

**MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
OCTOBER 12, 2023
5:30 P.M.
RECORDED
<https://www.lakewoodoh.gov/videos-2/>**

1. ROLL CALL

Board Members

Chris Egervary
Brian Grambort, Vice Chair
David Maniet, Chair
Hanna Cohan Plessner
Jeremy Smith

Staff

Amanda Cramer, Board Secretary, City Planner
Sophia Jones, City Planner
William Wagner, Assistant Building Commissioner

2. APPROVE THE MINUTES OF THE SEPTEMBER 14, 2023 MEETING

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the September 14, 2023 minutes**. All the members voted yea; the motion passed.

3. OPENING REMARKS

Staff read the Opening Remarks into the record.

SIGN REVIEW

At the October 5, 2023 pre-review meeting, Docket No. 10-82-23 was Summary Approved (any conditions will be noted). A motion and a second are needed for approval.

4. Docket No. 10-82-23

**1616 W. 117th St.
Fifth Third Bank**

- () Approve
- () Deny
- () Defer

Laura Higgins-Woyma
Brilliant Electric Sign Co.
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes the refacing of an existing monument sign. (Page 72)

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with no conditions**. All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

5. Docket No. 09-73-23 (C)

**16205 Hilliard Rd.
The 3rd Estimate**

- () Approve
- () Deny
- () Defer

Joseph Matava
Peninsula Architects
1775 Main St.
Peninsula, OH 44264

Applicant proposes renovation of an existing building. (Page 4)

Staff received communication from the representatives that they were not ready for presentation.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **TABLE** the request. All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

6. Docket No. 10-76-23 (C)

**13741 Madison Ave.
Back Alley Social Club**

- () Approve
- () Deny
- () Defer

David Maddux
The Arcus Group Inc.
1244 Smith Ct.
Rocky River, OH 44116

Applicant proposes preliminary review of Back Alley Social Club. (Page 36)

David Maddux, The Arcus Group Inc., applicant was present to explain the request. Discussion ensued about obtaining Planning Commission approvals, the dumpster needed to be enclosed, asked if a panic/push bar would be on the front gate for egress [staff said the gate would be one of the items reviewed closely by the Division of Housing and Building ("H&B")]. The members liked the proposal. Discussion continued about the aluminum canopy, garage doors, lighting and fixtures, placement of the gate, signage would be presented later. Public comment was closed as no one addressed the item. Written communication was received prior to the meeting (made part of record). Lease agreements, egress and easements, were forthcoming, as needed.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **The dumpster enclosure fencing, as required, is submitted for administrative approval.**

All the members voted yea; the motion passed.

7. Docket No. 10-77-23 (C)

**14800 Madison Ave.
UH Urgent Care**

- () Approve
- () Deny
- () Defer

Joseph Kaye
JL Architects
115 Westtown Rd.
West Chester, PA 19382

Applicant proposes exterior renovation for damaged brick. (Page 51)

John Lister, JL Architects, representative for the applicant was present to explain the request. Discussion started about damage to the brick when removing the adhesive, use of the mineral based paint – Soldalit by Kiem (German product). The members appreciated all the effort and information provided by the applicant to remedy the situation. Staff had no comments. Public comment was closed as no one addressed the item. Written communication was received prior to the meeting (made part of record).

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following condition:**

- **The paint color is Giant Sequoia (Benjamin Moore, 2094-30).**

All the members voted yea; the motion passed.

SIGN REVIEW

8. Docket No. 10-78-23

**11912 Detroit Ave.
Cuyahoga County Progressive Caucus**

- () Approve
- () Deny
- () Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 58)

Stephen Foster, The Sign & Graphics Firm LLC, applicant was present to explain the request. Discussion commenced about the black paint on the sign board, dimensions, the text and logo. Staff had no comments. Public comment was closed as no one addressed the item. Written communication was received prior to the meeting (made part of record). There was no additional lighting.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request with the following condition:**

- **The painted black will match closely with the panel in the sign band.**

All the members voted yea; the motion passed.

9. Docket No. 10-79-23

**13306 Detroit Ave.
Cloud City Vapes**

- () Approve
- () Deny
- () Defer

Sam Baadani
Cloud City Smokes
13306 Detroit Ave.
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 61)

Staff had not heard from the applicant or received updated information.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **DEFER** the request. All the members voted yea; the motion passed.

10. Docket No. 10-80-23

**17119 Madison Ave.
Ayurveda Wellness House**

- () Approve
- () Deny
- () Defer

Shilpika Devaiah
Ayur-Shilpi Ayurveda & Wellness LLC
17119 Madison Ave.
Lakewood, OH 44107

Applicant proposes new signage in an existing ground sign. (Page 65)

Staff had not heard from the applicant or received updated information. New signage was installed already without approval of the board members. The PowerPoint photo of the new sign had been taken by staff, not the applicant. There was discussion about the process for obtaining sign approval.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **DEFER** the request. All the members voted yea; the motion passed.

11. Docket No. 10-81-23

**15000 Madison Ave.
NextHome Experts**

- () Approve
- () Deny
- () Defer

Laura Higgins-Woyma
Brilliant Electric Sign Co.
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes three new signs: ground sign, projecting sign, and front wall letters. (Page 68)

Laura Higgins-Woyma, Brilliant Electric Sign Co., applicant and Tony Apotsos, business owner were present to explain the request. Discussion ensued about colors, business signs placement on the building, the monument sign, projecting sign, dimensions, differing fonts. The members did not like the proposed monument sign as it was too large, blocked a window, did not match the building design, dimensions were lacking. Public comment was closed as no one addressed the item. Written communication was received prior to the meeting (made part of record).

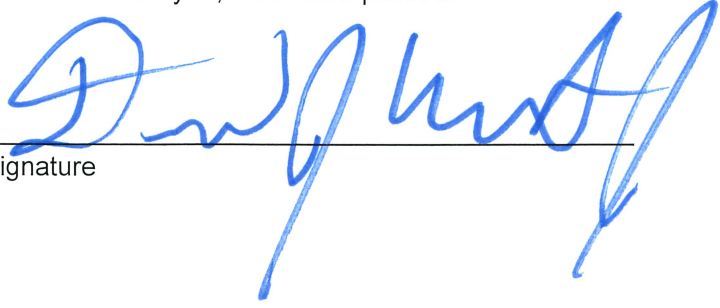
A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request with the following conditions:**

- **Sign labeled C - It is raised on the building elevation, so the logo does not fall across two materials and "EXPERTS" is slightly below.**
- **The sign elevation is either all white or orange/grey.**
- **The projecting sign on the Madison Avenue side is APPROVED as presented.**
- **The monument sign is DEFERRED.**

All the members voted yea; the motion passed.

ADJOURN

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **ADJOURN the meeting at 8:42 p.m.** All the members voted yea; the motion passed.



Signature

11-9-2023

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. David Madany
- 2. JOHN WITEN
- 3. STEVE FOSTER
- 4. Laura Higgins Wama
- 5. Tony Apotsos
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____

- [Signature]
- [Signature]
- [Signature]
- [Signature]
- [Signature]
- _____
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- _____
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- _____
- _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, October 12, 2023

page 1 of 1

Johanna Schwarz

From: Brian Meng <bmeng@bialosky.com>
Sent: Wednesday, September 13, 2023 11:19 PM
To: Amanda L. Cramer; David Baas; Johanna Schwarz
Cc: Ian Andrews; amyjhaney@gmail.com
Subject: FW: Agenda - BBS/ABR/Sign Review

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dave and Amanda,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood ABR agenda for the 9/14/2023 meeting.

1. Lake Ave Townhomes:
 1. Exciting use on this for this property.
 2. Units 8, 9, and 10 face (directly in front of) the adjacent properties surface parking lot. We wonder about the hospitability of this condition for the future TH owners.
 3. We'd be curious to see the color palette they are proposing.
 4. It looks like they will be looking for a few variances based on setbacks.

2. The 3rd Estimate:
 1. We are glad to see a use going into the old equipment rental space.
 2. We'd be concerned with the two head in parking spaces they show off of Hilliard to have adequate line of site, even though it mimics the existing condition.
 3. The 4 head in parking spaces on Northland look like they will cover the sidewalk.

3. Dollar General:
 1. We suggest and recommend that Dollar General consider white lettering in lieu of yellow, similar to what they implemented on their building on the west end of Lakewood between Andrews/Elmwood and Mars.

4. Black Market Meats:
 1. We like the blade sign and would encourage to also implement window signage.

We truly appreciate the opportunity to share our thoughts with you on these applications. If you have any questions on our comments, please let us know and we would be happy to discuss further. It is exciting to see so many developments occurring in Lakewood.

Thank you,

BRIAN MENG LEED AP
Associate Principal | Architect

BIALOSKY CLEVELAND
Celebrating 70 Years | 1951-2021

P 216 767 2023

[Always By Design.](#)

From: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.net>
Sent: Wednesday, September 6, 2023 8:21 AM
To: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.net>
Subject: Agenda - BBS/ABR/Sign Review

Good morning,

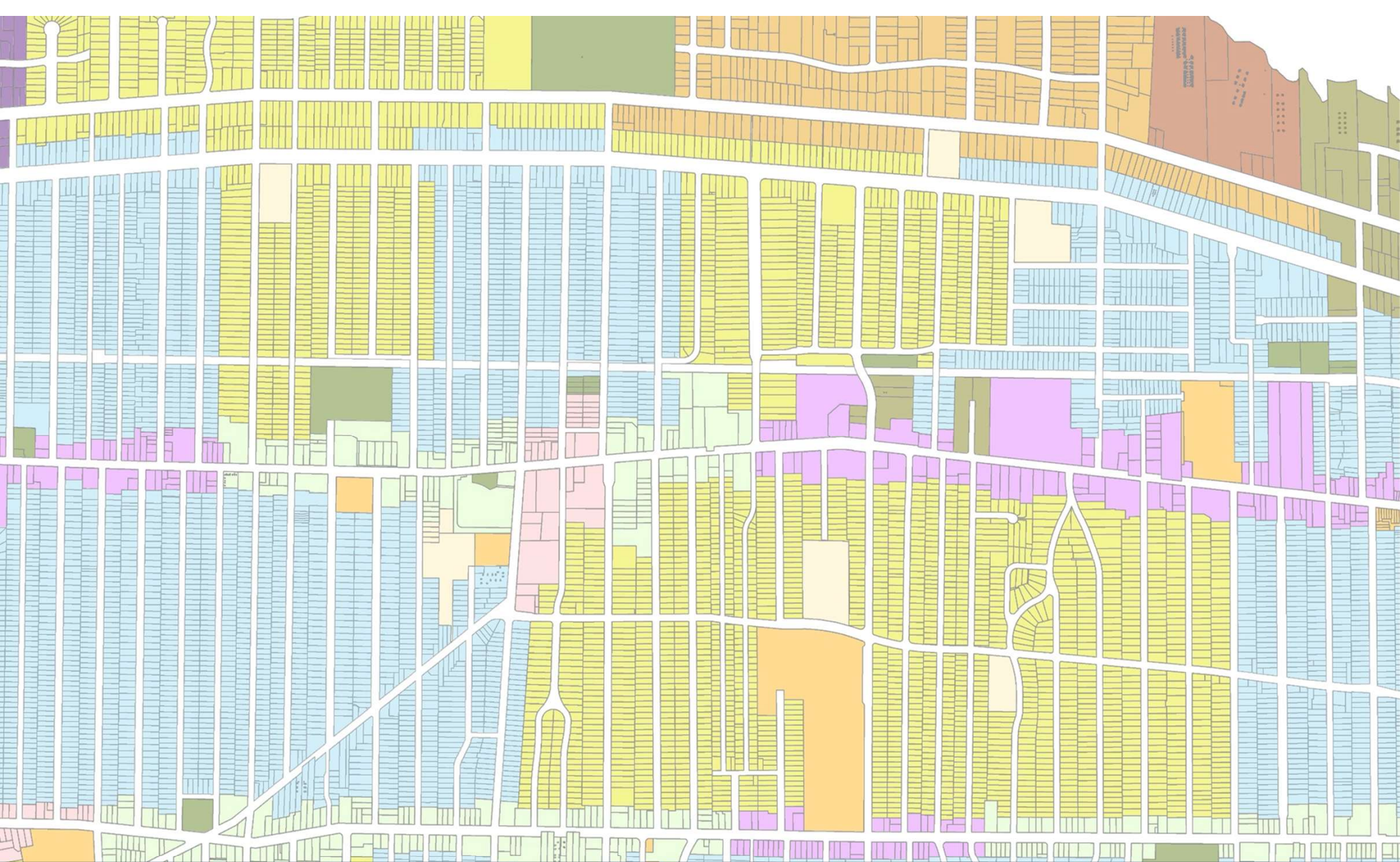
Please click on the link to view the September 13, 2023 BBS/ABR/Sign Review meeting. The pre-review meeting will be held Thursday, September 7, 2023 in the East Conference Room at **5:00 p.m.**

https://www.lakewoodoh.gov/wp-content/uploads/2023/09/BBSARBAgenda_091423.pdf

Thank you.

Johanna Schwarz

Administrative Assistant II
Department of Planning and Development
City of Lakewood
12650 Detroit Avenue
Lakewood, Ohio 44107
216-529-6631
216-529-5907 fax



Architectural Board of Review

October 2023



Architectural Board of Review

Pre-Review Meeting: 5 Oct, 4 pm (East Conf Rm)

Regular Meeting: 12 Oct, 5:30 pm (Auditorium)

Members

David Maniet (2023 Chair)

Brian Grambort (2023 Vice Chair)

Jeremy Smith

Hanna Cohan Plessner

Chris Egervary

Staff

Board Secretary: Amanda Cramer

Building Commissioner: Chris Parmelee



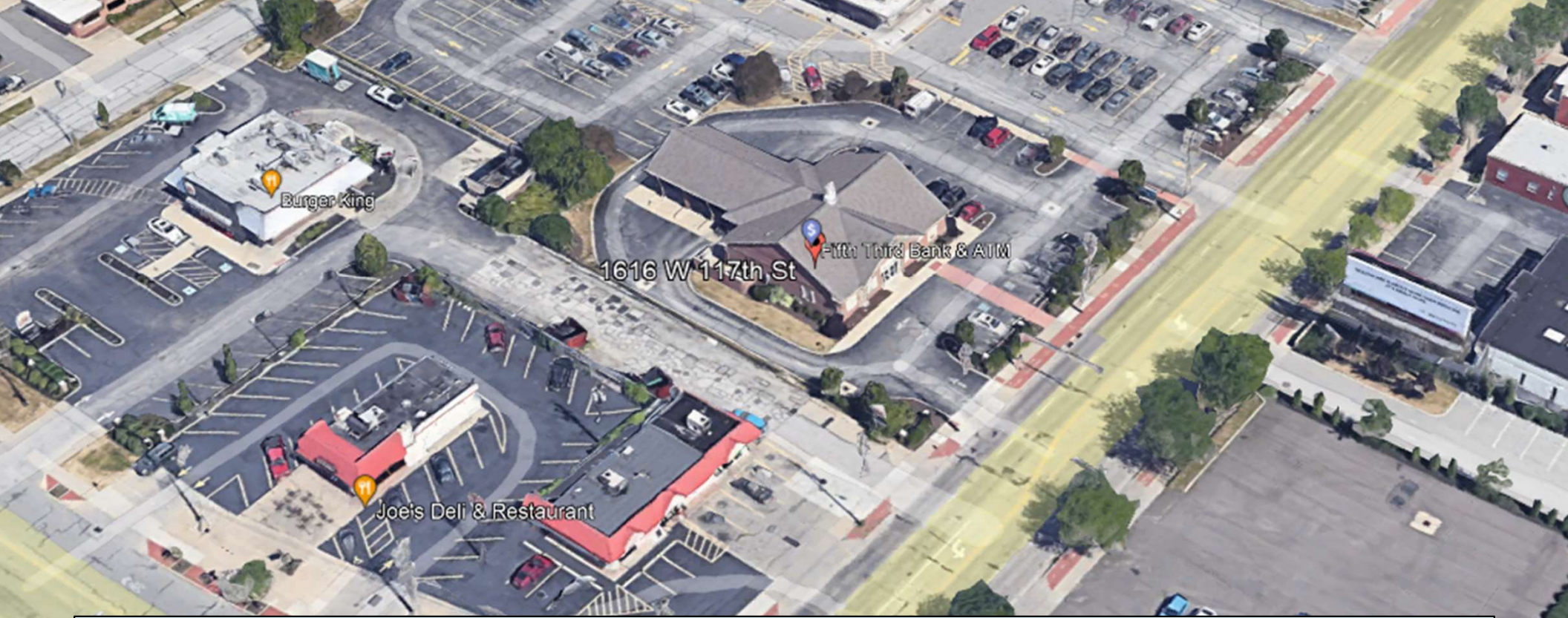
Architectural Board of Review
October Agenda

1. Roll call
2. Approve minutes – September 2023 meeting
3. Opening Remarks
4. Old Business
5. New Business
6. Sign Review
7. Adjourn

Applicant proposes the refacing of an existing monument sign.

City Notes:

- ❑ Building frontage = 100ft, maximum square footage is 100 sq ft
- ❑ Proposal includes replacing 2 panels on 1 existing internally illuminated ground sign (32 sq ft)



Summary Approval – No Conditions



Docket No. 10-82-23 (1616 W. 117th)
Sign – Fifth Third Bank
Laura Higgins-Woyma

EXISTING



Docket No. 10-82-23 (1616 W. 117th)
Signage – Higgins-Woyma Fifth Third Bank



PROPOSED



PHOTO RENDERING NTS



Docket No. 10-82-23 (1616 W. 117th)
Signage – Higgins-Woyma Fifth Third Bank



NOTES:

A - Two (2) digitally-printed flexible replacement faces for existing double-face, internally illuminated ground sign.

Faces to be 3M Panagraphics III, flexible substrate digitally printed with translucent inks, with UV overlaminate.

Background to be blue to match PMS #7685C with copy reversed-out, white.

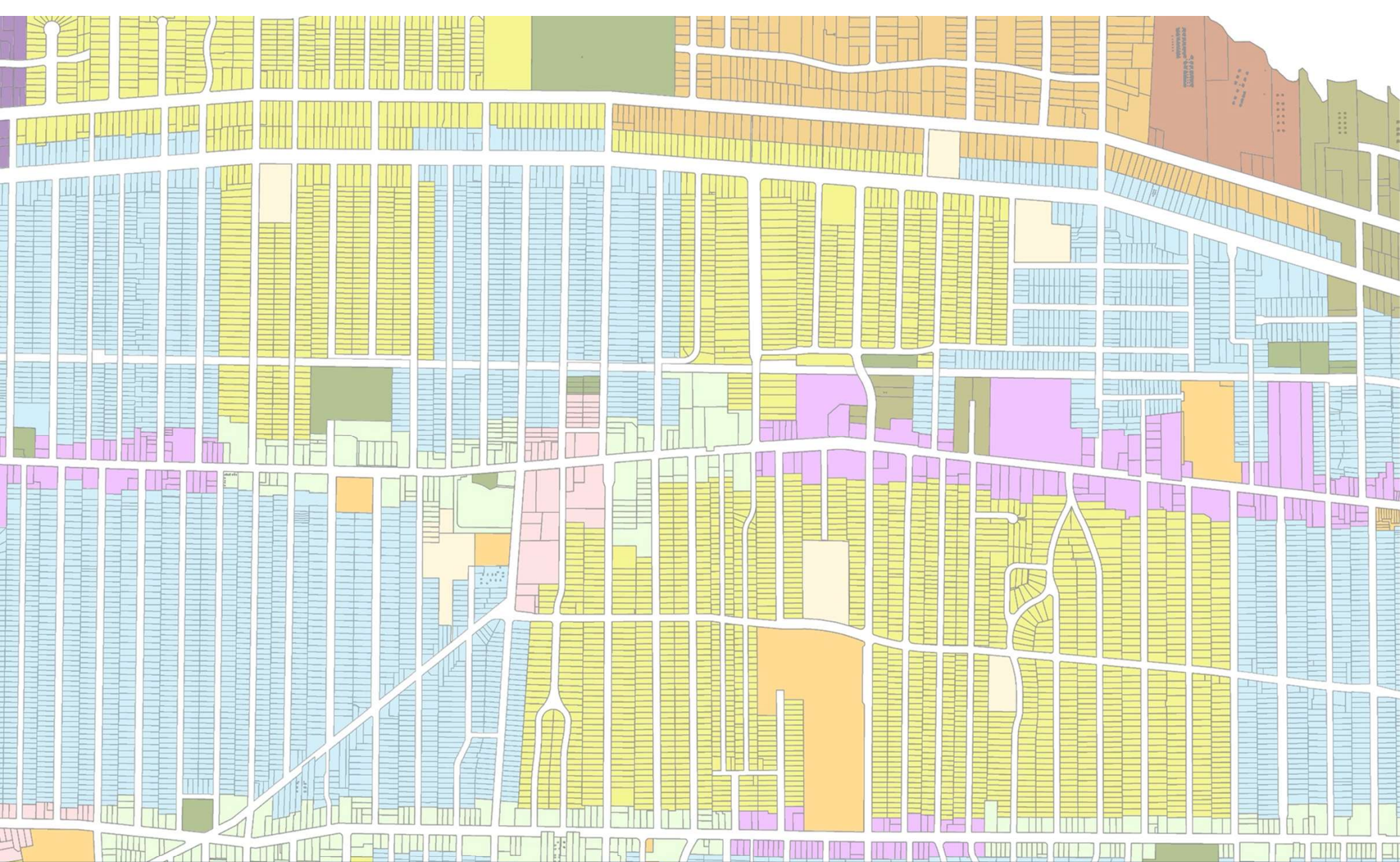
Shield border to be green PMS #3405C.

