

**MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
JULY 13 2023
5:30 P.M.
RECORDED
<https://www.lakewoodoh.gov/videos-2/>**

1. ROLL CALL

Board Members

Chris Egervary
Brian Grambort, Vice Chair
David Maniet, Chair
Jeremy Smith

Staff

Amanda Cramer, Acting Board Secretary, City Planner
William Wagner, Assistant Building Commissioner

Ms. Hanna Cohan Plessner was absent from the meeting.

2. APPROVE THE MINUTES OF THE JUNE 8, 2023 MEETING

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the June 8, 2023 minutes**. All the members voted yea; the motion passed.

3. OPENING REMARKS

Staff read the Opening Remarks into the record.

SUMMARY APPROVED

SIGN REVIEW

At the July 6, 2023 pre-review meeting, Docket No. 07-65-23, 07-66-23, and 07-67-23 were Summary Approved (any conditions will be noted). A motion and a second are needed for approval.

1. Docket No. 07-65-23

**15607 Detroit Ave.
Village Care Giving**

- () Approve
- () Deny
- () Defer

Brian McLaughlin
159 Crocker Park Blvd. #428
Westlake, OH 44145

Applicant proposes signage for a new business. (Page 60)

Condition 1: There needs to be the same amount of white on top and bottom of text. Board liked the spacing from the top of the sign to the text.

Condition 2: Proposed sign must stay within the trim.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request. All the members voted yea; the motion passed.

2. Docket No. 07-66-23

**14810 Detroit Ave.
Solstice Lkwd**

- () Approve
- () Deny
- () Defer

Eric Ho
SMYF LLC
12301 Madison Ave.
Lakewood, OH 44107

Applicant proposes vinyl door/window signage for the front and rear entrances of a business. (Page 67)

Condition 1: The hexagons on the front of the building on either side of the door, please allow for 6 inches on side of window.

Condition 2: The background of the signs must be transparent.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request. All the members voted yea; the motion passed.

3. Docket No. 07-67-23

**14810 Detroit Ave.
Solstice Lkwd**

- () Approve
- () Deny
- () Defer

Shawn Warren
Erie Design Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes blade signs for the front and rear entrances of a business. (Page 78)

Condition 1: Mount the front blade sign on the lower bracket of the existing *Deagan's* sign. Please provide an updated plan illustrating this.

Condition 2: Assure the blade sign on the rear of the building does not extrude lower than the structure that houses the ATM's.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request. All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

4. Docket No. 07-60-23

(R)

1320 Bunts Rd.

- () Approve

David J. Maniet AIA

- () Deny
- () Defer

Maniet Architects
1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes rear renovation of an existing home on a corner lot. (Page 4)

David J. Maniet AIA, Maniet Architects, applicant was present to explain the request (For this item, Mr. Maniet recused himself from the Board). Discussion began when it was disclosed the plan was amended to use asphalt shingles rather than a metal roof. Staff had no additional comments. Staff did not receive any communication prior to the meeting. Public comment was closed as no one addressed the item.

A motion was made by Mr. Grambort, seconded by Mr. Egervary to **APPROVE the request with the following condition:**

- **An updated package is submitted for administrative approval reflecting materials to match the existing, without the metal stanchion.**

All the members voted yea; the motion passed.

5. Docket No. 07-61-23 (R) 1434 Winchester Ave.

- () Approve
- () Deny
- () Defer

David Grootegoed AIA
Modamerican Design
15610 Aldersyde Dr.
Shaker Hts., OH 44120

Applicant proposes front porch renovation. (Page 24)

David Grootegoed AIA, Modamerican Design, applicant was present to explain the request. Discussion ensued about the columns, colors, railing, the city's design guidelines for porches, column caps/bases, lighting. Staff had no additional comments. Staff did not receive any communication prior to the meeting. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following conditions:**

- **The columns will be finished and wrapped to better follow the design guidelines.**
- **The railing will not be included. If railing is included, a detail of the product is provided for administrative approval, following the design guidelines.**

All the members voted yea; the motion passed.

6. Docket No. 07-62-23 (R) 17416 Lake Ave.

- () Approve
- () Deny
- () Defer

Susan Broadwater
Beegan Architectural Design
15703 Madison Ave.
Lakewood, OH 44107

Applicant proposes the addition of a front garage. (Page 38)

Paul Beegan, Beegan Architectural Design, applicant was present to explain the request. Brick, roofing, trim would match the existing structure. The members liked the proposal, asked about the vent above the garage door. Staff

said the project would be heard by the Board of Zoning Appeals ("BZA") for approval of the setback, and it was a small request. Public comment was closed as no one addressed the item. Staff had no additional comments. Staff did not receive any communication prior to the meeting. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request as presented. All the members voted yea; the motion passed.

7. Docket No. 07-63-23

(C)

**1639 Alameda Ave.
Margaret Apts.**

- Approve
- Deny
- Defer

James Miketo
Neighborhood Drummer LLC
17899 Lake Rd.
Lakewood, OH 44107

Applicant proposes parking lot alteration. (Page 43)

James Miketo, Neighborhood Drummer LLC, applicant was present to explain the request. Discussion commenced about access of the public through the property, there would be no additional lighting, the board-on-board design fence along the north side of the property and its graduated heights, whether Engineering needed to be involved. Staff had no additional comments. Staff did not receive any communication prior to the meeting. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **Fencing will match the city's fencing requirements and will be reviewed for administrative approval.**

All the members voted yea; the motion passed.

SIGN REVIEW

8. Docket No. 07-64-23

**14538 Detroit Ave.
Aladdin's Center**

- Approve
- Deny
- Defer

Maan Yousef
OH10 Inc. dba Allsigns & Designs
3450 West 140th St.
Cleveland, OH 44111

Applicant proposes new LED channel letter signs for an existing business. (Page 45)

Maan Yousef, OH10 Inc. dba Allsigns & Designs, applicant was present to explain the request. Discussion began with the exposed painted black conduit, the fonts of the various store signs, the storefront paint color(s), the *Blossom* sign, canopies and lighting, sign sizes. Staff had no additional comments. Staff did not receive any communication prior to the meeting. Public comment was closed as no one addressed the item.

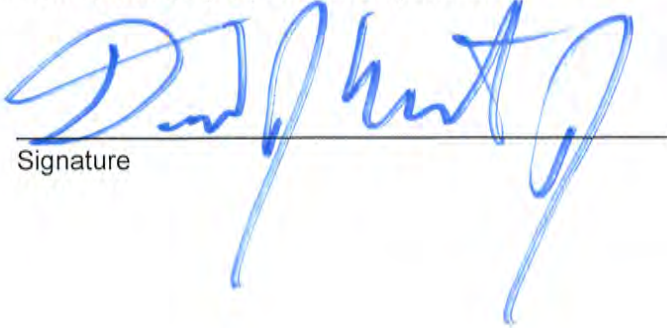
A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following condition:**

- **Regarding the tenants' signage, submit updated proposal with a consistent font size for administrative approval.**

All the members voted yea; the motion passed.

ADJOURN

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **ADJOURN the meeting at 6:21 p.m.** All the members voted yea; the motion passed.



Signature

8-10-2023

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. DAVID MANIET
- 2. DAVID CROOKWOOD
- 3. PAUL BEEGAN
- 4. CRAIG BROCKENHURST
- 5. Jim Mikato
- 6. Maan Yousef
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____

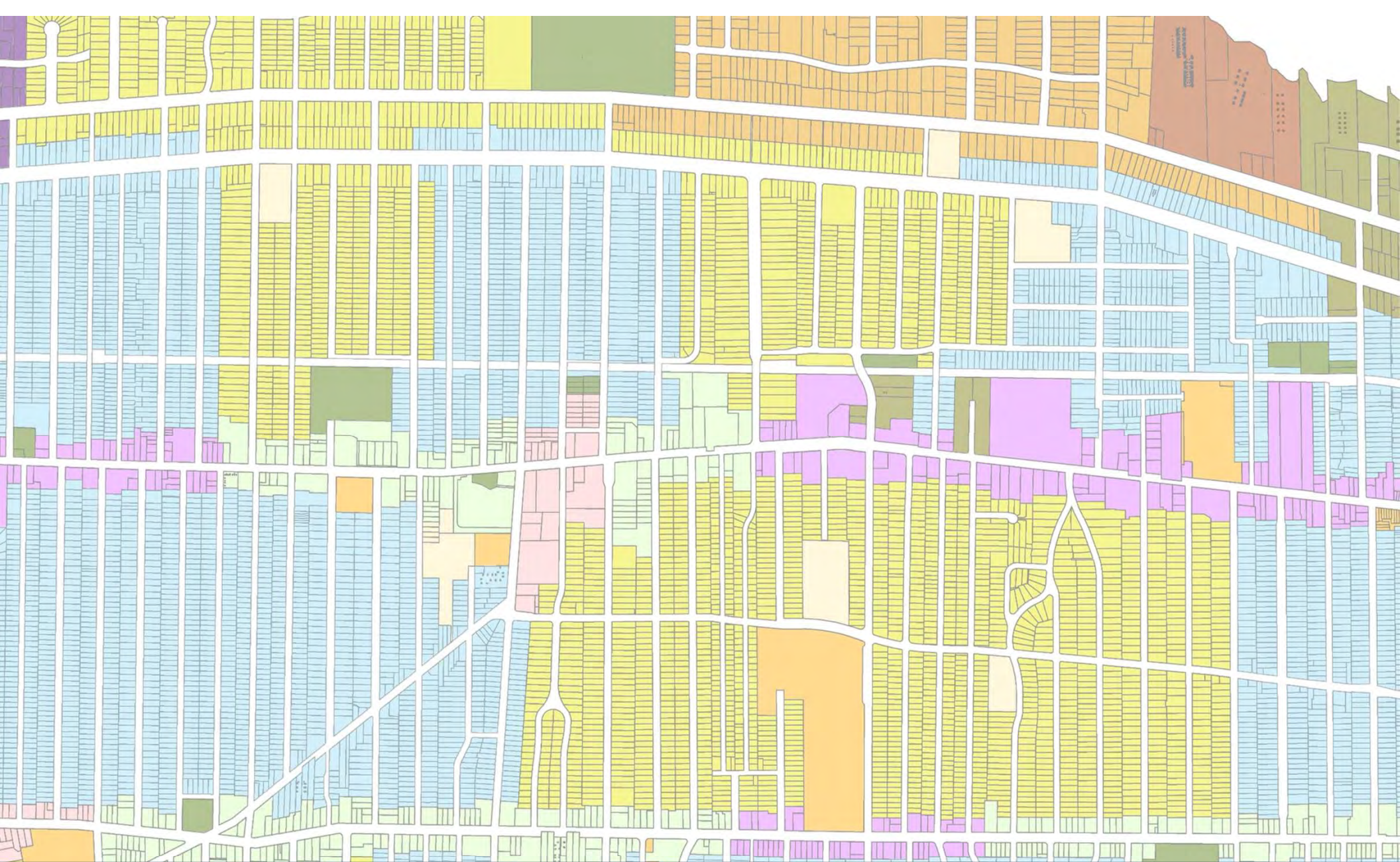
Handwritten signatures in blue ink corresponding to the names in the list above. The signatures are: David Maniet, David Crookwood, Paul Beegan, Craig Brockenhurst, Jim Mikato, and Maan Yousef.

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, July 13, 2023



Architectural Board of Review

July 2023



Architectural Board of Review

Pre-Review Meeting: 6 July, 4pm (East Conf Rm)

Regular Meeting: 13 July, 5:30 pm (Auditorium)

Members

David Maniet (2023 Chair)

Brian Grambort (2023 Vice Chair)

Jeremy Smith

Hanna Cohan Plessner

Chris Egervary

Staff

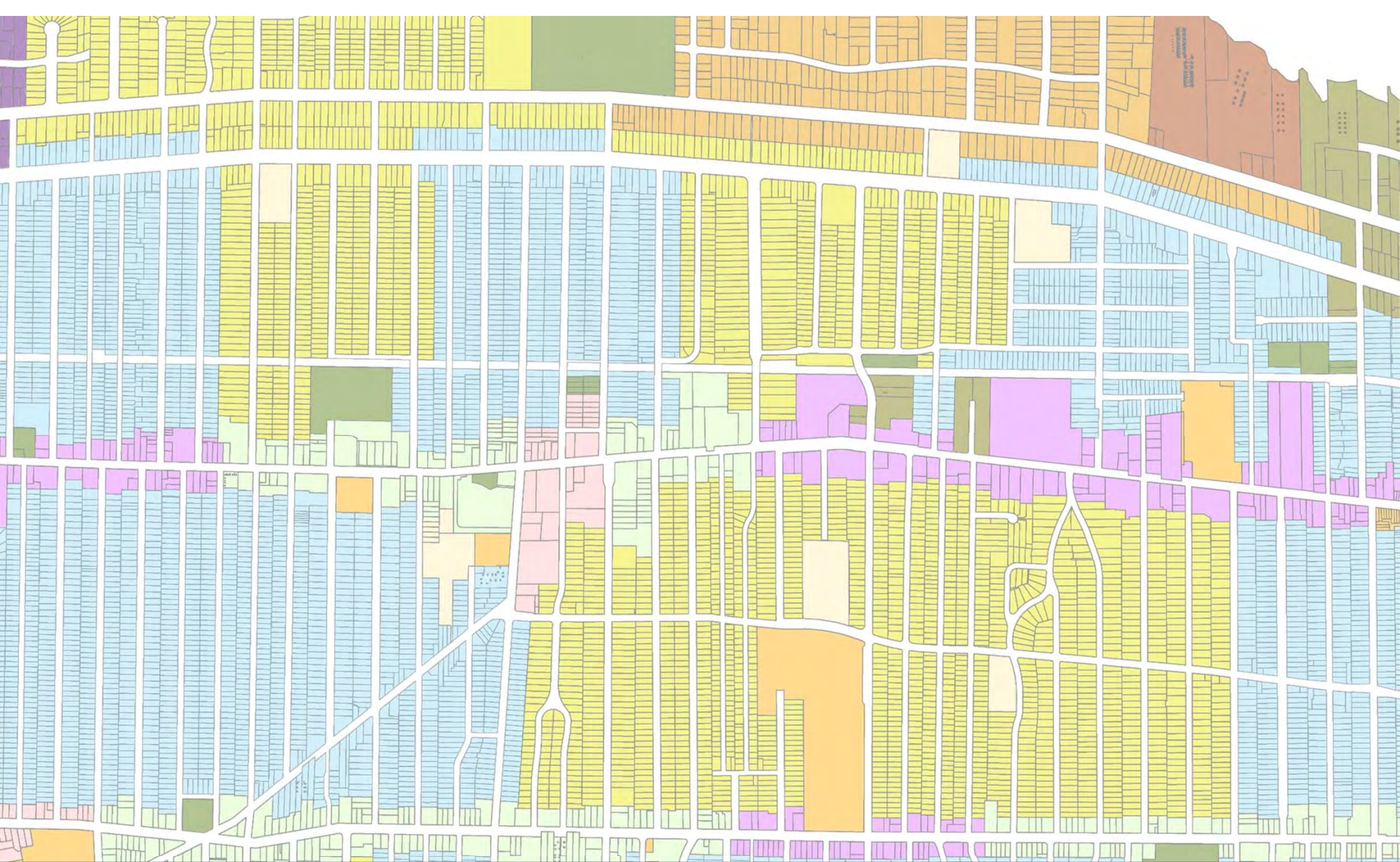
Acting Board Secretary: Amanda Cramer

Assistant Building Commissioner: William Wagner



Architectural Board of Review July Agenda

1. Roll call
2. Approve minutes – June 2023 meeting
3. Opening Remarks
4. New Business
5. Sign Review
6. Adjourn



Architectural Board of Review

New Business – July 2023

Applicant proposes signage for new business in a C2 district.

City Notes:

- Summary Approval with conditions
 - Same amount of white on top and bottom of text. Prefer spacing from the top of the sign to the text
 - Must stay within trim



Docket No. 07-65-23 (15607 Detroit)

Sign – Village Care Giving
Brian McLaughlin



Village *keep your heart at home*
CAREGIVING

Village Caregiving Sign specs:

Measurements -

Lakeland side 12'6"x2'6"
Detroit Side 18'6"x2'6"

Material used -

JBond
3mm thick, smooth aluminum
Rigid composite core
Indoor/outdoor, long-term signage
Reinforced core for increased durability



Docket No. 07-65-23 (15607 Detroit)
Sign – Village Care Giving



Village Caregiving Sign specs:

Measurements -

Lakeland side 12'6"x2'6"
Detroit Side 18'6"x2'6"

Material used -

JBond
3mm thick, smooth aluminum
Rigid composite core
Indoor/outdoor, long-term signage
Reinforced core for increased durability



Docket No. 07-65-23 (15607 Detroit)
Sign – Village Care Giving



Docket No. 07-65-23 (15607 Detroit)
Sign – Village Care Giving

Applicant proposes vinyl door/window signage for new business in a C2 district.

