



MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
MARCH 12, 2026
5:30 P.M.
MEETING RECORDED
<https://www.lakewoodoh.gov/videos-2/>

City of Lakewood
Approved
[Signature]

1. ROLL CALL

Board Members

Chris Egervary -Absent
Nick Slaughterbeck
Hanna Cohen Plessner
Matthew Stevenson-Absent
Ashley Matonis

Staff

Amanda Cramer, Board Secretary, City Planner
William Wagner, Assistant Building Commissioner
Jeffrey Crossman, First Assistant Law Director

2. APPROVE THE MINUTES OF THE FEBRUARY 12, 2026 MEETING

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to APPROVE the February 12, 2026 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

SUMMARY APPROVED

At the pre-review meeting, four items were Summary Approved (conditions are noted). A motion and a second is needed for approval of Docket No. 03-22-26, Docket No. 03-23-26, Docket No. 03-24-26 and Docket No. 03-25-26.

4. Docket No. 03-22-26 (C) 17301 Madison Ave.
Lakewood Massotherapy

- () Approve
- () Deny
- () Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., STE 195
Lakewood, OH 44312

Applicant proposes new signage.

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 03-22-26 with the following conditions:

- Lowering window graphics aligned on bottom of the windows.
- Tenant signage is not part of the application.

All the members voted yea; the motion passed.

5. Docket No. 03-23-26 (C) 14718 Detroit Rd.
Speed Trap Racing

- () Approve
- () Deny
- () Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., STE 195
Lakewood, OH 44312

Applicant proposes new signage on front and rear of building.

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 03-23-26 with the following condition:

- Submit updated rear elevation with rear wall sign being 16' wide and window sign on door

All the members voted yea; the motion passed.

6. Docket No. 03-24-26 (C) 13429 Detroit Ave.
Bring on the Butter

- () Approve
- () Deny
- () Defer

Scott Lewis
Bring on the Butter, Inc
1547 Belle Ave.
Lakewood, OH 44312

Applicant proposes new awning lettering.

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 03-24-26 with the following condition:

- Any window signage be submitted to the Board before installation.

All the members voted yea; the motion passed.

7. Docket No. 03-25-26 (C) 14869 Detroit Ave.
AT&T

- () Approve
- () Deny
- () Defer

Kathy Clarke
ACE Lighting Services
1260 Moore Rd.
Avon, OH 44011

Applicant proposes new wall signage and door vinyl.

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 03-25-26 with the following conditions:

- Any additional window signage be submitted to the Board before installation.
- Window square footage submitted to Board secretary for administrative approval.

All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

8. Docket No. 09-77-25 (R) 11730 Detroit Ave.
Northcoast Apartments

- () Approve
- () Deny
- () Defer

Milan Milasinovic
Virginia Marti, Inc
11724 Detroit Ave.
Lakewood, OH 44107

Applicant proposes exterior façade renovations.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to TABLE Docket No. 09-77-25, per request of the applicant.

All the members voted yea; the motion passed.

9. Docket No. 01-07-26 (C) 15501 Madison Ave.
Vital Pilates & Wellness

- () Approve
- () Deny
- () Defer

Jake Szaraz
MJM Building Standards
14819 Lake Ave.
Lakewood, OH 44107

Applicant proposes a second floor addition.

Jake Szaraz, MJM Building Standards, was present to discuss the updated plans. The arches on first floor are now symmetrical. The window elevations on the second floor were changed. He raised

the lights above the banding to make them continuous; the east elevation windows were also changed. Mr. Szaraz provided cut sheets and discussed the landscape changes.

Ms. Plessner questioned the color of the stucco; it will match the original.

No public comment.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 01-07-26 as presented.

All the members voted yea; the motion passed.

10. Docket No. 02-16-26 (C) 1374 W.117th St.
Norton Industries

() Approve

() Deny

() Defer

Jeffrey Foster

1220 W.6th St. STE 405

Cleveland, OH 44113

Applicant proposes a storefront renovation.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **TABLE** Docket No. 02-16-26, per request of the applicant.

All the members voted yea; the motion passed.

11. Docket No. 02-18-26 (R) 1337 Edanola (Edanola & Riverside)

() Approve

() Deny

() Defer

Timothy Bennett

Bennett Builders and Remodelers, LLC

27899 Clemens Rd.

Westlake, OH 44145

Applicant proposes construction of a new single family home.

Timothy Bennett, Bennett Builders, was present to discuss the updated plans. The left side elevation was broken up as discussed in previous presentation. Mr. Bennett added a dormer rather than a gable that added new dimension above the garage. The gable in the middle section is larger to create a bigger presence, and trim details were added to break up the textures.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 02-18-26 as presented.

All the members voted yea; the motion passed.

RETURN FOR MODIFICATIONS

12. Docket No. 11-150-21

(C)

17801 Detroit Ave.
Beck Center for the Arts
David Craun
Bialosky Cleveland
6115 Carnegie Ave.
Cleveland, OH 44103

- Approve
- Deny
- Defer

Applicant proposes preliminary review of demolition of the front annex building and new plaza and drive.

Jayme Schwartzbury, Deru Landscape Architecture, was present to discuss the plans. Ms. Schwartzbury stated that it took 6 years to get the building torn down and the plantings were postponed until after the demolition so they would not get ruined during the process. The plantings on frontage, park, plaza and entry drive, were always a part of the original plan. She also stated that there are some donor furnishings, benches, that have been added. The stage has been eliminated as part of cost cutting, however, the main elements are still there. Ms. Schwartzbury stated that the plan is in alignment with the original previously approved plan and that there is room to add some of the items that have been omitted, back in if funding came through at a later date.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-150-21 as presented.

All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

13. Docket No. 03-20-26

(C)

13326 Madison Ave
Tabitha In Motion

- Approve
- Deny
- Defer

Tabitha Miner
Tabitha In Motion
13326 Madison Ave.
Lakewood, OH 44104

Applicant proposes new signage.

Tabitha Miner, Tabitha In Motion, was present to discuss the plan. Discussion was made on the blade sign and how it be hung and where in front of the transom it will hang. The sign will be hung from gold chain on a gold pole and will have a remote controlled, battery operated light to illuminate the sign and the sign will be hung above the right side door, to help indicate that it is the primary entrance. Discussion was made on the door on the left

side; it is not the primary entry door. The wall sign is fine. Ms. Cramer stated that the signage is well within the requirements.

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 03-20-26 with the following conditions:

- Details of the light strip for the blade sign be submitted to Board secretary for administrative approval.
- Additional window signage must get separate approval.

All the members voted yea; the motion passed.

14. Docket No. 03-21-26 (C) 13381 Madison Ave.
Cleveland Curiosities

- () Approve
- () Deny
- () Defer

Shawn Warren
Erie Design, Co.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes new signage.

The Board and Ms. Cramer discussed the clarity on the spaces and which one will be used and it would be nice to see front elevation to see how it interacts. Updated elevations must be submitted.

A motion was made by Ms. Plessner, seconded by Mr. Slaughterbeck to DEFER Docket No. 03-21-26. All the members voted yea; the motion passed.

15. Docket No. 03-26-26 (R) 1285 St. Charles Ave.

- () Approve
- () Deny
- () Defer

Imad Nader
N&G Holdings
3139 Forest Lake Dr.
Westlake, OH 44145

Applicant proposes enclosing the front porch.

Imad Nader, property owner, was present to discuss the plans. Mr. Nader stated that the foundation on the enclosed porch was changed to rick to match the rest of the home. The column was updated to match the existing column and the column will be built on site. Mr. Nader also discussed the stairs, there will be railing on both sides and the steps will be wide. Trex is the material that will be used for the steps. The wooden shutters will be removed and the front door will remain the same, however, the material around the door will be removed and the side light will remain the same. The Board discussed how the rendering does not match the elevation.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to APPROVE Docket No. 03-26-26 with the following condition:

- The rendering not be included in the approval.

Ms. Plessner and Ms. Matonis voted yea; Mr. Slaughterbeck opposed. the motion passed.

16. Docket No. 03-27-26

(C)

1382 Arthur Ave. Rear
Seventh Day Adventist Church

- Approve
- Deny
- Defer

Michael Horton
Harper & Horton Architects
812 Huron Rd E STE 301
Cleveland, OH 44115

Applicant proposes an addition and renovation.

Michael Horton, architect, and Carolyn Ostrum, church representative, were present to talk about the plans. Mr. Horton stated that the planned addition has a strong relationship to the annex building and it allows the existing sanctuary to remain prominent. Mr. Horton discussed that the plan will establish a new entry and allow for ADA accessibility which it currently does not allow for. The storefront system and raising the window height will allow for more natural light. A discussion was made on the masonry wall and how the enclosure over the wall will allow protected, secure access to outdoor equipment and trash cans. There will be a metal roof that will match the window trim.

The Board discussed the possibility of an enclosure for the dumpster and if there was any screening proposed. Ms. Ostrum stated that there is only one location for the dumpster at this point and if it is relocated or enclosed, there will be a loss in parking spots, and if an enclosure/screen is installed, it would be in front of a glass block wall, which would in turn, block natural light and/or parking. Ms. Ostrum also discussed the timeline and how the approval is needed so the plans can get started as this addition is much needed.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 03-27-26 with the following condition:

- Dumpster enclosure detail and elevation be submitted for administrative approval.

All the members voted yea; the motion passed.

17. Docket No. 03-28-26

(R)

1486 Hopkins Ave.

- Approve
- Deny
- Defer

Anthony Asimou
Asimou Architects
7540 Old Mill Rd.
Gates Mills, OH 44040

Applicant proposes construction of a new home.

Anthony Asimou, architect, was present to discuss the updated plan. Mr. Asimou stated that the comments made during the pre-review were very helpful and appreciated. He stated that the

second floor window will be larger and that the pitch over the porch was reduced. The lot grade was 6 foot front to back so the construction is unique. The floor joists will be hung rather than sitting on the top plate. Mr. Asimou also discussed that the back corner was originally an open area but decided to fill it in. The windows are consistent throughout with the bathroom windows being smaller and there will be a 10 foot slider on the back. Mr. Asimou stated that he found an air conditioner condenser that can be placed close to the house rather than having to place it in the backyard somewhere. The garage door will be steel and painted to match the home. The Board stated that the triple window works well in the design and the color palette works well together.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 03-28-26 as presented.

All the members voted yea; the motion passed.

18. Docket No. 03-29-26

(R)

Marlowe Ave.

- () Approve
- () Deny
- () Defer

Frank Camardo
Greenlight Building Company, LLC
1787 West 32nd St.
Cleveland, OH 44113

Applicant proposes construction of a 16 unit townhouse project.

Frank Camardo and Richard Siegfried, Greenlight Building, were both present. Discussion was made on the updated plans. Mr. Camardo stated that they are working with the existing plat and using the existing landscape plan. The Madison building was moved closer to the street and the units were made slightly larger, adding three bedroom units on the ends, so there will be a mix of two and three bed units. The Madison Building one had the banding expanded to the entire building and will have a storefront look in order to fit in with the other buildings on Madison. The landscaping plan will provide some screening for the front first floor units. Mr. Camardo stated that the turret was removed and the corner was squared up. The Marlowe buildings are staggered; however, the renderings are not accurate. The front porches are all full front porches with 6-foot depth. Discussion was also made on the color palette for the Marlowe buildings, that they are monotonous/monolithic. The Board stated that the Marlowe buildings could use more color contrast. Mr. Wagner wants to make sure the bricks being used are what is in the plan.

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 03-29-26 with the following conditions:

- Photos of the material samples together will be submitted for administrative approval
- Any exterior lighting be submitted for administrative approval
- Madison Building windows in brick elevation will have roll dock sills and soldier course headers
- The designs being approved are based on the elevations and not the renderings, especially the Marlowe buildings.
- There will be a masonry cap installed on the landscaping wall

All the members voted yea; the motion passed.

ADJOURN

A motion was made by Ms. Plessner, Chair, seconded by Mr. Slaughterbeck to ADJOURN the meeting at 7:15pm. All the members voted yea; the motion passed.

"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nochta at (216) 529-5906 michelle.nochta@lakewoodoh.gov."

Signature

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. Jake Garcia
2. Jayne Schwartzberg
3. Anthony Asimov
4. Tim Bennett
5. Tabitha Minor
6. MICHAEL HORTON
7. Cardyn Ostrom
8. Frank Roberts
9. Rick Siegfried
10. _____
11. _____

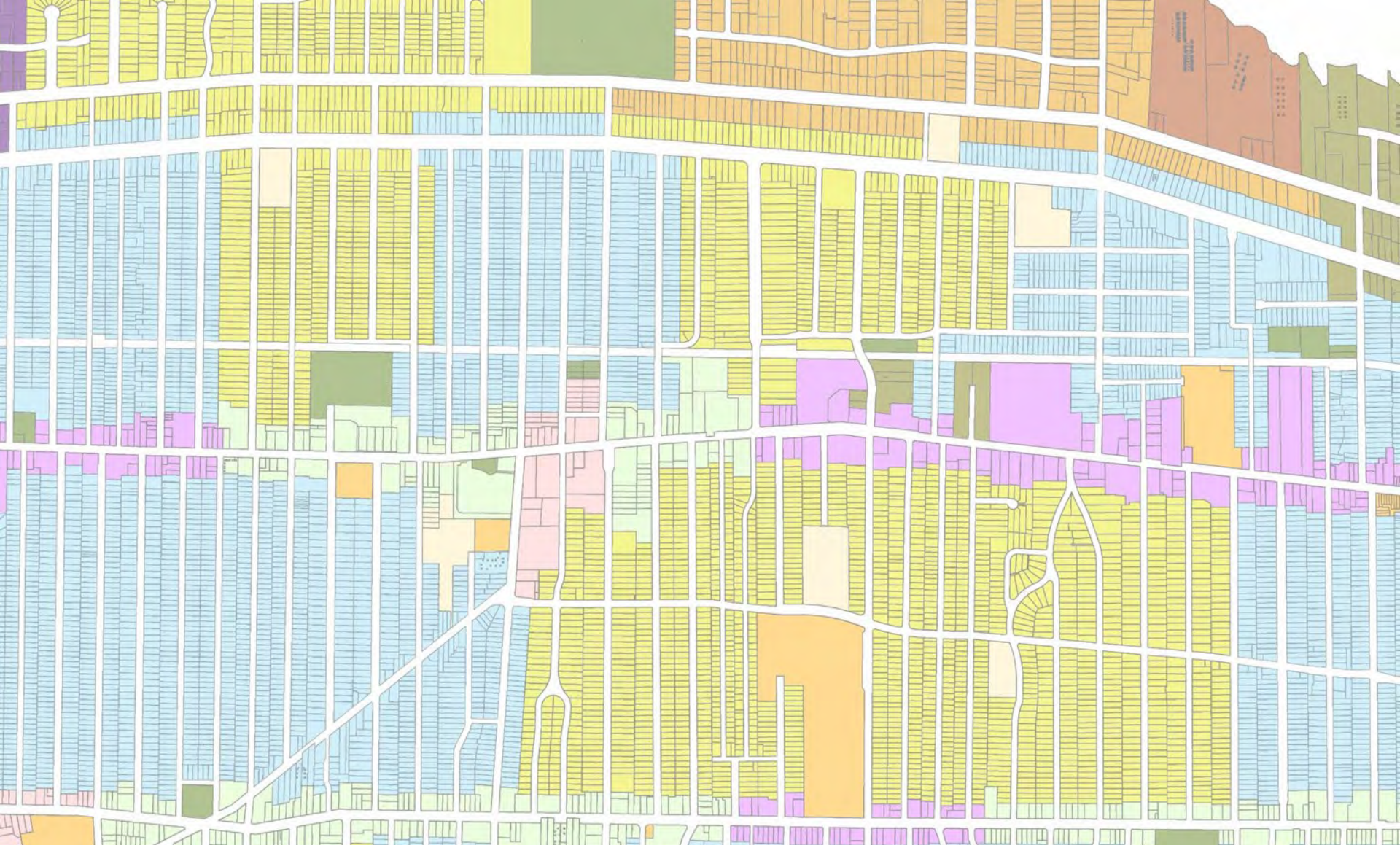
1. [Signature]
2. [Signature]
3. [Signature]
4. [Signature]
5. [Signature]
6. [Signature]
7. [Signature]
8. [Signature]
9. [Signature]
10. _____
11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: THURSDAY, MARCH 12, 2026



Architectural Board of Review

March 2026



Architectural Board of Review

Pre-Review Meeting: March 5th, 4:00pm (Zoom)

Regular Meeting: March 12th, 5:30 pm (Auditorium)

Members

Hanna Cohan Plessner (2026 Chair)

Chris Egervary

Ashley Matonis

Nick Slaughterbeck

Matt Stevenson

Staff

Board Secretary: Amanda Cramer

Assistant Building Commissioner: William Wagner

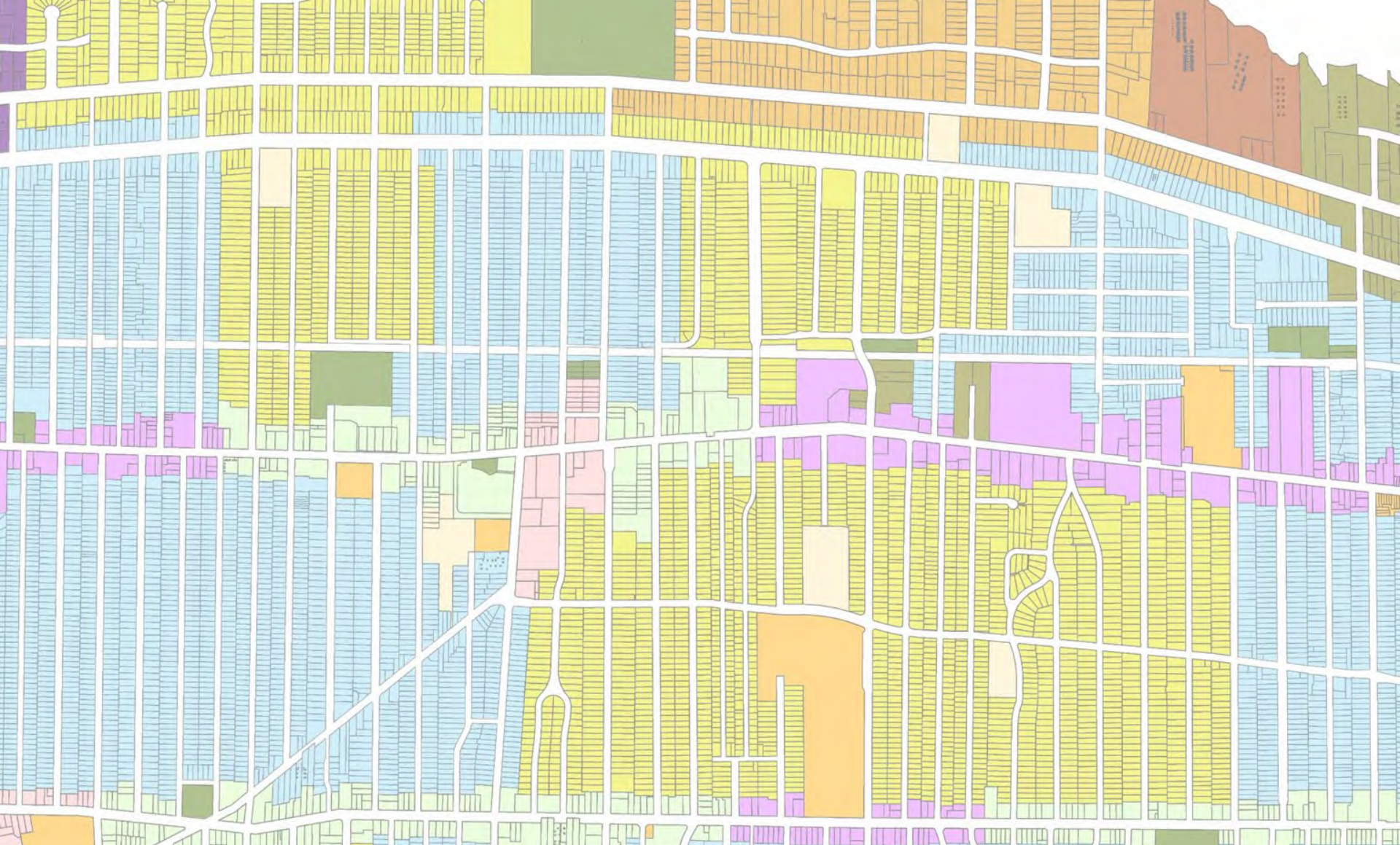


Architectural Board of Review **March Agenda**

1. Roll call
2. Approve minutes – February 2026 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn

1325.03 of the Lakewood Codified Ordinances: Purpose of ABR/BBS/Sign Review Board

- The purposes of the Architectural Board of Review are to protect the value, appearance and use of property on which buildings are constructed or altered, to maintain a high character of community development, to protect the public health, safety, convenience and welfare and to protect real estate within the City from impairment or destruction of value.
- Such purposes shall be accomplished by the Board by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all main and accessory buildings to be erected, moved, altered, remodeled or repaired, subject to the provisions of the Zoning and Building Codes and other applicable ordinances of the City, and shall take into consideration the Architectural Standards Workbook and any other design guidelines or standards, as recommended by the Administration or City Council and adopted by the Planning Commission pursuant to Part One, Title Five, Chapter [154](#) of the Codified Ordinances of the City of Lakewood, for use by the Board.
- In reviewing, regulating and approving building plans, the Board shall consider and take cognizance of the development of adjacent, contiguous and neighboring buildings and properties for the purpose of achieving safe, harmonious and integrated development of related properties.



Architectural Board of Review

Summary Approvals – March 2026

Applicant proposes signage.

City Notes:

- ❑ Applicant proposes wall signs (77.33 SF) and window signs (26.28 SF)
- ❑ Max allowed square footage: 93.75 SF total (50' storefront width, plus 25%), 20.03 SF window
- ❑ Total proposed square footage: 103.61 SF

17301 Madison Ave

Summary approval with conditions:

- Consider lowering window graphics, aligned on bottom of windows.
- Tenant panel signage is not part of this application.



Docket No. 03-22-26 (17301 Madison)

New Signage – Lakewood Massotherapy
Steven Foster

Applicant proposes signage.

City Notes:

- ❑ Applicant proposes blade sign (28.27 SF), window sign (2.18 SF), and rear entry sign (48 SF)
- ❑ Max allowed square footage: 75 SF total, 31.2 SF window
- ❑ Total proposed square footage: 80.63 SF

14718 Detroit Ave

Summary approval with the following condition: Send updated rear elevation with the rear wall sign being 16' wide and window sign on door.

Area Temps

Dimit Architects



Docket No. 03-23-26 (14718 Detroit)

New Signage – Speed Trap Racing
Steven Foster

Applicant proposes signage.

City Notes:

- Applicant proposes awning sign (14 SF)
- Max allowed square footage: 21.5 SF total (14' storefront width)
- Total proposed square footage: 14 SF



Summary approval with the condition that any window signage be approved by the Board before installation



Docket No. 03-24-26 (13429 Detroit)

Awning Sign – Bring on the Butter
Scott Lewis

Applicant proposes signage.

City Notes:

- Applicant proposes wall sign (21 SF) and window sign (3.5 SF)
- Max allowed square footage: 21.5 SF total (14.3' storefront width), unknown window
- Total proposed square footage: 24.5 SF**

14869 Detroit Ave

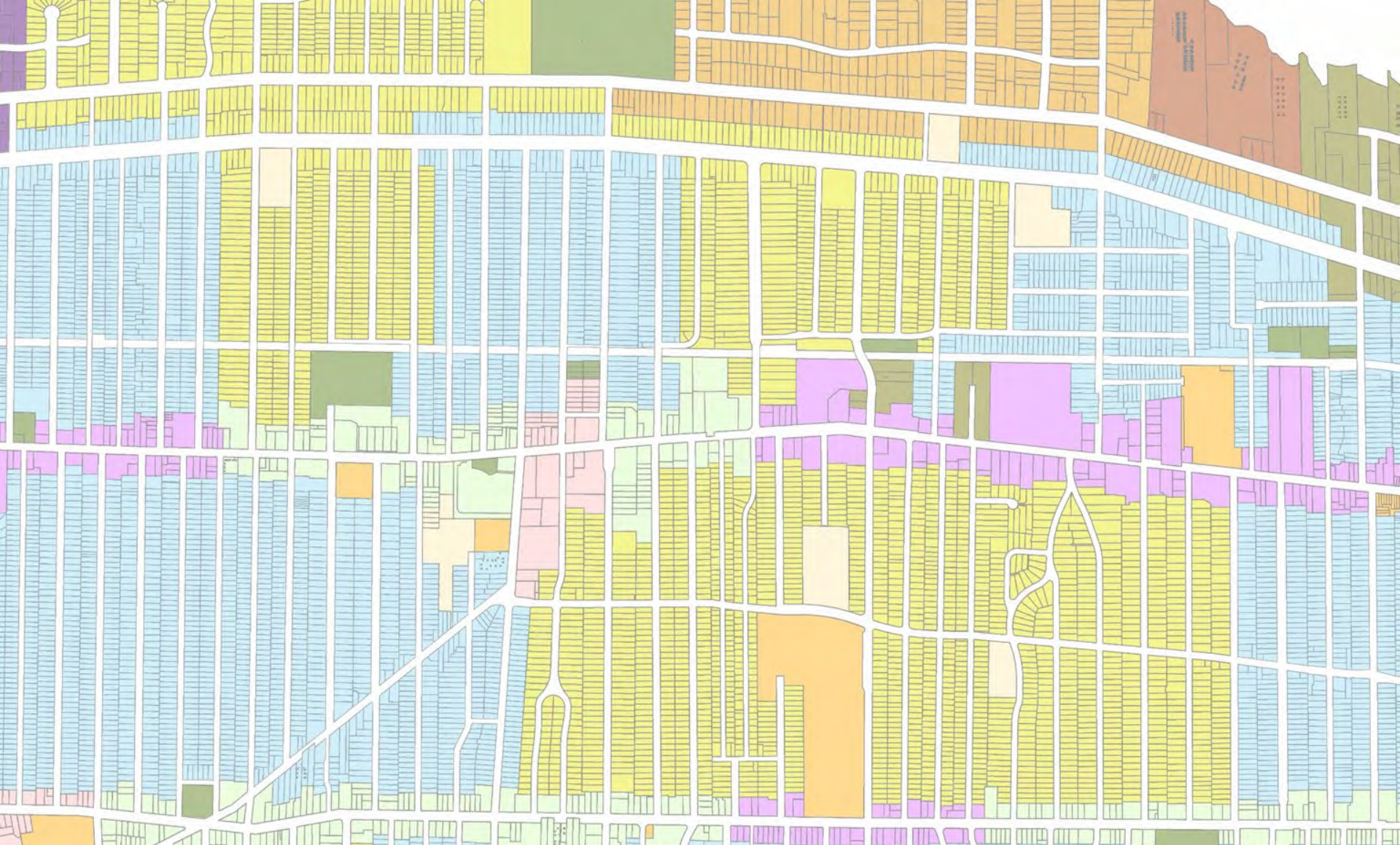
Summary approval with the conditions:

- any additional window signage be approved by the Board before installation
- Window square footage submitted to secretary



Docket No. 03-25-26 (14869 Detroit)

New Signage – AT&T
Kathy Clarke



Architectural Board of Review

Old Business – March 2026

Applicant proposes new development.