B - Re-lamp existing cabinet with LED sticks.



Docket No. 10-82-23 (1616 W. 117th)

Signage – Higgins-Woyma Fifth Third Bank



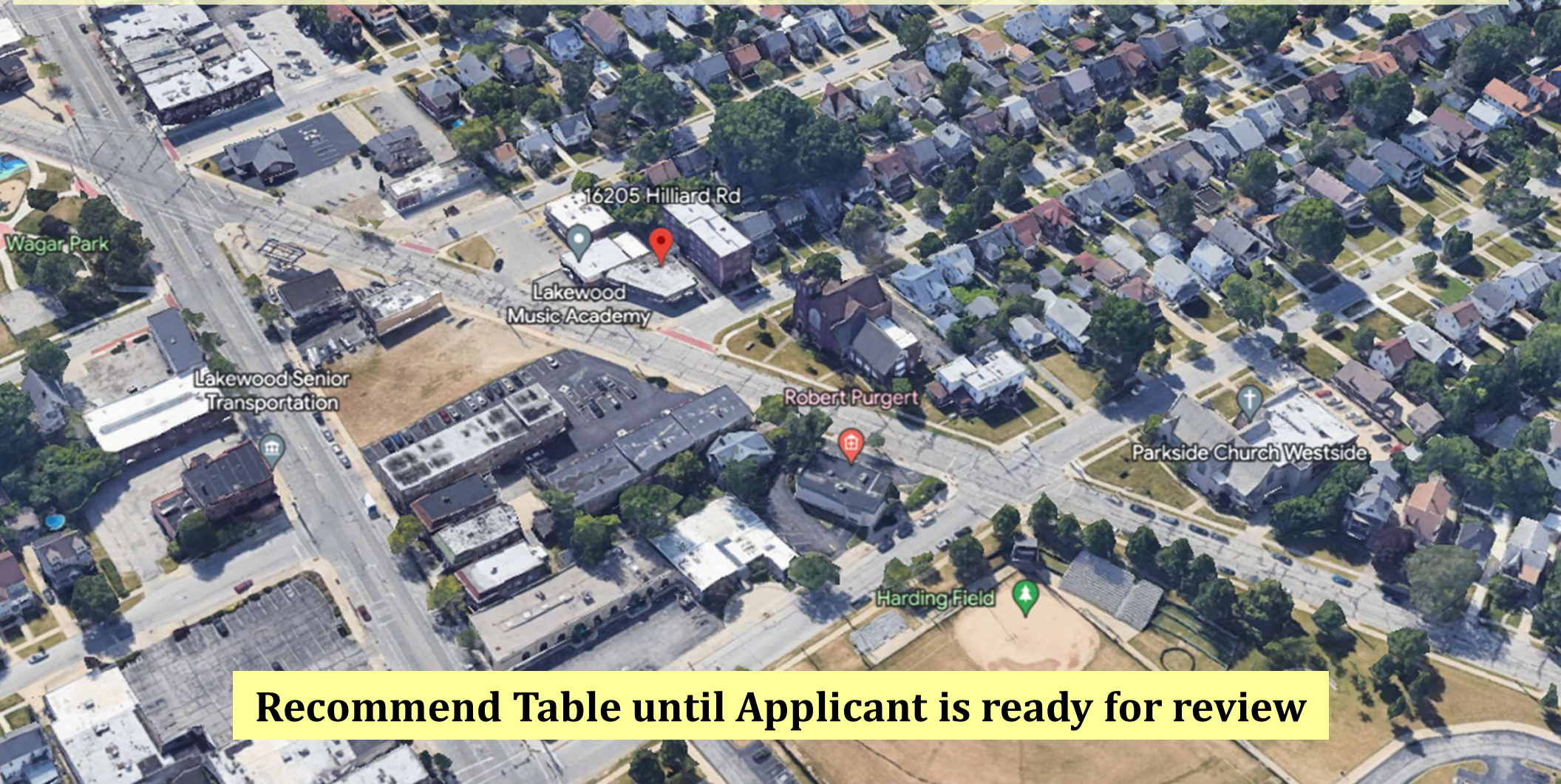
Architectural Board of Review

Old Business – October 2023

Applicant proposes renovation of an existing building.

City Notes:

- Applicant proposing treatment of existing masonry.



Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building
Joseph Matava

CITY OF LAKEWOOD

STANDARDS FOR PAINTING OR COVERING OF MASONRY SURFACES

The following standards shall be met for the painting of any masonry surface:

1. Painting, staining, or covering, such as but not limited to stucco, of previously unpainted or uncovered masonry surfaces is not supported or recommended. There are several reasons for the basis of this recommendation and generally include:

- a. Painting masonry results in regular, costly maintenance whereas natural masonry is low in maintenance work and cost;
- b. Painting masonry can result in moisture being trapped in the wall system causing unintended damage to the masonry itself and the building;
- c. For historic buildings or those located in a historic district, painting of masonry is not recommended by the Secretary of Interior's Standards for Historic Rehabilitation and such action may result in the loss of the historic designation of the building or district – including possibly preventing a building or district from being nominated; and
- d. There are other alternatives to the painting of masonry.

2. However, in the event such painting, staining, or covering is found to be necessary, at a minimum:

- a. The application of such paint, stain, or covering must use a system compatible with the surface on which it is being applied. A mineral paint system is preferred.
- b. The paint, stain, or covering must be durable, easy to apply and have good adhesive characteristics.
- c. The paint, stain, or covering must be porous, thereby permitting the wall to breathe and preventing the trapping of free moisture behind the paint or stain film or covering,
- d. All manufacturer and industry standard specifications must be followed.
- e. A maintenance plan must be provided and developed in accordance with manufacturer and industry standards and strictly implemented.

3. Clear / Transparent and porous waterproofing in a matte or flat finish allowing the wall to breathe is permissible with the application of a system compatible with the surface on which it is being applied. All manufacturer and industry standard specifications must be followed.



Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building



Docket No. 09-73-23 (16205 Hilliard)
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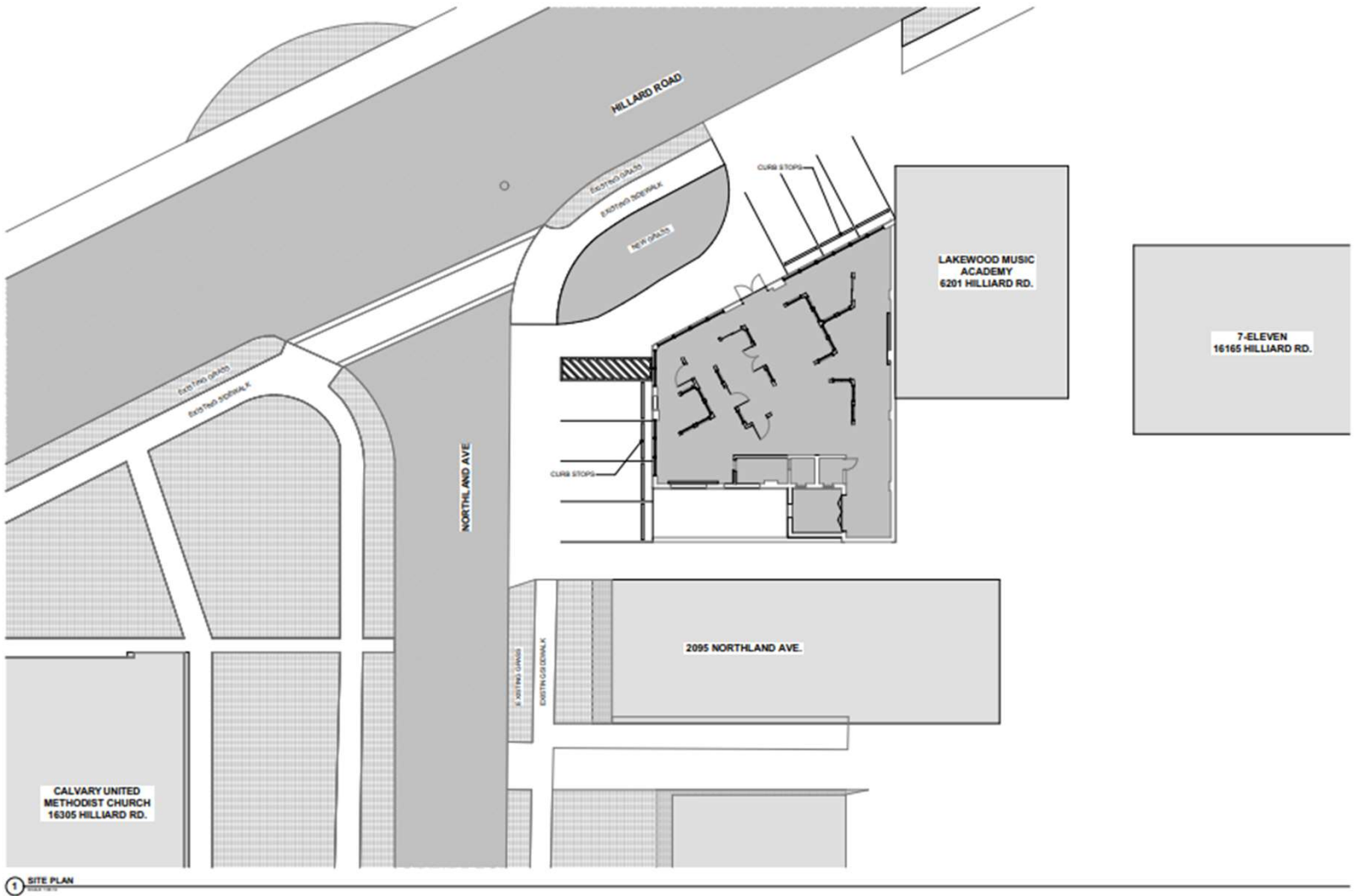
Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building



VEHICLES NOT AUTHORIZED
PARK ON THIS PROPERTY AND
PARKED IN VIOLATION OF RULES
REGULATIONS, WILL BE TOWED. YOU
WILL BE TAKEN TO AND CAN BE
RECOVERED FROM:
KUFNER TOWING
15310 BROOKPARK RD. CLEVELAND,
529-3320
VEHICLES CAN BE RECOVERED UPON
PROOF OF OWNERSHIP & PAYMENT
TOW: \$70 AUTO, \$100 TRUCKS.
STORAGE: \$8 AUTO, \$12 TRUCKS PER
DAY. (MINIMUM 24HR. STORAGE)



Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building



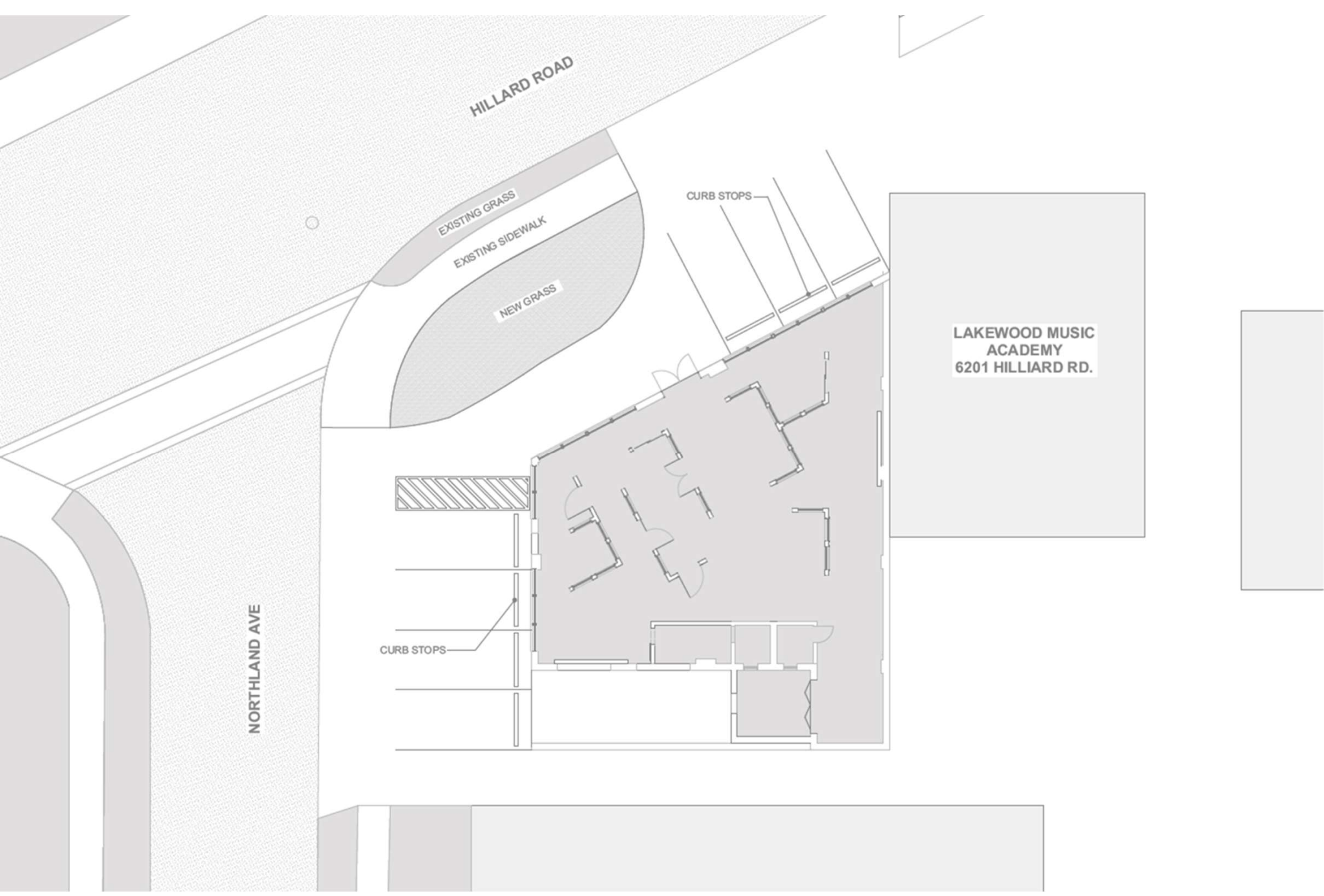
1 SITE PLAN

MATERIALS LEGEND			
	DIMENSIONAL LUMBER		GRAVEL
	PLYWOOD		CONCRETE
	FINISH WOOD		CONCRETE BLOCK
	GYPSUM BOARD		STEEL
	BRICK		RIGID INSULATION
	EARTH		SPRAY FOAM INSULATION
	STONE VENEER		MINERAL WOOL INSULATION
	BLOCKING		METAL DECK



Docket No. 09-73-23 (16205 Hilliard)

Renovation of Existing Building



Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building



NORTHLAND AVE

HILLIARD ROAD

EXISTING GRASS
EXISTING SIDEWALK
NEW GRASS

CURB STOPS

CURB STOPS

LAKEWOOD MUSIC
ACADEMY
6201 HILLIARD RD.



Docket No. 09-73-23 (16205 Hilliard)

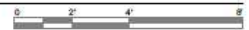
Renovation of Existing Building

FINISH LEGEND

ID	ROOM NAME	APPLICATION	NOTES	APPROVED
C-01	SHOWROOM	CONCRETE FLOOR	KEEP EXISTING - CLEAR EPOXY	NO
P-01	SHOWROOM	SLAT WALL PAINT - LIGHT	5/8" A.C. PLYWOOD	NO
P-02	EXTERIOR	BRICK PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A89-SERIES	NO
P-03	SHOWROOM	CEILING PAINT		NO
P-04	EXTERIOR	SANDSTONE SILL PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A89-SERIES	NO
PR-01	EXTERIOR	EXTERIOR PRIMER	INSL-X STIX WATERBORNE PRIMER SXA-110	--
WD-01	SHOWROOM	SLAT WALL STAIN - DARK	#2 PINE	NO
WD-02	SHOWROOM	FURNITURE SURROUND STAIN - MEDIUM	#2 PINE	NO



3 EXTERIOR ELEVATION - FRONT
SCALE: 1/4" = 1'-0"

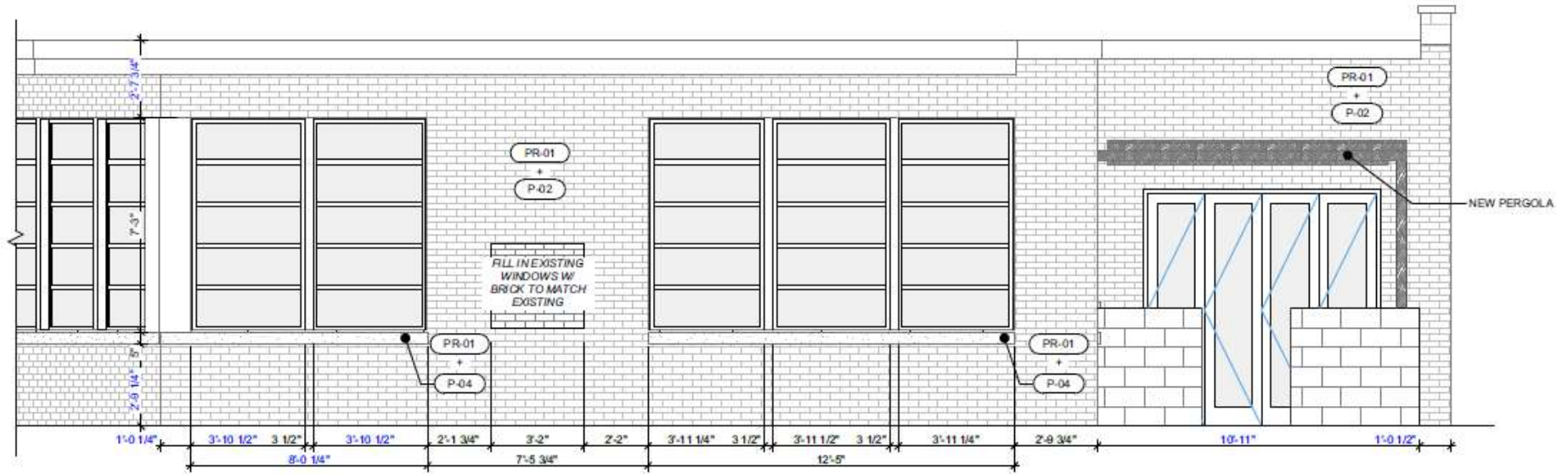


Docket No. 09-73-23 (16205 Hilliard)

