



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
OCTOBER 9, 2025
5:30 P.M.
MEETING RECORDED

City of Lakewood
Architectural Board of Review
Approved as set forth in the minutes

of NOV 13 2025 meeting.

<https://www.lakewoodoh.gov/videos-2/>


CHAIRMAN

1. ROLL CALL

Board Members

Hanna Cohan Plessner, Chair
Chris Egervary
Nick Slaughterbeck
Jeremy Smith, Vice Chair
Matthew Stevenson

Staff

Amanda Cramer, Co-Board Secretary, City Planner
Sophia Szeles, Co-Board Secretary, City Planner
William Wagner, Assistant Building Commissioner
Jeff Crossman, Law Department

2. APPROVE THE MINUTES OF THE SEPTEMBER 11, 2025 MEETING

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE the September 11, 2025 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

At the pre-review meeting, three items were Summary Approved (conditions are noted). A motion and a second is needed for approval of Docket No. 10-81-25, Docket No. 10-83-25, 10-84.25, and Docket No. 10-85-25.

SUMMARY APPROVED

SIGN REVIEW

4. Docket No. 10-81-25

17615 Detroit Ave.
Petra Pizza

- Approve
- Deny
- Defer

Shadi Almikdad
Neon & Signs
10505 Berea Rd.
Cleveland, OH 44102

Applicant proposes an illuminated business name and logo in the sign band. (Page 75)

- Condition: any window signage must be approved by the Board before installation.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-81-25 with the following condition:

- Condition: any window signage must be approved separately by the Board before installation.

All the members voted yea; the motion passed.

5. Docket No. 10-83-25

13427 Madison Ave.
Toasted

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes a face-lit channel letter wall sign and vinyl decals on the door and window. (Page 85)

- Condition: the wall sign is reduced to 30" in height and the rest of the sign is scaled proportionally.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-83-25 with the following condition:

- The wall sign is reduced to 30" in height and the rest of the sign is scaled proportionally
- The applicant has submitted a revised drawing to administrative staff showing the change.

All the members voted yea; the motion passed.

6. Docket No. 10-84-25

15729 Madison Ave.
The Wandering Lantern

- Approve
- Deny
- Defer

Shawn Warren
Erie deSign Co. Inc.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes a projecting sign and vinyl cutouts on window and door. (Page 89)

- No conditions

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-84-25 as proposed with no conditions. All the members voted yea; the motion passed

7. Docket No. 10-85-25

15000 Detroit Ave.
Battr

- () Approve
- () Deny
- () Defer

Kathy Clarke
Ace Lighting Services
1260 Moore Rd..
Avon, OH 44011

Applicant proposes an illuminated blade and illuminated wall sign. (Page 94)

- Condition: the wall sign can fit inside the sign band and window signage has to be approved by the Board before installation.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-85-25 with the following conditions:

- The wall sign can fit inside the sign band.
- Window signage has to be approved by the Board before installation.

All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

8. Docket No. 08-72-25

(C)

13815/13901 Detroit Ave.
The View on Detroit East

- () Approve
- () Deny
- () Defer

Ron Tannenbaum
RDL Architects
21111 Chagrin Blvd., Ste. 110
Beachwood, OH 44122

Applicant proposes the review of a previously approved project for the construction of a mixed-use structure with parking to be evaluated under C3 zoning; ABR review under Chapter 1325. The project was approved at the May 13, 2021 meeting. (Page 6)

Mackenzie Makepeace, DiGeronimo Companies, Matt Mendez, DiGeronimo Development, and Ron Tannenbaum, RDL Architects were present to explain the updated request. Material and color samples were provided for the board's review and discussion. The members thanked the applicants for the

updates and patience and had no additional comments about the landscaping. Next the members stated they appreciated the applicants' compliance regarding the members requested changes for the buildings. Fiber cement would be used in lieu of EFIS. Administration had no comments at the time. Public comment was taken.

Public Comments/Questions

- Asked if the fence could be constructed from something other than wood, maybe vinyl.
 - A wooden fence would be sturdier than vinyl. DiGeronimo would maintain the six-foot tall fence. Planting and space would prevent snowplows from pushing snow too deeply toward the fence. The fence would remain a natural color to blend better with the surroundings.
- Structures were too large.
 - Setbacks and height of the buildings were similar to the Solove proposal. Site restrictions were reviewed by the Planning Commission. Setback and heights were compliant with underlying zoning requirements.
- Buildings were too close to the street.
- Eliminate one of the buildings.
- Explain the lighting for the rear of the project.
 - Lighting from the building would be at a low level. Parking lot lighting would be provided for safety and will meet code minimum.
- What was the viability of the structures in 100 years?
 - Wanted to construct buildings that would last.
- Concerned about traffic exiting safely from the development driveways while exiting onto Parkwood Avenue and then onto Detroit Avenue.
 - A traffic study was completed and submitted to the Planning Commission for review and approval.

Ms. Cohan Plessner explained that a lot of the public's concerns were addressed to the Planning Commission before approval was granted prior to coming before the Architectural Board of Review. Ms. Cramer stated that if traffic was found to be an issue, the city could address it. There were no further comments or questions from the board or administration.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-72-25 with the following conditions:

- Submit to staff for administrative approval the plan showing location and dimension of the masonry planters and labelling them as such, a more detailed version from the one shown at the meeting.
- Signage to be submitted separately at a later date.

Ms. Cohan Plessner, Mr. Stevenson, Mr. Slaughterbeck, Mr. Smith voted yea, and Mr. Egervary voted nay; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

- | | | |
|---|-----|---|
| 9. Docket No. 10-89-25 | (R) | 17879 Lake Rd. |
| <input type="checkbox"/> Approve
<input type="checkbox"/> Deny
<input type="checkbox"/> Defer | | Mark H. Reinhold
Mark Reinhold Architects
1120 Forest Rd.
Lakewood, OH 44107 |

Applicant proposes design approval for the construction of an addition and detached garage. (Page 128)

Mark Reinhold, Mark Reinhold Architects, applicant, and Arvind Gounder, homeowner, were present to explain the request. It was disclosed that the project had been approved by the Board of Zoning Appeals for two variances. The members outlined what information was needed in order to review the proposal. Ms. Cramer stated they needed to provide the Engineer’s approval for the new curb cut. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to DEFER Docket No. 10-89-25. All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

- | | | |
|---|-----|---|
| 10. Docket No. 09-77-25 | (C) | 11730 Detroit Ave.
North Coast Apartments |
| <input type="checkbox"/> Approve
<input type="checkbox"/> Deny
<input type="checkbox"/> Defer | | Milan Milasinovic
Virginia Marti Inc.
11724 Detroit Ave
Lakewood, OH 44107 |

Applicant proposes exterior facade renovations. (Page 54)

Ms. Cramer stated the applicant requested a deferral as not all parties would be available for the meeting.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to TABLE Docket No. 09-77-25. All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

11. Docket No. 10-82-25

13376 Madison Ave.
High Hopes Barbershop

- () Approve
- () Deny
- () Defer

Ricky Zaborowski
High Hopes Barbershop
13367 Madison Ave.
Lakewood, OH 44107

Applicant proposes a non-illuminated blade sign. (Page 79)

Ricky Zaborowski, High Hopes Barbershop, applicant was present to explain the request. Allowable window square footage was discussed. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-82-25 with the following conditions:

- Approval is for the revised design with the blade sign centered over the door.
- Window graphics will be submitted with dimensions for administrative approval.

All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

12. Docket No. 10-86-25

(R)

1293 Mathews Ave.

- () Approve
- () Deny
- () Defer

Stephanie Erin
1293 Mathews Ave.
Lakewood, OH 44107

Applicant proposes modifications and partial enclosing of an existing front porch. (Page 107)

Noah Erin, spouse of the applicant, was present to explain the request. The board said the proposal did not meet the design guidelines/standards. Discussion among all parties continued about available options. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **TABLE** Docket No. 10-86-25. All the members voted yea; the motion passed.

13. Docket No. 10-88-25

(R)

1029 Homewood Dr.

- () Approve
- () Deny
- () Defer

Greg Allen
Greg Allen Builders Inc.
3888 Long Rd.
Avon, OH 44011

Applicant proposes a front porch rebuild. (Page 120)

Michael Allen, Greg Allen Builders Inc. representative, was present to explain the request. The members liked the proposal. Material, colors, exterior stone, columns, windows, brackets, and etcetera were discussed. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-88-25 with the following conditions:

- There is a painted finish on the columns.
- There are no arched brackets included at the columns.
- All material samples are submitted to staff for administrative approval.

All the members voted yea; the motion passed.

14. Docket No. 10-90-25	(R)	1176 Elbur Ave.
() Approve		Brandon Young
() Deny		Young Design Studio
() Defer		1456 Clarence Ave.
		Lakewood, OH 44107

Applicant proposes the demolition and rebuild of an existing roof to accommodate a third floor primary suite and dormers. (Page 156)

Brandon Young, Young Design Studio, applicant was present to explain the request. Discussion ensued about the dormers, materials, dimensions, and roof pitch. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-90-25 as presented (no conditions). Ms. Cohan Plessner, Mr. Egervary, Mr. Slaughterbeck, Mr. Smith voted yea, and Mr. Stevenson voted nay; the motion passed

15. Docket No. 10-91-25 A	(C)	11822 Detroit Ave.
		Easy Out
() Approve		Michael Holsman
() Deny		Apex Pinnacle Services LLC
() Defer		1750 E. 55 th St.
		South Euclid, OH 44121

Applicant proposes the installation of an awning with signage. (Page 164)

Sin-jin Satayathum, representative, and Michael Holsman, Apex Pinnacle Services LLC, applicant, were present to explain the request. Lighting, awning, blade sign, and dimensions were discussed. With

omission of vinyl window signage, the square footage would be close to the allowable. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-91-25 A with the following condition:

- Approval is for the awning as presented, the two neon signs, vinyl on the entry door only, and the blade sign.

All the members voted yea; the motion passed.

16. Docket No. 10-91-25 S

11822 Detroit Ave.
Easy Out

- () Approve
- () Deny
- () Defer

Michael Holsman
Apex Pinnacle Services LLC
1750 E. 55th St.
South Euclid, OH 44121

Applicant proposes an illuminated projecting sign in addition to door and window vinyl graphics. (Page 165)

Sin-jin Satayathum, representative, and Michael Holsman, Apex Pinnacle Services LLC, applicant, were present to explain the request. Lighting, awning, blade sign, and dimensions were discussed. With omission of vinyl window signage, the square footage would be close to the allowable. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-91-25 S with the following condition:

- Approval is for the awning as presented, the two neon signs, vinyl on the entry door only, and the blade sign.

All the members voted yea; the motion passed.

BOARD OF BUILDING STANDARDS

17. Docket No. 10-92-25

(R)

2150 Arthur Ave.

- () Approve
- () Deny
- () Defer

Daniel Hurst
Hurst Design Build Remodel
26185 Center Ridge Rd.
Westlake, OH 44145

The applicant has requested a hearing with the Board of Building Standards. Per the Division of Housing and Building, the documents have been reviewed in accordance with RCO 107. Approval cannot be granted per RCO 105.1, or the drawings are inadequate per RCO 107.4.1. This notice is

an ADJUDICATION ORDER pursuant to RCO Section 109 of all items that are cited from the Ohio Residential Code. (Page 182)

Ms. Cramer stated revised documents were submitted, and issues 3 (headroom clearance) and 5 (ceiling height for fixtures) remained to be adjudicated as per Mr. Wagner. Scott Kerick, Hurst Design Build Remodel, applicant, and Robert Gotschull, property owner were present to explain the request. Discussion ensued about the ceiling height for the proposed bathroom (with either a tub or shower), and the stairway. It would be too costly to amend the roof. Mr. Wagner emphasized that the code must be followed and explained the issues. Discussion continued about the condition and use of the existing attic. It appeared the final intent was for use as a bedroom which would result in major safety issues. The board members and staff were sympathetic to the issue but had to follow the code. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to TABLE Docket No. 10-92-25. All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

18. Docket No. 10-87-25	(C)	17514 Detroit Ave. Sacred Hour Spa
() Approve		Tabitha Baker
() Deny		Sacred Hour Spa
() Defer		17514 Detroit Ave. Lakewood, OH 44107

Applicant proposes to enclose the patio with canvas. (Page 115)

Ms. Cramer stated she had not heard from the applicant but had received an update that differed greatly from the original proposal. It appeared that some sort of structure was installed already. There were a plethora of issues that needed addressed and answered by the applicant prior to any decision.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to TABLE Docket No. 10-87-25. All the members voted yea; the motion passed.

ADJOURN

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to ADJOURN at the meeting 8:02 p.m. All the members voted yea; the motion passed.

Signature



Date

11.13.2025



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Amy Martin
- 2. MARTY JONES
- 3. Julie Nichols
- 4. Norine Prinn
- 5. Peggy Jones
- 6. MARK REINHOLD
- 7. ARVIND GOUNDER
- 8. Ricky Zaborowski
- 9. Noah Erin
- 10. Mike Allen
- 11. Brandon Young

- 1. Amy l Martin
- 2. Marty Jones
- 3. Julie Nichols
- 4. Norine Prinn
- 5. Peggy Jones
- 6. Mark Reinhold
- 7. Arvind
- 8. Ricky Z
- 9. Noah Erin
- 10. Mike Allen
- 11. Brandon Young

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, October 9, 2025



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Michael Holsman
- 2. ^{JANUARY} SIN-JIN SATYAYATWIA
- 3. Scott Kerik
- 4. Robert Gatschull
- 5. _____
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____

- [Signature]
- [Signature]
- [Signature]
- [Signature]
- _____
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- _____
- _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, October 9, 2025

Johanna Schwarz

From: Brian Meng <bmeng@bialosky.com>
Sent: Wednesday, October 1, 2025 8:57 AM
To: Johanna Schwarz; Amanda L. Cramer; David Baas
Cc: Ian Andrews; Amy Haney
Subject: FW: Agenda: Planning Commission

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Johanna, Amanda, and Dave,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood Planning Commission agenda for the 10/02/2025 meeting:

4. Docket 09-31-25: 1205-07 Warren Road – Parking Plan
 - Same comments as last month:
 - We acknowledge the current Lakewood Ordinance requires R2 zoned properties to provide 1 parking space within a garage.
 - We also acknowledge this requirement has been discussed at prior ZPAC meetings regarding the requirements intent and if it warrants modification.
 - We applaud the applicant’s creative proposal to provide a sustainable solution (porous pavement) as an alternate to a garage.
5. Docket 09-32-25: 1209-11 Warren Road – Parking Plan
 - Same comments as last month:
 - We acknowledge the current Lakewood Ordinance requires R2 zoned properties to provide 1 parking space within a garage.
 - We also acknowledge this requirement has been discussed at prior ZPAC meetings regarding the requirements intent and if it warrants modification.
 - We applaud the applicant’s creative proposal to provide a sustainable solution (porous pavement) as an alternate to a garage.

We truly appreciate the opportunity to share our thoughts with you on these applications. If you have any questions on our comments, please let us know and we would be happy to discuss further. It is exciting to see so many developments occurring in Lakewood.

Thank you,

BRIAN MENG RA, LEED AP
Principal | Architect

BIALOSKY Always By Design.

P 216-767-2023

Ian

Ian Andrews

Executive Director
LakewoodAlive
12815 Detroit Avenue
Lakewood, OH 44107
216-521-0655
lakewoodalive.org



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Upcoming Events:

- 9/28 – [Lakewood Toolbox Tool Sale](#)
- 10/2 – [Knowing Your Home: Aging In Place](#)
- 10/7 – [Dewey’s Pizza Dine to Donate](#)
- 10/11 – [18th Annual Spooky Pooch Parade](#)
- 10/14 – [Western Reserve Distillers Dine to Donate](#)
- 10/16 – [Knowing Your Home: Ask the Experts: Your Home](#)
- 10/23 – [16th Annual Lakewood Chocolate Walk](#)
- 10/23 – [Knowing Your Home: Roofing & Home Winterization](#)
- 11/11 – [Western Reserve Distillers Dine to Donate](#)
- 11/19 – [Aladdin’s Dine to Donate](#)
- 12/6 – [19th Annual Light Up Lakewood](#)



From: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Sent: Monday, September 22, 2025 2:44 PM

To: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Cc: Alexandria M. Bobosky <Alex.Bobosky@lakewoodoh.gov>; anccats@yahoo.com <anccats@yahoo.com>; Angela J. Byington <Angela.Byington@lakewoodoh.gov>; Angelina Hamilton Steiner <Angelina.Steiner@lakewoodoh.gov>; bdb484@gmail.com <bdb484@gmail.com>; blove@westlifeneews.com <blove@westlifeneews.com>; Bruce E. Hare <Bruce.Hare@lakewoodoh.gov>; Bryan J. Evans <Bryan.Evans@lakewoodoh.gov>; Charles Huber <Charles.Huber@lakewoodoh.gov>; Chris Gordon <Chris.Gordon@lakewoodoh.gov>; Cindy A. Marx <Cindy.Marx@lakewoodoh.gov>; Cindy Strebig <Cindy.Strebig@lakewoodoh.gov>; Claudia M. Dillinger <Claudia.Dillinger@lakewoodoh.gov>; Cleveland City Planning Commission (cityplanning@clevelandohio.gov) <cityplanning@clevelandohio.gov>; colinbmcewen@gmail.com <colinbmcewen@gmail.com>; Colleen Gillespie <Colleen.Gillespie@lakewoodoh.gov>; contact@lakewoodpubliclibrary.org <contact@lakewoodpubliclibrary.org>;

Danielle L. Cariglio <Danielle.Cariglio@lakewoodoh.gov>; David J. Lawrence <David.Lawrence@lakewoodoh.gov>; Diana Graff <Diana.Graff@lakewoodoh.gov>; director@lakewoodhistory.org <director@lakewoodhistory.org>; Ernest E. Vargo <Ernest.Vargo@lakewoodoh.gov>; frank@scalishconstruction.com <frank@scalishconstruction.com>; Goran Najdenovski <Goran.Najdenovski@lakewoodoh.gov>; heather@hpgroup-llc.com <heather@hpgroup-llc.com>; hilaryschickler@gmail.com <hilaryschickler@gmail.com>; Ian Andrews <iandrews@lakewoodalive.org>; Jaclynn M. Varady <Jaclynn.Varady@lakewoodoh.gov>; jeannenmackay@gmail.com <jeannenmackay@gmail.com>; Jeffrey A. Crossman <Jeffrey.Crossman@lakewoodoh.gov>; Jessica Braun <jessica.braun@lakewoodoh.gov>; jkweber@cox.net <jkweber@cox.net>; Justin Maskaluk <Justin.Maskaluk@lakewoodoh.gov>; Keith Lutsock <Keith.Lutsock@lakewoodoh.net>; Kelly L. McCafferty <Kelly.McCafferty@lakewoodoh.gov>; Kevin Fischer <Kevin.Fischer@lakewoodoh.gov>; Kevin Kelley <Kevin.Kelley@lakewoodoh.gov>; ksmith@bizjournals.com <ksmith@bizjournals.com>; Kyle G. Baker <Kyle.Baker@lakewoodoh.gov>; Lauren Small <lsmall@lakewoodchamber.org>; Laurie Young <laurie.1023@sbcglobal.net>; Mark Jewitt <Mark.Jewitt@lakewoodoh.gov>; Mark Papke <Mark.Papke@lakewoodoh.gov>; Martin J. Castelletti <Martin.Castelletti@lakewoodoh.gov>; Mary T. Davern <Mary.Davern@lakewoodoh.gov>; Maureen Bach <maureen.bach@lakewoodoh.gov>; Meghan George <meghan.george@lakewoodoh.gov>; Melissa Garrett <Melissa.Garrett@lakewoodoh.gov>; Mike Reilley <Mike.Reilley@lakewoodoh.gov>; pketter@sandvickarchitects.com <pketter@sandvickarchitects.com>; Renee T. Mahoney <Renee.Mahoney@lakewoodoh.gov>; rick@uldricks.net <rick@uldricks.net>; Ronald Schwaben <Ronald.Schwaben@lakewoodoh.gov>; Ryan Fairbanks <Ryan.Fairbanks@lakewoodoh.gov>; Samuel Bonvissuto <sam.bonvissuto@lakewoodoh.gov>; Sarah Kepple <Sarah.Kepple@lakewoodoh.gov>; smcdonnell@cleveland.com <smcdonnell@cleveland.com>; smcworm@hotmail.com <smcworm@hotmail.com>; swebster11@jcu.edu <swebster11@jcu.edu>; Tom Bullock <tom.bullock@lakewoodoh.gov>

Subject: Agenda: Planning Commission

Good afternoon, Everyone,

Please click on the link to view the agenda of the Planning Commission scheduled for Thursday, October 2, 2025.

https://www.lakewoodoh.gov/wp-content/uploads/2025/05/PCAgenda_100225.pdf

Thank you.