City Notes:

- Specific materials using, what is being replaced with what's remaining, color choices.
- Consider different material for balconies or paneling: they sort of contrast each other.
- Learn more about existing lentils and how they will be treated.
- 3D rendering please, especially from angle of street.



Docket No. 09-77-25 (11730 Detroit)
The North Coast Apartments – New Development
Milan Milasinovic



Applicant proposes second floor addition of commercial space.

City Notes:



Docket No. 01-07-26 (15501 Madison)

**Second Floor Addition – Vital Pilates
Jake Szaraz**

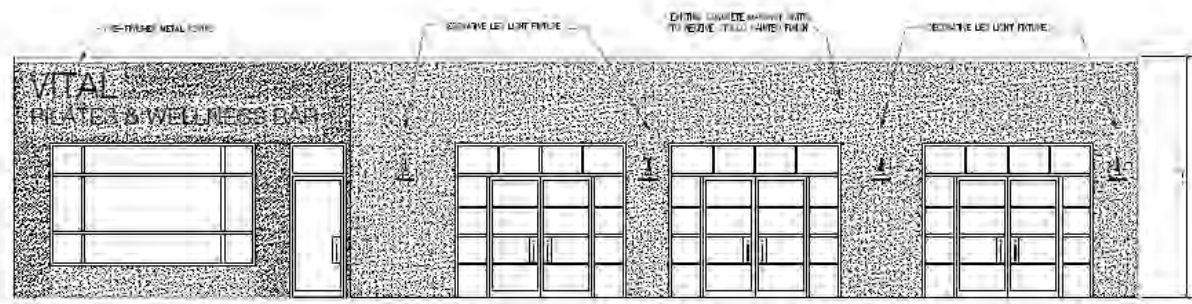




Docket No. 01-07-26 (15501 Madison)



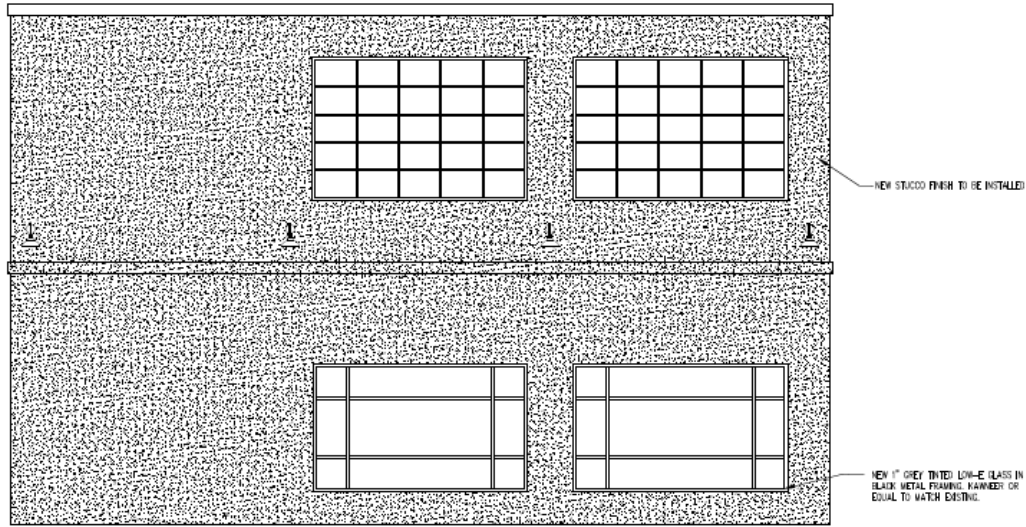
SOUTH ELEVATION



EXISTING SOUTH ELEVATION

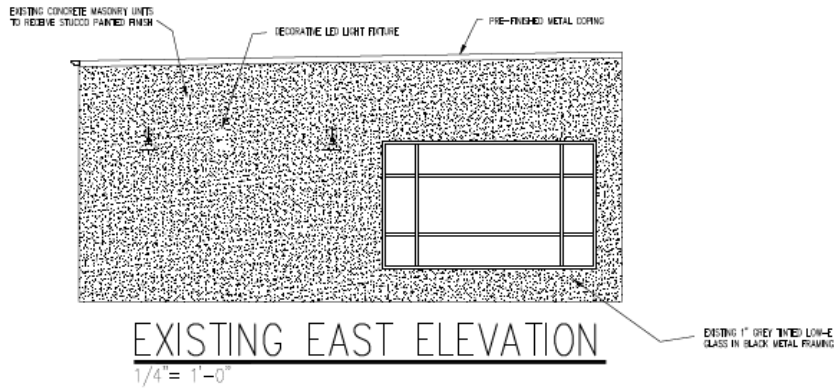


Docket No. 01-07-26 (15501 Madison)



EAST ELEVATION

1/4" = 1'-0"

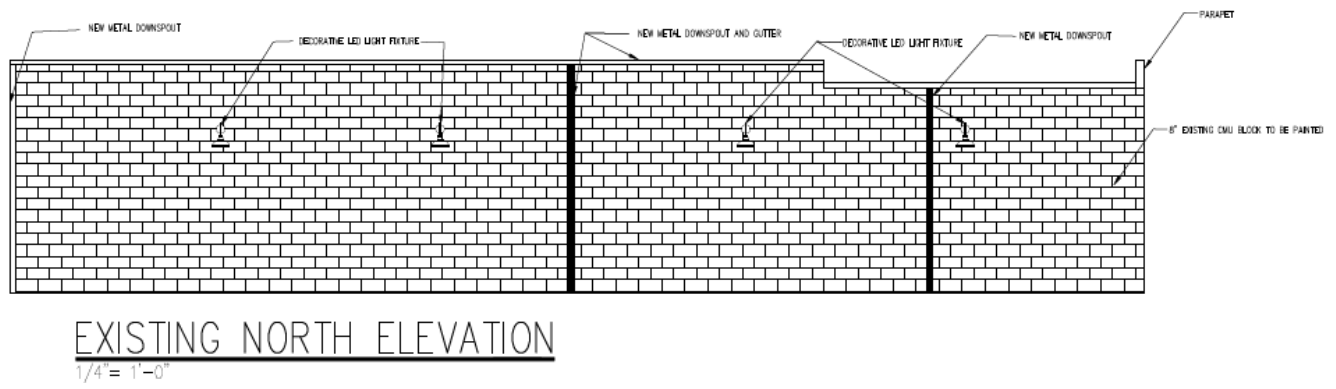
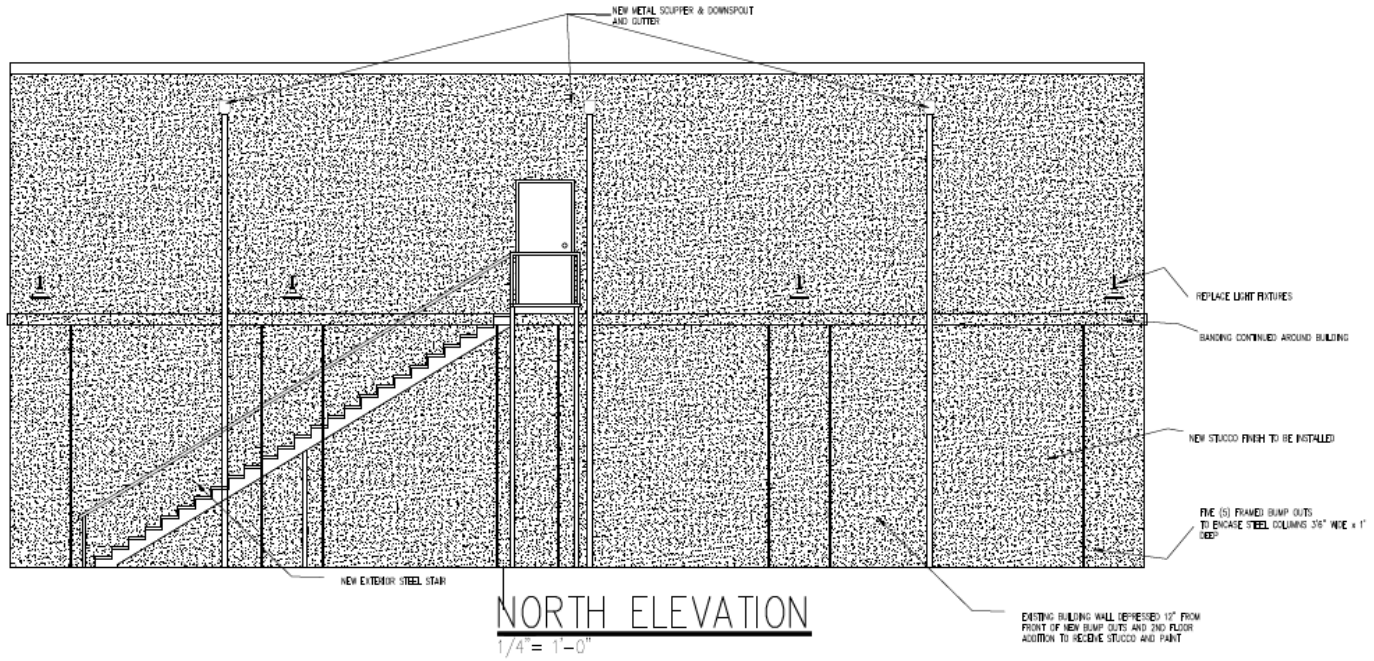


EXISTING EAST ELEVATION

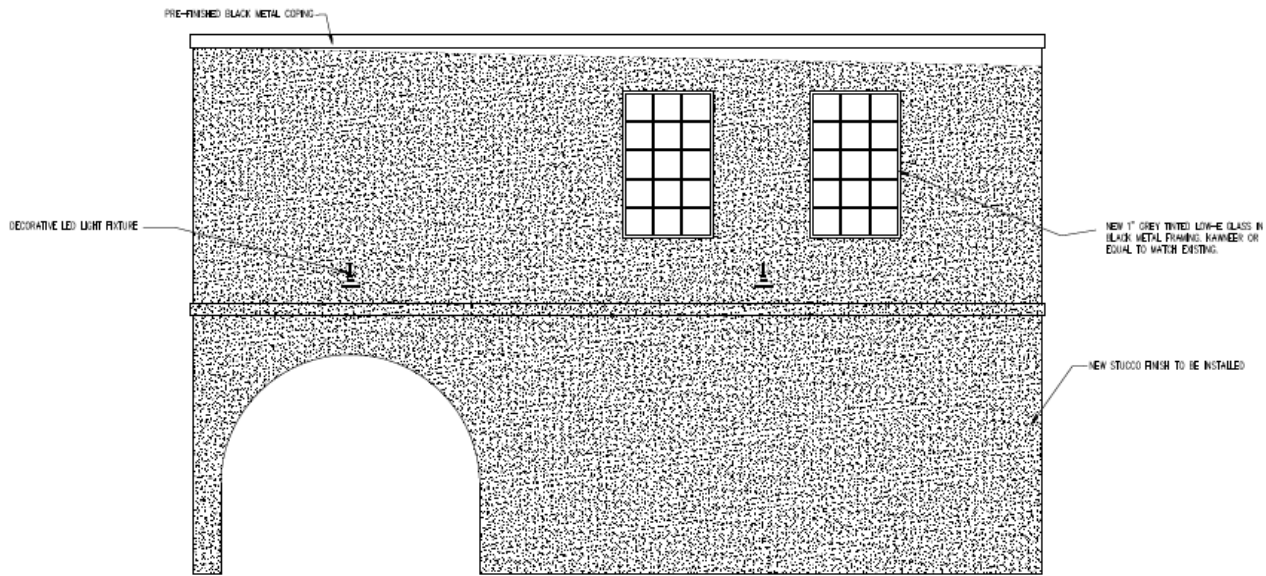
1/4" = 1'-0"

Docket No. 01-07-26 (15501 Madison)

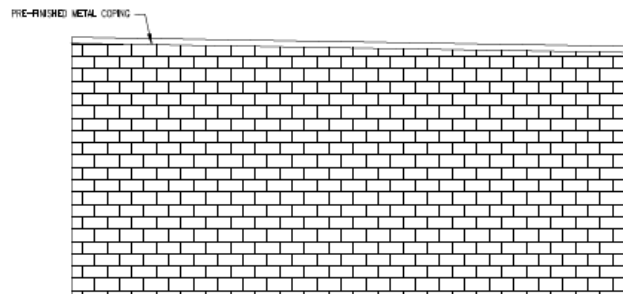




Docket No. 01-07-26 (15501 Madison)



WEST ELEVATION
1/4" = 1'-0"



EXISTING WEST ELEVATION
1/4" = 1'-0"



Docket No. 01-07-26 (15501 Madison)



MJM BUILDING STANDARDS INC.

A Project for:

VITAL PILATES ADDITION
15501 MADISON AVE.
LAKEWOOD OH 44107



No.	Description	Date
	Issued for All Drawings	1-20-2024
	Revised for All Drawings	2-18-2024

Project No.:
 Drawn By: JS
 Date: AS NOTED
 Scale:

SITE PLAN

Draw Number:
SP1.01

© 2024 MJM BUILDING STANDARDS INC. ALL RIGHTS RESERVED.



Docket No. 01-07-26 (15501 Madison)

Landscape Materials Board
Vital Pilates Addition – 15501 Madison Ave., Lakewood, Ohio

Dwarf Korean Lilac



Syringa meyeri 'Palibin'. Small ornamental tree with fragrant lavender flowers in spring. Typical height 8–10 ft.

Bobo Hydrangea



Hydrangea paniculata. Compact flowering shrub producing large white summer blooms.

Candytuft



Iberis sempervirens. Evergreen groundcover with dense foliage and white spring flowers.

English Lavender



Lavandula angustifolia. Fragrant perennial with purple flowers and drought tolerance.

Lily Turf



Liriope muscari. Grass-like evergreen border plant with purple flower spikes.

Boxwood Hedge



Buxus microphylla. Dense evergreen shrub commonly used for formal hedges.

Decorative Gravel



1–3 inch natural river rock decorative stone installed over landscape fabric.

Hardwood Mulch

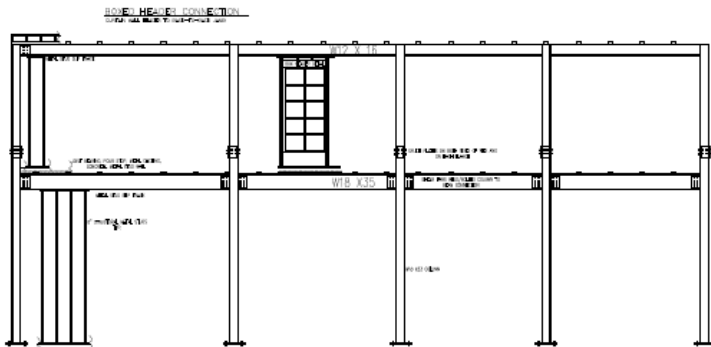
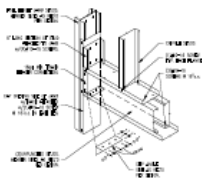


3 inch depth shredded hardwood mulch in planting beds.

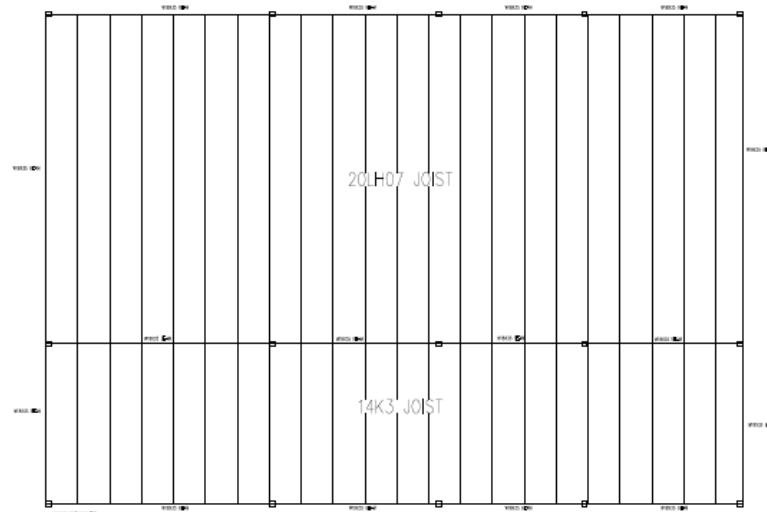
Installation Notes: Plants installed per ANSI A300 standards. Provide 3" depth shredded hardwood mulch in planting beds. Decorative stone installed over landscape fabric. Plant species suitable for USDA Hardiness Zones 5–7 (Northern Ohio).



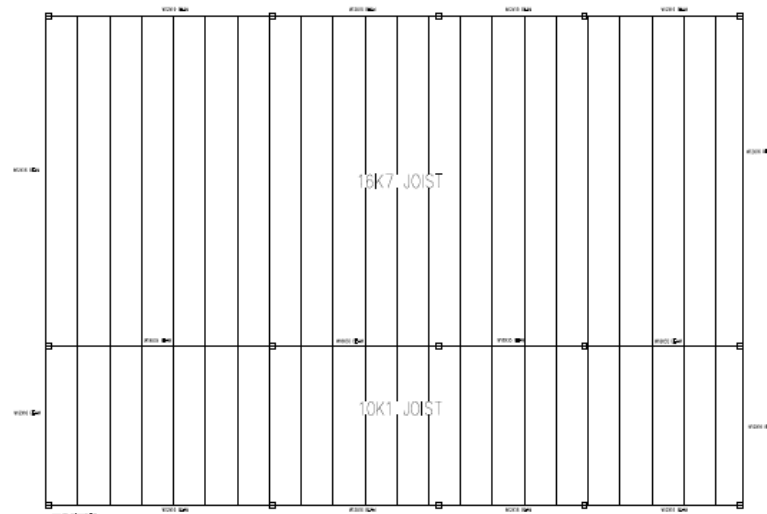
Docket No. 01-07-26 (15501 Madison)



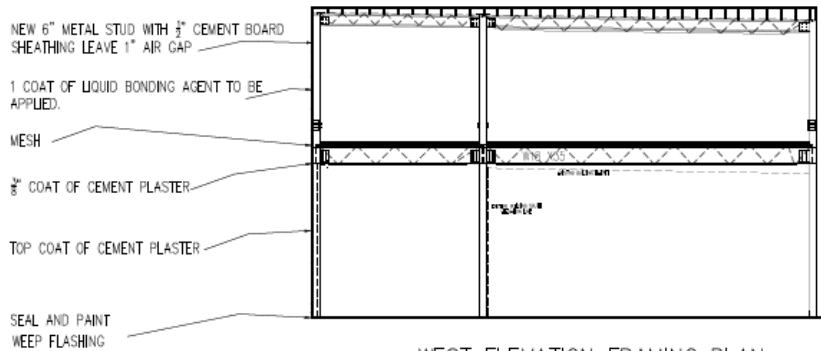
SOUTH ELEVATION FRAMING PLAN
3/16" = 1'-0"



2ND FLOOR FRAMING PLAN
3/16" = 1'-0"



ROOF FRAMING PLAN
3/16" = 1'-0"



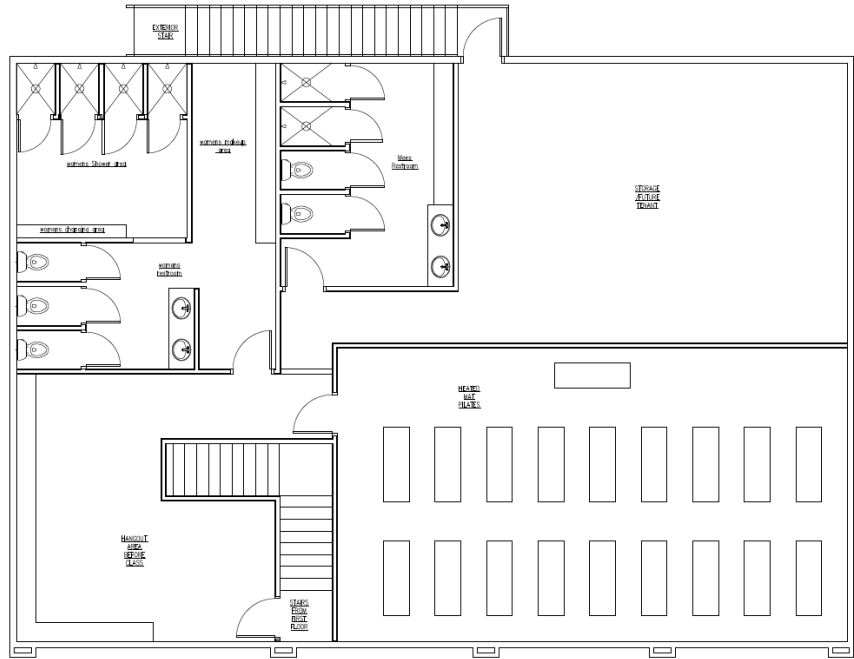
WEST ELEVATION FRAMING PLAN
3/16" = 1'-0"



Docket No. 01-07-26 (15501 Madison)



FIRST FLOOR PLAN
 $3/8" = 1'-0"$



SECOND FLOOR PLAN
 $3/8" = 1'-0"$



Docket No. 01-07-26 (15501 Madison)

STUCCO SUBMITTAL

Stucco Sand – clean washed plaster sand meeting ASTM C897 requirements
Stucco Mix Design

1. Scratch Coat

- 1 part Portland Cement
- 3 parts Plaster Sand
- Water added to workable consistency (typ. 4-6 gallons per 94lb bag of Portland Cement)

2. Brown Coat

- 1 part Portland Cement
- 4 parts Plaster Sand
- Water added to workable consistency (typ. 4-6 gallons per 94lb bag of Portland Cement)

Product Submittal Sheet

Technical Services: 888-457-3244, Engineering Services: 877-832-3206, Sales 800-543-7140

09.22.36 (Metal Lath)

Self-Furring Dimple Lath

1/4" Self-furring, dimpled, expanded steel plaster and stucco base

A self-furring expanded dimpled metal lath ideal for interior and exterior use over sheathing, masonry, and other solid surfaces as required per ASTM C847, ASTM C1780, ASTM C1063. The 1/4" dimpled furring allows for more thorough plaster or stucco embedment into and behind the lath for superior mechanical bonding.

The dimple-patterned, self-furring plaster base is manufactured with evenly spaced indentations that hold the metal lath 1/4" away from the surface to be plastered. This results in an even and thorough embedment of the plaster.

The dimples are spaced every 4"-6" over the rectangular sheet. This lath is ideal for manufactured stone installations per ASTM C1780 or typical plaster applications per ASTM C1063.

2.5# and 3.4# self-furring dimple lath is available with G90 coating with a special order and lead time. Self-furring dimple lath is also available with a 60-Minute Grade-D asphalt paper-backing (APB) weather resistant barrier.

