

**MINUTES  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW  
REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
JULY 11, 2024  
5:30 P.M.**

**1. ROLL CALL**

Board Members

Chris Egervary  
David Maniet, Chair  
Hanna Cohan Plessner, Vice Chair  
Nick Slaughterbeck  
Jeremy Smith

Staff

Amanda Cramer, Board Secretary, City Planner  
William Wagner, Assistant Building Commissioner  
Jeff Crossman, First Assistant Law Director

**2. APPROVE THE MINUTES OF THE JUNE 13, 2024 MEETING**

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the June 13, 2024 minutes**. All of the members voted yea; the motion passed.

**3. OPENING REMARKS**

Ms. Cramer read the Opening Remarks into record.

**SUMMARY APPROVED**

At the pre-review meeting, one item was Summary Approved (any conditions will be noted). A motion and a second is needed for approval of Docket No. 07-64-24.

**SIGN REVIEW**

**4. Docket No. 07-64-24**

**15001 Madison Ave.  
Neo Pets and Working Dog**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Steven Foster  
The Sign & Graphics Firm, LLC  
14837 Detroit Ave., Ste. 195  
Lakewood, OH 44107

Applicant proposes new signage in the board band. (Page 97)

\*condition that any window signage be approved by the board before installation.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request with the condition that any window signage be approved by the board before installation**. All the members voted yea; the motion passed.

**OLD BUSINESS**

**ARCHITECTURAL BOARD OF REVIEW**

5. Docket No. 06-57-24

(C)

**16000 + 15801 Detroit Ave.  
Barry Buick Development**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Michael Christoff  
Vocon  
3142 Prospect Ave.  
Cleveland, OH 44115

Applicant proposes a mixed-use development with ground floor new retail, lobby, amenity space, and elevated residential units. (Page 5)

Denver Brooker, Principal with Vocon, and Mark Conzelmann, NewBrook Partners, were present to explain the updated proposal. Discussion ensued about the conditions of the Planning Commission approval granted at its July 9, 2024 meeting. The Board members like the modifications for parking, pedestrian pathway/access, and lighting for the north building. Starting with the site plan, the Board members asked about the six parking spaces leading to Cranford Ave.; mark the surface to enhance the pedestrian /service zone; asked about parking for the retail storefront; asked about bike parking locations (for the north and south buildings); bench by the bus stop; on-site trash receptacles; and landscaping materials. Discussion continued about the architecture. The Board members liked the modifications: ground floor apartments, shoulder course detailing, materials, color palette, and window shades for the first-floor residents. Staff stated for the record that the commercial buildings would be demolished (required a Demo Memo) along with two houses. Public comment was taken (in favor of the project but not a pet-relief area). Comment was received by staff after last month's meeting (in support of the project). It was disclosed that any pet relief area would be on the future Huntington Bank site and was unlikely to be approved by the national financial institution. The Board members said a pet relief area was unnecessary.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following conditions:**

- **The parking area at the Cranford entrance be modified to properly address the zoning regulations at the parking entrance.**
- **Paint the entry to the north building parking area to better represent an entrance and better protect the pedestrian access.**
- **Note that two homes are being demolished as part of the project, 1408 and 1412/1414 Rosewood Ave.**

All the members voted yea; the motion passed.

**RETURN FOR MODIFICATIONS**

**ARCHITECTURAL BOARD OF REVIEW**

6. Docket No. 03-13-24

(R)

**17428 Edgewater Dr.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Alexander Kolbe  
evoDOMUS LLC  
2176 S. Taylor Rd.  
Cleveland Heights, OH 44118

Applicant proposes modifications to a new home construction that was approved at the March 14, 2024 meeting. (Page 44)

Nathan Chavez, property owner, and Alexander Kolbe, evoDOMUS LLC, applicant, were present to explain the modifications. The Board members liked the changes. Discussion ensued about the materials change, contextual integration into the neighborhood, material samples, and colors. Public comment was closed as no one addressed the item. Staff had no further comments.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following conditions:**

- **Materials to match the rendering which uses the millboard, shadow-line board material in Antique Oak and Hardee artisanal siding with color to match the sample shown to the board (the name will be sent to ABR administratively).**

Mr. Egervary, Mr. Maniet, Mr. Slaughterbeck, Mr. Smith voted yea, and Ms. Cohan Plessner voted nay; the motion passed.

**NEW BUSINESS**

**BOARD OF BUILDING STANDARDS**

<b>7. Docket No. 07-59-24</b>	<b>(R)</b>	<b>17879 Lake Rd.</b>
<input type="checkbox"/> Approve		Mark Reinhold
<input type="checkbox"/> Deny		Architect
<input type="checkbox"/> Defer		1120 Forest Rd.
		Lakewood, OH 44107

Applicant proposes a front porch addition, railings do not meet the required standards pursuant to RCO Section 109 – outstanding nonconformance items. This property is in the R1L, Single-Family Low Density district. (Page 48)

Mark Reinhold, Architect, applicant was present to explain the request. Staff provided a brief explanation of the proposal. William Wagner, Assistant Building Commissioner described the need for the hearing. Board members had no comments or questions. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Slaughterbeck to **APPROVE the request as presented.** All the members voted yea; the motion passed.

**SIGN REVIEW**

<b>8. Docket No. 07-63-24</b>		<b>16400 Detroit Ave.</b>
		<b>Body Fit Training</b>
<input type="checkbox"/> Approve		Monica Fletcher
<input type="checkbox"/> Deny		Brady Signs Company
<input type="checkbox"/> Defer		1721 Hancock St.
		Sandusky, OH 44870

Applicant proposes installation of an internally lit 13 ft., six in. high freestanding blade sign. (Page 87)

Ryan Brady, applicant, was present to explain the request. Discussion began by stating the project was a classified as a ground sign, was reduced to 10' in height, and confirmed there would be no other signage at this time. There was concern about future signage. The Board members liked the design. Staff stated these concerns were

discussed previously with the applicant, disclosed there remained room for additional signage, and advised that trees were to be planted in the near future per submitted site plan. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request for a 10 ft. tall ground sign with the condition that any window or other signage be approved by the Board before installation.** All the members voted yea; the motion passed.

**9. Docket No. 07-60-24**

**16918 Detroit Ave.  
Wine Dive**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shawn Warren  
Erie Design Co. Inc.  
16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes blade sign and window graphics for new business. (Page 69)

Shawn Warren, Erie Design Co. Inc., applicant was present to explain the request. Materials and mounting of signage were discussed. There were no window graphics in the proposal. Staff said that sign square footage did not include new graphics on the existing awning. The Board members like the proposal. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Slaughterbeck to **APPROVE the request with the following conditions:**

- **Either Option 1 or Option 2 will work for the corner pillar.**
- **There are no approved window graphics or awning graphics at this time. Should the business want to pursue those options, they will need to return to the Board.**

All the members voted yea; the motion passed.

**10. Docket No. 07-61-24**

**15516 Madison Ave.  
Carol Lynn's Salon**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shawn Warren  
Erie Design Co. Inc.  
16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes revised signage in band sign and window graphics. (Page 75)

Shawn Warren, Erie Design Co. Inc., applicant was present to explain the request. The business name was clarified, existing window graphics would be removed, and sign square footage was confirmed. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **There are no approved window graphics at this time.**

All the members voted yea; the motion passed.

**11. Docket No. 07-62-24**

**17112 Detroit Ave.  
Cleveland Vegan**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shawn Warren  
 Erie Design Co. Inc.  
 16504 Detroit Ave.  
 Lakewood, OH 44107

Applicant proposes refacing of an existing blade sign and new window graphics. (Page 81)

Shawn Warren, Erie Design Co. Inc., applicant was present to explain the request. Discussion ensued about the new window logos and the sign square footage. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **Provide the total square foot count of all/total signage for the record for the square footage of existing signage.**

All the members voted yea; the motion passed.

**ARCHITECTURAL BOARD OF REVIEW**

12. **Docket No. 07-65-24** (C) **14100 Franklin Blvd.  
Lakewood High School**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Frederick Long  
 GDP Group  
 520 South Main St., Suite 2531  
 Akron, OH 44311

Applicant proposes a 6,400 s.f. addition to the D Building at Lakewood High School. (Page 100)

Chris Bader, Architect and Project Manager, GDP Group representative was present to explain the request. The Board members liked the look of it. Discussion commenced about removal of the refuse receptacle, integration of the addition into the existing building, height of the second floor, glazing/windows, removal of the parapet, and the large blank wall. Public comment was taken. Staff did not receive comments prior to the meeting. The idea of a deferral was discussed, but time was of the essence to secure the funding.

A motion was made by Mr. Maniet, seconded by Mr. Slaughterbeck to **APPROVE the request with the following conditions:**

- **On the east elevation, the windows will be expanded to align with the banding as taking note of the existing building.**
- **There will be a banding that mimics the overhang on the existing building with white banding.**
- **An updated drawing with the changes will be submitted for administrative approval.**

All the members still in attendance voted yea (Ms. Cohan Plessner exited as this proposal was called); the motion passed.

13. **Docket No. 07-66-24** (R) **2105 Lincoln Ave.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

John D'Amico  
 The Great Garage Co.  
 1309 Ridge Rd., Ste. 4  
 Hinckley, OH 44233

Applicant proposes the demolition and build of a new garage. (Page 111)

Sam D'Amico, The Great Garage Co., representative was present to explain the request. Materials would match the current residence. The Board members liked the proposal. Staff had no comment other than to state it was on corner lot property. Public comment was taken. Staff did not receive comments prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Slaughterbeck to **APPROVE the request as presented**. All the members voted yea; the motion passed.

<b>14. Docket No. 07-67-24</b>	<b>(R)</b>	<b>17620 Riverside Dr.</b>
<input type="checkbox"/> Approve		Daniel Margulies
<input type="checkbox"/> Deny		Daniel Margulies Co. Inc.
<input type="checkbox"/> Defer		14204 Detroit Ave.
		Lakewood, OH 44107

Applicant proposes a two-story addition, renovation, and new detached garage for an existing home. (Page 128)

Daniel Margulies, Daniel Margulies Co. Inc., applicant was present to explain the request. The members liked the proposal. Discussion ensued about materials, colors, removal of shutters, windows, trim, dormers, and etc. Public comment was closed as no one addressed the item. Staff did not receive comments prior to the meeting. The Board members asked about the front porch columns, discussed the scale of the dormers, style of the front door, and confirmed all the roof material would be asphalt shingle.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition**:

- **Submit for administrative approval a cutsheet of the door and columns.**

All the members voted yea; the motion passed.

<b>15. Docket No. 07-68-24</b>	<b>(R)</b>	<b>1115 Wilbert Rd.</b>
<input type="checkbox"/> Approve		Elizabeth Davis
<input type="checkbox"/> Deny		Old World Classics LLC
<input type="checkbox"/> Defer		7056 Mears Gate Dr. NW
		North Canton, OH 44720

Applicant proposes an addition to an existing home. (Page 135)

Tom Pernsteiner, property owner, and Jason Amato, 1121 Wilbert Rd. were present to explain the request. Discussion began with color of the infill banding, the need of a zoning variance, height of the second floor window, and materials. Public comment was closed as no one addressed the item. Staff did not receive comments prior to the meeting. It was suggested to extend the brick above the detailed band.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following conditions**:

- **The second floor west facing window will be raised so the sill will be in line with all the other second floor sill heights.**
- **As an alternate use brick all the way to the peak in lieu of stucco, the brick to match the existing above the detailed white band.**

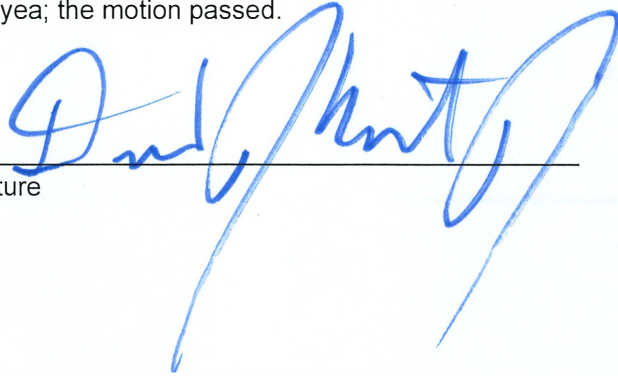
All the members voted yea; the motion passed.


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Prior to adjournment of the meeting, Ms. Cramer announced that the Residential Architectural Design Guidelines were ADOPTED by the Planning Commission as presented at its July 9, 2024 meeting. The Planning Commission appreciated all of the work.

**ADJOURN**

A motion was made by Mr. Maniet, seconded by Mr. Slaughterbeck to **ADJOURN at 8:43 p.m.** All the members voted yea; the motion passed.

  
\_\_\_\_\_  
Signature

  
\_\_\_\_\_  
Date



**Oath**

*(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)*

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. DENVER BROOKER

*[Handwritten signature]*

2. MARK COZZOLINO

*[Handwritten signature]*

3. Beck Webber

*[Handwritten signature]*

4. NATHAN CHAVEZ

*[Handwritten signature]*

5. ALEXANDER KOUBE

*[Handwritten signature]*

6. MARK REINHOLD

*[Handwritten signature]*

7. Ryan Brady

*[Handwritten signature]*

8. SHAWN WARRER

*[Handwritten signature]*

9. CHRIS BADER

*[Handwritten signature]*

10. CHRIS DENATE

*[Handwritten signature]*

11. JEFF ASHBY

*[Handwritten signature]*

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

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Lakewood Administrative Procedure:  ABR/BBS  Citizens Advisory  Civil Svc.  Dangerous Dog  Income Tax Appeals  Loan Approval  Nuisance Abatement Appeals  Parking  Planning  Zoning Appeals  Other:

Date of Proceeding: Thursday, July 11, 2024



### Oath

*(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)*

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. Sam D'Amico
2. Daniel Mazzuchio
3. MATTHEW HILS
4. Tom Bernstein
5. \_\_\_\_\_
6. \_\_\_\_\_
7. \_\_\_\_\_
8. \_\_\_\_\_
9. \_\_\_\_\_
10. \_\_\_\_\_
11. \_\_\_\_\_

1. Sam D'Amico
2. Daniel Mazzuchio
3. Matthew Hils
4. Tom Bernstein
5. \_\_\_\_\_
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11. \_\_\_\_\_

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure:  ABR/BBS  Citizens Advisory  Civil Svc.  Dangerous Dog  Income Tax Appeals  Loan Approval  Nuisance Abatement Appeals  Parking  Planning  Zoning Appeals  Other:

Date of Proceeding: Thursday, July 11, 2024

## Johanna Schwarz

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**From:** Brian Meng <bmeng@bialosky.com>  
**Sent:** Tuesday, July 9, 2024 5:22 PM  
**To:** Johanna Schwarz; Amanda L. Cramer; David Baas  
**Cc:** Ian Andrews; amyjhaney@gmail.com  
**Subject:** FW: Agenda: BBS/ABR/Sign Review - 7/11 Meeting

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Johanna, Amanda, and Dave,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood ABR agenda for the 07/11/2024 meeting.

- **Docket 06-57-24 Barry Buick Development**
  - We didn't see the minutes from the 6/13 ABR Meeting on the City's website, therefore the following comments are the same as provided for the 6/13 meeting:
    - Encouraged by the Project's narrative acknowledging the importance of the pedestrian experience and to create engaging storefronts and foster vibrant pedestrian corridors.
    - Understanding the difficulty with incorporating retail in the current market place, were there other considerations to activate the South Building's Detroit Ave ground floor façade? Such as alternate program, residential unit entries (similar to Brockley façade), etc.
      - Relatedly we suggest the proposed landscaping in this area be studied to better blend with the surrounding context of Detroit Avenue to strengthen the pedestrian experience and streetscape, such as the addition of street trees.
    - Are the clearstory windows on the ground floor units facing the parking areas fixed or operable?
    - Has consideration been given for the commercial space on the North Building to have a stronger individual architectural identity? Such as awnings or canopies.
    - Was any consideration given to provide some material variations between the North and South Building?
    - We suggest the PC inquire how move-in/move-outs will be managed and where the trucks will queue.
    - We suggest the PC ask the applicant to confirm an accessible path will be provided from the parking areas to the elevator(s).
- **Docket 03-13-24 17428 Edgewater Dr.**
  - No Comment
- **Docket 07-59-24 17879 Lake Rd Dr.**
  - No Comment
- **Docket 07-60-24 Wine Dive.**
  - No Comment
- **Docket 07-61-24 Carol Lynn's Salon.**
  - No Comment
- **Docket 07-62-24 Cleveland Vegan.**

- No Comment
- **Docket 07-63-24 Body Fit Training.**
  - Per the site plan, the proposed 13' tall internally illuminated sign appears to be adjacent to a Pole Mounted Light (Fixture Z-1) and a flagpole style tenant signage. Will these other elements remain? If so, we suggest the ARB review their juxtaposition.
  - Is it anticipated other tenants within the Building will have similar type signs?
- **Docket 07-64-24 Neo Pets and Working Dog.**
  - No Comment
- **Docket 07-65-24 Lakewood High School.**
  - No Comment
- **Docket 07-66-24 2105 Lincoln Ave.**
  - No Comment on the proposed shifting of the door and driveway from the prior approval.
- **Docket 07-67-24 17620 Riverside Dr.**
  - No Comment assuming the side yard setbacks comply with the city ordinance.
- **Docket 07-68-24 1115 Wilbert Rd.**
  - It appears the proposed addition is with the front yard setback by 3.16 feet. We suggest the ARB review the front of the house with respect to the adjacent property owner to the north to ensure this variance would not affect the neighbor.

We truly appreciate the opportunity to share our thoughts with you on these applications. If you have any questions on our comments, please let us know and we would be happy to discuss further. It is exciting to see so many developments occurring in Lakewood.

Thank you,

**BRIAN MENG** RA, LEED AP  
Principal | Architect

**BIALOSKY** Always By Design.

P 216-767-2023

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**From:** Ian Andrews <[iandrews@lakewoodalive.org](mailto:iandrews@lakewoodalive.org)>  
**Sent:** Tuesday, July 2, 2024 11:06 AM  
**To:** Amy Haney <[amyjhaney@gmail.com](mailto:amyjhaney@gmail.com)>; Brian Meng <[bmeng@bialosky.com](mailto:bmeng@bialosky.com)>  
**Subject:** FW: Agenda: BBS/ABR/Sign Review

**Ian Andrews**  
Executive Director  
LakewoodAlive  
12815 Detroit Avenue  
Lakewood, OH 44107



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**Upcoming Events:**

6/28 – [Front Porch Concert Series: Bassel & the Supernaturals](#)

7/5 – [Front Porch Concert Series: Big Hoke](#)

7/12 – [Front Porch Concert Series: The Labra Brothers](#)

7/19 – [Front Porch Concert Series: Cats on Holiday](#)

7/20 – [16th Annual Lakewood Summer Meltdown](#)

7/26 – [Front Porch Concert Series: S.Y.S.](#)



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**From:** Johanna Schwarz <[Johanna.Schwarz@lakewoodoh.gov](mailto:Johanna.Schwarz@lakewoodoh.gov)>

**Sent:** Tuesday, July 2, 2024 8:32 AM

**To:** Johanna Schwarz <[Johanna.Schwarz@lakewoodoh.gov](mailto:Johanna.Schwarz@lakewoodoh.gov)>

**Subject:** Agenda: BBS/ABR/Sign Review

Good morning,

Please click on the link to view the July 11, 2024 BBS/ABR/Sign Review meeting. The pre-review meeting will be held Tuesday, July 2, 2024 in the East Conference Room at 4:00 p.m.

[https://www.lakewoodoh.gov/wp-content/uploads/2023/12/BBARBAgenda\\_071124.pdf](https://www.lakewoodoh.gov/wp-content/uploads/2023/12/BBARBAgenda_071124.pdf)

Thank you.

*Johanna Schwarz*

Administrative Assistant II

City of Lakewood  
Department of Planning and Development  
12650 Detroit Avenue  
Lakewood, Ohio 44107

(216)529-6630 main  
(216)529-6631 office

[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

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## Amanda L. Cramer

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**From:** connie maher <rosewoodplacepresident@yahoo.com>  
**Sent:** Sunday, July 7, 2024 7:21 PM  
**To:** Amanda L. Cramer  
**Cc:** Jack Blau; Valentin Rusu  
**Subject:** Re: Barry Buick Development

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi there Amanda,

Hope you had a nice holiday weekend!

I am out of town for the week but wanted to touch base with you on a couple things-

We received the notice for meetings, thank you! They did not have our unit number (212) on the address, so would be great if it could be added to ensure future deliveries.

We're impressed with this first look at the plans, it appears to be a well done, thoughtful design. And thoughtful input from both the PC and the ABR.

A few concerns/considerations we wanted to pass on:

- 1) The traffic light on Detroit at Summit/Westwood (by Bar Italia) seems to be not on the best timing, backs up considerably. Makes it difficult to get out of Rosewood at times. As mentioned by the PC, a traffic study would be a great idea to coordinate the lights (especially if a new light is added) and keep traffic moving on Detroit.
- 2) Parking, parking, parking... always a concern, especially for us since the building is directly next door. While there appears to be a good amount in the plans, it seems like a lot of units in the building for the amount of parking for renters and guests. Just want to ensure that we don't have issues with overflow trying to park in our lot, which is reserved for our unit owners and already tight.
- 3) Lastly, as much green space/landscape would be much appreciated... with as much space as these buildings will take, including vertically, a balanced approach of landscape would be great.

Thanks in advance Amanda,


Connie

Sent from my iPhone

On Jun 20, 2024, at 11:54 AM, Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov> wrote:

Hi Connie,

So nice speaking with you again today. It is easy to be helpful to people that are kind and courteous with us!

The plans for the Barry Buick development are linked here:  [2024\\_0612 NewBrook Lakewood ARB and Planning Commission Updated Presentation\\_reduced.pdf](#)

Please note, this is as they proposed for the Boards last meetings and is subject to change for July.

Comments from the Planning Commission and Architectural Board of Review are below.

**ABR:**

South Building

1. Opportunity for bike/scooter parking
2. Driveway on rear face of building needs space – reduce landscaping in front of building to accommodate this?
  1. Would be helpful to have a street-level rendering of this part of the pedestrian experience to help illustrate the need for the size of the landscaping
  2. Offer some solutions to work on this issue in the back with the maintenance of the landscaping as is.
3. Appreciates the addition of hardscape
4. Massing is appropriate to the site

North Building

1. Consideration of amount of pavement on Cranford lot
2. Clarity/section drawing of Cranford looking east
3. Massing is appropriate to the site
4. Extend pedestrian hatching to Cranford lot
5. PC will want to consider adding crossing/stoplight in this area
6. Residents were all concerned about parking, but that is primarily a PC issue
7. Additional renderings/elevation of buffering to the north would be helpful

Design

1. Very appreciative of the detail put in to break up the façade
2. Likes color scheme
3. Consideration of balconies, particularly on south unit
4. Consider differentiation of first floor to other levels, annunciate retails
5. Consider playing with the parapets

**PC (design was updated for June 13 ABR meeting after Planning Commission):**

1. Confirmation of setbacks for both buildings.
2. Submission of Traffic Management Plan.
3. More site-level information & details on pedestrian circulation (especially in relation to moving from parking to retail space & resident amenities).
4. Consideration for internal vehicle circulation in south parking lot design (may require loss of 8 spaces).
5. Consideration of outlet drive to Cranford as green/open space vs. parking/drive lane (may not be feasible based on circulation/parking requirements).

Additionally, there were two more design-related recommendations I captured:

1. Design treatment/landscaping of first-floor residential units (South Building) facing Detroit.
2. Consideration of streetscape furniture in support of the retail space (benches, etc.).

3. Requested coordination between this proposal and the bank proposal in terms of site-level design (vehicular/pedestrian flow) and the potential for shared parking (as they intend to submit for parking plan/exception to maximums).

Next meetings: Planning Commission, July 9 at 6pm. ABR, July 11 at 5:30pm. Both will be at City Hall in the Auditorium. If you are not able to attend, you are welcome to submit public comment via email. You can send those to me directly and I will make them part of the records.

In addition, I will pass along this email address and the 1411 Rosewood Suite 212 to our administrative staff to be sure to update our records.

**Amanda Cramer, AICP**

City Planner

City of Lakewood

Department of Planning & Development

12650 Detroit Avenue

Lakewood, Ohio 44107

(216) 529-6630 main

(216) 529-7679 office

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## Johanna Schwarz

---

**From:** Amanda L. Cramer  
**Sent:** Monday, July 8, 2024 11:14 AM  
**To:** connie maher  
**Cc:** Jack Blau; Valentin Rusu; Johanna Schwarz  
**Subject:** RE: Barry Buick Development

Thank you for this Connie. I will be sure to include it in the public comment for our meeting on Thursday.

### **Amanda Cramer, AICP**

City Planner  
City of Lakewood  
Department of Planning & Development  
12650 Detroit Avenue  
Lakewood, Ohio 44107

(216) 529-6630 main

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---

**From:** connie maher <rosewoodplacepresident@yahoo.com>  
**Sent:** Sunday, July 7, 2024 7:21 PM  
**To:** Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov>  
**Cc:** Jack Blau <jack4203b@yahoo.com>; Valentin Rusu <rosewoodplacetreasury@gmail.com>  
**Subject:** Re: Barry Buick Development

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi there Amanda,

Hope you had a nice holiday weekend!

I am out of town for the week but wanted to touch base with you on a couple things-

We received the notice for meetings, thank you! They did not have our unit number (212) on the address, so would be great if it could be added to ensure future deliveries.

We're impressed with this first look at the plans, it appears to be a well done, thoughtful design. And thoughtful input from both the PC and the ABR.

A few concerns/considerations we wanted to pass on:

1) The traffic light on Detroit at Summit/Westwood (by Bar Italia) seems to be not on the best timing, backs up considerably. Makes it difficult to get out of Rosewood at times. As mentioned by the PC, a traffic study would be a great idea to coordinate the lights (especially if a new light is added) and keep traffic moving on Detroit.

2) Parking, parking, parking... always a concern, especially for us since the building is directly next door. While there appears to be a good amount in the plans, it seems like a lot of units in the building for the amount of parking for renters and guests. Just want to ensure that we don't have issues with overflow trying to park in our lot, which is reserved for our unit owners and already tight.

3) Lastly, as much green space/landscape would be much appreciated... with as much space as these buildings will take, including vertically, a balanced approach of landscape would be great.

Thanks in advance Amanda,


Connie

Sent from my iPhone

On Jun 20, 2024, at 11:54 AM, Amanda L. Cramer <[Amanda.Cramer@lakewoodoh.gov](mailto:Amanda.Cramer@lakewoodoh.gov)> wrote:

Hi Connie,

So nice speaking with you again today. It is easy to be helpful to people that are kind and courteous with us!

The plans for the Barry Buick development are linked here:  [2024\\_0612 NewBrook Lakewood ARB and Planning Commission Updated Presentation\\_reduced.pdf](#)

Please note, this is as they proposed for the Boards last meetings and is subject to change for July.

Comments from the Planning Commission and Architectural Board of Review are below.

**ABR:**

South Building

1. Opportunity for bike/scooter parking
2. Driveway on rear face of building needs space – reduce landscaping in front of building to accommodate this?
  1. Would be helpful to have a street-level rendering of this part of the pedestrian experience to help illustrate the need for the size of the landscaping
  2. Offer some solutions to work on this issue in the back with the maintenance of the landscaping as is.
3. Appreciates the addition of hardscape
4. Massing is appropriate to the site

North Building

1. Consideration of amount of pavement on Cranford lot
2. Clarity/section drawing of Cranford looking east
3. Massing is appropriate to the site
4. Extend pedestrian hatching to Cranford lot

5. PC will want to consider adding crossing/stoplight in this area
6. Residents were all concerned about parking, but that is primarily a PC issue
7. Additional renderings/elevation of buffering to the north would be helpful

#### Design

1. Very appreciative of the detail put in to break up the façade
2. Likes color scheme
3. Consideration of balconies, particularly on south unit
4. Consider differentiation of first floor to other levels, announce retail
5. Consider playing with the parapets

#### **PC (design was updated for June 13 ABR meeting after Planning Commission):**

1. Confirmation of setbacks for both buildings.
2. Submission of Traffic Management Plan.
3. More site-level information & details on pedestrian circulation (especially in relation to moving from parking to retail space & resident amenities).
4. Consideration for internal vehicle circulation in south parking lot design (may require loss of 8 spaces).
5. Consideration of outlet drive to Cranford as green/open space vs. parking/drive lane (may not be feasible based on circulation/parking requirements).

Additionally, there were two more design-related recommendations I captured:

1. Design treatment/landscaping of first-floor residential units (South Building) facing Detroit.
2. Consideration of streetscape furniture in support of the retail space (benches, etc.).
3. Requested coordination between this proposal and the bank proposal in terms of site-level design (vehicular/pedestrian flow) and the potential for shared parking (as they intend to submit for parking plan/exception to maximums).

Next meetings: Planning Commission, July 9 at 6pm. ABR, July 11 at 5:30pm. Both will be at City Hall in the Auditorium. If you are not able to attend, you are welcome to submit public comment via email. You can send those to me directly and I will make them part of the records.

In addition, I will pass along this email address and the 1411 Rosewood Suite 212 to our administrative staff to be sure to update our records.

