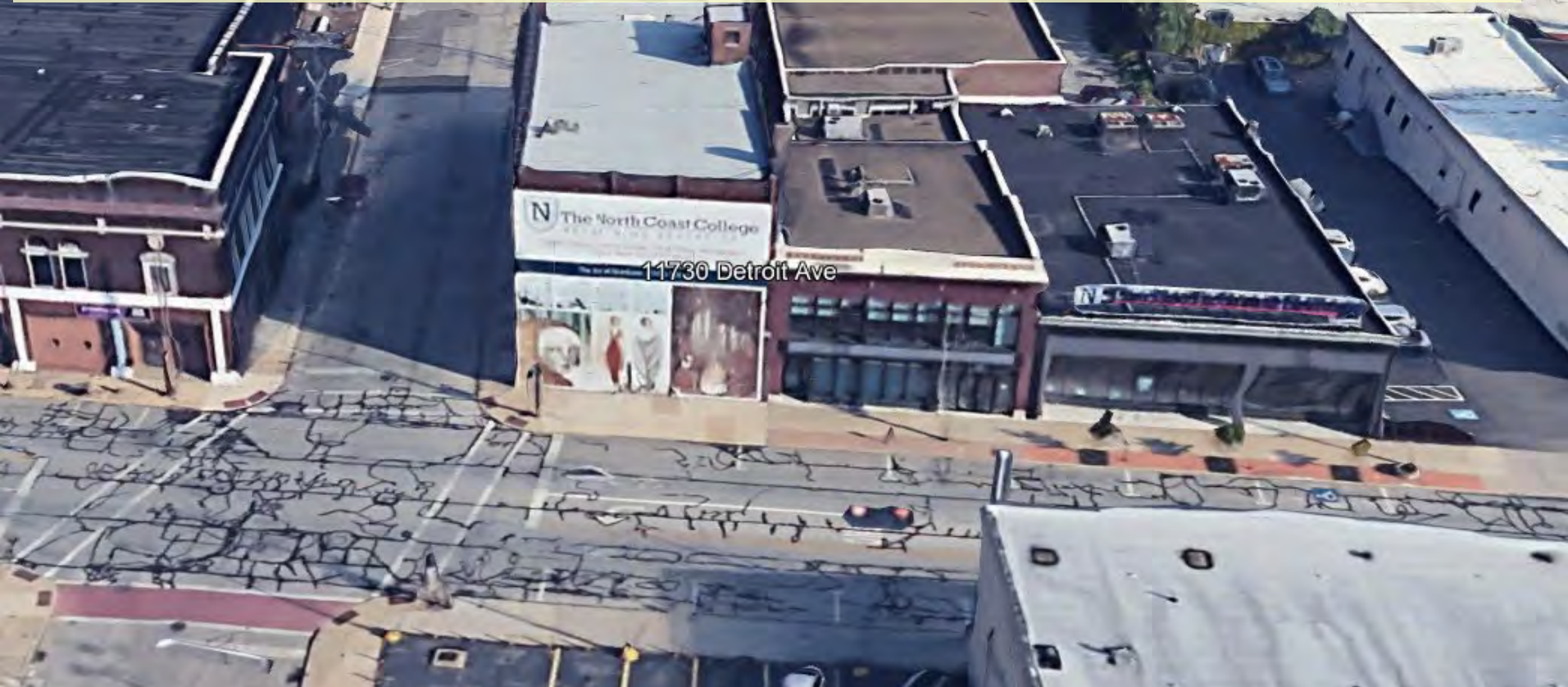


Docket No. 01-10-26 (2035 Quail)

Applicant proposes new development.

City Notes:

- ❑ Specific materials using, what is being replaced with what's remaining, color choices.
- ❑ Consider different material for balconies or paneling: they sort of contrast each other.
- ❑ Learn more about existing lentils and how they will be treated.
- ❑ 3D rendering please, especially from angle of street.



Docket No. 09-77-25 (11730 Detroit)
The North Coast Apartments – New Development
Milan Milasinovic

Google Maps 11728 US-6 ALT



Lakewood, Ohio
Google Street View
Aug 2017 See latest date

Image capture: Aug 2017 © 2024 Google



Docket No. 09-77-25 (11730 Detroit)



Image capture: Oct 2022 © 2024 Google



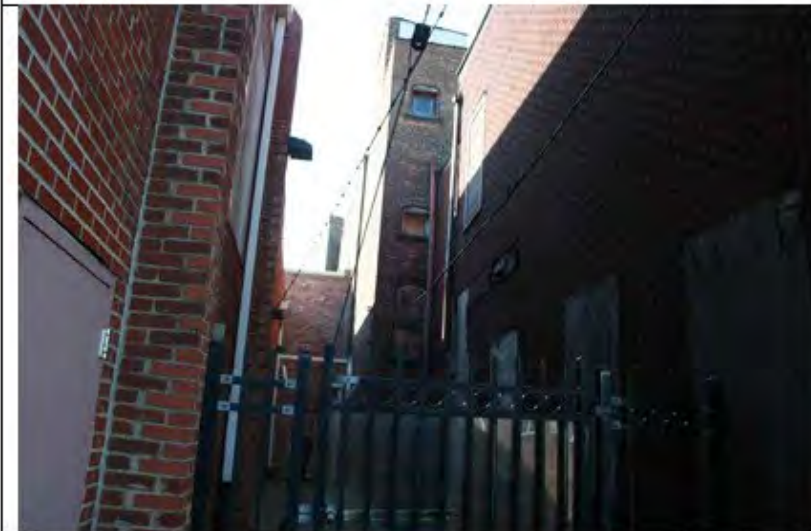
Docket No. 09-77-25 (11730 Detroit)



Photograph 1 – View of Subject Property looking north across Detroit Ave



Photograph 2 – View of western elevation of Subject Property, looking southeast.



Photograph 3 – View of eastern elevation of Property, looking south southwest.



Photograph 4 – View of rear of property, looking south.



Docket No. 09-77-25 (11730 Detroit)



Docket No. 09-77-25 (11730 Detroit)



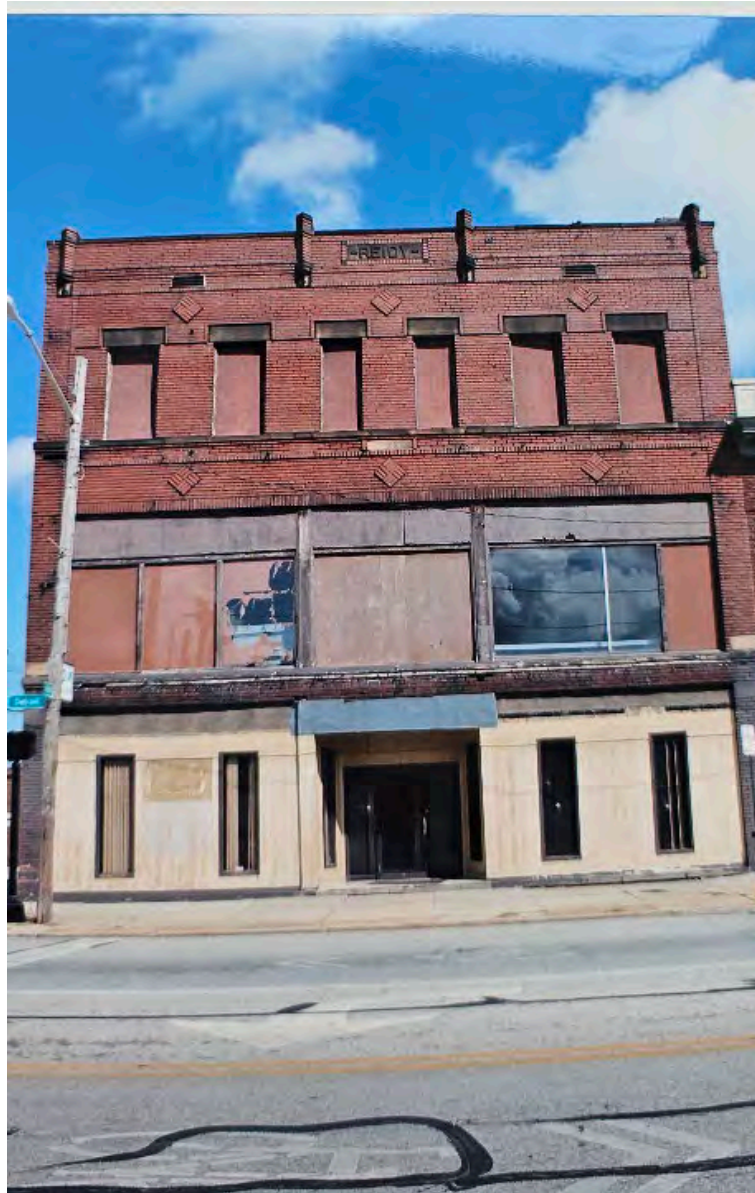
Docket No. 09-77-25 (11730 Detroit)





Docket No. 09-77-25 (11730 Detroit)





Docket No. 09-77-25 (11730 Detroit)





Docket No. 09-77-25 (11730 Detroit)



The North Coast Apartments



PROJECT
The North (See)

PROJECT NO.
100004

DRAWN BY
N/A

ISSUE
Preliminary

DESCRIPTION
Cross-Page



Docket No. 09-77-25 (11730 Detroit)



PROJECT
The North Coast

DRAWN BY
Loomis Companies

ISSUE
02/09/2026
Preliminary

RE-ISSUE

DESCRIPTION

Perspective
DESIGN INTENT IMAGERY



DOCKET NO. 09-77-25 (11/30 Detroit)

PROJECT
The North Coast

DRAWN BY
Loomis Companies

ISSUE
02/09/2026
Preliminary

RE-ISSUE

DESCRIPTION

Front
Exterior Elevation



Docket No. 09-77-25 (11730 Detroit)

PROJECT
The North Coast

DRAWN BY
Loomis Companies

ISSUE
02/09/2026
Preliminary

RE-ISSUE

DESCRIPTION

North
Exterior Elevation



Docket No. 09-77-25 (11730 Detroit)

PROJECT
The North Coast

DRAWN BY
Loomis Companies

ISSUE
02/09/2026
Preliminary

RE-ISSUE

DESCRIPTION

East
Exterior Elevation



PROJECT
The North Coast

DRAWN BY
Loomis Companies

ISSUE
02/09/2026
Preliminary

RE-ISSUE

DESCRIPTION
WEST
Exterior Elevation



Docket No. 09-77-25 (11730 Detroit)

Applicant proposes new construction of residence.

City Notes:

An aerial photograph of a residential street, 1114 Forest Rd, showing a road with white lane markings, surrounding green trees, and a large house in the lower-left corner. A red location pin is placed on the road, with the text '1114 Forest Rd' next to it.

1114 Forest Rd



Docket No. 12-114-25 (1114 Forest)

Residence – New Construction
Elizabeth Davis



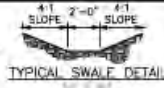
Docket No. 12-114-25 (1114 Forest)

LEGEND

- CAPPED REBAR TO BE SET
- CURVE DATA
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- NEW FINISHED GRADE ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING FINISHED GRADE ELEVATION
- NEW FINISHED TOP CONCRETE GRADE ELEVATION
- NEW LATERAL CLEAN OUT
- NEW TEMPORARY EROSION CONTROL (SILT SOCK)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- NEW FINISHED GRADE CONTOURS
- EXISTING GRADE CONTOURS
- EXISTING SANITARY SEWER
- EXISTING SANITARY LATERAL
- NEW SANITARY LATERAL
- EXISTING STORM SEWER
- EXISTING STORM LATERAL
- NEW STORM LATERAL
- EXISTING WATER MAIN
- EXISTING WATER SERVICE
- NEW WATER SERVICE
- NEW UTILITY SERVICE
- X EXISTING TREE TO BE REMOVED

DRIVE AFRON	=	58 S.F.
DRIVEWAY	=	862 S.F.
PARKING PAD	=	603 S.F.
LEAD WALK	=	26 S.F.
PORCH/STEEP	=	40 S.F.

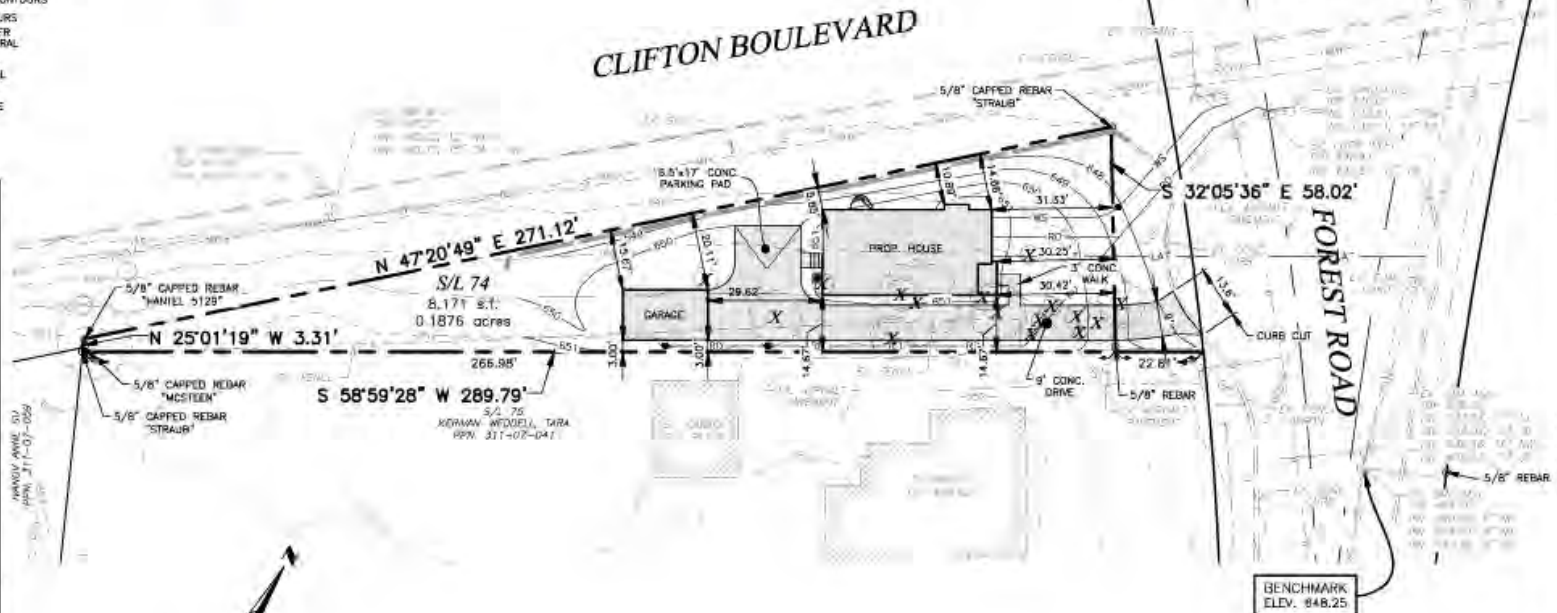
UTILITY CONNECTION NOTES:
 1. SANITARY LATERAL TO BE 8" AT 1.008 MIN.
 2. STORM LATERAL TO BE 6" AT 1.008 MIN.
 3. SANITARY WILL ENTER HOME UNDER FOOTER.
 4. WATER WILL ENTER HOME THROUGH A SLEEVE IN THE WALL A MIN. OF 2' ABOVE SANITARY AND WILL BE 1" DIAMETER COPPER.



