

**MINUTES**  
**BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**  
**REVIEW MEETING**  
**CITY OF LAKEWOOD**  
**12650 DETROIT AVENUE**  
**AUDITORIUM**  
**MAY 11, 2023**  
**5:30 P.M.**  
**RECORDED**  
<https://www.lakewoodoh.gov/videos-2/>

**1. ROLL CALL**

Board Members

Chris Egervary  
Brian Grambort, Vice Chair  
David Maniet, Chair  
Hanna Cohan Plessner

Staff

David Baas, Board Secretary, Senior Planner  
Shawn Leininger, Director, Planning & Development  
William Wagner, Assistant Building Commissioner

Mr. Smith was absent.

**APPROVE THE MINUTES OF THE APRIL 13, 2022 MEETING**

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the April 13, 2023 minutes. All the members voted yea; the motion passed.

**2. OPENING REMARKS**

Staff read the Opening Remarks into the record.

**SUMMARY APPROVED  
SIGN REVIEW**

**At the May 4, 2023 pre-review meeting, Docket No. 05-46-23 AND 05-47-23 were Summary Approved (any conditions will be noted). A motion and a second are needed for approval.**

**3. Docket No. 05-46-23**

**13618 Detroit Ave.  
The Bike Spot**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Steven Foster  
The Sign & Graphics Firm, LLC  
14837 Detroit Ave., Ste. 195  
Lakewood, OH 44107

Applicant proposes signage for a new business. (Page 61)

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE** the request as presented. All the members voted yea; the motion passed.

**4. Docket No. 05-47-23**

**12900 Lake Ave.  
Summer House**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Iliana Kazandjiev  
 Agile Sign & Lighting Maintenance Inc.  
 35280 Lakeland Blvd.  
 Eastlake, OH 44095

Applicant proposes replacement signage. (Page 63)

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE** the request as presented. All the members voted yea; the motion passed.

**NEW BUSINESS**

**BOARD OF BUILDING STANDARDS**

**5. Docket No. 05-42-23 (R)**

**1446 Ridgewood Ave.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Corina Dumitrescu AIA  
 CDA  
 25624 Woodpath Trl.  
 Westlake, OH 44145

Applicant proposes an appeal/variance request for egress requirement RCO 311.7.2. The property is in an R2, Single-and Two-Family District. (Page 4)

Corina Dumitrescu AIA, CDA, applicant was present to explain the request. Discussion among the applicant, members and staff ensued regarding the dimensions, ridge beam, and header; concern about the single egress; permitted use. The members said that safety was paramount. Public comment was closed as no one addressed the item. Staff did not receive any comments prior the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **DENY** the request. All the members voted yea; the motion passed.

**ARCHITECTURAL BOARD OF REVIEW**

**6. Docket No. 05-43-23 (R)**

**1464 Riverside Dr.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Gary Fischer  
 Fischer & Associates Architects Inc.  
 554 W. 9<sup>th</sup> St.  
 Lorain, OH 44052

Applicant proposes the construction of a new home. (Page 22)

Gary Fischer, Fischer Associates Architects, applicant, and Linda Frederickson, property owner were present to explain the request. Staff reiterated the requirements as per Section 1133.09 – Requirements Before Demolition or Removal of Principal Structures on Residential Properties. Discussion commenced about the proposed home not keeping within the homage of the previous home and the surrounding area, the enclosed front foyer/porch did not

follow the front porch guidelines. The applicant stated the project was scheduled to appear before the Board of Zoning Appeals. The members asked why the new two-family structure was a side-by-side instead of an up-and-down; they did not like the design. Staff said it took time for H&B to review and approve the design. The members and staff outlined what was needed to be done/provided prior to demolition. Public comment was closed as no one addressed the item. Staff did not receive any comments prior the meeting.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **DEFER** the request. All the members voted yea; the motion passed.

- |                                  |            |                             |
|----------------------------------|------------|-----------------------------|
| <b>7. Docket No. 05-44-23</b>    | <b>(R)</b> | <b>15608 Lake Ave.</b>      |
| <input type="checkbox"/> Approve |            | Susan Broadwater            |
| <input type="checkbox"/> Deny    |            | Beegan Architectural Design |
| <input type="checkbox"/> Defer   |            | 15703 Madison Ave.          |
|                                  |            | Lakewood, OH 44107          |

Applicant proposes the addition of a new front porch on an existing home. (Page 34)

Paul Beegan, Beegan Architectural Design, applicant, and Ken Rogozinski, property owner, were present to explain the request. The members liked the proposal. The members asked about the addition of a stair rail. The colors of the new porch and foundation would be painted to match the existing structure. Public comment was closed as no one addressed the item. Staff did not receive any comments prior the meeting.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE** the request as presented. All the members voted yea; the motion passed.

**Dockets 05-45-23-A and 05-45-23-S were called together – same applicant and project.**

- |                                  |            |   |
|----------------------------------|------------|---|
| <b>8. Docket No. 05-45-23-A</b>  | <b>(C)</b> | <b>14824-26 + 14806-22 Detroit Ave.<br/>CoHatch</b> |
| <input type="checkbox"/> Approve |            | Brian Hennies                                       |
| <input type="checkbox"/> Deny    |            | Richard L. Bowen & Associates                       |
| <input type="checkbox"/> Defer   |            | 2019 Center St., Ste. 500                           |
|                                  |            | Cleveland, OH 44113                                 |

Applicant proposes awning renovations. (Page 40)

**SIGN REVIEW**

- |                                  |  |   |
|----------------------------------|--|---|
| <b>9. Docket No. 05-45-23-S</b>  |  | <b>14824-26 + 14806-22 Detroit Ave.<br/>CoHatch</b> |
| <input type="checkbox"/> Approve |  | Brian Hennies                                       |
| <input type="checkbox"/> Deny    |  | Richard L. Bowen & Associates                       |
| <input type="checkbox"/> Defer   |  | 2019 Center St., Ste. 500                           |
|                                  |  | Cleveland, OH 44113                                 |

Applicant proposes new business signage. (Page 48)



Oath

*(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)*

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. CORIN A DUMITRESCU

2. GABRIEL FISHER

3. LINDA FREDRICKSON

4. PAUL BEEGAN

5. KEN ROGOWSKI

6. BRIAN HENNIES

7. \_\_\_\_\_

8. \_\_\_\_\_

9. \_\_\_\_\_

10. \_\_\_\_\_

11. \_\_\_\_\_

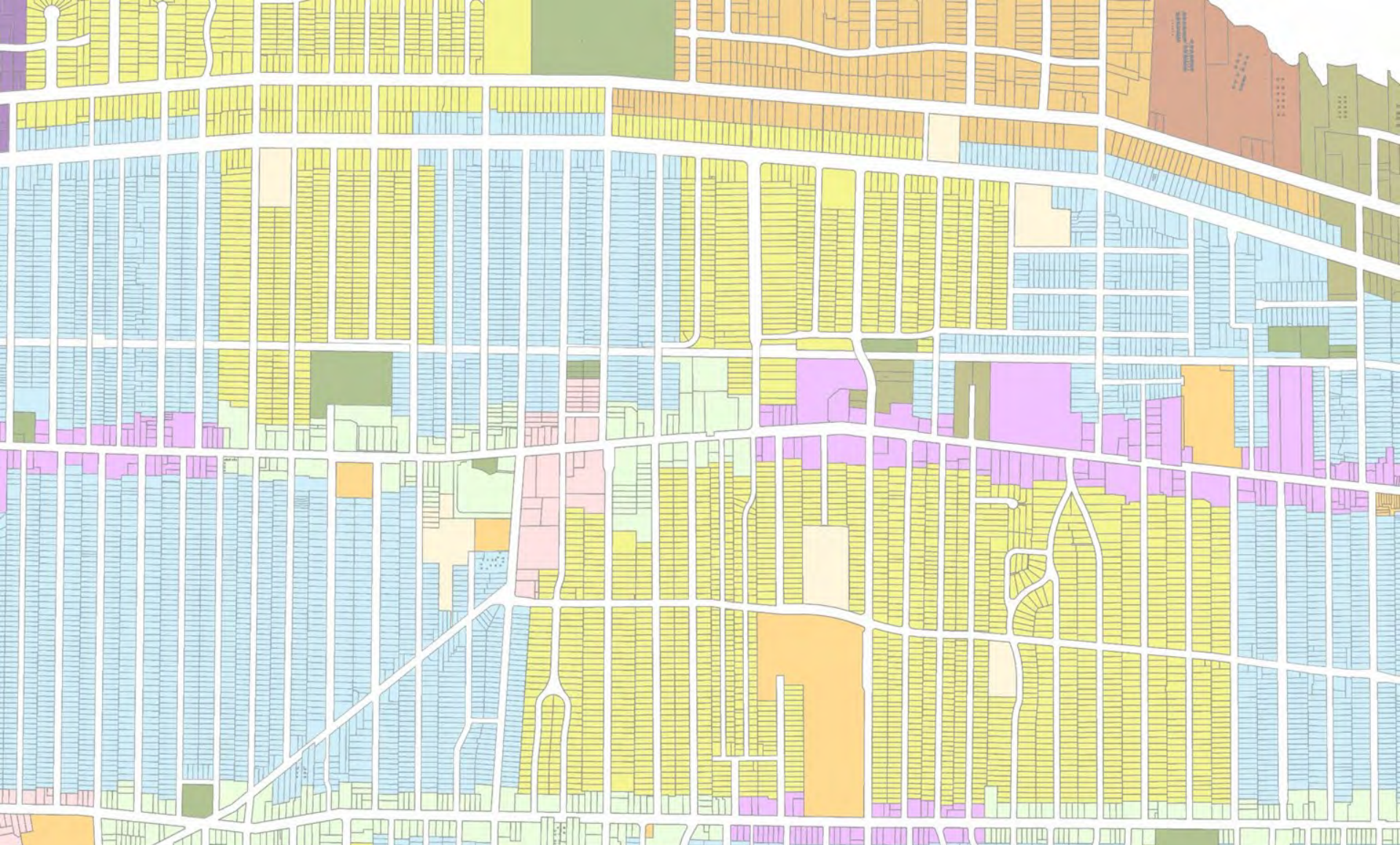
Handwritten signatures in blue ink corresponding to the printed names above, written on horizontal lines.

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure:  ABR/BBS  Citizens Advisory  Civil Svc.  Dangerous Dog  Income Tax Appeals  Loan Approval  Nuisance Abatement Appeals  Parking  Planning  Zoning Appeals  Other:

Date of Proceeding: Thursday, May 11, 2023



# Architectural Board of Review

May 2023



## **Architectural Board of Review**

Pre-Review Meeting: 4 May, 4pm (East Conf Rm)

Regular Meeting: 11 May, 5:30 pm (Auditorium)

### **Members**

David Maniet (2023 Chair)

Brian Grambort (2023 Vice Chair)

Jeremy Smith

Hanna Cohan Plessner

Chris Egervary

### **Staff**

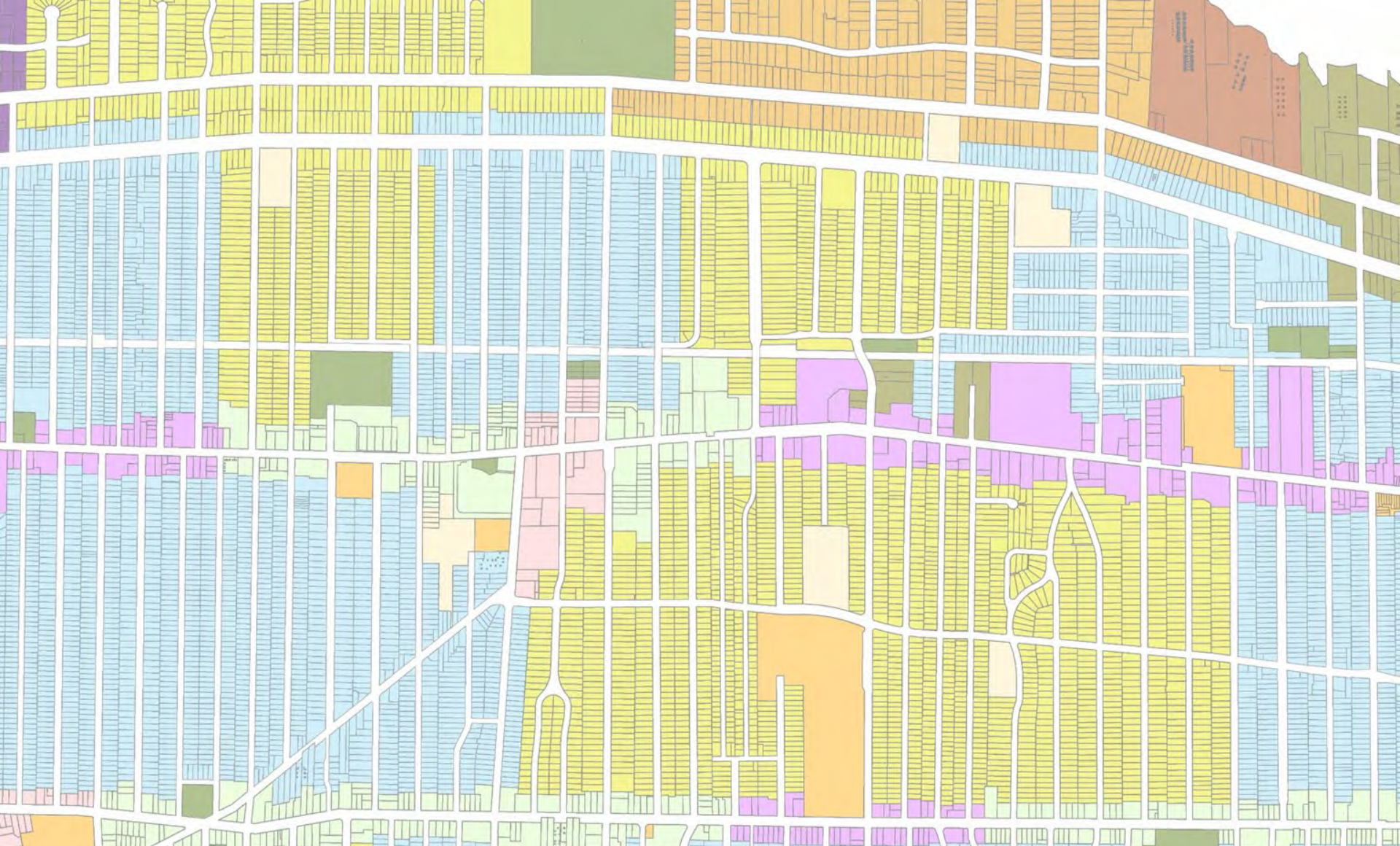
*Board Secretary:* David Baas

*Building Commissioner:* Chris Parmelee



**Architectural Board of Review**  
**May Agenda**

1. Roll call
2. Approve minutes – April 2023 meeting
3. Opening Remarks
4. New Business
5. Sign Review
6. Adjourn



# Architectural Board of Review

## Sign Review (Summary Approval) – May 2023

# Applicant proposes new signage in C3 District.

## City Notes:

- ❑ Storefront of ~18 ft...maximum allowable sign area of ~27 ft<sup>2</sup>.