Renovation of Existing Building

FINISH LEGEND

ID	ROOM NAME	APPLICATION	NOTES	APPROVED
C-01	SHOWROOM	CONCRETE FLOOR	KEEP EXISTING - CLEAR EPOXY	NO
P-01	SHOWROOM	SLAT WALL PAINT - LIGHT	5/8" A.C. PLYWOOD	NO
P-02	EXTERIOR	BRICK PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A89-SERIES	NO
P-03	SHOWROOM	CEILING PAINT		NO
P-04	EXTERIOR	SANDSTONE SILL PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A89-SERIES	NO
PR-01	EXTERIOR	EXTERIOR PRIMER	INSL-X STIX WATERBORNE PRIMER SXA-110	--
WD-01	SHOWROOM	SLAT WALL STAIN - DARK	#2 PINE	NO
WD-02	SHOWROOM	FURNITURE SURROUND STAIN - MEDIUM	#2 PINE	NO



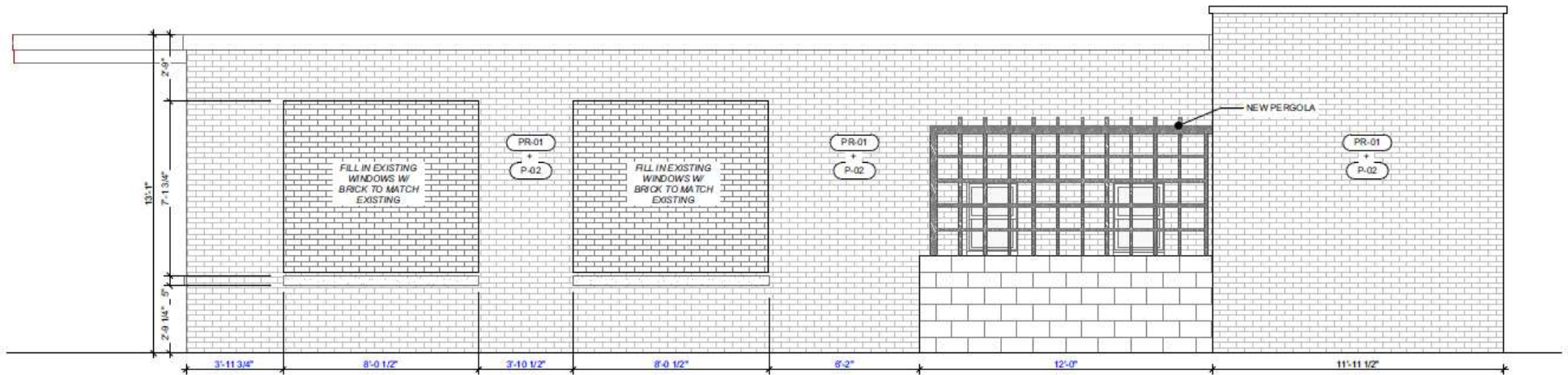
2 EXTERIOR ELEVATION - SIDE
SCALE: 1/4" = 1'-0"



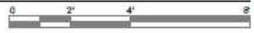
Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building

FINISH LEGEND

ID	ROOM NAME	APPLICATION	NOTES	APPROVED
C-01	SHOWROOM	CONCRETE FLOOR	KEEP EXISTING - CLEAR EPOXY	NO
P-01	SHOWROOM	SLAT WALL PAINT - LIGHT	5/8" A.C. PLYWOOD	NO
P-02	EXTERIOR	BRICK PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A89-SERIES	NO
P-03	SHOWROOM	CEILING PAINT		NO
P-04	EXTERIOR	SANDSTONE SILL PAINT	SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX STAIN A89-SERIES	NO
PR-01	EXTERIOR	EXTERIOR PRIMER	INSL-X STIX WATERBORNE PRIMER SXA-110	--
WD-01	SHOWROOM	SLAT WALL STAIN - DARK	#2 PINE	NO
WD-02	SHOWROOM	FURNITURE SURROUND STAIN - MEDIUM	#2 PINE	NO



1 EXTERIOR ELEVATION - REAR
SCALE: 1/4" = 1'-0"



Docket No. 09-73-23 (16205 Hilliard)

Renovation of Existing Building



Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building



Docket No. 09-73-23 (16205 Hilliard)
Renovation of Existing Building



STIX® WATERBORNE BONDING PRIMER SXA-110

THE 3RD ESTIMATE
EXTERIOR PRIMER

Features

- Strongly Bonds to Glossy Surfaces
- Excellent Holdout
- Unparalleled Adhesion to the Most Challenging Surfaces.
- Soap & Water Clean-up
- Cures as low as 35 °F (1.7 °C)

Recommended For

Interior and Exterior surfaces. Drywall, Plaster, Ceiling, Acoustical Tile, Wood Trim & Doors, Formica, Ceramic Tiles, Glossy Surfaces, PVC Plastic, Masonry Walls, Wood, Trim, Shutters, Masonry, Stucco, Concrete, Cement Block, Galvanized Metal, Aluminum, etc.

General Description

Stix® Waterborne Bonding Primer is a premium quality, waterborne, acrylic urethane primer/sealer with unparalleled adhesion to the most challenging surfaces, including PVC, Vinyl, Plastic, Glass, Tile, Glazed Block, Glossy Paints, Pre-Coated Siding, Fiberglass, and Galvanized Metals. Stix is also ideal for use on plaster, drywall, wood, and non-ferrous metals, where a low ambient or surface temperature would present a problem for conventional primers. Offers an extremely hard film when cured. Use it on interior and exterior surfaces and topcoat with almost any type of coating including Alkyd, Acrylic Latex, Urethane, Epoxy, and Lacquer Finishes. Stix levels to a smooth surface and cleans up with soap and water.

Limitations

- Apply when air and surface temperatures are above 35 °F
- Do not apply in direct sunlight or on a hot surface. Avoid rain, moisture or high humidity for the first 24 hours of curing
- Not intended for immersion service or continuous water contact. Not for below grade applications
- Not recommended for use over polyethylene or polypropylene. Stix® must be top coated for exterior use
- Not recommended over Kynar® (and similar finishes) unless tested and approved by the buyer
- Not recommended as a whole house exterior primer over wood

Product Information

Colors — Standard:

SXA-110, White

— Tint Bases:

N/A

Can be Tinted With a Maximum of 2 oz. Universal Colorant per gallon

— Special Colors:

Contact your dealer.

Certifications & Qualifications:

VOC compliant in all regulated areas

All products supported by this data sheet contain a maximum of 100 grams per liter VOC/VOS (.83 lbs. /gal.) excluding water & exempt solvents.

Qualifies for LEED® v4 Credit

Qualifies for CHPS low emitting credit (Collaborative for High Performance Schools)

CDPH v1 Emission Certified

Technical Assistance:

Available through your local authorized independent Insl-x dealer. For the location of the dealer nearest you, call 1-866-708-9180 or see www.insl-x.com

Technical Data

Technical Data		White
Vehicle Type	Urethane Modified Acrylic	
Pigment Type	Titanium Dioxide	
Volume Solids	40.0 ± 1.0%	
Coverage per Gallon at Recommended Film Thickness	300 – 400 Sq. Ft.	
Recommended Film Thickness	– Wet	4.0 - 5.5 mils
	– Dry	1.6 - 2.2 mils
Depending on surface texture and porosity. Be sure to estimate the right amount of paint for the job. This will ensure color uniformity and minimize the disposal of excess paint.		
Dry Time @ 77 °F (25 °C) @ 50% RH	– Tack Free	30 Minutes
	– To Recoat	3 – 4 Hours
	– Full Cure	3 – 4 Days
High humidity and cool temperatures will result in longer dry, recoat and service times.		
Dries By	Coalescence	
Viscosity	70 – 80 KU	
Flash Point	200 °F or greater (TT-P-141, Method 4293)	
Gloss / Sheen	Flat	
Surface Temperature at Application	– Min.	35 °F
	– Max.	90 °F
Thin With	Do not thin	
Clean Up Thinner	Warm, Soapy Water	
Weight Per Gallon	11.0 lbs.	
Storage Temperature	– Min.	45 °F
	– Max.	95 °F
Volatile Organic Compounds (VOC)		
87.6 grams/liter .73 lbs./gallon		

Reported values are for White. Contact dealer for values of other bases or colors.

Stix® Waterborne Bonding Primer SXA-110

Surface Preparation

General – All surface areas to be painted should be clean, dry, sound and free of all dirt, grease, oils, waxes, mildew and any other surface contaminants that can cause paint failure. Dirt and chalk should be thoroughly removed by scrubbing with warm soapy water. Surface wax should be removed with a commercial wax stripper. Grease residue should be removed with a grease and oil emulsifier. Remove all loose chipping, cracking and peeling from previously painted surfaces by hand scraping, sanding, wire brushing and/or by use of power tool cleaning methods such as electric sanders, grinders, etc. Remove any loose rust, mill scale, rust deposits from metal surfaces by hand or power tool cleaning according to SSPC Standards. Repair/replace any seriously damaged and/or delaminated surface areas. Use over most glossy surfaces without sanding.

Mildew – Surface areas affected by mildew should be thoroughly hand scrubbed with a soft to medium bristle scrub brush and a solution of one cup Tri-Sodium Phosphate or a nonammoniated detergent cleaner mixed with one-part household bleach* and three parts warm water, per gallon solution. Allow solution to stand on the affected surface areas for approximately 10 – 20 minutes, then rinse thoroughly with clean water and allow 24 – 48 hours to dry.

*Follow bleach manufacturer's instructions for safe handling and use of bleach solution.

SPECIAL NOTE ON SURFACE PREPARATION:

Glossy Surfaces – Although Stix® is formulated to be applied to hard to coat surfaces without the need for sanding, it is recommended that proper surface preparation still be completed to enhance adhesion properties. Surfaces such as Formica, ceramic tile and glossy painted surfaces should be properly deglossed. Once applied, allow Stix® to cure for approximately 3 to 4 days to achieve maximum resistance to scrape off. However, Stix® may be topcoated with a quality latex or oil-based finish within 3 to 4 hours, depending on overall drying conditions.

WARNING! If you scrape, sand or remove old paint, you may release lead dust. **LEAD IS TOXIC. EXPOSURE TO LEAD DUST CAN CAUSE SERIOUS ILLNESS, SUCH AS BRAIN DAMAGE, ESPECIALLY IN CHILDREN. PREGNANT WOMEN SHOULD ALSO AVOID EXPOSURE.** Wear a NIOSH-approved respirator to control lead exposure. Carefully clean up with a HEPA vacuum and a wet mop. Before you start, find out how to protect yourself and your family by contacting the National Lead Information Hotline at 1-800-424-LEAD or log on to www.epa.gov/lead

Application

Stix® may be applied by brush, roller, pad applicator, or airless spray. Use a high quality nylon brush or a ¼" – ½" synthetic nap roller cover. Do not thin. Do not apply when surface, air, or product temperature is below 35 °F. Do not paint in direct sun or on a hot surface. If possible, plan your painting to avoid rain, moisture, or high humidity for the first 24 hours of curing. Stop application a minimum of two hours before rain or dew is expected. Do not paint if surface temperature is within 5 °F of the dew point.

When top coating with two component paints, allow 24 hours dry time before painting. Always test questionable substrates such as plastics, composites, Kynars, and polyester surfaces by applying a small area for adhesion and top-coat compatibility before proceeding with the entire job.

Airless Spray: Tip range between .013 and .017. Total fluid output pressure at the tip should not be less than 2200 PSI. Preferred pressure is 2500 PSI.

Clean Up

Clean brushes, rollers and other equipment with warm, soapy water immediately after use. If dry, clean with lacquer thinner.

USE COMPLETELY OR DISPOSE OF PROPERLY. Dry empty containers may be recycled in a can recycling program. **Local disposal requirements vary; consult your sanitation department or state-designated environmental agency on disposal options.**

Environmental Health & Safety Information

WARNING!

Cancer Hazard. Contains Crystalline Silica that can cause cancer when in respirable form (spray mist or sanding dust).

Possible birth defect hazard. Contains, 2,2,4-trimethyl-1,3-pentanediol diisobutyrate, which may cause birth defects based on animal data.

Use only with adequate ventilation. Do not breathe vapors, spray mist or sanding dust. Ensure fresh air entry during application and drying. Avoid contact with eyes and prolonged or repeated contact with skin. Avoid exposure to dust and spray mist by wearing a NIOSH approved respirator during application, sanding and clean up. Follow respirator manufacturer's directions for respirator use. Close container after each use. Wash thoroughly after handling.



WARNING Cancer and Reproductive Harm—
www.P65warnings.ca.gov

FIRST AID: In case of eye contact, flush immediately with plenty of water for at least 15 minutes; for skin, wash thoroughly with soap and water. If symptoms persist, seek medical attention. If you experience difficulty breathing, leave the area to obtain fresh air. If continued difficulty is experienced, get medical attention immediately.

IN CASE OF SPILL – Absorb with inert material and dispose of as specified under "Clean Up".

**KEEP OUT OF REACH OF CHILDREN
PROTECT FROM FREEZING**

**Refer to Safety Data Sheet for
additional health and safety information.**

Manufactured by Benjamin Moore & Co. 101 Paragon Drive, Montvale, NJ 07645 Tel: 866-708-9180 Fax: 866-248-2143 www.insl-x.com M72 SXA-110 US 050119
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Docket No. 09-73-23 (16205 Hilliard) Renovation of Existing Building

102.10A

THE 3RD ESTIMATE EXTERIOR PAINT



SHERWIN WILLIAMS

SuperPaint® Exterior Latex Satin

A89-Series

CHARACTERISTICS

SuperPaint Exterior Latex, with resistance to early dirt pick up, provides outstanding performance on properly prepared aluminum and vinyl siding, wood, hardboard, masonry, cement, brick, block, stucco, and metal down to a surface and air temperature of 35°F.

VinylSafe™ paint colors allow you the freedom to choose from 100 color options, including a limited selection of darker colors formulated to resist warping or buckling when applied to a sound, stable vinyl substrate.

Color: Most Colors

Coverage: 350-400 sq. ft. per gallon @ 4 mils wet; 1.5 mils dry

Drying Time, @ 50% RH: @ 35-45°F @ 45°F + 2 hours 2 hours Recoat: 24-48 hours 4 hours

Finish: 10-20 units @ 60"

Tinting with CCE only:

Table with 3 columns: Base, oz per gallon, Strength. Rows include Extra White, Deep Base, Ultradeep Base, Light Yellow.

Extra White A89W02151 (may vary by color)

VOC (less exempt solvents): less than 50 grams per liter; 0.42 lbs. per gallon

Volume Solids: 37 ± 2% Weight Solids: 48 ± 2% Weight per Gallon: 10.06 lbs Flash Point: N/A Vehicle Type: 100% Acrylic Shelf Life: 36 months unopened WVP Perms (US): 19.76 grains/(hr ft² in Hg)

Mildew Resistant This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

COMPLIANCE

As of 08/31/2020, Complies with:

Table with 2 columns: Regulation (OTC, OTC Phase II, SCAQMD, CARB, etc.) and Status (Yes, No, N.A.).

APPLICATION

When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using in rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

No reduction necessary.

Brush: Use a nylon-polyester brush.

Roller: Use a high quality 3/8-3/4 inch nap synthetic roller cover.

For specific brushes and rollers, please refer to our Brush and Roller Guide on sherwin-williams.com

Spray—Airless Pressure Tip .015-.019 inch

APPLICATION TIPS

Make sure product is completely agitated (mechanically or manually) before use.

Thoroughly follow the recommended surface preparations. Most coating failures are due to inadequate surface preparation or application. Thorough surface preparation will help provide long term protection.

SPECIFICATIONS

SuperPaint Exterior Latex can be self-priming when used directly over existing coatings, or bare drywall, plaster and masonry (with a cured pH of less than 9). The first coat acts like a coat of primer and the second coat provides the final appearance and performance. Please note that some specific surfaces require specialized treatment.

Use on these properly prepared surfaces:

- Aluminum & Aluminum Siding*, Galvanized Steel†, Concrete Block, CMU, Split face Block, Brick, Stucco, Cement, Concrete, Plywood, Masonry, Concrete, Cement, Block, Wood (Cedar, Redwood)†

1 On large expanses of metal siding, the air, surface, and material temperatures must be 50°F or higher. 2 Not for use at temperatures under 50°F. See specific primer label for that product's application conditions. 3 Not for use at temperatures under 40°F. See specific primer label for that product's application conditions. 4 Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. For best results on these woods, use a coat of Exterior Oil-Based Wood Primer.

SuperPaint® Exterior Latex Satin

SURFACE PREPARATION

WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at 1-800-424-LEAD (in US) or contact your local health authority.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Existing peeled or checked paint should be scraped and sanded to a sound surface. Glossy surfaces should be sanded dull. Stains from water, smoke, ink, pencil, grease, etc. should be sealed with the appropriate primer-sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Aluminum and Galvanized Steel: Wash to remove any oil, grease, or other surface contamination. All corrosion must be removed with sandpaper, wire brush, or other abrading method.

Cement Composition Siding-Panels: Remove all dirt, dust, grease, oil, loose particles, saltcrust, foreign material, and peeling or defective coatings. Allow the surface to dry thoroughly. If the surface is new, test it for pH. If the pH is higher than 9, prime with Loxon Concrete & Masonry Primer.

Caulking: Gaps between windows, doors, trim, and other through-wall openings can be filled with the appropriate caulk after priming the surface.

Masonry, Concrete, Cement, Block: All new surfaces must be cured according to the supplier's recommendations—usually about 30 days. Remove all form release and curing agents. Rough surfaces should be filled to provide a smooth surface. If painting cannot wait 30 days, allow the surface to cure 7 days and prime the surface with Loxon Concrete & Masonry Primer/Sealer. Cracks, voids, and other holes should be repaired with an elastomeric patch or sealant. Concrete masonry units (CMU) - Surface should be thoroughly clean and dry. Air, material and surface temperatures must be at least 50°F (10°C) before filling. Use Loxon Acrylic Block Surfacer. The filler must be thoroughly dry before topcoating.

Previously Painted Surfaces: If in sound condition, clean the surface of all foreign material. Smooth, hard or glossy coatings and surfaces should be dulled by abrading the surface. Apply a test area, allowing paint to dry one week before testing adhesion. If adhesion is poor, additional abrasion of the surface and/or removal of the previous coating may be necessary. Retest surface for adhesion. If paint is peeling or badly weathered, clean surface to sound substrate and treat as a new surface as above. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

SURFACE PREPARATION

Mildew: Prior to attempting to remove mildew, it is always recommended to test any cleanser on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach-water solution.

Wood, Plywood, Composition Board: Clean the surface thoroughly then sand any exposed wood to a fresh surface. Patch all holes and imperfections with a wood filler or putty and sand smooth. All new and patched areas must be primed. Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. If applied to these bare woods, it may show some staining. If staining persists, spot prime severe areas with 1 coat of Exterior Oil-Based Wood Primer prior to using.

Steel: Rust and mill scale must be removed using sandpaper, wire brush, or other abrading method. Bare steel must be primed the same day as cleaned.

Stucco: Remove any loose stucco, efflorescence, or laitance. Allow new stucco to cure at least 30 days before painting. If painting cannot wait 30 days, allow the surface to dry 7 days and prime with Loxon Concrete & Masonry Primer. Repair cracks, voids, and other holes with an elastomeric patch or sealant.

Vinyl or other PVC Building Products: Clean the surface thoroughly by scrubbing with warm, soapy water. Rinse thoroughly, if needed prime with appropriate white primer. Do not paint vinyl with any color darker than the original color or having a Light Reflective Value (LRV) of less than 56 unless VinylSafe® Colors are used. If VinylSafe colors are not used the vinyl may warp. Follow all painting guidelines of the vinyl manufacturer when painting. Only paint properly installed vinyl siding. Deviating from the manufacturer's painting guidelines may cause the warranty to be voided.

