

MINUTES
**BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
APRIL 13, 2023
5:30 P.M.
RECORDED
<https://www.lakewoodoh.gov/videos-2/>**

1. ROLL CALL

Board Members

Brian Grambort, Vice Chair
David Maniet, Chair
Hanna Cohan Plessner
Jeremy Smith

Staff

David Baas, Board Secretary, Senior Planner
Shawn Leininger, Director, Planning & Development
William Wagner, Assistant Building Commissioner

Mr. Egervary did not attend. Mr. Smith was en route to the meeting.

2. APPROVE THE MINUTES OF THE MARCH 9, 2022 MEETING

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the March 9, 2023 minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Staff read the Opening Remarks into the record.

**SUMMARY APPROVED
SIGN REVIEW**

At the April 6, 2023 pre-review meeting, Docket No. 04-35-23, 04-37-23, 04-39-23, 04-40-23, and 04-41-23 were Summary Approved (any conditions will be noted). A motion and a second are needed for approval.

1. Docket No. 04-35-23

**14718 Madison Ave.
Joe's Kwik Marts**

- () Approve
- () Deny
- () Defer

Jason Dawson
Total Image Solutions
196 Theater Rd.
South Hill, VA 23970

Applicant requests the reface of one panel on sign and storefront sign. (Page 175)

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request with the following condition:**

- For the new panel on the existing monument sign, install an internal opaque shielding to restrict nighttime illumination to just the lettering portion of the panel.

All the members voted yea; the motion passed.

2. Docket No. 04-37-23

**12611 Madison Ave.
Oktober's**

- () Approve
- () Deny
- () Defer

Shawn Warren
Erie Design Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant requests a blade sign and business name in sign band. (Page 224)

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request as presented. All the members voted yea; the motion passed.

3. Docket No. 04-39-23

**15003 Madison Ave.
The Grooming Loft by Sophie**

- () Approve
- () Deny
- () Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant requests vinyl window signage and business name in sign band. (Page 235)

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE** the request as presented. All the members voted yea; the motion passed.

4. Docket No. 04-40-23

**14005 Madison Ave.
Sunoco**

- () Approve
- () Deny
- () Defer

Major Harrison III
Major Source LLC
P.O. Box 18869
Cleveland, OH 44118

Applicant requests replacement signage for an existing business. (Page 237)

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request as presented. All the members voted yea; the motion passed.

5. Docket No. 04-41-23

**11823 Detroit Ave.
Despina's Bakery**

- () Approve
- () Deny
- () Defer

Shawn Warren
Erie Design Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant requests a blade sign and vinyl window graphics. (Page 255)

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE** the request with the following condition:

- **Raise the height/location of the mounting bracket for the projection sign so that both mounting points are in the brick portion of the façade.**

All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

6. Docket No. 04-28-23	(R)	13429 Cliff Dr.
<input type="checkbox"/> Approve		Elizabeth Davis
<input type="checkbox"/> Deny		Old World Classics, LLC
<input type="checkbox"/> Defer		7056 Mears Gate Dr.
		North Canton, OH 44720

Applicant proposes the demolition and rebuild of a single-family home. (Page 5)

Michelle Tomallo, property owner, and James Yezbak, Old World Custom Homes were present to explain the request. Discussion commenced about materials, colors, headers and sills, setbacks were reduced (approval of the variances were to be heard by the Board of Zoning Appeals on Thursday, April 20), fascia boards, dimensional elements, crown detail, pitch of the awnings, dormers, finishing details, returns, style of the garage and front doors, exterior lighting, etc. The members liked the proposal. Public comment was taken. Staff relayed three letters from the public prior to the meeting (two in support and one in opposition).

Comments/Questions

- The west side setback proposal could block view of the lake.
 - Staff responded that setbacks/building lines were regulated under the zoning regulation for both the west and north frontages (Cliff Dr. and Wilbert Rd.) – specifically, a fifty-foot (50') setback on each determined by the current edition of the Building Line Map. The subject property/proposal was scheduled to be heard by the Board of Zoning Appeals ("BZA") for required side yard variance(s) unrelated to the Cliff/Wilbert frontages in question.
- 100 year old neighborhood deed restriction for structures to be sixty feet (60') from the street.
- The current residence posed a safety risk structurally; the terracotta brick was deteriorating.
- Neighbor spoke in support of the project.
- Neighbor spoke of difficulty of building a new structure on a corner lot.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request with the following conditions:

- **The thin brick is the Prestige Stone product, a white onyx thin veneer brick as shown at the meeting.**
- **For the light fixtures on either side of the garage door, a cutsheet is submitted and approved administratively.**
- **A garage door cutsheet is submitted and approved administratively; the style conforms better to the style of the home.**
- **Must receive approval from BZA.**

All the members voted yea; the motion passed.

7. Docket No. 04-29-23

(R)

1324 Giel Ave

- Approve
- Deny
- Defer

Richard Martin
 1324 Giel Ave.
 Lakewood, OH 44107

Applicant proposes a garage replacement. (Page 34)

Richard Martin, applicant was present to explain the request. Discussion ensued about the two-bay garage: siding and roof shingles would match the existing home, the second floor would be used for storage, second floor windows looked nice, needed cutsheet for the exterior motion-sensor lights (front and rear man door). The members liked the design, confirmed the new driveway would be wider than the curb cut. Staff had no comments. Public comment was closed as no one addressed the item. Public comment was taken.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request with the following condition:**

- **For the motion-sensor light fixtures, a cutsheet is submitted and approved administratively.**
- All the members voted yea; the motion passed.

8. Docket No. 04-30-23

(R)

1077 Wilbert Rd.

- Approve
- Deny
- Defer

Susan Broadwater
 Beegan Architectural Design
 15703 Madison Ave.
 Lakewood, OH 44107

Applicant proposes the addition of a new front porch on an existing home. (Page 70)

Paul Beegan, Beegan Architectural Design, applicant, and Laurie Manti, property owner, were present to explain the request. The masonry bottom would match the existing; the new columns would be larger in size to reflect the massing of the home; there would be a low-sloped porch roof with projected fascia and column caps; wood railings would be installed; the trim, columns, and fascia would be white, the asphalt shingle color would match as closely as possible to the existing cement tile roof. The members liked the proposal. Discussion continued about the columns (spacing between, number of, diameter (10")), light fixtures, ceiling fans, railing (proposed height is 36" with square pickets).

Questions/comments

- If the construction of a porch onto any Wilbert Rd. home were granted, it would set a precedent.

Staff relayed a letter of opposition from the public prior to the meeting. Staff said the setback was within the allowable and did not need a variance. The applicant stated he and the property owners were cognizant of and sensitive to the neighbors while the design was developed. The members appreciated the passion and reservations of the neighbors, said a porch offered a place of security and functionality, and the design was thoughtful.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following conditions:**

- **The dangling light fixture is submitted for administrative approval.**
- **The fan fixtures are submitted for administrative approval.**
- **The railing system is submitted for administrative approval.**
- **The shingle selection is submitted for administrative approval.**

All the members voted yea; the motion passed.

9. Docket No. 04-31-23

(R)

914 Beach Rd.

- Approve
- Deny
- Defer

Mark H. Reinhold
Architect
1120 Forest Rd.
Lakewood, OH 44107

Applicant proposes the construction of a new home. (Page 97)

Mark H. Reinhold, Architect, applicant, and Diane Ferguson, property owner, were present to explain the request. Discussion was about the siding, rain screen system, reveals, returns, corner boards, finishes (wood, chrome, white). The members thought it was an appropriate/unique design for the eclectic area. Staff asked about fire rating. The members asked about lighting, doors, windows. Public comment was closed as no one addressed the item. Staff did not receive comments prior to the meeting.

A motion was made by Mr. Grambort, seconded by Mr. Grambort to **APPROVE the request with the following conditions:**

- **The starred rendering in the packet defines the details of rain screen system returns on the building.**
- **Pending plan review by the city for permits.**
- **If there is a change to the upper-level window openings, approval could be granted administratively between the staff and the board chair, David Maniet.**

All the members voted yea; the motion passed.

10. Docket No. 04-32-23

(R)

12903 Lake Ave.

- Approve
- Deny
- Defer

Michael M. Tomsik
Tomsik Architects
921 Literary Rd.
Cleveland, OH 44113

Applicant proposes an addition to an existing home. (Page 116)

Staff advised the members that the applicant withdrew his request. No further action was required.

11. Docket No. 04-33-23

(C)

**17514 Detroit Ave.
St. James School**

- Approve
- Deny
- Defer

Gabriel Fey AIA
HSB Architects Inc.
1250 Old River Rd., Ste 201
Cleveland, OH 44113

Applicant proposes exterior stair extension to a new rooftop patio and the enclosure of an existing balcony. (Page 127)

Staff provided City Notes. Gabriel Fey, HSB Architects Inc., applicant, and Jess Oster, representative of the St. James ownership group, were present to explain the request. The members liked the proposal; it was not a detriment to the historic structure. The discussion continued with colors, materials, street view, perforations, possible lighting, roof plane, the overhang looked too heavy/prominent, sandstone top cap. Staff had no comments.

Public comment was closed as no one addressed the item. Staff did not receive comments prior to the meeting. Staff stated there was a zoning issue that needed to be resolved.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following condition:**

- **The height of the roof plane will be changed to a taper to the end point so that the exterior fascia thickness would not exceed the height of the top sandstone cap on the existing façade of the building.**

All the members voted yea; the motion passed.

SIGN REVIEW

12. Docket No. 04-36-23

**14615 Detroit Ave.
CHASE Bank**

- () Approve
- () Deny
- () Defer

Jessica Ruff
Ruff Neon Sign
295 W. Prospect St.
Painesville, OH 44077

Applicant requests a sign package for a new business. (Page 180)

Jessica Ruff, Ruff Neon Sign, applicant was present to explain the request. The members liked the changes to the original proposal. Staff said the sign coverage was within code for a corner property with two entrances. Discussion continued about depth of the building sign, window graphics. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request as presented. All the members voted yea; the motion passed.

13. Docket No. 04-38-23

**11798 Detroit Ave.
Everybody Cycle**

- () Approve
- () Deny
- () Defer

Nathan David
Everybody Cycle
11798 Detroit Ave.
Lakewood, OH 44107

Applicant requests vinyl window signage and business name in sign band. (Page 229)

Nathan David, Everybody Cycle, applicant was present to explain the request. Discussion commenced with the temporary banner not part of the current meeting, the door and window graphics, business branding. The members liked the simplicity and branding. Public comment was closed as no one addressed the item. Staff explained the difference between the applicant and property owner applying for building/business signage (individually or as a comprehensive sign package).

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following conditions:**

- **Banner signage is not part of the approval.**
- **Vinyl graphics/signage for the door is white lettering, except for the circle logo that is white with black behind it within the framework of the circle.**
- **The main window graphics are as presented.**

All the members voted yea; the motion passed.

14. Docket No. 04-34-23

(C)

1484 W. 117th St.
Nelson Court

- Approve
- Deny
- Defer

Brian Grambort
Hiti, DiFrancesco and Siebold, Inc.
1939 W. 25th St.
Cleveland, OH 44113

Applicant proposes a parking lot design. (Page 169)

Brian Grambort, Hiti, DiFrancesco and Siebold, Inc., applicant excused himself from the board while he and Tom Fischer, property owner, explained the request. The members liked the proposal; it was a good solution to the parking situation and enhanced safety. Public comment was closed as no one addressed the item. Staff said that Public Works would review the new curb cut, sidewalk. Public comment was closed as no one addressed the item. Staff did not receive comments prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request as presented. Ms. Cohan Plessner, Mr. Maniet, and Mr. Smith voted yea, and Mr. Grambort abstained; the motion passed.

ADJOURN

A motion was made by Mr. Maniet, seconded by Mr. Smith to **ADJOURN** the meeting at 6:57 p.m. All the members voted yea; the motion passed.



Signature

5-11-2023

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. Michelle Tomello

M Tomello

2. Jim Yezaak

[Signature]

3. DAVIS NOFFMAN

[Signature]

4. Chris Johnson

[Signature]

5. [Signature]

[Signature]

6. Micki Tull

[Signature]

7. SAHIL CHEHEYL

See

8. Jason Amato

[Signature]

9. [Signature]

[Signature]

10. PAUL BEZGAW

[Signature]

11. LAURIE MANTI
SARA CHEHEYL

[Signature]

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

Chris Johnson

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, April 13, 2023



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. MARK REINHOLD

2. Diane Ferguson

3. GABRIEL FEY

4. Jess Oster

5. Jessica Huff

6. BRIAN GRAMPORT

7. Tom Fischer

8. _____

9. _____

10. _____

11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, April 13, 2023

From: [Adam Tubbs](#)
To: [David Baas](#)
Cc: [Lauren Bogatay](#)
Subject: 13429 Cliff Drive
Date: Thursday, April 13, 2023 10:06:55 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi David,

My wife Lauren and I moved into the home at 1110 Wilbert Rd last summer and are loving the Overlook Park neighborhood and living in Lakewood. We're constantly on walks and talk about the house at 13429 Cliff when we walk by because it's such an amazing property and it's sad to see it in its current state. We have seen the proposed plans for the home and think it would be amazing to have a new home on that corner with some life and nice landscaping that will bring joy to us when we're on our walks in the neighborhood.

Please consider this our official showing of support to allow the owner to move forward with their project and improve our neighborhood's look and feel for the years to come.

Thank you,

Adam and Lauren Tubbs
1110 Wilbert Rd
Lakewood, OH 44107
440.452.8345

From: [Micki Tubbs](#)
To: [David Baas](#)
Subject: 13429 Cliff Drive
Date: Wednesday, April 12, 2023 7:14:28 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Lakewood ARB,

I am writing in support of the new home to be built at 13429 Cliff Drive. It is a beautiful design that fits into the neighborhood and complements the surrounding homes.

I live at 1025 Nicholson Ave about 6 houses from this home and walk the neighborhood everyday. Michelle Tomallo the owner of the property has presented a home that will greatly improve the the current home on the parcel that presented too many structural challenges to feasibly renovate the existing home.

In addition we are gaining an amazing person to join our neighborhood in Michelle!

Micki

Micki Tubbs
President | Board of Directors
1375 Euclid Ave. Suite 310
Cleveland, Ohio 44115
440.452.4415
mtubbs@fittechnologies.com

From: [Planning Dept](#)
To: [David Baas](#)
Subject: FW: 13429 Cliff Drive – Proposed tear down and rebuild
Date: Thursday, April 13, 2023 10:44:15 AM

Johanna Schwarz

Administrative Assistant II

City of Lakewood
Department of Planning and Development
12650 Detroit Avenue
Lakewood, Ohio 44107

(216)529-6630 main
(216)529-6631 office

www.lakewoodoh.gov

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From: Wendy Jarchow <wjarchow72@gmail.com>
Sent: Thursday, April 13, 2023 6:50 AM
To: Planning Dept <Planning@lakewoodoh.net>
Subject: 13429 Cliff Drive – Proposed tear down and rebuild

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

To the Board of Building.

My husband Jason and I are traveling with our family for Spring Break and not able to attend the meeting tonight, but want to express our concerns shared by other Wilbert Road neighbors impacted by the proposed tear down and rebuild of the property at 13429 Cliff Drive. We have lived at 1055 Wilbert Road for over 5 years and have been Lakewood residents for nearly 20 years. Prior to Wilbert we lived on Kenneth Avenue and I was raised on Virginia Ave. We understand the unique nature that each Lakewood street brings to the community. We are concerned that the new construction and the proposed changes will negatively impact the strength and beauty of Wilbert. Over the years neighbors have respected the line of sight to the lake, which is one of the main reasons we moved to the wonderful street. It has made Wilbert a community within a community, as is true with many streets in Lakewood.

Over 100 years ago Wilbert Road was planned, deliberately, to allow all residents of the street to have

a view of Lake Erie. This plan was executed with precision and has been respected and adhered to for over 100 years. The proposed build at 13429 Cliff Drive impacts the view corridor and sets a dangerous precedent that will lead to additional expansion into the view corridor. The current proposal of the rebuild of the home will negatively impact the Wilbert Road view corridor, specifically all of us on the east side of the street. Wilbert is unique in that it is one of the few streets to have a lake view for all its pedestrians and residents. Any impairment of this view, no matter how an individual property owner or architect considers insignificant, is a violation of the design integrity of the street and a disrespect to the history/future of the street and Wilbert residents. Over the years property owners have restrained from making any changes negatively impacting sight lines for their neighbors to the south. One change, while seemingly minor, will set in place a precedent that will forever change the nature of the street and Lakewood.

This home, 13429 Cliff Drive, is unique in that it fronts on two streets Cliff and Wilbert. While the address is Cliff Drive, it also has a major frontage on Wilbert. The original architect must have understood and designed as such, respecting both main addresses. Both fronts impact the integrity of each street. Attention to both is necessary to avoid negatively impacting either street. Two front yards do present a design challenge, but there are ways to navigate the home owners needs and not negatively impact neighbors on either Cliff or Wilbert. The current design extends many feet from the house on the Wilbert front. Even at grade it will require extensive landscaping to create privacy and shade further impacting the view corridor for all Wilbert neighbors. Patio furniture will further obstruct the view corridor. The entire street will be looking at the back of the patio.

We hope that the current owner and her design team will take the time necessary to navigate the view corridor design issues to create improvements that enhance the traditions and future of this vibrant Lakewood community. We encourage the City of Lakewood to carefully weigh the community impact, versus the individual preference, and not to break this long-standing neighborhood imperative. The neighbors of Wilbert who have lived here for many years who enjoy the current unobstructed views will be impacted and ask the board to strongly consider what this new design means for these residents. Preservation of the unique nature of Wilbert Road will make Lakewood a stronger community.

We very much appreciate your careful consideration of this important matter.

Sincerely,

Wendy and Jason Jarchow

Craig & Jessica Coffey
1085 Wilbert Road
Lakewood, Ohio 44107

April 6, 2022

Architectural Review Board
City of Lakewood
Division of Housing & Building
12650 Detroit Avenue
Lakewood, Ohio 44107

RE: 1077 Wilbert Rd. – Proposed Property Modifications

We have had an opportunity to review the proposed property modifications to the above property and, as a neighboring property owner for over 15 years at 1085 Wilbert Road, we would offer the following comments.

Wilbert is one of only two streets in Lakewood that have an open view of the lake from most front yards. The existence of this “lake view” is often cited as a major attribute of the neighborhood, by current and prospective residents, visitors to each of our homes, and the many walkers who travel through the neighborhood. The appreciation of this open lake view is visually evident by the number of houses on the street that have Adirondack chairs in their front yards -- each one directed toward the lake. Any proposal that may threaten that attribute, like elements of this one, should be cautiously reviewed.

In this case, since we are the only home that has sight lines to the lake that could be negatively impacted by the addition of a porch, we'd like the following to be considered and entered into the record:

- The architectural drawings are misleading. The proposed porch addition will double the depth of the existing “porch,” more accurately described as a stoop. The existing stoop, including steps, is listed at ~8 feet. The depth of the proposed porch is also listed at 8 feet, but it conveniently leaves off the addition of the three steps, which would put it a total depth at closer to 11 feet, steps included.
- The proposed addition of the porch presents an increased risk of inhibiting our sightlines from our front door. There is no sightline study included in the documentation, which we would ask to be conducted and reviewed prior to approval of the porch.
- There are virtually no other protruding front porches on the east side of Wilbert (or on the West side, to my recollection) evidence of the long-standing tradition of respecting residents' view to the lake. Several years ago, we also considered a front porch addition and ultimately opted to put a back porch on our house, out of respect to our neighbors and this tradition.

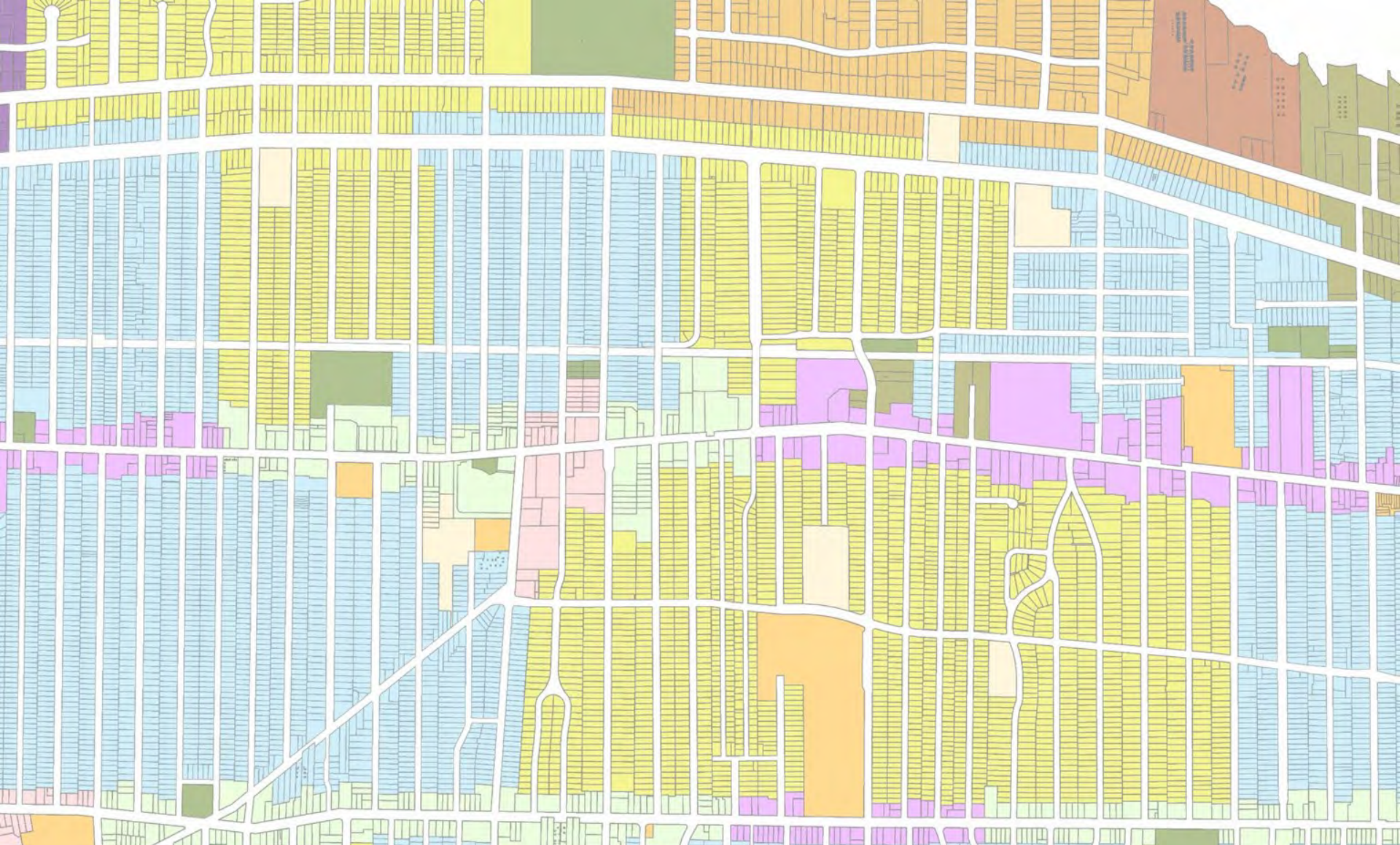
- Stylistically, the porch as designed presents other concerns: The roofline doesn't seem complimentary to the shape of the home. Roofing material isn't specified. Will it match the existing? Columns seem undersized and the round shape not in keeping with the house's original design. Railing is spec'd as "wood" painted white? What kind of wood?

For these reasons, we encourage the new owners and their architect to revise their plans in an effort to avoid breaking with the long tradition on Wilbert of protecting the lake view for all of its residents. As a resident of Wilbert Rd., we are concerned that if these current plans are approved and completed as proposed, it will announce the end of the longtime practice on Wilbert of sharing and protecting the lake view, so that it can be enjoyed by the many, now and in the future.

Respectfully,

Craig and Jessica Coffey

CC: John Litten, Lakewood City Council, Ward 3



Architectural Board of Review

April 2023



Architectural Board of Review

Pre-Review Meeting: 6 April, 4pm (East Conf Rm)

Regular Meeting: 13 April, 5:30 pm (Auditorium)

Members

David Maniet (2023 Chair)

Brian Grambort (2023 Vice Chair)

Jeremy Smith

Hanna Cohan Plessner

Chris Egervary

Staff

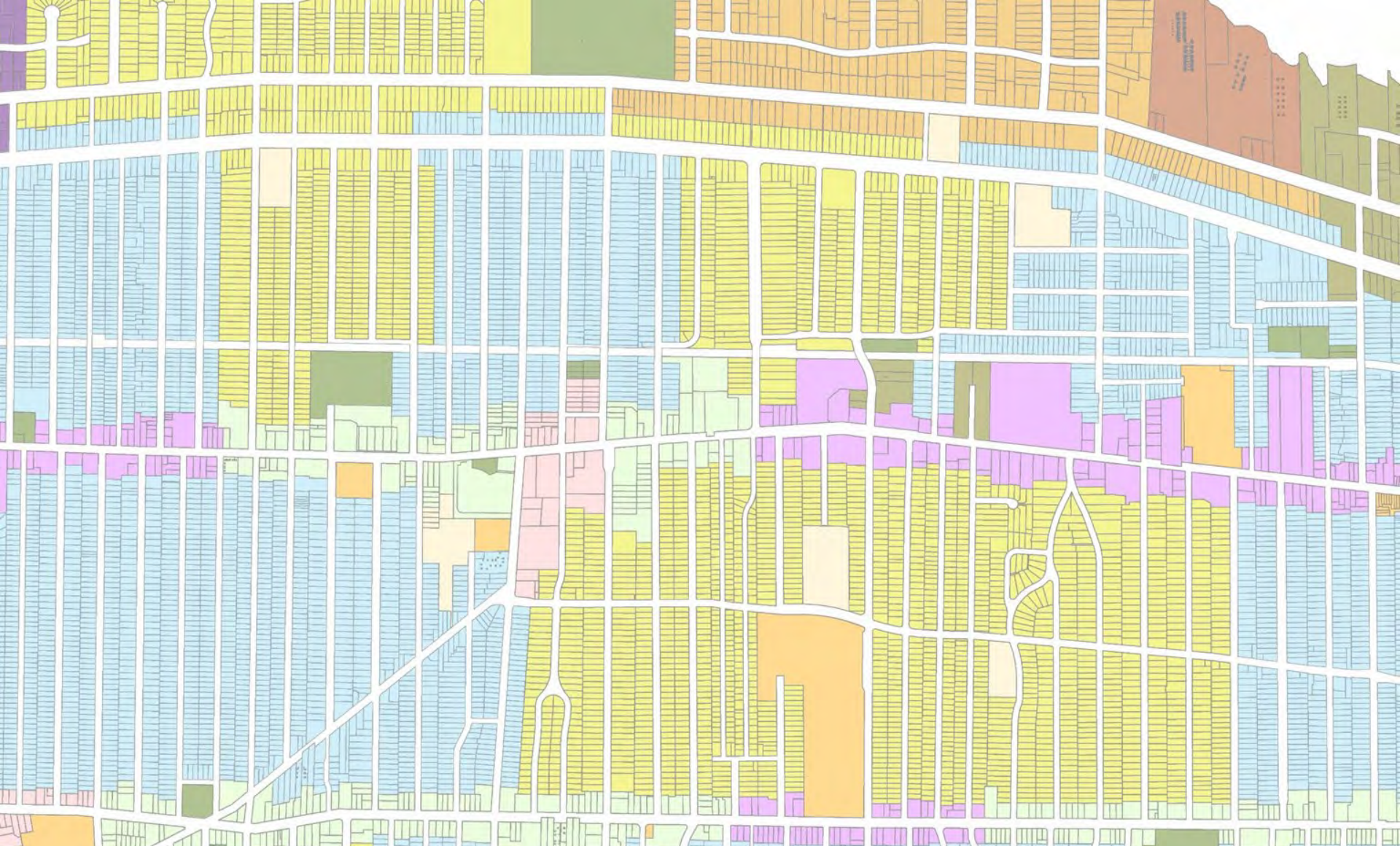
Board Secretary: David Baas

Building Commissioner: Chris Parmelee



Architectural Board of Review **April Agenda**

1. Roll call
2. Approve minutes – March 2023 meeting
3. Opening Remarks
4. New Business
5. Sign Review
6. Adjourn



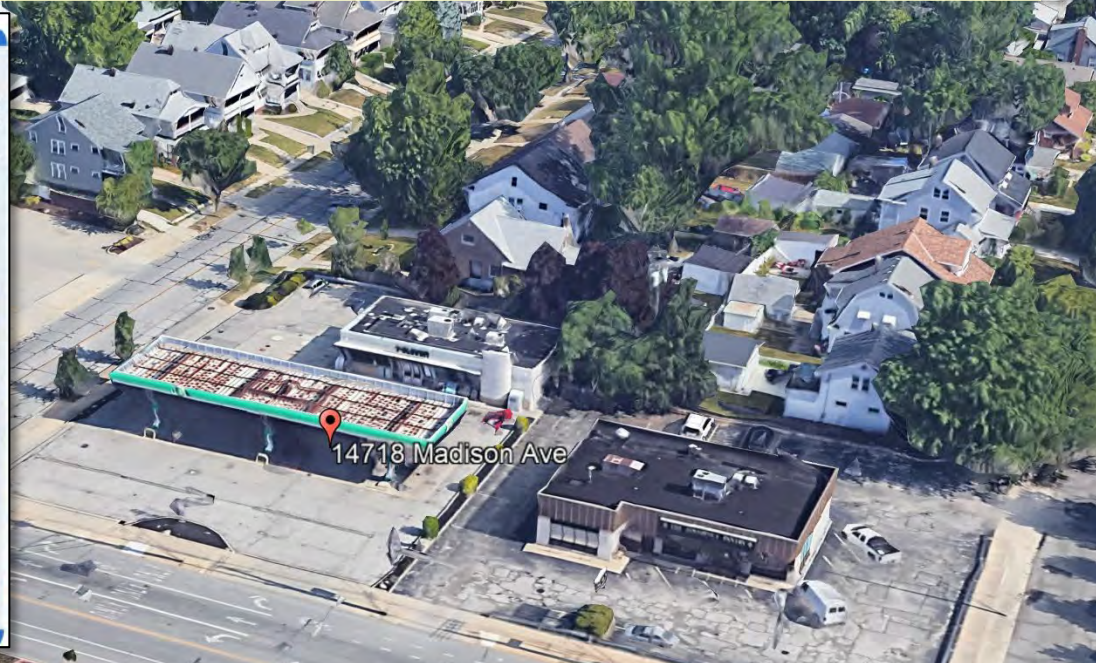
Architectural Board of Review

Sign Review – Summary Approvals – April 2023

Applicant proposes replacement signage in C2 District.

City Notes:

- ❑ Storefront of ~60 ft...maximum allowable sign area of ~90 ft².
- ❑ Refacing existing monument sign (~40ft²); new lettering = ~30 ft² (lettering)



BP - Joes Kwik Marts Reface existing sign and Install new Joes Kwik Marts Panel

Proposed Sign: 45.6 sq. ft, 10' OAH

Existing Sign: 45.6 sq. ft, 10' OAH

TOTAL IMAGE SOLUTIONS
totalimageevolutions.com

196 Theater Rd.
South Hill, VA 23070
P: (434) 447-3347
F: (434) 447-3288

Drawn	BP
Address	14718 Madison Ave Lakewood, OH
Site ID	-
Branded Warehouse	-
Date	2-22-23
Revisions	1
Originated By	Rahoon R.

**NO PERMITTING
DEPENDENCIES**

This document reflects a site-specific and confidential business information. The information shown is intended to represent design intent only. It may not be reproduced, copied, or published in any fashion without written consent from Total Image Solutions.

Summary Approval – Condition Accepted
“For new panel on existing monument sign...install internal opaque shielding to restrict nighttime illumination to just the lettering portion of the panel...”



Docket No. 04-35-23 (14718 Madison)

Sign – Joe’s Kwik Mart
Jason Dawson

Applicant proposes replacement signage in C2 District.

City Notes:

- ❑ Storefront of ~20 ft...maximum allowable sign area of ~30 ft².
- ❑ Existing window graphics ~10 ft²
- ❑ Proposed = 14 ft² total...7.5 ft² (lettering) + 7 ft² (projection sign)

8" x 66" pvc 1/2 thick **OKTOBER'S**



37" pole corner mount with 4- 2.5" bolts and sleeves



36" dia



12611 Madison Ave

Summary Approval



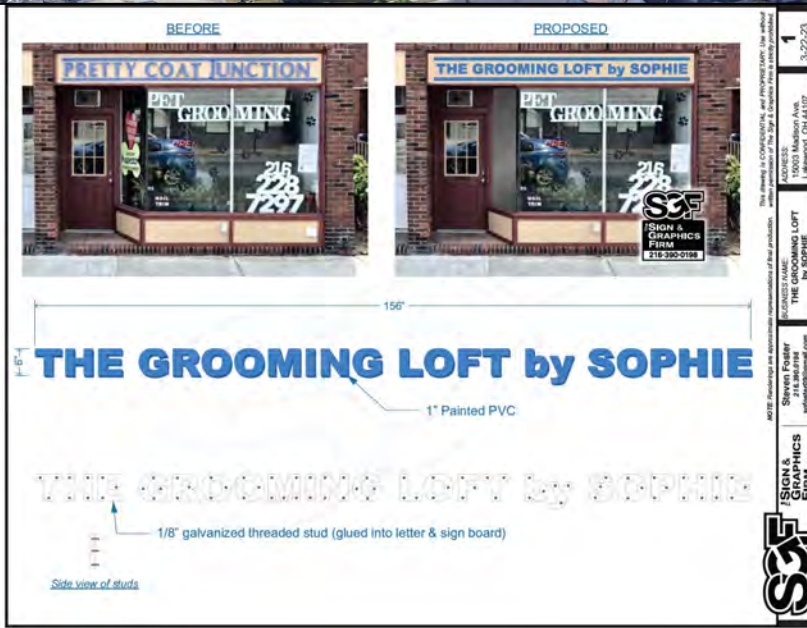
Docket No. 04-37-23 (12611 Madison)

Sign – Oktober's
Shawn Warren

Applicant proposes replacement signage in C2 District.

City Notes:

- New business lettering in existing sign band.



Summary Approval



Docket No. 04-39-23 (15003 Madison)
Sign – The Grooming Loft by Sophie
Steve Foster

Applicant proposes replacement signage in C2 District.

City Notes:

- ☐ Rebranding of existing signage.

SUNOCO Canopy Diamond Sign

01 - Vacuum Formed Polycarbonate Face w/ 1/4" thick Embossed Logo (See Emboss Detail Below)

02 - Vacuum Formed Polycarbonate Opaque Backer w/ clear "window" around rear perimeter for Halo Lighting.

03 - Clear Halo Window around Rear Perimeter of sign

42" Diamond: **SUN-42-01A-LED**

5'-7"

3'-0"

42" (3.5ft) x 67" (5.58ft) = **19.54 SQ FT**

9'-0"

3'-0"

6'-0"

4 1/2"

1 1/2"

2"

2"

Side View

Align tip of arrow with bottom edge of canopy

Sunoco LED 3'-0" tall sign, sign at bottom of facade extend above top of canopy as shown

	Address: 14005 Madison Ave., Lakewood, OH 44107	Job Number: SUN-20204-58	This original drawing is property of T.I. and is not to be unaltered, copied, or reproduced without permission. Please call us first.
Rev. 1 - Original Drawing	Customer: BAUD CONSTRUCTION	Date: 08/14/2023	
08/14/2023	Drawn by: RB	Customer Approval:	

14005 Madison Ave

Summary Approval

Docket No. 04-40-23 (14005 Madison)

Sign - Sunoco
Major Harrison



Applicant proposes replacement signage in C2 District.

City Notes:

- ❑ Storefront of ~20 ft...maximum allowable sign area of ~30 ft².
- ❑ Existing lettering = ~6 ft²
- ❑ Proposed = 24 ft² total...18 ft² (projection sign) + 6 ft² (window graphic).

Scroll bracket is 14" x 43"
sign 36" x 36"



SIGN \$475
INST. \$175

1/4" max metal color print with laminate 2 sides 9'x2= 18 sq. ft.

*Grey color is clear tinted window



GRAPHIC \$75
INST. \$75
PERMITS \$175

1 vinyl graphic for window 28" x 30" 6.25 sq. ft.

11823 Detroit Ave

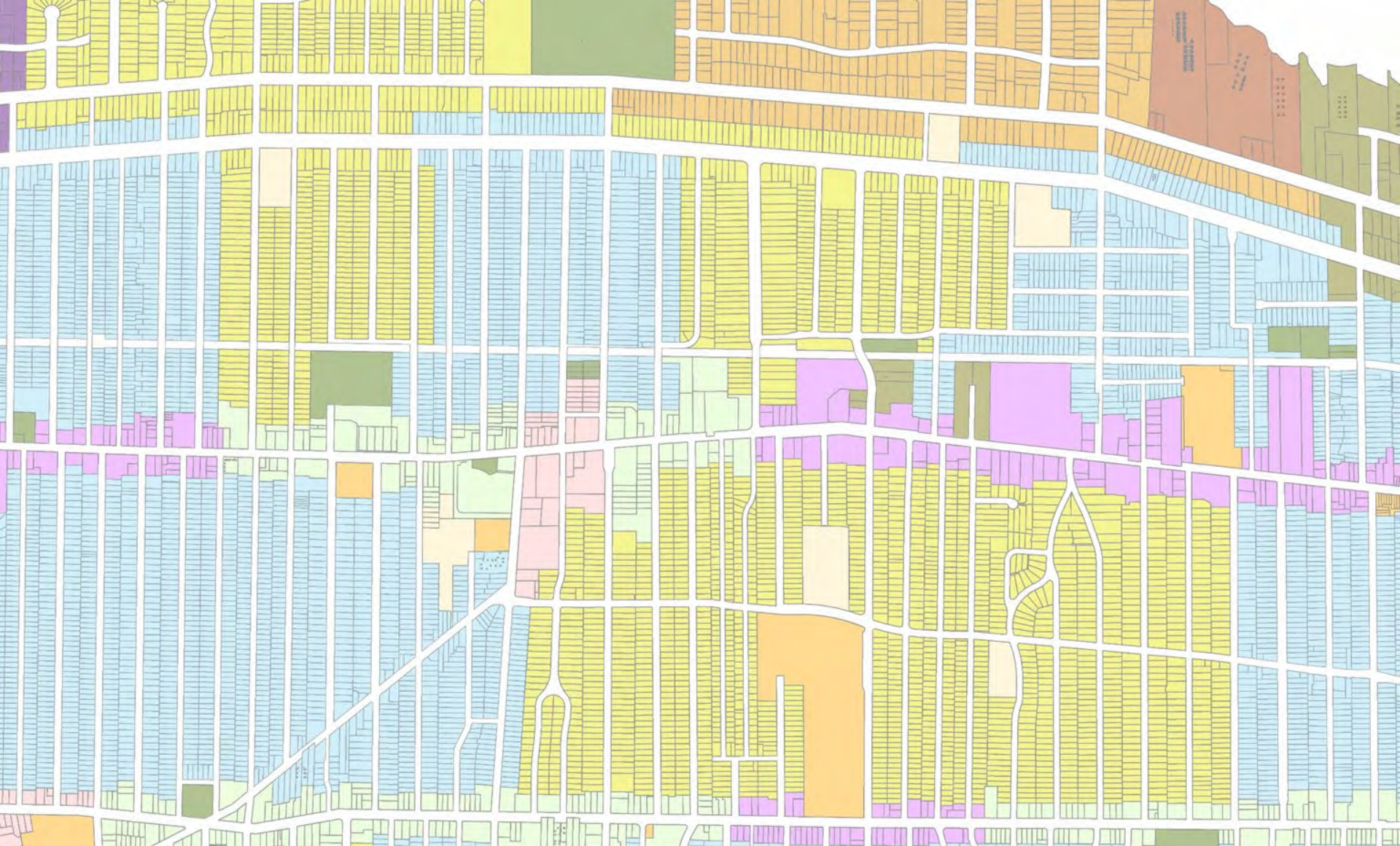
Summary Approval – Condition Accepted

“Raise the height/location of the mounting bracket for the projection sign so that both mounting points are in the brick portion of the façade...”



Docket No. 04-41-23 (11823 Detroit)

Sign – Despina's Bakery
Shawn Warren



Architectural Board of Review

New Business – April 2023

Applicant proposes demolition of existing home/new construction.

City Notes:

- Section 1133.09 applies (not locally-designated HP).
- Illustrate how proposed design represents the *“historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood”* referenced in 1133.09.
- Pending BZA review of two (2) minimum yard requirement variances.



Docket No. 04-28-23 (13429 Cliff)
Residential Demo/New Construction
Elizabeth Davis

1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(b) Requirements Before Demolition or Removal of Principal Structures on Residential Properties. No demolition or removal of a principal structure, built in 1945 or earlier...shall be permitted unless and until one (1) of the following conditions is satisfied:

(1) The Safety Director of the *City* authorizes the Commissioner to grant a demolition or removal permit, based on causes such as fire or other source of property damage or loss, in order to remedy conditions immediately dangerous to life, health or property, or to remedy a nuisance, as jointly determined and recommended by the Commissioner, the Fire Chief, and the *City* Engineer; or (Ord. 24-2016. Passed 5-2-2016.)