**Summary Approval**

**Docket No. 05-46-23 (13618 Detroit)**

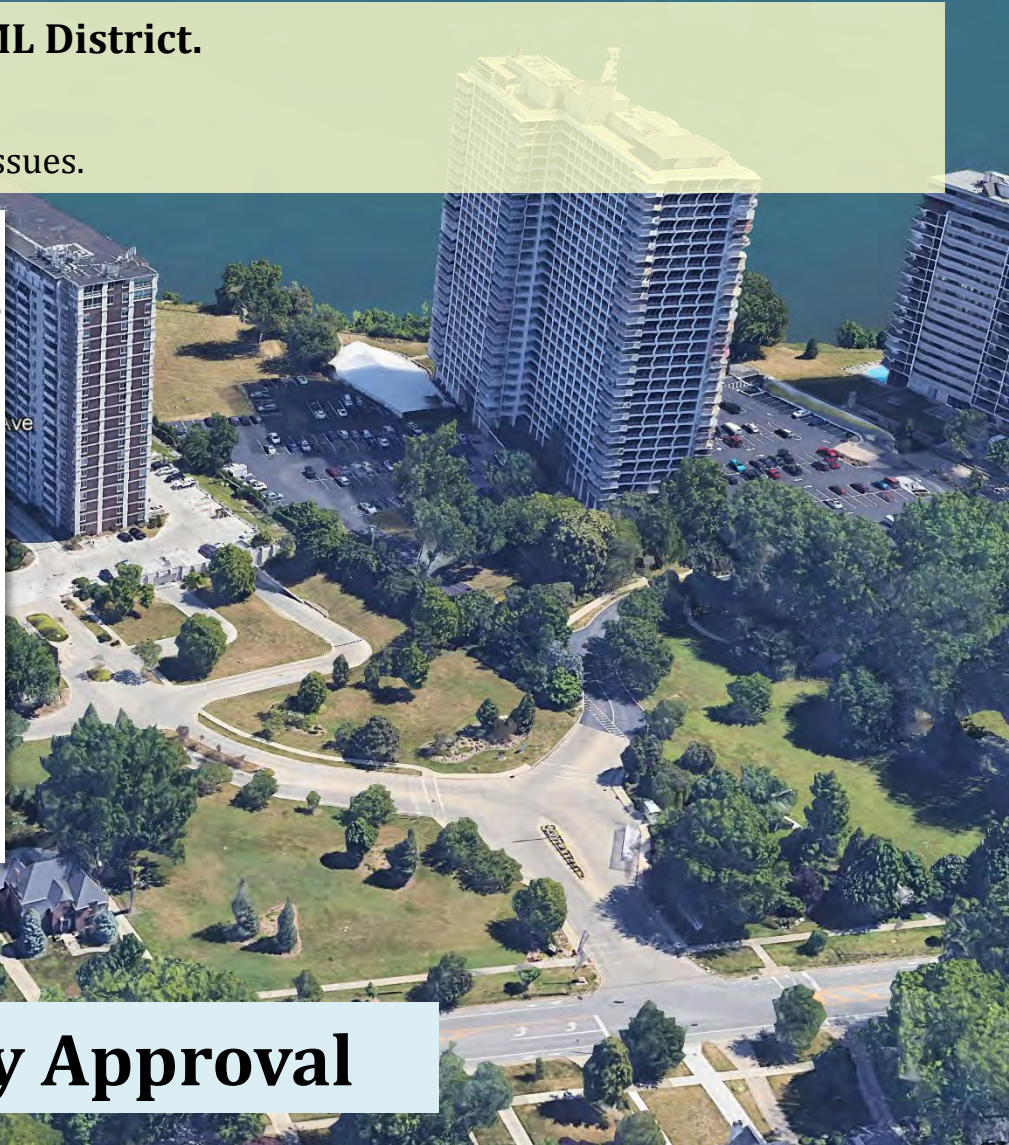
Sign – The Bike Spot  
Steve Foster



# Applicant proposes replacement signage in ML District.

## City Notes:

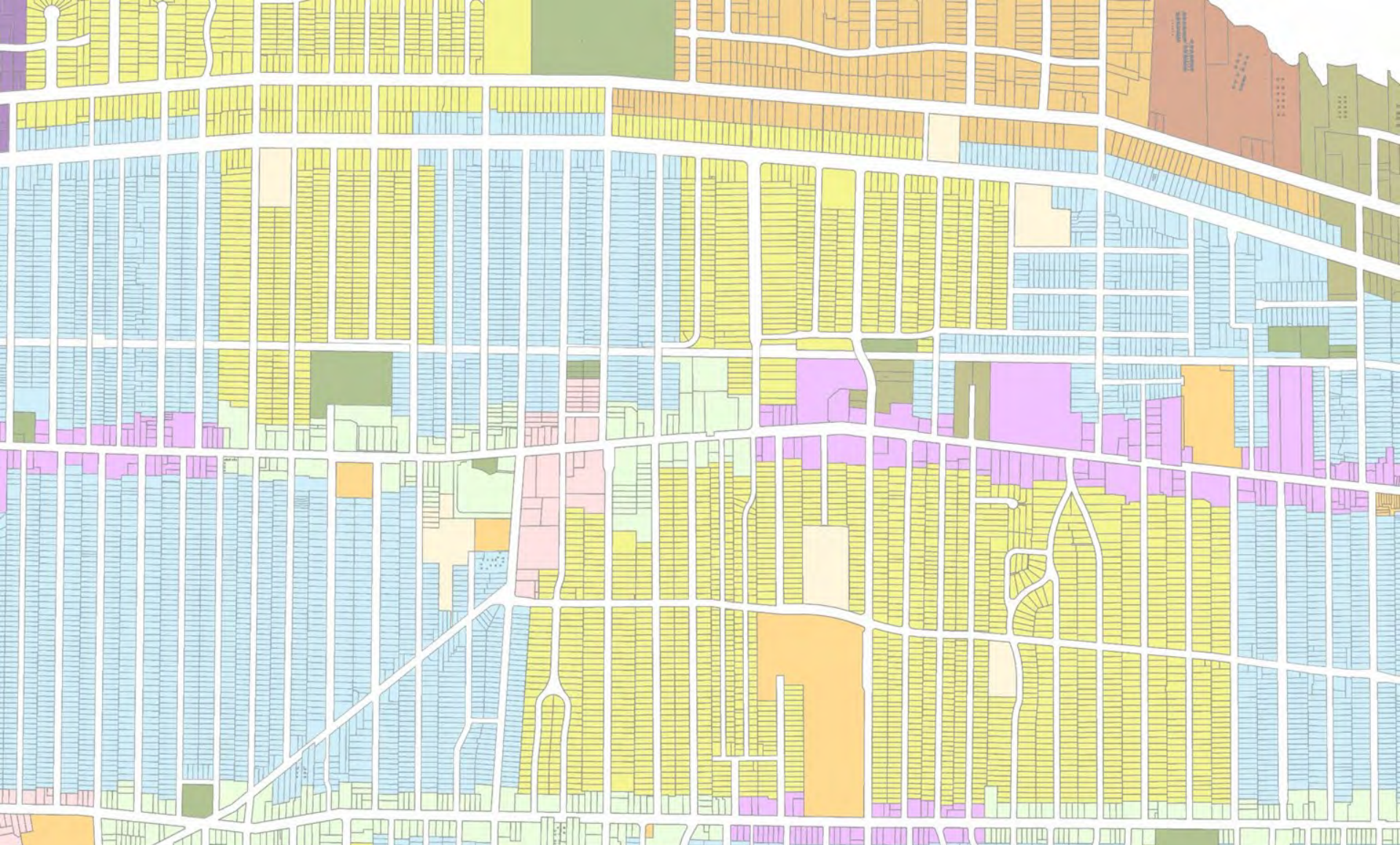
- ☐ Replacement of existing with updated signage, no issues.



**Summary Approval**



**Docket No. 05-47-23 (12900 Lake)**  
**Sign – Summer House**  
**Iliana Kazandziev**



# Board of Building Standards

New Business – May 2023

**Applicant requests variance from RCO 311.7.2 requirement.**

**City Notes:**

N/A.



**Docket No. 05-42-23 (1446 Ridgewood)**

**Appeal/Variance – Egress (RCO 311.7.2)**

**Corina Dumitrescu**

RE: ADJUDICATION ORDER 2023-29

Applicable Code: 2019 Ohio Residential Code

Project Description: Interior home remodel per plans.

Project Address: 1446 Ridgewood Ave

PPN: 31510072

Occupancy: 1,2,3 Family D/U

Construction Type: 5B

Drawings Dated: 03/27/2023

Zoning District: R2

Plan Review Case Number: RB23-000049

Status: Adjudication

Dear LaNiaci Investments LLC,

The documents have been reviewed in accordance with RCO 107. Approval cannot be granted per RCO 105.1 or the drawings are inadequate per RCO 107.4.1. This notice is an ADJUDICATION ORDER pursuant to RCO Section 109 of all items that are cited from the Ohio Residential Code. Please review the non-conformities below carefully.

You have the option of submitting revised drawings [RCO 107.6.1-1(1.1)] within 45 days, or you can FORMALLY appeal this decision and have a right to a hearing if you request to do so within thirty (30) days of this notice[RCO 107 .6.1-4). The following non-conformities are hereby transmitted per RCO 107.6.1.

1. Revise plans to comply with minimal clearance in stairways as clearance shall be not less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway. (RCO 311.7.2)

Please revise the construction documents to show conformance with the above cited items and provide revised drawings for review within 45 days unless you decide to appeal as described below:



**Docket No. 05-42-23 (1446 Ridgewood)**  
Appeal/Variance – Egress (RCO 311.7.2)



I.A. Lewin, P.E. and Associates  
4110 Mayfield Road, Suite B  
South Euclid, Ohio 44121  
(216) 291-3131 • fax (216) 291-2605  
www.lewinandassociates.com

**MEMO**

**Date:** March 27, 2023  
**To:** Corina Dumitrescu, AIA  
**Company:** Corina Dumitrescu Architecture  
**From:** Gayle Lewin, PE  
**Project:** 1446 Ridgewood Ave  
**IAL No.:** 23072  
**Subject:** Attic stairs header

Today I met with you at 1446 Ridgewood Ave in Lakewood, Ohio, to examine the existing header above the staircase on the 3<sup>rd</sup> floor. There is a small bump-out and dormer on the north side of the house to accommodate the stairs. The dimensions for the stairwell is shown on the attached sketch. Based on measurements of existing conditions of the house, the maximum clearance for the header, if the header was able to be moved to the top of the dormer ridge, is 6'-6", which does not meet the code for required head clearance. Additionally, because of the slope of the primary roof and the slope of the dormer, the primary roof structure will still encroach in the required clear height for the stairs if the header is relocated.

The only way to achieve the minimum height clearance required per code is to rebuild the dormer roof at a higher elevation or replace with a shed roof, also raised to meet the minimum clearance required.

Please call us with any questions.

Respectfully submitted  
**I.A. LEWIN, P.E. AND ASSOCIATES**

*Gayle Lewin*

Gayle S. Lewin, P.E.



**Docket No. 05-42-23 (1446 Ridgewood)**  
**Appeal/Variance – Egress (RCO 311.7.2)**



Header for roof and dormer looking down from 3<sup>rd</sup> floor towards landing



Roof framing into header above stairs

Slope of dormer and slope of primary roof at angle showing that roof structure would impede clear space above stairs even with header relocated



**Docket No. 05-42-23 (1446 Ridgewood)**  
Appeal/Variance – Egress (RCO 311.7.2)



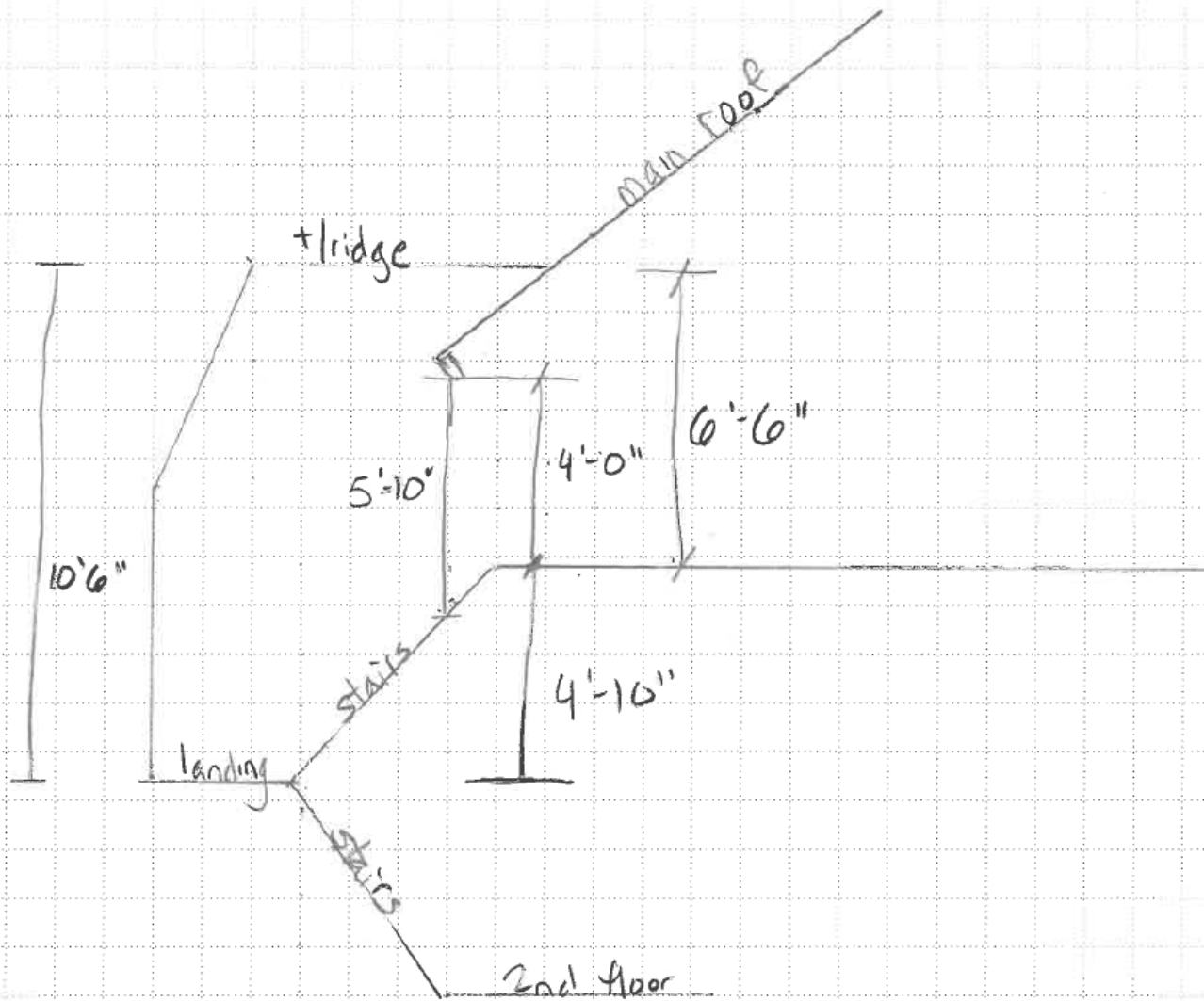
Ridge of dormer 2'± above header



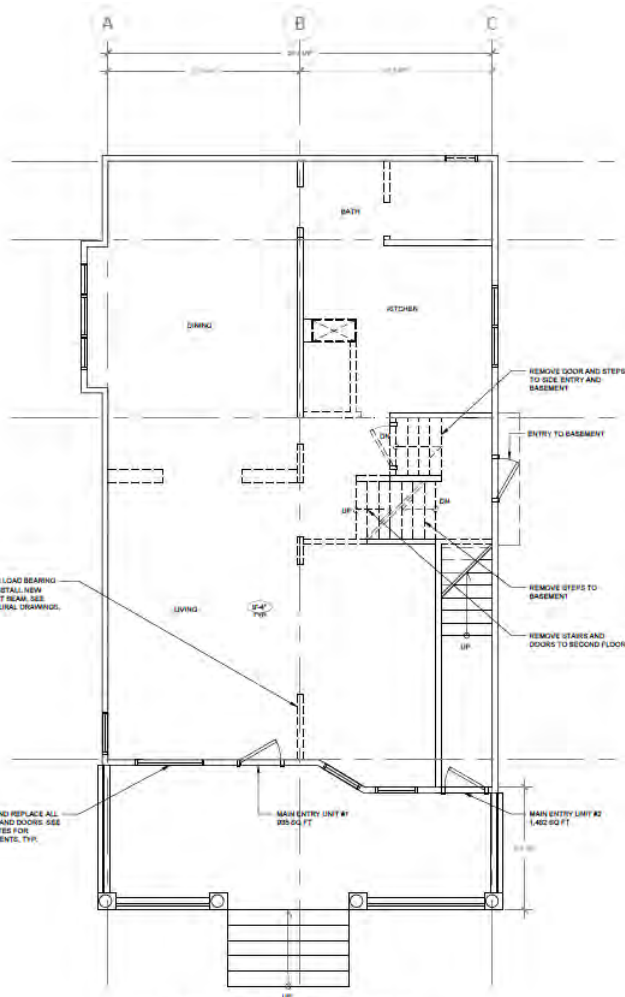
Google streetview of dormer roof framing into primary roof



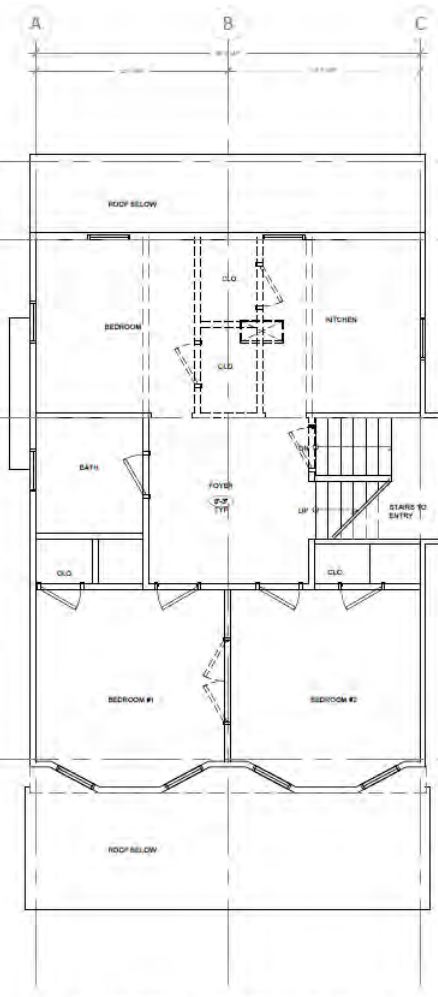
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Appeal/Variance – Egress (RCO 311.7.2)



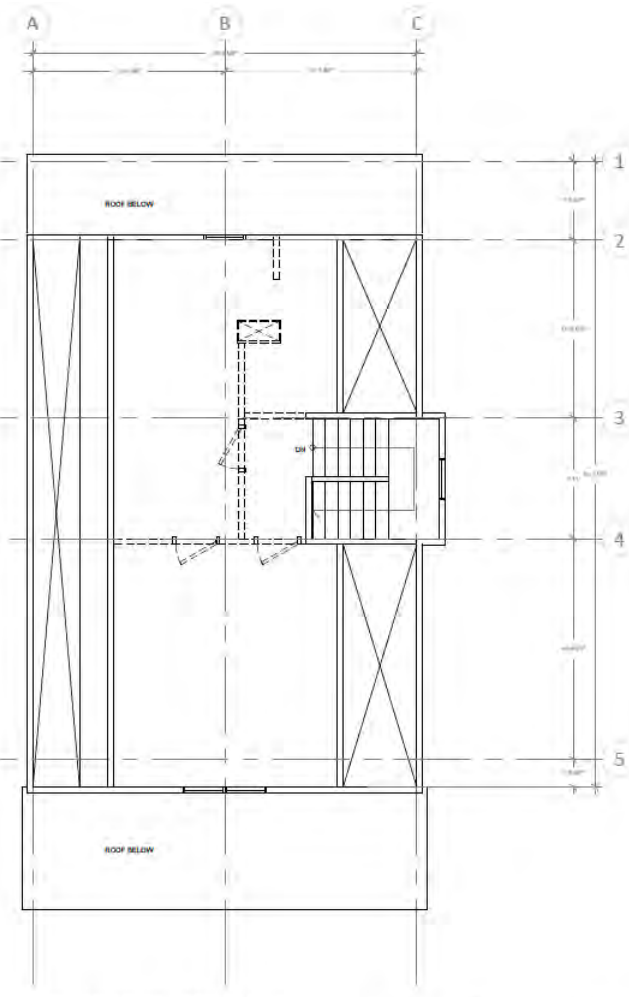
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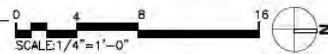
1 EXISTING FIRST FLOOR PLAN  
AS NOTED



2 EXISTING SECOND FLOOR PLAN  
AS NOTED

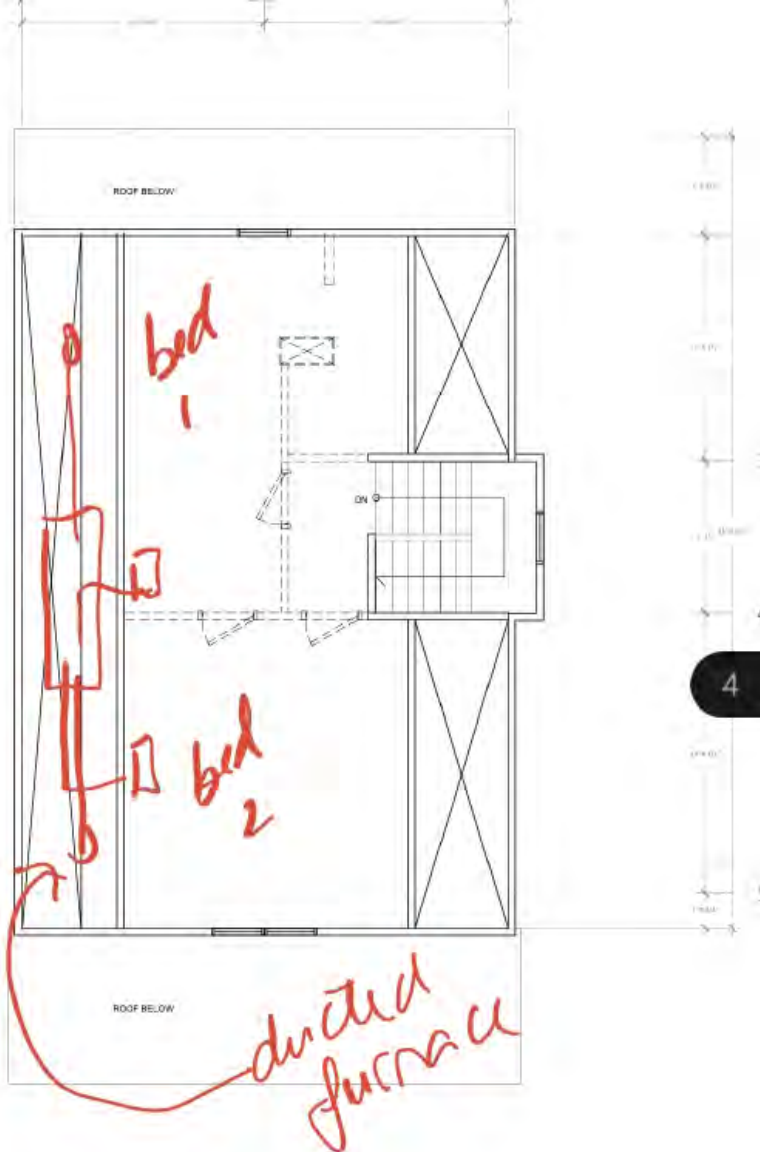


3 EXISTING ATTIC PLAN  
AS NOTED

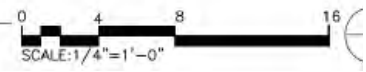


# Docket No. 05-42-23 (1446 Ridgewood)

## Appeal/Variance - Egress (RCO 311.7.2)



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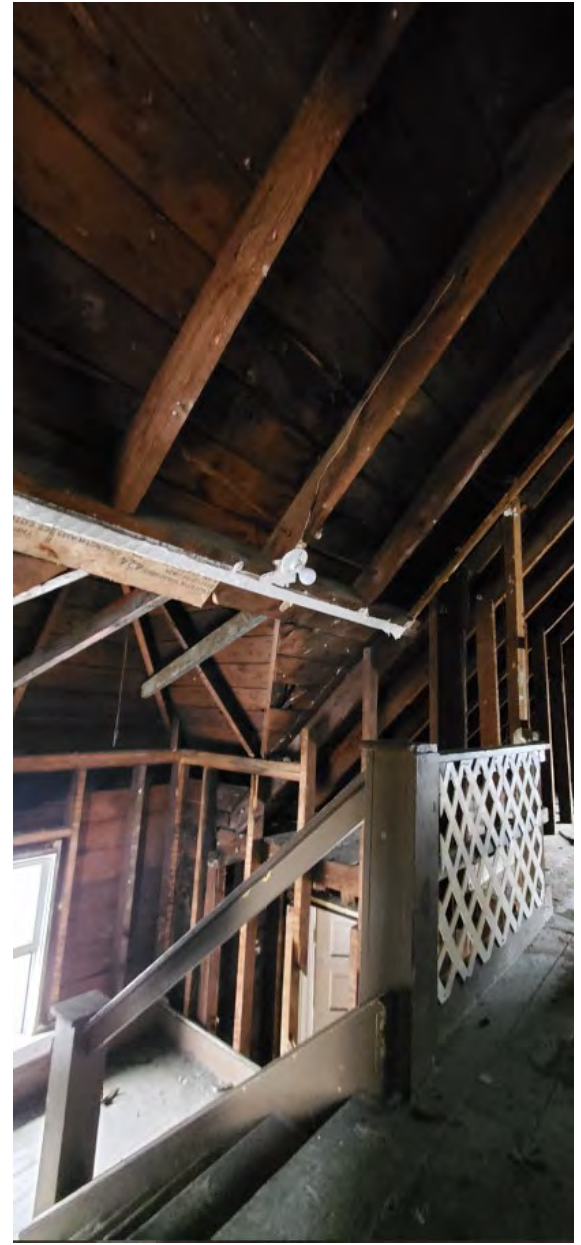