CAUTIONS

For Exterior use only. Protect from freezing. Non-photochemically reactive.

Not for use on floors. Before using, carefully read CAUTIONS on label

ZINC: Use only with adequate ventilation. To avoid overexposure, open windows and doors or use other means to ensure fresh air entry during application and drying. If you experience eye watering, headaches, or dizziness, increase fresh air, or wear respiratory protection (NIOSH approved) or leave the area. Avoid contact with eyes and skin. Wash hands after using. Keep container closed when not in use. Do not transfer contents to other containers for storage. FIRST AID: In case of eye contact, flush thoroughly with large amounts of water. Get medical attention if irritation persists. If swallowed, call Poison Control Center, hospital emergency room, or physician immediately. WARNING: This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. DO NOT TAKE INTERNALLY. KEEP OUT OF THE REACH OF CHILDREN.

HTW/ 08/31/2020 A89W02151 02 39 FRC,SP

CLEANUP INFORMATION

Clean spills, splatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.



Docket No. 09-73-23 (16205 Hilliard) Renovation of Existing Building

GRILLE OPTIONS

Grilles for Andersen® 100 Series windows and patio doors are available in a wide variety of patterns to complement virtually any style of home. Plus, they have options for easy cleaning and architectural authenticity many vinyl windows can't match.



Finelight grilles-between-the-glass



Finelight grilles-between-the-glass with permanent exterior grilles



Permanent exterior and permanent interior grilles with spacer



Permanent exterior and permanent interior grilles with no spacer

FINELIGHT™ GRILLES BETWEEN-THE-GLASS

Make glass easy to clean and have an elegant, sculpted profile. Choose a two-sided color scheme to match both the interior and exterior of the window or patio door. Also available with exterior grilles to provide architectural style and detail.

FULL DIVIDED LIGHT

Permanently applied to the exterior and interior of the window, with a spacer between the glass.

SIMULATED DIVIDED LIGHT

Permanently applied to the exterior and interior of the window, with no spacer between the glass.

Grille Bar Widths Actual width shown.



3/4" (19) width grille bar for windows.

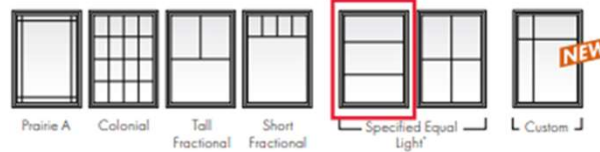


1" (25) width grille bar for patio doors.



A 2 1/4" (57) width profile is available for most units to simulate a meeting rail or a multi-unit combination, such as a transom over a window or patio door.

Grille Patterns



To see all of the standard patterns available for a specific window or door, refer to the detailed product sections in this product guide or contact your Andersen supplier.

INSECT SCREEN OPTIONS



Insect screens for venting windows have a fiberglass screen mesh. Optional TruScene® insect screens are made with a micro-fine stainless steel mesh, providing 50% greater clarity than our conventional insect screens. Insect screen frames for casement and awning windows are color matched to the product interior and for single-hung and gliding windows are matched to the product exterior.



Gliding insect screens for 2-panel gliding patio doors have a fiberglass screen mesh. Insect screen frames for doors are color matched to the product exterior.

*Specify number of same-size rectangles across or down.
Dimensions in parentheses are in millimeters.



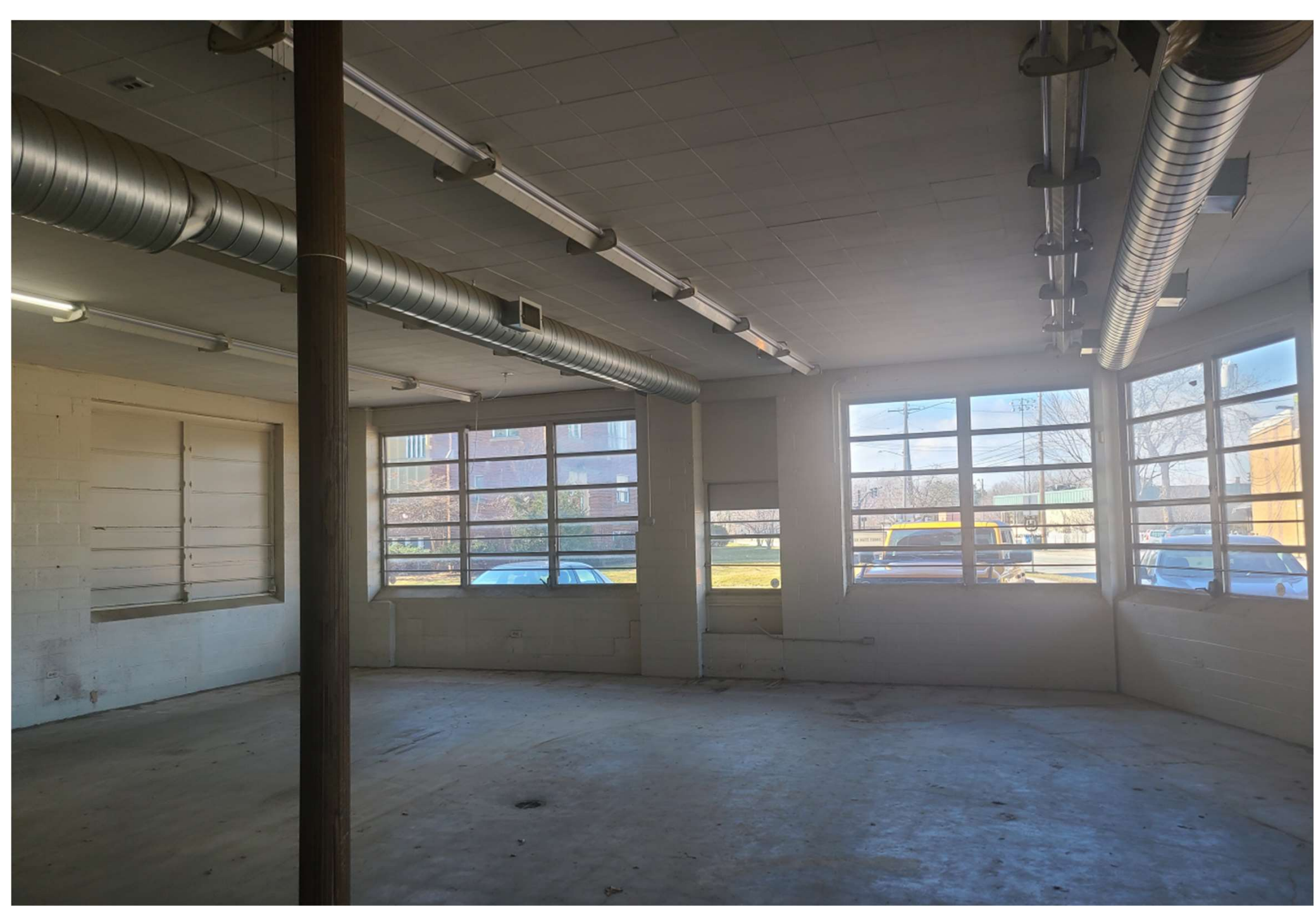
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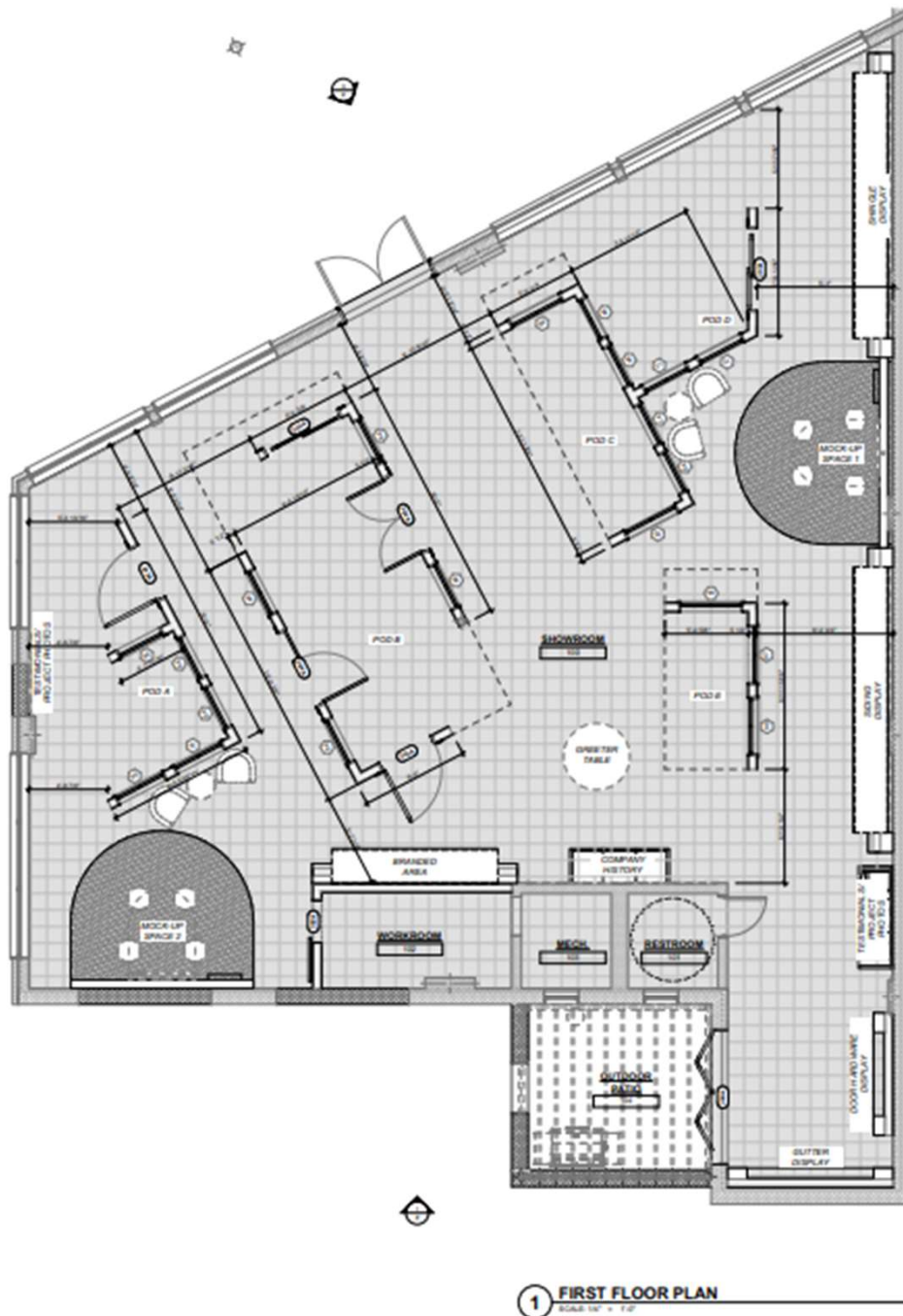
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1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND			
	DIMENSIONAL LUMBER		GRAVEL
	PLYWOOD		CONCRETE
	FINISH WOOD		CONCRETE BLOCK
	GYPSUM BOARD		STEEL
	BRICK		RIGID INSULATION
	EARTH		SPRAY FOAM INSULATION
	STONE VENEER		MINERAL WOOL INSULATION
	BLOCKING		METAL DECK



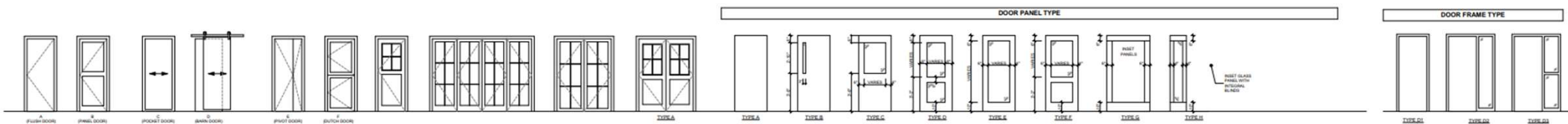
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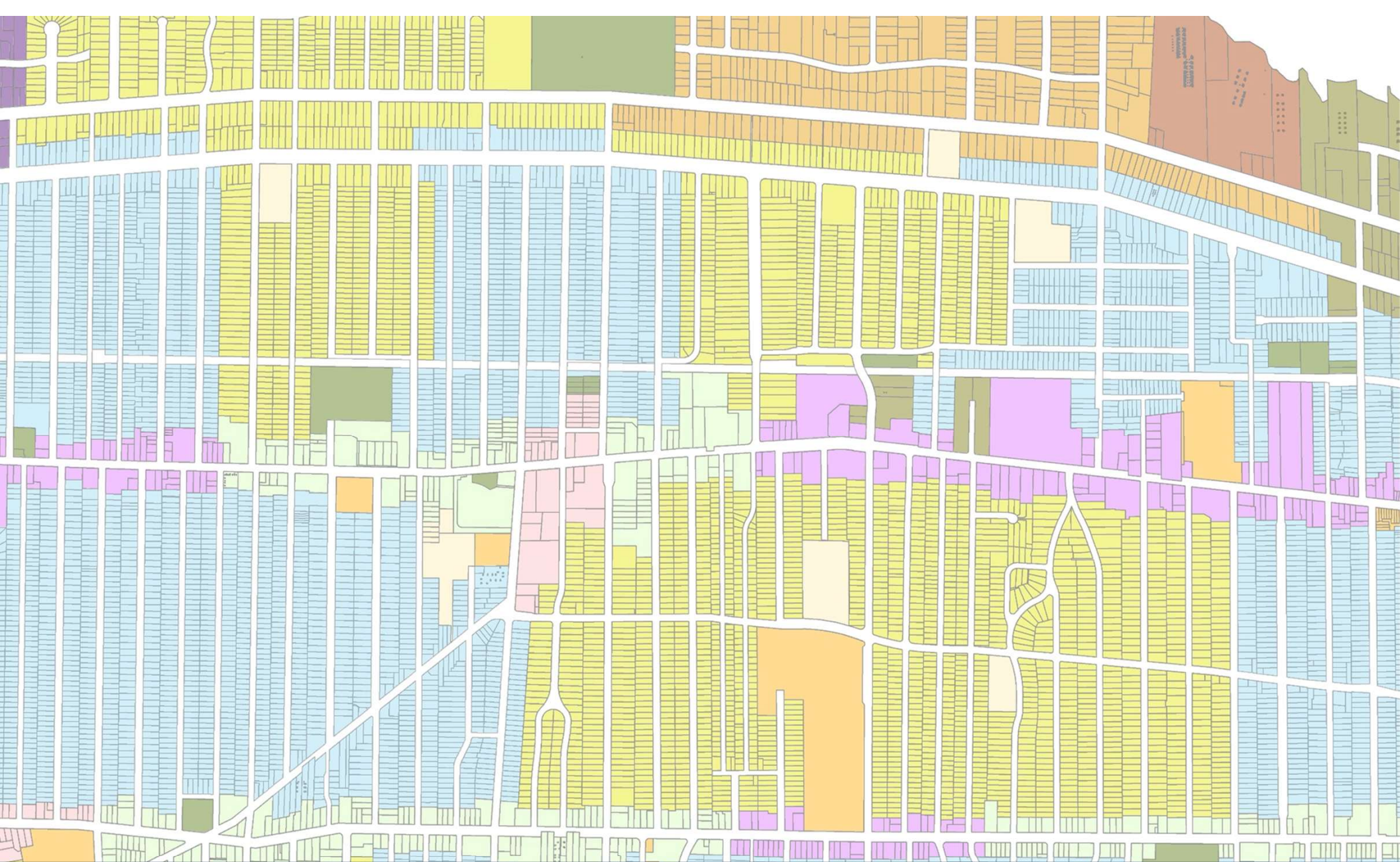
Renovation of Existing Building



Docket No. 09-73-23 (16205 Hilliard)

Renovation of Existing Building





Architectural Board of Review

New Business – October 2023

Applicant proposes preliminary review of Back Alley Social Club.

City Notes:

- Parking lot plan will be reviewed by Planning Commission.



Docket No. 10-76-23 (13741 Madison)

Preliminary Review - Back Alley Social Club

David Maddux



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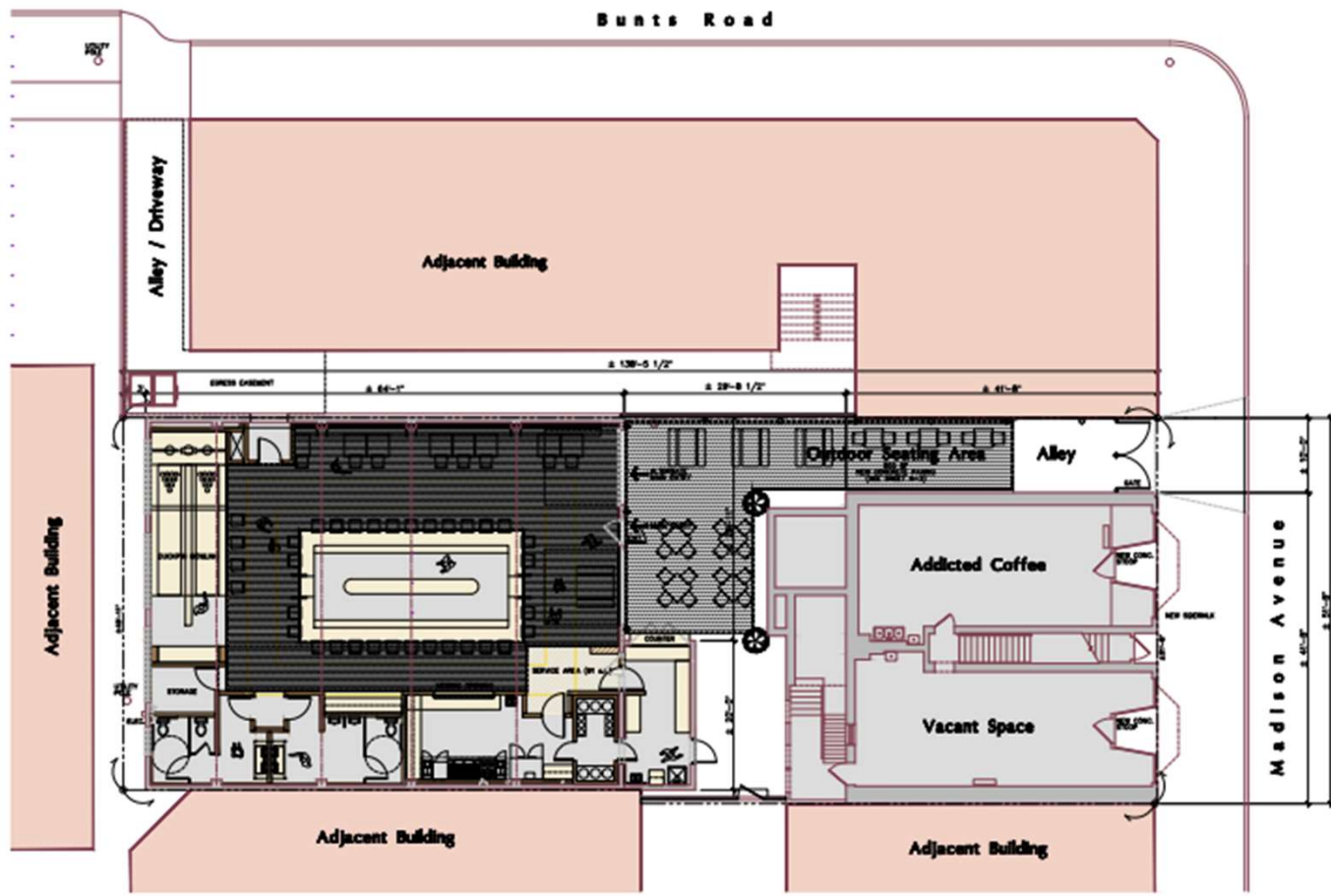
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Site / First Floor Plan
SCALE 1/8" = 1'-0"



