



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
NOVEMBER 13, 2025
5:30 P.M.
MEETING RECORDED

<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Chris Egervary
Nick Slaughterbeck
Jeremy Smith, Vice Chair
Matthew Stevenson

Staff

Amanda Cramer, Co-Board Secretary, City Planner
Sophia Szeles, Co-Board Secretary, City Planner
William Wagner, Assistant Building Commissioner
Jennifer Swallow, Chief Assistant Law Director

Hanna Cohan Plessner, Chair was absent from the meeting.

2. APPROVE THE MINUTES OF THE OCTOBER 9, 2025 MEETING

A motion was made by Mr. Smith, Vice Chair, seconded by Mr. Slaughterbeck to APPROVE the October 9, 2025 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

The Opening Remarks were bypassed.

SUMMARY APPROVED

At the pre-review meeting, three items were Summary Approved (conditions are noted). A motion and a second is needed for approval of Docket No. 11-94-25, Docket No. 11-95-25, and Docket No. 11-96-25.

SIGN REVIEW

4. Docket No. 11-94-25

18100 Sloane Ave.
Tesoro Gas Station

- Approve
- Deny
- Defer

Garry Potts
Professional Permits
58171 Dragonfly Ct.
Osceola, IN 46561

Applicant proposes the rebranding of a gas station. (Page 49)

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-94-25 with the following conditions:

- Pole sign and columns under the canopy should be repainted.
- Any window signage must be approved by the Board before installation.
- Any alterations to the existing building will need to be reviewed by the Board.

All the members voted yea, the motion passed.

5. Docket No. 11-95-25

15701 Detroit Ave.
Decent Shape Strength + Wellness Studio

- Approve
- Deny
- Defer

Brandon Hall
Decent Shape
1 Edgewater Square
Lakewood, OH 44107

Applicant proposes vinyl signage on the windows and door. (Page 64)

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-95-25 as presented. All the members voted yea; the motion passed.

6. Docket No. 11-96-25

13320 Madison Ave.
Vital Bean Cafe

- Approve
- Deny
- Defer

Cory Kaschel
Vital Bean Cafe
13320 Madison Ave.
Lakewood, OH 44107

Applicant proposes vinyl graphics in the front window. (Page 79)

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-96-25 as presented. All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

- | | | |
|---|-----|---|
| 7. Docket No. 11-104-25 | (C) | 1284 Cove Ave.
Apartment Building |
| <input type="checkbox"/> Approve
<input type="checkbox"/> Deny
<input type="checkbox"/> Defer | | Jesse Houser
Residents First Property Management Corp.
P.O. Box 871
Pelham, NJ 03076 |

Applicant proposes approval for painting of a brick exterior without getting approval before painting. (Page 198)

Jesse Houser, Residents First Property Management Corp., applicant, and Jasmine Scruggs, Portfolio Manager for Residents First Property Management Corp. were present to explain the request. Discussion ensued about the buildings' exterior prior to painting. The members did not note any deterioration that required painting. The applicant stated it was an aesthetic decision. The members stated there was no hardship that required the work; the City of Lakewood had strict guidelines for protection of brick/masonry. The process was not followed properly (weather conditions, type of paint, etc.).

Public Comment/Questions

- Was there a proposal for the finished design?
- The pdf of the agenda showed signage for numerous locations. Were those buildings slated to be painted.
 - o Yes, the original plan had been to paint the buildings.
- Were there building names on them previously cut into the masonry?
 - o Yes.

There were no comments or questions from the staff. The members reiterated the project was inappropriate and unacceptable. Ms. Swallow told the applicants that they could contact her regarding their next steps.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to DENY Docket No. 11-104-25. All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

- | | | |
|----------------------------------|-----|-------------------|
| 8. Docket No. 06-51-25 | (R) | 1070 Rosalie Ave. |
| <input type="checkbox"/> Approve | | Lee Pozek |

- () Deny
- () Defer

Architect
 5222 Coldbrook Dr.
 Mantua, OH 44255

Applicant proposes an addition on the north side of the home. (Page 5)

Lee Pozek, Architect was present to explain the amended request. The members liked the amended proposal.

Board Member Comment/Questions

- Did not like the artificial shutters as they were too narrow.
- Did the second floor windowpanes match the existing?
 - Tried to get them to match in size
- Wanted to see a street elevation for comparison to surrounding homes.
- Landscaping plan was a work in progress.
- Would the siding match the existing?
 - The existing siding and roof would be replaced to match the addition.
- What about the windows?
 - The existing windows will remain.
- Submit an update the rendering for administrative approval.

Public comment was closed as no one addressed the item. Administrative staff said this met the design standards better, and the landscaping design could be approved administratively, consider a bay window to break the façade, the garage met the standards. The members asked about the foundation; it would be black to match the existing.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 06-51-25 with the following condition:

- Remove the shutters on the proposed addition and the garage.

All the members voted yea; the motion passed.

9. Docket No. 10-89-25 (R) 17879 Lake Rd.

- () Approve
- () Deny
- () Defer

Mark H. Reinhold
 Architect
 1120 Forest Rd.
 Lakewood, OH 44107

Applicant proposes design approval for the construction of an addition and detached garage. (Page 24)

Mark Reinhold, Architect, applicant was present to explain the request. The members liked the amended proposal. The members did not like the nonoperational shutters, suggested to double the left porch

column to match the others. Public comment was closed as no one addressed the item. Staff had no additional comments.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 10-89-25 with the following condition:

- Remove the shutters on the proposed addition and the garage.

All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

10. Docket No. 11-97-25

14414 Detroit Ave.
Marlowe Exchange Building

- Approve
- Deny
- Defer

David J. Maniet AIA
Maniet Architects
1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes a comprehensive sign package. (Page 88)

David J. Maniet AIA, Maniet Architects, applicant was present to explain the request. Discussion began about the Ethlete window graphic, the location of the Maverick Financial blade sign, and the advantage of a Comprehensive Sign Plan. Public comment was closed as no one addressed the item. Staff reminded the applicant that tenant sign changes should be reviewed by administrative team before installation.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-97-25 with the following conditions:

- Ethlete window graphics are removed
- Maverick Financial blade sign will be in the location as shown on drawing S4.
- Applicant will send staff a clean set of drawings with updates as discussed.

All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

11. Docket No. 11-98-25

(C)

18240 Detroit Ave.
Chelsea Apartments

- Approve

Adrian Elliott

- Deny
- Defer

Red Door Living
14555 Madison Ave., #102
Lakewood, OH 44107

Applicant proposes a living evergreen barrier to screen the Dumpster. (Page 94)

Ms. Cramer announced that she received an amended site plan, and the applicant was not in attendance. The members like the revision utilizing a wooden fence on three sides and gate. Public comment was closed as no one addressed the item. Staff had no other comments.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-98-25 as presented. All the members voted yea; the motion passed.

12. Docket No. 11-99-25

(C)

1375 Lakewood Ave.
Apartment Building

- Approve
- Deny
- Defer

Robert Potocar
Barbera Home Improvement
5376 Ridge Rd..
Parma, OH 44129

Applicant proposes to replace the flat roof with a different style. (Page 106)

Robert Potocar, property owner, applicant, and Shane Brennan, property owner, were present to explain the project. The members stated the hip roof, and the removal of the awnings would help remediate the water infiltration problem. Public comment was taken. Neither staff nor members had additional comments or questions.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-99-25 with the following conditions:

- Remove the awnings.
- Bring back to ABR if preference is to keep awnings.

All the members voted yea; the motion passed.

13. Docket No. 11-100-25

(C)

17514 Northwood Ave.
St. James Corporate Building

- Approve
- Deny
- Defer

Sean Nugent
OCS LTD
17415 Northwood Ave., Suite 201
Lakewood, OH 44107

Applicant proposes the installation of canopies/awnings in a few locations on the property and building. (Page 136)

Ms. Cramer announced that Mr. Egervary would act as Vice Chair because Mr. Smith was recused since he was the architect for the project.

Sean Nugent, OCS LTD, applicant, and Jeremy Smith, Onward Design Collaborative, architect for the project, were present to explain the request. The members liked the proposal. Discussion commenced about the awning, roof hatch, canopy elevation, alignment of the west elevation awning in relation to the brick soldier course, tiebacks. Public comment was taken. Staff reminded everyone this was a locally Historically Designated building/property.

A motion was made by Mr. Egervary, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-100-25 with the following condition:

- Any changes to the canopy are to be submitted for administrative review and approval.

Mr. Egervary, Mr. Slaughterbeck, Mr. Stevenson voted yea, and Mr. Smith recused himself; the motion passed.

14. Docket No. 11-101-25	(R)	13406 Harlon Ave.
<input type="checkbox"/> Approve		Duane Schreiner
<input type="checkbox"/> Deny		Shannonwood Homes
<input type="checkbox"/> Defer		1635 Wood Rd.
		Cleveland Hts., OH 44121

Applicant proposes demolition of an existing garage and replacement with a new one on a corner lot. (Page 151)

Ms. Cramer stated that the city's law department said the applicant did not have to attend the meeting. The board members said it was an improvement and liked the proposal. Public comment was closed as no one addressed the item. Staff had no additional comments or questions.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-101-25 as presented. All the members voted yea; the motion passed.

15. Docket No. 11-102-25	(R)	1321 Bunts Rd.
<input type="checkbox"/> Approve		Brian Limkemann
<input type="checkbox"/> Deny		House to Homes Cleveland, LLC
<input type="checkbox"/> Defer		34909 Timberview Dr.
		Avon, OH 44011

Applicant proposes a rear addition, covered patio, and new garage on a corner lot. (Page 170)

Brian Limkemann, House to Homes Cleveland, LLC, applicant was present to explain the request. Discussion confirmed that the covered breezeway was open on both sides, appreciated the investment, discussed the various rooflines and roof slopes, materials and window sizes would match the existing, and new lighting. Public comment was taken. Staff said it would be heard by the Board of Zoning Appeals (BZA) for lot coverage, added administrative comments, received street elevations, fence would be retained, etc.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 11-102-25 with the following conditions:

- All exterior materials are submitted for administrative review and approval and inclusion in the record.
- Expand the site plan to include the sidewalk and street and submit for administrative review and approval.
- Maintain the existing 6' fence.

All the members voted yea; the motion passed.

16. Docket No. 11-103-25	(C)	13351-55 Madison Ave. Northcoast Affordable Housing, LLC
<input type="checkbox"/> Approve		Thomas Leneghan
<input type="checkbox"/> Deny		Westport Builders
<input type="checkbox"/> Defer		3190 W. 63 rd St. Cleveland, OH 44102

Applicant proposes parking lot design. (Page 188)

Ms. Cramer received communication from the applicant who requested the application be withdrawn from consideration. No further action was required from the board.

ADJOURN

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **ADJOURN** at the meeting 7:28 p.m. All the members voted yea; the motion passed.

Signature

12.11.2025

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. JESSE HOUSER

2. ~~LEE POZAK~~

3. MARK REINHOLD

4. DAVID MANIET

5. Robert Potocar

6. ~~Brian L. Warren~~ →

BRYAN L. WARREN

7. SEAN NUGENT

8. JEREMY SMITH

9. BRIAN LINDEMANN

10.

11.

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, November 13, 2025

Johanna Schwarz

From: Robert Klann <rklann@rpmadison.com>
Sent: Wednesday, November 5, 2025 2:17 PM
To: Amanda L. Cramer; Planning Dept
Subject: RE: Docket No 06-51-25

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Disappointing –

From: Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov>
Sent: Wednesday, November 5, 2025 2:12 PM
To: Robert Klann <rklann@rpmadison.com>; Planning Dept <Planning@lakewoodoh.gov>
Subject: RE: Docket No 06-51-25

Received. This will not be shared at pre-review as this still counts as public input. We will put it on the record for the regular meeting of the Board and share with the Board members.



Amanda Cramer, AICP
City Planner

City of Lakewood, Ohio
12650 Detroit Ave.
Lakewood, OH 44107

(216) 529-7679
amanda.cramer@lakewoodoh.gov

From: Robert Klann <rklann@rpmadison.com>
Sent: Wednesday, November 5, 2025 1:18 PM
To: Planning Dept <Planning@lakewoodoh.gov>
Cc: Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov>
Subject: RE: Docket No 06-51-25

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

My hope is you share this at planning workshop tomorrow even though your letter states no public input is allowed.

From: Planning Dept <Planning@lakewoodoh.gov>
Sent: Tuesday, November 4, 2025 1:40 PM
To: Robert Klann <rklann@rpmadison.com>
Cc: Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov>
Subject: RE: Docket No 06-51-25

Hello,

Click on the link to open and review the Nov. 13, 2025 ABR agenda. https://www.lakewoodoh.gov/wp-content/uploads/2025/11/BBSARBAgenda_111325.pdf

Enjoy your afternoon,

Sincerely,

Johanna



Johanna Schwarz
Administrative Assistant II

City of Lakewood, Ohio
12650 Detroit Ave.
Lakewood, OH 44107

(216) 529-6631
johanna.schwarz@lakewoodoh.gov

From: Robert Klann <rklann@rpmadison.com>
Sent: Tuesday, November 4, 2025 7:34 AM
To: Planning Dept <planning@lakewoodoh.gov>
Subject: Docket No 06-51-25

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Received public notice letter stating that drawings for 1070 Rosalie are available – but nothing is on website.

Pre-meeting is November 6th

Thank you,

Robert Klann
1085 Leedale
Lakewood, Ohio 44107

Please consider distributing at the November 6 work session.

I am writing in response to the letter sent to my address regarding 1070 Rosalie Docket No. 06-51-25.

I appreciate the work of the architect and feel sympathy for the Owner moving through the Lakewood design review process.

My understanding is the Owner and Architect originally came to the ABR with an addition designed with a street front facing garage on June 12, 2025 Docket Number 06-51-25. The Board made and approved a motion to DEFER the request.

Due to this deferral by the ABR the Owner and Architect revised the design to be an attached garage in the back of the house. (conjecture that the owner and architect were told privately that the addition would not be approved as drawn).

This resulted in the necessity to achieve two zoning variances (attached garage rear setback in violation of zoning code and total lot coverage in violation of zoning code and what will be the probable loss of 4 healthy mature trees in the rear lot for new concrete pavement.

My opinion is that the original June 12th design would have been better for the environment and for Lakewood as a whole. I live on a street where my two adjacent neighbors have street facing garages and never thought it was an issue – rather I am envious when the snow falls and they have less to shovel.

2024 Lakewood Residential Architectural Design Standards do permit street facing attached garages but instead the current design violates two zoning codes and adds the cost of losing more of Lakewood's tree canopy.

I would ask that you revisit the June presentation and weigh cost and benefit as a whole now that you can see the result of the ABR Deferral.

Robert Klann

1085 Leedale

Lakewood Ohio 44107

Johanna Schwarz

From: Amanda L. Cramer
Sent: Tuesday, November 11, 2025 11:26 AM
To: Johanna Schwarz; Sophia M. Szeles
Subject: FW: City of Lakewood ABR: 13351-55 Madison Ave

Follow Up Flag: Follow up
Flag Status: Flagged

FYI.



Amanda Cramer, AICP
City Planner

City of Lakewood, Ohio
12650 Detroit Ave.
Lakewood, OH 44107

(216) 529-7679
amanda.cramer@lakewoodoh.gov

From: E G <egrevey@gmail.com>
Sent: Monday, November 10, 2025 2:51 PM
To: Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov>
Cc: tomleneghan@yahoo.com
Subject: Re: City of Lakewood ABR: 13351-55 Madison Ave

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Hi Amanda,

We have an update. Tom found an opportunity in Lakewood, to rent parking space for his food trucks. He is going to move forward with that plan. He is putting a "hold" on making changes to the lot on Madison for now. Rather than go to the expense of creating a parking lot, he can keep the trucks in Lakewood at less expense. Please remove our project from the agenda for Wednesday. Thank you for your help with all this!

Kind regards,

Ellen Grevey
614.271.5265

On Mon, Nov 10, 2025 at 10:42 AM E G <egrevey@gmail.com> wrote:

Will do, thanks Amanda!

Ellen Grevey
614.271.5265

On Fri, Nov 7, 2025 at 11:34 AM Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov> wrote:

Hi All,

Thanks for attending last night. I believe the only thing the Board requested was a little more specifics on the proposed screening for the berm and to show where food trucks and such will be parked.

Please send any updates to me by next Wednesday at noon. I will reach out then with meeting logistics.



Amanda Cramer, AICP

City Planner

[City of Lakewood, Ohio](#)

[12650 Detroit Ave.](#)

Lakewood, OH 44107

(216) 529-7679

amanda.cramer@lakewoodoh.gov

From: E G <egrevey@gmail.com>

Sent: Wednesday, November 5, 2025 10:44 AM

To: Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov>

Cc: tomleneghan@yahoo.com; Sophia M. Szeles <Sophia.Szeles@lakewoodoh.gov>

Subject: Re: City of Lakewood ABR: 13351-55 Madison Ave

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Hi Amanda,

The existing driveway easement will be used as the drive aisle, and it is 13 ft, 6 in. wide. If we can get that added to the drawing in time, I will send an updated drawing.

Thanks!

Ellen Grevey

614.271.5265

On Mon, Nov 3, 2025 at 3:01 PM Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov> wrote:

Thank you Ellen.

On the site plan, we need to know what the drive aisle width is.



Amanda Cramer, AICP

City Planner

[City of Lakewood, Ohio](#)

[12650 Detroit Ave.](#)

Lakewood, OH 44107

(216) 529-7679

amanda.cramer@lakewoodoh.gov

From: E G <egrevey@gmail.com>

Sent: Monday, November 3, 2025 2:57 PM

To: Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov>

Cc: tomleneghan@yahoo.com; Sophia M. Szeles <Sophia.Szeles@lakewoodoh.gov>

Subject: Re: City of Lakewood ABR: 13351-55 Madison Ave

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Hello Amanda,

Thank you - we will attend the Pre-Review Zoom meeting on Thursday, 11/6. I've attached the documents to show the street view, striping and landscaping. I'm not sure if curb cuts are shown. There is an existing parking easement that I believe is the driveway. Can you please let me know if more is needed?

Thank you!

Best,

Ellen Grevey

614.271.5265

On Wed, Oct 29, 2025 at 12:36 PM Amanda L. Cramer <Amanda.Cramer@lakewoodoh.gov> wrote:

Hi Tom and Ellen,

Thank you for your application to Lakewood's Architectural Board of Review (ABR) for: 13351-55 Madison Ave.

We would like to invite you to come to the Pre-Review meeting on Thursday, 11/6. The pre-review meetings will now be virtual. **See the meeting information below my signature block.** The meeting begins at 4:00.

The pre-review is an optional work-session type meeting that is intended to allow feedback from the Board with time to make final revisions to the plan/proposal prior to the public meeting on Thursday, 11/13 if necessary. If you are unable to attend Pre-Review, I will still share your application materials with the Board and be in contact with you after the meeting with any suggested revisions.

Please provide the following items by 11/5 at noon via email:

- **Need elevation drawing (street view) of proposed lot**
- **Plans need to show striping, driveway aisles, curb cuts, etc. to be able to determine if this meets code.**
- **See Section 1325.08 to understand what we need to see for a parking lot proposal:**
https://codelibrary.amlegal.com/codes/lakewood/latest/lakewood_oh/0-0-0-76960#JD_1325.08

You or another representative of the project must attend the Public Meeting on 11/13 (will be held in City Hall Auditorium) for the Board to vote on the item. Please look for additional details about that meeting as it gets closer, and we see how the docket is shaping up – I should be able to give you a better estimate of when your item will be heard.

Please let me know if you plan to attend Pre-Review or if you have any questions between now and then.

Amanda Cramer, AICP

City Planner



[City of Lakewood, Ohio](#)

[12650 Detroit Ave.](#)

Lakewood, OH 44107

(216) 529-7679

amanda.cramer@lakewoodoh.gov

Amanda Cramer is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://us06web.zoom.us/j/87342514021?pwd=cMkOjeyHppJ9kpPs0aw5SPNYmtirth.1>

Meeting ID: 873 4251 4021

Passcode: 253909

One tap mobile

+19292056099,,87342514021# US (New York)

+13017158592,,87342514021# US (Washington DC)

Join instructions

https://us06web.zoom.us/join/87342514021?signature=0RKvWLiQguOrECVaoftl4-LYHfuyyyL6MZuSS6_1BHM

Johanna Schwarz

From: Brian Meng <bmeng@bialosky.com>
Sent: Monday, November 10, 2025 2:52 PM
To: Johanna Schwarz; Amanda L. Cramer; David Baas
Cc: Ian Andrews; Jo Higgins; Amy Haney - Committee Chair
Subject: FW: Agenda: BBS/ABR/Sign Review

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Johanna, Amanda, and Dave,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood BBS/ABR/Sign Review agenda for the 11/11/2025 meeting.

- **Docket 06-51-25: 1070 Rosalie.**
 - The addition is a large footprint that is smaller in height than the existing house. We are curious if the use of dormers was investigated to break up the mass of the roof and relate to the existing house more.
 - The existing site has large trees and landscaping. Will any of that be retained for the addition?
 - Will the existing side of the house also receive need siding and roofing to be consistent in finish with the proposed addition?
 - Will the window trims match between in the existing and addition?
- **Docket 10-89-25: 17879 Lake.**
 - No comment. The proposed addition blends well with the existing home.
- **Docket 11-94-25: 18100 Sloane.**
 - Will there be any modifications made to the building?
 - Are any other modifications to the pole sign beyond refacing the box being sought?
- **Docket 11-95-25: 15701 Detroit.**
 - Have signage decals already been installed?
- **Docket 11-96-25: 13320 Madison.**
 - Is the proposed sign within the sign area limitations?
- **Docket 11-97-25: 1441 Detroit.**
 - The “Maverick” blade sign over the Detroit entry is in the keystone. Can it be raised to avoid potential permanent damage to the historic keystone?
 - It appears the remainder of the submission is for signage already installed.
- **Docket 11-98-25: 18240 Detroit.**
 - Will the proposed planters cause unintended obstruction for vehicular circulation of the Phelps Avenue driveway?
- **Docket 11-99-25: 1375 Lakewood Ave.**
 - The proposal seems reasonable; however the submitted drawings are not legible and it is difficult to comment on. For example, are the window awnings being removed.
- **Docket 11-100-25: 17415 Northwood.**

- How many canopies are being proposed to be installed?
- Will the new canopies have tie backs? If so how and where will they interface with the existing masonry.
- How will the canopy drain to avoid water at the doors.
- **Docket 11-101-25: 13405 Harlon Ave.**
 - Will the new garage include carriage lights?
 - Confirm the new garage will have gutters and downspouts.
- **Docket 11-102-25: 1321 Bunts.**
 - This is a fairly large, unique addition and investment by the homeowner.
 - Due to the size, is this within the allowable lot coverage.
 - Based on the unique disposition of the garage, covered walkway and addition on the corner lot, will it be a requirement for the fence to remain (and maintained) indefinitely?
 - What happens if the fence is removed in the future?
 - What is the condition on the north property line. Is a fence proposed there as well?
- **Docket 11-103-25: 13351-55 Madison.**
 - This parking lot will be accessed partially via the adjacent property to the west. The plan notes an easement. Has this been recorded?
 - Can the paved area be increased slightly (+/-2') to provide 8 full spaces?
 - Will any lighting be provided to provide illumination of the parking spaces and drive aisle.
 - We appreciate the landscaping berm. However, review should be given to sightlines to ensure visibility is maintained by drivers to the sidewalk and to oncoming Madison traffic. but is it possible to pull the parking toward the north to gain another full space? Lose the partial space on the south end to offset.
- **Docket 11-104-25: 1284 Cove.**
 - Elevations or photos would be helpful.
 - Although we acknowledge that painting of existing brick may be necessary at times due to maintenance reasons, we question it when done only for aesthetics.
 - The existing building has many brick details and characteristics that would become very subtle or lost altogether if painted.
 - We suggest the ARB review this in detail.

We truly appreciate the opportunity to share our thoughts with you on this application. If you have any questions on our comments, please let us know and we would be happy to discuss further.

Thank you,

BRIAN MENG RA, LEED AP
Principal | Architect

BIALOSKY Always By Design.

P 216-767-2023

From: Ian Andrews <iandrews@lakewoodalive.org>
Sent: Tuesday, November 4, 2025 2:53 PM
To: Brian Meng <bmeng@bialosky.com>
Subject: Fw: Agenda: BBS/ABR/Sign Review

Ian Andrews
Executive Director
LakewoodAlive
12815 Detroit Avenue
Lakewood, OH 44107
216-521-0655

lakewoodalive.org



Support Us:

Our mission is to foster and sustain vibrant and welcoming neighborhoods; your support empowers us to achieve our goals. [Donate Now!](#)

Did you know that you can leave your own Lakewood legacy that will have a lasting impact? Support LakewoodAlive for years to come by making a [planned gift!](#)

Upcoming Events:

11/11 – [Western Reserve Distillers Dine to Donate](#)

11/19 – [Aladdin's Dine to Donate](#)

12/6 – [19th Annual Light Up Lakewood](#)



From: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Sent: Tuesday, November 4, 2025 1:41 PM

To: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Subject: Agenda: BBS/ABR/Sign Review

https://www.lakewoodoh.gov/wp-content/uploads/2025/11/BBSARBAgenda_111325.pdf

Good afternoon,

Please click on the link to view the agenda for the November 13, 2025 BBS/ABR/Sign Review meeting that begins at 5:30 p.m. in the Auditorium. The pre-review meeting is scheduled for Thursday, November 6, 2025 at 4:00 p.m.; login to the ZOOM LINK as noted on the agenda.

Thank you and have a good day.