Sincerely,



Administrative Assistant II

City of Lakewood

Department of Planning and Development

12650 Detroit Avenue

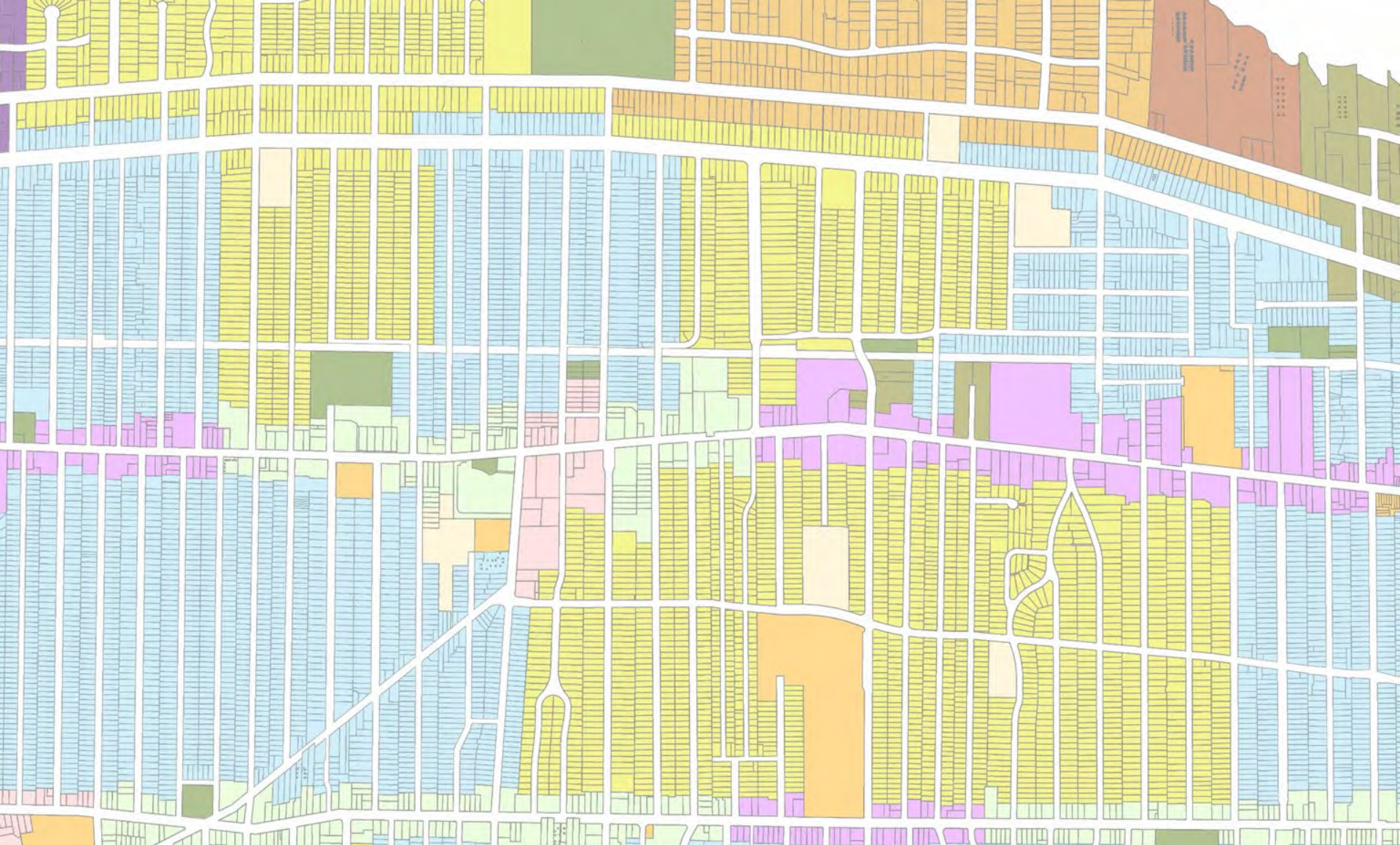
Lakewood, Ohio 44107

(216)529-6630 main

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www.lakewoodoh.gov

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Architectural Board of Review

October 2025



Architectural Board of Review

Pre-Review Meeting: October 2nd, 4 pm (East Conf Rm)

Regular Meeting: October 9th , 5:30 pm (Auditorium)

Members

Hanna Cohan Plessner (2025 Chair)

Jeremy Smith (2025 Vice-Chair)

Chris Egervary

Nick Slaughterbeck

Matt Stevenson

Staff

Board Secretary: Amanda Cramer, Sophia Szeles

Assistant Building Commissioner: William Wagner



Architectural Board of Review
October Agenda

1. Roll call
2. Approve minutes – October 2025 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn

1325.03 of the Lakewood Codified Ordinances: Purpose of ABR/BBS/Sign Review Board

- The purposes of the Architectural Board of Review are to protect the value, appearance and use of property on which buildings are constructed or altered, to maintain a high character of community development, to protect the public health, safety, convenience and welfare and to protect real estate within the City from impairment or destruction of value.
- Such purposes shall be accomplished by the Board by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all main and accessory buildings to be erected, moved, altered, remodeled or repaired, subject to the provisions of the Zoning and Building Codes and other applicable ordinances of the City, and shall take into consideration the Architectural Standards Workbook and any other design guidelines or standards, as recommended by the Administration or City Council and adopted by the Planning Commission pursuant to Part One, Title Five, Chapter [154](#) of the Codified Ordinances of the City of Lakewood, for use by the Board.
- In reviewing, regulating and approving building plans, the Board shall consider and take cognizance of the development of adjacent, contiguous and neighboring buildings and properties for the purpose of achieving safe, harmonious and integrated development of related properties.

Applicant proposes new signage.

City Notes:

- Applicant proposes wall sign 25.3 sq ft
- Max allowed square footage: 37.5 sq ft total
- Total proposed square footage: 25.3 sq ft

Summary Approval, condition that any window signage must be approved by the Board before installation.

17615 Detroit Ave



Docket No. 10-81-25 (17615 Detroit)

New Signage – Petra Pizza
Shadi Almikdad

Applicant proposes new signage.

City Notes:

- Applicant proposes 1 wall sign (45 sq ft) and vinyl window and door signs (19.3 sq ft)
- Max allowed square footage: 49.5 sq ft
- Total proposed square footage: 64.3 sq ft; window signage < 15% (11.25%)**

Summary Approval, with the condition that the wall sign is reduced to 30" in height and the rest of the sign is scaled proportionally.

13427 Madison Ave



Docket No. 10-83-25 (13427 Madison)

New Signage – Toasted
Steven Foster

Applicant proposes new signage.

City Notes:

- Applicant proposes 1 blade sign (8.5 sq ft) and vinyl window and door signs (11.5 sq ft)
- Max allowed square footage: 48 sq ft
- Total proposed square footage: 20 sq ft; window signage < 15%



Docket No. 10-84-25 (15729 Madison)

New Signage – Wandering Lantern
Shawn Warren

Applicant proposes new signage.

City Notes:

- Applicant proposes 1 blade sign (9.5 sq ft) and 1 wall sign (31.25 sq ft)
- Max allowed square footage: 31.5 sq ft
- Total proposed square footage: 40.75 sq ft**

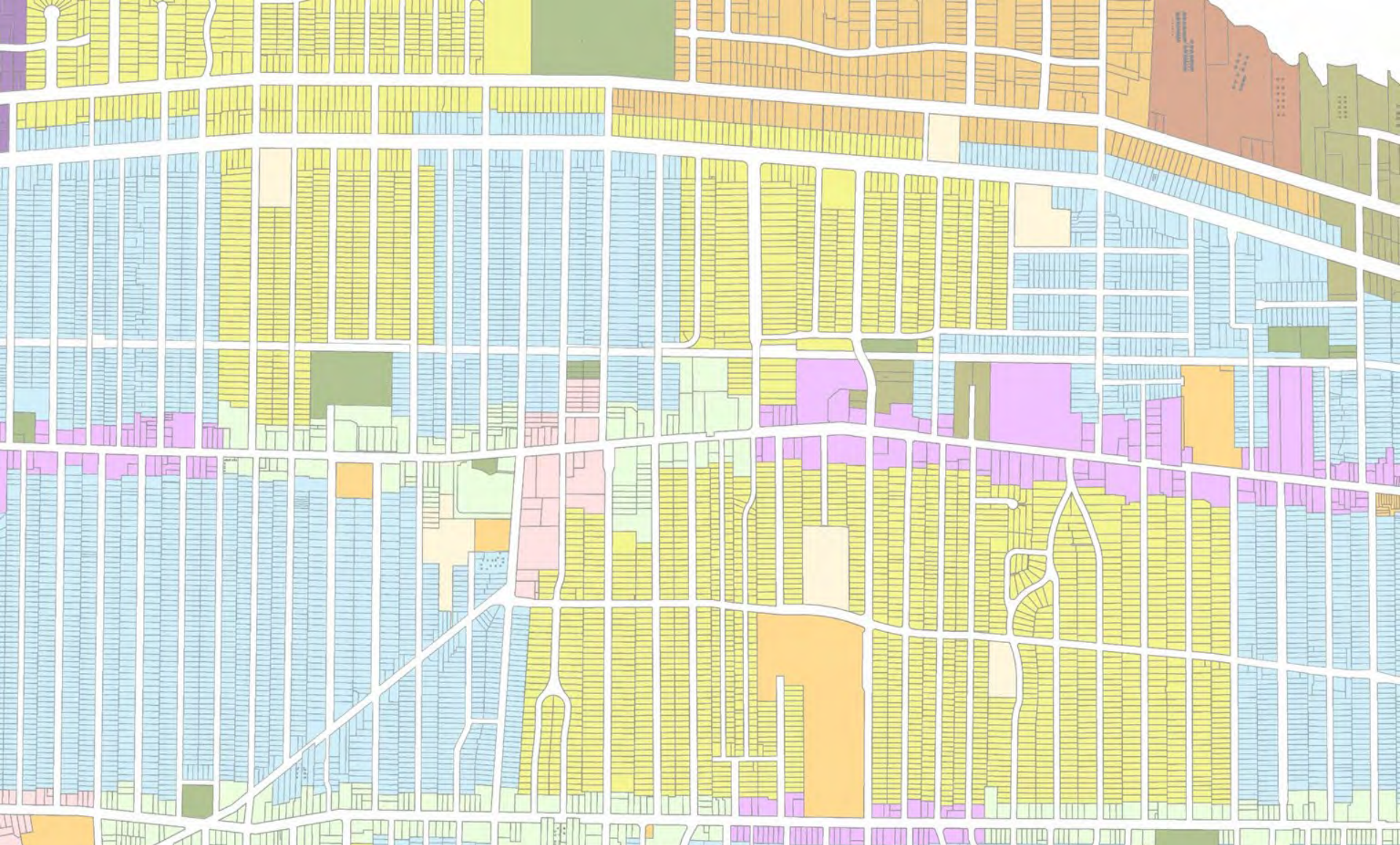
Summary Approval, with the condition that the wall sign can fit inside the sign band and window signage has to be approved by the Board before installation.

15000 Detroit Ave



Docket No. 10-85-25 (15000 Detroit)

New Signage – Battr
Kathy Clarke



Architectural Board of Review

Old Business – October 2025

Applicant proposes revisions to previously approved application.

City Notes:

N/A

See enclosed presentation

13901 Detroit Ave

Docket No. 08-72-25 (13815 & 13901 Detroit)

The View – Approved Application Revisions

Ron Tannenbaum



Applicant proposes garage and mud room addition.

City Notes:

- ❑ BZA Variances approved:
 - ❑ Side yard setback of 5'5" instead of required 10'
 - ❑ The garage on a corner lot may not be placed any closer to the street than the primary house on the abutting parcel, which in this instance is 52 feet 3 inches from the public right of way. Variance approved to place the front of the garage 35 feet 6 inches from the public-right-of-way.



Docket No. 10-89-25 (17879 Lake)
Residence – Garage and Mud Room Addition
Mark Reinhold



Docket No. 10-89-25 (17879 Lake)



Docket No. 10-89-25(17879 Lake)



Docket No. 10-89-25 (17879 Lake)

1134.06 PROCEDURES FOR THE REVIEW OF PROPOSED ALTERATIONS, DEMOLITION AND NEW CONSTRUCTION AND FOR ISSUANCE OF APPROVAL TO PROCEED WITH WORK (CERTIFICATE OF APPROPRIATENESS).

(a) No person shall make any alteration or demolition with respect to any property designated historic that is situated in a determined HPD or has been determined an HP unless a certificate of appropriateness has been previously issued with respect to such property. With respect to any such alteration or demolition, the owner of the property to be altered or demolished shall first apply for and secure a certificate of appropriateness from the Architectural Board of Review. In addition, any improvements or changes undertaken within public rights-of-way within an HPD also require a certificate of appropriateness from the Architectural Board of Review.

(b) Unless the Commission has previously approved unique historic guidelines, the Architectural Board of Review when considering an application for a certificate of appropriateness shall determine whether the proposed construction, reconstruction, alteration or demolition is appropriate and shall refer to the Secretary of the Interior's Standards for Rehabilitation, as amended from time to time, and which on the date of the adoption of this chapter are as follows:

(1) A property shall be used for its historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize an HP shall be preserved.

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to the historic materials and structures, if appropriate, shall be undertaken using the gentlest means possible.

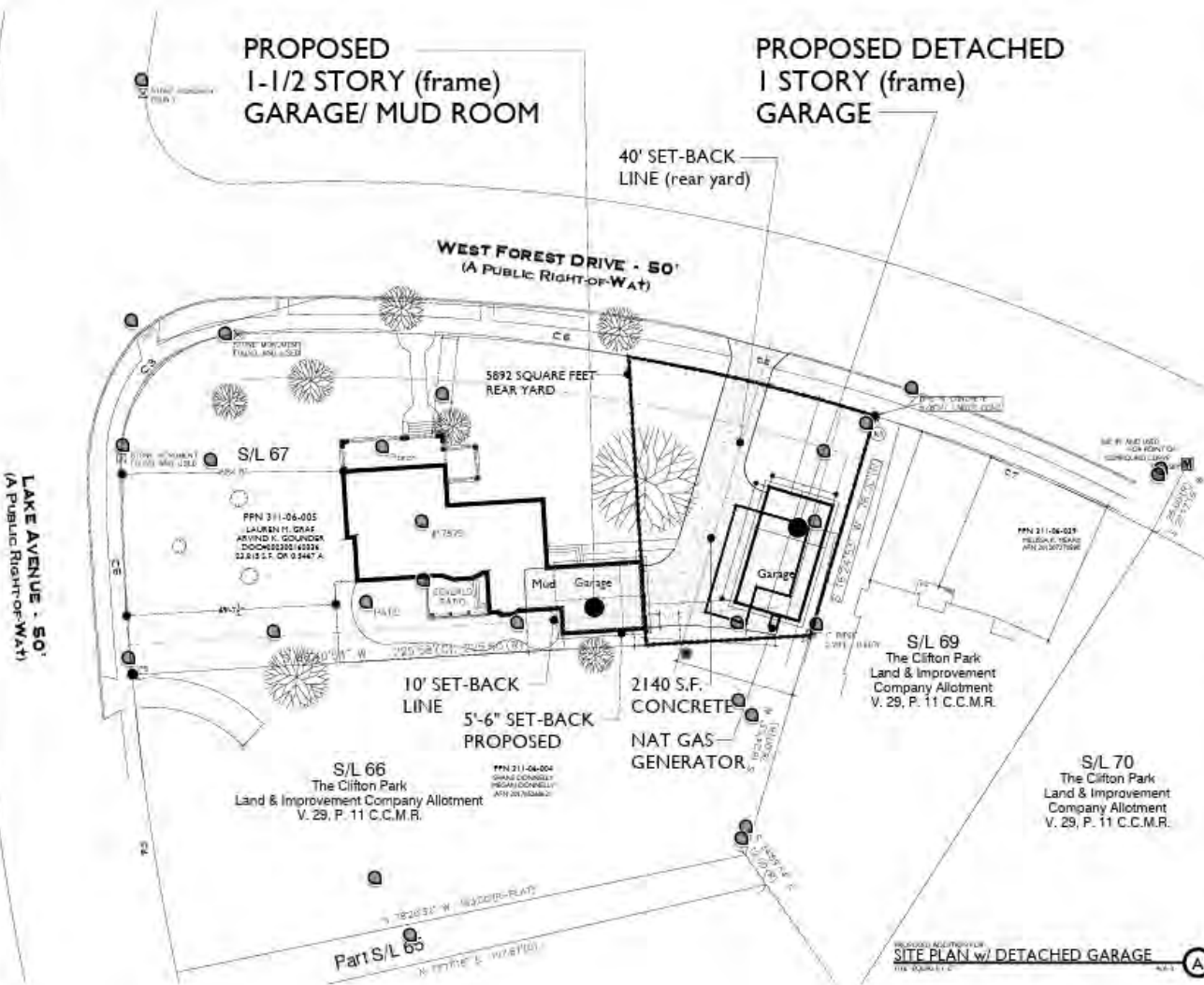
(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and environment would be unimpaired.



Docket No. 10-89-25 (17879 Lake)



R-1 60% LOT COVERAGE
 40 FEET REAR YARD
 MIN SIDE YARD 10'
 MIN TOTAL SIDE YARD 25'

3690 SQUARE FEET
 HOUSE /PORCHES
 TOTAL FOOTPRINT

23815 SQUARE FEET
 SITE AREA

2864 SQUARE FEET
 HOUSE FOOTPRINT

880 SQUARE FEET
 GARAGE FOOTPRINT

5892 SQUARE FEET
 REAR YARD

880 S.F. / 5892 S.F.
 14.9% TOTAL REAR YARD
 LOT COVERAGE

880 S.F. + 3690 S.F.
 4570 SQUARE FEET
 TOTAL LOT COVERAGE

4570 S.F. / 23815 S.F.
 19.2% TOTAL
 LOT COVERAGE

TOTAL SET-BACK
 36.9'



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

PROPOSED RESIDENTIAL
 SITE PLAN w/ DETACHED GARAGE

1120 Forest Road, Lakewood, Ohio 44107 (216) 806-7097

17879 LAKE ROAD, LAKEWOOD, OHIO 44107



KICHOOBUN, DE PLAN, 11



Docket No. 10-89-25 (17879 Lake)



GRAF / GOUNDER RESIDENCE

17879 LAKE ROAD, LAKEWOOD, OHIO 44107

GRAF / GOUNDER RESIDENCE

LIST OF DRAWINGS

TITLE SHEET, SITE PLAN and GENERAL NOTES	A-1
FLOOR PLANS	A-2
ARCHITECTURAL SITE PLAN	A-3
GARAGE LOFT FLOOR PLAN/ DIMENSIONED ADDITION PLAN	A-4
BEAM AND HEADER PLAN	A-5
FOUNDATION PLAN and DEMOLITION PLAN	A-6
INTERIOR FINISHES PLAN	A-7
POWER AND LIGHTING PLANS (FIRST and GARAGE LOFT)	A-8
EXTERIOR ELEVATIONS (EAST (side) and NORTH (front))	A-9
EXTERIOR ELEVATIONS (SOUTH (side yard (rear)))	A-10
SCHEMATIC LANDSCAPE PLAN	A-11
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CONSTRUCTION SECTION	A-13
GARAGE PLANS, ROOF, ATTIC and FOUNDATION	A-14
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GARAGE CONSTRUCTION SECTIONS	A-16
INTERIOR ELEVATIONS	A-17
INTERIOR ELEVATIONS	A-18

TYPICAL NOTES CONSTRUCTION NOTES

PERMITS AND REGULATIONS
CONTRACTOR AND RESPONSIBLE PERSONS ASSUME ALL BUILDING PERMITS AND REGULATIONS REQUIRED BY LOCAL GOVERNMENT AUTHORITIES.

SUB-CONTRACTORS AND CONTRACTORS SHALL NOTIFY ALL LOCAL COUNTY, STATE AND FEDERAL AGENCIES AT LEAST 30 DAYS BEFORE COMMENCEMENT OF WORK AND SHALL NOTIFY ALL AGENCIES DURING BUILDING OPERATIONS OF ANY CHANGES TO THE PROJECT.

SURVEY DRAWING AND SITEWORK
FIELD NOTES AND RECORDS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE ENGINEER FOR REVIEW AT ALL TIMES. ALL RECORDS SHALL BE KEPT FOR A MINIMUM OF 10 YEARS FROM THE DATE OF COMPLETION OF THE PROJECT.

CONTRACTOR SHALL COORDINATE WITH OWNER FOR NECESSARY PERMITS, INSURANCE AND EQUIPMENT STORAGE OF MATERIALS.

NOTES APPLYING TO ALL CONTRACT DRAWINGS
1. EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AT THE JOB AND SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF HIS WORK THERE TO.

WORKING INDICATIONS, NOTES, AND SPECIFICATIONS FOR ALL CONTRACT DRAWINGS SHALL BE NOTED OTHERWISE.

ALL EXISTING MATERIALS, EQUIPMENT AND CONSTRUCTION SHALL BE IDENTIFIED ON DRAWINGS BY THE WORD "EXISTING" OR "EXIST". UNLESS STATED OTHERWISE, ALL NOTED ITEMS TO NEW MATERIALS, EQUIPMENT AND CONSTRUCTION SHALL BE IDENTIFIED AS SUCH.

TYPICAL EXTERIOR WALL CONTRAST NOTES
1. FINISH BARRIER SHALL BE PLACED 1/8" BETWEEN INTERIOR FACE OF STUDS AND BACK OF INTERIOR WALL BOARD. THIS IS TO BE DONE AT ALL CORNERS, CROWN MOULDING AND AT ALL OTHER POINTS.

BUILDING FINISHES
FINISHES SHALL BE AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED. FINISHES SHALL BE KEPT FOR A MINIMUM OF 10 YEARS FROM THE DATE OF COMPLETION OF THE PROJECT.

ROOFING
ROOFING SHALL BE AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED. ROOFING SHALL BE KEPT FOR A MINIMUM OF 10 YEARS FROM THE DATE OF COMPLETION OF THE PROJECT.