REVISIONS:



- PLOT PLAN NOTES:**
- THIS PLAN SHALL NOT BE CONSIDERED A BOUNDARY SURVEY OF THE PARCEL SHOWN. LATERAL INVERT ELEVATIONS AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ACTUAL LATERAL INVERT ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES ON THE LOT PRIOR TO THE EXCAVATION OF THE FOUNDATION. EXISTING UNDERGROUND UTILITIES AND PAVEMENT ARE SHOWN PER COUNTY RECORDS.
 - EXISTING CONTOURS SHOWN ARE REPRESENTATIVE OF FIELD WORK DATED OCTOBER 2025.
 - FOUNDATION DIMENSIONS ARE MEASURED TO THE OUTSIDE CORNER OF FOUNDATION WALL OR BRICK FACE IF APPLICABLE.
 - FOUNDATION DRAIN SLUMP PUMP IS REQUIRED FOR FOOTER DRAINS. USE MINIMUM 1% SLOPE TO STORM SEWER.
 - 2% SLOPE FOR SWALES IS PREFERRED, 1% MINIMUM.
 - MOWABLE AREAS OF THE YARD ARE NOT TO EXCEED 3:1 SLOPE UNLESS OTHERWISE SHOWN ON PLAN.
 - CONTRACTOR MUST CHECK THE BENCHMARK ELEVATIONS SHOWN ON THE PLAN PRIOR TO START OF CONSTRUCTION.
 - ALL CONSTRUCTION TRAFFIC IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.
 - REMOVE EXISTING CONCRETE AS NEEDED FOR NEW WORK.
 - CONTRACTOR TO WORK WITH UTILITY COMPANIES ON RELOCATIONS AS NEEDED FOR NEW WORK.
 - THE CITY OF WESTLAKE ENGINEERING DEPARTMENT MUST BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE FOR ALL REQUIRED INSPECTIONS.
 - PRIOR TO CONSTRUCTION, BASEMENT AND FOOTER ELEVATIONS ARE TO BE VERIFIED BY THE BUILDER/CONTRACTOR AND IF A DISCREPANCY EXISTS BETWEEN THE HOUSE PLANS AND THIS PLOT PLAN, THE CITY OF WESTLAKE AND GBC DESIGN, INC., SHALL BE NOTIFIED.
 - FACE/FRONT OF MANHOLES SHALL BE INSTALLED 12" FROM BACK OF CURB OR EDGE OF PAVEMENT.



LOT BENCHMARK:
 C.L. RIM OF SANITARY MANHOLE LOCATED AS SHOWN ON PLOT PLAN.
 ELEV. 848.25

PLOT PLAN PREPARED FOR
 OLD WORLD CUSTOM HOMES
 SUBLOT NO. 74 IN THE CLIFTON PARK ALLOTMENT
 202309180243
 SITUATED IN THE CITY OF LAKEWOOD
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:
GBC DESIGN, INC.
 965 White Pond Dr. Akron, OH 44390-1123
 Phone 330-818-0288 www.GBCDesign.com

PAGE 1 OF 2
 DATE: 10/24/2025
 DRAWN BY: RAW
 PROJECT No. 5818A

BUILDER:
 OLD WORLD CUSTOM HOMES, LLC
 7054 MEARS GATE DR. NW
 NORTH CANTON, OHIO 44770
 ANDREW EGGEMAN
 330-494-0228

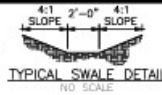


Docket No. 12-114-25 (1114 Forest)

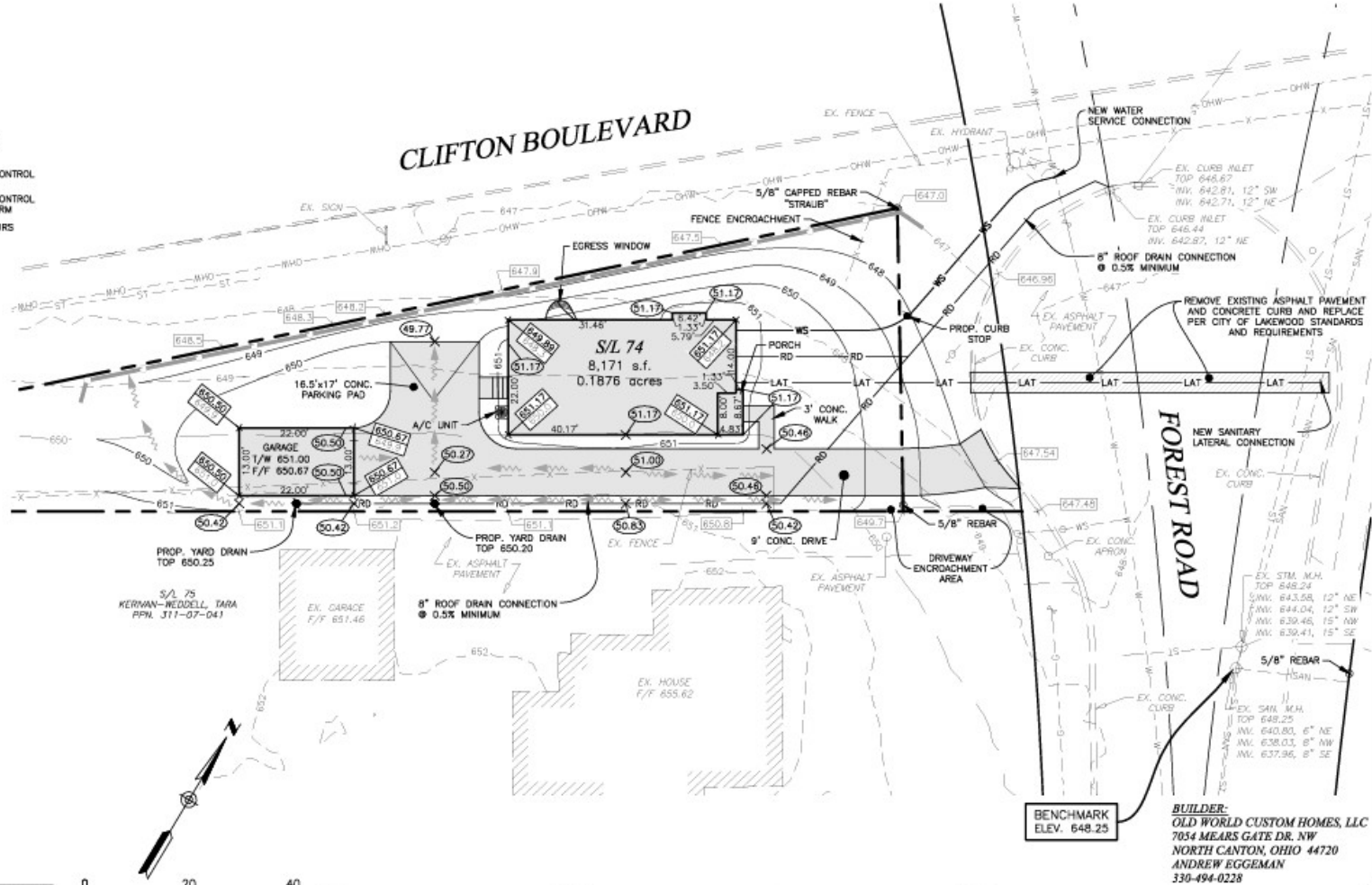
LEGEND

- CAPPED REBAR TO BE SET
- CURVE DATA
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- NEW FINISHED GRADE ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING FINISHED GRADE ELEVATION
- NEW FINISHED TOP CONCRETE GRADE ELEVATION
- C.O. NEW LATERAL CLEAN OUT

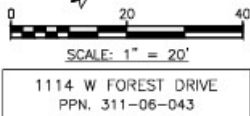
- NEW TEMPORARY EROSION CONTROL (SILT SOCK)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- NEW FINISHED GRADE CONTOURS
- EXISTING GRADE CONTOURS
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- EXISTING STORM SEWER
- EXISTING STORM LATERAL
- NEW STORM LATERAL
- EXISTING WATER MAIN
- EXISTING WATER SERVICE
- NEW WATER SERVICE
- NEW UTILITY SERVICE



REVISIONS:



FINISH FLOOR ELEVATION	653.01
TOP OF WALL ELEVATION (8'-0" WALL)	651.83
GARAGE ELEVATION	650.50
BASEMENT FLOOR ELEVATION	644.17
TOP OF FOOTING ELEVATION	643.83
BOTTOM OF FOOTING ELEVATION	643.17



LOT BENCHMARK:
 C.L. RIM OF SANITARY MANHOLE LOCATED AS SHOWN ON PLOT PLAN.
 ELEV. 648.25

PLOT PLAN PREPARED FOR
 OLD WORLD CUSTOM HOMES
 SUBLOT NO. 74 IN THE CLIFTON PARK ALLOTMENT
 202309180243
 SITUATED IN THE CITY OF LAKEWOOD
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:
GBC DESIGN, INC.
 665 White Pond Dr. Akron, OH 44320-1183
 Phone 330-836-0226 www.GBCDesign.com

BUILDER:
 OLD WORLD CUSTOM HOMES, LLC
 7054 MEARS GATE DR. NW
 NORTH CANTON, OHIO 44720
 ANDREW EGGMAN
 330-494-0228

PAGE 2 OF 2
 DATE: 10/24/2025
 DRAWN BY: BAW
 PROJECT No. 58188



Docket No. 12-114-25 (1114 Forest)

LEON RESIDENCE

1114 FOREST ROAD, Lakewood, Ohio 44107



DRAWING SCHEDULE	
COVER SHEET	1
ADDITIONAL RENDERINGS	2
FOUNDATION	3
FINISHED BASEMENT	4
MAIN FLOOR	5
SECOND FLOOR	6
FRONT & REAR ELEVATIONS	7
SIDE ELEVATIONS	8
GARAGE ELEVATIONS	9
GARAGE SIDE ELEVATIONS	10
ROOF PLAN	11
SECTIONS 2X6	12
WALL SECTIONS	13
ADDITIONAL SECTIONS	14
STAIR DETAIL	15
CEILING DETAILS	16
GREAT ROOM ELEVATION	17
ADDITIONAL DETAILS	18
FLOOR FINISHES - BASEMENT	19
FLOOR FINISHES - MAIN FLOOR	20
FLOOR FINISHES - SECOND FLOOR	21
GENERAL NOTES	22
SCHEDULES	23

REVISIONS SCHEDULE		
DATE	REVISION NOTES	INITIALS
12.9.25	SPR REVISIONS	TB
12.11.25	C/O2	TB

AREA SCHEDULE	
NAME	AREA
MAIN FLOOR	944 SQ. FT.
SECOND FLOOR	805 SQ. FT.
TOTAL FINISHED AREA	1,749 SQ. FT.
GARAGE	292 SQ. FT.
FRONT PORCH	40 SQ. FT.

LEON RESIDENCE

1114 FOREST ROAD
Lakewood OH 44107

DRAWN BY:

SCALE: As Noted

DATE: 2/2/2026

PAGE:

1

COVER SHEET

SECTION
LETTER

PAGE
NUMBERS

Old World
CUSTOM HOMES

Old World Classics, LLC

7056 Mears Gate Dr. NW
 North Canton, OH 44720
 330.494.0228
 www.oldworldclassics.com

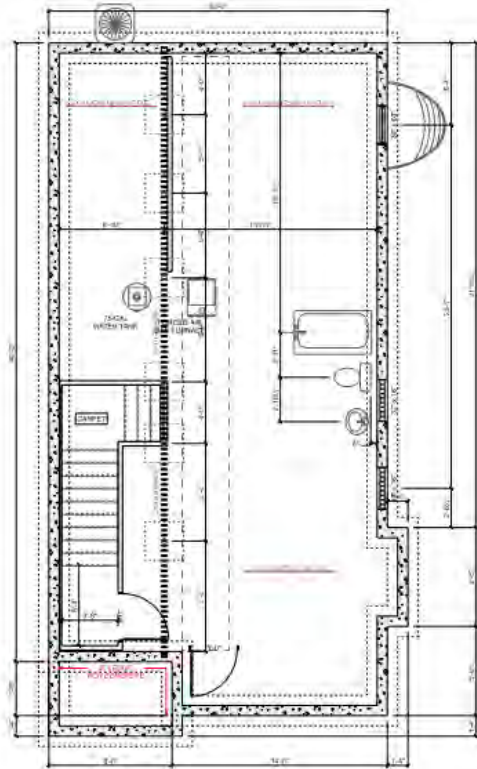


Docket No. 12-114-25 (1114 Forest)



Docket No. 12-114-25 (1114 Forest)



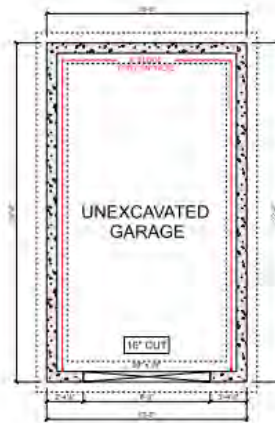


POCKET & BEAM ALIGNMENT WILL BE MODIFIED DURING ENGINEER REVIEW.
 DIMENSIONS PLUMBED FROM CEILING TRIMLINE ARE ASSUMED UNLESS NOTED OTHERWISE ON DRAWING. ALWAYS CHECK THE EXISTING LOCATION OF STUDS (MINIMUM 16" ON CENTER) BEFORE POURING.

8' POURED FOUNDATION WALLS

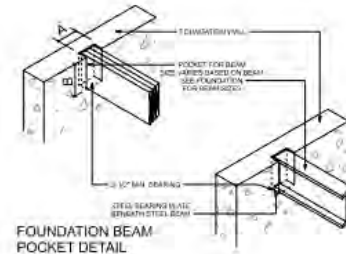
FOUNDATION

SCALE: 1/8" = 1'-0"



GARAGE FOUNDATION

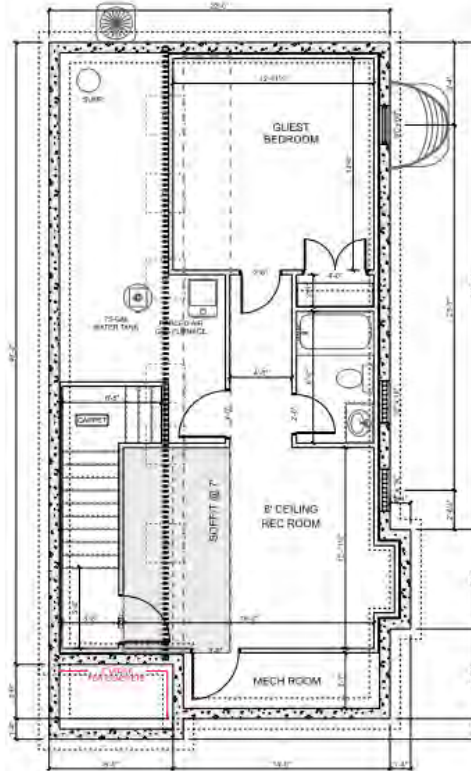
SCALE: 1/8" = 1'-0"



POCKET (1/8\"/>		
BEAM	IN	SP.