#### **Amanda Cramer, AICP**

City Planner  
City of Lakewood  
Department of Planning & Development  
12650 Detroit Avenue  
Lakewood, Ohio 44107

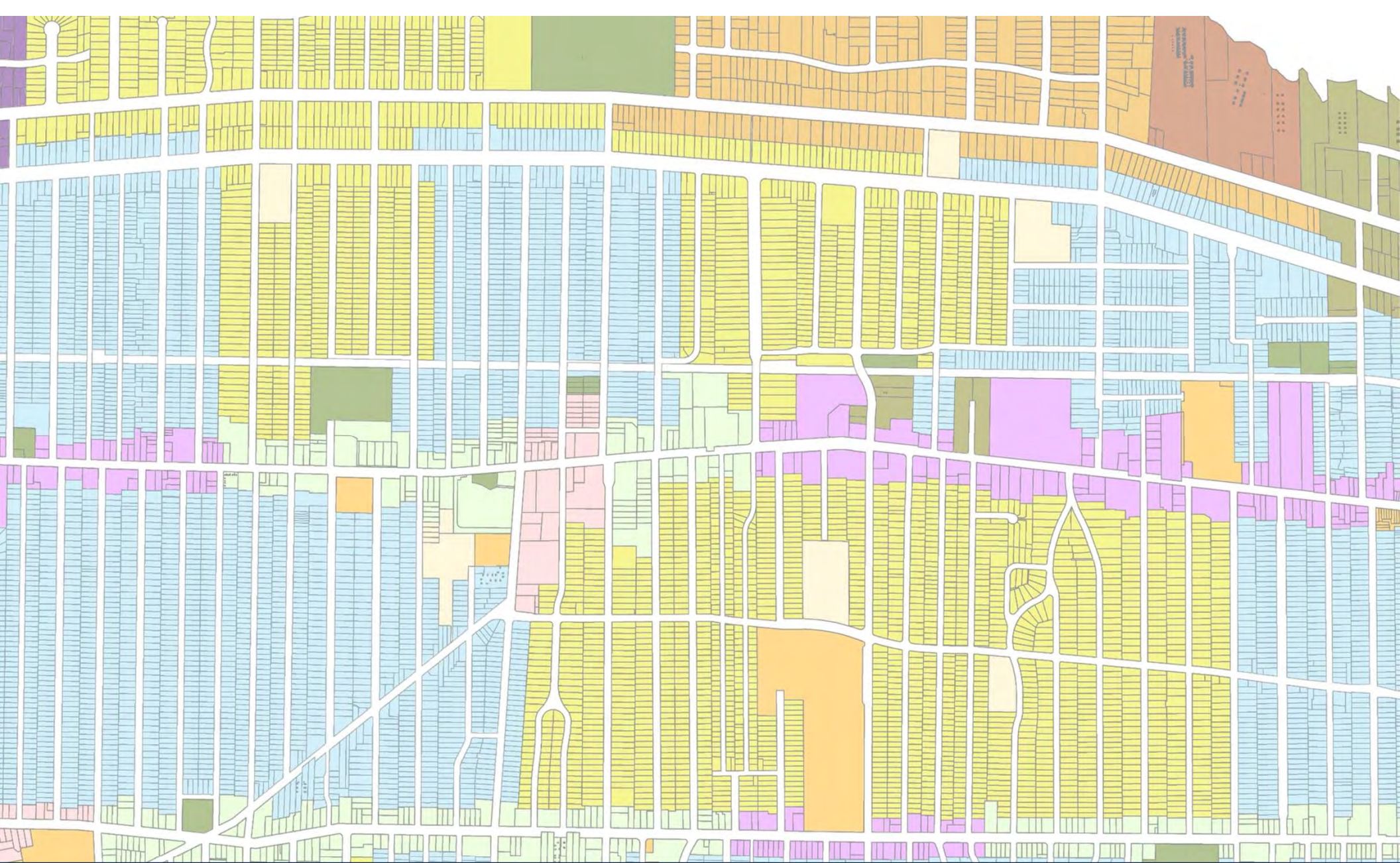
(216) 529-6630 main  
(216) 529-7679 office

[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

[Sign up for the City's e-Newsletter](#)







# Architectural Board of Review

July 2024



## **Architectural Board of Review**

Pre-Review Meeting: July 2<sup>nd</sup>, 4 pm (East Conf Rm)

Regular Meeting: July 11<sup>th</sup>, 5:30 pm (Auditorium)

### **Members**

David Maniet (2024 Chair)

Hanna Cohan Plessner (2024 Vice-Chair)

Jeremy Smith

Chris Egervary

Nick Slaughterbeck

### **Staff**

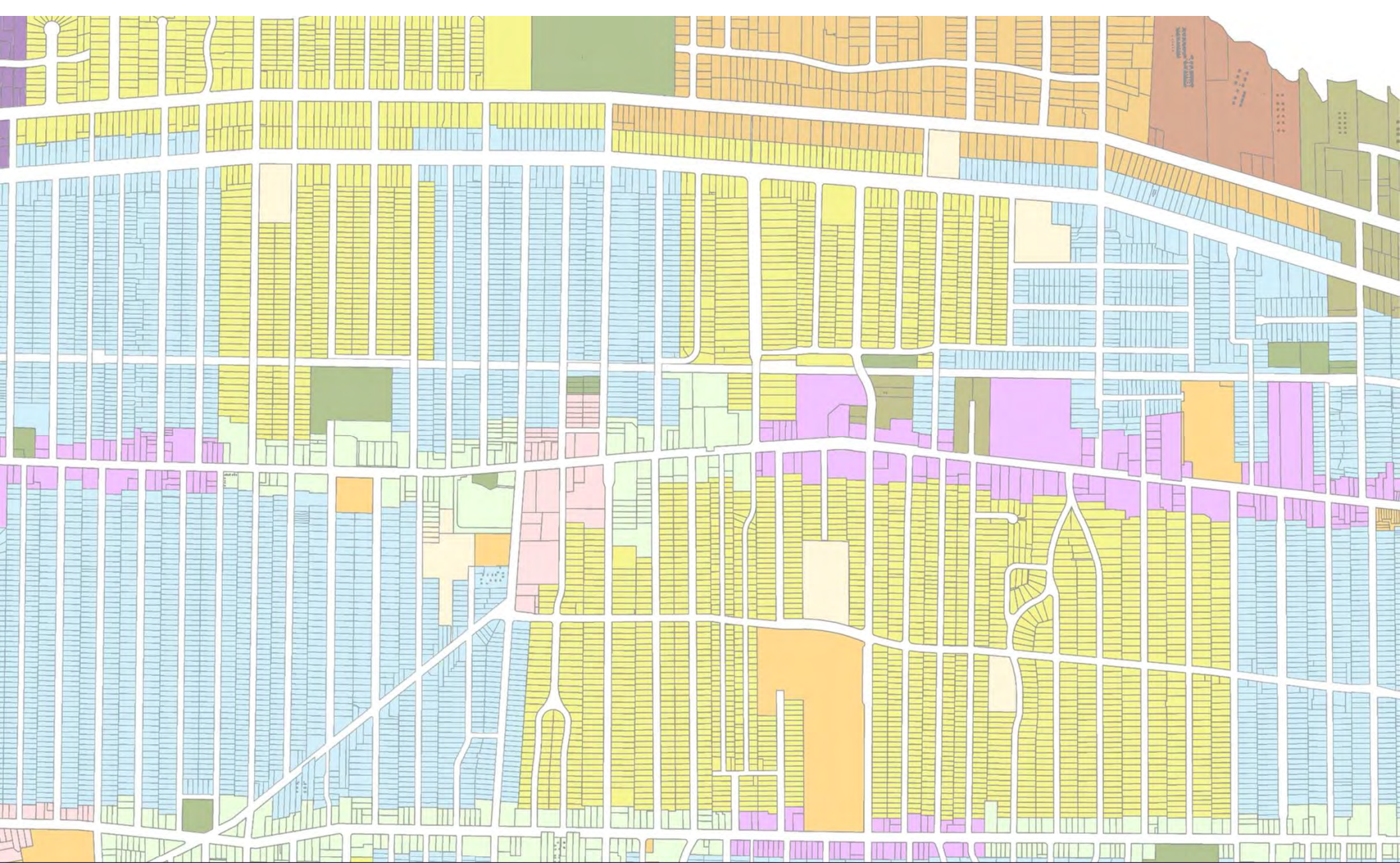
*Board Secretary:* Amanda Cramer, Sophia Jones

*Assistant Building Commissioner:* William Wagner



**Architectural Board of Review**  
**July Agenda**

1. Roll call
2. Approve minutes – June 2024 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn



# Architectural Board of Review

Summary Approvals – July 2024

**Applicant proposes new signage in the board band.**

**City Notes:**

- Applicant proposes new wall sign in existing cabinet (11.8 sq ft)
- Frontage: 14 ft ; Max allowed square footage: 21 sq ft

**Summary Approval – condition of no window signage without approval**

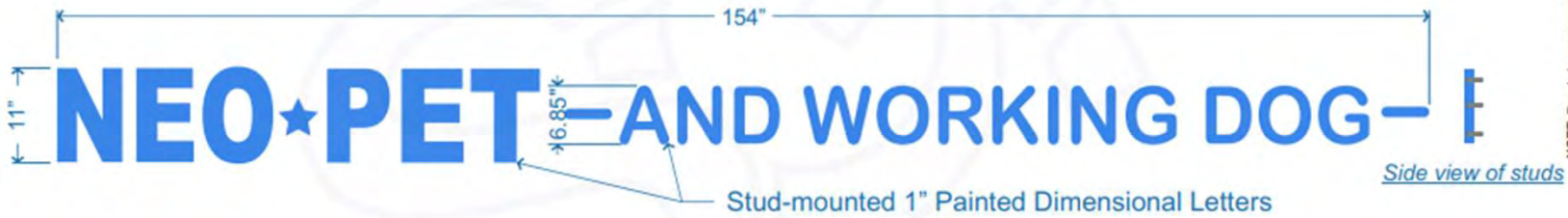


**Docket No. 7-64-24 (15001 Madison)**  
New Signage – NEO Pet and Working Dog  
Steven Foster

BEFORE



PROPOSED



This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

NOTE: Renderings are approximate representations of final production.

1  
6-21-24

ADDRESS:  
15001 Madison Ave.  
Lakewood, OH 44107

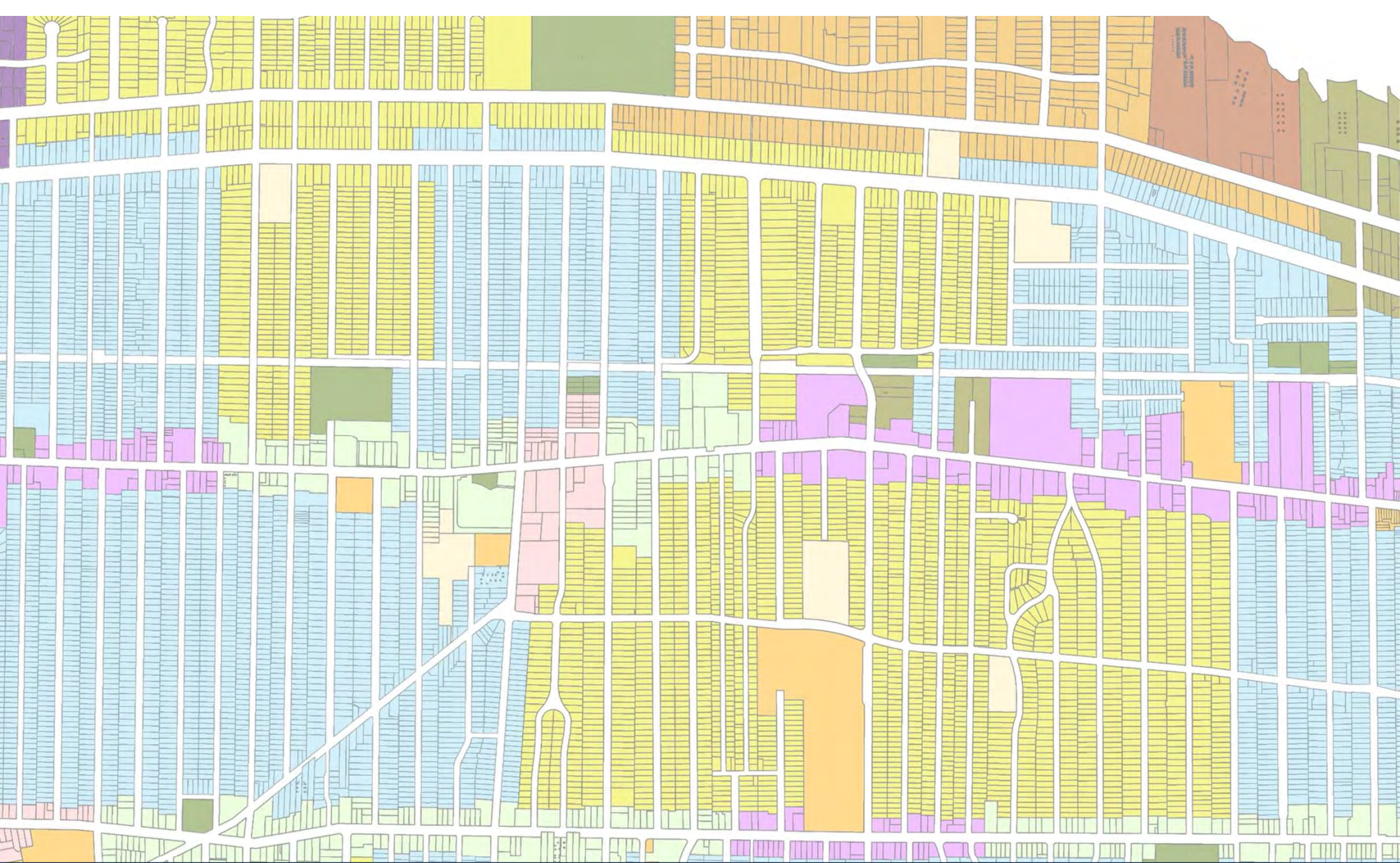
BUSINESS NAME:  
NEO PET and WORKING DOG

Steven Foster  
216.390.0198  
sgfoster09@gmail.com

**SIGN & GRAPHICS FIRM**



Docket No. 7-64-24 (15001 Madison)



# Architectural Board of Review

Old Business – July 2024

**Applicant proposes a mixed-use development with ground floor new retail, lobby, amenity space, and elevated residential units.**

**City Notes:**

- ❑ Planning Commission Approval 7/9, conditions:
  - ❑ The applicant must work with the City to install a crosswalk and/or the elements necessary to the extent possible to install a safe crosswalk to connect and unite the north building and the south building and work with the City Engineering Department to evaluate options and alternatives and how to move that forward.
  - ❑ The applicant will work with the adjacent parcel that will be the proposed Huntington Bank and work through maintenance responsibilities and designating a vegetative area south of the building for a pet relief area.
  - ❑ Applicant will evaluate the future tenants for the retail space, and if parking is not available for the north building, leave options for a shared use agreement with Huntington Bank for potential support of business in the future.
  - ❑ Adjustments will be made to the Cranford Ave. facing parking spots to provide a safe vegetation buffer to disconnect and provide a vegetative area to protect the public right-of-way facing Cranford Ave.



**Docket No. 6-57-24 (16000 Detroit)**  
**Mixed-Use Development**  
**Michael Christoff**

- ❑ The applicant must work with the City to install a crosswalk and/or the elements necessary to the extent possible to install a safe crosswalk to connect and unite the north building and the south building and work with the City Engineering Department to evaluate options and alternatives and how to move that forward.
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- ❑ Applicant will evaluate the future tenants for the retail space, and if parking is not available for the north building, leave options for a shared use agreement with Huntington Bank for potential support of business in the future.
- ❑ Adjustments will be made to the Cranford Ave. facing parking spots to provide a safe vegetation buffer to disconnect and provide a vegetative area to protect the public right-of-way facing Cranford Ave.



## Updates

- Roof lines:  
Retained the original design for the parapet: consistent parapet height. The expressed vertical accents and divisions in the facades creates a material and color change along the length of the parapet. This detail provides the appropriate amount of visual interest for these buildings in combination with the other details and building features.
- Landscaping at site walls along South Building  
The specified plant materials are appropriate for planting behind a masonry site wall or in a raised earth planter.
- Evening Rendering  
Added.
- Material Samples and Cutsheets.  
Exterior Building Material specifications and colors. See Page 16 of the PDF. We will be bringing physical material and color samples to the meeting
- Site furnishings Details and Cutsheets.  
Added. Final manufacturers to be determined.



**Docket No. 6-57-24 (16000 Detroit)**

# Comments from June Meeting of ABR

## South Building

1. Opportunity for bike/scooter parking
2. Driveway on rear face of building needs space – reduce landscaping in front of building to accommodate this?
  1. Would be helpful to have a street-level rendering of this part of the pedestrian experience to help illustrate the need for the size of the landscaping
  2. Offer some solutions to work on this issue in the back with the maintenance of the landscaping as is.
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4. Consider differentiation of first floor to other levels, announce retails
5. Consider playing with the parapets



**Docket No. 6-57-24 (16000 Detroit)**

**vocon.**

CITY OF LAKEWOOD ARB PLANNING SUBMISSION

**newbrook**  
PARTNERS

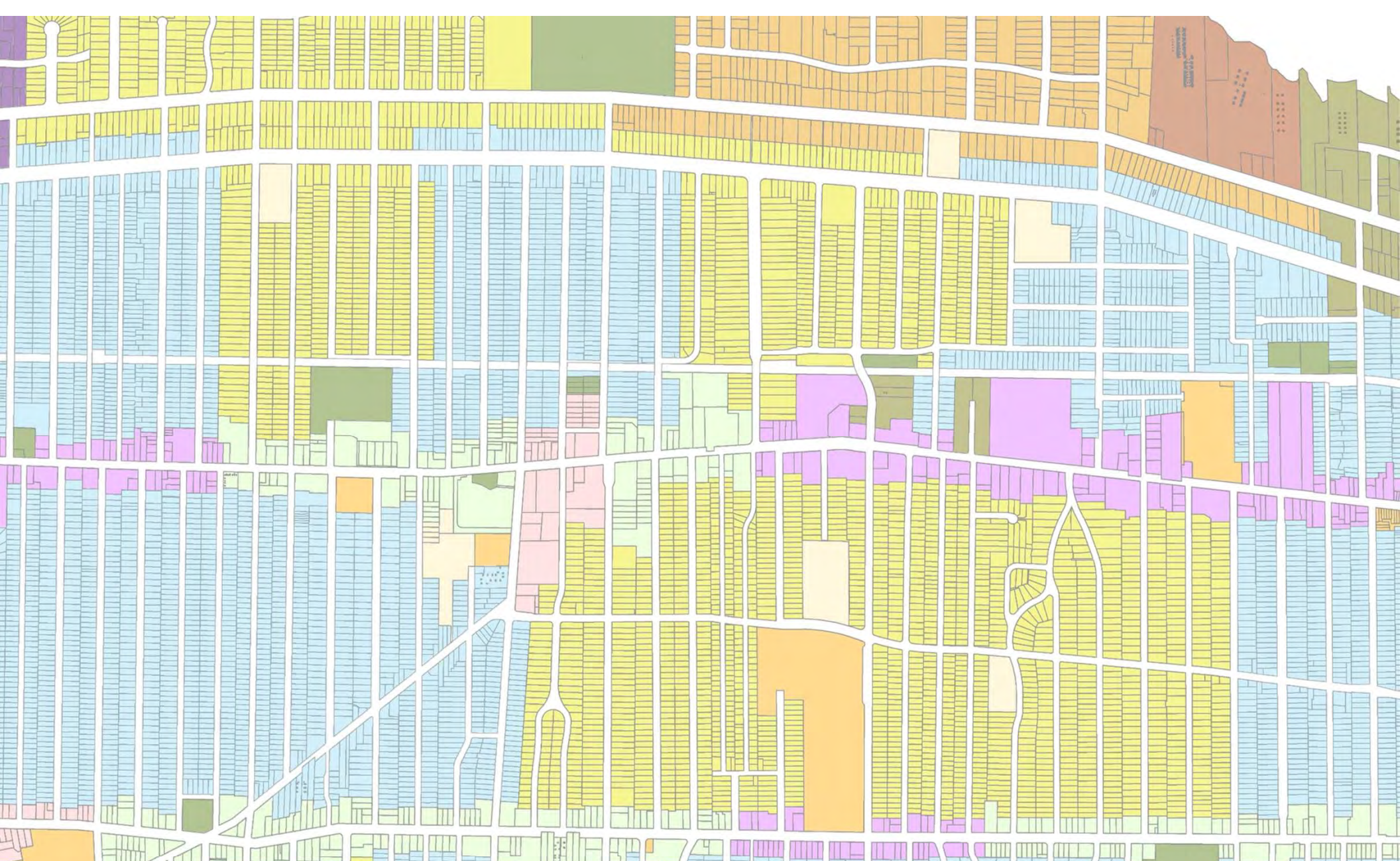
**TKG**  
THE KRUEGER GROUP

**LAKWOOD DETROIT LLC**

**16000 & 15801 DETROIT AVENUE | LAKEWOOD, OH**

**Docket No. 6-57-24 (16000 Detroit)**





# Architectural Board of Review

Return for Modifications - July 2024

**Applicant proposes modifications to a new home construction that was approved at the March 14, 2024 meeting.**

**City Notes:**

- Applicant proposes using shiplap siding instead of EIFS on building façade.



**Docket No. 3-13-24 (17428 Edgewater)**  
New Home Construction - Modifications  
Alexander Kolbe



Existing structure, as seen from Edgewater Drive



Existing structure showing green buffer and neighbor to the East



Existing Conditions

Existing structure is much closer to the cliff



Existing structure, backyard view, showing mature vegetation



# Docket No. 3-13-24 (17428 Edgewater)



Edgewater Drive - Random mix of styles



Eclectic Neighborhood - I



evoDOMUS LLC 2176 STaylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: <b>Chavez Residence</b> 17428 Edgewater Drive, Lakewood OH 44107
Drawing: Eclectic Neighborhood - I Scale:	
Issue Date: 02/20/2024	Project Number: <b>CHZ</b>
Phase: ABR Review	
Sheet Number: 03.8	
Sheet Size: 11" x 17"	



# Docket No. 3-13-24 (17428 Edgewater)



Edgewater Drive - Random mix of styles



Eclectic Neighborhood -2



evoDOMUS LLC	
2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1 (216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: <b>Chavez Residence</b> 17428 Edgewater Drive Lakewood, OH 44107
Drawing: Eclectic Neighborhood -2 Scale:	
Issue Date: 02/20/2024	
Phase: ABR Review	
Sheet Number: 03.9	Project Number: <b>CHZ</b>
Sheet Size: 11" x 17"	



# Docket No. 3-13-24 (17428 Edgewater)



**Docket No. 3-13-24 (17428 Edgewater)**



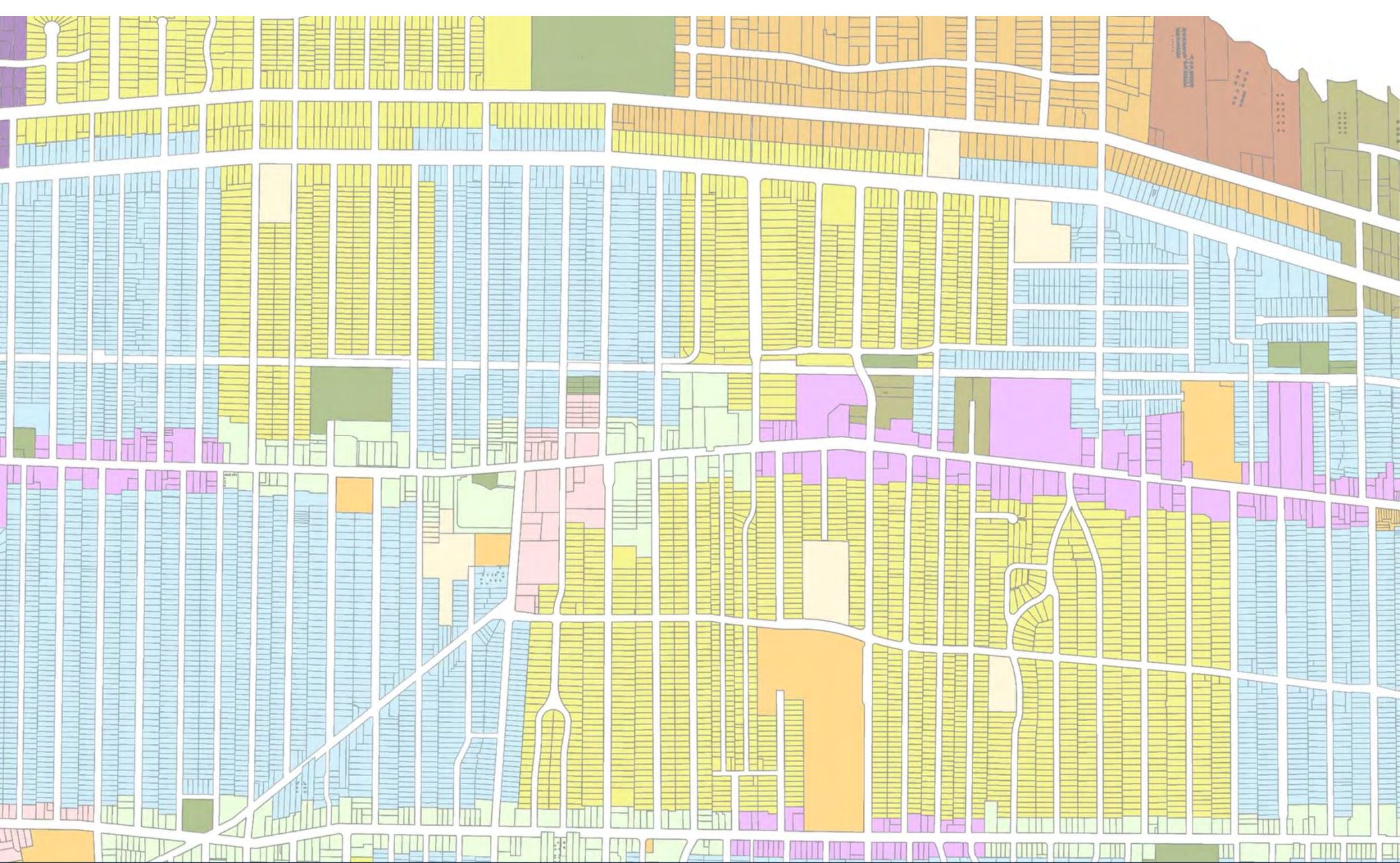
**Docket No. 3-13-24 (17428 Edgewater)**



**Docket No. 3-13-24 (17428 Edgewater)**



**Docket No. 3-13-24 (17428 Edgewater)**



# Board of Building Standards Review

July 2024

**Applicant proposes a front porch addition in the R1L district.**

**City Notes:**

- Railings do not meet the required standards pursuant to RCO Section 109 – outstanding nonconformance items.



**Docket No. 7-59-24 (17879 Lake)**  
Porch Addition (BBS)  
Mark Reinhold



**Docket No. 7-59-24 (17879 Lake)**



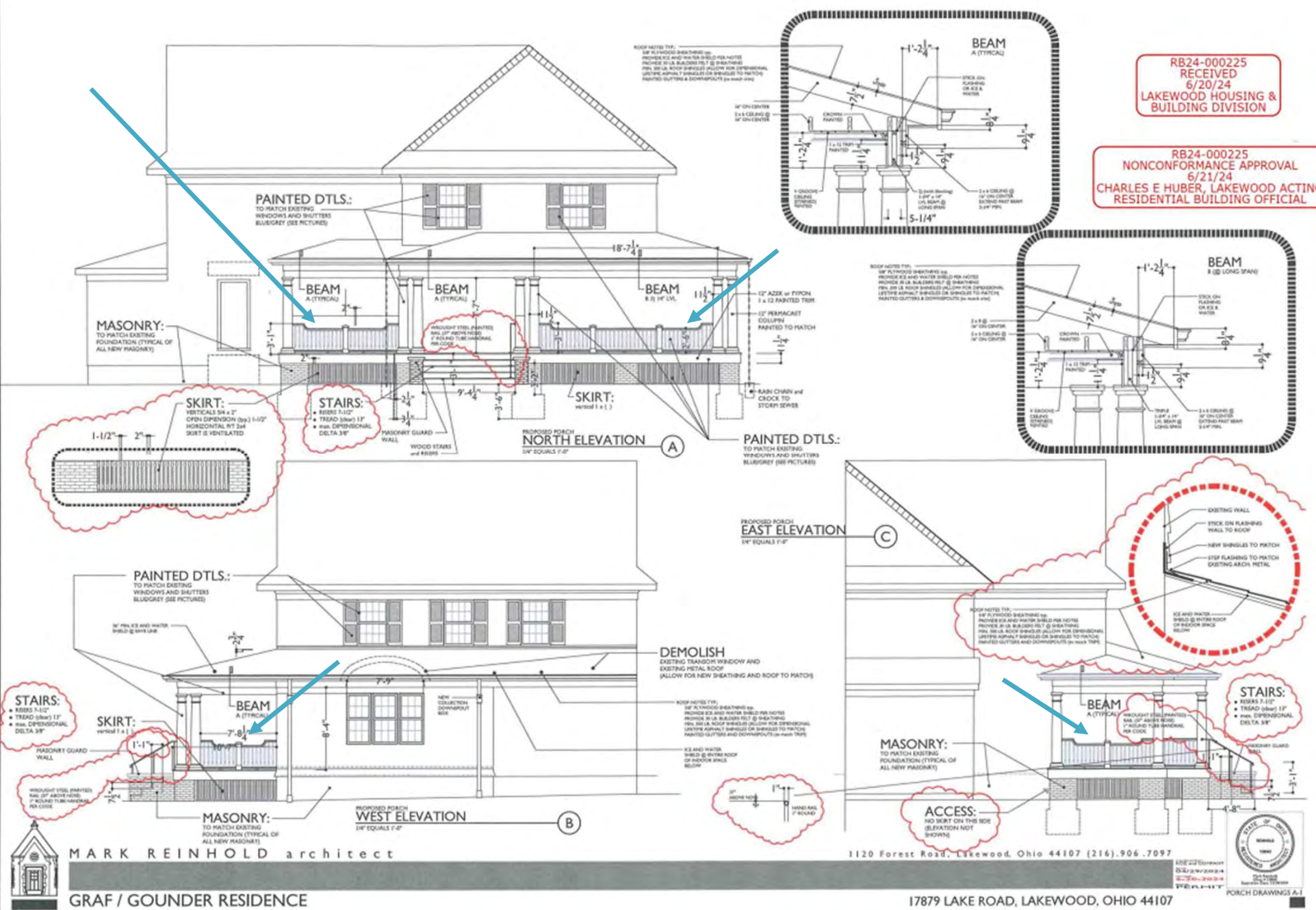
**Docket No. 7-59-24 (17879 Lake)**



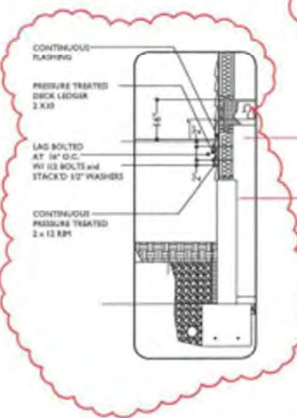
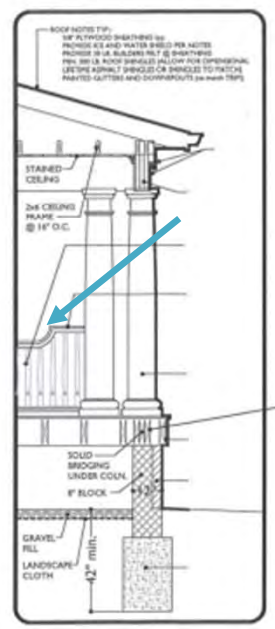
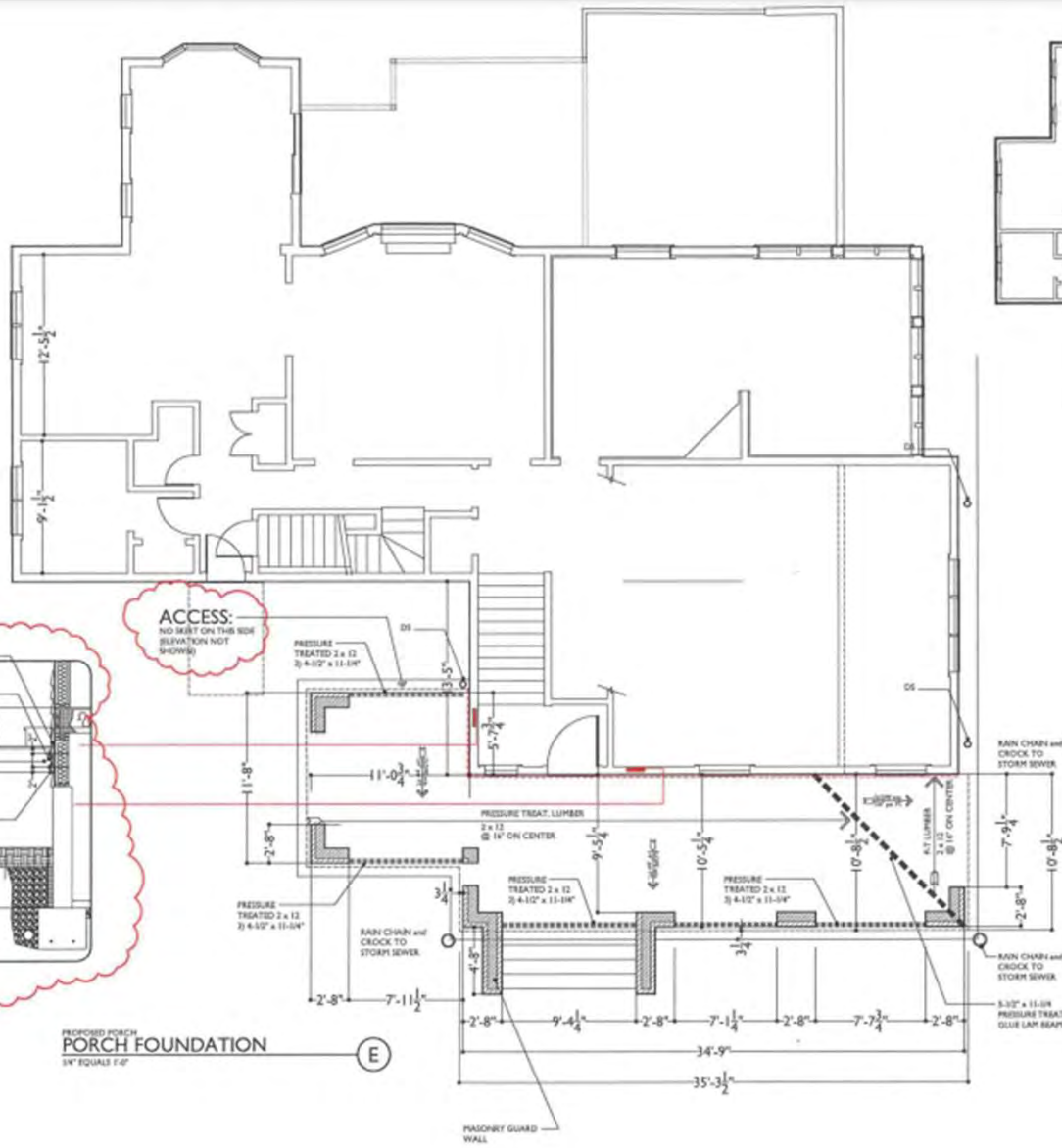
**Docket No. 7-59-24 (17879 Lake)**