(2) The passage of 180 days following application to the Commissioner for a demolition permit or permit to move a principal structure, during which time the applicant has further made good faith application to all required boards and commissions of the *City* for approval of a new principal structure at the location of such property; or

(3) The proposed principal structure at the location of such property **conforms to the design requirements set forth in Chapter 1325 of the Building Code and has been approved by the Architectural Board of Review**, and by any other required boards and commissions of the *City*, in order to proceed with the new principal structure. In addition, notwithstanding any other requirements, all approvals for such proposed principal structure shall be based on the following factors:

A. The **proposed principal structure is consistent with the Code, the Vision and the “Standards for Rehabilitation”** adopted by the U.S. Secretary of the Interior, as stated in Title 36 of the Code of Federal Regulations, Part 1208 (Formerly of Part 67); and

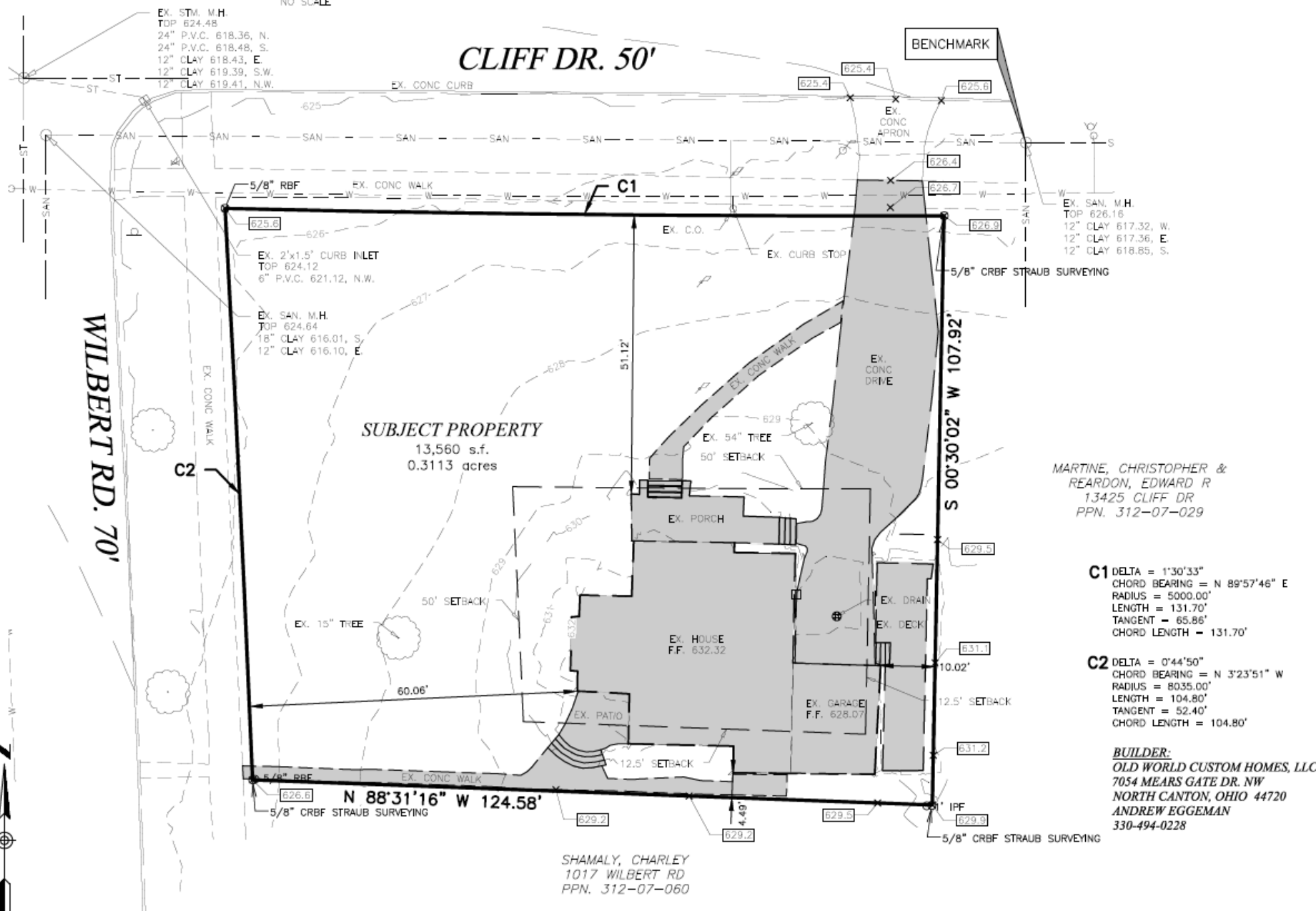
B. The **proposed principal structure is consistent with any historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood.**

C. The Secretary of all such required boards and commissions of the *City* shall immediately notify the Commissioner of compliance with the provisions of this section by any applicant that would allow and provide for the issuance of a demolition permit or a removal permit by the Commissioner.



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

CLIFF DR. 50'



SUBJECT PROPERTY
13,560 s.f.
0.3113 acres

MARTINE, CHRISTOPHER &
REARDON, EDWARD R
13425 CLIFF DR
PPN. 312-07-029

C1 DELTA = 1°30'33"
CHORD BEARING = N 89°57'46" E
RADIUS = 5000.00'
LENGTH = 131.70'
TANGENT = 65.86'
CHORD LENGTH = 131.70'

C2 DELTA = 0°44'50"
CHORD BEARING = N 3°23'51" W
RADIUS = 8035.00'
LENGTH = 104.80'
TANGENT = 52.40'
CHORD LENGTH = 104.80'

BUILDER:
OLD WORLD CUSTOM HOMES, LLC
7054 MEARS GATE DR. NW
NORTH CANTON, OHIO 44720
ANDREW EGGEMAN
330-494-0228

SHAMALY, CHARLEY
1017 WILBERT RD
PPN. 312-07-060



Docket No. 04-28-23 (13429 Cliff) Residential Demolition/New Construction



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

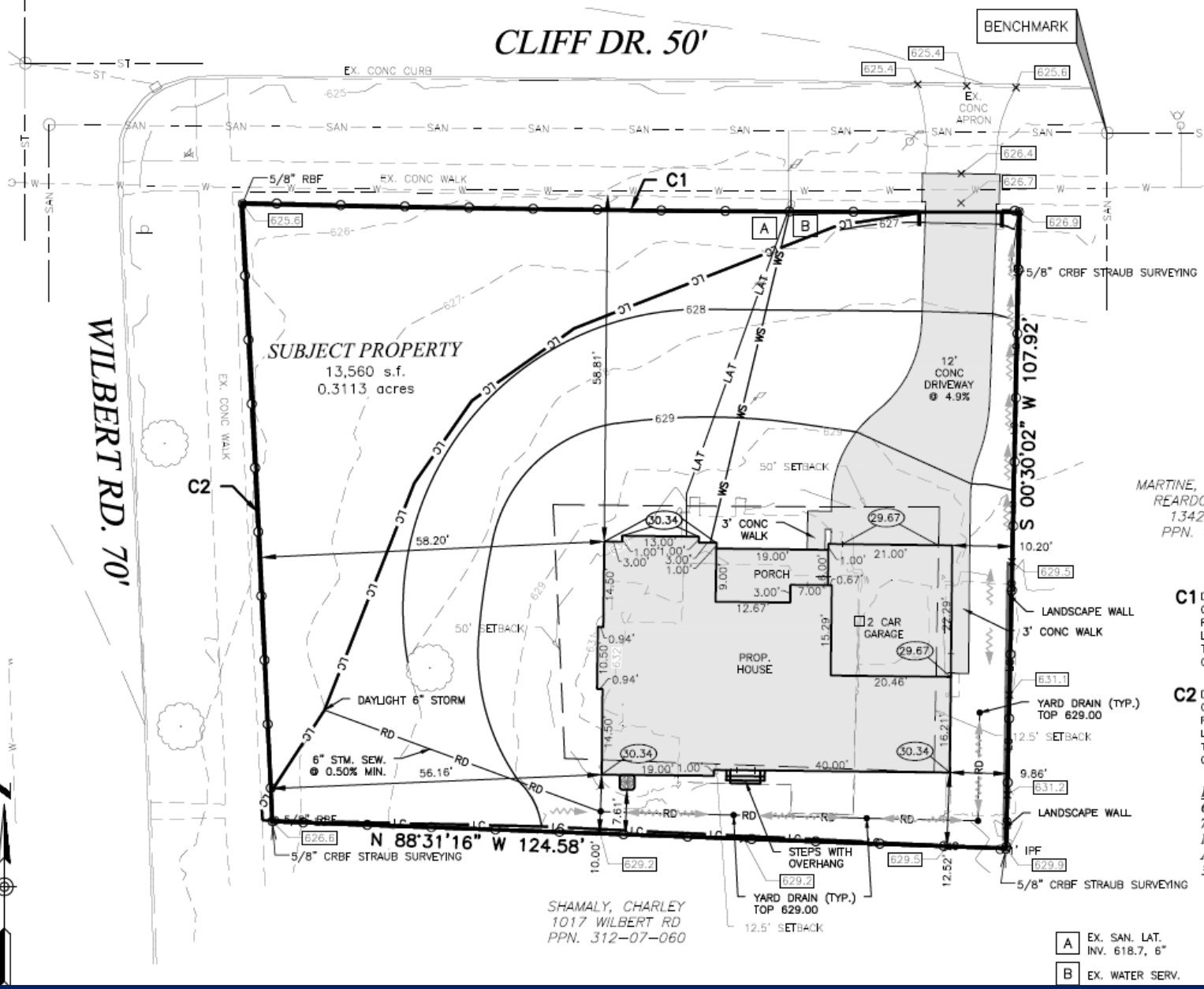


Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

CLIFF DR. 50'



MARTINE, CHRISTOPHER &
 REARDON, EDWARD R
 13425 CLIFF DR
 PPN. 312-07-029

C1 DELTA = 1°30'33"
 CHORD BEARING = N 89°57'46" E
 RADIUS = 5000.00'
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C2 DELTA = 0°44'50"
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 LENGTH = 104.80'
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BUILDER:
 OLD WORLD CUSTOM HOMES, LLC
 7054 MEARS GATE DR. NW
 NORTH CANTON, OHIO 44720
 ANDREW EGGEMAN
 330-494-0228

DRIVE APRON =	0 S.F.
DRIVEWAY -	812 S.F.
CITY WALK -	65 S.F.
LEAD WALK =	24 S.F.
PORCH/STOOP =	172 S.F.
GARAGE WALK =	75 S.F.

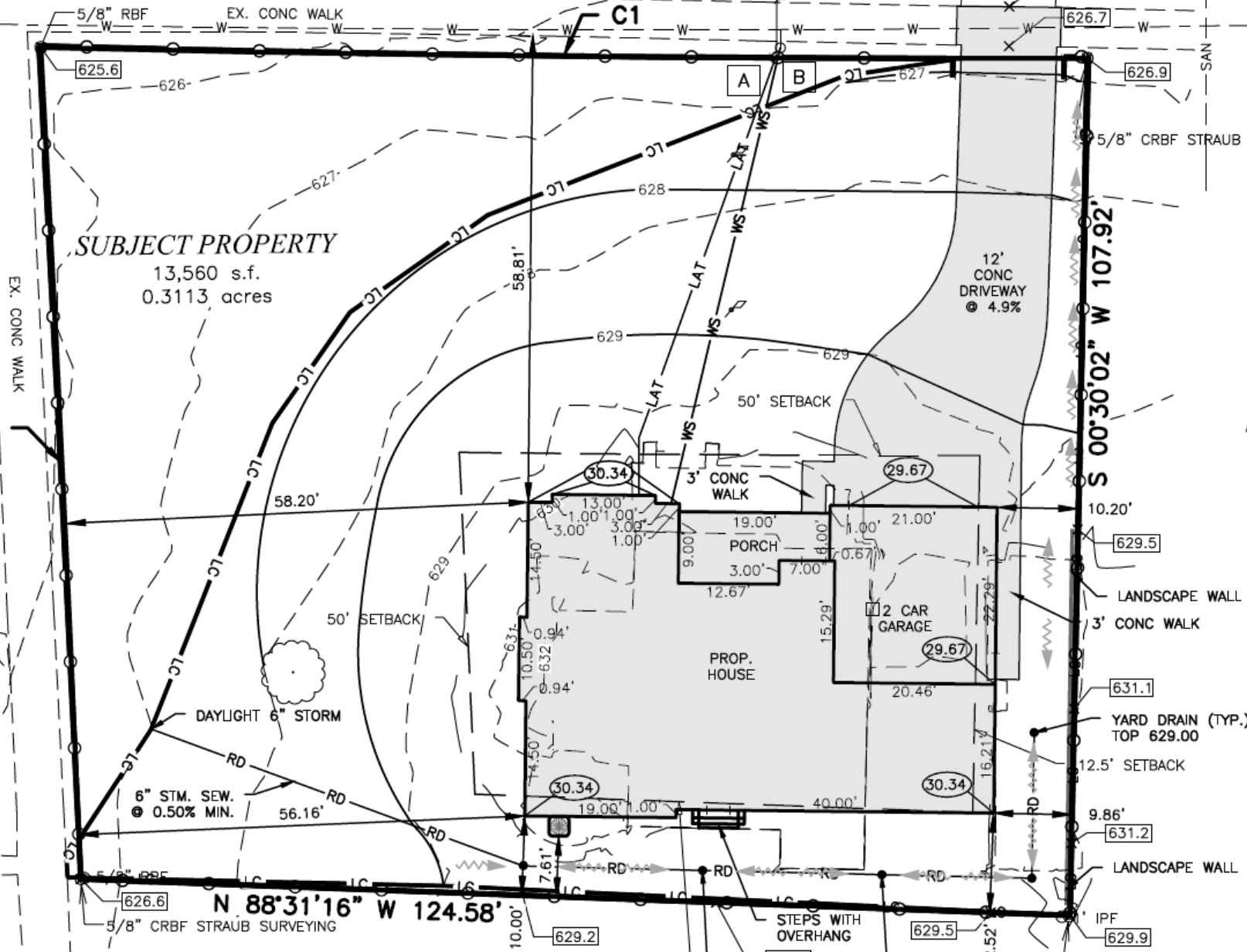
- A EX. SAN. LAT.
INV. 618.7, 6"
- B EX. WATER SERV.

SHAMALY, CHARLEY
 1017 WILBERT RD
 PPN. 312-07-060



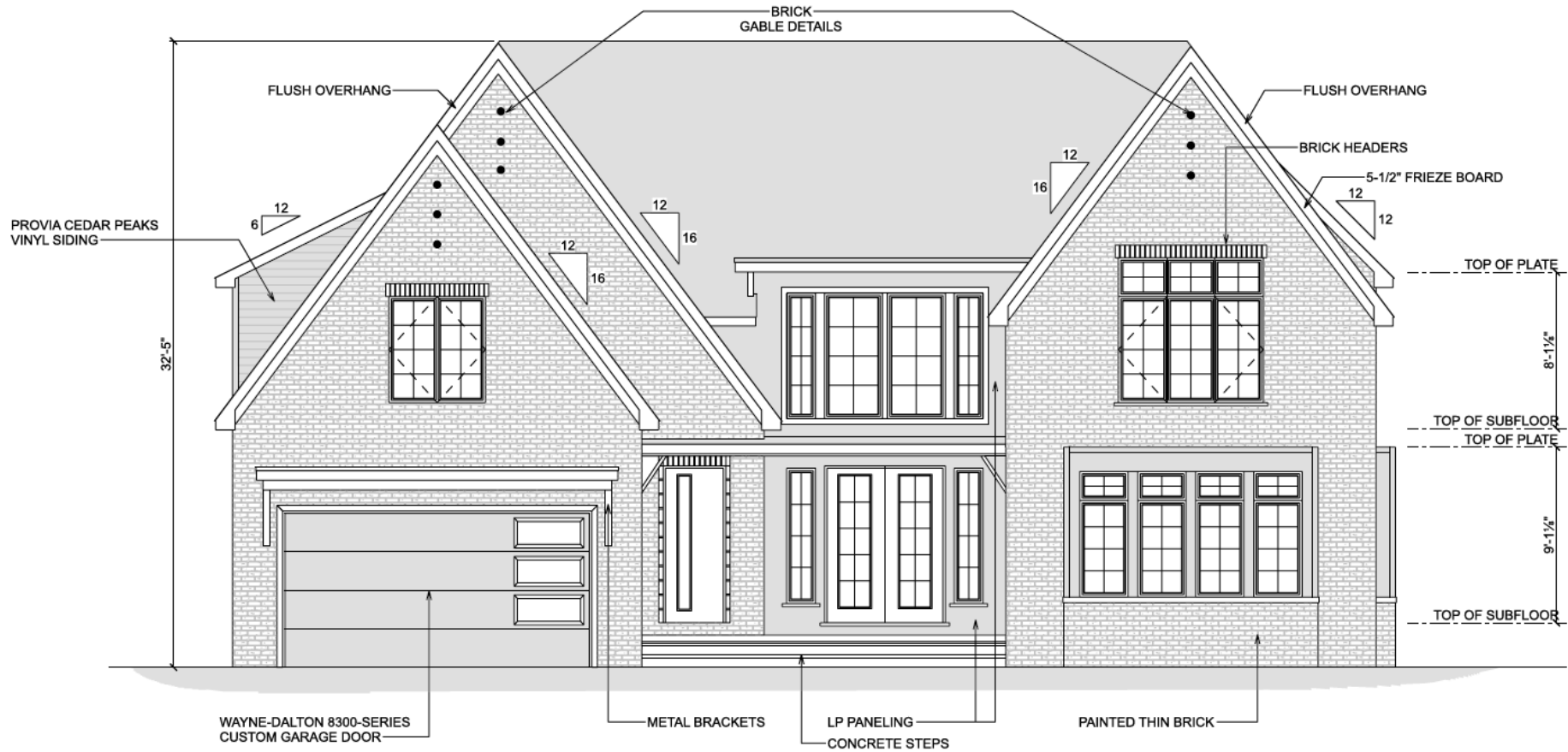
Docket No. 04-28-23 (13429 Cliff) Residential Demolition/New Construction

WILBERT RD. 70'



Docket No. 04-28-23 (13429 Cliff)

Residential Demolition/New Construction



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)
 Residential Demolition/New Construction



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)
 Residential Demolition/New Construction



REAR ELEVATION

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)
 Residential Demolition/New Construction

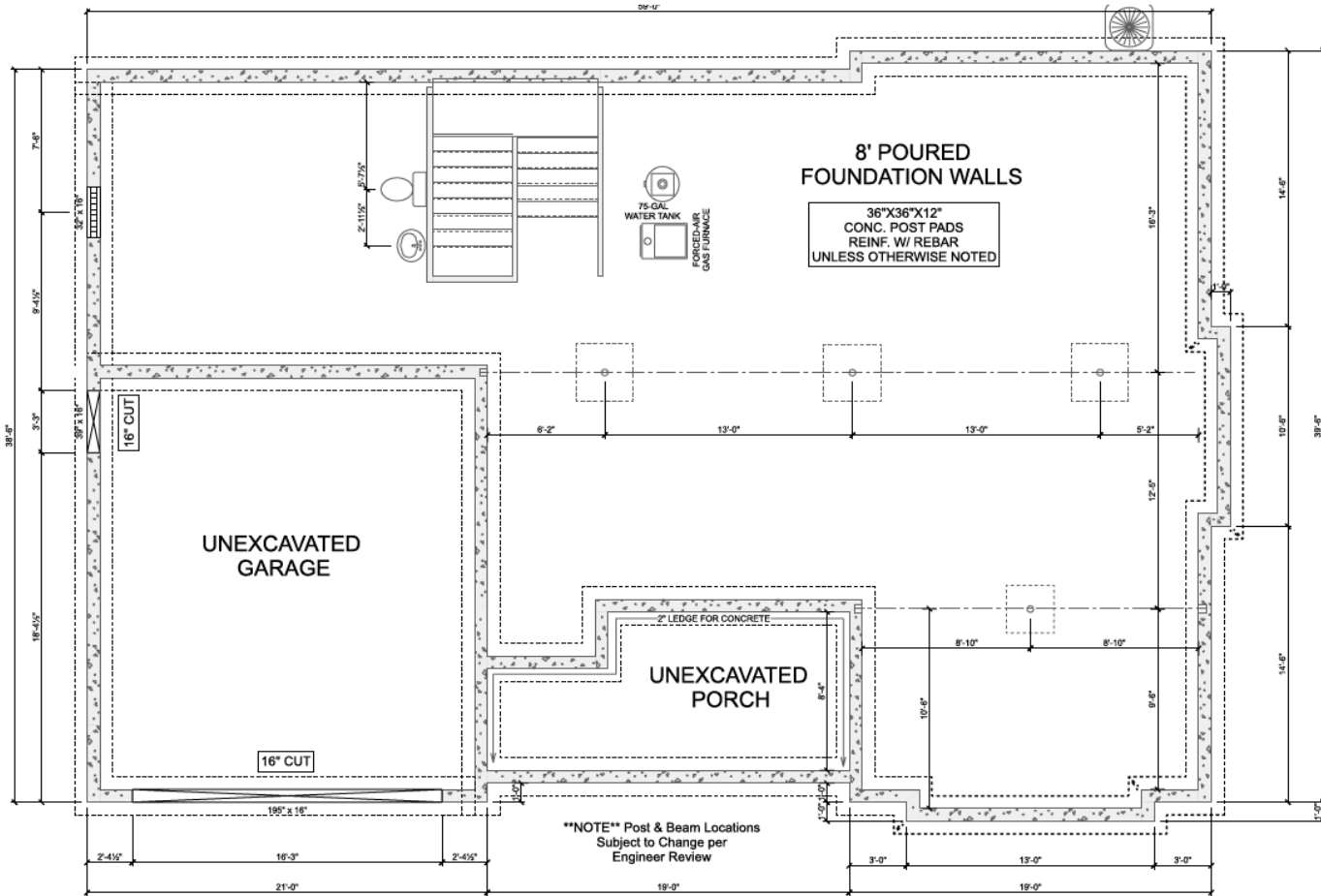


LEFT ELEVATION

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

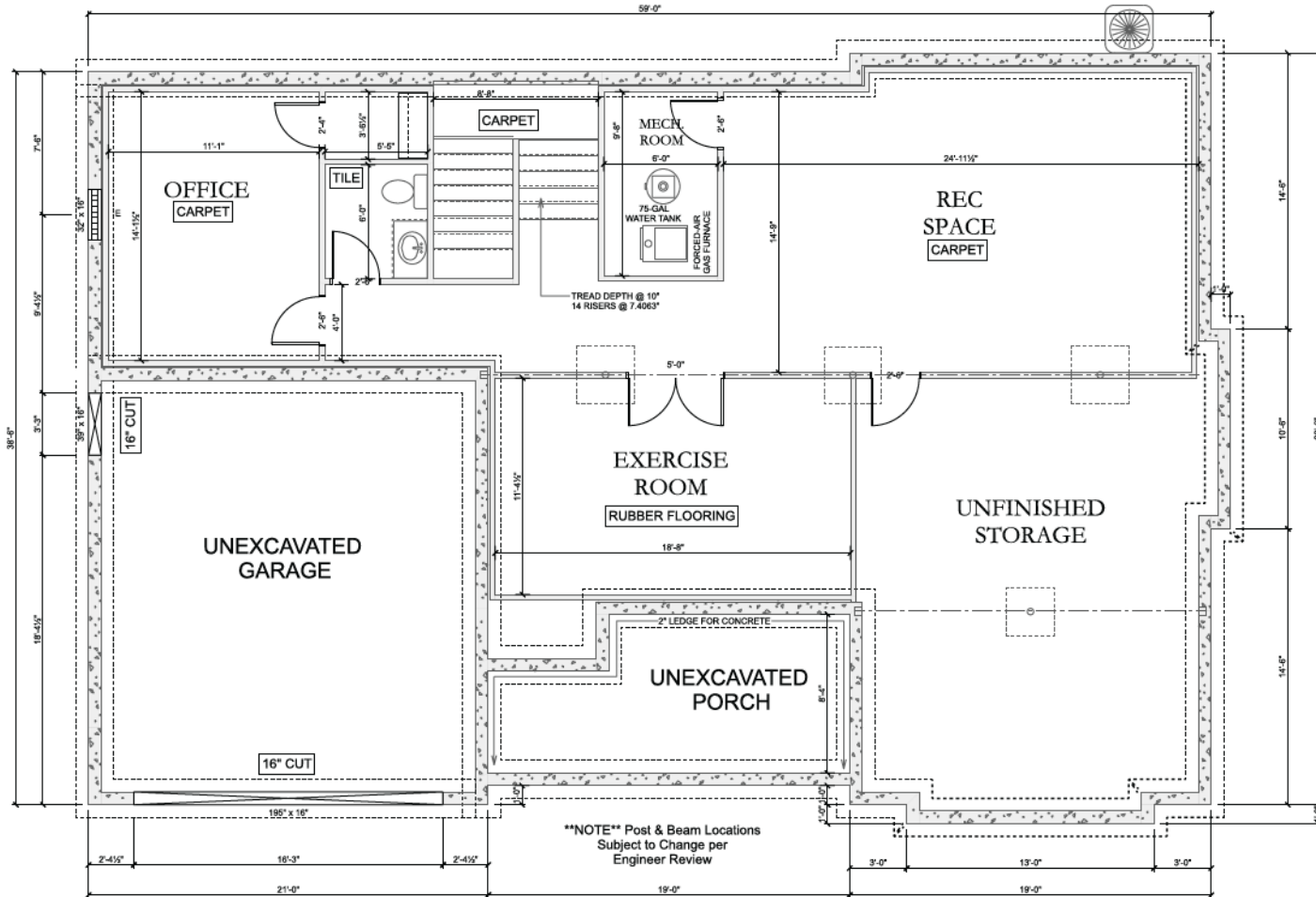


FOUNDATION

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

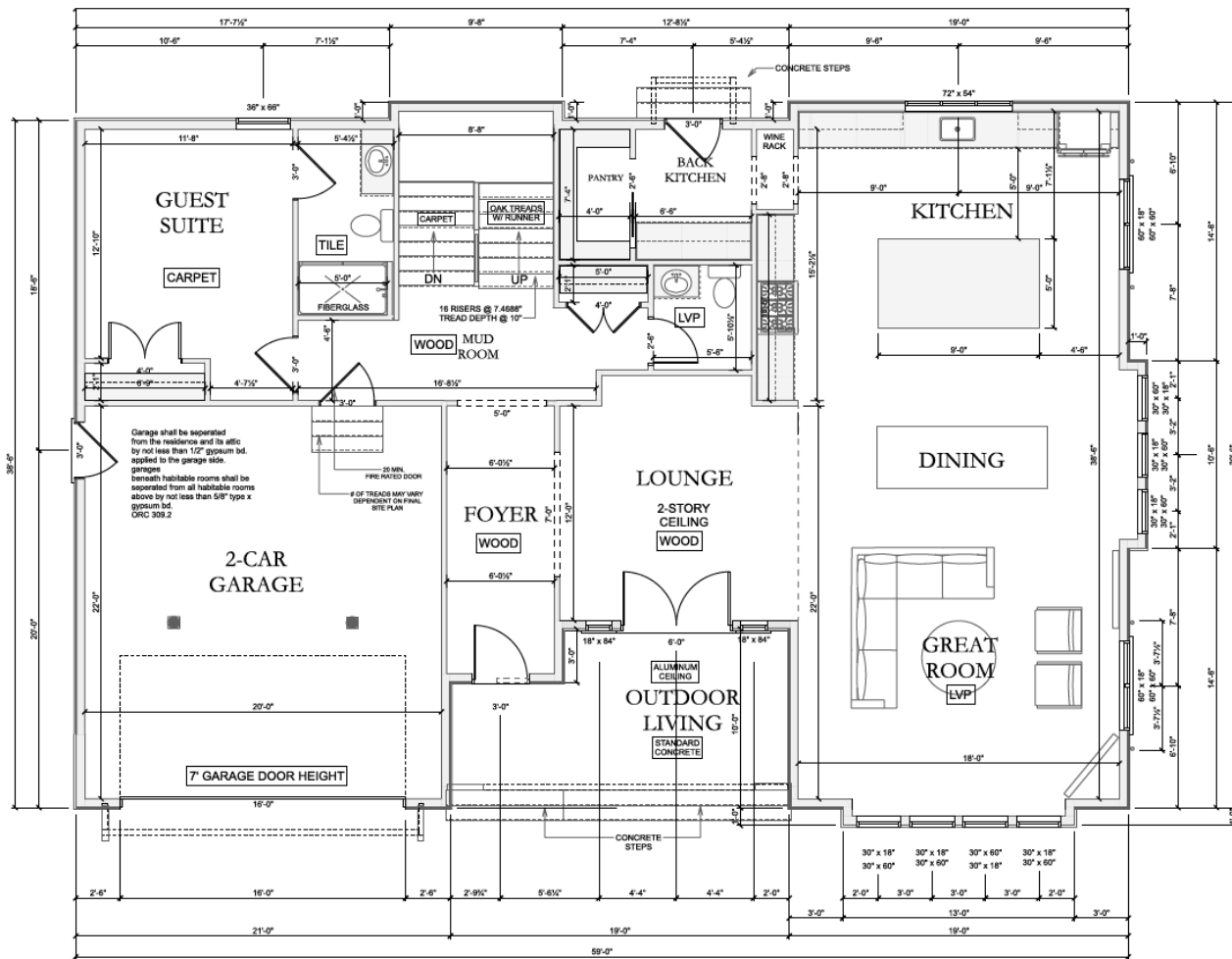


FINISHED BASEMENT

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction



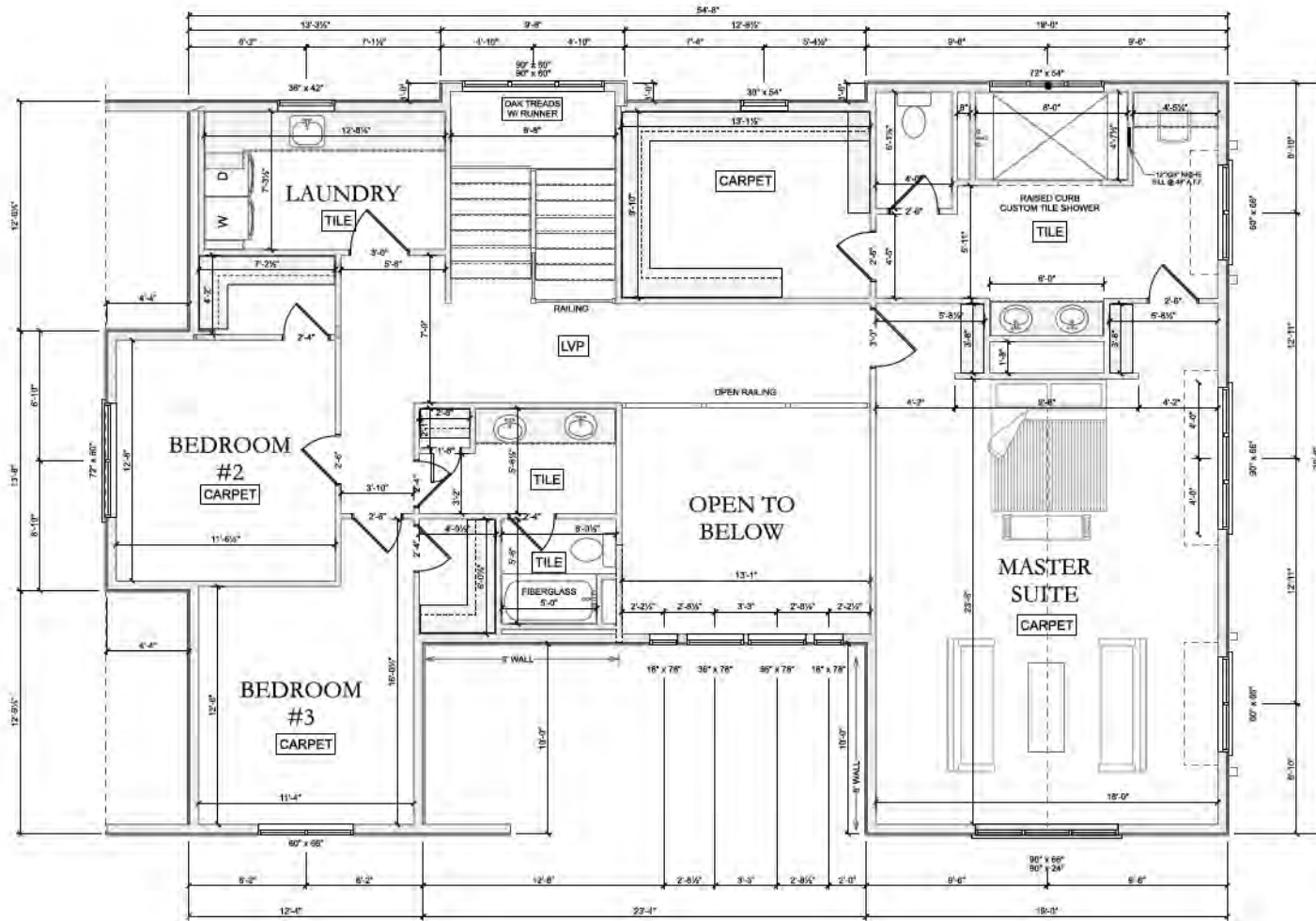
9'0" WALL HEIGHT
 8'0" DOOR HEIGHT
 8'0" DRYWALL OPENINGS
 UNLESS OTHERWISE NOTED

****NOTE**** ITEMIZED SPECIFICATIONS HOLD PRECEDENCE OVER CONCEPT PRINTS. ANY DISCREPANCIES TO BE ADDRESS IN BUILD GRADE PRINTS



Docket No. 04-28-23 (13429 Cliff)

Residential Demolition/New Construction

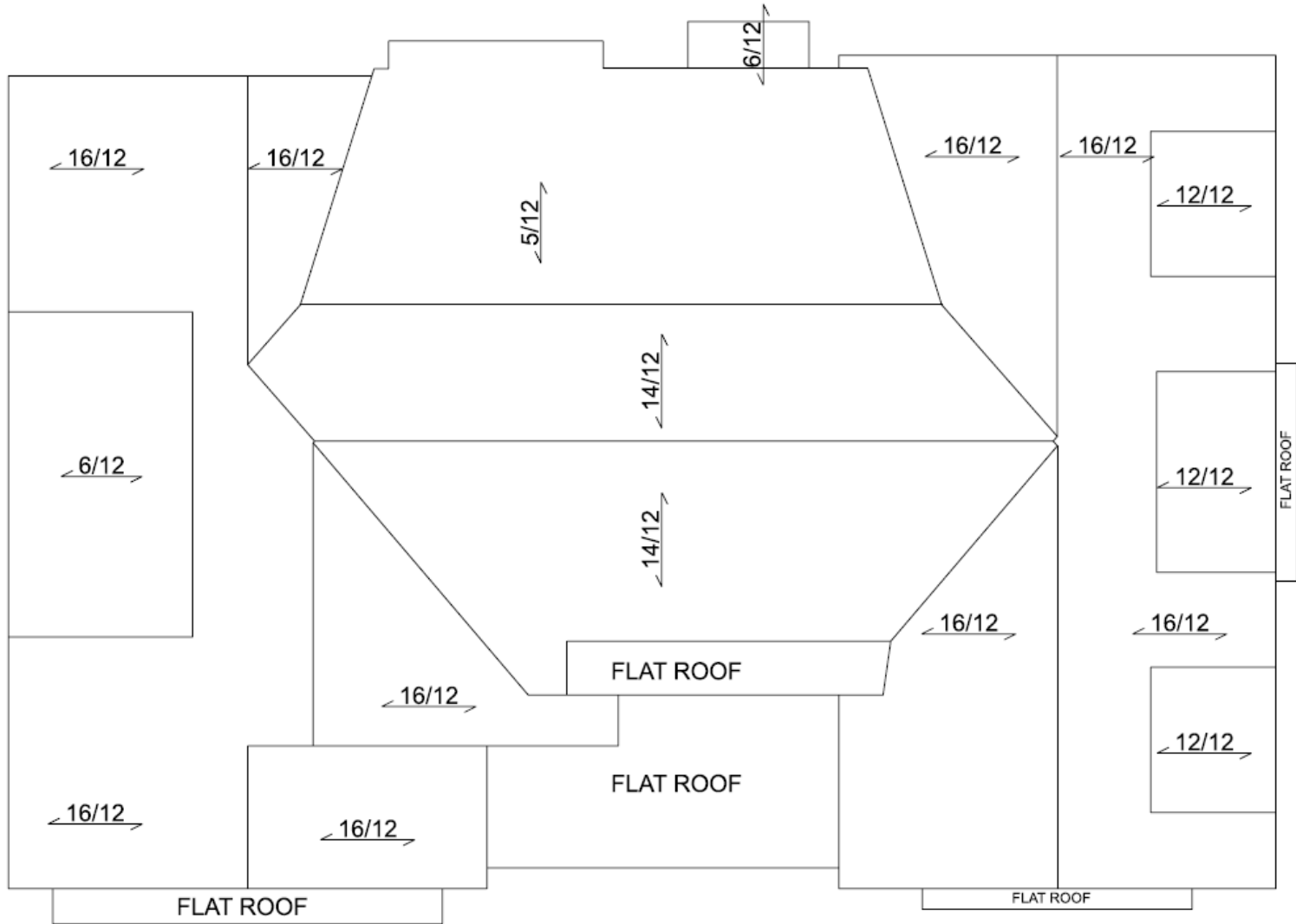


8' WALL HEIGHT
 6'8" DOOR HEIGHT
 UNLESS OTHERWISE NOTED



Docket No. 04-28-23 (13429 Cliff)

Residential Demolition/New Construction



ROOF PLAN

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)
 Residential Demolition/New Construction

ROOF BOARD SHALL NOT BE LESS THAN 1" IN THICKNESS (AND NOT LESS THAN THE CUT END OF THE RAFTER). HIP AND VALLEY RAFTERS SHALL NOT BE LESS THAN 2" IN THICKNESS. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO DISTRIBUTE THE LOADS PER R902.3. ROOF SHEATHING SHALL BE SUPPORTED BY BLOCKING OR EDGE CLIPS WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER.

INSULATION TO ALLOW AIR FLOW WITH MIN. 1" CLEARANCE AT EAVES

RIDGE VENT
30 YEAR COMPOSITE SHINGLES
15 # FELT PAPER
7/16" OSB SHEATHING
ENGINEERED ROOF TRUSSES
PER MANUFACTURERS LAYOUT
R-13 CAVITY & ROE
CONTINUOUS CEILING INSULATION

ENGINEERED WOOD TRUSS
WITH 7/16" OSB SHEATHING OVER
WITH "F" CLIPS

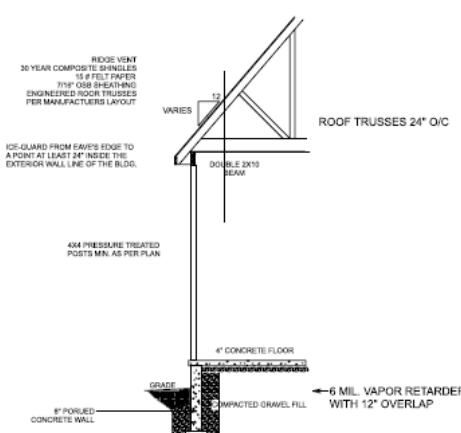
ICE-GUARD FROM EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BLDG.

R-49 BLOWN INSULATION

2X6 FASCIA & EAVESTHROUGH

5/8" DRYWALL

ROOF TRUSSES 24" O/C



TYPICAL WALL SECTION



- ALL FOOTINGS AND FOUNDATION WALLS TO BE SIZED AND REINFORCED PER TABLES 401.4.1, 403.1, 402.2, 404.1.1 (1)-(4) AND 505.1
1. ALL TRUSS DRAWINGS TO BE ON SITE AND APPROVED PRIOR TO INSTALLATION
 2. FIRE BLOCKING TO BE COMPLETED IN COMPLIANCE WITH R602.8
 3. DRAFTSTOPPING TO BE COMPLETED IN COMPLIANCE WITH R502.12
 4. ICE GUARD TO BE COMPLETED IN COMPLIANCE WITH R905.2.7.2

- ALL FOOTINGS AND FOUNDATION WALLS TO BE SIZED AND REINFORCED PER TABLES 401.4.1, 403.1, 402.2, 404.1.1 (1)-(4) AND 505.1
1. ALL TRUSS DRAWINGS TO BE ON SITE AND APPROVED PRIOR TO INSTALLATION
 2. FIRE BLOCKING TO BE COMPLETED IN COMPLIANCE WITH R602.8
 3. DRAFTSTOPPING TO BE COMPLETED IN COMPLIANCE WITH R502.12
 4. ICE GUARD TO BE COMPLETED IN COMPLIANCE WITH R905.2.7.2

- WINDOW NOTES
1. ANY GLASS IN A HAZARDOUS AREA WILL BE TEMPERED (GLAZED) PER R308.4
 2. ALL BEDROOMS WILL HAVE 1 EMERGENCY & RESCUE OPENINGS PER R310.1-310.1.4

INSULATION TO ALLOW AIR FLOW WITH MIN. 1" CLEARANCE AT EAVES

RIDGE VENT
30 YEAR COMPOSITE SHINGLES
15 # FELT PAPER
7/16" OSB SHEATHING
ENGINEERED ROOF TRUSSES
PER MANUFACTURERS LAYOUT
R-13 CAVITY & ROE
CONTINUOUS CEILING INSULATION

ENGINEERED WOOD TRUSS
WITH 7/16" OSB SHEATHING OVER
WITH "F" CLIPS

ICE-GUARD FROM EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BLDG.