Docket No. 12-114-25 (1114 Forest)



FLOOR BEAM PLACEMENT WILL BE MODIFIED DURING ENGINEER REVIEW

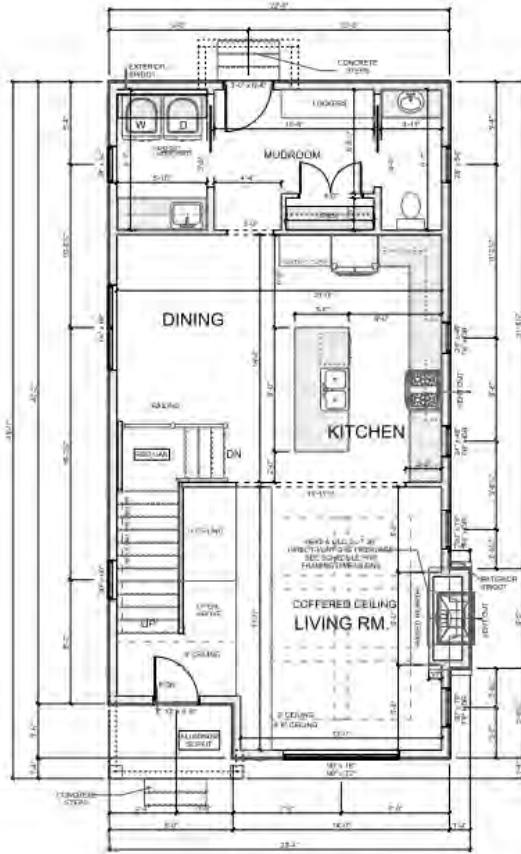
*FLOOR FINISHES SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. FINISHES SHALL BE DETERMINED BY THE OWNER.

8' POURED FOUNDATION WALLS

FINISHED BASEMENT
 SCALE: 1/8" = 1'-0"

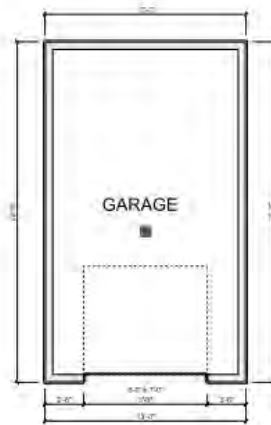


Docket No. 12-114-25 (1114 Forest)

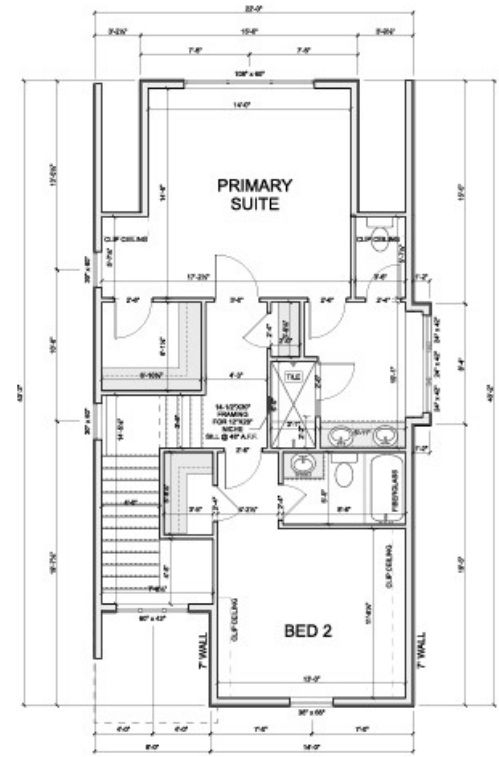


9' WALL HEIGHTS
 6'8" DOOR HEIGHTS
 8' SQ. DRYWALL OPENINGS
 UNLESS OTHERWISE NOTED

MAIN FLOOR
 SCALE: 1/8" = 1'-0"



GARAGE PLAN
 SCALE: 1/8" = 1'-0"

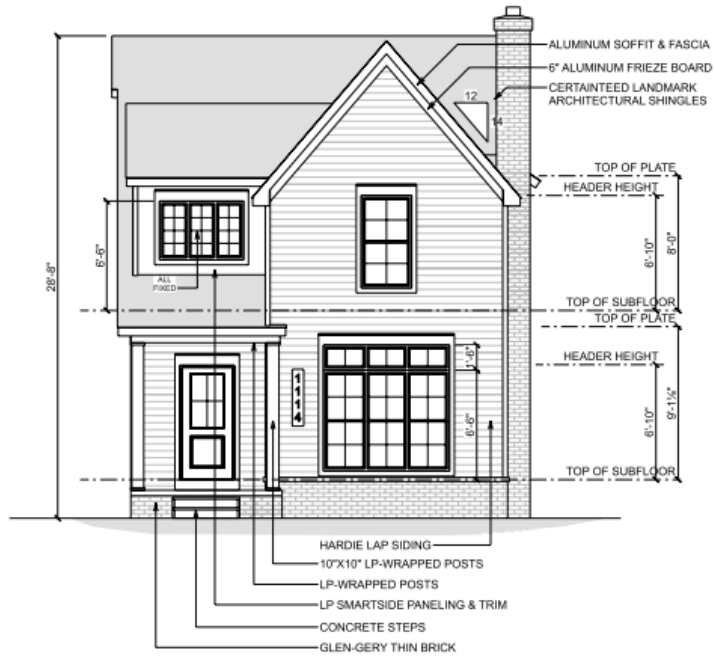


8' WALL HEIGHTS
 6'8" SOLID CORE DRS.
 UNLESS OTHERWISE NOTED

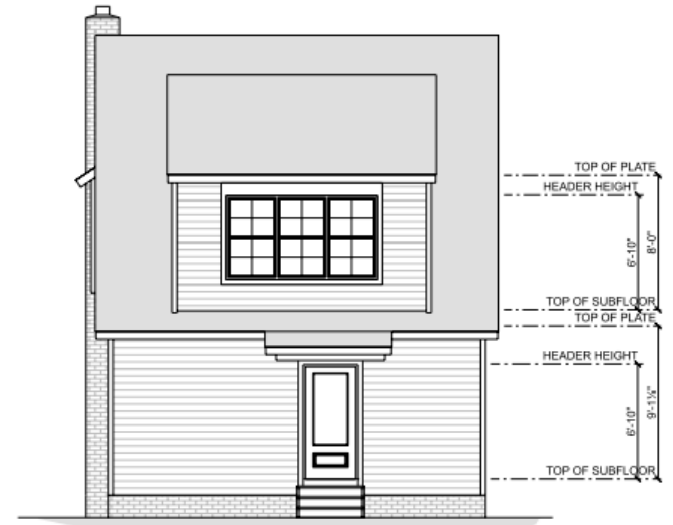
SECOND FLOOR
 SCALE: 1/8" = 1'-0"



Docket No. 12-114-25 (1114 Forest)



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

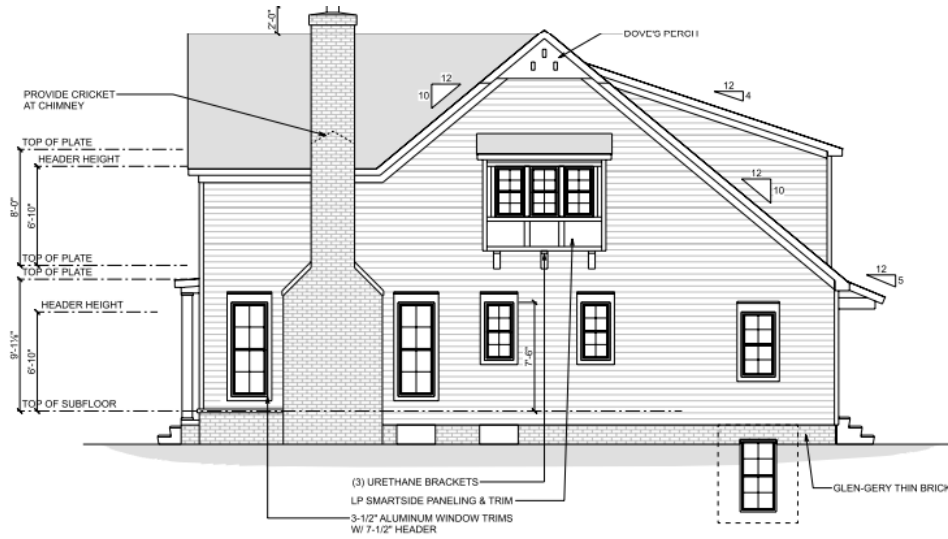


REAR ELEVATION
SCALE: 1/8" = 1'-0"

HARDIE LAP SIDING	LP SMARTSIDE PANELING & TRIM
THIN BRICK FOUNDATION BAND ON ALL ELEVATIONS	GLEN-GERY THIN BRICK ON FRONT ELEVATION
ALUMINUM SOFFIT & FASCIA	6" ALUMINUM FRIEZE BOARDS
3-1/2" ALUMINUM WINDOW WRAP ON ALL WINDOWS	3-1/2" HARDIE SIDING CORNERS
URETHANE BRACKETS @ RIGHT BUMPOUT	PELLA IMPERVIA WINDOWS
10"X10" LP WRAPPED POSTS @ FRONT PORCH	LP WRAPPED BEAMS @ FRONT PORCH
CERTAINEED LANDMARK ARCHITECTURAL SHINGLES	WAYNE-DALTON 9100-SERIES GARAGE DOORS



Docket No. 12-114-25 (1114 Forest)



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



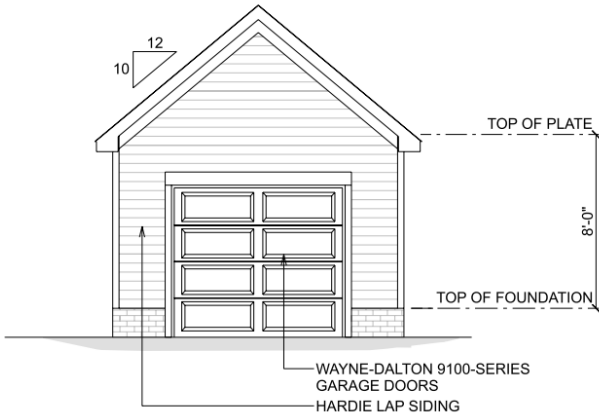
LEFT ELEVATION

SCALE: 1/8" = 1'-0"

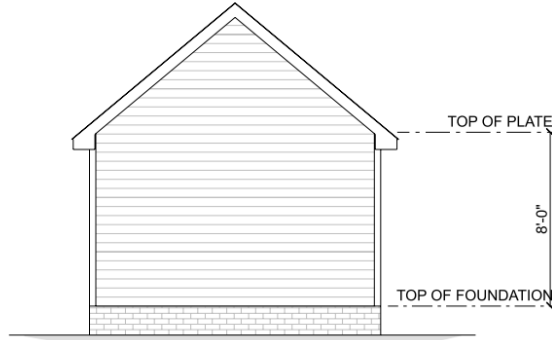
HARDIE LAP SIDING	LP SMARTSIDE PANELING & TRIM
THIN BRICK FOUNDATION BAND ON ALL ELEVATIONS	GLEN-GERY THIN BRICK ON FRONT ELEVATION
ALUMINUM SOFFIT & FASCIA	6" ALUMINUM FRIEZE BOARDS
3-1/2" ALUMINUM WINDOW WRAP ON ALL WINDOWS	3-1/2" HARDIE SIDING CORNERS
URETHANE BRACKETS @ RIGHT BUMPOUT	PELLA IMPERVIA WINDOWS
10"X10" LP WRAPPED POSTS @ FRONT PORCH	LP WRAPPED BEAMS @ FRONT PORCH
CERTAINTEED LANDMARK ARCHITECTURAL SHINGLES	WAYNE-DALTON 9100-SERIES GARAGE DOORS



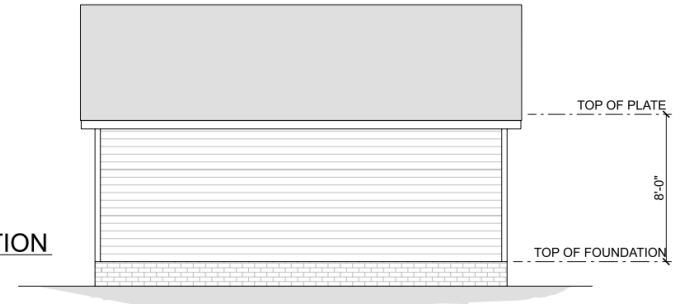
Docket No. 12-114-25 (1114 Forest)



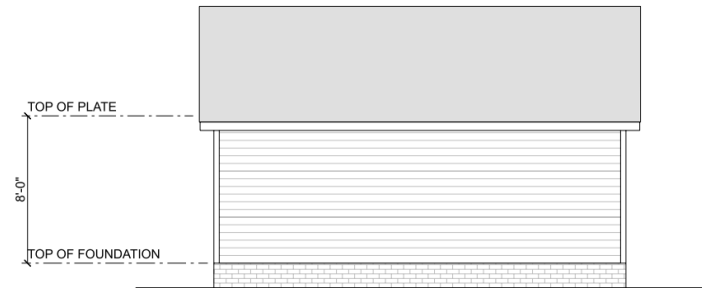
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
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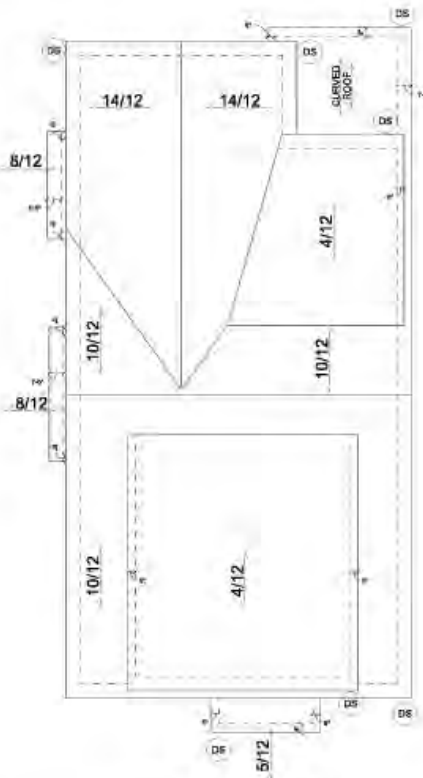
RIGHT ELEVATION
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LEFT ELEVATION
SCALE: 1/4" = 1'-0"



Docket No. 12-114-25 (1114 Forest)

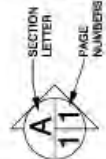


12" OVERHANGS TYPICAL
UNLESS OTHERWISE NOTED

ROOF PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



Old World Classics, LLC
330.494.0228
www.oldworldclassics.com
7056 Meers Gate Dr. NW
North Canton, OH 44720

LEON RESIDENCE

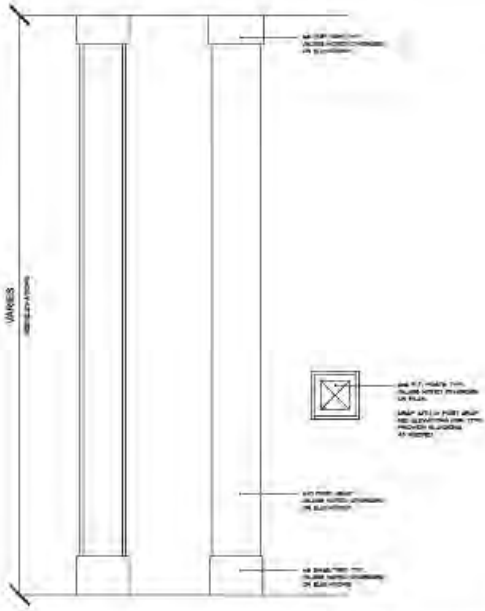
1114 FOREST ROAD
LAKEWOOD, OH 44107

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SCALE: 1/8" = 1'-0"
DATE: 10/23/2025