RB24-000225  
RECEIVED  
6/20/24  
LAKEWOOD HOUSING &  
BUILDING DIVISION

RB24-000225  
NONCONFORMANCE APPROVAL  
6/21/24  
CHARLES E. HUBER, LAKEWOOD ACTING  
RESIDENTIAL BUILDING OFFICIAL



Docket No. 7-59-24 (17879 Lake)



**ACCESS:**  
NO MEET ON THIS SIDE  
(ELEVATION NOT SHOWN)

PROPOSED PORCH  
**PORCH FOUNDATION**  
1/4\"/>

PROPOSED PORCH  
**PORCH SECTION/ DETAIL**  
1/2\"/>



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

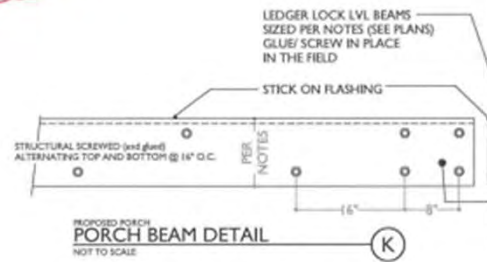
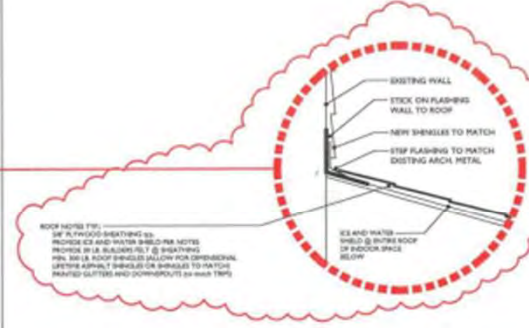
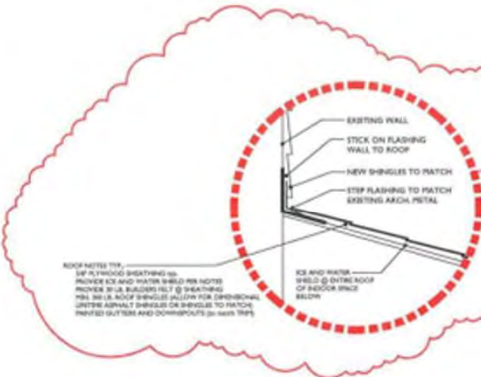
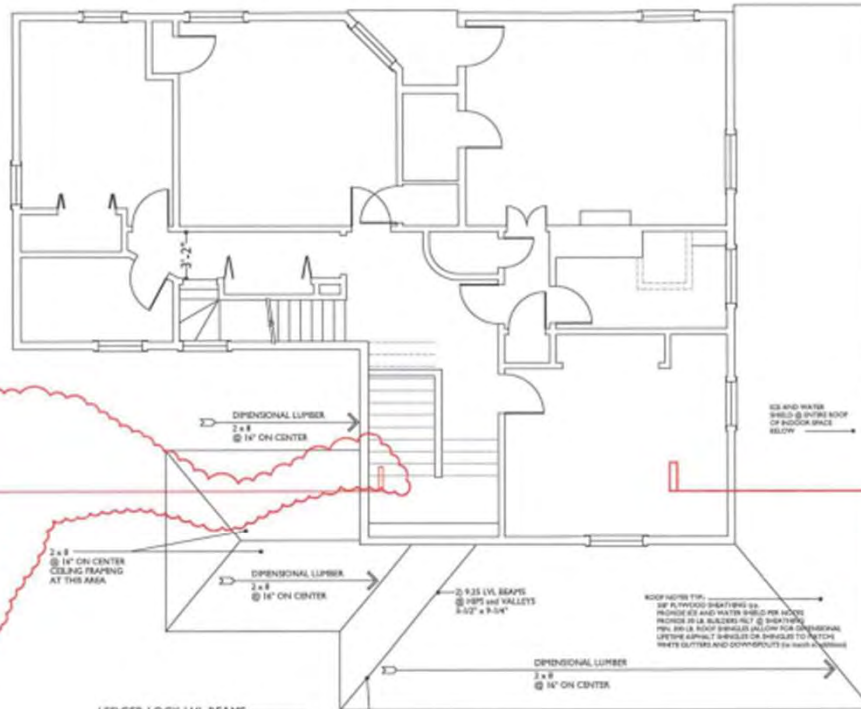
1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

17879 LAKE ROAD, LAKEWOOD, OHIO 44107



**Docket No. 7-59-24 (17879 Lake)**





**HIP and VALLEY**  
 4x12 LVL BEAMS @ 8'-0" x 9'-0"  
 WRAP LVL TYPICALLY WITH FLASHING (STICK ON) ICE AND WATER SHIELD  
**PROPOSED PORCH ROOF PLAN (& FRAMING)** (H)



MARK REINHOLD architect

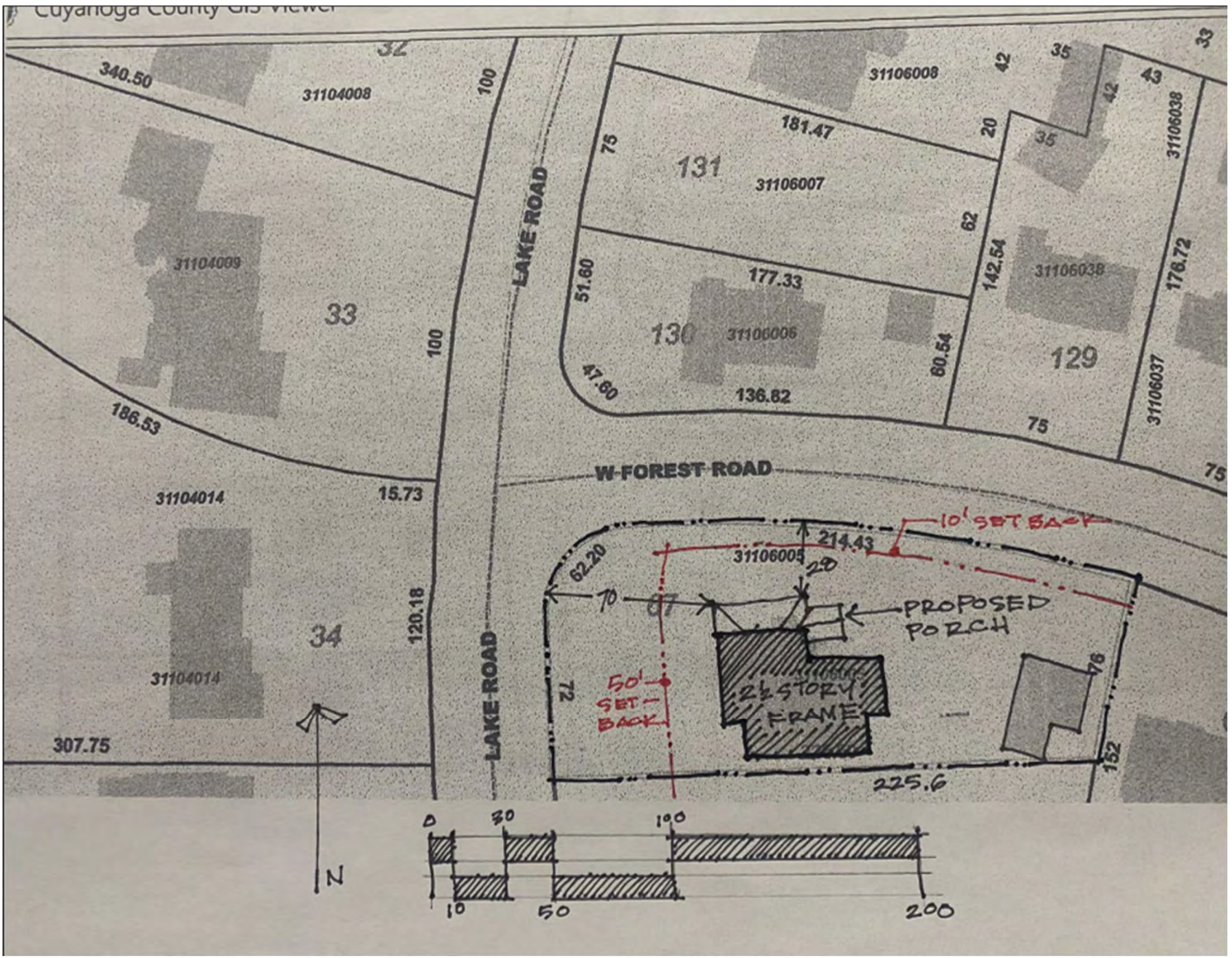
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17879 LAKE ROAD, LAKEWOOD, OHIO 44107

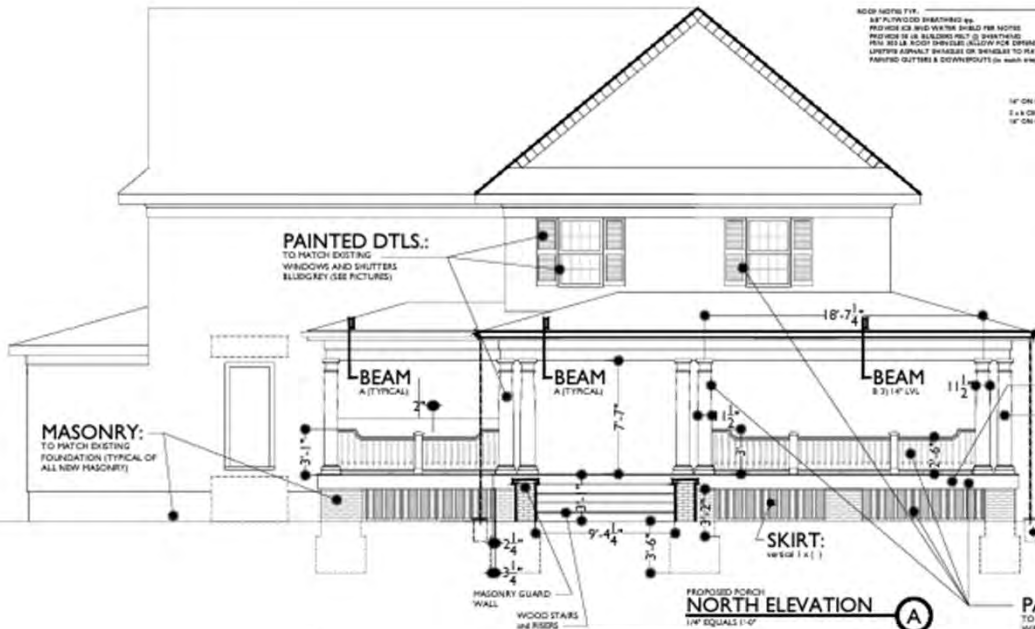


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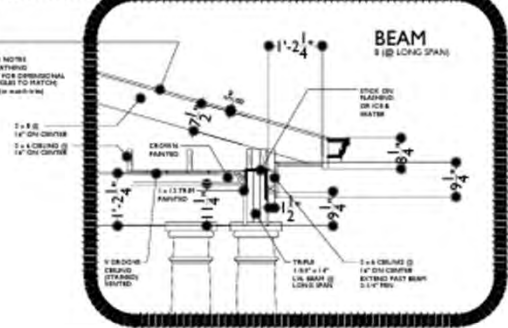
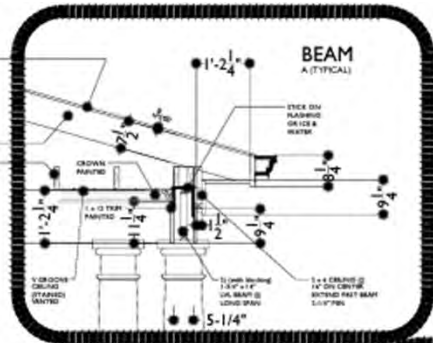


Docket No. 7-59-24 (17879 Lake)

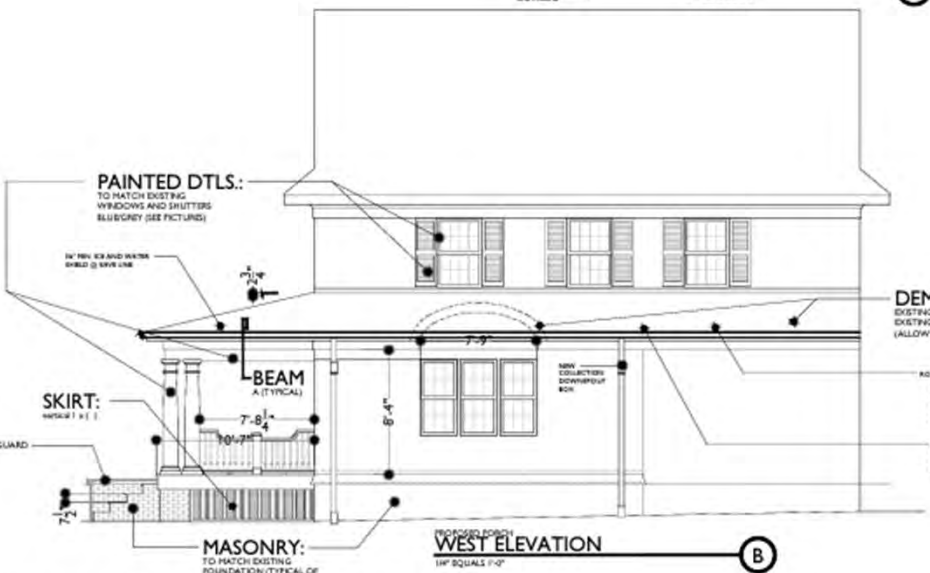




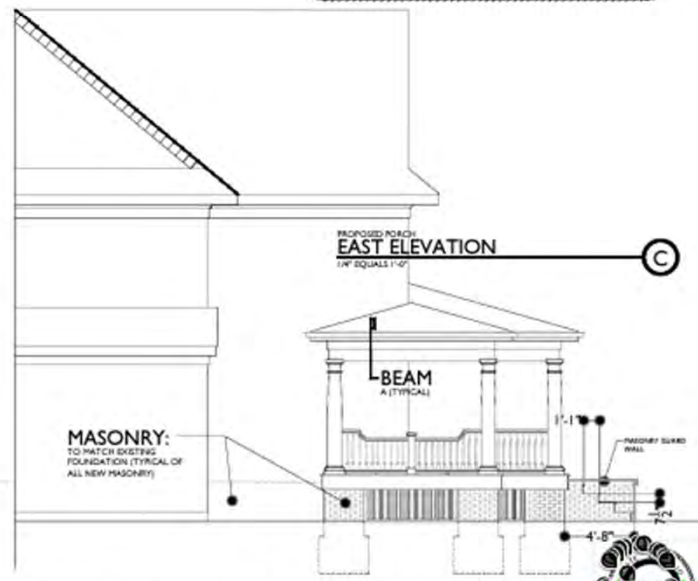
PROPOSED PORCH  
**NORTH ELEVATION**  
1/4" EQUALS 1'-0"



PAINTED DTLS.:  
TO MATCH EXISTING  
WINDOWS AND SHUTTERS  
BLUEGRY (SEE PICTURES)



PROPOSED PORCH  
**WEST ELEVATION**  
1/4" EQUALS 1'-0"



PROPOSED PORCH  
**EAST ELEVATION**  
1/4" EQUALS 1'-0"



**MARK REINHOLD architect**

**GRAF / GOUNDER RESIDENCE**

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

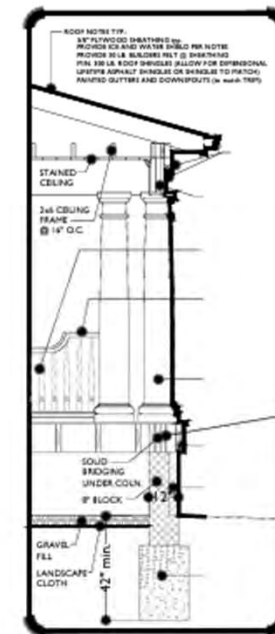
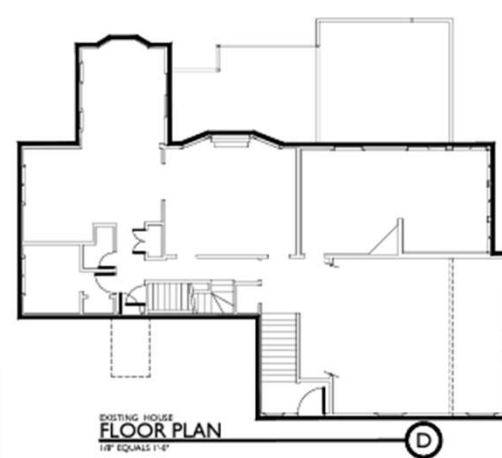
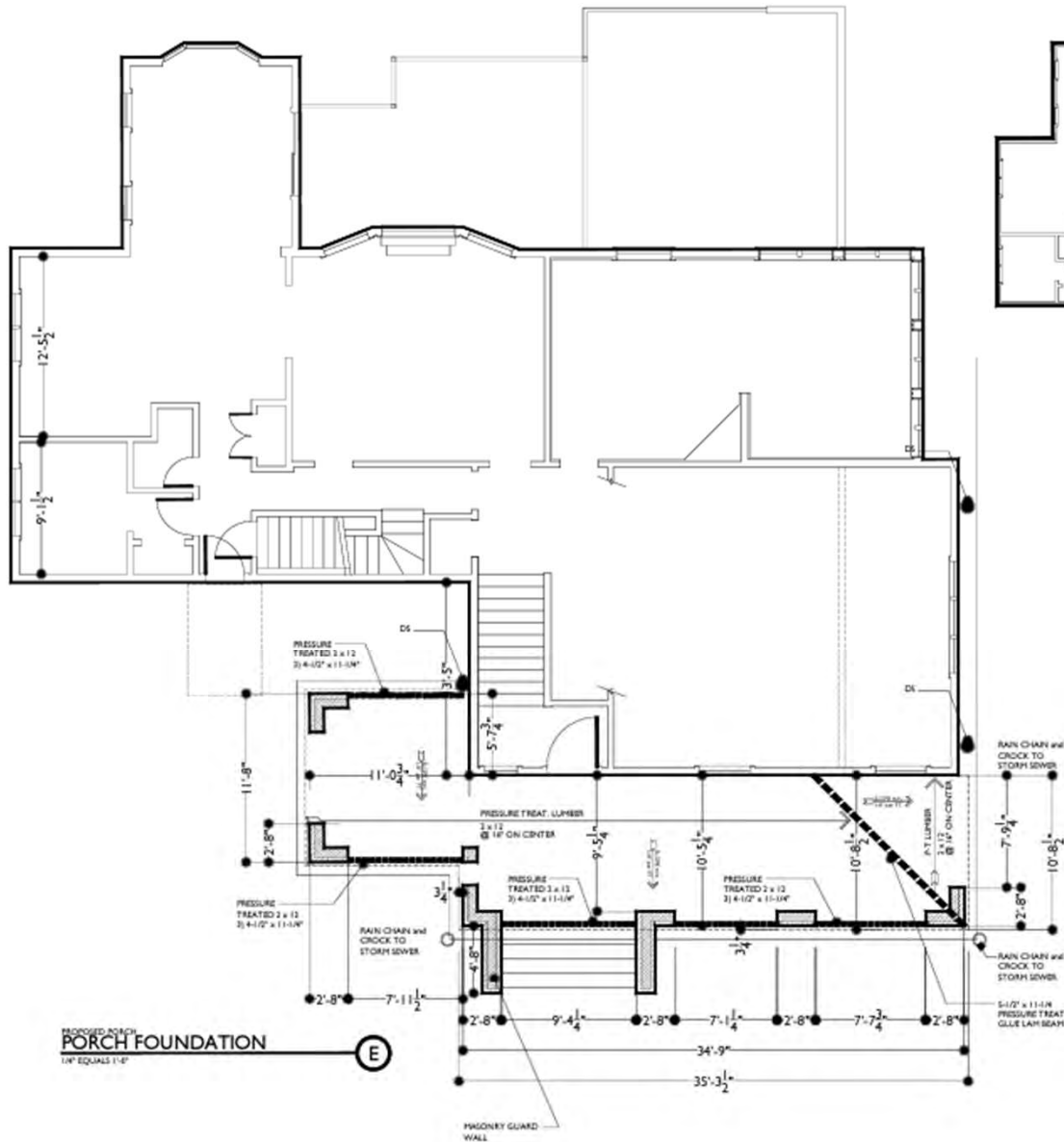
17879 LAKE ROAD, LAKEWOOD, OHIO 44107



PORCH DRAWINGS A-C



**Docket No. 7-59-24 (17879 Lake)**



PROPOSED PORCH SECTION/ DETAIL  
1/2\"/>



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

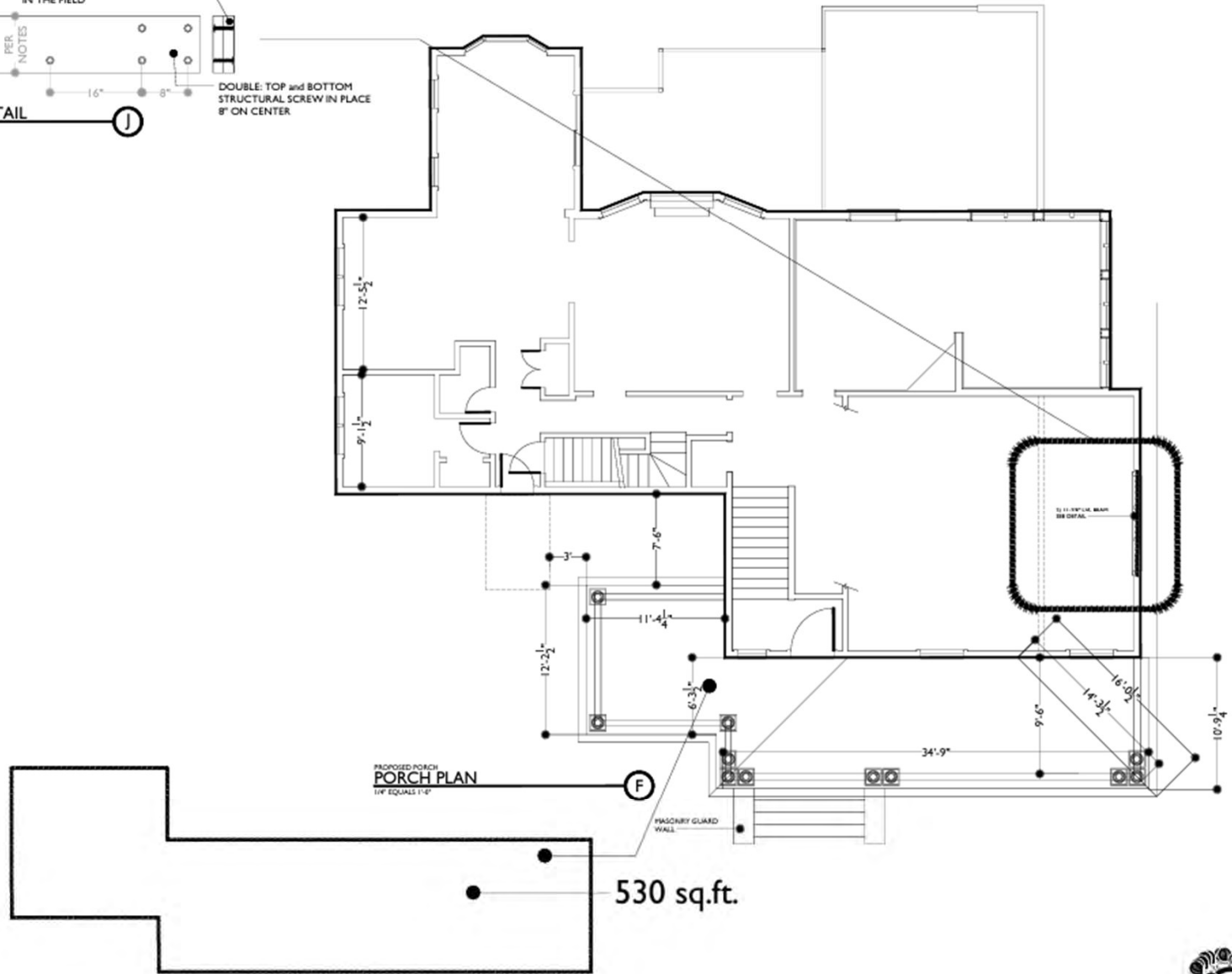
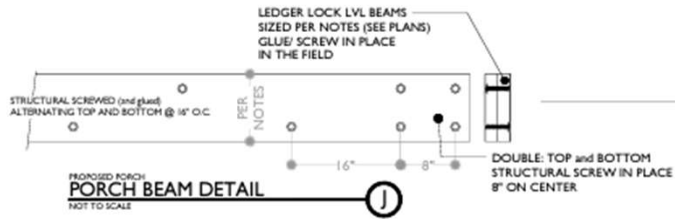
17879 LAKE ROAD, LAKEWOOD, OHIO 44107



PORCH DRAWINGS A.J.



Docket No. 7-59-24 (17879 Lake)



MARK REINHOLD architect

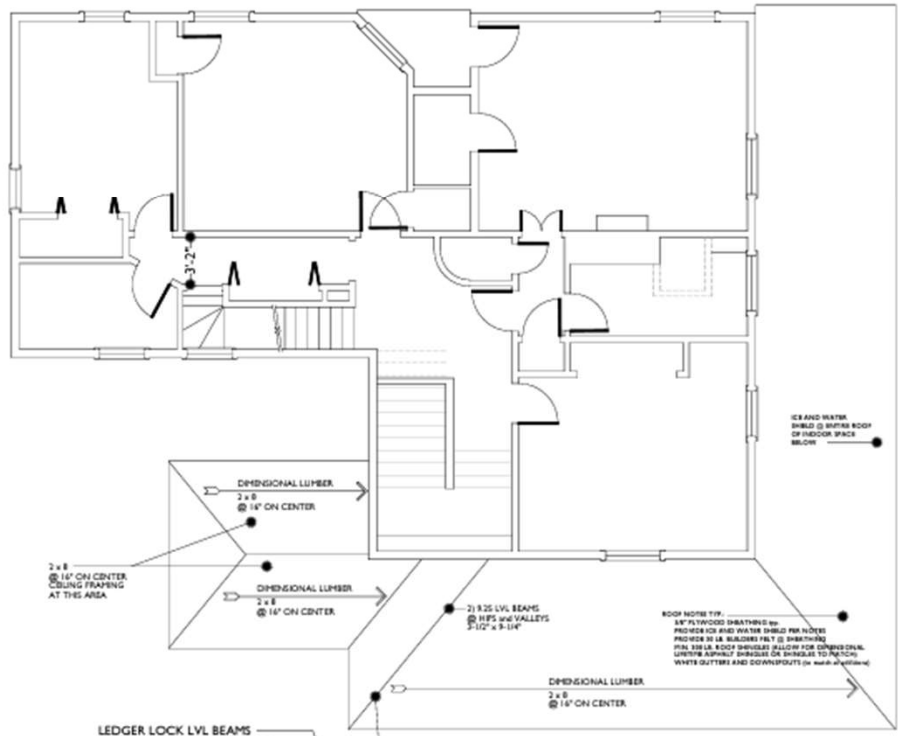
GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

17879 LAKE ROAD, LAKEWOOD, OHIO 44107



**Docket No. 7-59-24 (17879 Lake)**



**HIP and VALLEY**  
 2x8 LVL BEAMS @ HIPS and VALLEYS 3'-10" x 9'-11"  
 WRAP LVLS TYPICALLY WITH FLASHING (STICK ON) ICE and WATER SHIELD  
**PROPOSED PORCH PORCH ROOF PLAN (& FRAMING)** (H)  
 1/4" EQUALS 1'-0"



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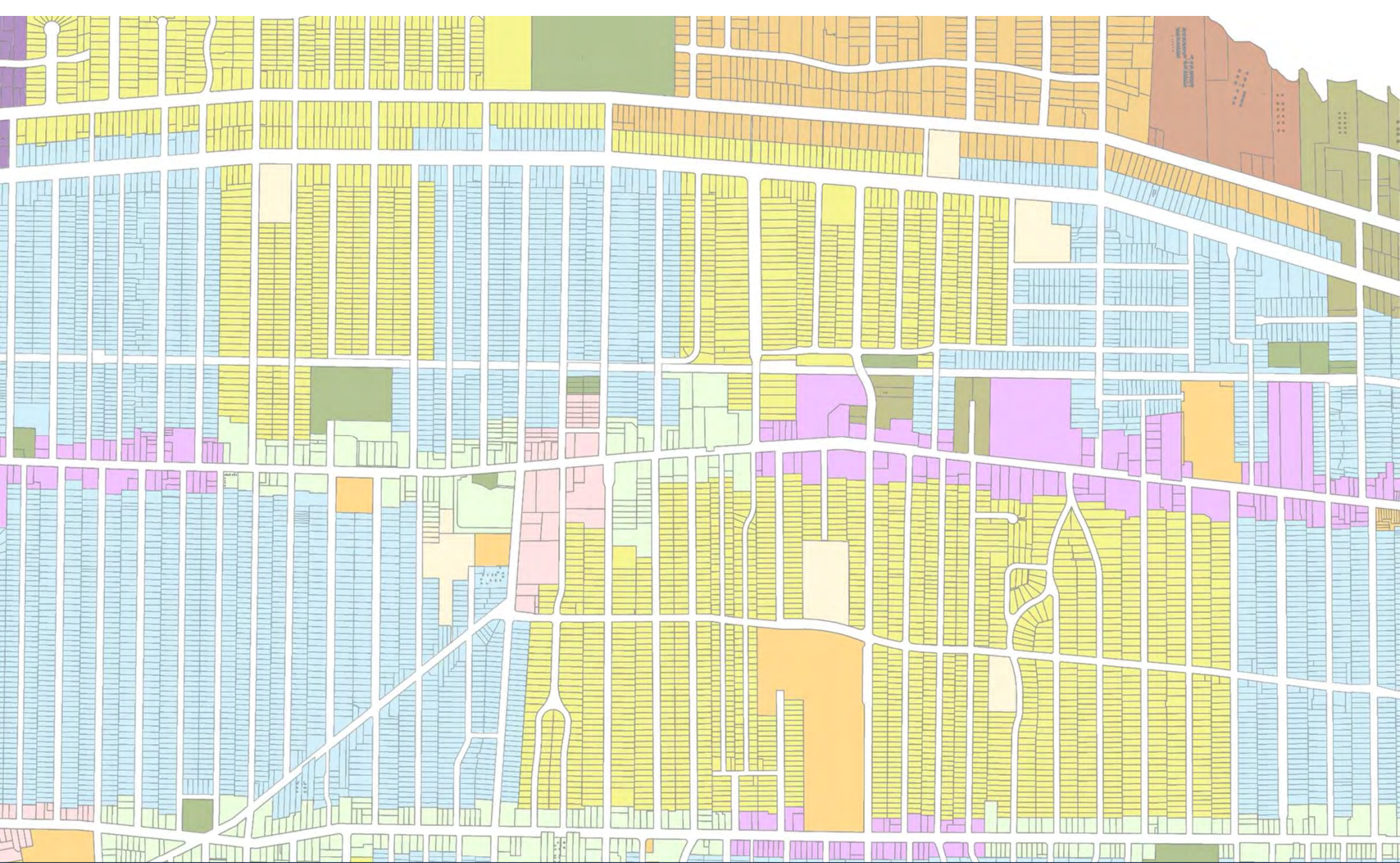
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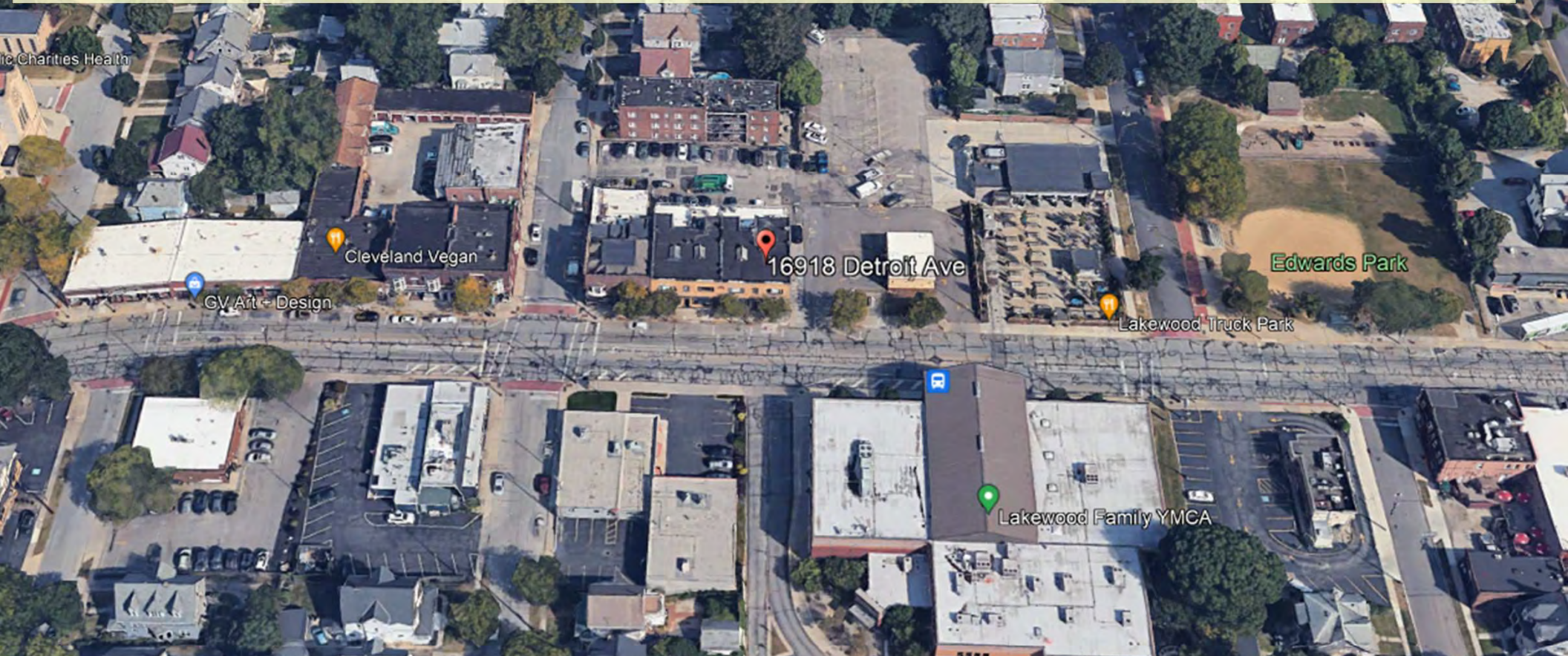
# Architectural Board of Review