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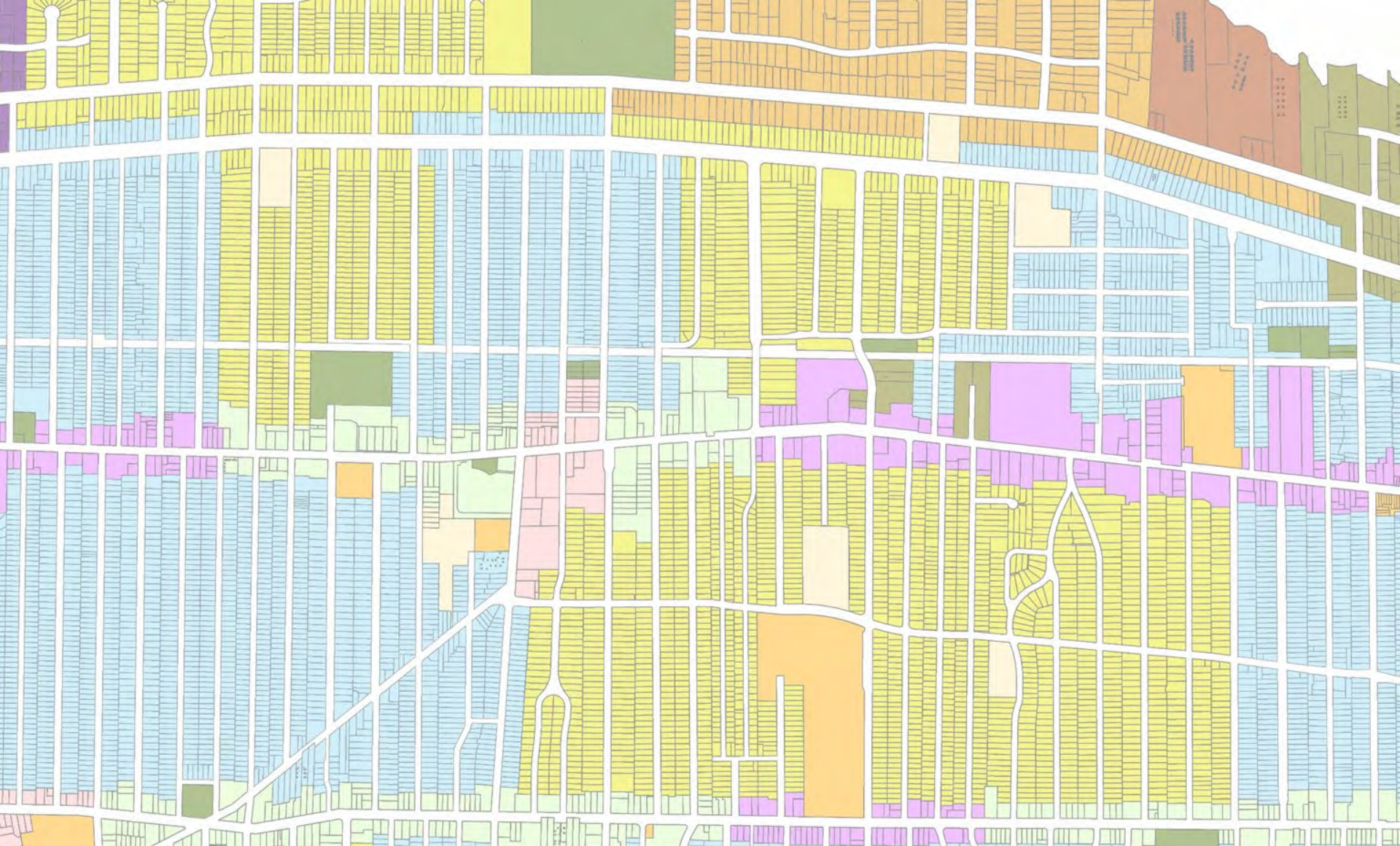


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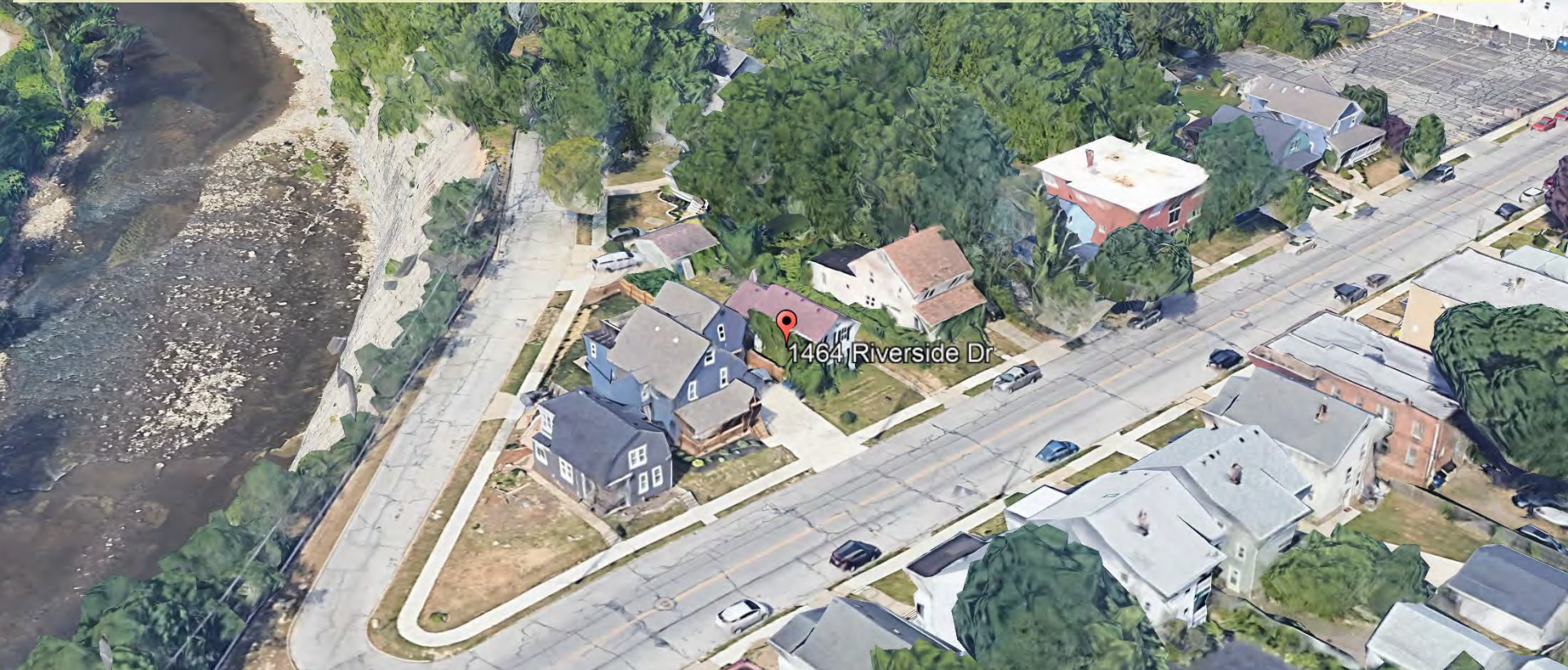
# Architectural Board of Review

New Business – May 2023

## Applicant proposes demolition of existing home/new construction.

### City Notes:

- Section 1133.09 applies (not locally-designated HP).
- Illustrate how proposed design represents the *“historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood”* referenced in 1133.09.
- Pending BZA review of multiple variances.



**Docket No. 05-43-23 (1464 Riverside)**

**Residential Demo/New Construction**

**Gary Fisher**

## 1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(b) Requirements Before Demolition or Removal of Principal Structures on Residential Properties. No demolition or removal of a principal structure, built in 1945 or earlier...shall be permitted unless and until one (1) of the following conditions is satisfied:

(1) The Safety Director of the *City* authorizes the Commissioner to grant a demolition or removal permit, based on causes such as fire or other source of property damage or loss, in order to remedy conditions immediately dangerous to life, health or property, or to remedy a nuisance, as jointly determined and recommended by the Commissioner, the Fire Chief, and the *City* Engineer; or (Ord. 24-2016. Passed 5-2-2016.)

(2) The passage of 180 days following application to the Commissioner for a demolition permit or permit to move a principal structure, during which time the applicant has further made good faith application to all required boards and commissions of the *City* for approval of a new principal structure at the location of such property; or

(3) The proposed principal structure at the location of such property **conforms to the design requirements set forth in Chapter 1325 of the Building Code and has been approved by the Architectural Board of Review**, and by any other required boards and commissions of the *City*, in order to proceed with the new principal structure. In addition, notwithstanding any other requirements, all approvals for such proposed principal structure shall be based on the following factors:

A. The **proposed principal structure is consistent with the Code, the Vision and the “Standards for Rehabilitation”** adopted by the U.S. Secretary of the Interior, as stated in Title 36 of the Code of Federal Regulations, Part 1208 (Formerly of Part 67); and

B. The **proposed principal structure is consistent with any historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood.**

C. The Secretary of all such required boards and commissions of the *City* shall immediately notify the Commissioner of compliance with the provisions of this section by any applicant that would allow and provide for the issuance of a demolition permit or a removal permit by the Commissioner.



**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction



**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction



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Residential Demolition/New Construction



**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction



**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction

# 1464 RIVERSIDE DRIVE

## (New House & Garage Addition)

1464 Riverside Drive - Lakewood, Ohio 44107

**GENERAL NOTES:**  
 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND UTILITIES BEFORE THE PROJECT BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF LOCAL UTILITIES AND ALL NECESSARY PERMITS.

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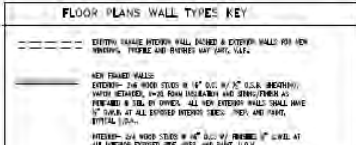
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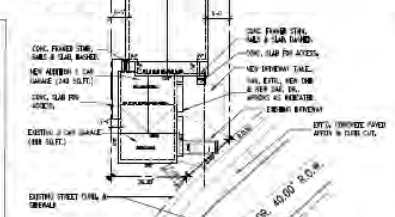
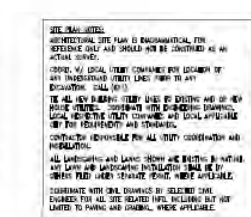
AERIAL SITE LOCATION MAP



**FLOOR PLANS WALL TYPES KEY**  
 --- DOTTED LINE --- EXTERIOR WALLS WITH INSULATION AND EXTERIOR FINISH FOR NEW WALLS, PORCHES AND BARRIERS AND CORE WALLS.  
 --- SOLID LINE --- NEW FINISH WALLS.  
 --- DASHED LINE --- EXISTING WALLS TO REMAIN.  
 --- THICK SOLID LINE --- EXISTING WALLS TO REMAIN WITH FINISH TO REMAIN.

**INDEX TO DRAWINGS**

G-100	COVER SHEET-GENERAL NOTES-ARCH. SITE PLAN-AERIAL SITE MAP
A-100	FOUNDATION PLAN-SECTION-DETAILS
A-101	FLOOR PLANS-GARAGE DEMO-STRUCTURE DETAILS
A-102	SECTIONS-DETAILS
A-103	ELEVATIONS
A-104	ELEVATIONS
MPE-100	ENGINEERING FLOOR PLANS-ELECT. NOTES
MPE-101	ENGINEERING SPECS. - FINISHING DETAILS-NOTES - DETAILS



**GENERAL CONSTRUCTION NOTES:**  
 1. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND UTILITIES BEFORE THE PROJECT BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF LOCAL UTILITIES AND ALL NECESSARY PERMITS.

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FISCHER & ASSOCIATES  
 ARCHITECTS INC.  
 554 West Ninth Street  
 Lorain, Ohio 44052  
 Tel: (440) 315-3300  
 E-mail: andrea@fisherarch.com

Fischer & Associates

NEW HOUSE PLAN PERMITS	03/20/23
NEW HOUSE ELEVATIONS PERMITS	03/27/23
NEW HOUSE DEMO & REM. PERMITS	04/20/23
NEW HOUSE GAR. REM. PERMITS	04/17/23
NEW HOUSE GAR. PERMITS	04/17/23
NEW HOUSE PERMITS	04/17/23

1464 Riverside Drive  
 Lakewood, Ohio 44107

1464 Riverside Drive  
 (NEW HOUSE & GARAGE ADDITION)

1464 Riverside Drive  
 (NEW HOUSE & GARAGE ADDITION)  
 Lakewood, Ohio 44107

COVER SHEET-GENERAL NOTES  
 ARCH. SITE PLAN-AERIAL SITE MAP

Fischer & Associates  
 ARCHITECTS INC.

G-100

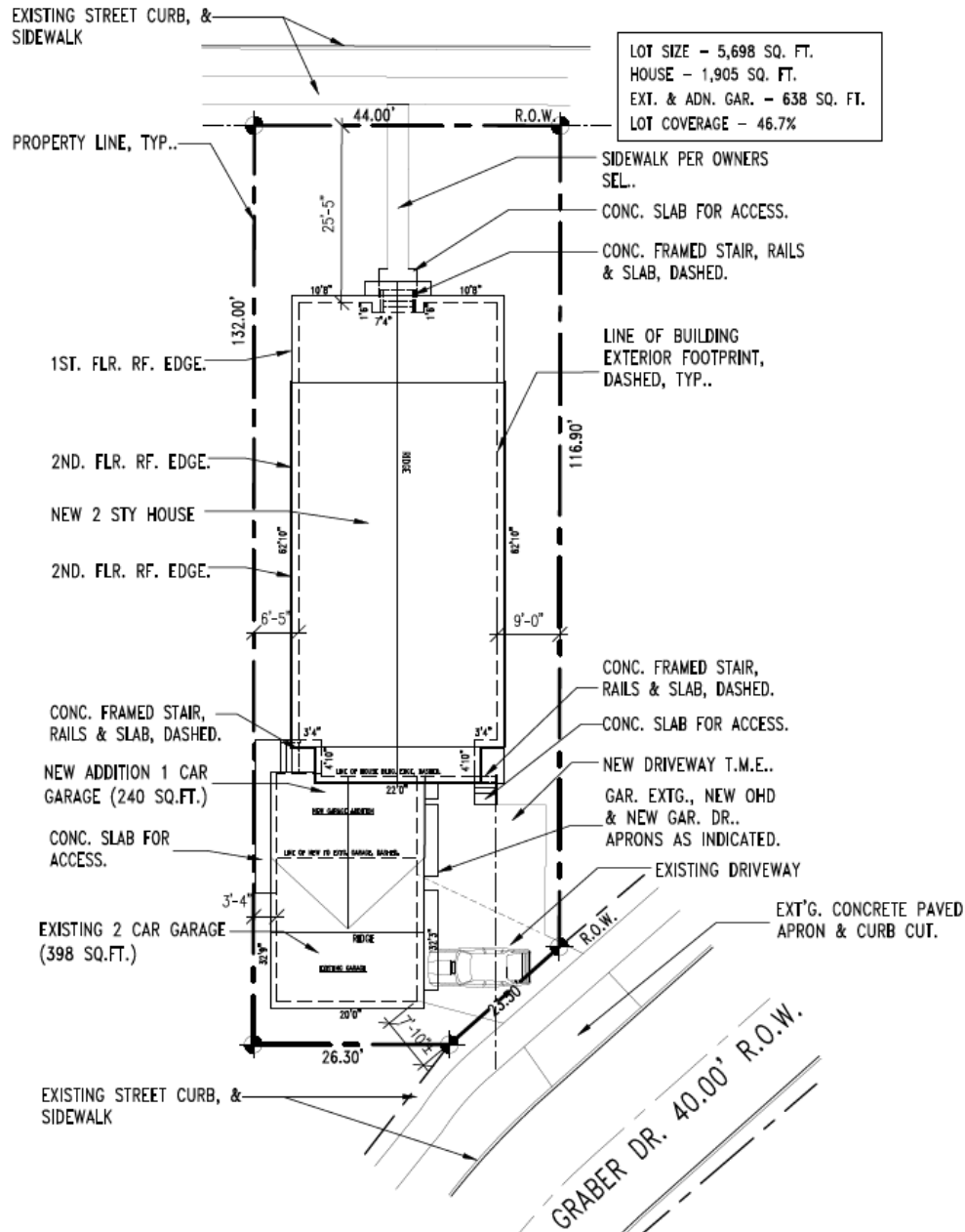


FISCHER & ASSOCIATES, ARCHITECTS INC.  
 EXPIRES 06/30/2024

# Docket No. 05-43-23 (1464 Riverside)

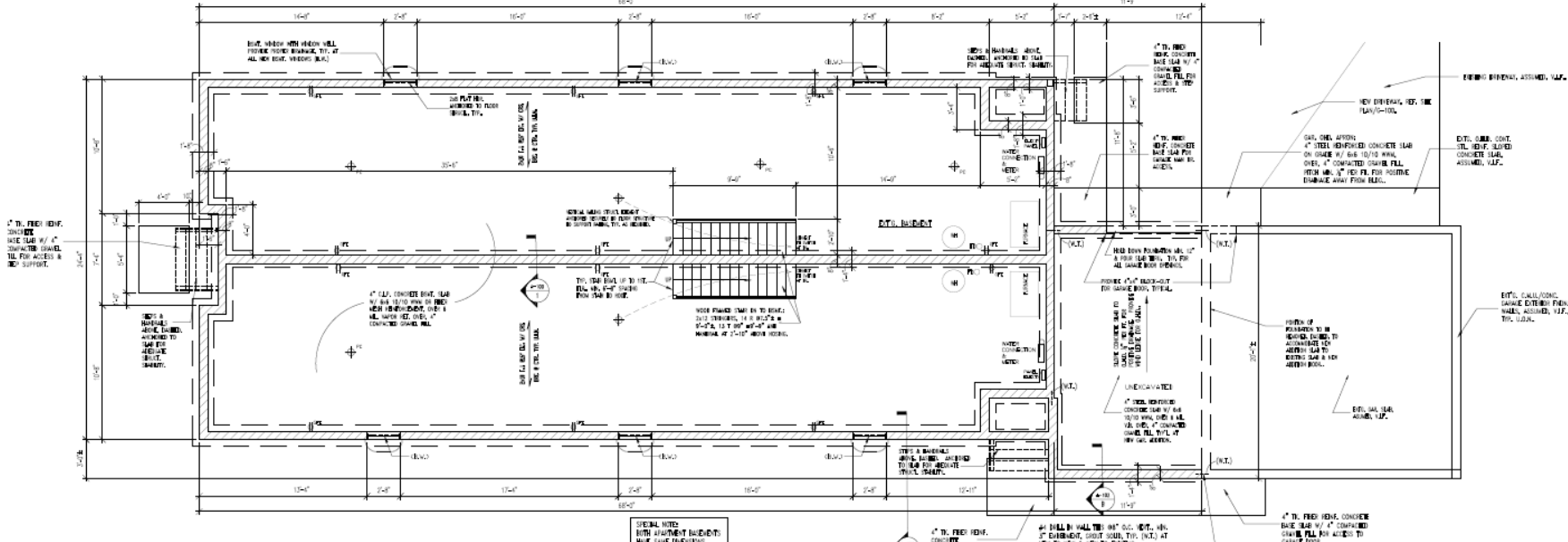
## Residential Demolition/New Construction