PAGE: **7**
ROOF PLAN



Docket No. 12-114-25 (1114 Forest)



STANDARD PORCH POST DETAIL
SCALE: 1/2" = 1'-0"

LEON RESIDENCE

1114 FOREST ROAD
LAKEWOOD OH 44107

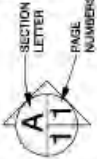
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SCALE: 1/2" = 1'-0"

DATE: 10/23/2025

10

ADDITIONAL SECTIONS



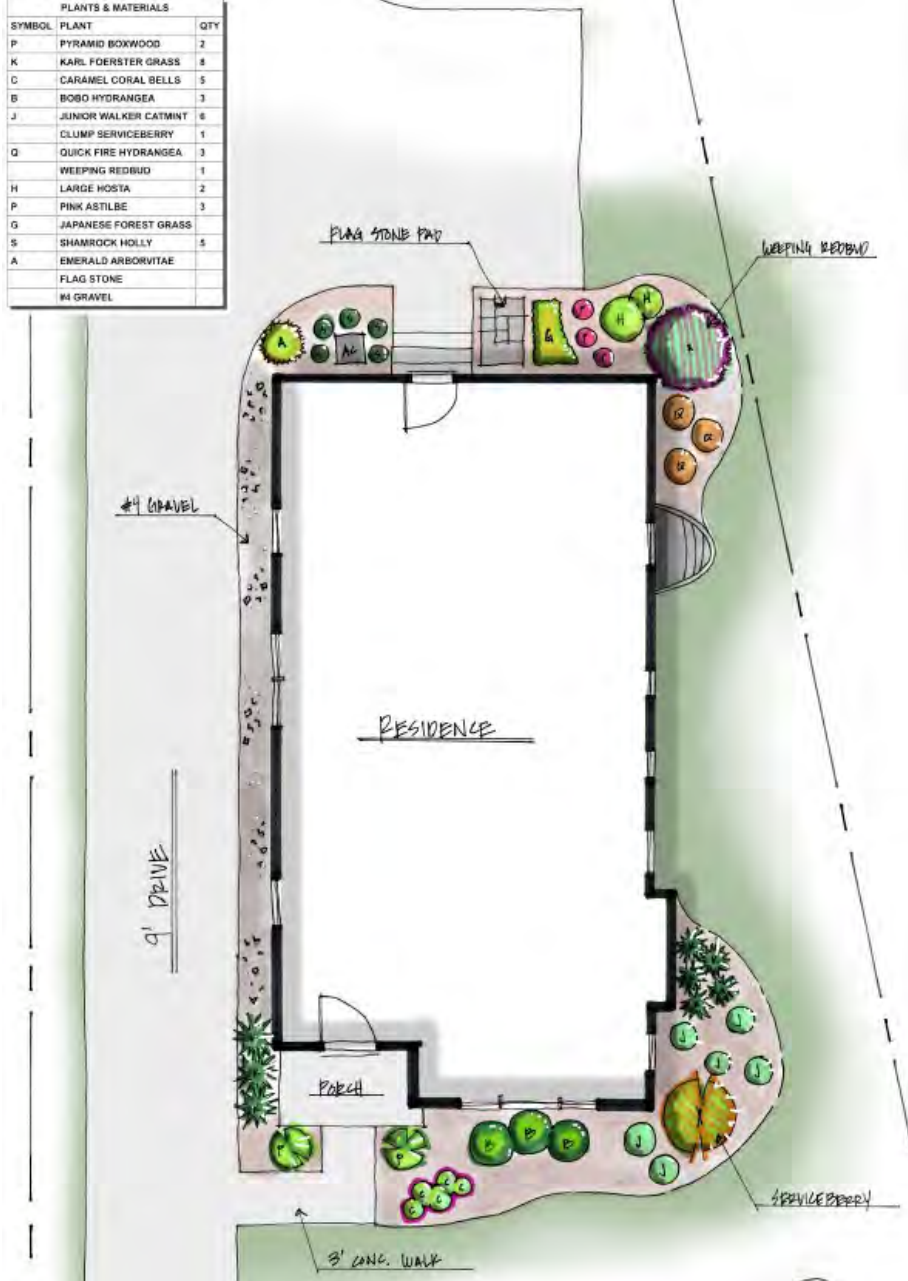
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7056 Mears Gate Dr. NW
North Canton, OH 44720
330.494.0228
www.oldworldclassics.com



Docket No. 12-114-25 (1114 Forest)

PLANTS & MATERIALS		
SYMBOL	PLANT	QTY
P	PYRAMID BOXWOOD	2
K	KARL FOERSTER GRASS	4
C	CARAMEL CORAL BELLS	5
B	BOBO HYDRANGEA	3
J	JUNIOR WALKER CATMINT	6
	CLUMP SERVICEBERRY	1
Q	QUICK FIRE HYDRANGEA	3
	WEeping REDBUD	1
H	LARGE HOSTA	2
P	PINK ASTILBE	3
G	JAPANESE FOREST GRASS	
S	SHAMROCK HOLLY	5
A	EMERALD ARBORVITAE	
	FLAG STONE	
	M4 GRAVEL	

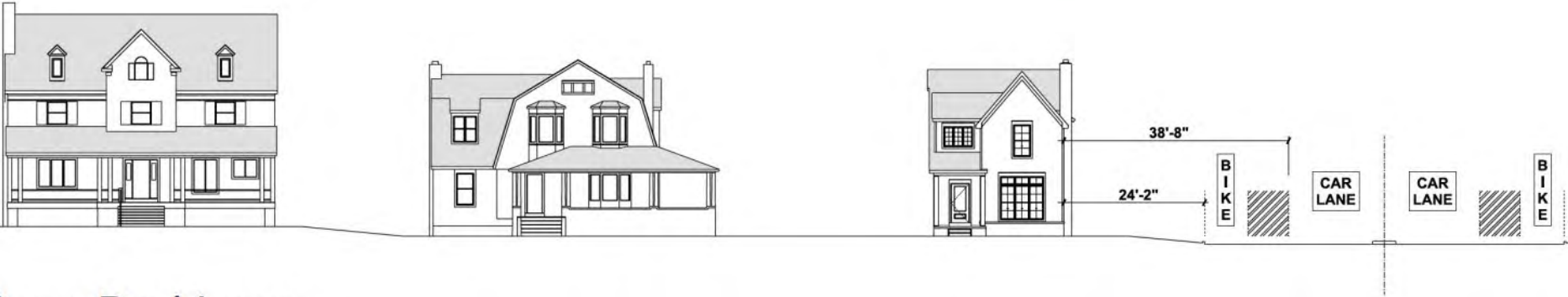


Docket No. 12-114-25 (1114 Forest)





Docket No. 12-114-25 (1114 Forest)



Leon Residence



Docket No. 12-114-25 (1114 Forest)



Docket No. 12-114-25 (1114 Forest)



Docket No. 12-114-25 (1114 Forest)





1115 Forest Rd.jpg



1116 Forest Rd.jpg



Docket No. 12-114-25 (1114 Forest)



Docket No. 12-114-25 (1114 Forest)



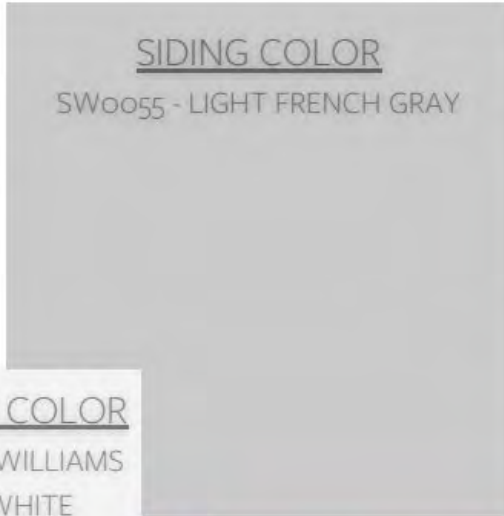
Docket No. 12-114-25 (1114 Forest)



Docket No. 12-114-25 (1114 Forest)



Docket No. 12-114-25 (1114 Forest)







PORCH LIGHT

BRADFORD OUTDOOR WALL LANTERN
BLACK



HARDWARE

SCHLAGE HANDLESET
CENTURY TRIM - MATTE BLACK



GARAGE LIGHT

ACADEMY OUTDOOR FLYNN
BOWERS SHADE WALL LIGHT
MATTE BLACK



Installation Manual

Installation and Appliance Setup

CAUTION! Risk of Fire! **DO NOT** store instruction manuals inside fireplace cavity. High temperatures could cause a fire.

INSTALLER: Leave this manual with the appliance, not inside the appliance.

CONSUMER: Retain this manual for future reference. Do not store inside the appliance.

NOTICE: DO NOT discard this manual!

HEAT & GLO
No one builds a better fire

Models:

SL-5-IFT

SL-5LP-IFT

SL-7-IFT

SL-7LP-IFT

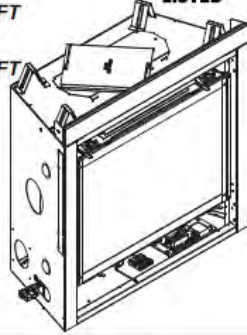
SL-9-IFT

SL-9LP-IFT

GAS-FIRED



LISTED



This appliance may be installed as an OEM installation in manufactured home (USA only) or mobile home and must be installed in accordance with the manufacturer's instructions and the *Manufactured Home Construction and Safety Standard, Title 24 CFR, Part 3280* in the United States, or the *Standard for Installation in Mobile Homes, CAN/CSA Z240 MH Series*, in Canada.

This appliance is only for use with the type(s) of gas indicated on the rating plate. This appliance is not convertible for use with other gases, unless a certified kit is used.

▲ WARNING:
FIRE OR EXPLOSION HAZARD
Failure to follow safety warnings exactly could result in serious injury, death, or property damage.

- **DO NOT** store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance.
- **What to do if you smell gas**
 - **DO NOT** try to light any appliance.
 - **DO NOT** touch any electrical switch. **DO NOT** use any phone in your building.
 - Leave the building immediately.
 - Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier's instructions.
 - If you cannot reach your gas supplier, call the fire department.
- Installation and service must be performed by a qualified installer, service agency, or the gas supplier.

! DANGER



HOT GLASS WILL CAUSE BURNS.

DO NOT TOUCH GLASS UNTIL COOLED.

NEVER ALLOW CHILDREN TO TOUCH GLASS.

A barrier designed to reduce the risk of burns from the hot viewing glass is provided with this appliance and must be installed for the protection of children and other at-risk individuals.

Decorative barrier front must be ordered separately at time of appliance purchase. See Section 3.A.

Pour demander un exemplaire en français de ce manuel d'installation, visitez www.heatnglo.com.



Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



Front Porch and Entry

- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
 - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
 - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
 - Compliance with Appendix B Front Porch Guidelines is required.
 - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.



Applicant proposes second floor addition of commercial space.

City Notes:

- **No materials presented**

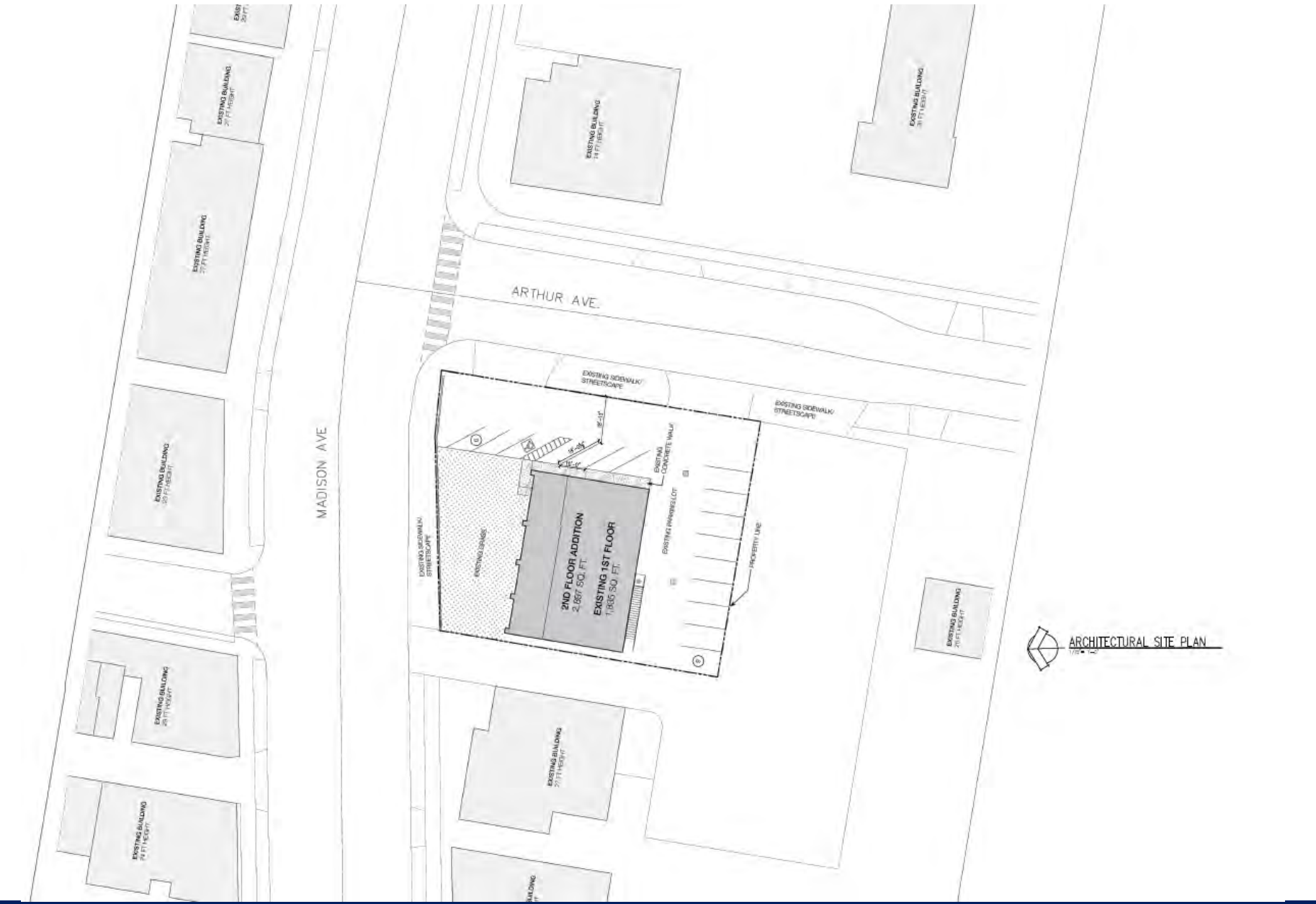


Docket No. 01-07-26 (15501 Madison)

**Second Floor Addition – Vital Pilates
Jake Szaraz**



Docket No. 01-07-26 (15501 Madison)



ARCHITECTURAL SITE PLAN



Docket No. 01-07-26 (15501 Madison)