Sincerely,

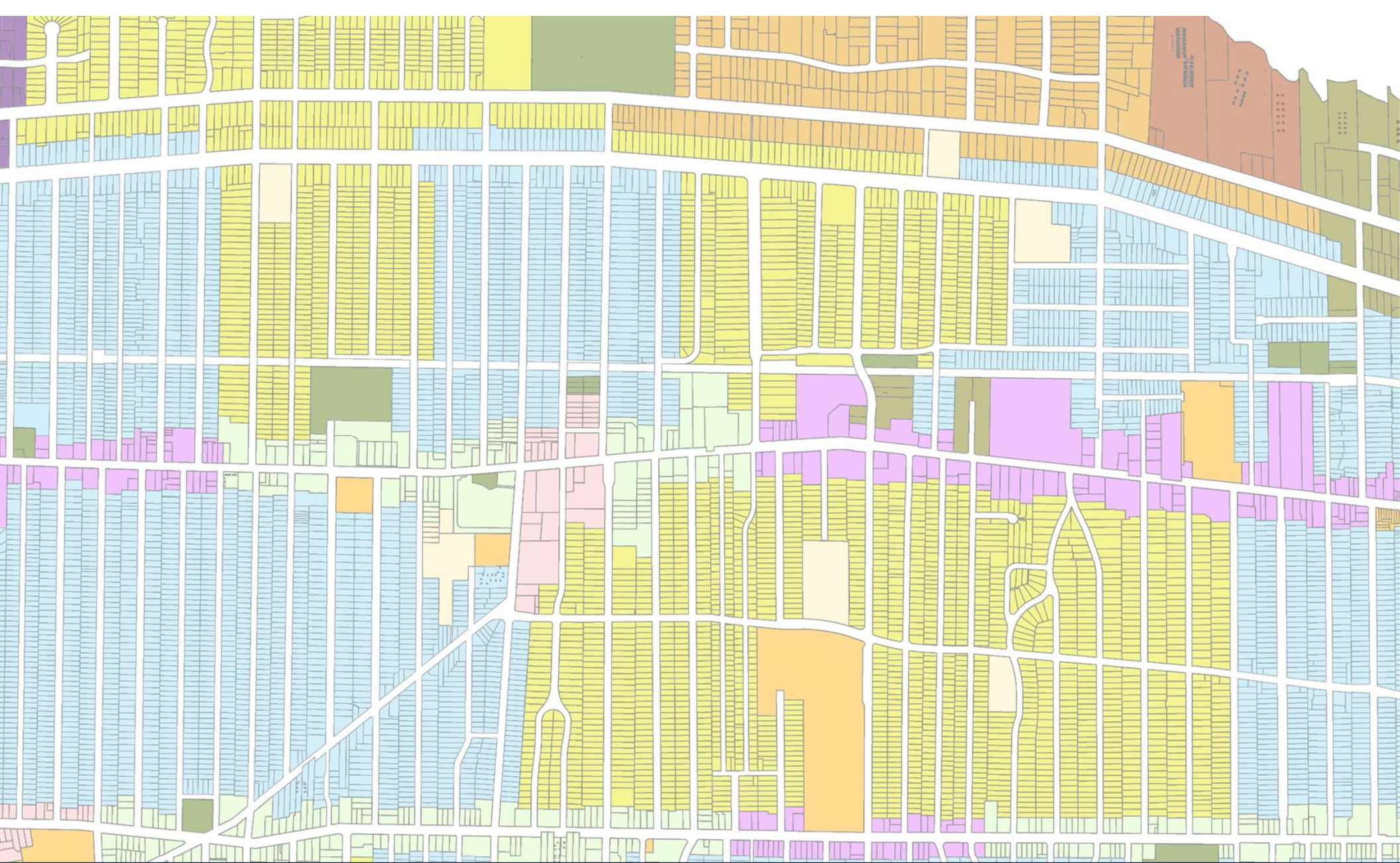
Johanna



Johanna Schwarz
Administrative Assistant II

City of Lakewood, Ohio
12650 Detroit Ave.
Lakewood, OH 44107

(216) 529-6631
johanna.schwarz@lakewoodoh.gov



Architectural Board of Review

November 2025



Architectural Board of Review

Pre-Review Meeting: November 6th, 4 pm (East Conf Rm)

Regular Meeting: November 13th , 5:30 pm (Auditorium)

Members

Hanna Cohan Plessner (2025 Chair)

Jeremy Smith (2025 Vice-Chair)

Chris Egervary

Nick Slaughterbeck

Matt Stevenson

Staff

Board Secretary: Amanda Cramer, Sophia Szeles

Assistant Building Commissioner: William Wagner



Architectural Board of Review
November Agenda

1. Roll call
2. Approve minutes – October 2025 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn

1325.03 of the Lakewood Codified Ordinances: Purpose of ABR/BBS/Sign Review Board

- The purposes of the Architectural Board of Review are to protect the value, appearance and use of property on which buildings are constructed or altered, to maintain a high character of community development, to protect the public health, safety, convenience and welfare and to protect real estate within the City from impairment or destruction of value.
- Such purposes shall be accomplished by the Board by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all main and accessory buildings to be erected, moved, altered, remodeled or repaired, subject to the provisions of the Zoning and Building Codes and other applicable ordinances of the City, and shall take into consideration the Architectural Standards Workbook and any other design guidelines or standards, as recommended by the Administration or City Council and adopted by the Planning Commission pursuant to Part One, Title Five, Chapter [154](#) of the Codified Ordinances of the City of Lakewood, for use by the Board.
- In reviewing, regulating and approving building plans, the Board shall consider and take cognizance of the development of adjacent, contiguous and neighboring buildings and properties for the purpose of achieving safe, harmonious and integrated development of related properties.

Applicant proposes refacing existing signage.

City Notes:

- Existing signage to be removed
- Applicant proposes 2 wall signs (24 sq ft and 5 sq ft), dispenser signs, 1 pole sign replacement (39 sq ft)
- Max allowed square footage: 100 sq ft
- Total proposed square footage: 68 + dispensers

Summary approval with the following conditions:

- Pole sign and columns under the canopy should be repainted.
- Any window signage must be approved by the Board before installation.
- Any alterations to the existing building will need to be reviewed by the Board.



Docket No. 11-94-25 (18100 Sloane)

Face Replacements – Teroso Gas Station
Garry Potts



Docket No. 11-94-25 (18100 Sloane)





Docket No. 11-94-25 (18100 Sloane)





Docket No. 11-94-25 (18100 Sloane)





TESORO Brand Book

Requestor: DANIELLE SANDERS

Jobber: BECK SUPPLIERS, INC

Dealer: 39438

Site Address: 18100 SLOANE AVE, LAKEWOOD, C



Docket No. 11-94-25 (18100 Sloane)

Canopy Layout

Approved by: _____

Date: _____

TESORO Plan View

Fascia: 36"

Logo Decal: 26"

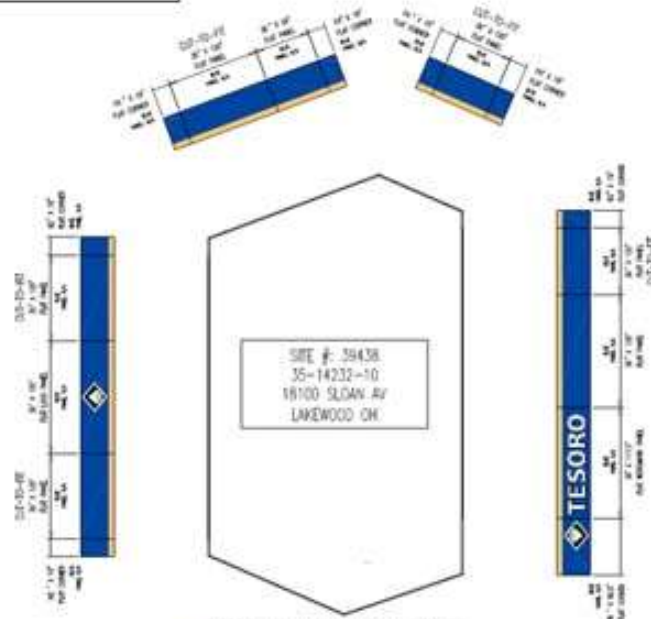
Letter Decal: 19"

Extension Kit

Radius Kit

Special Note(s):

Store



* Minimum panel height. May require two (2)-to-(2) panels
next to each other on the same elevation.

(W CLIFTON BLVD)

(SLOAN AVE)

Layout must be approved and returned to process order.

FASCIA HEIGHT:	LOGO DECAL:	LETTER DECAL:
24" - 35"	20"	15"
36" - 42"	26"	19"
43" - 48"	34"	25"



Docket No. 11-94-25 (18100 Sloane)

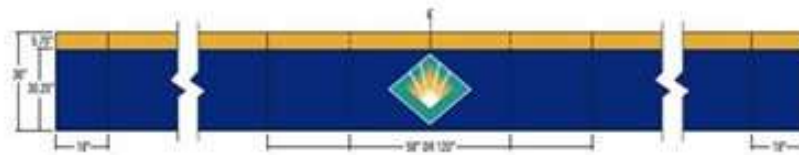
Canopy Details

TESORO 36"-42" Fascia Guidelines

ACM: FLAT FASCIA: 36"-42" STRIPE: 5.75"



A FRONT ELEVATION - FASCIA 36" - 42" - LEFT JUSTIFIED
SCALE: 1/40



B SIDE ELEVATIONS - FASCIA 36" - 42"
SCALE: 1/40



C LOGO SIZE & SPACING FOR 36" - 42" FASCIA
SCALE: 1/25



Docket No. 11-94-25 (18100 Sloane)

Dispenser Layout



Docket No. 11-94-25 (18100 Sloane)



Color Specs

 **01** 

Tesoro Blue

Material / Color Match
 Pattern 11-001 TCR Bright White

Paint Spec
 Sherwin Williams
 SW7002

Color Usage on Site
 Canopy Façade, Signposts, Sign Sign, Sign Posts, Sign Posts

 **03** 

Tesoro White

Material / Color Match
 Pattern 11-001 TCR Bright White

Paint Spec
 Sherwin Williams
 SW7002 Pure White
 Satin Finish

Color Usage on Site
 Canopy Columns, Sign Posts, Signposts, Sign Posts, Sign Posts, Sign Posts, Sign Posts, Sign Posts, Sign Posts

 **03A** 

Tesoro Canopy Deck White

Material / Color Match
 Pattern 11-001 TCR Bright White

Paint Spec
 Sherwin Williams
 SW7002 Pure White
 Satin Finish

Color Usage on Site
 Under Canopy Deck

 **06** 

Tesoro Dark Gray

Material / Color Match
 Pattern 11-001 TCR Bright White

Paint Spec
 Sherwin Williams
 SW7002 Pure White
 Satin Finish

Color Usage on Site
 Canopy Sign Posts, Sign Posts

 **10** 

Tesoro Black

Material / Color Match
 Black & C.A.M.A.R.

Paint Spec
 Sherwin Williams
 SW7002 Pure White
 Satin Finish

Color Usage on Site
 Canopy Columns, Under Canopy Deck





Detailed Information

Standard Windload
 Retainer Type: Hinged
 Existing Cab: 57.75"H X 98.25"W
 Retainer Quantity: 2
 Retainer Size: 57.375"H X 97.875"W
 Retainer VO: 53.375"H X 93.875"W
 Area: 39 SQ FT
 Retainer Color: Sky White

Detail 1: Logo

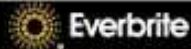
VO: 53.375"H X 44"W
 Tesoro Logo Flat Face
 Color Specifications:
 Digitally Printed

Detail 2: Priceline

VO: 53.375"H X 47.875"W
 Digit Type: Lumidigit 4 (Flat Faces)
 Priceline 1: Red 16", Stacked

1 - 20 Amp Circuit(s) @ 120V Required
 LEDs Total Draw: 1 Amps @ 120V

Est. Crated Weight: 410 pounds
 Crate HxLxW: 71x105x21"
 Freight Class: 175

		<small>DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.</small>	
Customer: Tesoro		Description:	
Project No: PP524822A	Scale: N/A	Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer. Please read carefully, check appropriate box and fax back to Everbrite:	
Date: 06/17/2025	Drawn By: BF		
Location & Site No: 18100 Sloane Ave., Lakewood, OH, 44107-3108		Version: 1	<input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New Sketch Required
		LANDLORD SIGNATURE _____	DATE _____
		SIGNATURE _____	DATE _____

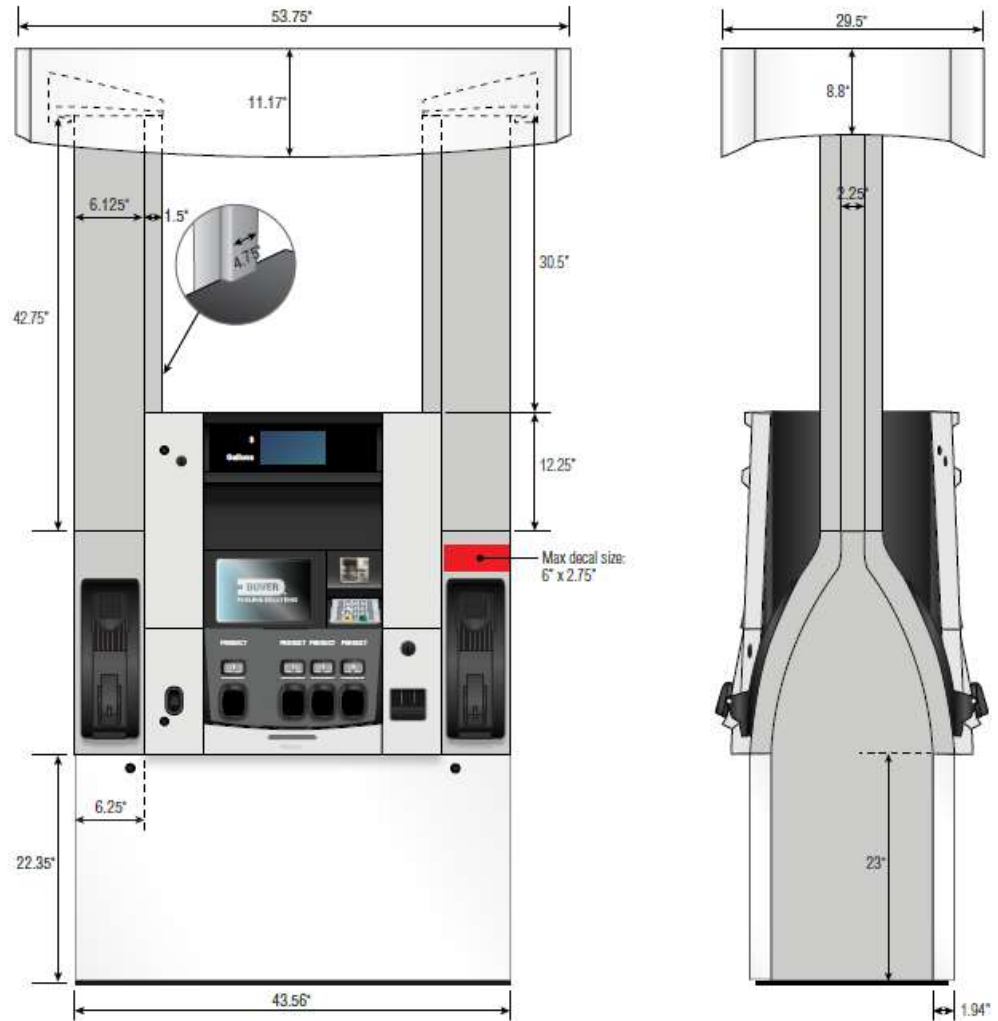


Docket No. 11-94-25 (18100 Sloane)

Ovation: Dimensions



Dimensions are rounded DOWN, unless representing windows which are rounded UP, this is to ensure decal fit.



For art file questions or template requests, please contact: creative.services@doverfs.com



Docket No. 11-94-25 (18100 Sloane)



Docket No. 11-94-25 (18100 Sloane)

Applicant proposes new signage.

City Notes:

- Applicant proposes awning sign (9.5 sq ft), window signs (6 sq ft total)
- Max allowed square footage: 66.56 sq ft total, **unsure of window measurements for 15% rule**
- Total proposed square footage: 15.5 sq ft

15701 Detroit

Summary approval without conditions



Docket No. 11-95-25 (15701 Detroit)

New Signage – Decent Shape Strength + Wellness Studio
Brandon Hall

Text 2.8" h plus descenders

(.com is the widest line to determine height for all text)

Cost \$240 installed plus tax for all

*Permits are not included if needed

strong body.

sound mind.

decent shape.
strength + wellness studio

thedecentshape.com

@decent.shape 

train for life.

everyone deserves

to feel strong.



Docket No. 11-95-25 (15701 Detroit)

Window 1 Text: strong body.

Window 2 Text: sound mind.

Window 3 Text: @decent.shape *(would love to add the little instagram logo next to it if possible!)*

Window 4 Text: train for life.

Window 5 Text: thedecentshape.com

Window 6 Text: everyone deserves

Window 7 Text: to feel strong.





Docket No. 11-95-25 (15701 Detroit)





Docket No. 11-95-25 (15701 Detroit)





Docket No. 11-95-25 (15701 Detroit)



Docket No. 11-95-25 (15701 Detroit)



Docket No. 11-95-25 (15701 Detroit)



Docket No. 11-95-25 (15701 Detroit)



Docket No. 11-95-25 (15701 Detroit)



Applicant proposes new signage.

City Notes:

- Applicant proposes vinyl window sign 12.25 sq ft and 1.77 sq ft
- Max allowed square footage: 25 sq ft, sq ft for window
- Total proposed square footage: 14.02 sq ft; within window coverage

Summary approval without conditions



Docket No. 11-96-25 (13320 Madison)
New Signage – Vital Bean
Cory Kaschel



Docket No. 11-96-25 (13320 Madison)





Docket No. 11-96-25 (13320 Madison)



Applicant has painted brick buildings.

City Notes:

- Painting brick is not allowed per City code
- No signage included in proposal-need separate application



Docket No. 11-104-25 (1284 Cove)

**Apartments – Painted Brick
Jasmine Scruggs**

CITY OF LAKEWOOD
STANDARDS FOR PAINTING OR COVERING OF MASONRY SURFACES

The following standards shall be met for the painting of any masonry surface:

1. Painting, staining, or covering, such as but not limited to stucco, of previously unpainted or uncovered masonry surfaces is not supported or recommended. There are several reasons for the basis of this recommendation and generally include:
 - a. Painting masonry results in regular, costly maintenance whereas natural masonry is low in maintenance work and cost;
 - b. Painting masonry can result in moisture being trapped in the wall system causing unintended damage to the masonry itself and the building;
 - c. For historic buildings or those located in a historic district, painting of masonry is not recommended by the Secretary of Interior's Standards for Historic Rehabilitation and such action may result in the loss of the historic designation of the building or district – including possibly preventing a building or district from being nominated; and
 - d. There are other alternatives to the painting of masonry.
2. However, in the event such painting, staining, or covering is found to be necessary, at a minimum:
 - a. The application of such paint, stain, or covering must use a system compatible with the surface on which it is being applied. A mineral paint system is preferred.
 - b. The paint, stain, or covering must be durable, easy to apply and have good adhesive characteristics.
 - c. The paint, stain, or covering must be porous, thereby permitting the wall to breathe and preventing the trapping of free moisture behind the paint or stain film or covering.
 - d. All manufacturer and industry standard specifications must be followed.
 - e. A maintenance plan must be provided and developed in accordance with manufacturer and industry standards and strictly implemented.
3. Clear / Transparent and porous waterproofing in a matte or flat finish allowing the wall to breathe is permissible with the application of a system compatible with the surface on which it is being applied. All manufacturer and industry standard specifications must be followed.
4. The U.S. Secretary of Interior Standards for Rehabilitation of Historic Structures shall be complied with for any building:
 - a. Designated by the City of Lakewood as a historic property or landmark or located in historic property district; or
 - b. Individually listed or located within a listed district of the National Register of Historic Places.
5. All contractors must be registered with the City prior to the commencement of any approved work subject to these standards.



Docket No. 11-104-25 (1284 Cove)



Docket No. 11-104-25 (1284 Cove)



Docket No. 11-104-25 (1284 Cove)



Docket No. 11-104-25 (1284 Cove)



Paint / Exterior Paint / Masonry Paint / BEHR Masonry Paint

Internet # 302144021 Model # 27201 UPC Code # C400123795672 Store SKU # 942674



Hover Image to Zoom



BEHR

1 gal. #1350 Ultra Pure Black Flat Interior/Exterior Masonry, Stucco and Brick Paint

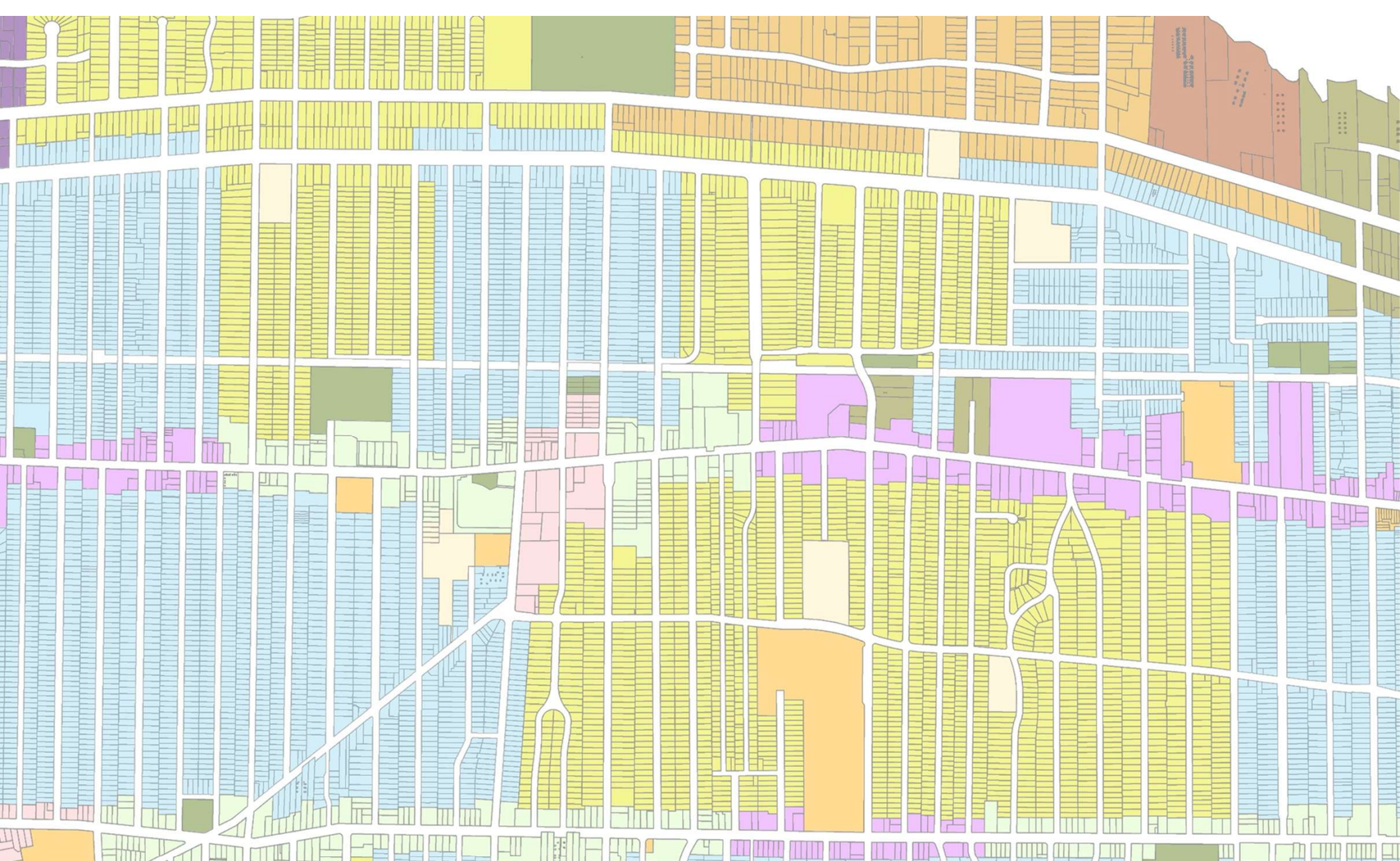
★★★★★ (2248) Questions & Answers (870)

BULK PRICE \$23.98 Was \$29.98 Save \$6.00 (20%)

Buy 5 or more \$27.40



Docket No. 11-104-25 (1284 Cove)



Architectural Board of Review

Old Business – November 2025

Applicant proposes residential addition.

City Notes:

- Siding color will be Laguna Blue (or Midnight Blue) for all lap siding. Will consider adding Riviera Dust if the board members accept vertical Board & Batten for the front porch.