R-49 BLOWN INSULATION

2X6 FASCIA & EAVESTHROUGH

5/8" DRYWALL

INSULATION TO ALLOW AIR FLOW WITH MIN. 1" CLEARANCE AT EAVES

3/4" TAG OSB SUBFLOOR 2X10 RM JOIST 2X10 JOISTS 2X8 TREATED SILL 10" ANCHOR BOLTS @ 4" & WITHIN 1" OF CORNERS & END OF PLATE 7" INTO CONCRETE WALL 2 BOLT MINIMUM PER WALL

8" Poured CONCRETE WALL TUFF-ALDY WATERPROOFING R-10 INSULATION THREE #4 REBAR HORIZONTAL AT 8" BAR VERTICAL @ 32" O/C

TUFF N DRY R-10 FOUNDATION INSULATION & WATER PROOFING

10" REBAR EVERY 4" AND WITHIN 1" OF CORNERS

MINIMUM 2" #57 GRAVEL BACKFILL 8" INCH FORM A DRAIN TO THE IN TO STORM SEWER OR DAYLIGHT DRAIN

16" X 8" CONCRETE FTG.

COMPACTED GRAVEL FILL

4" CONCRETE FLOOR MINIMUM 2500 PSI OVER 6 MIL VISOQUEEN OVER 4" COMPACTED GRANULAR 1/2"

10" STEEL BEAM PER PLAN

1" ADJUSTABLE STEEL POST

FOOTER PAD SIZED PER PLAN

3/4" TAG OSB SUBFLOOR 2X10 RM JOIST 2X10 JOISTS 2X8 TREATED SILL 10" ANCHOR BOLTS @ 4" & WITHIN 1" OF CORNERS & END OF PLATE 7" INTO CONCRETE WALL 2 BOLT MINIMUM PER WALL

8" Poured CONCRETE WALL TUFF-ALDY WATERPROOFING R-10 INSULATION THREE #4 REBAR HORIZONTAL AT 8" BAR VERTICAL @ 32" O/C

TUFF N DRY R-10 FOUNDATION INSULATION & WATER PROOFING

10" REBAR EVERY 4" AND WITHIN 1" OF CORNERS

MINIMUM 2" #57 GRAVEL BACKFILL 8" INCH FORM A DRAIN TO THE IN TO STORM SEWER OR DAYLIGHT DRAIN

16" X 8" CONCRETE FTG.

COMPACTED GRAVEL FILL

4" CONCRETE FLOOR MINIMUM 2500 PSI OVER 6 MIL VISOQUEEN OVER 4" COMPACTED GRANULAR 1/2"

10" STEEL BEAM PER PLAN

1" ADJUSTABLE STEEL POST

FOOTER PAD SIZED PER PLAN

INSULATION TO ALLOW AIR FLOW WITH MIN. 1" CLEARANCE AT EAVES

RIDGE VENT
30 YEAR COMPOSITE SHINGLES
15 # FELT PAPER
7/16" OSB SHEATHING
ENGINEERED ROOF TRUSSES
PER MANUFACTURERS LAYOUT
R-13 CAVITY & ROE
CONTINUOUS CEILING INSULATION

ICE-GUARD FROM EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BLDG.

5/8" DRYWALL

ROOF TRUSSES 24" O/C

FOAM BACKED BEING WR 2.4 OVER 7/16" OSB CONTINUOUS 2X4 STUDS @ 16" O.C. W/ SINGLE BOTTOM PLATES AND DOUBLE TOP PLATES R-11 INSULATION

2X6 TREATED SILL 10" ANCHOR BOLTS @ 4" INTO CONCRETE WALL 2 BOLT MINIMUM PER WALL

8" Poured CONCRETE WALL MIN 3" BELOW GRADE TO BOTTOM OF FOOTER

4" CONCRETE FLOOR

← 6 MIL VAPOR RETARDER WITH 12" OVERLAP

WALL SECTION @ GARAGE

TYPICAL WALL SECTION @ 2 STORY

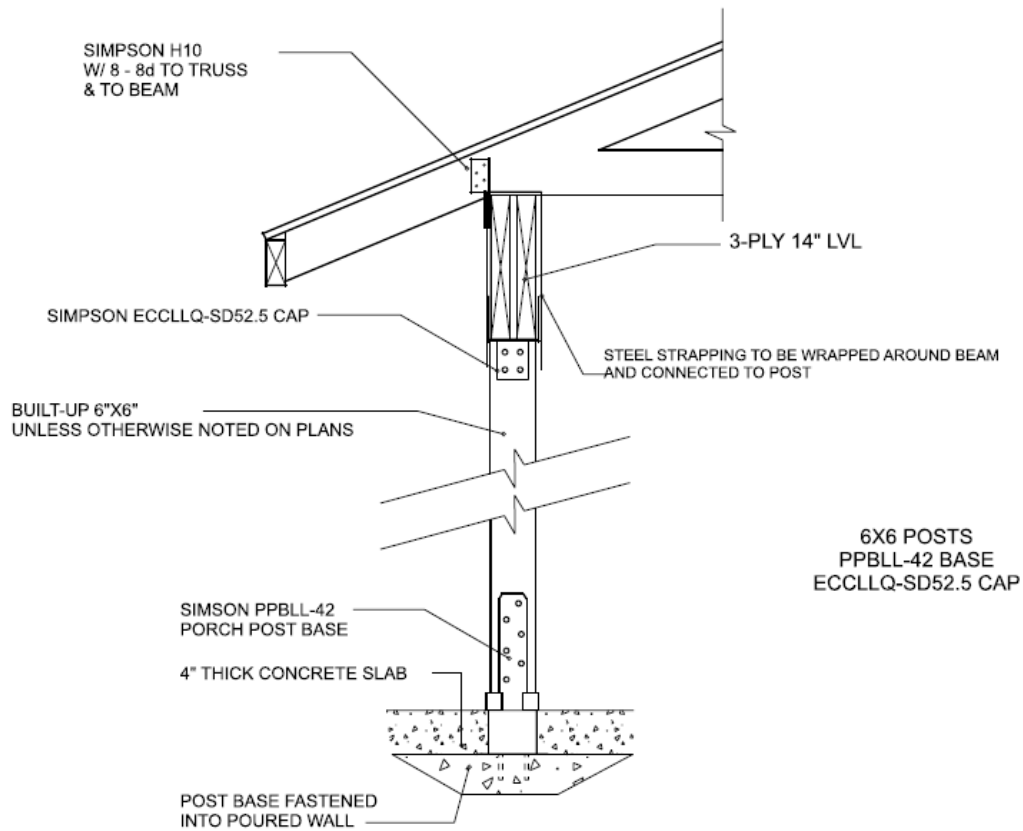
SECTION - 2X6 WALLS

SCALE: 1/8" = 1'-0"



Docket No. 04-28-23 (13429 Cliff)

Residential Demolition/New Construction



COVERED PORCH
CONNECTIONS DETAIL



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

This drawing and the ideas it represents are the legal property of 9th Avenue Designs. It may not be used, duplicated or disclosed without written permission. All notes supersede this drawing and it is the responsibility of the installer to verify. This drawing may be subject to approval by homeowners associations or governmental bodies. Installation company is responsible for obtaining all permits necessary and for contacting Ohio Utilities Protection Service 503-262-2764. All measurements and grades are to be verified by installation company. 9th Avenue Designs is not responsible for errors, installation company is to verify property lines, setbacks and easements. It is their responsibility to install all materials per manufacturer or professional standards. If done and history enough they will ask about any plant. If homeowner observes poor grading or signs of water it is the homeowner's responsibility to protect plantings. 9th Avenue Designs is not used for the installation or servicing services, they will be held harmless and not responsible for errors and misinterpretations.

Plant Photos



Catalpa 'Candyprint'



Royal Star Magnolia



Kwanan Flowering Cherry



DeGroot Spire Arborvitae



Cascade Anax



Endless Summer Hydrangea



Sixteen Candles Summerweet



Earl Foerster Feather Reed Grass



Green Gem Boxwood



Fernleaf Buckthorn



Ostrich Fern



Pink Coreopsis



Pow Wow Wild Berry Coneflower

Sandstone



Planters



Color & Finish



Chapel



Acid Bath



9th Avenue Designs
Landscape Architects
216-548-9971
www.9thavenuedesigns.com

Sheet Number: 1
Sheet Description: Landscape Plan
Date: April 4, 2025

Drawn By: pb
Checked By: Pat Beam

Tomallo Residence
13429 Cliff Drive
Lakewood, Ohio



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction



Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction



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Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

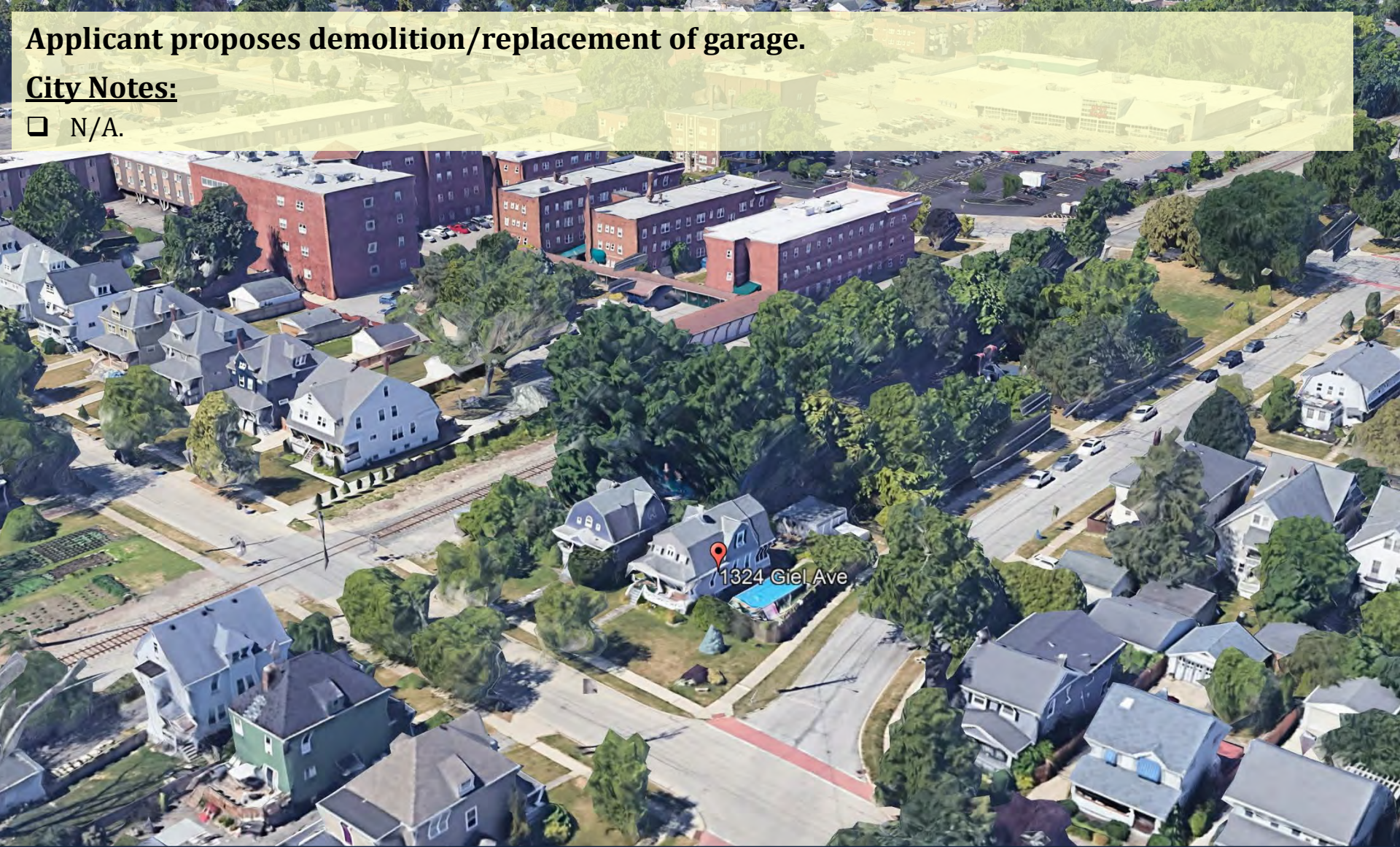


Docket No. 04-28-23 (13429 Cliff)
Residential Demolition/New Construction

Applicant proposes demolition/replacement of garage.

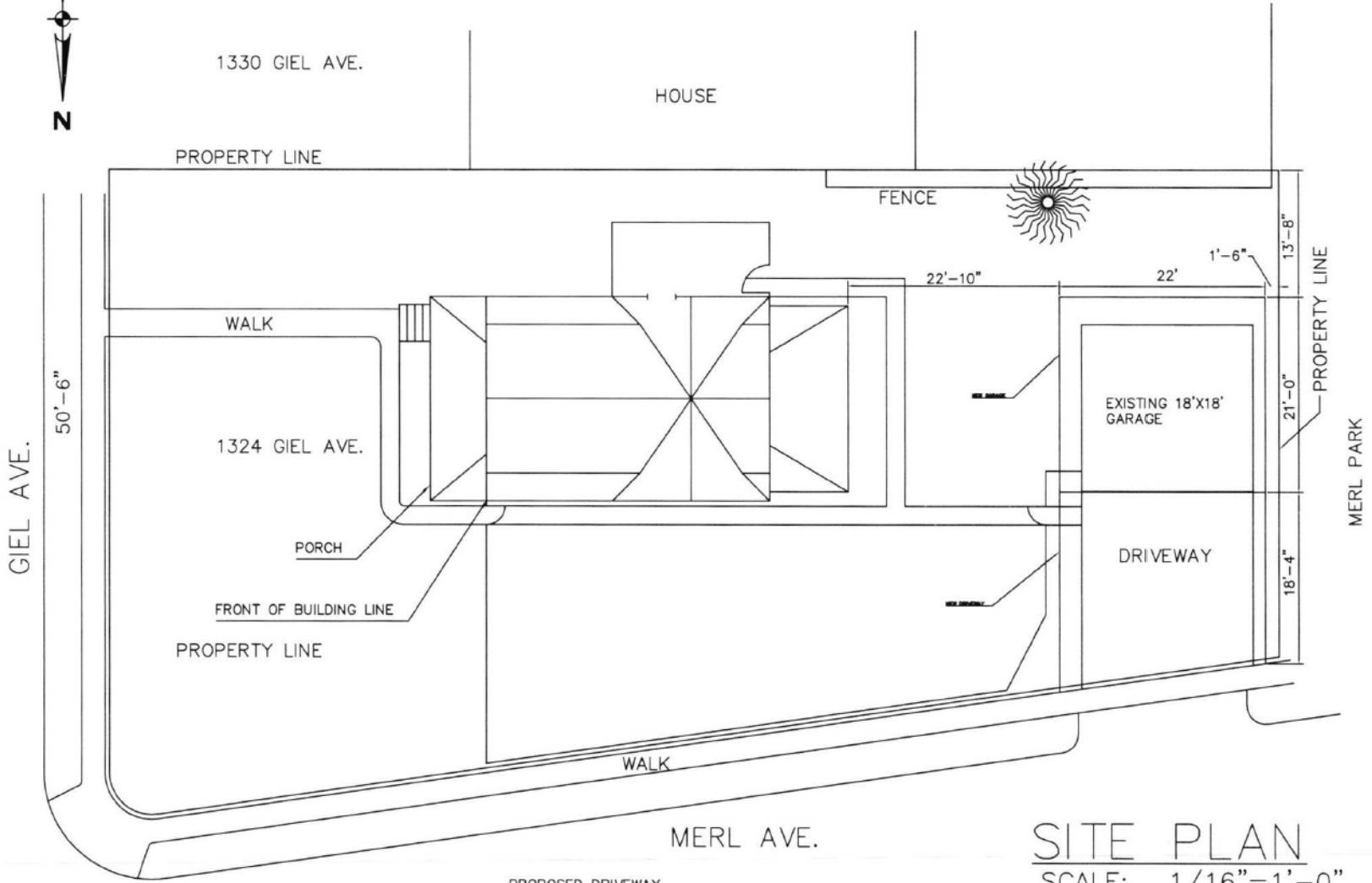
City Notes:

N/A.



Docket No. 04-29-23 (1324 Giel)

**Garage Replacement
Richard Martin**

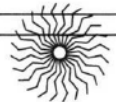


1330 GIEL AVE.

HOUSE

PROPERTY LINE

FENCE



1'-6"

22'-10"

22'

13'-8"

PROPERTY LINE

WALK

1324 GIEL AVE.

EXISTING 18'X18' GARAGE

MERL PARK

PORCH

DRIVEWAY

18'-4"

FRONT OF BUILDING LINE

PROPERTY LINE

GIEL AVE.

50'-6"

WALK

MERL AVE.

PROPOSED DRIVEWAY AND NEW GARAGE

SITE PLAN

SCALE: 1/16"=1'-0"



= TREES



Docket No. 04-29-23 (1324 Giel)

Garage Replacement



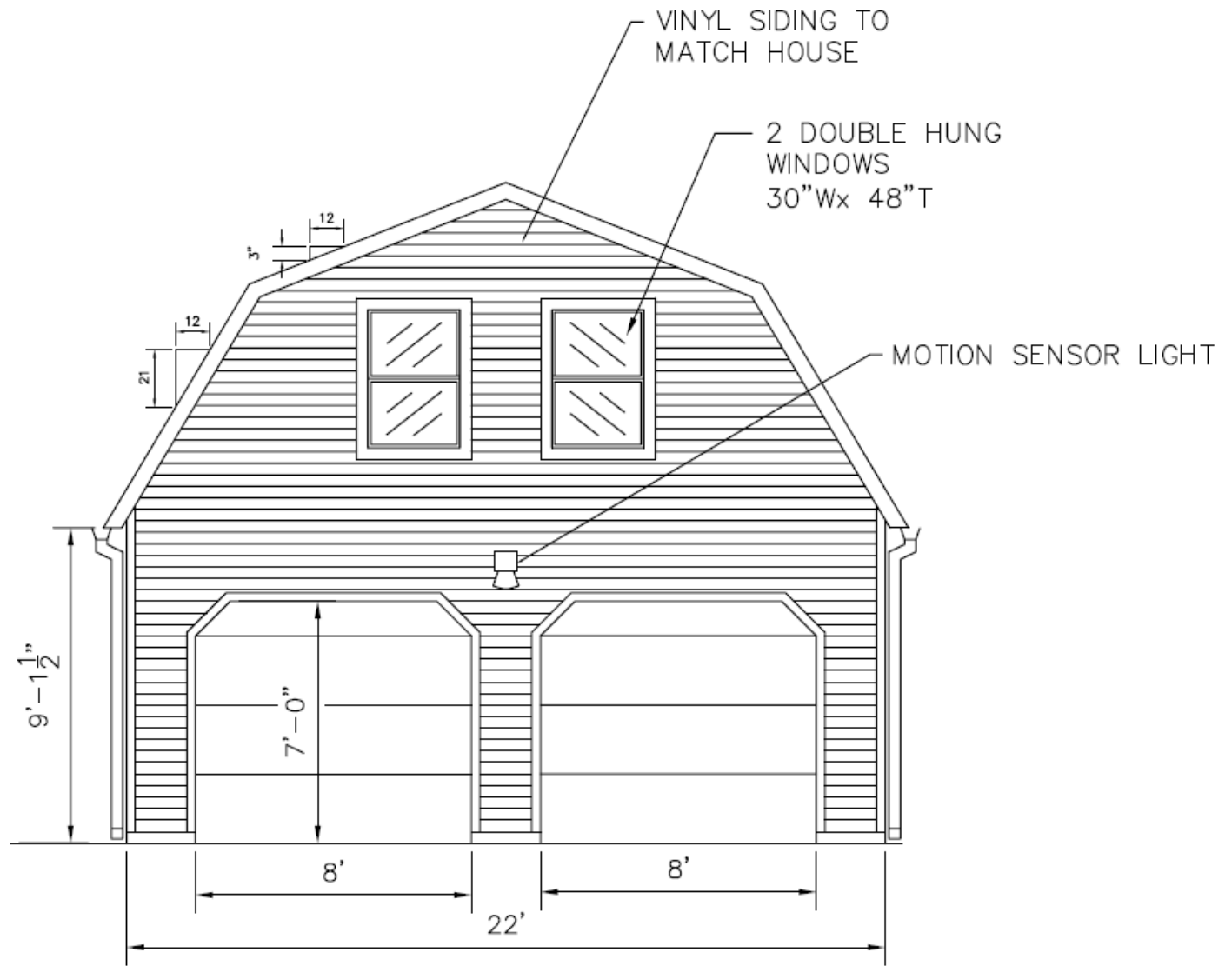
Docket No. 04-29-23 (1324 Giel)
Garage Replacement



Docket No. 04-29-23 (1324 Giel)
Garage Replacement



Docket No. 04-29-23 (1324 Giel)
Garage Replacement

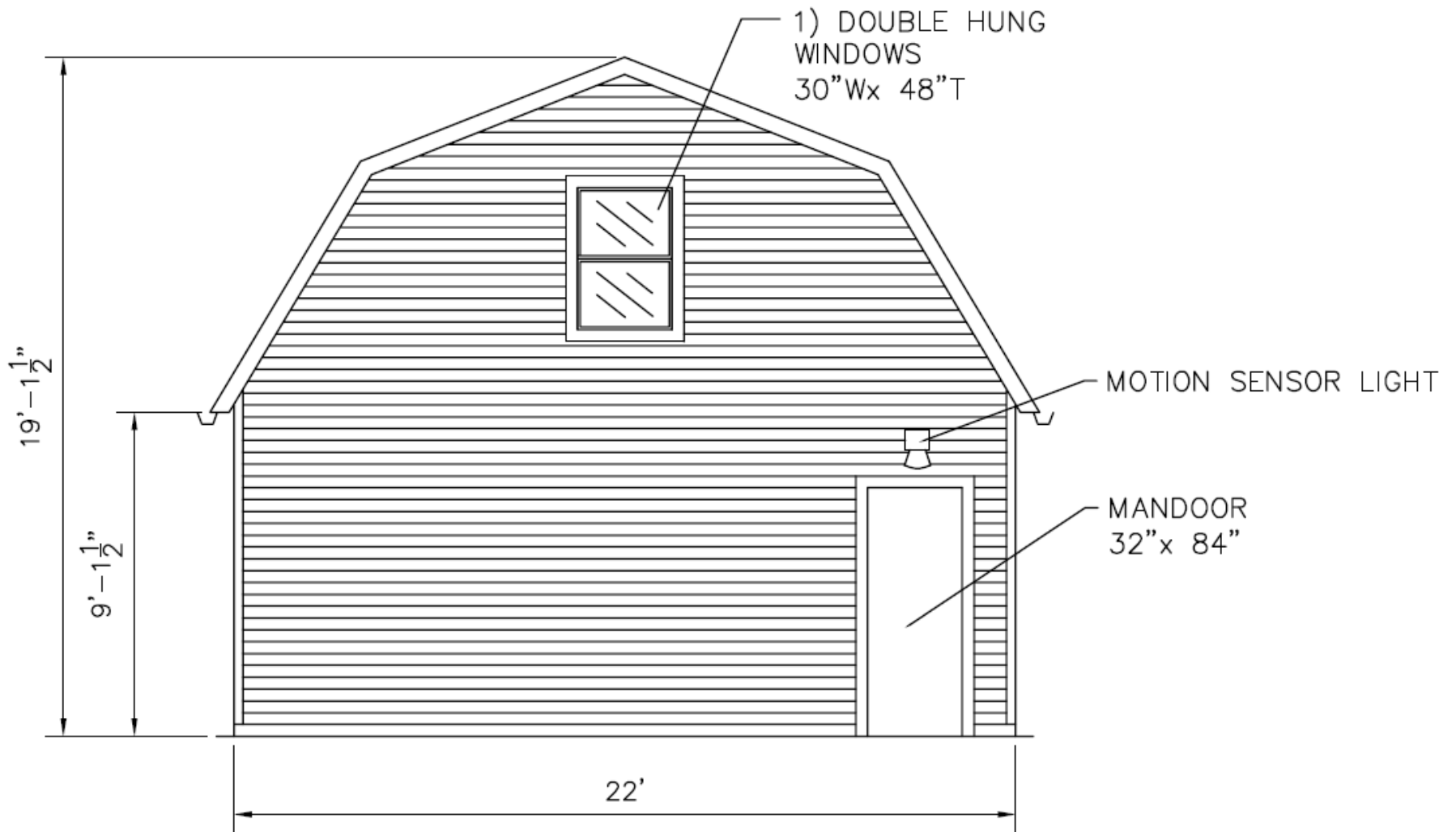


FRONT ELEVATION

SCALE: 3/16"=1'-0"



Docket No. 04-29-23 (1324 Giel)
Garage Replacement

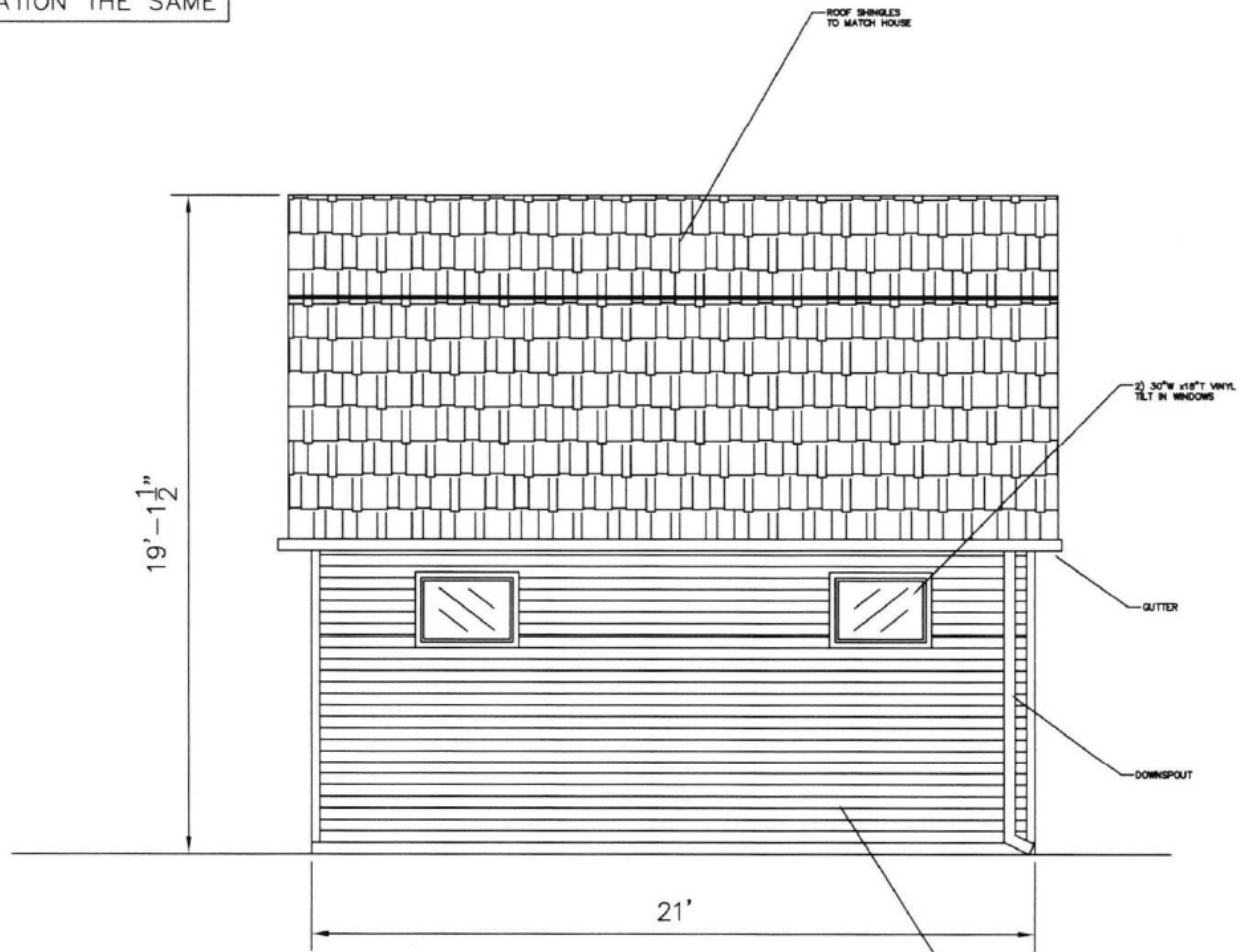


REAR ELEVATION
SCALE: 3/16"=1'-0"



Docket No. 04-29-23 (1324 Giel)
Garage Replacement

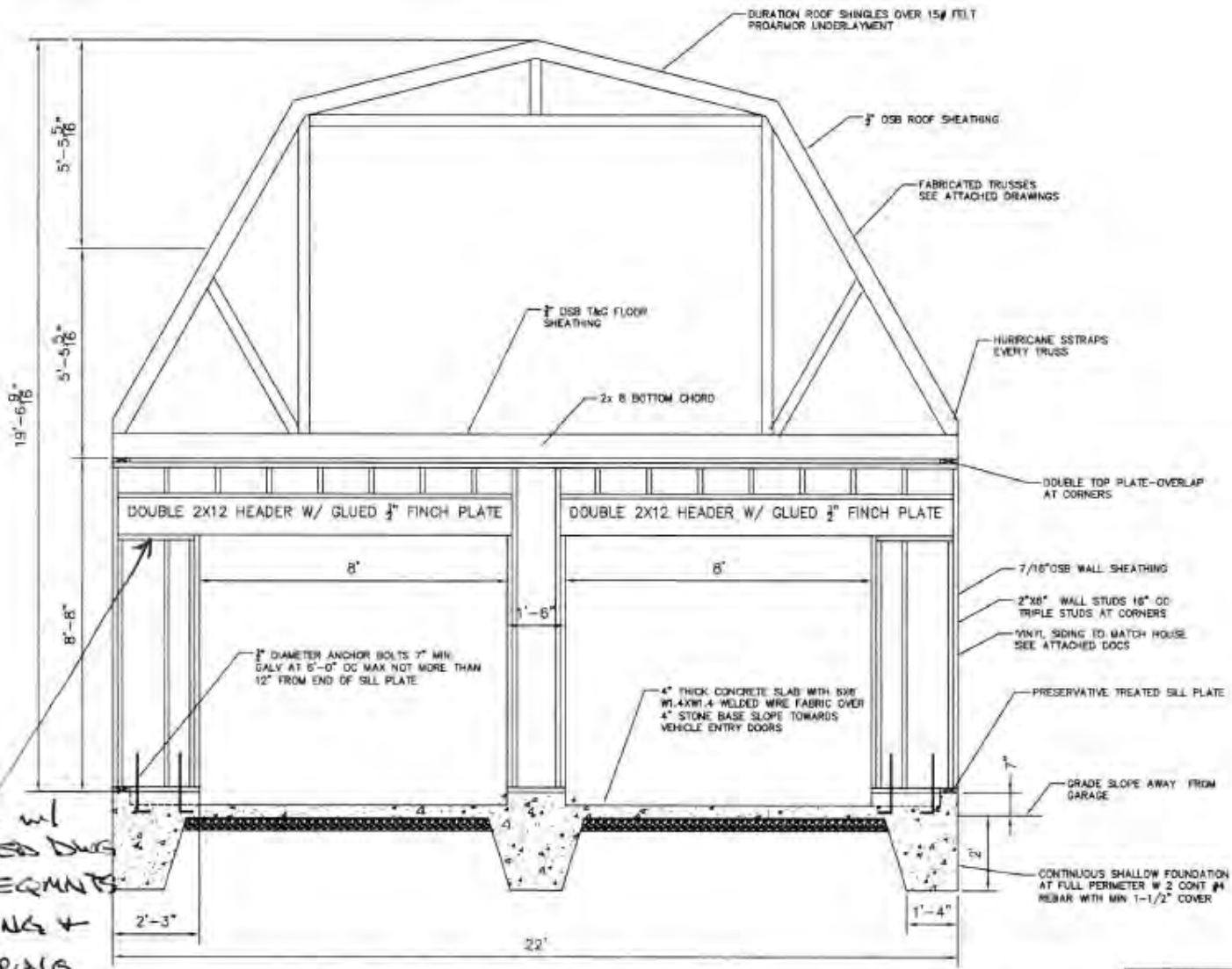
LEFT AND RIGHT SIDE
ELEVATION THE SAME



SIDE ELEVATION
SCALE: 3/16"=1'-0"



Docket No. 04-29-23 (1324 Giel)
Garage Replacement



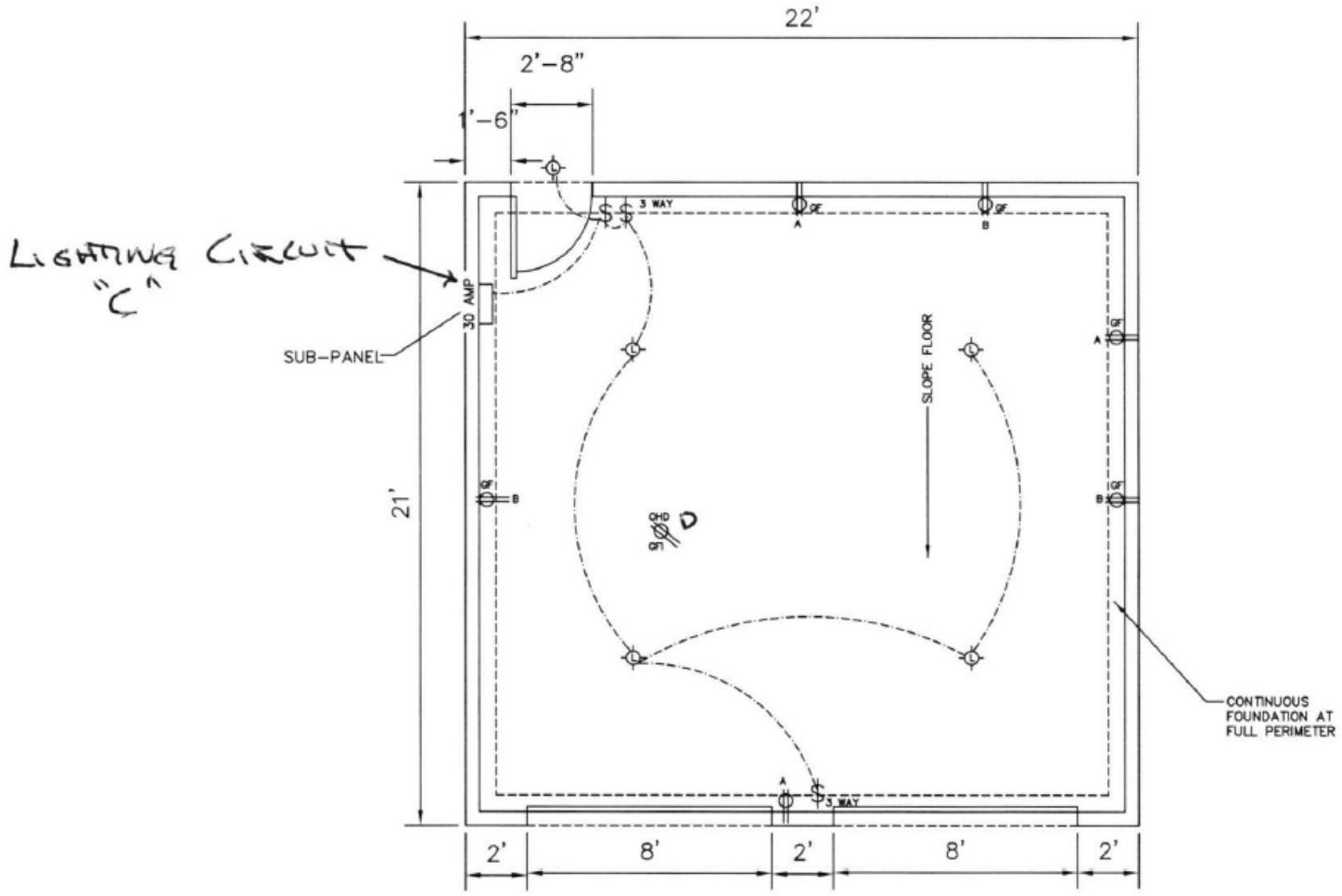
COMPLY W/
ATTACHED DUG
CFG REQMENTS
SHEATHING +
STRAPPING

FRONT ELEVATION
SCALE: N.T.S.

REV 3/17/23

RICHARD MARTIN
1324 GIEL AVE.
216-849-6706





FLOOR PLAN
SCALE: 3/16"=1'-0"

RICHARD MARTIN
1324 GIEL AVE.
216-849-6706

REV. 3/17/23



Docket No. 04-29-23 (1324 Giel)
Garage Replacement



Docket No. 04-29-23 (1324 Giel)
Garage Replacement

TruDefinition®

DURATION®

Shingles with Patented SureNail® Technology | Tejas sun tecnologia con Patente SureNail®



Brownwood



Chateau Green



Colonial Slate



Desert Rose



Driftwood



Estate Gray



Midnight Plum



Onyx Black



Pepper Corn



Sand Castle



Sierra Gray



Slatestone Gray



Teak



Terra Cotta



Williamsburg Gray

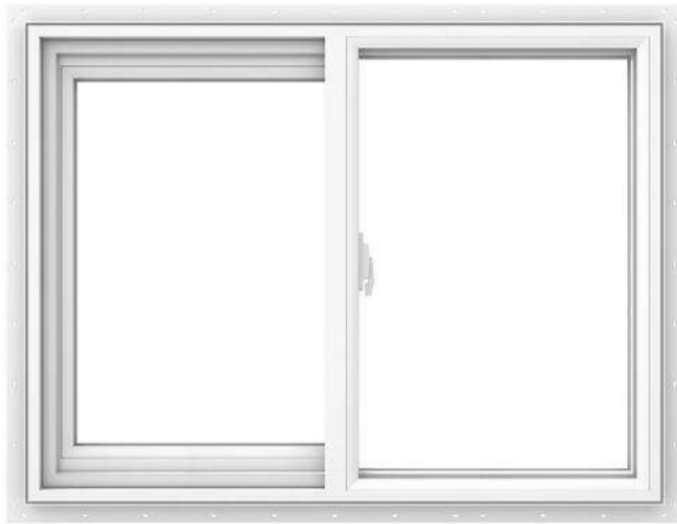


Docket No. 04-29-23 (1324 Giel)
Garage Replacement

White/White

Model Number: JW1385-00826 | Menards® SKU: 4040452

Model Number: JW1792-00212 | Menards® SKU: 4040400



Docket No. 04-29-23 (1324 Giel)
Garage Replacement

Mastercraft® 32"W x 80"H Primed Steel 6 Panel Exterior Inswing

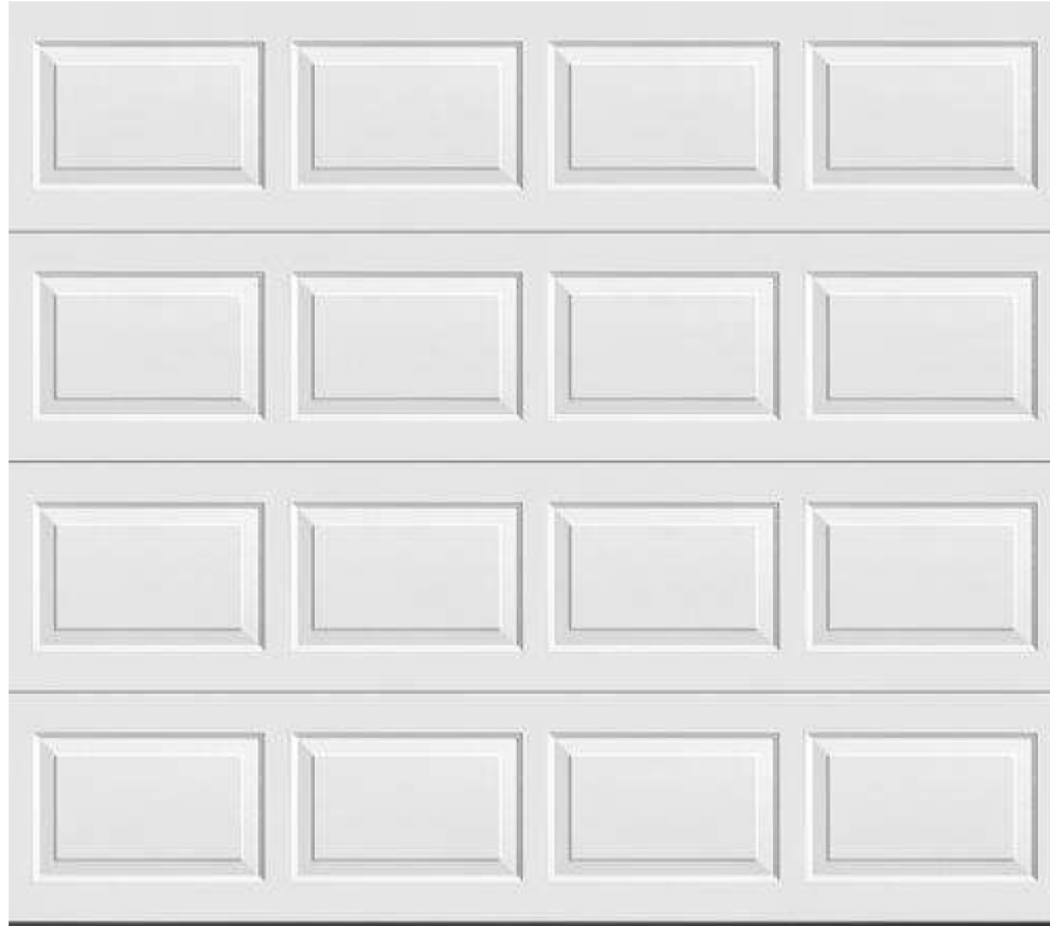
Model Number: 4140343 | Menards® SKU: 4140343



Docket No. 04-29-23 (1324 Giel)
Garage Replacement

Ideal Door® Traditional 8' x 7' White Insulated Garage Do

Model Number: Ezsettorsn_M4Sv_8X7 | Menards® SKU: 4251615



Docket No. 04-29-23 (1324 Giel)
Garage Replacement

Applicant proposes addition of front porch.