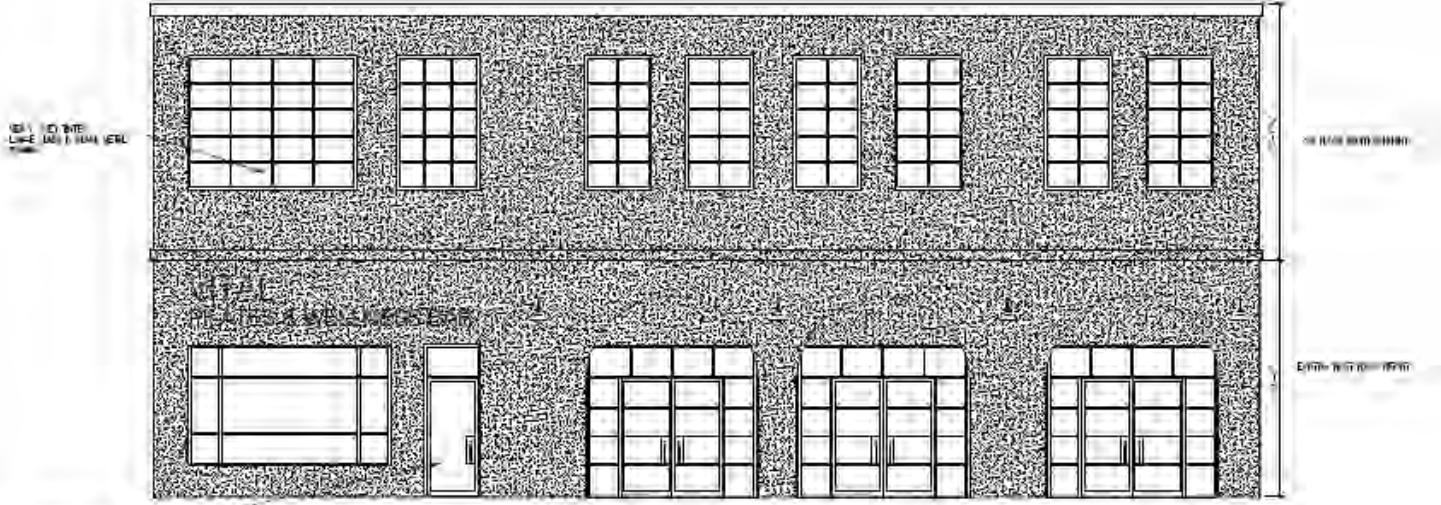
Docket No. 01-07-26 (15501 Madison)



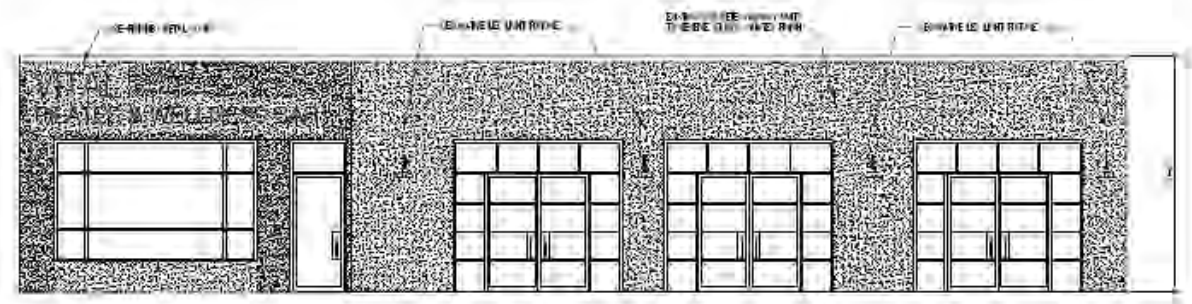
Docket No. 01-07-26 (15501 Madison)



Docket No. 01-07-26 (15501 Madison)



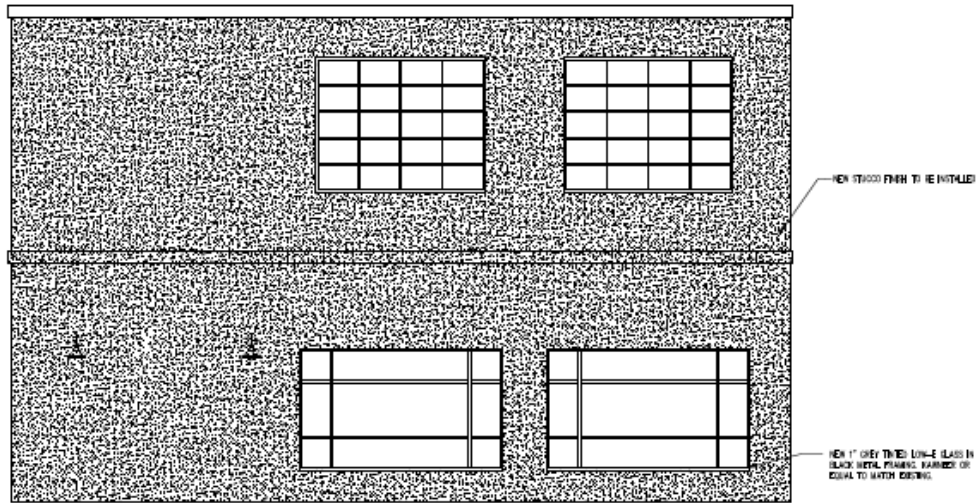
SOUTH ELEVATION



EXISTING SOUTH ELEVATION

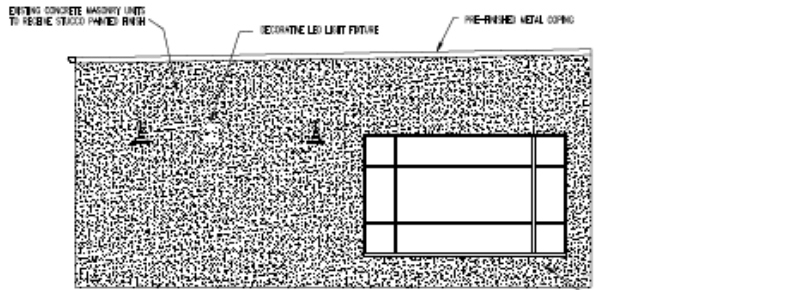


Docket No. 01-07-26 (15501 Madison)



EAST ELEVATION

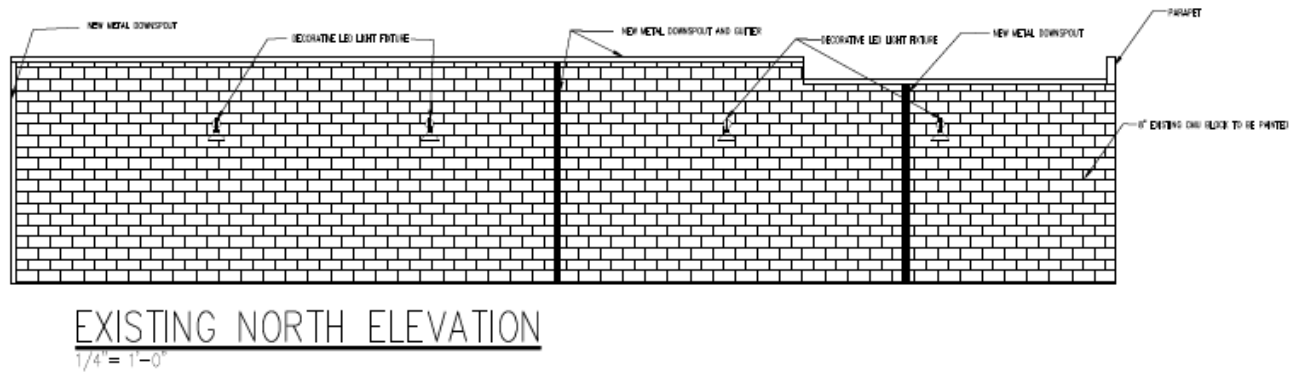
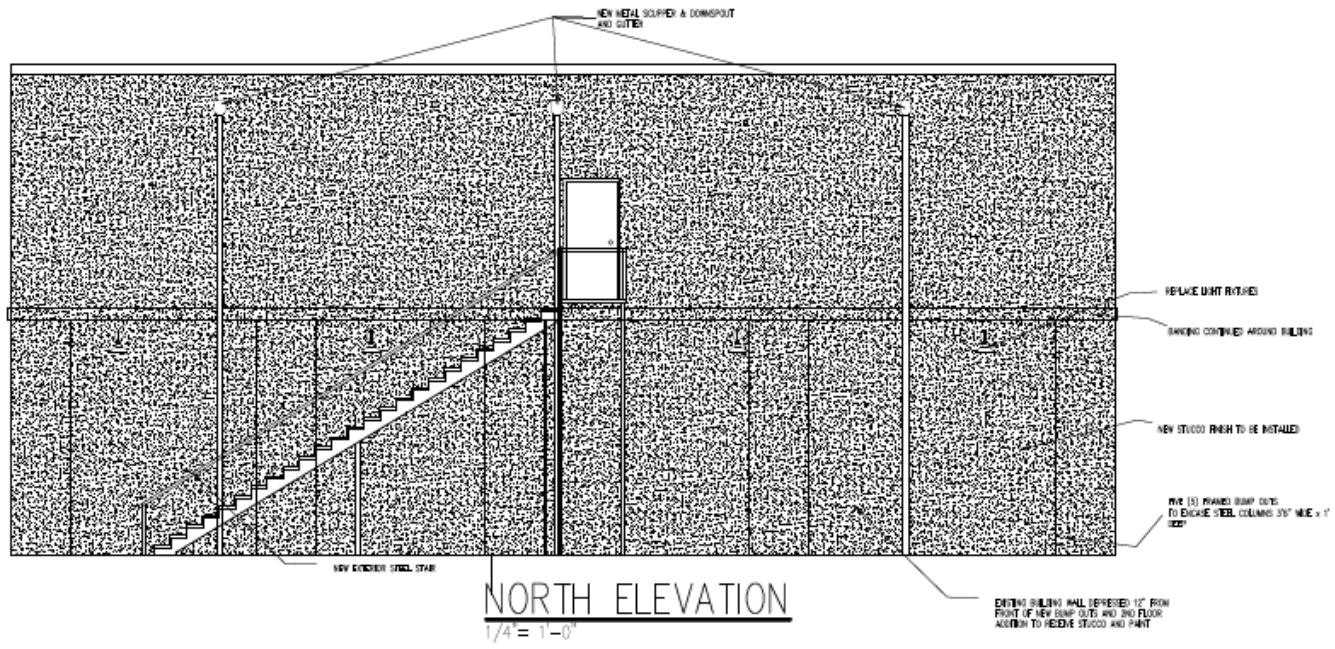
1/4" = 1'-0"



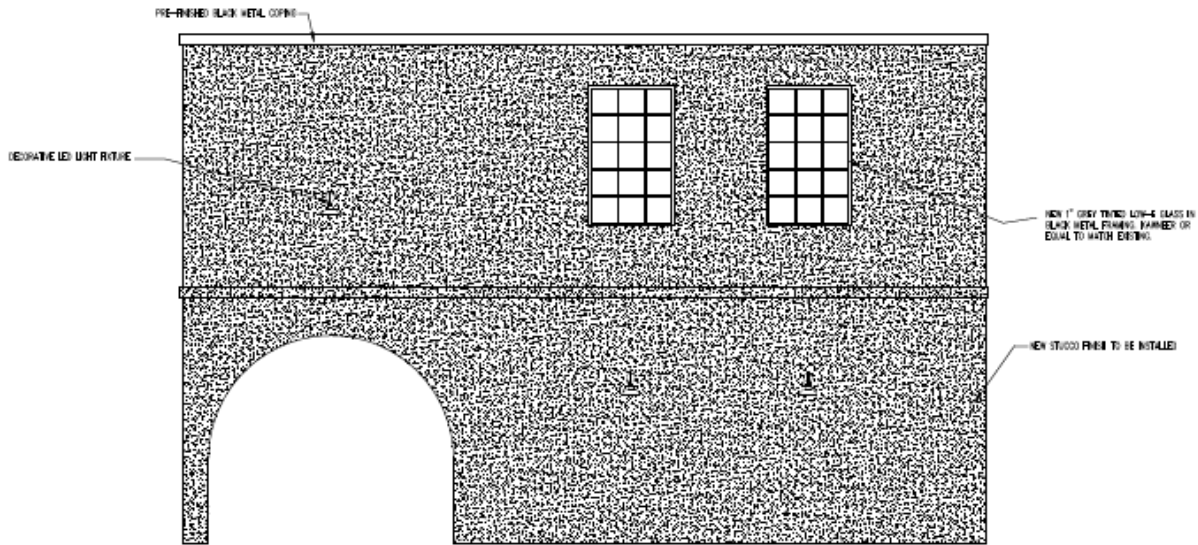
EXISTING EAST ELEVATION

1/4" = 1'-0"

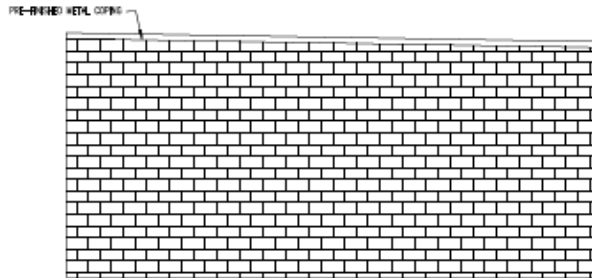




Docket No. 01-07-26 (15501 Madison)



WEST ELEVATION
1/4" = 1'-0"



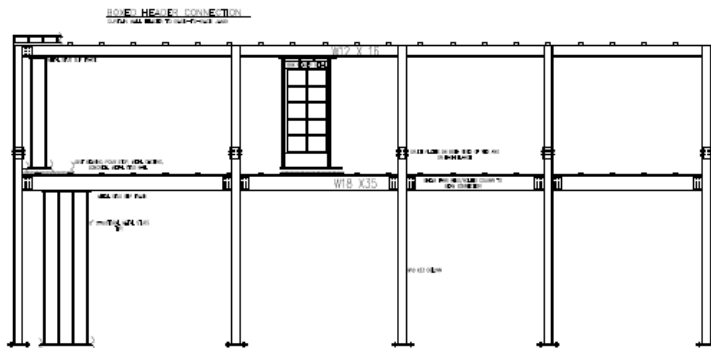
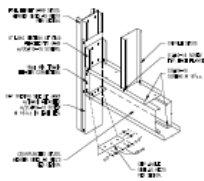
EXISTING WEST ELEVATION
1/4" = 1'-0"



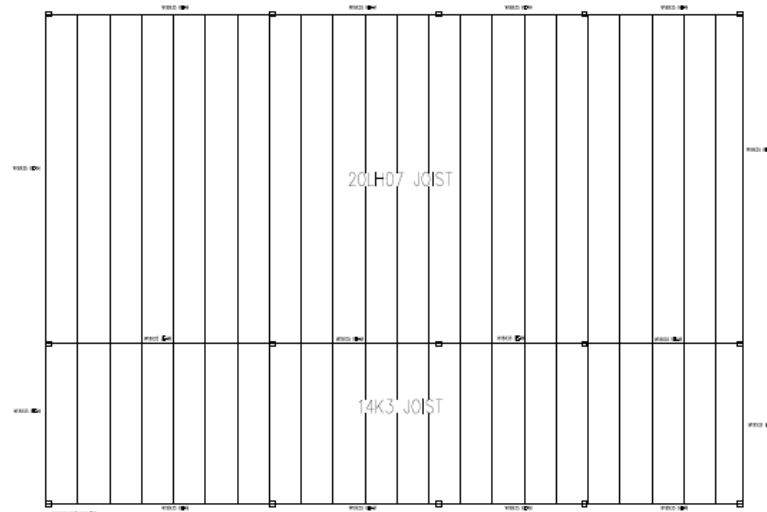
Docket No. 01-07-26 (15501 Madison)