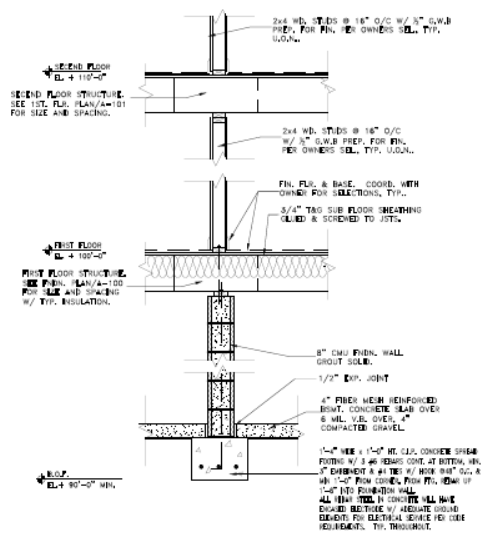


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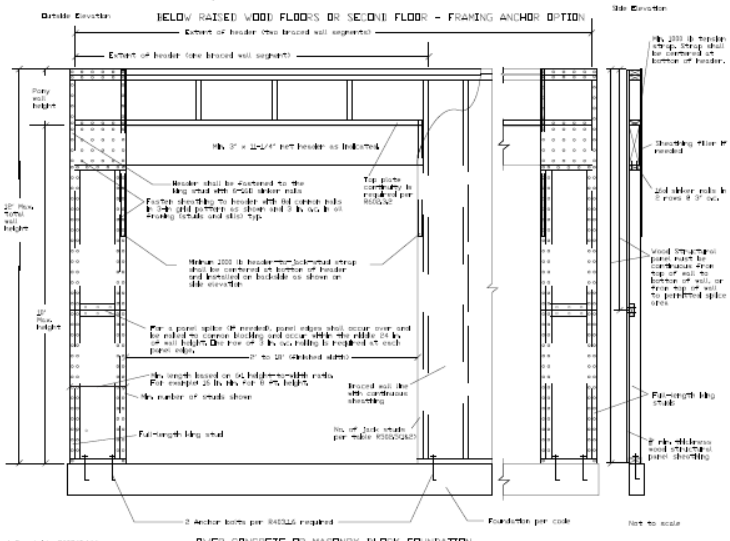
## Residential Demolition/New Construction



FOUNDATION PLAN, ENGINEERING, STRUCTURAL ELEMENTS  
1/4" = 1'-0"



1 INTERIOR BSMT. & 1ST. FLR. SECON DETAIL  
1/4" = 1'-0"



2 GARAGE DOOR SHEAR WALL DETAILS  
1/4" = 1'-0"



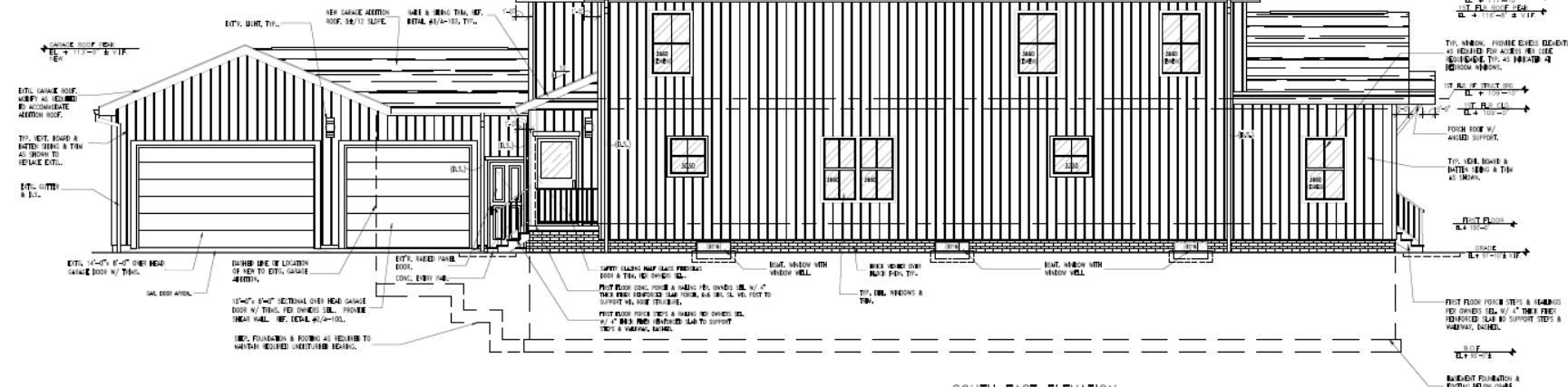
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## Residential Demolition/New Construction



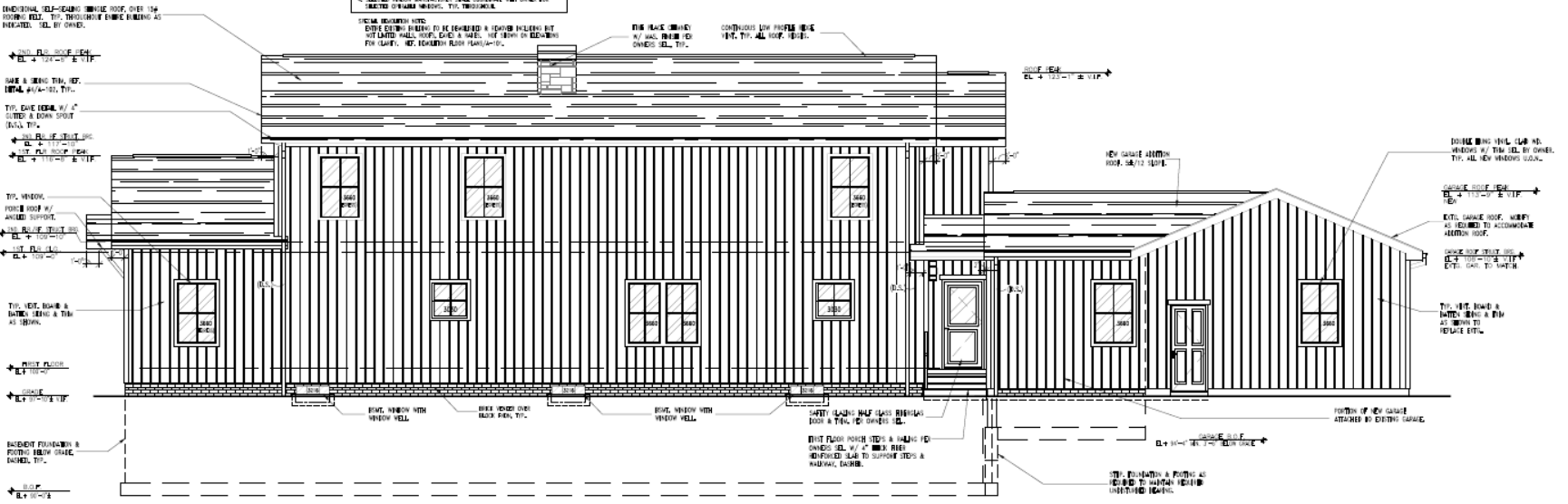


**SPECIAL ROOF STRUCTURE NOTES:**  
 ALL ROOF TRUSSES SHALL BE PLAT (ROUND TRUSSES, MODIFIED ATRO TRUSSES OR CROSS BRASS NEW OWNERS SELECTION).  
 ALL TRUSSES SHALL BE 2'-0" O.C. PROVIDE 2x6 STUD UNDER EACH INTERIOR TRUSS SUPPORT LOCATION DOWN TO FOUNDATION WALL.  
 PROVIDE SHEET PILING FOR ALL TRUSSES & STD. FRAMING WHERE APPLICABLE.  
 PROVIDE MODIFIED ROOF TRUSSES OR PROVIDE STEEL FRAMING TO ACCOMMODATE SMALL ROOF BUMP OUTS AS REQUIRED AND TO AFFORD POSITIVE DRAINAGE. REFERENCE PARTS LIST BELOW.  
 STEEL FRAMING SPECIAL NOTE:  
 PROVIDE STEEL FRAMING INCLUDING STRUCTURE ABOVE RESIDENTIAL ROOF TRUSS DECK TO EXTEND ROOF BUMP OUTS.  
 SPACING: AFTER SILE 0167 O.C.  
 13'-0" TO 18'-0" 2x10  
 13'-0" TO 18'-0" 2x8  
 UP TO 13'-0" 2x6



**SOUTH EAST ELEVATION**  
 1/4" = 1'-0"

**SPECIAL WINDOW NOTES:**  
 1. ALL WINDOW WINDOWS MUST BE INSULATED.  
 2. ALL WINDOW WINDOWS 6"0" DEPT. OR LOWER SHALL HAVE INS. GLAZING.  
 3. ALL 10" DEPT. WINDOW WINDOWS MUST BE 10" DEPT. INS. GLAZING.  
 4. ALL 12" DEPT. WINDOW WINDOWS MUST BE 12" DEPT. INS. GLAZING.  
 5. ALL 14" DEPT. WINDOW WINDOWS MUST BE 14" DEPT. INS. GLAZING.  
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 46. ALL 96" DEPT. WINDOW WINDOWS MUST BE 96" DEPT. INS. GLAZING.  
 47. ALL 98" DEPT. WINDOW WINDOWS MUST BE 98" DEPT. INS. GLAZING.  
 48. ALL 100" DEPT. WINDOW WINDOWS MUST BE 100" DEPT. INS. GLAZING.



**NORTH WEST ELEVATION**  
 1/4" = 1'-0"



# Docket No. 05-43-23 (1464 Riverside)

## Residential Demolition/New Construction

ALL ROOF TRUSSES SHALL BE FLAT CEILING TRUSSES, MODIFIED ATTIC TRUSSES OR SCISSOR TRUSS PER OWNERS SELECTION.

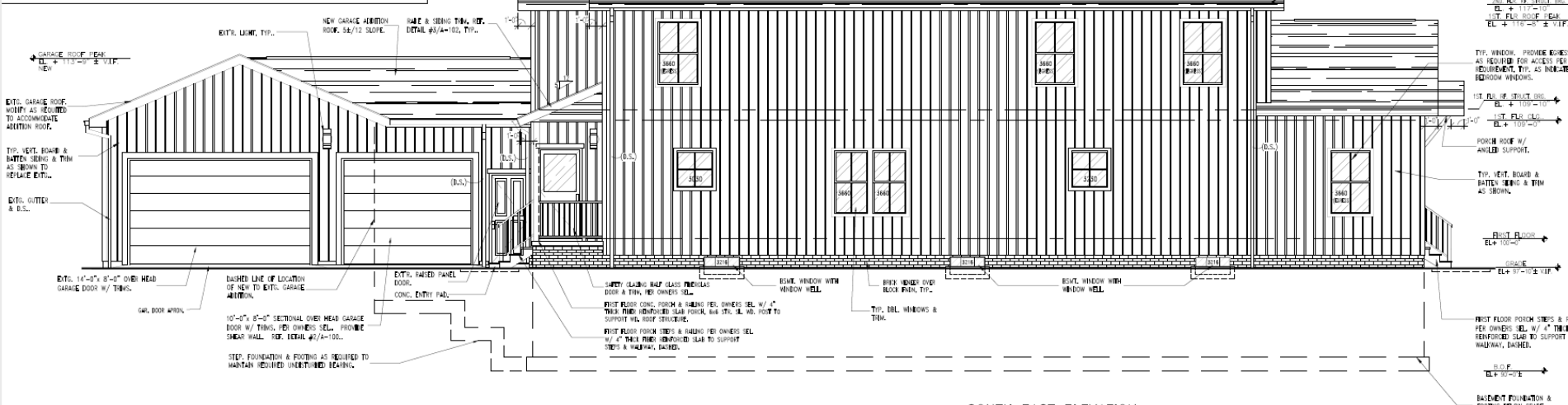
ALL TRUSSES SHALL BE 2'-0" O.C. PROVIDE 2x6 STUD UNDER EACH INTERIOR TRUSS SUPPORT LOCATION DOWN TO FOUNDATION WALL. PROVIDE SHOP DRAWING FOR ALL TRUSSES & STIC FRAMING WHERE APPLICABLE.

PROVIDE MODIFIED ROOF TRUSSES OR PROMISE STICK FRAMING TO ACCOMMODATE SMALL ROOF BUMP OUTS AS REQUIRED AND TO AFFORD POSITIVE DRAINAGE. REFERENCE RAFTER SIZE LIST BELOW.

STIC FRAMING SPECIAL NOTE: PROVIDE STIC FRAMING ROOFING STRUCTURE ABOVE RESIDENTIAL ROOF TRUSS DECK TO EXTEND ROOF BUMPPOINTS.

RAFTERS:

7'-0" TO 19'-0"	2x10
3'-0" TO 16'-0"	2x8
UP TO 13'-0"	2x6



SPECIAL WINDOW NOTES:  
 1. ALL EXTERIOR WINDOWS MUST BE INSULATED.  
 2. ALL WINDOW GLAZING 1/2" SLOPE OR FAHRTER SHAL HALF TRIM GLAZING.

SOUTH EAST ELEVATION  
 1/4" = 1'-0"



# Docket No. 05-43-23 (1464 Riverside)

## Residential Demolition/New Construction

1. ALL WINDOW GLAZING 1/2" OULT. OR LARGER SHALL HAVE TYP. GLAZING.
2. ALL WINDOW GLAZING 1/2" OULT. OR LARGER SHALL HAVE TYP. GLAZING.
3. SELECTED WINDOW MANUFACTURER ACCEPTS ANY WINDOW GLAZING TYP. GLAZING PER APPLICABLE AND NECESSARY CODE REQUIREMENTS.
4. SELECTED WINDOW MANUFACTURER SHALL COORDINATE WITH OWNER FOR SELECTED WINDOW TYPES, FINISHES, ETC.

SPECIAL DEMOLITION NOTE:  
 EXISTING BUILDING TO BE DEMOLISHED & REBUILT INCLUDING BUT NOT LIMITED TO: WALLS, ROOF, GABLE & RAFTERS. NOT SHOWN ON REVISIONS FOR CLARITY. REF. DEMOLITION FLOOR PLANS (A-101).

UNIDIRECTIONAL SELF-CLEANING SHINGLE ROOF, OVER 15# ROOFING FELT, TYP. THROUGHOUT ENTIRE BUILDING AS INDICATED. SEL. BY OWNER.

3RD FLR. ROOF FLOOR  
 EL. + 123'-11" ± TYP.

RAIL & SIDING TRIM REF. DETAIL #A/4-100, TYP.

TYP. GABLE METAL W/ 4" GUTTER & DOWN SPOUT (N.S.), TYP.

2ND FLR. FLOOR STRUCTURE  
 EL. + 117'-0" TYP.

2ND FLR. ROOF FLOOR  
 EL. + 110'-0" ± TYP.

TYP. WINDOW, PORCH ROOF W/ ANGLED SUPPORT.

1ST FLR. FLOOR STRUCTURE  
 EL. + 100'-0" TYP.

1ST FLR. FLOOR  
 EL. + 100'-0" TYP.

TYP. VENT. BOARD & BATTEN SIDING & TRIM AS SHOWN.

1ST FLR. FLOOR  
 EL. + 100'-0" TYP.

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 EL. + 100'-0" TYP.

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1ST FLR. FLOOR  
 EL. + 100'-0" TYP.

1ST FLR. FLOOR  
 EL. + 100'-0" TYP.

PIPE PLACE CHIMNEY W/ HANG. FLASHING PER OWNERS SEL. TYP.

CONTINUOUS LOW PROFILE RIDGE VENT, TYP. ALL ROOF FINISHES.

ROOF FLOOR  
 EL. + 123'-11" ± TYP.

NEW GARAGE ADDITION  
 ROOF, 9A/12 SLOPE.

DOUBLE HUNG VINYL CLAD WINDOWS W/ TRIM SEL. BY OWNER. TYP. ALL NEW WINDOWS U

GARAGE ROOF FLOOR  
 EL. + 113'-0" ± TYP. REF.

EXTD. GARAGE ROOF, MODIF. AS REQUIRED TO ACCOMMODATE ADDITION ROOF.

GARAGE ROOF STRUCTURE  
 EL. + 100'-0" ± TYP. REF. EXTD. GAR. TO MASTER.

TYP. VENT. BOARD & BATTEN SIDING & TRIM AS SHOWN TO REPLACE EXST.

BASEMENT FOUNDATION & FOOTING BELOW GRADE, DARNED, TYP.

SAFETY GLAZING BALF GLASS PNEUMATIC ROOF & TRIM, PER OWNERS SEL.

FIRST FLOOR PORCH STEPS & RAILING PER OWNERS SEL. W/ 4" THICK FINISH. REINFORCED SLAB TO SUPPORT STEPS & WALKWAY, DARNED.

GARAGE FLOOR  
 EL. + 94'-4" TO 94'-6" BELOW GRADE

STEEL FOUNDATION & FOOTING AS REQUIRED TO MAINTAIN REQUIRED UNDISTURBED BEARINGS.