Docket No. 06-51-25 (1070 Rosalie)
Residence – Addition



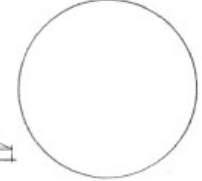
LEE J. POZEK ARCHITECT
5222 Goldbrook Drive
Mantua, Ohio 44255
330-274-2889



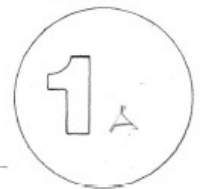
EAST ELEVATION

PROPOSED ADDITION
ALEXANDER FAMILY
1070 ROSALIE AVE
LAKEWOOD OHIO

11-2-25 PEB
REVISED



2500Z



NORTH ELEVATION



Docket No. 06-51-25 (1070 Rosalie)

Revised

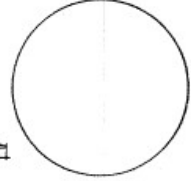
LEE J. POZEK ARCHITECT
5222 Coldbrook Drive
Mantua, Ohio 44255
330-274-2889



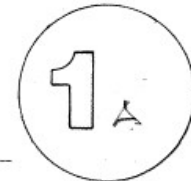
EAST ELEVATION

PROPOSED ADDITION
ALEXANDER FAMILY
1070 ROSALIE AVE
LAKEWOOD, OHIO

11-9-25 ABB REV
11-2-25 ABB
REVISED



25002



NORTH ELEVATION



Docket No. 06-51-25 (1070 Rosalie)

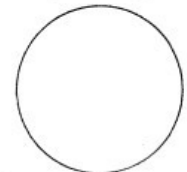


LEE J. POZEK ARCHITECT
5222 Coldbrook Drive
Mantua, Ohio 44255
330-274-2889

PROPOSED ADDITION
ALEXANDER FAMILY
1070 ROSALIE AVE
LAKEWOOD, OHIO

RIGHT SIDE ELEVATION (NORTH)
SCALE 1/4" = 1'-0"

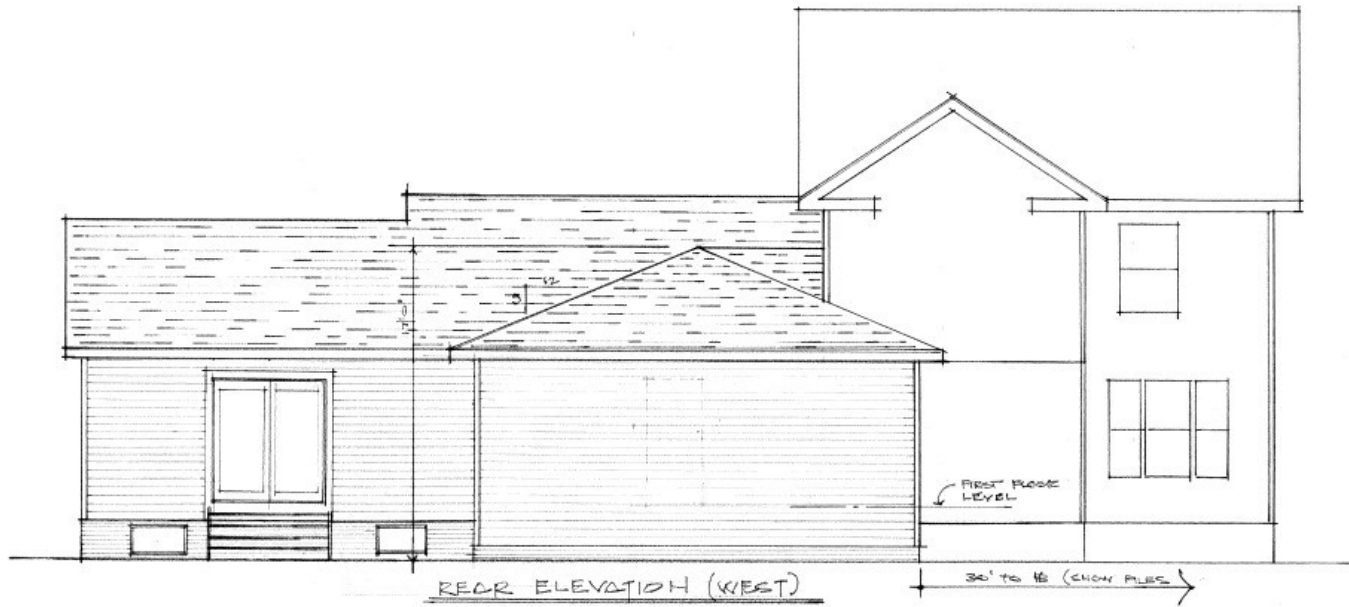
10-22-25 AIRB PCEL
10-10-25



20052

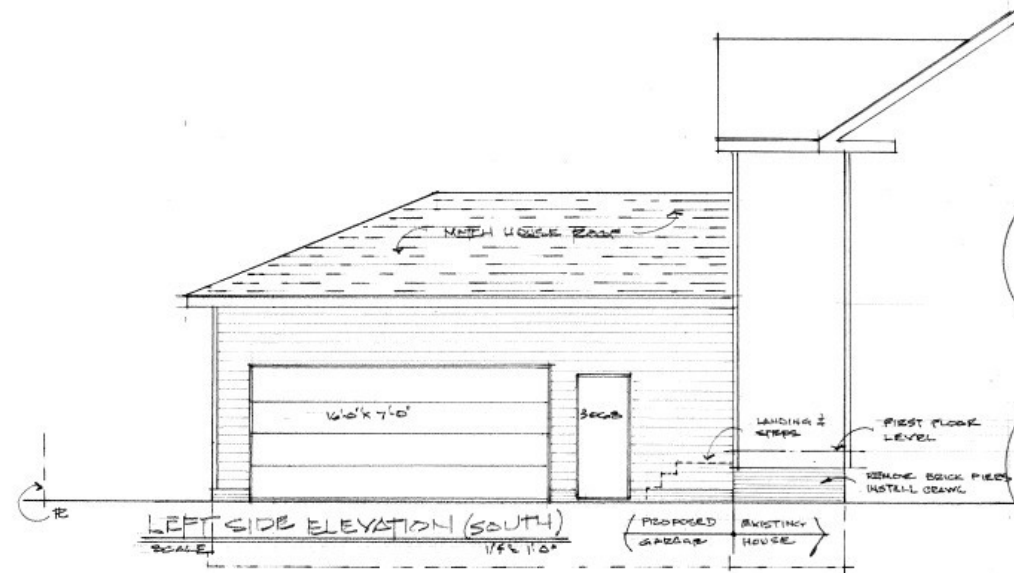


Docket No. 06-51-25 (1070 Rosalie)

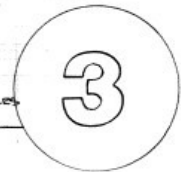
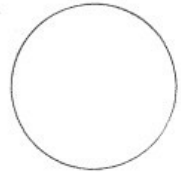


LEE J. POZEK ARCHITECT
 5222 Coldbrook Drive
 Mantua, Ohio 44255
 330-274-2889

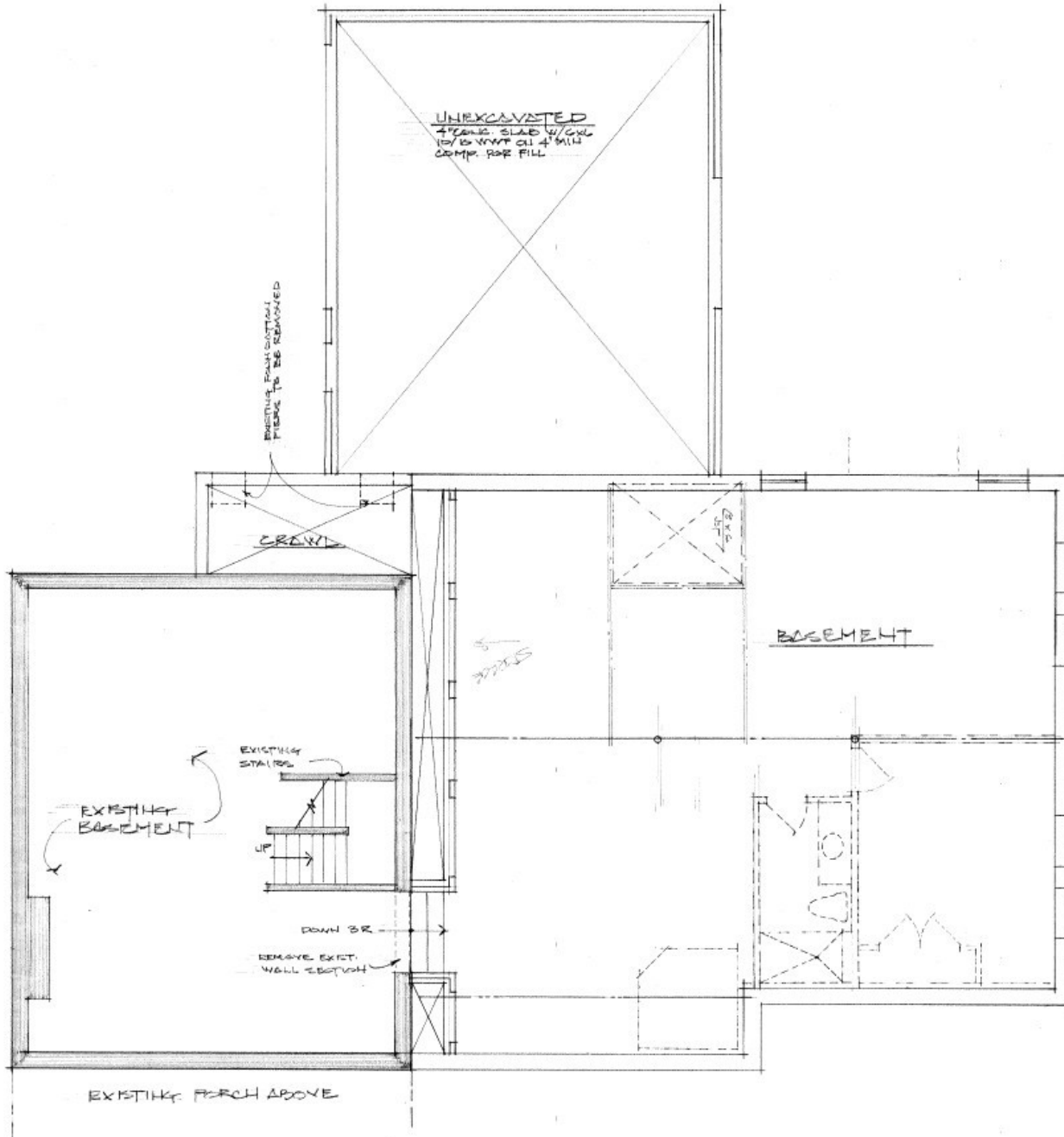
PROPOSED ADDITION
 ALEXANDER FAMILY
 1070 ROSALIE AVE
 LAKEWOOD, OHIO



DICKES AND PHEL
 10-10-25
 SEPT 7, 25



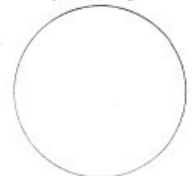
Docket No. 06-51-25 (1070 Rosalie)



LEE J. POZEK ARCHITECT
 5222 Coldbrook Drive
 Mantua, Ohio 44255
 330-274-2889

PROPOSED ADDITION
 ALEXANDER FAMILY
 1070 ROSALIE AVE
 LAKEWOOD, OHIO

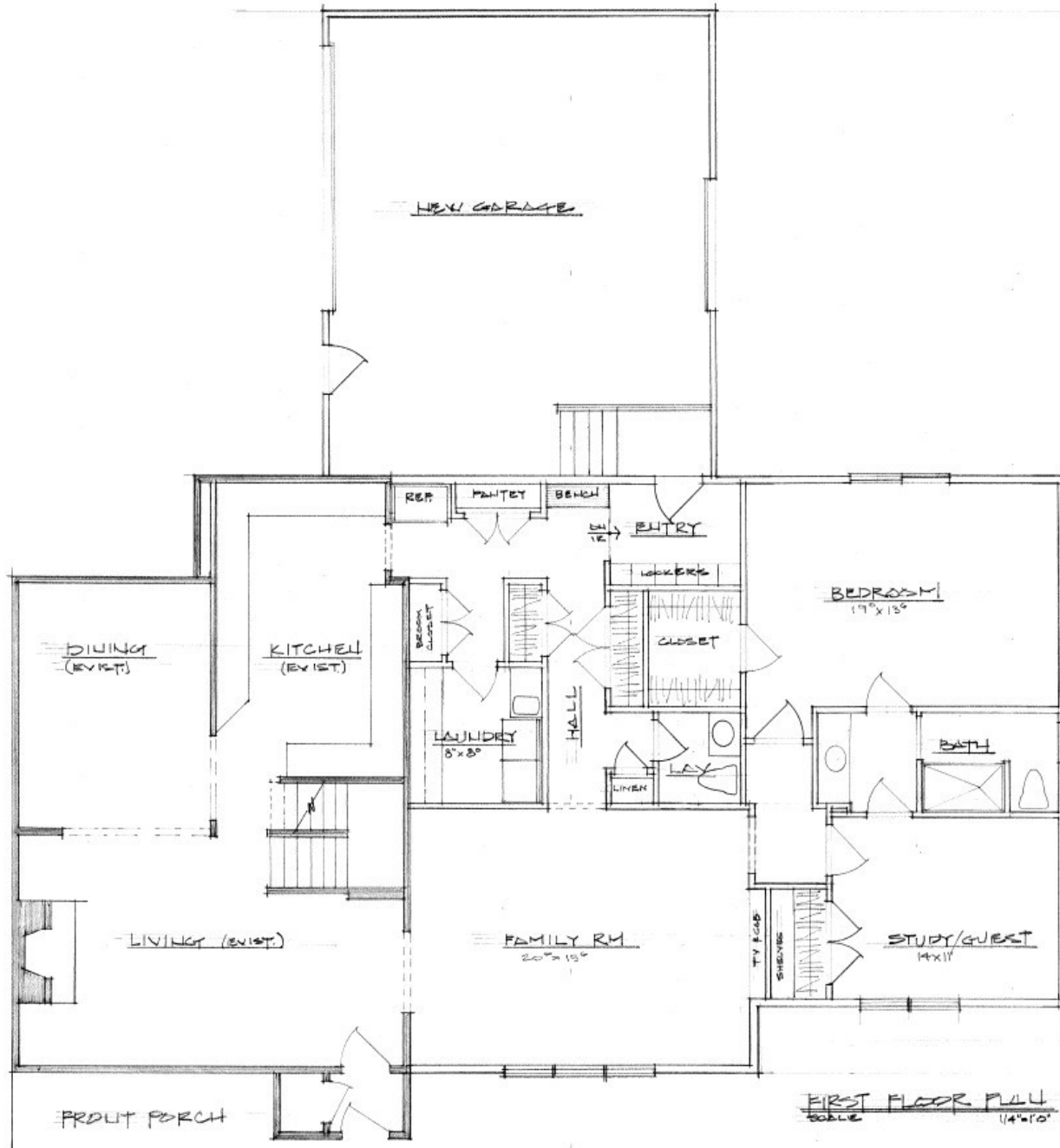
10-22-25 ARB PREL
 10-10-25



25002



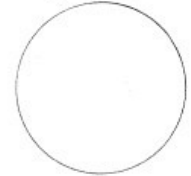
Docket No. 06-51-25 (1070 Rosalie)



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 330-274-2889

PROPOSED ADDITION
 ALEXANDER FAMILY
 1070 ROSALIE AVE
 LAKEWOOD, OHIO

1022-25 AR13 PREL
 10-10-13



2500Z



Docket No. 06-51-25 (1070 Rosalie)

DATA SHEET SITE

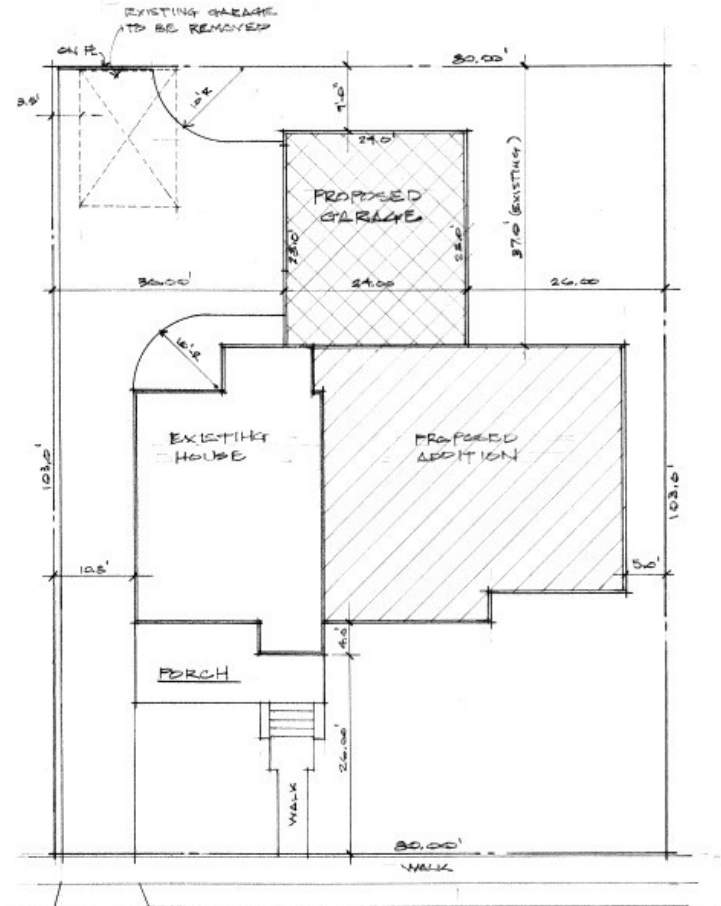
LOT SIZE (80x100) 8240 SF

	REQ.	EXISTING	PROPOSED
FRONT SET BACK		20'	
REAR YARD	40'	37'	91'
SIDE YARD NORTH	5'	45'	5'
SIDE YARD SOUTH	10'	10.5'	32' (GARAGE)
COMBINED SIDE YARD	15'	15.5'	15.5'

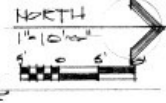
LOT COVERAGE 35% MAX 12.8% 37.36%

LOT SIZE 8240 SF
 BUILDING SIZE 2372.6 SF
 FRONT PORCH (EXISTING) 209.0 SF
 $\frac{2078.6}{8240} = 37.36\%$

REVISED 7-29-25



ROSALIE AVE 44' 7/8"



INFORMATION FOR SITE PLAN TAKEN FROM SURVEY SUPPLIED BY OWNER. ASSUMED CORRECT TO BE VERIFIED IN FIELD.

VARIANCE REQUEST FOR
 ALEXANDER FAMILY
 1070 ROSALIE AVE
 LAKEWOOD, OHIO

LEE J. POZEK ARCHITECT
 5222 Coldbrook Drive
 Mantua, Ohio 44255
 330-274-2889
 * 25002 9/2/25

2

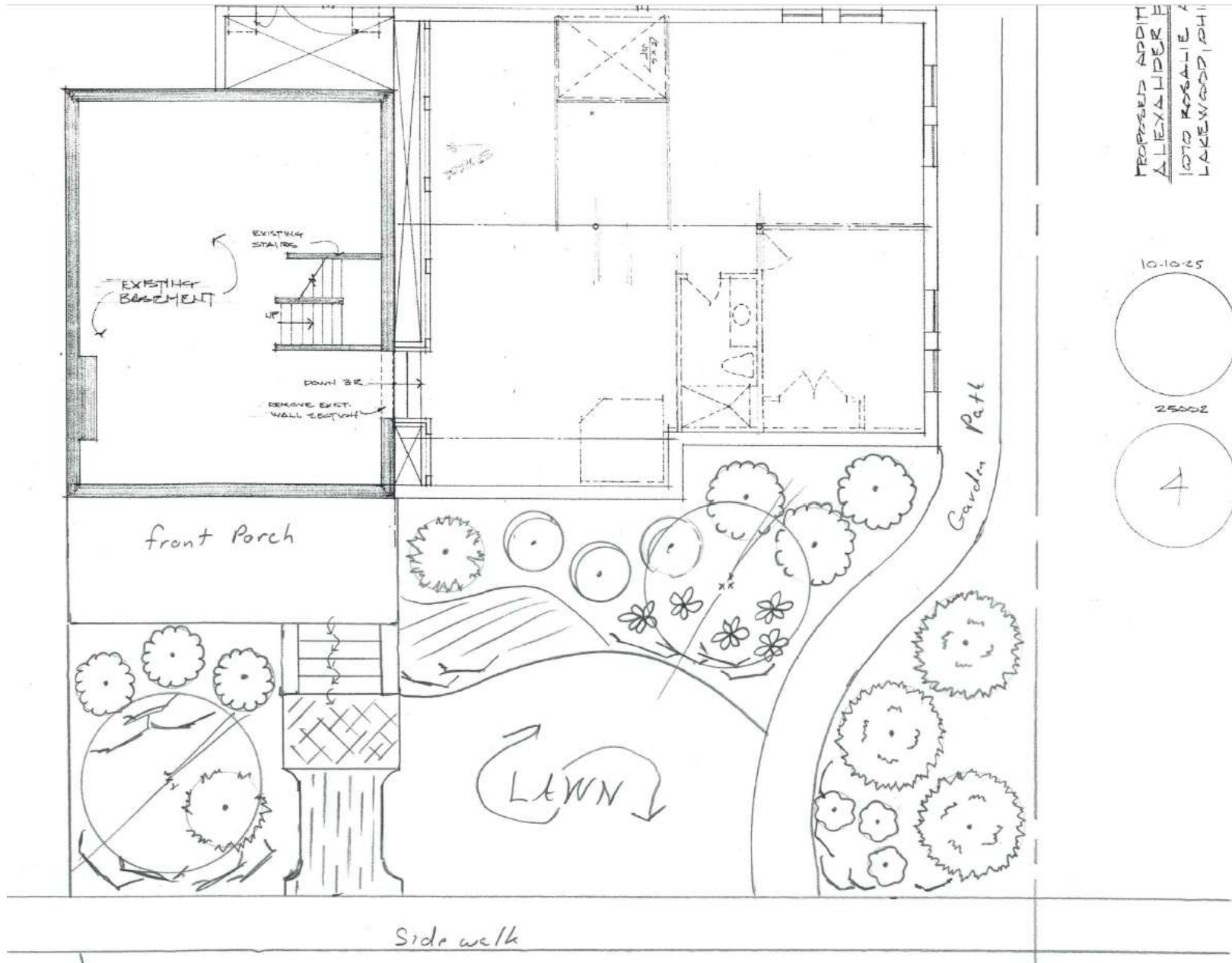
VARIANCE REQUEST FOR
 ALEXANDER FAMILY
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 LAKEWOOD, OHIO

LEE J. POZEK ARCHITECT
 5222 Coldbrook Drive
 Mantua, Ohio 44255
 330-274-2889
 * 25002 9/2/25

1

Docket No. 06-51-25 (1070 Rosalie)





Docket No. 06-51-25 (1070 Rosalie)



Docket No. 06-51-25 (1070 Rosalie)

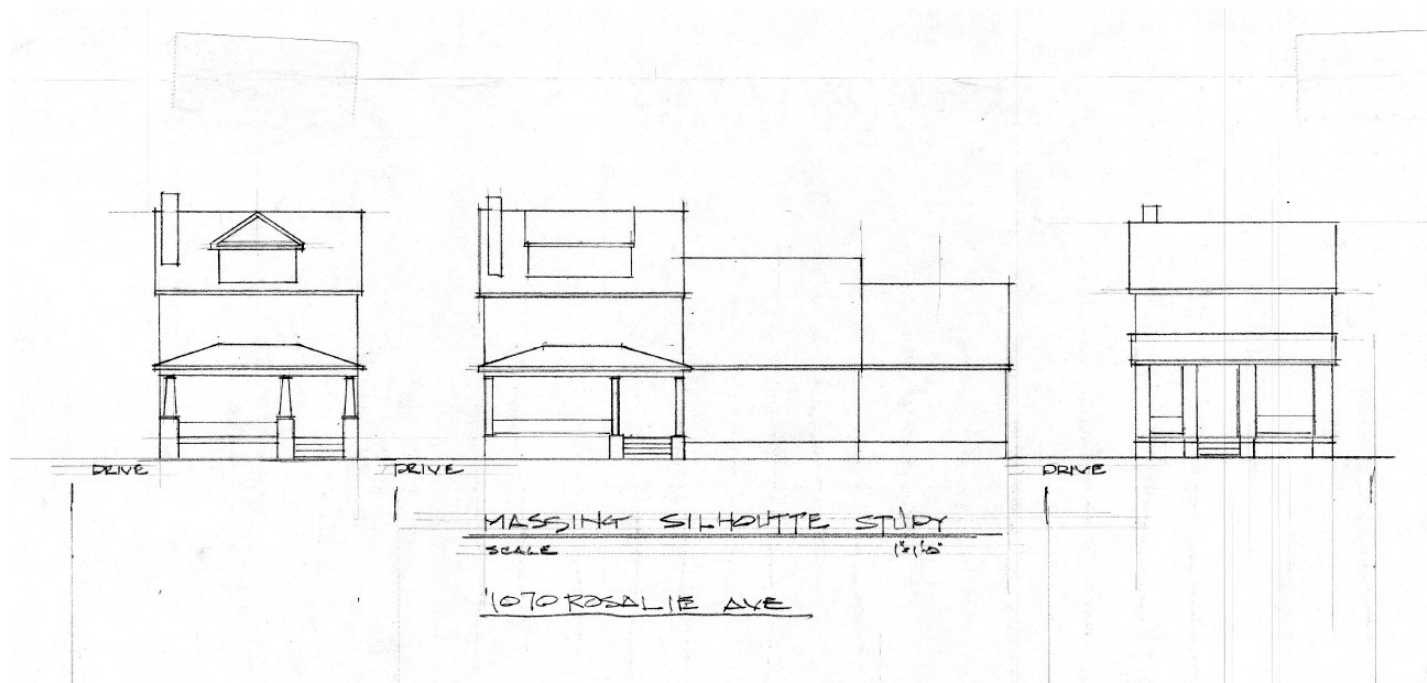


Docket No. 06-51-25 (1070 Rosalie)



Docket No. 06-51-25 (1070 Rosalie)





Docket No. 06-51-25 (1070 Rosalie)



Docket No. 06-51-25 (1070 Rosalie)



ASCEND COMPOSITE CLADDING: NOT JUST DIFFERENT. BETTER.

	FIBER COMBUSTION ENGINEERED JOISTS	WVIL JOISTS	ASCEND
AESTHETICS	Tall profile/exposure	✓	✓
	Flat face	✓	✓
	Realistic woodgrain appearance	✓	✓
PERFORMANCE	Solid feel against wall	✓	✓
	Compatible with high-end trime options	✓	✓
	Lifetime warranty	✓	✓
	Moisture-resistant (no sealing)	✓	✓
EASE OF USE	High-wind resistance with unexposed fasteners	✓	✓
	Low maintenance	✓	✓
	Easy handling	✓	✓
	Ease of installation (self-aligning, one-person hang)	✓	✓
	No sealing, touch-up painting, joint flashing or caulking	✓	✓
	Less skill required (peace of mind)	✓	✓
	Enhanced safety (no special tools or respirators required)	✓	✓



ENGINEERED TO OUTPERFORM AT EVERY LEVEL



A NEW PEAK IN PERFORMANCE: INTRODUCING (GP)² TECHNOLOGY.

GLASS-REINFORCED POLYMER and GRAPHITE-INFUSED POLYSTYRENE

WITH (GP)², ASCEND[®] BOASTS:

- Class A Fire Rating for both flame spread and smoke developed
- Impressive thermal and impact-resistance
- Superior windload performance



Docket No. 06-51-25 (1070 Rosalie)

PERFORMANCE AND STYLE WITH ADVANCED TECHNOLOGIES.

The performance technology of ASCEND Composite Cladding planks, ASCEND Composite Cladding, combines the performance and artisanal details of this historical handcrafted siding. The ample 10" board with its architectural appeal as a vertical accent or whole-house exterior.