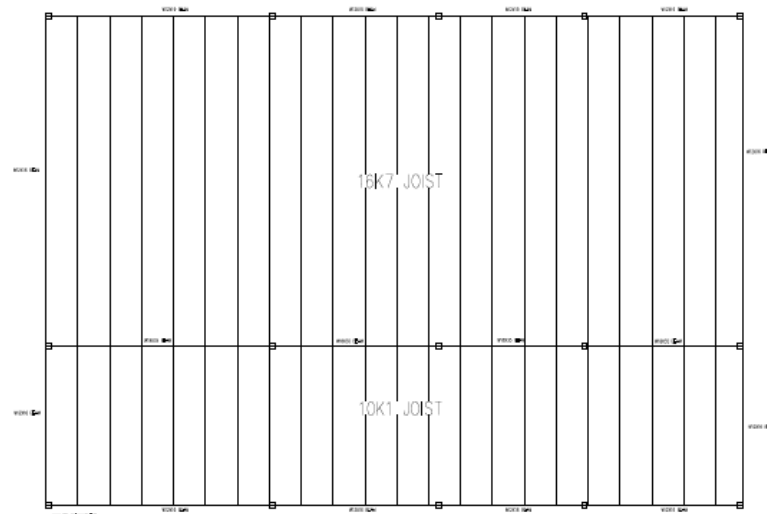
Docket No. 01-07-26 (15501 Madison)



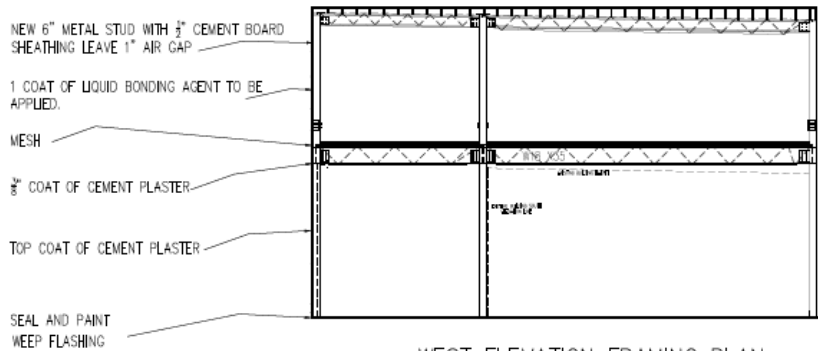
SOUTH ELEVATION FRAMING PLAN
3/16" = 1'-0"



2ND FLOOR FRAMING PLAN
3/16" = 1'-0"



ROOF FRAMING PLAN
3/16" = 1'-0"



WEST ELEVATION FRAMING PLAN
3/16" = 1'-0"

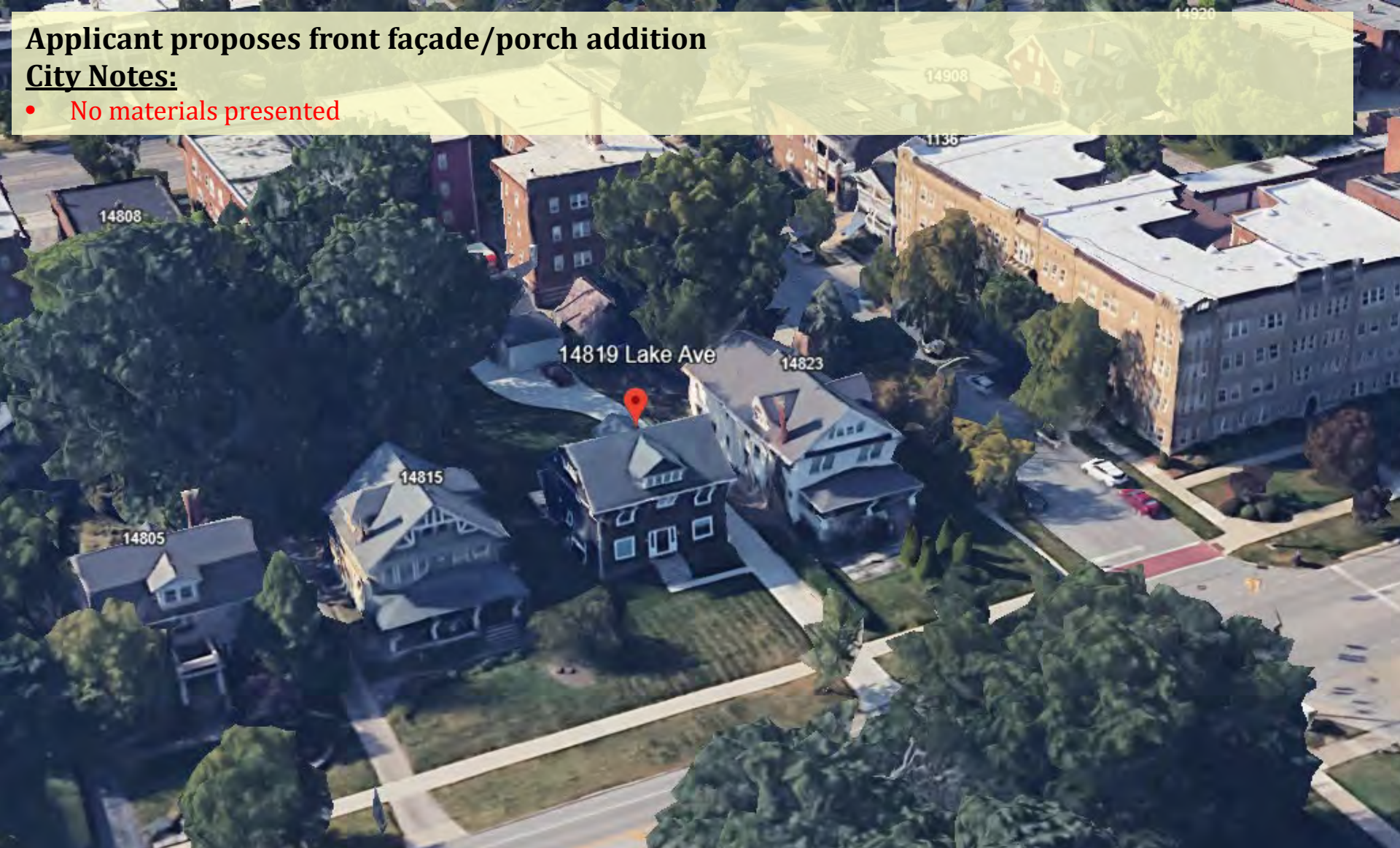


Docket No. 01-07-26 (15501 Madison)

Applicant proposes front façade/porch addition

City Notes:

- **No materials presented**

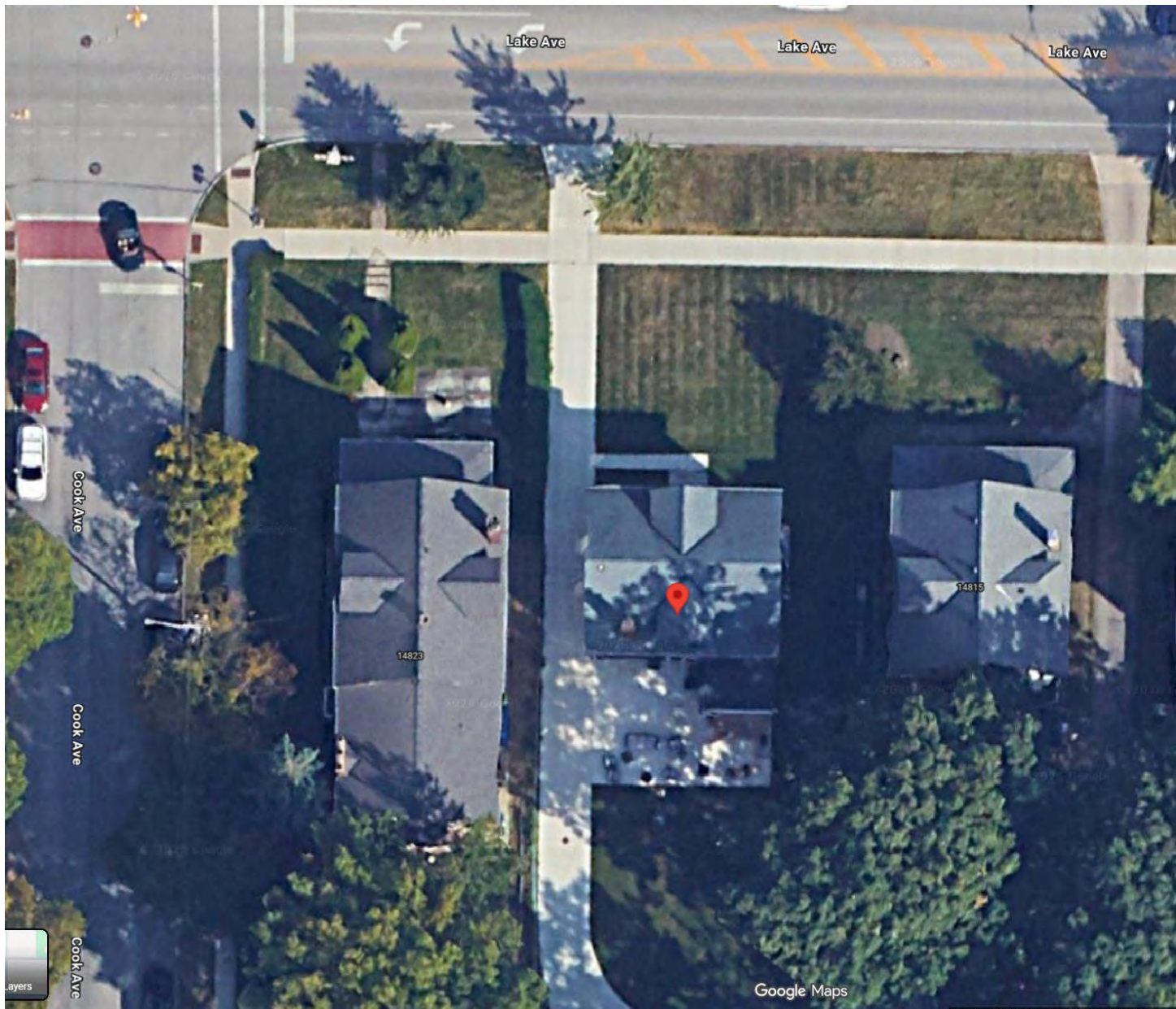


Docket No. 01-08-26 (14819 Lake)

**Front Porch
Jake Szaraz**



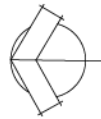
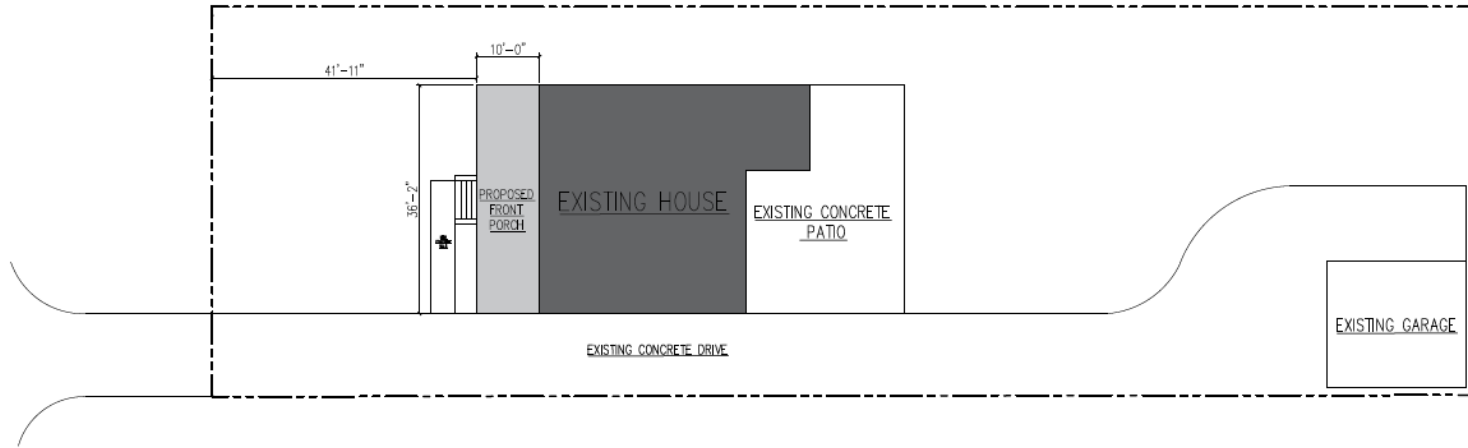
Docket No. 01-08-26 (14819 Lake)



Docket No. 01-08-26 (14819 Lake)



LAKE AVENUE



ARCHITECTURAL SITE PLAN

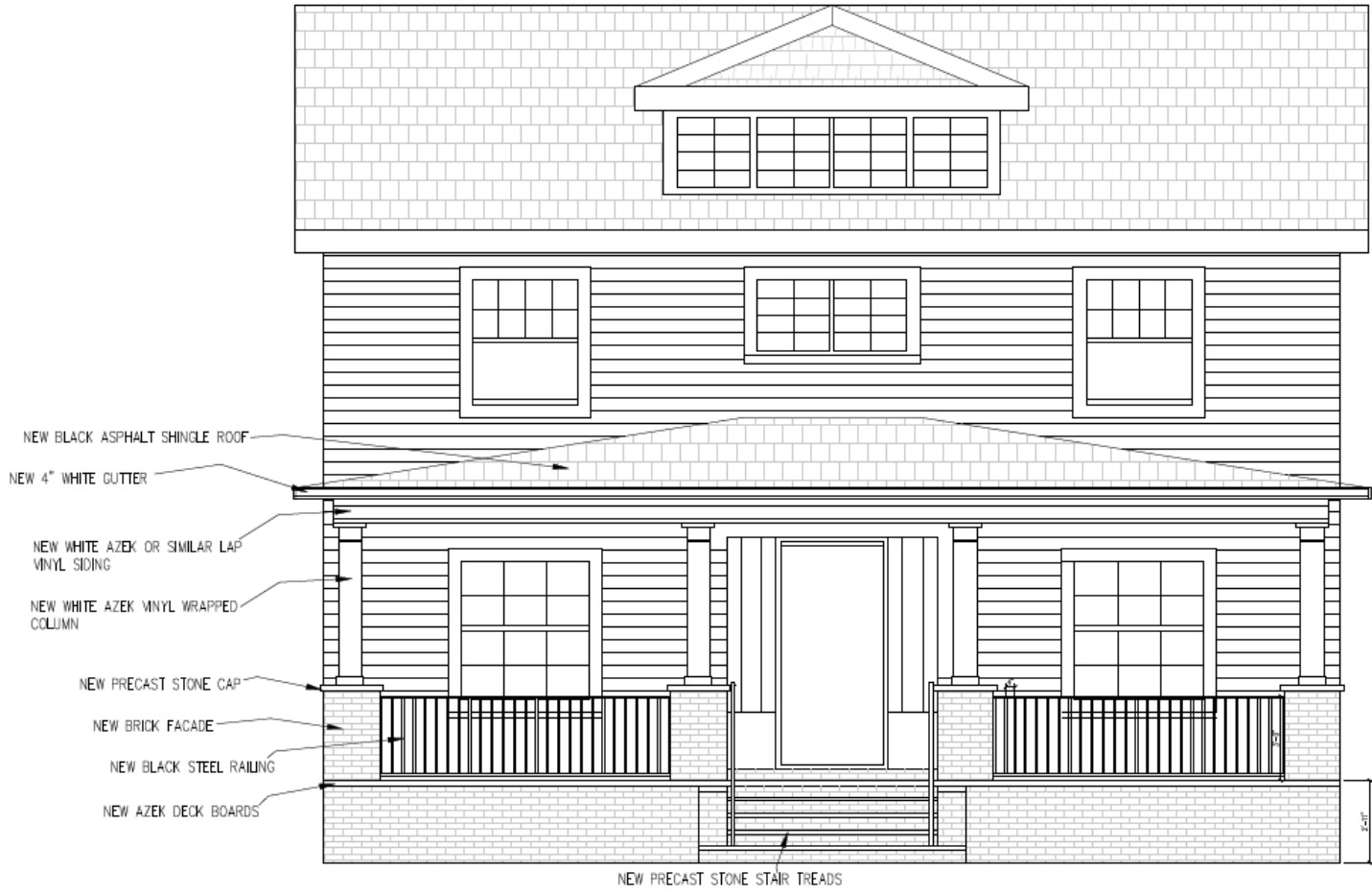
1/8" = 1'-0"