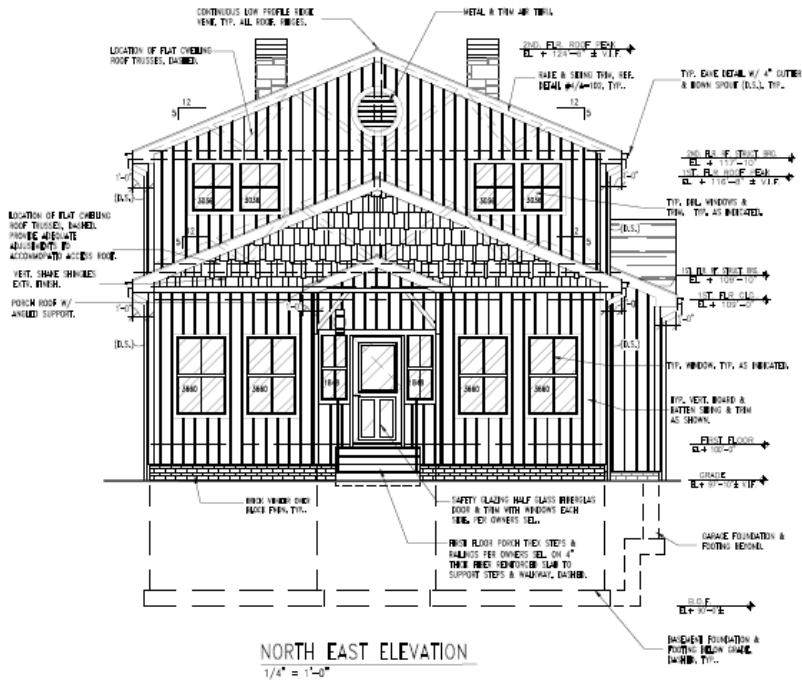
PORTION OF NEW GARAGE ATTACHED TO EXISTING GARAGE.

NORTH WEST ELEVATION  
 1/4" = 1'-0"

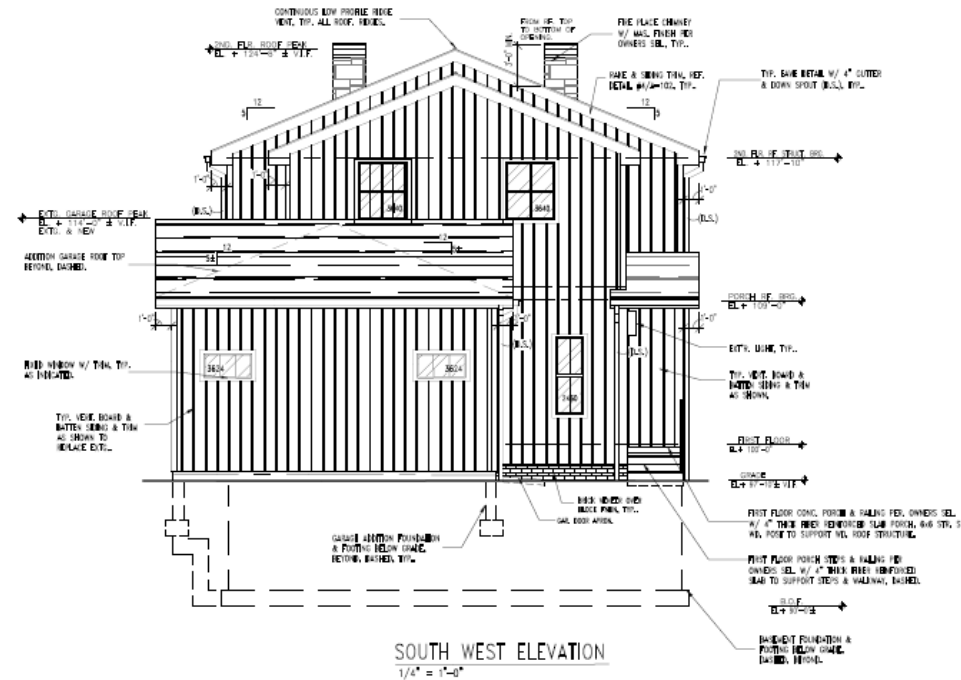


# Docket No. 05-43-23 (1464 Riverside)

## Residential Demolition/New Construction



**NORTH EAST ELEVATION**  
1/4" = 1'-0"



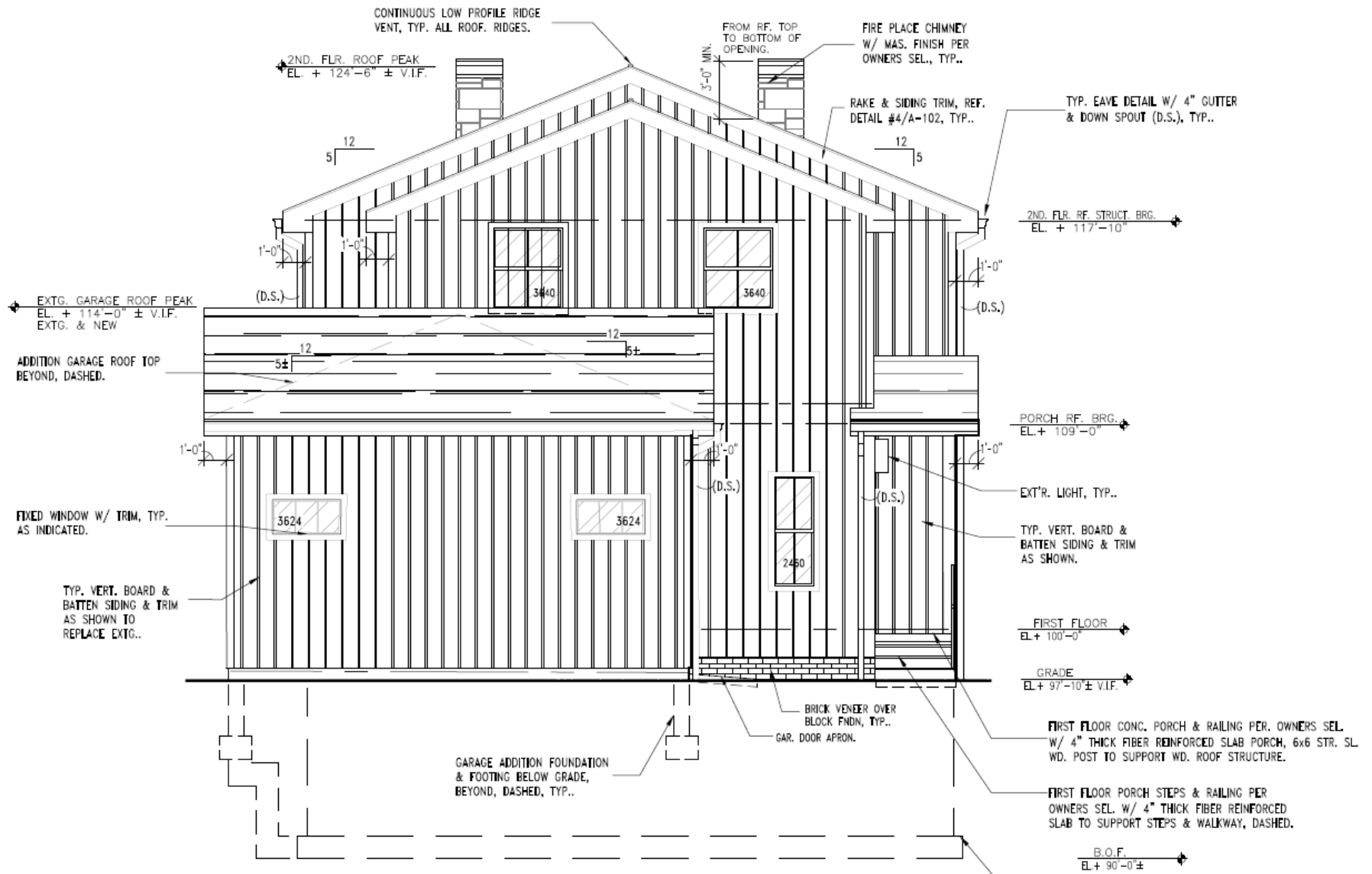
**SOUTH WEST ELEVATION**  
1/4" = 1'-0"



# Docket No. 05-43-23 (1464 Riverside)

## Residential Demolition/New Construction



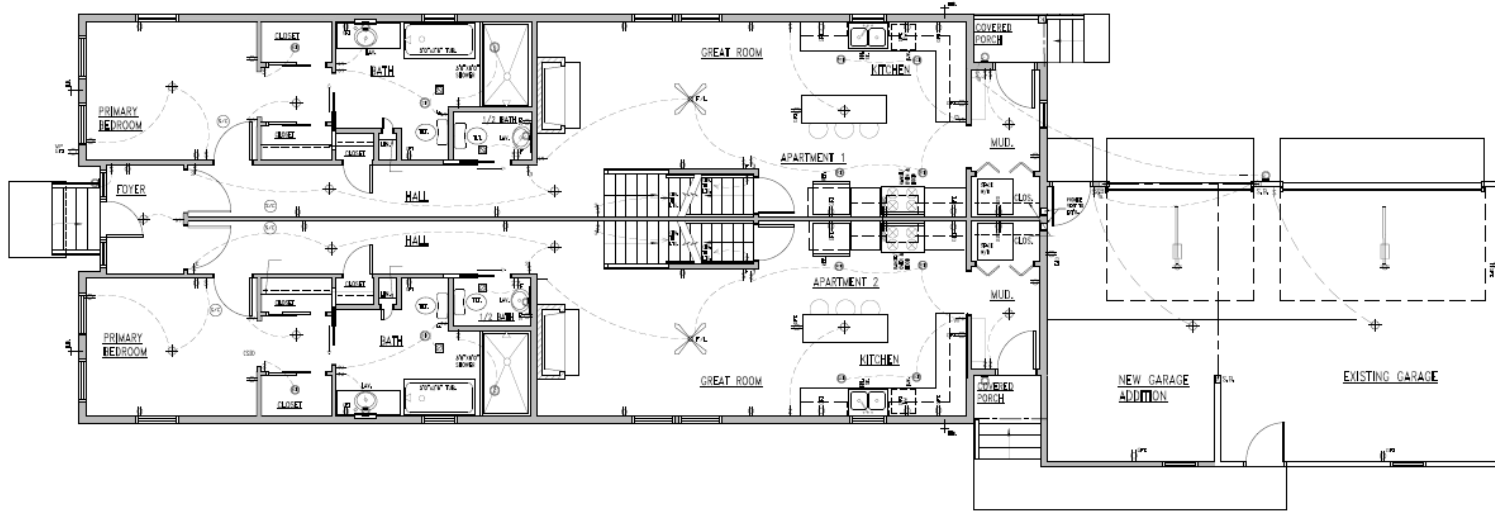


**SOUTH WEST ELEVATION**

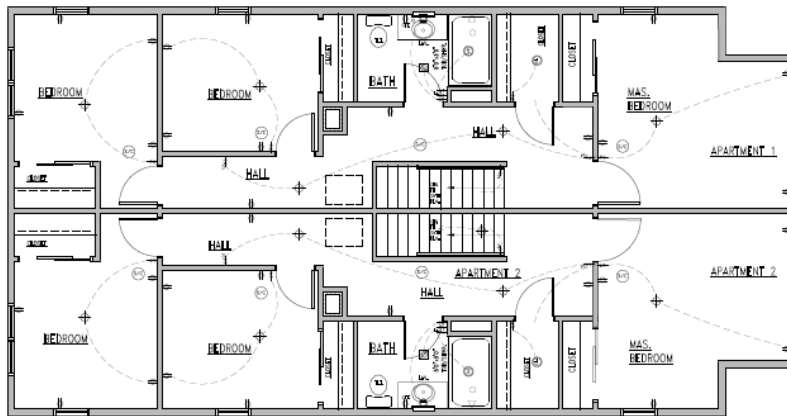
1/4" = 1'-0"

**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction





FIRST FLOOR ENGINEERING DETAILS  
NO SCALE



SECOND FLOOR ENGINEERING DETAILS  
NO SCALE



ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
+	CEILING LIGHT
⊗	CALL OUT TO WEATHER PROOF EXTERIOR LIGHT
⊗	COLDING FAULT LIGHT (COLD F/L)
⊗	75 CFM EXHAUST FAN
⊗	W/600 CFM LEI
⊗	BEDROOM F/L
⊗	300W B/L
⊗	100 BULB FAN/EXHAUST
⊗	W/600 CFM F/L
⊗	LEI OFFICE LIGHT
⊗	SWITCH
⊗	SWITCH
⊗	FAN SWITCH
⊗	100W DIMMABLE DETECTOR/ALARM & C/O DETECTOR/ALARM

**SPECIAL FUTURE NOTES:**

- ALL CEILING FANS TO BE WEI FOR FAN & LIGHT ON ON 120V DIM SWITCHE.
- PROVIDE EXHAUST FAN & CALL WITH 6" DUCT EXTENDED TO HALL OR ROOF EXTERIOR WITH INSULATED DUCT. TOP OF ALL EXHAUST FAN LOCATIONS INSULATED. ALL CEILING FANS TO BE WEI FOR FAN & LIGHT ON ON 120V DIM SWITCHE.
- PROVIDE SOUND VIB. UNIT FILTERS & ENTER AT A 4" DIA. AREA. COVER EXIST. SOUND/UNIT. LEAVEN WITH COVER.
- ALL ELECTRICAL RITUES AND LOCATIONS SHOWN ON PLANS ARE SHOWN IN FUTURE. BULB ELECTION AND LOCATIONS SHALL BE IN COMBANCE WITH APPLICABLE CODES.
- ELECTRICAL CONTRACTOR SHALL PROVIDE BUILDING AND PANEL LEAVING DRAWINGS TO BUILDING ELECTRICAL DEPARTMENT. ALL IN COMBANCE WITH CODE.
- ALL POWER OUTLETS SHALL BE ARC RESISTANT.
- ALL UNITS SHALL BE LED.
- COMBO SMOKE DETECTOR/ALARM & C/O DETECTOR/ALARM SHALL BE INTERCONNECTED.
- BATHROOMS WITH SLOTTED BACKSIT. EXHAUST OUTLINE SLEEPING AREA SHALL INCLUDE PHOTO ELECTRIC TECH.
- ALL OPEN & NEP OR OUTLETS SHALL BE WATER & HEAT/PROTECTED AS REQUIRED PER APPLICABLE CODE COMPLIANCE.



# Docket No. 05-43-23 (1464 Riverside)

## Residential Demolition/New Construction



Vinyl Vertical Siding w/Black Asphalt Roofing



White Window + Black Trim



Exterior Door



**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction

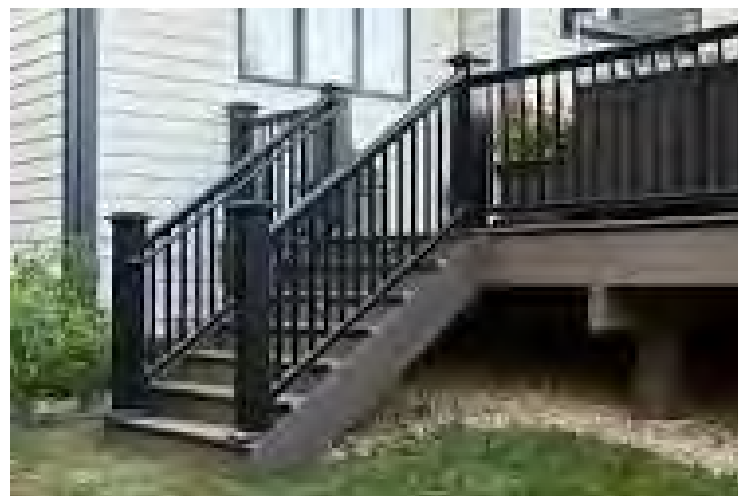
Exterior Lighting



Black Carriage Garage Door



Black Window Boxes



Black Railing System



**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction



NORTH EAST ELEVATION

$1/4" = 1'-0"$

**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction





SOUTH WEST ELEVATION

$1/4" = 1'-0"$

**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction





**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction

# Neighborhood Context



**Docket No. 05-43-23 (1464 Riverside)**  
Residential Demolition/New Construction

**Applicant proposes addition of front porch.**

**City Notes:**

- No zoning issues.



**Docket No. 05-44-23 (15608 Lake)**

**Addition of Front Porch**

**Susan Broadwater**

# 15608 Lake Avenue

ISSUE	DATE	DESCRIPTION
1	04.19.23	ABR presentation



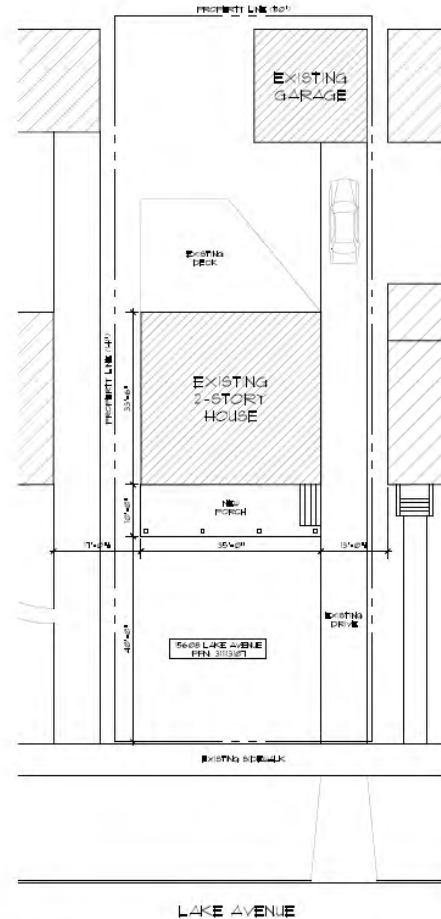
SITE LOCATION MAP  
NTS



STREET VIEW  
NTS



PROPOSED RENDERING  
NTS



ARCHITECTURAL SITE PLAN  
GRAPHIC SCALE FEET  
NORTH

PAUL R. BEEGAN LICENSE #12574  
EXPIRATION DATE: 12.31.2023

**BEEGAN**  
ARCHITECTURAL DESIGN

15763 MADISON AVENUE  
LAKWOOD, OHIO 44107  
WWW.BEEGAN-AD.COM

216.521.9000 PHONE  
216.916.4591 FAX  
PAUL@BEEGAN-AD.COM

project no. 22-031

**Rogozinski Residence  
Residential Renovations**

15608 lake avenue  
lakewood, ohio 44107

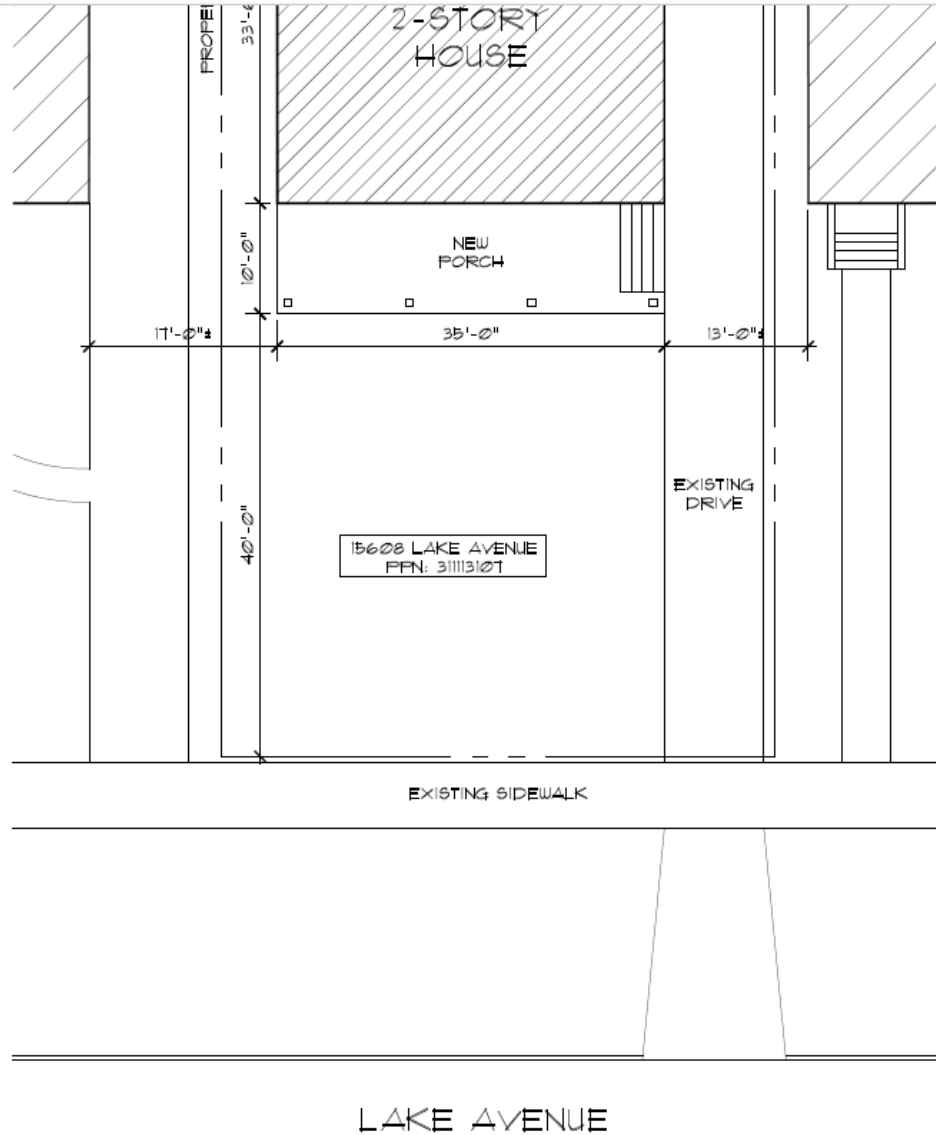
Architectural Site Plan

**A0**

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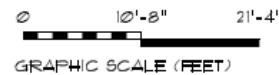