3,390 G.S.F. MAIN LEVEL

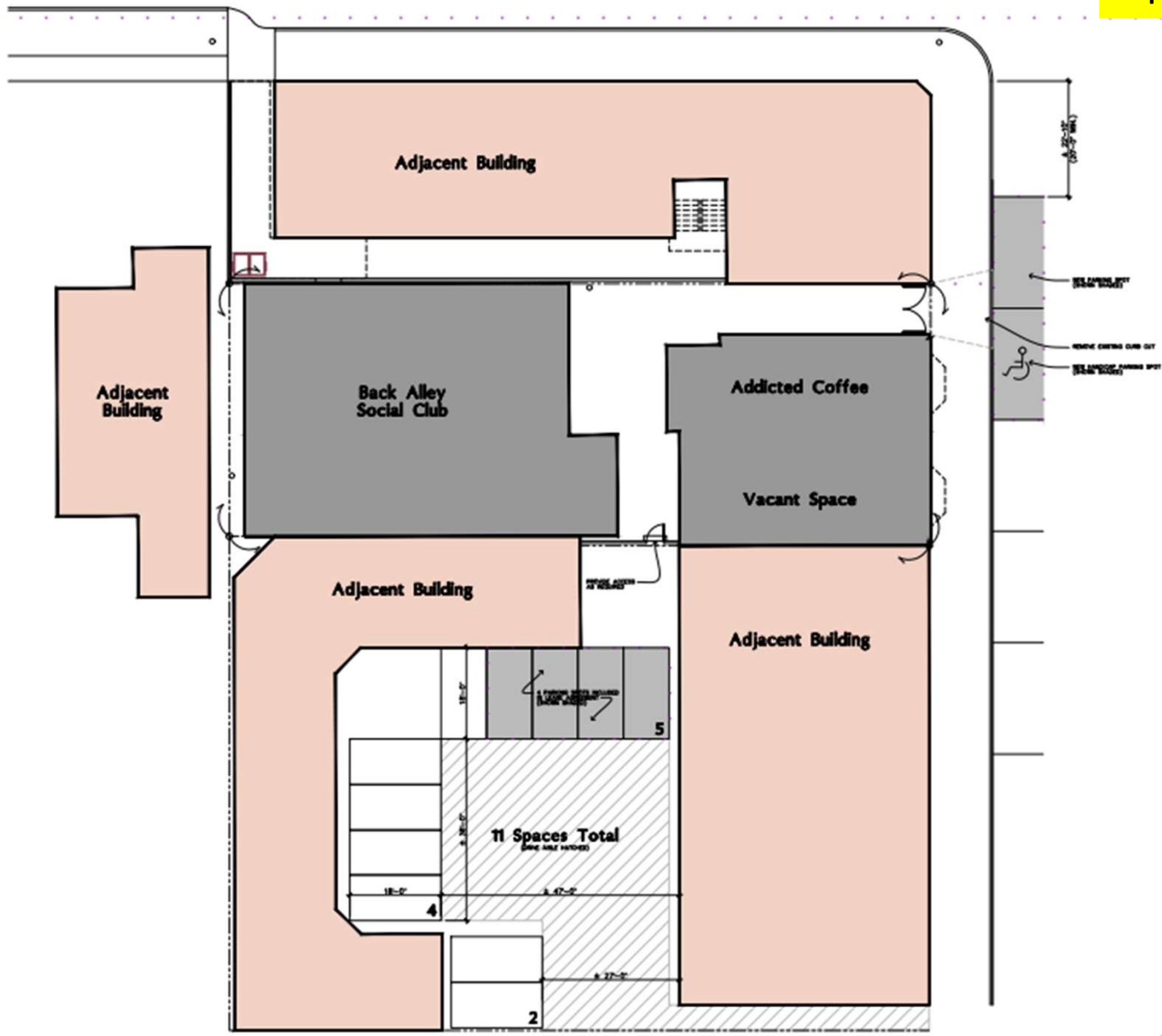
1,290 S.F.	MAN LEVEL SEATING	(15 S.F./OCCUPANT)	86 OCCUPANTS
300 S.F.	STOCK/REAR	(300 S.F./OCCUPANT)	1 OCCUPANTS
1,490 S.F.	KITCHEN/BAR	(300 S.F./OCCUPANT)	8 OCCUPANTS
300 S.F.	DUCKPIN BOWLING	(300 S.F./OCCUPANT)	4 OCCUPANTS
			99 OCCUPANTS

Preliminary
Not For
Construction



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Preliminary Review - Maddux Back Alley Social Club



Site Context Plan & Parking Diagram
SCALE 1" = 10'-0"

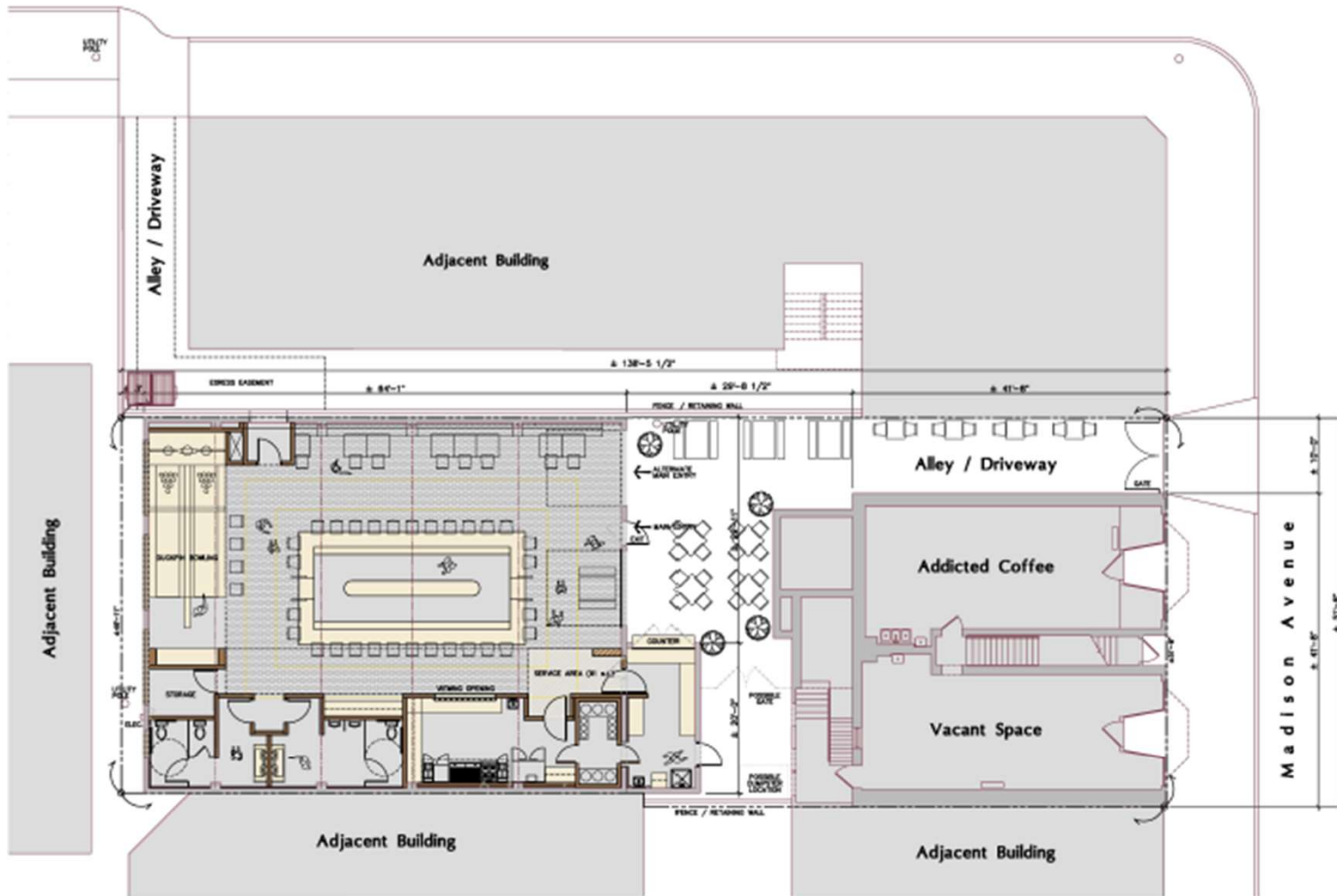
Preliminary
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Construction



Docket No. 10-76-23 (13741 Madison)

Preliminary Review - Maddux Back Alley Social Club

Bunts Road



Site / First Floor Plan

SCALE 1/8" = 1'-0"



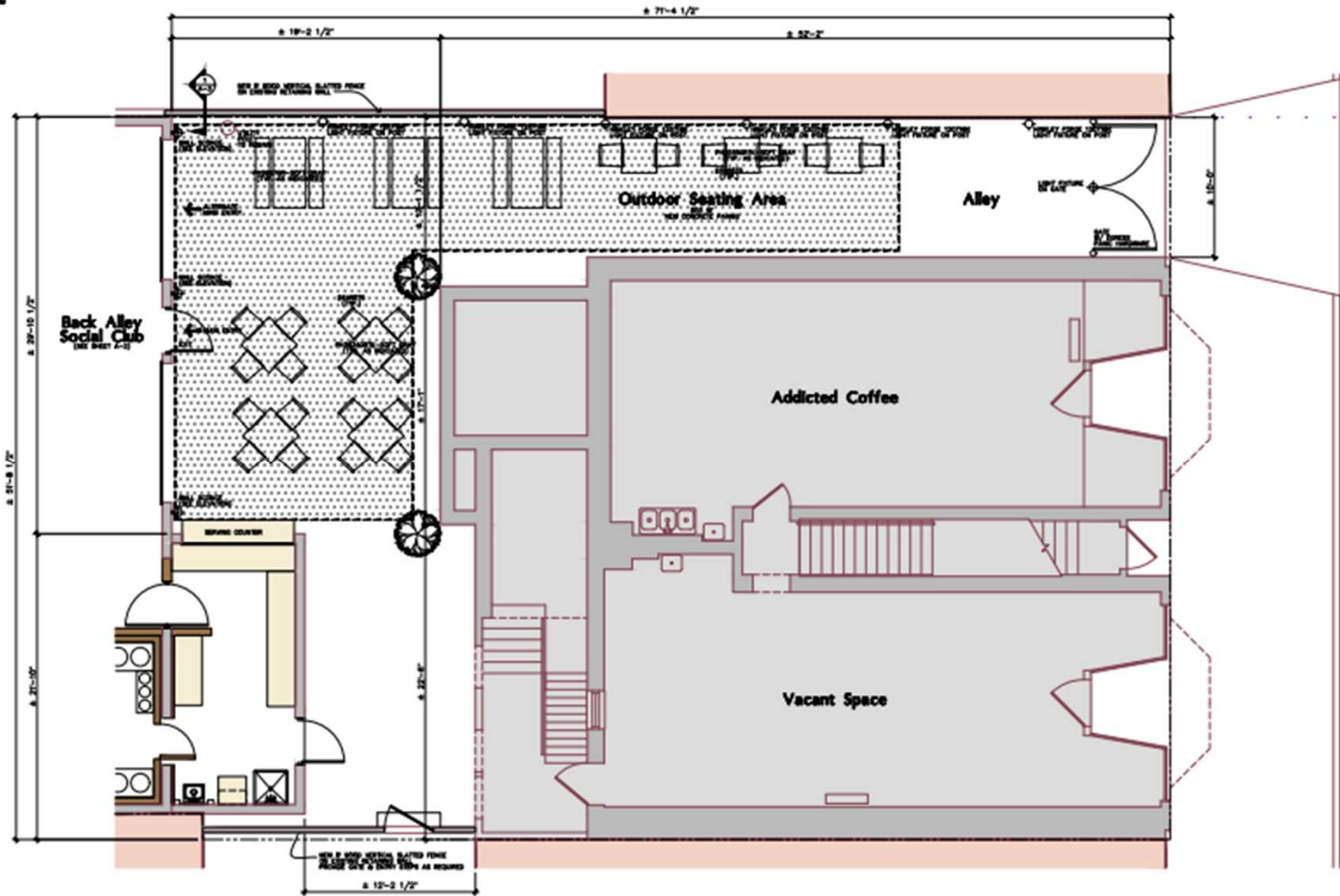
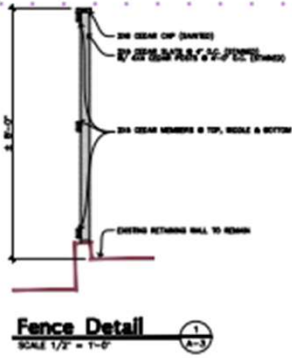
3,390 G.S.F. MAIN LEVEL

1,200	S.F.	MAIN LEVEL SEATING	(15 S.F./OCCUPANT)	80	OCCUPANTS
300	S.F.	STOCK AREA	(300 S.F./OCCUPANT)	1	OCCUPANTS
1,400	S.F.	KITCHEN/BAR	(200 S.F./OCCUPANT)	8	OCCUPANTS
300	S.F.	QUORIN BOWLING		4	OCCUPANTS
				93	OCCUPANTS



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Enlarged Outdoor Dining Plan
SCALE 1/4" = 1'-0"

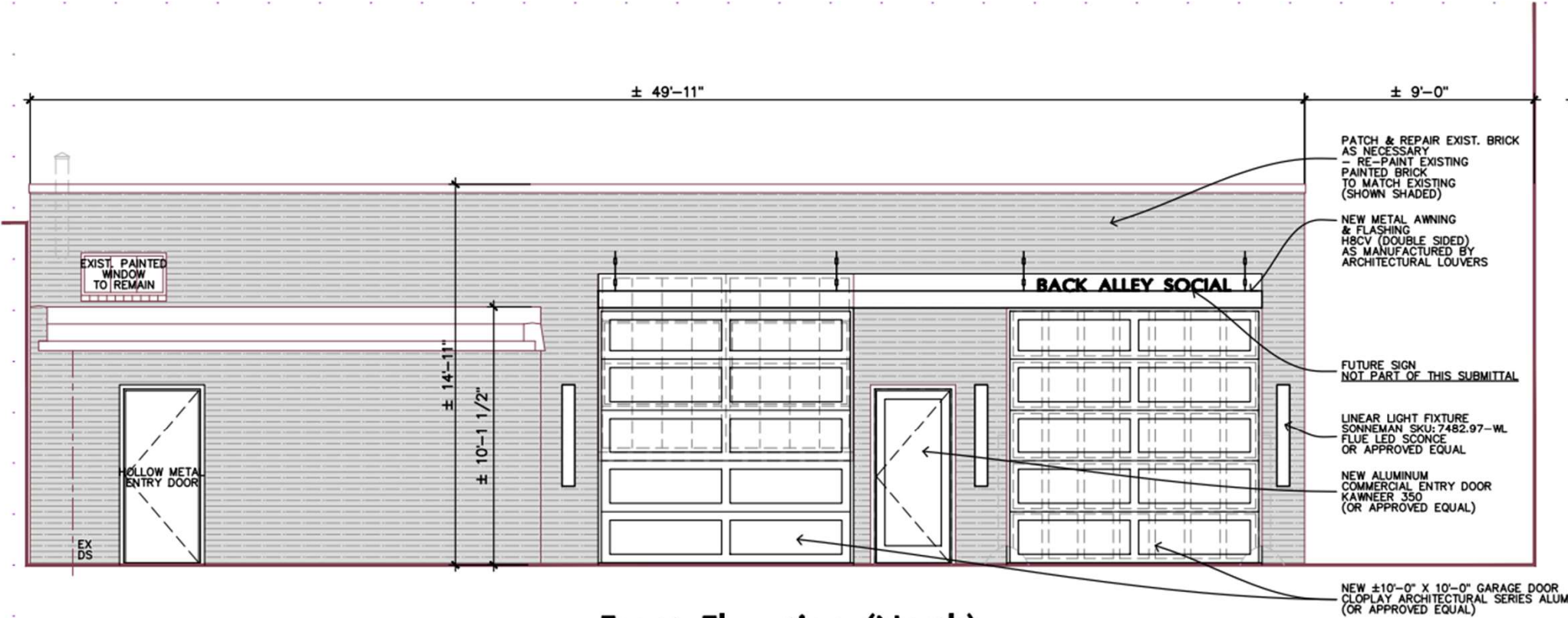


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Construction



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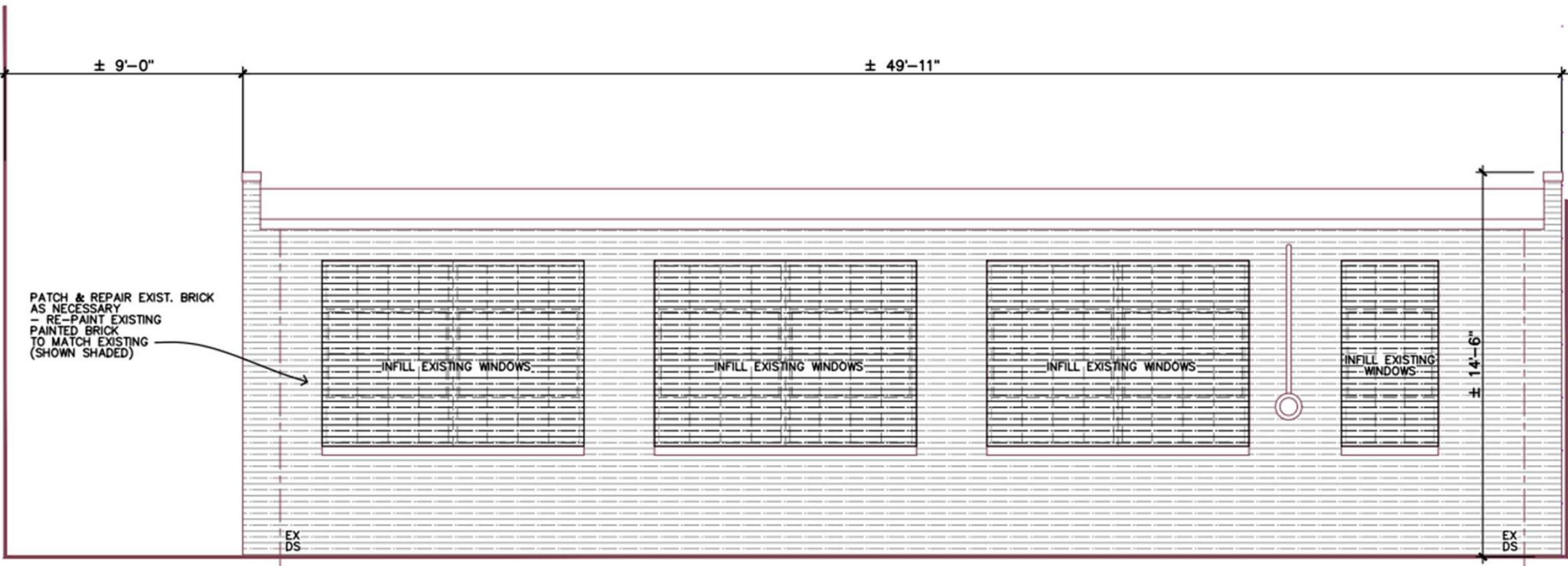


Front Elevation (North)

SCALE 1/4" = 1'-0"