City Notes:

- Summary approval
 - Allow for 6" on either side of hexagon in window vinyls
 - Background must be transparent



Docket No. 07-66-23 (14810 Detroit)

Vinyl Signage – Solstice Lkwd
Eric Ho

Solstice LKWD Windows_21June23



By approving this artwork, I agree that all spelling, grammar, images, sizes and placement are correct, and any changes made after production may result in further charges. I acknowledge that colors represented in this proof are representations of the final product and may have variations during final production. **X**

Material/Finish: Digital Print/Die Cut Vinyl w/ UV Laminate
 Substrate: Can be installed on interior or exterior of glass.
 Substrate Thickness: _____

PROVIDED BY

#Wrap330
WRAPS • SIGNS • APPAREL

ALL ARTWORK AND DRAWINGS ARE PROPERTY OF APEX SIGNWORKS LLC. ANY OTHER USE, OTHER THAN VIEWING FOR CUSTOMER APPROVAL OR PERMIT APPLICATION IS PROHIBITED UNLESS AUTHORIZED BY APEX SIGNWORKS LLC. COST OF ART DEVELOPMENT MUST BE PAID TO APEX SIGNWORKS LLC PRIOR TO ANY OTHER



Docket No. 07-66-23 (14810 Detroit)
 Vinyl Signage – Solstice Lkwd



Docket No. 07-66-23 (14810 Detroit)
Vinyl Signage – Solstice Lkwd



Solstice LKWD Rear Door_21June23



By approving this artwork, I agree that all spelling, grammar, images, sizes and placement are correct, and any changes made after production may result in further charges. I acknowledge that colors represented in this proof are representations of the final product and may have variations during final production. **X**

Material/Finish: Digital Print/Die Cut Vinyl w/ UV Laminate
 Substrate: Can be installed on interior or exterior of glass.
 Substrate Thickness: _____

PROVIDED BY

#WRAD330



Docket No. 07-66-23 (14810 Detroit)
 Vinyl Signage – Solstice Lkwd



Docket No. 07-66-23 (14810 Detroit)
Vinyl Signage – Solstice Lkwd



Applicant proposes new blade signs for the front and rear entrances in a C2 District.

City Notes

- Summary Approval
 - Mount the front blade sign on the lower bracket of the existing Deagan's sign.
 - Blade sign in rear of building does not extrude lower than the structure that houses the ATM's.



Docket No. 07-67-23 (14810 Detroit)
Vinyl Signage – Solstice Lkwd
Shawn Warren



Front
 48" w x 55" h 2 sided
 Text Line 1- 4" h x 38.2" w
 line 2- 1.7" h x 9.5" w
 Sign Sq. ft. 18 x 2 = 36 total

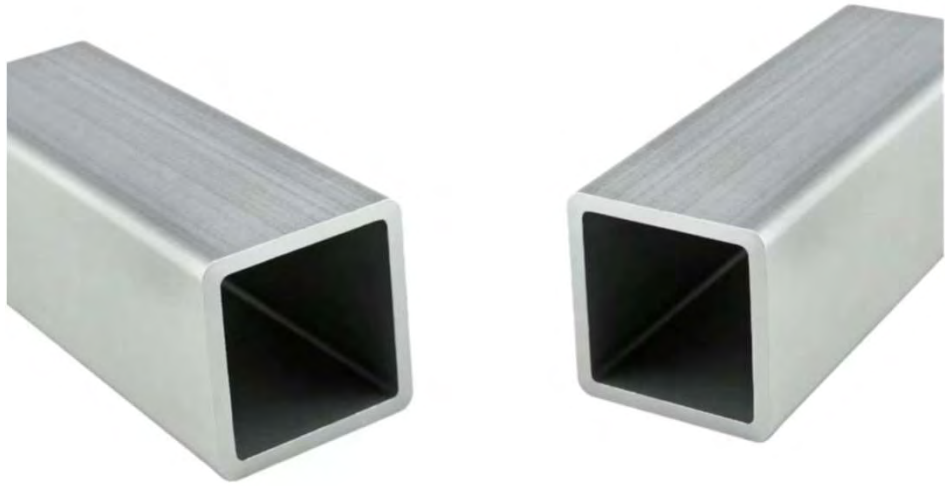
6 Total
 3" bolts and sleeve
 mic fascia

36" w x 41.5" h 2 sided
 Text Line 1- 3.8" h x 29" w
 Line 2- 1.2" h x 7" w
 Sign Sq. ft. 10 x 2 = 20 total

Back



Docket No. 07-67-23 (14810 Detroit)
 Blade Signs – Solstice Lkwd



Docket No. 07-67-23 (14810 Detroit)
Blade Signs – Solstice Lkwd



Case #:

City of Lakewood Division of Housing and Building
2253 DETROIT AVENUE • LAKEWOOD, OH 44107 • (216) 529-5270 • Fax: (216) 529-5030
Building.permits@lakewoodoh.net

Building Permit Application

PROJECT ADDRESS: 14810 Detroit Ave. Suite/Unit # _____

or PERMANENT PARCEL NUMBER: _____

PROPERTY CLASSIFICATION: 1, 2 or 3 Family OR Commercial (includes multifamily and condominiums)

USE DESCRIPTION: (1-Family, Retail, Restaurant, etc.) Change of Use?

PERMIT TYPE: Building **Plumbing** Mechanical Electrical ***(complete reverse side)** →

RELATED CASES: Correction Notice Plan Review A.B.R. Approval Case Number: _____

SCOPE OF PERMIT (Check all that apply):

New Primary Structure Addition Alteration Repair Equip. Replacement Commercial Sign

Tent or Temporary Rear Deck Shed Pool Water Controlling Waterproofing

Commercial Hood Fire Suppression Fire Alarm HVAC Refrigeration

Demolition Paving Storm Sewer Other (Please specify): _____ **Signs**

***VALUATION: (cost of the work) \$** _____ **PROJECT SIZE: (in square feet)** _____

BRIEF DESCRIPTION OF WORK: (Include scope, dimension, location) DRAIN NO DRAIN

Front	48" w x 55" h 2 sided	Back	36" w x 41.5" h 2 sided
	Text Line 1- 4" h x 38.2" w		Text Line 1- 3.8" h x 29" w
	line 2- 1.7" h x 9.5" w		Line 2- 1.2" h x 7" w
	Sign Sq. ft. 18 x 2 = 36 total		Sign Sq. ft. 10 x 2 = 20 total

6 Total 3" holes and sleeve into fascia

PROPERTY OWNER NAME: Eric Ho Phone: 216-712-4692

Business Name (if applicable): Solstice LKWD Email: eric@lbmbar.com

Mailing Address: 14810 Detroit Ave. City: LAKEWOOD, State: OH Zip: 44107

CONTRACTOR NAME: Erie design Shawn Warren Phone: 216-227-0043


Licenses/Reg. No.: on file Email: eriedesign@ameritech.net

Mailing Address: 16504 Detroit Ave City: LAKEWOOD, State: OH Zip: 44107

ARCHITECT/ENGINEER: Phone: _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

I hereby certify all information contained in this application is true, accurate and complete to the best of my knowledge. Furthermore, I am the property owner of record; or an authorized representative of the contractor registered with the city of Lakewood listed above and authorized by the property owner to perform the work described. I am primarily responsible for the work described and agree to abide by the applicable provisions of law and building codes adopted by the state of Ohio and the City of Lakewood. All subcontractors working under my direction shall be registered with the City of Lakewood. Perpetuation of fraud or misrepresentation including contractors or property owners obtaining permits on behalf of an unregistered contractor is a violation of LCO §1306.69 and punishable by fines, jail time and revocation of contractor registration.

 _____ 6-21-23 Anticipated Completion Date: 6-21-23
SIGNATURE OF CONTRACTOR / OWNER DATE



Docket No. 07-67-23 (14810 Detroit)

Blade Signs – Solstice Lkwd

Applicant proposes addition on the rear of a house on a corner lot.

City Notes:

Siding – existing siding is painted cedar shake shingles. New siding will be consistent with this.



Docket No. 07-60-23 (1320 Bunts)

Home Addition
David Maniet



Docket No. 07-60-23 (1320 Bunts)
Home Addition





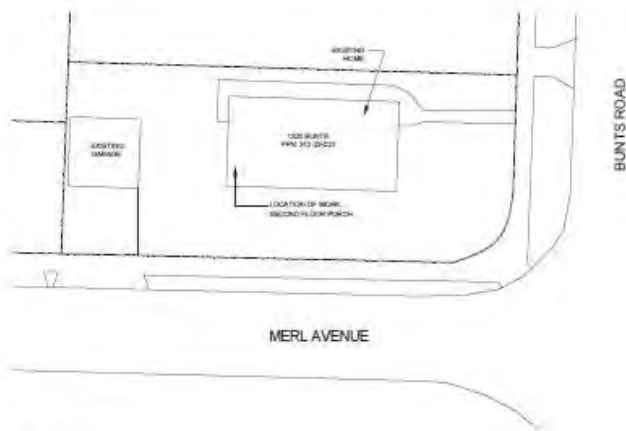
Existing Rear Photo



Existing Rear Photo



Existing Rear Photo



Site Plan
1/8" = 1'-0"

Drawing Index

- TI Project Data
- Code Data
- General Notes
- Location Map
- C1 Site Plan
- Reference Photos
- A1 Floor Plans
- Typical Wall Section
- A2 Elevations
- E1 Electrical Notes and Legends
- Fixture Schedules
- Electrical Plan
- P1 Plumbing Notes
- Fixture Schedules
- Plumbing Floor Diagrams



412.720.0424
DavidJManiet@gmail.com

Project Address
Burton Residence
1320 Bunts Road
Lakewood, OH 44107

Issue For	Sheet
Project	C1
Date	
Drawn By	



Docket No. 07-60-23 (1320 Bunts)

Home Addition



Existing Rear Elevation

20' - 1/2"



Existing Side Elevation

27' - 1/2"



Docket No. 07-60-23 (1320 Bunts)
Home Addition



Docket No. 07-60-23 (1320 Bunts)
Home Addition



Docket No. 07-60-23 (1320 Bunts)
Home Addition



Docket No. 07-60-23 (1320 Bunts)
Home Addition

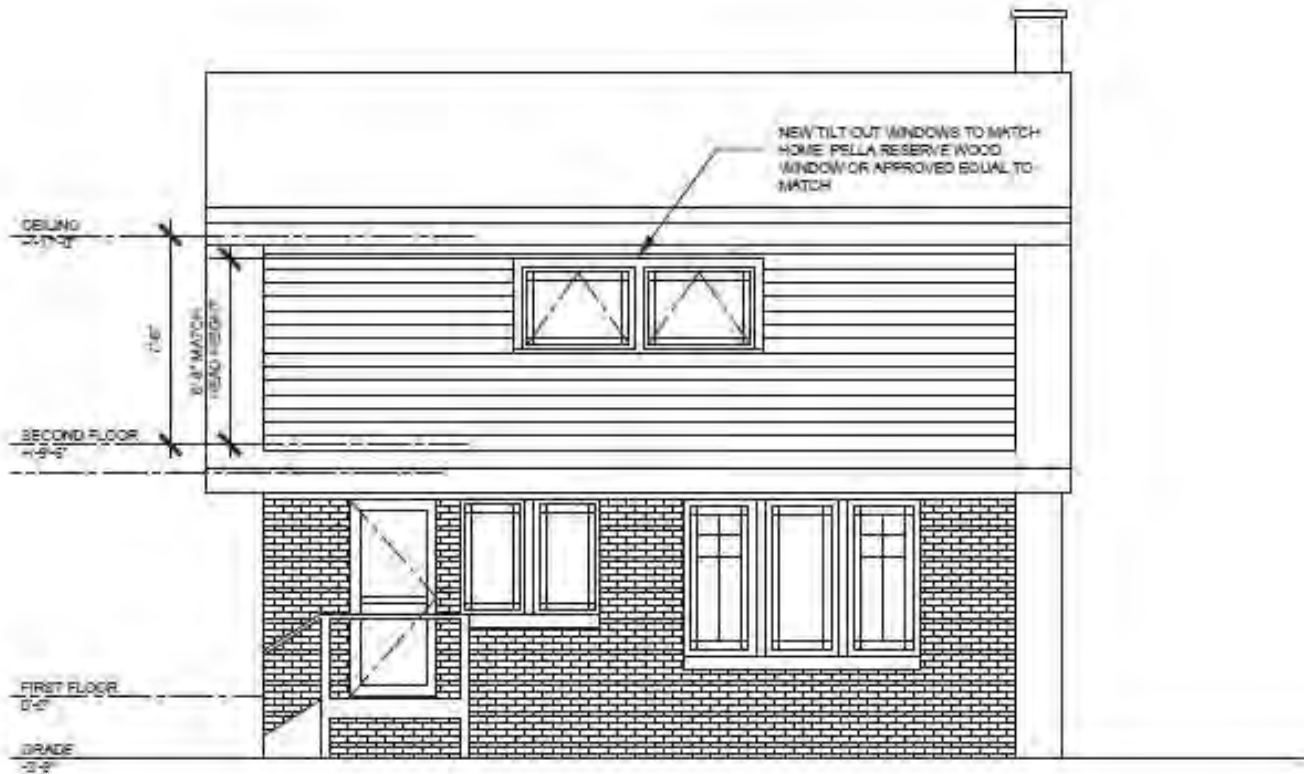


Proposed Side Elevation

1/4" = 1'-0"



Docket No. 07-60-23 (1320 Bunts)
Home Addition

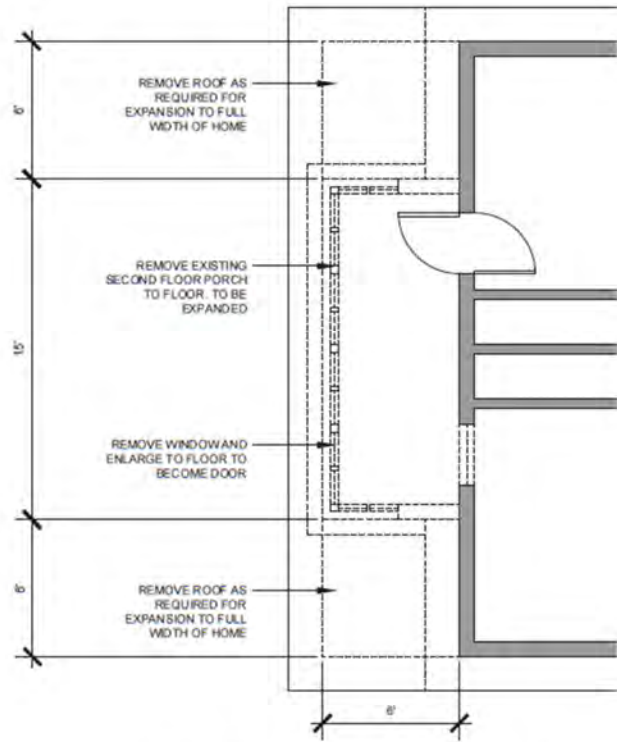


Proposed Rear Elevation

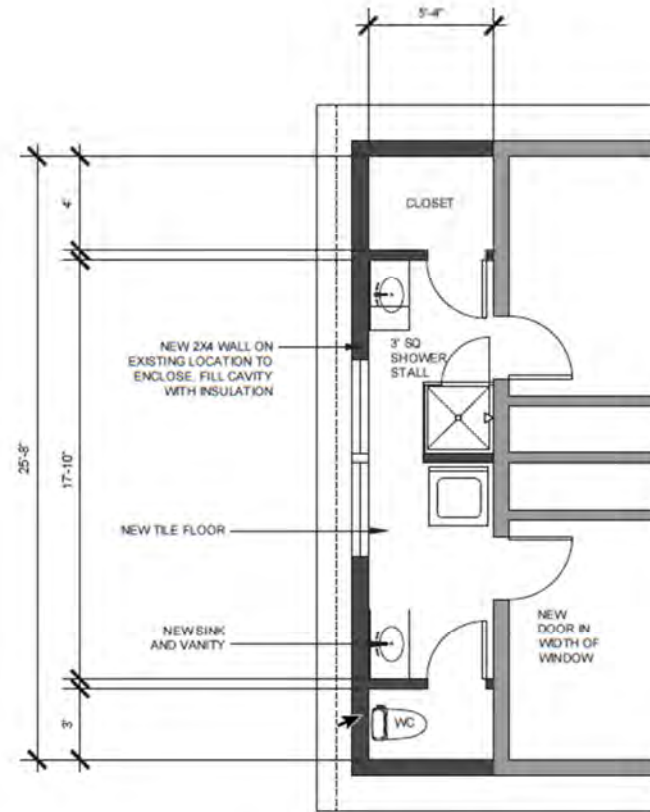
3/4" = 1'-0"



Docket No. 07-60-23 (1320 Bunts)
Home Addition

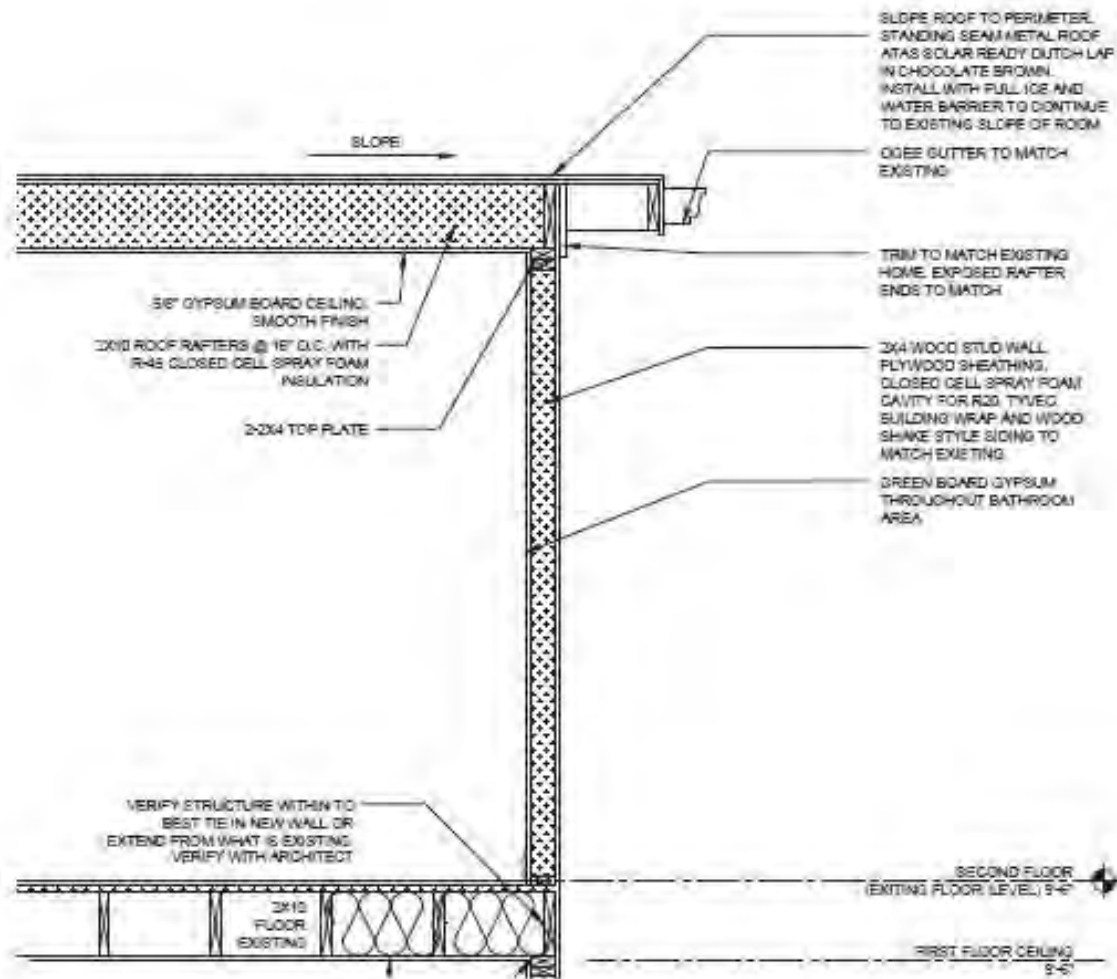


Existing Porch Floor Plan
 $\frac{1}{4}" = 1'-0"$



Proposed Floor Plan
 $\frac{1}{4}" = 1'-0"$





Typical Wall Section

1/4" = 1'-0"



Docket No. 07-60-23 (1320 Bunts)
Home Addition



Docket No. 07-60-23 (1320 Bunts)
Home Addition



Docket No. 07-60-23 (1320 Bunts)
Home Addition



ALUM
CLAD
WIND
& PAT
DOOR

EXQUI
SITI
DESIGN
WINDO
DOORS
UNPARALLELED
HISTORICAL
DETAILING.