PERFORMANCE AT EVERY LEVEL

- You have to touch it to tell.
- The 3/8" projection creates a custom-fit seal that won't swell or warp and never needs maintenance.
- The structural integrity – resists high winds and hail from dents and dings.
- The design helps decrease the spread of smoke.
- The energy efficiency can help reduce energy loss.*
- The durability** for added peace of mind.

20 FADE-RESISTANT COLORS

ascendcladding.com

CARRIAGE HOUSE
Luxury Shingles

Slated for Perfection.

The state-of-the-art design of Carriage House® combines world-class manufacturing with architectural creativity to evoke the timeless charm of scalloped-edge slate roofing. Each super-heavyweight shingle is constructed from multiple laminated layers of premium asphalt that provide maximum visual impact and lasting durability. Featuring a selection of rich colors to maximize curb appeal, Carriage House gives your home a luxurious allure that will endure beautifully for years to come.

Peace of Mind.

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- 15-year StreakFighter® algae-resistant warranty
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- 15-year 130 mph wind warranty**

*See actual limited warranty for specific details and restrictions at certainteed.com/warranty.

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Add a Little Accent to Your Roof.
Put the perfect finishing touch on your flat and hip roofs. Use Certainteed's Stynger® Ridge (shown below) or Certainteed's Cedar Crest® accessory shingles.

Color Companion Products™ for Flat Roof Areas
Join Certainteed's ColorMatch™ line, you can coordinate your roof areas like concrete, parapets and gutters with your main roof. ColorMatch™ is a self-adhesive low-slope roofing product available in a range of colors that complement some of the most popular Certainteed shingles.

www.certainteed.com/roofing

SAINT-GOBAIN



Docket No. 06-51-25 (1070 Rosalie)



Docket No. 06-51-25 (1070 Rosalie)



Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.
- Staff Notes
 - Surrounding conditions are not shown on elevations/renderings.
 - Landscaping plan needs additional detail of intended materials.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



Docket No. 06-51-25 (1070 Rosalie)

Overall form, Massing and Scale

- New residential buildings, additions, and alterations must be compatible in predominant form, mass, lot coverage, general character and in proportion and scale to other surrounding structures in the immediate area; however, some differentiation from adjacent homes is allowable.
- For larger massed residential buildings, techniques such as stepping back upper stories, offsetting secondary masses, dividing facades into smaller components, or varying materials must be considered to reduce the perceived mass of the structure.
- For visual variety, building massing for residential buildings should be varied by employing techniques such as but not limited to: bay windows, dormers, and varying planes or roof lines.
- The combination of lots to create larger homes is discouraged unless the resulting residential building can meet these Design Standards and any other applicable regulation.
- Any addition or alteration must be complementary to the principal structure.
- Staff Notes
 - Consider utilizing a bay window for the middle piece of the addition to add relief and break up the longer façade.



Garages and Accessory Structures

- Garages and accessory structures must be secondary structures on the lot and shall not overshadow the primary building or residence. They must be complementary to the primary structure.
- Garage doors must be designed in a way that is compatible with the chosen architectural style of the rest of the home and surrounding properties.



Docket No. 06-51-25 (1070 Rosalie)

Applicant proposes garage and mud room addition.

City Notes:

- BZA Variances approved:
 - Side yard setback of 5'5" instead of required 10'
 - The garage on a corner lot may not be placed any closer to the street than the primary house on the abutting parcel, which in this instance is 52 feet 3 inches from the public right of way. Variance approved to place the front of the garage 35 feet 6 inches from the public-right-of way.



Docket No. 10-89-25 (17879 Lake)

Residence – Garage and Mud Room Addition
Mark Reinhold



Docket No. 10-89-25 (17879 Lake)



Docket No. 10-89-25(17879 Lake)



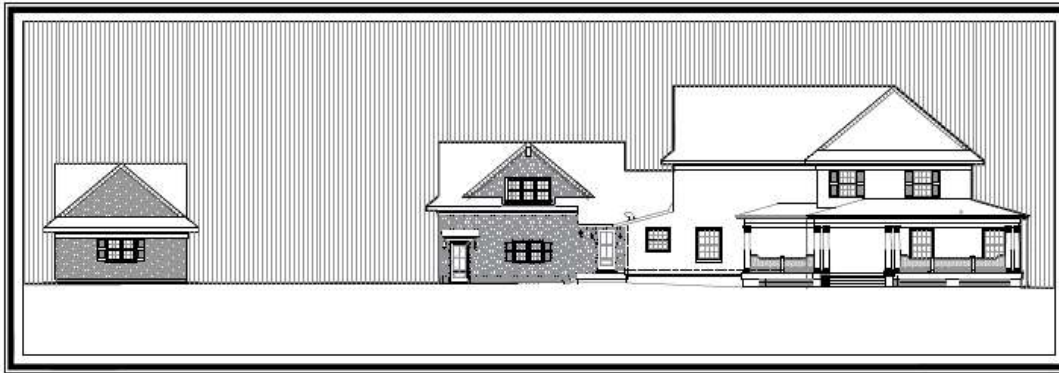
Docket No. 10-89-25 (17879 Lake)

1134.06 PROCEDURES FOR THE REVIEW OF PROPOSED ALTERATIONS, DEMOLITION AND NEW CONSTRUCTION AND FOR ISSUANCE OF APPROVAL TO PROCEED WITH WORK (CERTIFICATE OF APPROPRIATENESS).

- (a) No person shall make any alteration or demolition with respect to any property designated historic that is situated in a determined HPD or has been determined an HP unless a certificate of appropriateness has been previously issued with respect to such property. With respect to any such alteration or demolition, the owner of the property to be altered or demolished shall first apply for and secure a certificate of appropriateness from the Architectural Board of Review. In addition, any improvements or changes undertaken within public rights-of-way within an HPD also require a certificate of appropriateness from the Architectural Board of Review.
- (b) Unless the Commission has previously approved unique historic guidelines, the Architectural Board of Review when considering an application for a certificate of appropriateness shall determine whether the proposed construction, reconstruction, alteration or demolition is appropriate and shall refer to the Secretary of the Interior's Standards for Rehabilitation, as amended from time to time, and which on the date of the adoption of this chapter are as follows:
- (1) A property shall be used for its historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
 - (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
 - (3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
 - (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
 - (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize an HP shall be preserved.
 - (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.
 - (7) Chemical or physical treatments, such as sandblasting, that cause damage to the historic materials and structures, if appropriate, shall be undertaken using the gentlest means possible.
 - (8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
 - (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 - (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and environment would be unimpaired.



Docket No. 10-89-25 (17879 Lake)



GRAF / GOUNDER RESIDENCE

17879 LAKE ROAD, LAKEWOOD, OHIO 44107

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TYPICAL NOTES CONSTRUCTION NOTES

PERMITS AND REGULATIONS:

CONTRACTORS ARE RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AND REGULATIONS REQUIRED BY LOCAL GOVERNING AUTHORITIES.

SUB-CONTRACTORS AND CONTRACTORS SHALL MEET ALL LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS OF DEMOLITION, SAFETY AND SANITARY PRECAUTIONS DURING BUILDING OPERATIONS INCLUDING "OHIO UTILITIES PROTECTION SERVICE".

SURVEY, GRADING, AND SITE INFO:

ROUGH GRADE AROUND BUILDING SHALL BE GRADED TO FITCH AWAY FROM THE FOUNDATION WALLS AT MIN. 1/4" PER FOOT FOR A MIN. DISTANCE OF 10 FEET FROM FOUNDATION WALLS BEFORE TOP SOIL FIN. GRADE IS PLACED.

CONTRACTORS ARE TO COORDINATE WITH OWNER FOR ACCESS TO SITE FOR DELIVERY OF MATERIALS AND EQUIPMENT, STORAGE OF MATERIALS.

NOTES APPLYING TO ALL CONTRACT DRAWINGS:

EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AT THE JOB AND SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF HIS WORK THERE TO.

"MATERIAL INDICATIONS, NOTES, AND ETC. ARE TYPICAL FOR ALL CONTRACT DRAWINGS UNLESS NOTED OTHERWISE.

ALL EXISTING MATERIALS, EQUIPMENT, AND CONSTRUCTION ARE IDENTIFIED ON DRAWINGS BY THE WORD "EXISTING" OR "EXIST". UNLESS STATED OTHERWISE, ALL NOTES REFERS TO NEW MATERIALS, EQUIPMENT, AND CONSTRUCTION INSTALLED UNDER EACH CONTRACT.

TYPICAL EXTERIOR WALL CONSTR. NOTES:

VAPOR BARRIER - 10 PERH OR LESS PLACE V.B. BETWEEN INTERIOR FACE OF STUDS AND BACK OF INTERIOR WALL BOARD. MAKE SEAL TIGHT; NO BREAKS OR LEAKS. 4 MIL VISQUEEN TYPICAL.

BUILDING PAPER - AIR INFILTRATION BARRIER OF SIMILAR TO "TYVEK" BY DUPONT, PLACED OVER 5/8" EXT. PLYWOOD SHEATHING.

1/2" SHEATHING BOARD - PERMEABLE TYPE WITH MOISTURE RESISTANT SEAL AND TAPE ALL JOINTS. (B BRICK ONLY)

METAL TIE - EVERY 48 COURSES IN HEIGHT AND 2'-0" HORIZONTALLY @ STONE VENER.

R21 INSULATION - SHALL BE FIBERGLASS INSULATION AS PER. BY OVERS-CORNING (O.C.R). TYPICALLY PLACED IN SIDE WALLS BETWEEN WALL STUDS. MAX PER WALL SECTION (R21) @ 2' X 6' WALL.

TYPICAL ROOFING NOTES:

GUTTERS AND DOWNSPOUTS - SHALL BE ALUMINUM TO MATCH EXISTING, COLOR BY GENERAL CONTRACTOR.

ASPHALT SHINGLES - ON 3/4" ROOFING FELT TO SELF SEALING AND INSTALLED PER MFG. RECOMMENDATIONS ON 5/8" EXTERIOR GRADE OSB or PLYWOOD DECK.

R-38 INSULATION - INSTALL BELOW 2X12 RAFTERS. HOLD 1" AIR SPACE MIN. NEXT TO THE ROOF SHEATHING FOR VENTILATION CIRCULATION. PROVIDE RAFT-R-MATE AS REQUIRED. IF FOAM INSULATION IS USED R-38 REQUIRED. NO RAFT-R-MATE AIR SPACE REQUIRED.

RIGID VENT - TO BE VINYL (DO NOT USE ALUM. RIGID VENT).

PROVIDE ROOF VENTS AS SHOWN ON DRAWINGS FOR FALSE CEILING AREA INDICATED.

PROVIDE CONTINUOUS SOFFIT VENT PER DRAWINGS AT ALL EAVES TYPICAL.

INTERIOR GENERAL NOTES:

ALL WALLS AND CEILINGS TO BE DRYWALL UNLESS OTHERWISE NOTED. FINISHES OF PAINT, WALLPAPER, ETC. PER AGREEMENT BETWEEN OWNER AND CONTRACTOR.

WATER RESISTANT DRYWALL TO BE USED ON ALL WALLS AND CEILINGS OF BATHRM, TOILET, UTILITY ROOM.

ALL CABINERY (BASE WALL CABINETS, COUNTER TOPS, ETC.) IN KITCHEN AND BATH; AND ALL BUILT-IN KITCHEN EQUIPMENT (SINKS, APPLIANCES, AND ALL BATHROOM ACCESSORIES, PLUMBING FIXTURES, TRIM ETC. PER AGREEMENT BETWEEN OWNER AND G.C.

COLOR, TRIM AND ACCESSORIES FOR FIXTURES SHOWN IN BATH SHALL BE APPROVED BY OWNER BEFORE ORDERING. BATH SHALL SIT ON FLOOR UNDERLAYMENT AND BE INSTALLED PER MFG. INSTRUCTIONS.

ALL INTERIOR WOOD TRIM INCLUDING BASE, WINDOW, DOOR, ETC. AND WOOD TRIM FINISH (PAINT, STAIN, ETC.) SHALL BE PER AGREEMENT BETWEEN OWNER AND CONTRACTOR. DETAILS TO MATCH EXISTING 1ST FLOOR.

ALL INTERIOR WOOD DOORS, TYPE, WIDTH, QUALITY AND FINISH SHALL BE PER AGREEMENT BETWEEN OWNER AND CONTRACTOR (INCLUDING TYPE, QUALITY AND FUNCTION OF HARDWARE FOR EACH DOOR).

CONTRACTOR SHALL SUBMIT WRITTEN BREAK-DOWNS OF MATERIAL HE-SHE INTENDS TO FURNISH OWNER REGARDING DOORS AND TRIM.

WALL DRYWALL SHALL BE 1/2" THICK DRYWALL. CEILING DRYWALL TO BE 5/8" THICK DRYWALL.

STRUCTURAL NOTES:

VERIFY ALL "FIRST FLOOR" PLAN DIMENSIONS WITH "FOUNDATION" PLAN DIMENSIONS BEFORE STARTING ANY WORK.

PROVIDE DOUBLE FLOOR JOIST UNDER ALL PARALLEL RUNNING BEARING PARTITIONS AND ALL 2'-0" OR LONGER NON-BEARING PARTITIONS RUNNING PARALLEL.

PROVIDE 32 X 48 MIN. SCUTLE AT CRAWLSPACE PER DETAILS AND LOCATIONS AS REQUIRED.

ALL STRUCTURAL BUILT WOOD BEAMS SHALL HAVE MIN. EXTREME FIBER STRESS (F) OF 1,600 PSI AND A MODULUS OF ELASTICITY (E) OF 1,600,000.

ALL OTHER STRUCTURAL WOOD INCLUDING WOOD JOISTS, RAFTERS, STUDS ETC. SHALL HAVE MIN. (F) OF 1,200 PSI AND (E) OF 1,600,000.

4X12 STRUCTURAL WOOD BEAM SHALL HAVE MIN. (F) OF 1,800 PSI AND (E) OF 1,600,000.

ALL STEEL TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC AND AWS SPECIFICATIONS. ALL STEEL SHALL BE ASTM A36.

ALL STEEL TO BE THOROUGHLY CLEANED AND PAINTED WITH ONE COAT PRIME PAINT.

STRUCTURAL WOOD FRAMING:

1. DESIGN LOADS USED FOR CALCULATIONS

TYPICAL FLOOR LIVE LOAD - 40 PSF
TYPICAL FLOOR DEAD LOADS - 10 PSF

TOTAL FLOOR LOADS = 50 PSF
MINIMUM COMPLIANCE

2. ALL FLOOR JOISTS AND ROOF RAFTERS (INCLUDING BUILT-UP BEAMS, LINTELS, ETC.) TO BE SOUTHERN YELLOW PINE, SELECT STRUCT. LUMBER NO. 2 OR BETTER, MIN. EXTREME FIBER STRESS (F) OF 1,200 PSI (E = 1,500,000 PSI).

3. ALL STUDS, HEADERS, ETC. - MIN. (F) = 300 PSI, (E) = 1,200,000 PSI.

4. ALL GULLAM RIDGE BEAMS SHALL BE ARCHITECTURAL GRADE DOUGLAS FIR. (F) = 3400 PSI AND (E) = 1,800,000 PSI.

5. ALL STRUCTURAL FRAMING MEMBERS ARE DESIGNED FOR 1/480 DEFLECTION.

6. ALL FRAMING LUMBER SHALL BE DIMENSIONAL LUMBER AND MEET ASTM D2455, D2454 AND (DPS) 14 STANDARDS. BEAR. KILN DRIED, NOT TO EXCEED 19% MOISTURE CONTENT.

7. ALL KILN-DRIED LUMBER STORED OUTSIDE MUST BE PROTECTED FROM GETTING WET. PROTECT WITH TABS. IF PLASTIC IS USED, LEAVE ENOUGH ROOM AT BOTTOM OF PILE FOR AIR FLOW. DO NOT STORE LUMBER ON THE GROUND. KEEP LUMBER OFF MUD AND GROUND WITH SUPPORTS UNDER LUMBER.

STRUCTURAL STEEL AND ANCHOR BOLTS

1. ALL STRUCTURAL STEEL BEAMS SHALL BE NEW AND TYPE ASTM A36 SHALL COMPLY WITH AISC STANDARDS. BEAMS ARE DESIGNED TO 1/480 DEFLECTION. ANCHOR BEAMS SECURELY TO MASONRY WALLS AND PILES (MIN. 15" INTO MASONRY) WITH 1/2" X 18" ANCHOR BOLTS.

2. ALL ANCHOR BOLTS (AB) SHALL BE 1/2" X 18" W/ EITHER 2" WASHER AT HEAD OF BOLT OR 1 1/2" BENT END. 12" LONG AS MAY BE USED WHERE APPROVED (SEE NOTE 3 BELOW).

3. WOOD SILL PLATES SHALL BE ANCHORED TO MASONRY FOUNDATION WALLS IN THE FOLLOWING MANNER: WITHIN 12" OF CORNERS AND INTERMEDIATE INTERVALS NOT MORE THAN 4 FEET. AB SHALL BE 1/2" X 18" AND EMBEDDED MIN. 15" INTO MASONRY UNITS, WHERE APPROVED BY ARCHITECT AND ALLOWED BY LOCAL AUTHORITIES. AB MAY BE EMBEDDED 6" INTO MASONRY.

4. MORTAR FOR ALL MASONRY WORK AND GROUT SETTING BEDS: TYPE M OR S WITH MIN. 1,800 PSI. TOP MASONRY COURSE UNDER SILL PLATES SHALL BE FILLED WITH MORTAR OR GROUT UNLESS DRAWINGS CALL FOR A SOLID CMU.

TYPICAL FOUNDATION WALL AND GRADE NOTES:

FOOTING DRAIN TILE - WITH LOOSE STONE OR GRAVEL FILL EXTEND MIN. 24" ABOVE DRAIN TILE. BACK FILL WITH GRAVEL TO 8" BELOW FINISHED GRADE.

FOUNDATION WALL FLASHING - TYPE AND INSTALLATION AS RECOMMENDED BY WESCO. PROVIDE WEEP HOLES HORIZONTALLY AT 2'-0" CENTERS IMMEDIATELY ABOVE FLASHING.

FOUNDATION WALL - NO EXPOSED CONCRETE BLOCK OR WATERPROOFING. ALL EXPOSED MASONRY SHALL BE FACE BRICK.

FOR CRAWL SPACE FLOOR USE 3" CONCRETE MUD SLAB ON 4" FILL "VISQUEEN" V.P. ON WELL TAMPED POURCIOUS FILL.

PROVIDE THOMAS WATERPROOFING DAMTITE FOUNDATION INSULATION AT FOUNDATION AT EXTERIOR (OR APPROVED EQUAL) AND THOROSEAL AT BASEMENT INTERIOR.

PROVIDE 2" FOAM FOUNDATION INSULATION BY DOW CORNING OR APPROVED EQUAL.

SOIL AND FOOTING NOTES:

1. ALL CONCRETE FOOTINGS AND GRADE BEAMS ARE DETAILED BY OTHERS BUT INCLUDED IN PERMIT DRAWINGS BY THE OWNERS AND/ OR GENERAL CONTRACTORS.

2. SOIL BEARING CAPACITY SHALL BE AS NOTED ON STRUCTURAL ENGINEERS PLANS.

3. CONCRETE DESIGN FOR FOOTINGS SHALL BE MINIMUM 3,000 PSI AT 28 DAYS.

4. CONCRETE DESIGN FOR INTERIOR FLOOR SLABS SHALL BE MINIMUM 3,500 PSI AT 28 DAYS.

TYPICAL FLOOR CONSTRUCTION NOTES:

JOIST HANGERS - FOR WOOD JOISTS SHALL BE SIMILAR TO (B) JOIST HANGERS BY SIMPSON CO.; 18 GA. GALVANIZED STEEL AND SHALL BE INSTALLED PER MFG. INSTRUCTIONS.

FIN. FLOOR AT OWNERS OPTION - 3/4" T&G PLYWOOD SUB FLOOR GLUED AND NAILED TO FLOOR JOISTS.

FLOORING AND SHEATHING:

1. FLOORING SHALL BE 23/32" L/P INNER SEAL OSB TRIG STRUCT. 1 PANELS CONFORMING TO STANDARDS OF APA STUD-FLOOR. FLOORING SHALL BE GLUED AND NAILED. TYPICAL 3/4" T&G PLYWOOD SUB-FLOOR PER DRAWINGS TYPICAL.

2. WALL AND ROOF SHEATHING SHALL BE 9/16" L/P INNER SEAL OSB STRUCTURAL EXP-1 PANELS APA RATED, OR TYPICAL 5/8" PLYWOOD AS NOTED PER DRAWINGS TYPICAL.

3. FLOORING AND SHEATHING INSTALLATION SHALL COMPLY WITH APA RESIDENTIAL AND COMMERCIAL DESIGN/CONSTRUCTION GUIDE PROCEDURES. PER DRAWINGS TYPICAL.



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

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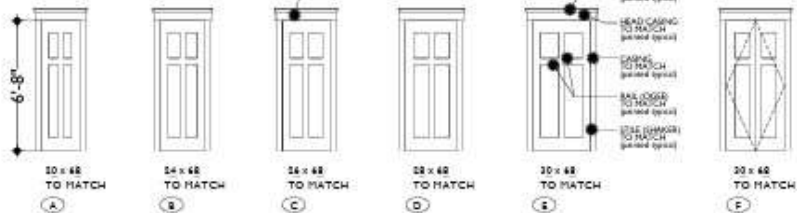
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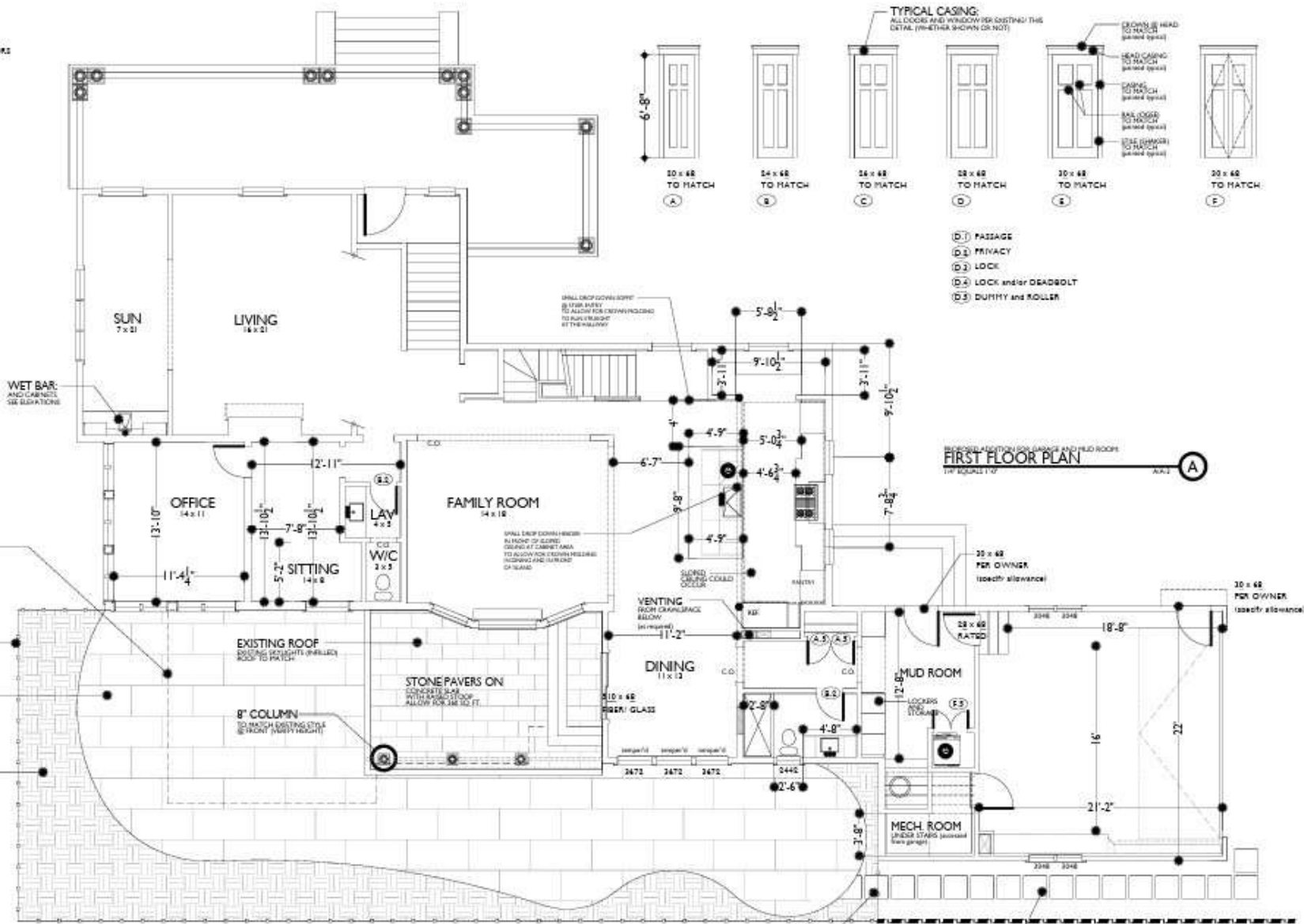


TYPICAL NOTES:
 WATER WASHING AMMUNITION
 EQUIPMENT @
 DISEHWASHER
 WASHER

TYPICAL CASING:
 ALL DOORS AND WINDOWS PER LISTING THE
 DETAIL (WHETHER SHOWN OR NOT)



- (D1) PASSAGE
- (D2) PRIVACY
- (D3) LOCK
- (D4) LOCK and/or DEADBOLT
- (D5) DUFFY and ROLLER



FIRST FLOOR PLAN
 1/8" = 1'-0"
 A

- EXISTING FOOTER AND FOUNDATION APPROVED BY COUNCIL CERTIFICATE
- 6'-0" FENCE (ALLOW FOR 1/2" SETBACK)
- PAVER AREA (FOR OWNER'S DESIGN, ALLOW FOR SETBACK)
- LANDSCAPE AREA (FOR OWNER'S DESIGN BY OTHER)