City Notes:

N/A.



Docket No. 04-30-23 (1077 Wilbert)
Front Porch Addition
Susan Broadwater

1077 Wilbert Road



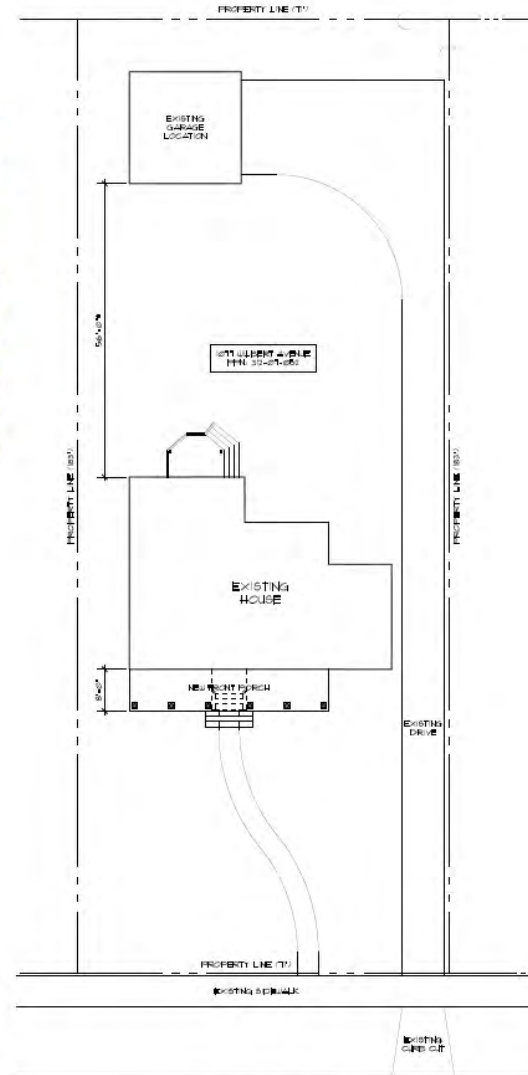
SITE LOCATION MAP
NTS



EXISTING FRONT PORCH
NTS



PROPOSED FRONT PORCH
NTS



ARCHITECTURAL SITE PLAN
3/32" = 1'-0"



ISSUE	DATE	DESCRIPTION
1	03.21.23	ABR



BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE
LAKEWOOD, OHIO 44107
WWW.BEEGAN-AD.COM

216.521.9000 PHONE
216.918.4591 FAX
PAUL.BEEGAN@AD.COM

project no. 22-068

Manti Residence
Residential Renovations

1077 wilbert road
lakewood, ohio 44107

Architectural Site Plan

A0

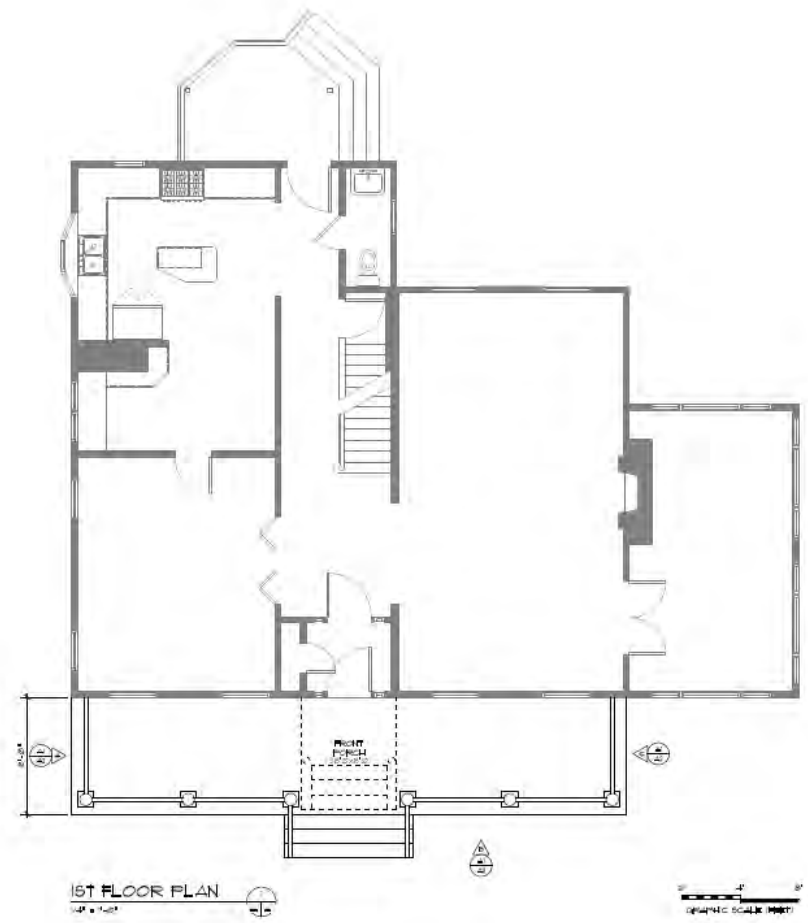


Docket No. 04-30-23 (1077 Wilbert) Front Porch Addition



Docket No. 04-30-23 (1077 Wilbert)
Front Porch Addition

ISSUE	DATE	DESCRIPTION
1	03.21.23	ABR



PAUL R. BEEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2023

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216.521.9000 PHONE
LAKEWOOD, OHIO 44107 216.916.4591 FAX
WWW.BEEGAN-AD.COM PAUL@BEEGAN-AD.COM

project no. 22-068

Manti Residence
Residential Renovations

1077 Wilbert Road
Lakewood, Ohio 44107

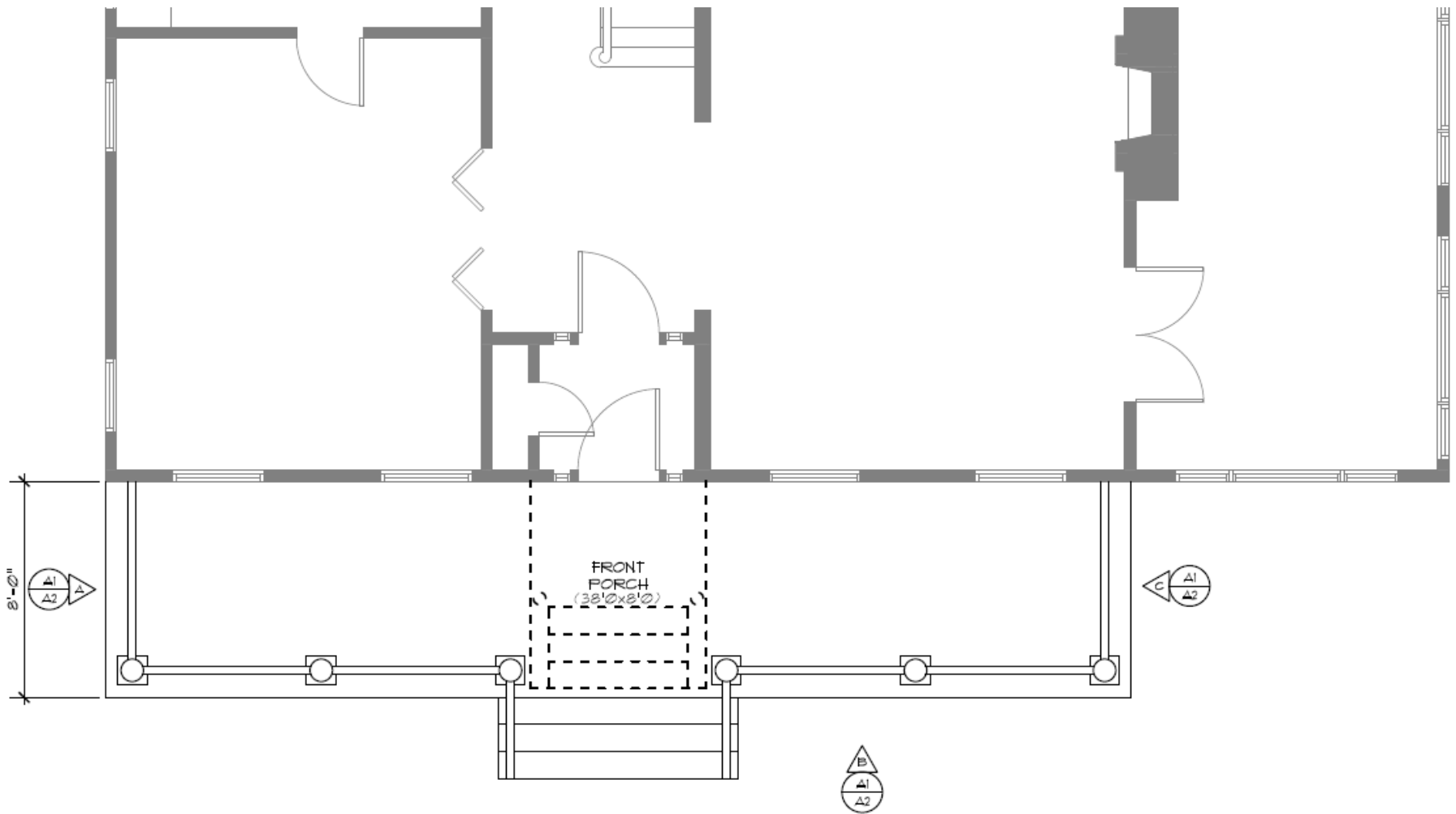
Floor Plans

A1



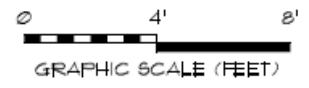
Docket No. 04-30-23 (1077 Wilbert)

Front Porch Addition



1ST FLOOR PLAN

1/4" = 1'-0"



Docket No. 04-30-23 (1077 Wilbert)
 Front Porch Addition

ISSUE	DATE	DESCRIPTION
1	03.21.23	ABR



PAUL S. BEEGAN LICENSE #12574
EXPIRATION DATE: 12.31.2023

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216.521.9000 PHONE
LAKWOOD, OHIO 44107 216.916.4591 FAX
WWW.BEEGAN-AD.COM PAUL.BEEGAN-AD.COM

project no. 22-068

Manti Residence
Residential Renovations

1077 wilbert road
lakewood, ohio 44107

Exterior Elevations

A2



Docket No. 04-30-23 (1077 Wilbert)
Front Porch Addition



- WOOD FASCIA PAINTED WHITE
- WOOD COLUMN PAINTED WHITE
- TREX COMPOSITE WOOD LOOK DECKING
- WOOD RAILING PAINTED WHITE
- BRICK (MATCH EXISTING)
- CONCRETE STAIR TREAD WITH BRICK RISER

FRONT ELEVATION

1/4" = 1'-0"



Docket No. 04-30-23 (1077 Wilbert)
Front Porch Addition



- WOOD COLUMN
PAINTED WHITE
- WOOD RAILING
PAINTED WHITE
- CONCRETE STAIR
TREAD WITH BRICK
RISER
- WOOD FASCIA
PAINTED WHITE
- TREX COMPOSITE
WOOD LOOK
DECKING
- BRICK (MATCH EXISTING)

LEFT ELEVATION
1/4" = 1'-0"



Docket No. 04-30-23 (1077 Wilbert)

Front Porch Addition



Docket No. 04-30-23 (1077 Wilbert)
Front Porch Addition

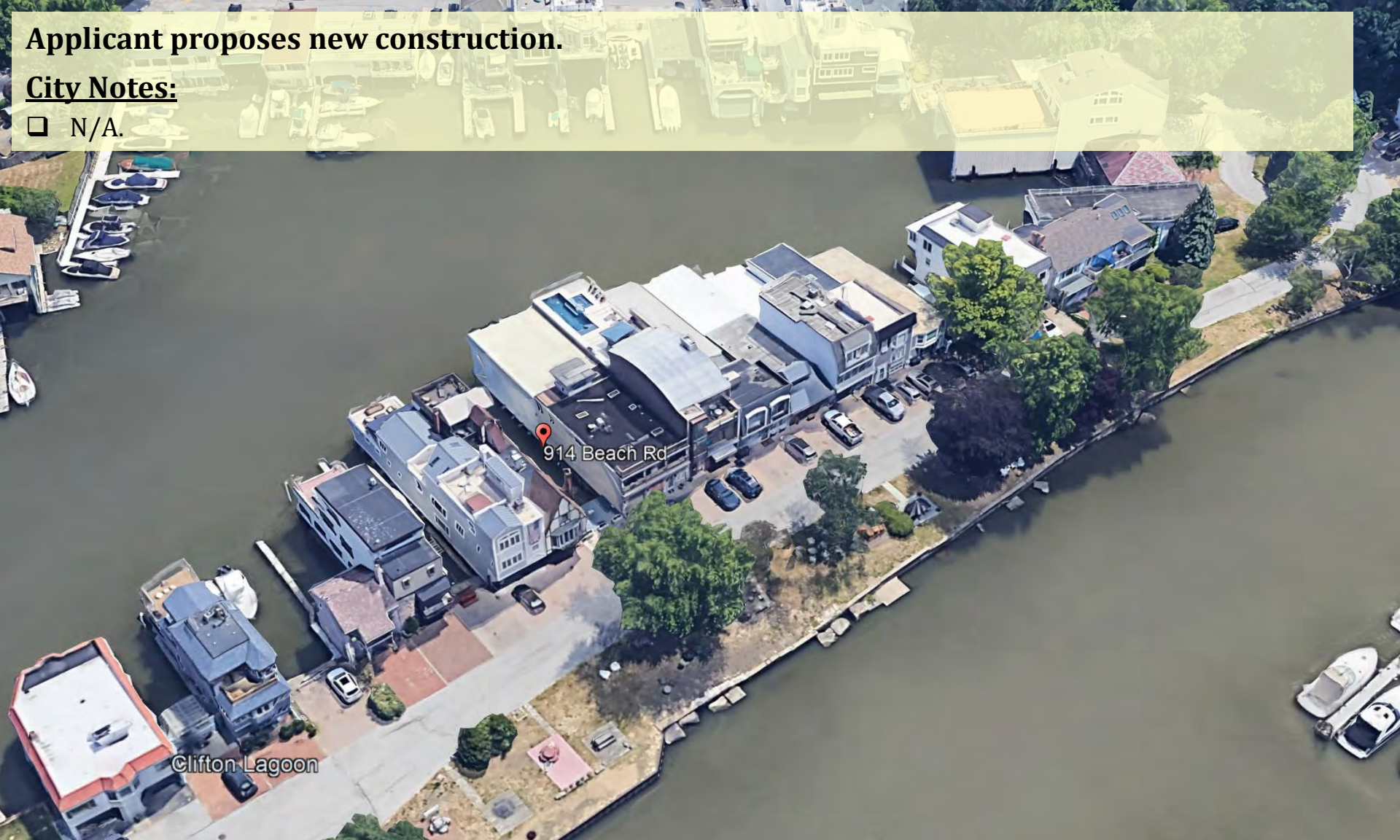


Docket No. 04-30-23 (1077 Wilbert)
Front Porch Addition

Applicant proposes new construction.

City Notes:

N/A.



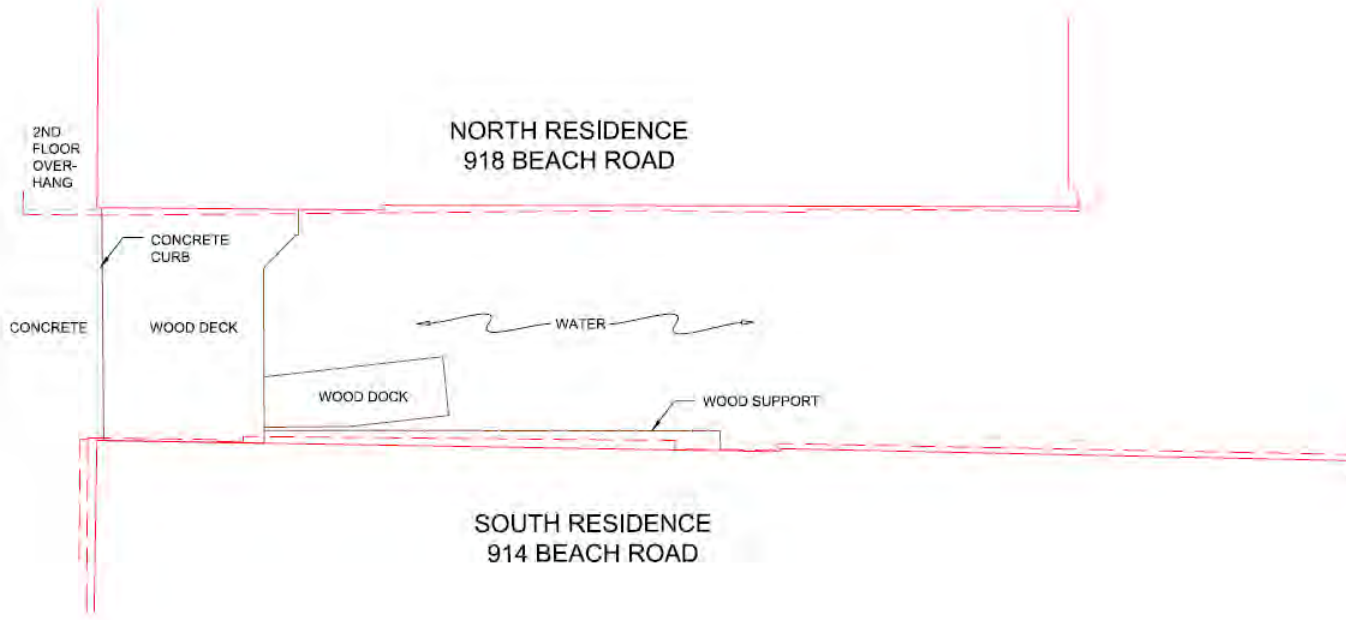
Clifton Lagoon

Docket No. 04-31-23 (914 Beach)

Residential New Construction

Mark Reinhold





BEACH ROAD (ASPHALT)

PAVERS

◆ SITE BENCHMARK (MAGNAIL IN DRIVE)
ELEVATION: 100.00

2ND FLOOR OVERHANG

NORTH RESIDENCE
918 BEACH ROAD

CONCRETE CURB

WOOD DECK

WOOD DOCK

WOOD SUPPORT

WATER

SOUTH RESIDENCE
914 BEACH ROAD

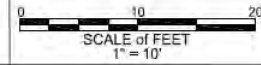
Surveyor's Note: A boundary survey was not performed.

Survey By: ES	PROJECT : 20-021 Beach Road Elevations	REVISIONS		
		No.	Date	Description
Drawn By: ES/MS				By
		0	1/21/21	Original Issue
				MS

STRAUB SURVEYING, LLC
PROFESSIONAL LAND SURVEYING AND SURVEYING SERVICES

12810 DETROIT AVENUE
PHONET: 441-335-1752

LAKWOOD, OHIO 44107
INFO@STRAUBSURVEYING.COM



Site Plan
910-914 Beach Road, Lakewood, Ohio

C:\ACTIVE PROJECTS\20-121 Scan 910-914 Beach Road\Field\Draw\Current\Site.Dwg

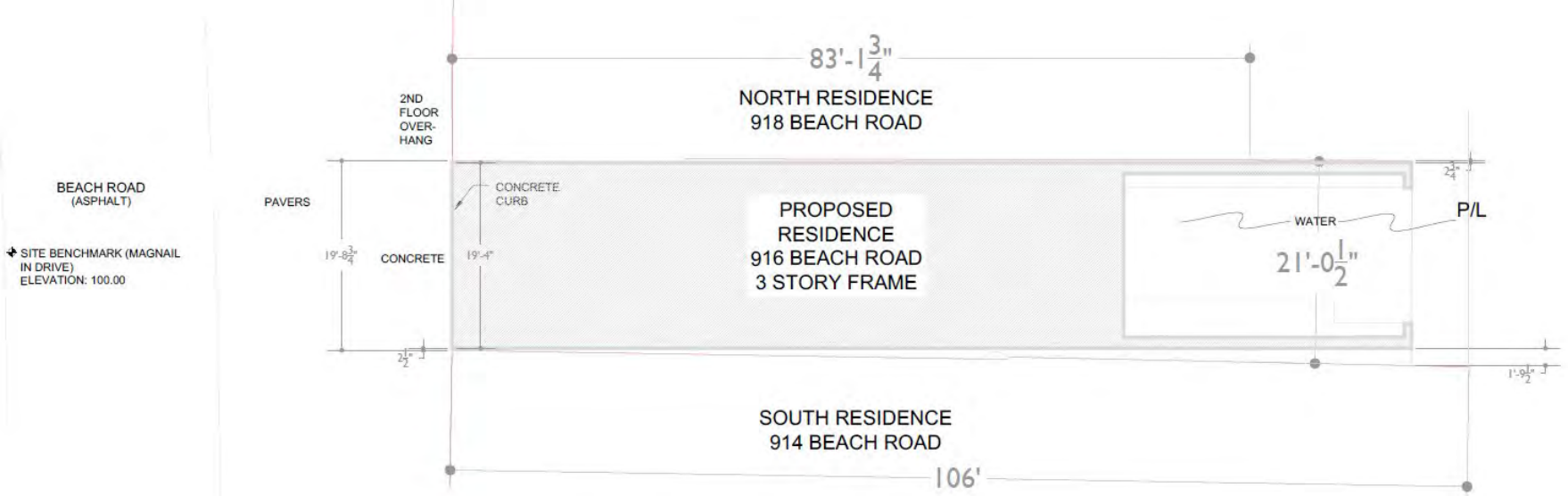


Docket No. 04-31-23 (914 Beach)

Residential New Construction



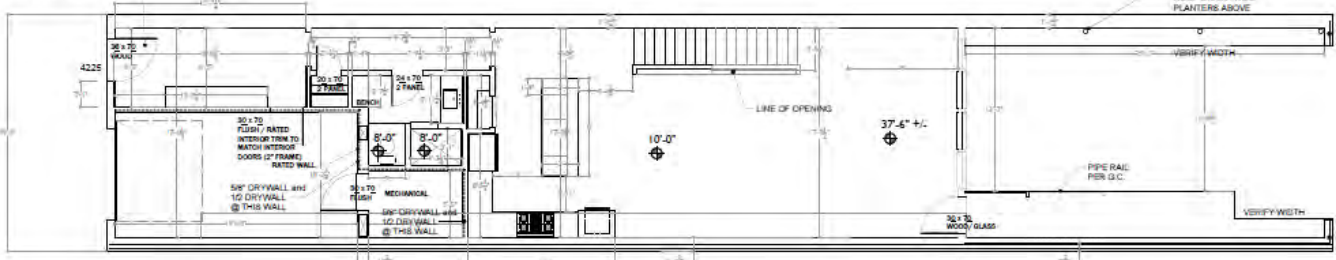
Docket No. 04-31-23 (914 Beach)
Residential New Construction



Docket No. 04-31-23 (914 Beach)

Residential New Construction

HARDWARE NOTE
ALLOW FOR UPGRADED
HARDWARE (ROCKY MOUNTAIN
HARDWARE)



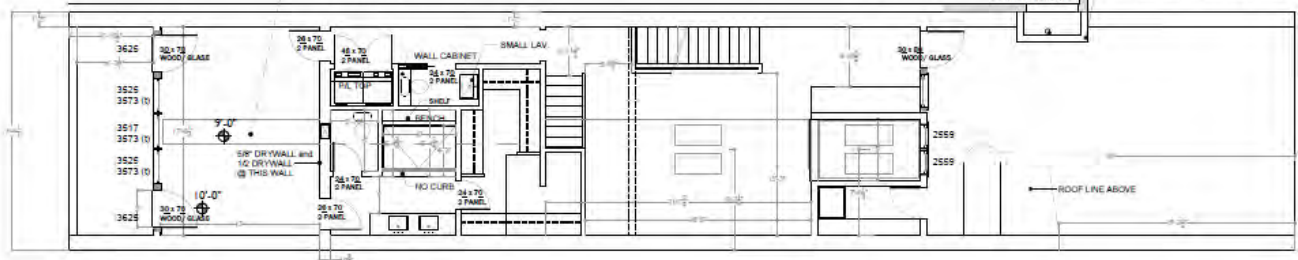
ALLOW FOR SIMPSON SHEAR WALL

ALLOW FOR SIMPSON SHEAR WALL

PLAN NOTE
SOFFIT FOR DISTRIBUTION
NEED TO COORDINATE WITH
TRANSOM WINDOW HT

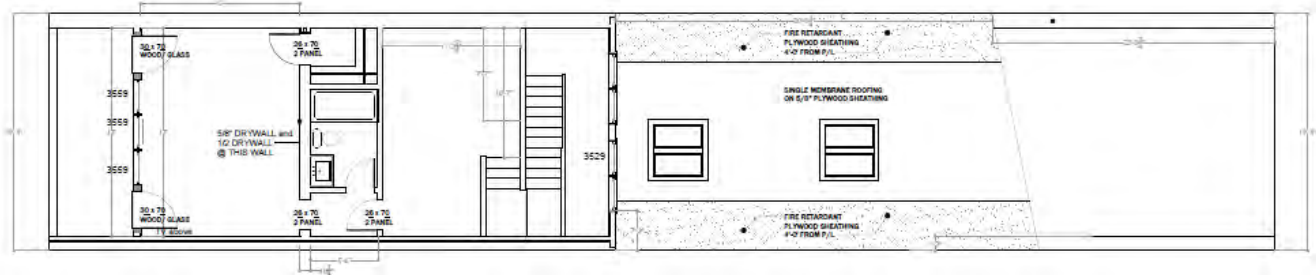
HARDWARE NOTE
ALLOW FOR CLOSER (with hold open)
DEADBOLT, PUSH PULL
NO LATCHING HARDWARE

PLAN NOTE
DESIGN FOR PLANTER
ALLOW MONEY FOR EXTERIOR
FIRE RATED (1 HOUR BOTH SIDES)

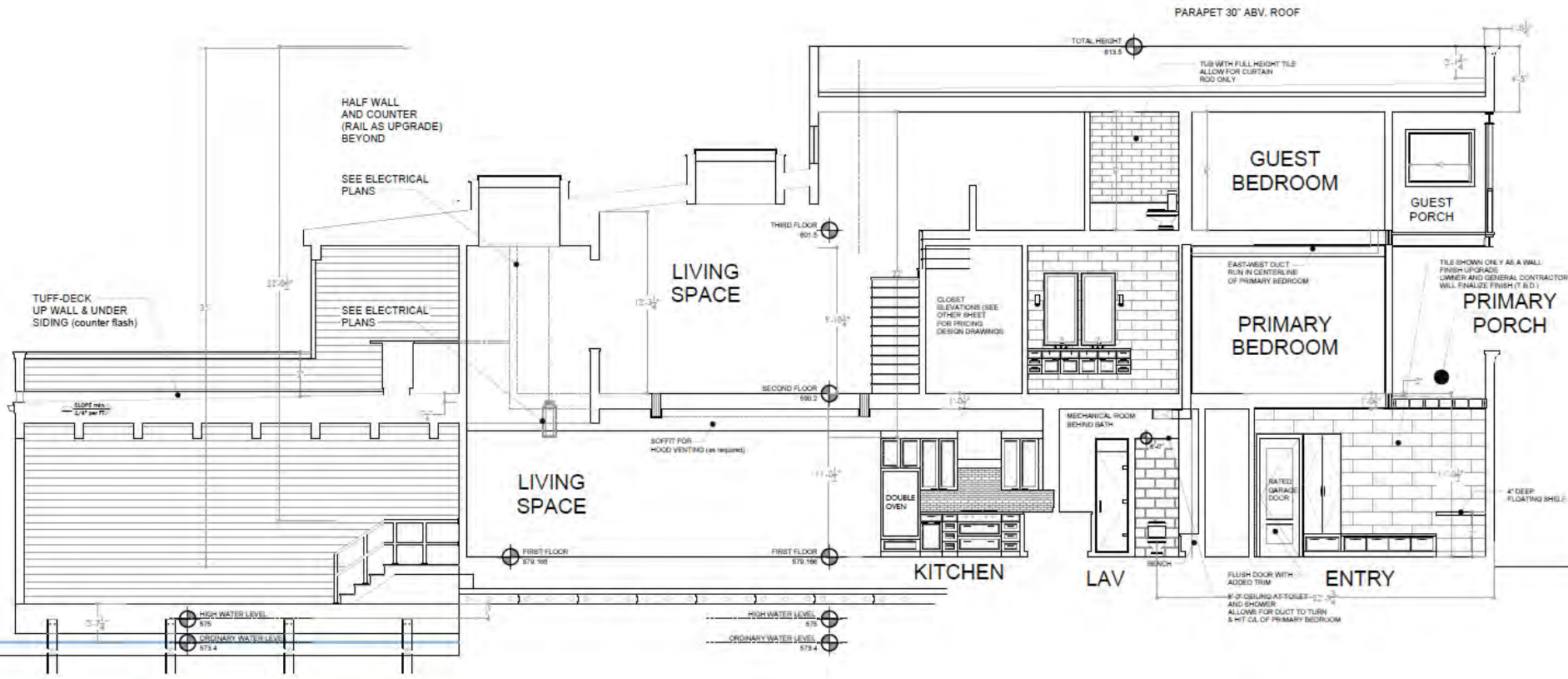


LIST OF DRAWINGS (for pricing only)

- FLOOR PLANS
1/4" EQUALS 1'-0" DD-1
- DRAWINGS (NOT PERTAINING TO
ABR REVIEW) NOT INCLUDED DD-2
- DRAWINGS (NOT PERTAINING TO
ABR REVIEW) NOT INCLUDED DD-3
- LONGITUDINAL SECTION (interior facing south)
3/8" EQUALS 1'-0" DD-4
- LONGITUDINAL SECTION (interior facing north)
3/8" EQUALS 1'-0" DD-5
- TRANSVERSE SECTIONS/ INT. ELEVATIONS
3/8" EQUALS 1'-0" DD-6
- FRONT and REAR ELEVATIONS
1/4" EQUALS 1'-0" DD-7
- ZERO LOT LINE INFO SOUTH PROP. LINE
3/8" EQUALS 1'-0" DD-8
- ZERO LOT LINE INFO NORTH PROP. LINE
3/8" EQUALS 1'-0" DD-9
- SIDE EXTERIOR ELEVATIONS
1/4" EQUALS 1'-0" DD-10
- G.C MASONRY WORK
3/8" EQUALS 1'-0" DD-11



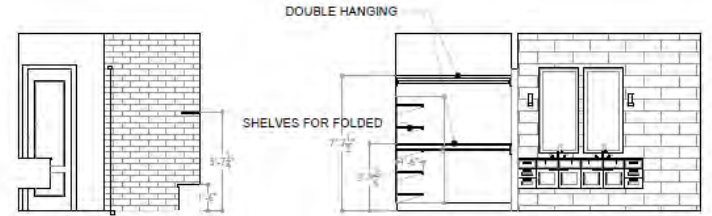
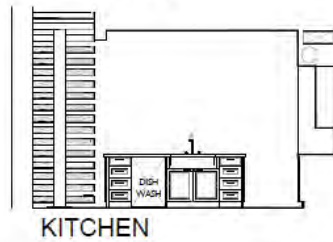
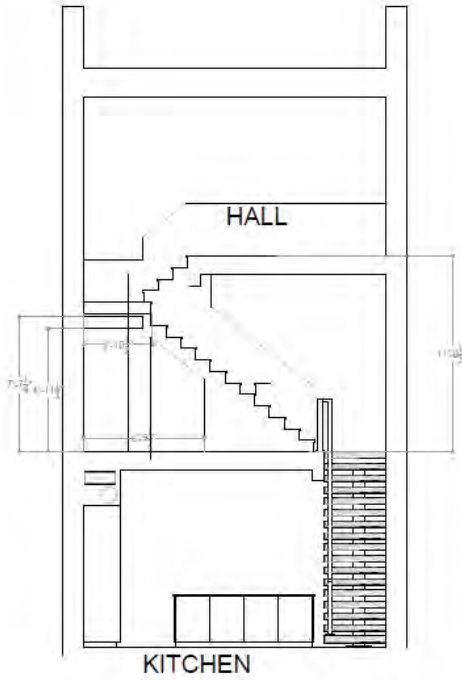
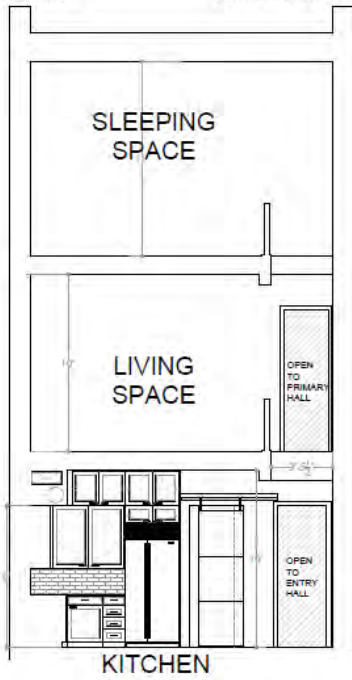
Docket No. 04-31-23 (914 Beach)
Residential New Construction



Docket No. 04-31-23 (914 Beach)

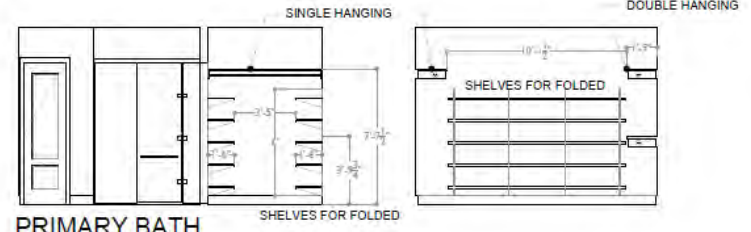
Residential New Construction

PARAPET 30" ABV. ROOF

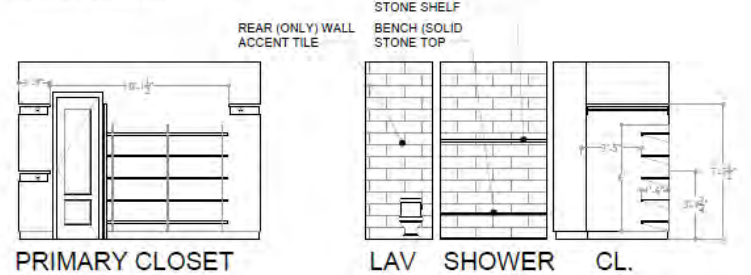


PRIMARY BATH
CUT THRU SHOWER
LOOKING TO CLOSET

CLOSET
PRIMARY BATH
VANITY



PRIMARY BATH
LOOKING AT LAV DOOR
SHOWER GLASS and CLOSET

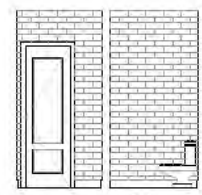


PRIMARY CLOSET

LAV
SHOWER
CL.