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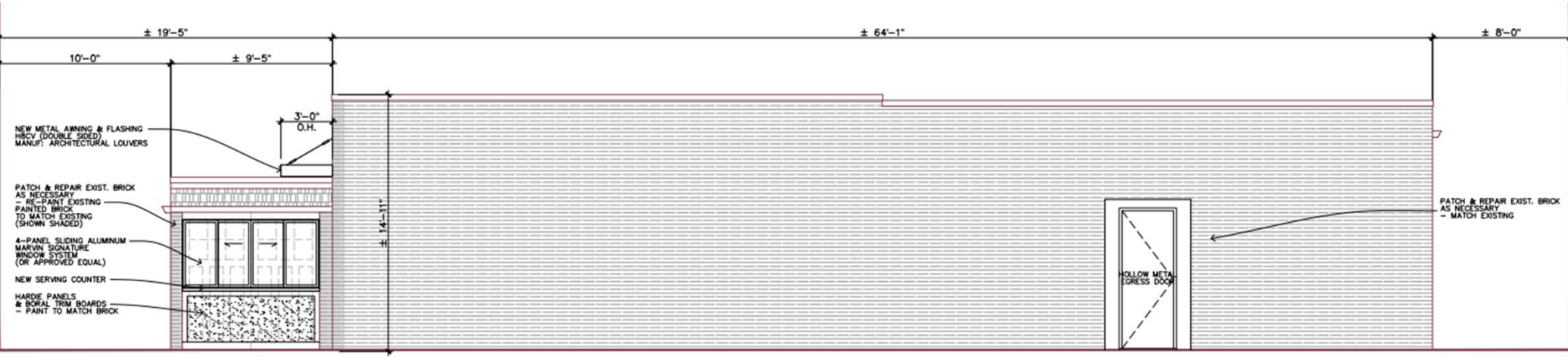


Rear Elevation (South)

SCALE 1/4" = 1'-0"



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Side Elevation (West)
SCALE 1/4" = 1'-0"



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Front Elevation (Madison Avenue)
SCALE 1/4" = 1'-0"



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Alley Approach



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Main Entry



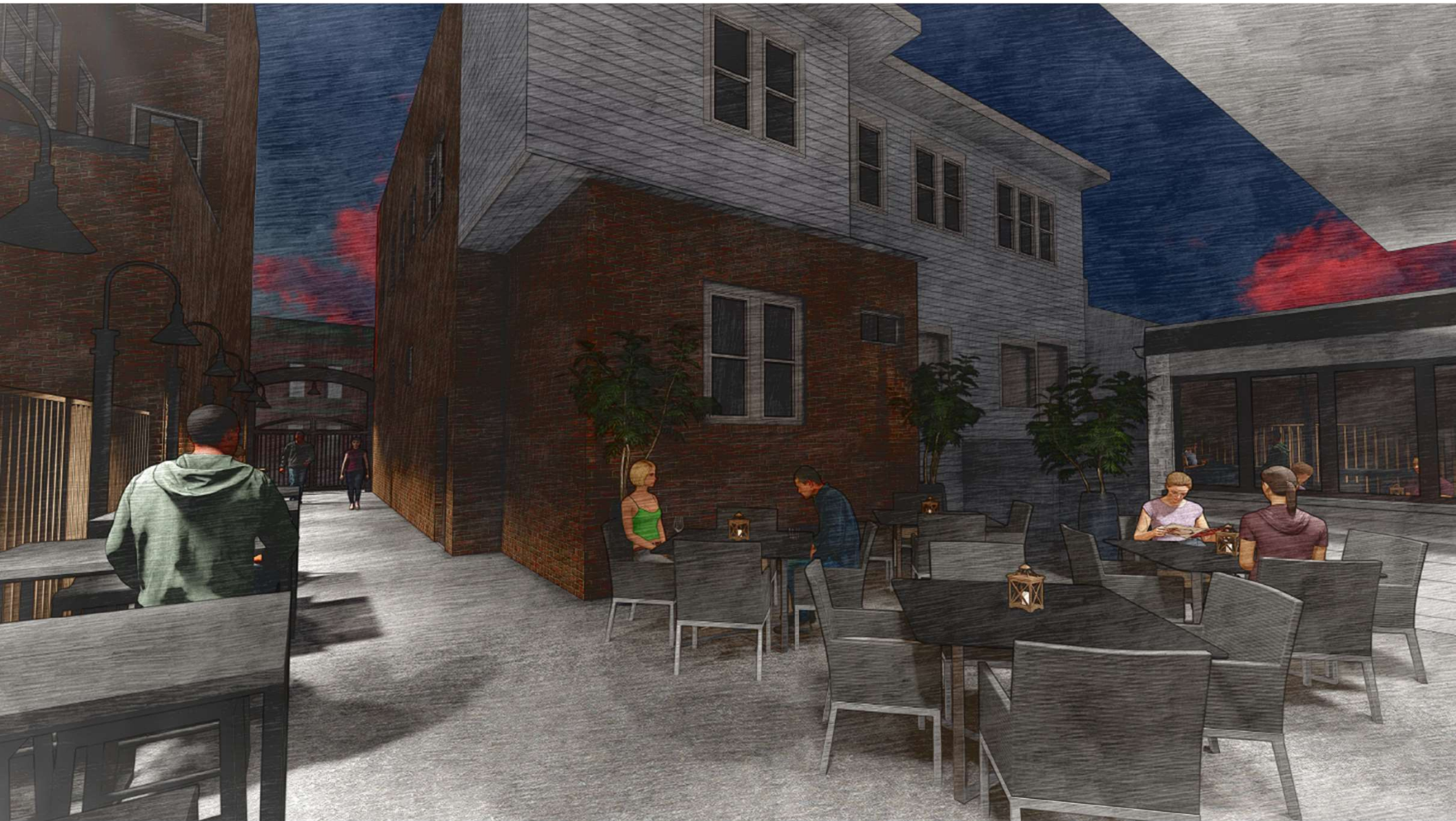
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South Beach series

Updated



PRODUCT INFORMATION

DV350TS	armchair dimensions h33.5 w23.5 sh18 sd16 sw18 armht27
DV450TS	side chair dimensions h33.5 w21 sh18 sd16 sw18
DV550TS	barstool dimensions h39.5 w19.75 sh30 sd13 sw16
frame finish	TS ● titanium silver
materials	aluminum powder coat
feature	stackable



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Seaside tables

Outdoor furniture

Updated



PRODUCT INFORMATION

PH+size+GRTK+finish	table top dimensions 24 x 30 30 x 30 34 x 34 30 x 51
base options	alpha bali margate
PH4L+size+GR+finish	4-leg table dimensions 31 x 31 35 x 35 31 x 48 35 x 72 dining height
PH4L+size+GR+finish+T	4-leg table dimensions 31 x 48 35 x 72 bar height
frame finish	SG ● soft gray BL ● black
materials	aluminum powder coat gray synthetic teak
features	ADA compliant sizes available umbrella hole not available on 24 x 30 tops or 4-leg bar height tables margate base supports umbrella weighted umbrella base required 4-leg and 30 x 51 tables, see page 72



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Seaside series

Updated



PRODUCT INFORMATION

PH5927GR	dimensions top 27.5 d x 59 w x 29.5 h seat 12.5 d x 59 w x 18 h overall 60.25 d
PH7227GR	dimensions top 27.5 d x 72 w x 29.5 h seat 12.5 d x 72 w x 18 h overall 60.25 d
frame finish	SG ● soft gray BL ● black
materials	aluminum powder coat gray synthetic teak
features	umbrella hole optional weighted umbrella base required, sold separately, see page 72



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 Preliminary Review - Maddux Back Alley Social Club

Single-Source Packages Generate Versatile First Impressions



Tough yet attractive, Kawneer's Standard Entrances are designed as a single-source package of door, door frame and hardware that is easily adaptable to custom requirements. Designed to complement new or remodel construction as well as modern or traditional architecture, they are engineered, constructed and tested to make a good first impression while withstanding the rigors of constant use by occupants and visitors.

PERFORMANCE

To resist both lever arm and torsion forces that constantly act on any door, all three entrances feature welded corner construction with Sigma deep penetration and fillet welds plus mechanical fastenings at each corner – a total of 16 welds per door. Each door corner comes with a limited lifetime warranty, good for the life of the door under normal use. It is transferable from building owner to owner and is in addition to the standard two-year warranty covering material and workmanship of each Kawneer door.



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Preliminary Review - Maddux Back Alley Social Club



1. Thermoplastic elastomer weatherstrip in blade stop of frame jambs, header or transom bar.
2. Integral polymeric fin attached to adjustable astragal, creating an air barrier between pairs of doors.
3. Optional surface-applied bottom weatherstrip with flexible blade gasket. Extruded raised lip on threshold to provide continuous contact for bottom weatherstrip.
4. Standard 1/4" beveled glass stops to sheet water and dirt off without leaving residue.
5. Available in all finishes offered by Kawneer.

ECONOMY

Kawneer's bulb neoprene weatherstripping forms a positive seal around the door frame and provides a substantial reduction in air infiltration, resulting in improved comfort and economies in heating and cooling costs. The system is wear- and temperature-resistant and replaces conventional weatherproofing. The bottom weatherstrip at the interior contains a flexible blade gasket to meet and contact the threshold, enhancing the air and water infiltration performance characteristics.

190 NARROW STILE ENTRANCE

- Is engineered for moderate traffic in applications such as stores, offices and apartment buildings
- Vertical stile measures 2-1/8", top rail 2-1/4" and bottom rail 3-7/8"
- Results in a slim look that meets virtually all construction requirements

350 MEDIUM STILE ENTRANCE

- Provides extra strength for applications such as schools, institutions and other high-traffic applications
- Vertical stiles and top rails measure 3-1/2"
- Bottom rail measures 6-1/2" for extra durability

500 WIDE STILE ENTRANCE

- Creates a monumental visual statement for applications such as banks, libraries and public buildings
- Vertical stiles and top rail measures 5"; bottom rail measures 6-1/2"
- Results in superior strength for buildings experiencing heavy traffic conditions

GENERAL

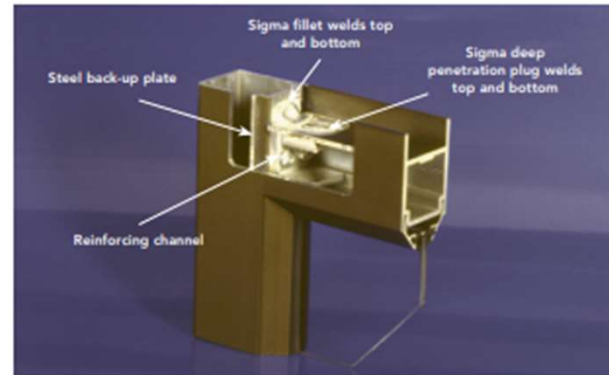
- Heights vary up to 10'; widths range from approximately 3' to 4'
- Door frame face widths range to a maximum of 4", while depths range to 6"
- Door operation is single- or double-acting with maximum security locks or touch bar panics standard
- Architect's classic 1" round, bent bar push/pull hardware is available in various finishes and sizes
- Infills range from 1/4" to 1"

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum finishes are available in clear and Permanodic® color choices.

Painted finishes, including fluoropolymer, that meet AAMA 2605 are offered in many standard choices and an unlimited number of specially designed colors.

Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.



CLOPAY COMMERCIAL – MODELS 904, 904U
architectural series



Updated



ALUMINUM FULL-VIEW DOORS

Clopay's Model 904 showcases a sleek design with fewer lines and angles to its appearance. With equal stile spacing, rail and stile profiles are more proportional to each other. This design provides an aesthetically pleasing appearance making it ideal in applications such as restaurants, auto dealerships and fire stations. In addition to these features, Model 904U features Intellicore® polyurethane insulated rails and stiles.

clopaycommercial.com



Frame Detail



Section Joint Seal



Reinforcing Fin (where applicable)



Model 904U*

Model 904

*Model 904U R value 3.8 with clear insulated glass.



Docket No. 10-76-23 (13741 Madison)
Preliminary Review - Maddux Back Alley Social Club

OPTIONS

PANEL OPTIONS

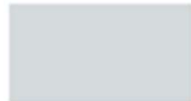


Aluminum Full-View

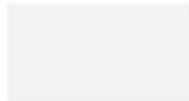


Solid Aluminum

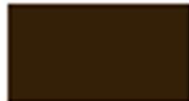
FRAME/SOLID PANEL COLOR OPTIONS



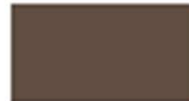
Clear Aluminum (Anodized)



Standard White (Painted)



Bronze (Painted)



Chocolate (Painted)



Bronze (Anodized)*



Black (Anodized)*



Dark Bronze (Anodized)*

** Additional cost and lead time may apply. The use of "Bronze (Painted)" is recommended due to slight color variation that may occur during the anodizing process.*

CUSTOM PAINT OPTIONS

Color Blast® finish paint system or RAL Powder Coating give you thousands of color options for endless upgrades. See your Clopay Dealer for details.

Model 904U not available with RAL Powder Coat finish.

GLASS/PANEL OPTIONS



Clear Glass



Gray Tinted Glass



Bronze Tinted Glass



Mirrored Glass*



Obscure Glass



Clear Laminate Impact Rated Glass†



White Laminate Glass*



Black Laminate Glass*



Frosted Glass



Frosted Acrylic



Clear Acrylic



Bronze Acrylic



Gray Acrylic



White Acrylic



Black Acrylic



Clear Polycarbonate



Bronze Polycarbonate



Solid Aluminum Panel (Color-matched)

**Glass/acrylic panels may be combined with aluminum panels. Custom glass and colors available.
†5/16" clear laminate impact rated glass is available only on 904WS/904UWS.*



PERFORMANCE OPTIONS

HEAVY-DUTY HARDWARE



Double-end Hinge



3" Track



High Performance Hardware

SPECIALTY PRODUCTS



Center Mullions



Exhaust Port

OPTIONAL WARRANTY

Extended 8-year hardware warranty includes upgraded industrial hardware. Upgraded hardware includes 3" track and rollers, 11 gauge hinges, heavy duty brackets, solid shaft and more.



WINDCODE®



Design pressures (DP) up to 52 PSF depending on configuration. Models tested 50% greater than DP.

STANDARD SPECIFICATIONS

Max Width	24'2" (Maximum width for Model 904U is 20'2")
Max Height	20'0"
Exterior/Interior Panel Thickness	2-1/8"
Insulation	Intellcore® polyurethane (Model 904U)
R-Value*	3.8 (Model 904U with clear insulated glass)
U-Factor	0.86 (Model 904U with clear insulated glass)
Air Infiltration Rate	0.15cfm/ft²
End Stile Thickness	4.5" wide single up to 14'2" 6.5" wide double over 14'2"
Emboss	Recessed panel with smooth surface
Panel Style	Full-view or solid aluminum panel
Section Construction	6063-T5 extruded aluminum alloy

Window Style	Full-view	
Glass	DSB glass, tempered glass, acrylic, thicknesses of 1/8", 1/4" and 1/2"	
Solid Panels	Insulated and non-insulated aluminum panels	
Wind Load	Impact rated (W8 only)	
Joint Seal	Yes	
Springs	10,000 cycle springs Galvanized aircraft cable with minimum 7:1 safety factor	
Tracks	2" angle mount track with standard lift 3" track where applicable	
Hardware	TPE astragal in corrosion-resistant retainer Steel step plate and lift handle Inside slide lock for increased security	Commercial 10-ball steel rollers 14 gauge hinges
Warranty	Standard Paint – 5 Years Material and Workmanship – 1 Year	Color Blast® finish – 5 Years Hardware – 1 Year



For more information on these and other Clopay products, visit clopaycommercial.com.
Architects and specifiers, visit architectdoorhelp.com.



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*Calculated door section R-value is in accordance with DASMA TDS-163.



CMDC-904-19_REV1122



Project:

Flue LED Sconce Spec Sheet

SKU: 7482.97-WL Learn more at:
<https://sonnemanlight.com/flue-led-sconce>

Description: Dramatically powerful in scale and presence, these bold pipes make a strong statement about the materials and details of the industrial aesthetic. Reflecting illumination back to the wall and directing an independent beam downward, the simplicity brings strength to the surface and surroundings.

Type #:



Dimensions

Height: 40"
Width: 5"
Extends: 5"
Minimum Extension: 5"
Maximum Extension: 5"
Size: 40"

Electrical Specs

Bulb(s) Included?: Yes
Bulb 1 Type: Integral LED
Bulb Quantity: 1
Input Voltage: 120VAC
Wattage: 15
Initial Lumens: 1500
Delivered Lumens: 1000
Color Temperature: 3000K
CRI: 90
Power Supply Type: Driver
Power Supply Quantity: 1
Power Supply Location: Outlet Box
Dimming Type: TRIAC/ELV

Installation

Installation: Licensed electrician required
Installation Orientation: Vertical

Shipping

Carton 1 L x W x H: 45" X 10" X 9"
Carton 1 Gross Weight: 16 LBS

Shade

Shade 1 Material: Aluminum

Available Finishes

Available Finishes: Textured Black (.97), Textured Bronze (.72), Textured Gray (.74), Textured White (.98)

General Listings

Features: Wet Rated
Certification: cETL
Color/Finish: Textured Black (.97)
Dark Sky Friendly: N



Updated



FORGE

LARGE POST TOP OR PIER MOUNT LANTERN

12071BK

Inspired by a lighting industry staple barn light, Forge features a practical outdoor lighting solution to withstand the elements. Whether it is enduring harsh sunrays, extreme cold or continuous salt air, Forge is built to last with an industrial chic flair. Part of the Coastal Elements Collection, Forge is available in a variety of anti-fading finishes that are resistant to rust and corrosion with a 5-year warranty.

FINISH: Black

WIDTH: 16"

HEIGHT: 22"

LIGHT SOURCE: Socketed

WATTAGE: 1-14w Med. LED, 100w Equiv.