Product Data & Ordering Information:

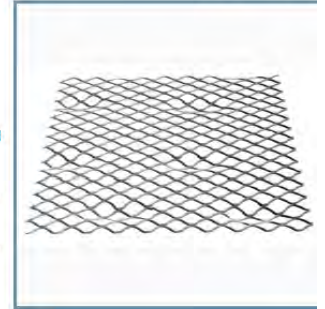
Material: G60 Galvanized Steel

Packaged: 25 bundles or 250 pieces per pallet

Product Code	Wt. per Sq. Yd.	Sheet Size	Pcs./Bdl.	Yds./Bdl.	Yds./Pallet
LAD	2.5 lbs.	27" x 97"	10	20	500
LAD	3.4 lbs.	27" x 97"	10	20	500

Code Approvals & Performance Standards

- ASTM A653 Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process
- ASTM C847 Standard Specification for Metal Lath
- ASTM C1063 Standard Specification for Installation of Lathing and Furring to Receive Interior and Exterior Portland Cement-Based Plaster
- ASTM C1780 Standard Practice for Installation Methods for Cement-based Adhered Masonry Veneer
- Intertek CCRP-0204 Metal Lath - Code Compliance Research Report
- SDS For ASTM A653 Steel Finishing Products For Interior Finishing and Exterior Finishing



Docket No. 01-07-26 (15501 Madison)

Dimensions: H 8.5 in, W 10 in, D 10 in



- Sconce Type**
Lantern
[See Similar Items](#)
- Number of Lights**
1 Light
[See Similar Items](#)
- Power Source**
Hardwired
[See Similar Items](#)
- Light Direction**
Down
[See Similar Items](#)
- Damp/Wet Rating**
Wet Rated
[See Similar Items](#)
- Fixture Material**
Aluminum
[See Similar Items](#)
- Style**
Modern
[See Similar Items](#)
- Durability**
Weather Resistant
[See Similar Items](#)

Dimensions

Mounting Plate Height (in.)	5	Mounting Plate Width (in.)	5
Product Depth (in.)	10 in	Product Height (in.)	8.5 in
Product Width (in.)	10 in		

Details

Compatible Bulb Type	Incandescent, LED	Damp/Wet Rating	Wet Rated
Durability	Weather Resistant	Exterior Lighting Product Type	Sconce
Fixture Color/Finish	Black	Fixture Material	Aluminum
Glass Type	Decorative Glass	Included	Hardware Included
Indoor/Outdoor	Outdoor	Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included	Light Direction	Down
Max. Bulb Wattage (W)	75	Number of Lights	1 Light
Outdoor Lighting Features	No additional features	Package Quantity	1
Power Source	Hardwired	Product Size	Small
Product Weight (lb.)	1.6 lb	Recommended Light Bulb Shape Code	A19
Returnable	90-Day	Sconce Type	Lantern
Shade Material	Glass	Shape	Cone
Style	Modern	Voltage Type	Line Voltage

Designer Color Collection ⓘ

SW 9617

Beachcomber

FULL DETAILS ^

LRV: 55 ⓘ

RGB: 208 / 193 / 172

Hex Value: #D0C1AC

Available in: Interior/Exterior

Color Collections: Designer Color Collection (Warm + Welcoming)

Color Family(s): Neutral



Docket No. 01-07-26 (15501 Madison)

Features

- Trifab® VG 451/451T is 4-1/2" deep with a 2" sightline
- Front, Center, Back or Multi-Plane glass applications
- Flush glazed from either the inside or outside
- Screw Spline, Shear Block, Stick or Type-B fabrication
- SSG / Weatherseal option
- Isolock® lanced and debridged thermal break option with Trifab® VG 451T
- Infill options up to 1-1/8" thickness
- Permanodic® anodized finishes in 7 choices
- Painted finishes in standard and custom choices

Optional Features

- High performance interlocking flashing
- Acoustical rating per AAMA 1801 and ASTM E 1425
- Project specific U-factors (See Thermal Charts)

Product Applications

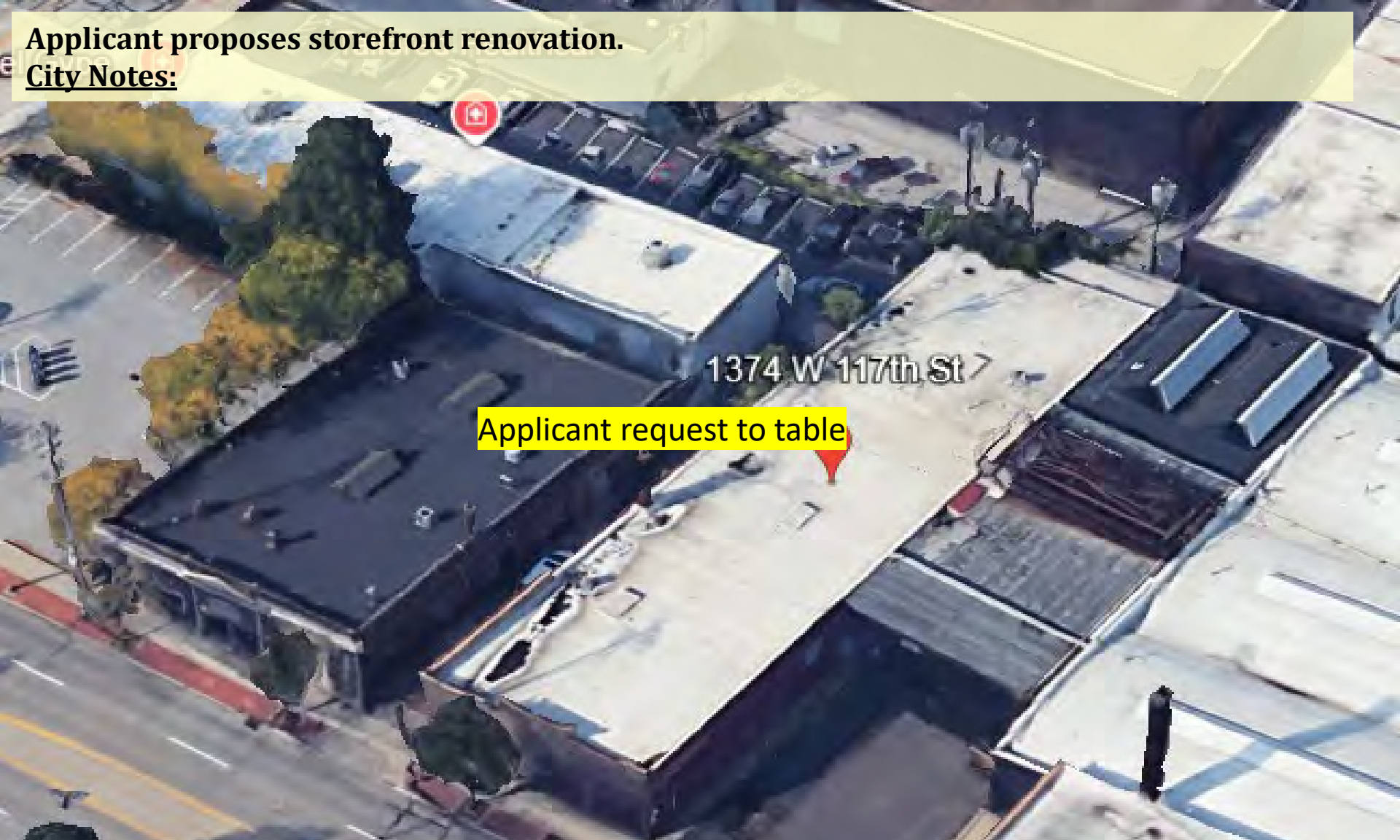
- Storefront, Ribbon Window or Punched Openings
- Single-span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be incorporated
- Kawneer Sealair® windows or GLASSvent® are easily incorporated



Docket No. 01-07-26 (15501 Madison)

Applicant proposes storefront renovation.

City Notes:



Docket No. 02-16-26 (1374 W. 117th)

**Storefront Renovation
Jeffrey Foster**



Applicant proposes new single family residence on a corner lot.

City Notes:



Docket No. 02-18-26 (1337 Edanola)

**New Single Family Home Construction
Timothy Bennett**



front elevation

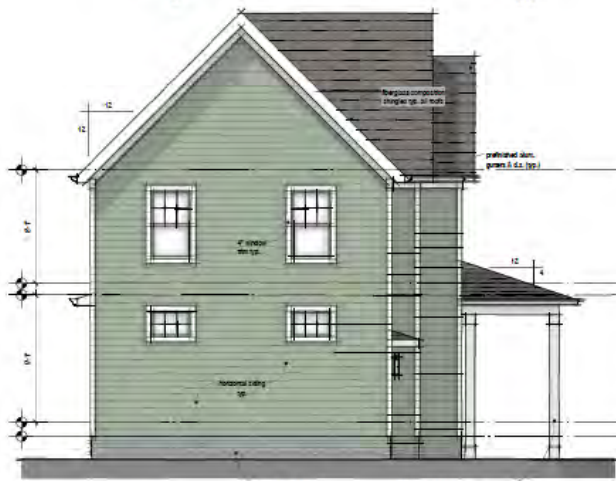
NOTE: actual color may vary from on-screen representation. Please view a physical color swatch or material sample to confirm the color choice prior to building.

0 25



right side elevation

0 25



rear elevation

0 25



left side elevation

0 25

Updated – 3/5/26



Docket No. 02-18-26 (1337 Edanola)



front view

NOTE:
 actual color may vary from on-screen representation.
 Please view a physical color swatch or material sample
 to confirm the color choice prior to building.
 perspective views for design only



right side view



rear view



left side view

Step 1: Planning
 Step 2: Design
 Step 3: Construction
 Step 4: Inspection
 Step 5: Completion
 Step 6: Maintenance
 Step 7: Refurbishment
 Copyright © 2018 Bennett Builders
 All rights reserved. No part of this document may be reproduced without the written permission of Bennett Builders.



eren/miller residence
 edanola & riverside, lakewood ohio

Issued: 12/08/22
 Project No.: 2550
 Project Name: Eren/Miller Residence
 Project Address: 1337 Edanola Rd, Lakewood, OH 44122
 Project Status: Pending
 Project Type: Residential
 Project Value: \$1,200,000
 Project Start: 03/2023
 Project End: 09/2023
 Project Manager: [Name]
 Project Designer: [Name]
 Project Architect: [Name]

Updated – 3/5/26



Docket No. 02-18-26 (1337 Edanola)



front view

NOTE:
actual color may vary from on-screen representation.
Please view a physical color swatch or material sample
to confirm the color choice prior to building.
perspective views for design only



right side view



rear view



left side view

Sheet 1 - Elevation
Sheet 2 - Elevation
Sheet 3 - Elevation
Sheet 4 - Elevation
Sheet 5 - Elevation
Sheet 6 - Elevation
Sheet 7 - Elevation
Sheet 8 - Elevation
Sheet 9 - Elevation
Sheet 10 - Elevation
Sheet 11 - Elevation
Sheet 12 - Elevation
Sheet 13 - Elevation
Sheet 14 - Elevation
Sheet 15 - Elevation
Sheet 16 - Elevation
Sheet 17 - Elevation
Sheet 18 - Elevation
Sheet 19 - Elevation
Sheet 20 - Elevation
Sheet 21 - Elevation
Sheet 22 - Elevation
Sheet 23 - Elevation
Sheet 24 - Elevation
Sheet 25 - Elevation
Sheet 26 - Elevation
Sheet 27 - Elevation
Sheet 28 - Elevation
Sheet 29 - Elevation
Sheet 30 - Elevation
Sheet 31 - Elevation
Sheet 32 - Elevation
Sheet 33 - Elevation
Sheet 34 - Elevation
Sheet 35 - Elevation
Sheet 36 - Elevation
Sheet 37 - Elevation
Sheet 38 - Elevation
Sheet 39 - Elevation
Sheet 40 - Elevation
Sheet 41 - Elevation
Sheet 42 - Elevation
Sheet 43 - Elevation
Sheet 44 - Elevation
Sheet 45 - Elevation
Sheet 46 - Elevation
Sheet 47 - Elevation
Sheet 48 - Elevation
Sheet 49 - Elevation
Sheet 50 - Elevation
Sheet 51 - Elevation
Sheet 52 - Elevation
Sheet 53 - Elevation
Sheet 54 - Elevation
Sheet 55 - Elevation
Sheet 56 - Elevation
Sheet 57 - Elevation
Sheet 58 - Elevation
Sheet 59 - Elevation
Sheet 60 - Elevation
Sheet 61 - Elevation
Sheet 62 - Elevation
Sheet 63 - Elevation
Sheet 64 - Elevation
Sheet 65 - Elevation
Sheet 66 - Elevation
Sheet 67 - Elevation
Sheet 68 - Elevation
Sheet 69 - Elevation
Sheet 70 - Elevation
Sheet 71 - Elevation
Sheet 72 - Elevation
Sheet 73 - Elevation
Sheet 74 - Elevation
Sheet 75 - Elevation
Sheet 76 - Elevation
Sheet 77 - Elevation
Sheet 78 - Elevation
Sheet 79 - Elevation
Sheet 80 - Elevation
Sheet 81 - Elevation
Sheet 82 - Elevation
Sheet 83 - Elevation
Sheet 84 - Elevation
Sheet 85 - Elevation
Sheet 86 - Elevation
Sheet 87 - Elevation
Sheet 88 - Elevation
Sheet 89 - Elevation
Sheet 90 - Elevation
Sheet 91 - Elevation
Sheet 92 - Elevation
Sheet 93 - Elevation
Sheet 94 - Elevation
Sheet 95 - Elevation
Sheet 96 - Elevation
Sheet 97 - Elevation
Sheet 98 - Elevation
Sheet 99 - Elevation
Sheet 100 - Elevation



eren/miller residence
edanola & rivetside, lakewood ohio

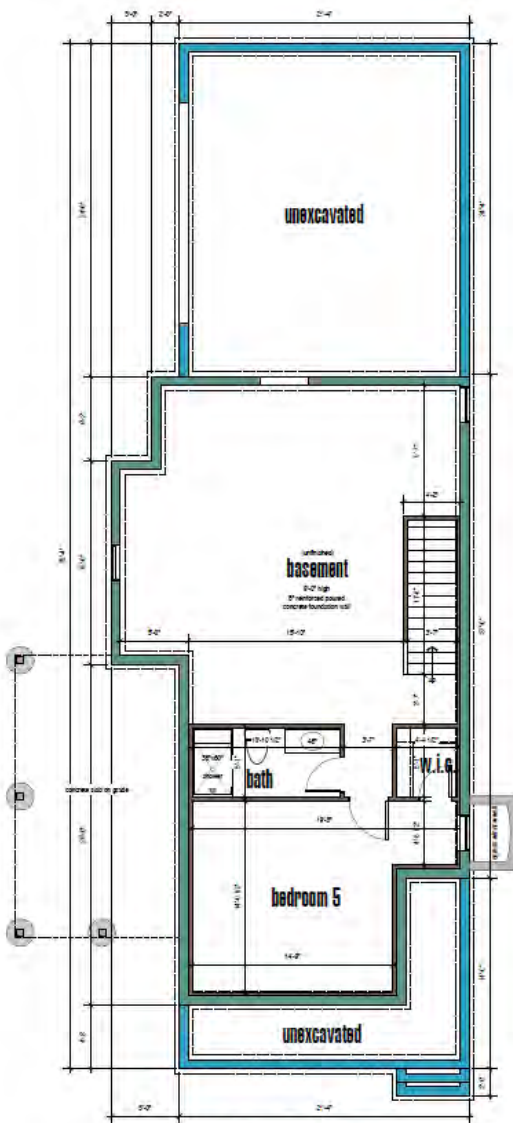
Issue	Revisions
1	Initial
2	Revisions
3	Revisions
4	Revisions
5	Revisions
6	Revisions
7	Revisions
8	Revisions
9	Revisions
10	Revisions
11	Revisions
12	Revisions
13	Revisions
14	Revisions
15	Revisions
16	Revisions
17	Revisions
18	Revisions
19	Revisions
20	Revisions
21	Revisions
22	Revisions
23	Revisions
24	Revisions
25	Revisions
26	Revisions
27	Revisions
28	Revisions
29	Revisions
30	Revisions
31	Revisions
32	Revisions
33	Revisions
34	Revisions
35	Revisions
36	Revisions
37	Revisions
38	Revisions
39	Revisions
40	Revisions
41	Revisions
42	Revisions
43	Revisions
44	Revisions
45	Revisions
46	Revisions
47	Revisions
48	Revisions
49	Revisions
50	Revisions
51	Revisions
52	Revisions
53	Revisions
54	Revisions
55	Revisions
56	Revisions
57	Revisions
58	Revisions
59	Revisions
60	Revisions
61	Revisions
62	Revisions
63	Revisions
64	Revisions
65	Revisions
66	Revisions
67	Revisions
68	Revisions
69	Revisions
70	Revisions
71	Revisions
72	Revisions
73	Revisions
74	Revisions
75	Revisions
76	Revisions
77	Revisions
78	Revisions
79	Revisions
80	Revisions
81	Revisions
82	Revisions
83	Revisions
84	Revisions
85	Revisions
86	Revisions
87	Revisions
88	Revisions
89	Revisions
90	Revisions
91	Revisions
92	Revisions
93	Revisions
94	Revisions
95	Revisions
96	Revisions
97	Revisions
98	Revisions
99	Revisions
100	Revisions

2550

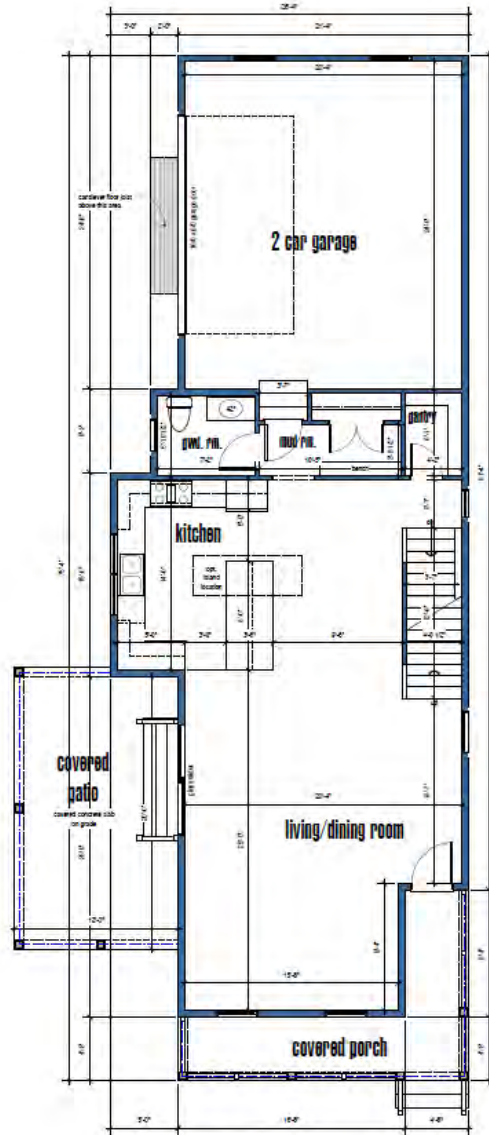
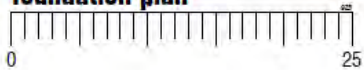
Updated – 3/5/26



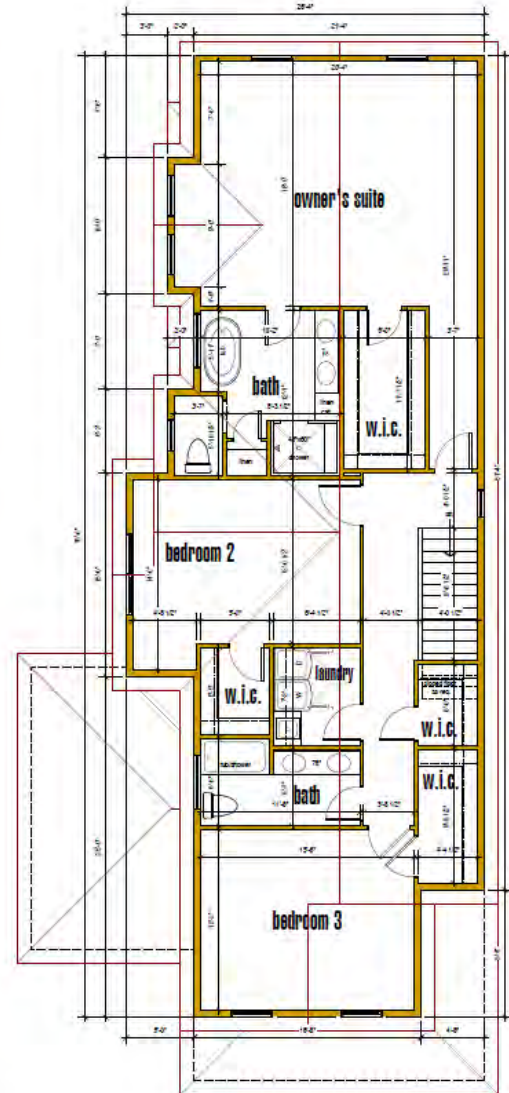
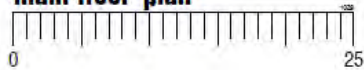
Docket No. 02-18-26 (1337 Edanola)



foundation plan



main floor plan



upper floor plan

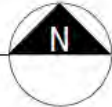


Docket No. 02-18-26 (1337 Edanola)



landscape plan

scale 1/8" = 1'-0"



landscape legend:	
G	grass
C	concrete
M	mulch / flowerbed
P	pavers
A	arborvitae (<i>Thuja occidentalis</i>)
B	boxwood shrub (<i>Buxus sempervirens</i>)
R	river birch (<i>Betula nigra</i>)

DATE: 12/20/25
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 SCALE: 1/8" = 1'-0"
 SHEET NO. 6 OF 6



eren/miller residence
 edanola & riverside, lakewood ohio

ISSUE: 12/20/25
 2550

6



Docket No. 02-18-26 (1337 Edanola)

Primary Building and Garage Orientation Justification

In reviewing the surrounding neighborhood, we identified more than 50 comparable corner-lot configurations within this area of west Lakewood alone, with corresponding maps and addresses included below. Both properties directly adjacent to the site exhibit similar orientation patterns, with the primary façades facing Edanola and Mathews, respectively, and garages oriented toward Riverside. In addition, several homes on Edgewater Drive at intersections of Cliffdale, Sylvan, Leedale, Rosalie, and Abbieshire (15107 Edgewater Dr, 15431 Edgewater Dr approved by ARB), that closely align with the proposed project, which are also included below for reference. These are included as a sample to justify compatibility and are not comprehensive. There are certainly more examples.

A rear-facing garage was evaluated but cannot be reasonably accommodated due to existing site conditions that create a practical difficulty unique to the property. The swing generally advised and required to pull into a side-load garage is 25' to 30'. The existing driveway is approximately 10' from the rear of our proposed garage, and the the maximum distance from the rear property line to the garage face would be approximately 31 feet, while the adjacent property's driveway extends approximately 23 feet from the shared property line and is oriented perpendicular to the proposed garage face.

This configuration would result in opposing driveways with insufficient maneuvering clearance, creating ongoing safety concerns related to vehicle ingress and egress, particularly during backing movements. These conditions are further intensified by the neighboring property's regular use of its driveway for vehicle and RV parking, which would intermittently obstruct access. The current proposal allows the minimum necessary deviation to alleviate these constraints, improves site circulation and safety, and is compatible with surrounding development patterns and common utilizations of corner lots in Lakewood.



Map of Corner Lots with Similar Layouts



Docket No. 02-18-26 (1337 Edanola)

**1346 MATHEWS AVE
LAKEWOOD, OH. 44107**



15107 Edgewater Dr



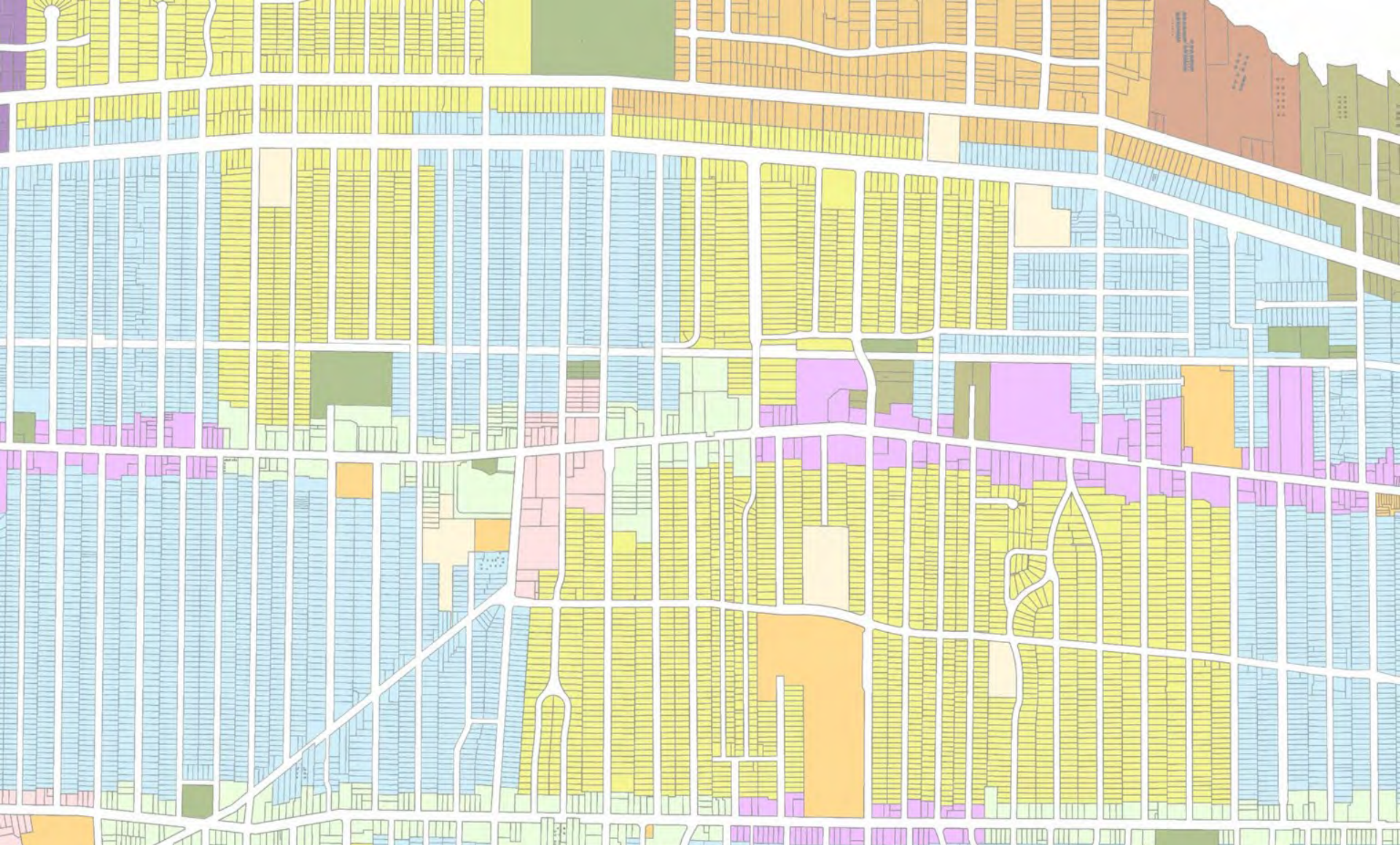
Docket No. 02-18-26 (1337 Edanola)

15431 Edgewater Dr



Docket No. 02-18-26 (1337 Edanola)





Architectural Board of Review

Return for Modifications – March 2026

Applicant proposes alterations to previously approved BBS21-000185.