SOLAR READY ROOFS

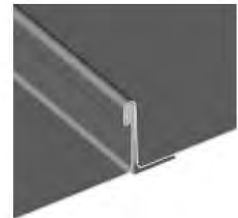
Dutch Seam



1" Field-Lok



1 1/2" Field-Lok



2" Field-Lok



Chocolate Brown (04)



Docket No. 07-60-23 (1320 Bunts)
Home Addition

Wood Types

Choose the wood species that best complements your project's interior.



Prefinished Pine Interior Colors

When you select pine, we can prefinish in your choice of a variety of paints and stains. Unfinished or primed and ready-to-paint are also available.



Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists chalking and fading. Take durability further with EnduraClad Plus protective finish, which meets the industry's highest exterior coating standard to defend against chalking and fading.†



Custom colors are also available.



Classic Collection

Get a timeless look with authentic styles in classic finishes.



Essential Collection

Select from popular designs and finishes to suit every style.



PATIO DOOR HARDWARE

Classic Collection

Choose timeless pieces, created in collaboration with Baldwin® Hardware, for a look that will never go out of style.

BALDWIN



Essential Collection

Elevate your style and transform your home with elegant selections.



Applicant proposes front porch reconstruction.

City Notes:

N/A

Shih Tzu puppies stores

1434 Winchester Ave

Winchester Ave



Docket No. 07-61-23 (1434 Winchester)

Front Porch Renovation
David Grootegoed

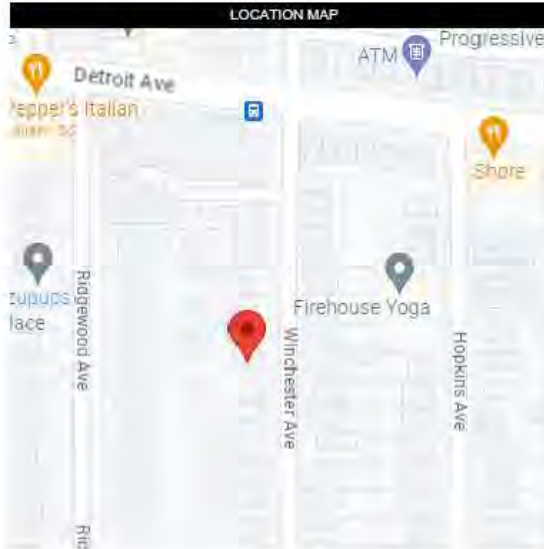


Docket No. 07-61-23 (1434 Winchester)
Front Porch Renovation

WINCHESTER REMODEL

1434 WINCHESTER AVE.
LAKEWOOD, OH

- ### GENERAL NOTES
- A. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY, STATE CODES, AND ALL OTHER APPLICABLE CODE REQUIREMENTS. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY LOCAL, STATE AND FEDERAL LAW TO INSURE PUBLIC AND WORKER SAFETY.
 - B. COMPLY WITH OSHA AND EPA REQUIREMENTS FOR LEAD PAINT REMOVAL AND DISPOSAL, AS WELL AS ANY ADDITIONAL LEAD OR SUSTAINABILITY REQUIREMENTS PERTAINING TO THIS PROJECT.
 - C. ALL CONTRACTORS TO VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS, DIMENSIONS, HEIGHTS, COMPLIANCE, AND POSSIBLE RISKS PRIOR TO BEGINNING ANY WORK. CONTRACTORS TO REVIEW THE ENTIRETY OF THE CONTRACT DOCUMENTS INCLUDING GENERAL NOTES, LIFE SAFETY DRAWINGS, AND CODE REQUIREMENTS. NOTIFY MODAMERICAN DESIGN AND GENERAL CONTRACTOR AS SOON AS POSSIBLE OF DEFICIENCIES OR DISCREPANCIES FOR RESOLUTION OF ISSUES. PROCEEDINGS WITHOUT NOTIFICATION OR COORDINATION IS ACCEPTANCE OF RESPONSIBILITY BY THE CONTRACTOR.
 - D. MEANS & METHODS: WHETHER THE DESIGN PROFESSIONAL AND/OR ITS CONSULTANTS SHALL HAVE CONTROL, OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. SUCH OBLIGATIONS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY. WHETHER THE DESIGN PROFESSIONAL AND/OR ITS CONSULTANTS SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, FOR THE ACTIONS OR OMISSIONS OF ANY PERSON PERFORMING ANY CONSTRUCTION WORK, OR FOR INSTRUCTION GIVEN BY THE CLIENT OR CLIENT'S REPRESENTATIVES TO ANY ONE PERFORMING ANY CONSTRUCTION WORK.
 - E. IF AT ANY TIME THE CONTRACTOR DISCOVERS AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN RECEIVED FROM MODAMERICAN DESIGN. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR DELAYS AND MODIFICATION OF ALL WORK SUBSEQUENTLY DETERMINED BY MODAMERICAN DESIGN TO BE IN DEFENSE.
 - F. CONTRACTOR TO MAKE ALL NECESSARY COORDINATION AND PROVISIONS FOR ITEMS AS INDICATED IN THE CONTRACT DOCUMENTS TO BE FINISHED OR INSTALLED "BY OWNER". PROVIDE ACCOMMODATION AND PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT.
 - G. CONTRACTOR SHALL MAINTAIN A SET OF RECORD DOCUMENTS AT THE SITE DURING WORK. DEVIATIONS AND CHANGES FROM THE CONTRACT DOCUMENTS SHALL BE RECORDED ON THIS SET AFTER NOTIFICATION IS MADE TO MODAMERICAN DESIGN THROUGH CHANGE ORDER. AT COMPLETION OF CONSTRUCTION, CONTRACTOR TO PROVIDE ONE HARD COPY AND ONE TOP QUALITY SCANNED COPY TO CLIENTS.
 - H. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, OR BETWEEN DRAWINGS, CONTACT MODAMERICAN DESIGN FOR RESOLUTION BEFORE PROCEEDING.
 - I. HORIZONTAL DIMENSIONS INDICATED ARE TO FINISHED FACE OF CONSTRUCTION UNLESS OTHERWISE INDICATED.
 - J. VERTICAL DIMENSIONS ARE FROM TOP OF FINISHED FLOOR SLAB OR FINISHED WOOD FLOOR SURFACE UNLESS OTHERWISE INDICATED. (A.F.F.)
 - K. DIMENSIONS SHALL NOT BE MOOVED WITHOUT APPROVAL OF ARCHITECT UNLESS OTHERWISE INDICATED.
 - L. DIMENSIONS INDICATED AS "HOLD" OR "VERIFY" MUST BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS MUST BE REVIEWED WITH MODAMERICAN DESIGN BEFORE PROCEEDING WITH WORK.
 - M. ANY DIMENSION NOTED "VERIFY" OR "VERIFY IN FIELD ONLY" MUST BE REVIEWED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION.



DRAWING LIST

NO.	DESCRIPTION
000	COVER SHEET
D100	DEMOLITION
A100	POWER AND LIGHTING
A100	FLOOR PLAN
A100	BUILDING ELEVATIONS
A100	BUILDING SECTIONS & DETAILS

MODAMERICAN DESIGN
1516 ALDERIDGE DR
LAKEWOOD, OH 44123
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Issued / Revised
No. Date Description

SYMBOLS LEGEND

NEW MARKERS	EXISTING
CALLOUT MARKER	DOOR TAG
EXTERIOR ELEVATION MARKER	KEYNOTE TAG
EXTERIOR ELEVATION MARKED	ROOM NAME
SECTION MARKER	ROOM TAG
VIEW MARKER	WALL TAG
	WINDOW TAG

GENERAL SYMBOLS

CENTERLINE MARKER	DOLLAR GRID
NORTH ARROW	

ABBREVIATIONS

APT ABOVE FINISHED FLOOR
 ANU ANTI-VANDAL UNIT
 ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
 ARCH ARCHITECTURAL
 BLDG BUILDING
 CATV CABLE TELEVISION
 CLD CEILING
 CLS CLASS
 CONC CONCRETE
 CONSTR CONSTRUCTION
 CONTR CONTRACTOR
 CONTR CONTRACTOR
 CTR CENTER
 CP CONDENSATE PUMP
 DM DIMENSION
 DSP DISPENSER
 EOP EXISTING OPERATING FOUNTAIN
 EP ELECTRICAL PANEL
 EEP EXISTING ELECTRICAL PANEL
 EFD EXISTING FLOOR DRAIN
 EXT EXTERIOR
 FD FLOOR DRAIN
 FLOR FLOOR
 SC GENERAL CONTRACTOR
 GWS GYPSUM WALL BOARD
 GUP GYPSUM
 HC HANDICAP (ED)
 HEAC HEATING/VENTILATION/COOLING
 HILL HILLATION
 INT INTERIOR
 LAV LAVATORY
 LOC LOCATION
 LOC LOCATION
 MAX MAXIMUM
 MIN MINIMUM
 NIC NOT IN CONTRACT
 NTD NOT TO SCALE
 ON CENTER
 PFL PLUMBING
 PLAM PLASTER LAMINATE
 PLUM PLUMBING
 PLW PLASTER/WOOD
 REG REGISTRATION (REGULATIONS)
 RM ROOM
 TYP TYPICAL
 VAC VACUUM
 VTR VENT THROUGH ROOF

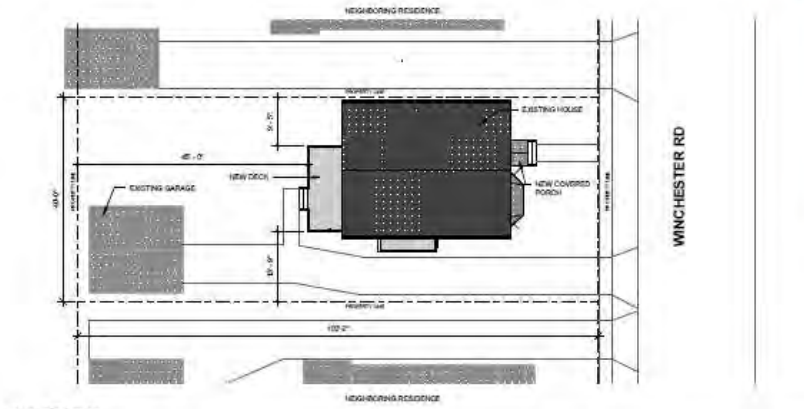
PERMIT SET

5/23/23

WINCHESTER REMODEL
1434 WINCHESTER AVE
LAKEWOOD, OH
Project No. 23-011

COVER SHEET

G000



Docket No. 07-61-23 (1434 Winchester) Front Porch Renovation

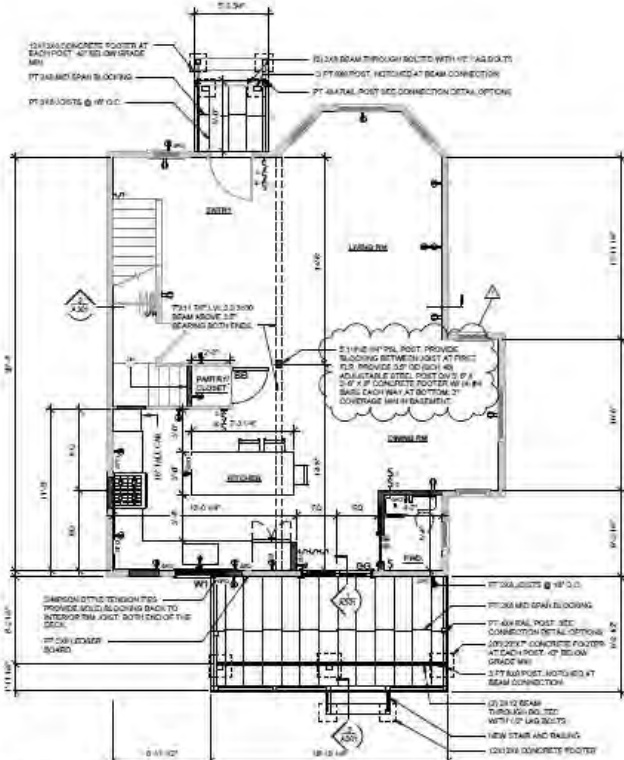
GENERAL PLAN LEGEND	
	EXISTING PARTITION, CORRELING IN THE CUT PLANE
	NEW PARTITION, CORRELING IN THE CUT PLANE
	EXISTING DOOR AND FRAME
	NEW DOOR AND FRAME

- GENERAL SHEET NOTES**
- ALL INTERIOR DIMENSIONS GIVEN ARE FROM FACE OF FINISH WALL TO FACE OF FINISH WALL UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS FROM FINISH TO FINISH OR FINISH TO CENTERLINE OF OPENING. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 - PROVIDE 1/2" FINISH WOOD MOUNTED TO WALLS AT ELECTRICAL & TELECOM ROOMS AND ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS.
 - PROVIDE BRACING OF STUDS SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
 - USE 5/8" MOISTURE AND MOLD RESISTANT OSB/PSI BOARD IF ALL RESTROOMS, BATHING ROOMS, BATHROOMS, KITCHENS, COOKING AREA AND JANITOR Closets. PROVIDE 5/8" OSB/PSI BOARD ON OTHER WET WALLS AND ADJACENT TO SAND IN OTHER SPACES ON WALL TO RESIST FISH. WET AREA IS DEFINED AS ANY ROOM WITH PLUMBING FIXTURES.
 - TYPICAL FLOOR JOIST SPACING AND JOIST DIMENSIONS, ROUGH DOOR SPOUNDRING AT HINGE JAMBS ARE LOCATED IF AWAY FROM ADJACENT INTERIOR CLAD WALL UNLESS NOTED.
 - KITCHEN EQUIPMENT TO BE LOCATED BY THE GC.
 - ALL PLUMBING & ELECTRICAL FIXTURES TO BE SELECTED BY THE GC.
 - ALL FINISHED TO BE CALIBRATED BY THE GC.
 - ALL NEW INTERIOR DOORS TO MATCH EXISTING HEIGHT AND STYLE. SEE UNLESS OTHERWISE NOTED.
 - ALL EXISTING DOUBLE HUNG WINDOWS TO BE REPLACED TO MATCH EXISTING.
 - ALL NEW AND REPLACED WINDOWS, DOORS, AND SKYLIGHTS TO HAVE A MIN. U-VALUE OF 0.30.
 - ALL WINDOWS LOCATED IN FRESH WALLS BETWEEN FLOOR # 0 & ABOVE DEVICE OR HINGE AND TO HAVE A MINIMUM SILL HEIGHT OF 36".