LAV

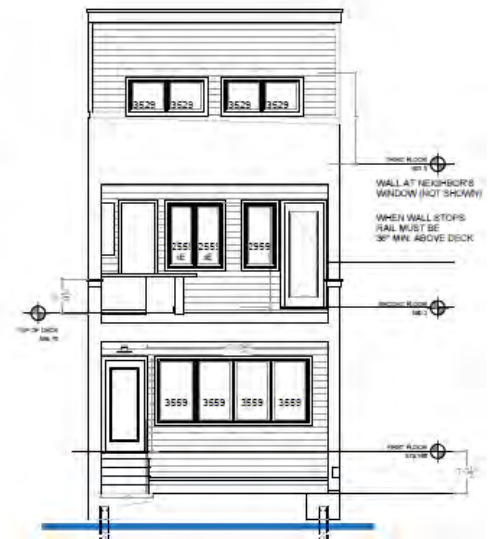
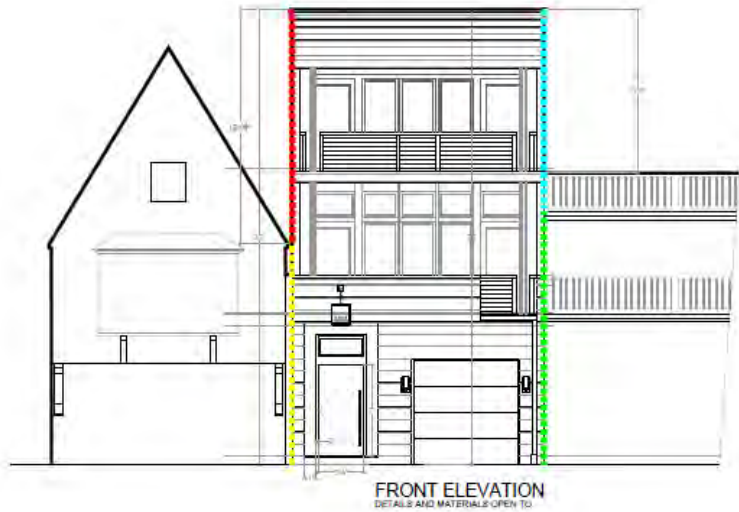
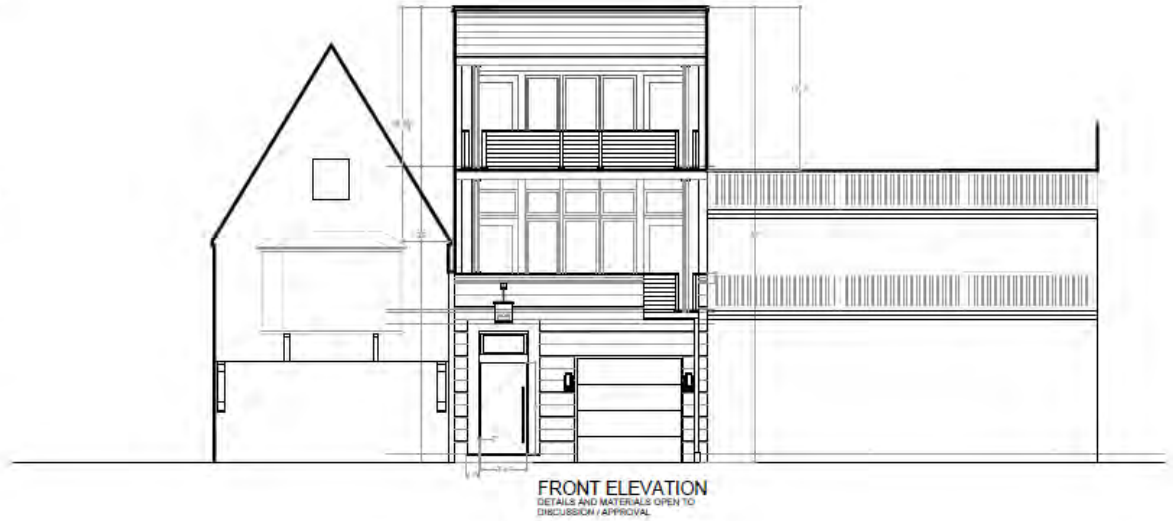
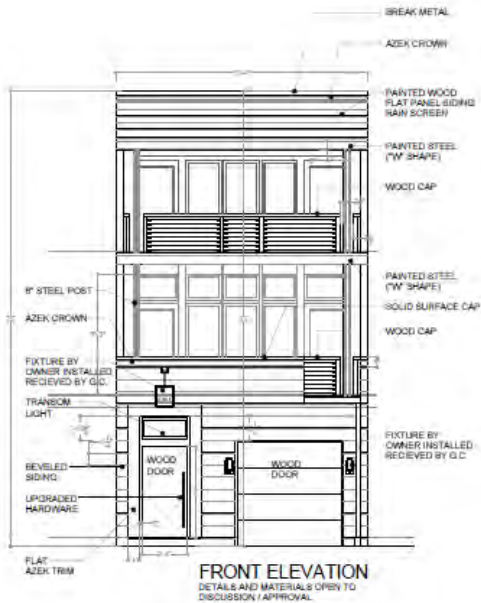


LAV
UPGRADE VIEW TO TILE ALL
THE PRIMARY SPACE

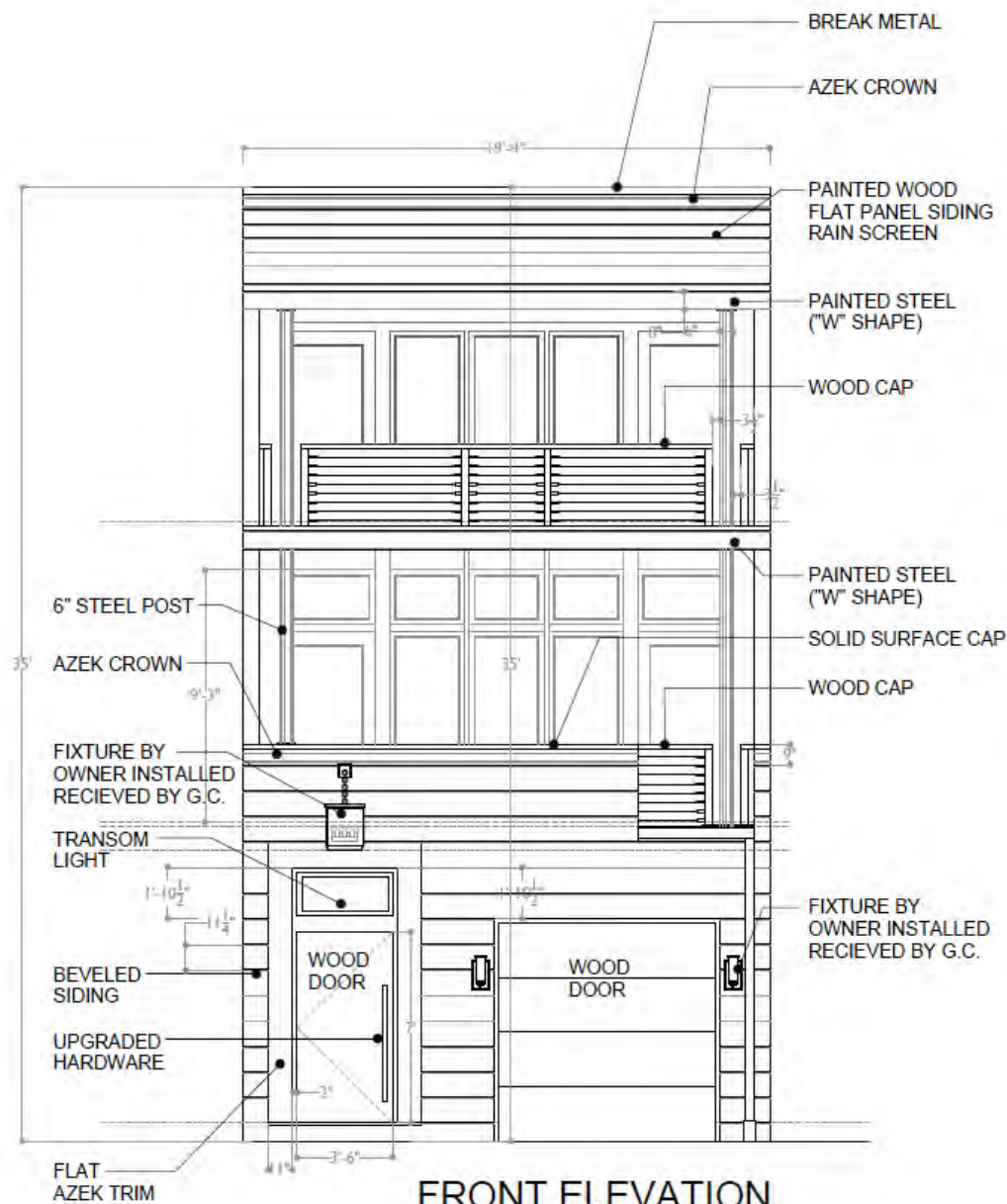


Docket No. 04-31-23 (914 Beach)

Residential New Construction



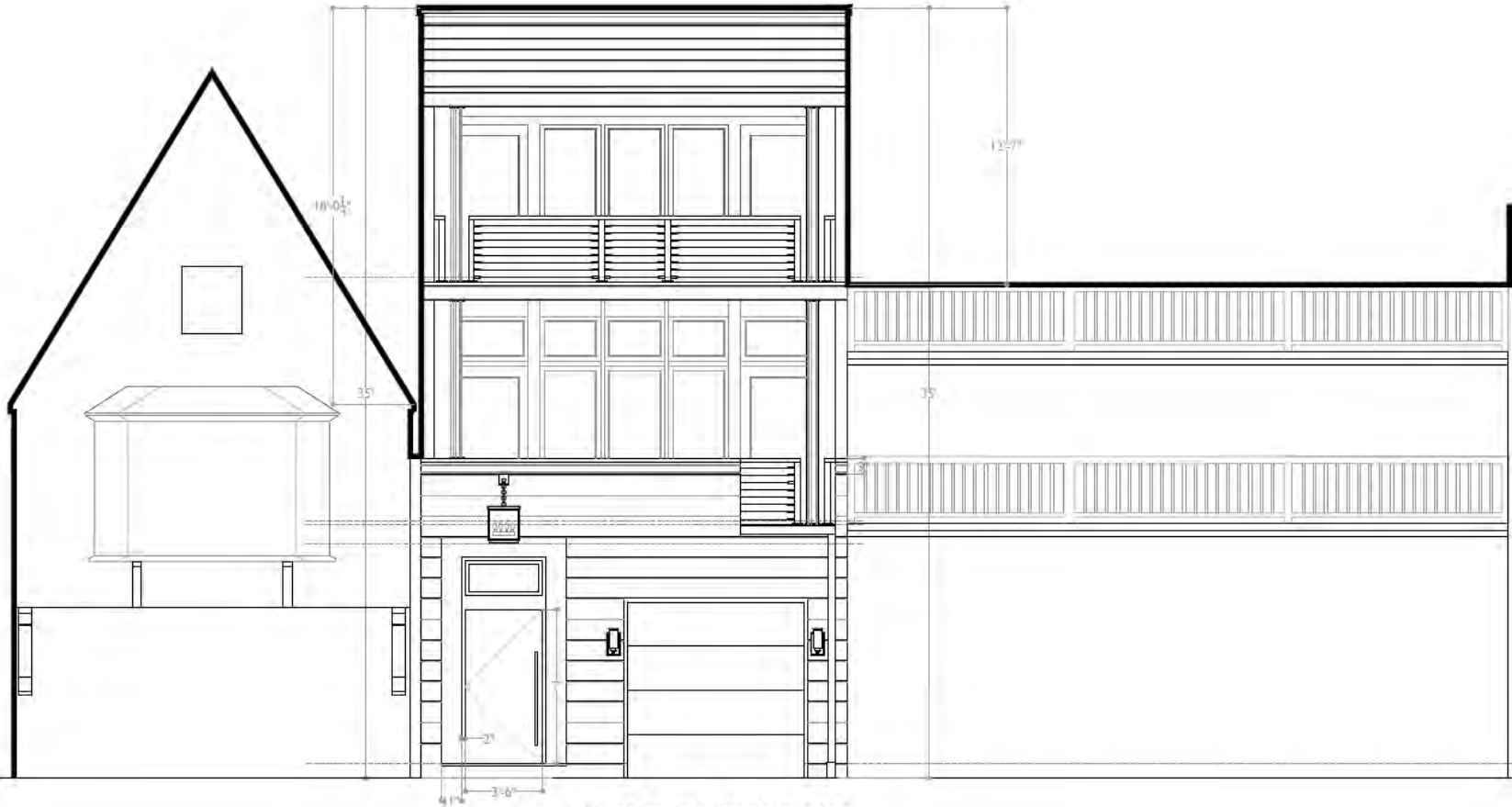
Docket No. 04-31-23 (914 Beach)
 Residential New Construction



FRONT ELEVATION
 DETAILS AND MATERIALS OPEN TO
 DISCUSSION / APPROVAL



Docket No. 04-31-23 (914 Beach)
 Residential New Construction

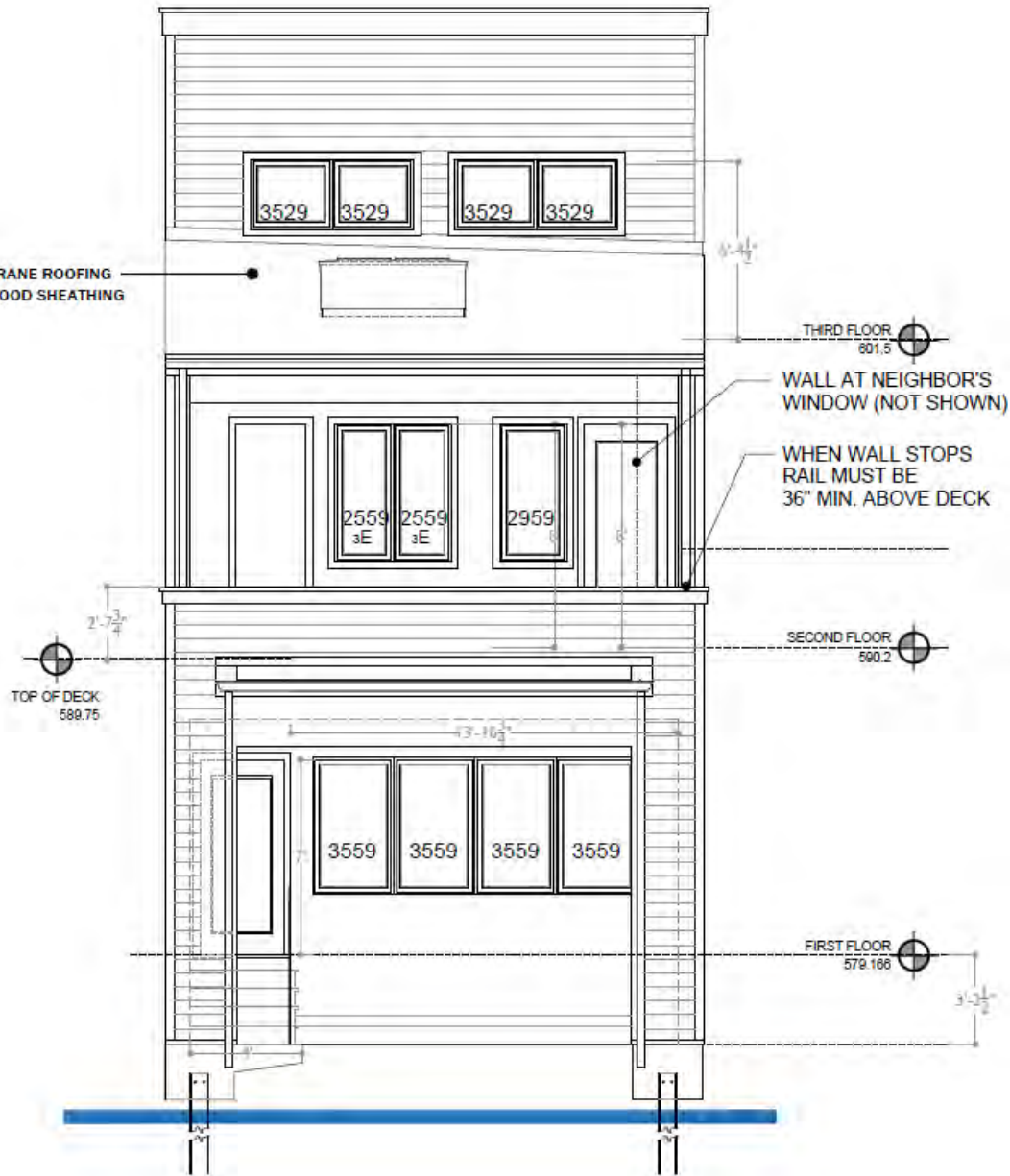


FRONT ELEVATION
DETAILS AND MATERIALS OPEN TO
DISCUSSION / APPROVAL



Docket No. 04-31-23 (914 Beach)
Residential New Construction

SINGLE MEMBRANE ROOFING
ON 5/8" PLYWOOD SHEATHING



Docket No. 04-31-23 (914 Beach)

Residential New Construction

150 square feet
PAINTED RAINSCREEN
SIDING TO MATCH FRONT

730 square feet
OPEN DUE TO ROOF SLOPE
OR OPEN TO AIR

FERGUSON BUILDING
TO THE SOUTH

1890 square feet
IMMEDIATELY ADJACENT
TO BUILDING TO THE NORTH

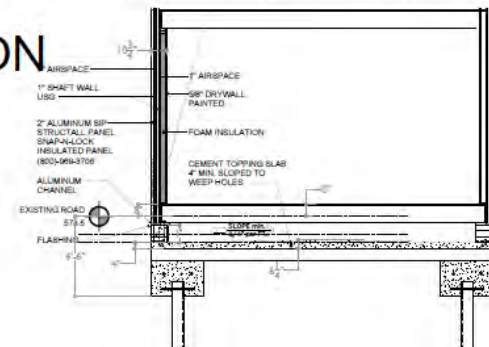
RE-BAR @ 32" ON CENTER
(PREVOST)
4" TOPPING
COAT (PREVOST)

8" PRE-STRESSED
CONCRETE PLANK
CONCRETE BEAM
BY PREVOST

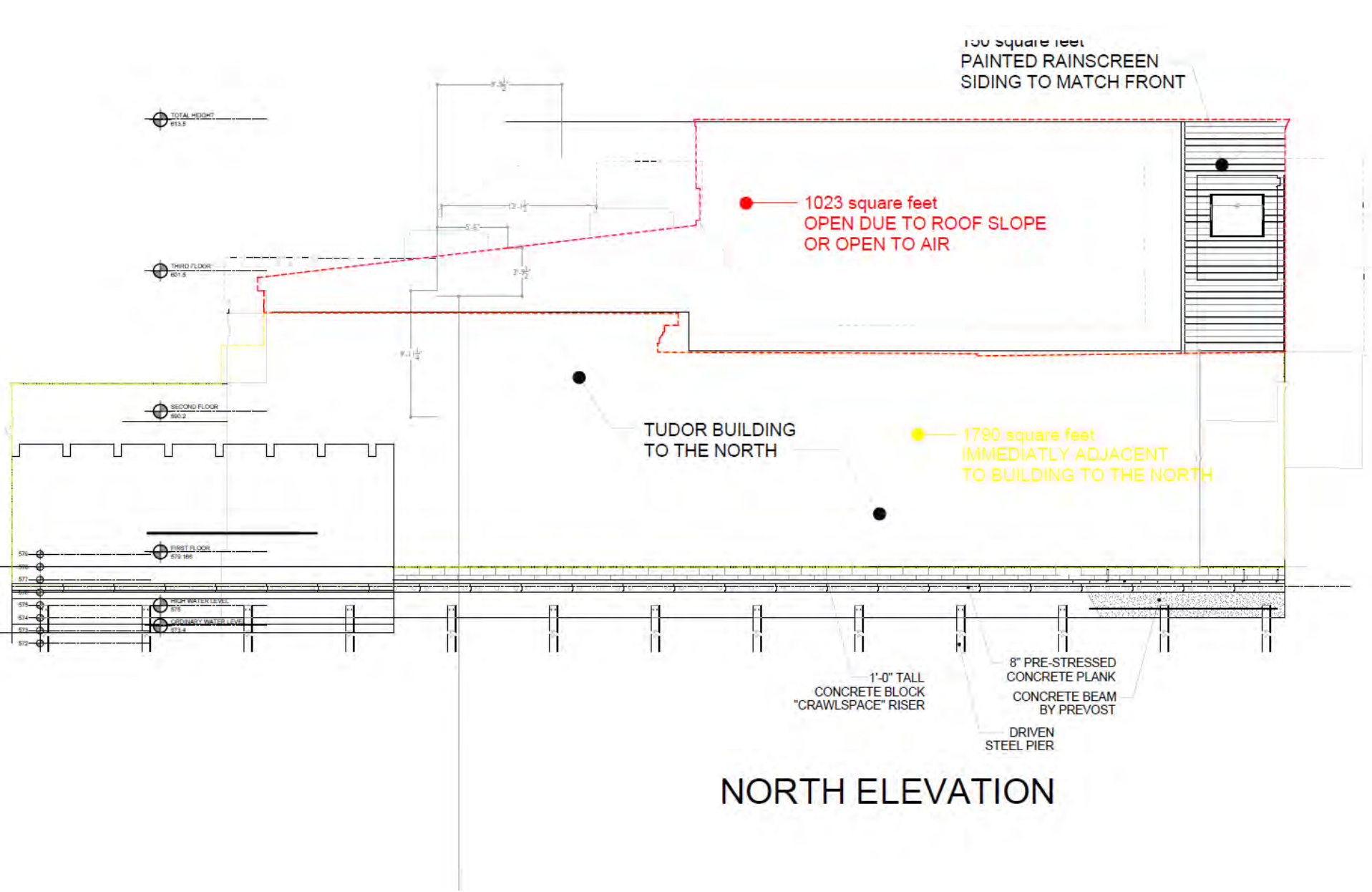
DRIVEN
STEEL PIER

1'-0" TALL
CONCRETE BLOCK
"CRAWLSPACE" RISER

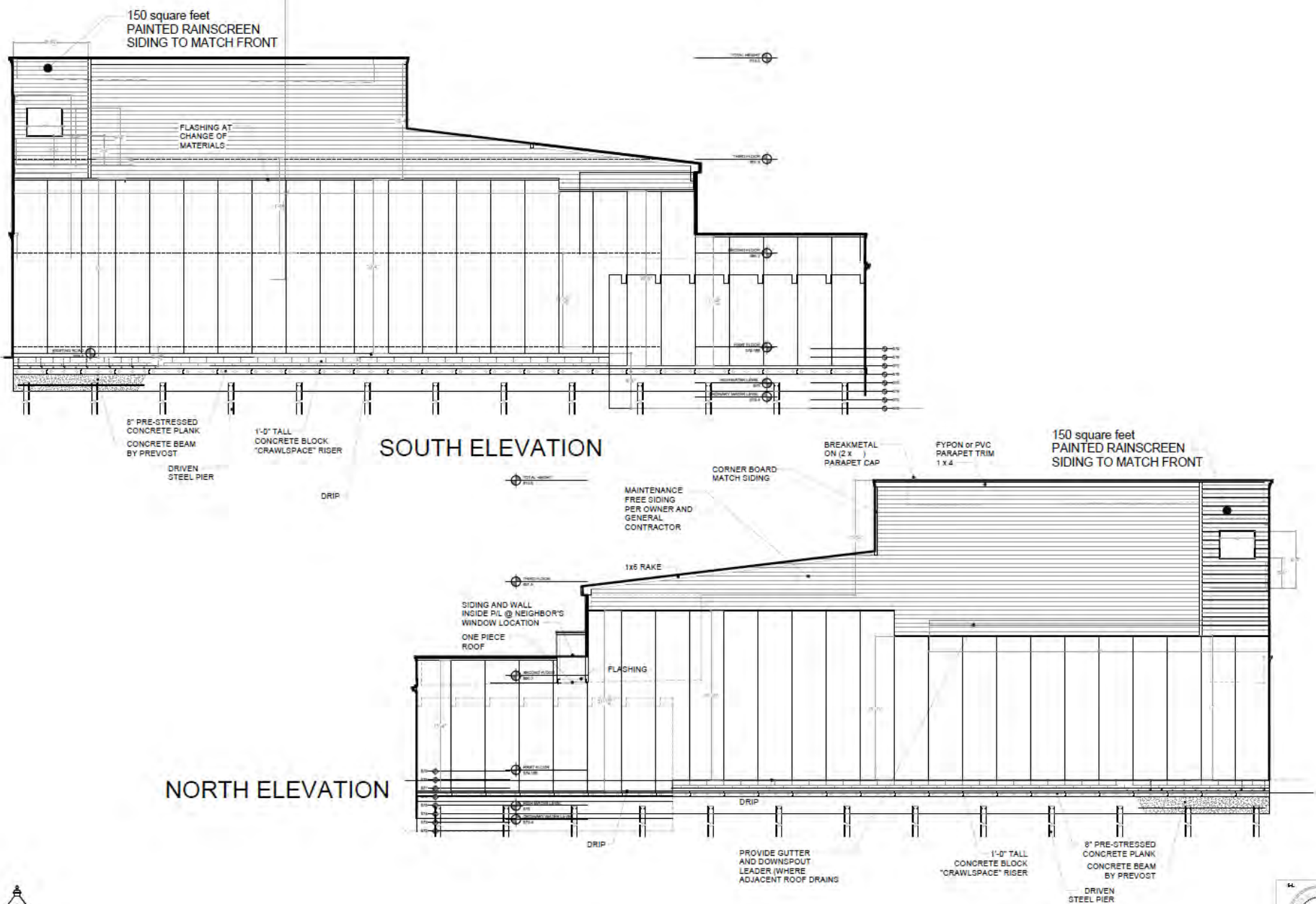
SOUTH ELEVATION



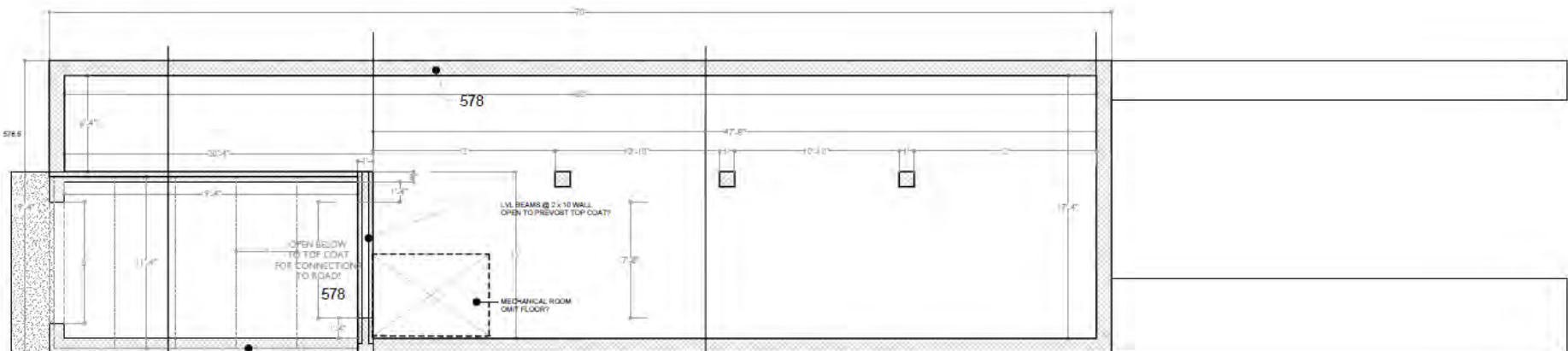
Docket No. 04-31-23 (914 Beach)
Residential New Construction



Docket No. 04-31-23 (914 Beach)
Residential New Construction

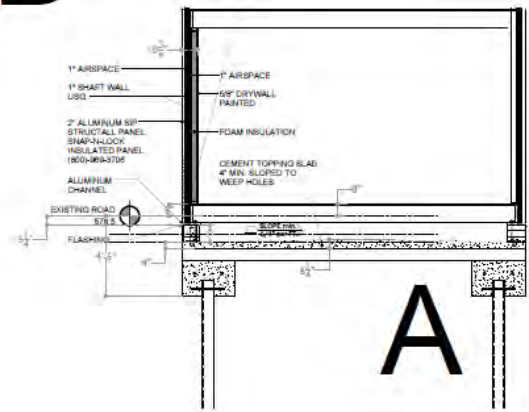


Docket No. 04-31-23 (914 Beach)
 Residential New Construction

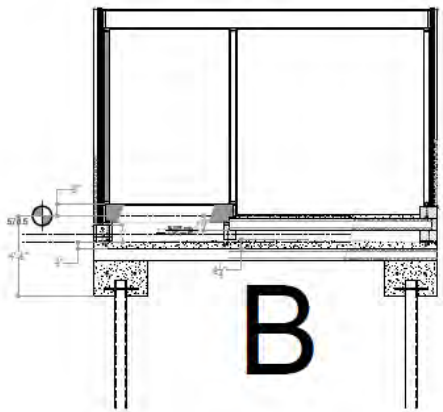


B

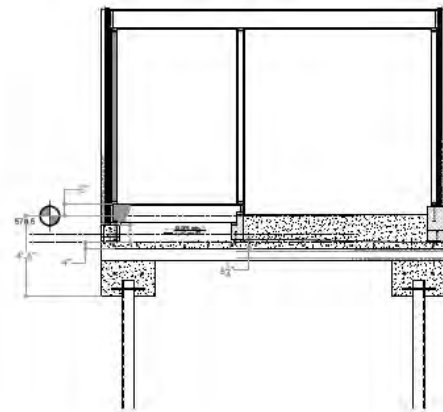
A



A



B



Docket No. 04-31-23 (914 Beach)
Residential New Construction



Docket No. 04-31-23 (914 Beach)
Residential New Construction



Docket No. 04-31-23 (914 Beach)
Residential New Construction



Docket No. 04-31-23 (914 Beach)
Residential New Construction



Docket No. 04-31-23 (914 Beach)
Residential New Construction



Applicant proposes addition to existing home.

City Notes:

N/A.

12903 Lake Ave

Withdrawn by Applicant



Docket No. 04-32-23 (12903 Lake)
Residential Addition
Michael Tomsik

Applicant proposes expansion/roof top patio to St. James School.

City Notes:

- Due to the local historic designation of this building, alterations require review/determination under Section 1134.06 (Certificate of Appropriateness). The proposal is required to be presented/reviewed in relation to the Secretary of the Interior (SOI)'s standards for rehabilitation.



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School
Gabriel Fey

CHAPTER 1134 - Historic Preservation Districts (HPD) and Historic Properties (HP)

1134.06 PROCEDURES FOR THE REVIEW OF PROPOSED ALTERATIONS, DEMOLITION AND NEW CONSTRUCTION AND FOR ISSUANCE OF APPROVAL TO PROCEED WITH WORK (CERTIFICATE OF APPROPRIATENESS).

(a) **No person shall make any alteration or demolition with respect to any property designated historic...unless a certificate of appropriateness has been previously issued....**

(b) ...the Architectural Board of Review...**shall determine whether the proposed construction, reconstruction, alteration or demolition is appropriate and shall refer to the Secretary of the Interior's Standards for Rehabilitation...**

(Ord. 15-14. Passed 3-17-2014.)



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School

“Standards for Rehabilitation” adopted by the U.S. Secretary of the Interior

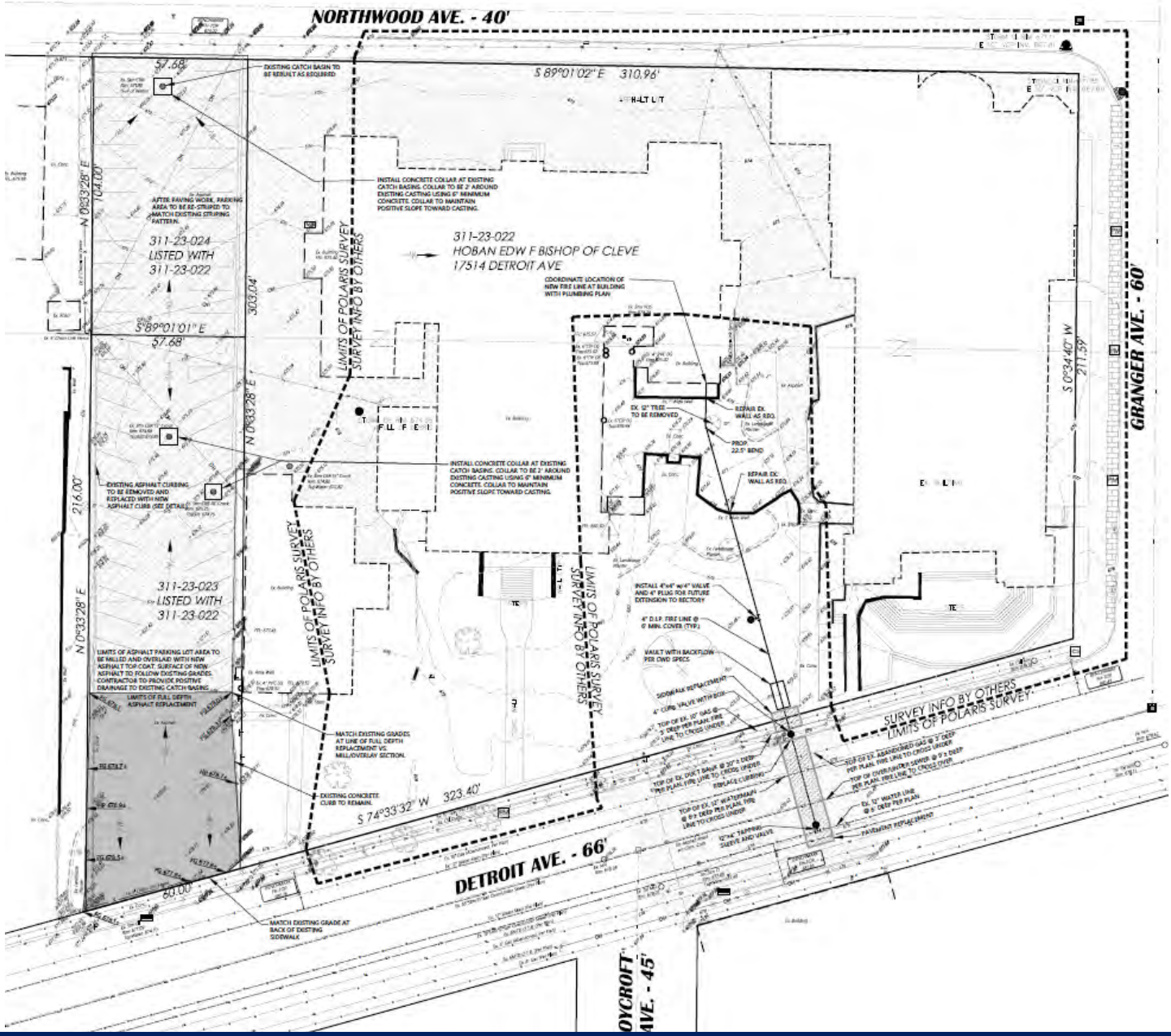
The Standards will be applied taking into consideration the economic and technical feasibility of each project.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(THE SECRETARY OF THE INTERIOR’S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES WITH GUIDELINES FOR PRESERVING, REHABILITATING, RESTORING & RECONSTRUCTING HISTORIC BUILDINGS; 2017)



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School



Docket No. 04-33-23 (17514 Detroit)
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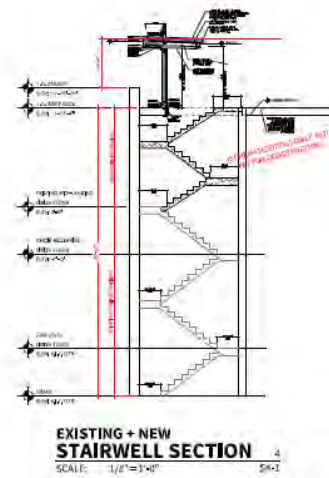
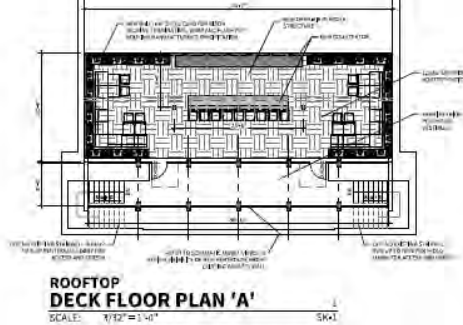
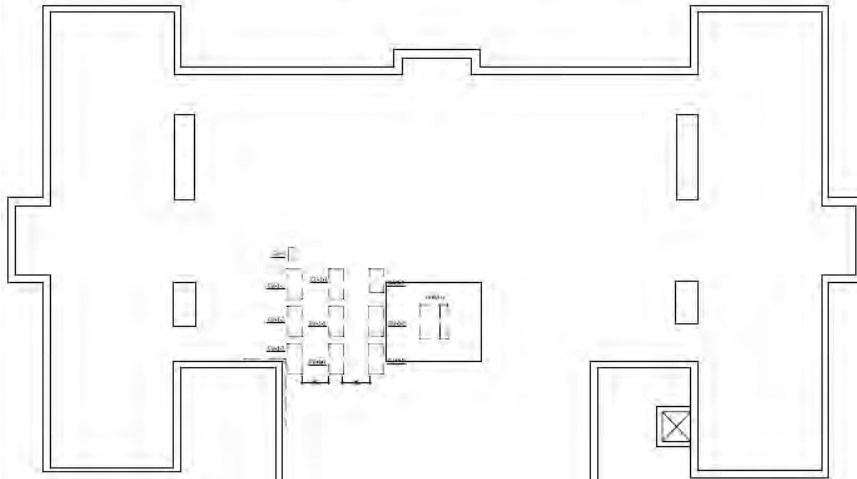
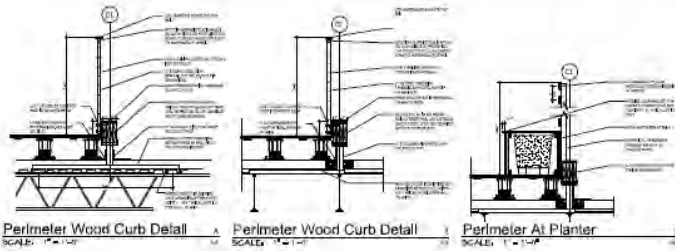


Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School

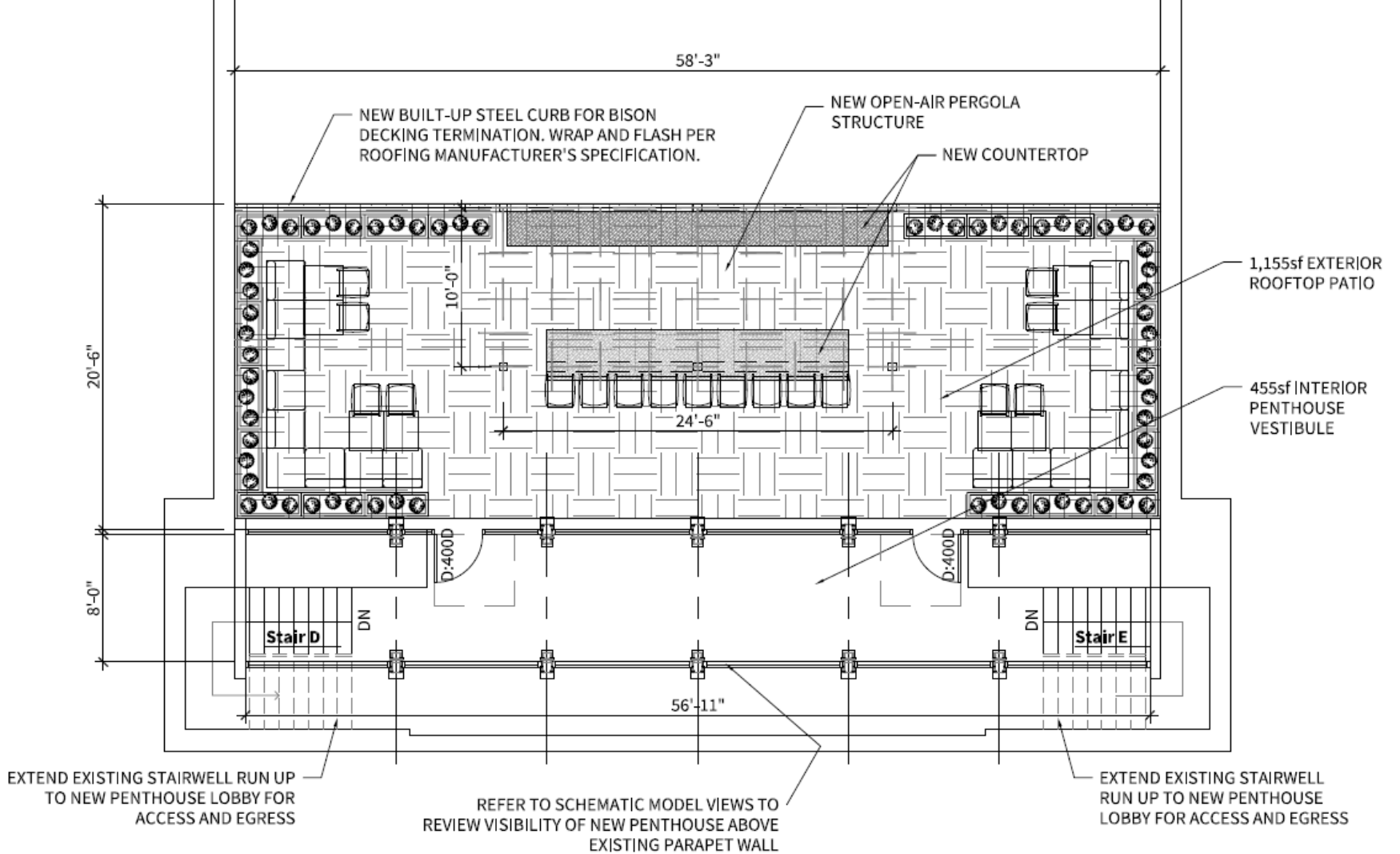


Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School

OPTION A: PEDESTAL SYSTEM (BISON DECKING)



Docket No. 04-33-23 (17514 Detroit)
 Certificate of Appropriateness – St. James School



ROOFTOP DECK FLOOR PLAN 'A'

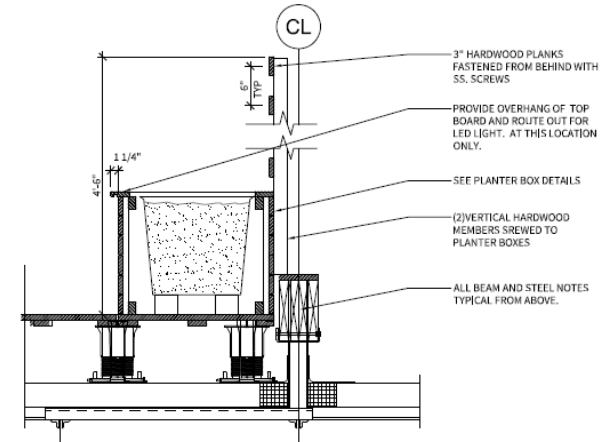
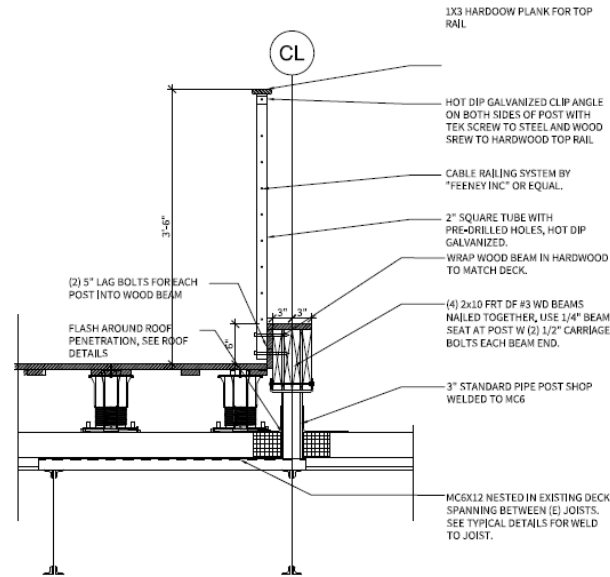
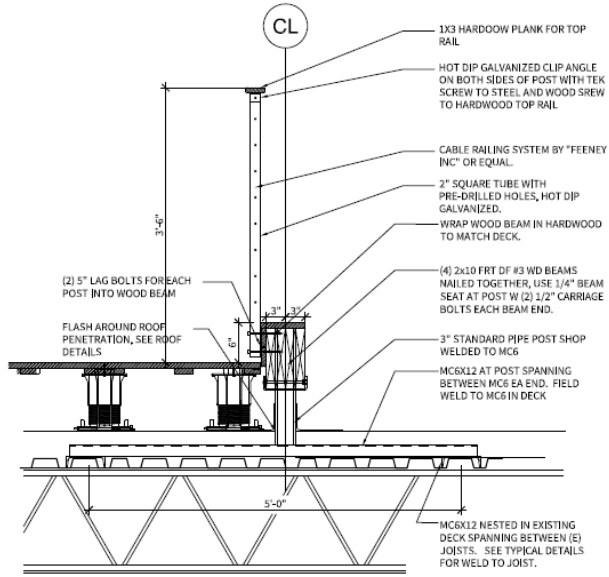
SCALE: 3/32" = 1'-0"

1

SK-1



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School



Perimeter Wood Curb Detail

A

SCALE: 1" = 1'-0"

XX

Perimeter Wood Curb Detail

B

SCALE: 1" = 1'-0"