City Notes:



Docket No. 11-150-21 (17801 Detroit)

**Return for Modifications – Beck Center
David Craun**

SCALE: 1" = 40'-0"
0' 20' 40' 80'



EXISTING GARDEN

NEW PLAZA AREA
(ENLARGEMENT ON NEXT
PAGE)

REALIGN DRIVE

BUS DROP-OFF

EXISTING PLANTING

ADA AND ART DROP-OFF



Docket No. 11-150-21 (17801 Detroit)



CONCRETE BENCHES
PAVERS DEFINE
EVENT / PEDESTRIAN
SPACE
PRIMARY DROP-
OFF AREA WITH
BOLLARDS
SLATE CHALK WALL

IDENTITY ELEMENT
EVENT LAWN
STAGE IN HILLSIDE



Docket No. 11-150-21 (17801 Detroit)



Docket No. 11-150-21 (17801 Detroit)

TREES



AR - BOWHALL RED MAPLE



BN - RIVER BIRCH



CB - HORNBEAM



CV - WHITE FRINGETREE



GTI - HONEY LOCUST *

GRASSES



AND - RED OCTOBER BIG BLUESTEM



PAN - PRAIRIE SKY SWITCHGRASS



PVR - RED RAYS SWITCHGRASS

SHRUBS



BPH - BUTTERFLY BUSH



CAF - ARCTIC FIRE DOGWOOD *



HS - ROSE OF SHARON



HY - LITTLE LIME HYDRANGEA



IC - BLACK BEAUTY HOLLY



IV & IVJ - WINTERBERRY



IT - LITTLE HENRY SWEETPIRE *



JC - BLUE POINT JUNIPER



JGO - GREY OWL JUNIPER

PERENNIALS



ACG - CORONATION GOLD YARROW



AMP - PAPRIKA YARROW



AMS - THREADLEAF BLUESTAR



COR - COREOPSIS



GER - ROZANNE GERANIUM

DERUlandscape architecture
872 Huron Road E, #411 Cleveland, OH 44115 | 216.466.4355

* SPECIES IN EXISTING LANDSCAPE

DERUlandscape architecture
872 Huron Road E, #411 Cleveland, OH 44115 | 216.466.4355

* SPECIES IN EXISTING LANDSCAPE

PLANT PALETTE
BECK CENTER FOR THE ARTS | LAKEWOOD, OHIO



Docket No. 11-150-21 (17801 Detroit)



R-7907 Steel Bollard



Optional: Custom Color



Base Bid: Exposed Aggregate Concrete



Alternate: Stamped Concrete



GER - Geranium Biokovo



HOS - Hosta Guacamole

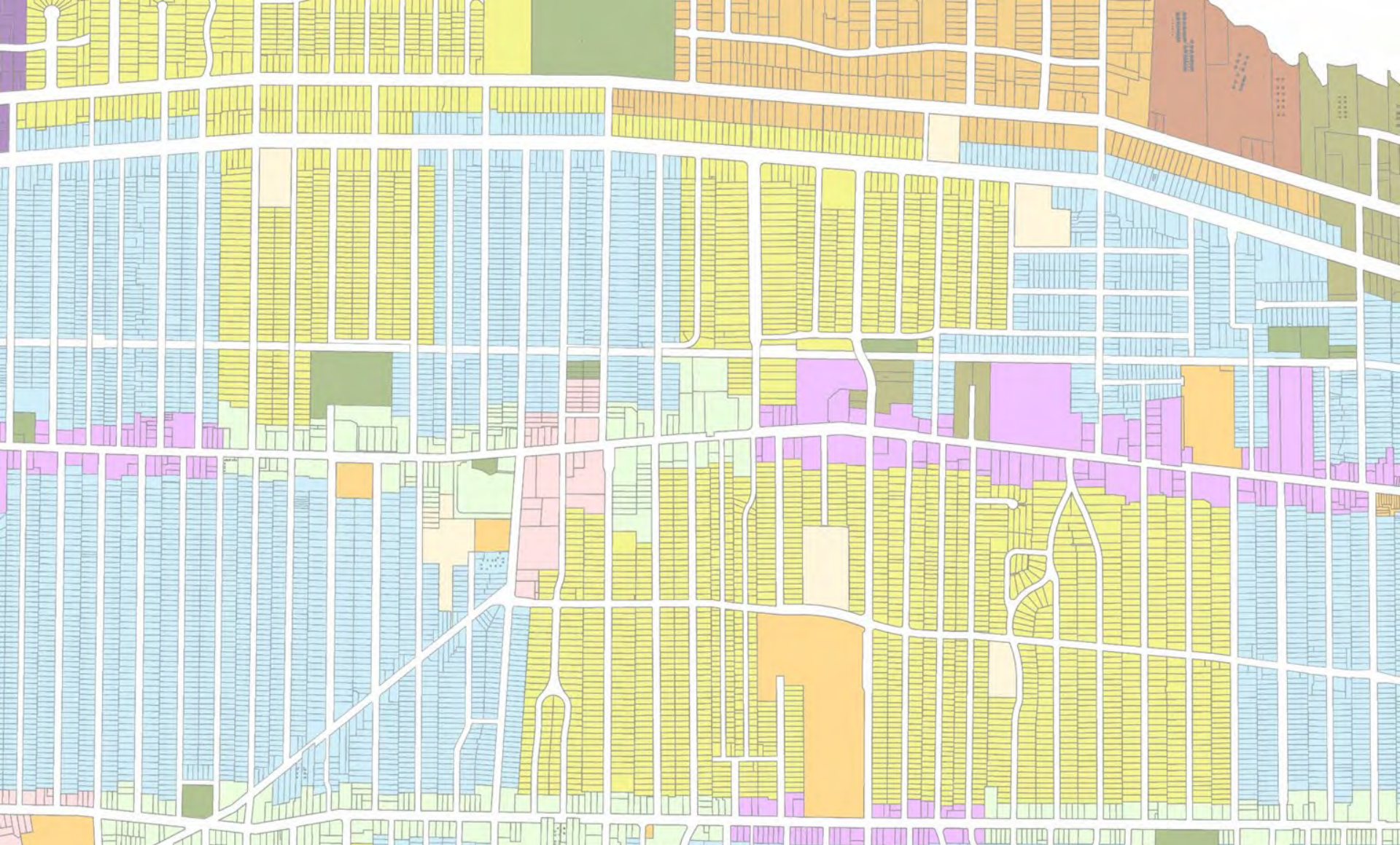


HEU - Heuchera Fire Alarm



BUX - Boxwood Newgen Independence





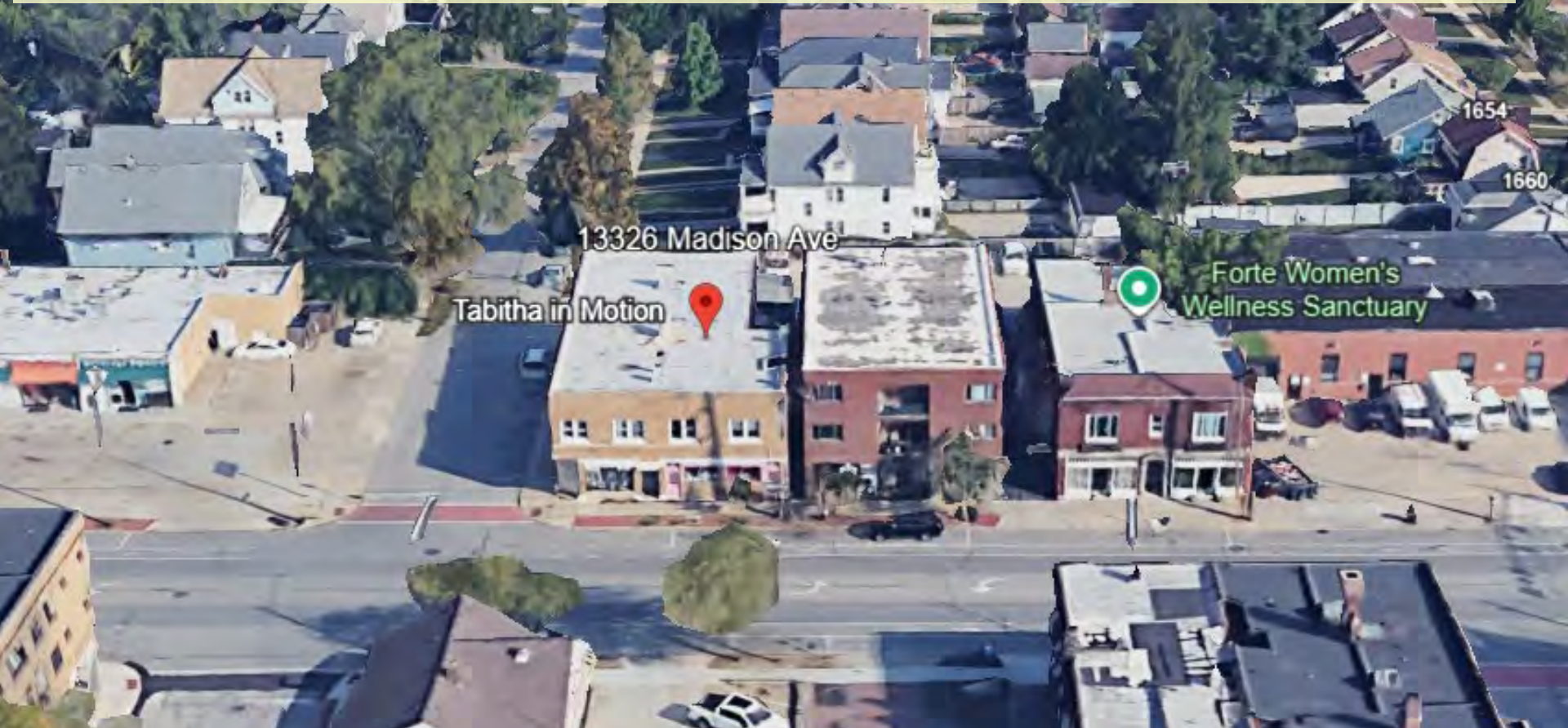
Architectural Board of Review

Sign Review – March 2026

Applicant proposes signage.

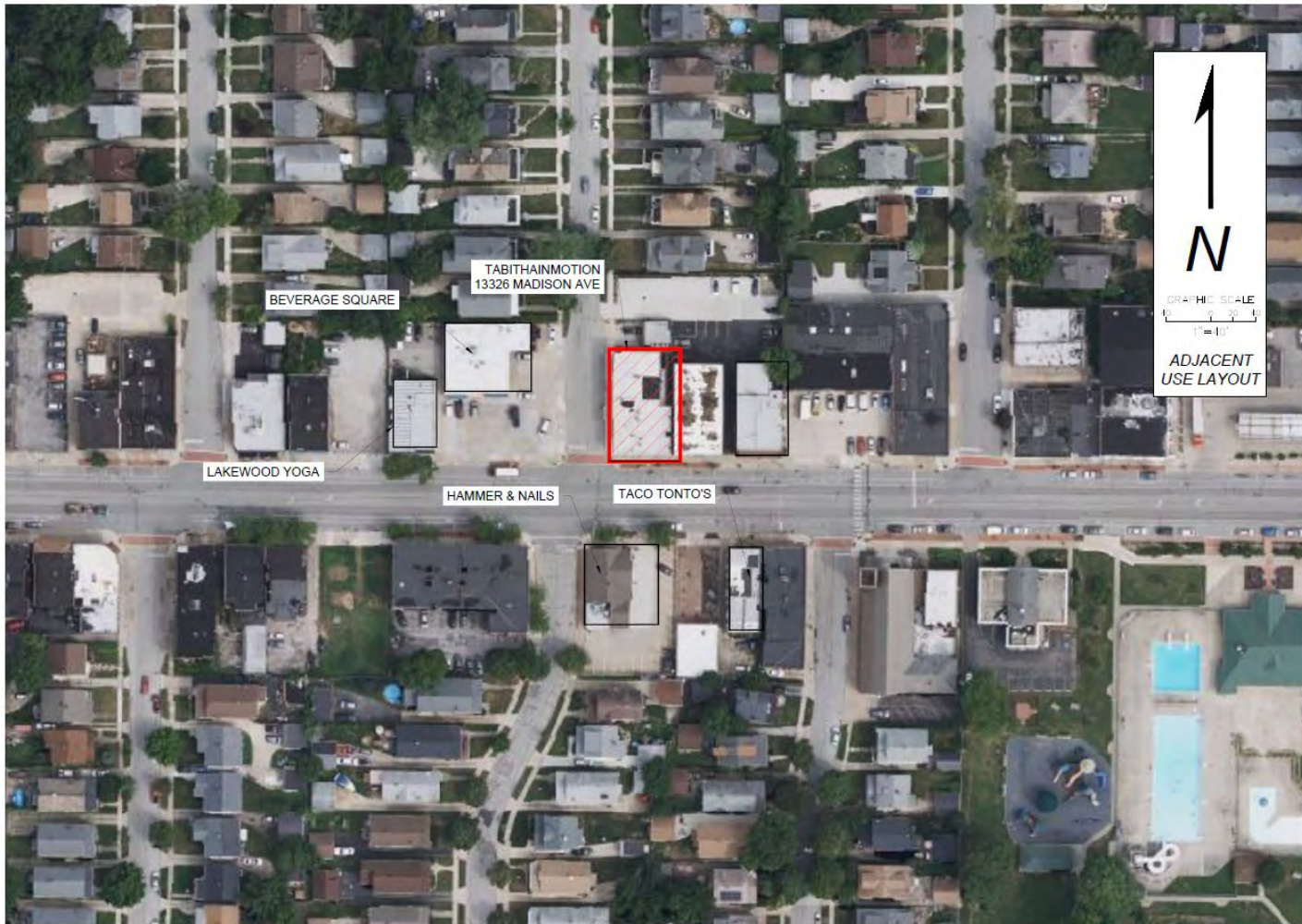
City Notes:

- ❑ Applicant proposes wall sign (10.54) and illuminated blade sign (2.64 SF)
- ❑ Max allowed square footage: 40.5 SF total (27' storefront)
- ❑ Total proposed square footage: 13.18 SF



Docket No. 03-20-26 (13326 Madison)

Wall Sign – Tabitha in Motion
Tabitha Miner



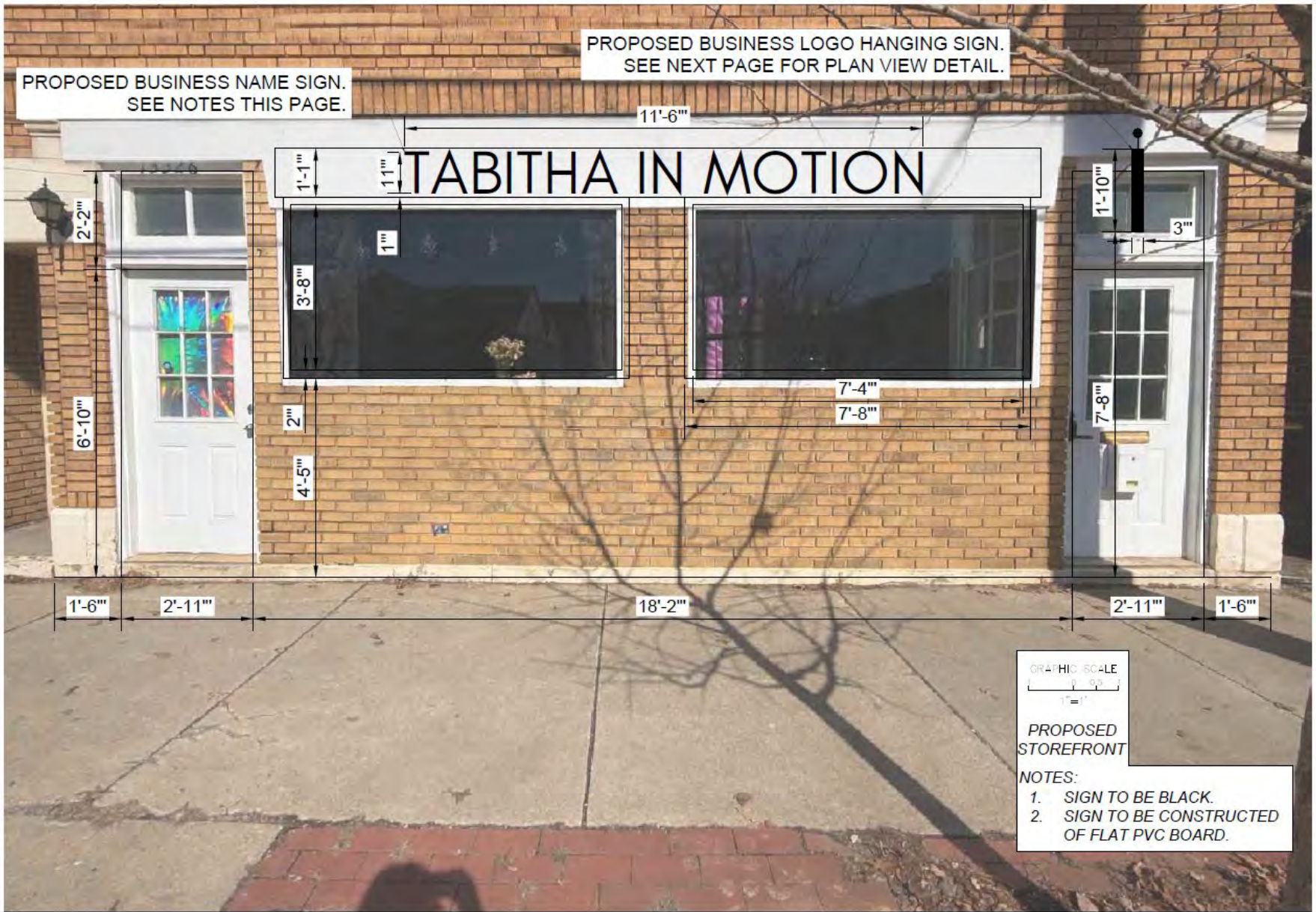
Docket No. 03-20-26 (13326 Madison)



Docket No. 03-20-26 (13326 Madison)

PROPOSED BUSINESS LOGO HANGING SIGN.
SEE NEXT PAGE FOR PLAN VIEW DETAIL.

PROPOSED BUSINESS NAME SIGN.
SEE NOTES THIS PAGE.



11'-6"

TABITHA IN MOTION

1'-1"

1'-1"

3'-8"

1"

1'-10"

3"

7'-8"

7'-4"

7'-8"

2"

4'-5"

2'-2"

6'-10"

1'-6"

2'-11"

18'-2"

2'-11"

1'-6"

GRAPHIC SCALE
1"=1'

PROPOSED
STOREFRONT

NOTES:

1. SIGN TO BE BLACK.
2. SIGN TO BE CONSTRUCTED OF FLAT PVC BOARD.



Docket No. 03-20-26 (13326 Madison)



GRAPHIC SCALE
1" = 11"
PROPOSED
HANGING
SIGN
NOTES:
1. SIGN IS AS SHOWN.
2. SIGN TO BE ILLUMINATED.



Docket No. 03-20-26 (13326 Madison)

Applicant proposes signage.

City Notes:

- ❑ Applicant proposes blade (6.2 SF) and window signage (39.7 SF total)
- ❑ Max allowed square footage: 51 SF total (34' storefront width), **18.87 SF window**
- ❑ Total proposed square footage: 45.9 SF



Docket No. 03-21-26 (13381 Madison)

**New Signage – Cleveland Curiosities
Shawn Warren**



Current location / NEW LOCATION



Building as is



Docket No. 03-21-26 (13381 Madison)



Scroll sign 38" x 23.5" color print 2 sides on 1/4" Maxx Metal
12.4 total sq ft both sides

Store Front 13' x 34' 442 sq
Minus middle door to 2nd floor

1 cut vinyl graphic logo & hours
for door 16" x 16.5" 1.7 sq ft

2 cut vinyl graphic logos for windows 31" x 79" 17 sq each = 38 sq ft Total 39.7



door window 21" x 57" 8.3 sq x 2
16.6 total

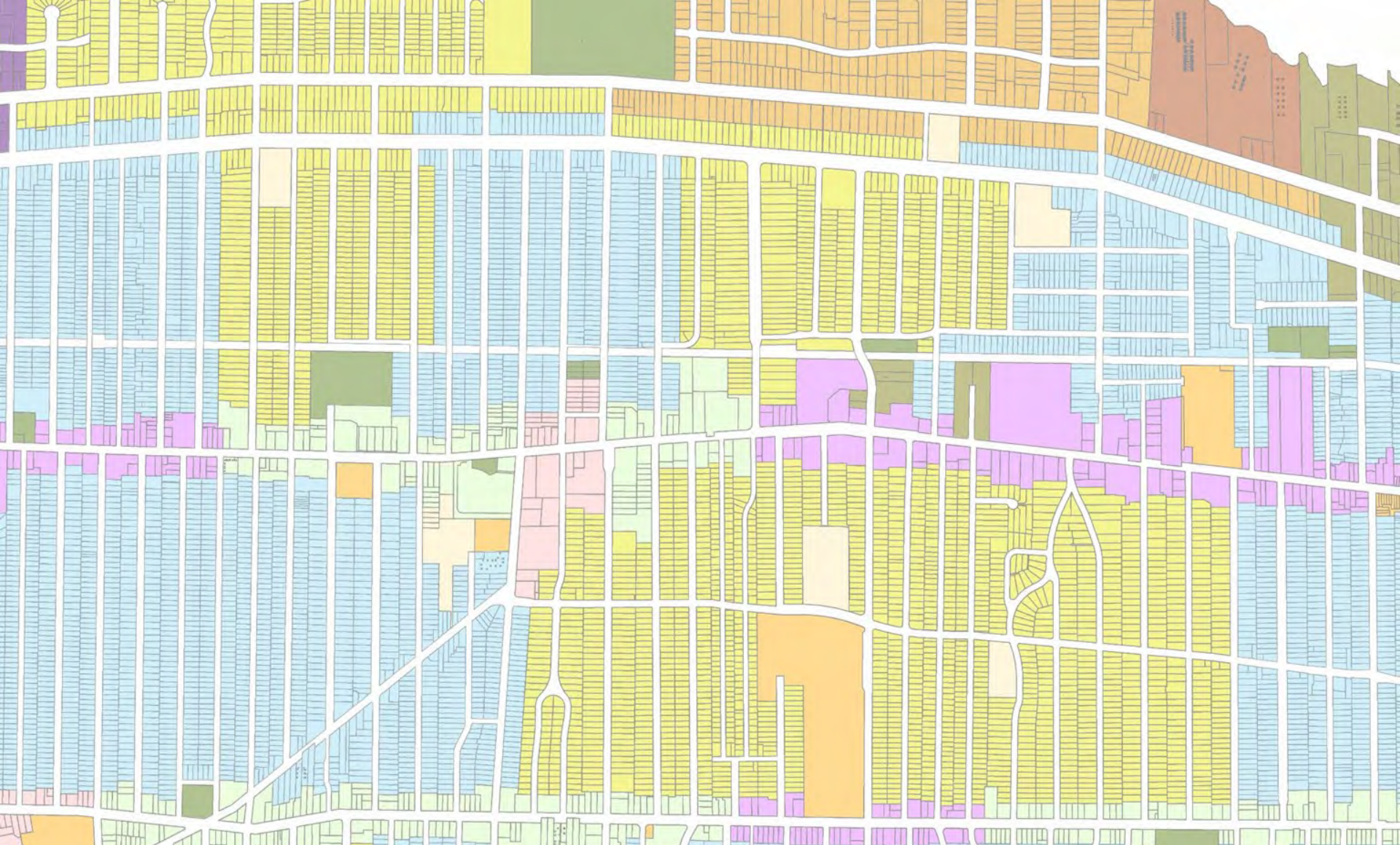


*Black is window area

windows 60" x 83" 34.6sq x 2 69.2 sq
48" x 60" 20 sq x 2 40 sq
door window 21" x 57" 8.3 sq x 2 16.6 sq
125.6 total sq ft



Docket No. 03-21-26 (13381 Madison)



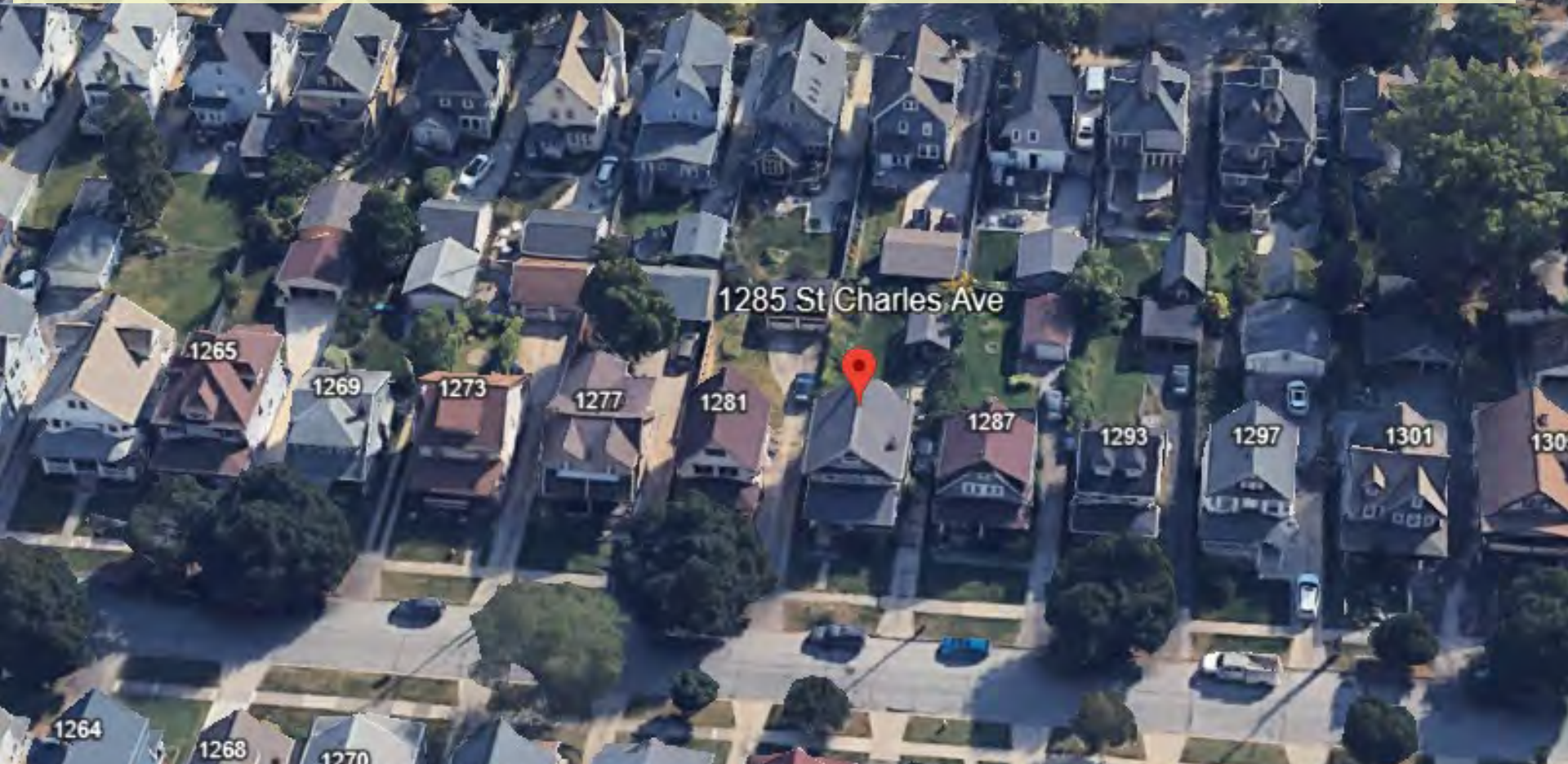
Architectural Board of Review

March 2026

Applicant proposes alteration to front façade of a single family home.