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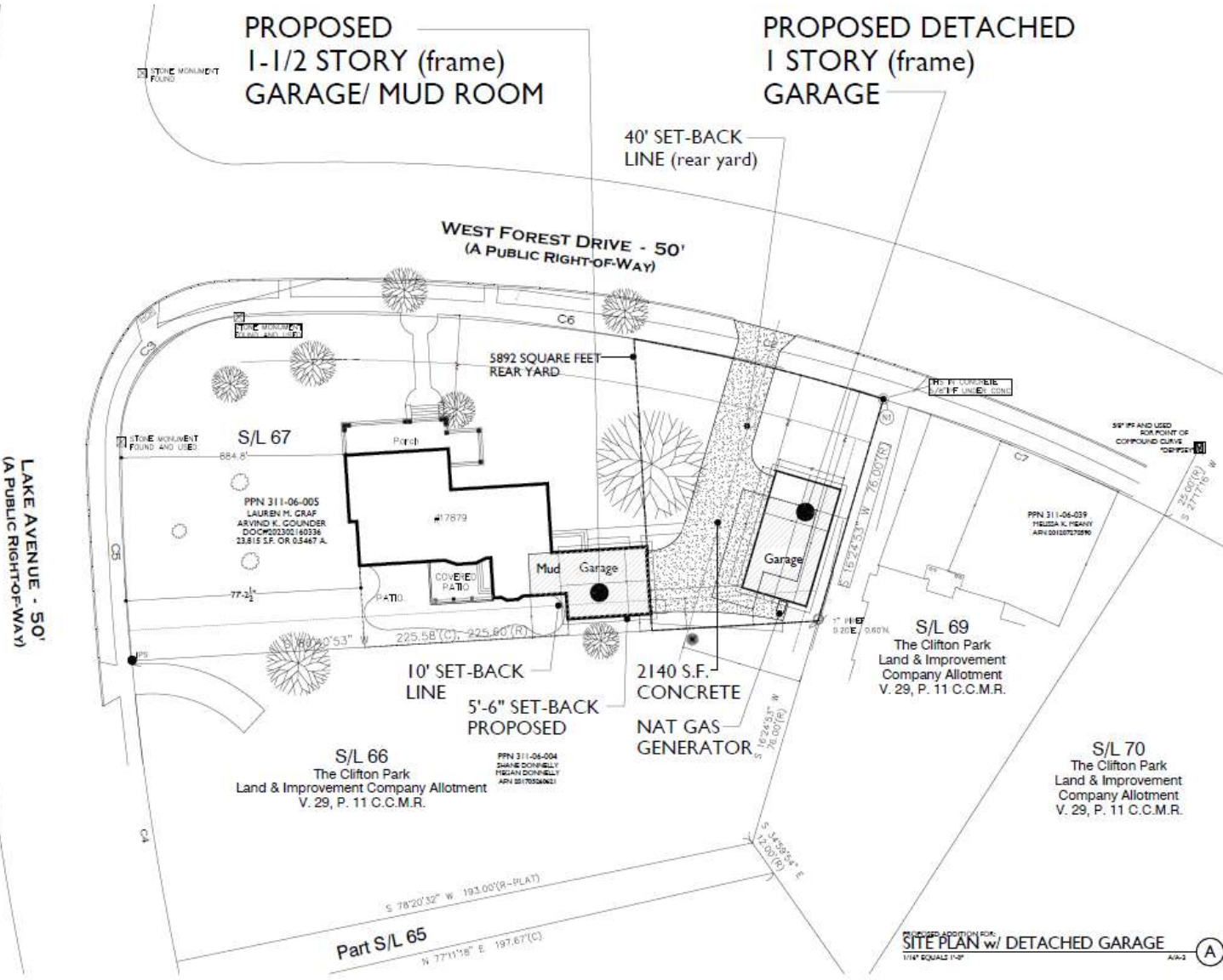
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FLOOR PLAN A-2



Docket No. 10-89-25 (17879 Lake)



R-1 60% LOT COVERAGE
 40 FEET REAR YARD
 MIN SIDE YARD 10'
 MIN TOTAL SIDE YARD 25'

3690 SQUARE FEET
 HOUSE /PORCHES
 TOTAL FOOTPRINT

23815 SQUARE FEET
 SITE AREA

2884 SQUARE FEET
 HOUSE FOOTPRINT

880 SQUARE FEET
 GARAGE FOOTPRINT

5892 SQUARE FEET
 REAR YARD

880 S.F. / 5892 S.F.
 14.9% TOTAL REAR YARD
 LOT COVERAGE

880 S.F. + 3690 S.F.
 4570 SQUARE FEET
 TOTAL LOT COVERAGE

4570 S.F. / 23815 S.F.
 19.2% TOTAL
 LOT COVERAGE

TOTAL SET-BACK
 36.9'

SCALE: AS SHOWN FOR
SITE PLAN w/ DETACHED GARAGE
 1/4" = 1'-0"



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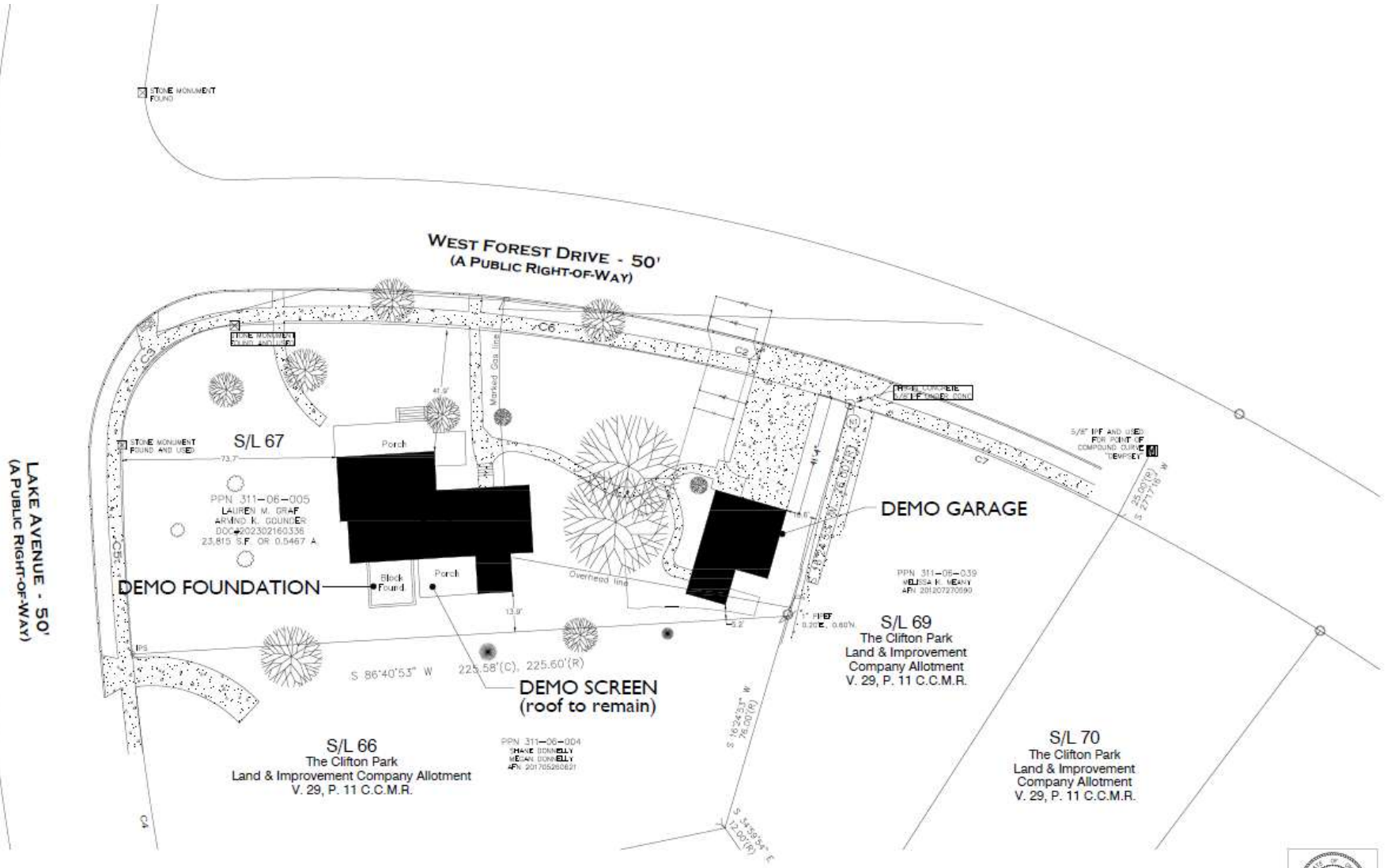
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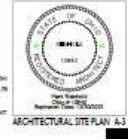


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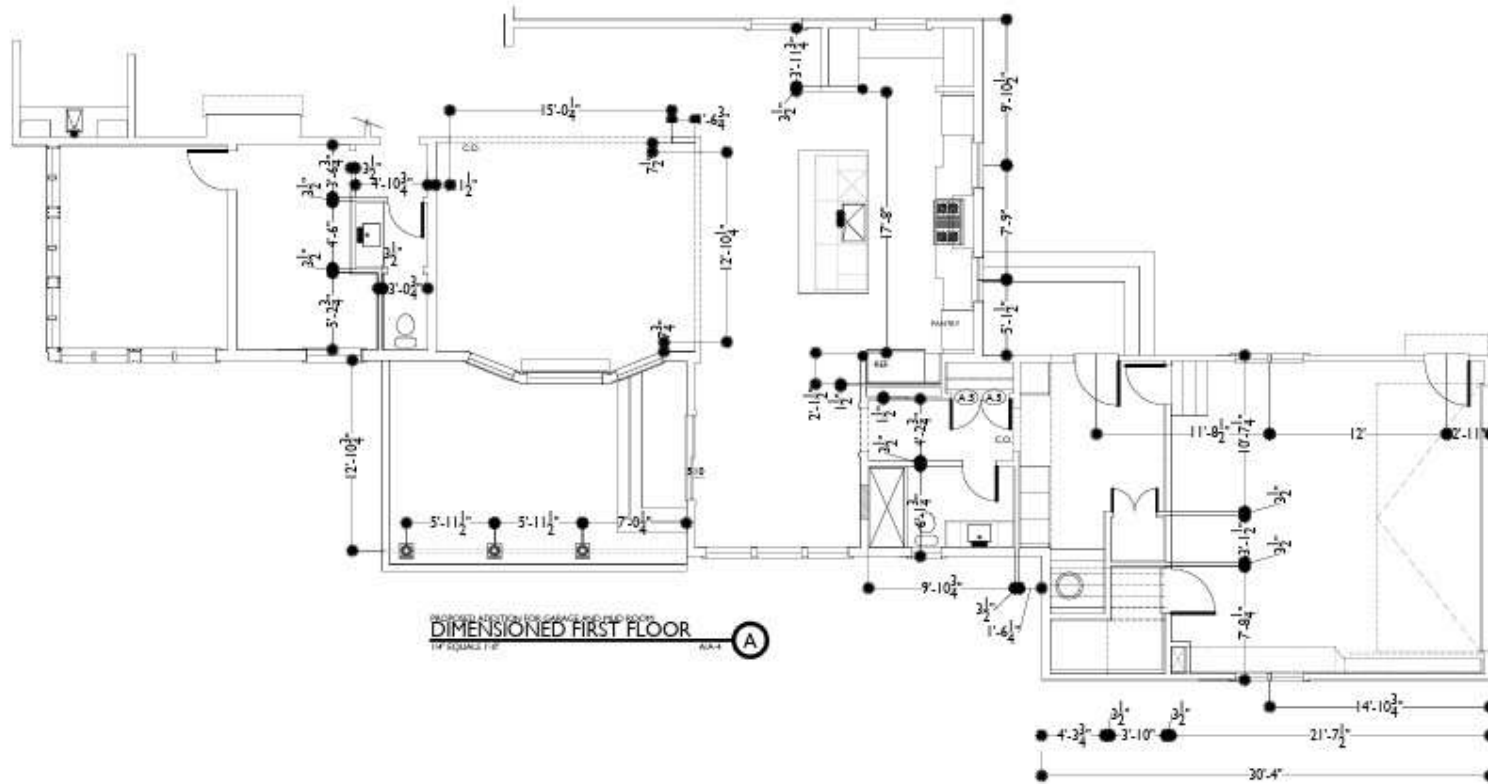
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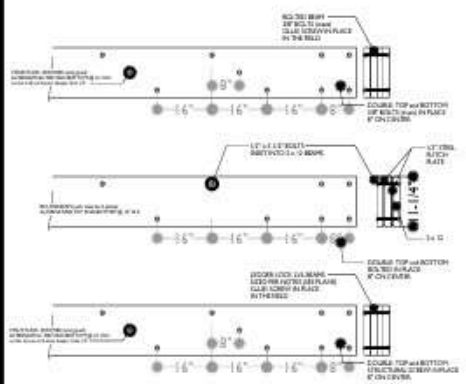


DISMISSED FOR PLAN AA

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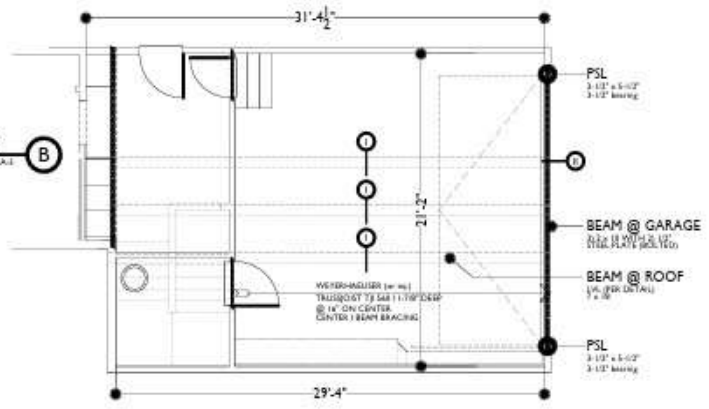


SCHEMATIC DESIGN FOR BEAM A NOT TO SCALE (I)

SCHEMATIC DESIGN FOR BEAM B NOT TO SCALE (II)

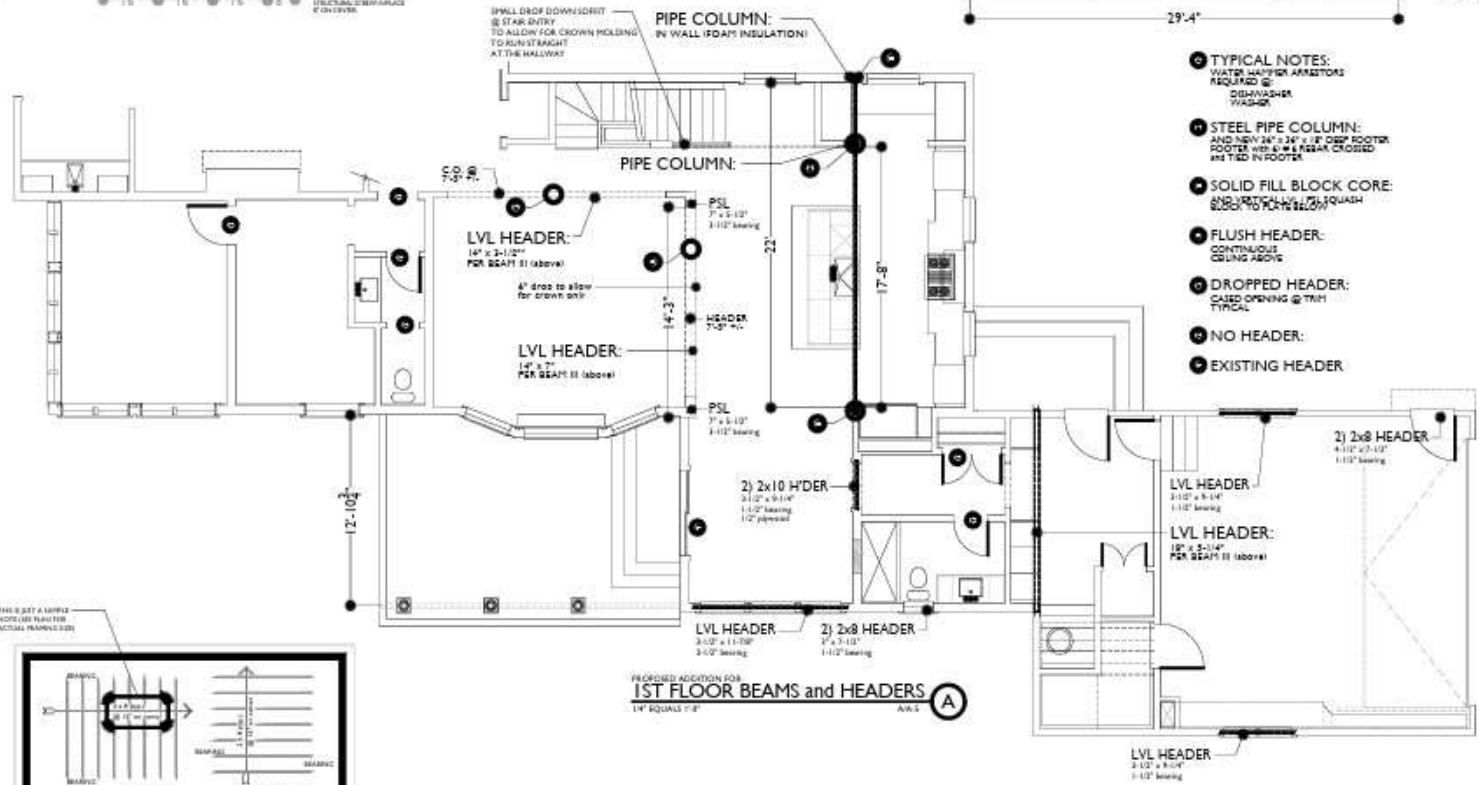
SCHEMATIC DESIGN FOR BEAM A NOT TO SCALE (III)

PROPOSED ADDITION FOR GARAGE BEAMS and HEADERS 14\"/>

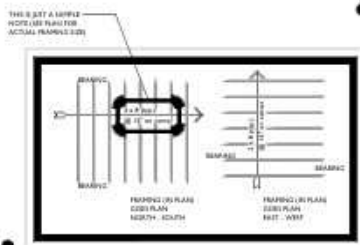


TYPICAL NOTES:

- 1 WATER WALKER ANNOTATORS REQUIRED @ 20\"/>
- 2 STEEL PIPE COLUMN: AND NEW 24\"/>
- 3 SOLID FILL BLOCK CORE: AND SETBACK 1/2\"/>
- 4 FLUSH HEADER: CONTINUOUS COILING ABOVE
- 5 DROPPED HEADER: CASING OPENING @ TRIM TYPICAL
- 6 NO HEADER:
- 7 EXISTING HEADER



PROPOSED ADDITION FOR 1ST FLOOR BEAMS and HEADERS 14\"/>



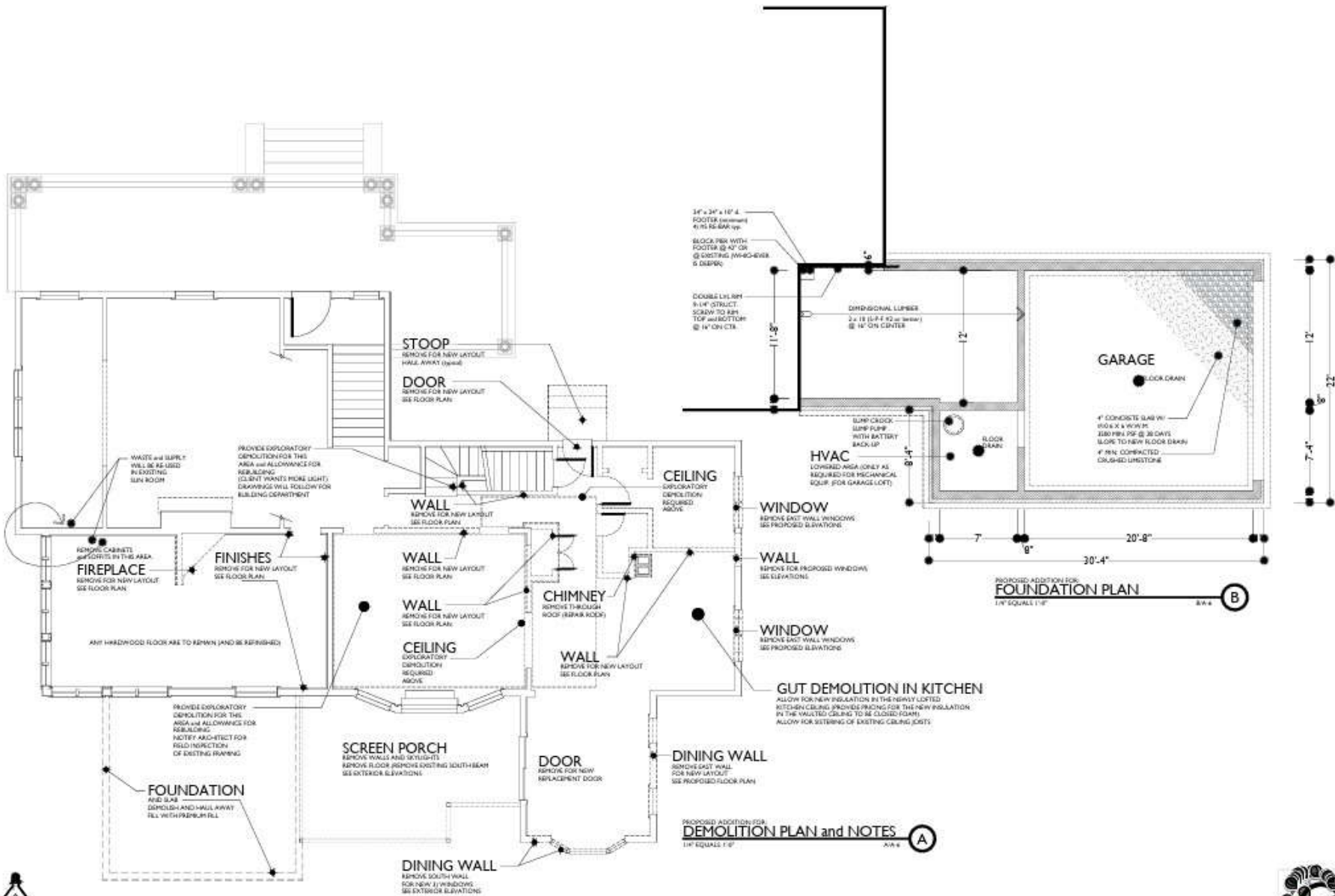
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Docket No. 10-89-25 (17879 Lake)

LOAD CALCULATIONS NOTE:

ELECTRICAL CONTRACTOR TO PROVIDE LOAD CALCULATION TO THE CITY ENGINEER TO BEHIND PROCEED PROCEED WITH PERMIT APPLICATION.

PANEL NOTE:

ELECTRICAL CONTRACTOR TO PROVIDE PANEL DRAWING AS REQUIRED WITH PERMIT. PANEL TO BE LABELED FROM TO CITY.

CIRCUITING NOTE:

ALL LIGHTING AND POWER IN EACH BATHROOM TO BE SUPPLIED DOWN (WALL) OR UP (WALL) FROM WALL MOUNTED OR BE CALLED TERMINATED CIRCUIT.

RECEPTACLE NOTE:

RECEPTACLES TO BE PROVIDED ONLY. HOME OUTLETS ARE REQUIRED BY THE FOLLOWING CODES: OUTLET LAMP RECEPTACLE TO BE PROVIDED WITH 15 AMP (150 WATT) RECEPTACLE ALONG FLOOR LINE AT CENTER LINE. OUTLETS ARE REQUIRED TO BE NO MORE THAN 12' APART BE LOCATED EVERY 12'.

LIGHTING NOTE:

NO LIGHTING ALLOWED WITHIN 8" VERTICAL NET AREA. NO LIGHTING ALLOWED WITHIN 2' OF THE PERIMETER OF THE TUB.

CARBON MONOXIDE DETECTOR NOTE:

ONE CO DETECTOR LOCATED OUTSIDE OF EACH TUBROOM LIFT OR BATHROOM.

ONE CO DETECTOR LOCATED OUTSIDE ENTRY TO BATHROOM. ONE CO DETECTOR LOCATED IN ANY ROOM ADJACENT TO THE GARAGE.

SMOKE ALARM NOTE:

SEE BIDDING DRAWINGS FOR ALL SMOKE TECHNOLOGY (WITH EXHAUSTION AND PHOTOELECTRIC) AND OTHER ALARMS WITHIN 5' OF THE PERIMETER OF THE ALARMS. ALARMS LISTED FOR CLASSIFICATION TO OCCUR IN THE CASE OF SMOKE ALARMS WITHIN 5' OF THE PERIMETER OF THE ALARMS (WITH ALARMS BIDDING MEANS OF PHOTOELECTRIC TECHNOLOGY ONLY).

INTERFERENCE AND PROTECTION NOTE:

CONSTRUCTION OF BATHROOM TECHNOLOGY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM CODE (NFPA).

ARC-FAULT / CIRCUITING NOTE:

ALL 120V AC CIRCUITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED AT THE ORIGIN OF THE BRANCH CIRCUIT. IN COMBINATION WITH A LISTED OUTLET BRANCH CIRCUIT (AFCI) INSTALLED AT THE FIRST OUTLET BOX ON THE BRANCH CIRCUIT SHALL BE INSTALLED TO PROTECT THE BRANCH CIRCUIT.