Sign Review – July 2024

# Applicant proposes blade sign and window graphics for new business.

## City Notes:

- ❑ Window tint transparency: "3x5" – applied by different vendor
- ❑ Awning vinyl – potentially applied by different vendor
- ❑ Applicant proposes new blade sign (5 sq ft), 2 wall signs on pillar (5.8 sq ft ea.), and wall sign on wall (6 sq ft)
- ❑ Frontage: 60 ft ; Allowed square footage: 90 sq ft
- ❑ Total proposed square footage: 22.6 sq ft (not including awning and tint)



## Docket No. 7-60-24 (16918 Detroit)

New Signage – Wine Dive  
Shawn Warren



Building as is now

**ERIE**  
*deSign*  
 Signs, Banners & Graphics  
 216-227-0043  
 www.eriadesign.com

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043

WINE DIVE			
ADDRESS: 16918 DETROIT		SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:		CHANGES MADE:	
		CLIENT SIGNATURE OF APPROVAL	DATE:



**Docket No. 7-60-24 (16918 Detroit)**



42" Scroll Bracket \$139  
 Sign Face  
 2 sides 33" X 22"  
 \$300 flat or  
 \$500 w/ raised text  
 \*installation with total

Side wall sign face 24" x 36"  
 print on Maxx metal \$184



store front 15' x 60'=900  
 store side 15' x 60'=900

Side Window Tint 3 x5 est \$125 ea



Option 1 Option 2  
 \$85 ea



10' x 12" Cut vinyl graphic window sticker  
 \$16



Total \$1400  
 + tax install  
 and permits

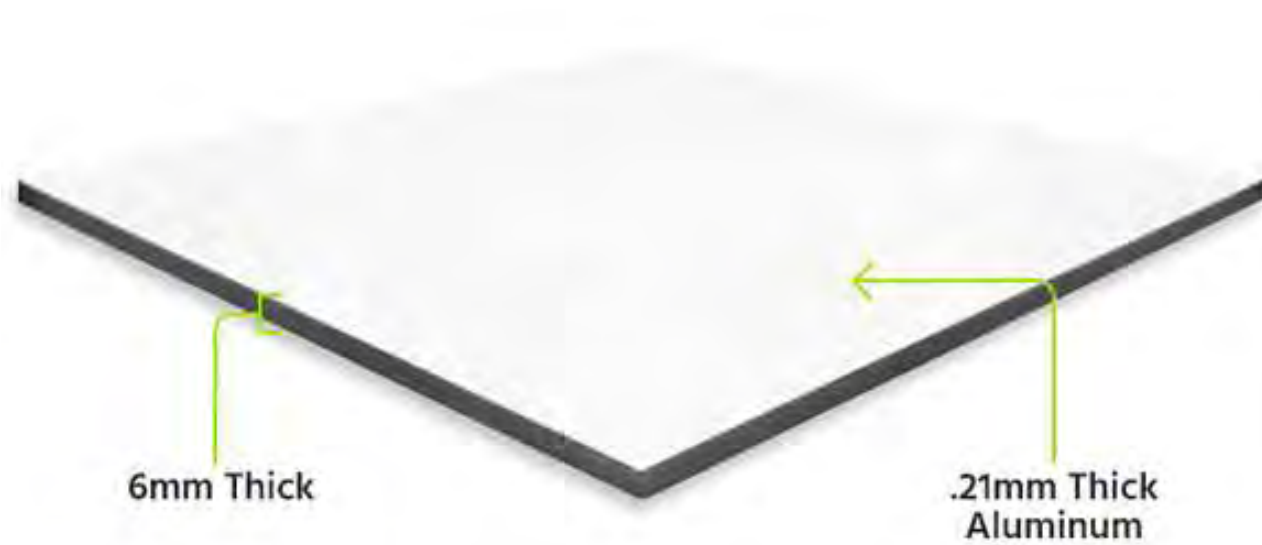
**ERIE**  
 design  
 Signs, Banners & Graphics  
 216-227-0043  
 www.eriadesign.com

CLIENT: <b>WINE DIVE</b>	JOB #:	DATE:
ADDRESS: <b>16918 DETROIT</b>	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE: <b>31127028</b>	CHANGES MADE:	
	CLIENT SIGNATURE OF APPROVAL:	DATE:

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



**Docket No. 7-60-24 (16918 Detroit)**



6mm Thick

.21mm Thick  
Aluminum



**Docket No. 7-60-24 (16918 Detroit)**

## Applicant proposes revised signage in band sign and window graphics.

### City Notes:

- ❑ Applicant proposes 2 new wall signs (26.6 sq ft ea.) and **window vinyl (removed but tinted?)**
- ❑ Frontage: 19 ft on Madison, Max allowed square footage: 28.5 sq ft
- ❑ **Total proposed square footage: 45.2 + window vinyl sq ft**



# Docket No. 7-61-24 (15516 Madison)

## New Signage – Carol Lynn’s Salon Plus Shawn Warren

Re-face of existing signs  
 LAMINATED VINYL COLOR PRINT MOUNTED TO SURFACE  
 TRIM PAINTED TO MATCH  
 2' X 14.5' sign 22" x 174" = 26.6 sq ft each x 2



As Is Now  
 SIDE



CLIENT: Carol Lynn's Salon Plus	JOB #:	DATE:
ADDRESS: 15516 Madison Ave Lakewood, OH 44107	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
	CLIENT SIGNATURE OF APPROVAL	DATE:

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043

**Docket No. 7-61-24 (15516 Madison)**



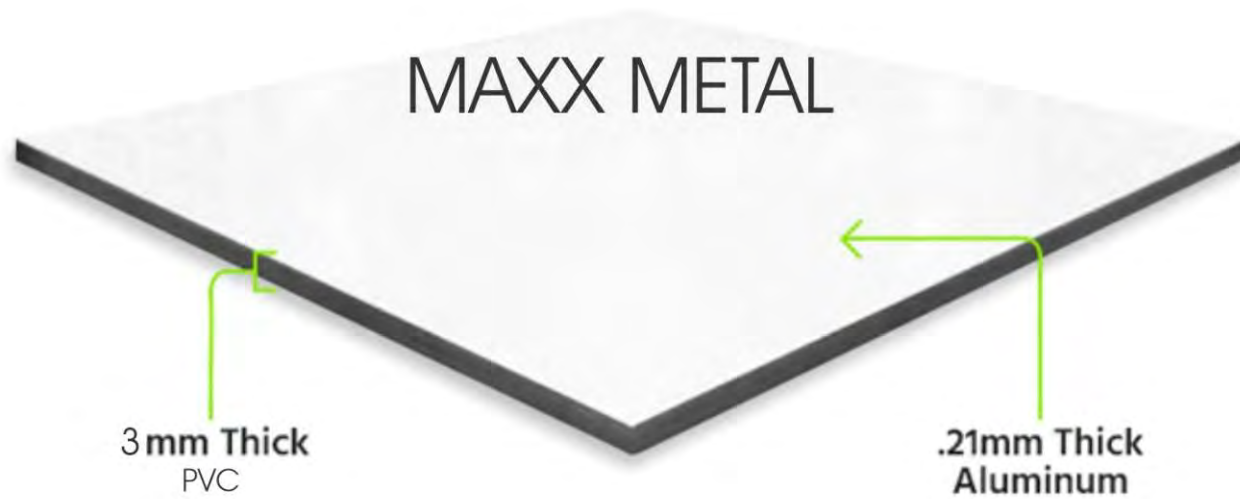
Re-face of existing signs

LAMINATED VINYL COLOR PRINT MOUNTED TO SURFACE  
TRIM PAINTED TO MATCH  
2' X 14.5' sign 22" x 174" = 26.6 sq ft each x 2



Docket No. 7-61-24 (15516 Madison)





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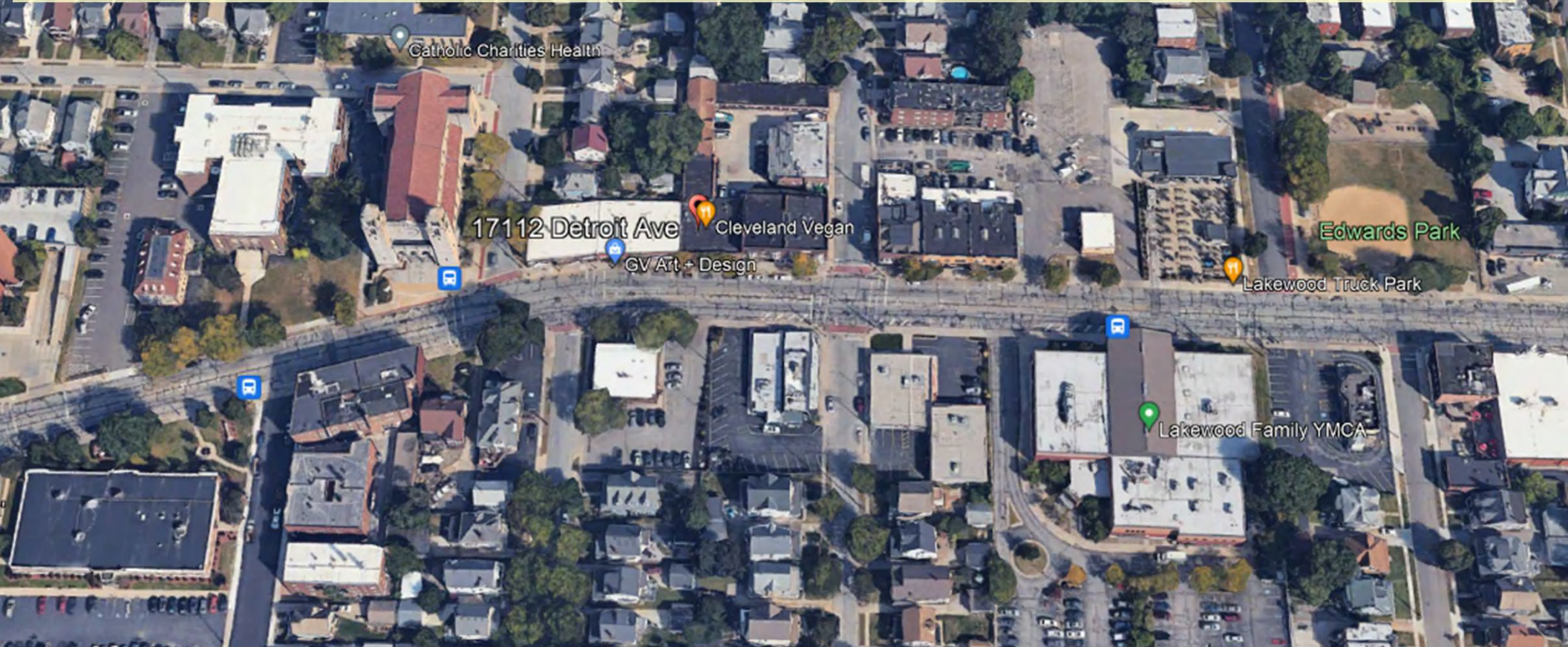
**Docket No. 7-61-24 (15516 Madison)**



## **Applicant proposes refacing of an existing blade sign and new window graphics.**

### **City Notes:**

- Applicant proposes re-facing of existing blade sign (3 sq ft) and new window vinyl (1.5 sq ft)
- Frontage: 40 ft ; Max allowed square footage: 60 sq ft
- Total existing signage: wall sign measurements needed – applicant provided it was 3'x4' but need confirmation**
- Total proposed square footage: 4.5 sq ft + existing wall signs**



**Docket No. 7-62-24 (17112 Detroit)**

**New Signage – Cleveland Vegan  
Shawn Warren**



SIGN AND  
DOOR  
AS IS NOW

**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriedesign.com

CLIENT: <b>CLEVELAND VEGAN</b>	JOB #:	DATE:
ADDRESS: <b>17112 DETROIT</b>	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
	CLIENT SIGNATURE OF APPROVAL DATE:	

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



**Docket No. 7-62-24 (17112 Detroit)**



18.5"  
door sticker  
\$20



36" dia. Text 4"



1/8" DIBOND FACES with .6mm pvc  
\$548 sided  
Remove existing sign bar -  
Replace faces and  
Re-install \$275

\*Re face existing signage

Store front 40' x 15' = 600 sq ft

\*City Permits are not included

31127026

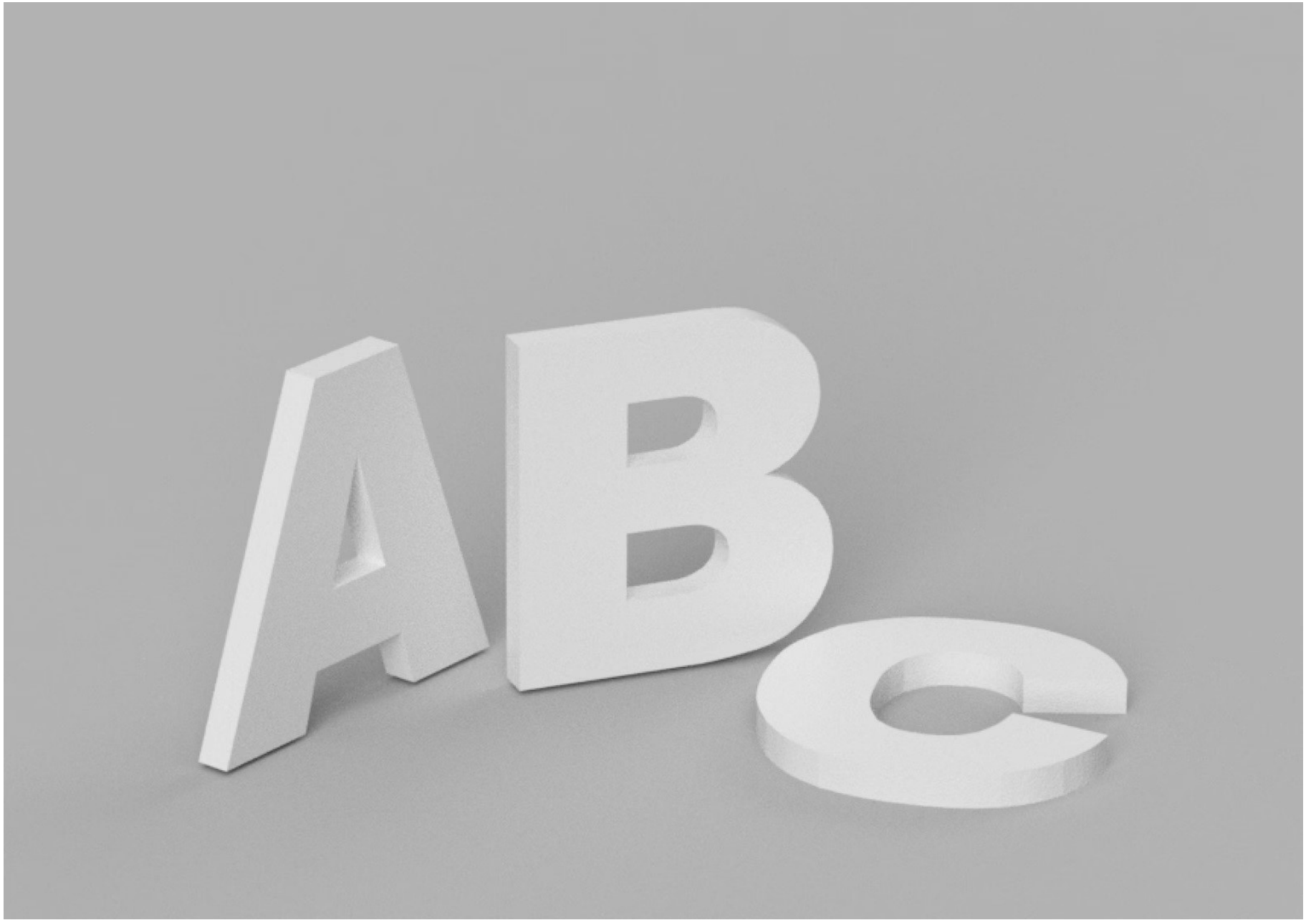
Total \$1103 + tax



CLIENT: CLEVELAND VEGAN	JOB #:	DATE:
ADDRESS: 17112 DETROIT	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY: DATE:	CHANGES MADE:	
CLIENT SIGNATURE OF APPROVAL		DATE:



**Docket No. 7-62-24 (17112 Detroit)**



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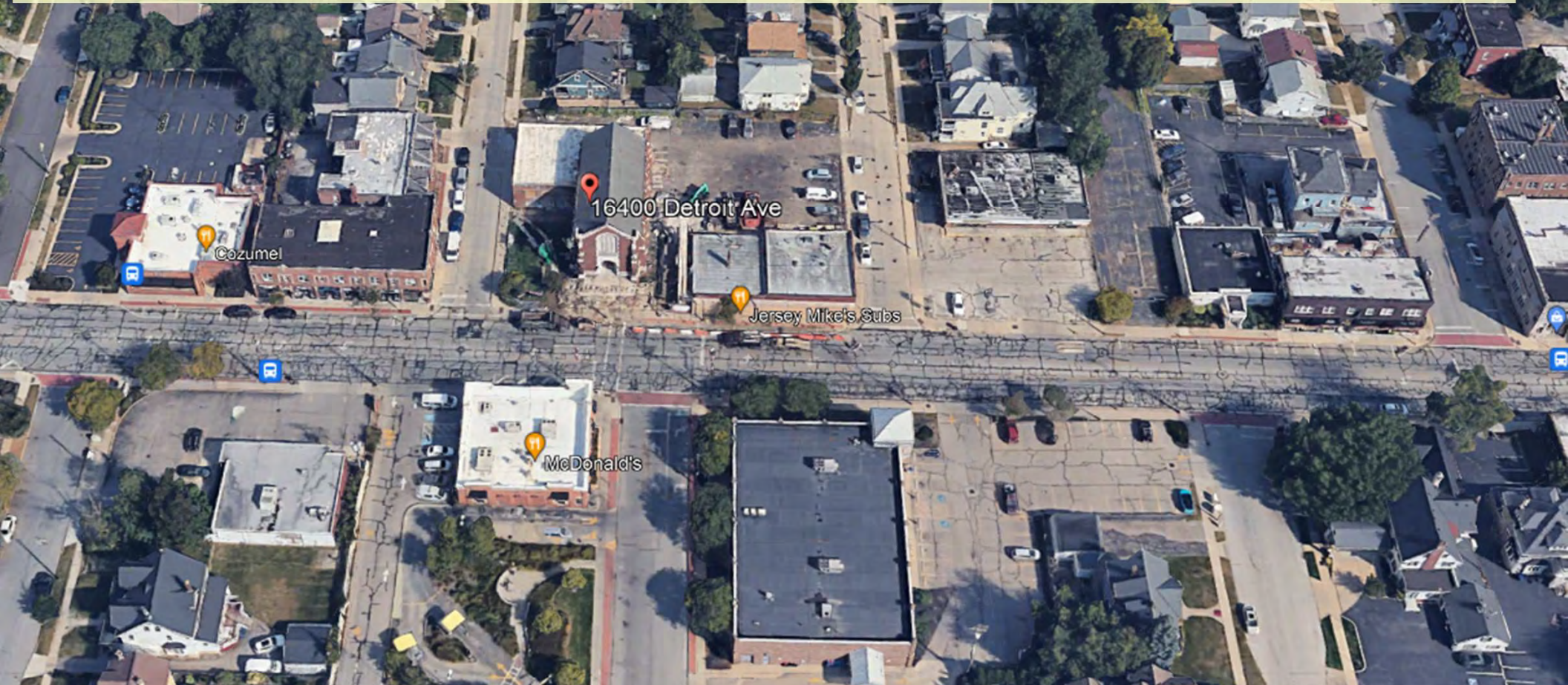
**Docket No. 7-62-24 (17112 Detroit)**



## Applicant proposes installation of an internally lit monument.

### City Notes:

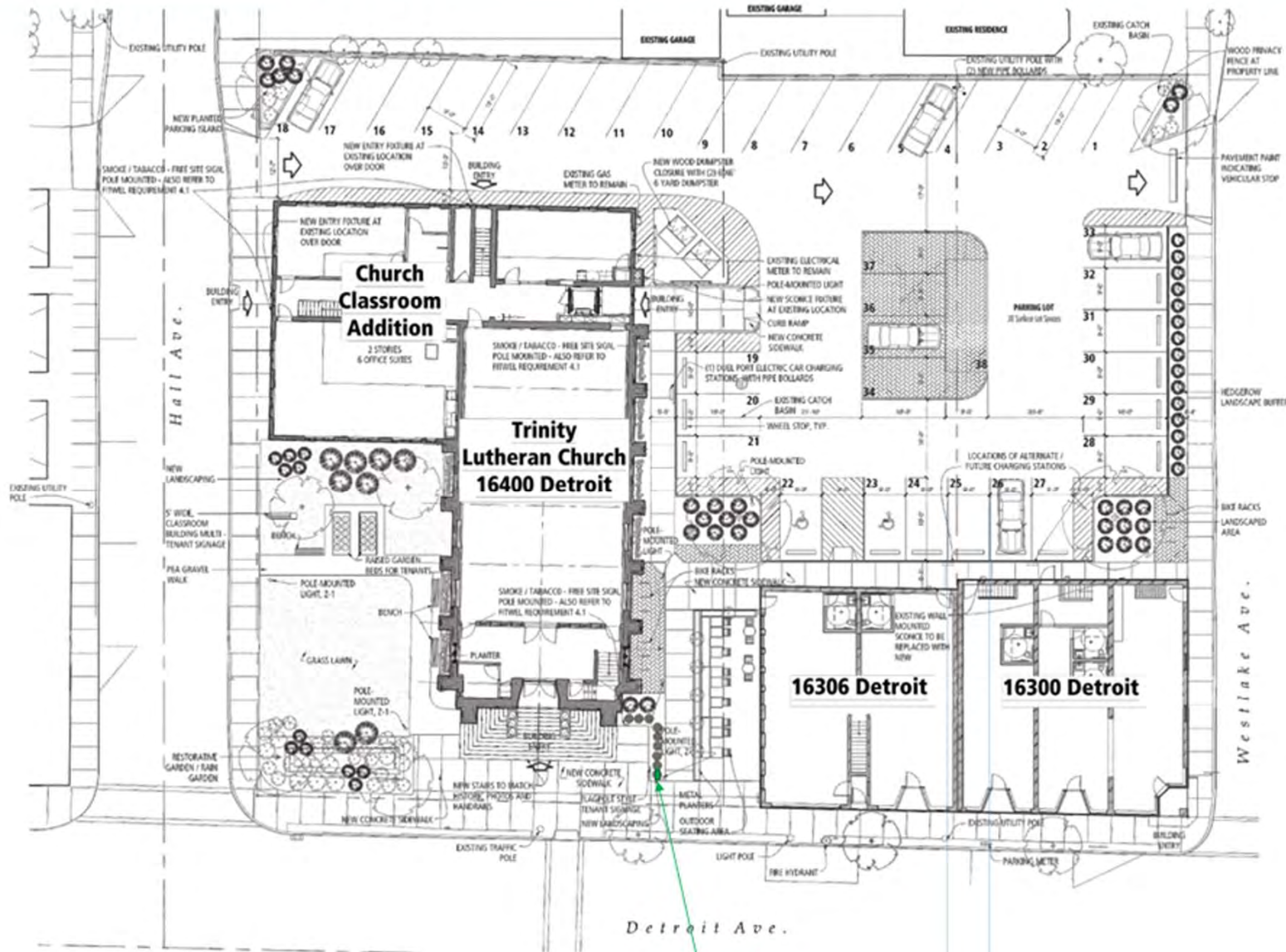
- Applicant proposes monument sign (15.25 sq. ft. actual signage, (20.25 sq ft)
- Frontage: 45 ft ; Max allowed square footage: 67.5 sq ft
- Max allowed monument sign height: 10 ft (proposed height is 13 ft)**
- Total proposed square footage: 20.25 sq ft



**Docket No. 7-63-24 (16400 Detroit)**

New Signage – Body Fit  
Monica Fletcher

**SITE PLAN**



SITE PLAN

Proposed Sign Location  
Setback 5' from ROW

9.57'

**SIGN TYPE**

Freestanding Blade Sign

**SCALE:**

**NOTES:**

**DATE**

5/7/24

**FILENAME**

Dwg74080A

**CUSTOMER / ADDRESS**

Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

**CLIENT APPROVAL**

Sign

Print

Title

Date

Proud Member Of:

ORIGINAL ARTWORK, DESIGNS & LAYOUTS ARE THE SOLE PROPERTY OF BRADY SIGNS AND MAY NOT BE REPRODUCED, DISPLAYED, TRANSMITTED TO ANYONE, IN FULL OR IN PART WITHOUT THE WRITTEN CONSENT OF BRADY SIGNS.

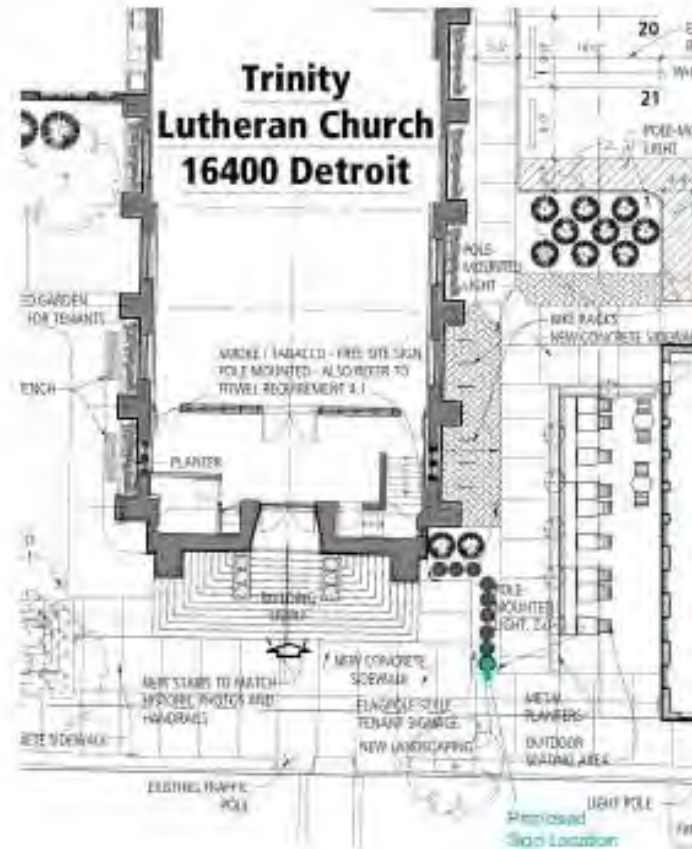
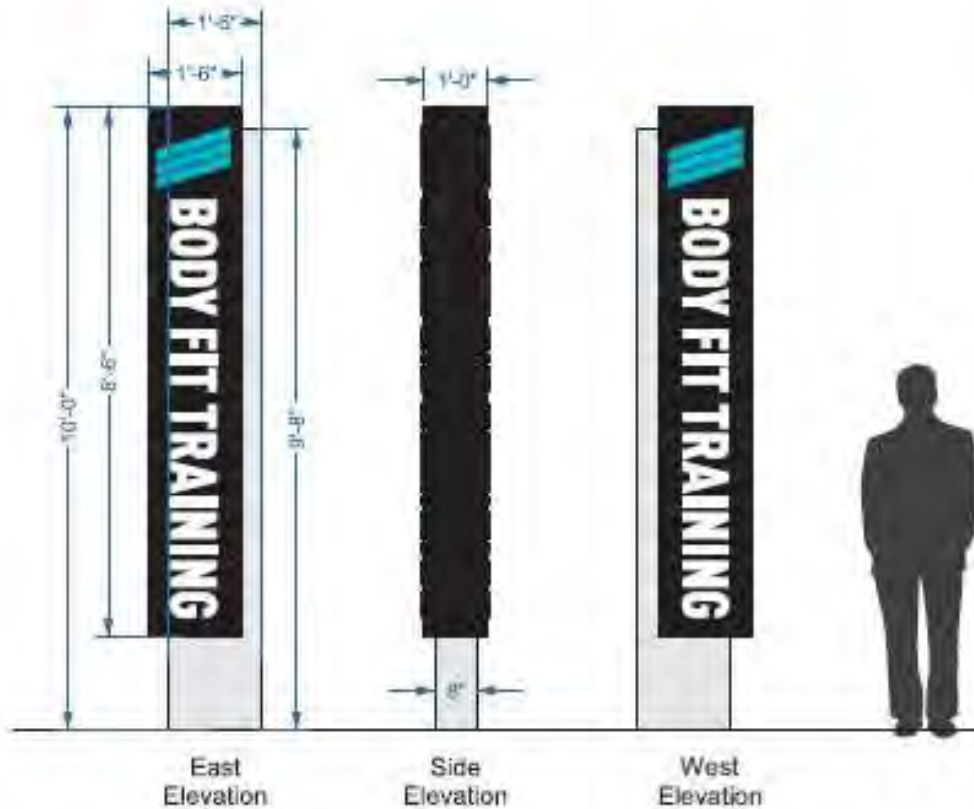
**BRADY SIGNS**

1721 Hancock Street  
Sandusky, OH 44870  
419-626-5112  
www.brady signs.com



**Docket No. 7-63-24 (16400 Detroit)**

**FREESTANDING BLADE SIGN**



**SIGN TYPE**  
Freestanding Blade Sign

**SCALE**  
1/2" = 1'-0"

**NOTES:**

- Mathews Brushed Aluminum Paint
- BFT Real
- BFT Back

**DATE**  
5/7/24

**FILENAME**  
Dwg74080A

**CUSTOMER / ADDRESS**  
Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

**CREDIT APPROVAL**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Date: \_\_\_\_\_

Special Member Of:

W-D  
S  
TVA

BRADY SIGNS

1721 Hansack Street  
Sandusky, OH 44870  
419-626-5113  
www.brady-signs.com

**Scope of Work - Freestanding Blade Sign (Revised Post ABR Pre-Review Meeting)**

Brady Signs to design, manufacture and install (1) internally lit freestanding blade sign.  
Main cabinet to feature routed aluminum faces with 3/4" acrylic push-thrus to achieve 1/2" protrusion past the face.  
Brushed aluminum pole skirt is aluminum sheet painted metallic silver. Build is illuminated with white LEDs and is setup for a single pole saddle mount install.