City Notes:

- Column to be built this will have to be custom built on site with primed 1x10 and 1x4 lumber, painted with exterior Sherwin Williams paint to match existing column.



Docket No. 03-25-26 (1285 St. Charles)

**Front Façade Alteration – Residential
Imad Nader**

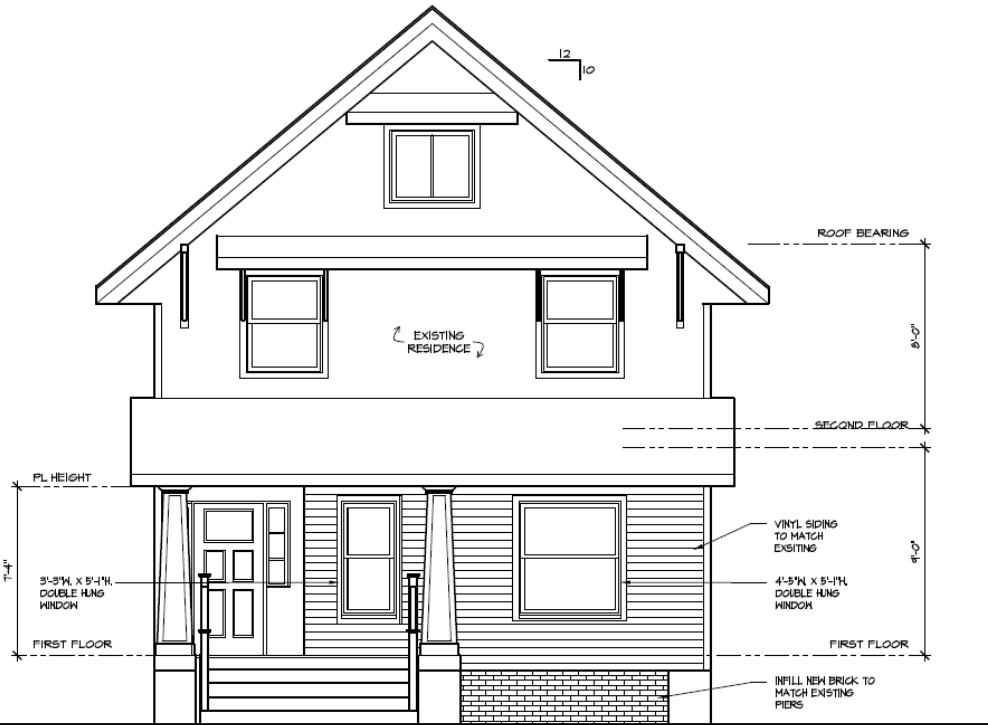


Docket No. 03-25-26 (1285 St. Charles)

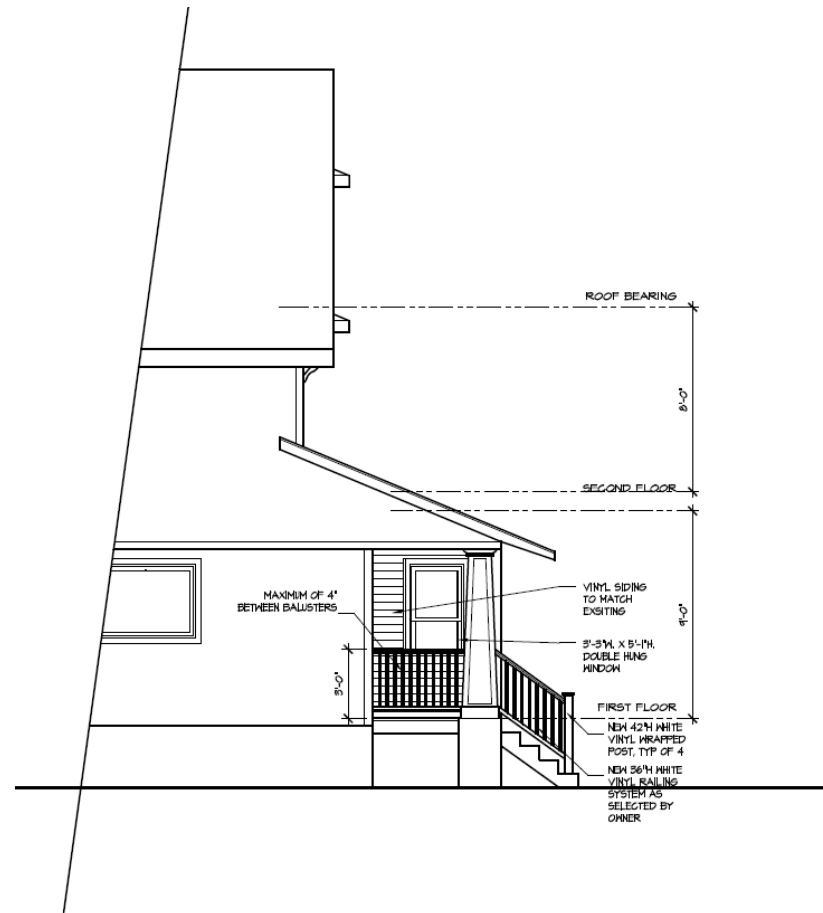


Docket No. 03-25-26 (1285 St. Charles)





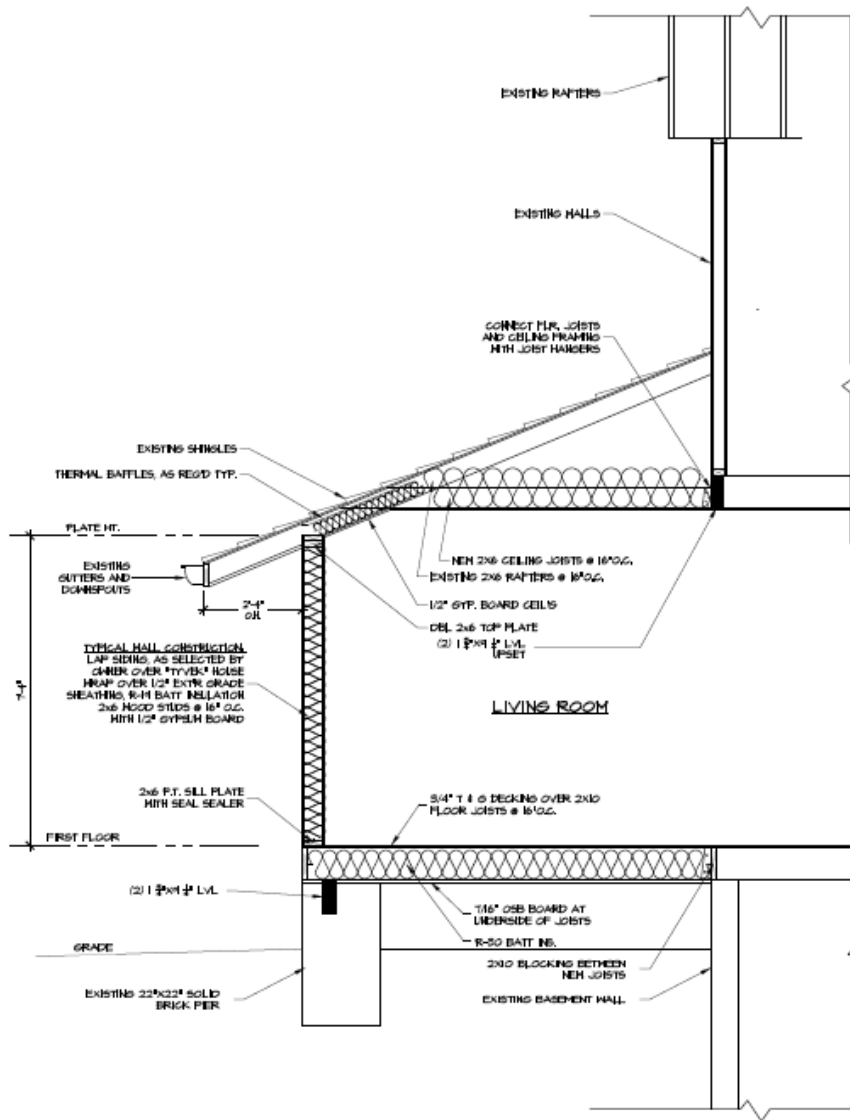
WEST ELEVATION



NORTH ELEVATION



Docket No. 03-25-26 (1285 St. Charles)

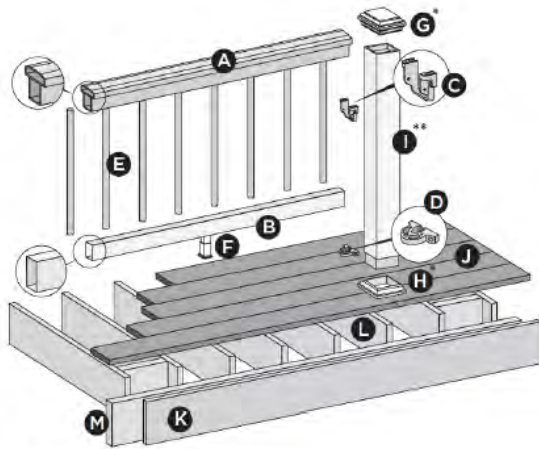


BUILDING SECTION

SCALE: 1/2" = 1'-0"



Docket No. 03-25-26 (1285 St. Charles)



- A. T-Rail
- B. Bottom Rail
- C. T-Rail Brackets
- D. Bottom Rail Brackets
- E. Balusters
- F. Adjustable Foot Block
- G. Post Sleeve Cap*
- H. Post Sleeve Skirt*
- I. Post Sleeve** - 4" x 4" x 48"
- J. Trex Decking
- K. Trex Fascia
- L. Code-approved Wood Joist - 2" x 8"
- M. Code-approved Wood Rim Joist - 2" x 8" or Larger

FIGURE 5 – TREX® SELECT® T-RAIL RAILING ASSEMBLY

OV50

Ovation Double 5"

- Nominal Thickness: .042
- Finish: Woodgrain
- Length: 12'
- 20 Pcs./Ctn.
- 2 Sqs./Ctn.
- 95 Lbs./Ctn.



04 White

Light Colors

- 53 Almond
- 31 Cameo
- 30 Classic Cream
- 22 Desert Sand
- 44 Linen
- 18 Sage
- 39 Sandtone
- 02 Silver Grey
- 511 Tuscan Olive
- 36 Victorian Grey
- A7 Wicker

Classic Colors

- 210 Corn Silk 17
- Everest
- 35 Harbor Grey
- 52 Pebblestone Clay
- 510 Scottish Thistle

Deep Colors

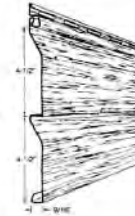
- 390 English Wedgewood
- 090 Deep Granite
- 170 Quiet Willow
- 100 Rugged Canyon

This is the color to match existing siding on house.

OVD45

Ovation Double 4.5" Dutch Lap

- Nominal Thickness: .042
- Finish: Woodgrain
- Length: 12' 1"
- 22 Pcs./Ctn.



04 White

Light Colors

- 53 Almond
- 31 Cameo
- 30 Classic Cream
- 22 Desert Sand
- 44 Linen
- 18 Sage
- 39 Sandtone
- 02 Silver Grey
- 511 Tuscan Olive

Deep Colors

- 390 English Wedgewood
- 090 Deep Granite
- 144 Misty Shadow
- IF Montana Suede
- 170 Quiet Willow
- 100 Rugged Canyon
- 813 Vintage Dublin

Solar Defense® Reflective



Front Porch and Entry

- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
 - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
 - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
 - Compliance with Appendix B Front Porch Guidelines is required.
 - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



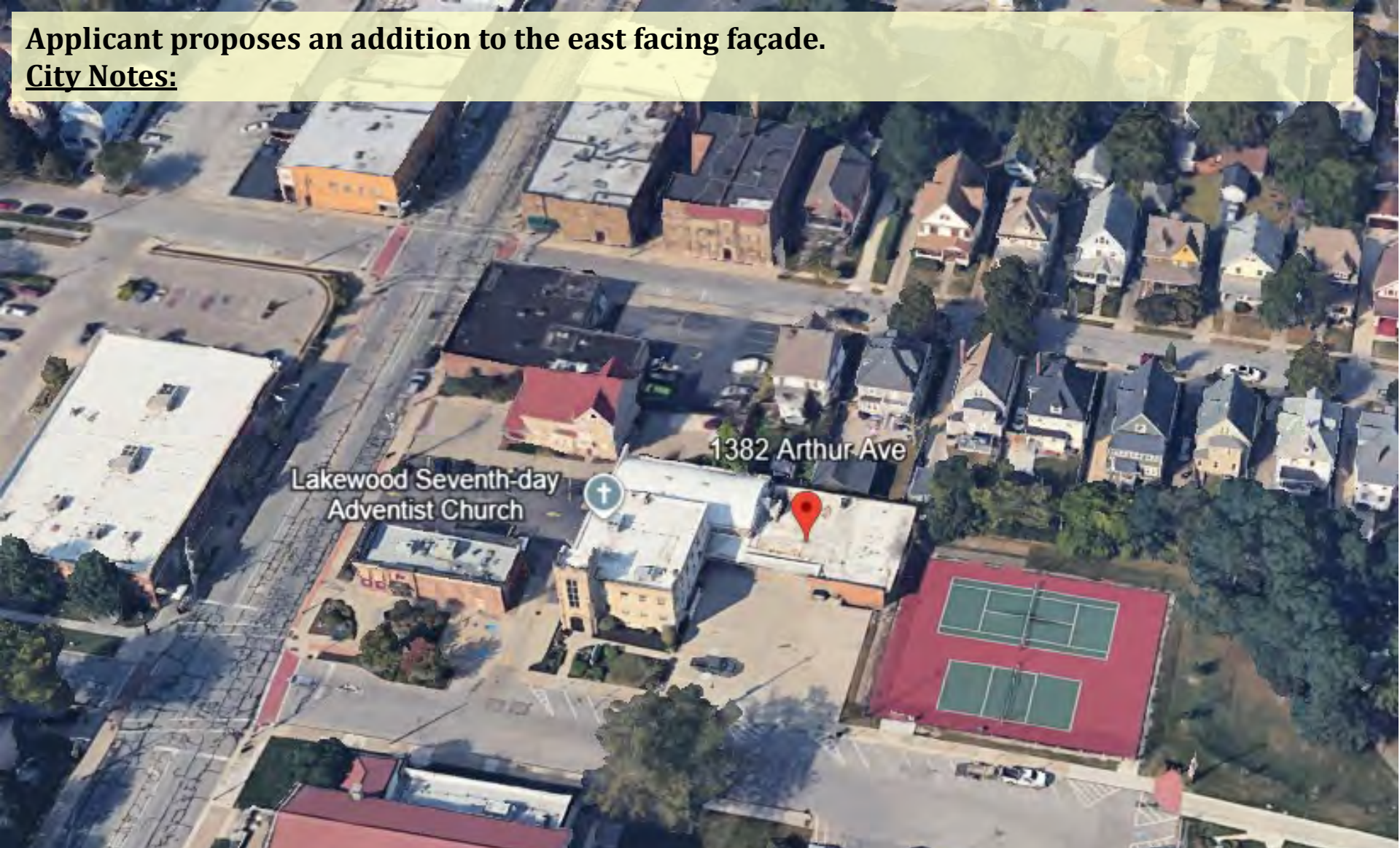
Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.



Applicant proposes an addition to the east facing façade.

City Notes:



Docket No. 03-26-26 (1382 Arthur)

**Addition – Seventh Day Adventist Church
Michael Horton**



Docket No. 03-26-26 (1382 Detroit)



NORTH ELEVATION OF SANCTUARY BUILDING & EAST ELEVATION OF ANNEX ADDITION



Docket No. 03-26-26 (1382 Detroit)



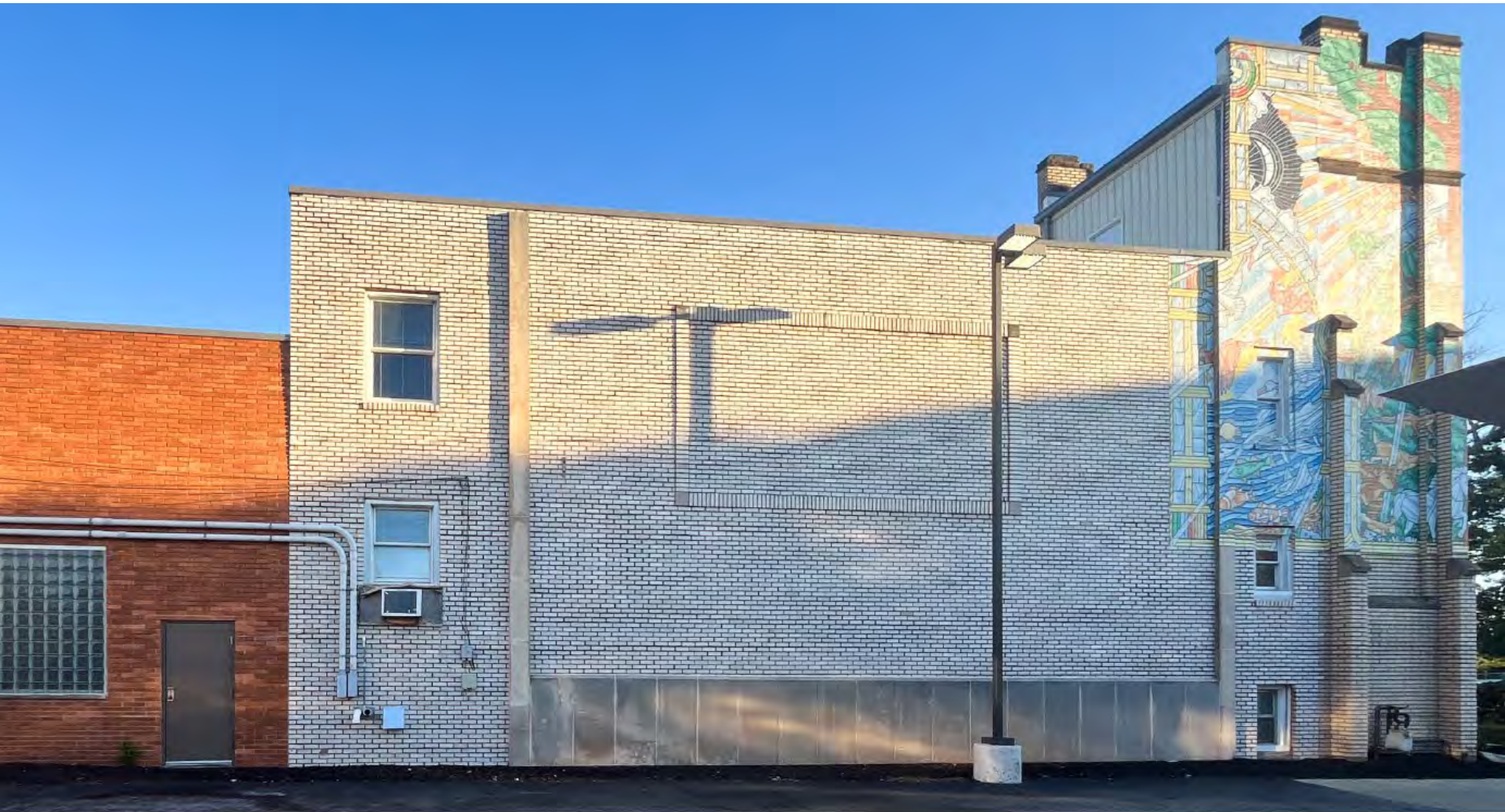
Docket No. 03-26-26 (1382 Detroit)



Docket No. 03-26-26 (1382 Detroit)



Docket No. 03-26-26 (1382 Detroit)



SOUTH ELEVATION OF SANCTUARY BUILDING

Docket No. 03-26-26 (1382 Detroit)

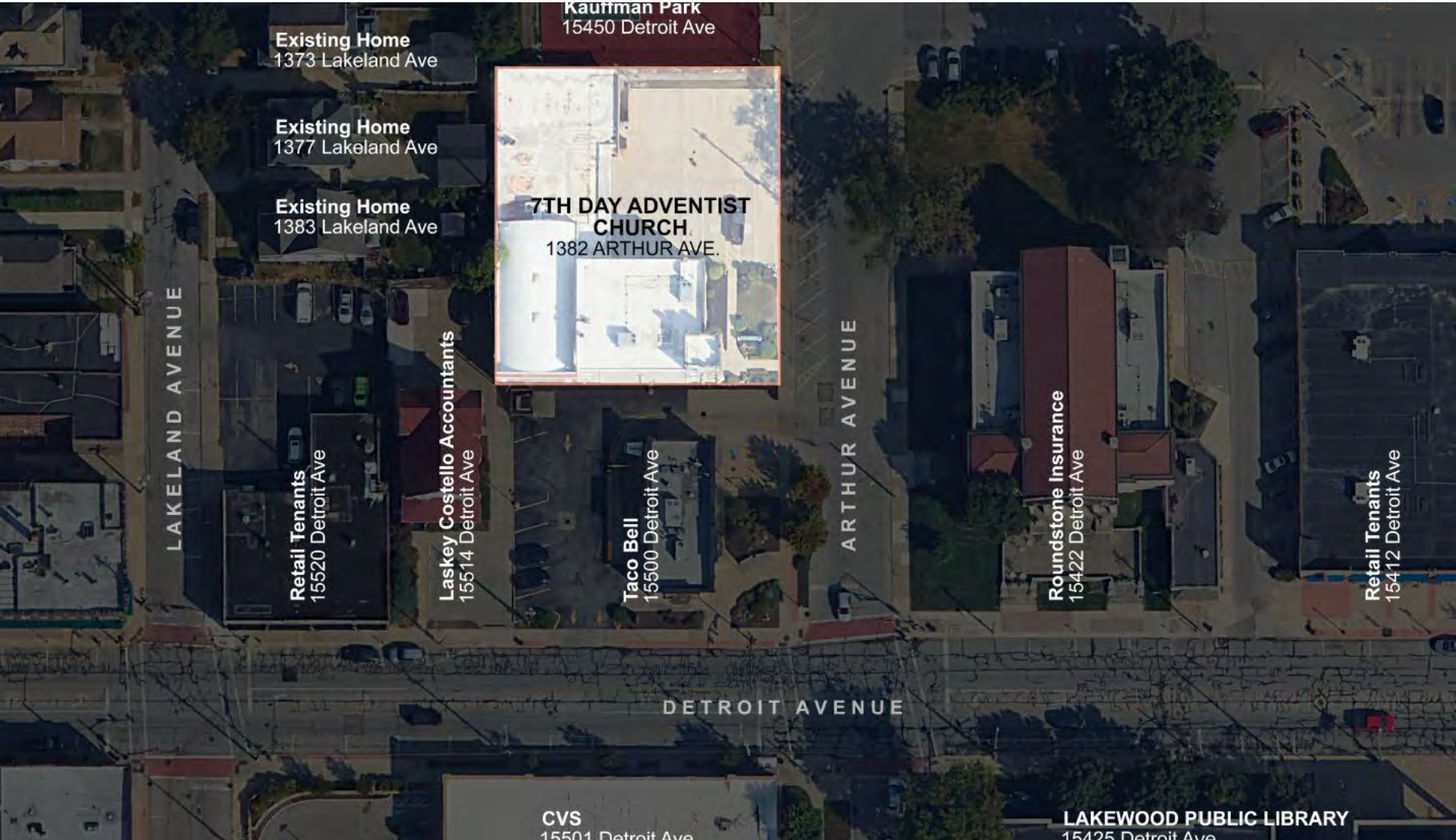




WEST ELEVATION OF ANNEX ADDITION/GYMNASIUM

Docket No. 03-26-26 (1382 Detroit)