WINDOW SCHEDULE						
MARK	Factory	WIDTH	HEIGHT	Sill Height	Count	COMMENT
W1	DOUBLE HUNG - MARVIN ELVATE	3'-0"	4'-0" 1/2"	3'-0"	1	
W2	DOUBLE HUNG - MARVIN ELVATE	2'-0"	5'-0"	2'-0"	2	

DOOR SCHEDULE						
Item	Finish	WIDTH	HEIGHT	MAT	GLASS	Comments
DA	Interior Single Swing	2'-0"	6'-8"	WOOD	WOOD	1
DB	Interior Single Swing	2'-0"	6'-8"	WOOD	WOOD	1
DC	Interior Double Swing	2'-0"	6'-8"	WOOD	WOOD	1
DD	Interior Single Swing	2'-0"	6'-8"	WOOD	WOOD	1
DE	Interior Single Swing	2'-0"	6'-8"	WOOD	WOOD	1
DF	Interior Double Swing	2'-0"	6'-8"	WOOD	WOOD	1
DG	Interior Double Swing	2'-0"	6'-8"	ALUM CLAD WOOD	ALUM CLAD WOOD	1

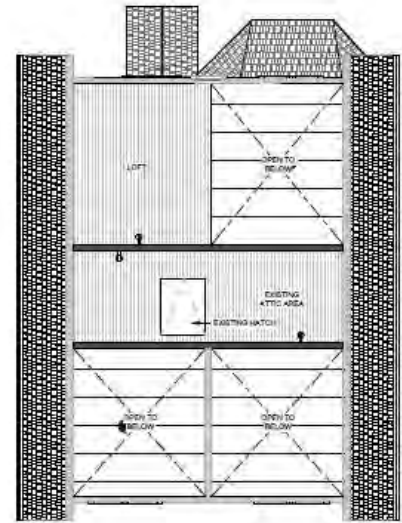
MOODAMERICAN DESIGN
 1601 A DORVILLE DR
 SUITE 1000 FTS LYNN VA 22116
 703.486.8647
 10/1/2018 10:00 AM
 Issues / Revised
 1 Date: 6/7/23
 2 Rev: 1 FOOTER



01 FLOOR PLAN
18'-0" x 18'-0"



02 SECOND FLOOR
18'-0" x 18'-0"



03 ATTIC FLOOR
18'-0" x 18'-0"



PERMIT SET

5/23/23

WINCHESTER REMODEL

1434 WINCHESTER AVE
LAKEWOOD, OH
Project No. 23-011

FLOOR PLAN

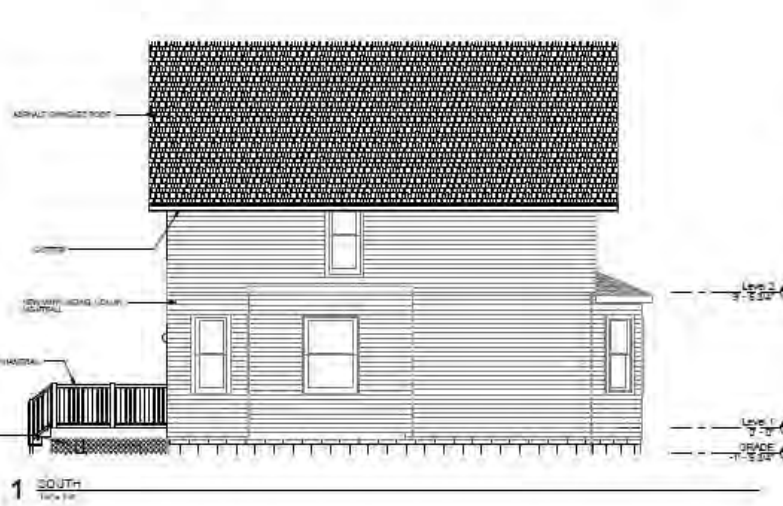
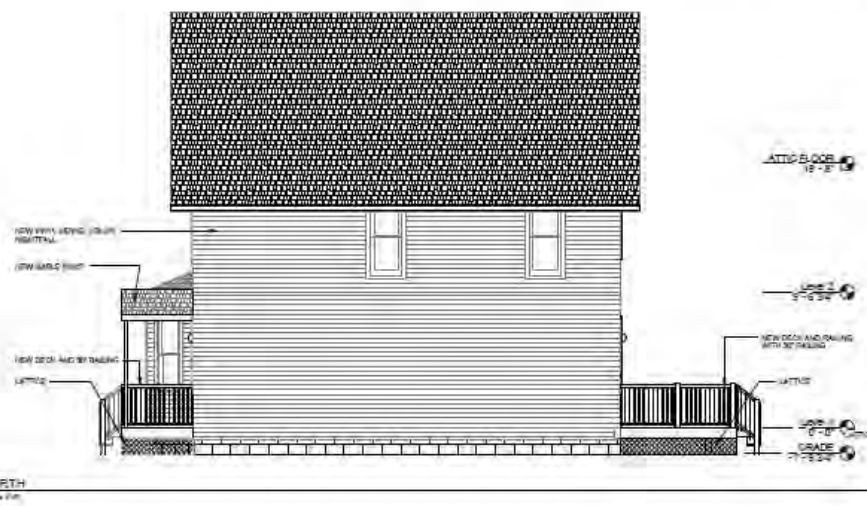
00 A100



Docket No. 07-61-23 (1434 Winchester) Front Porch Renovation

ELEVATION NOTES

- SIZING SELECTED: HEADPOSTS DOUBLE F
- TRIM COLOR: NATURAL
- ACCENT COLOR: ARTISAN WHITE
- TRIM COLOR: ARTISAN WHITE
- ALL PERIODIC MAINTENANCE FRAMING TO MATCH TRIM COLOR
- PORCHES AND DECK OPENING TO BE W/ TONGUE & GROOVE COMPOSITE DECKING WEATHER TREAT FINISH



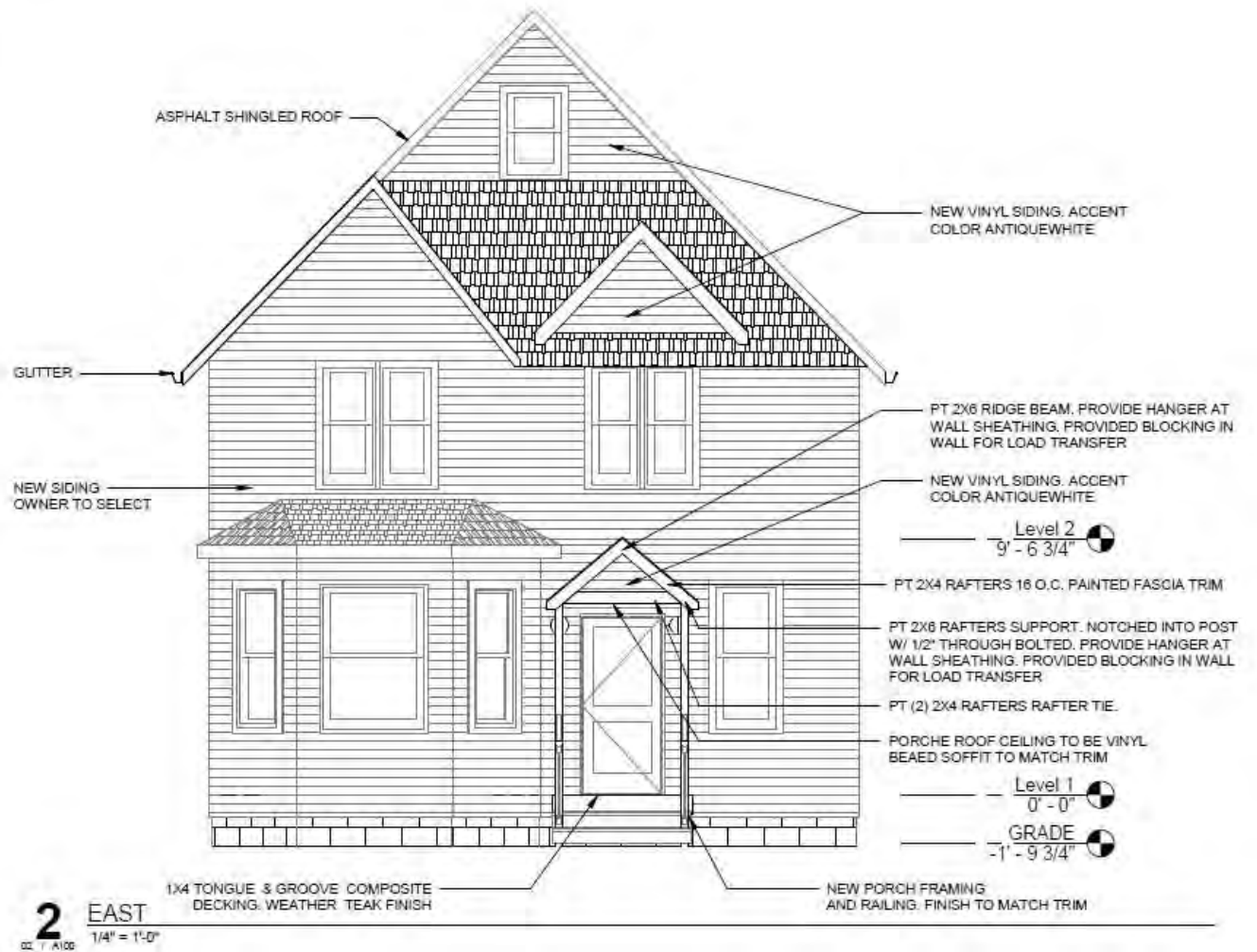
PERMIT SET
 5/23/23
 WINCHESTER REMODEL
 1434 WINCHESTER AVE
 LAKELAND, OH
 Project No. 23.011
 BUILDING ELEVATIONS
 A200



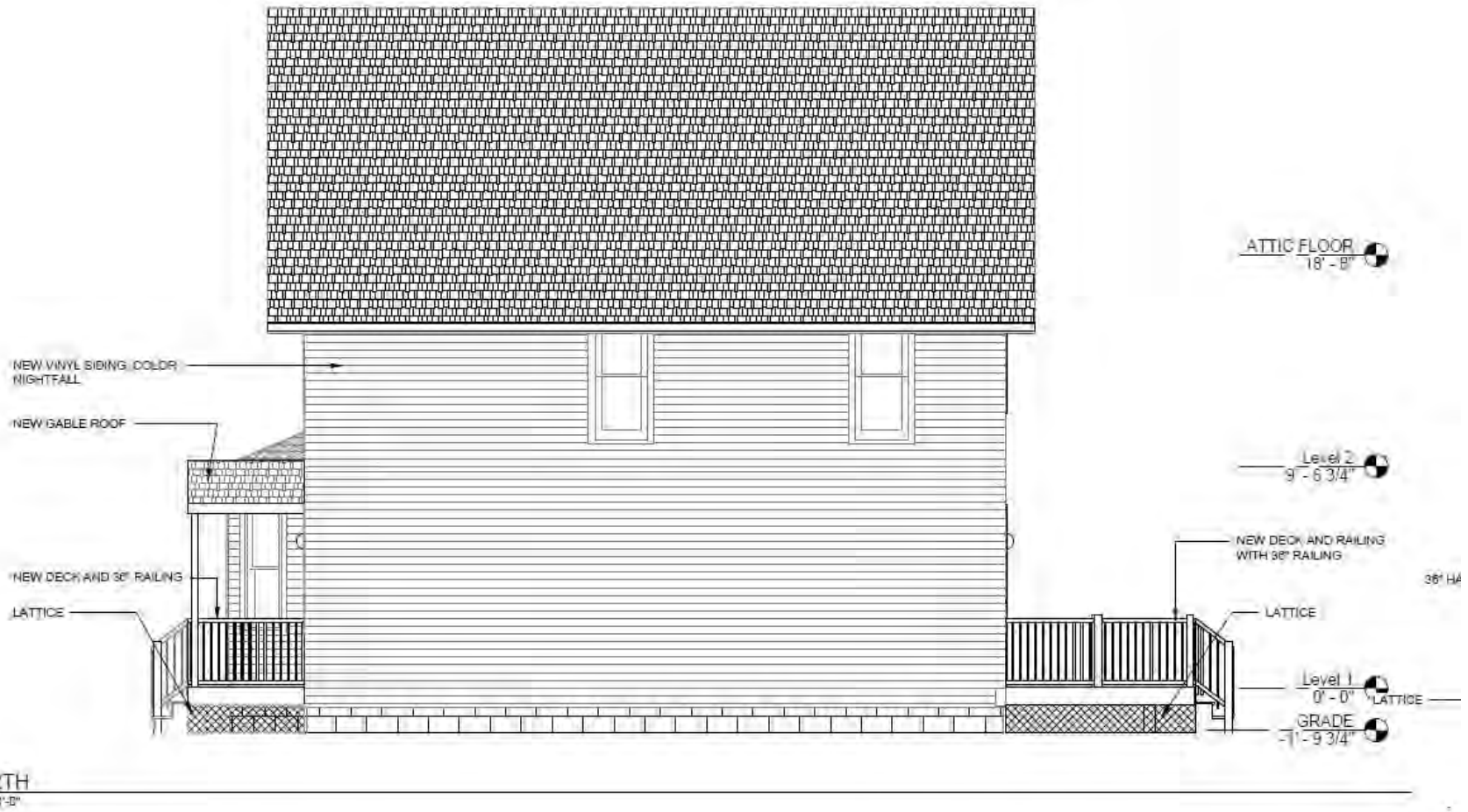
Docket No. 07-61-23 (1434 Winchester)
 Front Porch Renovation

ELEVATION NOTES

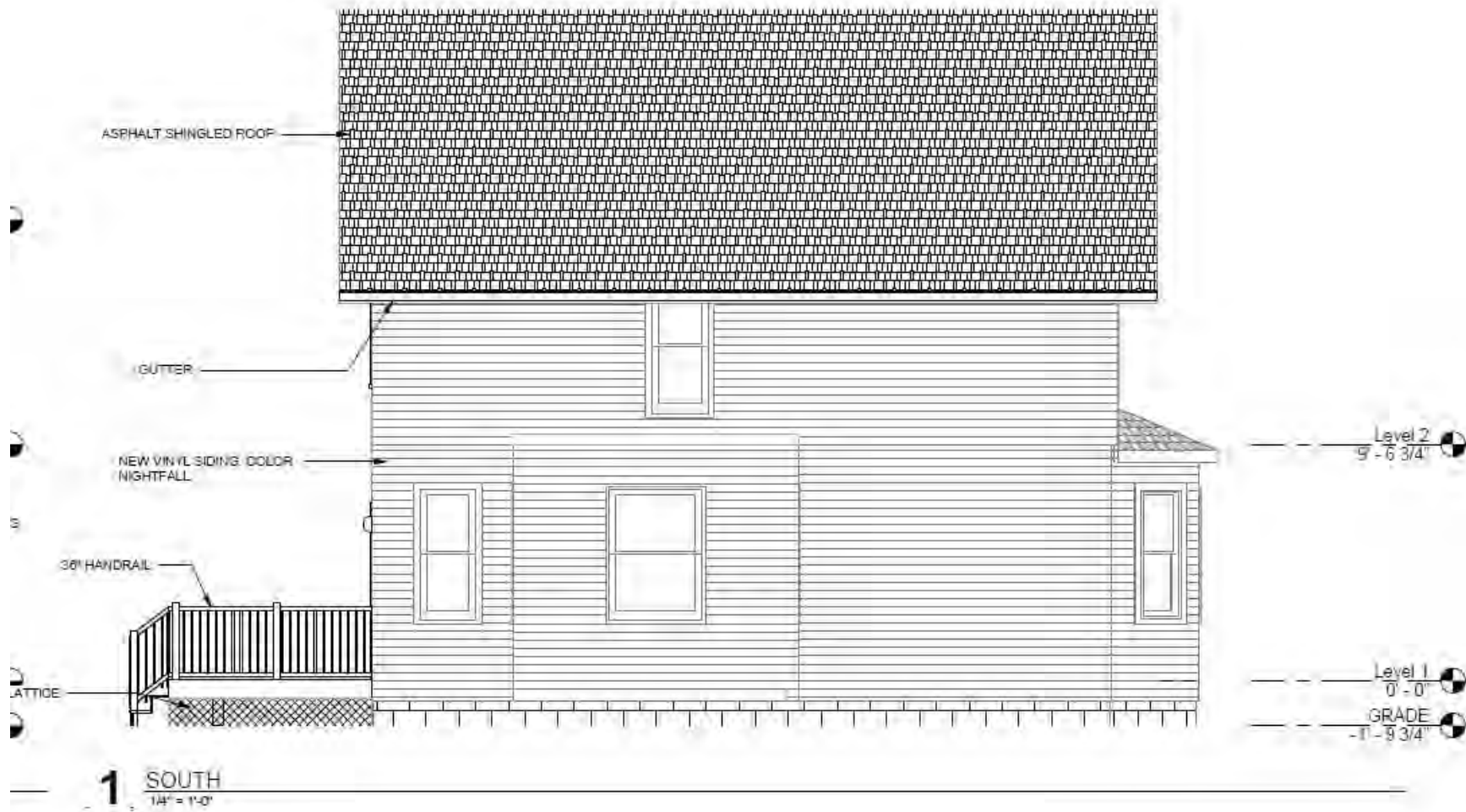
- SIDE SELECTIONS: HEARTTECH, DOUBLE 4"
FIELD COLOR: NIGHTFALL
ACCENT COLOR: ANTIQUE WHITE
- TRIM COLOR ANTIQUE WHITE
- ALL PORCHE AND DECK FRAMING TO MATCH TRIM COLOR.
- PORCHE AND DECK DECKING TO BE 1X4 TONGUE & GROOVE COMPOSITE DECKING. WEATHER TEAK FINISH