## Docket No. 05-44-23 (15608 Lake) Addition of Front Porch



ARCHITECTURAL SITE PLAN

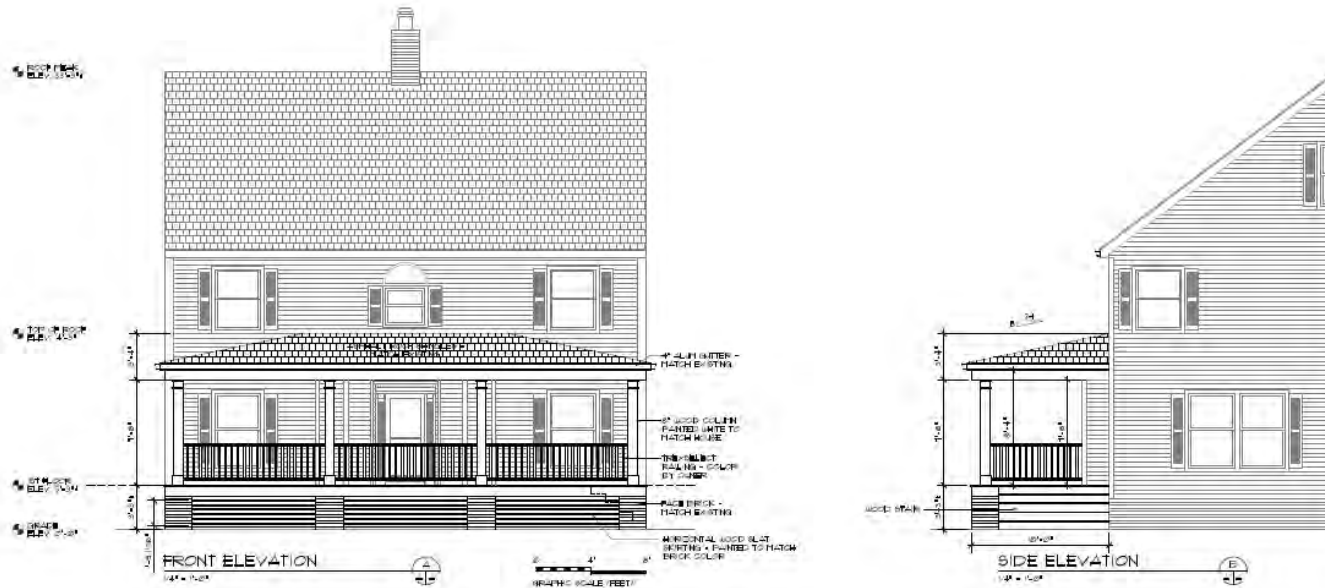
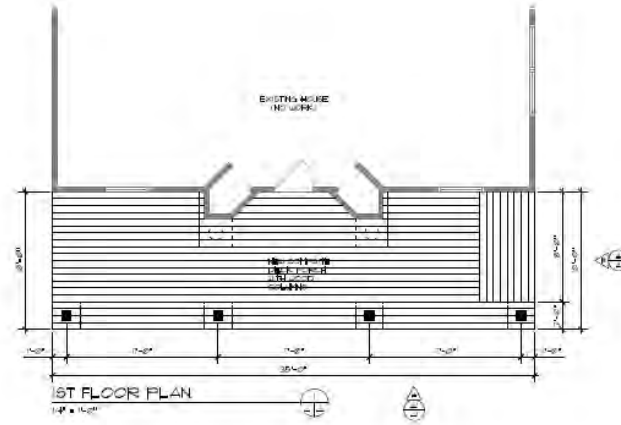
3/32" = 1'-0"



**Docket No. 05-44-23 (15608 Lake)**  
Addition of Front Porch



ISSUE	DATE	DESCRIPTION
1	04.19.23	ABR presentation



PAUL R. BEEGAN LICENSE #12574  
EXPIRATION DATE: 12.31.2023

**BEEGAN**  
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216.521.9000 PHONE  
LAKEWOOD, OHIO 44107 216.916.4571 FAX  
WWW.BEEGAN-AD.COM PAUL.BEEGAN-AD.COM

project no. 22-031

**Rogozinski Residence**  
Residential Renovations

15608 lake avenue  
lakewood, ohio 44107

Floor Plan &  
Exterior Elevations

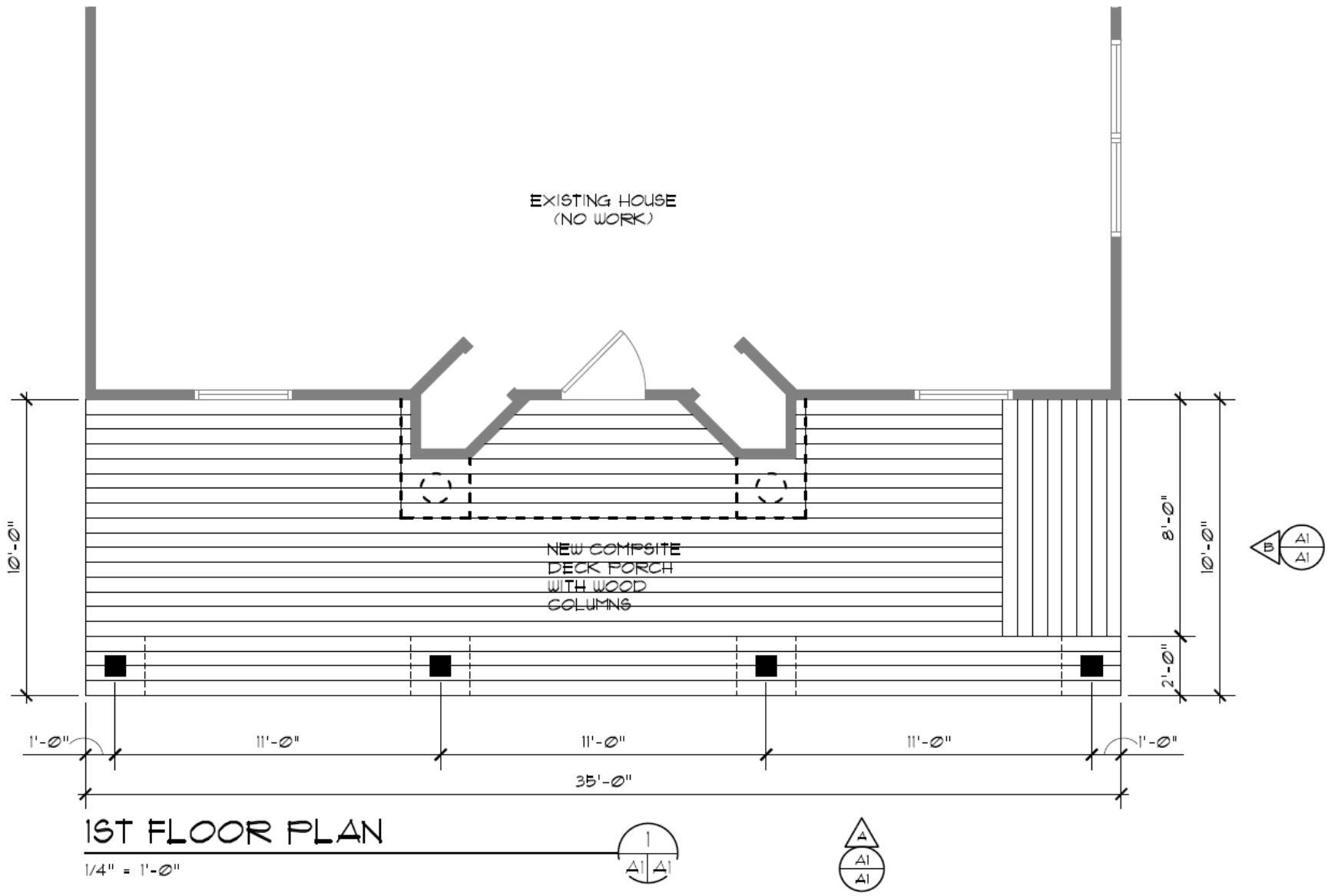
**A1**

©1 BEEGAN ARCHITECTURAL DESIGN LLC



# Docket No. 05-44-23 (15608 Lake)

## Addition of Front Porch



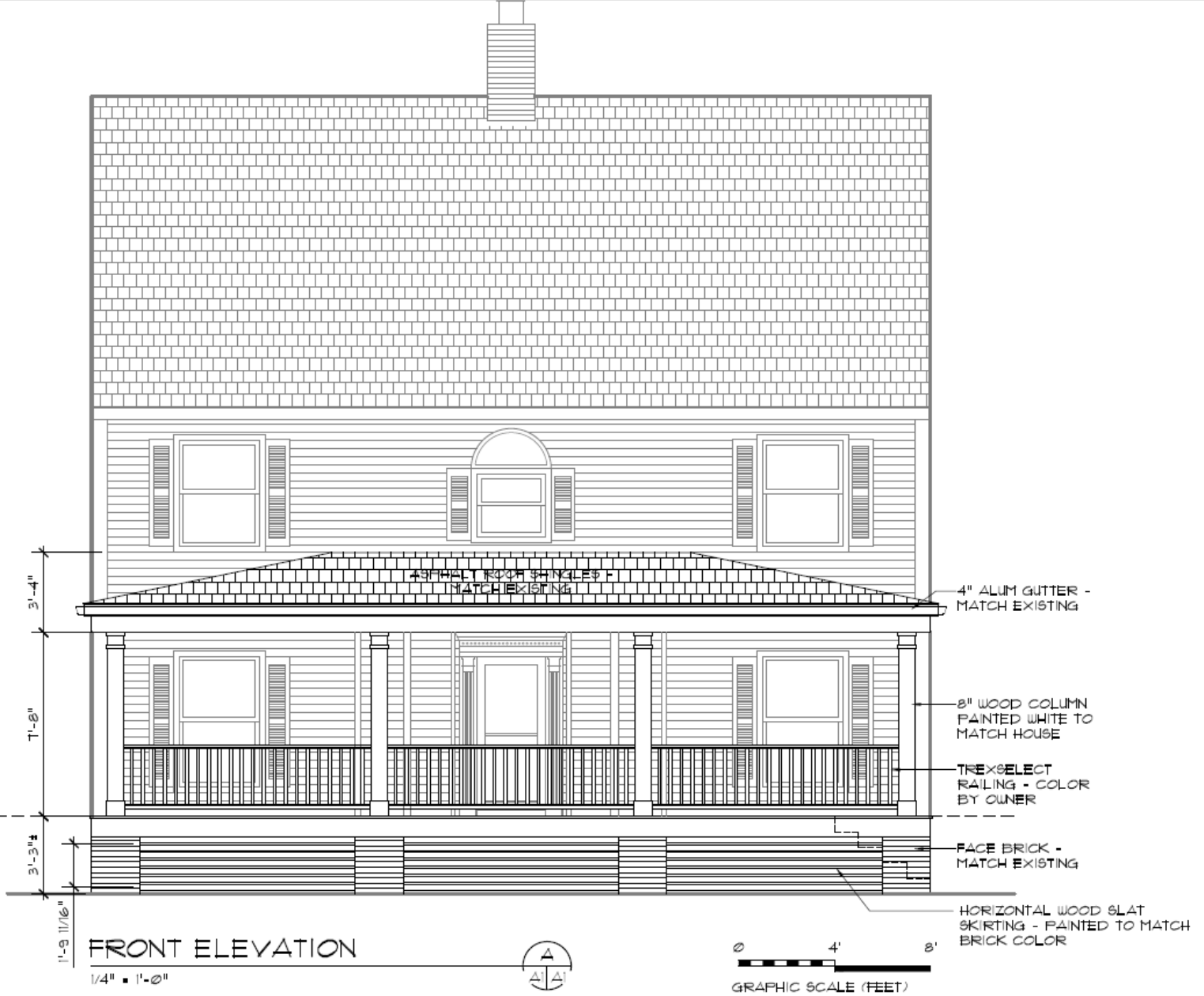
**Docket No. 05-44-23 (15608 Lake)**  
Addition of Front Porch

ROOF PEAK  
ELEV. 33'-3"

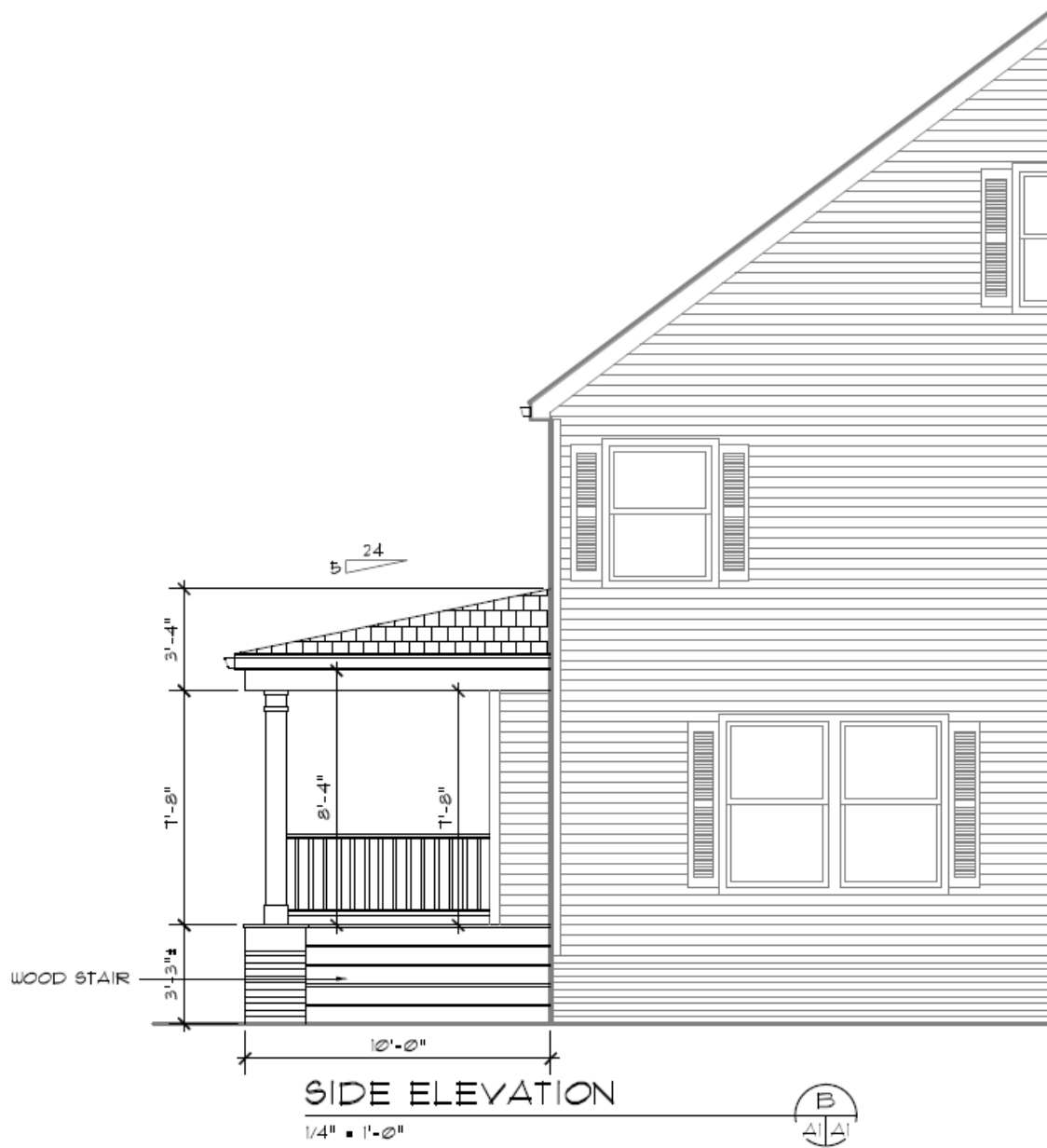
TOP OF ROOF  
ELEV. 14'-3"

1ST FLOOR  
ELEV. 3'-3"

GRADE  
ELEV. 0'-0"



**Docket No. 05-44-23 (15608 Lake)**  
Addition of Front Porch



**Docket No. 05-44-23 (15608 Lake)**  
 Addition of Front Porch



**Docket No. 05-44-23 (15608 Lake)**  
Addition of Front Porch



**Trex Transcend<sup>®</sup>**  
TROPICALS

Elevated aesthetics paired with the highest level of performance.

\$\$\$\$ ★★★★★



SOLID      YEARS OF WARRANTY

GROOVES EDGE      Use with Trex Hideaway System for a clean, sc



**TIMELESS  
DESIGN YOU  
CAN TRUST—  
AND TAILOR**

As strong and sturdy as its namesake decking, Trex Transcend puts every color combination within reach. Style your own, or eliminate the guesswork with pre-designed kits.