FOUNDATION
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INTERIOR FINISHES
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ELECTRICAL
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PLUMBING
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PAINT
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ALL CABINETS
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ALL WINDOW DOORS
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MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

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17879 LAKE ROAD, LAKEWOOD, OHIO 44107



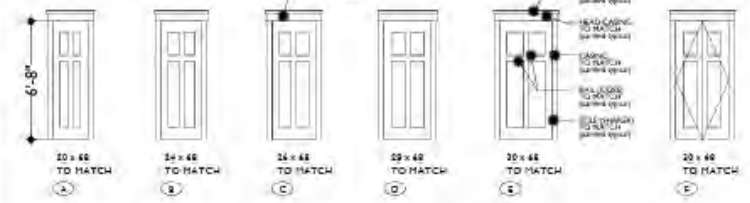
TITLE SHEET



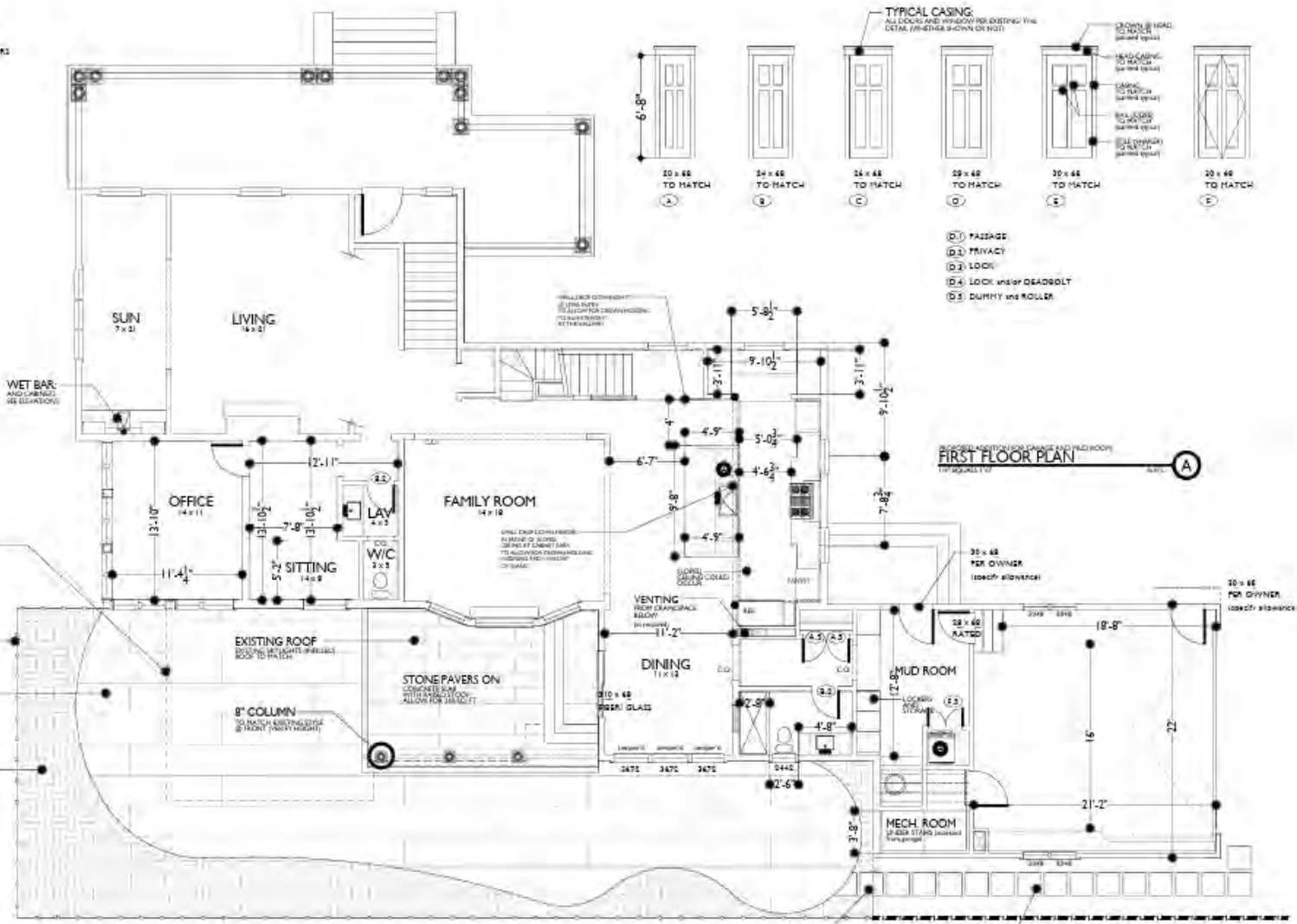
Docket No. 10-89-25 (17879 Lake)

TYPICAL NOTES:
 WATER HEATING AMMORTISER
 REQUIRED @
 DISHWASHER
 WASHER

TYPICAL CASING:
 ALL DOORS AND WINDOWS FOR EXISTING THE
 EXIST. (IF APPLICABLE) OR NEW



- (1) PASSAGE
- (2) PRIVACY
- (3) LOCK
- (4) LOCK AND DEADBOLT
- (5) DUMMY AND ROLLER



FIRST FLOOR PLAN
 (SEE SCALE 1/8" = 1'-0")

EXISTING FOOTER AND FOUNDATION TO BE RECONSTRUCTED BY GENERAL CONTRACTOR

6'-0" FENCE ALLOW FOR 1/2" SET OF PAVED PERIMETER FENCE

PAVER AREA SEE OWNER'S DESIGN ALLOW FOR 1/2" SET

LANDSCAPE AREA SEE OWNER'S DESIGN BY OTHER



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

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FLOOR PLAN A-2



Docket No. 10-89-25 (17879 Lake)

**PROPOSED
1-1/2 STORY (frame)
GARAGE/ MUD ROOM**

**PROPOSED DETACHED
1 STORY (frame)
GARAGE**

R-1 60% LOT COVERAGE
40 FEET REAR YARD
MIN SIDE YARD 10'
MIN TOTAL SIDE YARD 25'

40' SET-BACK
LINE (rear yard)

**WEST FOREST DRIVE - 50'
(A PUBLIC RIGHT-OF-WAY)**

5892 SQUARE FEET
REAR YARD

3690 SQUARE FEET
HOUSE /PORCHES
TOTAL FOOTPRINT

23815 SQUARE FEET
SITE AREA

2864 SQUARE FEET
HOUSE FOOTPRINT

880 SQUARE FEET
GARAGE FOOTPRINT

5892 SQUARE FEET
REAR YARD

880 S.F. / 5892 S.F.
14.9% TOTAL REAR YARD
LOT COVERAGE

880 S.F. + 3690 S.F.
4570 SQUARE FEET
TOTAL LOT COVERAGE

4570 S.F. / 23815 S.F.
19.2% TOTAL
LOT COVERAGE
TOTAL SET-BACK
36.9'

**LAKE AVENUE - 50'
(A PUBLIC RIGHT-OF-WAY)**

S/L 67

PPN 21-104-005
LAUREN M. GRAF
ANDY K. GOUNDER
DOOR 22202 14224
23415 25 08 6.5407 A

10' SET-BACK
LINE

5'-6" SET-BACK
PROPOSED

2140 S.F.
CONCRETE
NAT GAS
GENERATOR

S/L 66
The Clifton Park
Land & Improvement
Company Allotment
V. 29, P. 11 C.C.M.R.

PPN 21-104-004
LAUREN M. GRAF
ANDY K. GOUNDER
DOOR 22202 14224
23415 25 08 6.5407 A

S/L 69
The Clifton Park
Land & Improvement
Company Allotment
V. 29, P. 11 C.C.M.R.

S/L 70
The Clifton Park
Land & Improvement
Company Allotment
V. 29, P. 11 C.C.M.R.

Part S/L 65

SITE PLAN w/ DETACHED GARAGE

A



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216) 906 7097

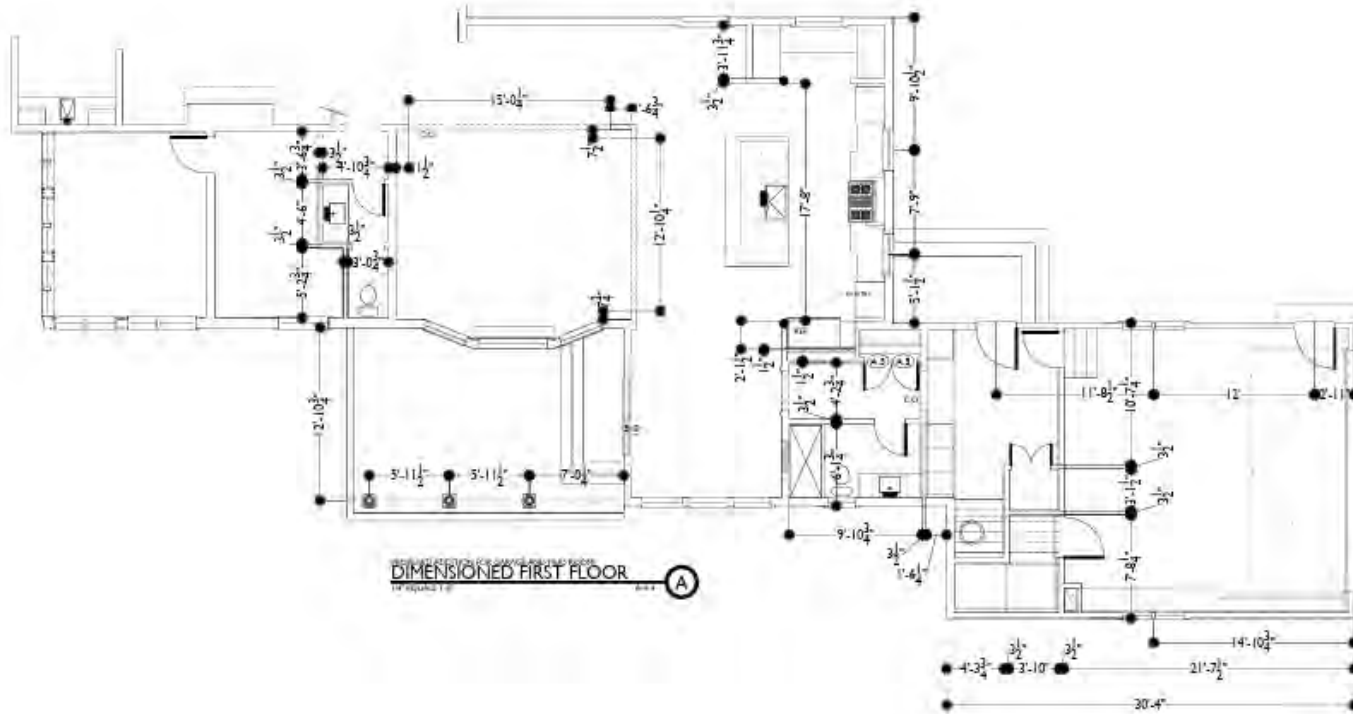
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MONITORING



Docket No. 10-89-25 (17879 Lake)



DIMENSIONED FIRST FLOOR (A)



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

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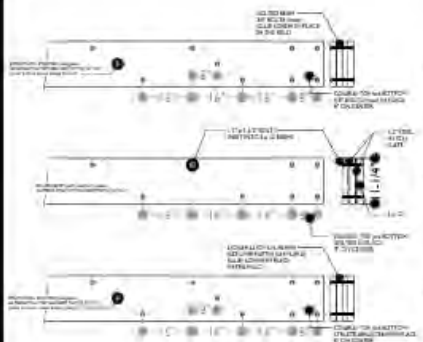
17879 LAKE ROAD, LAKEWOOD, OHIO 44107



OHIO BOARD OF ARCHITECTURE
 REGISTERED PROFESSIONAL ARCHITECT
 (2006042000) P.A.M., A.A.



Docket No. 10-89-25 (17879 Lake)

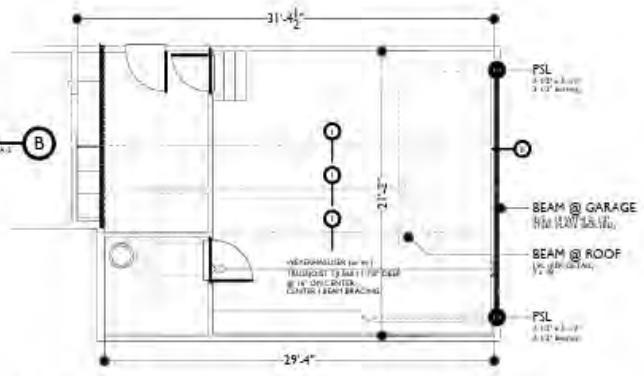


CONCRETE DESIGN FOR
BEAM A
NOT TO SCALE

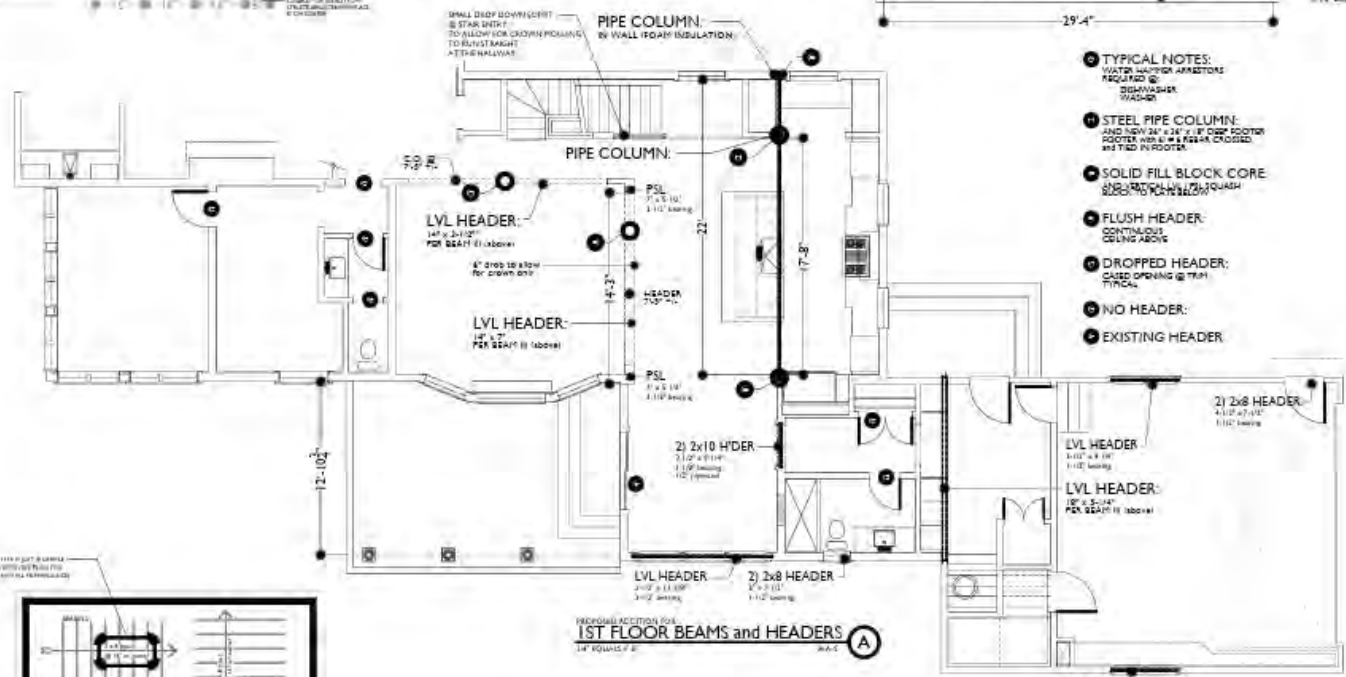
CONCRETE DESIGN FOR
BEAM B
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BEAM A
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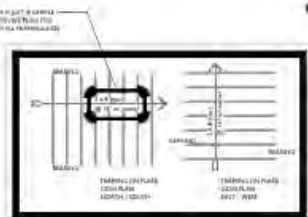
PROPOSED ADDITION FOR
GARAGE BEAMS and HEADERS
14' SQUARE



- TYPICAL NOTES:**
- 1. WATER WASHING ARMATURES REQUIRED @ DISHWASHER STACHE
 - 2. STEEL PIPE COLUMN: AND NEW 24\"/>
 - 3. SOLID FILL BLOCK CORE AND 2\"/>
 - 4. FLUSH HEADER: CENTRALISED BEARING JOINTS
 - 5. DROPPED HEADER: CASED OPENING @ TRAP CATCHER
 - 6. NO HEADER:
 - 7. EXISTING HEADER:



PROPOSED ADDITION FOR
1ST FLOOR BEAMS and HEADERS
14' SQUARE



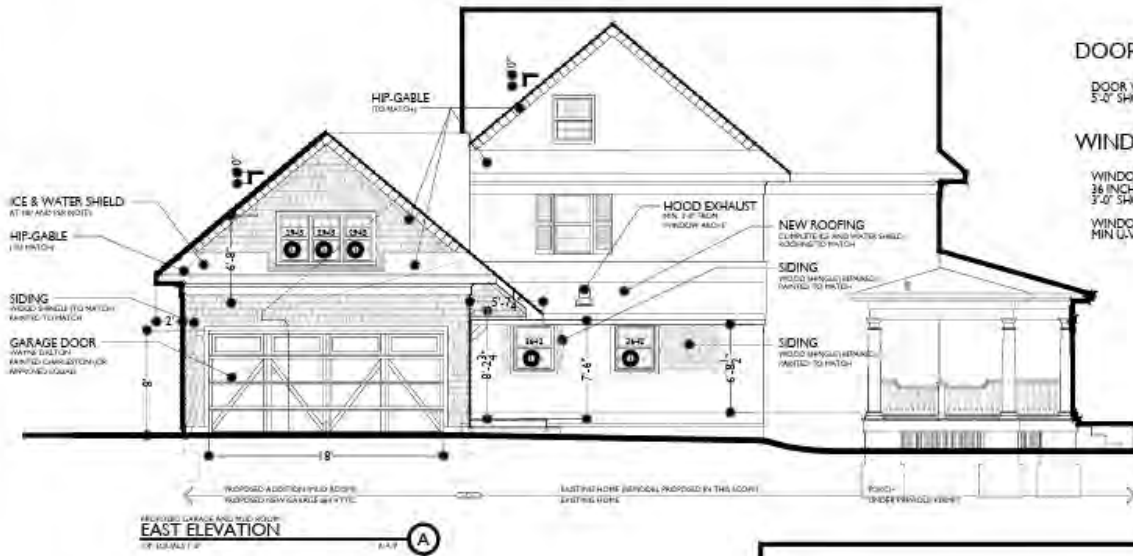
MARK REINHOLD architect
GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood Ohio 44107 (216) 906 7097
17879 LAKE ROAD, LAKEWOOD, OHIO 44107



Docket No. 10-89-25 (17879 Lake)





DOOR NOTE:

DOOR WIDTH: FEET INCHES
5'-0" SHOWN HERE

DOOR HEIGHT: FEET INCHES
6'-8" SHOWN HERE

TO MATCH

DOOR MATERIALS / NOTES:

WINDOW NOTE: ALL WINDOWS GRIDS BETWEEN GLASS

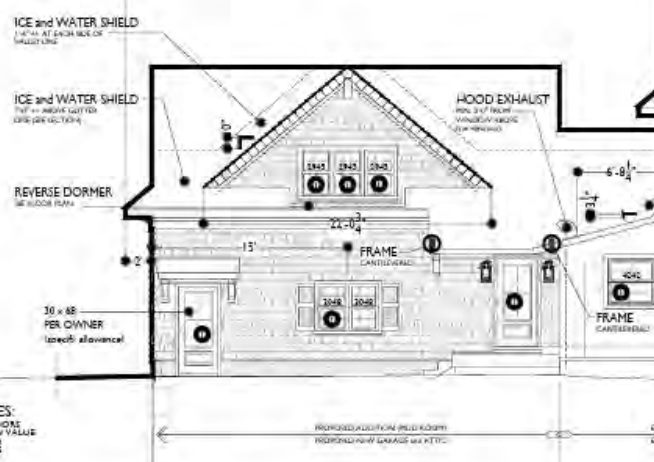
WINDOW WIDTH: IN INCHES
36 INCHES SHOWN HERE
3'-0" SHOWN HERE

WINDOW HEIGHT: IN INCHES
54 INCHES SHOWN HERE
4'-6" SHOWN HERE

WINDOWS SELECTED BY OWNERS
MIN U-VALUE 03.0 (TYPICAL)

3654
egress

MEETS OR EXCEEDS
REQUIREMENTS FOR
EGRESS WINDOWS



TYPICAL NOTES:
ALL WINDOWS AND DOORS
TO HAVE A MINIMUM U-VALUE
OF 0.30. THERE ARE OTHER
GRIDS BETWEEN GLASS



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216) 906.7097

17879 LAKE ROAD, LAKEWOOD, OHIO 44107

PROPOSED GARAGE AND PORCH
NORTH ELEVATION
OF RESIDENCE

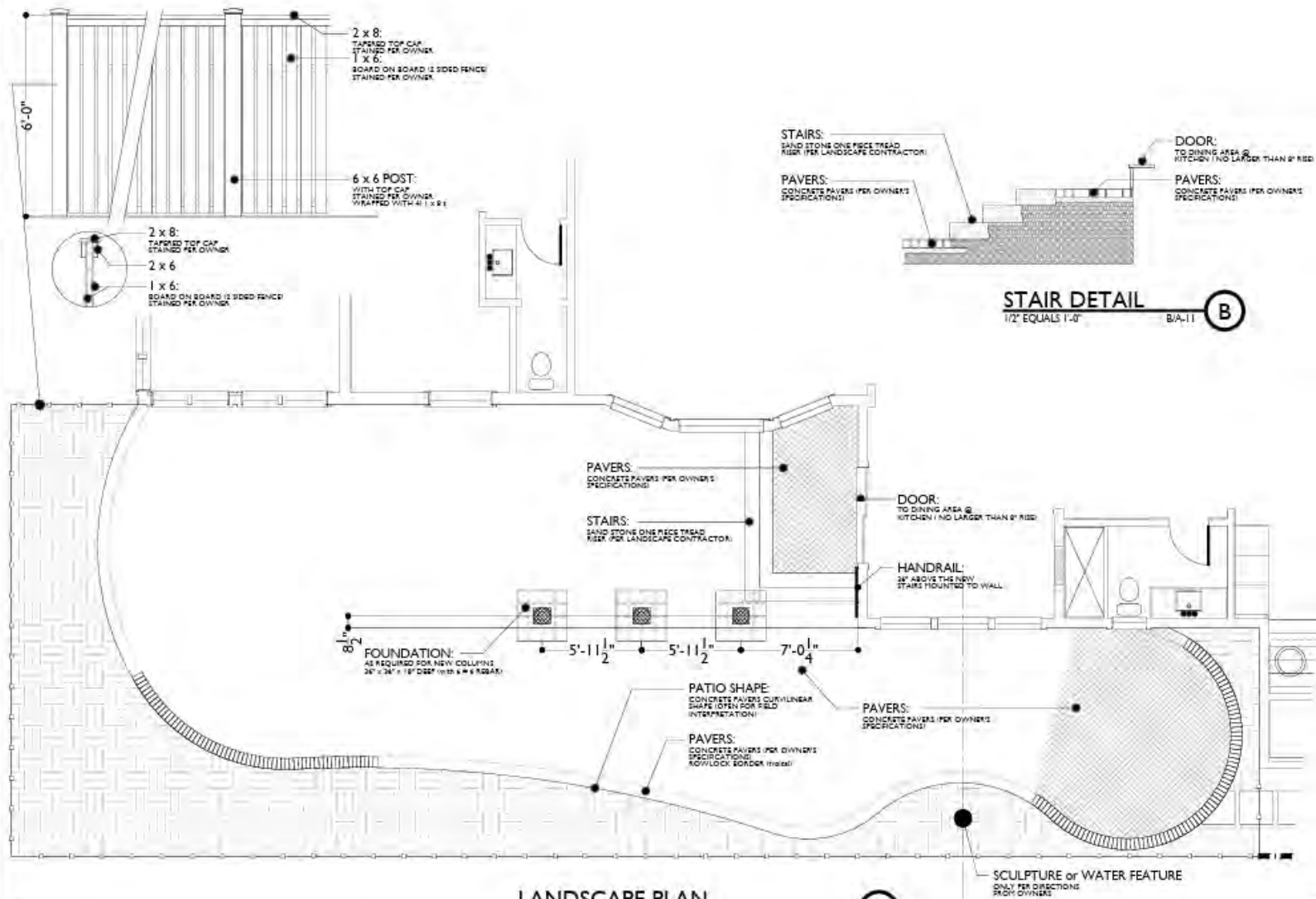
B



EXTERIOR ELEVATIONS A-F



Docket No. 10-89-25 (17879 Lake)



LANDSCAPE PLAN

3/8" EQUALS 1'-0"

A/A-11



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

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17879 LAKE ROAD, LAKEWOOD, OHIO 44107



JOHN PAUL LANDSCAPE ARCHITECT

Docket No. 10-89-25 (17879 Lake)



GUARD RAIL SYSTEM:
GENERAL CONTRACTOR TO VERIFY
OWNER SPECIFIED PARTS WORK TOGETHER

RAILINGS:
STAIR TREADS:
STYLE B 2000

BALLUSTERS:
STAIR TREADS:
STYLE B 4511

NEWELS:
1/4" SPINNY (CLEAN COLLECTION)
STYLE 1012

RATED DOOR:
PER OWNER'S APPROVAL
MANUFACTURED DOOR
PRESENTED BY S.C.
PROVIDES ALLOWANCE
AS CLOSE TO INTERIOR
CUSTOM DOORS TO MATCH

BRICK:
EXPOSED BRICK TO MATCH
PRESSURE TREATED
2 X 4 SILL PLATS

SILL SEALER:
A.E. 12" FROM CORNER AND
48" ON CENTER (1:51 TYP.)