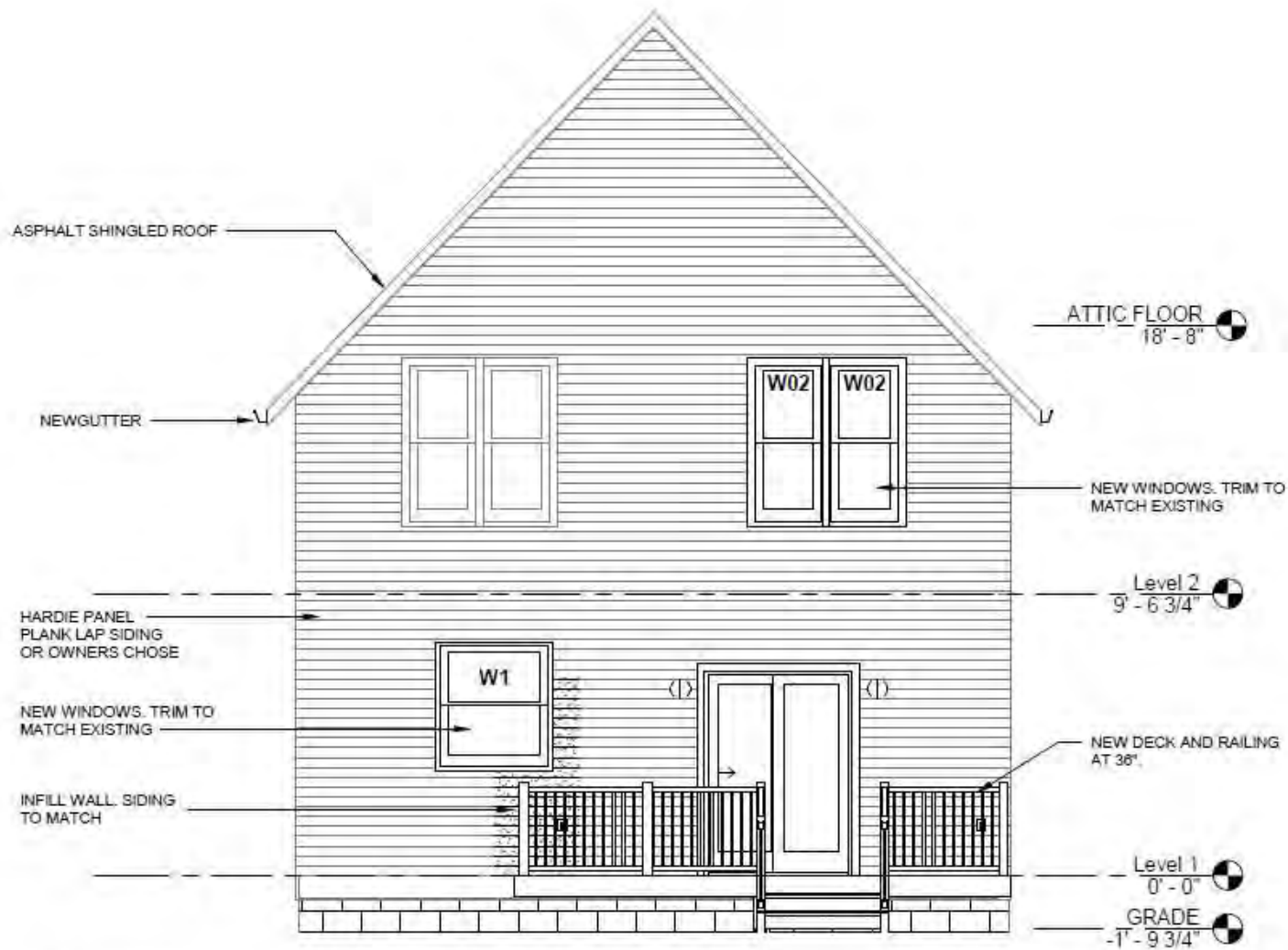
Docket No. 07-61-23 (1434 Winchester)
Front Porch Renovation



Docket No. 07-61-23 (1434 Winchester)
Front Porch Renovation



Docket No. 07-61-23 (1434 Winchester)
Front Porch Renovation



4 WEST
1/4" = 1'-0"



Docket No. 07-61-23 (1434 Winchester)
Front Porch Renovation



Docket No. 07-61-23 (1434 Winchester)
Front Porch Renovation

HEARTTECH® COLORS

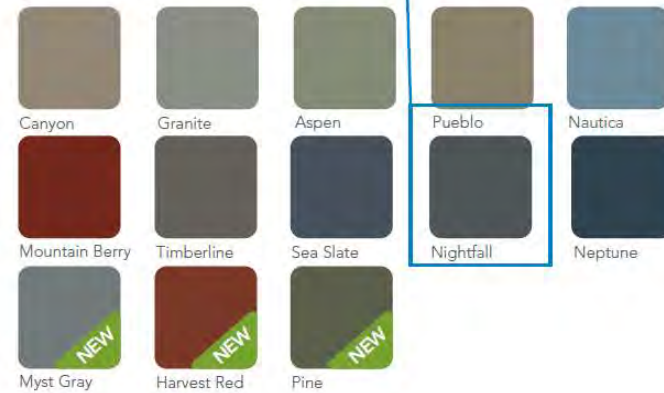
Accent Color

Field Color

LIFESTYLE COLLECTION



SIGNATURE COLLECTION



Docket No. 07-61-23 (1434 Winchester)
Front Porch Renovation

Applicant proposes addition of a front garage.

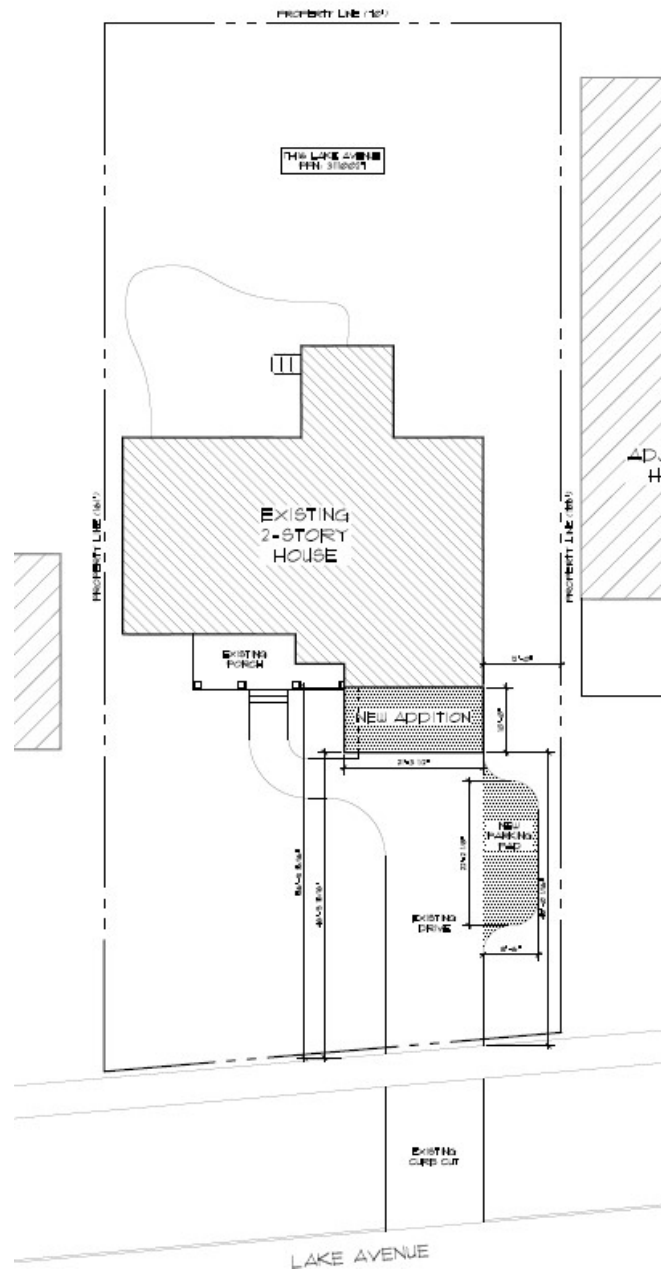
City Notes:

- Proposed front setback is less than the requirement specified by the building line for this parcel: BZA hearing July 20.
- Request clarification on proposed finish materials - new brick is planned to match existing
- Clarification on light fixtures and garage door - using existing light fixtures on new garage face



Docket No. 07-62-23 (17416 Lake)

**Garage Addition
Susan Broadwater**



Docket No. 07-62-23 (17416 Lake)
Garage Addition



EXISTING HOUSE

N.T.S.



Docket No. 07-62-23 (17416 Lake)
Garage Addition



EXISTING CONDITIONS - SIDE OF HOUSE

NTS.



EXISTING CONDITIONS - FRONT PORCH

NTS.



Docket No. 07-62-23 (17416 Lake)
Garage Addition



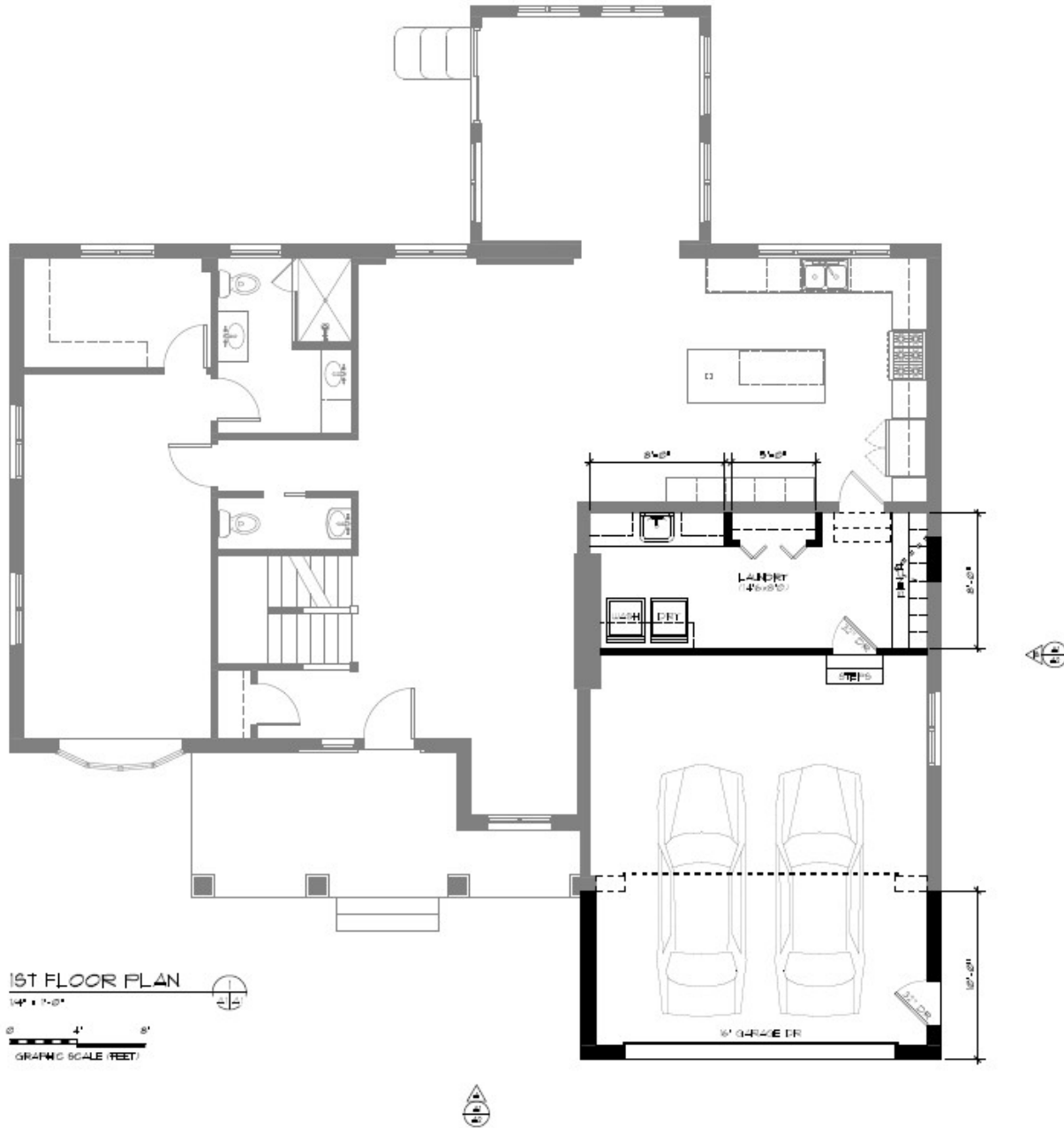
PROPOSED ADDITION

HTS:

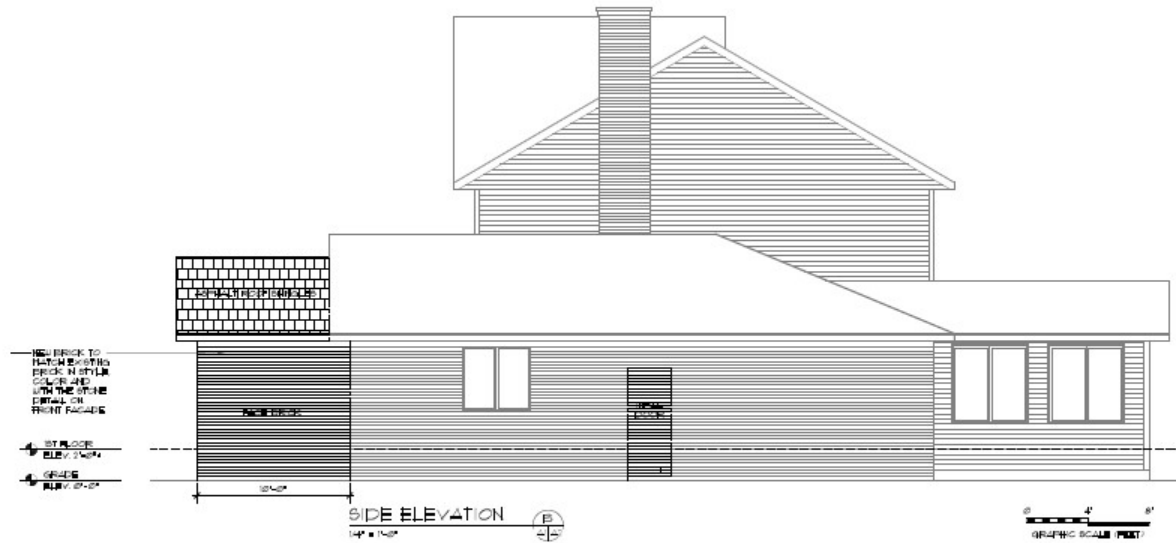
**NEW BRICK ON GARAGE TO MATCH
EXISTING BRICK IN STYLE COLOR AND
WITH THE STONE DETAIL.**



Docket No. 07-62-23 (17416 Lake)
Garage Addition



Docket No. 07-62-23 (17416 Lake)
Garage Addition



Docket No. 07-62-23 (17416 Lake)
 Garage Addition



FRONT ELEVATION 
 1/4" = 1'-0"

NEW BRICK TO MATCH EXISTING BRICK IN STYLE, COLOR AND WITH THE STONE DETAIL ON FRONT FACADE

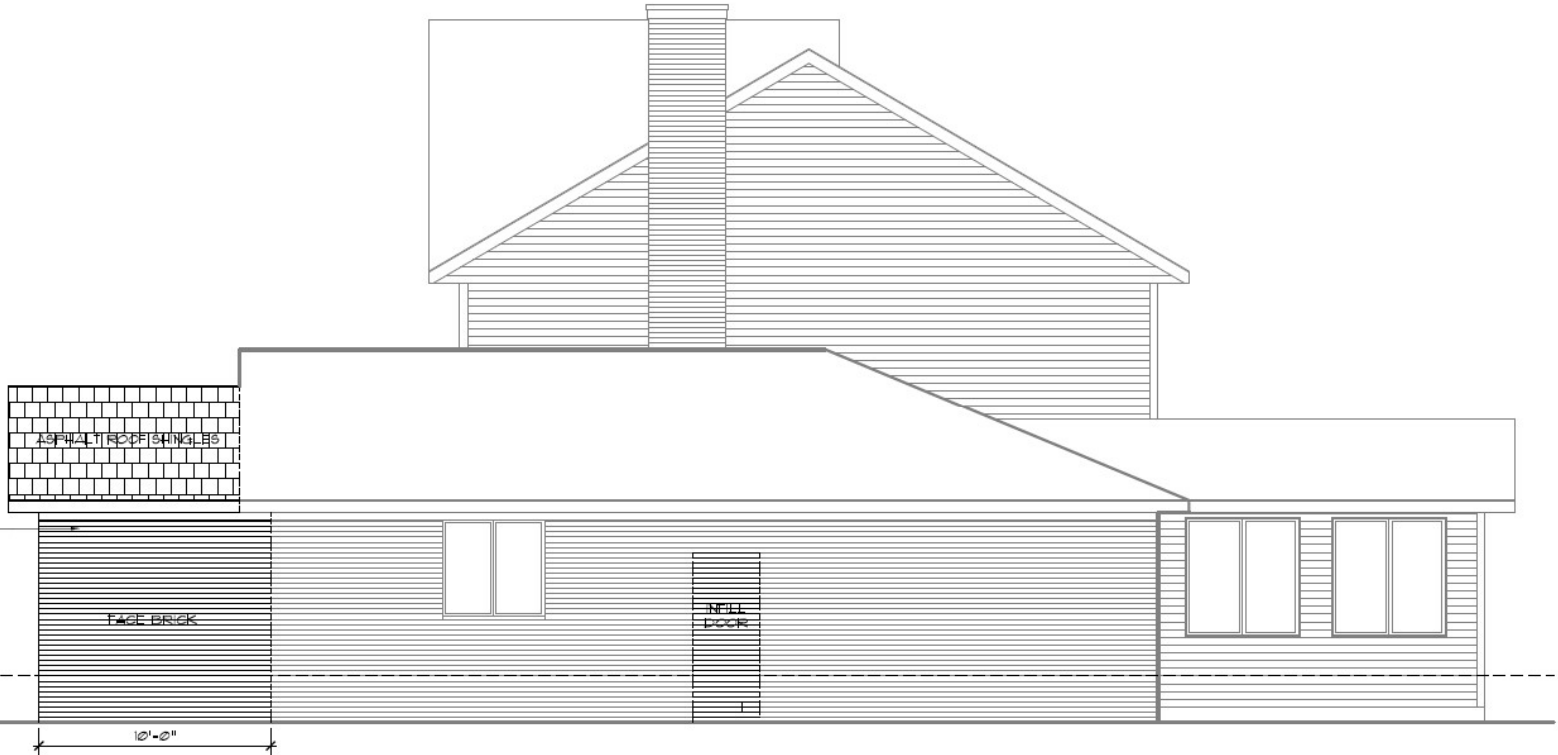
1ST FLOOR
 ELEV. 2'-0"±

GRADE
 ELEV. 0'-0"±

0 4 8
 GRAPHIC SCALE (FEET)



Docket No. 07-62-23 (17416 Lake)
 Garage Addition



NEW BRICK TO MATCH EXISTING BRICK IN STYLE, COLOR AND WITH THE STONE DETAIL ON FRONT FACADE

1ST FLOOR
ELEV. 2'-0"

GRADE
ELEV. 0'-0"

SIDE ELEVATION

1/4" = 1'-0"

B

A-A



Docket No. 07-62-23 (17416 Lake)

Garage Addition



NEW GARAGE DOOR

HTS



EXISTING LIGHT FIXTURE

HTS



Docket No. 07-62-23 (17416 Lake)
Garage Addition

Applicant proposes parking lot alteration.