TO LANDSCAPE CIRCUIT (see schedule)

ALLOW FOR POWER WIRING (see schedule)

ALLOW FOR POWER WIRING (see schedule)

ALLOW FOR POWER WIRING (see schedule)

ALLOW FOR POWER WIRING (see schedule)

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ALLOW FOR POWER WIRING (see schedule)

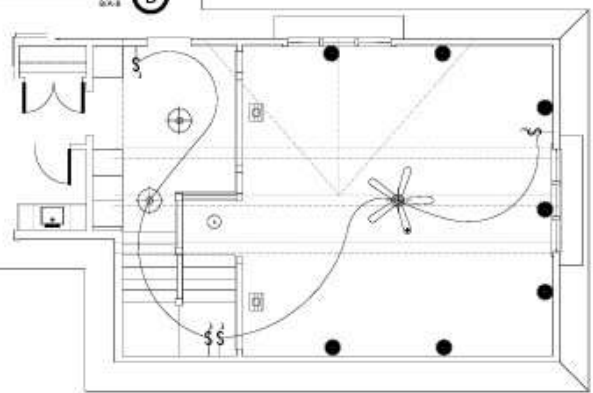
ALLOW FOR POWER WIRING (see schedule)

ALLOW FOR POWER WIRING (see schedule)

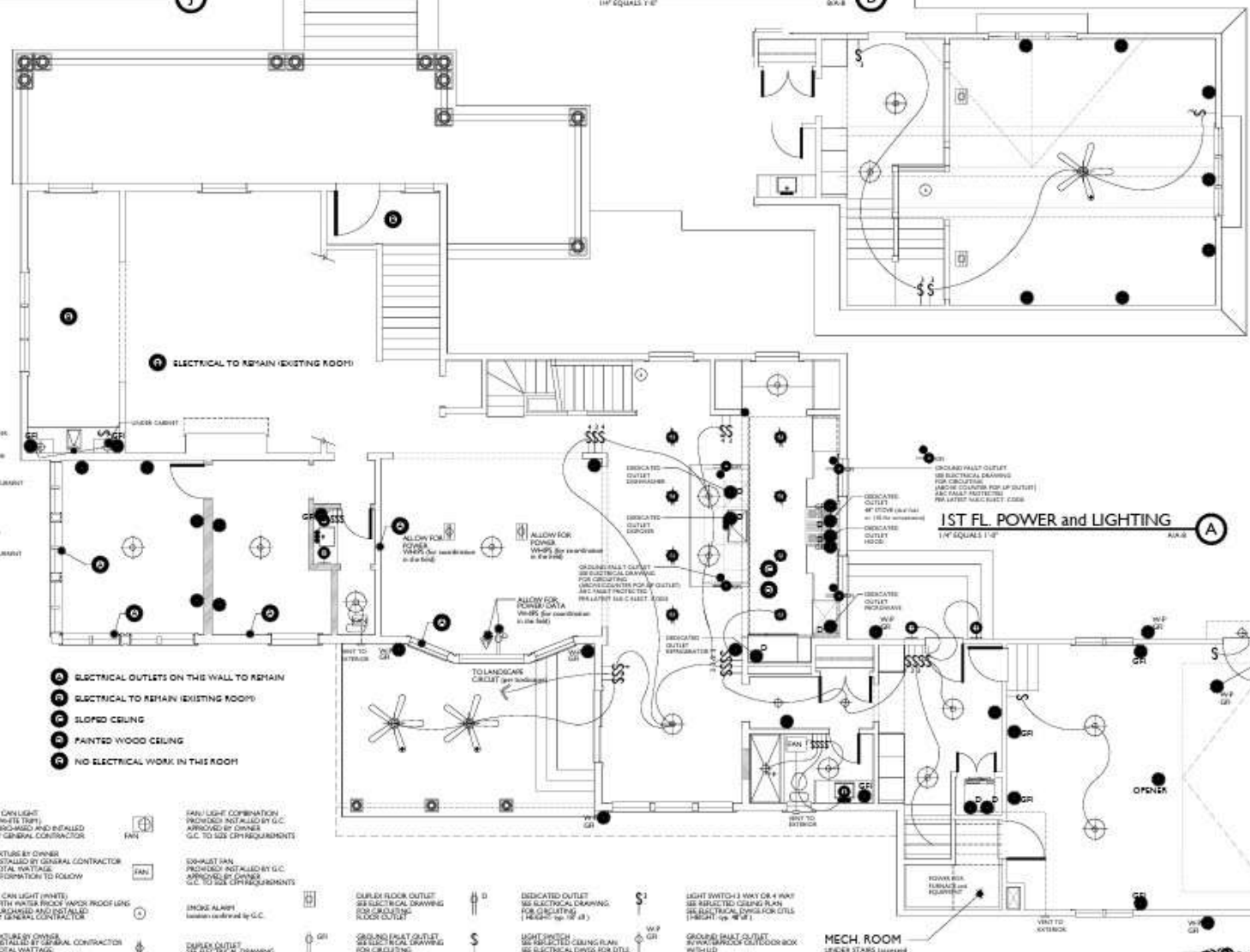
ALLOW FOR POWER WIRING (see schedule)

PROPOSED ADDITION FOR GARAGE AND MUD ROOM

2ND FL. POWER and LIGHTING



1ST FL. POWER and LIGHTING



ELECTRICAL NOTE:

ALL OUTLETS OTHER THAN 15A 120V SHALL BE 15A 120V. ALL OUTLETS OTHER THAN 15A 120V SHALL BE 15A 120V. ALL LIGHTING SHALL BE 120V 60 HZ.

ELECTRICAL NOTE:

POWER CONFORMANCE OUTLET ADJACENT TO ELECTRICAL PANEL. POWER CONFORMANCE SPEC. SHALL BE 15A 120V. POWER CONFORMANCE SPEC. SHALL BE 15A 120V. POWER CONFORMANCE SPEC. SHALL BE 15A 120V.

LIGHTING CIRCUIT NOTE:

WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

POWER CIRCUIT NOTE:

POWER CIRCUITS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

KITCHEN CIRCUIT NOTE:

OWNER TO PROVIDE ELECTRICAL CONTRACTOR WITH TOTAL WATTAGE INFORMATION TO FOLLOW.

BATHROOM LIGHTING NOTE:

BATHROOM LIGHTING SHALL BE PROVIDED FOR THE BATHROOM. BATHROOM LIGHTING SHALL BE PROVIDED FOR THE BATHROOM. BATHROOM LIGHTING SHALL BE PROVIDED FOR THE BATHROOM.

- (A) ELECTRICAL OUTLETS ON THIS WALL TO REMAIN
- (B) ELECTRICAL TO REMAIN IN EXISTING ROOMS
- (C) SLOPED CEILING
- (D) PAINTED WOOD CEILING
- (E) NO ELECTRICAL WORK IN THIS ROOM

4" CAN LIGHT (WHITE TRIM) HANG-UP AND INSTALLED BY GENERAL CONTRACTOR.

FIXTURE BY OWNER. INSTALLED BY GENERAL CONTRACTOR. TOTAL WATTAGE INFORMATION TO FOLLOW.

4" CAN LIGHT (WHITE TRIM) HANG-UP AND INSTALLED BY GENERAL CONTRACTOR.

FIXTURE BY OWNER. INSTALLED BY GENERAL CONTRACTOR. TOTAL WATTAGE INFORMATION TO FOLLOW.

4" CAN LIGHT (WHITE TRIM) HANG-UP AND INSTALLED BY GENERAL CONTRACTOR.

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FIXTURE BY OWNER. INSTALLED BY GENERAL CONTRACTOR. TOTAL WATTAGE INFORMATION TO FOLLOW.

4" CAN LIGHT (WHITE TRIM) HANG-UP AND INSTALLED BY GENERAL CONTRACTOR.

FIXTURE BY OWNER. INSTALLED BY GENERAL CONTRACTOR. TOTAL WATTAGE INFORMATION TO FOLLOW.

4" CAN LIGHT (WHITE TRIM) HANG-UP AND INSTALLED BY GENERAL CONTRACTOR.



MARK REINHOLD architect

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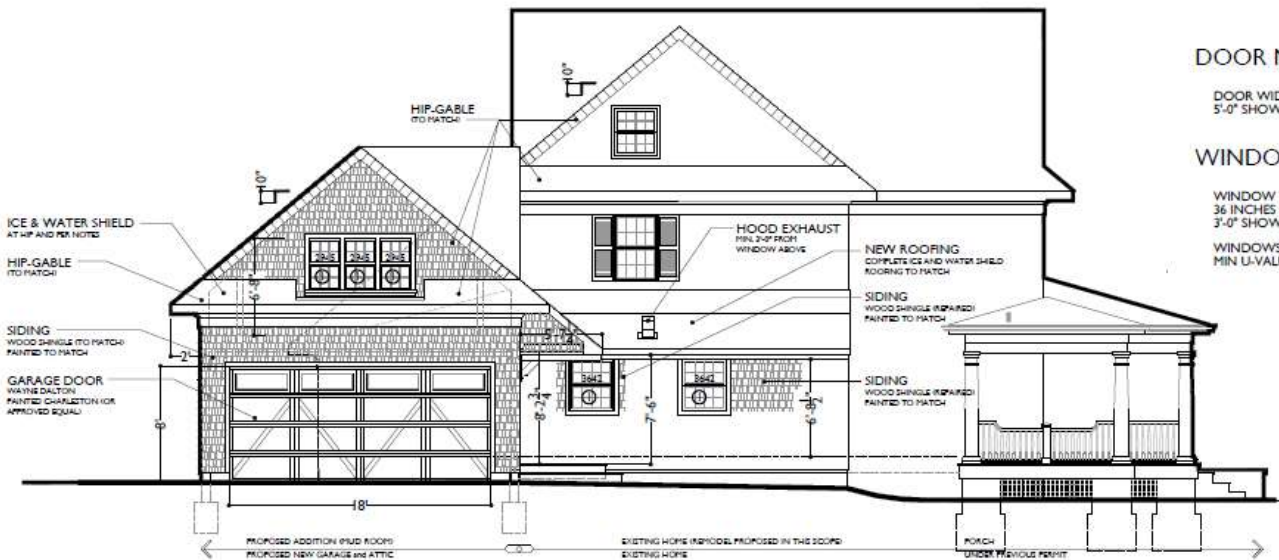
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POWER and LIGHTING



Docket No. 10--25 (17879 Lake)



DOOR NOTE:

DOOR WIDTH: FEET INCHES
5'-0" SHOWN HERE

NET INCHES
50 x 68
TO MATCH

DOOR HEIGHT: FEET INCHES
6'-8" SHOWN HERE

DOOR MATERIALS/ NOTES:

WINDOW NOTE: ALL WINDOWS GRIDS BETWEEN GLASS

WINDOW WIDTH: IN INCHES
36 INCHES SHOWN HERE
3'-0" SHOWN HERE

3654

WINDOW HEIGHT: IN INCHES
54 INCHES SHOWN HERE
4'-6" SHOWN HERE

WINDOWS SELECTED BY OWNERS
MIN U-VALUE 03.0 (typical)

MEETS OR EXCEEDS
REQUIREMENTS FOR
EGRESS WINDOWS
3654
egress

EAST ELEVATION
1/4" EQUALS 1/8"

A-A

ICE and WATER SHIELD
1/4" x 1/4" AT EACH SIDE OF
VALLEY LINE

ICE and WATER SHIELD
7/8" x 1/4" ABOVE GUTTER
LINE (SEE SECTION)

REVERSE DORMER
SEE FLOOR PLAN

30 x 68
PER OWNER
(specify allowance)

HOOD EXHAUST
PER 2-1/2\"/>

VENTING
ROOF CRAWSPACE
BELOW
USE PERMITS

FRAME
CAVITELY-FIT

TYPICAL NOTES:
ALL WINDOWS and DOORS
TO HAVE A MINIMUM U-VALUE
OF 0.30 (typical per code)
GRIDS BETWEEN GLASS



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NORTH ELEVATION
1/4" EQUALS 1/8"

B-B

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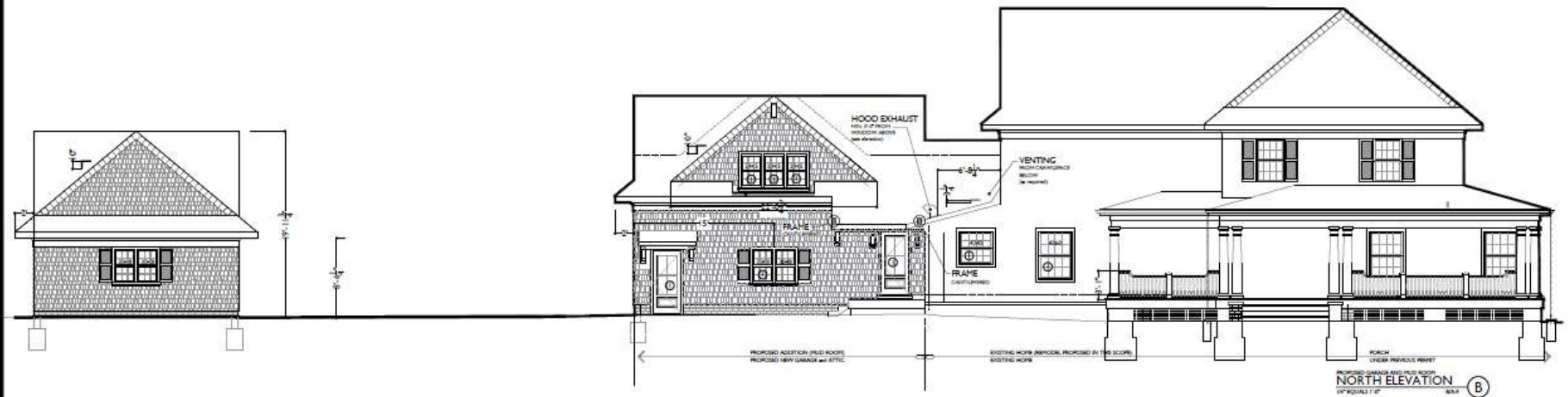
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EXTERIOR ELEVATIONS & P



Docket No. 10-89-25 (17879 Lake)



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DESIGN/CONSTRUCTION
SOPH & MURDOCK
ARCHITECTS
18875 CLEVELAND BLVD
LAKESIDE, OHIO 44130



EXTERIOR ELEVATIONS A/B

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○ TYPICAL NOTES:
ALL WINDOWS and DOORS
TO HAVE A MINIMUM U VALUE
OF 0.30 (typical per code)

WOOD 3-1/2" WIDE x 12"
REPLACE EXISTING SHIM DUE TO
FALLING PAINTED TO MATCH

WINDOWS and SIDING
EXISTING WINDOWS and SIDING IN THIS
AREA TO REMAIN (NO WORK HERE)

WOOD FENCE:
SEE LANDSCAPE
PLAN

EXISTING HOME (REMODEL PROPOSED IN THIS SCOPE)
EXISTING HOME

PROPOSED GARAGE AND ATTIC
SOUTH ELEVATION
1/4" = 8'-0"

A-10 (A)

SKYLIGHTS:
DISHOLE AND IN-FILL FRAMING SHEATHING

NEW ROOF:
ROOFING TO MATCH (IN-FILL EXISTING
ROOFING) PROVIDE COMPLETE ICE AND WATER
SHIELD

STAIRS:
SAND STONE ONE PIECE TREAD
RISE PER LANDSCAPE CONTRACTOR

PAVERS:
CONCRETE PAVERS PER OWNER'S
SPECIFICATIONS

FOUNDATIONS:
UNDER NEW COLUMN
40" BELOW GRADE

COLUMNS:
NARROWER VERSION OF
RIGHT PORCH COLUMN

UNDERLAYMENT:
ICE AND WATER SHIELD
REQUIREMENTS @ ROOF
DETERMINED BY A PLUMBER
LINE 2'-0" FROM INSIDE
FACE OF WALL

ROOFING:
TO MATCH ON 5/8" SHEATHING
30# BUILDERS FELT UNDERLAYMENT

ROOFING:
TO MATCH ON 5/8" SHEATHING
30# BUILDERS FELT UNDERLAYMENT

UNDERLAYMENT:
ICE AND WATER SHIELD
REQUIREMENTS @ ROOF
DETERMINED BY A PLUMBER
LINE 2'-0" FROM INSIDE
FACE OF WALL

SIDING
WOOD SHINGLE TO MATCH
PAINTED TO MATCH

SIDING
WOOD SHINGLE
FITTED CORNERS

FOUNDATION
40" BELOW GRADE
BRICK FACE TO MATCH

PROPOSED ADDITION (RUD ROOM)
PROPOSED NEW GARAGE AND ATTIC

TYPICAL CONSTRUCTION NOTES

- GENERAL CONTRACTOR TO REPORT ALL DISCREPANCIES OR THE FOLLOWING NOTES WITH ANY CONFLICT IN THE CONTRACT DOCUMENTS
- ROOFINGS ARE DETAILED ON ENGINEER'S DRAWING (PILE AND GRADE BEARS)
- ALL CRAWLSPACE FOUNDATIONS PER ENGINEER'S DRAWINGS
- VENT ALL CRAWLSPACE PER CODE
- ANCHOR SILL PLATE TO FOUNDATION @ 4" O.C. AND 12" FROM CORNERS
- PROVIDE SILL SEAL PER CODE
- SILL PLATE TO BE 2" X 8" MIN. (PRESSURE TREATED)
- SOLID BRIDGE ALL JOIST SPANS AT MID-SPAN MINIMUM
- WALL PLATE TO MATCH WALL THICKNESS TYP. NAIL TO 2X4 JOIST AT 8" O.C.
- JOISTS SPANS ARE AS NOTED ON DRAWINGS
- SUB-FLOOR TO BE 3/4" USE TYPICAL
- FINISH FLOOR PER OWNER'S SPEC
- WALL STUDS TO BE @ 16" ON CENTER. ALIGN ALL JOISTS, STUDS AND CEILING JOISTS WHERE POSSIBLE
- TIE ALL TOP WALL PLATES TO STUDS AT CORNER WITH 1) SHEET PILE, PLYWOOD CONTINUOUS DIAGONAL BRACING
- DOUBLE TOP PLATED TYP. TIE ALL TOP WALL PLATES TO PERPENDICULAR WALLS BY OVERLAPPING ALTERNATE PLATES
- PROVIDE SMOKE DETECTORS PER LOCAL CODE:
LOCATION: QTY:
LOCATION: QTY:
LOCATION: QTY:
LOCATION: QTY:
LOCATION: QTY:
- WALL INSULATION TO BE R-13 1/2" MIN. UNLESS NOTED
- ROOF INSULATION TO BE R-30 11" 1/4" MIN. UNLESS NOTED
- FOR ROOF RAFTER SEEING SEE PLANS
- G.C. TO PROVIDE CONTINUOUS DORMER VENT AT ADDITION G.C. TO PROVIDE CONTINUOUS ROOF VENT
- ROOF SHEATHING IS TYPICALLY 5/8" OSB or PLYWOOD

TYPICAL CONSTRUCTION NOTES (CONTINUED)

- ROOF SHINGLES ARE MIN. 30# POUND ASPHALT SHINGLES SPEC'D BY OWNER ON 3/8" BUILDERS FELT PROVIDE ICE AND WATER SHIELD AT VALLEYS AND EAVES
- AT ROOF CONNECTION TO SIDE WALLS G.C. TO PROVIDE ALUMINUM STEP FLASHING TYP. AT ALL VALLEYS PLANNED AT ROOF G.C. TO PROVIDE ALUMINUM FLASHING TYP. OR MATCH EXISTING
- G.C. TO SECURE SURVEYOR AS REQUIRED BY BUILDING DEPARTMENT
- G.C. TO PROVIDE GUTTERS AND DOWNPOUTS PER OWNER'S SPECIFICATIONS TO SPLASH BLOCK
- SIDING IS PER ELEVATION G.C. IS TO PROVIDE TYVEK HOUSE WRAP OR 15 LB. FELT AT WALLS
- SEE PLANS FOR LIGHT AND VENTILATION REQUIREMENTS
- NEW CEILING HEIGHT IS 8'-0" MIN. AT ALL AREAS PER CODE
- LIGHTING CIRCUIT TYPICAL (1) PER CODE IS AMP CIRCUIT LIGHTING ON THIS PROJECT NOT TO EXCEED 180W. TOTAL WATTAGE TYPICAL LIGHTING WIRING TO MEET LOCAL AND NATIONAL ELECTRICAL CODES PERMITS WIRING FOR LIGHTING CIRCUIT TO BE 143 GROUNDING CIRCUIT
- POWER CIRCUITS TYPICAL PER CODE IS AMP CIRCUIT ON THIS PROJECT NOT TO EXCEED 8 NEW DUPLEX OUTLETS TYPICAL POWER WIRING TO MEET LOCAL AND NATIONAL ELECTRICAL CODES PERMITS WIRING FOR POWER CIRCUIT TO BE 153 GROUNDING CIRCUIT NEW PANEL AND ELEC. PERMIT BY ELECTRICAL CONTRACTOR
- ELECTRICAL PANEL IS NEW 80# AMPS PER ELECTRICAL CONTRACTOR TO SUB-PANEL OR CIRCUIT PER CODE
- STAIR RISERS NOT TO EXCEED 8"



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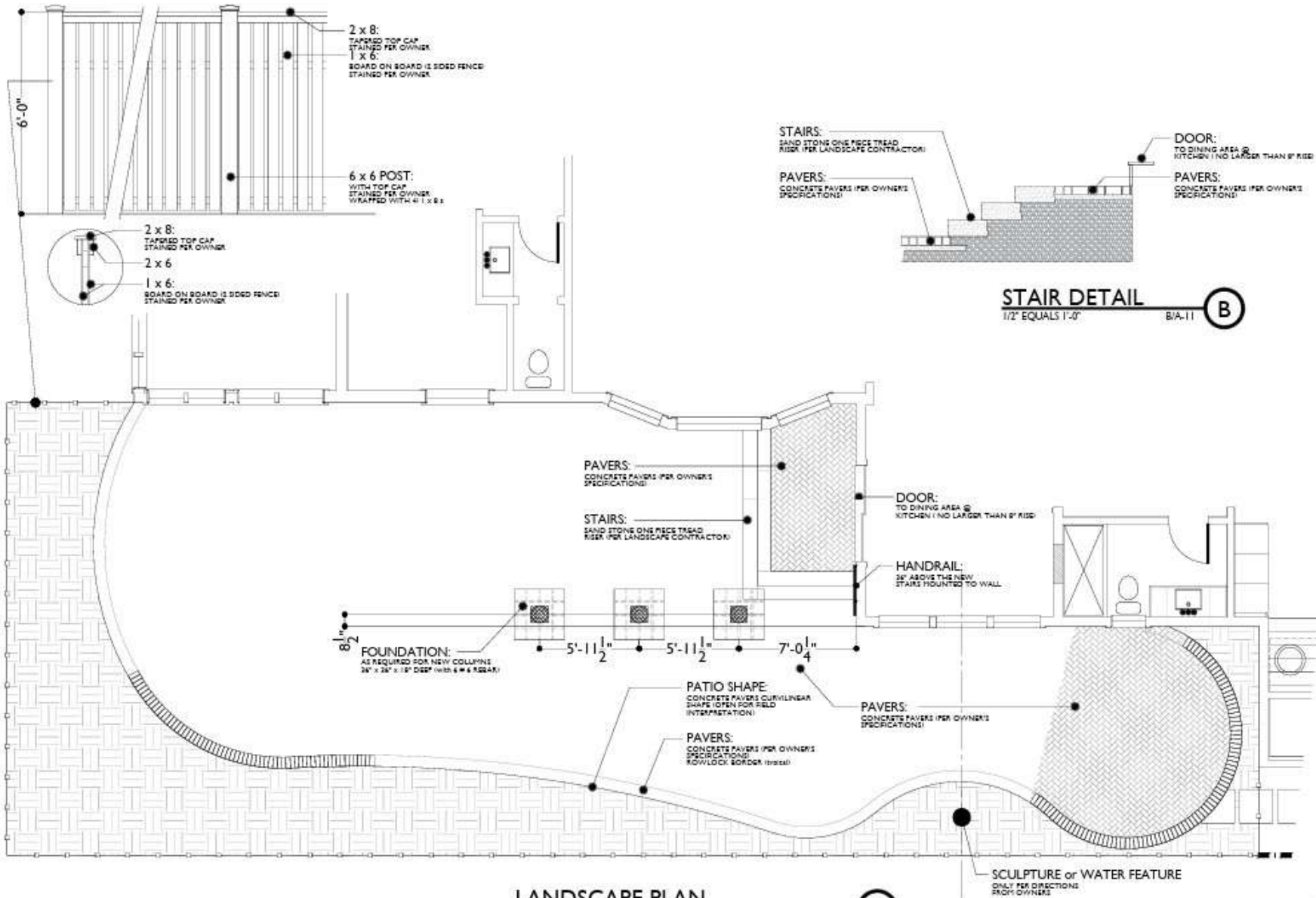
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LANDSCAPE PLAN
3/8" EQUALS 1'-0" A/A-11



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GUARD RAIL SYSTEM:
GENERAL CONTRACTOR TO VERIFY
OWNER SPECIFIED PARTS WORK TOGETHER

RAILINGS:
STAIR TRENDS:
STYLE 2 5093

BALUSTERS:
STAIR TRENDS:
STYLE 2 4041

NEWELS:
LI 21714 (CLEAN COLLECTION)
LI 4107-2

RATED DOOR
FOR OWNER'S APPROVAL
MANUFACTURED DOOR
PRESENTED BY G.C.
PROVIDE ALLOWANCE
(AT CLOSE TO INTERIOR
CUSTOM DOORS TO MATCH)

BRICK:
EXPOSED BRICK TO MATCH
PRESSURE TREATED
2 x 6 SILL PLATE

SILL SEALER
A.E. 1" FROM CORNER and
4" ON CENTER (15" TYP.)

RAILING TYPICAL
ALL STAIRS WILL HAVE GUARD
RAIL WITH MAX OPENING
OF 4" AND BE ABLE TO WITH-
STAND 350 LBS OF OUTWARD
PRESSURE AND CONTINUOUS
HAND RAIL ON WALL
(MINIMUM HEIGHT 24" ABOVE
FINISHED FLOOR)

MUD ROOM
MUD ROOM LOFT AREA
1/2" EQUALS 1'-0"

A/A-12 (A)

5/8" CP SYSTEM'S
ROOF SHEATHING
PER
MANUFACTURER'S
GUIDELINES

FOAM INSULATION
4" CLOSED FOAM
@ R-4.5 / INCH

BATT INSULATION
5-1/2" HIGH DENSITY
@ R-21

ROOF INSULATION
TOTAL @ GARAGE
@ R-47

CONTINUOUS
HANDRAIL PER DETAIL
24" TO 24" ABOVE
STAIR NOISES

FIBER IS 7-3/4" (typical) @ ALL
CANNOT VARY MORE THAN 3/8"
TREAD IS 9-1/2" NOSE TO NOSE (typical) @ ALL
CANNOT VARY.