RAILING TYPICAL:
ALL STAIRS WILL HAVE QUARTER
RAIL WITH 1/4" DIA. OPENING
OF 1/4" AND BE ABLE TO WITHSTAND
250 LBS OF OUTWARD
PRESSURE AND CONTINUOUS
HAND RAIL ON WALL
MINIMUM HEIGHT 36" ABOVE
FINISHED FLOOR

RAILING TYPICAL:
MATCH EXISTING 3RD FLOOR
SPACING FOR DRAWING

CRAWLSPACE:
3" CONCRETE SLAB
2" GUMBY SLAB W/
4 1/2" JOISTEN V.E. FIN.
OVERLAPPED 4" MIN. AT JOISTS
MIN. 4" UP STAIR WALLS
ON 4" COMPACTED FILL
SLIPS TO NEW FLOOR
DRAIN 100% OF EQUIP. EXITS

WOOD PANELED WALLS:
5/8" 1" GROOVE PANELING
FOR SPEC FROM INTERIOR DESIGNER/
PAINTED AND BACK PAINTED

8" OF SYSTEMS
ROOF SHEATHING FOR
MANUFACTURER'S
GUIDELINE

READY INSULATION
4" CLOSED FOAM
@ R-4.5 IN/CH

BATT INSULATION
3-1/2" HIGH DENSITY
@ R-7

ROOF INSULATION
TOTAL @ GARAGE
@ R-47

CONTINUOUS
HANDRAIL FOR DETAIL
24" TO 36" ABOVE
STAIR NOSE

FLOOR IS 7'-3" HIGH @ ALL
CANNOT VARY MORE THAN 3/8"
TAGGED IS 9'-10" NOSE TO NOSE (TYP. @ ALL)
CANNOT VARY

BATT INSULATION
3-1/2" HIGH DENSITY
@ R-7

HANDRAIL:
36" ABOVE THE NEW
STAIR INDICATED TO WALL

SLAB:
LEVEL WITH GARAGE SLAB

ALTERNATE SLAB:
LEVEL WITH ADJACENT CRAWLSPACE
WITH SUMP DITCH REQUIRED

MUD ROOM
MUD ROOM LOFT AREA
1/2" EQUALS 1'-0"



MUD ROOM
ALTERNATE HVAC FOUND'N
1/2" EQUALS 1'-0"



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216) 906.7097

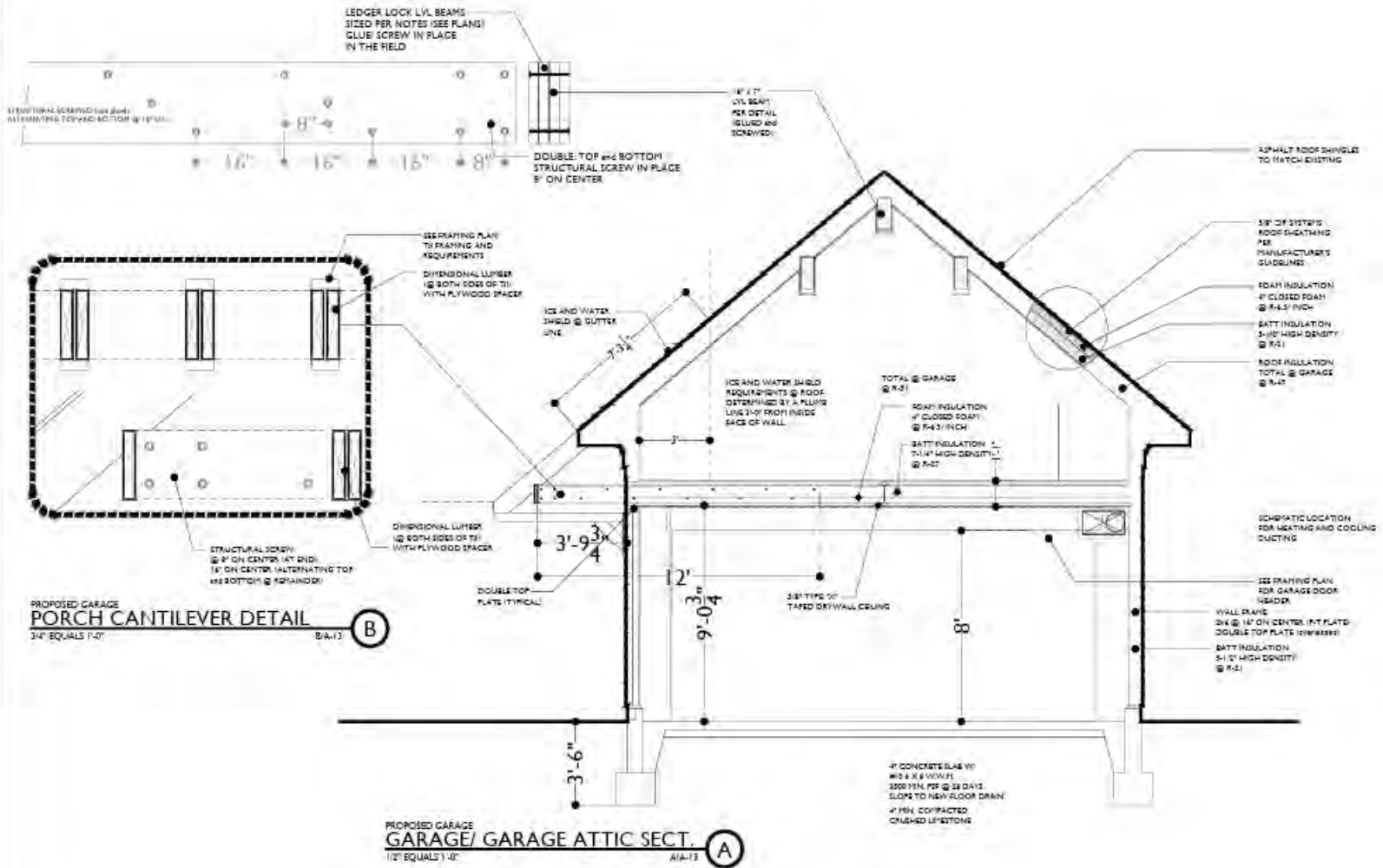
17879 LAKE ROAD, LAKEWOOD, OHIO 44107



CONSTRUCTION 312



Docket No. 10-89-25 (17879 Lake)



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216) 906 7097



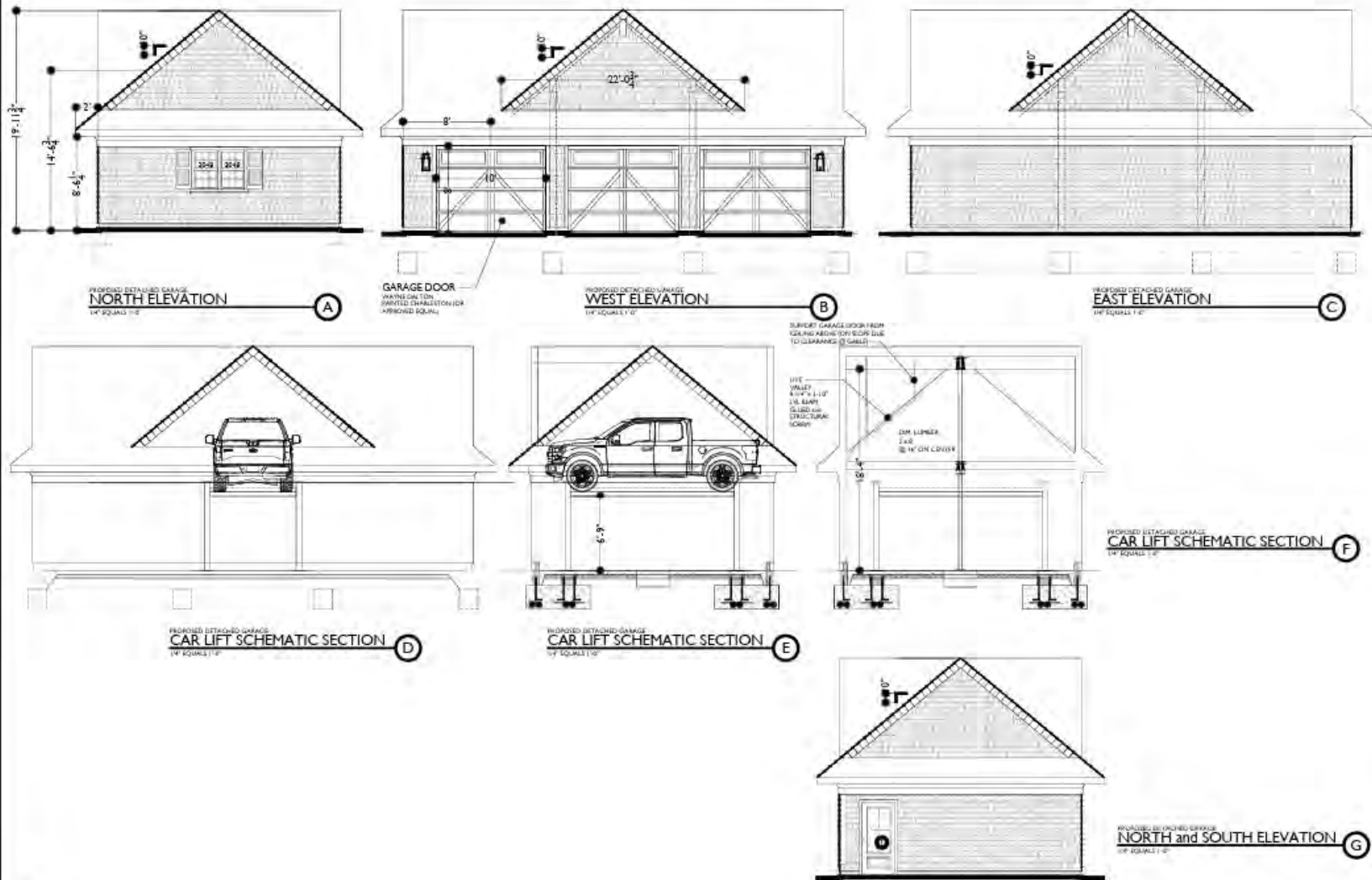
MARK REINHOLD
REGISTERED PROFESSIONAL ARCHITECT
STATE OF OHIO
NO. 108925

17879 LAKE ROAD, LAKEWOOD, OHIO 44107

COMPLETION SECTION 2-11



Docket No. 10-89-25 (17879 Lake)



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216) 906-7097



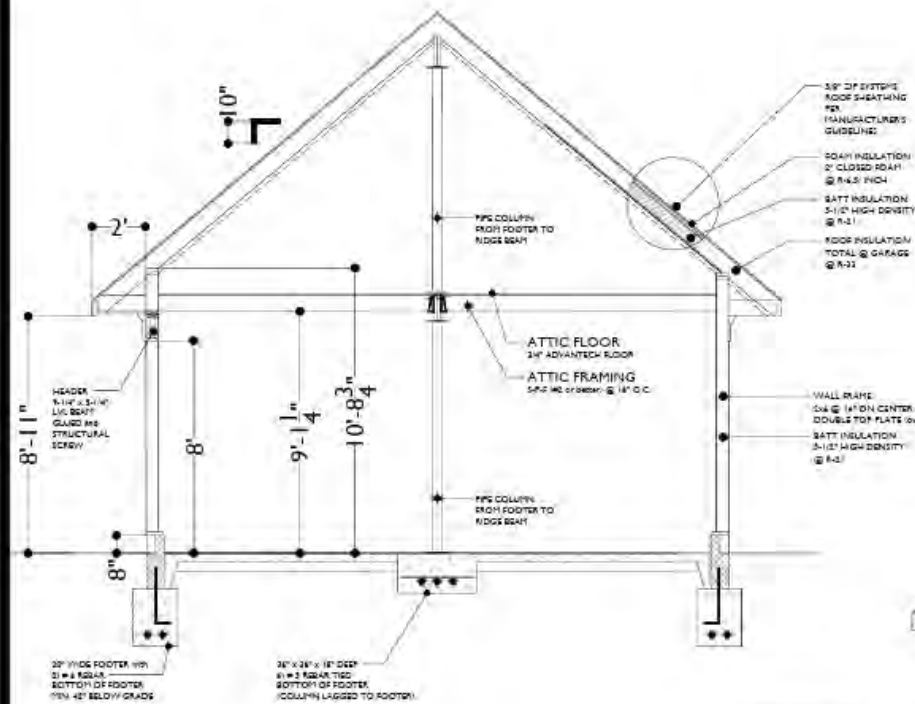
OFFICIAL RECORDING

AMERICAN CITY EDITS, LLC

17879 LAKE ROAD, LAKEWOOD, OHIO 44107

Docket No. 10-89-25 (17879 Lake)

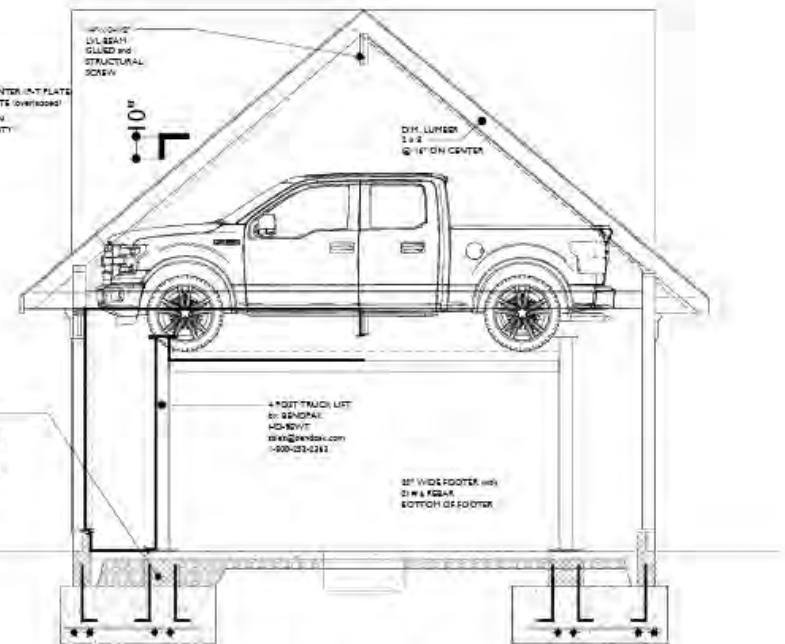




GARAGE SECTION

3/8" EQUALS 1'-0"

A/A-11 **A**



GARAGE SECTION

3/8" EQUALS 1'-0"

A/A-11 **B**



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216) 904 7097



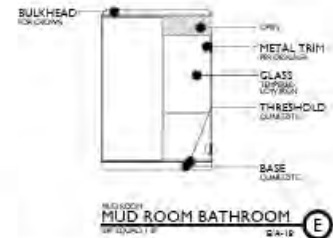
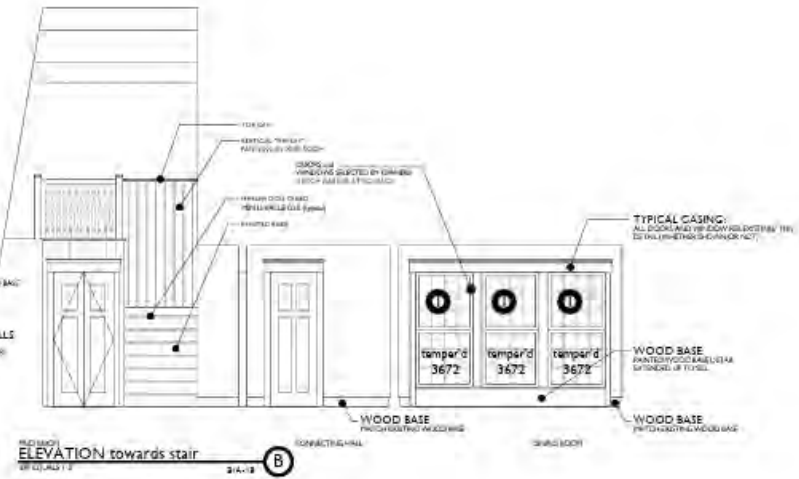
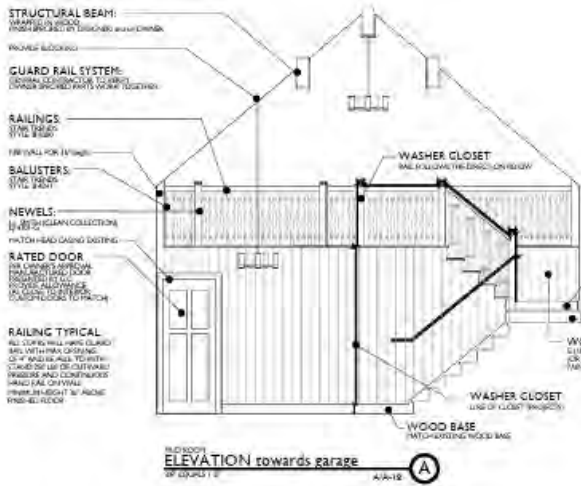
REGISTERED PROFESSIONAL ENGINEER

MARK REINHOLD ARCHITECT

17879 LAKE ROAD, LAKEWOOD, OHIO 44107



Docket No. 10-89-25 (17879 Lake)



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216) 906-7097

17879 LAKE ROAD, LAKEWOOD, OHIO 44107



ARCHITECTS
 17879 LAKE ROAD, LAKEWOOD, OHIO 44107
 (216) 906-7097
 www.markreinhold.com


Docket No. 10-89-25 (17879 Lake)




Applicant proposes renovation of storefront façade.

City Notes:

N/A

Tailored Healthcare 

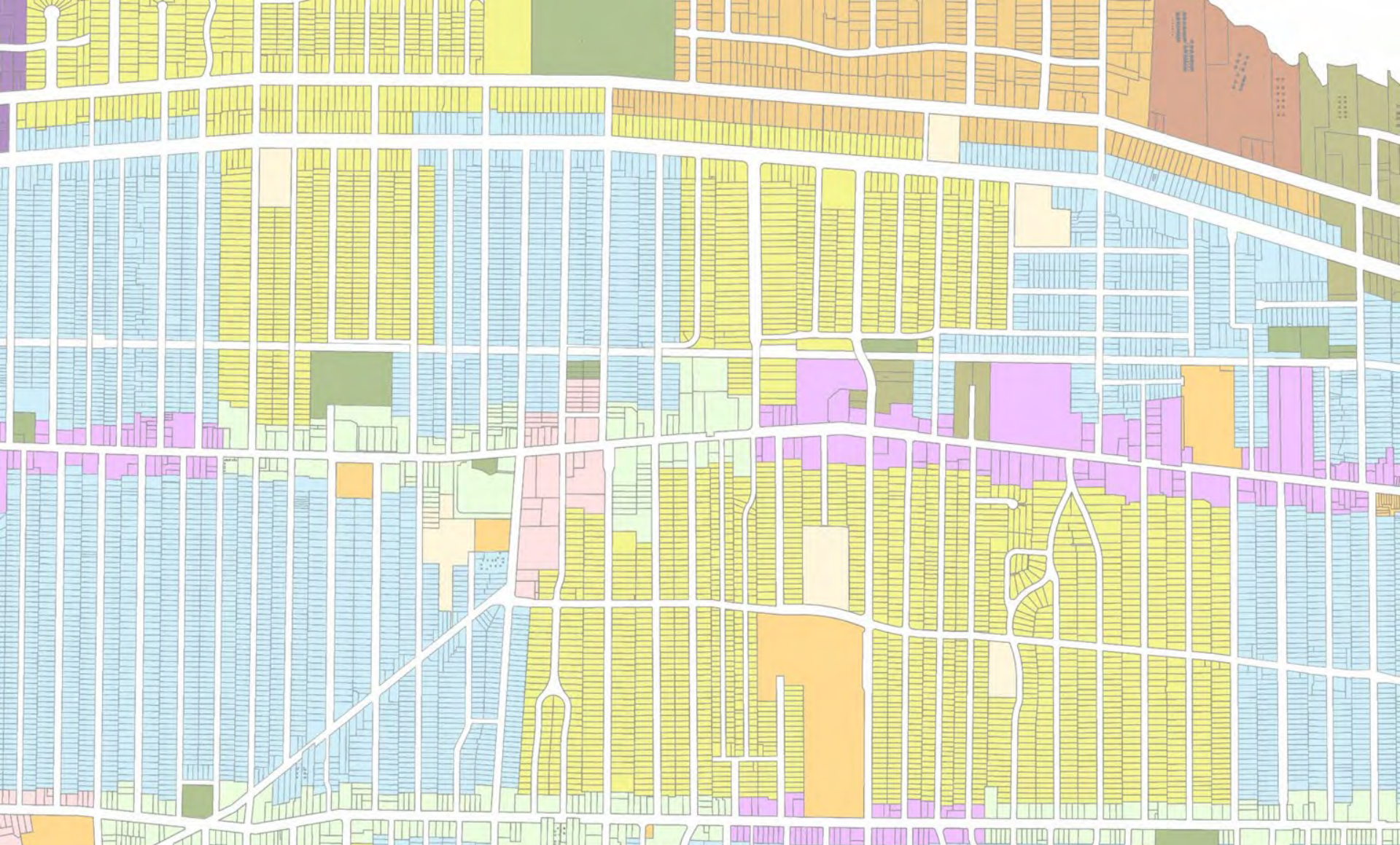
Request to table

11730 Detroit Ave 



Docket No. 08-72-25 (11730 Detroit)

North Coast Apartments
Milan Misalinovic



Architectural Board of Review

Sign Review – October 2025

Applicant proposes new signage.