**Trex Transcend<sup>®</sup>**  
RAILING

COMPOSITE top & bottom rails, square balusters



ALUMINUM round balusters



**TRANSCEND RAILING COLLECTION**

**Docket No. 05-44-23 (15608 Lake)**  
Addition of Front Porch





**Trex Transcend®**  
RAILING

*Traditional style made simple*  
**WITH RAIL KITS**

A Transcend kit includes composite top and bottom rails and your choice of square composite or round aluminum balusters. That means:

- ✓ Fewer steps in your selection and ordering processes
- ✓ Railing components all in one box\*
- ✓ Pre-designed in our most popular looks

KIT 1: RAIL & SQUARE COMPOSITE BALUSTER	KIT 2: RAIL & ROUND ALUMINUM BALUSTER	KIT 3: COCKTAIL RAIL & ROUND ALUMINUM BALUSTER

A cocktail rail kit allows for a Transcend or Sublet deck board\*\* to be installed on top of a Universal top/bottom rail, creating the perfect flat surface for beverages, planters and more.  
Cocktail rail kits only available with rails in WT with round aluminum balusters in BK.

\*Post sleeves, cap and skirt sold separately.  
\*\*All deck boards sold separately.



**Docket No. 05-44-23 (15608 Lake)**  
Addition of Front Porch

**Applicant proposes commercial awning renovation.**

**City Notes:**

N/A.



**Docket No. 05-45-23-A (14824 Detroit)**

**Renovation – Awnings (CoHatch)**

**Brian Hennies**



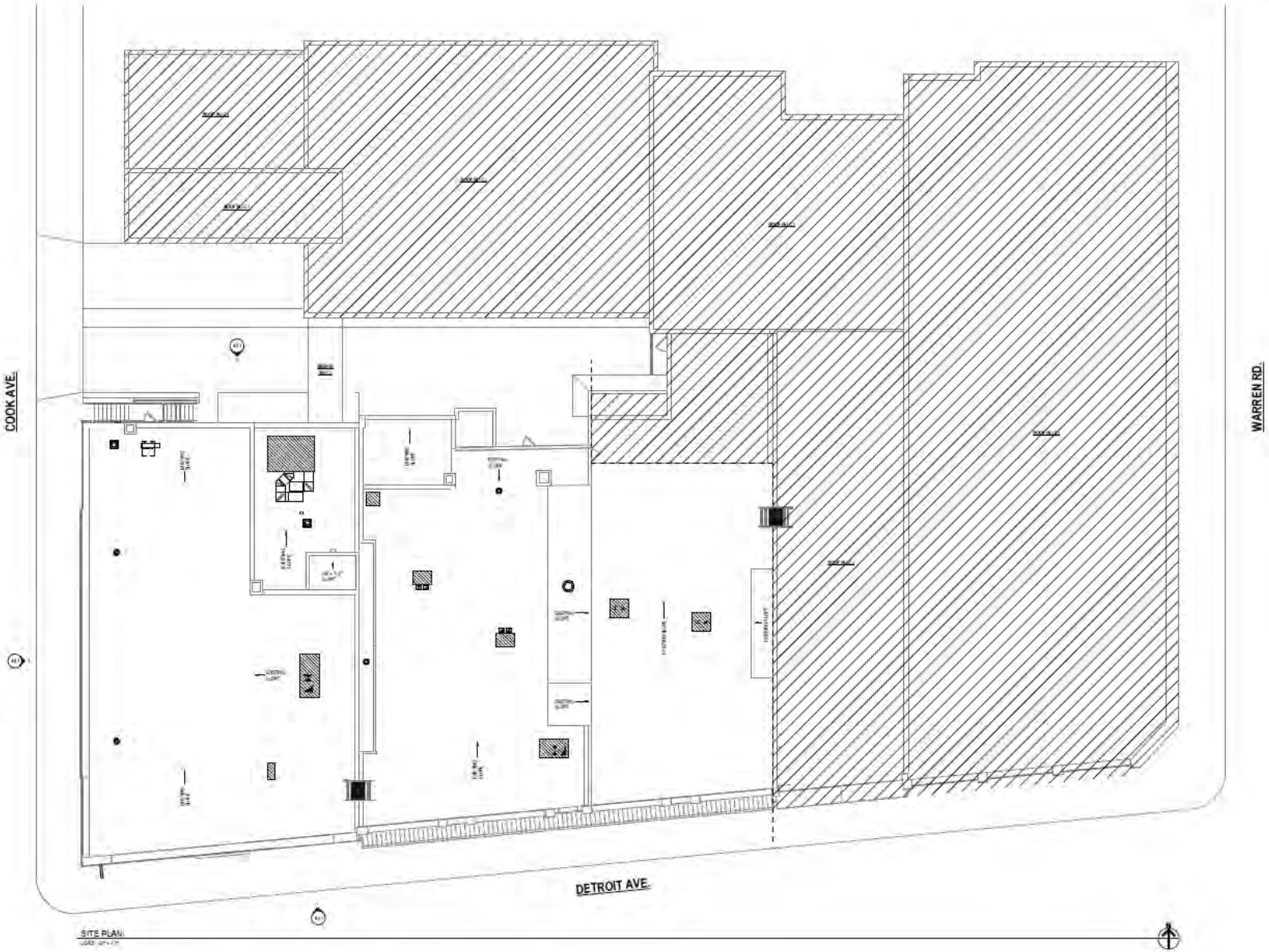
**Docket No. 05-45-23-A (14824 Detroit)**  
Renovation – Awnings (CoHatch)



**Docket No. 05-45-23-A (14824 Detroit)**  
Renovation – Awnings (CoHatch)



**Docket No. 05-45-23-A (14824 Detroit)**  
Renovation – Awnings (CoHatch)

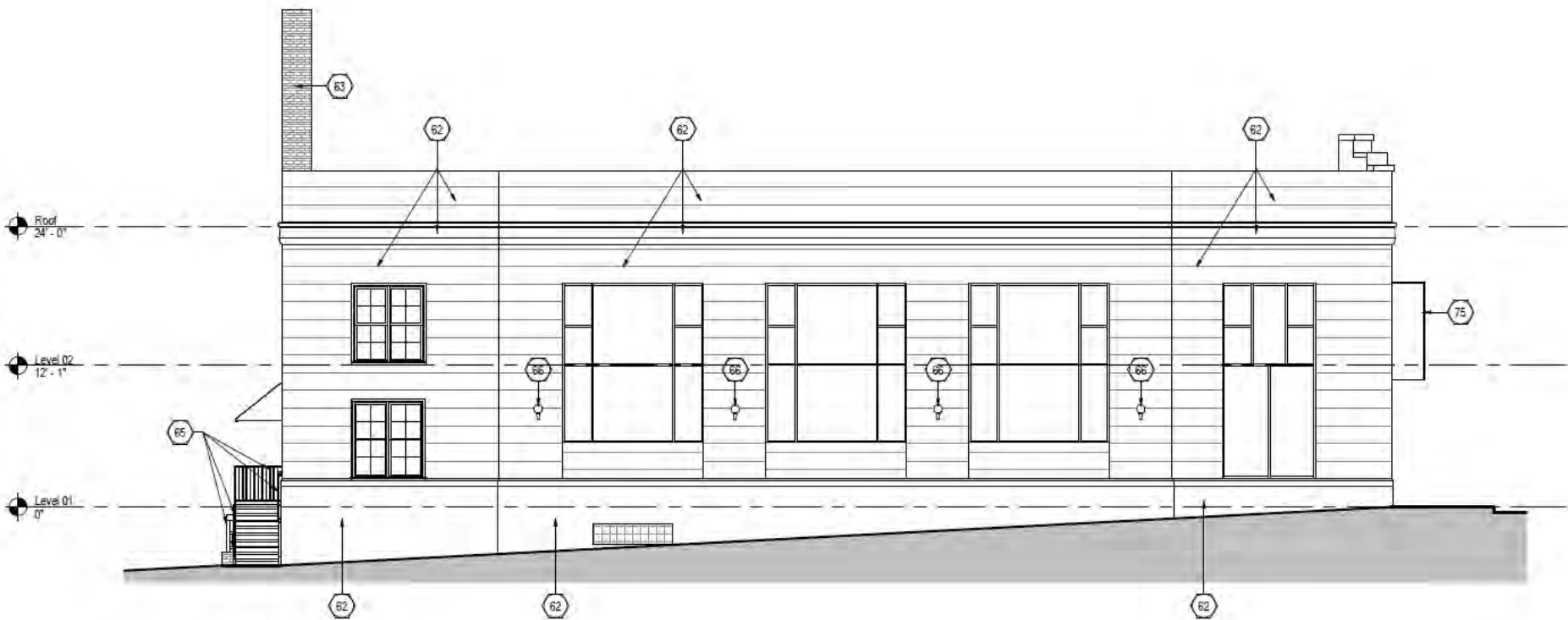


# Docket No. 05-45-23-A (14824 Detroit)

## Renovation - Awnings (CoHatch)



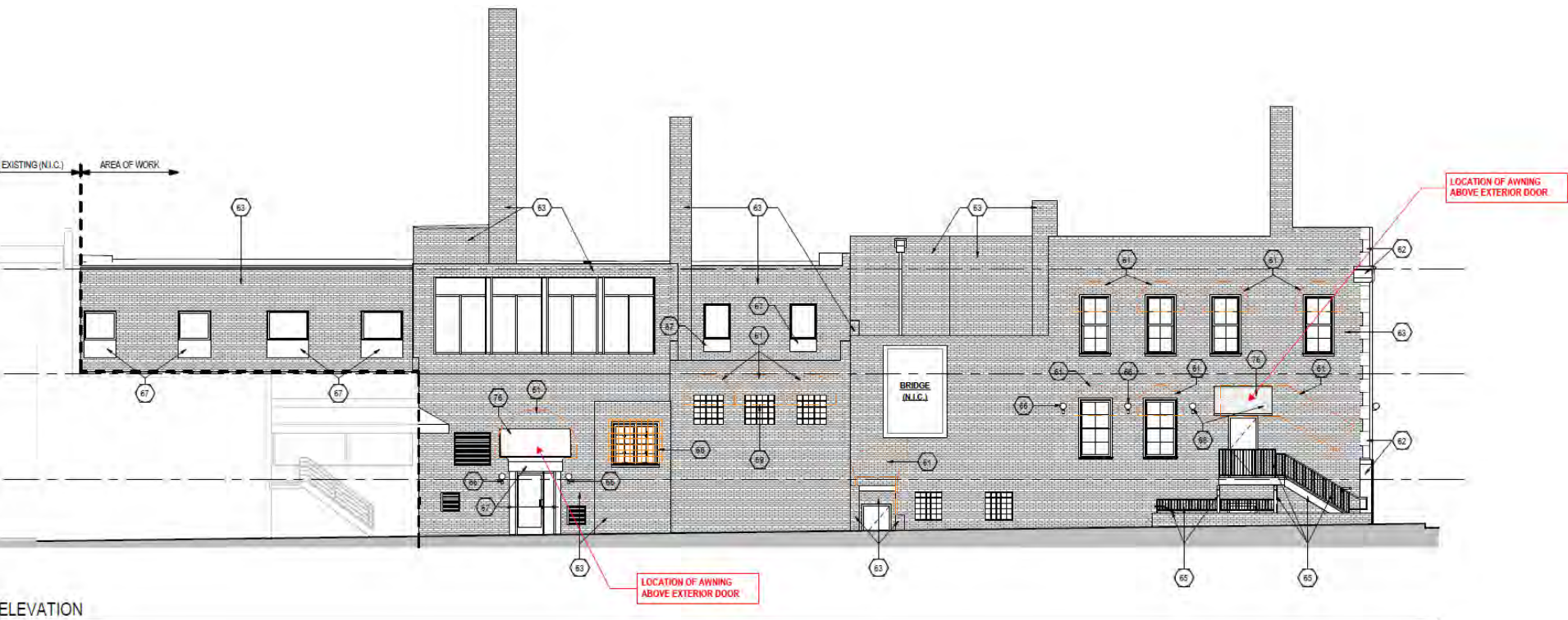




3 WEST ELEVATION  
 A3.1 SCALE: 1/8" = 1'-0"

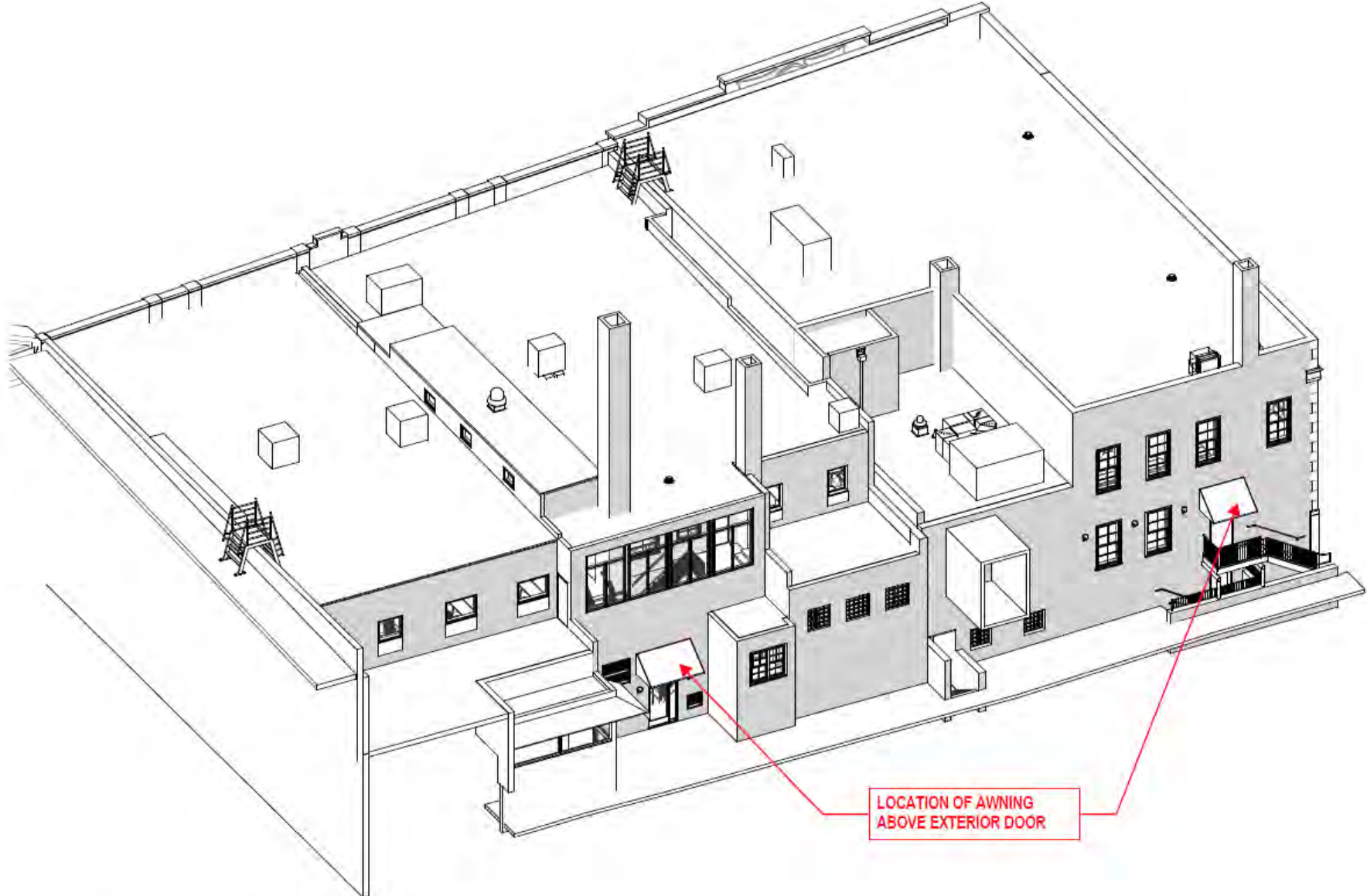


**Docket No. 05-45-23-A (14824 Detroit)**  
 Renovation – Awnings (CoHatch)



# Docket No. 05-45-23-A (14824 Detroit)

## Renovation – Awnings (CoHatch)

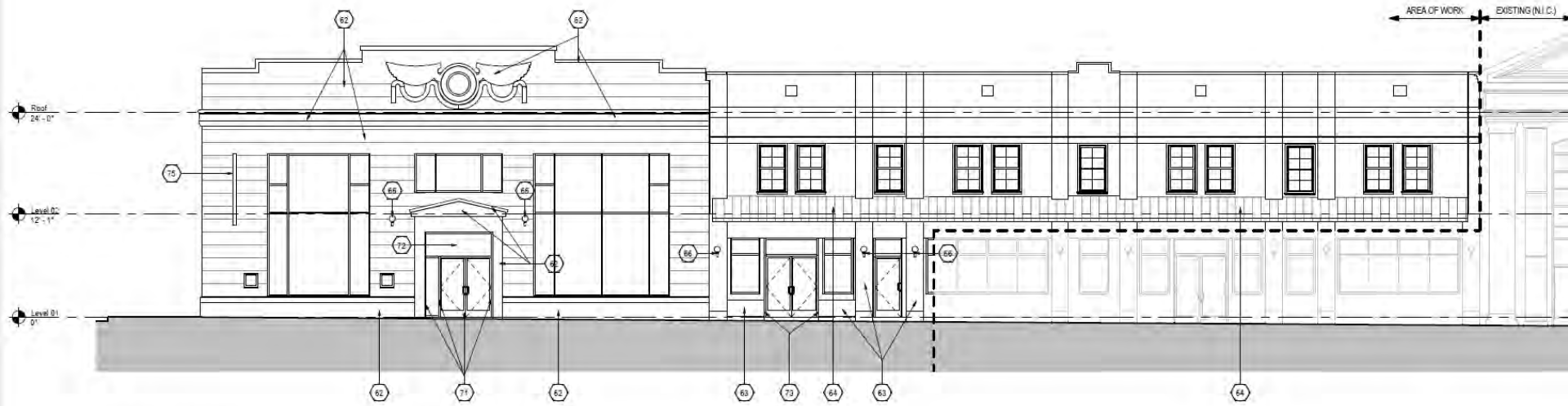


LOCATION OF AWNING  
ABOVE EXTERIOR DOOR

EXTERIOR ISOMETRIC



**Docket No. 05-45-23-A (14824 Detroit)**  
Renovation – Awnings (CoHatch)



1 SOUTH ELEVATION  
 A3.1 SCALE: 1/8" = 1'-0"



**Docket No. 05-45-23-A (14824 Detroit)**  
 Renovation – Awnings (CoHatch)



**Docket No. 05-45-23-A (14824 Detroit)**  
Renovation – Awnings (CoHatch)

## Applicant proposes new signage in C2 District.

### City Notes:

- ❑ Main Building Façade (~60') = maximum signage area of ~90 ft<sup>2</sup> (plus 25% for rear entry).
- ❑ Proposing projection sign (25 ft<sup>2</sup>) + minor awning/window graphics (<10 ft<sup>2</sup>)
- ❑ Recommend variance for unique mural sign proposed for rear/northern face of building.



**Docket No. 05-45-23-S (14824 Detroit)**

**Sign - CoHatch  
Brian Hennies**

**SITE PLAN**

SCALE: 1/2" = 1'-0"



**WORK SCOPE**

- BL.1** D/F NON-ILLUMINATED BLADE SIGN DISPLAY (Qty 1)
- AW.1** NON-ILLUMINATED AWNING (Qty 1)
- AW.2** NON-ILLUMINATED AWNING (Qty 1)
- VI.1** WINDOW VINYL (Qty 1) - **BY OTHERS**
- VI.2** DOOR VINYL (Qty 1) - **BY OTHERS**
- WM.1** WALL MURAL (Qty 1) - **BY OTHERS**

**CODE ALLOWANCE**

Empty box for code allowance details.