Existing Home
1373 Lakeland Ave

Existing Home
1377 Lakeland Ave

Existing Home
1383 Lakeland Ave

Kaufman Park
15450 Detroit Ave



**7TH DAY ADVENTIST
CHURCH**
1382 ARTHUR AVE.

LAKELAND AVENUE

Retail Tenants
15520 Detroit Ave

Laskey Costello Accountants
15514 Detroit Ave

Taco Bell
15500 Detroit Ave

ARTHUR AVENUE

Roundstone Insurance
15422 Detroit Ave

Retail Tenants
15412 Detroit Ave

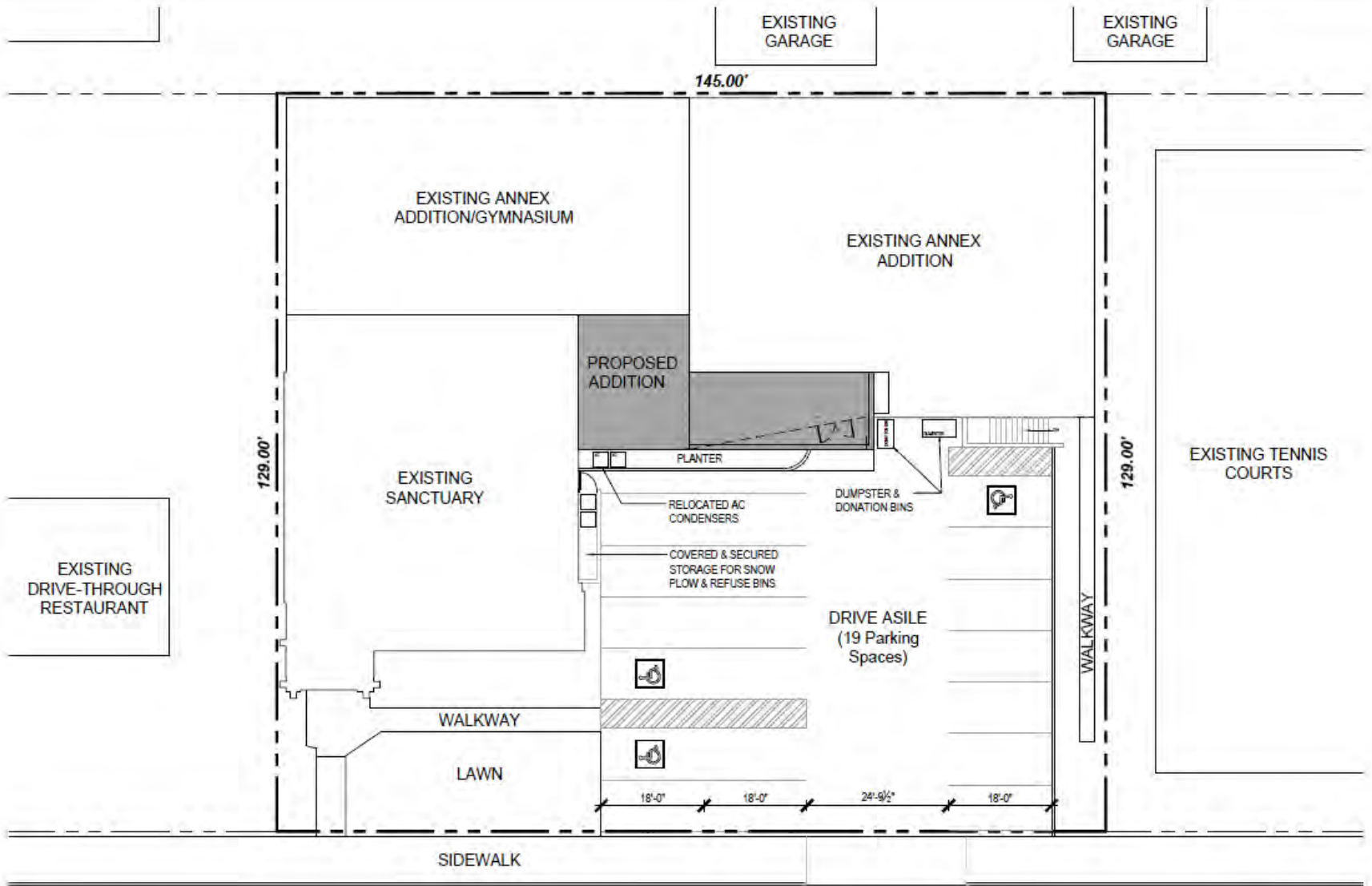
DETROIT AVENUE

CVS
15501 Detroit Ave

LAKEWOOD PUBLIC LIBRARY
15425 Detroit Ave



Docket No. 03-26-26 (1382 Detroit)



ARTHUR AVENUE

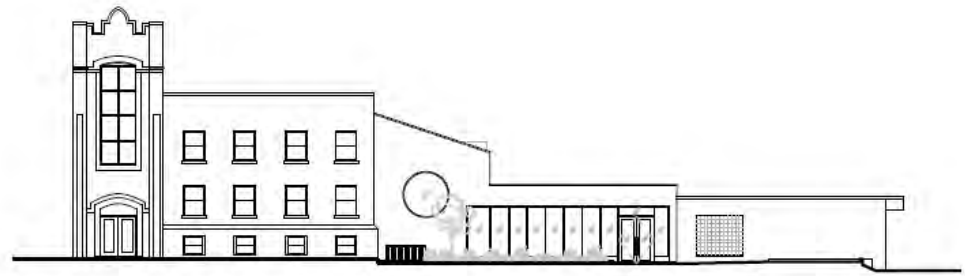
SITE PLAN
Scale: 1/16" = 1'-0"



Docket No. 03-26-26 (1382 Detroit)



Docket No. 03-26-26 (1382 Detroit)



FULL EAST ELEVATION

Scale: 1" = 20'-0"

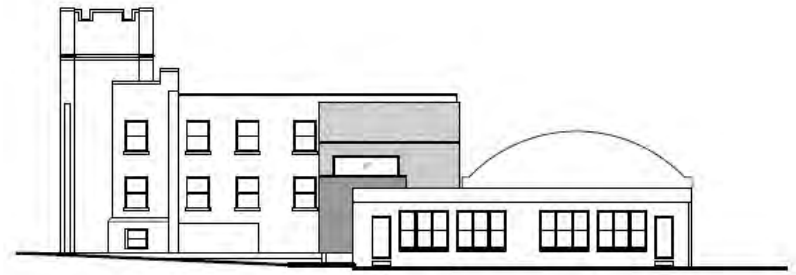


PARTIAL EAST ELEVATION

Scale: 1/8" = 1'-0"

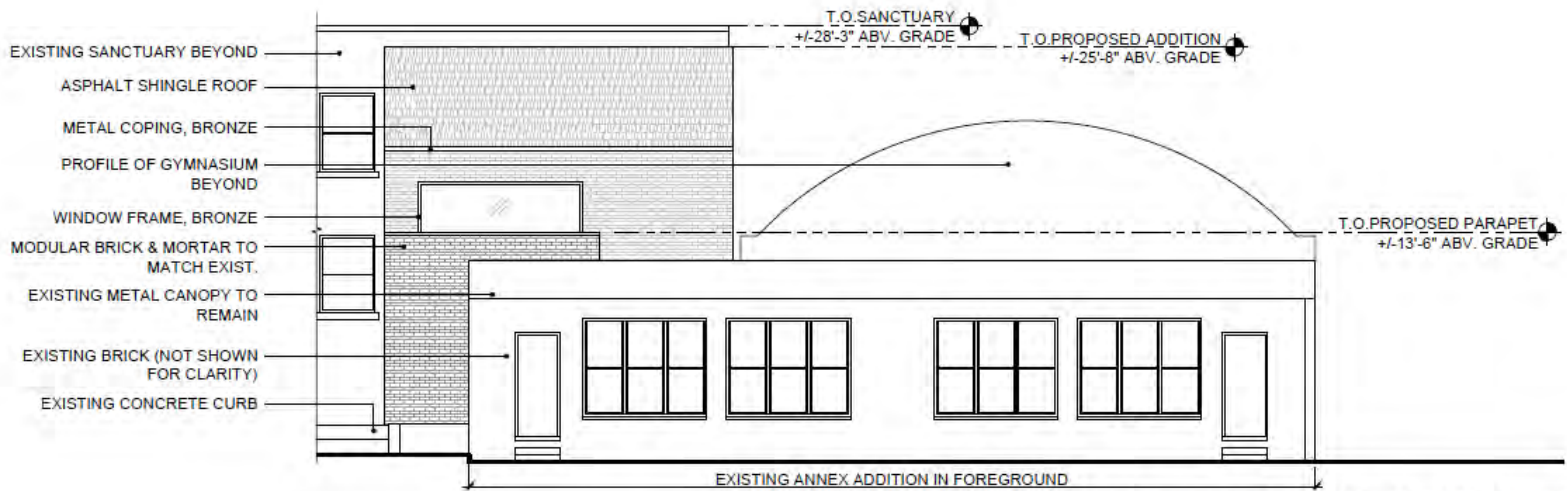


Docket No. 03-26-26 (1382 Detroit)



FULL NORTH ELEVATION

Scale: 1" = 20'-0"

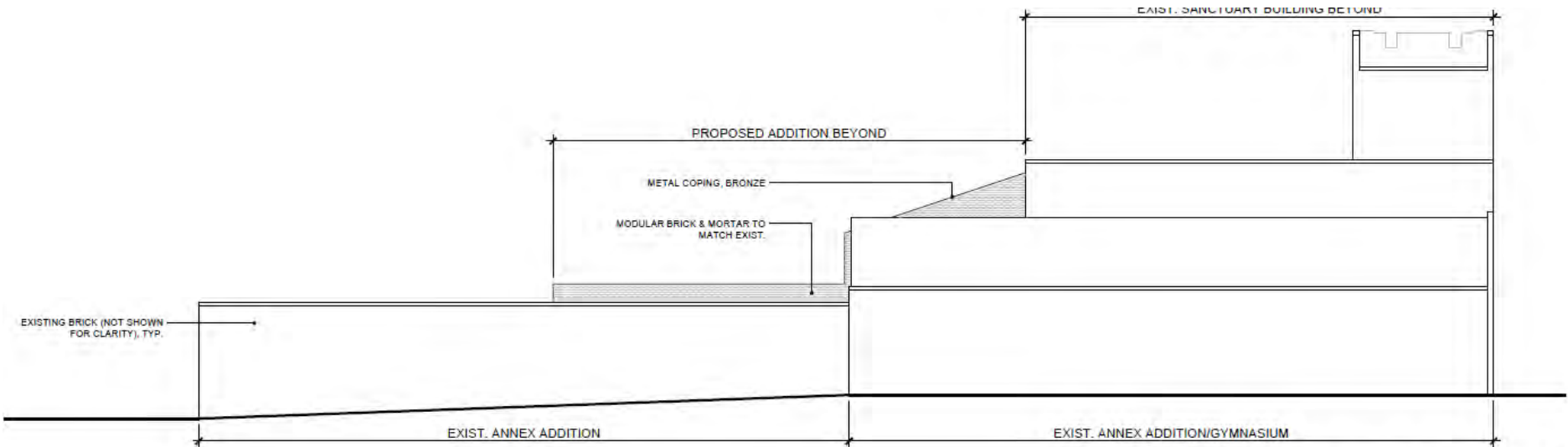


PARTIAL NORTH ELEVATION

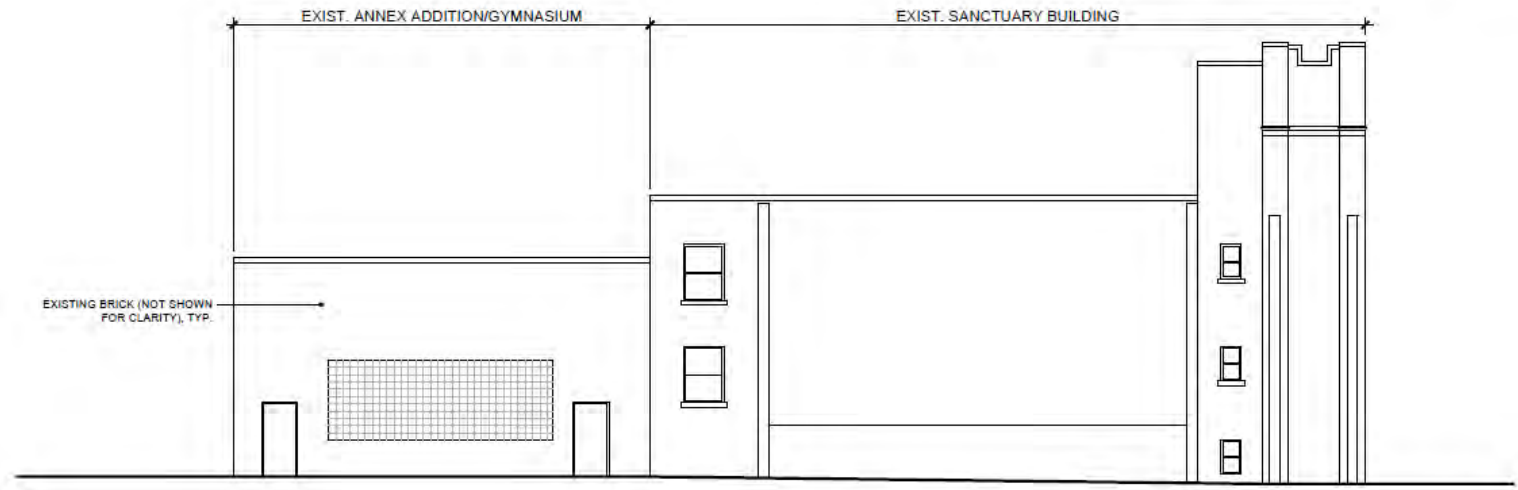
Scale: 1/8" = 1'-0"



Docket No. 03-26-26 (1382 Detroit)



WEST ELEVATION
Scale: 3/32" = 1'-0"



SOUTH ELEVATION
Scale: 3/32" = 1'-0"



Docket No. 03-26-26 (1382 Detroit)



VIEW FROM ARTHUR AVENUE



Docket No. 03-26-26 (1382 Detroit)



VIEW FROM PARKING LOT

Docket No. 03-26-26 (1382 Detroit)





Docket No. 03-26-26 (1382 Detroit)



VIEW FROM LOWER LOBBY TOWARD SANCTUARY LOBBY



Docket No. 03-26-26 (1382 Detroit)



VIEW FROM SANCTUARY LOBBY TOWARD



VIEW FROM SANCTUARY LOBBY TOWARD BALCONY LANDING



Docket No. 03-26-26 (1382 Detroit)

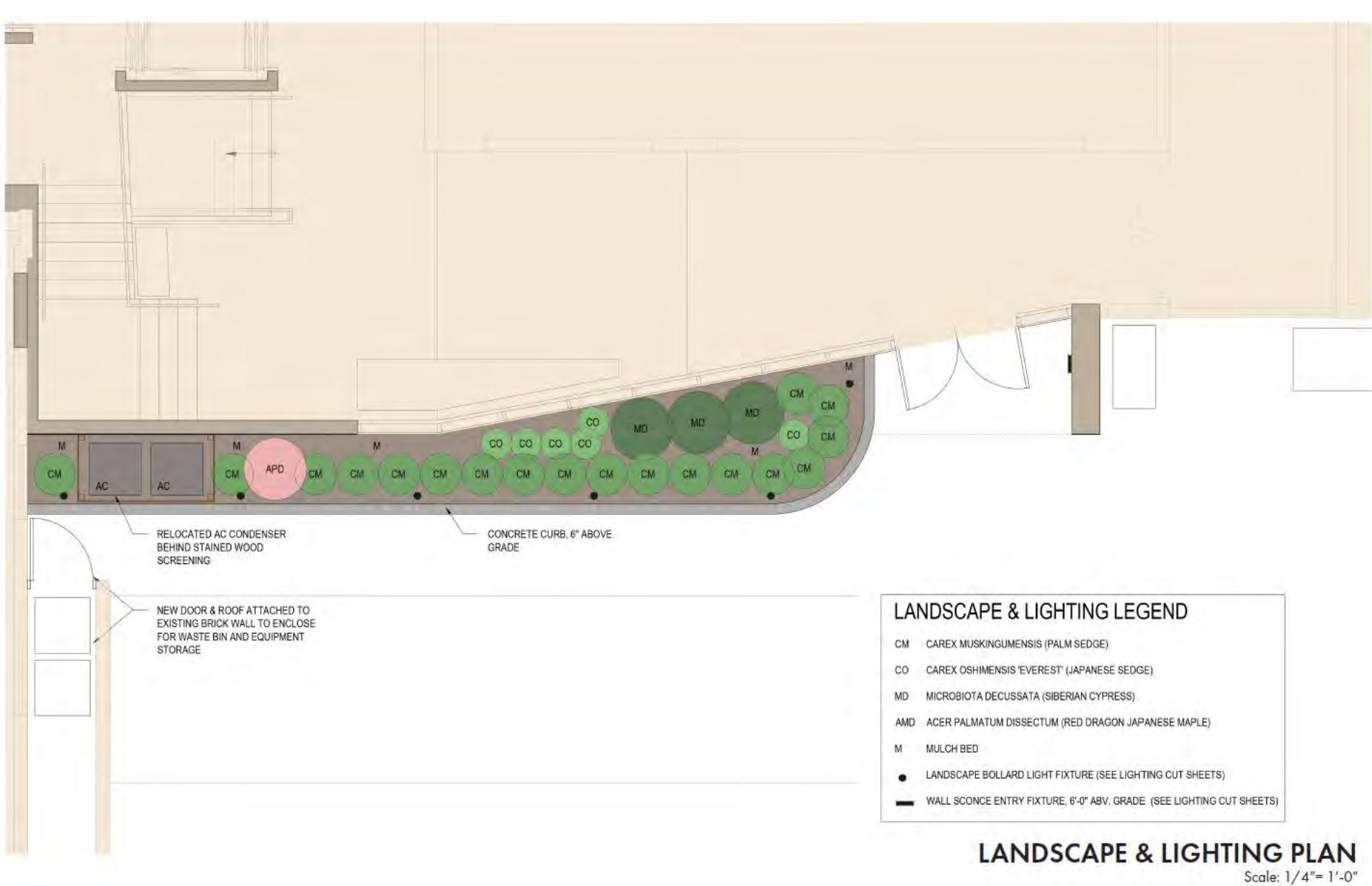
Alternatives



Docket No. 03-26-26 (1382 Detroit)



Docket No. 03-26-26 (1382 Detroit)



LANDSCAPE & LIGHTING LEGEND	
CM	CAREX MUSKINGUMENSIS (PALM SEDGE)
CO	CAREX OSHIMENSIS 'EVEREST' (JAPANESE SEDGE)
MD	MICROBIOTA DECUSSATA (SIBERIAN CYPRESS)
AMD	ACER PALMATUM DISSECTUM (RED DRAGON JAPANESE MAPLE)
M	MULCH BED
●	LANDSCAPE BOLLARD LIGHT FIXTURE (SEE LIGHTING CUT SHEETS)
—	WALL SCONCE ENTRY FIXTURE, 6'-0" ABV. GRADE (SEE LIGHTING CUT SHEETS)

LANDSCAPE & LIGHTING PLAN
 Scale: 1/4" = 1'-0"





VIEW OF STORAGE ENCLOSURE



Docket No. 03-26-26 (1382 Detroit)



Bronze Age



Roof and Trim



CHARCOAL - UC109852

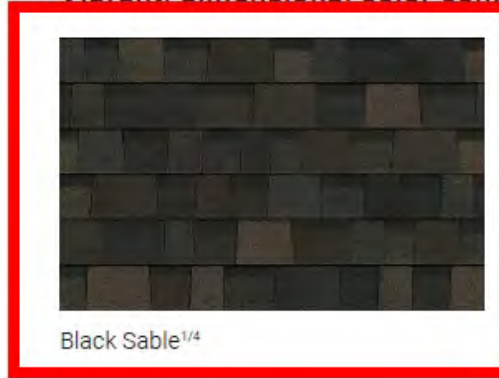


Storefront
and Windows



MEDIUM BRONZE - UC109862

Vibrant, dimensional color combi

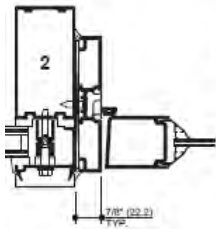


Black Sable^{1/4}

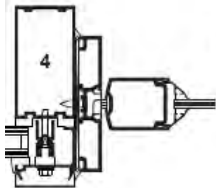




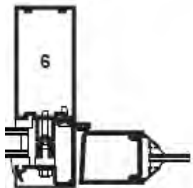
B/H OR O/P C/H B/H OR O/P
ELEVATION IS NUMBER KEYED TO DETAILS



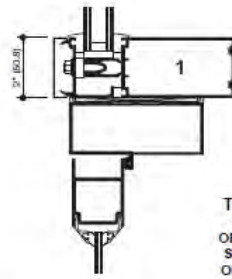
DOOR JAMB
BUTT HUNG OR
OFFSET PIVOT



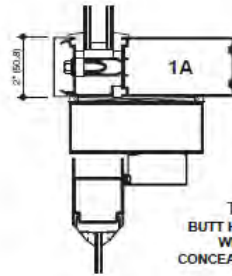
DOOR JAMB
CENTER HUNG



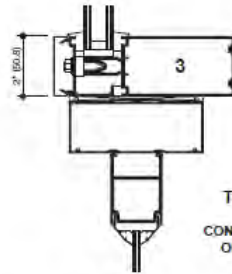
DOOR JAMB
BUTT HUNG OR
OFFSET PIVOT



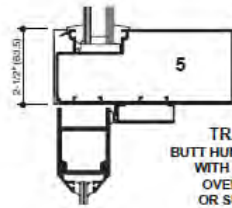
TRANSOM BAR
BUTT HUNG OR
OFFSET PIVOT WITH
SURFACE CLOSER
OR FLOOR CLOSER



TRANSOM BAR
BUTT HUNG OR OFFSET PIVOT
WITH SINGLE ACTING
CONCEALED OVERHEAD CLOSER



TRANSOM BAR
CENTER HUNG
CONCEALED OVERHEAD
OR FLOOR CLOSER



TRANSOM BAR
BUTT HUNG OR OFFSET PIVOT
WITH LCN CONCEALED
OVER HEAD CLOSER
OR SURFACE CLOSER

DECEMBER, 2023
EC 97911-302

Trifab® VersaGlaze® 601/601T/601UT Framing System

FEATURES

CENTER:

Features

- Trifab® VersaGlaze® 601/601T/601UT Framing System is 6" (152.4) deep with a 2" (50.8) sightline
- Center Plane glass applications
- Flush glazed from either the inside or outside
- Screw Spline fabrication
- Dual IsoLock® lanced and debrided thermal break
- Infill options up to 1-1/8" (28.6) thickness
- High performance sill flashing
- Permanodic® anodized finishes option
- Painted finishes in standard and custom choices

Optional Features

- Acoustical rating per AAMA 1801 and ASTM E 1425
- Project specific U-factors (See Thermal Charts)
- Integrates with Versoleil® SunShade Outrigger System and Horizontal Single Blade System
- Profit\$Maker® Plus die sets

Product Applications

- Storefront, Ribbon Window or Punched Openings
- Single-span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be incorporated
- Kawneer windows, or GLASSvent® Windows for Storefront Framing, or GLASSvent® UT Windows are easily incorporated

sr.com

ADMD211EN



Docket No. 03-26-26 (1382 Detroit)

Applicant proposes new single family home.

City Notes:



Docket No. 03-27-26 (1486 Hopkins)

**New Single Family Home
Anthony Asimou**



SUMMARY

Location: 1486 Hopkins Ave, Lakewood, OH

Lot Size: 4,120 square feet

Project Scope: Construction of a new two-story, wood-framed single-family residence of approximately 1,665 square feet, including an independent garage.

Existing Structures and Site Features:

- Existing curb cut and paved driveway entrance for a future garage.
- One mature pine tree located near the rear of the property.
- Pronounced incline along the sidewalk and front edge, transitioning to a gentle upward slope toward the rear of the lot.

Site Topography:

- **Elevation Range:** The lot has a pronounced incline along the sidewalk and front edge, transitioning to a gentle upward slope toward the rear of the lot, with the lowest at 694 +/- feet and the highest point at 699 +/- feet.

Design Inspiration:

The proposed residence draws inspiration from a traditional Lakewood home vernacular, reinterpreted through a contemporary lens. The design emphasizes clean lines, simple proportions, and a balanced gable form characteristic of the neighborhood's vernacular. Painted wood siding and trim lend warmth and authenticity, while refined modern touches, such as larger windows and minimal ornamentation, create a timeless and elevated aesthetic. The overall composition seeks harmony between tradition and modern living, with a focus on efficient construction and enduring design.