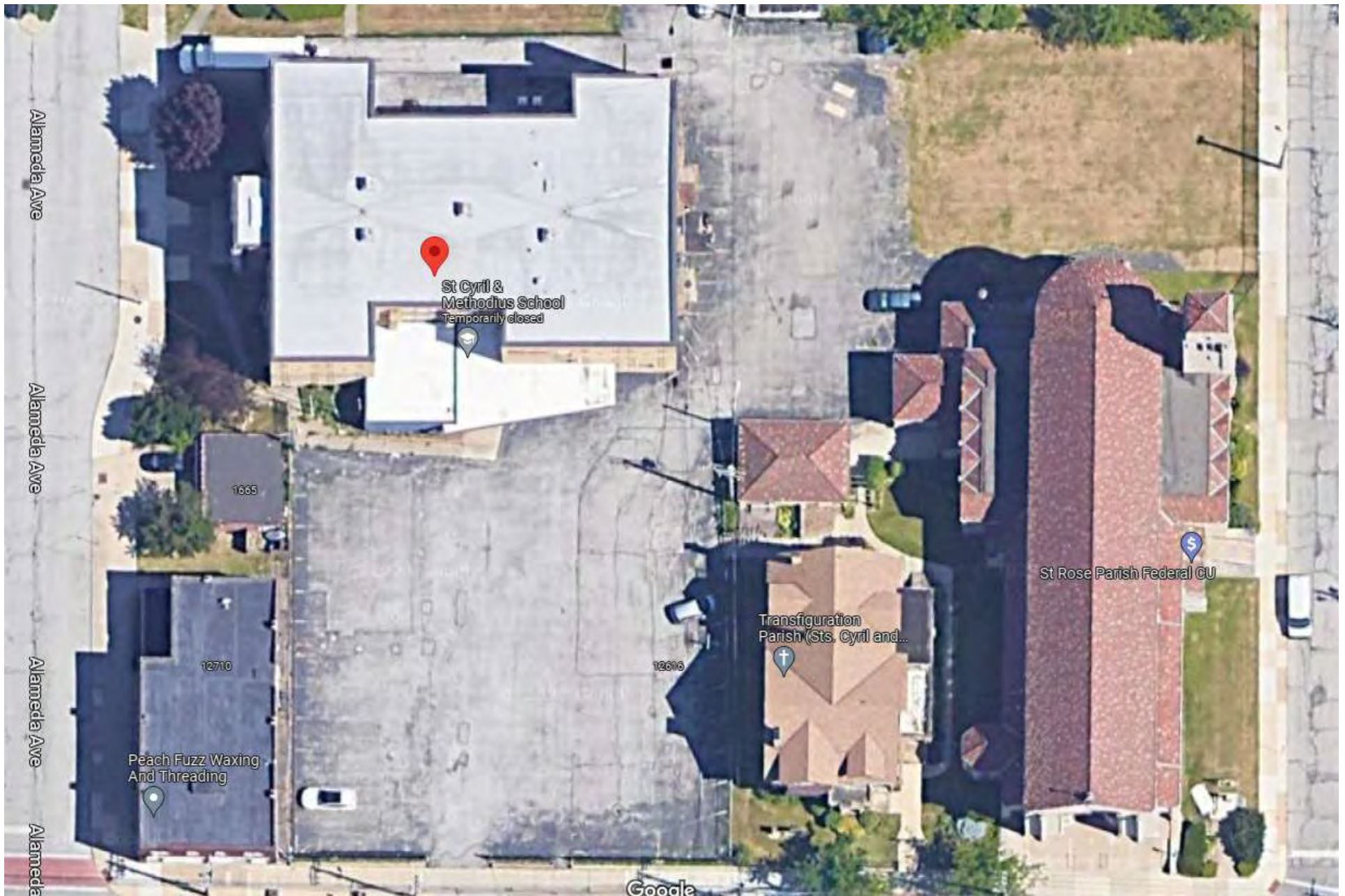
City Notes:

- Provide material spec sheets
- Provide signage in plan
- Pedestrian connectivity



Docket No. 07-63-23 (1639 Alameda)

**Parking Lot Alteration – Margaret Apts.
Jim Miketo**



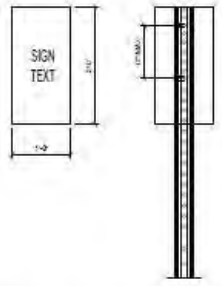
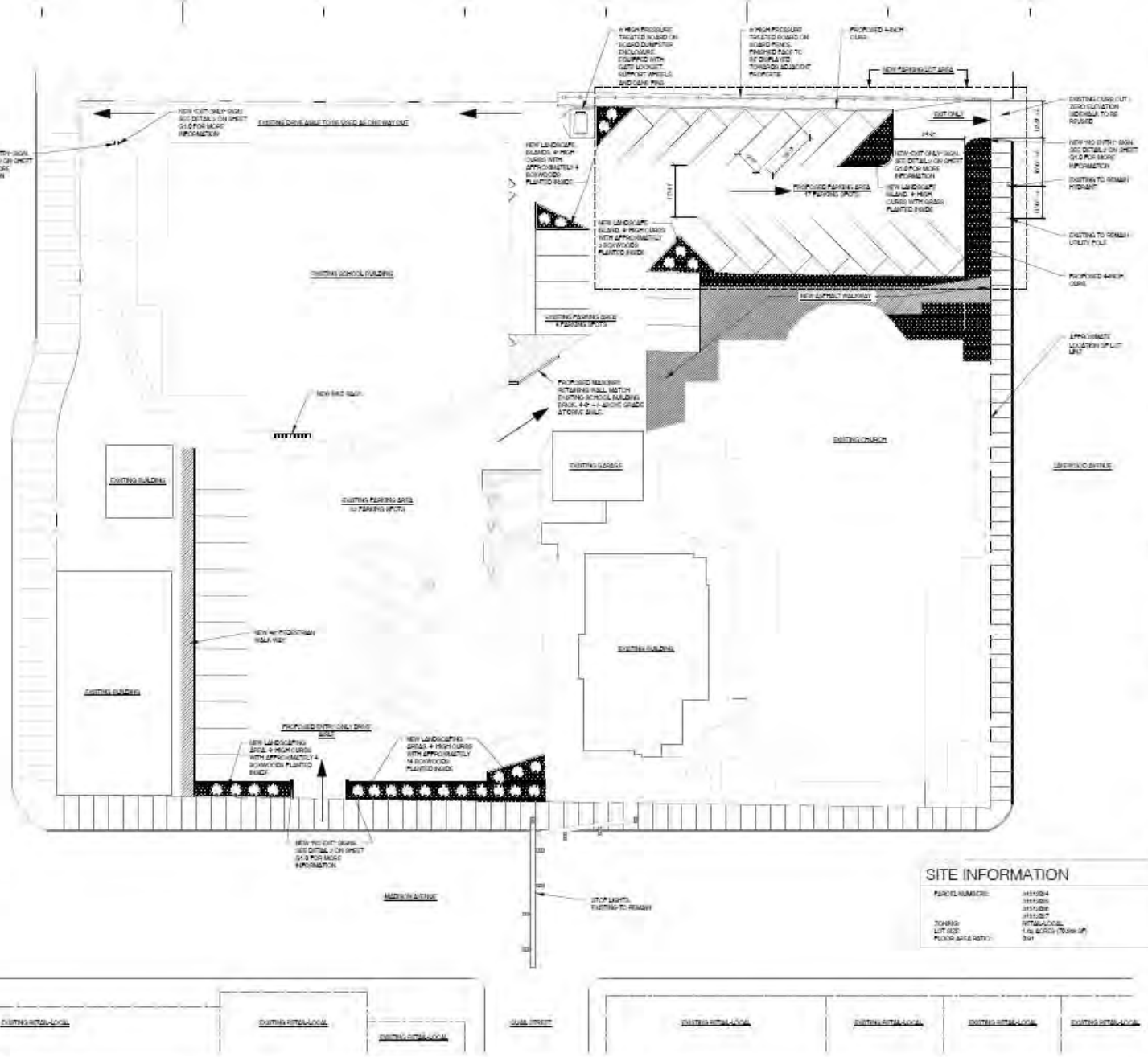
Docket No. 07-63-23 (1639 Alameda)
Parking Lot Alteration – Margaret Apts.



Docket No. 07-63-23 (1639 Alameda)
Parking Lot Alteration – Margaret Apts.



Docket No. 07-63-23 (1639 Alameda)
Parking Lot Alteration – Margaret Apts.



- NOTES**
- REFER TO THE SITE PLAN FOR SIGN LOCATIONS AND THEIR ASSOCIATED TEXT.
 - VERTICAL CLEARANCE FROM BOTTOM OF SIGN TO GRADE LINE SHALL BE A MINIMUM OF 7'-0\"/>
- 2. POST MOUNTED SITE SIGNAGE DETAIL**
NOT TO SCALE

SITE INFORMATION	
PARCEL NUMBER:	3111004 3111005 3111006 3111007
TAXING:	RTMAYALOCAL
LOT USE:	4-6-8-0000 (Office/Off-Office)
FLOOR AREA RATIO:	0.31

NOT FOR CONSTRUCTION

Teddy Rider, LLC
4000 Lewis Street
Columbus, Ohio 43210

Apartments At St. Cyril
1500 Madison Avenue
Columbus, Ohio 43207

Site Plan
Scale: 1/8\"/>

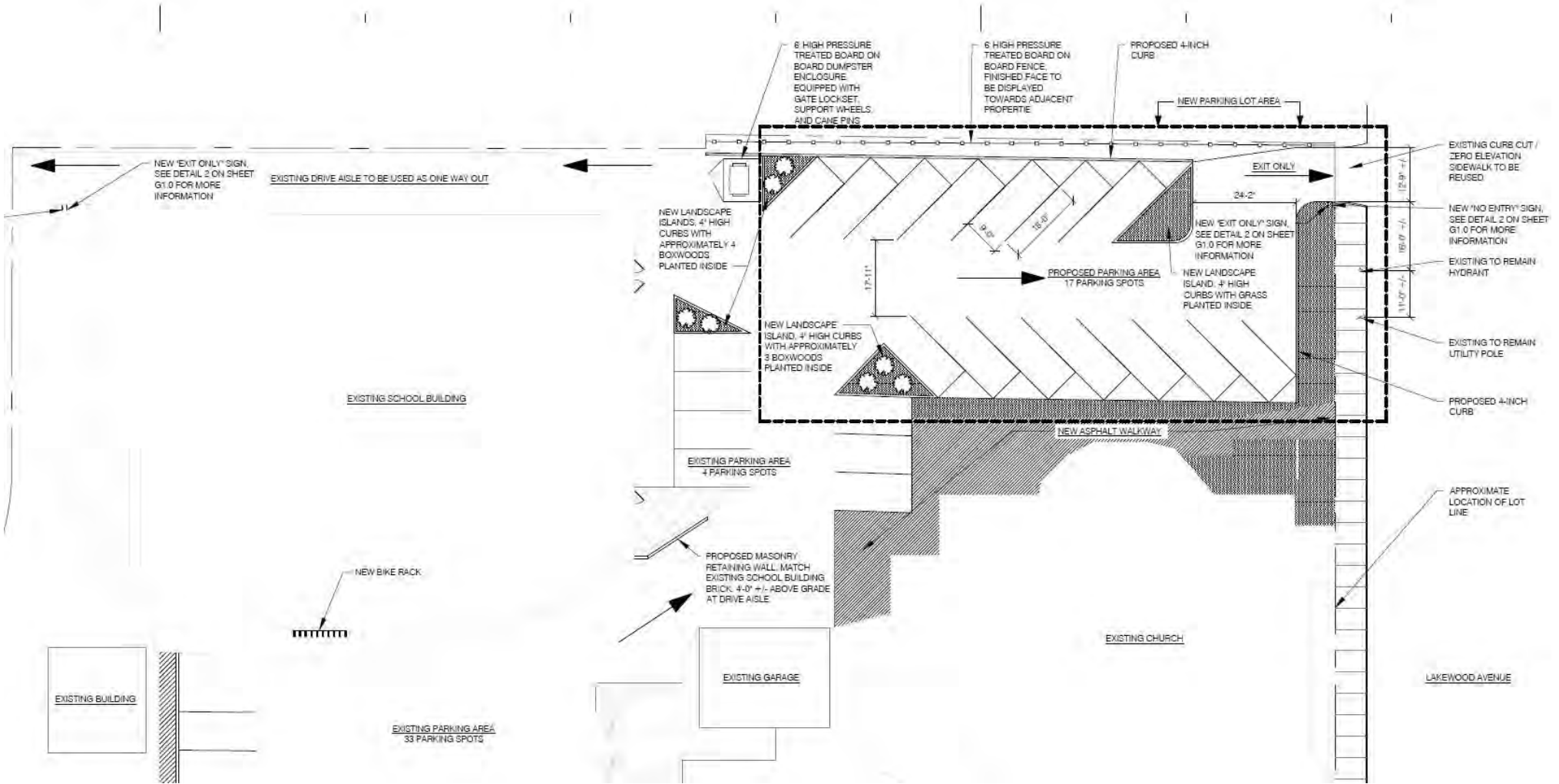
Project Number: 3110-01-00
Design by: JPH
Checked by: JPH
Drawn by: JSC

G1.0



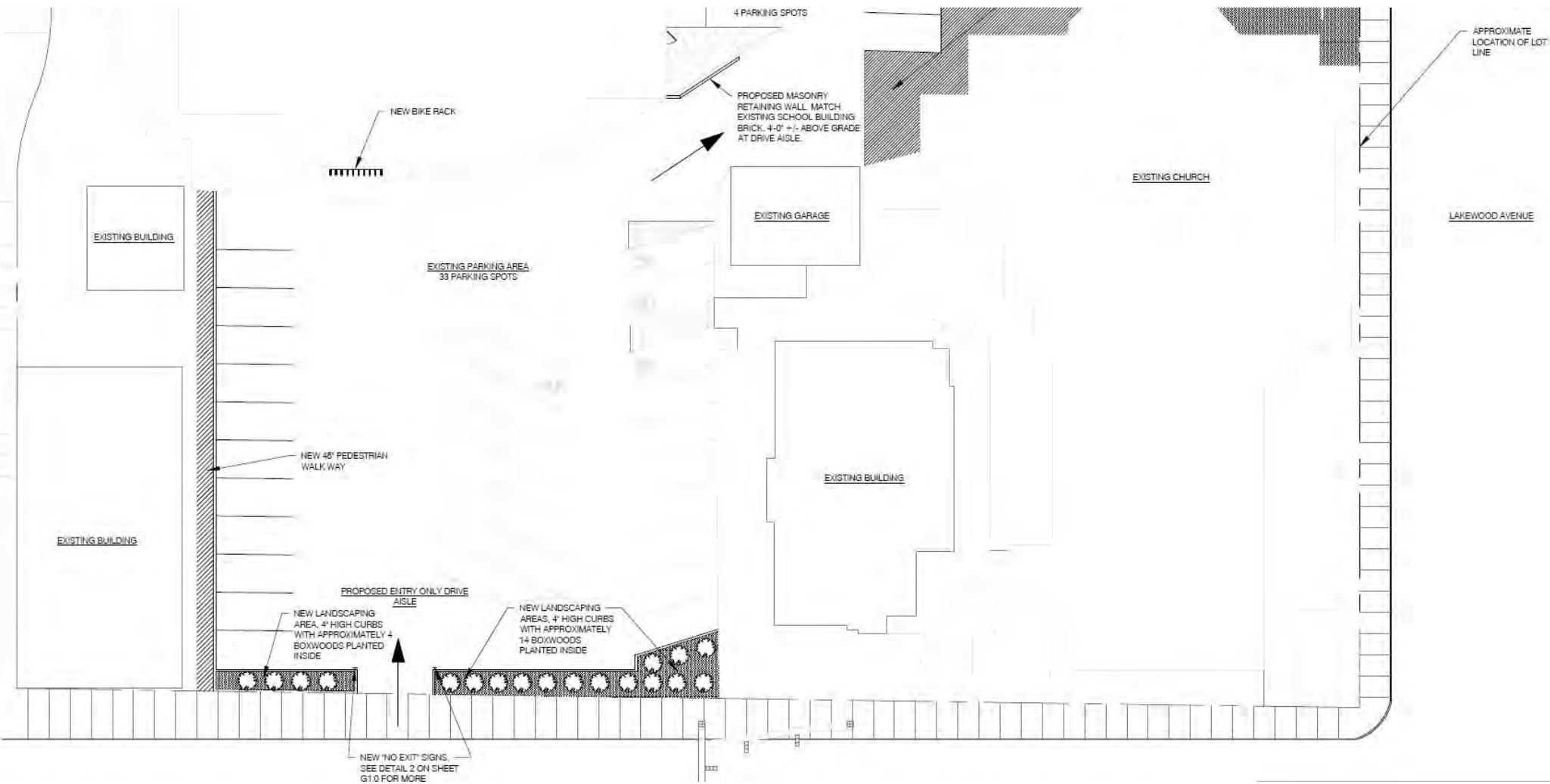
Docket No. 07-63-23 (1639 Alameda)

Parking Lot Alteration – Margaret Apts.