<p><b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESSIGN.COM</p>	<p>JOB #: 285678_R0 DATE: 04.18.2023 DESIGNER: J. CASTILLO SALES REP: E ZEISE PROJ MGR: K. LOWERY</p>	REV	DATE	BY	DESCRIPTION	CLIENT APPROVAL	DATE	 <p>COHATCH 14826 DETROIT AVENUE LAKEWOOD, OH 44107</p>	<p>SHEET NUMBER <b>1.0</b></p>

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**Docket No. 05-45-23-S (14824 Detroit)**  
Sign - CoHatch

# BL.1 D/F NON-ILLUMINATED BLADE SIGN DISPLAY (Qty 1)

SQUARE FOOTAGE: 25.0



PROPOSED SIGNAGE



FRONT VIEW  
SCALE: 3/4" = 1'-0"



END VIEW  
SCALE: 3/4" = 1'-0"



OPPOSITE VIEW  
SCALE: 3/4" = 1'-0"

**COLORS/FINISHES**

- P-1 BLACK, SATIN FINISH
- P-2 PTM PMS 2256C
- P-3 BLACK

**SPECIFICATIONS**

1. ALUMINUM TUBE FRAME PAINTED P-3
2. .125" ALUMINUM FACES PAINTED P-2
3. 1/4" THK. ALUMINUM FCO LOGO & LETTERS PAINTED P-1
4. 3" SQ. TUBE BRACKETS PAINTED P-2
5. 8" x 8" x 1/2" THK. MOUNTING PLATE P-3
6. MOUNTING HARDWARE TO SUIT FIELD CONDITIONS P-3

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JOB #: 285678\_R0  
DATE: 04.18.2023  
DESIGNER: J. CASTILLO  
SALES REP: E ZEISE  
PROJ MGR: K. LOWERY

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CLIENT APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_



COHATCH  
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LAKEWOOD, OH 44107

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2.0

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# Docket No. 05-45-23-S (14824 Detroit) Sign - CoHatch

# AW.1/AW.2 NON-ILLUMINATED AWNINGS (Qty 1 of EA)

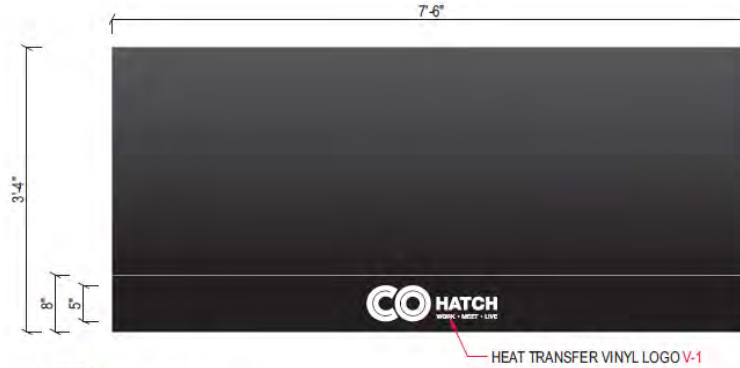
SQUARE FOOTAGE: 25.0



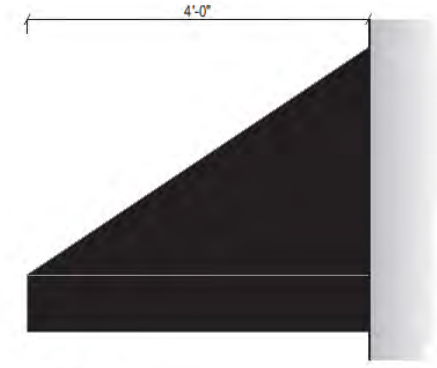
PROPOSED SIGNAGE



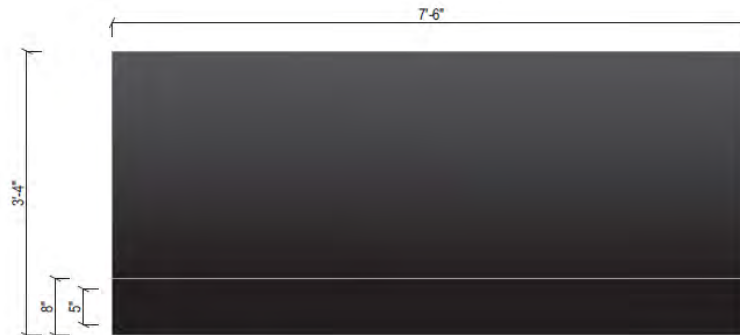
PROPOSED SIGNAGE



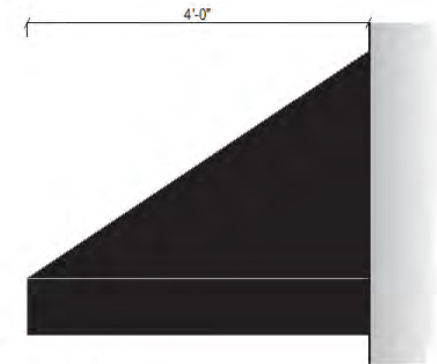
**AW.1** FRONT VIEW  
SCALE: 3/4" = 1'-0"



**END VIEW**  
SCALE: 3/4" = 1'-0"



**AW.2** FRONT VIEW  
SCALE: 3/4" = 1'-0"



**END VIEW**  
SCALE: 3/4" = 1'-0"

- COLORS/FINISHES**
- P-1 BLACK, SATIN FINISH
  - V-1 HEAT TRANSFER WHITE
  - M-1 BLACK SUNBRELLA

- SPECIFICATIONS**
1. FABRICATED 1 1/2" SQ. TUBE ALUMINUM FRAME (WELDED CONSTRUCTION)
  2. FRAME PAINTED P-1
  3. COVER FRAME w/ SUNBRELLA FABRIC M-1 (SKU 82008-0000 BLACK), WATER RESISTANT & FIRE TREATED
  4. OPEN BOTTOM

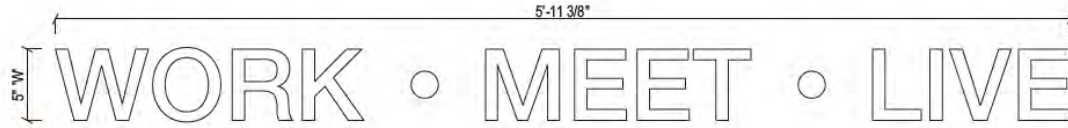
<p><b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESIGN.COM</p>	<p>JOB #: 285678_R0 DATE: 04.18.2023 DESIGNER: J. CASTILLO SALES REP: E. ZEISE PROJ MGR: K. LOWERY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td><td></td></tr> </tbody> </table>	REV	DATE	BY	DESCRIPTION	1				2				3				4				5				6				7				8				9				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">CLIENT APPROVAL</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td style="height: 40px;"></td> <td></td> </tr> <tr> <td>LANDLORD APPROVAL</td> <td>DATE</td> </tr> <tr> <td style="height: 40px;"></td> <td></td> </tr> </table>	CLIENT APPROVAL	DATE			LANDLORD APPROVAL	DATE				<p>COHATCH 14826 DETROIT AVENUE LAKEWOOD, OH 44107</p>	<p>SHEET NUMBER</p> <p style="font-size: 2em; font-weight: bold;">3.0</p>
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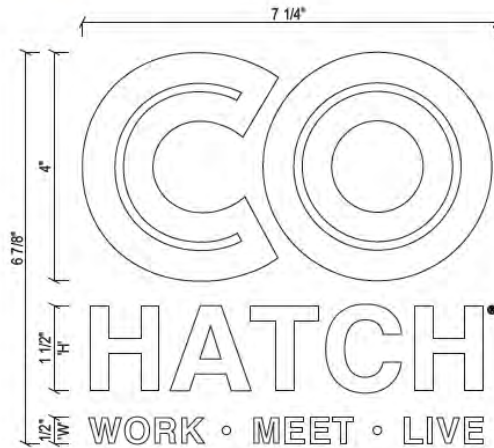


# Docket No. 05-45-23-S (14824 Detroit) Sign - CoHatch

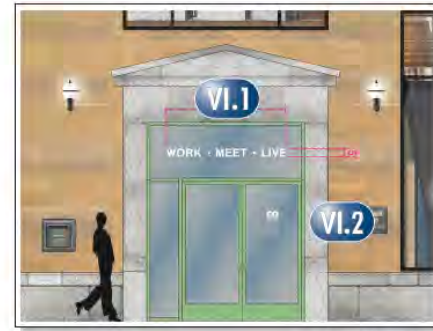
VI.1/VI.2 DOOR & WINDOW VINYL LAYOUTS (Qty 1 of EA) - BY OTHERS



**VI.1** FRONT VIEW  
SCALE: 1 1/2" = 1'-0"



**VI.2** FRONT VIEW  
SCALE: HALF SIZE



PROPOSED SIGNAGE

COLORS/FINISHES

□ V-1 WHITE

SPECIFICATIONS

- VINYL APPLIED 1st SURFACE TO EXISTING GLASS V-1

NOTES

- CLEAN FACE SURFACES PRIOR TO APPLYING VINYL GRAPHICS

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JOB #: 285678\_R0  
DATE: 04.18.2023  
DESIGNER: J. CASTILLO  
SALES REP: E ZEISE  
PROJ MGR: K. LOWERY

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14826 DETROIT AVENUE  
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SHEET NUMBER

4.0

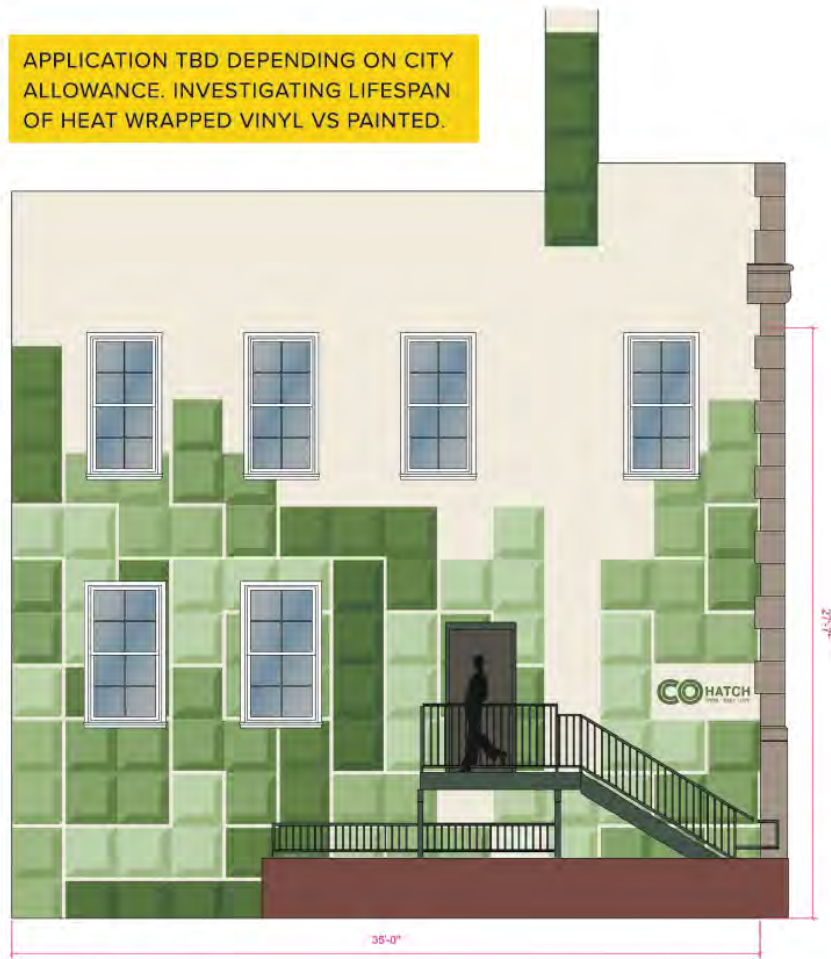
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**Docket No. 05-45-23-S (14824 Detroit)**  
Sign - CoHatch

**WM.1 WALL MURAL (Qty 1) - BY OTHERS**

APPLICATION TBD DEPENDING ON CITY ALLOWANCE. INVESTIGATING LIFESPAN OF HEAT WRAPPED VINYL VS PAINTED.



**EXTERIOR ELEVATION**  
SCALE: 3/16" = 1'-0"

**COLORS/FINISHES**

M-1 DIGITALLY PRINTED VINYL OR PAINTED GRAPHICS (VERIFY)

**SPECIFICATIONS**

1. ACTUAL CONSTRUCTION METHOD TO BE DETERMINED (VERIFY)

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DESIGNER: J. CASTILLO  
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# Docket No. 05-45-23-S (14824 Detroit)

## Sign - CoHatch



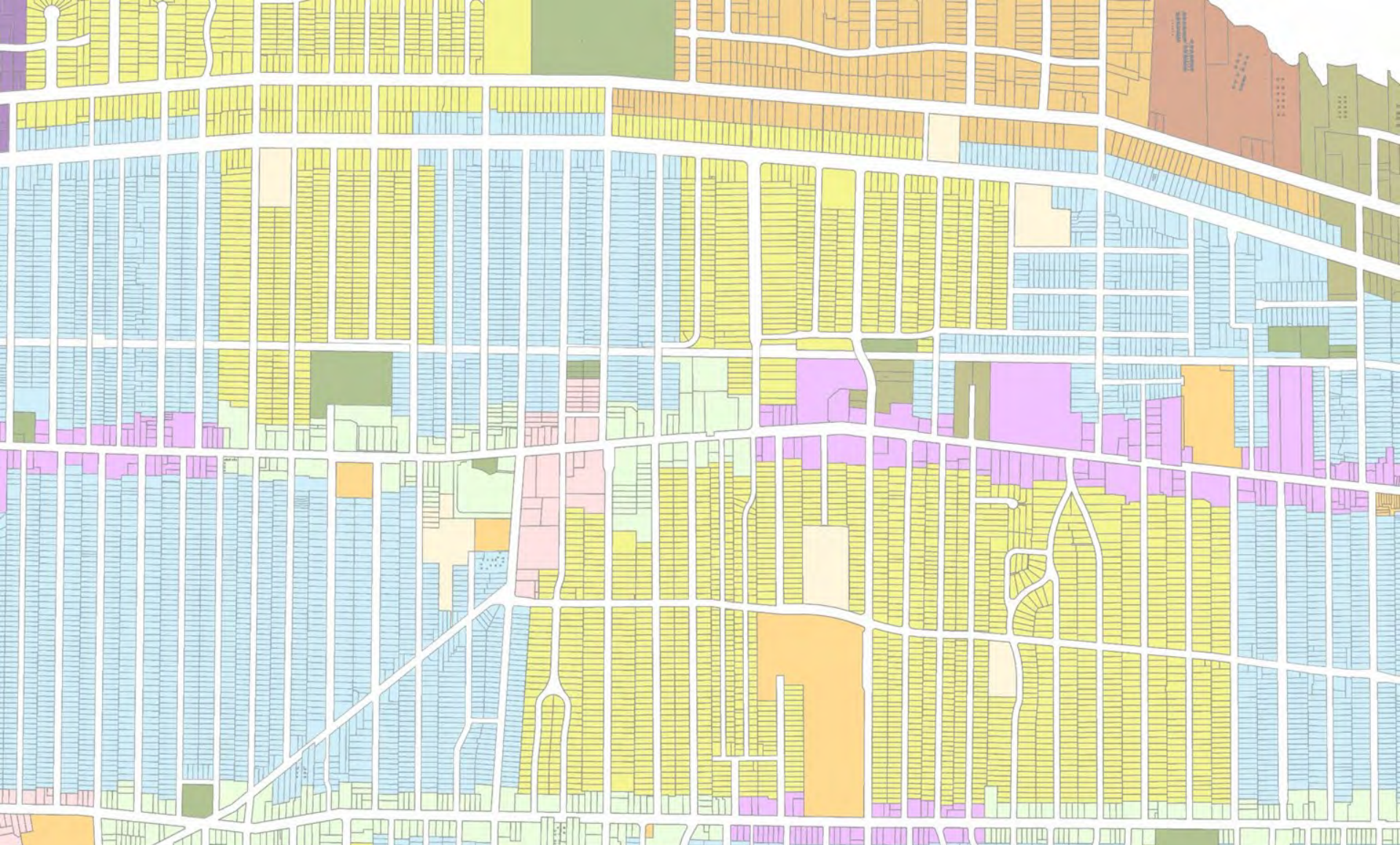
## **Additional Administrative Item:**

- Request to select one Board member to serve on Residential Standards Working Group.



# **Architectural Board of Review**

May 2023



# Architectural Board of Review

May 2023

Brian Hennies, Richard L. Bowen & Associates, applicant was present to explain the requests. There would be no additional illumination on the front elevation, a mural would be installed on the rear of the building. The members asked about any exterior renovations; there would be none. Staff said the mural would count as a sign because it included the business name/logo. Staff recommended heat applied/wrapped vinyl for the mural and approval. Discussion ensued about interpretation of branding and size of the mural and its variance. Public comment was closed as no one addressed the item. Staff did not receive any comments prior the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE Docket No. 05-45-23-A** as presented. All the members voted yea; the motion passed.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE Docket No. 05-45-23-S** as presented. All the members voted yea; the motion passed.

**ADDITIONAL ADMINISTRATIVE ITEM:**

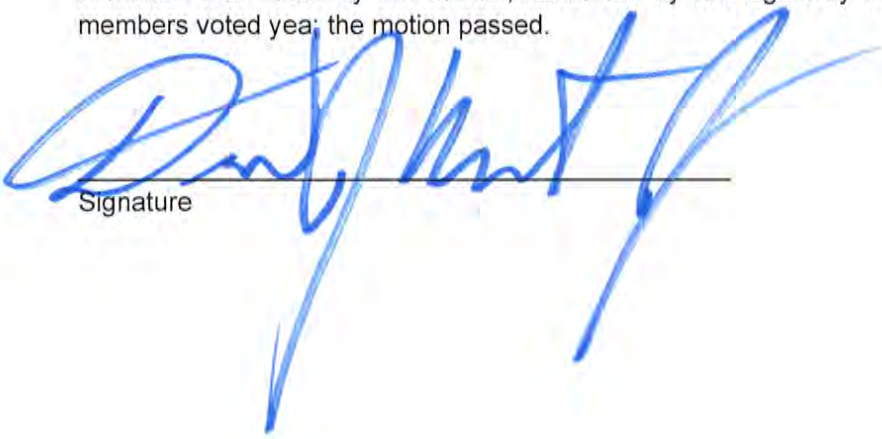
Request to select one Board member to serve on Residential Standards Working Group.

Staff had been tasked to assist Jeff Crossman, Attorney, Law Department, to work through the residential design standards contextually. In addition to an ABR member, a member of the Planning Commission would be selected for the internal committee, and the team will meet once a month. The Planning Commission would have the final vote.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **ELECT Ms. Cohan Plessner**. All the members voted yea; the motion passed.

**ADJOURN**

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **ADJOURN** the meeting at 6:51 p.m. All the members voted yea; the motion passed.

A large, stylized handwritten signature in blue ink, written over a horizontal line. The signature is cursive and appears to be 'D. Maniet'.

Signature

06-08-2023

Date