Design Elements:

- Traditional Lakewood home form.
- Simple gabled volume with clean, balanced proportions.
- Painted exterior with textures and refined color palette.
- Emphasis on rhythm and transparency through carefully placed windows.
- Open, functional interior layout designed for modern living and natural light.

Landscaping:

- Minimal, low-maintenance landscaping to complement the architecture.
- Strategic placement of greenery to soften building edges and enhance curb appeal.
- Permeable paver driveway (may occur)

CONSIDERATION OF THE LAKEWOOD COMMUNITY VISION PLAN

Vision: To strengthen Lakewood's position as a walkable, diverse, and connected community by encouraging thoughtful development that complements existing neighborhoods and promotes long-term livability.

Relevant Goals and Objectives:

- **Neighborhood Character:** Support new housing that respects the established scale, massing, and materials of Lakewood's residential areas.
- **Housing Variety:** Encourage reinvestment and new infill homes that expand options for modern living while maintaining neighborhood integrity.
- **Sustainability and Livability:** Promote durable construction and well-landscaped streetscapes that contribute to a pleasant and resilient urban environment.

Design Strategies:

- **Compliance with Community Vision Goals:** The project supports Lakewood's objectives for neighborhood reinvestment by adding a high-quality, owner-occupied single-family home that strengthens long-term housing stability.
- **Contextual Massing Response:** The building is scaled to match the prevailing 2-2.5 story forms along Hopkins Ave, minimizing visual impact on adjacent homes and maintaining the established rhythm of the street.
- **Sustainable Site Development:** The proposal incorporates a modest building footprint, efficient framed construction, and low-maintenance landscaping to promote long-term durability and reduced environmental impact.
- **Enhanced Streetscape Quality:** Strategic landscaping, improved driveway organization, and refined architectural detailing contribute to a more walkable and visually coherent block frontage.
- **Housing Variety and Infill Quality:** Adds a thoughtfully designed context-sensitive new home that expands housing options without altering the neighborhood fabric, consistent with Lakewood's Vision 2035 goals.

"This project supports the principles outlined in Lakewood's Community Vision 2035 Plan."



Docket No. 03-27-26 (1486 Hopkins)

SITE ANALYSIS

PPN. 315-11-004
1486 HOPKINS AVE
LAKEWOOD OHIO 44107
.095 AC.

ZONING REQUIREMENTS

District: R2
Use: Single & Two Family Residential

Principal Bldg.

Front Setback: Avg. of Exist. Depths on Abutting Properties

Side Yard Depth: 5' min. (15' sum of both sides)

Rear Yard Depth: 40' Min.

35% Max Lot Coverage

$4,120 \times 35\% = 1,442$ Sf Max (complied)
(1,137 Sf Shown)

35' Max Ht.

Accessory Structure (garage)

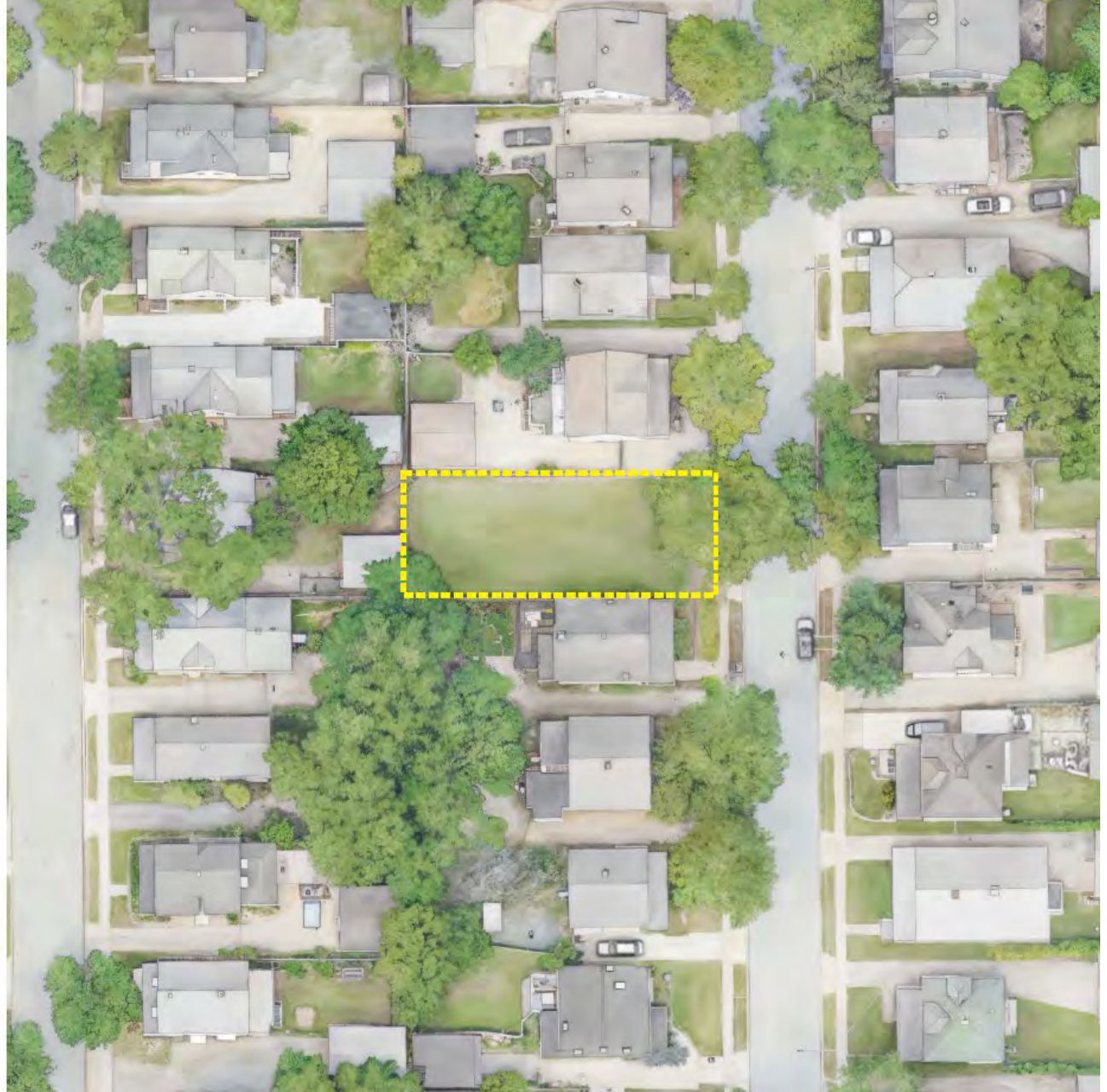
25% Max Rear Yard
18" Rear And Side Setbacks

$1,600$ Sf Rear Yard Area $\times 25\% = 400$ Sf

15' Max Ht.

Maximum Lot Coverage 85%

$4,120 \times 85\% = 3,502$ Sf Max
(1,730 Sf Shown)



Docket No. 03-27-26 (1486 Hopkins)

SITE PHOTOS



Docket No. 03-27-26 (1486 Hopkins)



Subject Lot - Front View



View East from Subject Lot



South Adjacent Property



North Adjacent Property



Docket No. 03-27-26 (1486 Hopkins)



Docket No. 03-27-26 (1486 Hopkins)

ELEVATIONS



SOUTH



EAST



NORTH

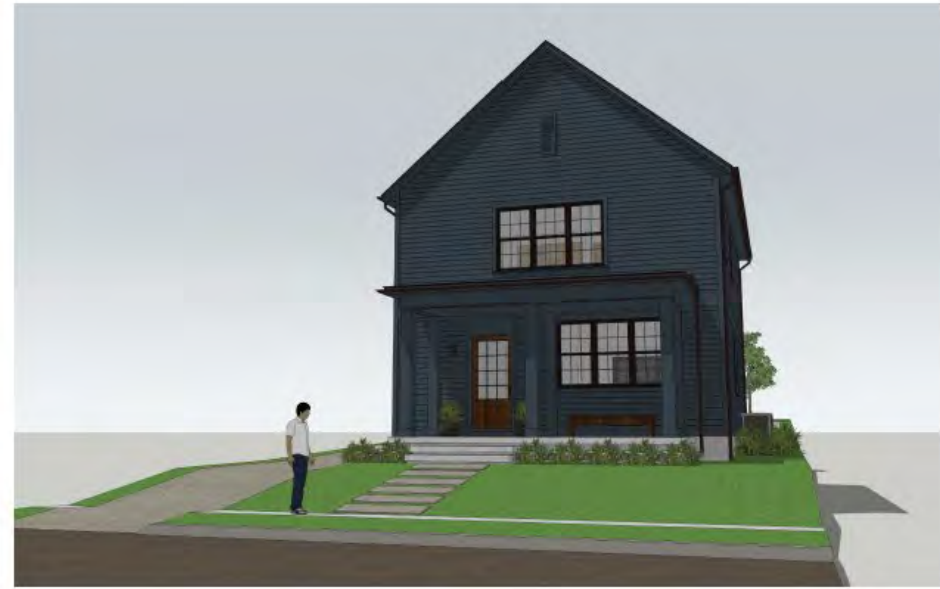


WEST



Docket No. 03-27-26 (1486 Hopkins)

SCENES



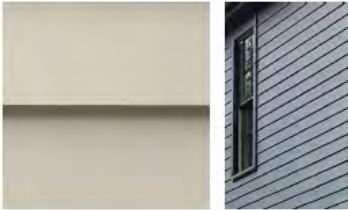
Docket No. 03-27-26 (1486 Hopkins)

MATERIALS



ROOF:

Oakridge Fiberglass Shingles
Color: Onyx Black
by Owens Corning



LAP SIDING:

Cement Board Plank Siding (Smooth)
Primed for paint
Exposure Width : 4"
by James Hardie



TRIM & MOLDINGS:

Skirt boards & Bands, Cornerboards, Casings & Sills
Finish: Paint
by Azek Exteriors



WINDOWS:

Aluminum-Clad Wood Double-Hung Window
Exterior Finish: Iron Ore
Interior: Primed for Paint
by Pella - Lifestyle Series

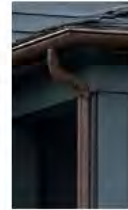


SW 9639
Rain Cloud



PAINT:

Exterior Acrylic Latex
Color: Rain Cloud SW9639
by Sherwin-Williams



GUTTERS & DOWNSPOUTS, FLASHING:

Prefinished Aluminum
4 round downspout
Color: Bronze



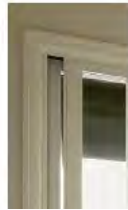
PORCHES & STEPS:

Burnished concrete finish
Formed nosings



FRONT DOOR:

3/4 Light Fiberglass
Stain: Dark Mahogany
Grain: Mahogany-Grain
by Pella



SLIDING DOOR:

3-Panel Sliding Patio Door
Exterior Finish: Iron Ore
Interior: Primed for Paint
by Pella - Lifestyle Series



PROJECT DESCRIPTION

ABRIDGED WRITTEN SUMMARY: PROPOSED SINGLE FAMILY RESIDENCE, 2 STORY, WOOD FRAMED CONSTRUCTION LOCATED IN LAKEWOOD, OHIO.

APPLICABLE CODE: 2018 RESIDENTIAL CODE OF OHIO (RCO)

WORK INCLUDED: ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, LANDSCAPING.

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT, NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND APPLICABLE BUILDING CODES. ALL WORK SHALL BE IN A FIRST CLASS MANNER TO MEET OR EXCEED ACCEPTED INDUSTRY STANDARDS.

THE MECHANICAL, PLUMBING, AND ELECTRICAL WORK OF THIS CONTRACT SHALL BE COMPLETED ON A DESIGN BUILD BASIS WITH THE INSTALLING CONTRACTOR, MEETING ALL REQUIREMENTS OF THE APPLICABLE BUILDING CODES, WHENEVER REFERENCED HEREIN OR NOT.

ALL CONTRACTORS AND SUBCONTRACTORS FOR THE WORK OF THIS CONTRACT SHALL BE PROPERLY LICENSED AND REGISTERED IN ACCORDANCE WITH THE REGULATIONS OF LAKEWOOD, OHIO.

SITE NOTES

BEFORE TO CONSTRUCTION, BASEMENT AND FOOTER ELEVATIONS ARE TO BE VERIFIED BY THE BUILDING CONTRACTOR AND IF ANY DISCREPANCY EXISTS BETWEEN THE MOBILE PLANS AND EXISTING ON SITE CONDITIONS, THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED.

GENERAL CONTRACTOR SHALL PROVIDE THE REQUIRED TOPOGRAPHICAL SURVEYS AND ENGINEERING REQUIRED BY LAKEWOOD, OHIO.

GENERAL CONTRACTOR SHALL VERIFY RESIDENCE LOCATION AND ALL SEWER CONNECTIONS, METERS AND SIZES.

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH SITE UTILITY, GRADING AND FLOOR PLANS.

GENERAL CONTRACTOR SHALL CLEAN AND REMOVE ALL DEBRIS FROM THE SITE.

GENERAL CONTRACTOR SHALL PROVIDE ALL PERMIT FEES DURING CONSTRUCTION.

GENERAL CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.

GENERAL CONTRACTOR SHALL INSTALL NEW ROOFING DRAIN TILE AND DOWNSPOUT LINES AT LOCATIONS AS REQUIRED.

VERIFY LOCATION AND PROVIDE PROTECTION FOR EXISTING SITE UTILITY PRIOR TO CONSTRUCTION.

CONTRACTOR TO CLEANUP EXISTING SEWER AND FOUNDATION PILING AND REPAIR IF DAMAGED.

LEGEND

	WOOD-FINISH		NON-RATED WOOD STILE WALL
	EARTH		NON-RATED CONCRETE BLOCK WALL WITH MASSIVE REINFORCING @ 1'-4" O.C. VERTICALLY (I.C.D.)
	STEEL		SECTION DESIGNATION
	CONCRETE		SHT. VENEER SECTION LOCATED
	WOOD-FINISH		SHT. WHERE ELEVATION LOCATED
	BRICK		ELEVATION DESIGNATION
	PLYWOOD		DETAIL
	POROUS FILL		
	RIGID INSULATION		
	BATT INSULATION		
	REVISION		

	NATURAL GAS		ELECTRIC FAN
	CABLE		DOWN SPOUT
	FROST PROOF HOSE BIB		FLOOR DRAIN
	MODULAR PHONE JACK		ELEVATION THICKET
	CEILING CARPET		ROOM NAME
	ROOM FLOOR MATERIAL		WINDOW SIZE (ELEVATIONS)
			DOOR SIZE

GENERAL REQUIREMENTS

DEPTH: 30"
USE: GRAVEL & TWO FAMILY RESIDENTIAL

GENERAL SIZING

RIGHT RETEARD AND 1/2 DEPT. DEPTHS OR ADJUTING PROFILES

SEE VARD DEPTH: 1/2 MIN. (1/2 MIN. SWP OF BOTH SEES)

REAR VARD: 10'-0" (10'-0" MIN)

LOT COVERAGE: 33% MAX

4'-0" (33% = 1,140 SF MAX (1,137 SF MIN))

30' MAX HT.

ADJUTING PROFILES (DRAINAGE)

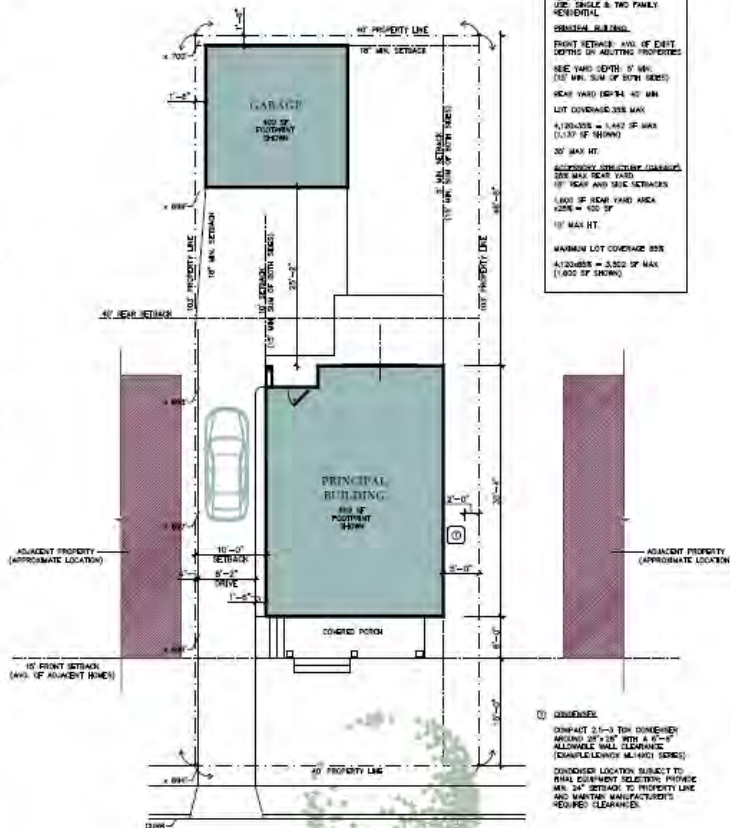
SEE MAX DEPT: 10"
1/2' ROOF AND 1/2' SETBACKS

1,600 SF REAR VARD AREA (1,200 SF MIN)

1/2' MAX HT.

MAXIMUM LOT COVERAGE 33%

4'-0" (33% = 1,140 SF MAX (1,137 SF MIN))



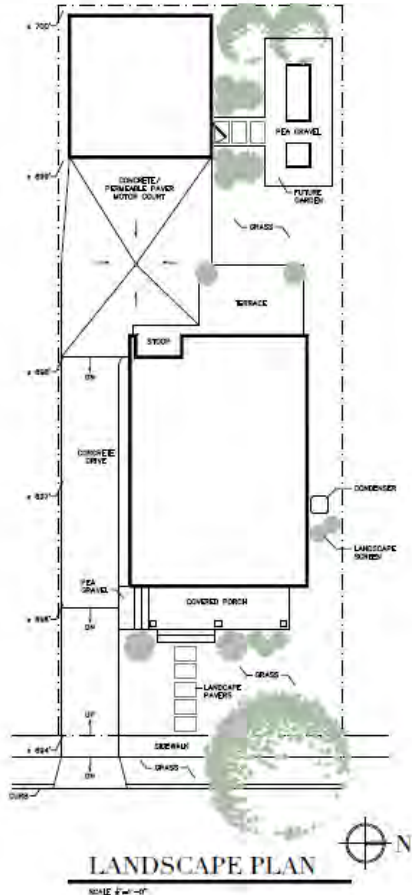
SITE PLAN
SCALE 1/4" = 1'-0"

P.L.N. 2024-11-024
1486 HOPKINS AVE
LAKEWOOD, OHIO 44107
282 P.C.

ARCHITECTURAL SITE PLAN SHOWS FOR REFERENCE. SEE THE DRAWINGS FOR COMPLETE SPOT ELEVATIONS, STORM WATER DRAINAGE, UTILITY AND SEWAGE DETAILS. NOTIFY ARCHITECT/ENGINEER IF ANY DISCREPANCIES OCCUR.

DRAWING INDEX

- A-1 TITLE SHEET - SITE PLAN
- A-2 FOUNDATION, FIRST + SECOND FLOOR PLANS
- A-3 ELEVATIONS
- A-4 ELEVATIONS
- A-5 GARAGE PLANS, ELEVATIONS
- A-6 WALL SECTIONS
- A-7 WALL SECTION, DETAILS



LANDSCAPE PLAN
SCALE 1/4" = 1'-0"

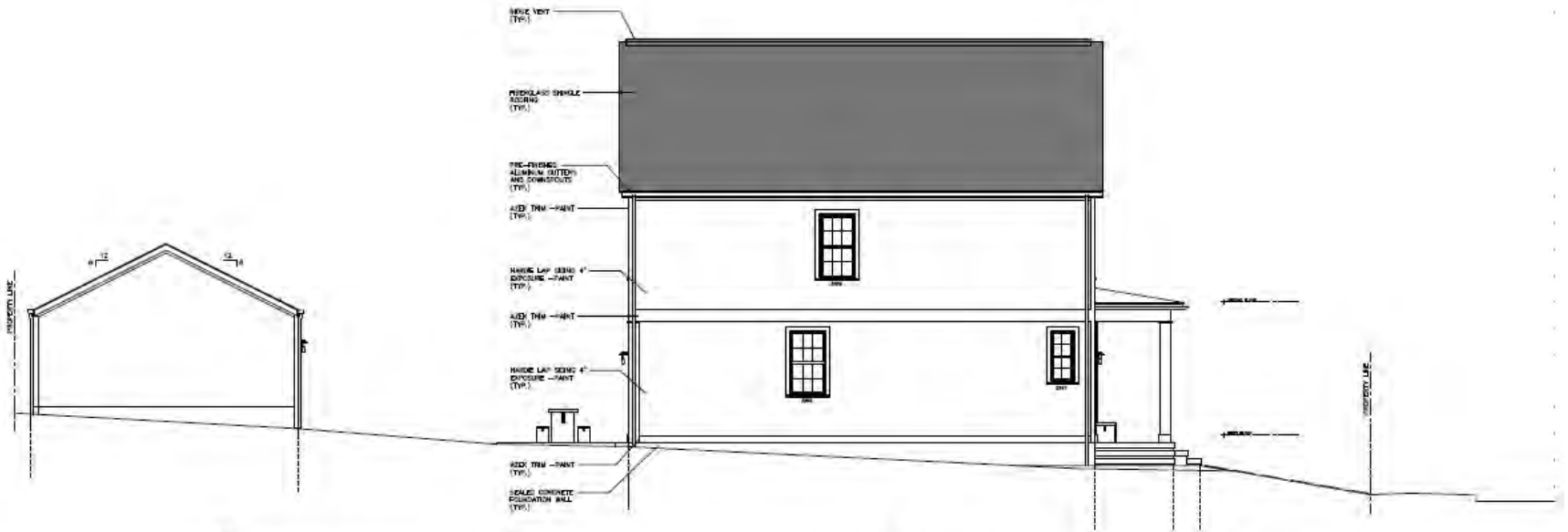
PROPOSED RESIDENCE
1486 HOPKINS AVE.
LAKEWOOD, OHIO 44107

ANTHONY ASIMU ARCHITECTS
anthony@asimuarchitects.com
www.asimuarchitects.com
440-465-3794

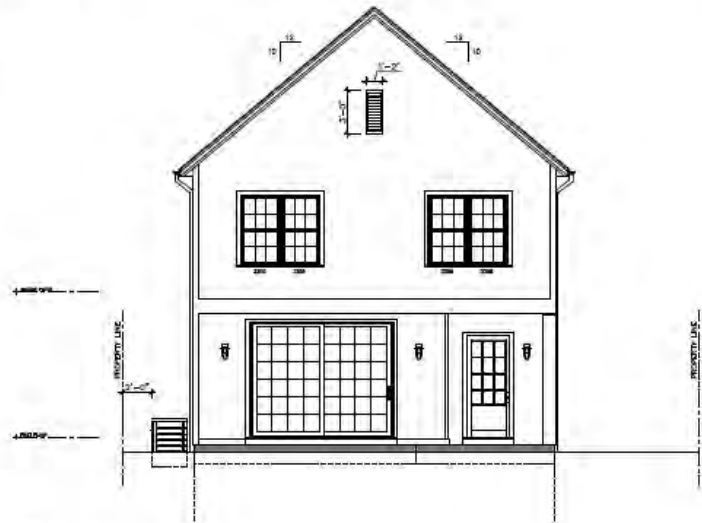
TITLE SHEET
SITE PLAN

A-1





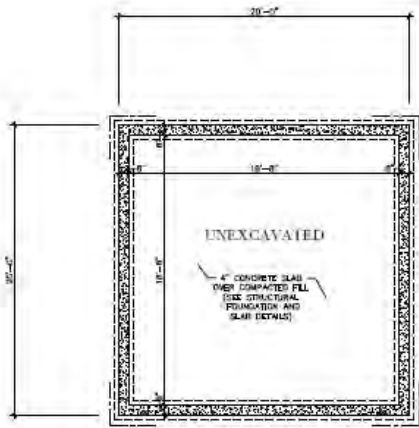
SOUTH
SIDE ELEVATION
 SCALE 1/4" = 1'-0"



NORTH
REAR ELEVATION
 SCALE 1/4" = 1'-0"

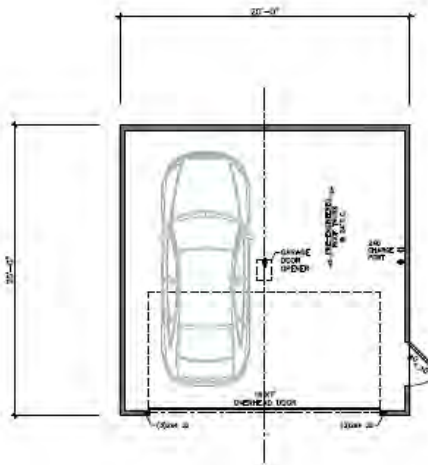


Docket No. 03-27-26 (1486 Hopkins)



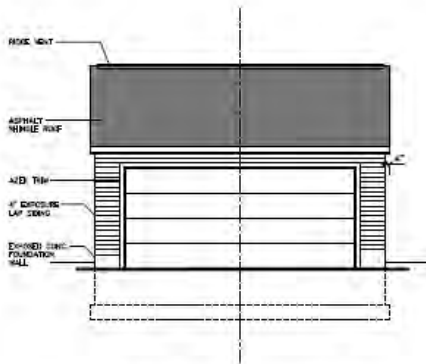
FOUNDATION PLAN

SCALE 1/4"=1'-0"