**FREESTANDING BLADE SIGN**

Updated



**West Elevation View (24" Setback)**

**SCALE:**

1/2" = 1'-0"

**NOTES:**

- Matthews Brushed Aluminum Paint
- BFT Teal
- BFT Black

**DATE:**

5/7/24

**FILENAME:**

Dwg74080A

**CUSTOMER / ADDRESS:**

Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

**CLIENT APPROVAL:**

Sign \_\_\_\_\_  
Post \_\_\_\_\_  
View \_\_\_\_\_  
Date \_\_\_\_\_

*Proved Member Of:*

WE ARE AN EQUAL OPPORTUNITY EMPLOYER. ALL RIGHTS RESERVED. THE CITY OF LAKWOOD, OHIO, IS AN AFFIRMATIVE ACTION EMPLOYER. THIS DOCUMENT IS THE PROPERTY OF BRADY SIGNS. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE IS STRICTLY PROHIBITED.

**3**  
**BRADY**  
**SIGNS**  
1725 Hancock Street  
Simonsley, OH 44870  
419-628-5112  
www.bradysigns.com



**Docket No. 7-63-24 (16400 Detroit)**

**FREESTANDING BLADE SIGN**



**East Elevation View (24" Setback)**

**BLADE SIGN**  
Freestanding Blade Sign

**SCALE:**  
1/2" = 1'-0"

**NOTES:**

- Matthews Brushed Aluminum Paint
- BFT Teal
- BFT Black

**DATE**  
5/7/24

**FILENAME**  
Dwg74080A

**CUSTOMER / ADDRESS**  
Body Fit Training  
16400 Detroit Avenue  
Lakewood, OH

**CLIENT APPROVAL**

Sign: \_\_\_\_\_  
 Price: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Date: \_\_\_\_\_

Project Number: 00

**W-A**  
WORKSHOP

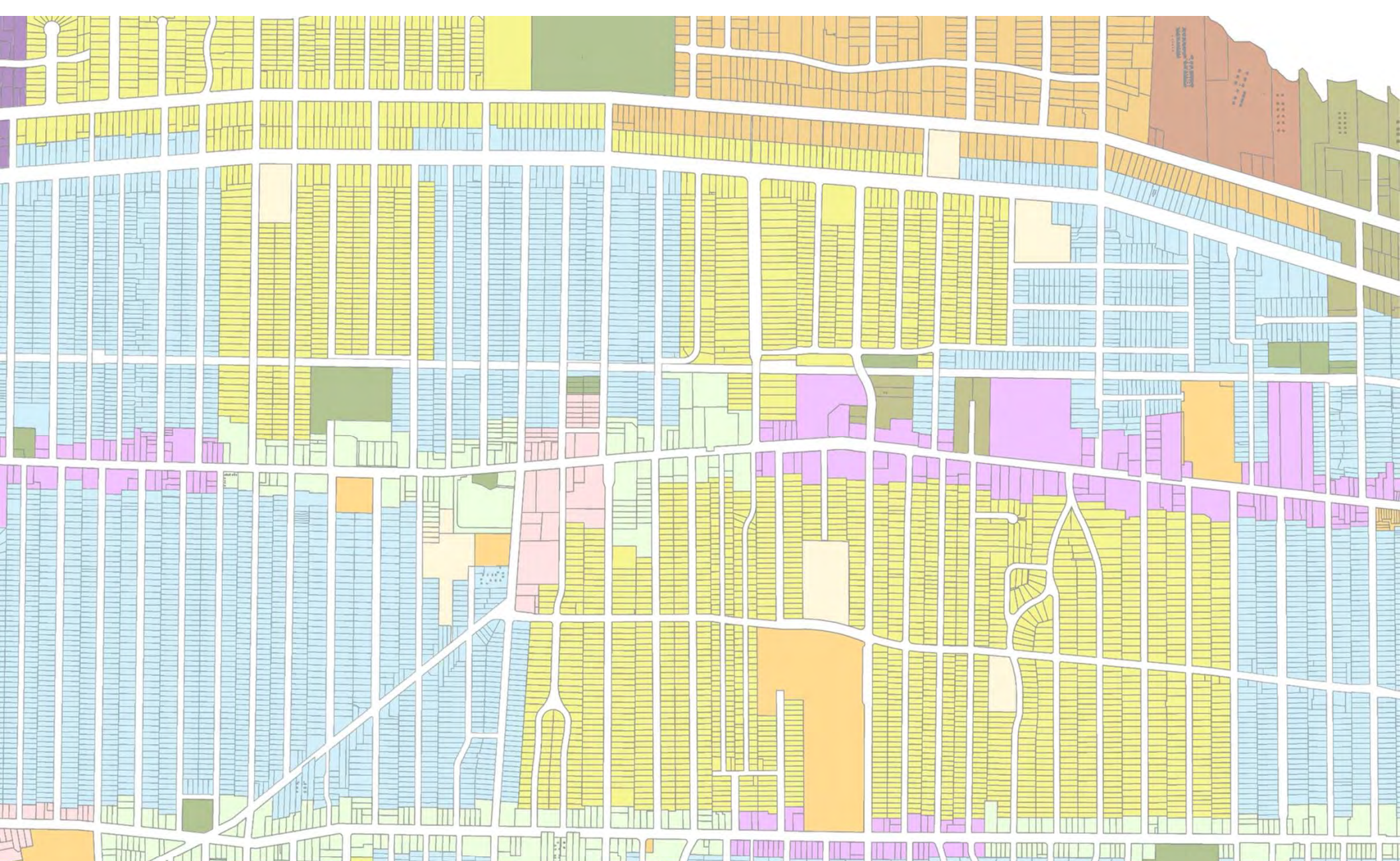
**MUR**  
MUNICIPAL

THIS IS A PRELIMINARY DESIGN AND NOT TO BE USED FOR CONSTRUCTION. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**3**  
**BRADY**  
**SIGNS**

1721 Hancock Street  
Sandusky, OH 44870  
419-626-5112  
www.brady signs.com





# Architectural Board of Review

July 2024

# Applicant proposes addition to the D Building at Lakewood High School.

## City Notes:

N/A



**Docket No. 7-65-24 (14100 Franklin)**  
Building addition at Lakewood High School  
Christopher Bader

**EXISTING CONDITIONS PHOTOS**



Looking north along the east elevation of the D Building



Looking west at the existing storage building to be demolished, south of the D Building



Looking west along the south elevation of the D Building.



Looking west in between the D Building and storage building



**Docket No. 7-65-24 (14100 Franklin)**



Looking east at the retaining wall and elevated ball field east of the project site



Looking north from the top of the ramp towards the storage building and D Building



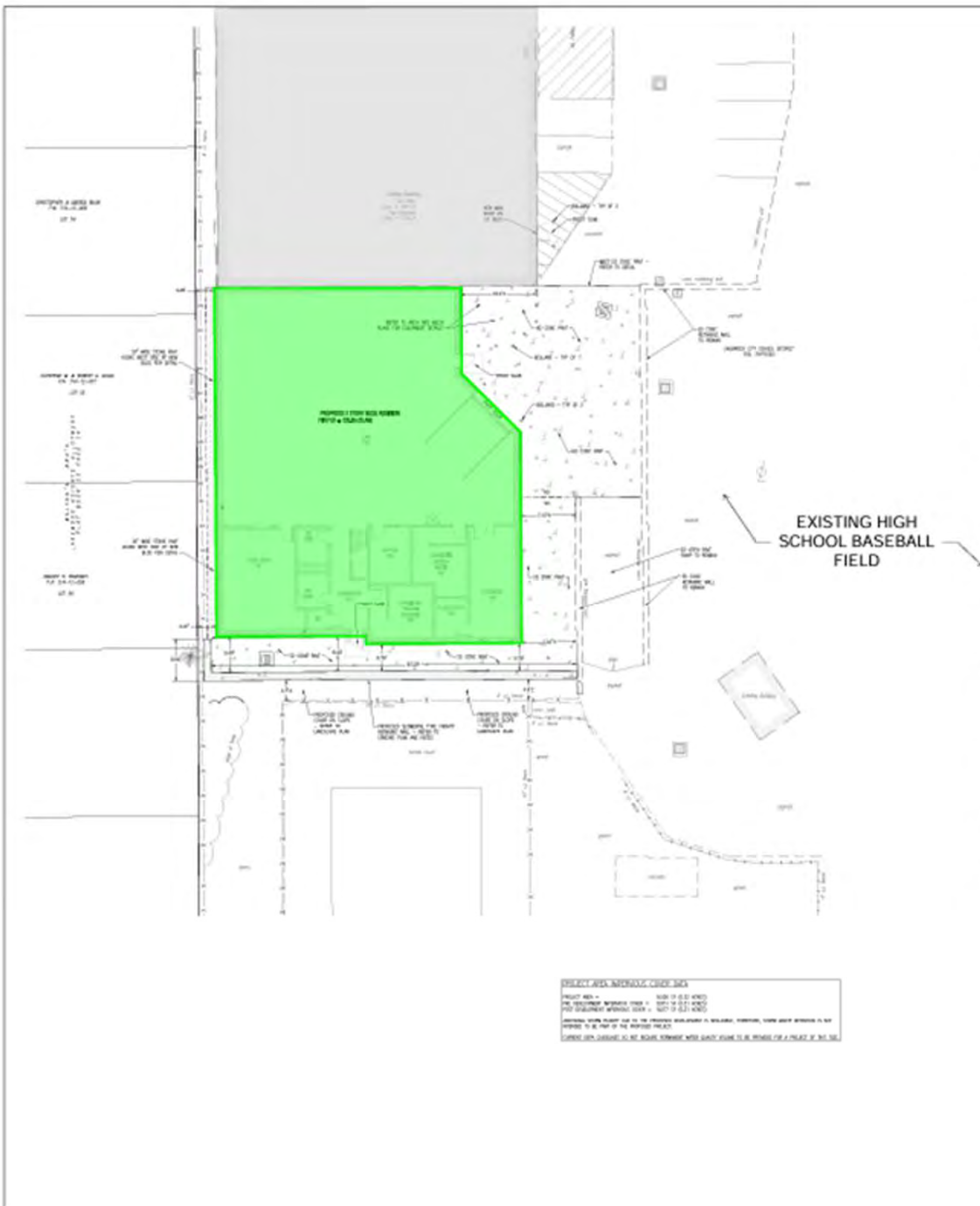
Looking south up along the access drive to the east of the project site



Looking west in between the storage building and northern-most tennis court



# Docket No. 7-65-24 (14100 Franklin)



- GENERAL NOTES**
1. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKEWOOD.
  2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKEWOOD.
  3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKEWOOD.
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- PERMITTING NOTES**
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- CONSTRUCTION NOTES**
1. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKEWOOD.
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  5. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKEWOOD.
- FINISHING NOTES**
1. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKEWOOD.
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  5. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKEWOOD.

**PROJECT AREA INFORMATION**

PROJECT AREA: 120,000 SQ FT  
 PROPOSED EXPANSION: 120,000 SQ FT  
 PROPOSED EXPANSION: 120,000 SQ FT



**LAKWOOD CSDWICT CAREER TECHNICAL EXPANSION**  
 14100 FRANKLIN BLVD  
 LAKEWOOD, OH 44107

**SITE PLAN**

PROJECT NO.	20241105.01
DATE	05/01/2024
PROJECT	LAKEWOOD CSDWICT CAREER TECHNICAL EXPANSION
PROJECT NO.	20241105.01

DATE: 20241105.01

**C101**



# Docket No. 7-65-24 (14100 Franklin)



## EDGE METALS

### STYLE

### PRESTO LOCK COPING



**MEMBRANE COMPATIBILITY**  
Please refer to the specific JM specification sheets for details.

**MULTI-PLY:** BUR APP SBS  
**SINGLE PLY:** TPO PVC EPDM

### DESCRIPTION AND USES

A cost-effective snap-on coping system designed for use with single ply, built-up and modified bitumen roofing systems. The system consists of galvanized steel anchor clips and aluminum or galvanized coping covers in a variety of thicknesses and colors.

### ANCHOR CLIPS

12" wide galvanized steel base with stainless steel spring clip designed to keep upward pressure on the coping cover. Pre-punched for proper fastener location.

### COVER PLATE

12' (3.7 m) lengths sections snapped into place over anchor clips.

### CONCEALED SPLICE PLATE

8" (20.3 cm) wide plate, with metal and finish to match cover, and dual non-curing isocryl butyl sealant strips to allow for thermal movement and seals joints.

### ACCESSORIES

Factory-fabricated miters, end caps and tees are available with "quicklock" or welded seams.

### SIZES

12' (3.66 m) sections in many sizes to fit various field conditions.

### GAUGES

Aluminum: 0.040" (1.02mm),  
0.050" (1.27mm), 0.063" (1.6 mm)  
Galvanized: 22 ga (0.76 mm)  
24 ga (0.61 mm)

### FINISHES

Steel and aluminum available in a number of standard Kynar® 500 colors. Aluminum also available in mill and anodized finishes. Custom colors available upon request.

### CUSTOM CAPABILITIES

Quicklock and welded radius coping available along with other specially fabricated coping products to meet the needs of the project.

**EXTECH**  
EXTERIOR TECHNOLOGIES, INC.

**LIGHTWALL 3440®**  
Interlocking Translucent Polycarbonate Wall System



The LIGHTWALL 3440 is our most popular daylighting system. The 3440 system offers beauty, durability, and economy with vertical panels that can extend up to 54 feet long and eliminate leak-prone horizontal joints.

Translucent polycarbonate wall panels offer a host of benefits including daylighting energy savings, outstanding insulating value, and elimination of leak-prone horizontal joints. Our sustainable aluminum framing and polycarbonate panels are 100% recyclable and can help you receive LEED credits for daylighting. The LIGHTWALL® 3440 has provided façade solutions for

a wide range of structures in a wide range of industries and has been subjected to testing to meet building code standards. The LIGHTWALL® 3440 offers comfortable, diffused daylighting, superior insulation, durability, and weather-tight performance.

## SYSTEM FEATURES & BENEFITS

- Structural cellular polycarbonate panels are 500mm (19-11/16") wide
- Vertical panels up to 54' long eliminate leak-prone horizontal joints
- Highly insulating, from U-0.24 to 0.28 (R-3.5 to 4.2) for 40mm thick panels
- Optional thermal break for better insulation value for conditioned spaces
- Tongue and Groove joinery provides clean appearance without the need for vertical framing
- Highly impact resistant
- Low friction gaskets for long life
- Available in various colors and translucencies
- Complete Air/Water/Structural Testing
- Made in the USA
- Backed by EXTECH's more than 45 years of experience



EXTECH / Exterior Technologies, Inc.  
200 Bridge St. Pittsburgh, PA 15223

Email: [info@extechinc.com](mailto:info@extechinc.com)  
Website: [www.extechinc.com](http://www.extechinc.com)

Toll Free +1 800 500 8083  
Local +1 412 781 0991

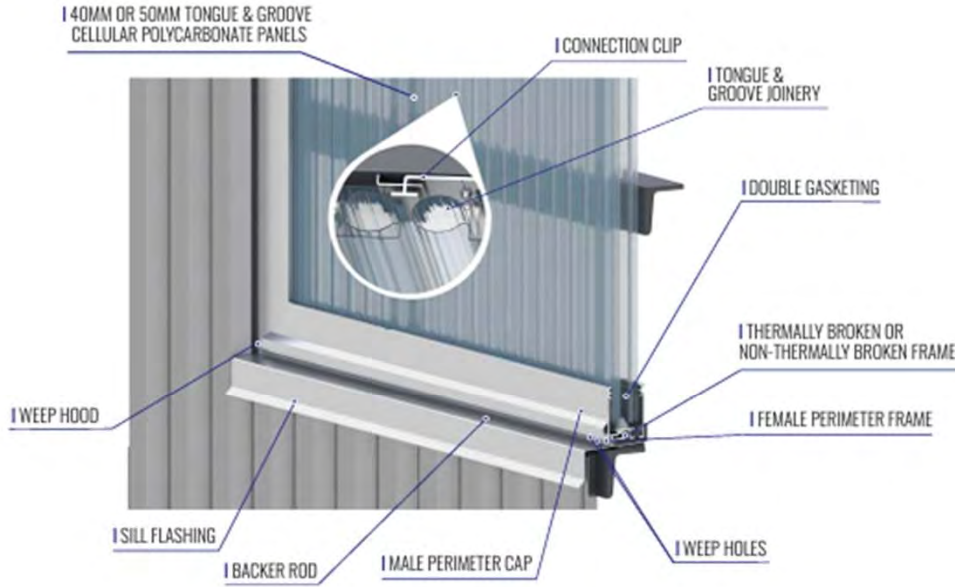
Toll Free +1 800 500 8083  
Local +1 412 781 0991

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**Docket No. 7-65-24 (14100 Franklin)**



**KEY ELEMENTS**



**TEST RESULTS**

**I Flammability Testing**

- Self-ignition: ASTM D-1929
- Smoke Density: ASTM D-2843
- Burn Extent: ASTM D-635
- Interior Flame Spread: ASTM E-84

**I Weathering Testing**

- Color Change: ASTM D-2244
- Yellowing Index: ASTM D-1925
- Light Transmission: ASTM D-1003
- Hurricane Impact: ASTM E-1886 & 1996

**I Miscellaneous**

- Air Infiltration: ASTM E-283
- Water Infiltration: ASTM E-331
- Load Bearing Capability: E-330
- U-Value: ASTM C-518

EXTECH / Exterior Technologies, Inc.  
200 Bridge St. Pittsburgh, PA 15223

Email: [info@extechinc.com](mailto:info@extechinc.com)  
Website: [www.extechinc.com](http://www.extechinc.com)

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CLOPAY COMMERCIAL – MODEL 3220  
**energy series**



**POLYSTYRENE INSULATED FLUSH STEEL DOORS**

Clopay Model 3220 doors have a 20 gauge exterior steel skin and are designed for commercial and industrial facilities where demanding conditions require a rugged door that is also energy efficient. R-value 9.1

- Bonded polystyrene insulation and thermal break for enhanced comfort.
- Three-layer construction with steel and insulation for increased durability.
- 3-stage paint process delivers a virtually maintenance-free finish.
- Injection-molded lite frames with integral weatherseal are durable and seal against the elements. Many glass options available for visibility, privacy or energy efficiency.

[clopaycommercial.com](http://clopaycommercial.com)



Steel skins are protected through a tough, layered coating system, including a hot-dipped galvanized layer, a protective metal oxide pretreatment and a baked-on primer and top coat.



## PANEL DESIGN



Flush

## COLOR OPTIONS



Standard White

Chocolate

Due to the painting process, colors may vary.

## CUSTOM PAINT OPTION



Color Blast® finish offers more than 1,500 Sherwin-Williams® color options to complement your building designs. This durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.

Due to solar reflective formulation to meet greater than a 25 DRG, some colors may not be available.

## FEATURES

### STANDARD HARDWARE

- TPE astragal in corrosion-resistant retainer
- Commercial 10-ball steel rollers (nylon tires available)
- Steel step plate and lift handle
- Galvanized steel end stiles
- Inside slide lock for increased security
- 2" (50.8 mm) or 3" (76.2 mm) track
- 10,000 cycle springs
- Galvanized aircraft cable with minimum 7:1 safety factor
- Variety of track configurations to meet building specifications

### MATERIALS AND CONSTRUCTION

Panel Thickness	2" (50.8 mm)
Insulation	2" (50.8 mm) bonded polystyrene
R-value	9.1*
U-Factor	0.24
Air Infiltration Rate	0.34 cfm/ft²
Thermal Break	Continuous silicone filled
Exterior Steel	20 gauge (.034" min.) (.86 mm)
Interior Steel	27 gauge (.016" min.) (.41 mm)
Exterior Surface	Stucco embossed, flush
Max Width	28'2" (8.6 m)
Max Height	28' (7.9 m)
Exterior Colors	Standard White and Chocolate. Also available in Color Blast®.
Interior Color	Standard White
Limited Warranties	10-year delamination 10-year standard paint 5-year Color Blast® finish 1-year material and workmanship

\*Calculated door section R-value is in accordance with DASMA 72S-163.

For special sizes, applications and options, consult customer service at 1-800-526-4307.



For more information on these and other Clipay products, visit [clipaycommercial.com](http://clipaycommercial.com). Architects and specifiers, visit [architectdoorhelp.com](http://architectdoorhelp.com).

MADE IN USA

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## ADDITIONAL OPTIONS

### WINDOW OPTIONS



24" x 8"

24" x 12"



Aluminum Full-View\*

\*Insilcon polyurethane insulated option also available. Available with insulated or insulated tempered glass. Full-view section, pre-painted Standard White or Chocolate; glazing options include DSG, plexiglass, wire and insulated glass.

### HEAVY-DUTY HARDWARE (where not standard)



Double-end hinge

3" Track

High performance hardware features 10 gauge end hinges, heavy-duty top bracket and 3" sealed roller with 5/8" stem.

### MULLIONS



Carry-away, roll-away or swing-up mullions are available on select sizes.

### BREAK-AWAY SECTION



Single section and double sections available on select sizes.

### PASS DOOR



32" wide x 80" high (.81 m x 2.3 m), max 16'2" (4.9 m) wide section.

### EXHAUST PORT



Can be cut into any type of sectional door. Available in select sizes.

### SAFE-T-STOP™ CHAIN HOIST



Hand chain hoist with an integral braking system providing controlled descent for sectional doors.



WicCos® design pressure (DP) up to 37 PSF depending on size. Models tested 50% greater than DP.



Upgrade your standard door with industrial-grade components.

### CODE COMPLIANT

This Clipay door complies with the 2015 IECC (International Energy Conservation Code) with an air infiltration rating of .40 cfm/ft² or less (IECC, Section 402.5.2), and also meets the U-Factor requirement of .37 or less (IECC, Section C402.4, for Climate Zones 1 through 8).

### HIGH CYCLE SPRINGS



25,000, 50,000 or 100,000 cycle springs available.



ARCA

DASMA

IDA

CMDC-3226-12\_REV0524



# Docket No. 7-65-24 (14100 Franklin)



**Docket No. 7-65-24 (14100 Franklin)**

**Applicant proposes the demolition and build of a new garage in the R2 district.**

**City Notes:**

- Garage is visible to right-of-way on corner lot



**Docket No. 7-66-24 (2105 Lincoln)**  
Garage Demolition and New Garage Construction  
John D'Amico



**Docket No. 7-66-24 (2105 Lincoln)**



**Docket No. 7-66-24 (2105 Lincoln)**



**Docket No. 7-66-24 (2105 Lincoln)**



**Docket No. 7-66-24 (2105 Lincoln)**





**Docket No. 7-66-24 (2105 Lincoln)**

## The Great Garage Company, Inc.

[www.greatgaragecompany.com](http://www.greatgaragecompany.com)

---

1309 Ridge Rd. Suite 4  
Hinckley, OH 44233  
440.230.9900

City of Lakewood  
Architectural Review Board  
12650 Detroit Avenue  
Lakewood, OH 44107

### Colors and Materials for a New Garage at:

Terrence and Adrienne Dziak  
2105 Lincoln Ave.  
Lakewood, OH 44107

Roofing Shingle: Certainteed Landmark 30-year dimensional shingle  
Color: Cobblestone Gray

Siding: Alside Odyssey D4 Straight Lap Siding  
Color: Adobe Cream

Trim and Soffit:  
Color: White

Overhead Door:  
CHI 8 x 7 4240 Non-Insulated Long Panel Door  
Color: Sandstone  
See DoorVision Spec Sheet



---

# Docket No. 7-66-24 (2105 Lincoln)



### Product Summary

Model 4240

#### Size

Width: 8' 0" X Height: 7' 0"

#### Products

Timeless: Raised Panel

#### Design

Long Panel

#### Thermal Requirements / Construction

R-NA / 2", Heavy Duty, 1-Sided Steel, No Insulation

#### Color

Sold Color: Sandstone

#### Windows

Position: NO WINDOWS

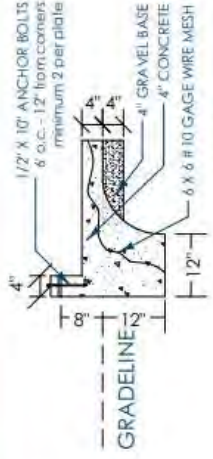
Window Inserts: No Inserts

**Please Note:** These woodtones, colors, and door panels are to be used as an indication only. Some sizes not available in all models and configurations. Refer to your local C.H.I. Dealer for the exact look of your garage door and availability.



**Revised:**  
The original plans for this garage have already been reviewed and approved. Since the approval, we have moved the overhead door and new concrete to the left side of garage instead of the right side.  
The revisions can be seen on this new set of plans.

**Revised: 7/3/2024**  
The original plans for this garage have already been reviewed and approved. Since the approval, it has been recommended by the ABR that we add 12" overhangs all the way around the garage. That revision can be seen on pages 2 & 3.



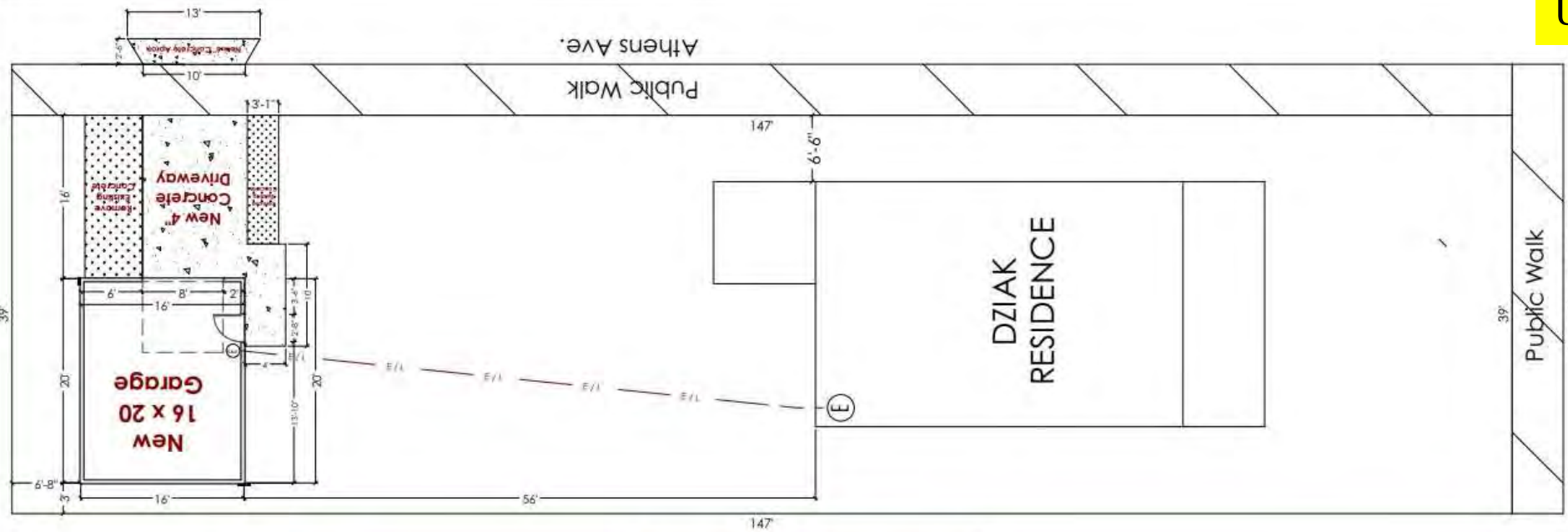
SECTION A



**IMPORTANT NOTICE TO HOMEOWNER:**  
PLEASE HAVE POWER TO GARAGE SHUT OFF BEFORE DEMOLITION AND HAVE ELECTRIC POWER FROM THE HOUSE ACCESSIBLE FOR POWER TOOLS.

I (We) have reviewed these drawings and agree that it is a true representation of the work to be performed on my property.  
I also understand that I am responsible for the location of my property lines, painting, backfill and landscaping of my property.