City Notes:

- Applicant proposes 1 blade sign (12.25 sq ft)
- Max allowed square footage: 23.25 sq ft
- Total proposed square footage: 12.25 sq ft



13367 Madison Ave



Docket No. 10-82-25 (13367 Madison)

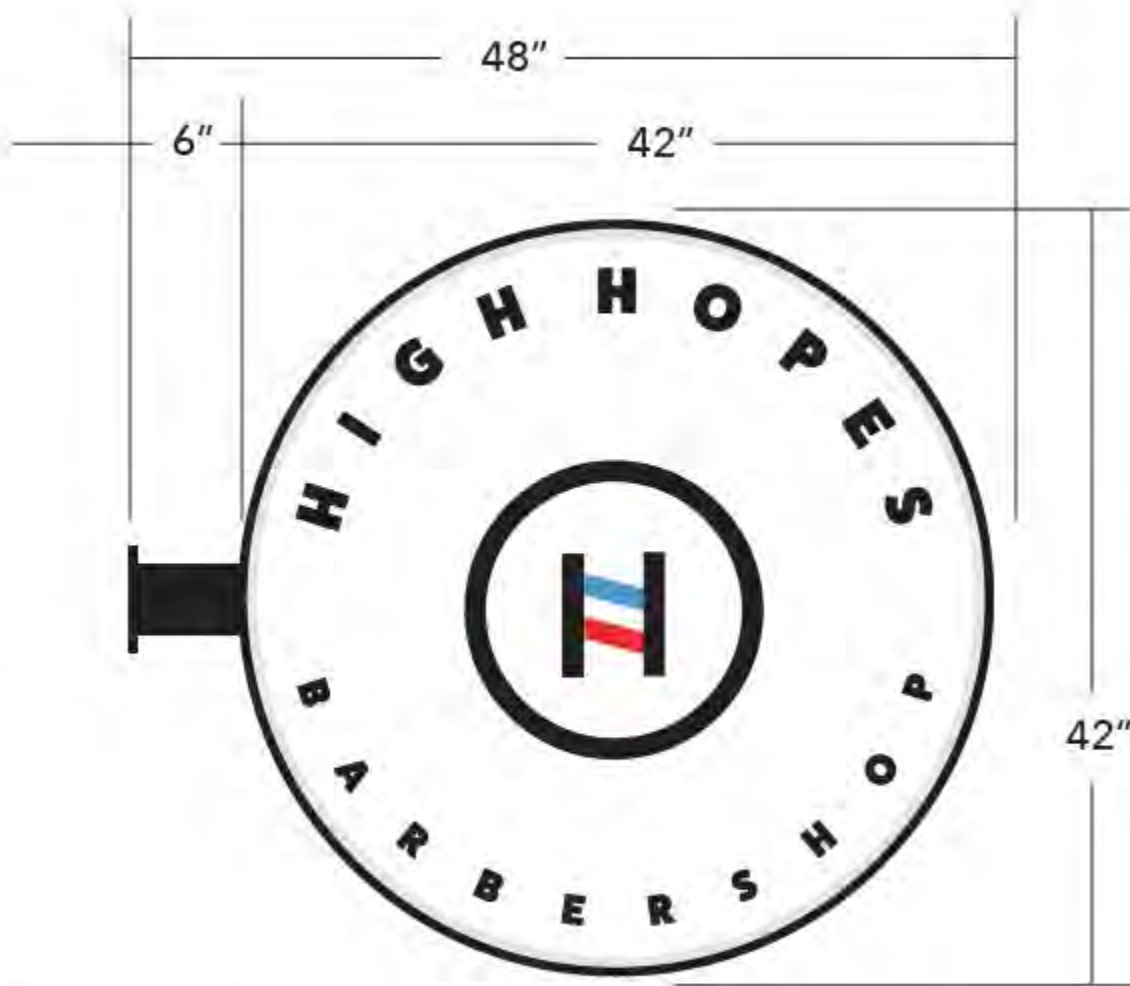
New Signage – High Hopes Barber Shop
Ricky Zaborowski



Docket No. 10-82-25 (13367 Madison)



Docket No. 10-82-25 (13367 Madison)

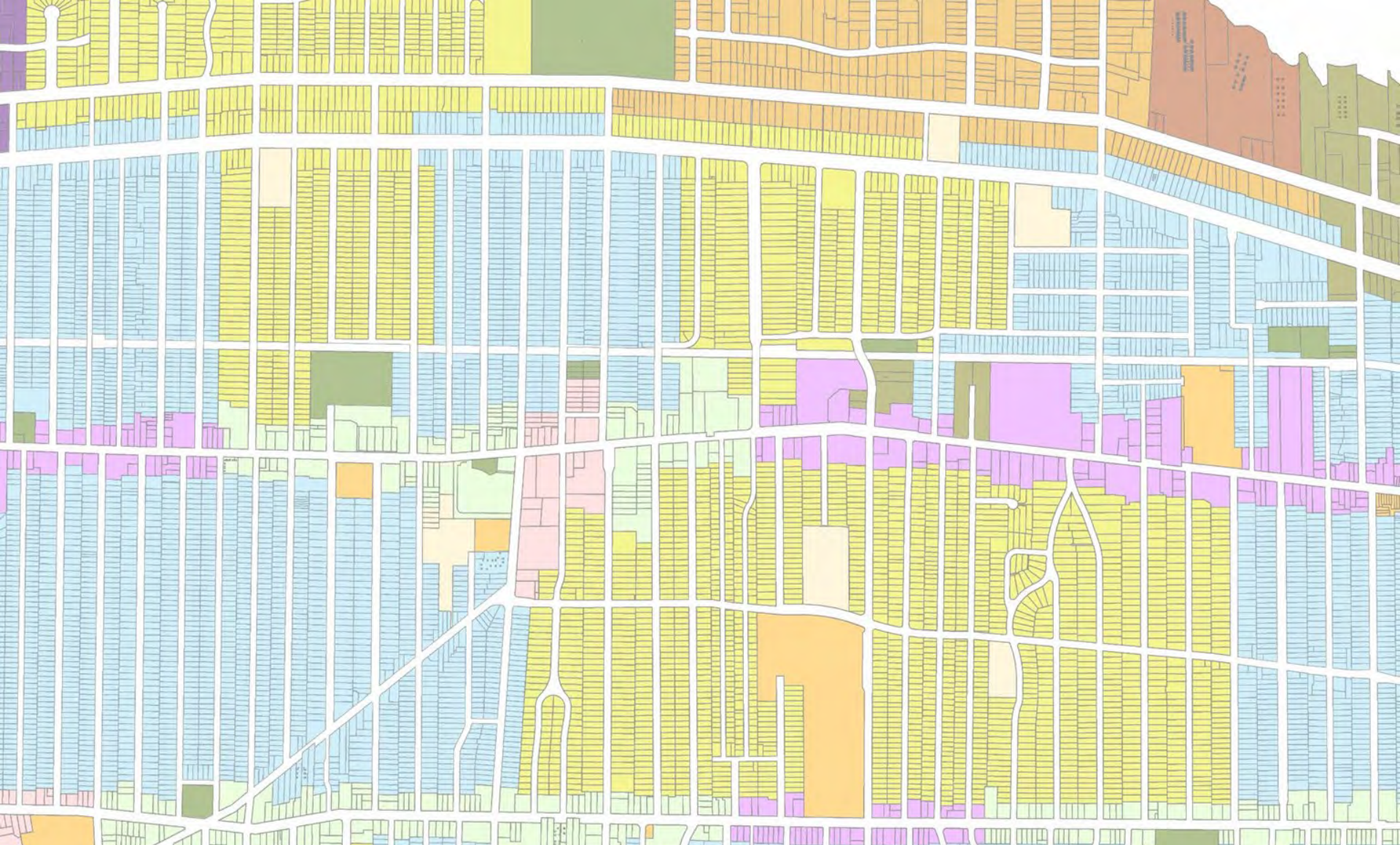


13367 MADISON AVE.
LAKEWOOD, OH 44107

SCALE: $\frac{3}{32}'' = 1''$



Docket No. 10-82-25 (13367 Madison)

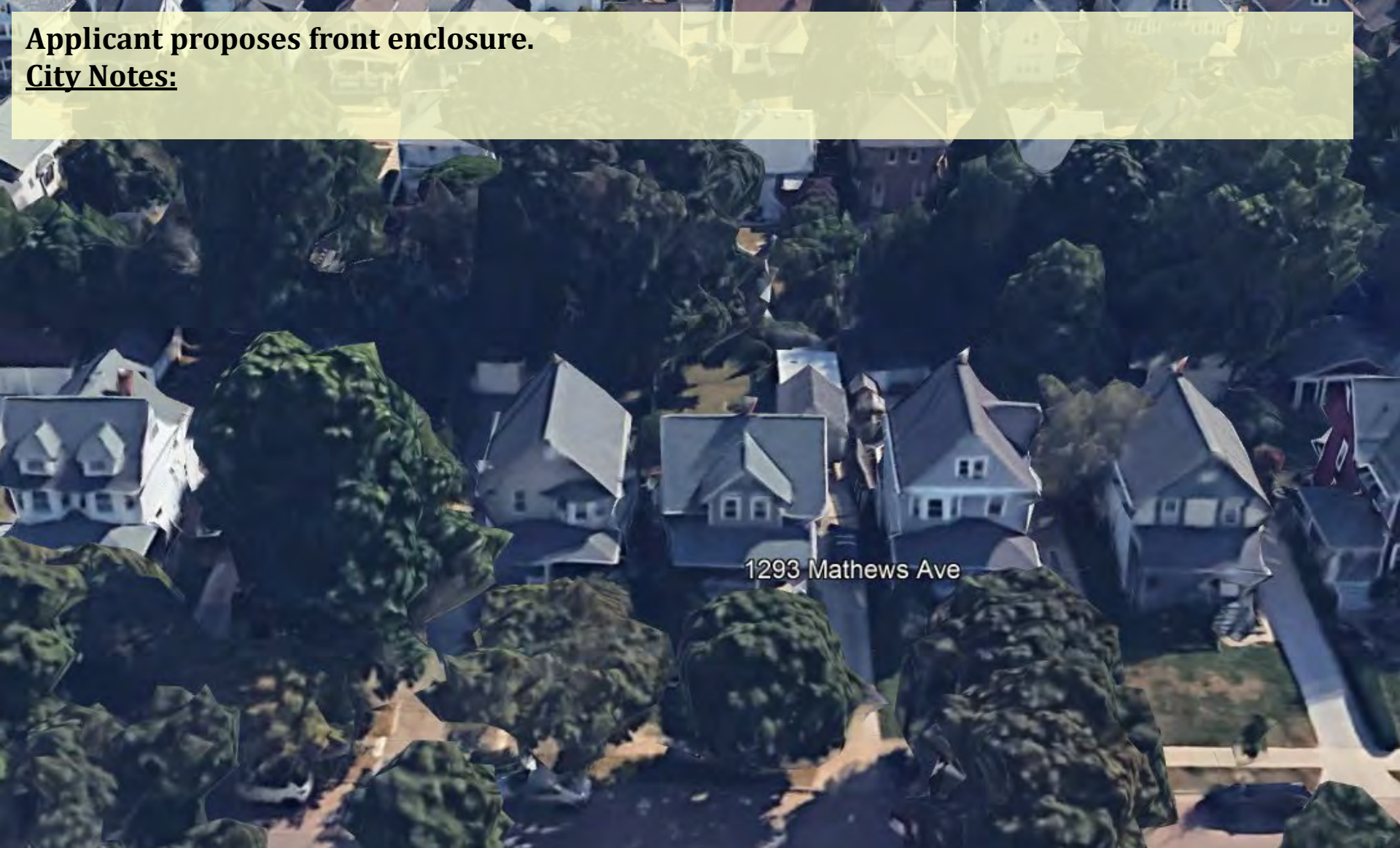


Architectural Board of Review

October 2025

Applicant proposes front enclosure.

City Notes:



1293 Mathews Ave



Docket No. 10-86-25 (1293 Mathews)

**Residence – Front Porch Enclosure
Stephanie Erin**



1293 Mathews Ave.



Docket No. 10-86-25 (1293 Mathews)



South towards
1297 Mathews Ave.



Docket No. 10-86-25 (1293 Mathews)



North towards
1289 Mathews Ave.

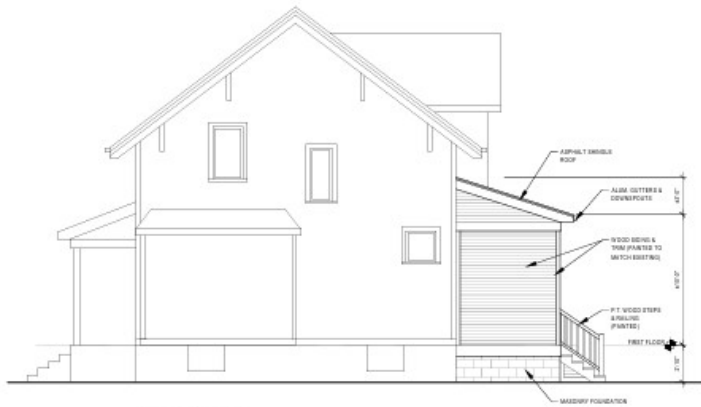


Docket No. 10-86-25 (1293 Mathews)

Mathews Ave. contains a mix of single family, duplex, and multi-unit residences with varying architectural styles

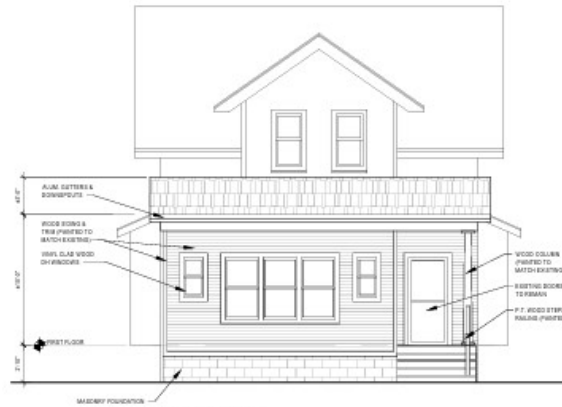


Docket No. 10-86-25 (1293 Mathews)



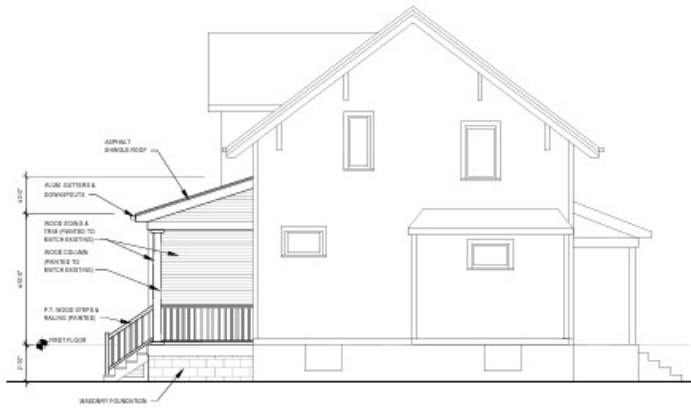
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



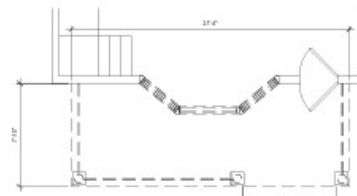
WEST ELEVATION

SCALE: 1/4" = 1'-0"



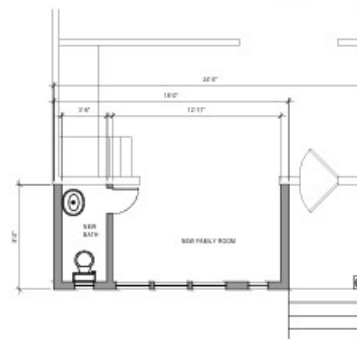
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



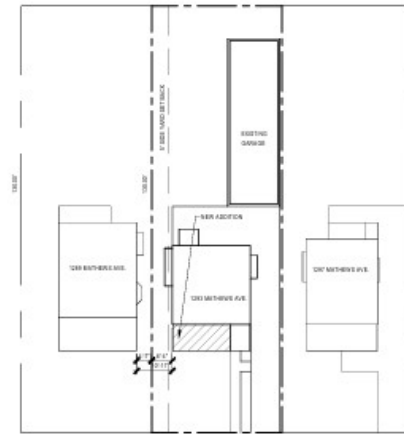
DEMO PLAN

SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"



SITE PLAN

SCALE: 1/4" = 1'-0"

**ERIN RESIDENCE
HOUSE ADDITION**
 1293 MATHEWS DR.
 LAKEWOOD, OH 44107

THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO MWK CONSULTING, LLC. UNAUTHORIZED USE OF THESE DOCUMENTS IS EXPRESSLY PROHIBITED. ALL RIGHTS RESERVED.

MWK
 MWK CONSULTING, LLC
 1471 WINTON AVE.
 LAKEWOOD, OH 44107
 (216) 244-0379
 info@mwkconsulting.com

REVISIONS			
#	DATE	TYPE	
1	05/05/25	AHB SUBMITTAL	
2			
3			
4			
5			
6			
7			
8			
9			
10			

DATE: 08/08/2025
 JOB NO.: 2515

A-1

SHEET NO.



Docket No. 10-86-25 (1293 Mathews)

Applicant proposes installation of patio enclosure.

City Notes:

Need cutsheet



Docket No. 10-87-25 (17514 Detroit)

**Sacred Hour – Canvas Patio Enclosure
Tabitha Baker**



Docket No. 10-87-25 (17514 Detroit)



Docket No. 10-87-25 (17514 Detroit)





Docket No. 10-87-25 (17514 Detroit)



Configure:

Hot Tub Enclosure ▾



Start from scratch
Select options manually



Start with a bundle
Kick-start design with a pre-configured bundle



\$4,950.00 ⓘ

Incl. VAT.
Doesn't include shipping.

☰ Save PDF



Applicant proposes front porch remodel and added dormer.

City Notes:

- The eyebrow window will have a Sitting Seam copper roof. All the flashing around it that ties into the slate will all be cooper.
- The copper roof will be installed first. Then the Slate roof will blended into the copper as needed.
- The Existing materials on the facade are:
 - Vinyl shake siding-wrapped aluminum on trim and facia-vinyl soffit-painted wood columns-chiseled edge sandstone on porch walls and chimney-Slate roof
- The new facade and colors are:
 - Stone- Fond du Lac- White Castle
 - Shake Siding- Harbor mill grey shingle 7" rough sawn-Provia
 - Windows- Marvin Ultimate series-Stone white
 - Trim, columns- Decorator's white- BM 49
 - Front Door will stay- new color- SW 9152-Let it Rain
 - Porch roof- Standing seam-Premier metals- Light Grey
- No Brackets will be Used- Owner changed from print
- The Height of the beam underneath the porch will be 8-10". Depending on a couple factors after we start framing. The beam will stay above the height of the windows and front door. It will not be below.
- From the new bluestone floor to the underneath of the beam will be 8'. Plus or minus a couple inches depending on our roof framing and pitch.