Docket No. 01-08-26 (14819 Lake)



Docket No. 01-08-26 (14819 Lake)



ELEVATION
 1/2" = 1'-0"



Docket No. 01-08-26 (14819 Lake)



Docket No. 01-08-26 (14819 Lake)

Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



Front Porch and Entry

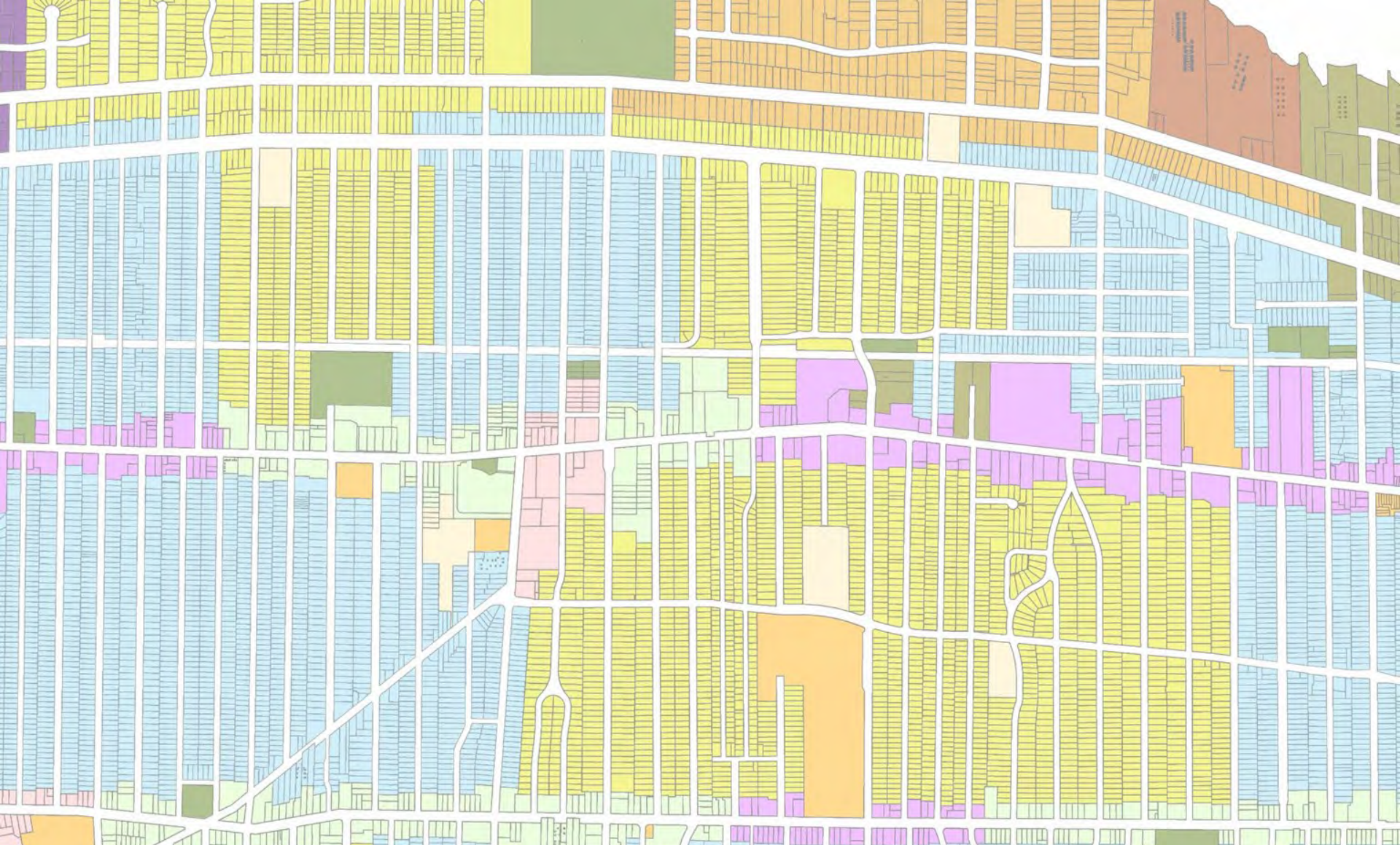
- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
 - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
 - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
 - Compliance with Appendix B Front Porch Guidelines is required.
 - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.



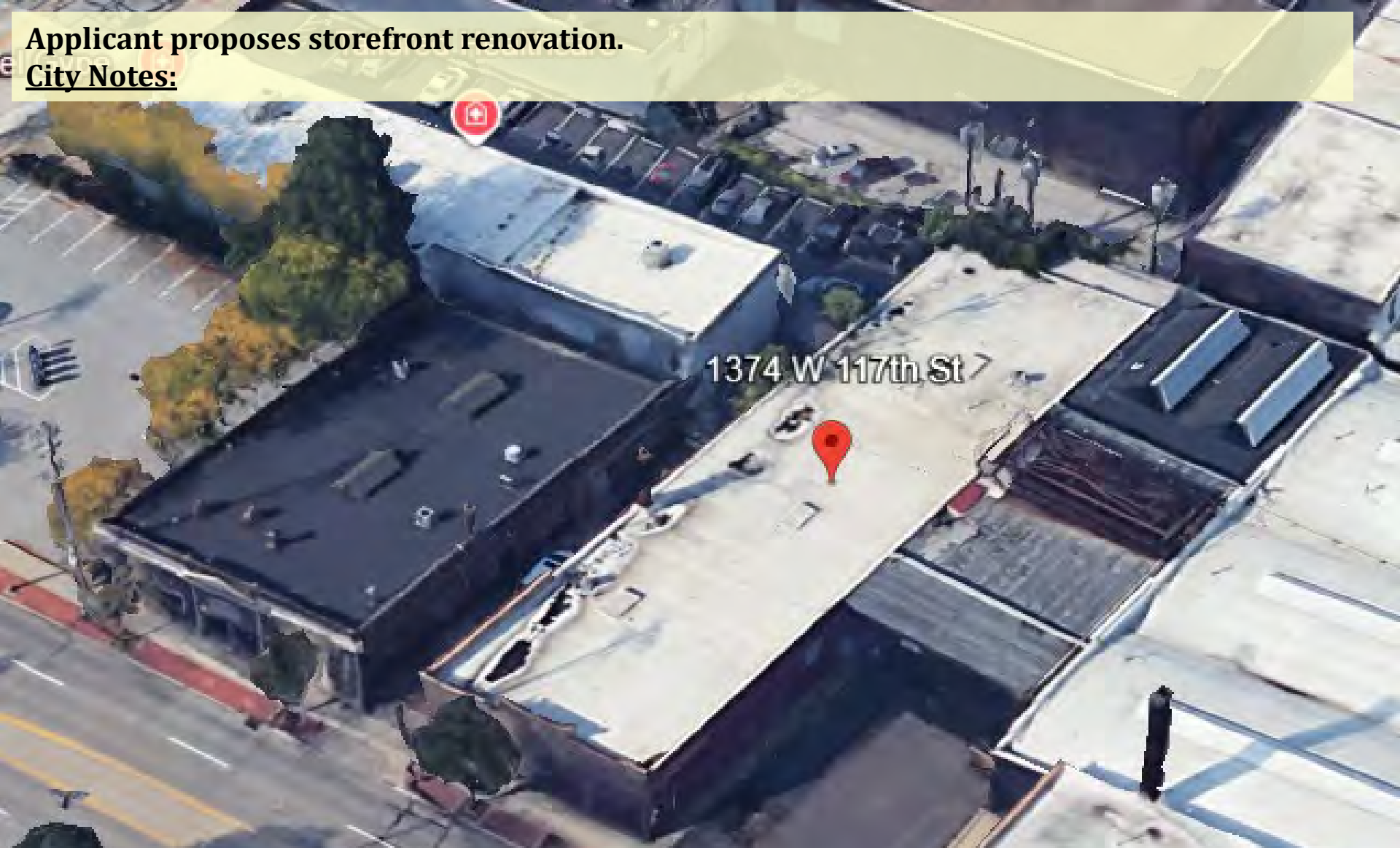


Architectural Board of Review

February 2026

Applicant proposes storefront renovation.

City Notes:



Docket No. 02-16-26 (1374 W. 117th)

**Storefront Renovation
Jeffrey Foster**



PERMIT & CONSTRUCTION DOCUMENTS FOR:

1374 W 117TH STREET STOREFRONT RENOVATION 1374 W 117TH STREET LAKEWOOD, OH 44107

PREPARED FOR:

NORTON INDUSTRIES
C/O TRICIA RHEA
1374 W 117TH STREET
LAKEWOOD, OH 44107

DRAWING INDEX

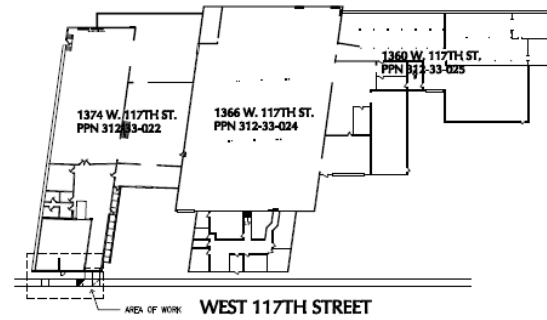
A001	TITLE SHEET, DEMO PLAN, DRAWING INDEX
A110	FLOOR PLAN
A210	EXTERIOR ELEVATIONS
A610	DETAIL SECTIONS, GENERAL NOTES AND SPECS.

SYMBOL LEGEND

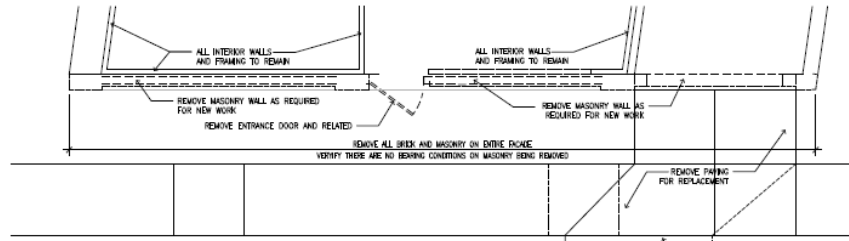
	LOCATION ON SHEET SHEET NUMBER	BUILDING ELEVATION REFERENCE
	LOCATION ON SHEET SHEET NUMBER	DETAIL SECTION REFERENCE
	LOCATION ON SHEET SHEET NUMBER	DETAIL REFERENCE
		NORTH ARROW WINDOW LEG POINTING TO PROJECT NORTH
		COLUMN CENTERLINE LOCATION AND REFERENCE IN DETAIL AND ELEVATION
	FINISHED FLOOR SLV. 6'-0"	VERTICAL ELEVATION INDICATOR
		ROOF DETAIL DESIGNATION
		ROOF PLAN KEYNOTE

GENERAL NOTES

- CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS AND NOTES AT THE SITE AND NOTIFY THE ARCHITECT OF ANY AND ALL IRREGULARITIES, CONFLICTS, OR DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY FABRICATION OR CONSTRUCTION.
- SHOULD THERE BE ANY CONFLICT OR DISCREPANCY BETWEEN THE CONSTRUCTION NOTES SHOWN ON THESE DRAWINGS AND THE TECHNICAL SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL, THE MORE RESTRICTIVE CONDITION OF THE TWO SHALL APPLY.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. ALL INSTALLATIONS SHALL BE ACCURATELY FIELD MEASURED PRIOR TO FABRICATION.
- ALL MATERIALS AND PRODUCTS ARE TO BE FABRICATED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS AND DIRECTIONS. ALL RELATED MATERIALS (WATERSHED, ADHESIVE, ACCESSORIES, ETC) SHALL BE APPROVED BY THE MANUFACTURER. ANY FIELD ENGINEERING SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR IF REQUIRED BY THE MANUFACTURER.
- INSTALLATION OF ALL MATERIALS SHALL PROVIDE FOR NECESSARY EXPANSION AND CONTRACTION PER THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS BASED ON THE PARTICULAR INSTALLATION SITUATION AND PORTION.



2 KEY PLAN
A001 NO SCALE



1 ENLARGED DEMOLITION PLAN
A001 SCALE: 1/4" = 1'-0"



AGE OF PHOTO:
EARLY 1970S
A HISTORIC PHOTO
A001 NO SCALE



Docket No. 02-16-26 (1374 W. 117th)

DATE: _____
 SCALE: _____
 PRINTS FULL SCALE
 ON 24"X36" SHEET

NORTON INDUSTRIES
 STOREFRONT RENOVATION
 1374 WEST 117TH STREET
 LAKEWOOD, OH 44107

PAYTO Architects
 1425 BUCKLEY AVENUE, SUITE 100 WEST BENTLEY CENTER, LAKEWOOD, OH 44107
 TEL: 330.281.1000 FAX: 330.281.1009
 WWW.PAYTOARCHITECTS.COM

PRECEDENT
 EXAMPLE IMAGES

PROJECT NAME	DATE
CLIENT NAME	DATE

A002
 PROJECT & CLIENT PROPERTY
 EXCLUSIVE



Docket No. 02-16-26 (1374 W. 117th)



2 KEY PLAN
A110 NO SCALE

BUILDING CODE DATA:

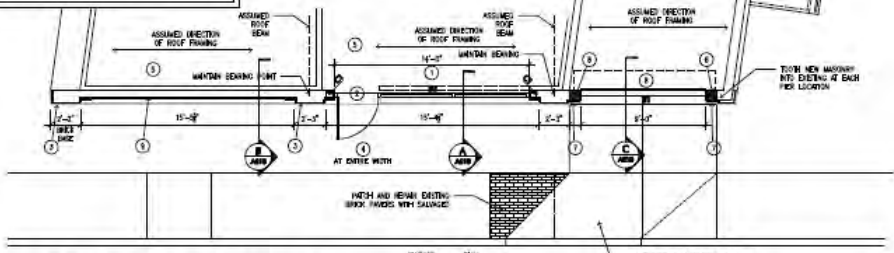
THIS PROJECT IS REVIEWED UNDER AND CONFORMS WITH THE 2018 OHIO BUILDING CODE (BOC), ENERGY CODE AND ALL APPLICABLE CODES. THIS PROJECT IS REVIEWED FOR ALL WORK AREA COMPLIANCE AND FOR THE WORK IN COMPLIANCE WITH SECTION 1010.1 OF THE BOC.