XX

Perimeter At Planter

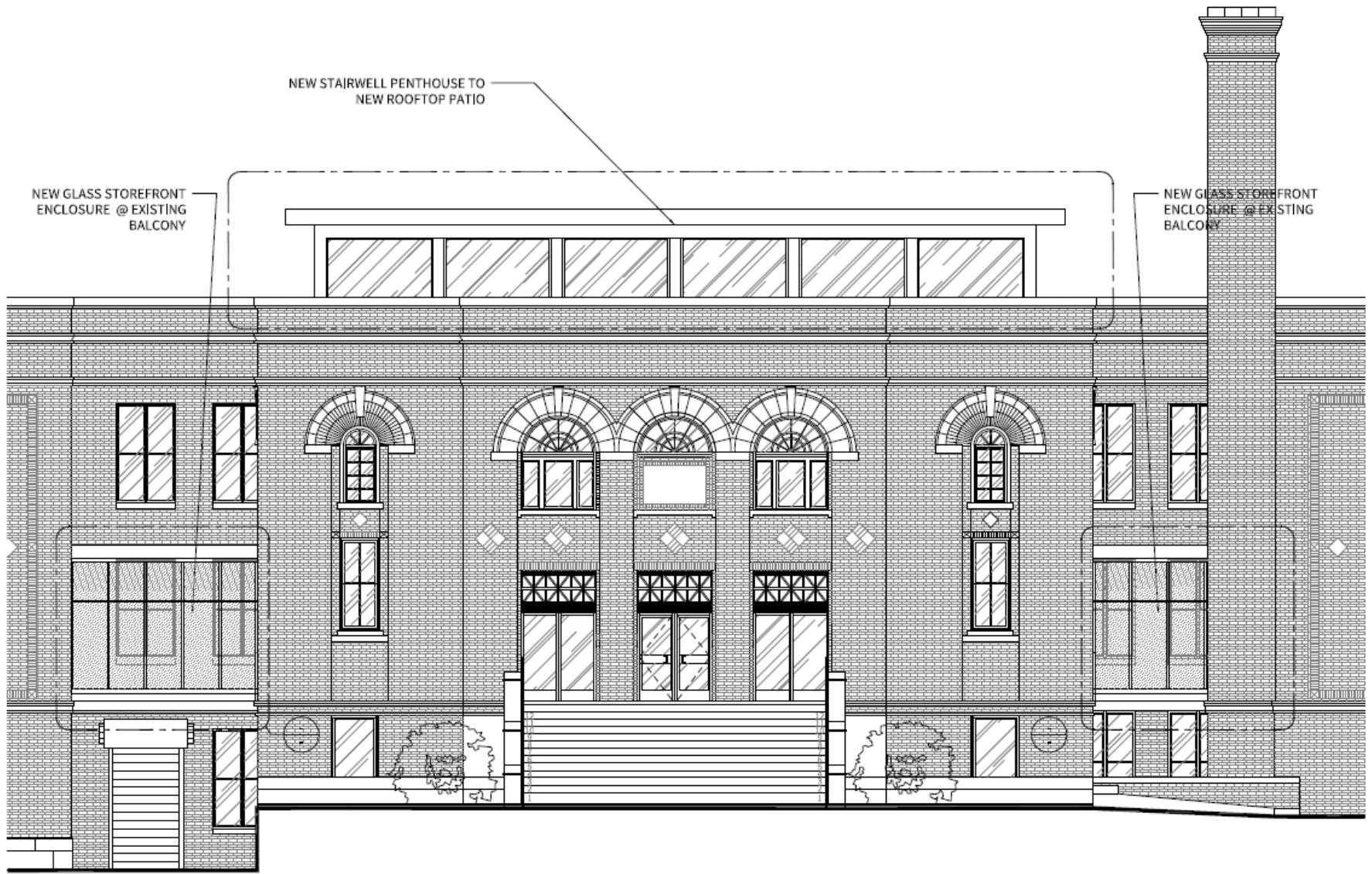
C

SCALE: 1" = 1'-0"

XX



Docket No. 04-33-23 (17514 Detroit)
 Certificate of Appropriateness – St. James School



SOUTH ELEVATION

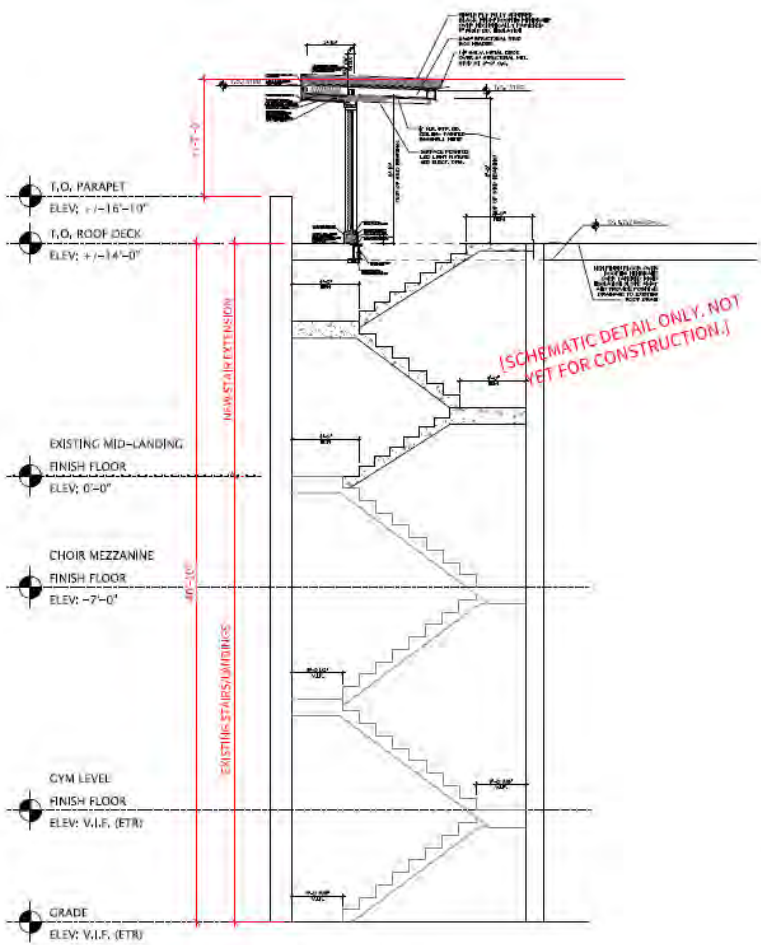
SCALE: 1/8" = 1'-0"

2

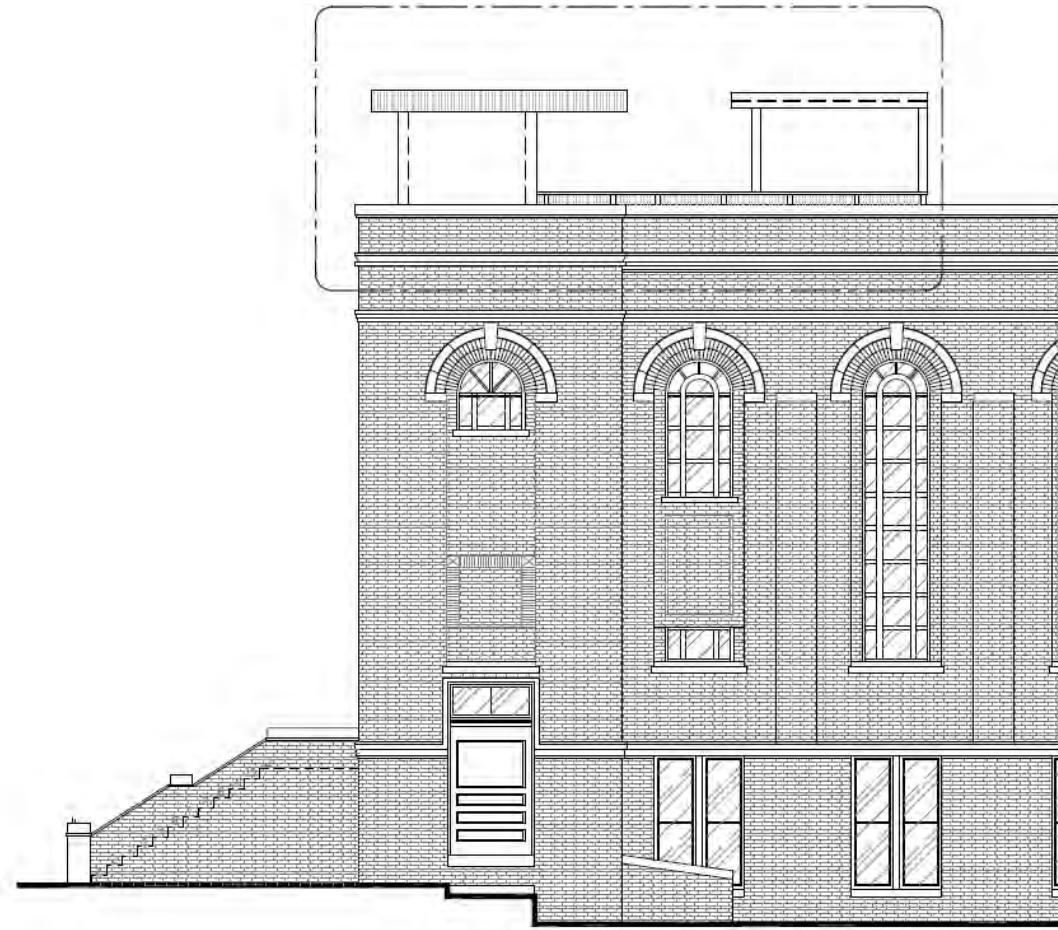
SK-1



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School



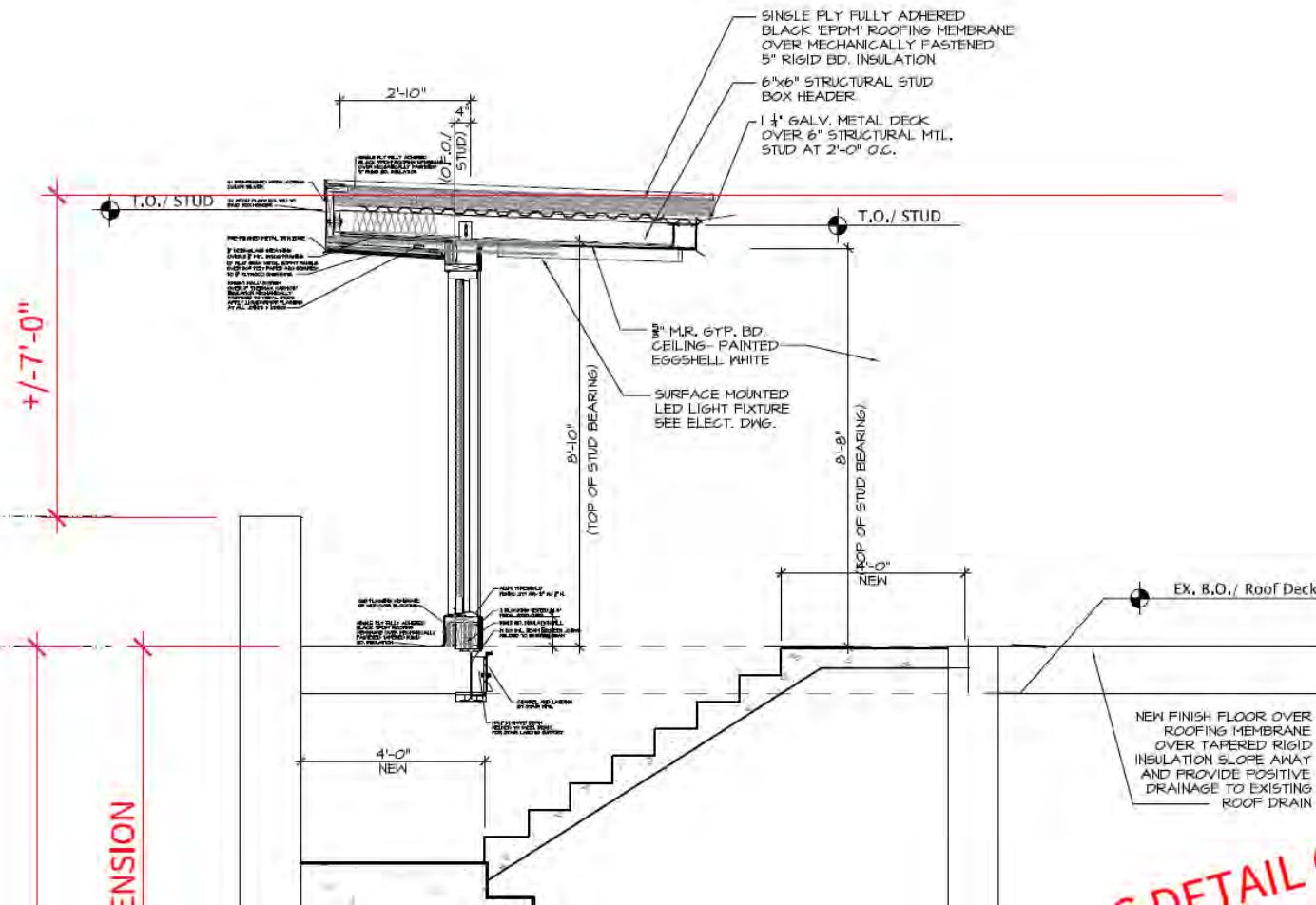
EXISTING + NEW STAIRWELL SECTION 4
 SCALE: 1/8" = 1'-0" SK-1



WEST ELEVATION 3
 SCALE: 1/8" = 1'-0" SK-1



Docket No. 04-33-23 (17514 Detroit)
 Certificate of Appropriateness – St. James School



 T.O. PARAPET
 ELEV: +/- 16'-10"
 T.O. ROOF DECK
 ELEV: +/- 14'-0"

ENISION

DETAIL 01

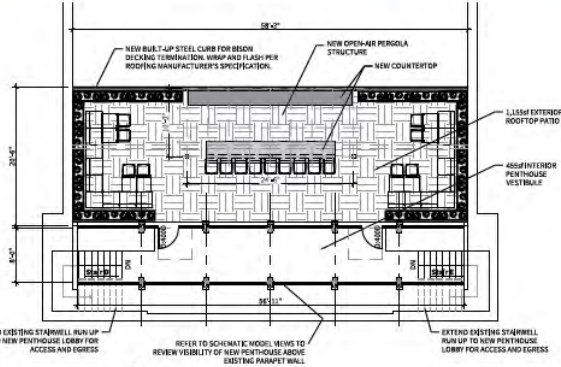


Docket No. 04-33-23 (17514 Detroit)

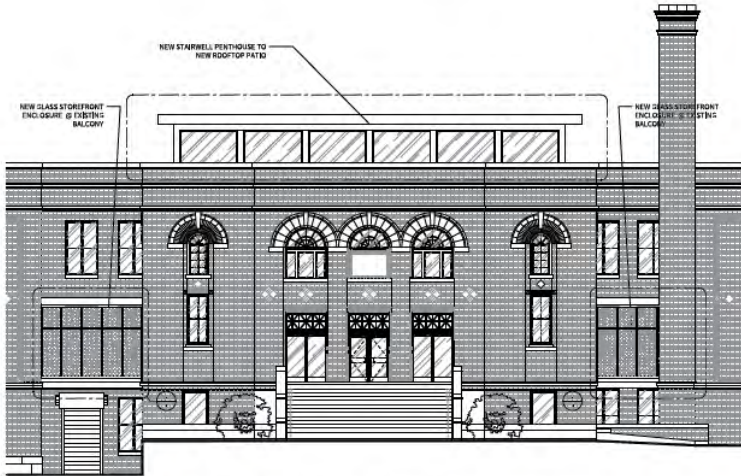
Certificate of Appropriateness – St. James School



INSPIRATION + PRECEDENT IMAGES



ROOFTOP DECK FLOOR PLAN 'A'
SCALE: 3/32" = 1'-0"
SK-1



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
SK-2

1734.66 PROCEDURES FOR THE REVIEW OF PROPOSED ALTERATIONS, DEMOLITION AND NEW CONSTRUCTION AND FOR ISSUANCE OF APPROVAL TO PROCEED WITH WORK (CERTIFICATE OF APPROPRIATENESS).

- (4) No person shall make any alteration or demolition with respect to any property designated historic that is situated in a designated HPD or has been determined an HP unless a certificate of appropriateness has been previously issued with respect to such property. With respect to any such alteration or demolition, the owner of the property to be altered or demolished shall first apply for and secure a certificate of appropriateness from the Architectural Board of Review. In addition, any improvements or changes undertaken within public rights-of-way within an HPD also require a certificate of appropriateness from the Architectural Board of Review.
- (5) Unless the Commission has previously approved unique historic guidelines, the Architectural Board of Review when considering an application for a certificate of appropriateness shall determine whether the proposed construction, reconstruction, alteration or demolition is appropriate and shall refer to the Secretary of the Historic Standards for Rehabilitation, as amended from time to time, and which on the date of the adoption of this chapter are as follows:
 - (1) A property shall be used for its historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
 - (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 - (3) Each property shall be recognized as a physical record of the time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
 - (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
 - (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize an HP shall be preserved.
 - (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.
 - (7) Chemical or physical treatments, such as sandblasting, that cause damage to the historic materials and structures, if appropriate, shall be undertaken using the gentlest means possible.
 - (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
 - (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, scale, style, and architectural features of the property and its environment.
 - (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and environment would be unimpaired.
 - (11) In the case of architectural properties, the Architectural Board of Review shall refer to the Advisory Council on Historic Preservation's Treatment of Architectural Properties. A handbook or successor publications.
 - (12) **Approval Not Deferential** Where the Commission has issued Unique Historic Guidelines when unique historic guidelines have been established, if the proposed construction, reconstruction, alteration or demolition is determined by the Architectural Board of Review to be appropriate, then the Architectural Board of Review shall approve the certificate of appropriateness, subject to a final additional review by the Commission.
 - (13) **Denial** If the Architectural Board of Review determines that the proposed construction, reconstruction, alteration or demolition is inappropriate, then the Architectural Board of Review shall deny the certificate of appropriateness.
 - (14) **Notice of Denial to Applicant** In the event that the Architectural Board of Review denies an application for a certificate of appropriateness, the secretary of the Architectural Board of Review shall forthwith notify the applicant in writing and transmit to her/his a copy of the reasons for denial and recommendations, if any, of the Architectural Board of Review.
 - (15) **Effect of Denial** Upon denying an application for a certificate of appropriateness, the Architectural Board of Review shall impose a waiting period of not less than thirty (30) days from the date of approval during which the applicant may develop a comprehensive proposal. With respect to an application involving a classification, the Architectural Board of Review may, at its discretion, extend the aforementioned waiting period to a maximum of one (1) year from the date of approval. If both parties accept a comprehensive proposal, the Architectural Board of Review may heretofore approve a final certificate of appropriateness, unless unique historic guidelines have been adopted by the Commission and pertains, in which case any compromise must also be approved by the Commission.
 - (16) **Nonapplication During Waiting Period for Denial** In the case of a denial of an application for a certificate of appropriateness for demolition:

RECENT 2021 - 2023 INTERIOR REVISIONS MAINTAINED (AND IMPROVED) THE HISTORIC CHARACTERISTICS OF THE BUILDING, WHILE CHANGING INTERIOR USE. THIS PROPOSED ROOFTOP PERTHOUSE AIMS TO ACHIEVE THE SAME GOAL: MINIMAL IMPACT TO EXISTING CHARACTERISTICS OF THE BUILDING, WHILE ADDING NEW USE AT THE PERTHOUSE LEVEL.

INTENT IS TO RETAIN ALL EXISTING HISTORIC FEATURES AND MATERIALS. MAJOR IMPACT OF NEW PROPOSED WORK WOULD BE MODIFYING THE ROOFTOP MATERIAL. ALL EXISTING PERGOLA, COILING, BRICK, AND ORNAMENTATION WOULD REMAIN. NEW PERTHOUSE TO BE ADAPTIVE, NOT RESTRICTIVE.

UPDATED PERTHOUSE DESIGN HAS BEEN MODIFIED TO AVOID MIMICRY OF ANY ORIGINAL ARCHITECTURAL FEATURES. IT ESTABLISHES A NEW SIMPLIFIED ARCHITECTURAL LANGUAGE THAT IS EASILY DISTINGUISHABLE FROM THE HISTORIC BUILDING, BUT REMAINS RESPECTFUL IN SCALE, SIZE AND MATERIALS.

RELEVANT CODE AND ACCESSIBILITY DATA:

- SECTION 503.1.4 - OCCUPIED ROOF DOES NOT COUNT TOWARDS BUILDING HEIGHT OR AREA
- SECTIONS 1006.3, 1006.3.1, 1006.3.2 AND 1006.3.3 - PROPOSED DESIGN COMPLIES WITH NUMBER OF EXITS, EXIT CAPACITY WIDTH AND TRAVEL DISTANCES.
- SECTION 1009.1 - PROPOSED DESIGN PROVIDES TWO MEANS OF EGRESS VIA STAIRWAYS TO ROOF (SPRINKLED THREE STORY BUILDING). NO AREA OF REFUGE REQUIRES PER 1009.3.2 / 1009.3.3.
- SECTION 1104.4, EXCEPTION 1 - PROPOSED ROOFTOP PATIO IS LESS THAN 3,000SF. ELEVATOR NOT REQUIRED.



Docket No. 04-33-23 (17514 Detroit) Certificate of Appropriateness - St. James School



INSPIRATION + PRECEDENT IMAGES



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School



Docket No. 04-33-23 (17514 Detroit)
Certificate of Appropriateness – St. James School

1134.06 PROCEDURES FOR THE REVIEW OF PROPOSED ALTERATIONS, DEMOLITION AND NEW CONSTRUCTION AND FOR ISSUANCE OF APPROVAL TO PROCEED WITH WORK (CERTIFICATE OF APPROPRIATENESS).

(a) No person shall make any alteration or demolition with respect to any property designated historic that is situated in a determined HPD or has been determined an HP unless a certificate of appropriateness has been previously issued with respect to such property. With respect to any such alteration or demolition, the owner of the property to be altered or demolished shall first apply for and secure a certificate of appropriateness from the Architectural Board of Review. In addition, any improvements or changes undertaken within public rights-of-way within an HPD also require a certificate of appropriateness from the Architectural Board of Review.

(b) Unless the Commission has previously approved unique historic guidelines, the Architectural Board of Review when considering an application for a certificate of appropriateness shall determine whether the proposed construction, reconstruction, alteration or demolition is appropriate and shall refer to the Secretary of the Interior's Standards for Rehabilitation, as amended from time to time, and which on the date of the adoption of this chapter are as follows:

(1) A property shall be used for its historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize an HP shall be preserved.

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to the historic materials and structures, if appropriate, shall be undertaken using the gentlest means possible.

(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and environment would be unimpaired.

(c) In the case of archeological properties, the Architectural Board of Review shall refer to the Advisory Council on Historic Preservation's Treatment of Archeological Properties: A Handbook or successor publication(s).

(d) Approval Not Self-executing Where the Commission has Issued Unique Historic Guidelines: When unique historic guidelines have been established, if the proposed construction, reconstruction, alteration or demolition is determined by the Architectural Board of Review to be appropriate, then the Architectural Board of Review shall approve the certificate of appropriateness, subject to a final additional review by the Commission.

(e) Denial: If the Architectural Board of Review determines that the proposed construction, reconstruction, alteration or demolition is inappropriate, then the Architectural Review Board shall deny the certificate of appropriateness.

(f) Notice of Denial to Applicant: In the event that the Architectural Board of Review denies an application for a certificate of appropriateness, the secretary of the Architectural Board of Review shall forthwith notify the applicant in writing and transmit to him/her a copy of the reasons for denial and recommendations, if any, of the Architectural Board of Review.

(g) Effect of Denial: Upon denying an application for a certificate of appropriateness, the Architectural Board of Review shall impose a waiting period to not exceed thirty (30) days from the date of disapproval during which the applicant may develop a compromise proposal. With respect to an application involving a demolition, the Architectural Board of Review may, at its discretion, extend the aforementioned waiting period a maximum of one (1) year from the date of disapproval. If both parties accept a compromise proposal, the Architectural Board of Review may henceforth approve a final certificate of

RECENT 2021 - 2023 INTERIOR RENOVATIONS MAINTAINED (AND IMPROVED) THE HISTORIC CHARACTERISTICS OF THE BUILDING, WHILE CHANGING INTERIOR USE. THIS PROPOSED ROOFTOP PENTHOUSE AIMS TO HAVE THE SAME GOAL: MINIMAL IMPACT TO EXISTING CHARACTERISTICS OF THE BUILDING, WHILE ADDING NEW USE AT THE PENTHOUSE LEVEL.

INTENT IS TO RETAIN ALL EXISTING HISTORIC FEATURES AND MATERIALS. MAJOR IMPACT OF NEW PROPOSED WORK WOULD BE MODIFYING TPO ROOFING MATERIAL. ALL EXISTING PARAPETS, COPING, BRICK, AND ORNAMENTATION WOULD REMAIN. NEW PENTHOUSE TO BE ADDITIVE, NOT REDUCTIVE.

UPDATED PENTHOUSE DESIGN HAS BEEN MODIFIED TO AVOID MIMICRY OF ANY ORIGINAL ARCHITECTURAL FEATURES. IT ESTABLISHES A NEW SIMPLIFIED ARCHITECTURAL LANGUAGE THAT IS EASILY DISTINGUISHABLE FROM THE HISTORIC BUILDING, BUT REMAINS RESPECTFUL IN SCALE, SIZE AND MATERIALITY.

RELEVANT CODE AND ACCESSIBILITY DATA:

- SECTION 503.1.4 - OCCUPIED ROOF DOES NOT COUNT TOWARDS BUILDING HEIGHT OR AREA
- SECTIONS 1006.1, 1006.3, 1006.3.2 AND 1006.3.3 - PROPOSED DESIGN COMPLIES WITH NUMBER OF EXITS, EXIT CAPACITY WIDTH AND TRAVEL DISTANCES.
- SECTION 1009.1 - PROPOSED DESIGN PROVIDES TWO MEANS OF EGRESS VIA STAIRWAYS TO ROOF (SPRINKLED THREE STORY BUILDING). NO AREA OF REFUGE REQUIRES PER 1009.3.2 / 1009.3.3).
- SECTION 1104.4, EXCEPTION 1 - PROPOSED ROOFTOP PATIO IS LESS THAN 3,000SF. ELEVATOR NOT REQUIRED.



Docket No. 04-33-23 (17514 Detroit)

Certificate of Appropriateness – St. James School

Applicant proposes construction of new parking lot.

City Notes:

N/A.



1484 W 117th St

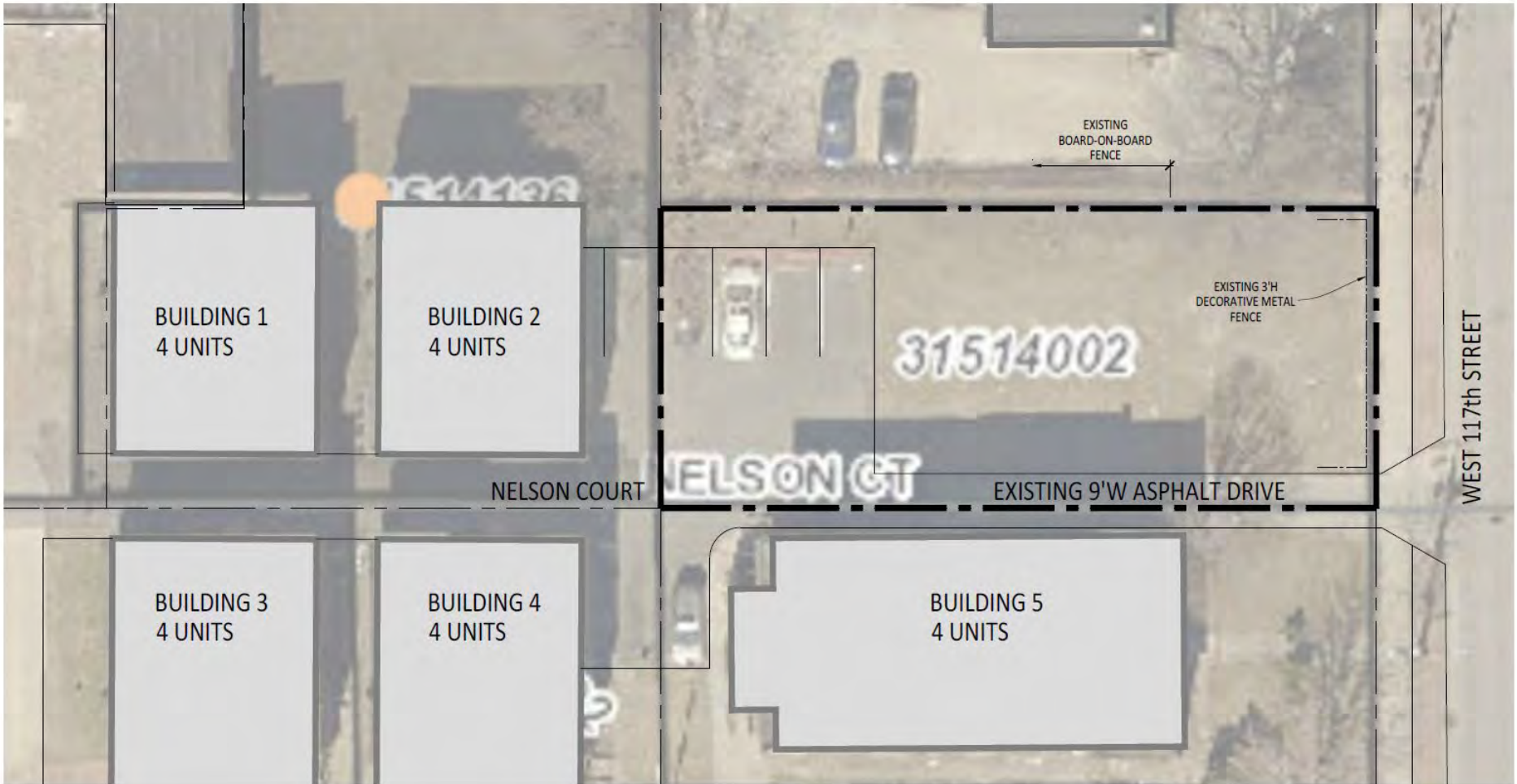


Docket No. 04-34-23 (1484 W.117th)

Nelson Court - Parking Lot
Brian Grambort



Docket No. 04-34-23 (1484 W.117th)
Nelson Court - Parking Lot



EXISTING SITE PLAN

1/16" = 1'-0"



AS NELSON COURT PARKING

1484 WEST 117TH, LAKEWOOD, OHIO 44107

1

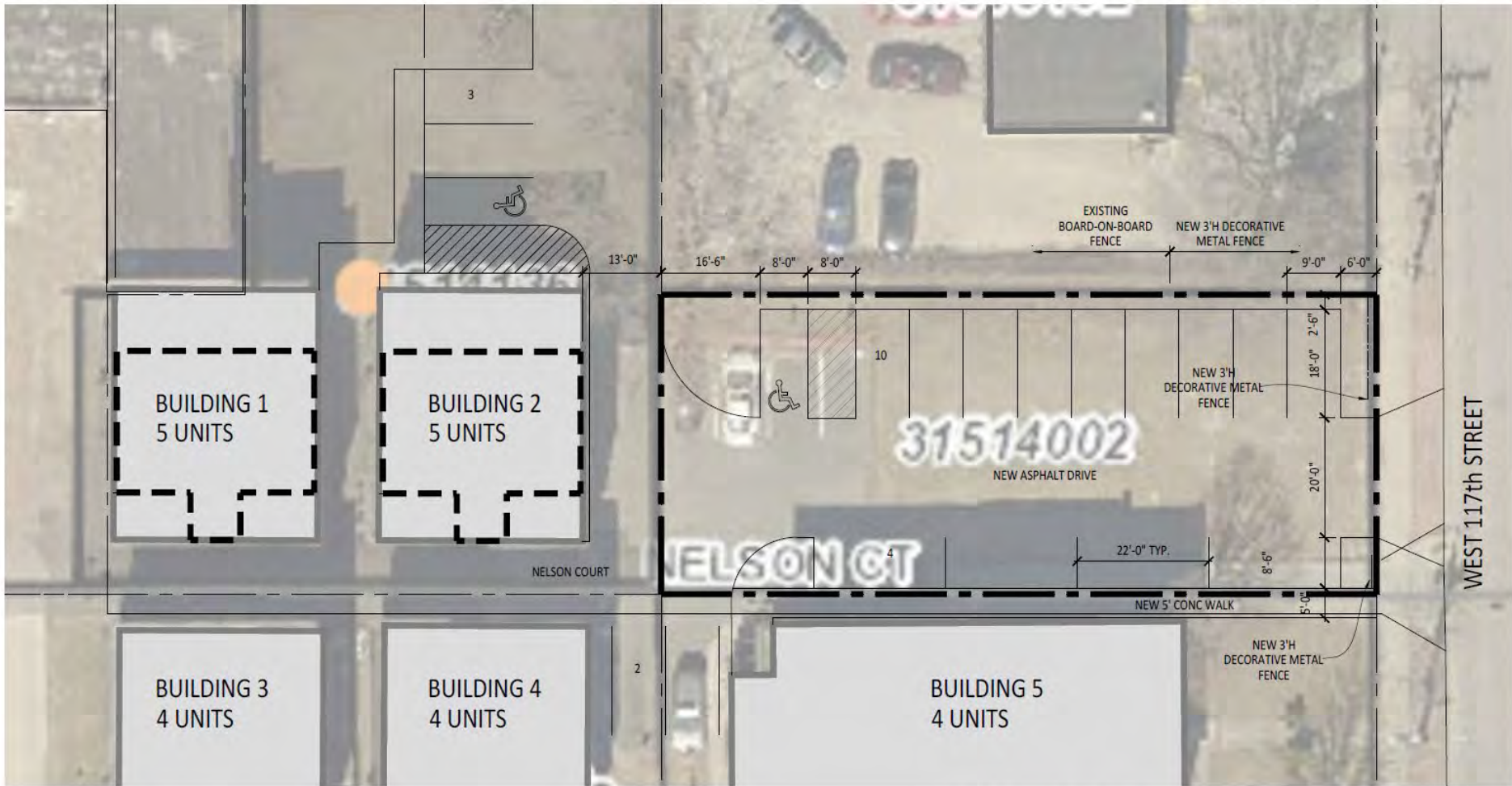
Emerald Development &
Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
MARCH 22, 2023

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Docket No. 04-34-23 (1484 W.117th)
Nelson Court - Parking Lot



UNIT ASSESSMENT

BUILDING 1	5 UNITS
BUILDING 2	5 UNITS
BUILDING 3	4 UNITS
BUILDING 4	4 UNITS
BUILDING 5	4 UNITS
TOTAL	22 UNITS

EXISTING PARKING ASSESSMENT
 5 SPACES EAST OF BUILDING 2
 2 SPACES BETWEEN BUILDINGS 4 AND 5
TOTAL 7 PARKING SPACES

PROPOSED PARKING ASSESSMENT
 14 SPACES EAST OF BUILDING 2
 3 SPACES NORTH OF BUILDING 2
 2 SPACES BETWEEN BUILDINGS 4 AND 5
TOTAL 19 PARKING SPACES

PROPOSED SITE PLAN

1/16" = 1'-0"



AS 2 NELSON COURT PARKING

1484 WEST 117TH, LAKEWOOD, OHIO 44107

Emerald Development &
Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
MARCH 22, 2023

© 2023 Hiti, DiFrancesco & Siebold, Inc.



Docket No. 04-34-23 (1484 W.117th)
Nelson Court - Parking Lot

MONTAGE PLUS®



ORNAMENTAL STEEL FENCE

Montage Plus ornamental steel fence has the versatility to fit many different project applications. With its ability to traverse varying grades, variety of distinct product styles and unmatched coating performance, Montage Plus is the preferred choice for ornamental fence.



PRIMARY APPLICATIONS

- ▶ Commercial Developments
- ▶ Self Storage
- ▶ Apartments (Multi-Family)
- ▶ Parks & Recreation
- ▶ Schools & Universities



AMERISTARFENCE.COM | 888-333-3422

ASSA ABLOY, the global leader in door opening solutions

AMERISTAR®

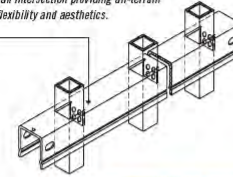
ASSA ABLOY

MONTAGE PLUS®

ORNAMENTAL STEEL FENCE

.75"sq x 18ga PICKETS | 1.4375" x 1.5" x 14ga RAILS | 2.5"sq x 16ga POSTS

Each picket is precisely welded at each rail intersection providing all-terrain flexibility and aesthetics.



STYLE OPTIONS



Also available in Pool, Pet & Play (3" air spacing) - styles vary

PROFUSION WELDED STEEL



All Montage fence panels are fabricated using Ameristar's ProFusion welding process. This technique combines laser and fusion technology to create a virtually invisible structural connection at every picket to rail intersection. Unlike typical aluminum fence systems that are held together with unsightly screws, the ProFusion weld used with Montage promotes a "good neighbor" profile with sleek lines and no exposed picket to rail fasteners. When compared to aluminum fencing, Montage's welded steel construction is unmatched in strength and durability.



E-COAT™ PROTECTIVE FINISH

Montage galvanized steel framework is subjected to a multi-stage pre-treatment/wash (with zinc phosphate), followed by a duplex cathodic electrocoat system consisting of an epoxy primer, which significantly increases corrosion protection, and an acrylic topcoat, which provides the protection necessary to withstand adverse weathering effects. This process results in years of maintenance-free ownership.



20 YEAR LIMITED WARRANTY

The Montage families of fencing products are manufactured from superior quality materials by skilled craftsmen with the highest standards of workmanship in the industry. Ameristar is confident in offering Montage with a 20 year limited warranty.



DOMESTIC MANUFACTURING

Ameristar is committed to providing products that are manufactured in the USA. We have made significant investments in technology, process improvement, and employee training in an effort to secure American jobs and combat inferior import products.

#MMP | REVISED 05/2014



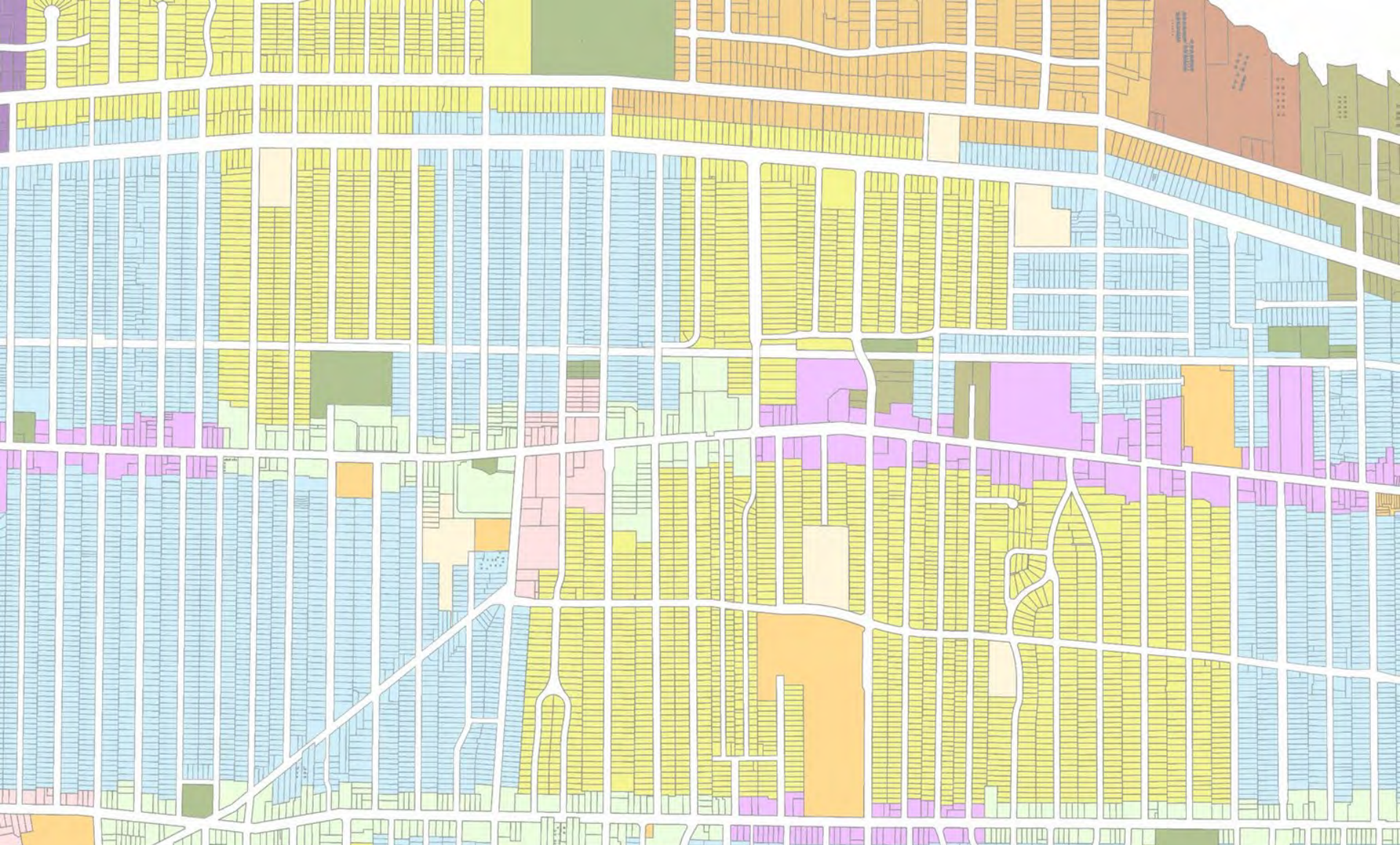
FENCE PRODUCTS

TO PLACE YOUR ORDER CALL 888-333-3422

VISIT AMERISTARFENCE.COM



Docket No. 04-34-23 (1484 W.117th)
Nelson Court - Parking Lot



Architectural Board of Review

Sign Review – April 2023

Applicant proposes replacement signage in C1 District.