Docket No. 10-88-25 (1029 Homewood)

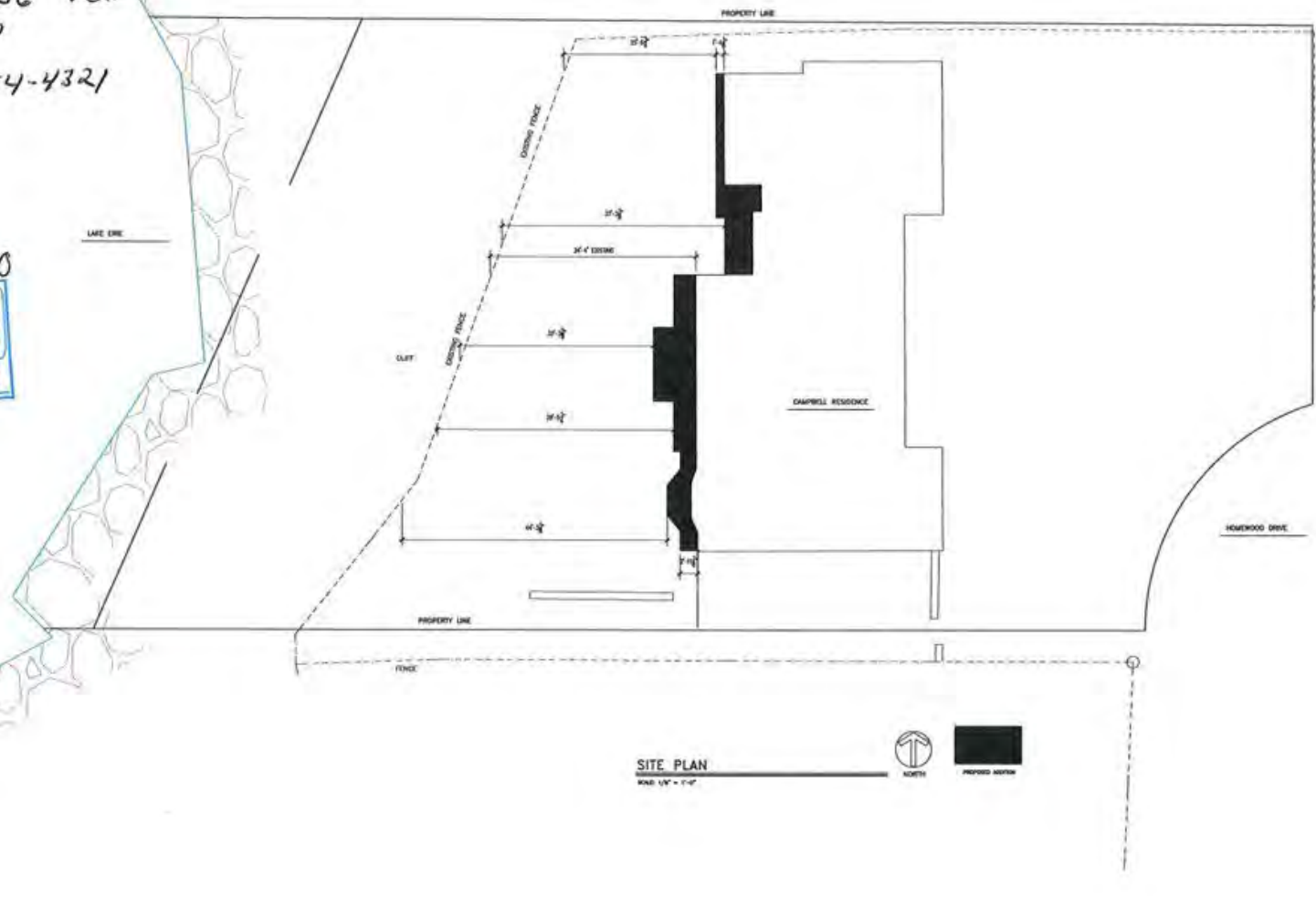
Residence – Front Porch Remodel
Greg Allen



Docket No. 10-88-25 (1029 Homewood)

GREG ALLEN BUILDER
 3888 LONG Rd.
 AVON OHIO
 MIKE (440) 554-4321

RB25-000430
RECEIVED
 AUG 25 2025
 By Counter KM



SITE PLAN
 SCALE 1/4" = 1'-0"



STOCKMAN DESIGN
 PRESERVE INSPIRE LIVE
 1033 MAPLECLIFF LAKENWOOD, OHIO 44107
 STOCKMANARCHITECTURE@GMAIL.COM
 216.337.3680

CAMPBELL RESIDENCE
 1029 Homewood
 Lakewood, Ohio

Original Issue Date	15AUG25
Revisions	
No.	Date/Description

Authorized Use:	<input checked="" type="checkbox"/> Stage Development
	<input type="checkbox"/> Progress
	<input type="checkbox"/> Shading
	<input type="checkbox"/> Building Permit
	<input type="checkbox"/> Certificate
	<input type="checkbox"/> Other
Current Date	15AUG25

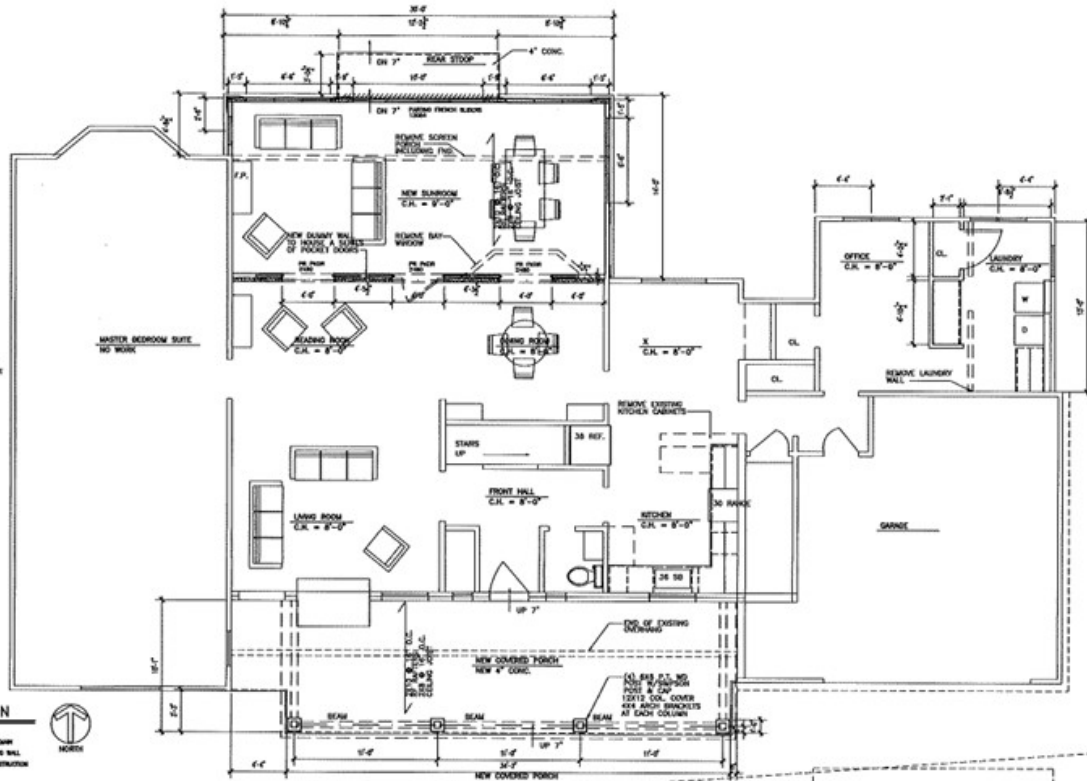
Sheet Description	SITE PLAN
Sheet No.	2219
Scale	S-1



Docket No. 10-88-25 (1029 Homewood)

PLAN NOTES

1. 2-2x4 WOOD STUDS AT END OF ALL NEW LOGGERS (GALINS NOTED OTHERWISE)
2. 1/2" JOIST ON ALL WALLS (EXCEPT NO. 10) BEARING 5/8" DYPAN ALL OVERS.
3. ALL WINDOW WALLS ARE 2 1/2" UNITS WITH OPERABLE, CUSTOMER CHANGABLE (A/C 7-3)
4. HEAVY STRUCTURE PRIOR TO DEMOLITION
5. ENERGY EFFICIENCY PLAN - SECTIONS 1021.14-1104 AS BIDD 2019.1
6. 2-2x4 WOOD STUDS AT END OF ALL NEW LOGGERS (GALINS NOTED OTHERWISE)
7. CONTRACTOR TO INSTALL SAVED BRICKS AT ALL POINT LOAD. ENSURE THAT ALL POINT LOADS BEAR ON SOUND FOUNDATION. ALL FINISHING THAT FRAMES PERPENDICULAR TO BEAMS MUST BE SECURED WITH BRUSHES AND BRACKETS.
8. FINISH TO MATCH WITH ALL MATERIALS.



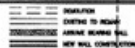
FIRST FLOOR CONSTRUCTION PLAN

SCALE 1/4" = 1'-0"



SECOND FLOOR CONSTRUCTION PLAN

SCALE 1/4" = 1'-0"



STOCKMAN DESIGN
PRESERVE INSPIRE LIVE
1035 MARBLECUFF LAKESWOOD, OHIO 44107
STOCKMANARCHITECTURE@GMAIL.COM
216.337.3680

CAMPBELL RESIDENCE
1029 Homewood
Lakewood, Ohio

Original Issue Date:	05MAY25
Revisions	
No.	Date/Description

Authorized Use:

- Design Development
- Progress
- Bidding
- Building Permit
- Construction

Current Date: 05MAY25

CONSTRUCTION PLAN
FIRST & SECOND FL
X
2219
A-2

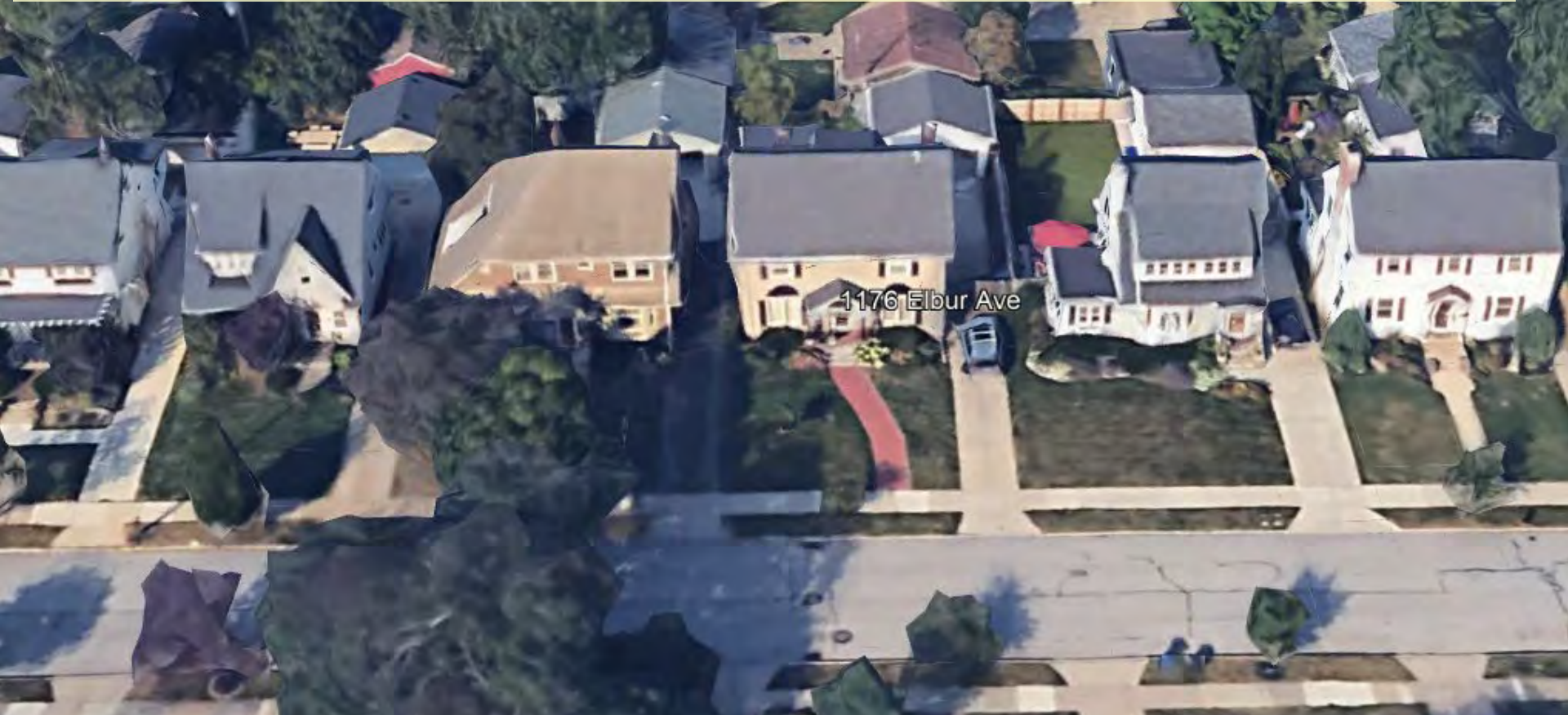


Docket No. 10-88-25 (1029 Homewood)

Applicant proposes demolition and rebuild of existing roof to accommodate 3rd floor primary suite with new dormers.

City Notes:

- Height is 35'-within requirements



Docket No. 10-90-25 (1176 Elbur)
Residence – 3rd Floor Primary Suite and Dormer Addition
Brandon Young



Docket No. 10-90-25 (1176 Elbur)



Docket No. 10-90-25 (1176 Elbur)



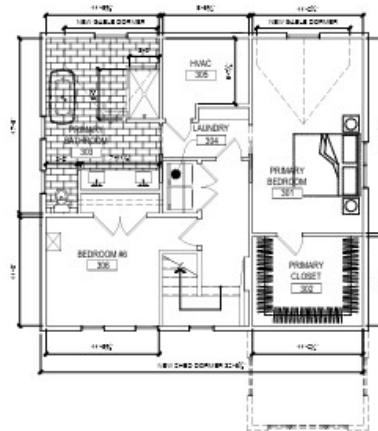
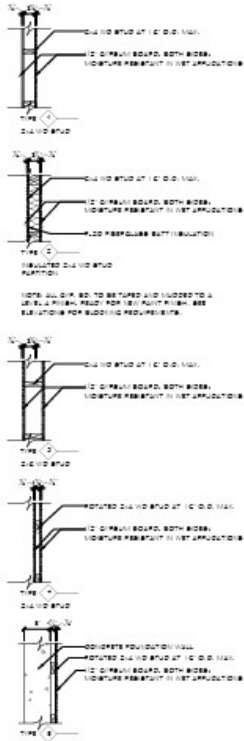
GENERAL NOTES:

1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL FIELD CONDITIONS, INCLUDING THE EXISTING SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THE KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS INCLUDING THE SCOPE OF WORK PRIOR TO PROCEED. ANY DISCREPANCIES OR OMISSIONS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO BE SURE ALL ACCURATE AT 1/8" SCALE FOR EXTRA CONSTRUCTION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
3. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY SPECIAL CONDITIONS OR OMISSIONS THAT MAY OCCUR PRIOR TO THE COMMENCING OF WORK WITH THE PROBABLY MOST INFORMATION (PMI) FORM.
4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF STUD TYPICAL UNLESS OTHERWISE NOTED. - DO NOT SCALE.
5. ALL DOOR POUGH OPENINGS ARE TO BE LOCATED 2" FROM HIGHEST WALL AT HINGE SIDE TYPICAL UNLESS OTHERWISE NOTED.

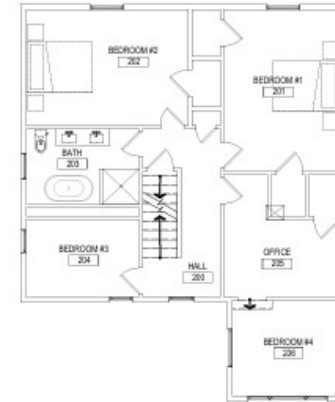
CONSTRUCTION NOTES:

1. DIRECTION OF WALL CONSTRUCTION AND ALL WINDOW PARTITION WALLS UNLESS NOTED OTHERWISE.
2. MATCH WINDOW HEAD HEIGHTS UNLESS NOTED OTHERWISE.
3. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS, WALLS, TUBS AND OTHERS UNLESS NOTED OTHERWISE.

PARTITION TYPES:



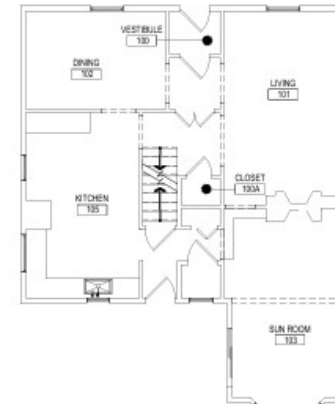
1 PROPOSED THIRD FLOOR / ATTIC PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING CONDITIONS SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 EXISTING CONDITIONS THIRD FLOOR / ATTIC PLAN
SCALE: 1/4" = 1'-0"



4 EXISTING CONDITIONS FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



General Notes:

ISSUE	DATE
ABR	09-17-25

YOUNG DESIGN STUDIO
 10614 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 313.483.8107
 Architecture | Interiors | Urban Design

Sugness Residence
 1179 Elbur Ave.
 Lakewood, Ohio 44107
 Drawing Title:
FIRST FLOOR PLAN

Project:	09-17-2025
Sheet:	
Scale:	
Author:	
Checker:	
Plotter:	

A1-01



Docket No. 10-90-25 (1176 Elbur)



General Notes:

ISSUED	DATE
ABR	06-17-25

YOUNG DESIGN STUDIO
 15814 Detroit Ave.
 Lakewood, OH 44107
 www.youngdesignstudio.com
 p 216.526.9717
 Architecture | Interiors | Urban Design

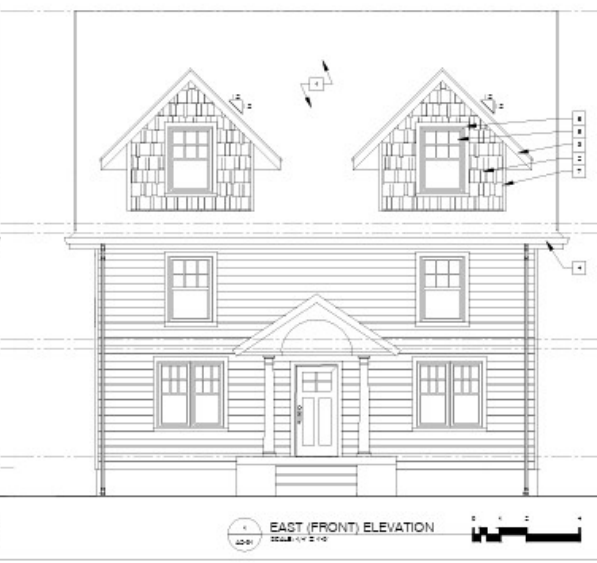
Suguness Residence
 1179 Elbur Ave.
 Lakewood, Ohio 44107

Drawing Title:
EXTERIOR ELEVATIONS AND WALL SECTION

DATE	06-17-2025
PROJECT	
SCALE	A2-01



- ELEVATION KEYNOTES**
- 1. SEE CIVIL ENGINEERING DRAWINGS FOR UTILITY LOCATIONS TO BE RELOCATED BY OWNER. SEE ALSO LOCAL MUNICIPALITY.
 - 2. SEE NOTES WHEN BEING BIDDING. GOULD TO BE RELOCATED BY OWNER.
 - 3. PAINTED ALUMINUM FINISH TO MATCH EXISTING.
 - 4. SEE 200% MEASUREMENT AND DIMENSIONS TO MATCH EXISTING. TO BE MATCHING EXISTING DIMENSIONS.
 - 5. SEE NOTES WHEN BIDDING TO MATCH EXISTING.
 - 6. MATCHING WINDOW TRIM TO MATCH EXISTING.
 - 7. SEE NOTES WHEN BIDDING TO MATCH EXISTING.
 - 8. SEE NOTES WHEN BIDDING TO MATCH EXISTING.



Docket No. 10-90-25 (1176 Elbur)



Docket No. 10-90-25 (1176 Elbur)



Docket No. 10-90-25 (1176 Elbur)



Docket No. 10-90-25 (1176 Elbur)



Cedar Impressions®

Polymer Shingles and Shakes



Life happens here.™

Pella® 250 Series VIN

Innovative and enhanced security and privacy features for your customers peace of mind.

Double-Hung



Available in these window & patio door styles:
Spartan® and the 1000 Series



Docket No. 10-90-25 (1176 Elbur)

Applicant proposes new awning and signage.

City Notes:

- ❑ Applicant proposes 1 blade sign (17 sq ft), 3 awning signs (334 sq ft), vinyl and neon window signs (44 sq ft), vinyl door signs (9 sq ft)
- ❑ Max allowed square footage: 75 sq ft
- ❑ **Total proposed square footage: 404 sq ft (absolute max allowed 100 sq ft);** window signage <15%



Docket No. 10-91-25 A/S (11822 Detroit)

New Signage – Easy Out
Michael Holsman



The Ohio Inn
 4.4 ★★★★★ (74) · \$10–20
 Bar · ♿
 Temporarily closed

Overview Reviews About

Directions Save Nearby Send to phone Share

✓ Dogs allowed

11822 Detroit Ave, Lakewood, OH 44107

Temporarily closed

\$10–20 per person
 Reported by 9 people

theohioinnbar.com



Docket No. 10-91-25 A/S(11822 Detroit)



Docket No. 10-91-25 A/S(11822 Detroit)



11818 US-6 ALT
Lakewood, Ohio



Docket No. 10-91-25 A/S(11822 Detroit)



Application Location :

Easy Out

[Formerly : The Ohio Inn]

11822 Detroit Ave, Lakewood, OH 44107

Parcel # : 31233012

Applicant Information :

Retrofit : Illuminated Blade Sign
 New Installation : Window Awning

New Sports Bar - turnkey replacement for existing Sports Bar no longer in business.

Developed by : Buildings and Food [hospitality group based in Cleveland, Ohio]

Sidewalk : 7'-8" from Face of Building to Treelawn area

Treelawn area is red brick, laid flush with sidewalk, no gaps : 2'-21/2" to curb

Concrete Curb continuous and flush with sidewalk and red brick : 6" to asphalt street



Docket No. 10-91-25 A/S(11822 Detroit)



Sign Band
40.5"
Tall

Sign Band
Top Edge
132.5"
above Grade

Sign Band
Bottom Edge
92"
above Grade

Application Location :

Easy Out

[Formerly : The Ohio Inn]

11822 Detroit Ave, Lakewood, OH 44107

Parcel # : 31233012

Building Owned by Landlord : 11822 DETROIT LLC

Applicant Informaton :

Retrofit : Illuminated Blade Sign
New Installation : Window Awning

New Sports Bar - turnkey replacement for
existing Sports Bar no longer in business.