Homeowner: \_\_\_\_\_  
Homeowner: \_\_\_\_\_  
Date: \_\_\_\_\_

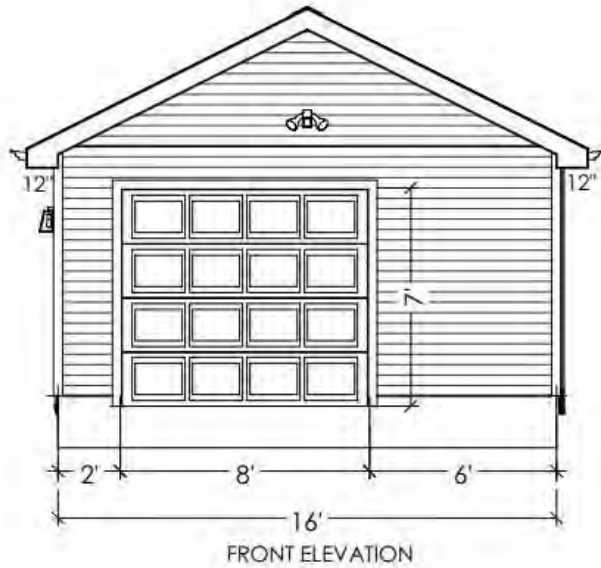
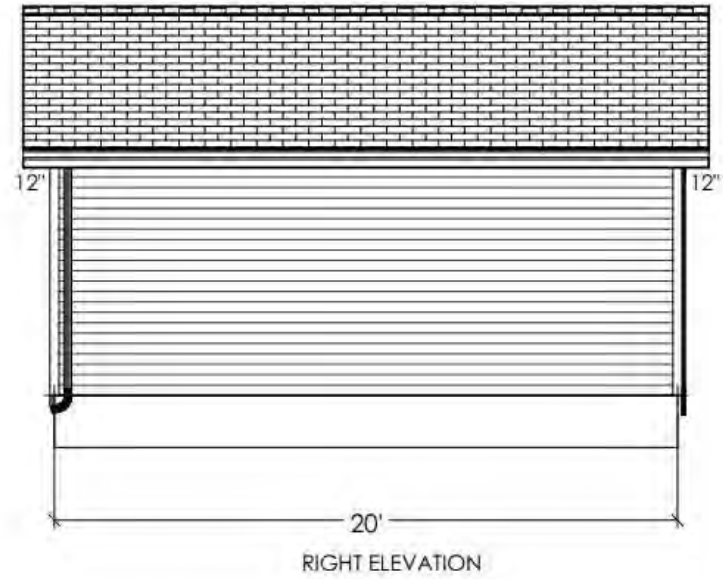
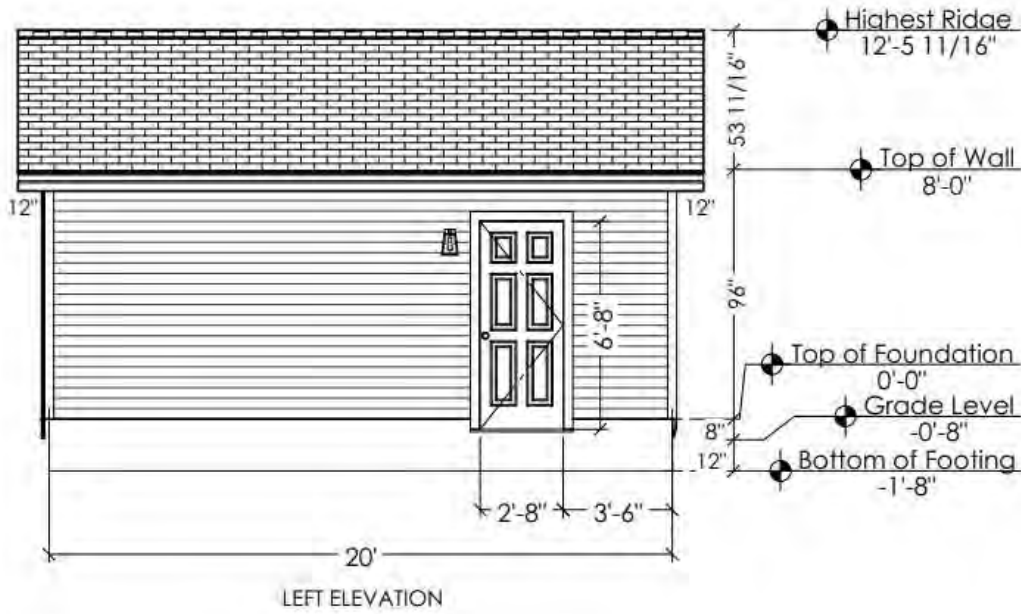


DRAWINGS PROVIDED BY: Amy D'Amico The Great Garage Company 1309 Ridge Road / Suite 4 Hickley, OH 44233 440.230.9900
DATE: 7/3/2024
SCALE:
SHEET: P-1

16 x 20 Gable Garage Plot Plan

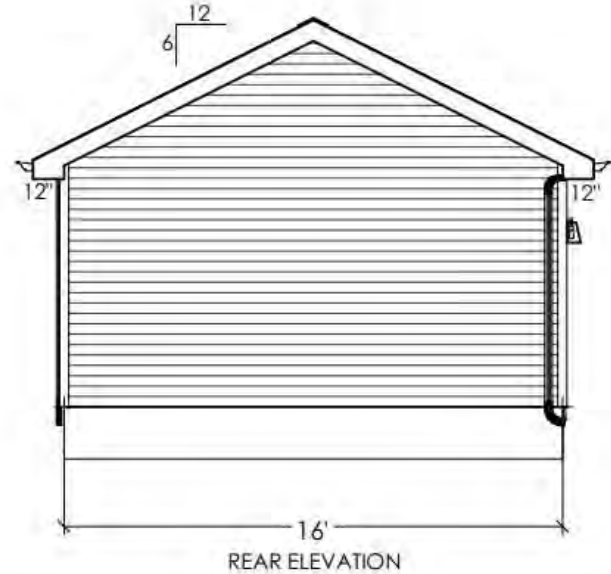
Terry and Adrienne D  
2105 Lincoln Ave  
Lakewood, OH 441  
216-526-7175





Rear downspout splashes to left side yard.  
Right downspouts splashes to drive

Gutter and downspout color: White



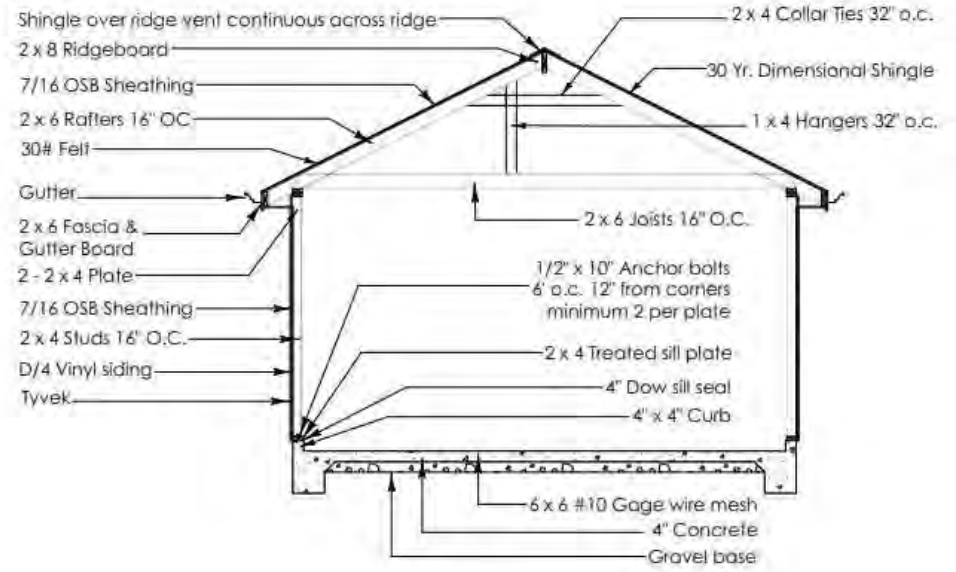
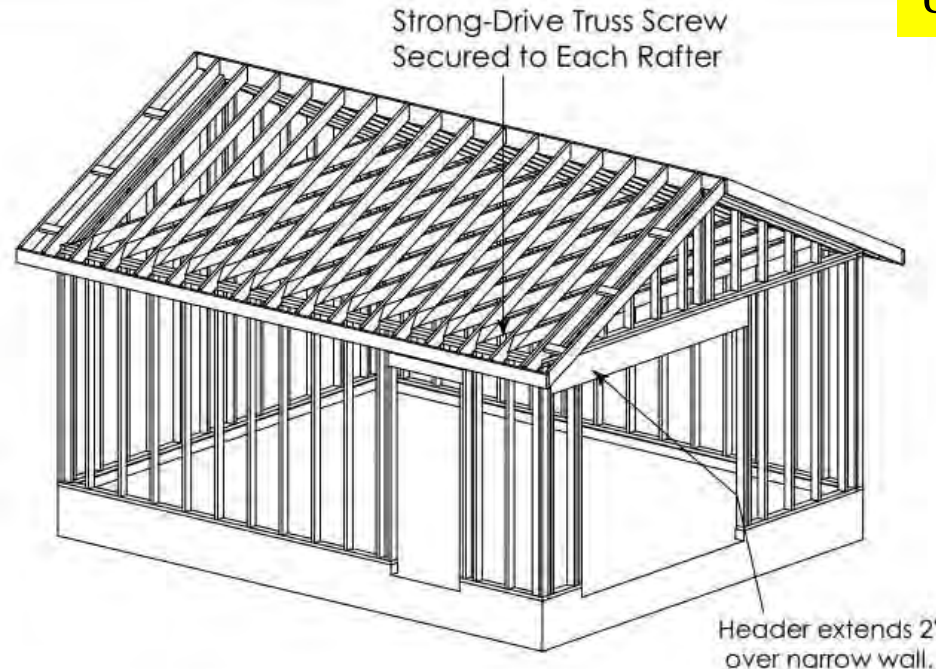
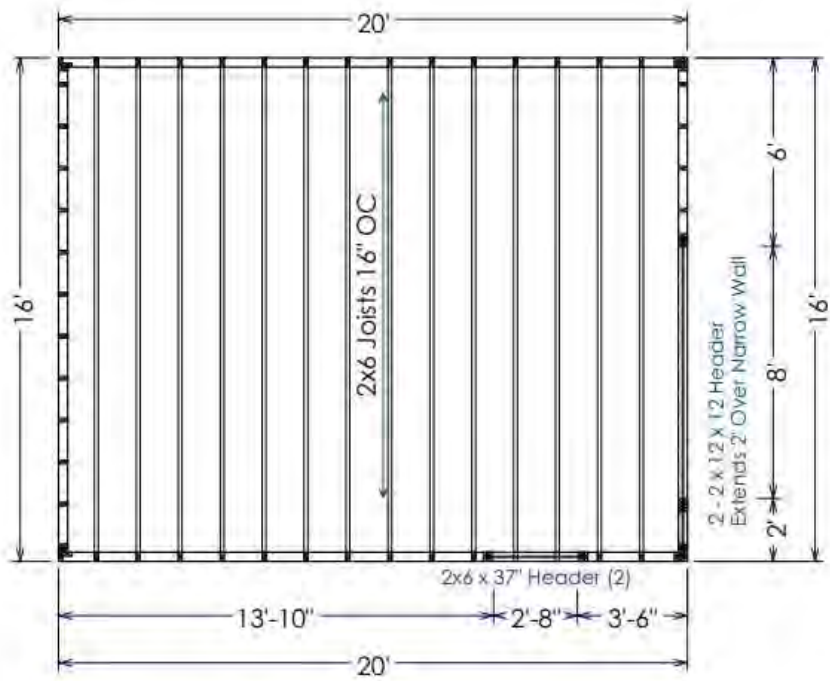
Terry and Adrienne Dzi  
2105 Lincoln Ave.  
Lakewood, OH 44107  
216-526-7175

16 x 20 Gable Garage  
Elevations

DRAWINGS PROVIDED BY:  
Amy D'Amico  
The Great Garage Company  
1309 Ridge Road / Suite 4  
Hickley, OH 44233  
440.230.9900

DATE:	7/3/2024
SCALE:	1/4
SHEET:	P-2





Terry and Adrienne Dz  
2105 Lincoln Ave.  
Lakewood, OH 44110  
216-526-7175

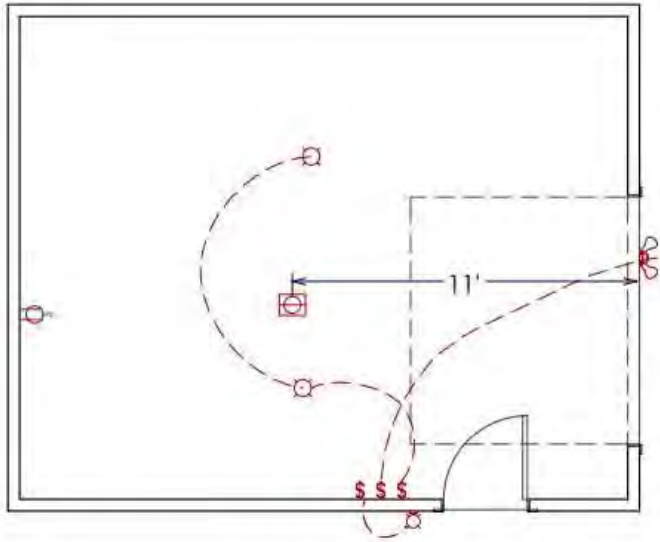
16 x 20 Gable Garage  
Structural

DRAWINGS PROVIDED BY:  
Amy D'Amico  
The Great Garage Company  
1309 Ridge Road / Suite 4  
Hircleky, OH 44233  
440.230.9900

DATE:	7/3/2024
SCALE:	1/4
SHEET:	P-3



# Docket No. 7-66-24 (2105 Lincoln)



Electrical Plan  
Scale: 1/4 in = 1 ft

ELECTRICAL SCHEDULE				
QTY.	FLOOR	DESCRIPTION	2D SYMBOL	3D ELEVATION
1	1	ELECTRICAL DOUBLE SPOT LIGHT AND MOTION SUPPLIED BY ELECTRICIAN		
1	1	SCONCE LIGHT PROVIDED BY ELECTRICIAN		
1	1	SINGLE CEILING MOUNTED		
2	1	BARE BULB		
3	1	SINGLE POLE		
1	1	GFCI		

Electrical Schedule

**IMPORTANT NOTE TO ELECTRICIAN:**

- Up to 60' underground feeder
- All materials to be supplied by electrician
- All wall receptacles in garage to be GFCI protected
- Garage door opener to be single receptacle

**Garage with a 60 amp sub-panel:**

Underground to garage to be in a minimum of 3/4" rigid metal conduit a minimum of 6" deep (or 3/4" PVC conduit a minimum of 18" deep) with 3) #6 THHN and a #10 ground on a 60 amp double pole breaker in the house panel and a 60 amp double pole main in the garage sub-panel. Install a grounding rod at the garage sub-panel. Rear outlet/outlets for each bay are on a dedicated circuit.

**IMPORTANT NOTE TO HOMEOWNER:**

PLEASE make arrangements to be home when the electricians are scheduled. They will need to get to the panel in your house.

We will email you a detailed build schedule, once it is set up.  
**THANK YOU**

Terry and Adrienne Dzi  
2105 Lincoln Ave.  
Lakewood, OH 44107  
216-526-7175

16 x 20 Gable Garage  
Electrical

DRAWINGS PROVIDED BY:  
Amy D'Amico  
The Great Garage Company  
1309 Ridge Road / Suite 4  
Hinckley, OH 44233  
440.230.9900

DATE:

7/3/2024

SCALE:

SHEET:

P-4





Rafter/Truss/Plate Fastening

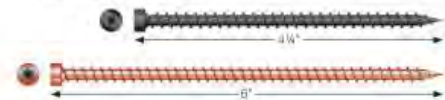
**Strong-Drive®**  
SDWC TRUSS Screw

Rafter/Truss-to-Plate and Stud-to-Plate Connections

The SDWC screw is tested in accordance with ICC-ES AC208 (screw) and AC13 (wall assembly and roof-to-wall assembly) for uplift and lateral loads between wall plates and vertical wall framing and between the top plate and the roof rafters or trusses. SDWC15450 is recognized for use in chemically treated wood as described in the evaluation report.

Codes/Standards: WPMO-UES ER-262, State of Florida FL13075

For more information, see pp. 84-85, D-F-2019 Fastening Systems Catalog



SDWC — Allowable Shear Loads — DFL, SP, SPF

Size (in.)	Model No.	Thread Length (in.)	Nominal Member Thickness (in.)		Reference Allowable Shear Loads (lb.)					
			Side Member	Main Member	Z <sub>perp</sub>			Z <sub>edge</sub>		
					SP	DFL	SPF	SP	DFL	SPF
0.15 x 4 1/4	SDWC15450	4 1/4	2x (Face)	2x (End grain)	—	—	—	225	205	190
			(90° Edge)	2x (Edge)	140	140	190	140	240	240
0.15 x 8	SDWC15000	8 1/4	2x (Face)	2x (End grain)	—	—	—	225	205	190
			(90° Edge)	2x (Edge)	—	—	—	225	225	225

1. Allowable loads are shown at the wood load duration factor of C<sub>D</sub> = 1.0. Loads may be increased for load duration up to a C<sub>D</sub> = 1.6.
2. Tabulated values must be multiplied by all applicable adjustment factors per the NDS.
3. The main and side members shall be sawn lumber or structural composite lumber with a specific gravity or equivalent specific gravity 0.42 to 0.55.
4. Z<sub>perp</sub> — Parallel-to-grain loading in the side member and perpendicular to grain loading in the main member.
5. Z<sub>edge</sub> — Perpendicular-to-grain loading in the side member and perpendicular-to-grain loading in the main member, except for 2x (edge) where main member is loaded parallel to grain.
6. The connection conditions of the table are for specific intended applications. Reference lateral design values for all other shear connections are calculated following the NDS.

SDWC — Allowable Withdrawal and Pull-Through Loads — DFL, SP, SPF

Size (in.)	Model No.	Thread Length (in.)	Nominal Main Member Thickness (in.)	Reference Allowable Withdrawal Loads (lb./in.)			Reference Allowable Pull-Through Loads (lb./in.)		
				SP	DFL	SPF	SP	DFL	SPF
0.12 x 4 1/4	SDWC15450	4 1/4	2x (Edge)	250	230	150	—	—	—
				2x (End Grain)	200	140	100	210	180
0.15 x 8	SDWC15000	8 1/4	2x (Face)	210	180	120	255	185	160
			(90° Face)	220	200	160	240	215	190

1. Allowable loads are shown at the wood load duration factor of C<sub>D</sub> = 1.0. Loads may be increased for load duration up to a C<sub>D</sub> = 1.6.
2. Tabulated values must be multiplied by all applicable adjustment factors per the NDS.
3. The reference withdrawal and pull-through values are in pounds per inch of the thread penetration into the main member and a minimum 1 1/2" thick side member, respectively.

Strong-Drive Truss Screw



Docket No. 7-66-24 (2105 Lincoln)

602.10.6.3 Method PFG: Portal frame at garage door openings in Seismic Design Categories A, B and C. Where supporting a roof or one story and a roof, a Method PFG braced wall panel constructed in accordance with Figure 602.10.6.3 shall be permitted either side of garage door opening.

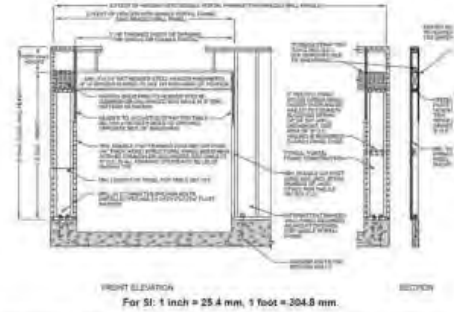


FIGURE 602.10.6.3 METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B AND C



2019 Residential Code of Ohio Categories: Only

About this Title  
This is an integrated code based on the 2018 International Residential Code®.

Ohio portal frame garage dr opening 2019[9897]

Terry and Adrienne  
2105 Lincoln Av  
Lakewood, OH 4  
216-526-7175

16 x 20 Gable Garage  
Truss Screw & Narrow Wall

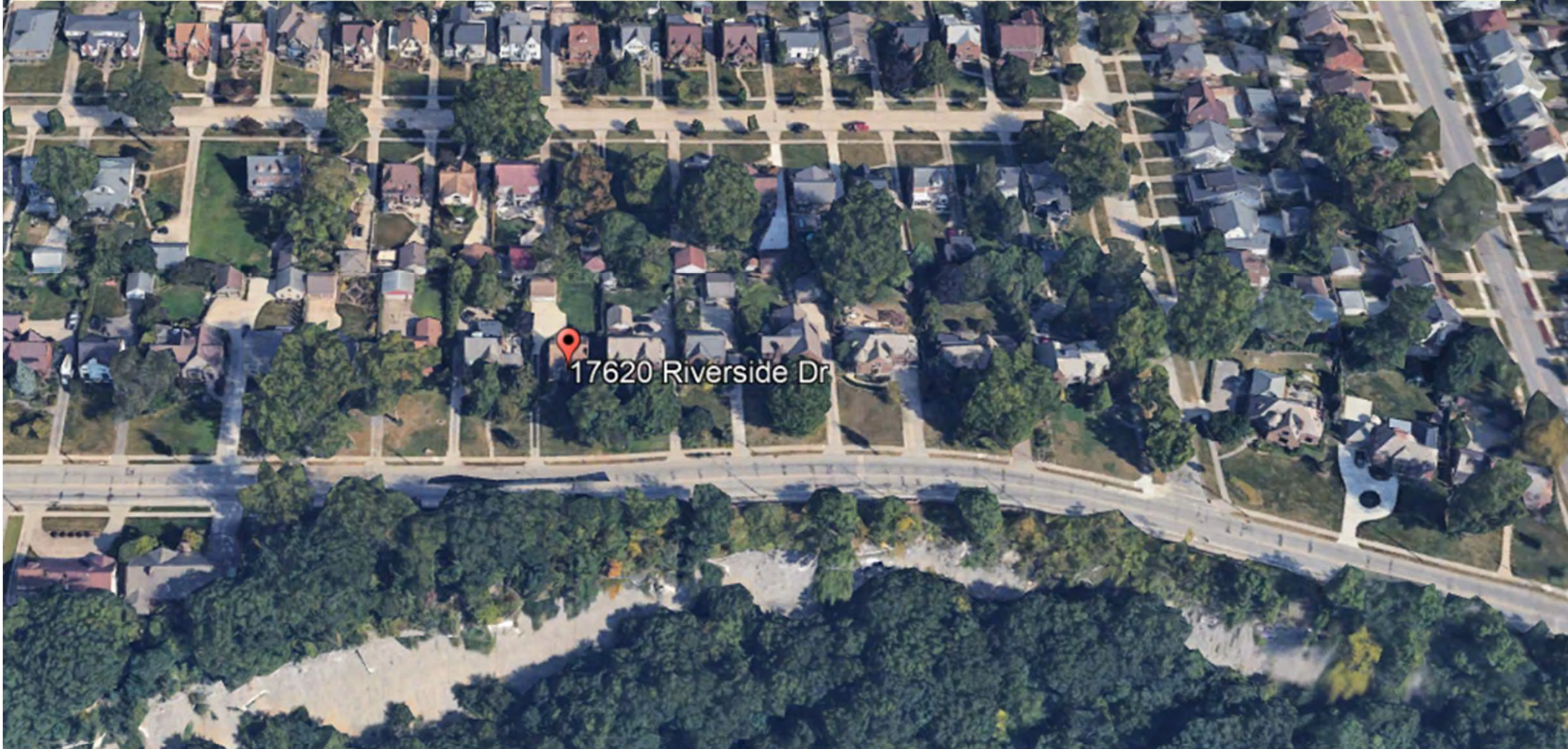
DRAWINGS PROVIDED BY:  
Amy D'Amico  
The Great Garage Company  
1309 Ridge Road / Suite 4  
Hinckley, OH 44233  
440.230.9900

DATE:  
7/3/2024  
SCALE:  
SHEET:  
P-5

**Applicant proposes a two-story addition, renovation, and new detached garage for an existing home in the R1H district.**

**City Notes:**

N/A



**Docket No. 7-67-24 (17620 Riverside)**  
Residential Renovation and Addition  
Daniel Margulies



EXISTING PHOTO VIEWING SOUTHWEST



EXISTING PHOTO VIEWING SOUTHEAST



EXISTING PHOTO VIEWING NORTHWEST



EXISTING PHOTO VIEWING NORTHEAST

DESIGN: DANIEL MARGULIES COMPANY, INC.

1210 CRANE AVENUE  
 LAKEWOOD, OHIO 44107  
 TEL: 440.355.0885  
 EMAIL: danie1@dmc.ohioonline.com



ADDITION AND RENOVATION FOR:

THE MEREDITH RESIDENCE  
 17620 RIVERSIDE DR., LAKEWOOD, OHIO

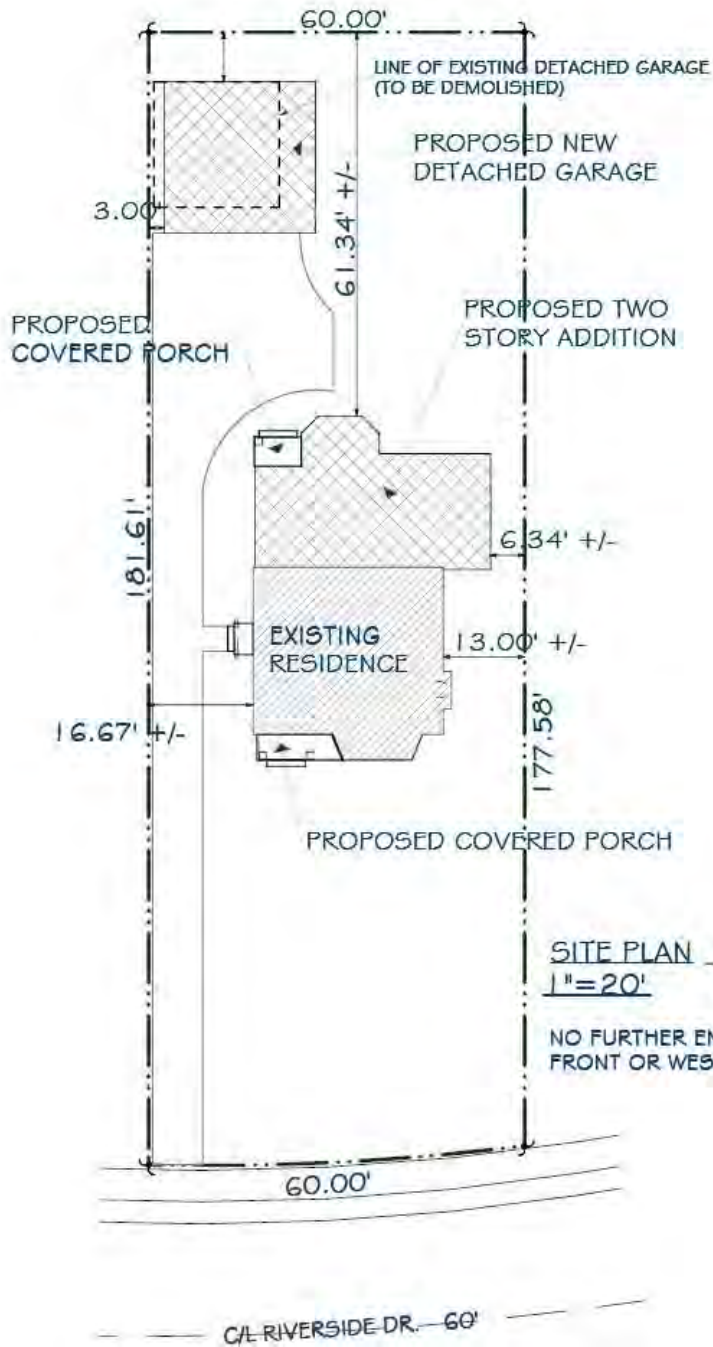
ISSUE DATE  
 DEC 21, 2014; FOR  
 LAKEWOOD APB

SHEET NO.

5



**Docket No. 7-67-24 (17620 Riverside)**



PERSPECTIVE VIEWING NORTHWEST  
N.T.S.

ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
 17620 RIVERSIDE DR., LAKEWOOD, OHIO

*DRAWING INDEX*

#	DESCRIPTION
1	COVER SHEET • DRAWING INDEX
2	FIRST and SECOND FLOOR PLANS
3	SOUTH, WEST and EAST EXTERIOR ELEVATIONS
4	EXTERIOR PERSPECTIVES
5	EXISTING CONDITIONS PHOTOGRAPHS

LAKWOOD ARB  
PRE-ARB.

DESIGNER: DANIEL MARGILLIUS COMPANY INC.  
 1210 CHASE AVENUE  
 LAKEWOOD, OHIO 44107  
 TEL: 440.355.0500  
 EMAIL: daniel@dmco.com



ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
 17620 RIVERSIDE DR., LAKEWOOD, OHIO

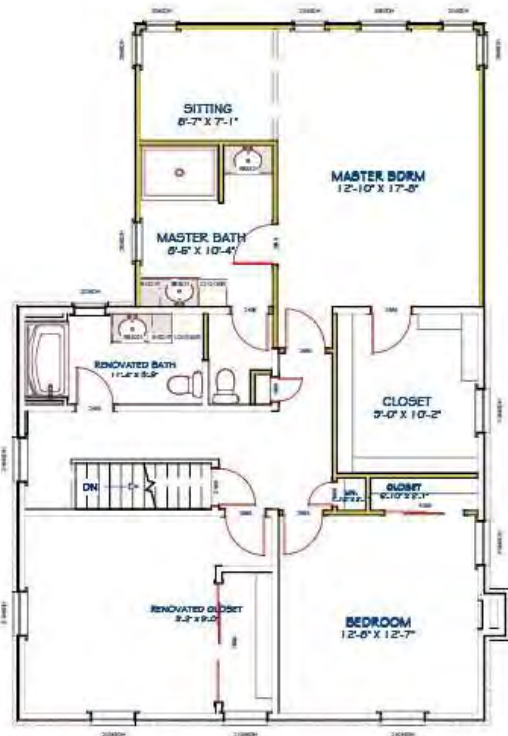
ISSUE DATE:  
 06.21.24, FOR  
 LAKEWOOD ARB

SHEET NO.

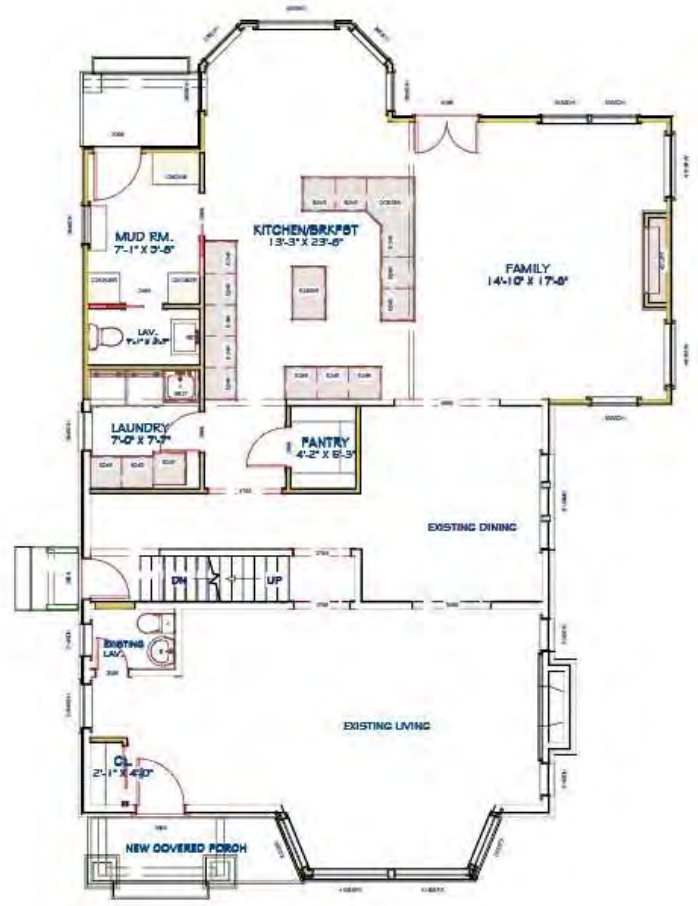
1



**Docket No. 7-67-24 (17620 Riverside)**



SECOND FLOOR PLAN B  
1/8" = 1'-0"



FIRST FLOOR PLAN B  
1/8" = 1'-0"

DESIGN: DANIEL MARGULIES COMPANY INC.  
 1210 CHASE AVENUE  
 LAKWOOD, OHIO 44107  
 TEL: 440.356.0868  
 EMAIL: daniel@dmcc.chococornell.com



ADDITION AND RENOVATION for:  
**THE MEREDITH RESIDENCE**  
 17620 RIVERSIDE DR., LAKWOOD, OHIO

ISSUE DATE  
 06.21.24; FOR  
 LAKWOOD AFB

SHEET NO.  
**2**



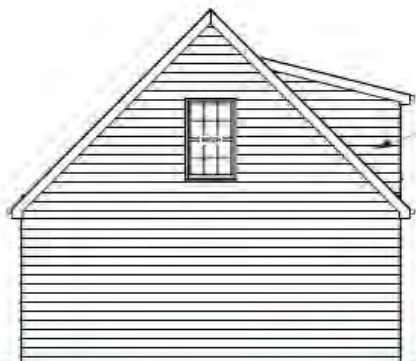
# Docket No. 7-67-24 (17620 Riverside)

Updated

NEW ASPHALT COMPOSITION SHINGLES (ALL ROOF PLANE)

"HARDIE" LAP SIDING, TRIM, AND CORNER BOARDS

PROPOSED DORMERS



PROPOSED DETACHED GARAGE

WEST ELEVATION  
1/8" = 1'-0"

PROPOSED TWO STORY ADDITION

EXISTING RESIDENCE

PROPOSED DORMERS

NEW ASPHALT COMPOSITION SHINGLES (ALL ROOF PLANE)

"HARDIE" LAP SIDING, TRIM, AND CORNER BOARDS

PROPOSED DORMERS  
"HARDIE" LAP SIDING, TRIM, AND CORNER BOARDS



EAST ELEVATION  
1/8" = 1'-0"

EXISTING RESIDENCE

PROPOSED TWO STORY ADDITION



"HARDIE" LAP SIDING, TRIM, AND CORNER BOARDS

PROPOSED DETACHED GARAGE BEYOND

SOUTH ELEVATION  
1/8" = 1'-0"

EXISTING RESIDENCE

PORTION OF REAR ADDITION

REV.  
07.08.24 FOR  
LAKESIDE AND  
REVISIONS

DESIGN: DAVID MARGULIUS COMPANY INC.  
1210 CHASE AVENUE  
LAKESIDE, OHIO 44107  
TEL: 440.336.0600  
EMAIL: dmarg@dmco.com



ADDITION AND RENOVATION FOR:  
THE MEREDITH RESIDENCE  
17620 RIVERSIDE DR., LAKESIDE, OHIO

ISSUE DATE  
DEC. 11, 2024 FOR  
LAKESIDE AND

SHEET NO.  
3



# Docket No. 7-67-24 (17620 Riverside)



PERSPECTIVE VIEWING SOUTHWEST  
N.T.S.



PERSPECTIVE VIEWING NORTHWEST  
N.T.S.