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

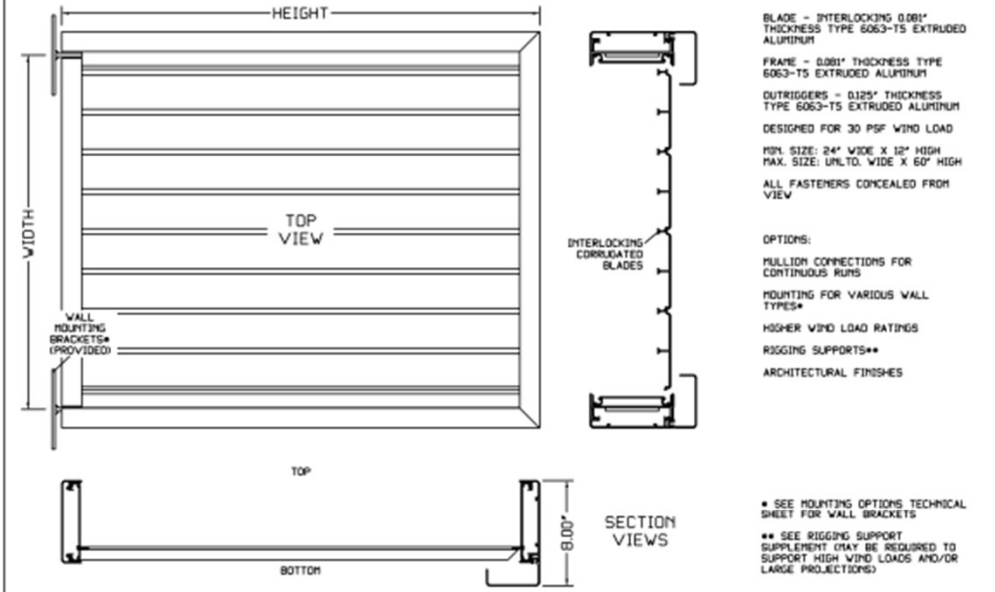
PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

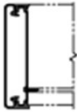
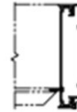
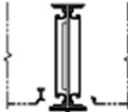
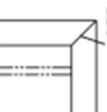


hinkley.com



Docket No. 10-76-23 (13741 Madison)
Preliminary Review - Maddux Back Alley Social Club

H8CV - 8" DEEP SOLID EXTRUDED ALUMINUM AWNING



CONSTRUCTION	INNER TRIM	TRIM (3 SIDES)	MULLION JOINT	TRIM CORNERS
STANDARD	 6" TUBE "T" TRIM	 8" TUBE "T" TRIM	 1" MULLION WITH GUTTERS	 MITERED <small>CORNERS MITERED & JOINED BY INSTALLER</small>
SIDING OPTIONS	 SINGLE SIDED (BOTTOM ONLY)		 DOUBLE SIDED (TOP AND BOTTOM)	

 266 W Mitchell Ave - Cincinnati, OH 45232 PH: (888) 568-8371 Fax: (888) 568-8370	PROJECT			
	CONTRACTOR			
	ARCHITECT			
DRAWN BY: JRR	DATE: 5/2017	DRAWING TYPE: TECHNICAL SHEET	DRAWING TITLE: H8CV	

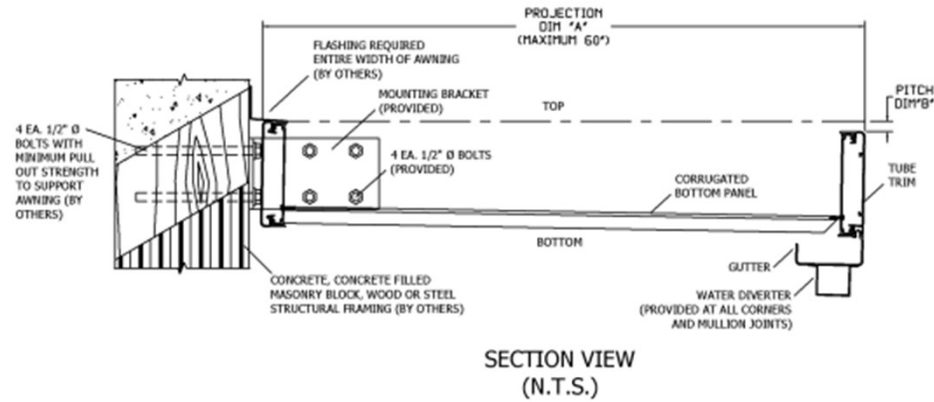
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 Harray, LLC dba Architectural Louvers



Docket No. 10-76-23 (13741 Madison)

Preliminary Review - Maddux Back Alley Social Club

H8CV - 8" DEEP SOLID EXTRUDED ALUMINUM AWNING



NOTE: SOLID AWNING MUST BE PITCHED FOR DRAINAGE. USE THE TABLE TO DETERMINE THE PITCH REQUIRED

PITCH REQUIREMENTS 1:96	
PROJECTION DIM "A"	PITCH DIM "B"
12"	1/8"
18"	3/16"
24"	1/4"
30"	5/16"
36"	3/8"
42"	7/16"
48"	1/2"
54"	9/16"
60"	5/8"

ARCHITECTURAL L·O·U·V·E·R·S 266 W Mitchell Ave - Cincinnati, OH 45232 PH: (888) 568-8371 Fax: (888) 568-8370	PROJECT		
	CONTRACTOR		
	ARCHITECT		
	DRAWN BY: JRR	DATE: 5/2017	DRAWING TYPE: TECHNICAL SHEET

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Harvey, LLC dba Architectural Louvers



Docket No. 10-76-23 (13741 Madison)

Preliminary Review - Maddux Back Alley Social Club



Outdoor Dining



Docket No. 10-76-23 (13741 Madison)
Preliminary Review - Maddux Back Alley Social Club

City of Lakewood Planning Commission

Lakewood City Hall

12650 Detroit Rd.

Lakewood , OH 44107

David Maddux of the Arcus Group, Inc. has my permission to represent Addicted Investments LLC., for the Back Alley Social Club, project submission to the Planning Commission and Architectural Review Board.

Vincent Brunori

Vincent Brunori

Addicted Investments LLC.



Docket No. 10-76-23 (13741 Madison)
Preliminary Review - Maddux Back Alley Social Club

Applicant proposes exterior renovation for damaged brick.

City Notes:

- Applicant proposing treatment of existing masonry.



Docket No. 10-77-23 (14800 Madison)
Treatment of Existing Masonry – UH Urgent Care
Joseph Kaye



The image on the left shows the building in its original condition, pre-demolition. The original building had an awning attached directly to the brick, which is now presenting a challenge to restoring the brick to its original condition, post-demolition. After careful consideration, the following proposal is what we believe to be the best course of action to restoring this facade.



Docket No. 10-77-23 (14800 Madison)
Treatment of Existing Masonry – Kaye UH Urgent Care



As the demolition was completed, it was found that many imperfections on the existing brick facade remained and could not be removed without using more aggressive methods that would damage the brick. Gentler methods were attempted to no avail. The image to the left demonstrates where the adhesives from the original awning remaining.



Docket No. 10-77-23 (14800 Madison)
Treatment of Existing Masonry – Kaye UH Urgent Care



Our proposal, as shown in the adjacent image, will be to paint the existing brick. The area marked in red will be the desired location of the painting. With the removal of the existing awning structure and after carefully cleaning the brick, without causing any more damage to the face, we believe the painting of the brick will be the best option towards maintaining a clean facade.



Docket No. 10-77-23 (14800 Madison)

Treatment of Existing Masonry – Kaye UH Urgent Care

Updated

Paint Specification
Mineral Based Paint Soldalit by Keim
Color to match Benjamin Moore Giant Sequoia - 2094-30 RGB (152, 93, 76)

Giant Sequoia
2094-30



Docket No. 10-77-23 (14800 Madison)
Treatment of Existing Masonry – Kaye UH Urgent Care

Updated



Paint Specification
Mineral Based Paint Soldalit by Keim
Color to match Benjamin Moore Warm Earth - 1274 RGB (146, 78, 79)

Warm Earth
1274



Docket No. 10-77-23 (14800 Madison)
Treatment of Existing Masonry – Kaye UH Urgent Care



15314 Madison Ave, Lakewood, OH 44107



15014 Madison Ave, Lakewood, OH 44107



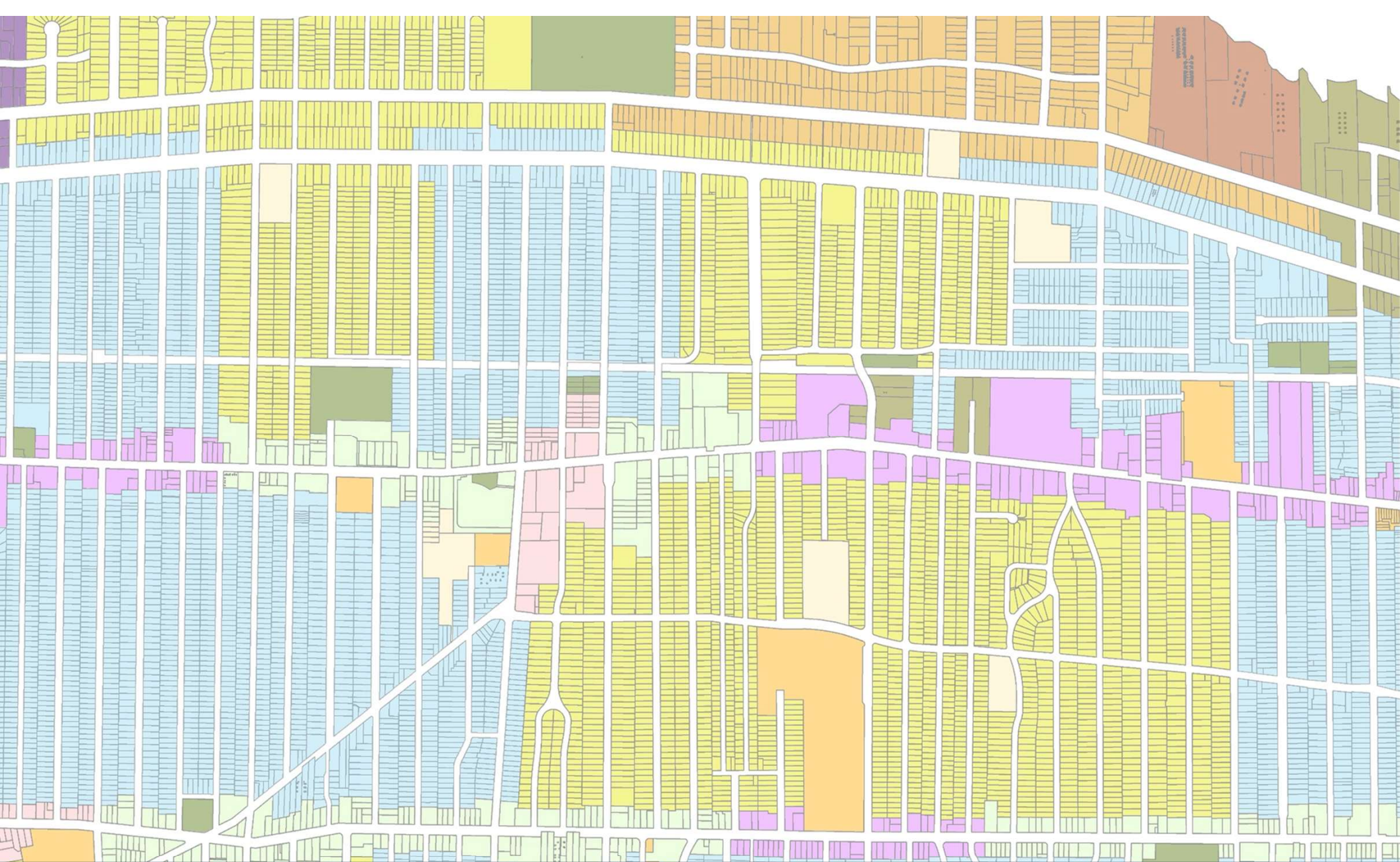
15003 Madison Ave, Lakewood, OH 44107

The precedent images to the left represent nearby properties within the city of Lakewood where painted brick is utilized along the side facades similar to what we are proposing.



Docket No. 10-77-23 (14800 Madison)

Treatment of Existing Masonry – Kaye UH Urgent Care



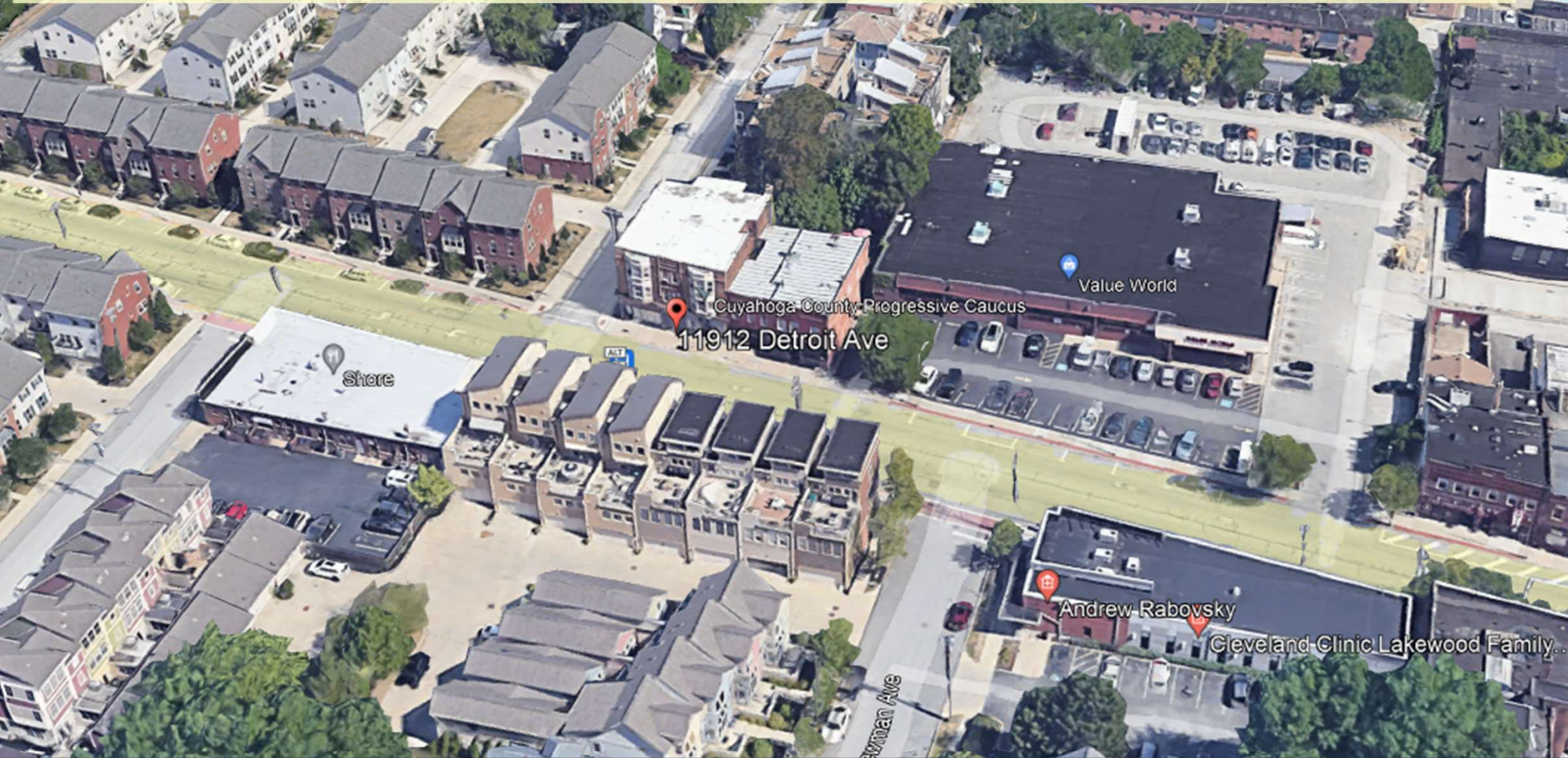
Architectural Board of Review

Sign Review – October 2023

Applicant proposes updated signage in the sign band.

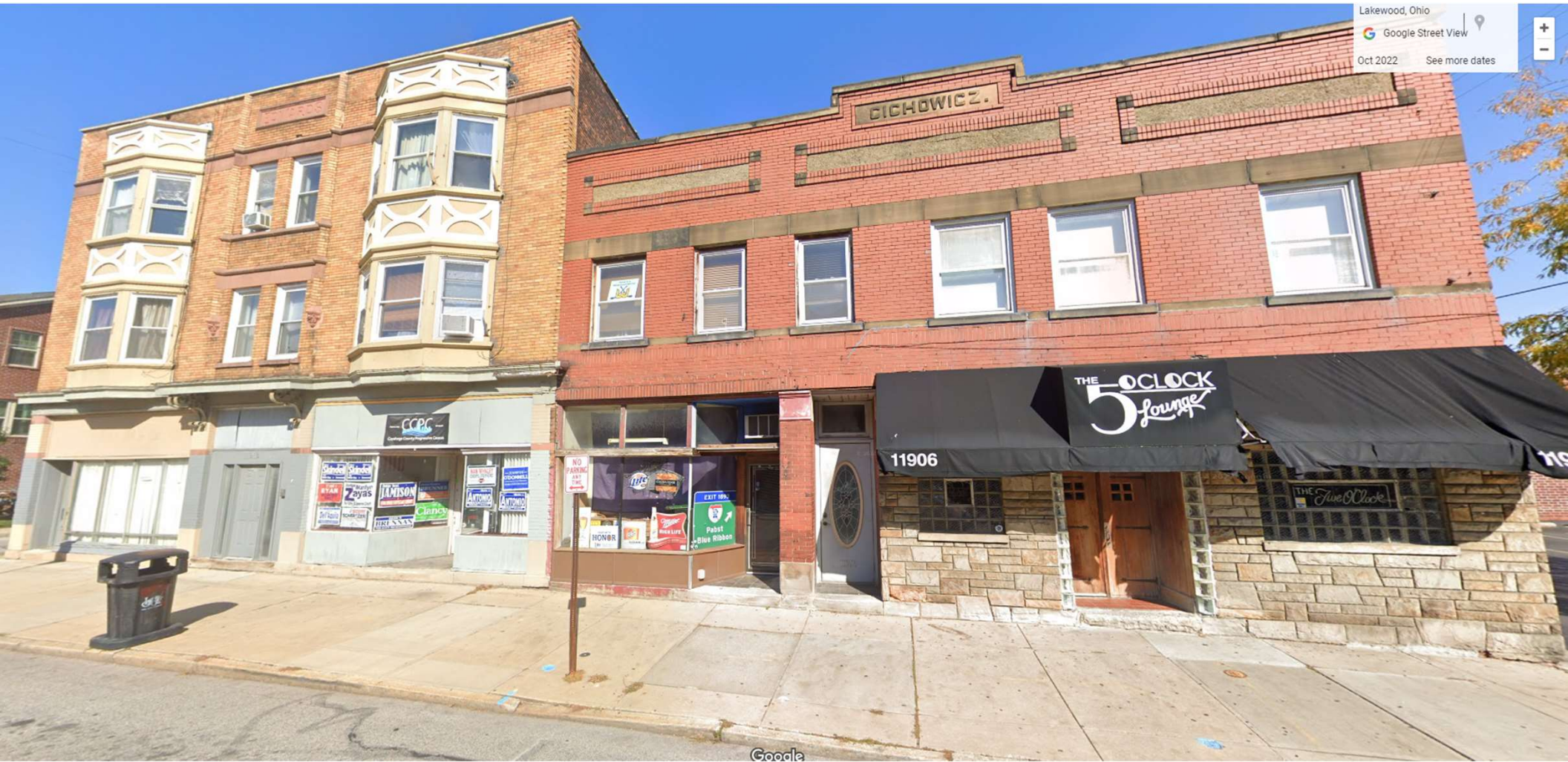
City Notes:

- Applicant proposing 1 ACM panel with vinyl graphics (32 sq ft)
- Business frontage = 45 sq ft; maximum square footage is 45 sq ft



Docket No. 10-78-23 (11912 Detroit)

Sign – Cuyahoga County Progressive Caucus
Steven Foster



Google



Docket No. 10-78-23 (11912 Detroit)
Signage – Foster Cuyahoga County Progressive Caucus

BEFORE



Docket No. 10-78-23 (11912 Detroit)
Signage – Foster Cuyahoga County Progressive Caucus

BEFORE



PROPOSED



NOTE: SIGNBOARD TO BE PAINTED BLACK



1/8" ACM Panel with Vinyl Graphics

PROPOSED SIGNAGE

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

1
10-11-23

ADDRESS:
11910 Detroit Ave,
Lakewood, OH 44107

BUSINESS NAME:
Cuyahoga County
Progressive Caucus

Steven Foster
216.390.0198
sfoster09@gmail.com

THE SIGN &
GRAPHICS
FIRM



Docket No. 10-78-23 (11912 Detroit) Signage – Foster Cuyahoga County Progressive Caucus

Applicant proposes new signage in the sign band.

City Notes:

- Applicant proposing 1 new wall sign (48 sq ft)
- Business frontage = 19.5 ft; maximum allowed square footage 19.5 sq ft
- No sign imagery submitted at this time.



Docket No. 10-79-23 (13306 Detroit)

**Sign – Cloud City Vapes
Sam Baadani**



Docket No. 10-79-23 (13306 Detroit)
Signage – Baadani Cloud City Vapes



Docket No. 10-79-23 (13306 Detroit)
Signage – Baadani Cloud City Vapes





11 1/2 - 12 ft

3 1/2 - 4 ft

Text

13306
SMILE!
YOU'RE IN
CHINA!
NO SELECTORS
PLEASE HAVE ID READY



Docket No. 10-79-23 (13306 Detroit)

Signage – Baadani Cloud City Vapes

RBG Lakewood LLC
13302 Detroit Ave.
Lakewood Ohio, 44280
(216-235-8484)

9/20/2023

To the City of Lakewood,

I Rick Groetsch owner of the building in which Aish Alhanash will be opening a Vape Store within, I DO give permission for him to place a new sign either on the inside windows or outside wall either is totally fine by me.

If needed you may reach me on my cell listed above.