BATT INSULATION
5-1/2" HIGH DENSITY
@ R-21

HANDRAIL:
24" ABOVE THE NEW
STAIRS HUNG TO WALL

SLAB
LEVEL WITH GARAGE SLAB

ALTERNATE SLAB
LEVEL WITH ADJACENT CRAWLSPACE
WITH SLIPPY CRACKS, REQUIRED

MUD ROOM
ALTERNATE HVAC FOUND'N
1/2" EQUALS 1'-0"

B/A-12 (B)



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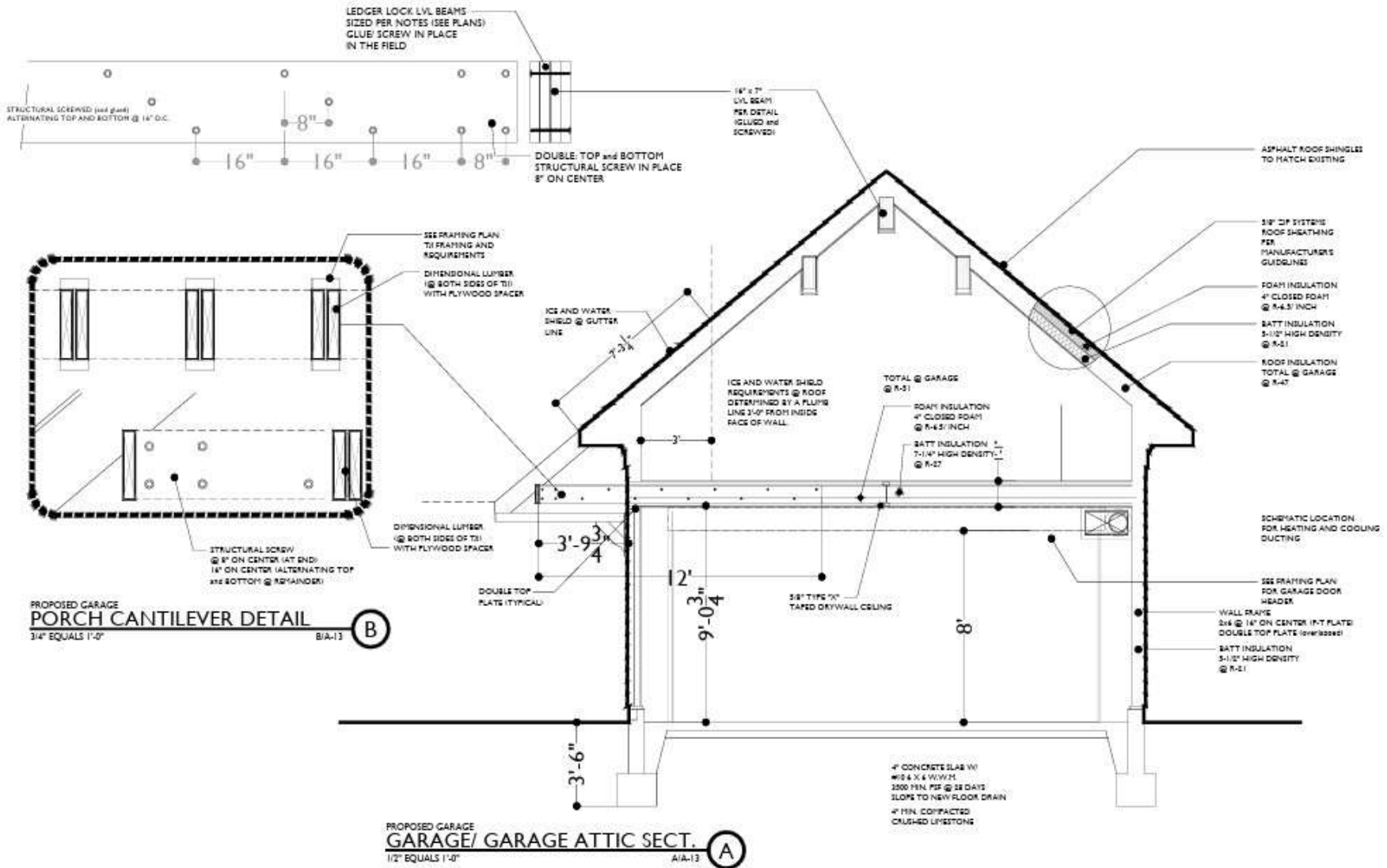
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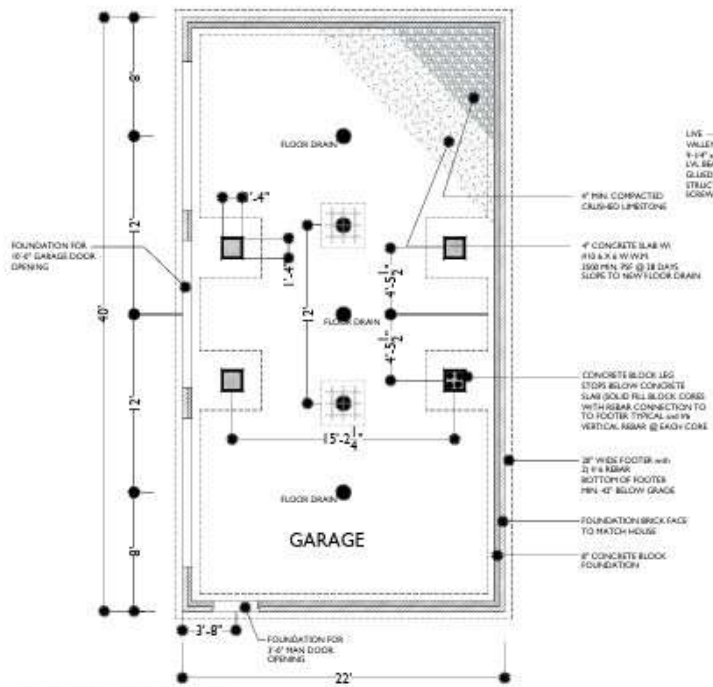
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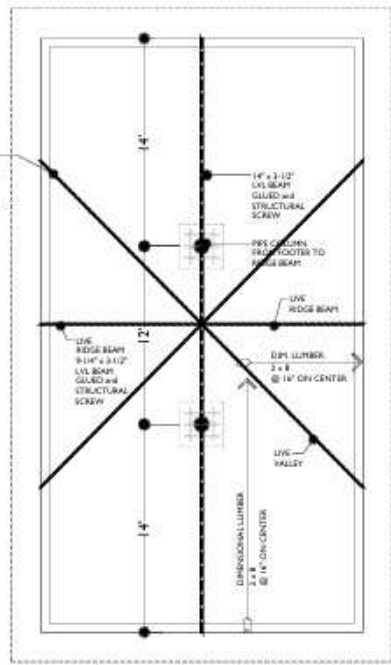
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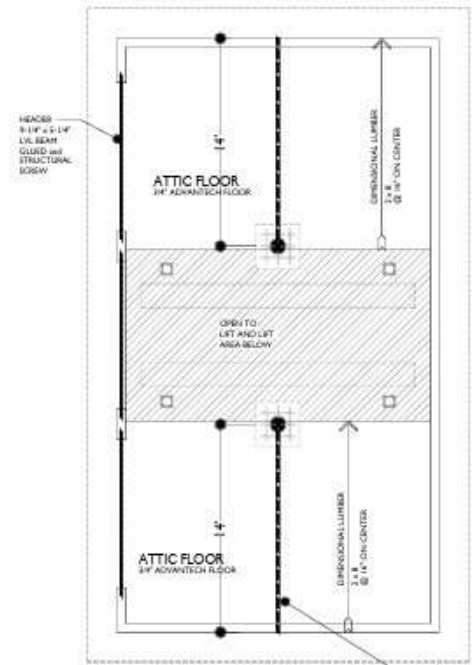
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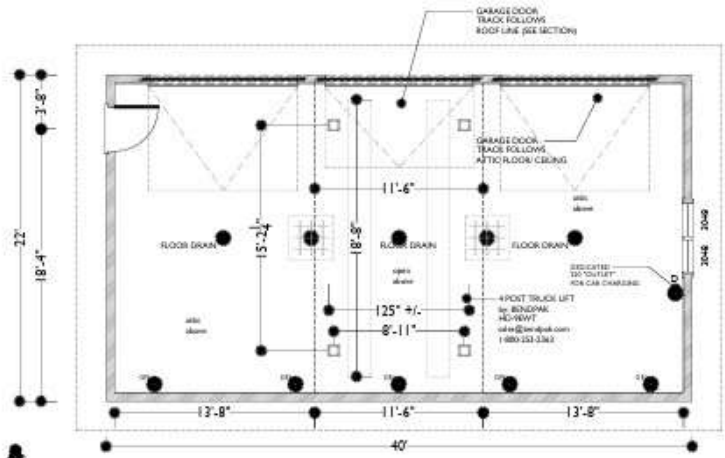
PROPOSED DETACHED GARAGE GARAGE FOUNDATION
 1/4" EQUALS 1/8"
 DOK-14 (A)



PROPOSED DETACHED GARAGE GARAGE ROOF PLAN
 1/4" EQUALS 1/8"
 DOK-14 (B)



PROPOSED DETACHED GARAGE GARAGE ATTIC PLAN
 1/4" EQUALS 1/8"
 DOK-14 (C)



PROPOSED DETACHED GARAGE DETACHED GARAGE FLOOR PLAN
 1/4" EQUALS 1/8"
 DOK-14 (D)



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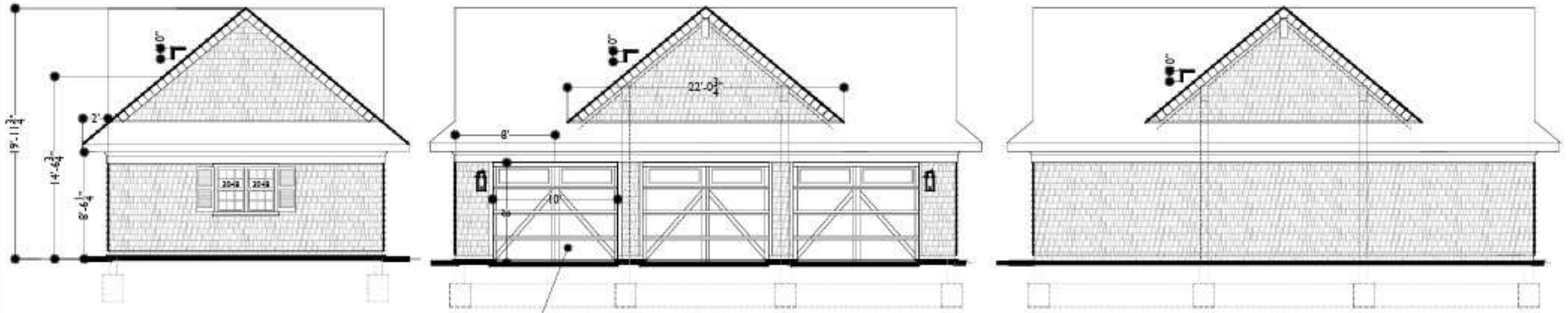
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GARAGE PLANS A-14

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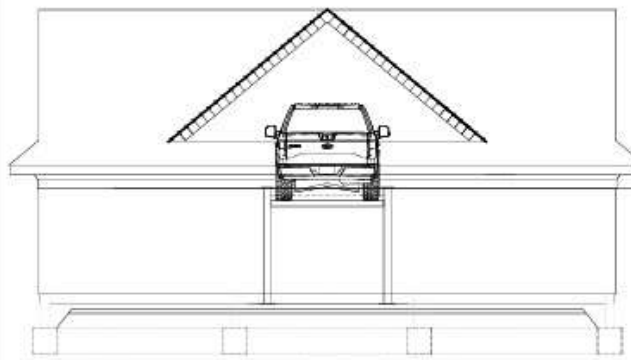


PROPOSED DETACHED GARAGE
NORTH ELEVATION
1/4" EQUALS 1" = A

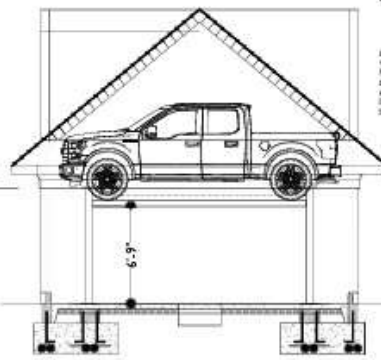
GARAGE DOOR
W/ATYME DAMPTON
PAINTED EMERALGEM (OR
APPROVED EQUAL)

PROPOSED DETACHED GARAGE
WEST ELEVATION
1/4" EQUALS 1" = B

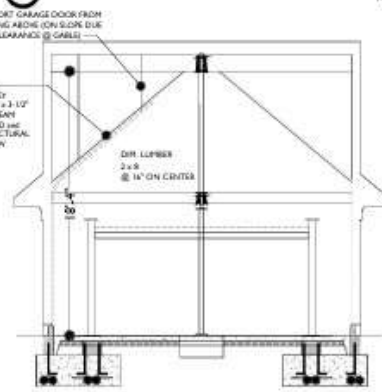
PROPOSED DETACHED GARAGE
EAST ELEVATION
1/4" EQUALS 1" = C



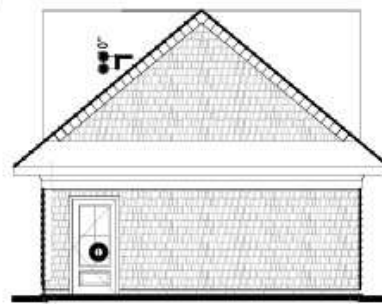
PROPOSED DETACHED GARAGE
CAR LIFT SCHEMATIC SECTION
1/4" EQUALS 1" = D



PROPOSED DETACHED GARAGE
CAR LIFT SCHEMATIC SECTION
1/4" EQUALS 1" = E



PROPOSED DETACHED GARAGE
CAR LIFT SCHEMATIC SECTION
1/4" EQUALS 1" = F



PROPOSED DETACHED GARAGE
NORTH and SOUTH ELEVATION
1/4" EQUALS 1" = G



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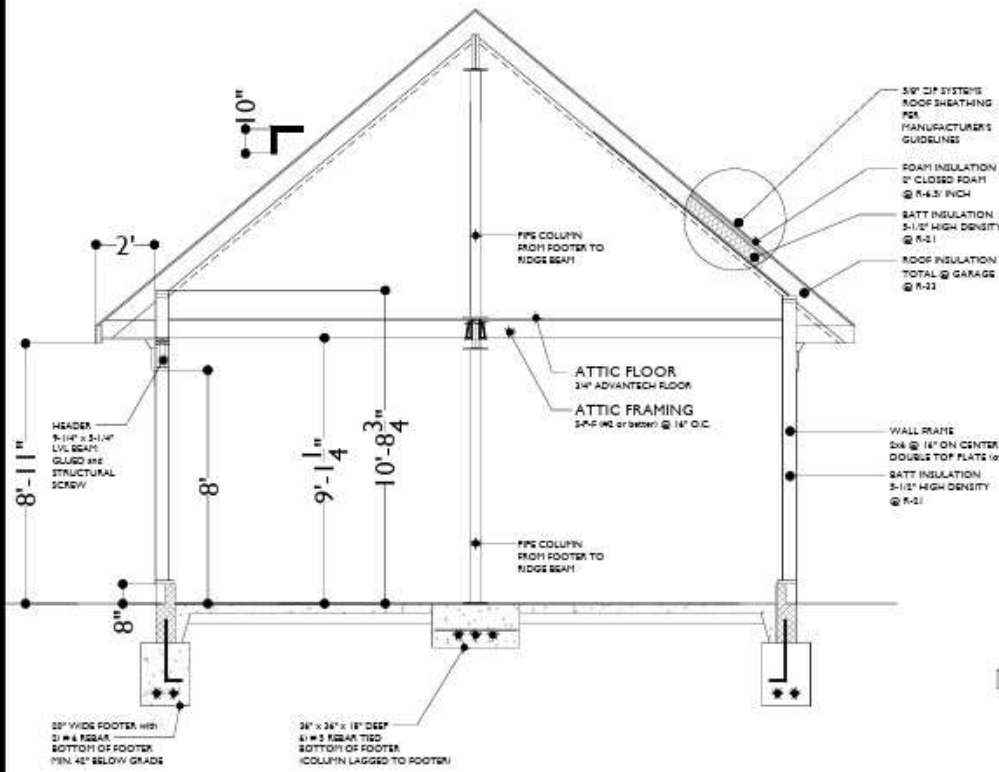
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07/17/2025



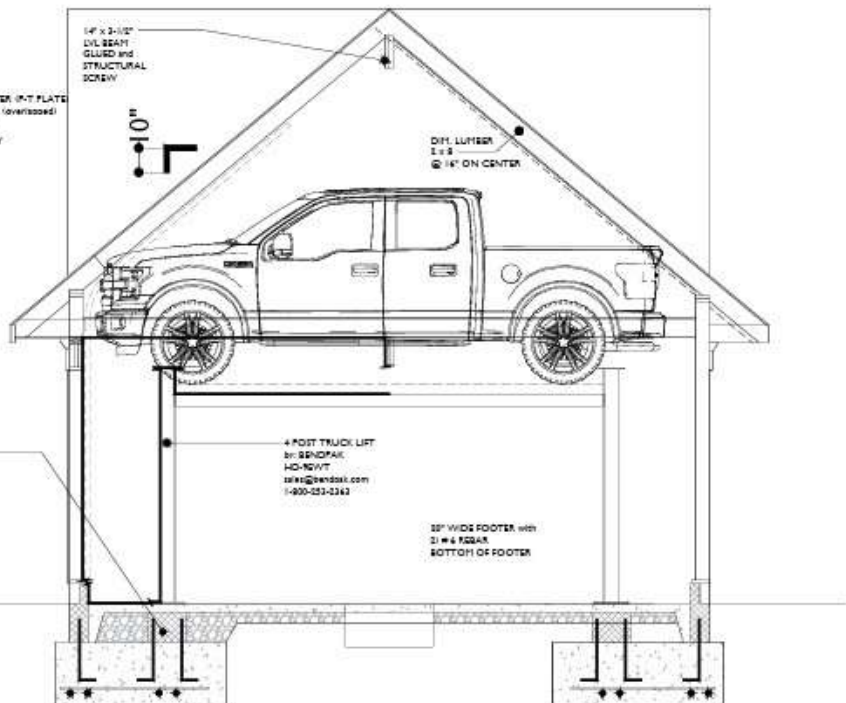
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GARAGE SECTION
3/8" EQUALS 1'-0"
A/A-11 **A**



GARAGE SECTION
3/8" EQUALS 1'-0"
A/A-11 **B**



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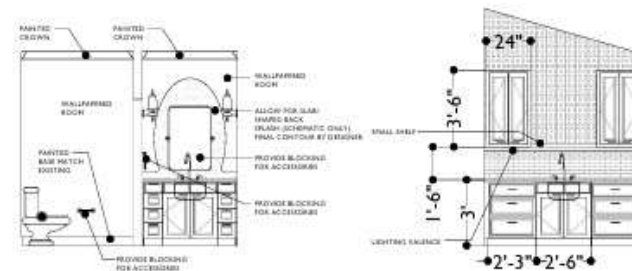
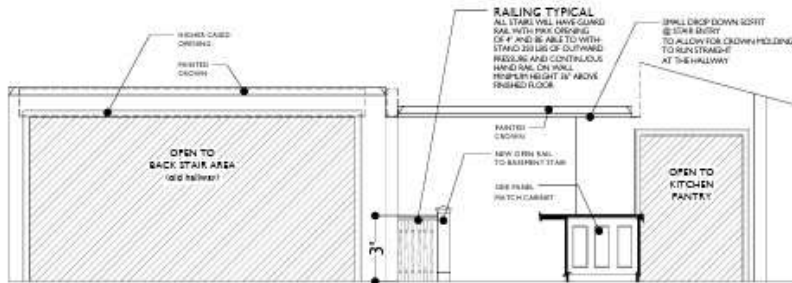
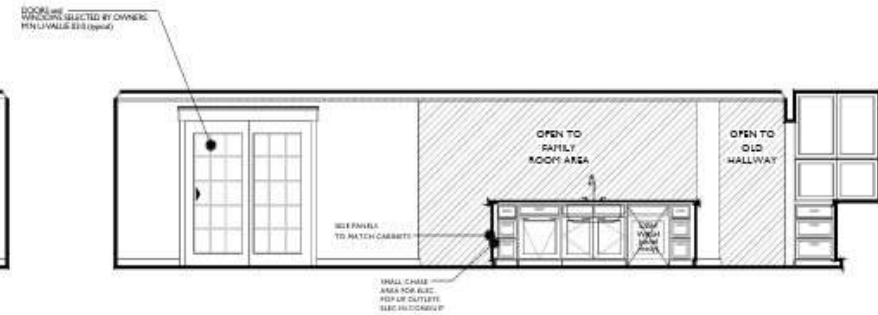
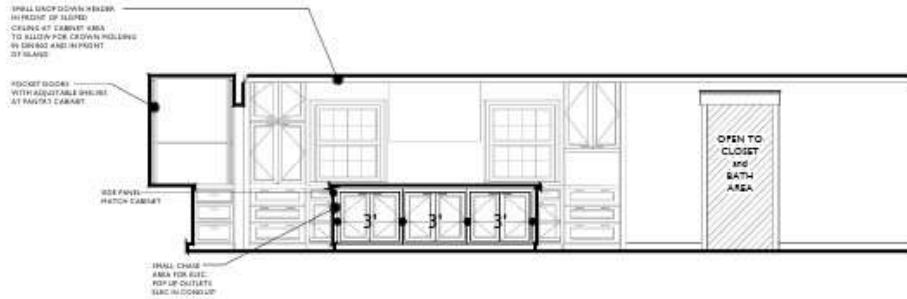
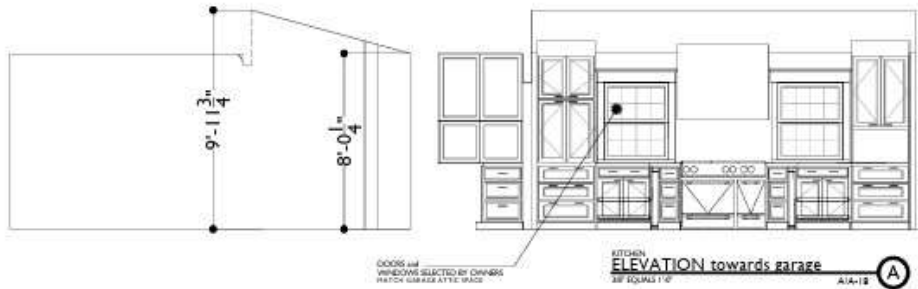
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GARAGE SECTION A/A-11



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MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

17879 LAKE ROAD, LAKEWOOD, OHIO 44107



INTERIOR ELEVATIONS A/E



Docket No. 10-89-25 (17879 Lake)

STRUCTURAL BEAM:
 WRAPIED IN STEEL
 FINISH SPECIFIED BY DESIGNER AND IN ORDER
 PROVIDE BLOCKING

GUARD RAIL SYSTEM:
 GENERAL CONSTRUCTION TO MEET
 OWNER SPECIFIC PARTS WELD TOGETHER

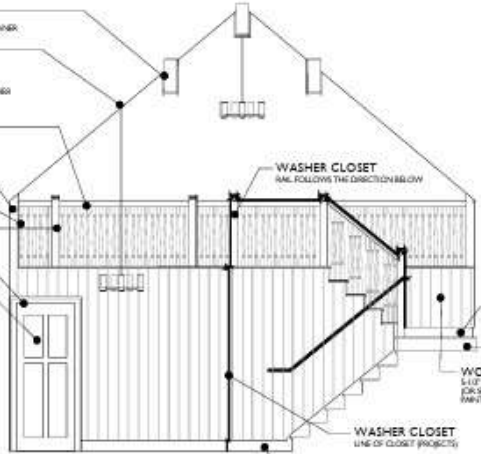
RAILINGS:
 STAR TREADS
 STYLE 81581

BALUSTERS:
 STAR TREADS
 STYLE 81581

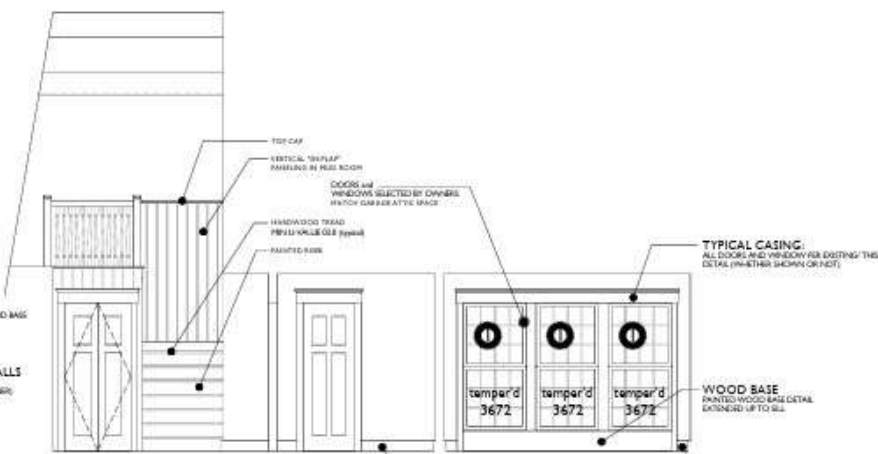
NEWELS:
 1 1/2" DIA. OF CLEAN COLLECTION
 PATCH HEAD CASING EXISTING

RATED DOOR:
 FOR OWNER'S APPROVAL
 PROVIDE ALLOWANCE FOR
 PROTECTIVE COATING
 COLOUR MATCH TO PATCH

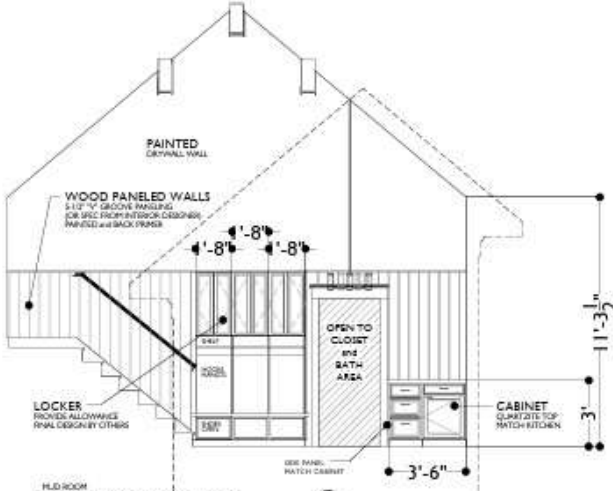
RAILING TYPICAL:
 ALL STAIRS WILL HAVE GLAND
 RAIL WITH MAX OPENING
 2 1/4" AND BE ABLE TO WITH
 STAND 250 LBS OF OUTWARD
 PRESSURE AND CORNER RAILS
 HAND RAIL ON WALL
 MINIMUM HEIGHT 36" ABOVE
 FINISHED FLOOR