Developed by : Buildings and Food [hospitality group based in Cleveland, Ohio]

Operation is DBA : Easy Out

Operation owned by : Easy Out LLC
EIN : 393616864

Blade Sign Notes:

Proposed Retrofit

New Blade

Same Mounting Location

Use Existing Power and Consuit Configuration



Docket No. 10-91-25 A/S(11822 Detroit)

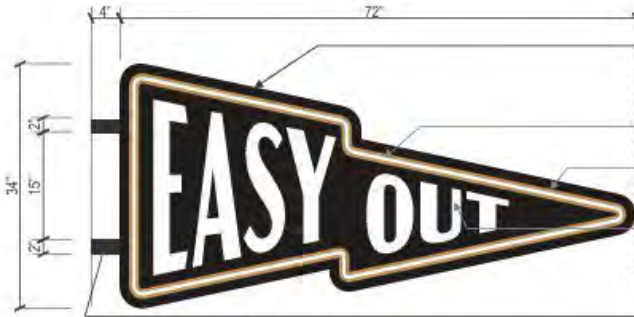


Docket No. 10-91-25 A/S(11822 Detroit)



Docket No. 10-91-25 A/S(11822 Detroit)

Plan View - Top
scale: 3/4" = 1'-0"



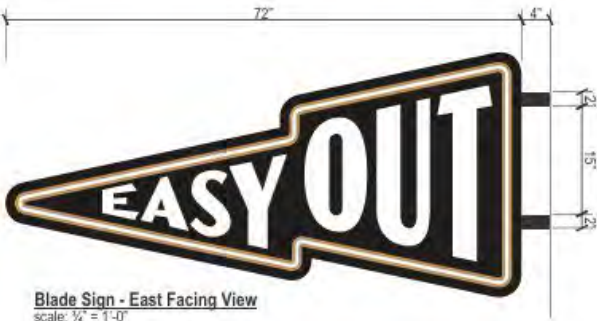
- Aluminum sign cabinet painted Matthews acrylic polyurethane black with satin finish
- White LED flexible Neon outline
- Applied 3M 54 gold metallic vinyl outline, under LED neon strip
- Routed aluminum faces painted Matthews acrylic polyurethane black with satin finish. Backed up white acrylic copy

Blade Sign - West Facing View
scale: 3/4" = 1'-0"



Bottom of sign (ONLY) to have applied 3M 54 gold metallic vinyl

Plan View - Bottom
scale: 3/4" = 1'-0"



Blade Sign - East Facing View
scale: 3/4" = 1'-0"



Copy Details - West Facing View
scale: 3/4" = 1'-0"



Copy Details - East Facing View
scale: 3/4" = 1'-0"



Client:	Original Date:	Project Manager:	Draw to Number:	Revision:	Date:	Designer:	Description:	Revision:	Date:	Designer:	Approval:
	9/17/25	BH	25-210-00	-01				-01			
Address:	Site Number:	Designer:		-02				-02			Signature:
11822 DetroitAve		MH		-03				-03			
Lakewood, OH 44107				-04				-04			Date:
Page #	File Name:			-05				-05			
1 of 3	.cdr			-06				-06			
				-07				-07			

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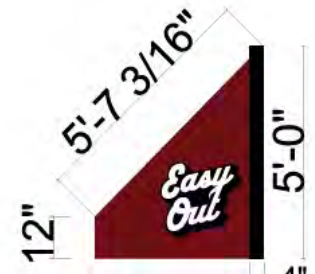
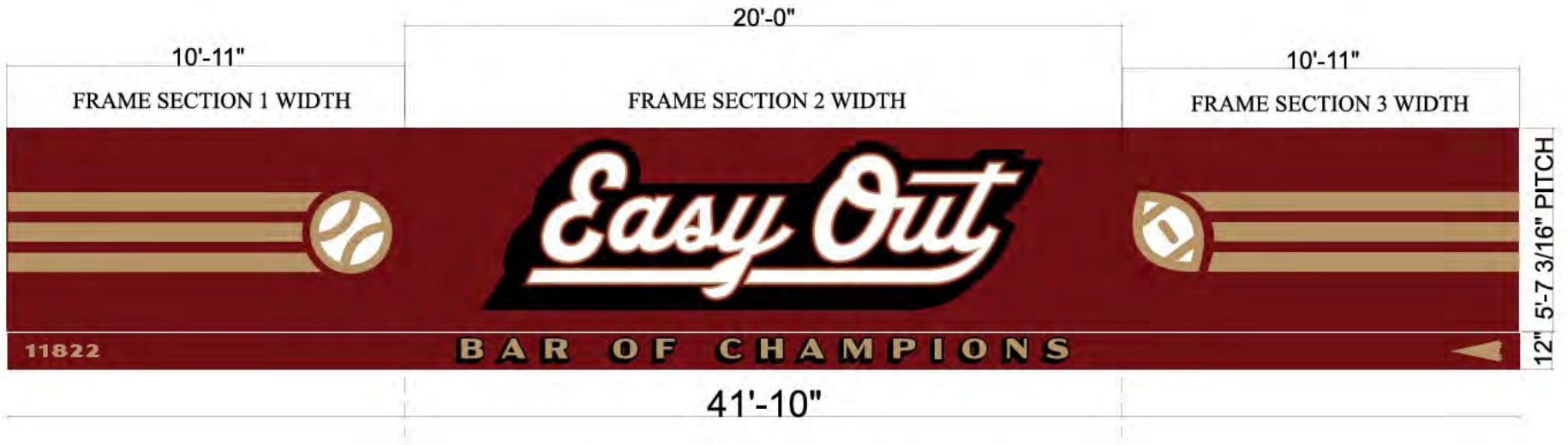
APX-2100 - 08/2023



Docket No. 10-91-25 A/S(11822 Detroit)

EASY OUT - W-245-25

GRAPHIC BLANK



Docket No. 10-91-25 A/S(11822 Detroit)

Awning Material

09/15/25

Jonathan Sin-Jin Satayathum
Vice President for Development
Buildings and Food
sinjin@buildings-food.com

Fabricated by :
Ohio Awning & Manufacturing Co.
5777 Grant Ave, Cleveland, OH 44105
Contact : William Morse
william@ohioawning.com
mobile : (216) 513-2401



Description

Sunbrella Burgundy 4631-0000 46-Inch Awning / Marine Fabric

Description

Sunbrella Burgundy 4631-0000 46-Inch Awning / Marine Fabric

Specifications

Brand	Sunbrella
Warranty	10 Year Limited Warranty
Fabric Design	Solids
Width	46 Inches (116.84 Cm)
Made With	100% Sunbrella Acrylic
Put Up	50 Yards
Performance	AATCC-42 Water Resistance (Less Than Or Equal) 1.0-4.5 G, Heat Sealable, Mold - Mildew Resistant, UV Resistant
Finish Treatment	Non-PTOA Water Repellent And Stain Resistant
Flame Resistant Codes	Cal. 119, 2013, NFPA 703 Class 1
Weight	9 Oz./Sq. Yd.
Unit of Measure	Yard
Application / Use	Awnings / Canopies / Pergolas, Marine Tents / Covers, Benches / Tables, Dodgers / Enclosures
Fabric Collection	Sunbrella Shade



Docket No. 10-91-25 A/S(11822 Detroit)

FS

PROJECT NO.	250364V
DATE	3-28-25
REV.	1.0

EASY OUT
11822 DETROIT AVE.
LAKEWOOD, OH 44107



**OHIO AWNING
& MANUFACTURING COMPANY**

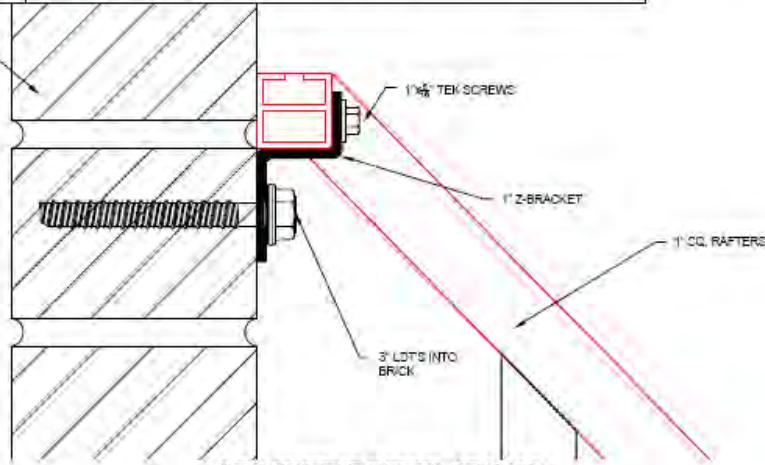
6777 GRANT AVE
CLEVELAND, OH 44106
216-851-2400
OHIOAWNING.COM

CELEBRATING
150
years

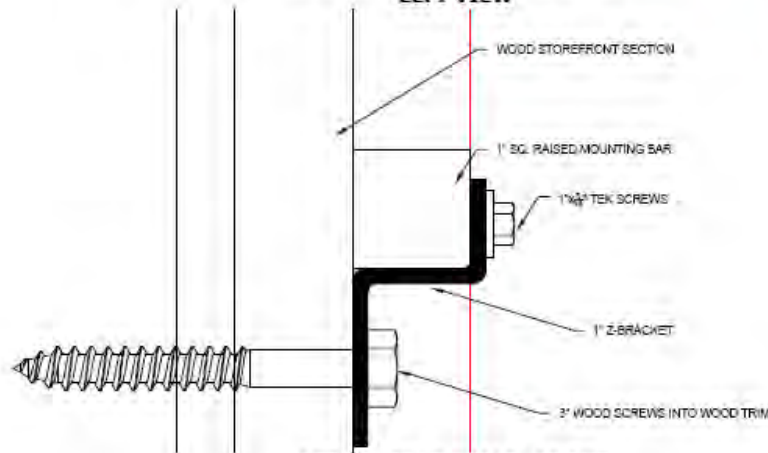
ATTACHMENT DETAILS

- 1" SQ. FLAIN MEMBERS
- 1" SQ. STAFFE MEMBERS

BRICK STOREFRONT SECTION



**ATTACHMENT DETAIL AT HEAD
LEFT VIEW**



**ATTACHMENT DETAIL AT BOT.
LEFT VIEW**



Docket No. 10-91-25 A/S(11822 Detroit)

Applicant proposes demolition and rebuild of existing roof to accommodate 3rd floor primary suite with new dormers.

City Notes:

2160

2150 Arthur Ave

2144

2140



Docket No. 10-92-25 (2150 Arthur)
Residence – Adjudication Order and Narrative of Appeal
Daniel Hurst

1. Plans show a ceiling height of 6'-8". Revise plans to show the minimal ceiling height required as For rooms with sloped ceilings, the required floor area of the room shall have a ceiling height of not less than 5 feet (1524 mm) and not less than 50 percent of the required floor area shall have a ceiling height of not less than 7 feet (2134 mm). (RCO 305.1)
2. Plans show the sistering of 2nd floor ceiling joists in the attempt to create the needed 40 psf for living space and 30 psf for sleeping area. The sistering of 2"x6" joists with either 2"x6" wood members or stated 5-1/2" LVL's is not able to be approved as a perspective framing method. Revise plans to include information on the designed loads for the proposed framing method or consult with sealed design professional architect or engineer for the alternative engineered design.
3. Submit width, riser, tread and headroom clearance information for stairs from 2nd to 3rd floor. Stairs shall be minimum 36 inches wide. The maximum riser height shall be 8 1/4" and treads shall be 9" minimum. The minimum headroom clearance at stairs shall be 6'-8". (RCO 106.1.3)
4. Revise plans to show that Sleeping areas window have the minimal emergency escape and rescue opening with minimum opening area of 5.7 square feet with minimum opening height of 24 inches and width of 20 inches. The sill height of opening shall be nor more than 44-inches above the floor. (RCO 310.1.1, 310.2, 310.2.1, 310.2.2)
5. Demonstrate compliance with required ceiling height at 3rd floor bathroom. Bathrooms shall have a minimum ceiling height of 6 feet 8 inches at the center of the front clearance area for fixtures. The ceiling height above fixtures shall be such that the fixture is capable of being used for its intended purpose. Shower or tub equipped with a showerhead shall have a minimum ceiling height of 6 feet 8 inches above a minimum area 30 inches by 30 inches at the showerhead. (RCO 305.1 Exception 2)





Existing house from street

Hurst Design Build Remodel

440-234-5656



Docket No. 10-92-25 (2150 Arthur)

Gotschall House, 150 Arthur, Lakewood

Existing imagery for appeal review



Existing finished attic space 1



Existing unfinished attic space



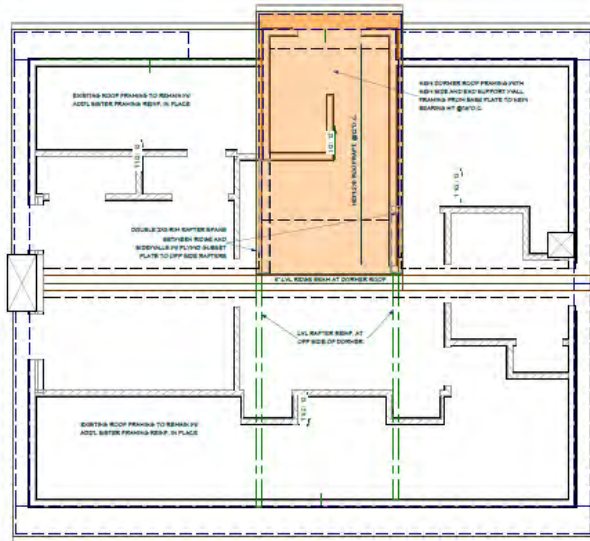
Existing stairs to attic



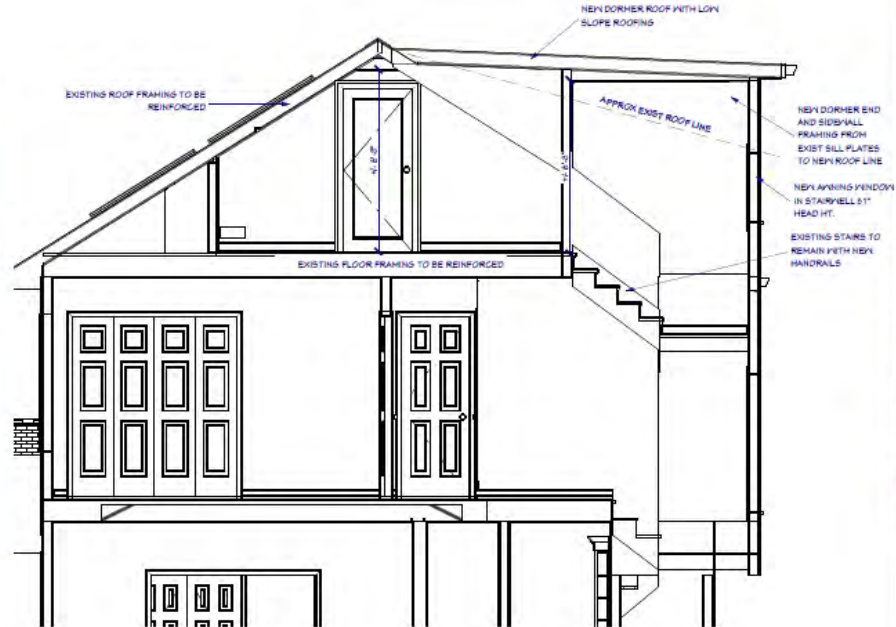
EXISTING REAR VIEW
NO SCALE



CONCEPT REAR RENDER VIEW
NO SCALE



CONCEPT ROOF PLAN REVISION
1/4" = 1'-0"



CONCEPT BUILDING SECTION E3
3/8" = 1'-0"

Job #	Print Date
8624-T2	10/8/2025
Design Info	
Design Phase	Disc Date
detail	1/2 11/23
Designer	BD/SK
Revision #	Date
#	###
Client Initials	

28185 Center Ridge Road
Westlake, Ohio 44145
440234-5656 Tele 440234-5747 Fax
www.HurstRemodel.com



GOTSCHALL RESIDENCE
Bethany and Rob Gotschall
2150 Arthur Ave.
Lakewood, OH 44107

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SHEET NO.
A-6




Docket No. 10-92-25 (2150 Arthur)

GOTSCHALL RESIDENCE

Job #	19142025
Rev	01/14/2025
Design Info	
Design Phase	06
Detail	1.1
Designer	BD
Revision	# Date
Client	Initials

26 865 Center Ridge Road
Westlake, Ohio 44145
440/234-5656 Tele, 440/234-5747 Fax
www.HurstRemodel.com



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Bethany and Rob Gotschall
2150 Arthur Ave.
Lakewood, OH 44107

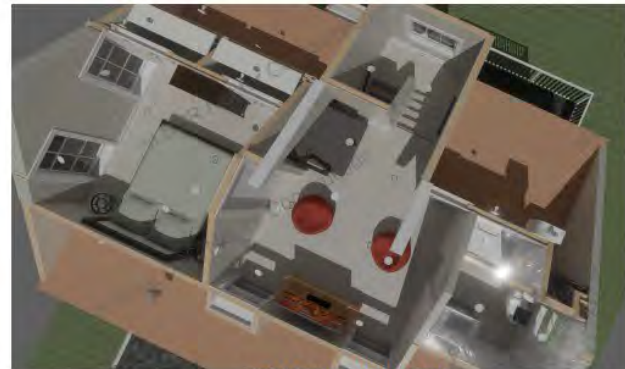
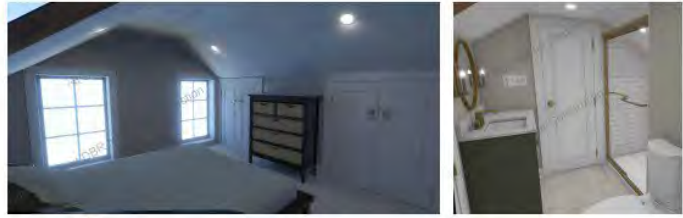
SHEET NO.
A-1

General Notes

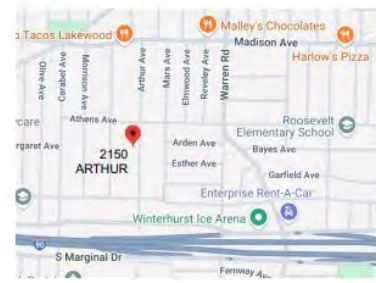
1. All work under this contract shall be subject to the RESIDENTIAL CODE OF OHIO For One, Two- and Three-Family Dwellings, latest edition, and all municipal and local laws and regulations.
2. All sub-contractors shall furnish a certificate of adequate liability and workman's compensation insurance.
3. All products, equipment and materials shall be installed per manufacturer's recommendations and best construction methods and standards.
4. The Sub-contractors shall visit the Project Site and familiarize himself with existing conditions and shall carefully study and compare the Contract Documents with the existing conditions and report to Hurst Design-Build Remodel any errors, discrepancies, omissions or omissions, and materials, products, systems, procedures, and construction methods shown or specified which are incorrect, inadequate, obsolete, or unsuitable for actual field conditions discovered, or which the Sub-contractor would not warrant as required by The Contract Documents.
5. The drawings shall not be scaled, use the uniform dimensions only. In the event of discrepancies or errors, in the drawings, Hurst Design-Build Remodel shall be the sole interpreter of the drawings and their intent.
6. The Contractor shall obtain and pay for all required permits, royalties, shipping charges, fees and licenses and shall arrange for all inspections necessary for the proper execution of the work. Approval Certificates shall be posted in a prominent, central location and per local authority's requirements. All construction work and activities shall conform to all applicable codes and ordinances.
7. Hurst Design-Build Remodel shall provide barricade, warning lights, signs, safety devices, temporary fences, tracking and wall shoring to protect general public and workers from hazardous conditions which may arise at the site as a result of the work.
8. Hurst Design-Build Remodel and all sub-contractors shall keep the site orderly and clean at all times and shall remove all debris and leave the site broom-clean.
9. The use of these documents is restricted to the original project for which they have been prepared. Re-use or reproduction of these documents (whole or in part) for any other use is prohibited by Hurst Design-Build Remodel. The drawings are instruments of service and remain the property of Hurst Design-Build Remodel.

Structural Notes

- Studs shall be 2 x 4 exterior and interior walls (unless noted otherwise) spaced 16" o.c., doublet at openings, framed solid at corners and angles for all walls. Inner trimmer (jack studs at all window/door openings, etc., shall be cut down to support the header over the opening and shall extend in one piece from header to bearing. Double jack studs for all openings over 8'-0" wide (or as noted on plans).
- All bearing headers shall be minimum double 2 x 10's with 1/2" material between, glued and nailed, unless indicated otherwise on drawings.
- Brace all rafters, roof and ceiling joists as required to prevent shifting, racking or other movement, both during construction and after completion of the project. Girding joists and flat roof joists shall be cross braced at max. 8'-0" intervals. Brace all roof and floor trusses per manufacturer's instructions during construction and permanently.
- Rafters shall be doublet at both sides of all dormers, skylights and at roof valleys, unless noted otherwise on the plans. All headers between doublet rafters shall be supported with galvanized hangers.
- All second beams or headers shall be supported by solid studs, minimum same size as the beam, and shall be continuous from the bottom of the beam to a bearing beam or masonry foundation below. Include solid blocking and/or doublet band joists thru all floor systems, as may be required to transfer loading.
- Connections shall be in accordance with the applicable building code as a minimum.
- MATERIAL DESIGN STRESSES (Minimum)**
- | Framing Member | F _b (psi) | F _v (psi) | F _c (psi) | E _s (psi) |
|---------------------------|----------------------|----------------------|----------------------|----------------------|
| SAWN LUMBER | | | | |
| Piled beams & headers | 1000 | 130 | 1000 | 1,400,000 |
| Piled joists | 1000 | 130 | 1000 | 1,400,000 |
| Piled studs/trim, framing | 875 | 110 | 1000 | 1,400,000 |
| Structural (LVL) | 3100 | 285 | 2510 | 2,100,000 |
- See Drawings for special conditions and/or min. structural requirements.
Concrete exterior: 4000 psi with 6# 11- 1# at arrangement.
- Bolts: A507 unless noted otherwise
- Soil bearing capacity: 2000 psf (assumed) material on firm undisturbed soil
- NOTE: No specific information regarding soil bearing capacity has been furnished to Hurst Design-Build Remodeling. The Contractor shall verify bearing capacity and notify the Owner of any suspected or unusual soil conditions.