Docket No. 07-63-23 (1639 Alameda)

Parking Lot Alteration – Margaret Apts.



Docket No. 07-63-23 (1639 Alameda)
 Parking Lot Alteration – Margaret Apts.

Do Not Enter (One Way) Signs

To be installed at Alameda and Lakewood Ave Exits



No Exit Signs (to be installed At Madison Ave)



BOXWOOD 'GREEN GEM' 7 GALLON

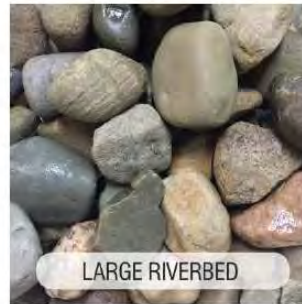
Buxus spp.

A popular evergreen shrub with oval, dark, glossy green foliage on an attractive, densely rounded form. Great for small topiary and trimmed hedges, good choice for foundation plantings, deer resistant specimens, or used in containers for year round interest. Maintains its lush green foliage color throughout the winter. Hybrid cross of *B. microphylla* var. *koreana* x *B. sempervirens* developed by Sheridan Nurseries, Ontario, Canada.



- Sun to Part Shade
- 2-4' h x 2-4' w
- Deer Resistant
- Winter Interest

Great accent and decorative enhancement to any landscape. Also used for drainage work, water features, pathways and back filling. Assorted sizes range from 1-1/2" – 2". Varying earth-tone colors ranging from tan to grey.

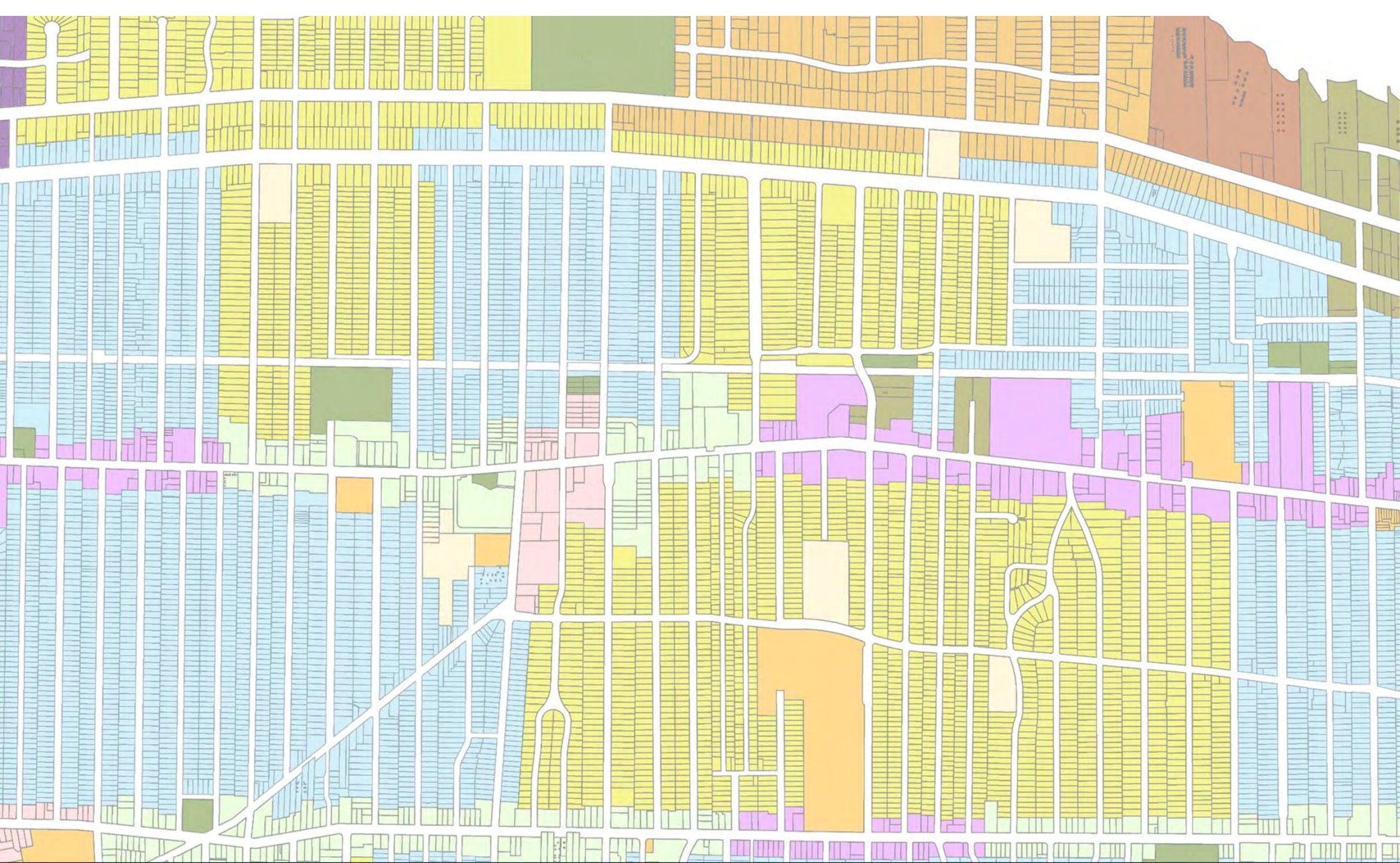


Bike Rack (Chocolate Brown)

[Grid Bicycle Racks](#) | [Bike Racks](#) | [Belson Outdoors®](#)



Docket No. 07-63-23 (1639 Alameda)
Parking Lot Alteration – Margaret Apts.



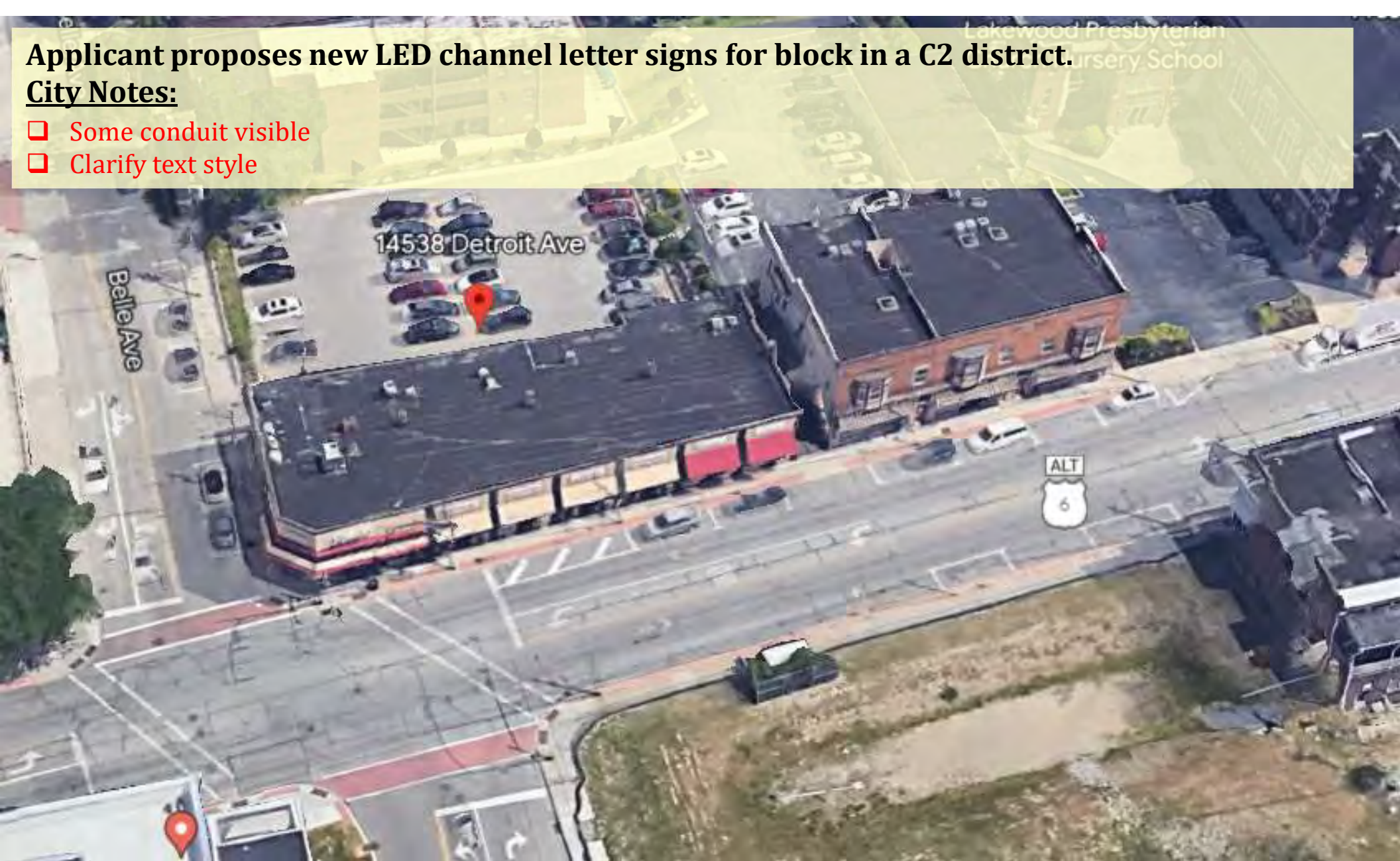
Architectural Board of Review

Sign Review – July 2023

Applicant proposes new LED channel letter signs for block in a C2 district.

City Notes:

- Some conduit visible
- Clarify text style



Docket No. 07-64-23 (14538 Detroit)

Sign – Aladdin's Center
Maan Yousef



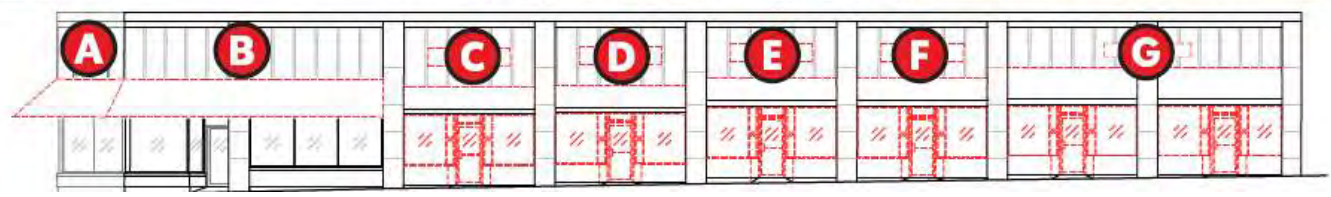
Docket No. 07-64-23 (14538 Detroit)
Signage – Aladdin's Center



Docket No. 07-64-23 (14538 Detroit)
Signage – Aladdin’s Center

- A** ALADDIN'S
- B** ALADDIN'S
- C** THE TEA LAB
- D** SPIRITUAL JOURNEY
- E** BELLE BARBOR SHOP
- F** CONNECTED
- G** BLOSSOM