PERSPECTIVE VIEWING NORTHEAST  
N.T.S.

LAKWOOD AND  
PRELIMS.

DESIGN: DANIEL MARGULIES COMPANY INC.  
1210 CHASE AVENUE  
LAKWOOD, OHIO 44107  
TEL: 440.355.0000  
EMAIL: dcm@dmccompany.com



ADDITION AND RENOVATION for:  
THE MEREDITH RESIDENCE  
17620 RIVERSIDE DR., LAKWOOD, OHIO

ISSUE DATE  
06.21.24 FOR  
LAKWOOD AND

SHEET NO.  
4



# Docket No. 7-67-24 (17620 Riverside)



Existing Brick



Owens Corning Duration Designer Series in color Peppercorn



James Hardie Plank Lap Siding **primed for paint** (site finish)



Jeld-Wen ¾ 4 Lite Clear Glass Fiberglass in Black



Front of house lighting-Wall Sconce



Clopay Canyon Ridge garage door black finish (glass is clear)



 <p>SW 7069 Iron Ore</p>	<p>Siding to be finished in Sherwin-Williams Iron Ore</p>
	<p>All windows (existing to be replaced) Pella Double Hung Fiberglass Black exterior</p>



**Applicant proposes new garage construction, addition, and façade changes to residential structure in the R1H district.**

**City Notes:**

- Will need BZA variance for front setback encroachment



**Docket No. 7-68-24 (1115 Wilbert)**  
Residential Addition  
Elizabeth Davis



**Docket No. 7-68-24 (1115 Wilbert)**





**Docket No. 7-68-24 (1115 Wilbert)**





**Docket No. 7-68-24 (1115 Wilbert)**





**Docket No. 7-68-24 (1115 Wilbert)**





**Docket No. 7-68-24 (1115 Wilbert)**





**Docket No. 7-68-24 (1115 Wilbert)**

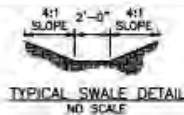




**Docket No. 7-68-24 (1115 Wilbert)**



**LEGEND**



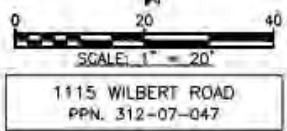
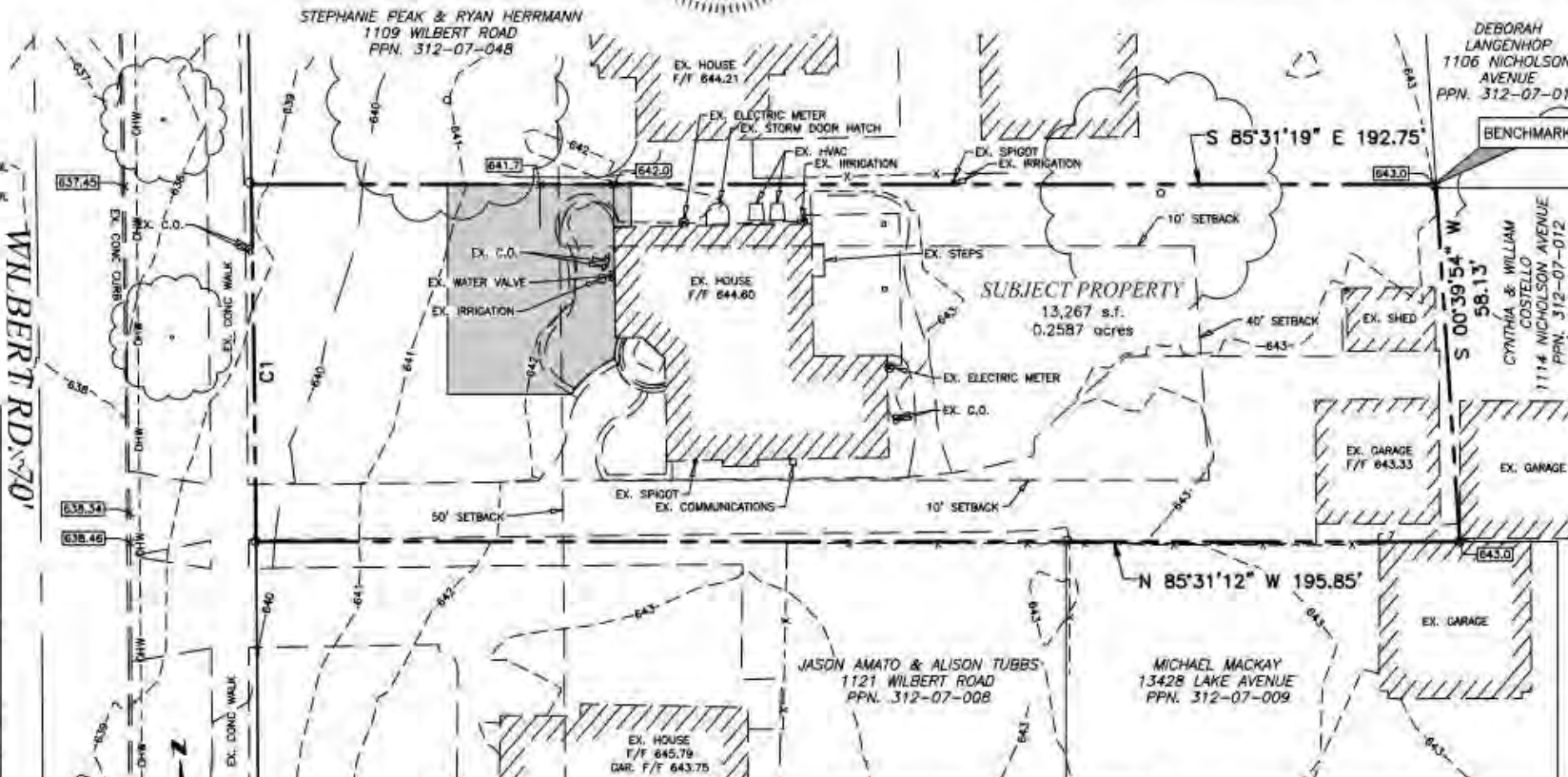
REVISIONS:

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING
C1	58.00'	8035.00'	0°24'49"	29.00'	58.00' N 03°42'55" E

- CAPPED REBAR TO BE SET
- CURVE DATA
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- NEW FINISHED GRADE ELEVATION
- NEW FINISHED GRADE ELEVATION
- NEW FINISHED TOP CONCRETE GRADE ELEVATION
- NEW LATERAL CLEAN OUT
- ★ STABILIZED CONSTRUCTION ENTRANCE
- FLOOD ROUTE
- NEW TEMPORARY EROSION CONTROL (SILT SOX)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- DEMOLITION AREA
- 780 NEW FINISHED GRADE CONTOURS
- 775 EXISTING GRADE CONTOURS
- 78 SAN EXISTING SANITARY SEWER
- LAT EXISTING SANITARY LATERAL
- LAT NEW SANITARY LATERAL
- ST EXISTING STORM SEWER
- RD EXISTING STORM LATERAL
- RD NEW STORM LATERAL
- W EXISTING WATER MAIN
- W EXISTING WATER SERVICE
- WS NEW WATER SERVICE
- UL NEW UTILITY SERVICE

- CITY OF LAKEWOOD NOTES:**
1. PREMIUM JOINTS SHALL BE USED FOR SANITARY AND STORM WORK
  2. BUILDER/LANDSCAPER SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE HOUSE
  3. GRADING BEYOND THE PROPERTY LINES IS PROHIBITED UNLESS WRITTEN PERMISSION IS GRANTED TO THE CONTRACTOR BY THE AFFECTED PROPERTY OWNER(S)
  4. CONTRACTOR SHALL VERIFY SANITARY AND STORM HOOKUPS AND INVERTS PRIOR TO BASEMENT EXCAVATION
  5. CONCRETE DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LAKEWOOD CODIFIED ORDINANCES. STAMP CONCRETE DRIVEWAY AND SIDEWALK WITH THE FOLLOWING SYMBOLS FOR LOCATIONS OF CLEANOUTS AND VALVES:  
STORM - S, SANITARY - S, WATER - W
  6. THE CONTRACTOR IS REQUIRED TO SCHEDULE AN INSPECTION FOR PERFORMING A DYE TEST TO PROVE THAT THE SANITARY AND STORM SEWER CONNECTIONS ARE PROPERLY CONNECTED. TESTING PROCEDURES SHALL BE PER THE CITY ENGINEER OR BUILDING COMMISSIONER REQUIREMENTS. APPROVAL IS REQUIRED BEFORE 2ND BUILDING PERMIT IS ISSUED
  7. IN THE RIGHT OF WAY, 1) USE THE APPROPRIATE LAKEWOOD STANDARD DRAWINGS AND SPECIFICATIONS AND 2) CONTACT JOE SCHALLER (440)537-8945
  8. STREET OPENINGS (IF REQUIRED) SHALL BE STEEL PLATED AND PAVEMENT RESTORED WITHIN 7 DAYS OF COMPLETION. TEMPORARY STONE IS NOT PERMITTED
  9. CONTACT LAKEWOOD WATER/WASTEWATER DIVISION (216) 529-1867 BEFORE CONNECTING TO THE WATER CURB STOP
  10. INSTALL THE CITY OF LAKEWOOD (NEPTUNE T-10 METER) AUTOMATIC READER
  11. CLEANOUTS CAPS SHALL BE E-2 SET LOCATING PLUG CAPS
  12. PRIOR TO OCCUPANCY, THE BUILDING PERMIT HOLDER SHALL PROVIDE THE BUILDING COMMISSIONER A LETTER FROM THE PROFESSIONAL SURVEYOR AFFIRMING THAT THE SITE HAS BEEN GRADED PER THE TOPO PLAN

**BUILDER:**  
 OLD WORLD CUSTOM HOMES, LLC  
 7054 MEARS GATE DR NW  
 NORTH CANTON, OHIO 44720  
 ANDREW EGGEMAN  
 330-094-0229



**LOT BENCHMARK:**  
 5/8" CAPPED REBAR (HANTEL 5129)  
 LOCATED AS SHOWN ON PLOT PLAN.  
 ELEV. 643.07

**PLOT PLAN PREPARED FOR**  
 OLD WORLD CUSTOM HOMES  
 SITUATED IN THE CITY OF LAKEWOOD  
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:  
**GBC DESIGN, INC.**  
 805 White Pond Dr. Akron, OH 44320-1188  
 Phone 330-598-0225 Fax 330-598-0702

PAGE 1 OF 2  
 DATE: 6/26/2024  
 DRAWN BY: BAW  
 PROJECT No. 57096

- SWEEP NOTES:**
1. USE SILT SOX INSTEAD OF SILT FENCE AND IN THE RIGHT OF WAY USE ADS FLEX STORM INLET PROTECTION ONLY FOR THE NEAREST CATCH BASINS THAT DRAIN FROM THE SITE.
  2. ALL BMP'S SHALL BE IN PLACE PRIOR TO CONSTRUCTION OR DEMOLITION.
  3. BUILDING PERMIT HOLDER IS RESPONSIBLE FROM THE BEGINNING OF CONSTRUCTION TO COMPLETION FOR THE FOLLOWING: 1) INFORMING ALL CONTRACTORS OF THESE REQUIREMENTS, 2) ENSURING COMPLIANCE WITH THIS PLAN, 3) ENSURING MAINTENANCE OF BMP'S, AND 4)

- PENALTIES/FINES IF NONCOMPLIANCE IS DETERMINED IN ACCORDANCE WITH CODIFIED SHORD 1138.
4. GENERAL SEQUENCE IS:  
 BUILDING PERMIT NO. 1 - 1) INSTALL EROSION AND SEDIMENT CONTROLS (BMP'S), 2) INSTALL UNDERGROUND UTILITIES, 3) EXCAVATE BASEMENT AND FOOTINGS, 4) POUR FOUNDATION, 5) CONSTRUCT FOUNDATION WALLS, 6) CONSTRUCT OR POUR FIRST FLOOR SLAB, 7) BACKFILL FOUNDATION, 8) ROUGH GRADE, 9) CLEAN SITE OF DEBRIS, 10) TEMPORARY GRASS SEEDING, AND 11) SCHEDULE AND PASS ALL REQUIRED INSPECTIONS WHEN REQUIRED.

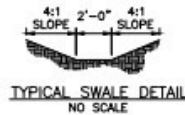
5. BUILDING PERMIT NO. 2 - 1) MOBILIZE REMAINING CONSTRUCTION MATERIALS, 2) FRAMING, 3) INTERIOR EXTERIOR WORK, 4) POUR DRIVEWAYS/SIDEWALKS, 5) FINE GRADE LOT, (ALL BMP'S MUST BE IN PLACE AND MAINTAINED FOR FINAL GRADE INSPECTION), AND 6) SCHEDULE AND PASS ALL INSPECTIONS WHEN REQUIRED.
6. CONCRETE TRUCK WASHOUT AREA IDENTIFIED FOR SITES WITHOUT A DESIGNATED AREA, PROVIDE AN AREA ON THE BUILDING SITE FOR A VINYL-COIN CONCRETE WASHOUT BAG (OR APPROVED EQUIV.)
7. ALL WASTE AND DUMPSTER CONTAINERS SHALL BE COVERED AT THE END OF EACH WORK DAY.



# Docket No. 7-68-24 (1115 Wilbert)

**LEGEND**

- CAPPED REBAR TO BE SET
- CURVE DATA
- ⊗ EXISTING FIRE HYDRANT
- ⊕ EXISTING VALVE
- ⊙ EXISTING MANHOLE
- ⊞ EXISTING BOX INLET
- ⊠ EXISTING CURB INLET
- ⊡ EXISTING LIGHT POLE
- ⊢ EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- 00.00 NEW FINISHED GRADE ELEVATION
- 00.00 NEW FINISHED GRADE ELEVATION
- 00.00 EXISTING FINISHED GRADE ELEVATION
- 00.00 NEW FINISHED TOP CONCRETE GRADE ELEVATION
- C.O. NEW LATERAL CLEAN OUT
- ★ STABILIZED CONSTRUCTION ENTRANCE
- FLOOD ROUTE



REVISIONS:

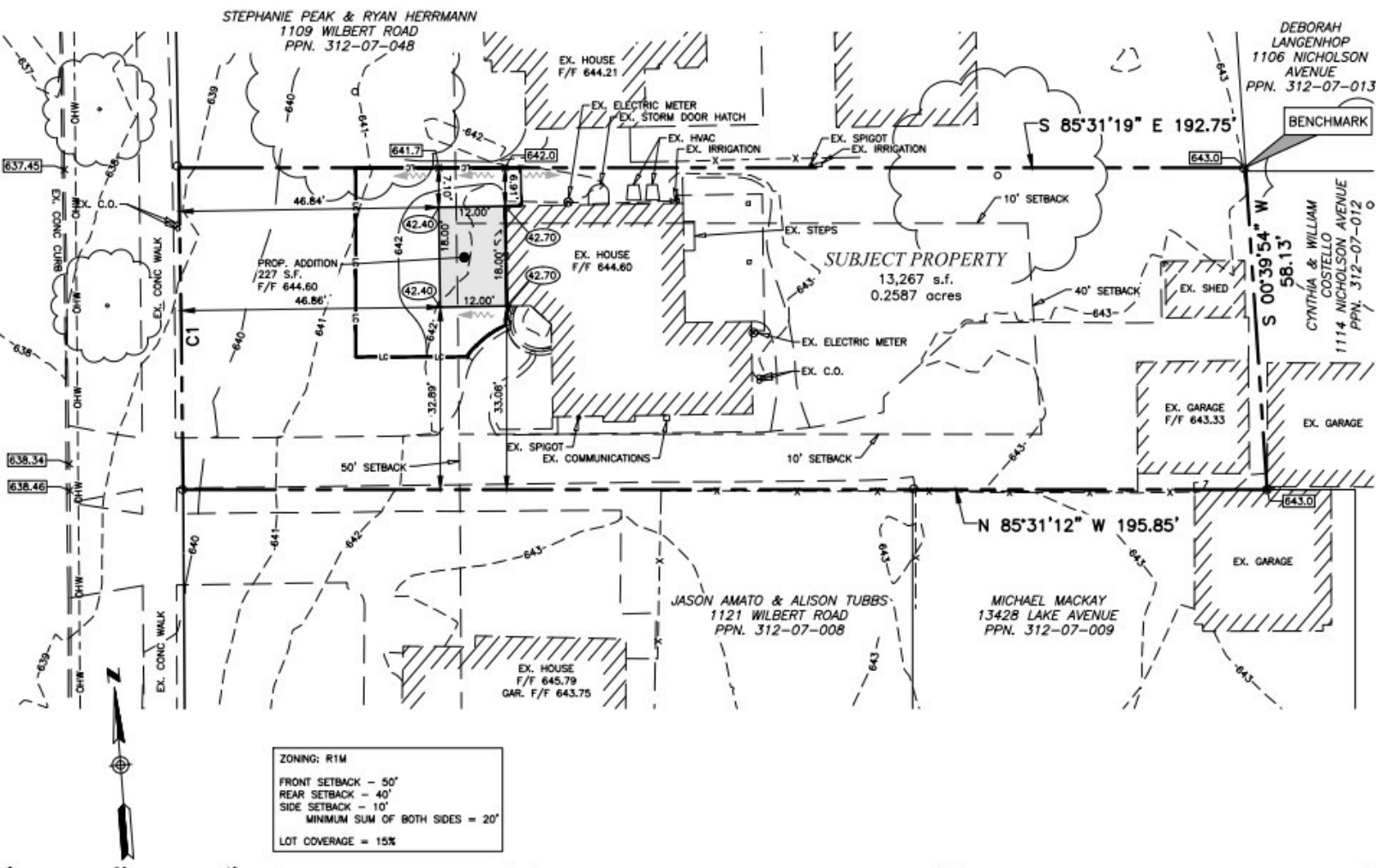
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	58.00'	8035.00'	0°24'49"	29.00'	58.00'	N 03°42'55" E

- NEW TEMPORARY EROSION CONTROL (SILT SOCK)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- DEMOLITION AREA
- 780 NEW FINISHED GRADE CONTOURS
- 775 EXISTING GRADE CONTOURS
- 784 SAN EXISTING SANITARY SEWER
- LAT EXISTING SANITARY LATERAL
- ST NEW SANITARY LATERAL
- ST EXISTING STORM SEWER
- SID EXISTING STORM LATERAL
- RD NEW STORM LATERAL
- W EXISTING WATER MAIN
- WS EXISTING WATER SERVICE
- WS NEW WATER SERVICE
- U NEW UTILITY SERVICE

- PLOT PLAN NOTES:**
1. THIS PLAN SHALL NOT BE CONSIDERED A BOUNDARY SURVEY OF THE PARCEL SHOWN.
  2. LATERAL INVERT ELEVATIONS AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ACTUAL LATERAL INVERT ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.
  3. CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES ON THE LOT PRIOR TO THE EXCAVATION OF THE FOUNDATION.
  4. EXISTING UNDERGROUND UTILITIES AND PAVEMENT ARE SHOWN PER SURVEY DATED MARCH 2023 AND UTILITY RECORDS.
  5. EXISTING CONTOURS SHOWN ARE REPRESENTATIVE OF FIELD WORK DATED MARCH 2023.
  6. FOUNDATION DIMENSIONS ARE MEASURED TO THE OUTSIDE CORNER OF FOUNDATION WALL OR BRICK FACE IF APPLICABLE.
  7. FOUNDATION DRAIN SUMP PUMP IS REQUIRED UNLESS HOMEOWNER DETERMINES OTHERWISE DURING CONSTRUCTION.
  8. 2% SLOPE FOR SWALES IS PREFERRED, 1% MINIMUM.
  9. MOVABLE AREAS OF THE YARD ARE NOT TO EXCEED 3:1 SLOPE UNLESS OTHERWISE SHOWN ON PLAN.
  10. TEMPORARY CONSTRUCTION DRIVE TO BE MINIMUM 30' LONG WITH 8" LAYER OF #1 AND #2 AGGREGATE OVER GEOTEXTILE FABRIC AND IN SAME LOCATION AS THE PERMANENT DRIVEWAY.
  11. TEMPORARY CONCRETE WASHOUT BASIN TO BE LOCATED ON OPPOSITE SIDE OF LOT FROM CONSTRUCTION DRIVE OR BY HOMEOWNER CONSTRUCTION TRAILER.
  12. CONTRACTOR MUST CHECK THE BENCHMARK ELEVATION WITH THE TOP OF CURB ELEVATIONS SHOWN ON THE PLAN PRIOR TO START OF CONSTRUCTION.
  13. IF CURB CUT REQUIRED, MAINTAIN 1" BOTTOM LIP AT DRIVEWAY.
  14. ALL CONSTRUCTION TRAFFIC IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.

**BUILDER:**  
 OLD WORLD CUSTOM HOMES, LLC  
 7054 MEARS GATE DR. NW  
 NORTH CANTON, OHIO 44720  
 ANDREW EGGEMAN  
 330-494-0228

LIMITS OF DISTURBANCE = 0.021 ACRES  
 (920 S.F.)



SCALE: 1" = 20'  
 1115 WILBERT ROAD  
 PPN. 312-07-047

ZONING: R1M  
 FRONT SETBACK - 50'  
 REAR SETBACK - 40'  
 SIDE SETBACK - 10'  
 MINIMUM SUM OF BOTH SIDES = 20'  
 LOT COVERAGE = 15%

LOT BENCHMARK:  
 5/8" CAPPED REBAR (HANTEL 5129)  
 LOCATED AS SHOWN ON PLOT PLAN.  
 ELEV. 643.07

PLOT PLAN PREPARED FOR  
 OLD WORLD CUSTOM HOMES  
 SITUATED IN THE CITY OF LAKEWOOD  
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:  
**GBC DESIGN, INC.**  
 565 White Pond Dr. Akron, OH 44320-1128  
 Phone 330-586-0225 Fax 330-586-9782

PAGE 2 OF 2  
 DATE: 6/26/2024  
 DRAWN BY: BAW  
 PROJECT No. 57096



# Docket No. 7-68-24 (1115 Wilbert)

# THE PERNSTEINER RESIDENCE

1115 WILBERT RD., LAKEWOOD, OH 44107

## DRAWING SCHEDULE

COVER SHEET	1
RENDERINGS	2
BASEMENT	3
FIRST FLOOR	4
SECOND FLOOR	5
FRONT ELEVATION	6
RIGHT ELEVATION	7
LEFT ELEVATION	8
ROOF PLAN	9
SECTIONS	10
GENERAL NOTES	11



\*MATERIALS AND COLORS TO MATCH EXISTING STRUCTURE\*

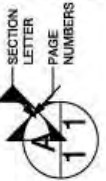
The Pernsteiner Residence

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PAGE: 1

COVER SHEET

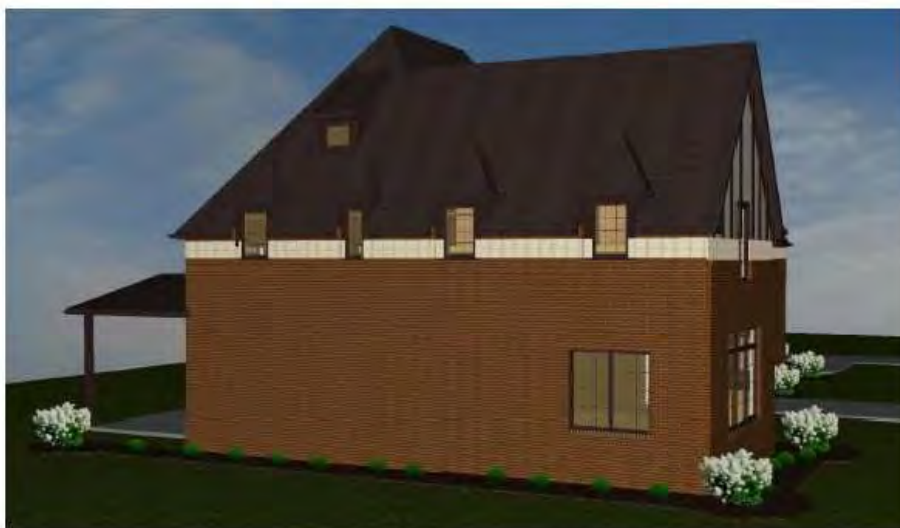


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## Docket No. 7-68-24 (1115 Wilbert)



**The Pernsteiner Residence**

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PAGE: **2**  
RENDERINGS



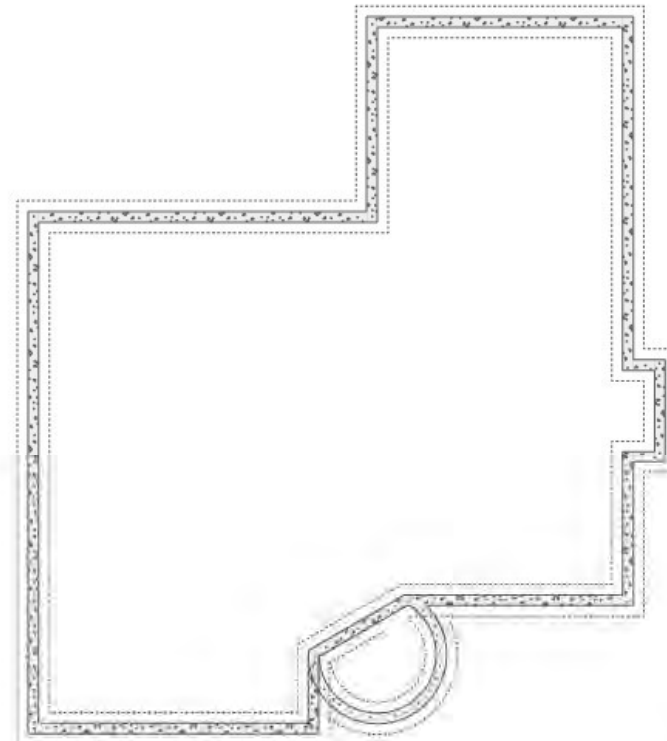
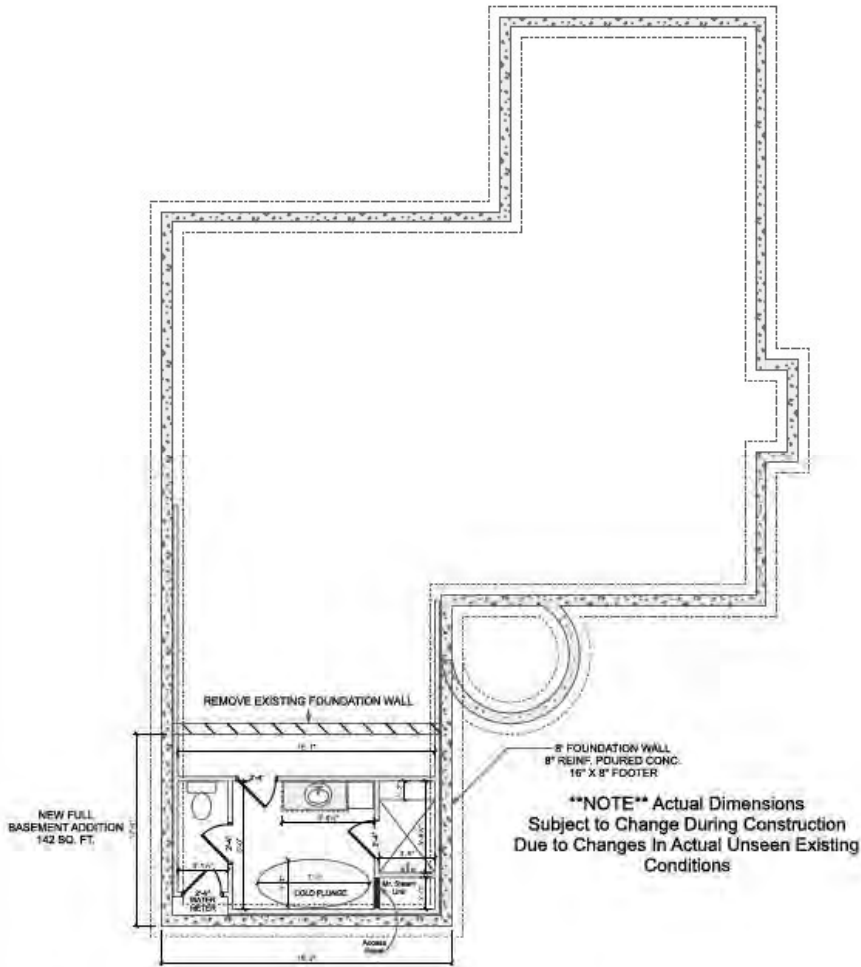
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**Docket No. 7-68-24 (1115 Wilbert)**

NEW ADDITION CONCEPT

EXISTING CONDITIONS



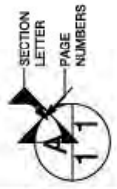
**\*\*NOTE\*\*** Actual Dimensions  
 Subject to Change During Construction  
 Due to Changes in Actual Unseen Existing  
 Conditions

**BASEMENT**  
 SCALE: 1/8" = 1'-0"

The Pernsteiner Residence  
 1115 Wilbert Rd.  
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 SCALE: 1/8" = 1'-0"  
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PAGE: **3**  
 BASEMENT



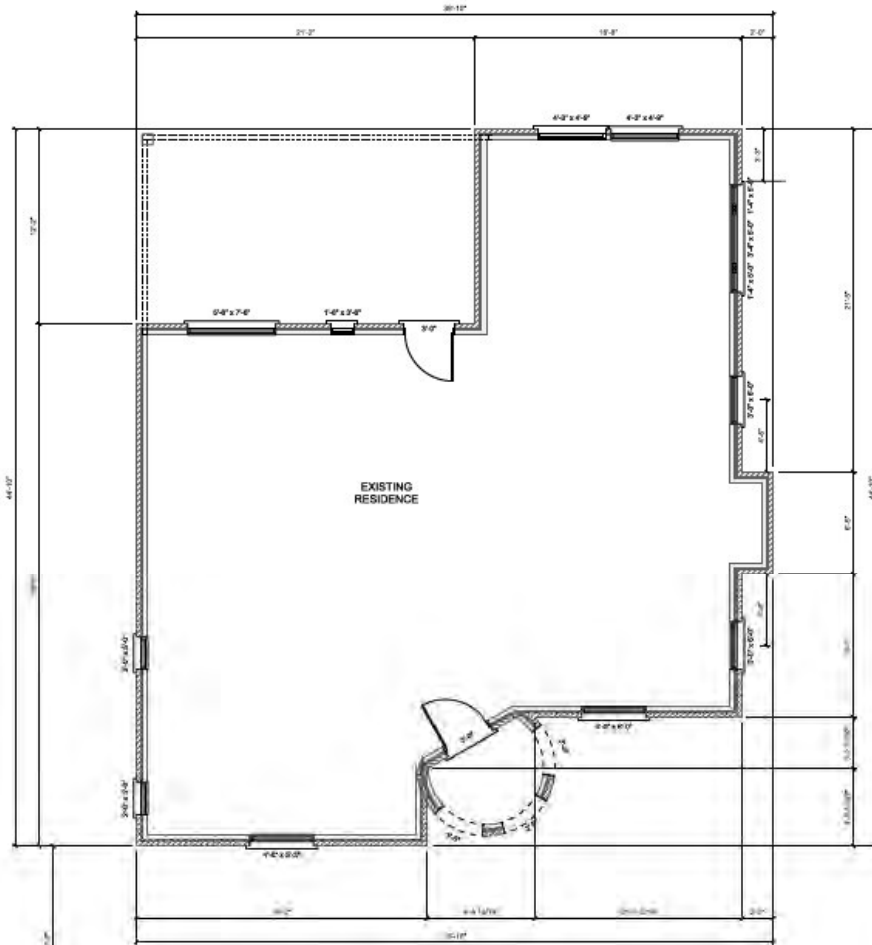
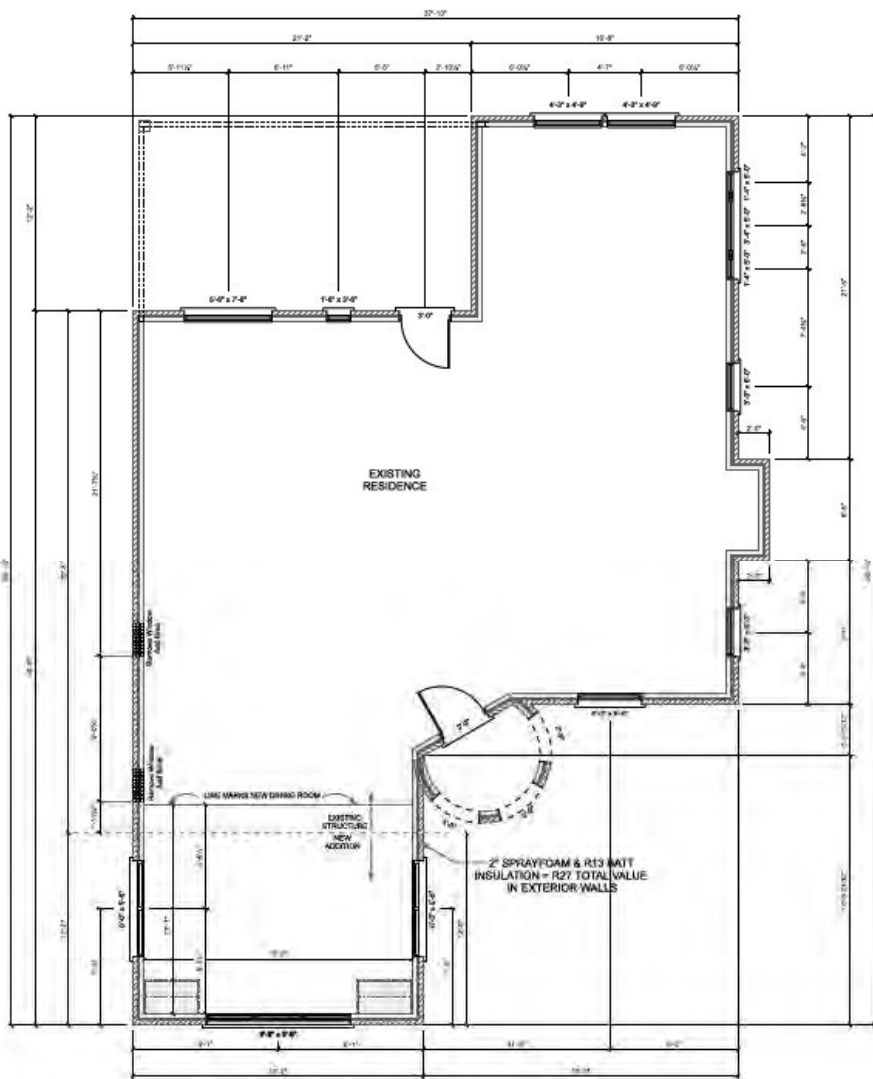
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NEW ADDITION CONCEPT  
192 SQ. FT.