PRESENTATION VIEWS
Not to Scale



Vicinity Map
Not to Scale

Common Abbreviations

R/R = Remove & Replace	V.I.F. = Verify in field
EX = Existing	R.O. = Rough opening
TYP = Typical	F.F. = Finished floor
U.N.C. = Unless noted otherwise	L.B.P. = Load bearing point

Design Loads

1 Floor Live Loads:	
First Floor	40 psf
Second Floor	30 psf
Floor Dead loads:	10 psf
2 Roof Live Loads (snow):	30 psf
Roofing Dead loads:	12 psf
Total Roof Loads:	42 psf

Square Footage

Third Floor Remodel =	446 sq. ft.
-----------------------	-------------

Project Description
The Project Scope includes remodeling of the 3rd floor attic space with new finishes and electrical, including a bonus room and bathroom space.

Drawing Index

- A-1 Index, Notes, Vicinity Map, & 3D'S
- A-2 Ex/Demo Plans
- A-3 New Plans & Interior Elevations
- A-4 Attic Floor Framing Plan, Attic Framing Section
- A-5 M.E.P. Plans

Client Signature:	P.C. Signature:
Date:	Date:



Docket No. 10-92-25 (2150 Arthur)

Job #	Print Date
8624-T2	01/19/2025
Design Info	
Design Phase	Dr Date
detail	1, 1 #13/25
Designer	BD
Revision	# Date
	# 14/24
Client Initials	

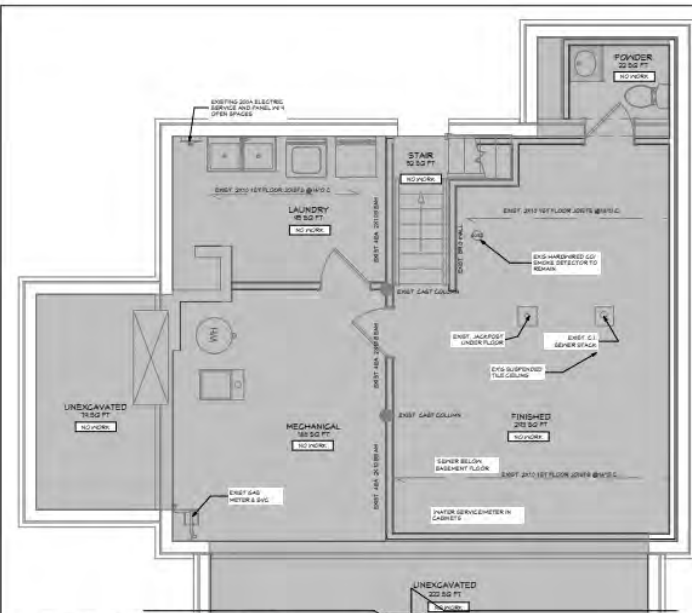
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Westlake, Ohio 44145
440/234-5656 Tele, 440/234-5747 Fax
www.HurstRemodel.com



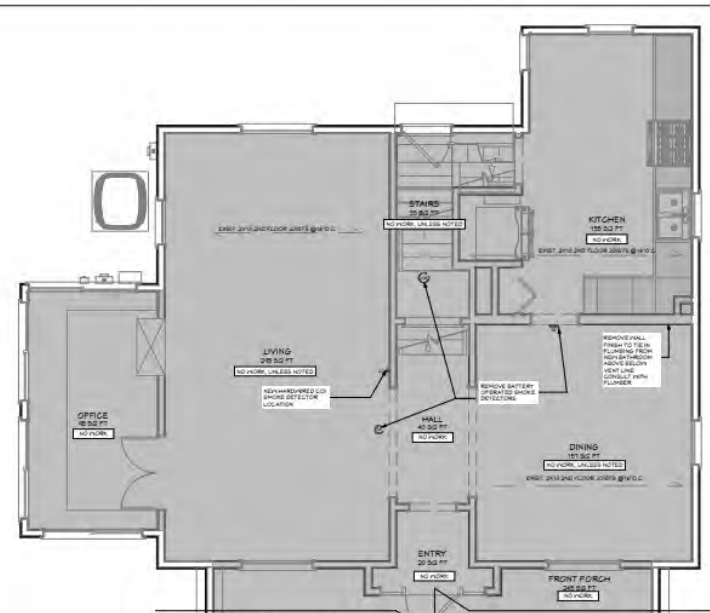
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2150 Arthur Ave.
Lakewood, OH 44107

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SHEET NO
A-2



EXIDEMO FOUNDATION PLAN
1/4" = 1'-0"

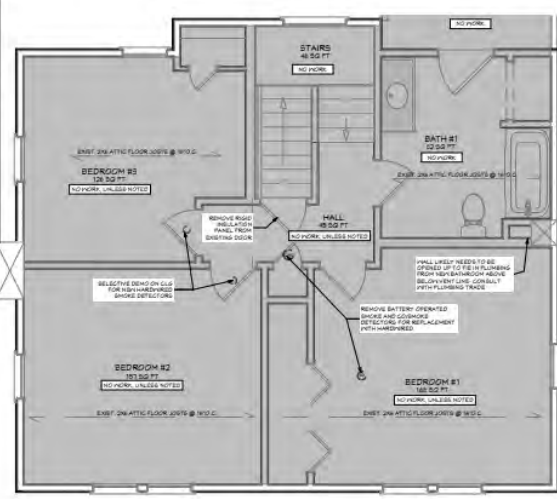


EXIDEMO 1ST FL PLAN
1/4" = 1'-0"

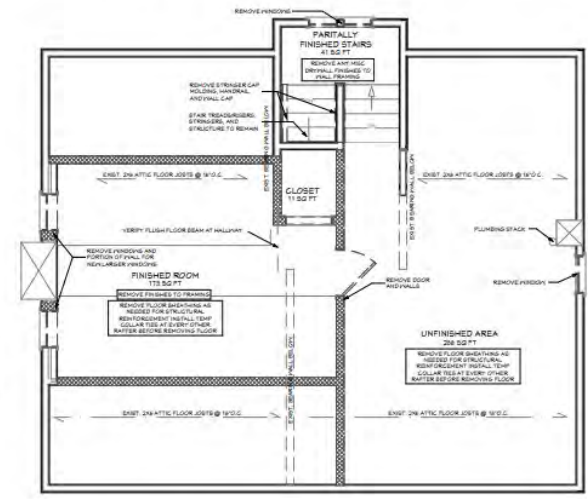
- General Notes: Demolition**
1. SALVAGE MATERIALS WHEN POSSIBLE. DONATE TO HABITAT FOR HUMANITY OR OTHER ORGANIZATION.
 2. EXISTING ROOFING, SOLAR PANELS, SIDING, BRICK, SOFFITS, DOOR/SWINDOWS TO REMAIN UNLESS OTHERWISE NOTED. ONLY REMOVE PORTIONS OF SIDING AS NEEDED FOR TIE-IN OF NEW WINDOWS. AS NOTED ON PLAN.
 3. EXISTING INTERIOR DOOR AND HARDWARE TO REMAIN AT BASE OF STAIRS. REMOVE INSULATION BOARD FROM IT.
 4. SAVE ALL STRINGERS, TREADS AND RISERS ON STAIRS (FROM 2ND TO 3RD FLOORS). REMOVE RAILING, STRINGER HOLDING, AND WALL CAP.
 5. ALL WIRING, DEVICES, AND LIGHTING TO BE REMOVED ON 3RD FLOOR (ATTIC). ALL OTHER ELECTRICAL TO REMAIN ON OTHER FLOORS UNLESS NOTED.

WALL LEGEND

	Object to be demolished
	Part to be demolished
	Existing interior wall to remain
	Existing exterior wall to remain
	New 2nd interior wall
	New 2nd exterior wall
	Existing foundation wall w/ brick to remain
	New CMU foundation w/ brick veneer
	Existing poured concrete foundation wall
	New poured concrete foundation wall
	New threshold



EXIDEMO 2ND FL PLAN
1/4" = 1'-0"



EXIDEMO 3RD FL (ATTIC) PLAN
1/4" = 1'-0"



Docket No. 10-92-25 (2150 Arthur)

Job #	Print Date	
6624.T2	01/19/2025	
Design Info		
Design Phase	DR	Date
detail	1.1	3.13.25
Designer	BD	
Revision	#	Date
Client Initials	S A B	

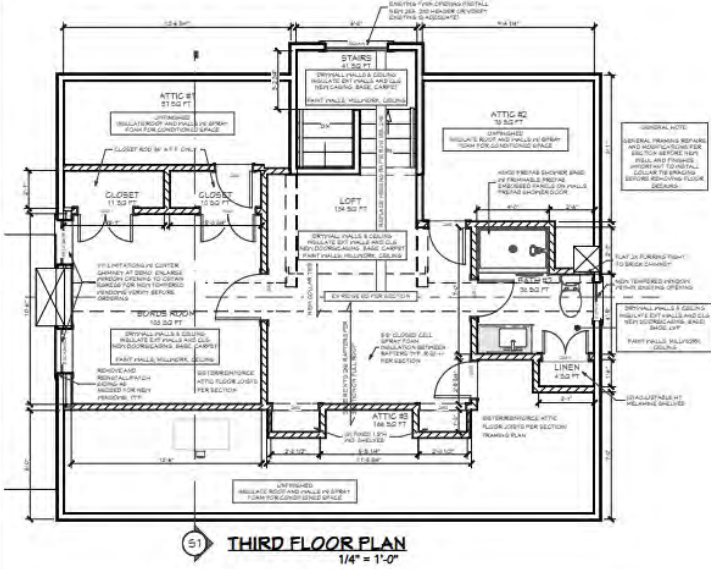
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Hurst
REMODELING

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Lakewood, OH 44110

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A-3

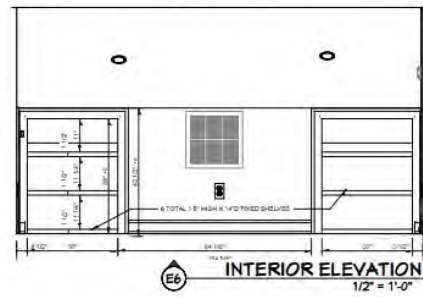
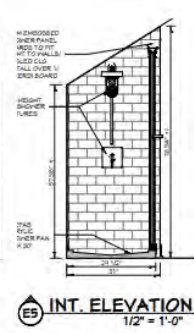
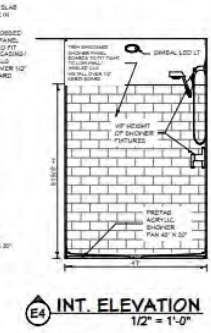
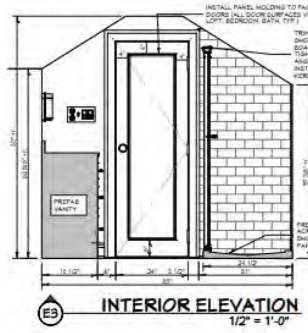
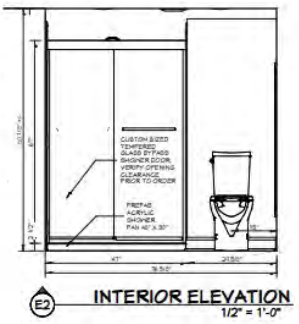
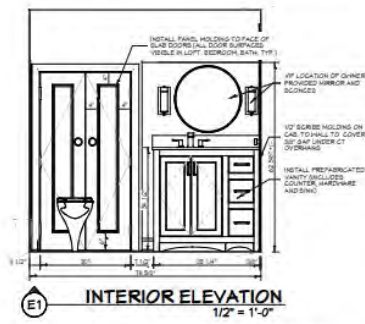
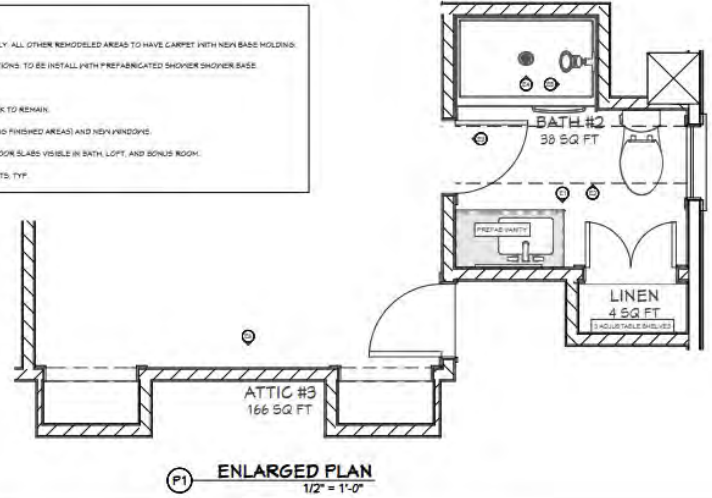


- Framing Notes:**
- FRAME FOR NEW WINDOWS, DOORS, AND HEADERS AS NOTED ON PLANS.
 - FRAMING FOR NEW WALLS AS NOTED ON PLANS.
 - PROVIDE GENERAL FRAMING REPAIRS AND MODIFICATIONS FOR GENERAL SAFETY BEFORE NEW INSULATION AND FINISHES.
 - PROVIDE ALL NECESSARY BLOCKING BEHIND WALL MOUNTED ACCESSORIES, AND SHOWER DOORS.

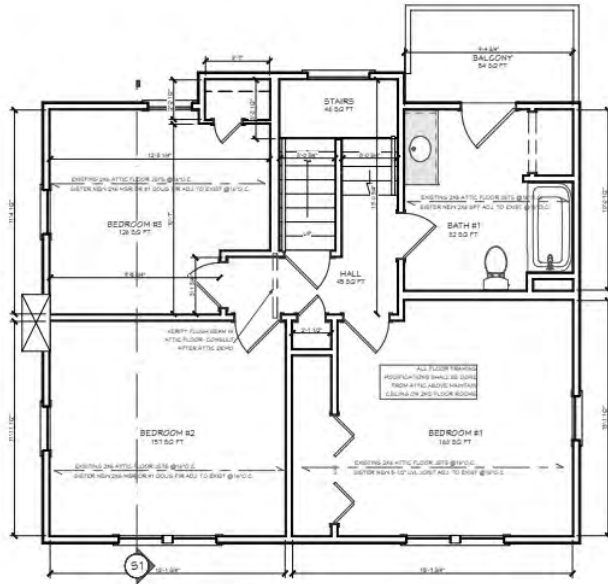
- Finish Notes:**
- NEW LVP FLOORING WITH NEW BASE AND SHOE HOLDING IN THE BATH ONLY. ALL OTHER REMODELED AREAS TO HAVE CARPET WITH NEW BASE HOLDING.
 - NEW VENEERED SHOWER WALL BOARDS ON SHOWER WALLS. PER ELEVATIONS TO BE INSTALLED WITH PREFABRICATED SHOWER SHOWER BASE.
 - INSTALL VANITY CABINET PER ELEVATIONS.
 - NEW MILLWORK IN REMODELED AREAS AS NOTED. NOTE SELECT MILLWORK TO MATCH.
 - INSTALL NEW 2 P.C CASING HOLDING AROUND ALL INTERIOR DOORS (FACING FINISHED AREAS) AND NEW WINDOWS.
 - APPLY NEW PICTURE FRAMED HOLDING ON INTERIOR DOORS ON FLUSH DOOR SLABS VISIBLE IN BATH, LOFT, AND BONUS ROOM.
 - TRIM DOWN HT OF SLOPE CORE SLAB DOORS AS NEEDED FOR WALL HEIGHTS. TYP.

WALL LEGEND

	Object to be demolished
	Wall to be demolished
	Existing interior wall to remain
	Existing exterior wall to remain
	New 2x4 interior wall
	New 2x4 exterior wall
	Existing foundation/wall to brick to remain
	New CMU foundation (if final version)
	Existing poured concrete foundation wall
	New poured concrete foundation wall
	New threshold



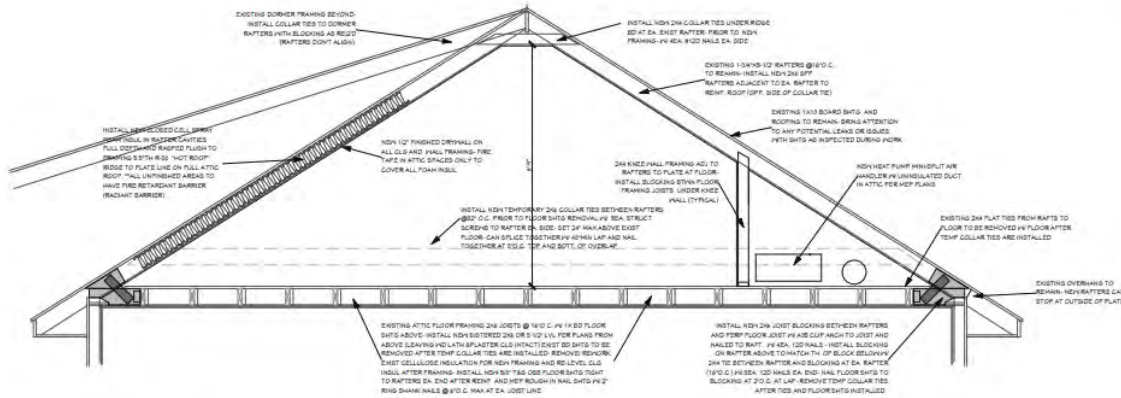
Docket No. 10-92-25 (2150 Arthur)



2ND FLOOR/ATTIC FRAMING PLAN
1/4" = 1'-0"



GIS SITE PLAN
NO SCALE



ATTIC FRAMING SECTION
1/2" = 1'-0"

WALL LEGEND	
	Object to be demolished
	Wall to be demolished
	Existing interior wall to remain
	Existing exterior wall to remain
	New 2x4 interior wall
	New 2x4 exterior wall
	Existing foundation wall to remain
	New CMU foundation wall, veneer
	Existing poured concrete foundation wall
	New poured concrete foundation wall
	New handrail

Job #	Print Date
2629-T2	6/14/2025
Design Info	
Design Phase	Dr Date
detail	1.1 6/13/25
Designer	BD
Revision	# Date
	# 6/14
Client	Initials

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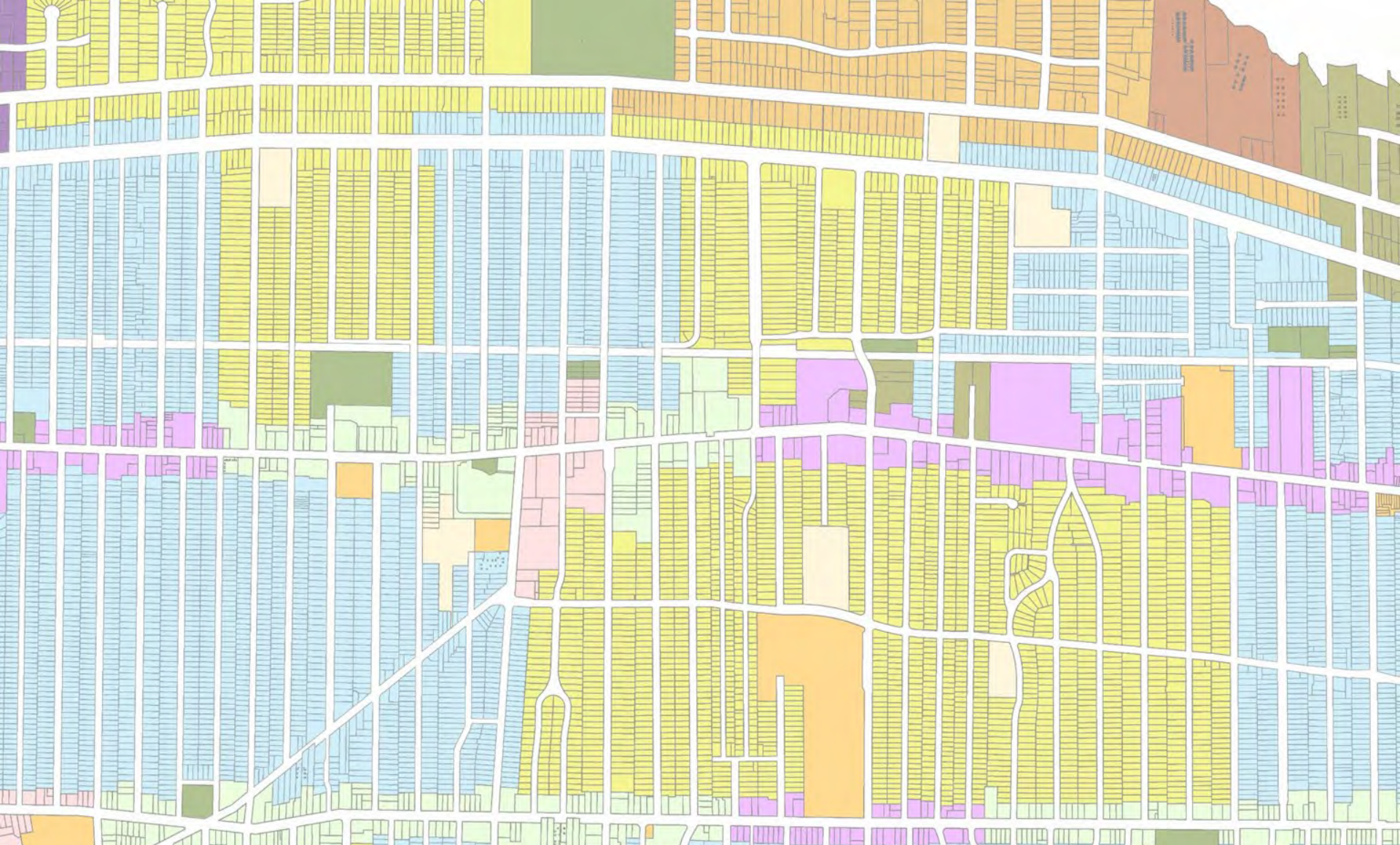
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SHEET NO.
A-4



Docket No. 10-92-25 (2150 Arthur)



Architectural Board of Review

October 2025