Thank you,

Rick Groetsch

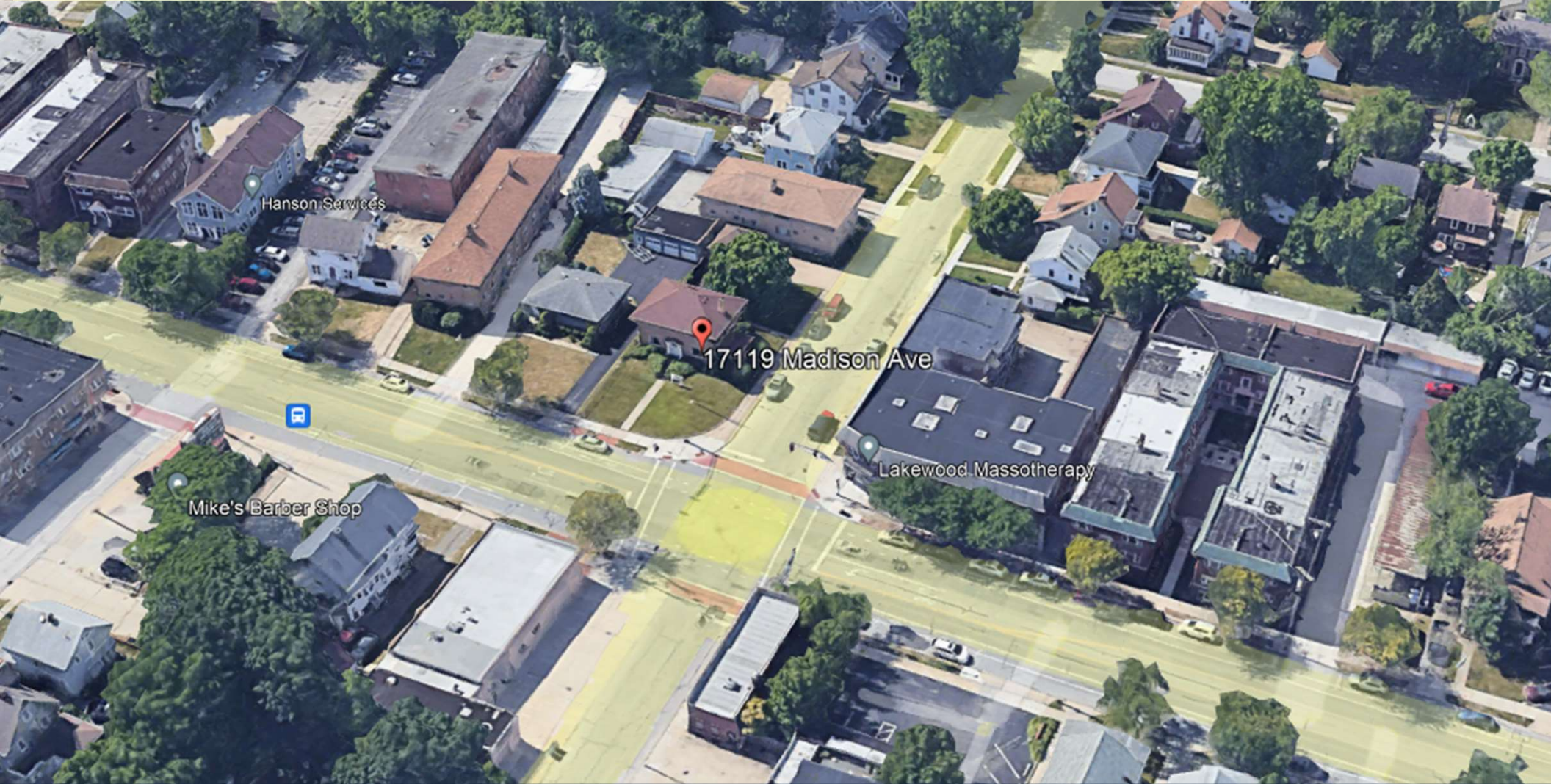


Docket No. 10-79-23 (13306 Detroit)
Signage – Baadani Cloud City Vapes

Applicant proposes new signage in an existing ground sign.

City Notes:

- Sign installed prior to ABR Review



Docket No. 10-80-23 (17119 Madison)

**Sign – Ayurveda Wellness House
Shilpika Devaiah**



Docket No. 10-80-23 (17119 Madison)
Signage – Devaiah Ayurveda Wellness House



ॠवन्दे अरुवेदोपे

Ayurveda

Wellness House



Docket No. 10-80-23 (17119 Madison)
Signage – Devaiah Ayurveda Wellness House

Updated



Docket No. 10-80-23 (17119 Madison)
Signage – Devaiah Ayurveda Wellness House

Applicant proposes three new signs: ground sign, projecting sign, and front wall letters.

City Notes:

- ❑ Applicant proposing 1 internally illuminated raceway sign (28 sq ft), 1 double-sided non-illuminated projecting sign (7.5 sq ft), and 1 internally illuminated cabinet ground sign (26 sq ft)
- ❑ Building frontage = 165 ft; maximum square footage of sign is 100 sq ft



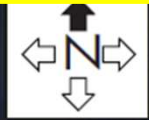
Docket No. 10-81-23 (15000 Madison)
Sign – NextHome Experts
Laura Higgins-Wyoma

Walgreens Pharmacy



Docket No. 10-81-23 (15000 Madison)
Signage – Higgins-Wyoma NextHome Experts

Updated



Docket No. 10-81-23 (15000 Madison)

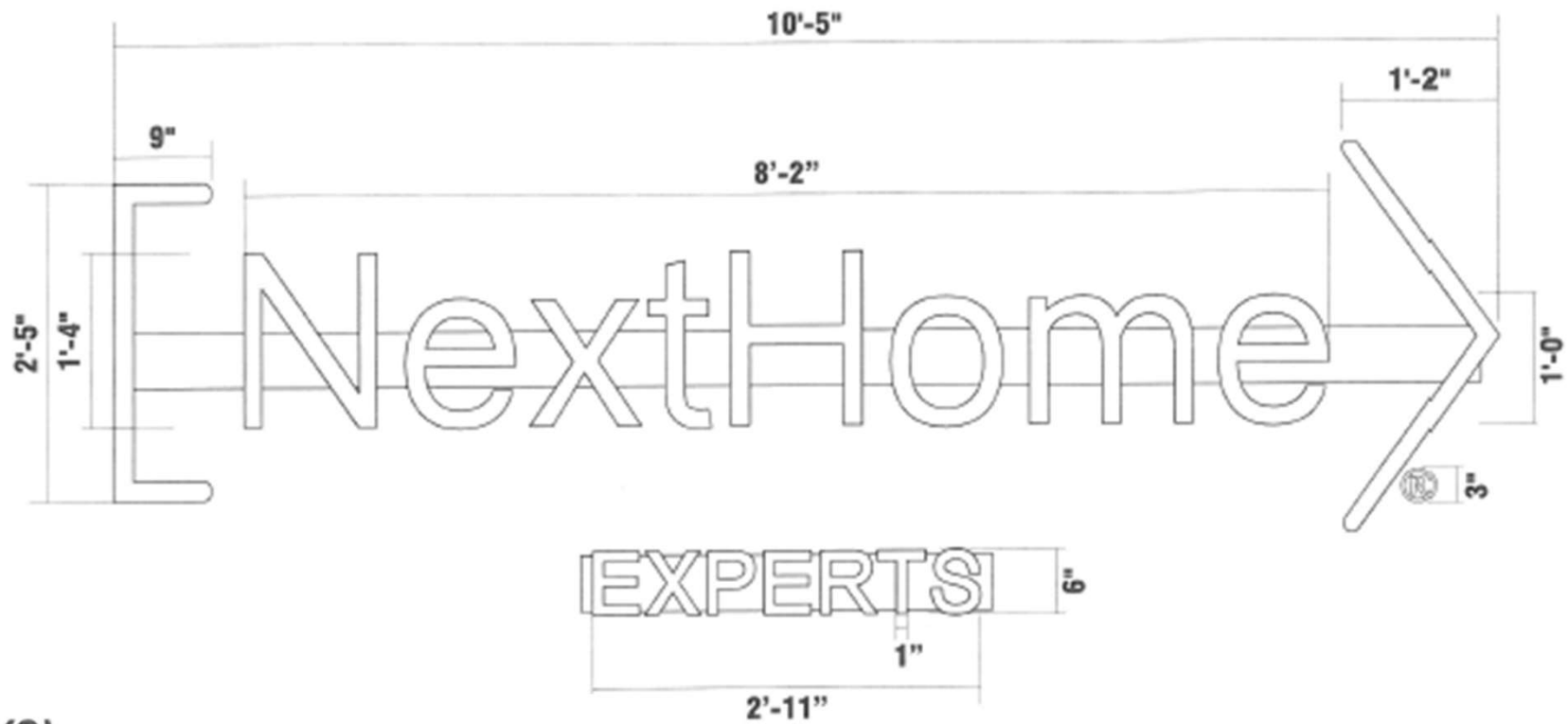
Signage – Higgins-Wyoma NextHome Experts



PHOTO RENDERING NTS



Docket No. 10-81-23 (15000 Madison)
Signage – Higgins-Wyoma Next Home Experts



SIGN C (2)

SIGN ELEVATION: 3/4"=1'-0'

Notes

Manufacture & install one (1) set of internally illuminated, LED channel logo segments & letters with one (1) single face, non-illuminated, circular, panel for the registration mark in the lower right hand corner; all to be mounted on raceways on the front of the building; raceways to contain power supplies

- Logo segments & letters to have white 7328 plexiglass faces; trim & returns to be painted black
- Registration panel to be painted to match building; circle & "R," to be first surface, white vinyl
- Raceways to be painted to match building fascia

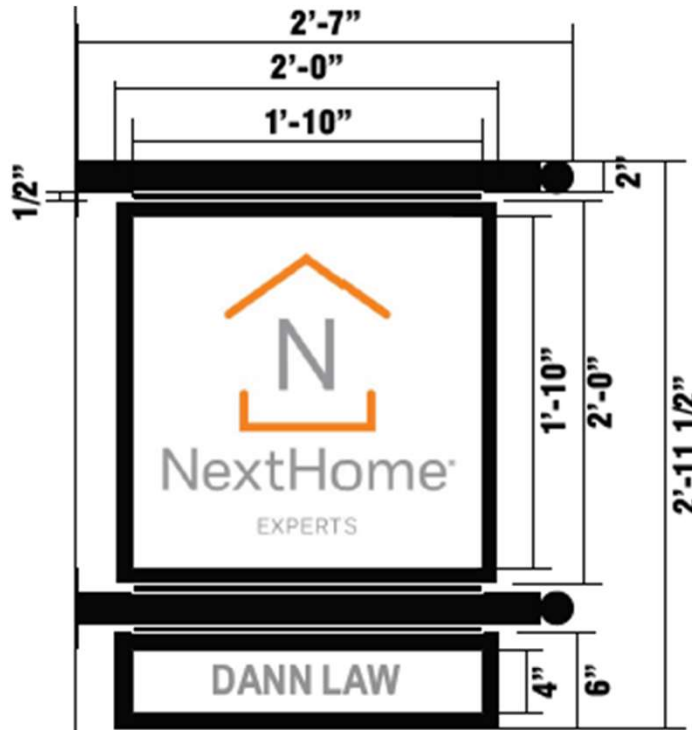
RATED 120 VOLTS



Docket No. 10-81-23 (15000 Madison)

Signage – Higgins-Wyoma NextHome Experts

Updated



SIGN ELEVATION: 1"=1'-0'

- Notes**
 Manufacture & install one (1) double face, non-illuminated, aluminum, projecting sign with two (2) single face, tenant panels on either side of the cabinet; whole sign to be projecting off the building using 2" square tube posts with decorative finials & mounting plates
 - Cabinets, reveals, trim, & posts with finials to be painted black
 - Graphics on the tenant panels to be first surface, digital print



Docket No. 10-81-23 (15000 Madison)
 Signage – Higgins-Wyoma NextHome Experts

Updated

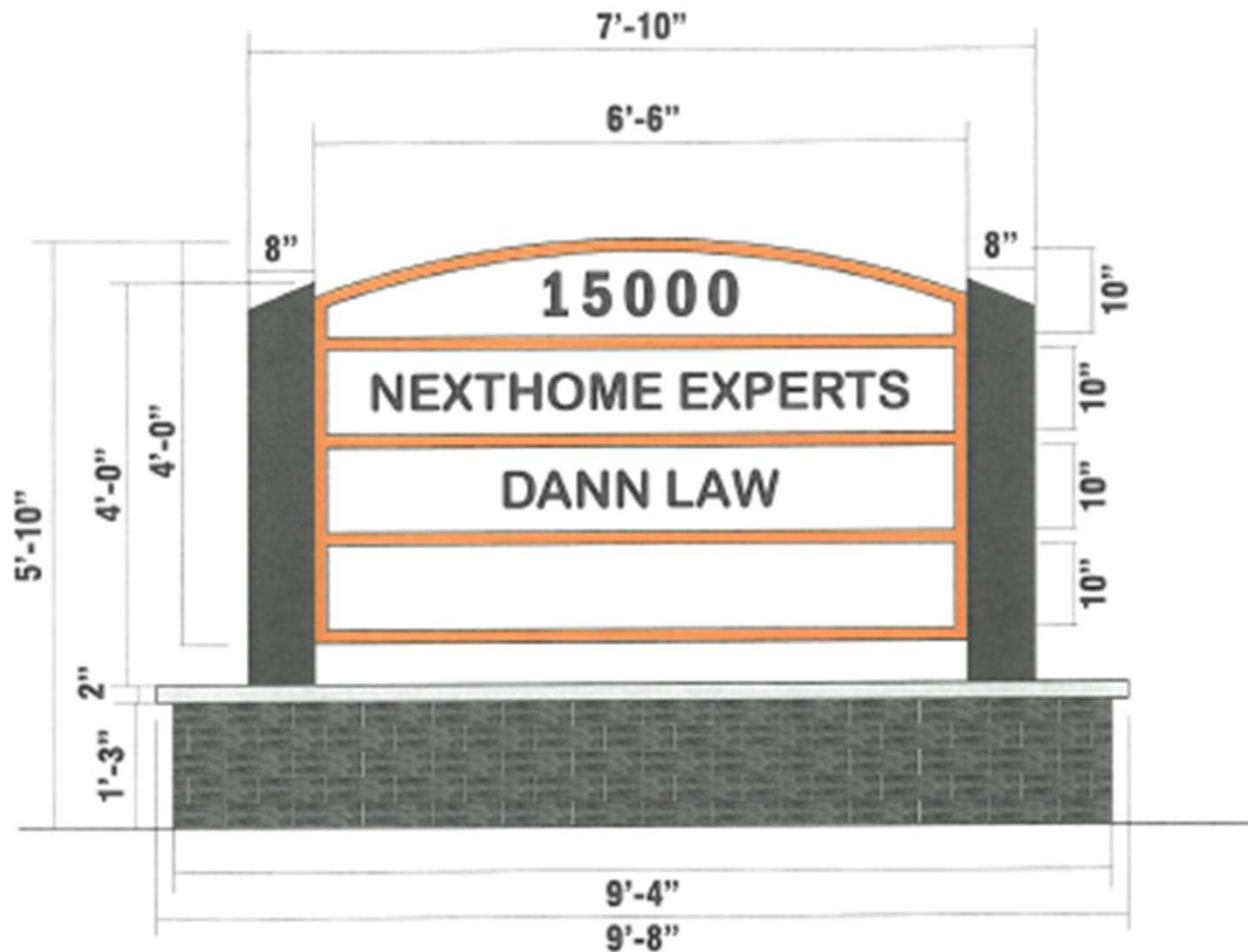


3'-6"



Docket No. 10-81-23 (15000 Madison)

Signage – Higgins-Wyoma NextHome Experts



SIGN ELEVATION: 1/2" = 1'-0"

Notes

Manufacture & install one (1) single face, LED internally illuminated, curved, aluminum, cabinet holding four (4) single face, polycarbonate, panels; one (1) to be header panel; three (3) to be interchangeable panels; whole cabinet to be mounted in between two (2) aluminum, columns on top of masonry base with stone cap

- Cabinet & divider bars to be painted orange
- Tenant panels to have first surface, digital print
- Columns on either side of the cabinet to be painted black
- Masonry base to be black brick; with stone cap

RATED 120 VOLTS

*Specific colors to be determined



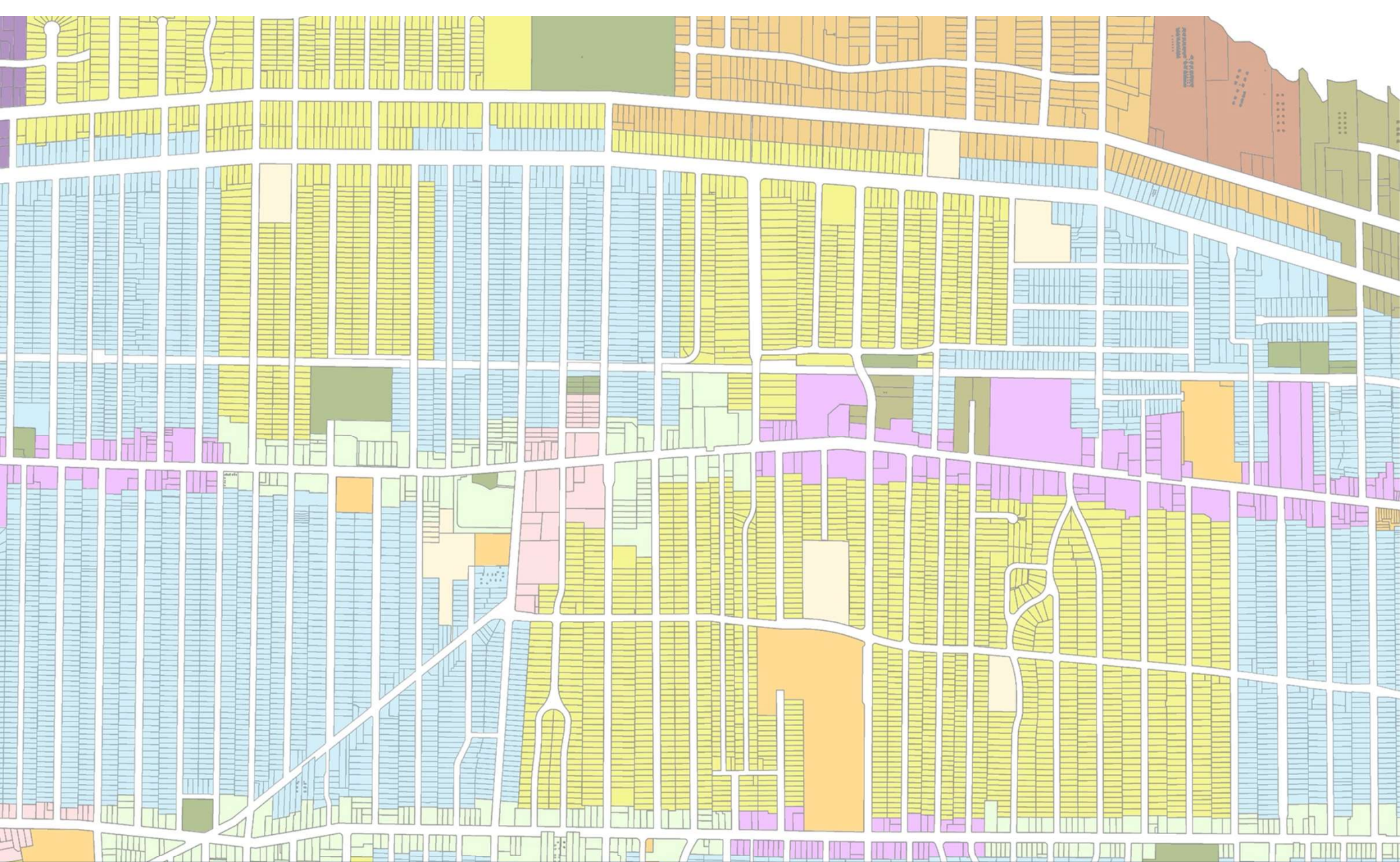
Docket No. 10-81-23 (15000 Madison)
 Signage – Higgins-Wyoma NextHome Experts



PHOTO RENDERING NTS

Docket No. 10-81-23 (15000 Madison)
Signage – Higgins-Wyoma NextHome Experts





Architectural Board of Review

October 2023