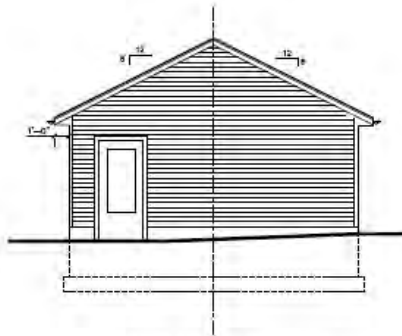
FLOOR PLAN

SCALE 1/4"=1'-0"



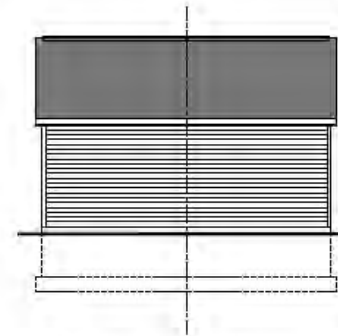
FRONT ELEVATION

SCALE 1/4"=1'-0"



SIDE ELEVATION

SCALE 1/4"=1'-0"

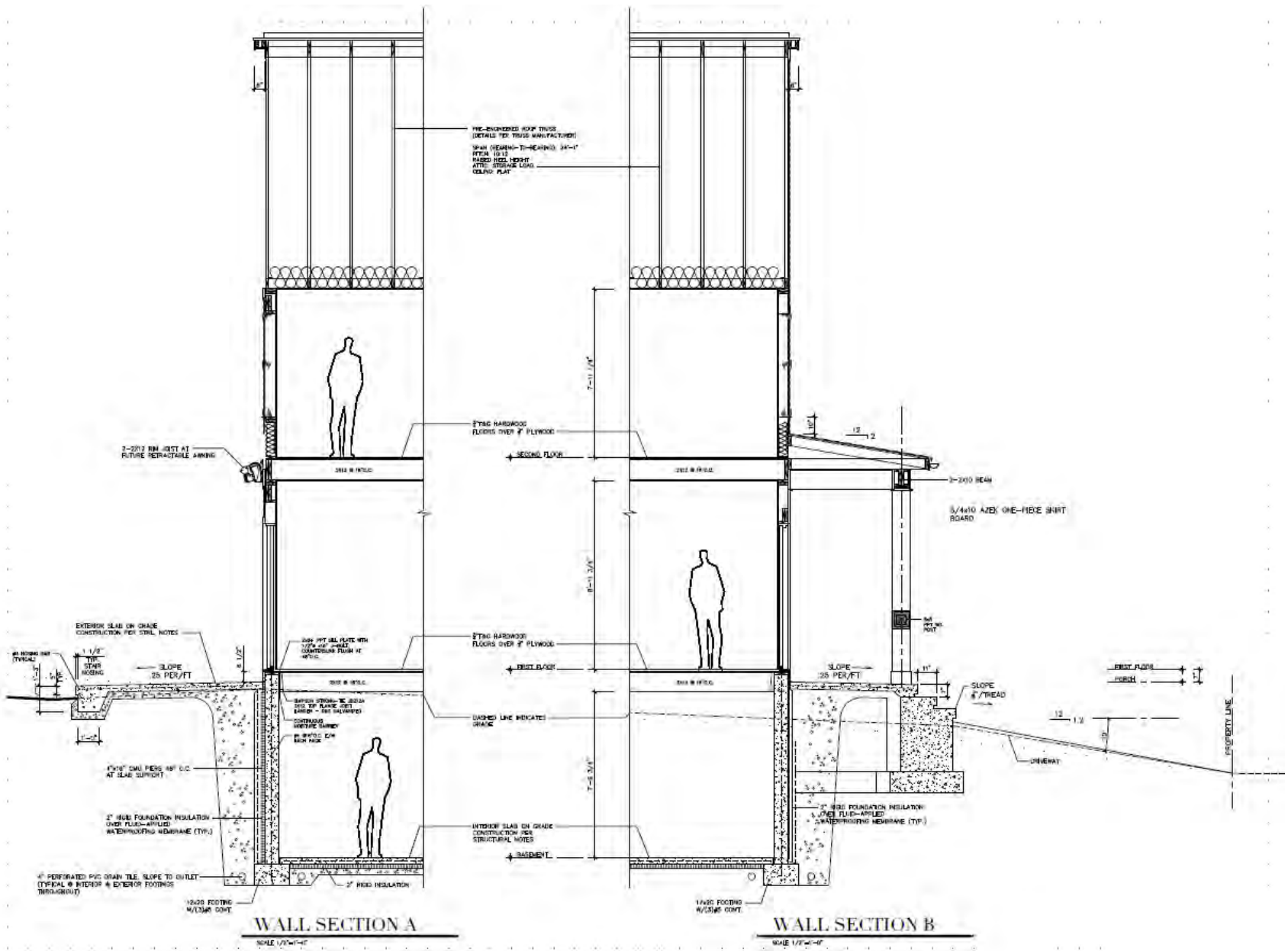


REAR ELEVATION

SCALE 1/4"=1'-0"



Docket No. 03-27-26 (1486 Hopkins)



Docket No. 03-27-26 (1486 Hopkins)



Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



Front Porch and Entry

- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
 - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
 - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
 - Compliance with Appendix B Front Porch Guidelines is required.
 - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.



Applicant proposes 16 unit townhome project at the SE corner of Marlowe and Madison
City Notes:



Docket No. 03-28-26 (Marlowe/Madison)

16 Unit Townhomes
Frank Camardo



Planning Commission

Land Use/Zoning:

- ❑ Standards for Preliminary Review set forth in 1156.03
 - ...sensitive to the abutting land uses...mixed use is encouraged (use table and area map).
 - ...comply with the subdivision requirements as set forth in Chapter 1155 (final plat).
 - Adverse impacts on adjacent properties, including but not limited to increased traffic or noise...(traffic impact)
- ❑ (1156.05) PD Design Principles:
 - Building (Structure Height, FAR) and Site (Lot Size, Setbacks)
 - Pedestrian Access and Circulation
 - Vehicular Circulation and Access (Traffic Impact Study)
 - Parking (quantity)
 - Streetscape improvements + Landscaping.

Architectural Board of Review

Building Orientation/Design/Materials:

- ❑ Standards for review set forth in 1156.05 and Chapter 1325 of the building code.
 - (1325)...by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all...buildings to be erected...(including Commercial District and other guidelines)
 - (1156.05) PD Design Principles
 - Building and Site (Massing/Design)
 - Pedestrian Access and Circulation
 - Vehicular Circulation and Access
 - Parking (Visual impact, 1325.08/Design)
 - Streetscape improvements + Landscaping.
 - Building Materials
 - (Finalize) Landscaping
 - (Finalize) Streetscape improvements
 - Service Area and Mechanical Screening
 - Signage (Master sign plan required)
 - Lighting (...including photometric illustration)



Docket No. 03-28-26 (Marlowe and Madison)

Previous Approval



- ① THERMA-TRU DRIFTWOOD DOOR MAHOGANY COLLECTION
- ② BELDEN BRICK LANDMARK GREY SMOOTH A
- ③ HARDIE SIDING TIMBER BARK 7" EXPOSURE
- ④ GAF TIMBERLINE CHARCOAL
- ⑤ ONE PIECE PRECAST CONCRETE SILL WITH GRIP EDGE DETAILING AND HOUSE WRAP PER DETAILS

EXTERIOR NORTH ELEVATION
MADISON BUILDING
1/4" EQUALS 1' 0"

PRIMARY ELEVATION (MADISON AVENUE)
SOUTHEAST CORNER of MADISON AND MARLOWE, LAKEWOOD, OHIO 44107

MADISON BUILDING

- ① FIBER CEMENT SIDING EXPOSURE DIMENSION 7 INCHES) MANUFACTURER: (HARDIE) PRE FINISHED COLOR: TIMBER BARK; WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES
- ② RUNNING BOND BRICK FACE ABR APPROVED BRICK MANUFACTURER: (BELDEN BRICK) ABR APPROVED BRICK COLOR: (MOO. LANDMARK GREY SMOOTH 14-39) ABR MORTAR COLOR: (MATCH BRICK PER G.C.) MINIMUM 1" DRAINAGE FLASH WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES STAINLESS BRICK TIES (or galvanized ties per CONTRACTOR'S substitution only) BRICK TIES AND WEEP HOLES PER SECTION NOTES
- ③ SOLDIER COURSE BRICK FACE ABR APPROVED BRICK MANUFACTURER: (BELDEN BRICK) ABR APPROVED BRICK COLOR: (MOO. LANDMARK GREY SMOOTH 14-39) ABR MORTAR COLOR: (MATCH BRICK PER G.C.) MINIMUM 1" DRAINAGE FLASH WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES STAINLESS BRICK TIES (or galvanized ties per CONTRACTOR'S substitution only) BRICK TIES AND WEEP HOLES PER SECTION NOTES
- ④ ROW-LOCK COURSE BRICK FACE ABR APPROVED BRICK MANUFACTURER: (BELDEN BRICK) ABR APPROVED BRICK COLOR: (MOO. LANDMARK GREY SMOOTH 14-39) ABR MORTAR COLOR: (MATCH BRICK PER G.C.) MINIMUM 1" DRAINAGE FLASH WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES STAINLESS BRICK TIES (or galvanized ties per CONTRACTOR'S substitution only) BRICK TIES AND WEEP HOLES PER SECTION NOTES
- ⑤ FULLY FLASHED BRICK SILL ONE PIECE BOTTOM AND SIDE EXTENDS PAST 1/4" OF BRICK FACED
- ⑥ FULLY FLASHED BRICK CORBEL CONTINUOUS TYPICAL EXTENDS TO PAST 1/4" OF BRICK FACED
- ⑦ FULLY FLASHED BRICK AND STEEL ANGLE HEAD WEEP HOLES AND MORTAR NEET ABOVE ANGLES TYPICAL FULLY FLASHED AS REQUIRED EXTENDS TO PAST 1/4" OF BRICK FACED
- ⑧ LIFETIME ASPHALT ROOF PER LAKEWOOD ARS APPROVAL GAF TIMBERLINE CHARCOAL
- ⑨ MAINTENANCE FREE 3" (minimum) CASING PER LAKEWOOD ARS APPROVAL HARDIE ARCTIC WHITE
- ⑩ MAINTENANCE FREE PANEL FACE AND 3" STILE / RAIL PER LAKEWOOD ARS APPROVAL HARDIE PANEL ARCTIC WHITE FLASH HORIZONTALS PER MANUFACTURER'S REQUIREMENTS

- ⑪ GARAGE DOOR WITH LIGHT DESIGN: (22' SERIES) MANUFACTURER: (AAAS GARAGE DOORS) PRE FINISHED COLOR: (WHITE) AS APPROVED BY LAKEWOOD ARS
- ⑫ CABLE RAIL: 42" (above finished deck) DESIGN: (determined by contractor) MANUFACTURER: (determined by contractor) PRE FINISHED COLOR: (determined by contractor) AS APPROVED BY LAKEWOOD ARS ALL RAILS TO HAVE MAX. 3/16" OPENINGS NOT TO ALLOW 4" SPHERE TO PASS THERE AND BE ABLE TO WITHSTAND 250 POUNDS OF OUTWARD PRESSURE
- ⑬ LIGHT FIXTURE DESIGN: (determined by contractor) MANUFACTURER: (determined by contractor) COLOR: (determined by contractor) AS APPROVED BY LAKEWOOD ARS
- ⑭ MAINTENANCE FREE (prefinished) 10-1/4" x 10-1/4" COLUMN EXTERIOR MIN. 4" x 4" PRESSURE TREATED COLOR: (determined by contractor) AS APPROVED BY LAKEWOOD ARS
- ⑮ BREAKMETAL AND FLASHING COLOR: (DARK BRONZE) AS APPROVED BY LAKEWOOD ARS
- ⑯ ENTRY DOOR (MAHOGANY COLLECTION) DESIGN: (PER DRAWING AND ELEVATIONS) MANUFACTURER: (THERMA-TRU) PRE FINISHED COLOR: (DRIFTWOOD FIBER CLASSIC) AS APPROVED BY LAKEWOOD ARS
- ⑰ CONTRACTOR'S SPECIFIED WINDOW WITH BRICK MOLD FACTORY INSTALLED

EXTERIOR WEST ELEVATION
MADISON BUILDING
1/4" EQUALS 1' 0"



ELEVATION (MARLOWE AVENUE) SOUTHEAST CORNER of MADISON AND MARLOWE, LAKEWOOD, OHIO 44107



Docket No. 03-28-26 (Marlowe and Madison)

Previous Approval



SECONDARY ELEVATION (Carpark)

SOUTHEAST CORNER of MADISON AND MARLOWE, LAKEWOOD, OHIO 44107

EXTERIOR SOUTH ELEVATION
MADISON BUILDING
1/4" = 1'-0"

- ① THERMA-TRU DRIFTWOOD DOOR (MAHOOGANY) COLLECTION
- ② BELDEN BRICK LANDMARK GREY SMOOTH-A
- ③ HARDIE SIDING TIMBER BARK 7" EXPOSURE
- ④ GAF TIMBERLINE CHARCOAL

- ① FIBER CEMENT SIDING EXPOSURE DIMENSION 1" (INCHES) MANUFACTURER: (HARDIE) PRE FINISHED COLOR: (TIMBER BARK) WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES
- ② RUNNING BOND BRICK FACE ABR APPROVED BRICK MANUFACTURER: (BELDEN BRICK) ABR APPROVED BRICK COLOR: (MOD. LANDMARK GREY SMOOTH-14-35) ABR MORTAR COLOR: (MATCH BRICK per G.C.) MINIMUM 1" DRAINAGE PLAN WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES STAINLESS BRICK TIES (or galvanized ties per CONTRACTOR'S substitution only) BRICK TIES AND WEEP HOLES PER SECTION NOTES
- ③ SOLDIER COURSE BRICK FACE ABR APPROVED BRICK MANUFACTURER: (BELDEN BRICK) ABR APPROVED BRICK COLOR: (MOD. LANDMARK GREY SMOOTH-14-35) ABR MORTAR COLOR: (MATCH BRICK per G.C.) MINIMUM 1" DRAINAGE PLAN WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES STAINLESS BRICK TIES (or galvanized ties per CONTRACTOR'S substitution only) BRICK TIES AND WEEP HOLES PER SECTION NOTES
- ④ ROW-LOCK COURSE BRICK FACE ABR APPROVED BRICK MANUFACTURER: (BELDEN BRICK) ABR APPROVED BRICK COLOR: (MOD. LANDMARK GREY SMOOTH-14-35) ABR MORTAR COLOR: (MATCH BRICK per G.C.) MINIMUM 1" DRAINAGE PLAN WITH TYVEK HOUSE WRAP PER MANUFACTURER'S GUIDELINES STAINLESS BRICK TIES (or galvanized ties per CONTRACTOR'S substitution only) BRICK TIES AND WEEP HOLES PER SECTION NOTES
- ⑤ FULLY FLASHED BRICK SILL ONE PIECE BOTTOM AND SIDE EXTENDS PAST 1/4" OF BRICK FACED
- ⑥ FULLY FLASHED BRICK CORBEL CONTINUOUS TYPICAL EXTENDS TO 1/4" OF BRICK FACED
- ⑦ FULLY FLASHED BRICK AND STEEL ANGLE HEAD WEEP HOLES AND MORTAR NET RADUS ANGLES TYPICAL FULLY FLASHED AS REQUIRED EXTENDS TO PAST 1/4" OF BRICK FACED
- ⑧ LIFETIME ASPHALT ROOF PER LAKEWOOD ARB APPROVAL GAF TIMBERLINE CHARCOAL
- ⑨ MAINTENANCE FREE 3" (minimum) CASING PER LAKEWOOD ARB APPROVAL HARDIE ARCTIC WHITE
- ⑩ MAINTENANCE FREE PANEL, FACE AND 3" STILE / RAIL PER LAKEWOOD ARB APPROVAL HARDIE PANEL ARCTIC WHITE FLASH HORIZONTALS PER MANUFACTURER'S REQUIREMENTS
- ⑪ GARAGE DOOR WITH LIGHT DESIGN: (352 SERIES) MANUFACTURER: (HAAS GARAGE DOORS) PRE FINISHED COLOR: (WHITE) AS APPROVED BY LAKEWOOD ARB
- ⑫ CABLE RAIL 42" (above finished deck) DESIGN: (determined by contractor) MANUFACTURER: (determined by contractor) PRE FINISHED COLOR: (determined by contractor) AS APPROVED BY LAKEWOOD ARB ALL RAILS TO HAVE MAX. 3'-0" OPENINGS NOT TO ALLOW 4" SPHERE TO PASS THRU AND BE ABLE TO WITHSTAND 250 POUNDS OF OUTWARD PRESSURE
- ⑬ LIGHT FIXTURE DESIGN: (determined by contractor) MANUFACTURER: (determined by contractor) COLOR: (determined by contractor) AS APPROVED BY LAKEWOOD ARB
- ⑭ MAINTENANCE FREE (prefinished) 10'-1/4" x 12'-1/4" COLUMN INTERIOR MIN. 5' x 6" PRESSURE TREATED COLOR: (determined by contractor) AS APPROVED BY LAKEWOOD ARB
- ⑮ BREAKMETAL AND FLASHING COLOR: (DARK BRONZE) AS APPROVED BY LAKEWOOD ARB
- ⑯ ENTRY DOOR (MAHOOGANY COLLECTION) DESIGN: (PER DRAWING AND ELEVATIONS) MANUFACTURER: (THERMA-TRU) PRE FINISHED COLOR: (DRIFTWOOD FIBER CLASSIC) AS APPROVED BY LAKEWOOD ARB
- ⑰ CONTRACTOR'S SPECIFIED WINDOW WITH BRICK MOLD (FACTORY INSTALLED)

EAST SIDEYARD ELEVATION SOUTHEAST CORNER of MADISON AND MARLOWE, LAKEWOOD, OHIO 44107

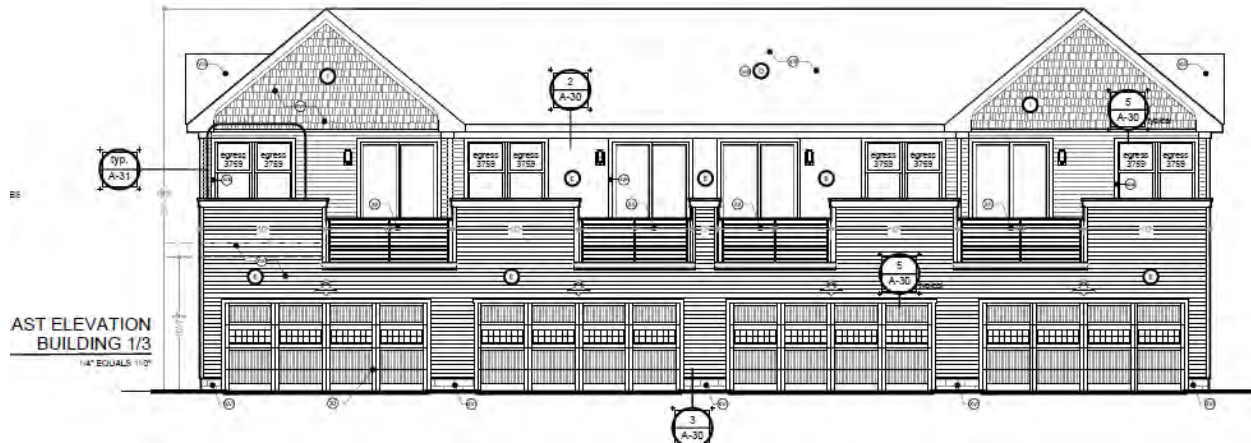
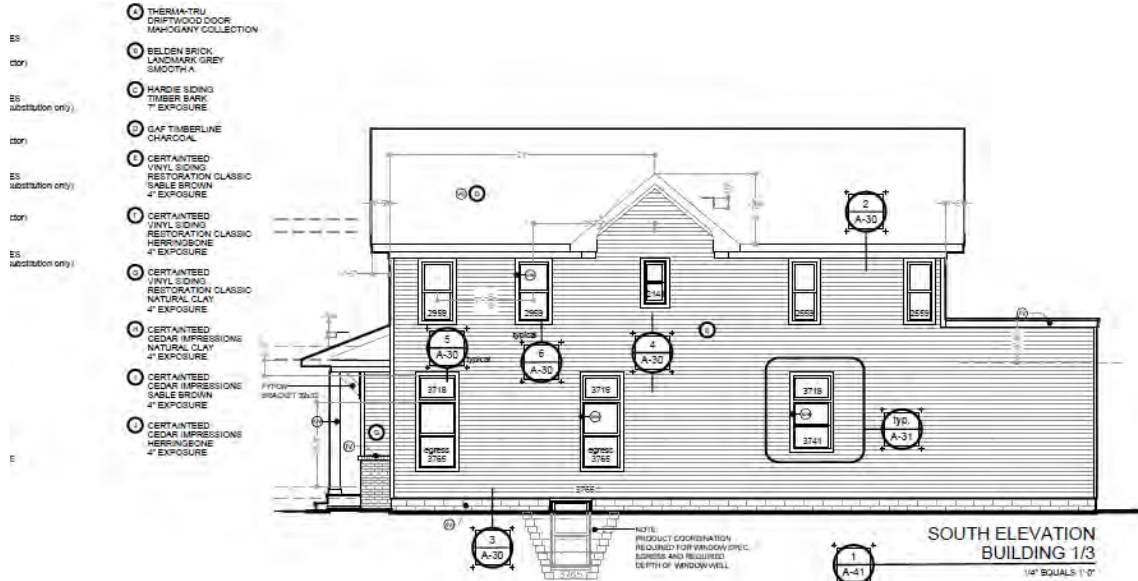


EXTERIOR EAST ELEVATION
MADISON BUILDING
1/4" = 1'-0"

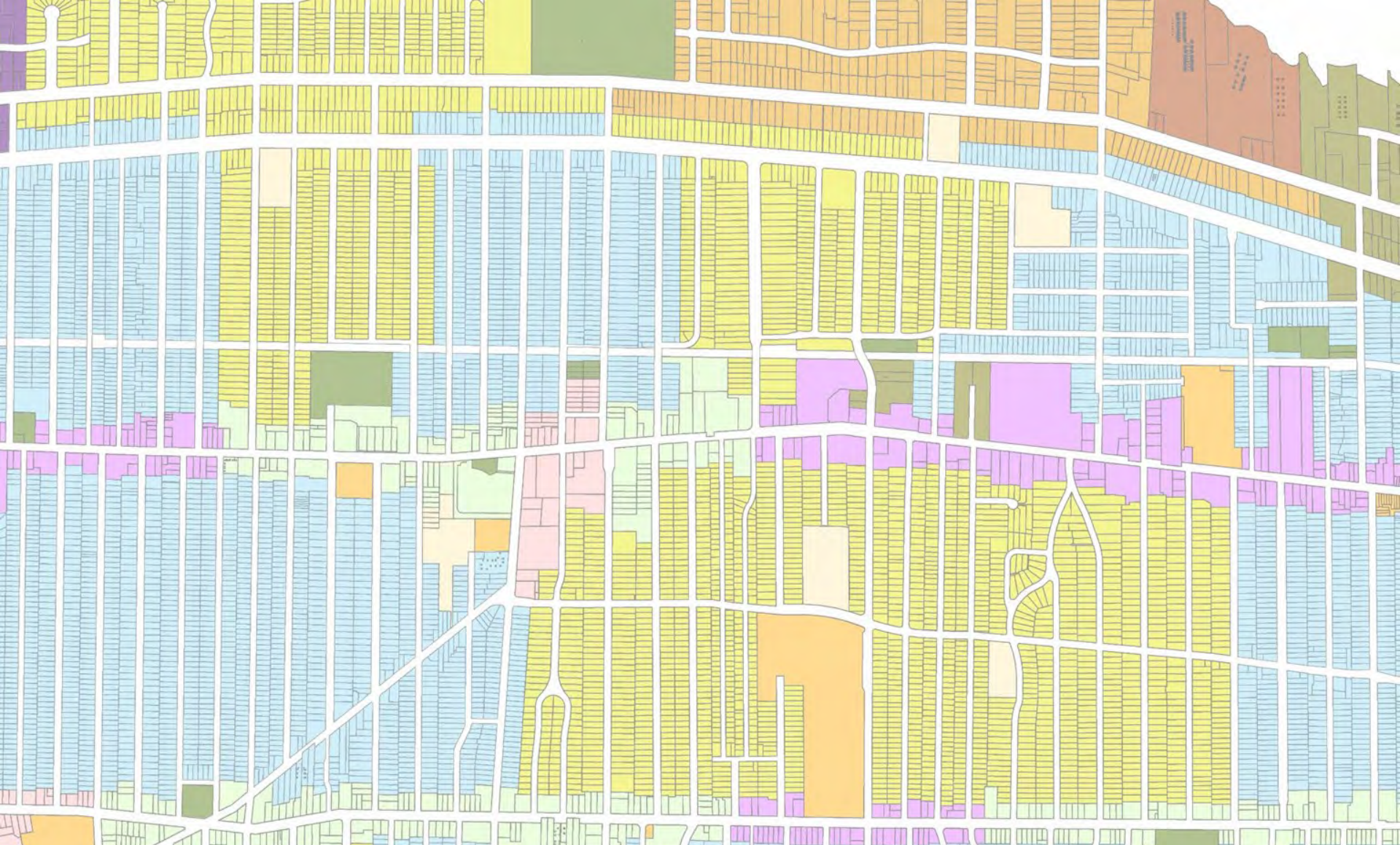


Docket No. 03-28-26 (Marlowe and Madison)

Previous Approval



Docket No. 03-28-26 (Marlowe and Madison)



Architectural Board of Review

March 2026