EXISTING CONDITIONS



**\*\*NOTE\*\*** Actual Dimensions  
Subject to Change During Construction  
Due to Changes in Actual Unseen Existing  
Conditions

**MAIN FLOOR**

SCALE: 1/8" = 1'-0"

The Pernsteiner Residence

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PAGE: 4

FIRST FLOOR

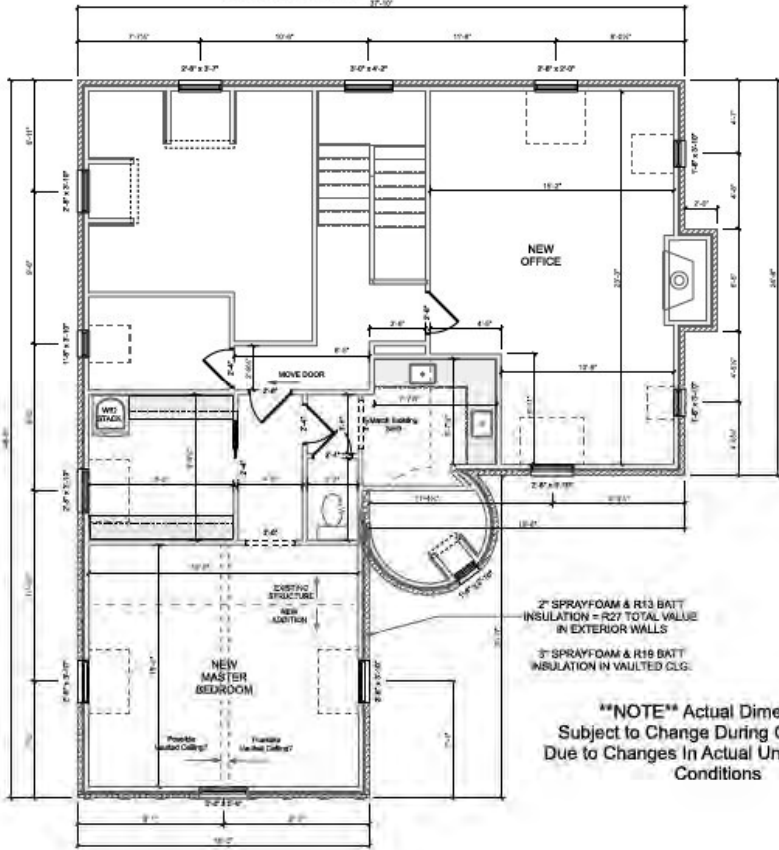


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**Docket No. 7-68-24 (1115 Wilbert)**

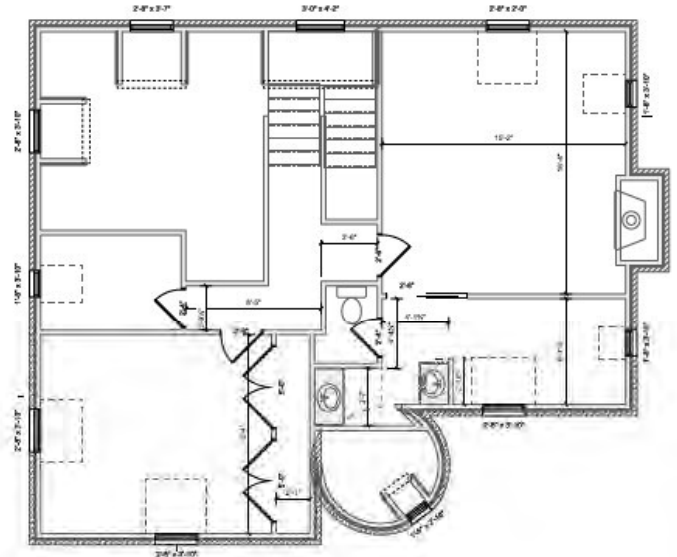
NEW ADDITION CONCEPT  
192 SQ. FT.



2" SPRAYFOAM & R13 BATT INSULATION = R27 TOTAL VALUE IN EXTERIOR WALLS  
 3" SPRAYFOAM & R16 BATT INSULATION IN VAULTED CLG.

**\*\*NOTE\*\*** Actual Dimensions Subject to Change During Construction Due to Changes in Actual Unseen Existing Conditions

EXISTING CONDITIONS



SECOND FLOOR  
SCALE: 1/8" = 1'-0"

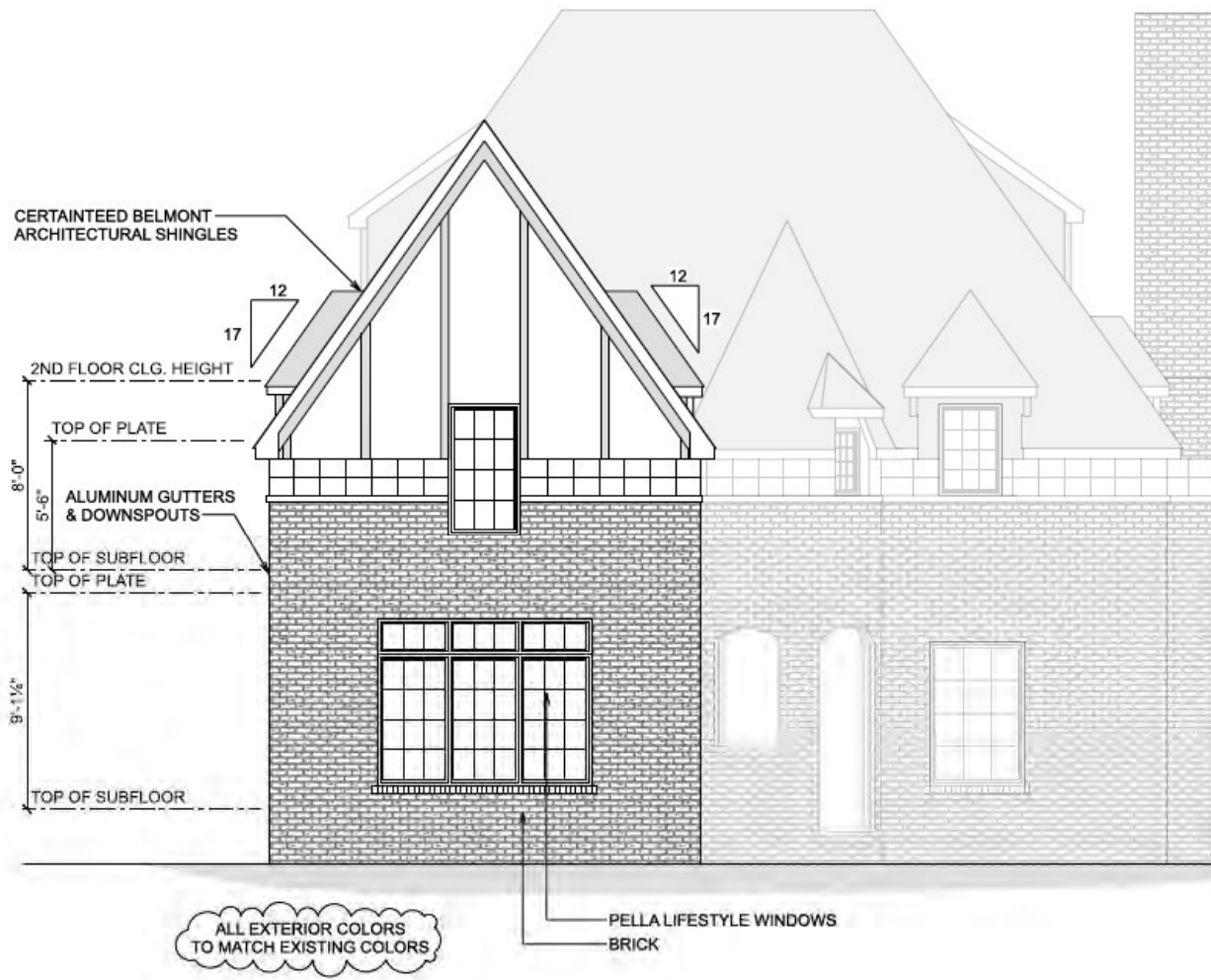
The Pernsteiner Residence  
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 DRAWN BY:  
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 DATE: 7/8/2024

SECTION LETTER  
 11  
 PAGE NUMBERS

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Docket No. 7-68-24 (1115 Wilbert)



**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

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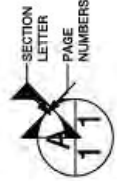
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FRONT ELEVATION

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SCALE: 3/16" = 1'-0"

DATE: 7/8/2024



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**Docket No. 7-68-24 (1115 Wilbert)**



**RIGHT ELEVATION**  
SCALE: 3/16" = 1'-0"

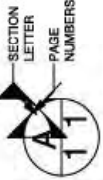
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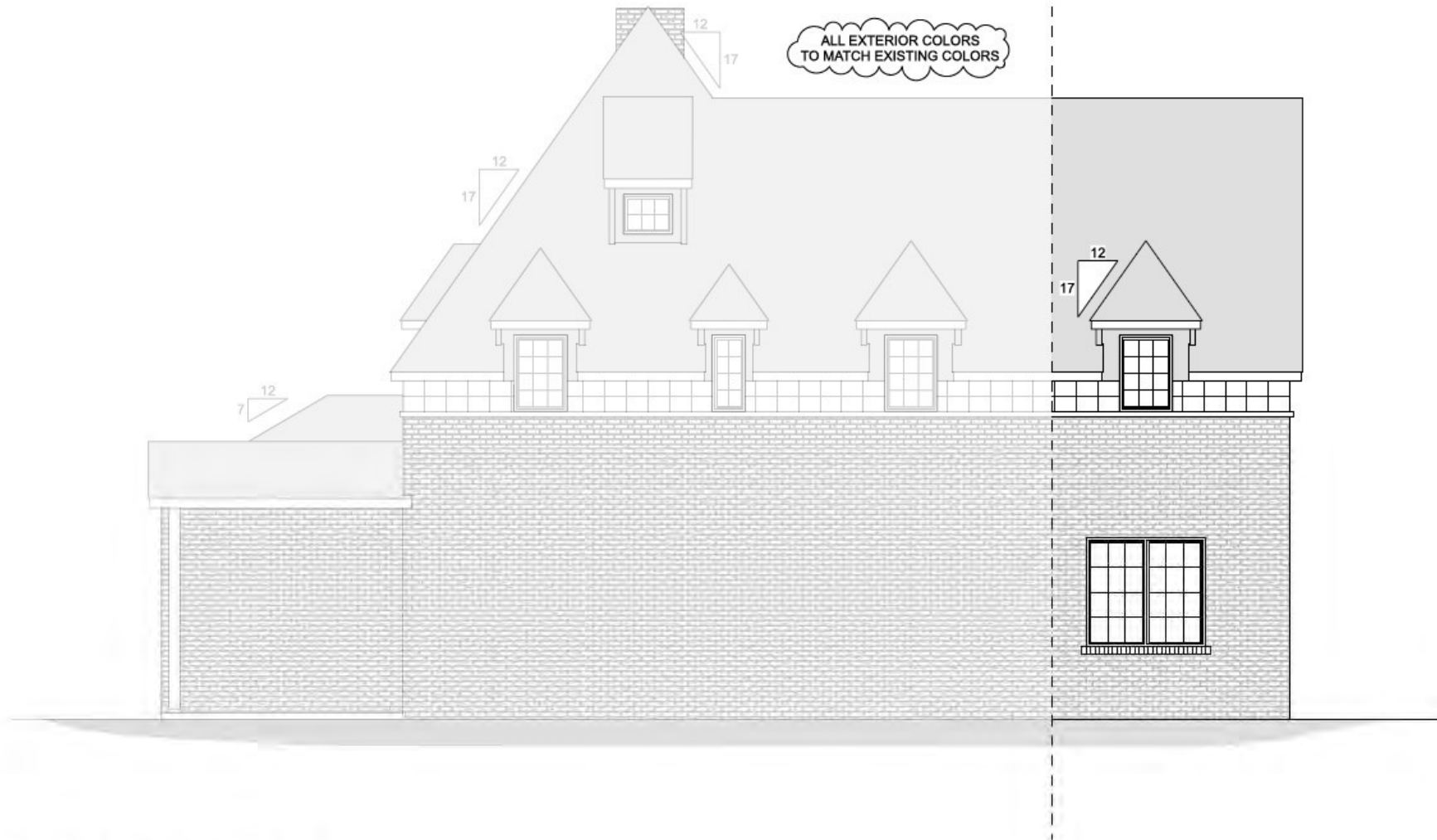
RIGHT ELEVATION



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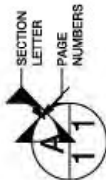


**LEFT ELEVATION**  
SCALE: 3/16" = 1'-0"

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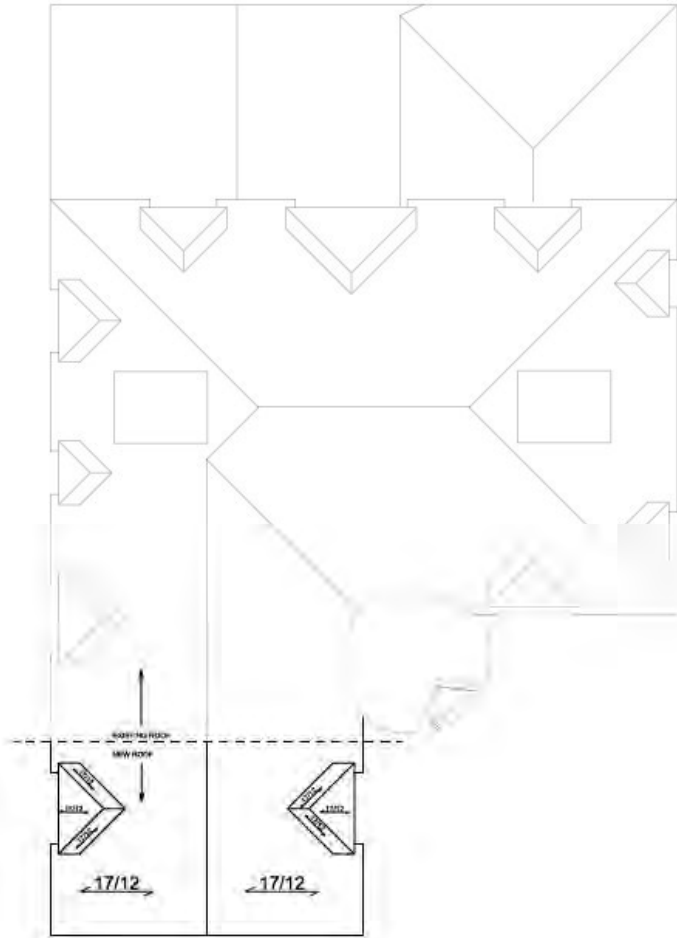
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SCALE: 3/16" = 1'-0"	LEFT ELEVATION
DATE: 7/8/2024	



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**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

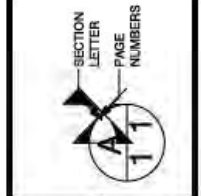
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PAGE: **9**

DATE: 7/8/2024

ROOF PLAN

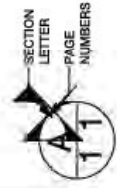


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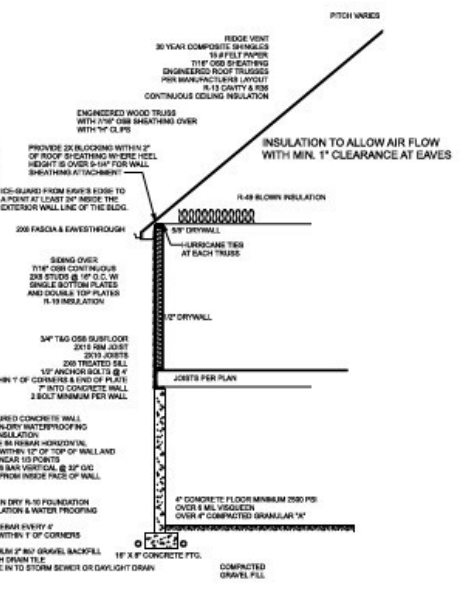
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ROOF BOARD SHALL NOT BE LESS THAN 1" IN THICKNESS AND NOT LESS THAN THE CUT END OF THE RAFTER. HIP AND UNLEY RAFTERS SHALL NOT BE LESS THAN 2" IN THICKNESS. HIP RAFTERS SHALL NOT BE LESS THAN THE CUT END OF THE RAFTER. HIP AND UNLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO DISTRIBUTE THE LOADS FOR PROBLE.

ROOF BRACINGS SHALL BE SUPPORTED BY BLOCKING OR EDGE CLIPS WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER. PER 2019 IBC, EACH END OF THE ROOF TRUSSES ARE TO HAVE AN APPROVED POSITIVE CONNECTION TO ALL HEADERS AND OR TOP PLATES (TRUSS CLIPS).



TYPICAL WALL SECTION

ALL FOOTINGS AND FOUNDATION WALLS TO BE SIZED AND REINFORCED PER TABLES 401.4.1, 403.1, 402.2, 404.1.1 (1)-(4) AND 505.1

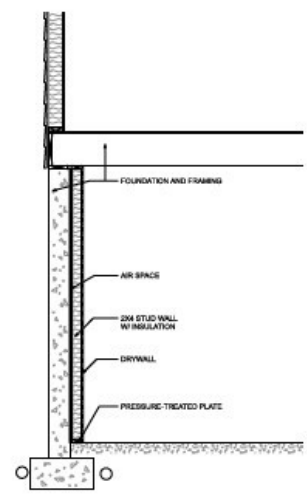
1. ALL TRUSS DRAWINGS TO BE ON SITE AND APPROVED PRIOR TO INSTALLATION
2. FIRE BLOCKING TO BE COMPLETED IN COMPLIANCE WITH R502.8
3. DRAFTSTOPPING TO BE COMPLETED IN COMPLIANCE WITH R502.12
4. ICE GUARD TO BE COMPLETED IN COMPLIANCE WITH R505.2.7.2

ALL FOOTINGS AND FOUNDATION WALLS TO BE SIZED AND REINFORCED PER TABLES 401.4.1, 403.1, 402.2, 404.1.1 (1)-(4) AND 505.1

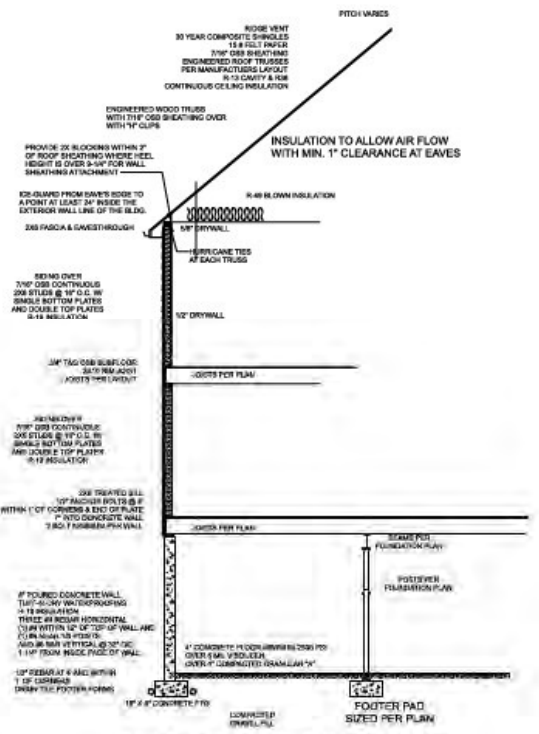
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3. DRAFTSTOPPING TO BE COMPLETED IN COMPLIANCE WITH R502.12
4. ICE GUARD TO BE COMPLETED IN COMPLIANCE WITH R505.2.7.2

WINDOW NOTES

1. ANY GLASS IN A HAZARDOUS AREA WILL BE TEMPERED (GLAZED) PER R305.4
2. ALL BEDROOMS WILL HAVE 1 EMERGENCY & RESCUE OPENINGS PER R310.1 - 310.1.4



FINISHED BASEMENT DETAIL  
SCALE: 1/4" = 1'-0"



TYPICAL WALL SECTION @ 2 STORY

SECTION - 2X6 WALLS  
SCALE: 1/8" = 1'-0"



**GENERAL CONSTRUCTION NOTES**

**MISCELLANEOUS:**

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE RESIDENTIAL CODE OF OHIO, UNLESS LOCAL BUILDING AND ZONING DEPARTMENTS ADHERE TO A SPECIFIC EDITION.

**TRUSSES:**

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAIL DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS.

**LIVE LOADS:**

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS. STRUCTURE SHALL BE DESIGNED TO RESIST MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS PER RCO. 301.5

**CONCRETE:**

ALL CONCRETE SHALL COMPLY WITH ACI 318-08. \*SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS\* AND ACI 318-03: \*BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE\* WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. ALL EXTERIOR CONCRETE SHALL BE AIR-TRAINED PER RCO SECTION 402.2.

**LUMBER:**

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES. PER RCO 302.1

TYP. SPF #2 OR BETTER F<sub>u</sub>.....875 PSI

WALL STUDS SHALL BE A MINIMUM OF 2X6'S @ 16" O.C. AND SHALL BE ONE PIECE FULL HEIGHT AND A MINIMUM OF (2) STUDS AT EACH SIDE OF ALL OPENINGS THROUGH ALL WALLS UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS TO HAVE VAPOR BARRIER PER RCO 601.3  
ALL EXTERIOR WALLS TO HAVE WATER RESISTANT BARRIER PER RCO 703.2  
ALL WALL COVERINGS SHALL BE CAPABLE OF RESISTING WIND LOADS IN ACCORDANCE WITH TABLES 301.2(2) AND 301.2(3) PER RCO 703.1.2

REFER TO THE TYPICAL WALL SECTION FOR SUBFLOOR AND ROOF SHEATHING THICKNESS AND MATERIAL TYPES.

**BUILDING THERMAL ENVELOPE:**

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION PER RCO 1102.4.1. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSIONS AND CONTRACTION. THE FOLLOWING SHALL BE CALLED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.

- ALL JOINTS, SEAMS, AND PENETRATIONS
- SITE-BUILT WINDOWS, DOORS, AND SKYLIGHTS
- OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMINGS
- UTILITY PROTECTIONS
- DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
- KNEE WALLS
- WALLS & CEILINGS SEPARATING THE GARAGE FROM CONDITIONED SPACES
- BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
- ATTIC ACCESS OPENINGS
- OTHER SOURCES OF INFILTRATION

**GENERAL CODE REQUIREMENTS**

REFERENCE SECTIONS 1061.3 AND CHAPTER 44 OF THE RESIDENTIAL CODE OF OHIO

**ROOFS:**

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE POLY OF #15 FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. FOR A ROOF WITH A 4/12 OR LESS PITCH REFER TO RCO SECTION 905.2. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS.

**ATTICS:**

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

**MECHANICALS:**

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE RESIDENTIAL CODE OF OHIO. THESE APPLIANCE HAVE DIRECT VENTED COMBUSTION AIR.

**SMOKE & CARBON MONOXIDE DETECTORS:**

ALL SMOKE & CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO. 314.3 AND 315.1 ON EACH LEVEL, SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SEPERATE OR DUAL TECHNOLOGY SMOKE ALARMS MAY BE USED. THE SMOKE ALARM OUTSIDE THE GUEST SUITE, MASTER SUITE, AND BEDROOM #2 & #3 SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY. A FIRE ALARM SYSTEM (SMOKE DETECTORS) INSTALLED PER RCO 314.7 ISNT REQUIRED TO INCLUDE BOTH TECHNOLOGIES PER RCO 314.1.2

**FIRESTOPPING:**

SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILINGS, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

**INSULATION:**

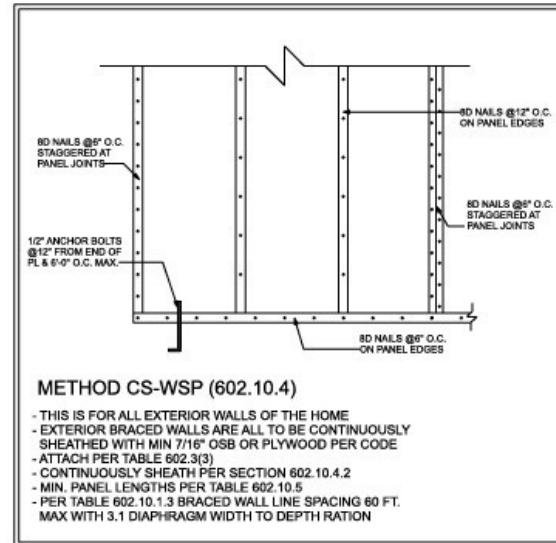
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTIONS FOR R-VALUES AND LOCATIONS.

**SHEATHING:**

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 7/16" OSB OR PLYWOOD PER SECTION 602.10 NAILED W/ 8D NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

**FIREPLACES:**

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENT'S. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-AB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.



**BRACED WALL PANELS (NOT TO SCALE)**

**STAIR REQUIREMENTS:**

MIN. STAIR WIDTH EXCLUDING WALL HANDRAIL.....	3'-0"
MINIMUM TREAD DEPTH.....	9"
MAXIMUM RISER HEIGHT.....	8-1/4"
MAXIMUM VARIANCE IN RISER HEIGHT.....	3/8"
MAXIMUM NOSING PROJECTION.....	1"
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....	6'-8"
MINIMUM/MAXIMUM HANDRAIL HEIGHT.....	34" / 38"
MAXIMUM BALUSTER SPACING (CLEAR OPENING).....	<4"
MINIMUM GUARDRAIL HEIGHT AT STAIRS.....	34"
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....	36"
MAXIMUM HAND GRIP WIDTH.....	2-1/4"
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....	1-1/2"

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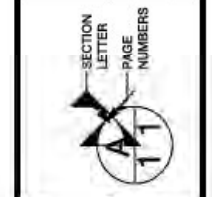
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**DATE:** 7/8/2024

**GENERAL NOTES**

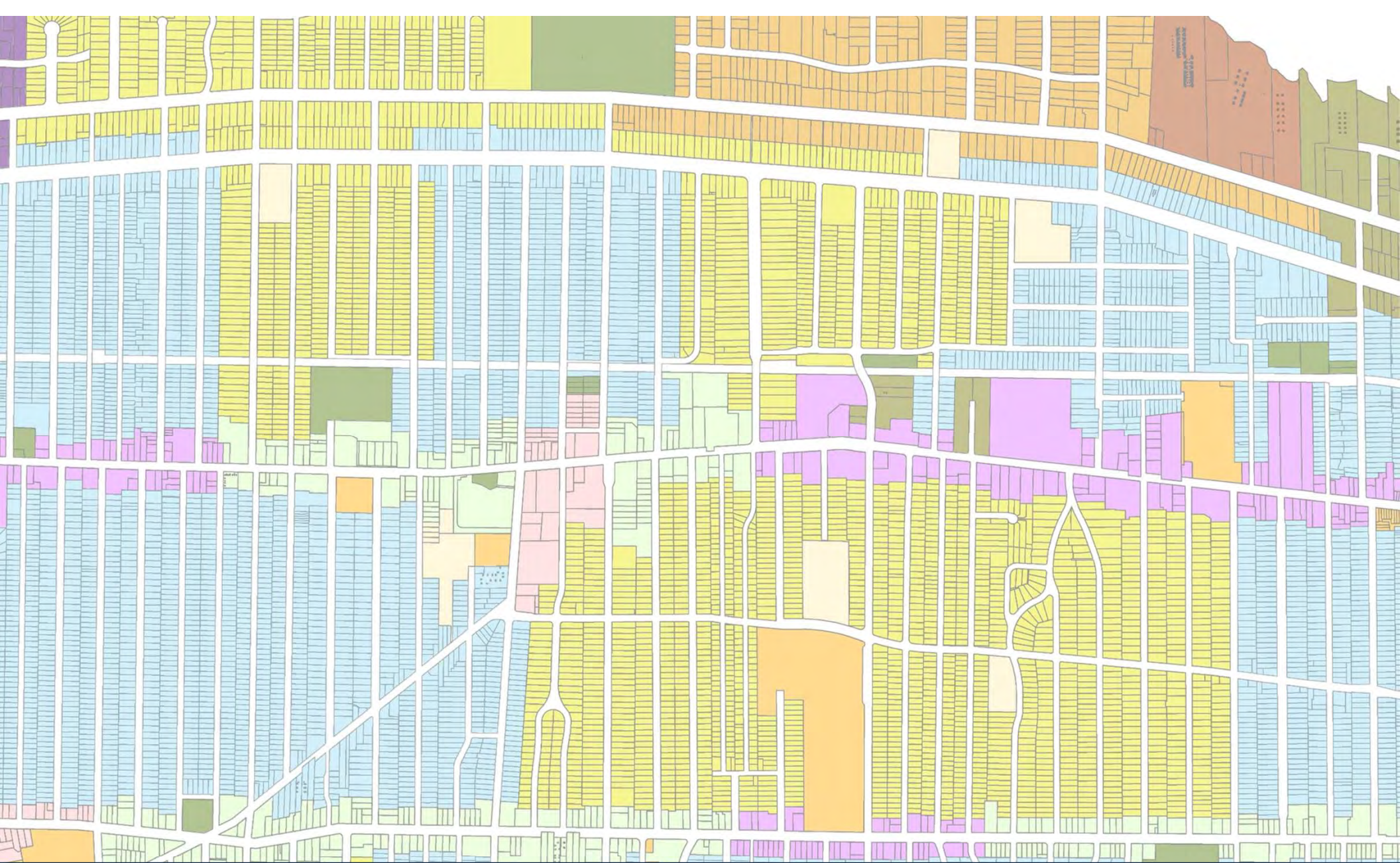


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# Architectural Board of Review

July 2024