City Notes:

- ❑ Maximum allowable sign area of ~100 ft².
- ❑ Proposed = ~70 ft² total (site)

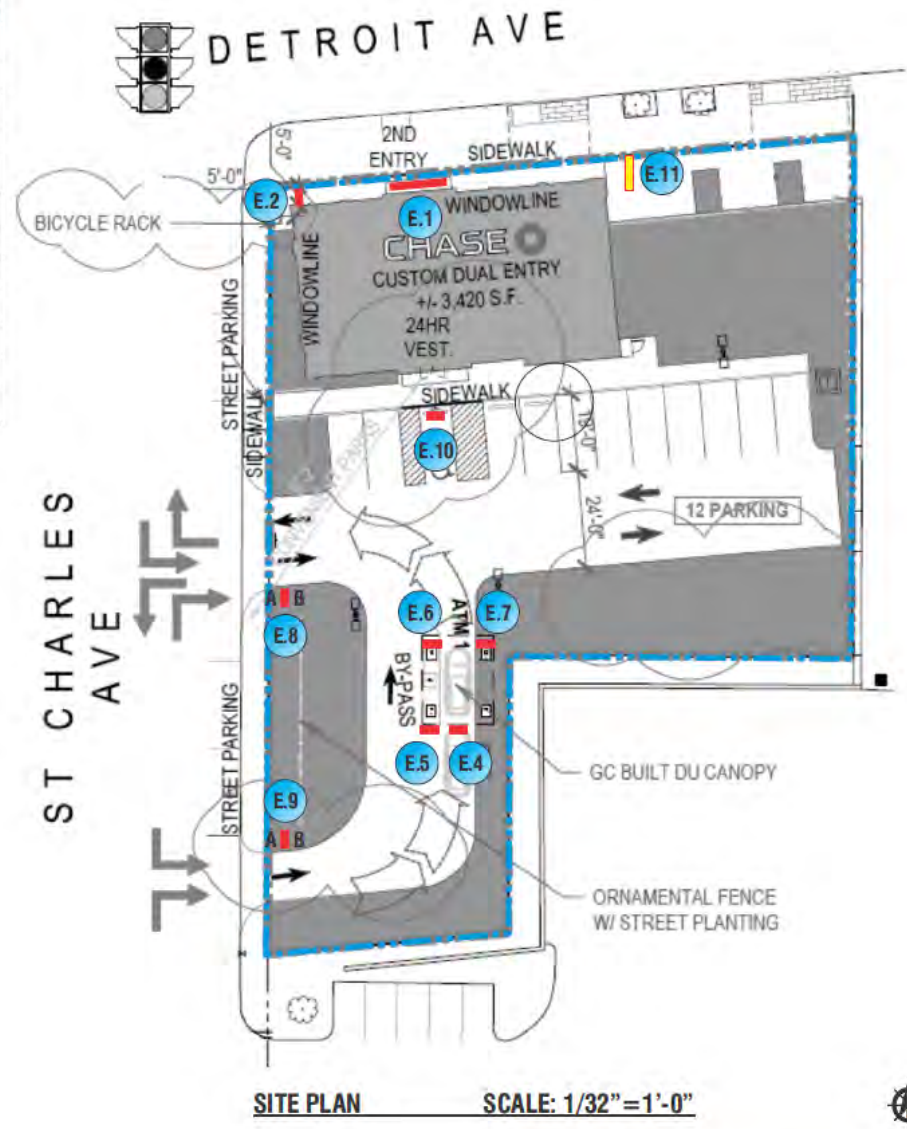


Docket No. 04-36-23 (14615 Detroit)

Sign – Chase Bank
Jessica Ruff

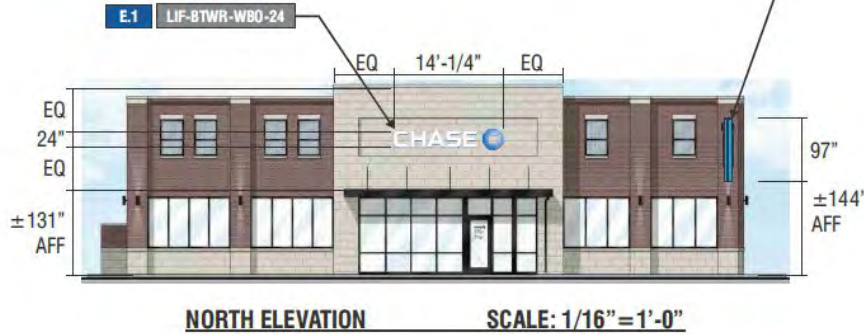
EXTERIOR SIGN LEGEND - ALLOWED

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
North	E.1	LIF-BTWR-WBO-24	24" White Channel Letters & Logo W/ Behind the wall Raceway	36.9
West	E.2	F-14	Illuminated Flag Sign	14
	E.3	CHA-VYL-10X56	Transom Window Vinyl (SHOWN ON PG 4)	
	E.4	DU-C	ATM Lane Designator Sign	
	E.5	TC-CL-W	Clearance Sign	
	E.6	TC-W-H-RE	Wall Mount Do Not Enter Sign	
	E.7	TC-W-H-RE	Wall Mount Do Not Enter Sign	
	E.8	D-5-RE	Non-Illuminated Directional Sign	
	E.9	D-5-RE	Non-Illuminated Directional Sign	
	E.10	TC-P-ADA-OH-V-RE	Post Mount Handicap Stall Sign - Van Accessible	
	E.11	COMING SOON	Temporary Construction Site Sign	
Total Proposed Sq Ft				50.9



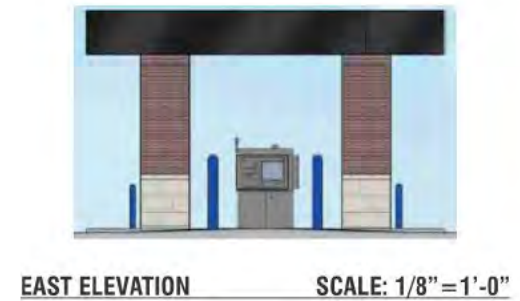
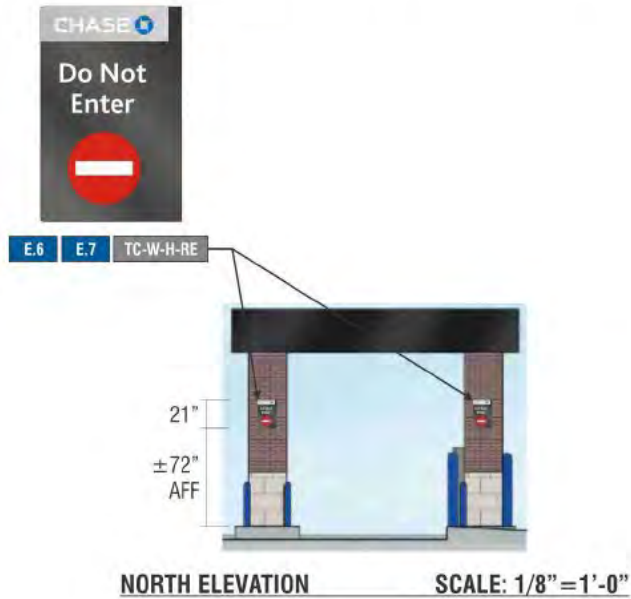
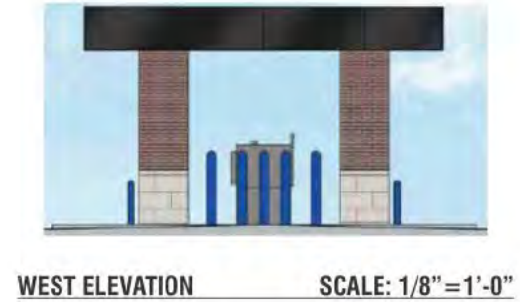
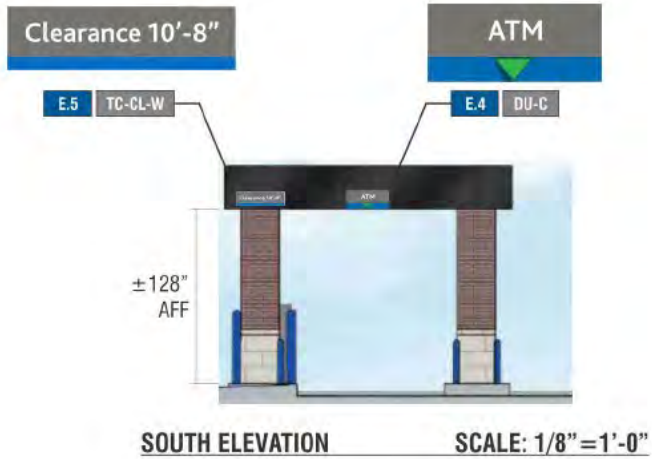
Docket No. 04-36-23 (14615 Detroit)
Sign - Chase Bank

SIGNAGE OVERVIEW - ALLOWED

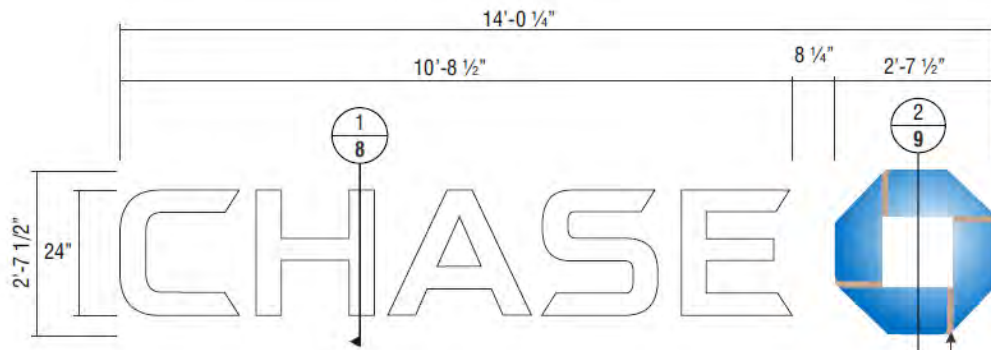


Docket No. 04-36-23 (14615 Detroit)
Sign - Chase Bank

SIGNAGE OVERVIEW - ALLOWED

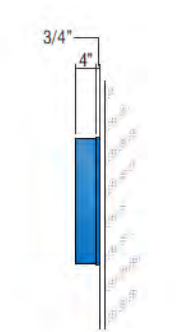


Docket No. 04-36-23 (14615 Detroit)
Sign - Chase Bank

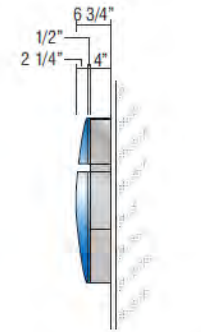


FRONT VIEW SCALE : 1/2" = 1'-0"

PAINT OCTAGON BRIDGE
TO MATCH WALL COLOR
VERIFY



**END VIEW
OF LETTER**
SCALE : 1/2" = 1'-0"



**END VIEW
OF LOGO**
SCALE : 1/2" = 1'-0"

E.1

SIGN TYPE LIF-BTWR-WBO-24

MANUFACTURE AND INSTALL ONE (1) SET OF ILLUMINATED LETTERS & LOGO w/PLEX FACES & RETURNS

LETTERS:

- FACE:** .177" ARISTECH #7328 P-95 WHITE PLEX (MATTE SIDE TO BE 1ST SURFACE) CHEM WELDED TO RETURNS
- RETURNS:** 0.118" x 4" DEEP ARISTECH #6046 BLUE WITH 3635-70 DIFFUSER VINYL ON 2ND (INTERIOR) SURFACE.
- BACKS:** .080" ALUM BACK WITH 3/4" x .080" OUTSIDE ALUM RETURN AND 1/2" x 1/8" ALUM ANGLE CLIPS ON INTERIOR OF LETTER FOR FACE ATTACHMENT
- PAINT:** EXTERIOR PAINTED MATTHEWS MP-00366 CHASE BLUE SEMI-GLOSS FINISH (60-70 UNITS) AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.
- ILLUMINATION:** SLOAN PRISM 7100K #701269-7WSJ1-MB WHITE LEDs AND SLOAN POWER SUPPLY REQUIRED FOR PROPER EVEN ILLUMINATION.

LOGO:

- BACKS:** .080" ALUM BACK WITH STACK WELDED 4" x .080" ALUM RETURNS.
- LOGO CAN FACE:** .080" ALUM BRIDGE ELEMENTS WELDED TO INSIDE & OUTSIDE RETURNS
- PLEX FACE:** .118" THERMO FORMED ARISTECH #6046 BLUE LOGO ELEMENTS CHEM WELDED TO 3/4" CLEAR PLEX 2ND SURFACE FACES.
- PAINT:** EXTERIOR PAINT MATTHEWS "CHASE NICKEL" #MP-19891 GLOSS FINISH AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.
- ILLUMINATION:** SLOAN PRISM #701269-BLSJ1-MB BLUE LEDs AND SLOAN POWER SUPPLY AS REQUIRED FOR PROPER EVEN ILLUMINATION



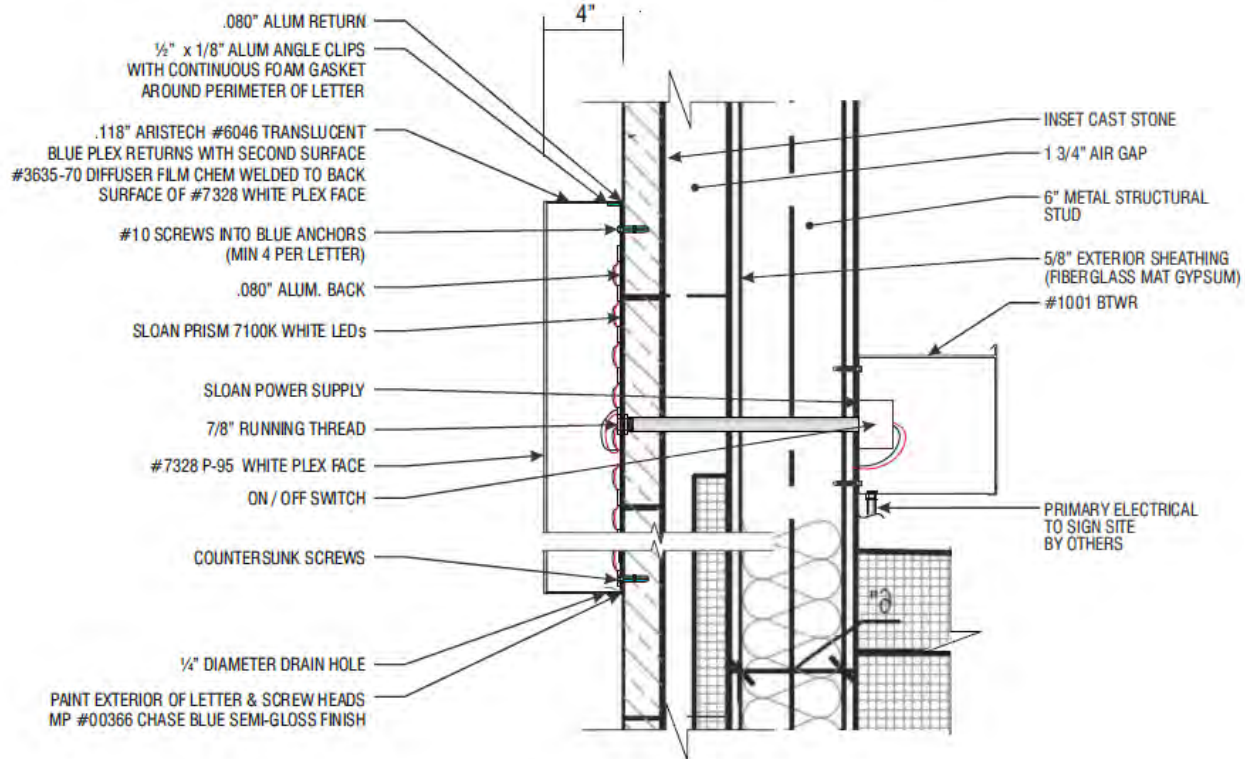
3D VIEW OF OCTAGON

**ALL EXPOSED FASTENER HEADS
SHALL BE PAINTED TO MATCH
THE EXTERIOR SURFACE FINISH**

ELECTRICAL REQUIREMENTS FOR LED ILLUMINATION
As required by standard #2161, Signtech Electrical Advertising, Inc., exclusively uses secondary Ground fault-Interrupted (GFI) transformers.
Each Sign MUST have: - A dedicated branch circuit
- Three wires : Line, Ground, and Neutral.
- Wire Size : Min 12 GA THHN Copper Wire.
NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.
- The ground wire must be continuous & go from the sign to the panelboard ground bus.



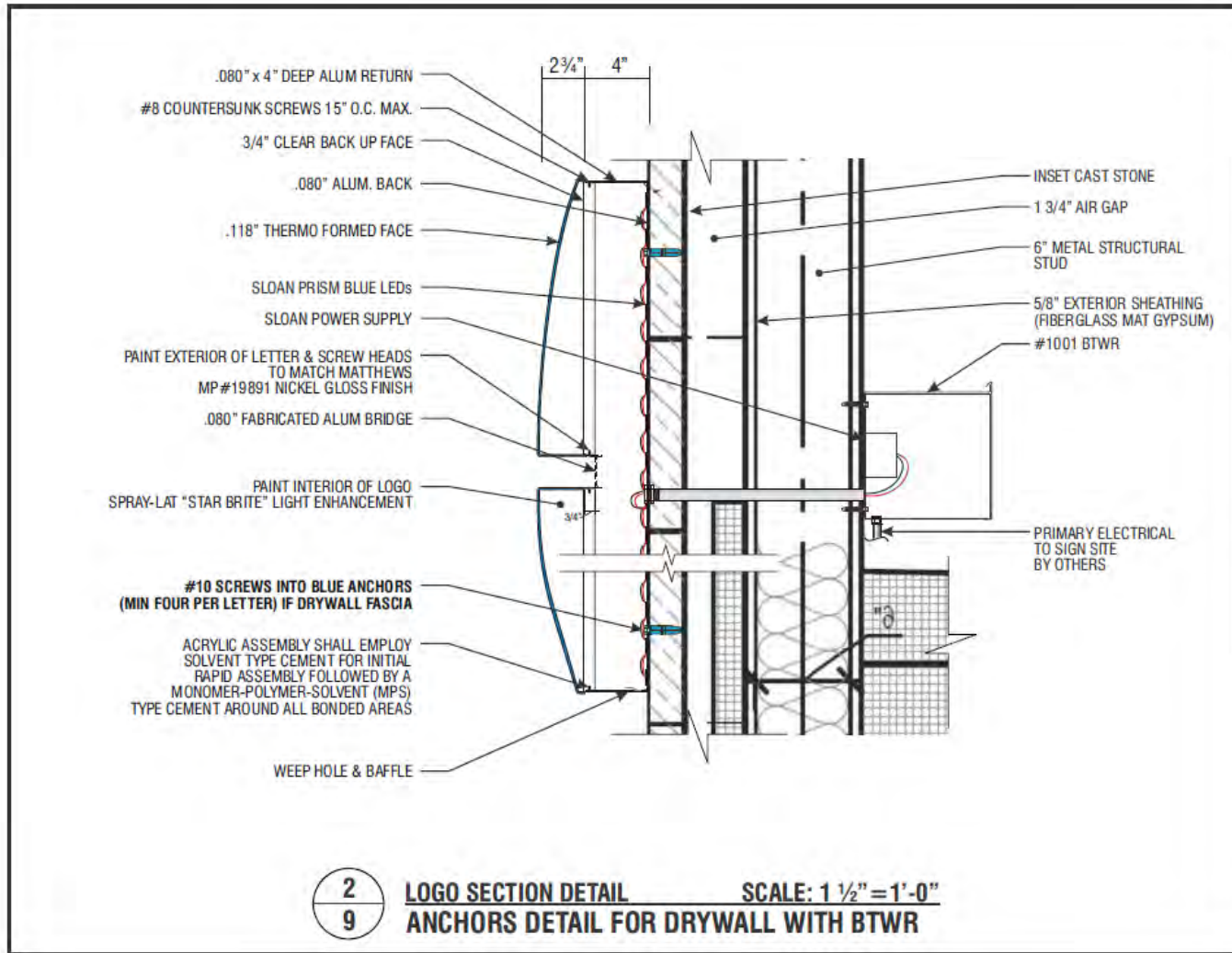
**ATTACHMENT METHOD TO BE VERIFIED BY INSTALLER
IN THE FIELD DEPENDING ON WALL TYPE AND ACCESS.**



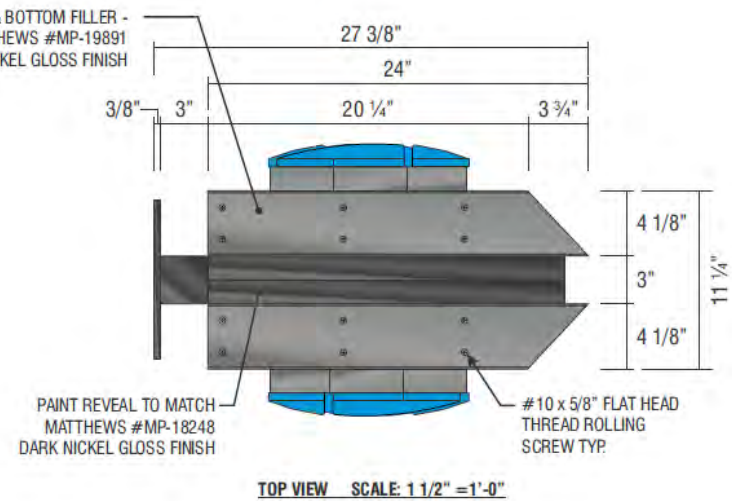
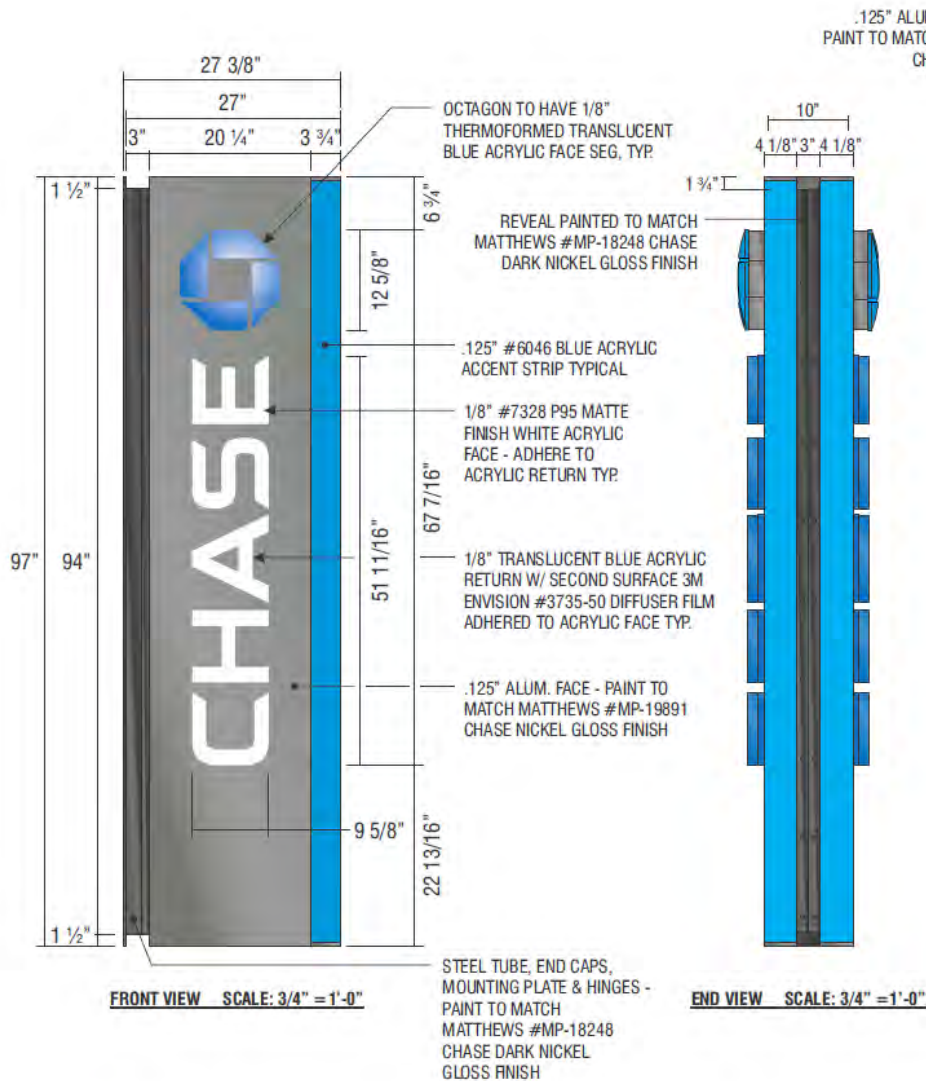
1 PLEX LETTER SECTION DETAIL SCALE: 1 1/2" = 1'-0"
8 ANCHORS DETAIL FOR DRYWALL WITH BTWR



**ATTACHMENT METHOD TO BE VERIFIED BY INSTALLER
IN THE FIELD DEPENDING ON WALL TYPE AND ACCESS.**



Docket No. 04-36-23 (14615 Detroit)
Sign - Chase Bank



NOTES:

- DESIGN IS BASED ON 115 MPH 3 SEC GUST DESIGN WIND SPEED PER IBC 2015 EXPOSURE C.
- STEEL SUPPORT MEMBERS SHALL BE FREE FROM DEFECTS AND SHALL MEET. ASTM A500 GRADE B WITH A MINIMUM YIELD STRENGTH OF 46000 PSI FOR TUBE. STEEL PLATE AND ANGLE SHALL MEET ASTM A36. ALUMINUM SHAPES BE EXTRUDED FROM 6061-T6 ALLOY. ALUMINUM SHEET SHALL BE 3003-H14 ALLOY. ALUMINUM PLATE SHALL BE 5052-H34 ALLOY.
- STRUCTURAL BOLTS SHALL BE ZINC COATED A325 UNLESS OTHERWISE NOTED. ALL OTHER FASTENERS SHALL BE STAINLESS STEEL OR OTHERWISE COATED TO PREVENT CORROSION.
- WELDS SHALL BE MADE WITH E70xx ELECTRODES FOR STEEL AND 5356 FILLER FOR ALUMINUM BY PERSONS QUALIFIED IN ACCORDANCE WITH AWS STANDARDS WITHIN THE PAST TWO YEARS.
- THIS DESIGN IS PROTOTYPICAL AND SHOULD NOT BE USED FOR SITE SPECIFIC APPLICATIONS UNLESS DEEMED SUITABLE BY A COMPETENT PROFESSIONAL ENGINEER.

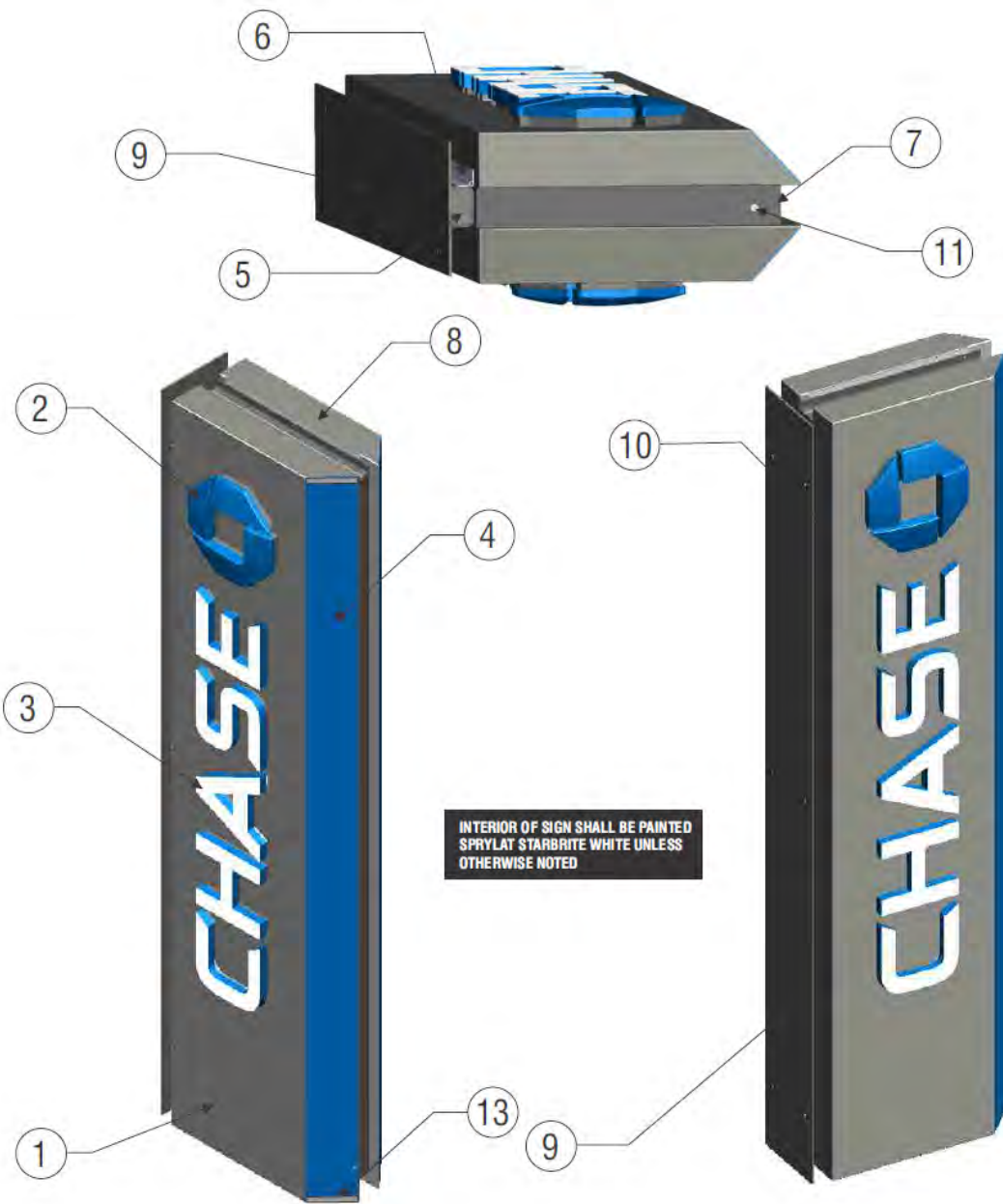
ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS @282-208SP VOC GLASS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.

E.2 SIGN TYPE F-14

MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED FLAG BLADE SIGNS



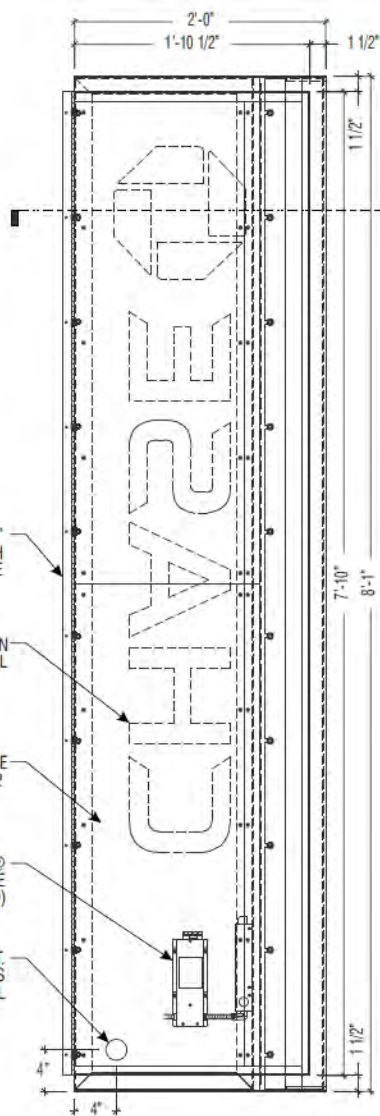
Docket No. 04-36-23 (14615 Detroit)
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1. .125" ALUM. SIGN FACE. FORM AS SHOWN. PAINT FINISH CHASE NICKEL MP#19891 WITH GLOSS FINISH.
2. OCTAGON FACE TO BE THERMO-FORMED .118" BLUE TRANSLUCENT ACRYLIC #6046 WITH MATTE FINISH (ARISTECH). FORM AS SHOWN. CHEM WELD SECOND SURFACE TO 3/4" THICK CLEAR ACRYLIC SPACER.
3. **LETTER FACES** TO BE .125" #7328 WHITE TRANSLUCENT ACRYLIC WITH "P-95" FINISH.
LETTER RETURNS TO BE .125" #7328 WHITE TRANSLUCENT WITH CHASE BLUE VINYL OVERLAY ON FIRST SURFACE. CHEM WELD SECOND SURFACE TO LETTER FACE. FORM AS SHOWN.
4. ACCENT PANEL TO BE .118" THICK ACRYLIC ARISTECH BLUE ACRYLIC #6046. WITH CHAMFER EDGES TO MATCH ANGLE SHAPE. CHEMICALLY ATTACHED TO WHITE ACRYLIC RETURNS.
5. 3" X 3" X 1/8" STEEL TUBE VERTICAL SUPPORT WELDED TO 3/8" STEEL PLATE FULL LENGTH. PAINT FINISH CHASE DARK NICKEL MP#18348
6. HINGE TO BE 2" WITH MIN. 3/8" DIA. NUKLE ALUM. PIANO HINGE FULL LENGTH TO ATTACH LEFT AND RIGHT SIDES FACE PANELS TO CABINET FRAME. PAINT FINISH CHASE DARK NICKEL MP#18348
7. CABINET FRAME OUTRIGGERS TO BE 2"x2"x3/16" STEEL TUBE WELDED TO 3"x3" VERTICAL TUBE AS REQ'D. PAINT FINISH CHASE DARK NICKEL MP#18348
8. .125" ALUM. CLADDING. PAINT FINISH CHASE NICKEL MP#19891, GLOSS FINISH.
9. 3/8" STEEL MOUNTING PLATE. PAINT FINISH CHASE DARK NICKEL MP#18348
11. U. L. APPROVE TOGGLE DISCONNECT SWITCH
12. ACCENT STRIP ILLUMINATION TO BE PERMLIGHT NITRO LEDS AS REQUIRED FOR EVEN ILLUMINATION ACROSS FACE WITHOUT HOTSPOTS OR SHADOWS. POWER UNITS INSIDE SIGN AS REQUIRED.
13. 5/8" WIDE BY .125" ALUM. RETAINER. PAINT FINISH CHASE NICKEL MP#19891 WITH GLOSS FINISH.



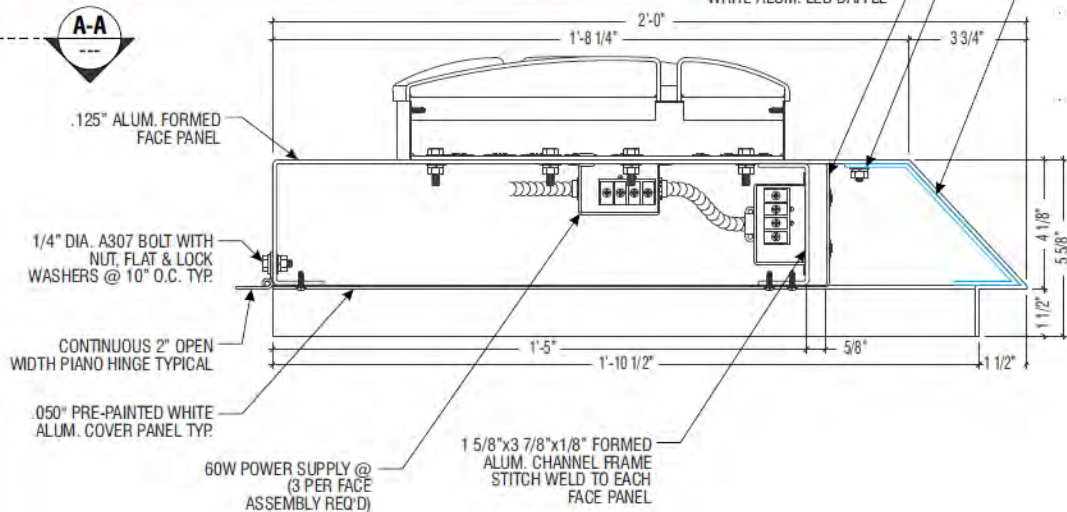
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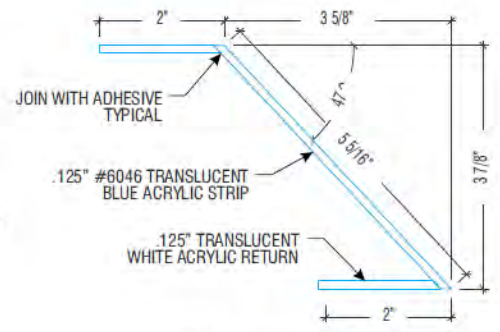
4 ASSEMBLED FACE INTERIOR ELEVATION
Scale: 1" = 1'-0"

ELECTRICAL REQUIREMENTS FOR LED ILLUMINATION
As required by UL standards, Signtech Electrical Advertising, Inc., exclusively uses UL listed and approved components. Each Sign MUST have: - A dedicated branch circuit
- Three wires: Line, Ground, and Neutral.
- Wire Size: Min 12 GA THHN Copper Wire.
NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.
- The ground wire must be continuous & go from the sign to the panelboard ground bus.
- Voltage between ground and neutral should measure no more than 3 volts.
- Power to the sign must be done by a licensed electrical contractor or licensed electrician.

ACRYLIC ACCENT STRIP
1/4" DIA. WELD STUD WITH NUT, FLAT & LOCK WASHERS @ 10" O.C. MAX TYP.
.050" FORMED PRE-PAINTED WHITE ALUM. LED BAFFLE



A-A HORIZONTAL SECTION
Scale: 3" = 1'-0"



G ACCENT STRIP DETAIL
Scale: 6" = 1'-0"

NOTE: ACCENT STRIP AND SIDES TO BE CUT ON TABLE SAW AS SHOWN THE O.A.H. IS 96.25"

INTERIOR OF SIGN SHALL BE PAINTED WHITE.

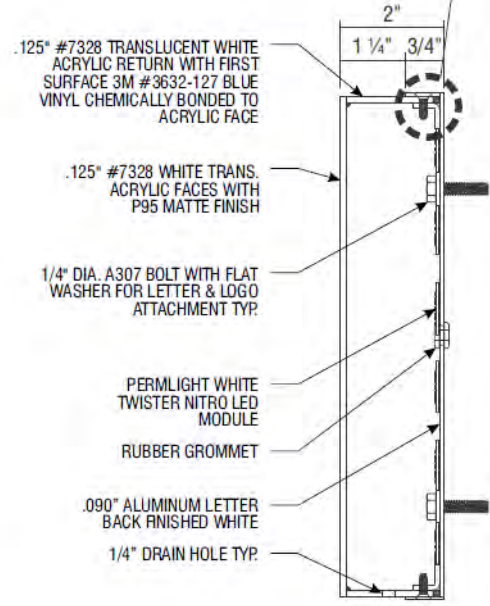
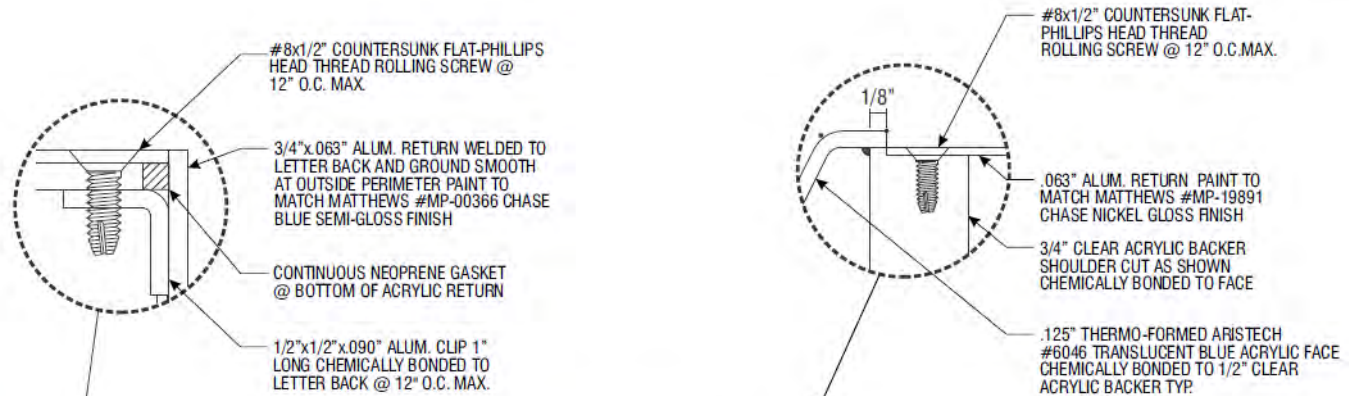
ALL ACRYLIC ASSEMBLIES SHALL EMPLOY A SOLVENT TYPE CEMENT FOR INITIAL RAPID ASSEMBLY FOLLOWED BY A MONOMER-POLYMER-SOLVENT (MPS) TYPE CEMENT AROUND ALL BONDED EDGES.