SITE PLAN

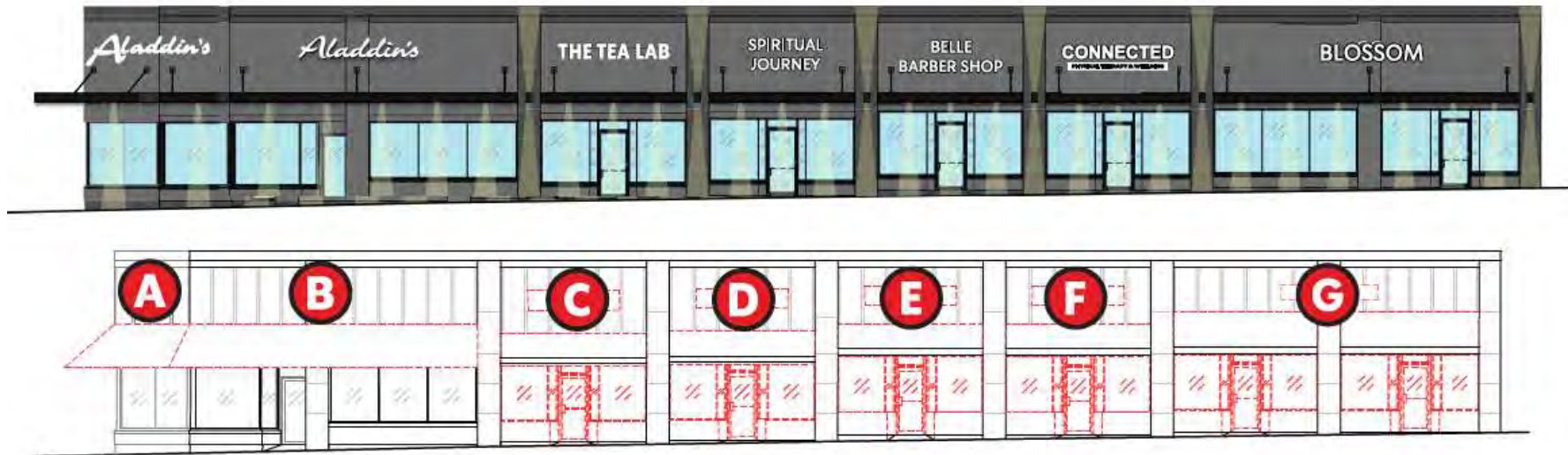


Front Elevation

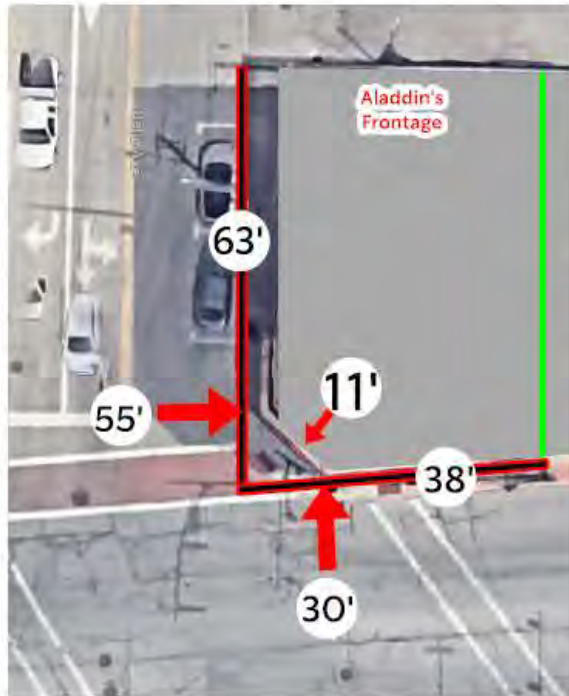
Pg. 3

- A** ALADDIN'S
- B** ALADDIN'S
- C** THE TEA LAB
- D** SPIRITUAL JOURNEY

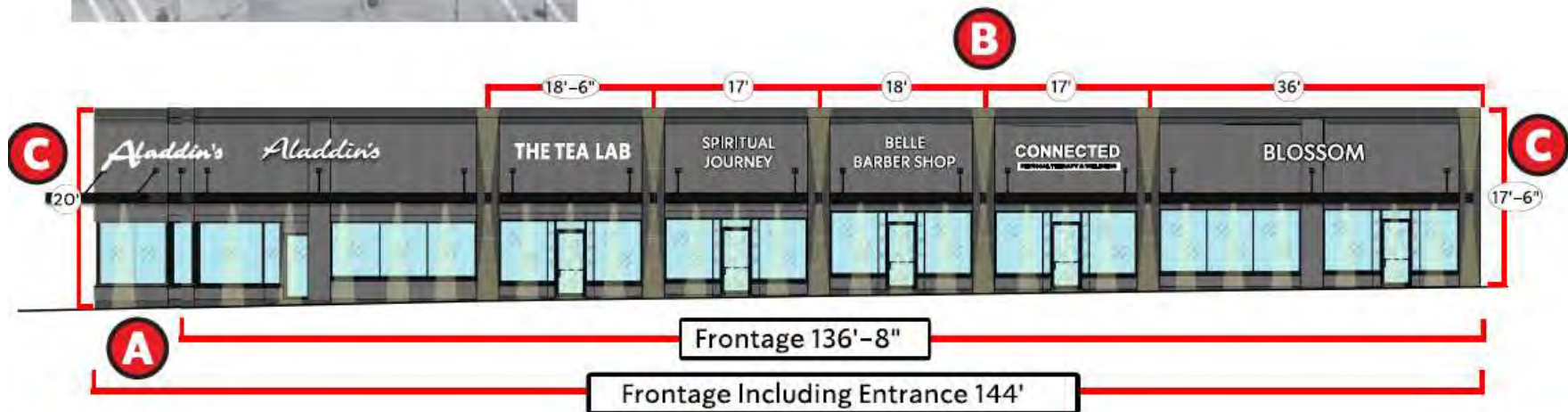
- E** BELLE BARBOR SHOP
- F** CONNECTED
- G** BLOSSOM



Docket No. 07-64-23 (14538 Detroit)
Signage – Aladdin's Center



- A** Building Frontage
- B** Individual Unit Frontage
- C** Elevation Height





EXISTING

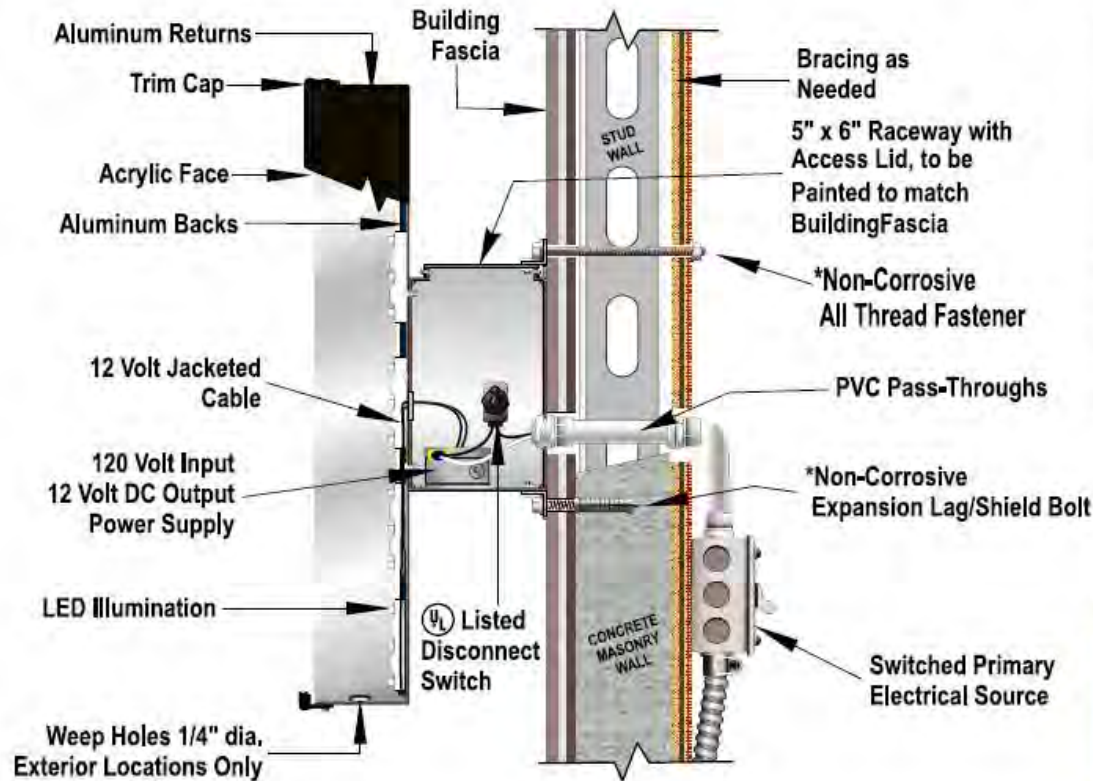


PROPOSED



MOUNTING/LIGHTING METHOD*

CHANNEL LETTERS on RACEWAY w/ LED ILLUMINATION



Faces	White 3/16" Acrylic
Backs	.040 Aluminum Backs
Returns	3" .040 Aluminum Returns Color TBD
Trim	1" Jewelite Trimcap Color TBD
Lighting	White LEDs

***MOUNTING METHOD:**
 (Use appropriate method following wall inspection)
 Toggle bolts w/hollow core-plywood backing
 Expansion lag bolts & shields w/solid concrete
 Thru bolt - all thread fasteners w/wood backing

SIGN TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS

Underwriters Laboratories Inc.
1996
ELECTRIC SIGN

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 250-4
 ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250
 ALL WIRING SUPPLIES TO BE RATED PER N.E.C. 314.2(B), 314.2(C), 314.2(D), 314.2(E), 314.2(F), 314.2(G), 314.2(H), 314.2(I), 314.2(J), 314.2(K), 314.2(L), 314.2(M), 314.2(N), 314.2(O), 314.2(P), 314.2(Q), 314.2(R), 314.2(S), 314.2(T), 314.2(U), 314.2(V), 314.2(W), 314.2(X), 314.2(Y), 314.2(Z)
 SIGN TO MEET N.E.C. AND U.L. 48 STANDARDS FOR ELECTRICAL SIGNS
 GROUNDING & BONDING AS PER N.E.C. 250-90 & NED 900-7

*** If Mounting Method is different in any way, it will be noted and detailed on that specific sign**

Project Name _____ Project Manager _____ Client Approval _____



Docket No. 07-64-23 (14538 Detroit)
 Signage – Aladdin’s Center

36' x 1.5 = 54 SF allowed

24 in 146 in
BLOSSOM

24.33 SQUARE FEET

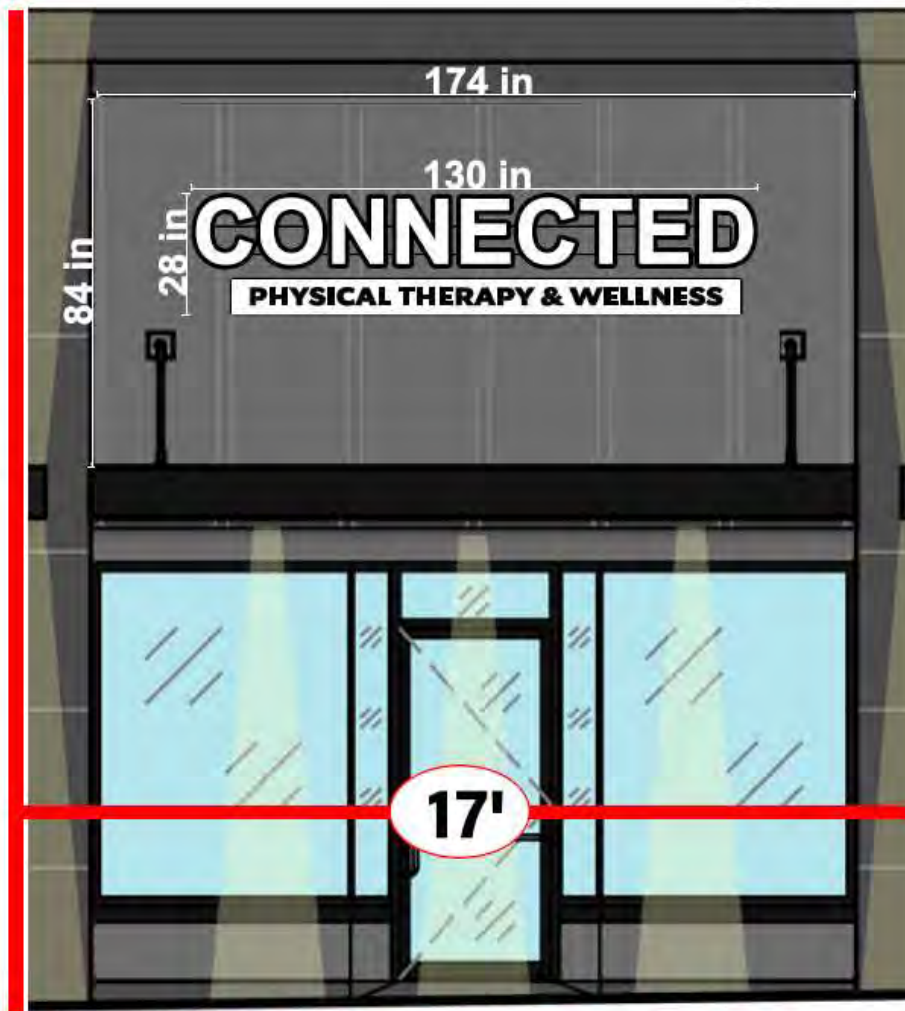


Docket No. 07-64-23 (14538 Detroit)
Signage – Aladdin’s Center

17' x 1.5 = 25.725 SF allowed



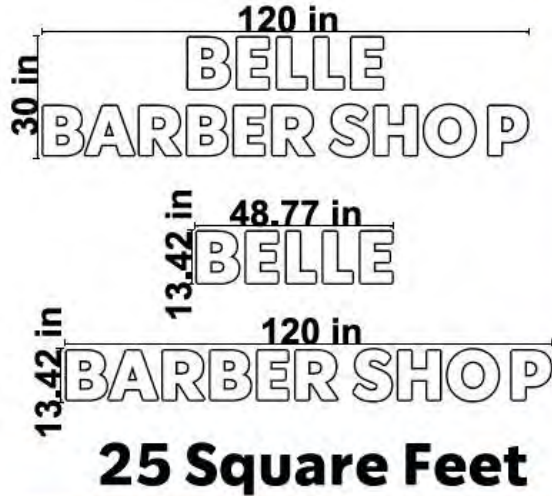
EXISTING



PROPOSED



18' x 1.5 = 27 SF allowed



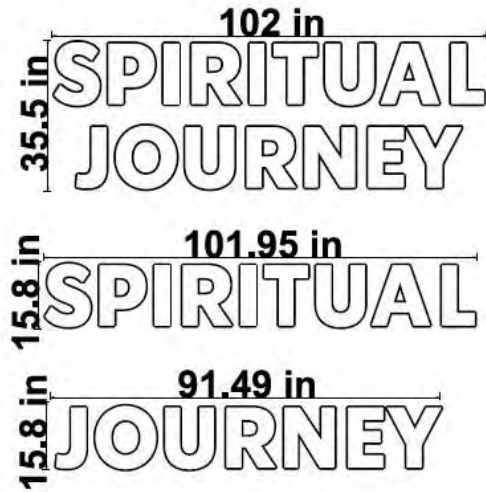
EXISTING



PROPOSED



17' x 1.5 = 25.725 SF allowed



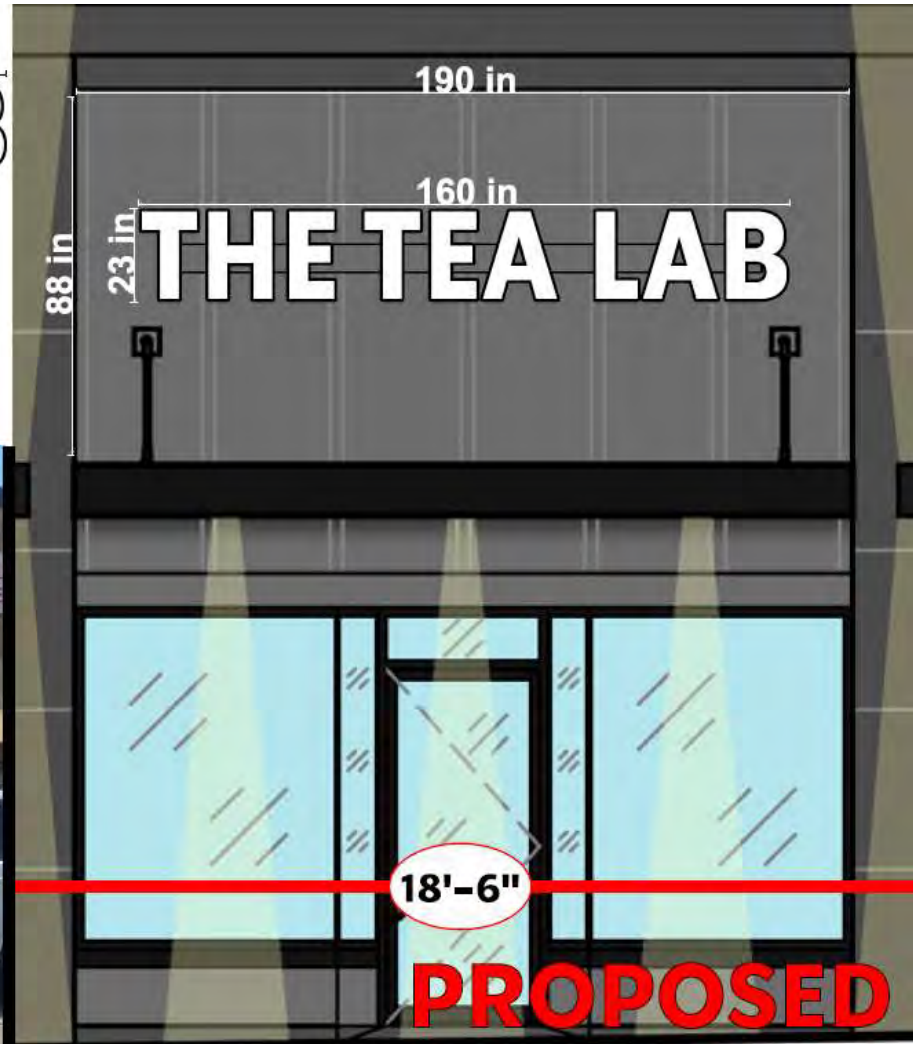
25.15 Square Feet



18.5' x 1.5 = 27.75 SF allowed

23 in
160 in
THE TEA LAB

25.5 Square Feet



Docket No. 07-64-23 (14538 Detroit)
Signage – Aladdin's Center

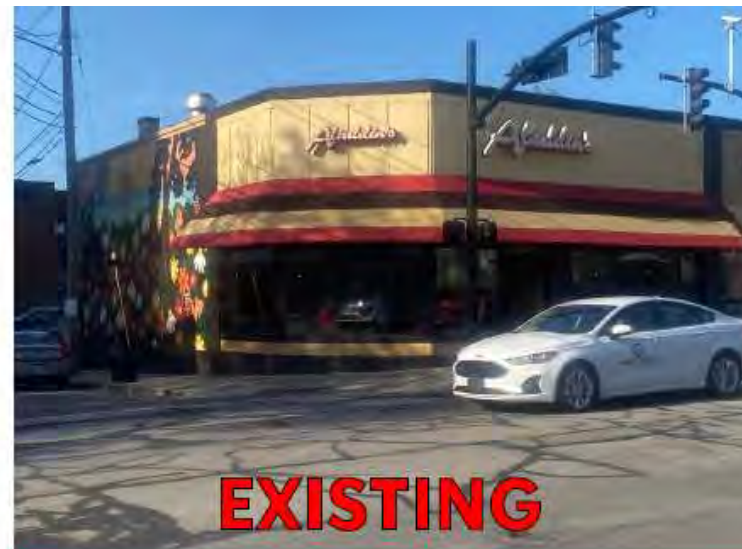
30' x 1.5 = 45 SF allowed

38' x 1.5 = 57 SF allowed

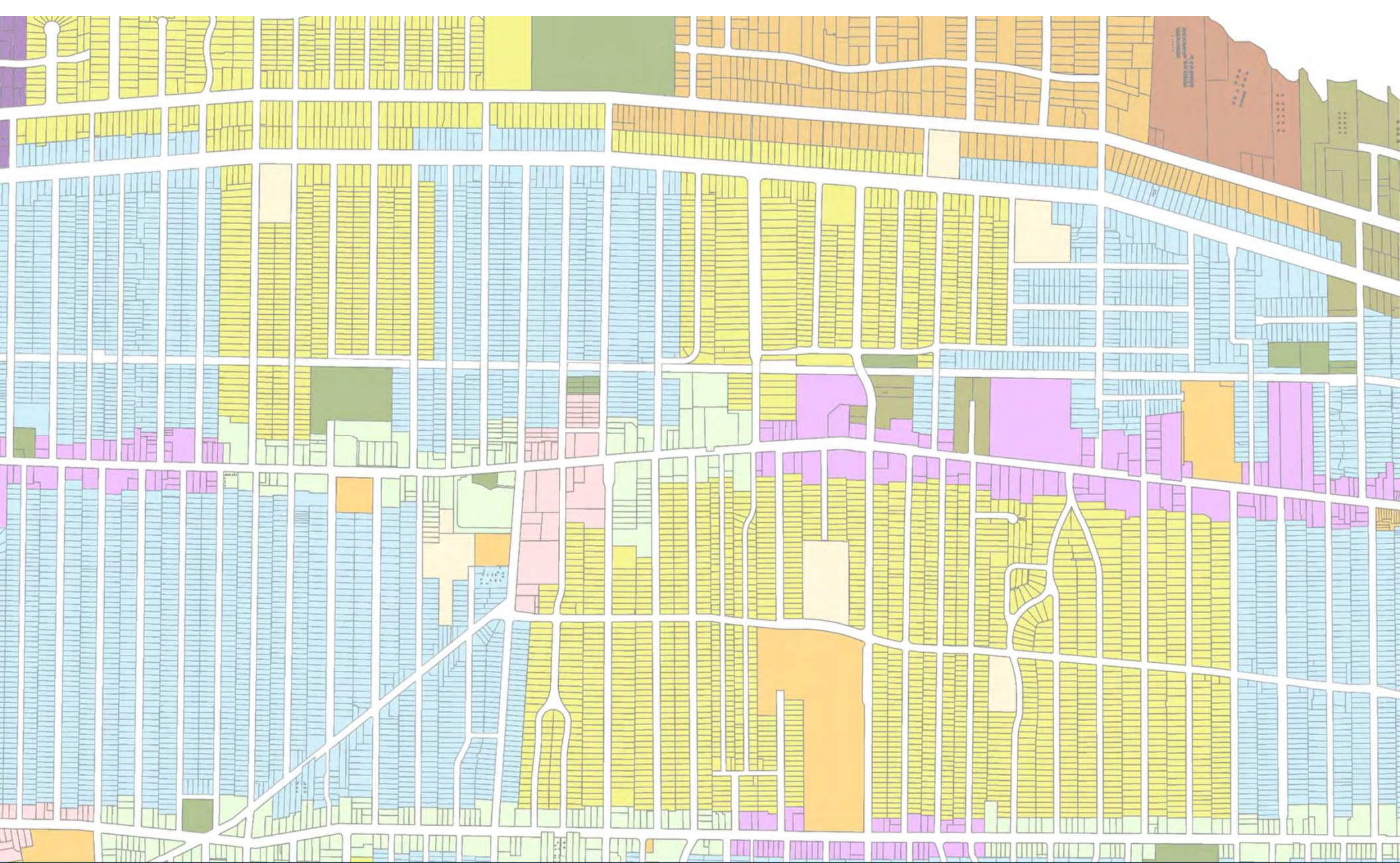
Main Street Sign
25 Sq. Ft



Side Street Sign
25 Sq. Ft



Docket No. 07-64-23 (14538 Detroit)
Signage – Aladdin's Center



Architectural Board of Review

July 2023