THE SCOPE OF THIS PROJECT IS THE RENOVATION AND IMPROVEMENT OF AN EXISTING STRUCTURE. THE HANNOVER ABOVE THIS PREVIOUSLY BUILT STRUCTURE HAS DETACHED FROM THE MAINLINE AND THE SUPPORTIVE LINTELS HAVE REMAINED. DUE TO EXISTING CONDITIONS, THE EXISTING HANNOVER IS BEING REPLACED WITH WOOD FRAMING AND THE STRUCTURE IS BEING CLAD IN POLYCARBONATE SHEET AND CONCRETE TRIM. A NEW CEILING SYSTEM IS BEING PROVIDED TO ACCOMMODATE ACCESS TO THE SYSTEMS.

TOTAL WORK AREA: 107 SF OF BUILDING WALL WORK AND 54 SF OF RETAINING WALL.
 USE GROUP: B - BUSINESS AND OFFICE FROM CEILING.
 OCCUPANT LOAD: N/A - WORK HAS NO IMPACT ON OCCUPANT LOAD.
 TYPE OF CONSTRUCTION: TYPE 2B
 (PER SEC. 1001.01)

- KEYNOTE LEGEND - FLOOR PLAN**
- ALUMINUM STRUTTING WITH SPANWEL GLASS. 2"X4" BRIDGE. FINISH FRAMING EQUAL TO EXISTING. GLASS TO BE 1" INSULATED UNITS. EMBEDDED AS REQUIRED PER CODE.
 - 2"-2" x 7"-2" ALUMINUM STRUTTING EXISTENCE DOOR. 2"X4" BRIDGE. FINISH GLASS TO BE 1" INSULATED UNITS.
 - 2" x 4" AED TRIM WITH PAINTED CEILING BOARD PANELS.
 - PATCH AND REPAIR EXISTING CONCRETE SILL AT FORMER STRUCTURE.
 - ALL INTERIOR CONSTRUCTION TO REMAIN IN TACT. PROTECT AS REQUIRED DURING ALL WORK. PROVIDE TEMPORARY ENCLOSURES AND WORK PROTECTION AS REQUIRED.
 - CONCRETE BRICKS STAYS AT EACH JAMB OF DOOR.
 - PAINTED AED TRIM AND PANELING ON WOOD FRAMING. ATTACHED TO CONCRETE WALL.
 - CEILING OVERHEAD DOOR. SEE ELEVATION FOR SPECIFICATIONS.
 - CEILING BOARD PANELS WITH AED TRIM. SEE SECTION AND ELEVATION FOR DETAILS.

- STRUCTURAL LEGEND**
- (1) 2X6 STUDS FULL HEIGHT AND (2) 2X4 JACK STUDS
 - MASSIVITY PER: (1) MINIMUM BEARING ON SOLID GRouted CONW WITH (2) 40' SPAN/1' VERTICAL
 - W14X26 W8F STEEL PLATE
 - (2) 2X12
- NOTE: ASSUMING NO ROOF JOISTS OR BEAMS ARE REMAINING ON ANY OF THE ABOVE MEMBERS. FIELD VERIFY. CONTACT DESIGN PROFESSIONAL IF ANY OF THESE CONDITIONS OBTAIN.



1 ENLARGED FLOOR PLAN
A110 SCALE: 1/4" = 1'-0"



C EXISTING VIEW FROM NORTH LOOKING SOUTHWEST
A110 NO SCALE



B EXISTING BUILDING TO THE NORTH
A110 NO SCALE



A EXISTING CONDITIONS AND BUILDING TO THE SOUTH
A110 NO SCALE

DATE: 02/16/26 02.13.26

PREPARED BY: [Name]

STATE OF OHIO
 DEPARTMENT OF PUBLIC SAFETY
 DIVISION OF FIRE PREVENTION AND INSPECTION
 FIRE PREVENTION DIVISION
 1374 WEST 117TH STREET, LAKESWOOD, OHIO 44107
 PERMIT NO. 2026-02
 EXPIRES: 02/16/27

NORTON INDUSTRIES
 STOREFRONT RENOVATION
 1374 WEST 117TH STREET
 LAKESWOOD, OH 44107

PAYTO Architects
 100 BROADWAY PARKWAY, SUITE 1000 WEST FERRIS, CLEVELAND, OHIO 44115
 PHONE: (216) 871-6888
 WWW.PAYTOARCHITECTS.COM

FLOOR PLAN & IMAGES OF EXISTING

DATE: 02/16/26 02.13.26

A110

PREPARED BY: [Name]



Docket No. 02-16-26 (1374 W. 117th)

Applicant proposes new single family home.

City Notes:



Docket No. 02-17-26 (1654 Waterbury)

**New Single Family Home Construction
Bridget Gouker**

Applicant proposes new single family residence on a corner lot.

City Notes:



Docket No. 02-18-26 (1337 Edanola)

New Single Family Home Construction

Timothy Bennett



front view

NOTE:
 actual color may vary from on-screen representation.
 Please view a physical color swatch or material sample
 to confirm the color choice prior to building.
 perspective views for design only



right side view



rear view



left side view

Sheet 2 of 2 Edanola 1337
 Date: 3/18/2018
 User: J. Miller
 Title: 02-18-26 Edanola 1337
 Project: 02-18-26 Edanola 1337
 Drawing: 02-18-26 Edanola 1337
 Scale: 1/8" = 1'-0"



eren/miller residence
 edanola & riverside, lakewood ohio

Item	Description
1	FOUNDATION
2	FRAMING
3	ROOFING
4	MECHANICAL/ELECTRICAL/PLUMBING
5	INTERIORS
6	EXTERIORS
7	LANDSCAPE
8	FINAL

2504

2



Docket No. 02-18-26 (1337 Edanola)



Signature Supreme Premium Vinyl Siding

Signature Supreme vinyl siding has beautiful colors, richly detailed hardwood texture and a generous selection of classic profiles.

[Learn More](#)

gentek signature supreme vinyl siding



D4 Clapboard

Specifications:
 5/8" Butt
 2-4" Exposure per Panel
 12'6" Length
 .044" Nominal Thickness
 Hardwood Texture

siding specifications



Meadow Fern

Moonlit Moss

medium-to-dark green siding color



Style Option = S4814-SDLF1LE

Fiberglass Single

Impact Rating : None
 Call Width : 3'0"
 Call Height : 6'0"
 Door Collection : Smooth-Star®
 Line : Smooth-Star®
 Glass Shape : Craftsman Lite
 Style Shape : Craftsman Lite 2 Panel Shaker Flush-Glazed
 Glass Type : Clear Glass with Grilles
 Glass Design : Grille
 Grille Pattern : Craftsman 4 Lite 2Wx2H
 Grille Style : SDL - Flat 1-1/8"
 Low-E? : Yes

front door

deeper brown color



front porch posts

white 1x8 PVC wrapped (Azek or similar) columns with cap and base



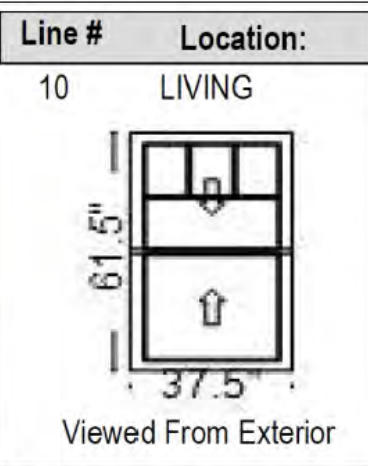
rear porch posts

(concrete slab at grade)
 white 1x8 PVC wrapped (Azek or similar) columns with cap and base



Pella vinyl windows

2x4 trim wrapped in aluminum



grille upper sash of windows

2018-10-10
 13337 Edanola - 1st Floor Plans
 13337 Edanola - 2nd Floor Plans
 13337 Edanola - 3rd Floor Plans
 13337 Edanola - 4th Floor Plans
 13337 Edanola - 5th Floor Plans
 13337 Edanola - 6th Floor Plans
 13337 Edanola - 7th Floor Plans
 13337 Edanola - 8th Floor Plans
 13337 Edanola - 9th Floor Plans
 13337 Edanola - 10th Floor Plans
 13337 Edanola - 11th Floor Plans
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 13337 Edanola - 96th Floor Plans
 13337 Edanola - 97th Floor Plans
 13337 Edanola - 98th Floor Plans
 13337 Edanola - 99th Floor Plans
 13337 Edanola - 100th Floor Plans



eren/miller residence
 edanola & riverside, lakewood ohio

Sheet: 1008CS
 Project:
 Design/Drawn:
 Date:
 Scale:
 Title:
 2504

4



Docket No. 02-18-26 (1337 Edanola)

Primary Building and Garage Orientation Justification

In reviewing the surrounding neighborhood, we identified more than 50 comparable corner-lot configurations within this area of west Lakewood alone, with corresponding maps and addresses included below. Both properties directly adjacent to the site exhibit similar orientation patterns, with the primary façades facing Edanola and Mathews, respectively, and garages oriented toward Riverside. In addition, several homes on Edgewater Drive at intersections of Cliffdale, Sylvan, Leedale, Rosalie, and Abbieshire (15107 Edgewater Dr, 15431 Edgewater Dr approved by ARB), that closely align with the proposed project, which are also included below for reference. These are included as a sample to justify compatibility and are not comprehensive. There are certainly more examples.

A rear-facing garage was evaluated but cannot be reasonably accommodated due to existing site conditions that create a practical difficulty unique to the property. The swing generally advised and required to pull into a side-load garage is 25' to 30'. The existing driveway is approximately 10' from the rear of our proposed garage, and the the maximum distance from the rear property line to the garage face would be approximately 31 feet, while the adjacent property's driveway extends approximately 23 feet from the shared property line and is oriented perpendicular to the proposed garage face.

This configuration would result in opposing driveways with insufficient maneuvering clearance, creating ongoing safety concerns related to vehicle ingress and egress, particularly during backing movements. These conditions are further intensified by the neighboring property's regular use of its driveway for vehicle and RV parking, which would intermittently obstruct access. The current proposal allows the minimum necessary deviation to alleviate these constraints, improves site circulation and safety, and is compatible with surrounding development patterns and common utilizations of corner lots in Lakewood.



Map of Corner Lots with Similar Layouts



Docket No. 02-18-26 (1337 Edanola)

**1346 MATHEWS AVE
LAKEWOOD, OH. 44107**



15107 Edgewater Dr



Docket No. 02-18-26 (1337 Edanola)

15431 Edgewater Dr



Docket No. 02-18-26 (1337 Edanola)



Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



Front Porch and Entry

- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
 - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
 - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
 - Compliance with Appendix B Front Porch Guidelines is required.
 - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.



Applicant proposes fencing alteration.

City Notes:

1659

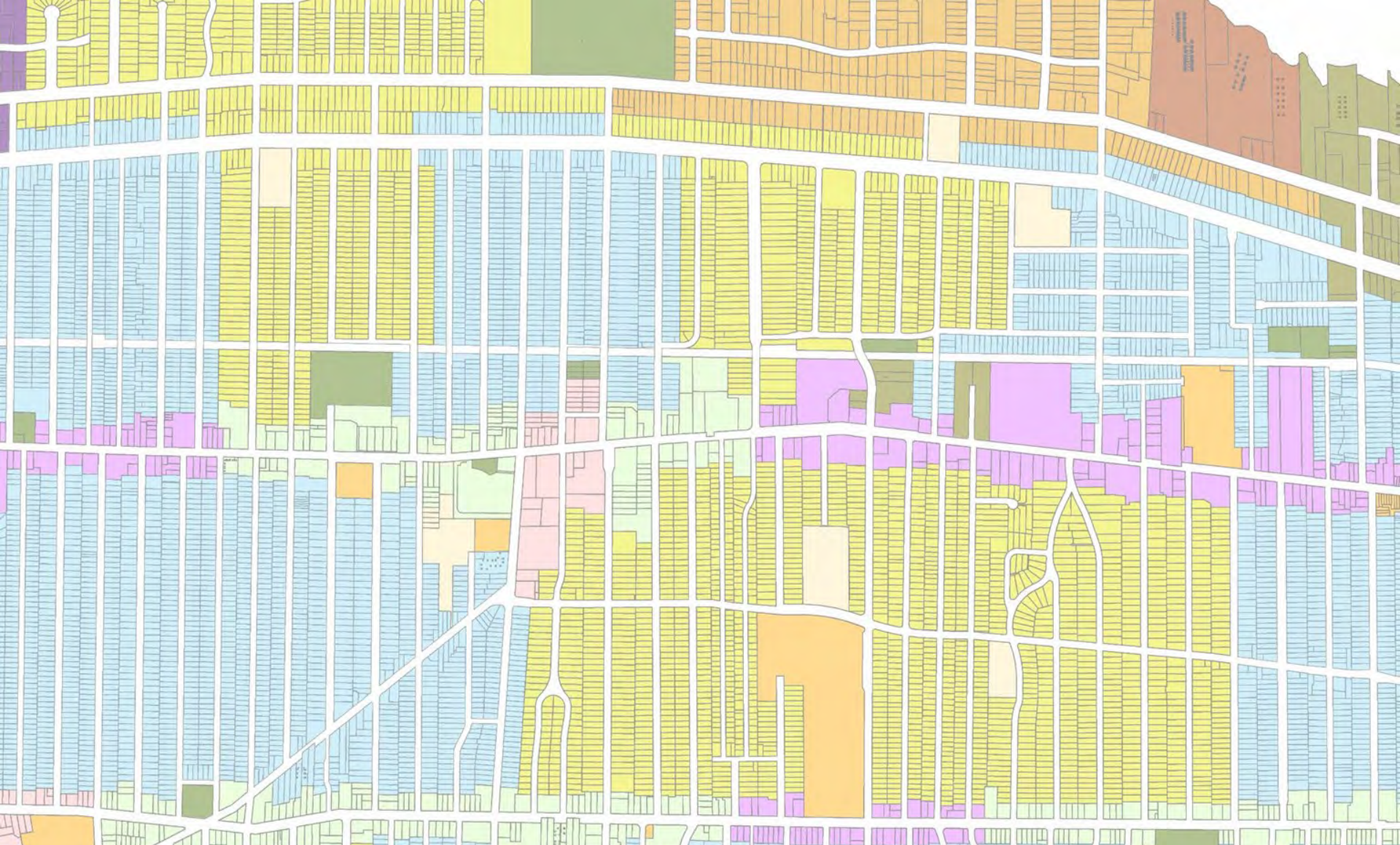
16620 Madison Ave

Request to table



Docket No. 02-18-26 (16620 Madison)

**Fencing Alteration
Jason Van Schoor**



Architectural Board of Review

February 2026