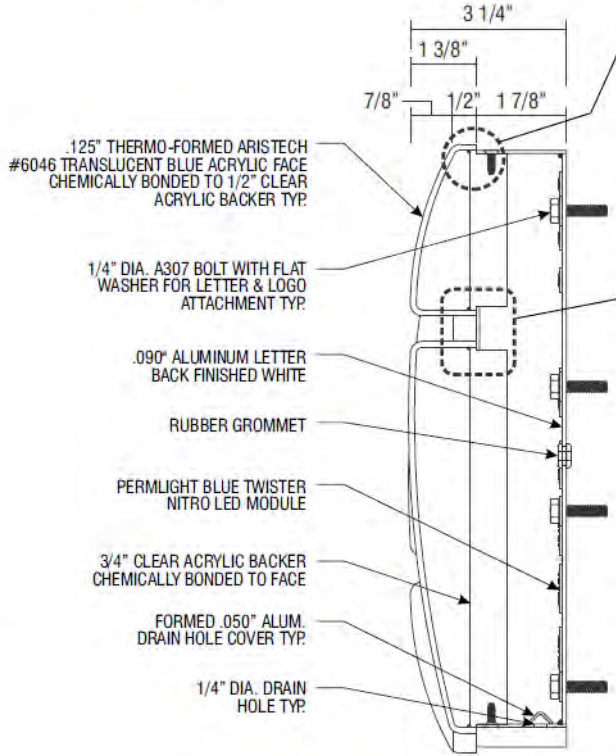
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ALL ACRYLIC ASSEMBLIES SHALL EMPLOY A SOLVENT TYPE CEMENT FOR INITIAL RAPID ASSEMBLY FOLLOWED BY A MONOMER-POLYMER-SOLVENT (MPS) TYPE CEMENT AROUND ALL BONDED EDGES.

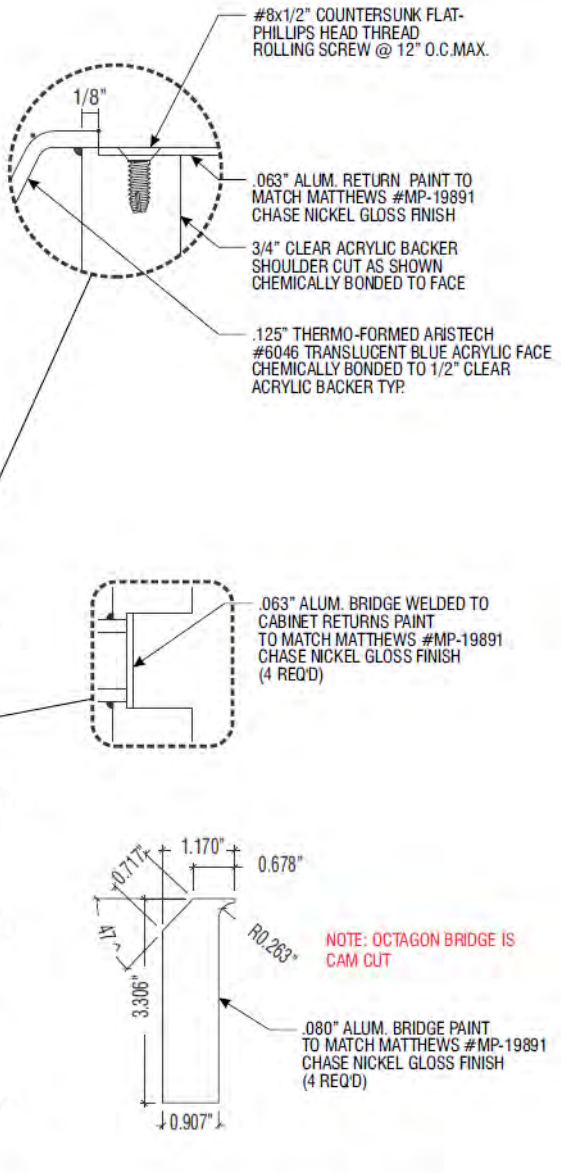
NOTE:
ALUMINUM BACKS ARE FURNISHED BY PERMLIGHT PRE-POPULATED WITH LEDS AND SOLDERED CONNECTIONS



J CHANNEL LETTER DETAIL
Scale: 1 1/2" = 1'-0"



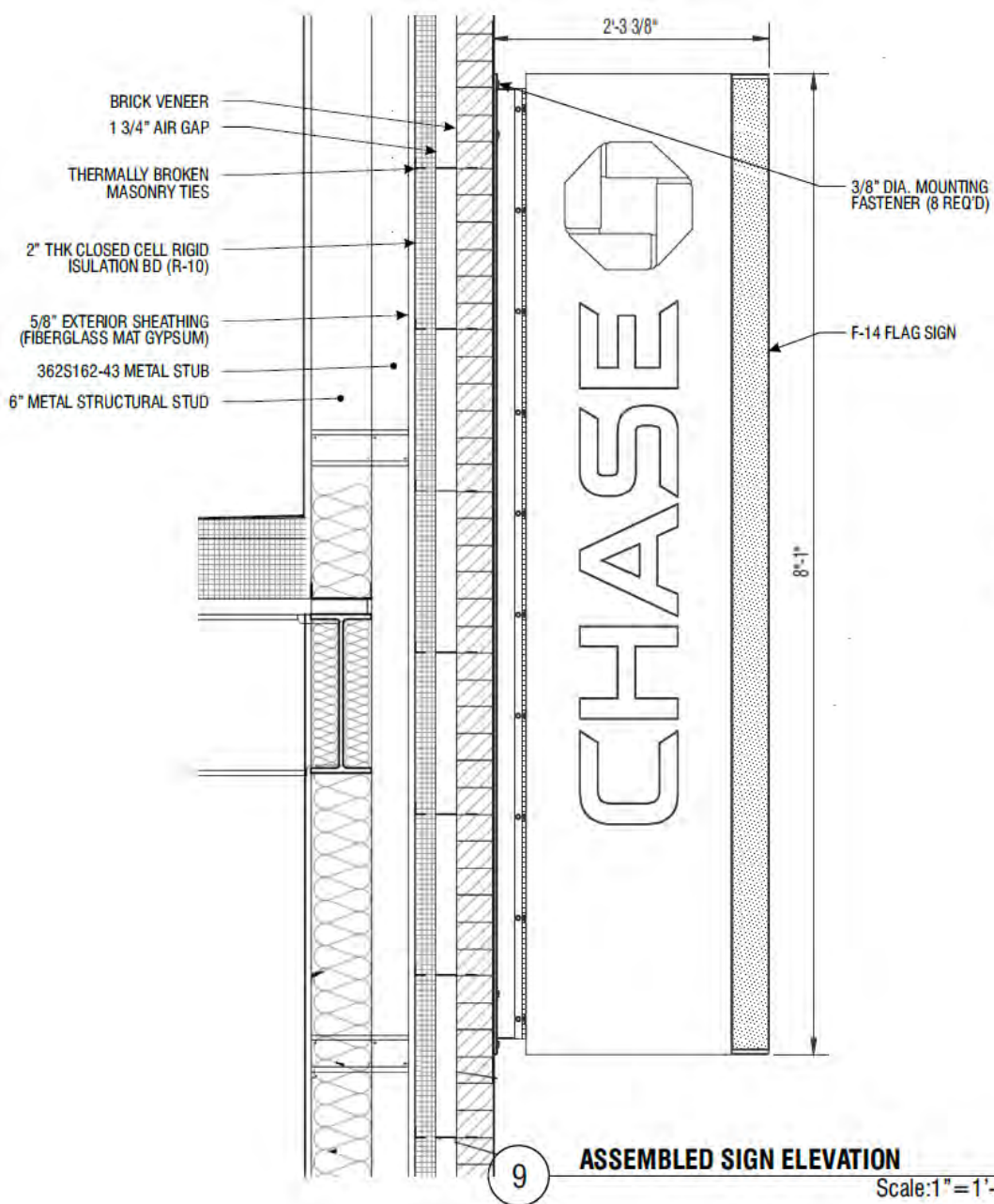
K OCTAGON DETAIL
Scale: 1 1/2" = 1'-0"



L OCTAGON BRIDGE DETAIL
Scale: 1 1/2" = 1'-0"

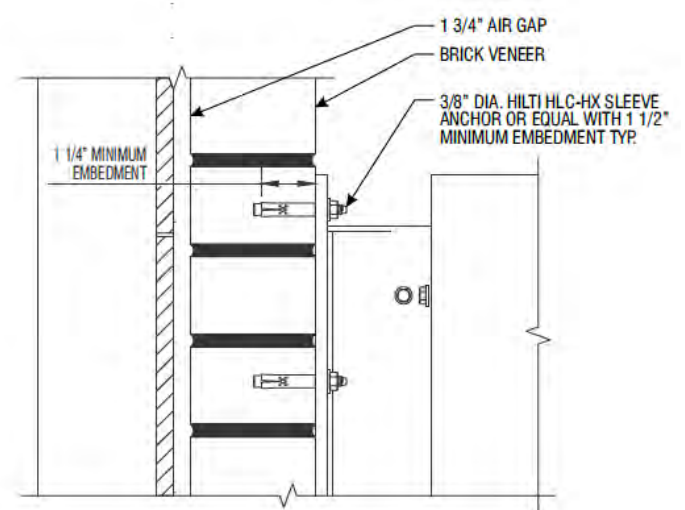


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9 ASSEMBLED SIGN ELEVATION

Scale: 1" = 1'-0"



R BRICK WALL INSTALLATION DETAIL

Scale: 6" = 1'-0"

HILTI ANCHOR SYSTEMS OR EQUAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS



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TYPICAL ENTRY DOOR SCALE: 1/2" = 1'-0"

E.3 SIGN TYPE CHA-VYL-10X56

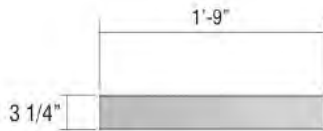
MANUFACTURE AND INSTALL ONE (1) SET OF FIRST SURFACE VINYL LETTERS/OCTAGON ON TRANSOM WINDOW GLASS

CHASE LETTERS: 3M #7725-20 WHITE VINYL.

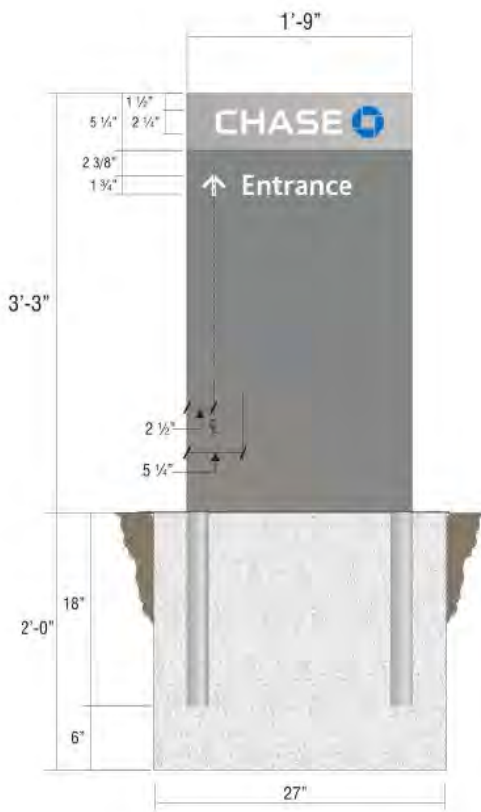
LOGO OCTAGON: 3M #7725-47 INTENSE BLUE VINYL.



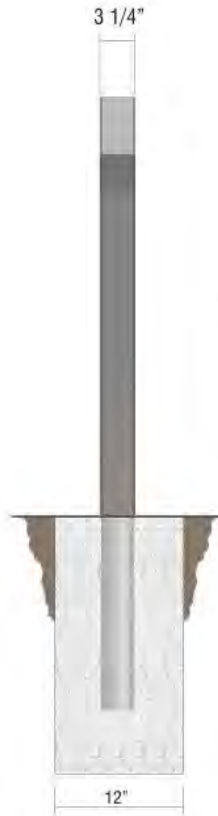
Docket No. 04-36-23 (14615 Detroit)
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TOP VIEW



SIDE A VIEW
SCALE: 1" = 1'-0"



END VIEW
SCALE: 1" = 1'-0"



SIDE B VIEW
SCALE: 1" = 1'-0"

E.8 SIGN TYPE D-5-RE

MANUFACTURE & INSTALL ONE (1) NON-ILLUMINATED DIRECTIONAL SIGN

FACES: .125" THICK ALUMINUM FACES, QUARTER ROUNDED.
TOP PORTION: PAINT CHASE NICKEL #19891, GLOSS FINISH.
BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

CHASE COPY: 3M #7725-10 WHITE VINYL.

OCTAGON: 3M #3632-127 BLUE OVER #7725-10 WHITE.

SECONDARY COPY/ARROWS: TO BE 3M SCOTCHLITE #680-10 REFLECTIVE WHITE VINYL.

POSTS: 2" X 3" X .125" RECTANGLE TUBE POSTS.

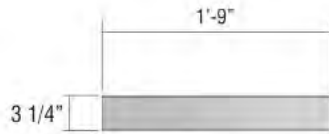
TOP PORTION: CONTINUOUS BAND TO BE PAINTED NICKEL #19891, GLOSS FINISH.

BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

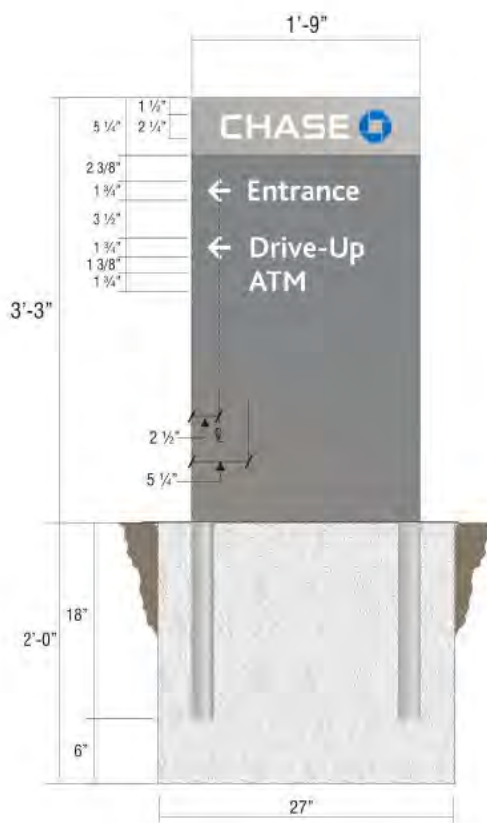
TOP CAP: .125" ALUMINUM PAINTED CHASE NICKEL #19891, GLOSS FINISH.



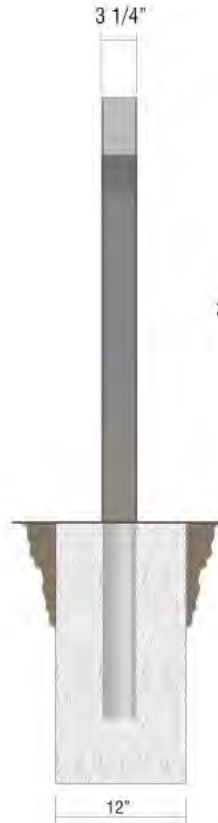
Docket No. 04-36-23 (14615 Detroit)
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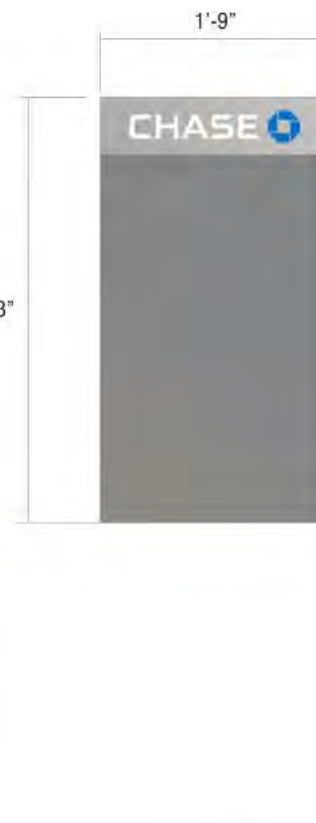
TOP VIEW



SIDE A VIEW
SCALE: 1"=1'-0"



END VIEW
SCALE: 1"=1'-0"



SIDE B VIEW
SCALE: 1"=1'-0"

E.9 SIGN TYPE D-5-RE

MANUFACTURE & INSTALL ONE (1) NON-ILLUMINATED DIRECTIONAL SIGN

FACES: .125" THICK ALUMINUM FACES, QUARTER ROUNDED.
TOP PORTION: PAINT CHASE NICKEL #19891, GLOSS FINISH.
BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

CHASE COPY: 3M #7725-10 WHITE VINYL.

OCTAGON: 3M #3632-127 BLUE OVER #7725-10 WHITE.

SECONDARY COPY/ARROWS: TO BE 3M SCOTCHLITE #680-10 REFLECTIVE WHITE VINYL.

POSTS: 2" X 3" X .125" RECTANGLE TUBE POSTS.

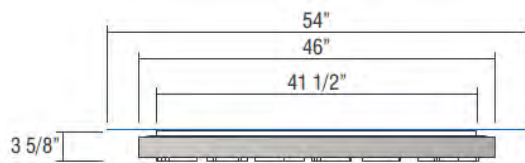
TOP PORTION: CONTINUOUS BAND TO BE PAINTED NICKEL #19891, GLOSS FINISH.

BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

TOP CAP: .125" ALUMINUM PAINTED CHASE NICKEL #19891, GLOSS FINISH.



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TOP VIEW SUR-TTW-U-4
SCALE: 3/4" = 1'-0"

STIPPLE FINISH PAINT PROCESS FOR MATTHEWS #MP-18101 CHASE NICKEL:
BASE COAT:* 3-4 MEDIUM COATS OF MAP SV0C2471 FOR BASE COAT.
 ALLOW TO AIR DRY 12-24 HRS OR FORCE DRY AT 200 DEG. F FOR 15MIN.
STIPPLE FINISH COAT:* MIX MAP SV0C1761 WITH CATALYST BUT *NO*_REDUCER.
 SET PRESSURE POT AT 18-20 PSI TANK PRESSURE AND
 20-25 PSI ATOMIZING AIR AT THE PAINT GUN -
 USE 1.0 TO 1.2 FLUID NOZZLE.
 APPLY 5-6 PASSES OF A FINE TIGHT STIPPLE

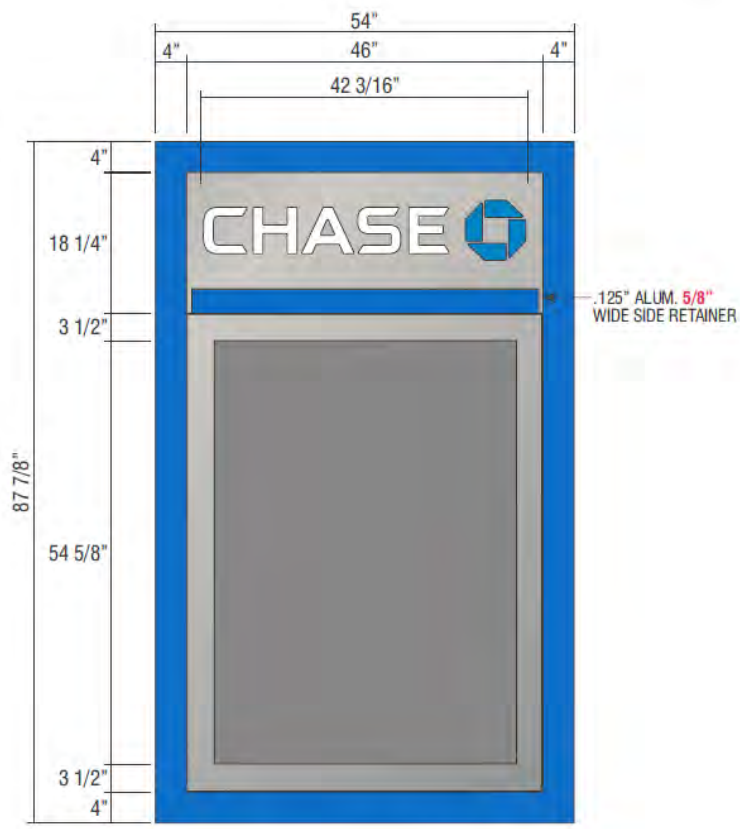
STIPPLE FINISH PAINT PROCESS FOR MATTHEWS #MP-49353 CHASE BLUE METALLIC:
BASE COAT:* 3-4 MEDIUM COATS OF SV0C2472 SP FOR BASE COAT
 ALLOW TO AIR DRY 12-24 HRS OR FORCE DRY AT 200 DEG. F FOR 15MIN.
STIPPLE FINISH COAT:* MIX MAP SV0C2049 SP WITH CATALYST BUT *NO*_REDUCER.
 SET PRESSURE POT AT 18-20 PSI TANK PRESSURE AND
 20-25 PSI ATOMIZING AIR AT THE PAINT GUN -
 USE 1.0 TO 1.2 FLUID NOZZLE.
 APPLY 5-6 PASSES OF A FINE TIGHT STIPPLE

NOTE: PUSH-THRU ACRYLIC SHALL HAVE
A MILL FINISH ON ALL ROUTED EDGES

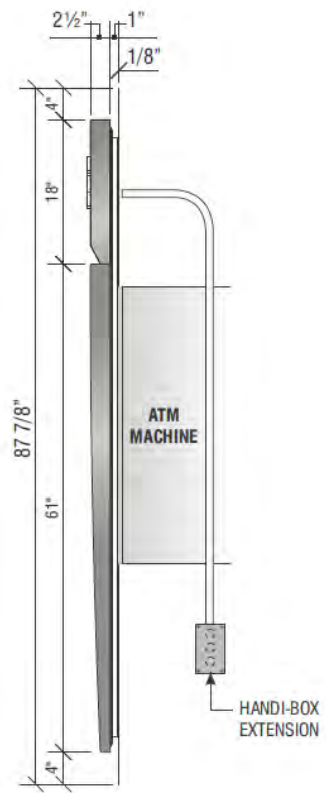
ALL EXPOSED FASTENER HEADS
SHALL BE PAINTED TO MATCH THE
EXTERIOR CABINET FINISH

SLOAN BLUE LED STRIPE AROUND
PERIMETER TO PROVIDE HALO-LIT
EFFECT AGAINST BACK PANEL

GRAPHICS DEPICTED ARE FOR I
LLUSTRATIVE PURPOSES ONLY!
USE ONLY APPROVED ARTWORK
FOR PRODUCTION.



FRONT VIEW SCALE: 3/4" = 1'-0"



SIDE VIEW



PERSPECTIVE VIEW

I.12 SIGN TYPE SUR-TTW-U-4-TP

MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED THIN PROFILE ATM SURROUND

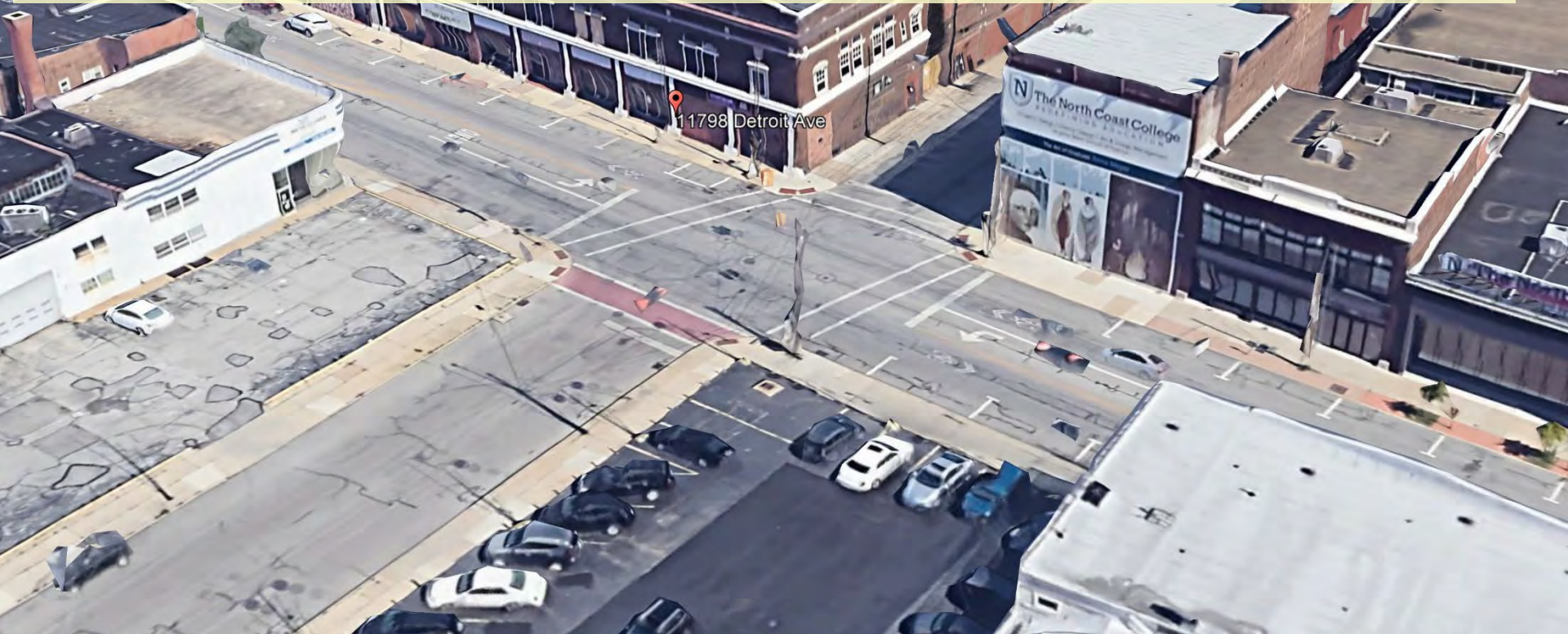


Docket No. 04-36-23 (14615 Detroit)
Sign - Chase Bank

Applicant proposes replacement signage in C2 District.

City Notes:

- ❑ Storefront of ~18 ft...maximum allowable sign area of ~27 ft².
- ❑ Proposed = XX ft²
- ❑ Need to confirm total area/coverage of proposed window/door graphics.
- ❑ Wall sign material is indicated as vinyl with grommets for mounting – this material is only suitable as a temporary sign, not appropriate for Board review/approval of permanent signage.



Docket No. 04-38-23 (11798 Detroit)

Sign – Everybody Cycle

Nathan David



Docket No. 04-38-23 (11798 Detroit)
Sign – Everybody Cycle



EVERYBODY CYCLE



EVERYBODYCYCLE.COM

11798 DETROIT AVE

E
V
E
R
Y

B
O
D
Y

C
Y
C
L
E

JOY

CONNECTION

POWER



Docket No. 04-38-23 (11798 Detroit)
Sign – Everybody Cycle

EVERYBODY CYCLE SIGNAGE

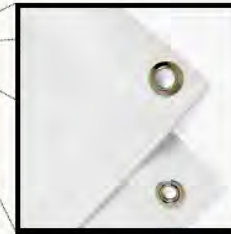
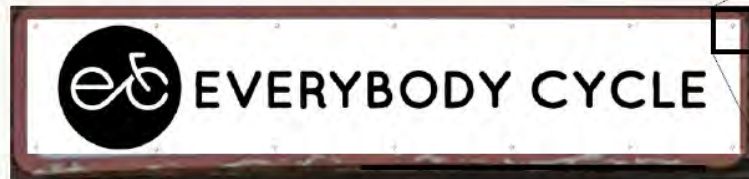
COLORS



LOGOS



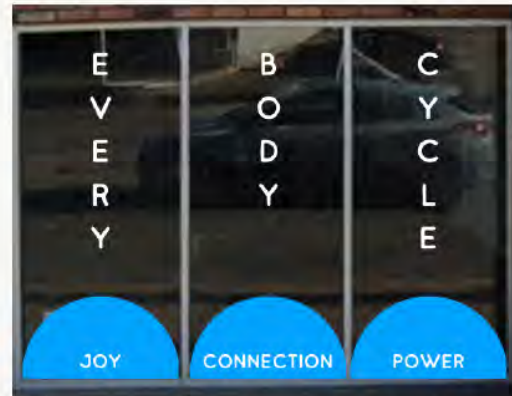
MATERIALS



WHITE VINYL SIGN WITH SILVER RIVETS



SOLID VINYL
ON ENTIRE DOOR



VINYL ON CLEAR GLASS



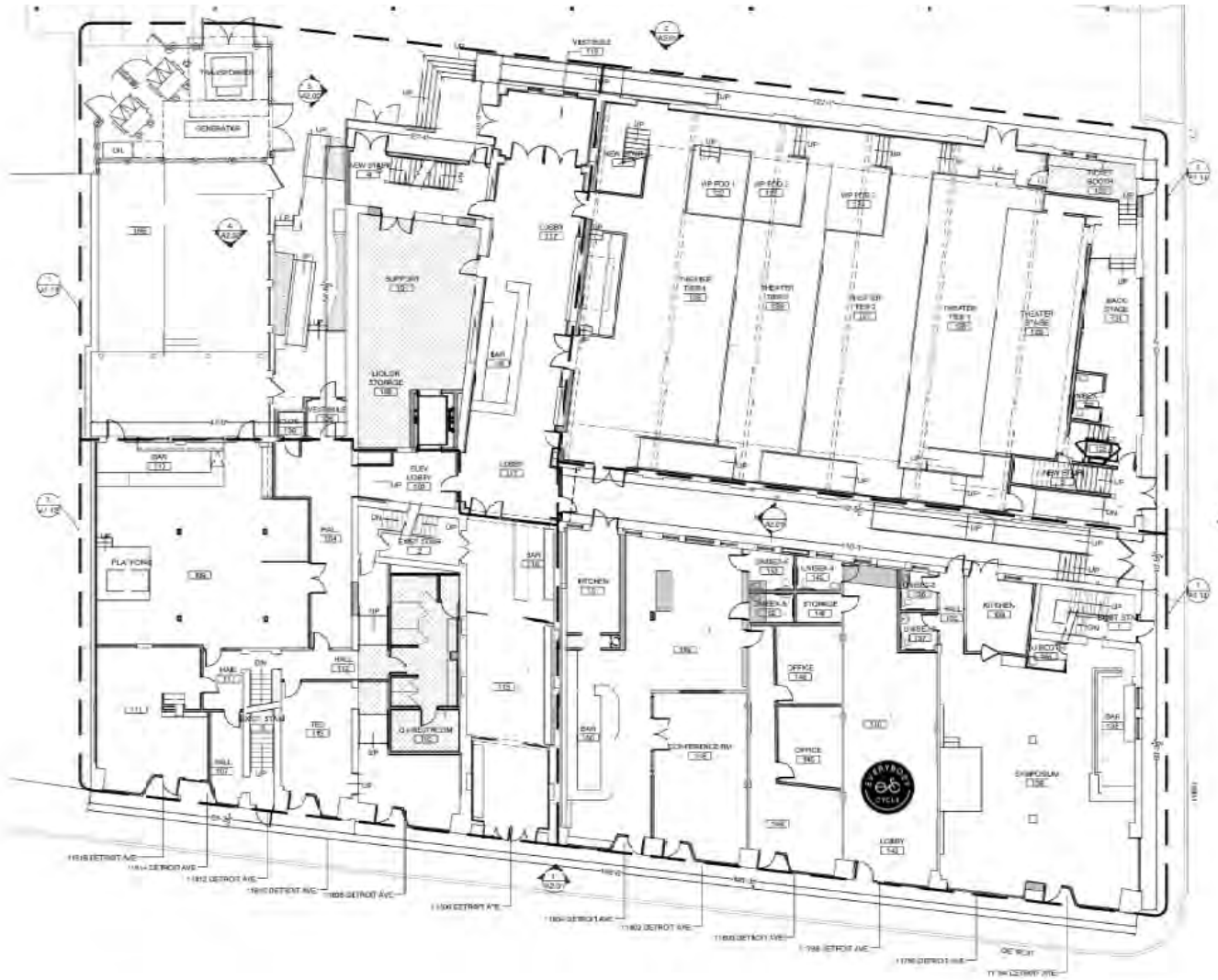
Docket No. 04-38-23 (11798 Detroit)
Sign – Everybody Cycle

FIRST FLOOR KEY NOTES:

- 1 NOT ASED
- 2 NEW PLUMBING FIXTURE
- 3 NOT ASED
- 4 RECREATIVE METALS SCREEN
- 5 NEW 2" X 4" MILL - HIDE JOINTS, DECORATING AND FINISHING TO MATCH EXISTING
- 6 = INDICATES AREA TO BE FINISHED
- 7 NEW WAREHOUSED: WOOD PLANTATION / STEPS
- 8 NEW STAIR - STEEL FINISH WITH CONCRETE TREADS/LANDINGS & SQUARE PROFILE PAINTED STEEL HANDRAIL AND STEEL GUARDRAILS WITH FINISHED METAL MESH - SEE FINISH PLANS
- 9 NEW STAIR - STEEL FINISH WITH CONCRETE TREADS/LANDINGS & GLASS GUARDRAILS - SEE FINISH PLANS
- 10 FINISH WALL, SEE FINISH PLANS
- 11 SHIELDING SCREEN/BLINDING DRAWINGS
- 12 GLASS BUILDING BY RICH
- 13 REWORK EXISTING CAR FOR ADA ACCESS
- 14 NEW SHROUSING WORK
- 15 NEW VOA LIFT
- 16 NEW ELEVATOR AND SHUTTLE CAR FOR TEBON 90-4N/325-0204 400 LB CAPACITY
- 17 NOT ASED
- 18 NOT ASED
- 19 NEW WALL - SEE WALL TAGS FOR TYPE
- 20 NEW FLOOR SLAB TO MATCH ADJACENT SPACE
- 21 NEW INTERIOR ADA ACCESSIBLE RAMP IF SQUARE PROFILE FINISHED STEEL HANDRAIL - SEE FINISH PLANS
- 22 MATCH FLOOR SLABS REQUIRED TO MATCH ADJACENT SPACES
- 23 NEW SHRED FLOOR BOARD JOISTS AND CEILING - REFER TO BRUSH PLANS
- 24 NEW 2" X 4" LVL TO MATCH ADJACENT FLOOR - IF CONCRETE SUB-CONCRETE DECORATE AND ISLAND
- 25 WOODEN PASS THROUGH FINISH
- 26 RECREATIVE SLIDING GLAZE
- 27 NEW 2" SQUARE PROFILE STEEL W/ WIRE MESH - SEE FINISH PLANS
- 28 NEW 2" X 4" LVL HARDWARE
- 29 BASED CONCRETE EDGEMAN
- 30 NEW CONCRETE ADA ACCESSIBLE RAMP AND STEEL CHAIRMAN WITH UNPAINTED METAL MESH - SEE FINISH PLANS
- 31 NEW CONCRETE STAIR AND STEEL GUARDRAIL WITH FINISHED METAL MESH
- 32 NOT ASED
- 33 NOT ASED
- 34 NOT ASED
- 35 NOT ASED
- 36 ADJUNCTION WALL FINISH
- 37 NOT ASED
- 38 EXPOSED WOODEN WALLS TO BE BURNED
- 39 BRUSH BRACKET
- 40 WOOD FINISHED COLLAR TO REMAIN
- 41 NEW METAL FRAME STAIR WITH GLASS RAILING - SEE FINISH PLANS
- 42 EXISTING COLUMN WITH DYP-SD FINISHING - SEE METAL GUARD

GENERAL FLOOR PLAN NOTES:

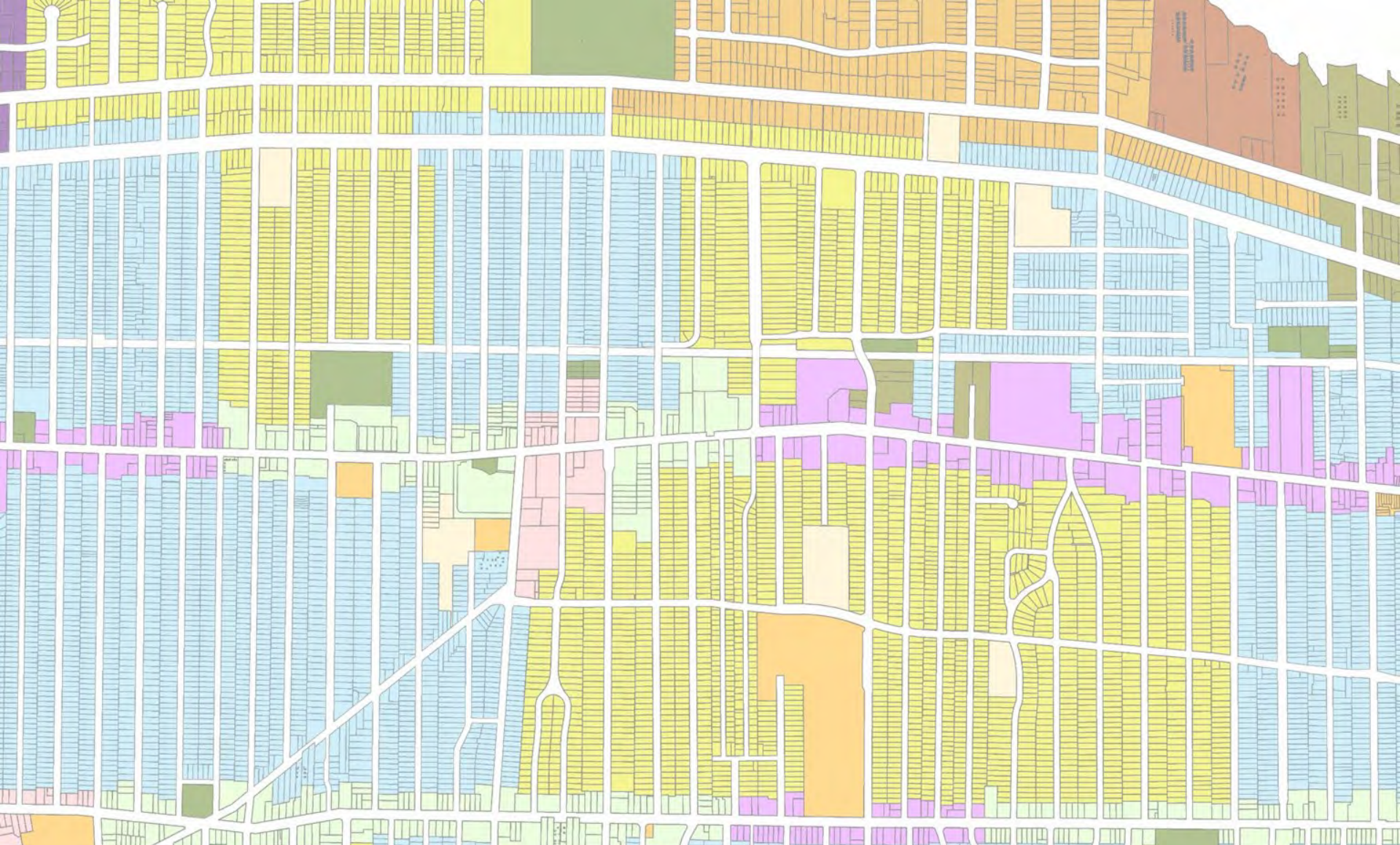
- 1 ANY HISTORIC WALL TRIM (CROWN MOULDING, WINDOW TRIM, ETC.) NEEDS TO REMAIN IF FOUND AND IS NOT REPLICATED THROUGHOUT ENTIRE BUILDING. DOCUMENT PHOTOGRAPHS AS REQUIRED
- 2 WALLS WITH DASH HATCH INDICATE NEW WALLS. WALLS WITH SOLID HATCH INDICATE EXISTING WALLS
- 3 - - - NEW WALL
- 4 - - - EXISTING WALL
- 5 [Hatched Box] INDICATES AREAS WHERE EXISTING FLOOR LEVELS TO BE CHANGED. SEE ENLARGED FLOOR PLANS FOR NEW FLOOR LEVEL ELEVATION



PROJECT NORTH 1 FIRST FLOOR PLAN
 1/11/17 33' = 1" = 0"



Docket No. 04-38-23 (11798 Detroit)
 Sign - Everybody Cycle



Architectural Board of Review

April 2023