MUD ROOM
ELEVATION towards garage
 DIA-12 (A)



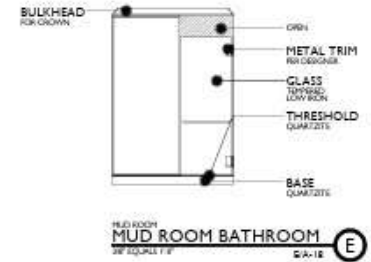
MUD ROOM
ELEVATION towards stair
 DIA-12 (B)



MUD ROOM
ELEVATION towards stair
 DIA-12 (C)



MUD ROOM
MUD ROOM BATHROOM
 DIA-12 (D)



MUD ROOM
MUD ROOM BATHROOM
 DIA-12 (E)



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

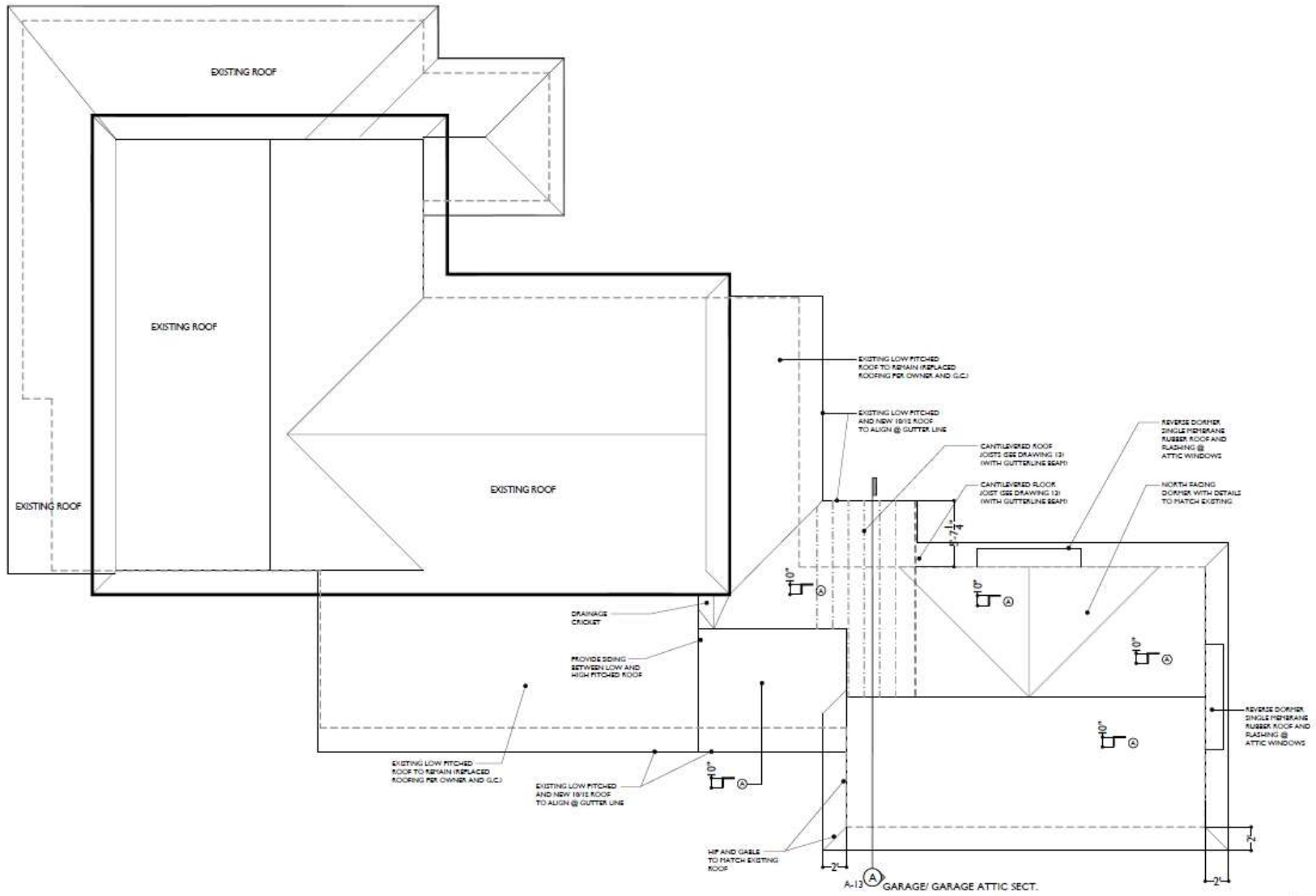
17879 LAKE ROAD, LAKEWOOD, OHIO 44107



INTERIOR ELEVATIONS A-12



Docket No. 10-89-25 (17879 Lake)



MARK REINHOLD architect

GRAF / GOUNDER RESIDENCE

1120 Forest Road, Lakewood, Ohio 44107 (216).906.7097

17879 LAKE ROAD, LAKEWOOD, OHIO 44107

SCALE: AS SHOWN
DATE: 10/20/18
PROJECT: 17879 LAKE ROAD



ROOF PLAN A-19



Docket No. 10-89-25 (17879 Lake)

Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



Docket No. 06-51-25 (1070 Rosalie)

Overall form, Massing and Scale

- New residential buildings, additions, and alterations must be compatible in predominant form, mass, lot coverage, general character and in proportion and scale to other surrounding structures in the immediate area; however, some differentiation from adjacent homes is allowable.
- For larger massed residential buildings, techniques such as stepping back upper stories, offsetting secondary masses, dividing facades into smaller components, or varying materials must be considered to reduce the perceived mass of the structure.
- For visual variety, building massing for residential buildings should be varied by employing techniques such as but not limited to: bay windows, dormers, and varying planes or roof lines.
- The combination of lots to create larger homes is discouraged unless the resulting residential building can meet these Design Standards and any other applicable regulation.
- Any addition or alteration must be complementary to the principal structure.

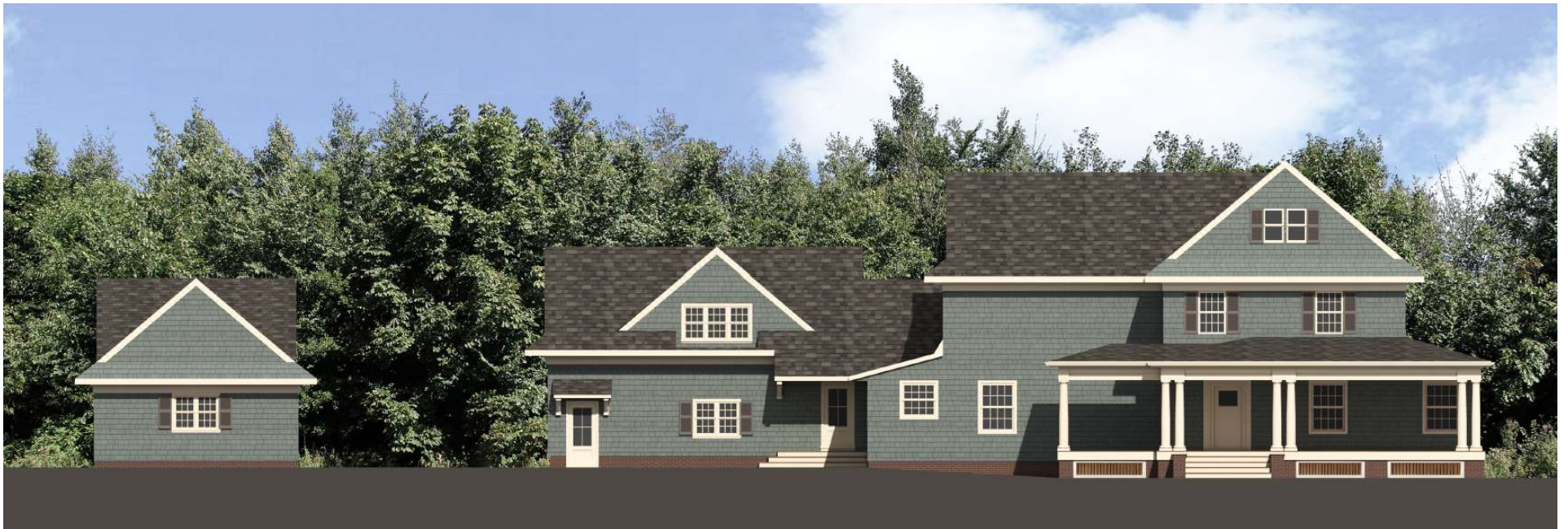


Garages and Accessory Structures

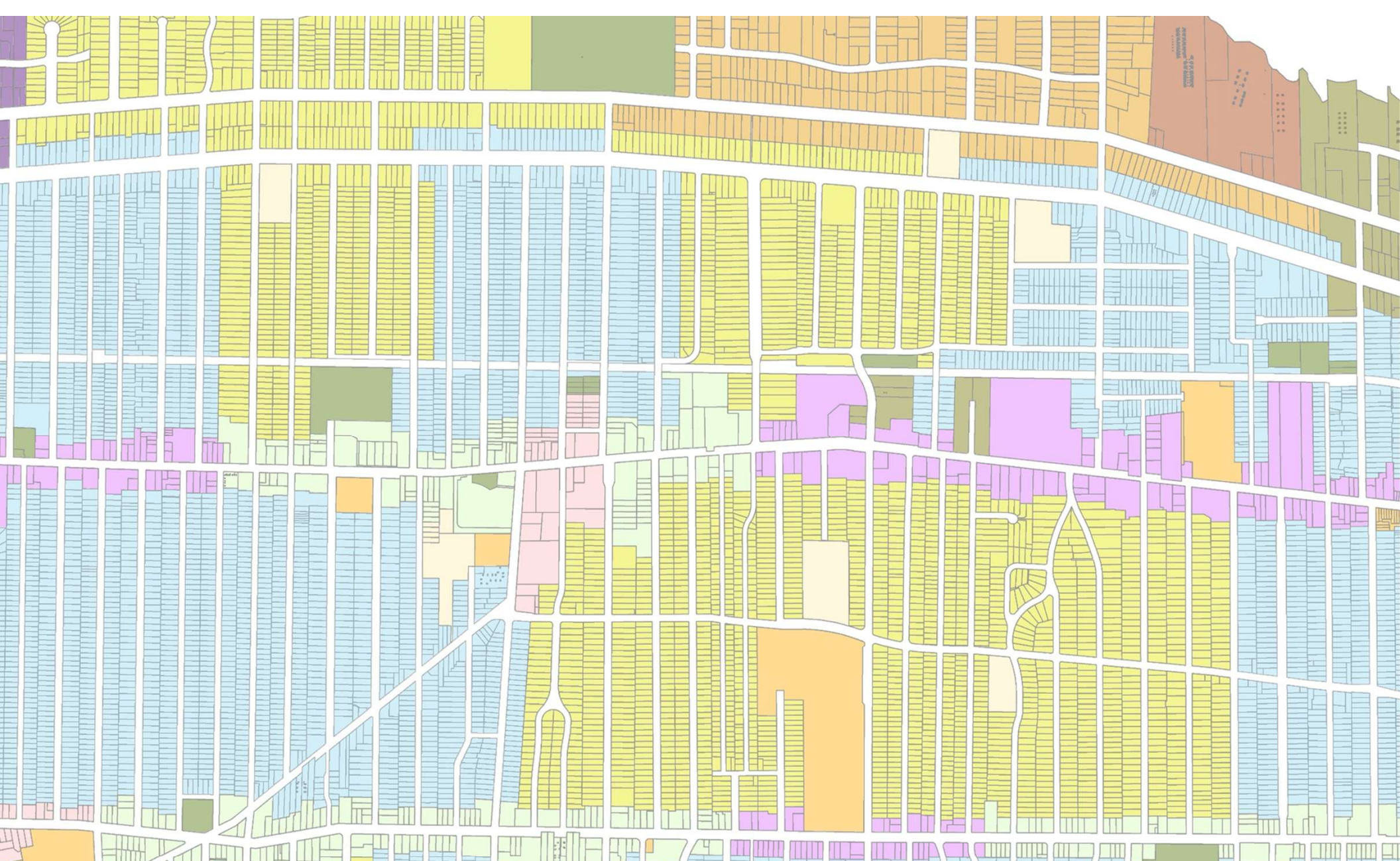
- Garages and accessory structures must be secondary structures on the lot and shall not overshadow the primary building or residence. They must be complementary to the primary structure.
- Garage doors must be designed in a way that is compatible with the chosen architectural style of the rest of the home and surrounding properties.



Docket No. 06-51-25 (1070 Rosalie)



Docket No. 10-89-25 (17879 Lake)



Architectural Board of Review

Sign Review – November 2025

Applicant proposes new comprehensive sign package.

City Notes:

- Applicant proposes a comprehensive sign package
- Max allowed square footage: N/A
- Total proposed square footage: Already installed 102 sq ft, proposed additional 36.5 in blade signs on Detroit frontage



Docket No. 11-97-25 (14414 Detroit)

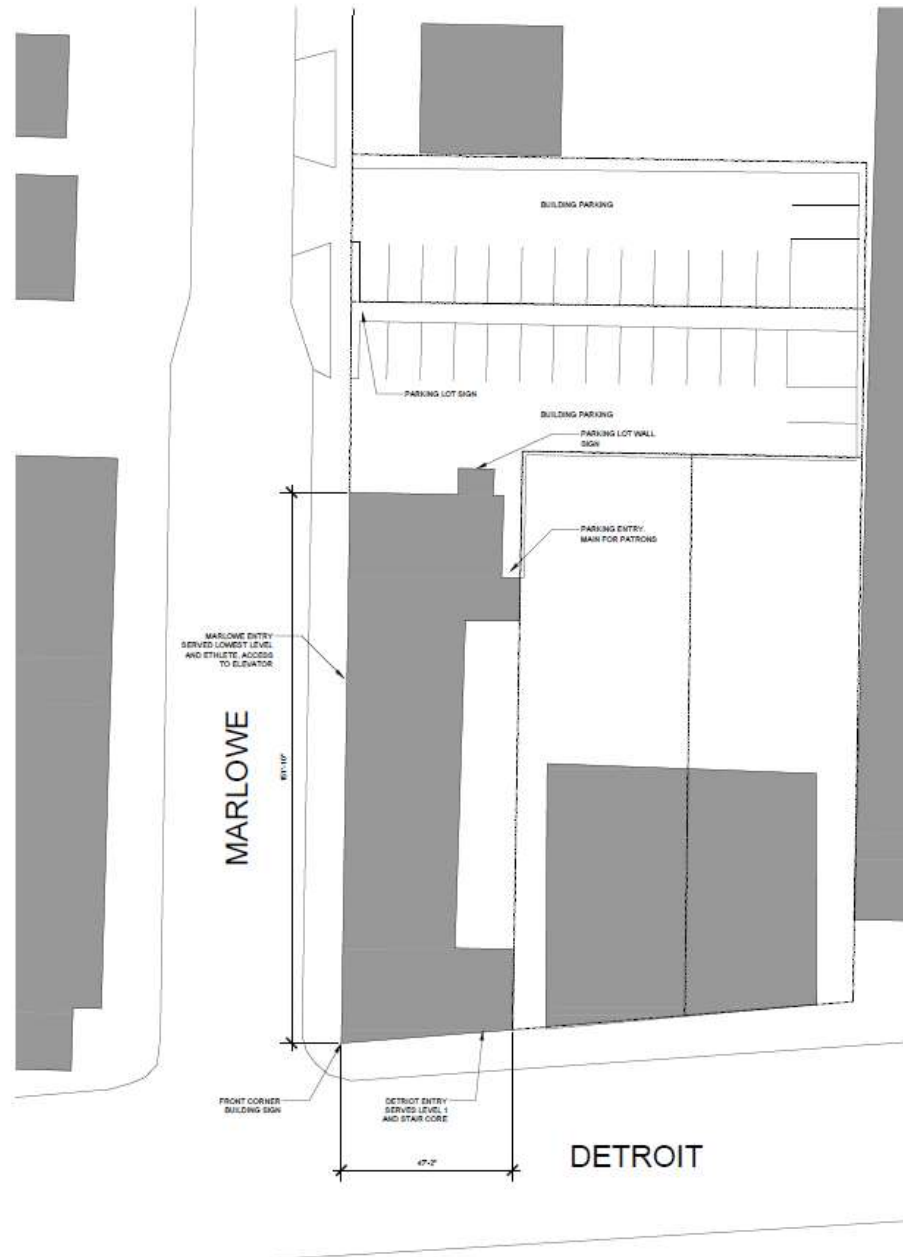
**New Signage – The Marlowe Exchange Building
David Maniet**



Front Photo Existing



Rear Photo Existing



Site Plan
1/2" = 1'-0"

SITE PLAN NOTES:
PROPERTY LINES LOCATED FROM CLIENT PROVIDED SURVEY AND CUYAHOGA COUNTY GIS DATA.

MA
MANIET
ARCHITECTS

4 1 2 . 7 2 0 . 0 4 2 4
DavidJManiet@gmail.com

Name / Project Address
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Scale For Sign Review	Sheet
Date 11/02/2025	S1
Drawn By D.M.	

Docket No. 11-97-25 (14414 Detroit)





Parking Area Wall Sign

Building Identification Sign - 2'0" x 3'0" - 23.30 sqft
 Textured Backing - 1'-0" x 2'-0" x 10 = 20sqft
 Metal with vinyl letters



Parking Lot Wayfinding Sign

Parking Lot Sign - 4'0" x 1'0" (each side)
 3' Posts off grade
 2" x 4" posts
 Metal with Vinyl Letters



Parking Lot Wayfinding Sign



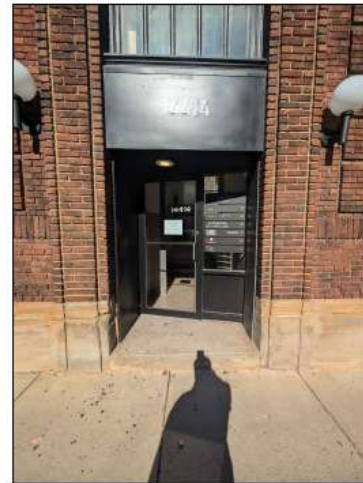
Marlowe Building Entry Door

Building Directory - 2'0" x 2'0" - 6.75sqft
 Cover Sign - 2'0" x 2'0"



Ethlete Signage

Previously approved. Sign location away from door
 Structure - 3'-0" x 4'-0" each side
 Wall - 2'-0" x 2'-0"



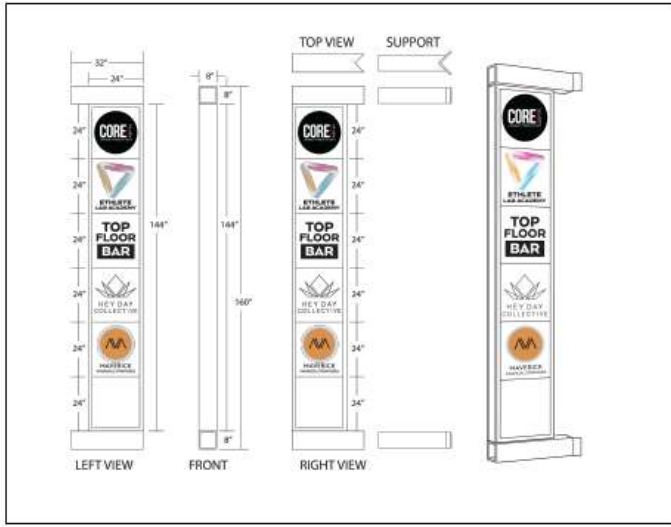
Detroit Building Entry Sign

Building Directory - 1'10" x 2'0" - 5.5sqft

4 1 2 . 7 2 0 . 0 4 2 4 DavidJManiet@gmail.com	
Name / Project Address The Marlowe Building 14414 Detroit Avenue Lakewood, Ohio 44107	
Issue for Sign Review Date Drawn By	Sheet <div style="font-size: 2em; font-weight: bold; text-align: center;">S2</div>



Docket No. 11-97-25 (14414 Detroit)



Building Directory Blade

Building Identification Sign - 12 x 2 - 24 sqft each side
 White for visual - Signage to be black to match the building



Marlowe Building Entry Door - Maverick

Blade Sign - 2 x 30" - 10.5sqft each side



Front Signs

Corner building directory sign to align with second four windows
 Maverick sign to center on skyline
 Front Transit window vinyl along top face of transit windows - White vinyl 6" tall across 20' window
 Business name and contact

Signage Summary - Comprehensive Sign Plan

Transit Lot Directory	43.5 sqft
Lot Sign	12 sqft each side
Marlowe Door	10.75 sqft
Shine	20 sqft (each)
Detail Door	9 sqft (blades each side)
Maverick Blade	6.5 sqft
Maverick Window	10.5 sqft each side
Building Blade	15 sqft
Building Blade	24 sqft each side

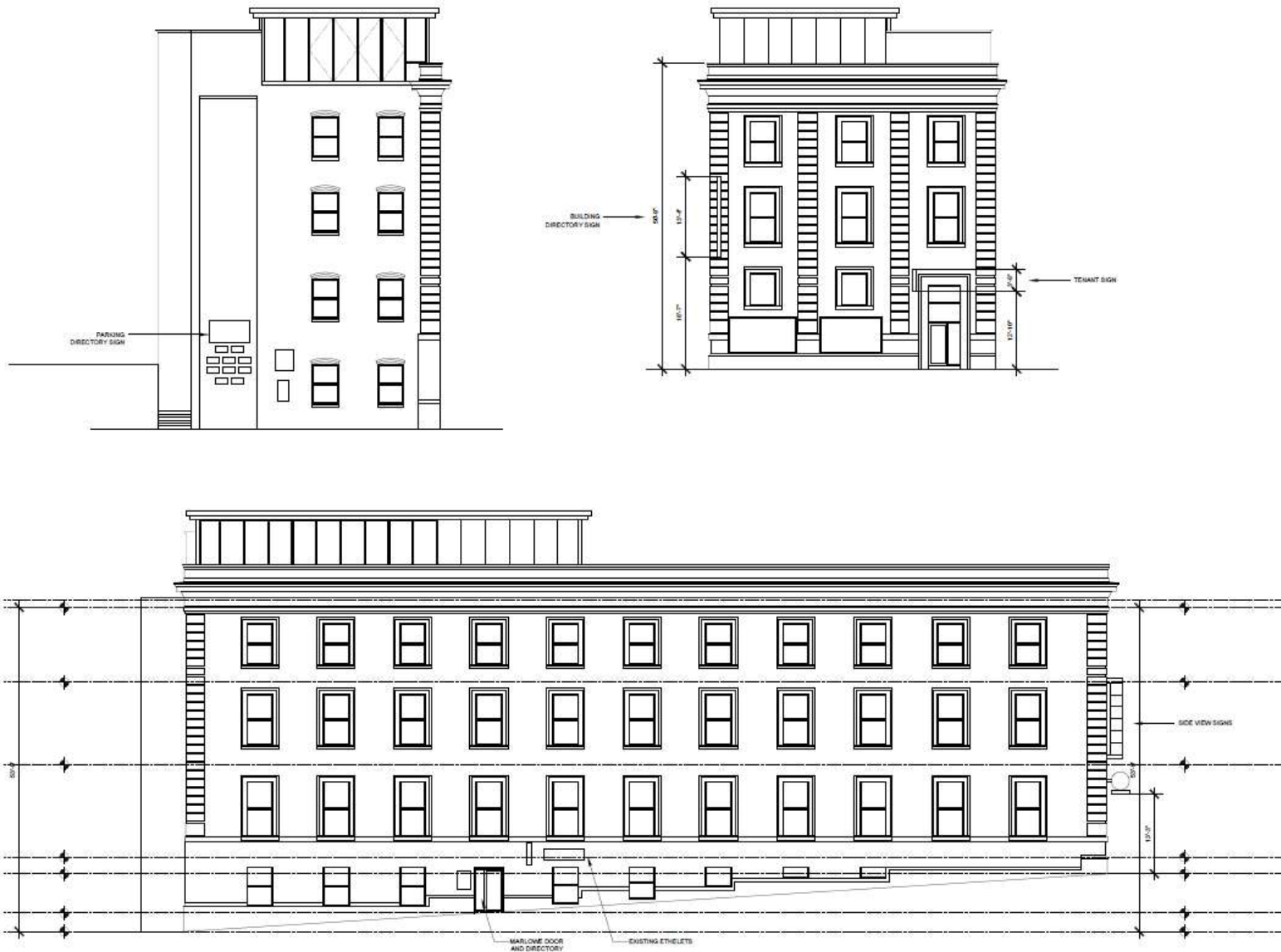
MA MANIET ARCHITECTS
 412.720.0424
 DavidJManiet@gmail.com

Name / Project Address
 The Marlowe Building
 14414 Detroit Avenue
 Lakewood, Ohio 44107

Issue for Sign Review	Sheet
Date	S3
Drawn By	CJM



Docket No. 11-97-25 (14414 Detroit)



Proposed Marlowe Avenue Elevation
1/4" = 1'-0"

MA
MANIET
ARCHITECTS

412.720.0424
DavidJManiet@gmail.com

Name / Project Address:
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Issue for Sign Review	Sheet
Date 11/11/2025	S4
Drawn By CJM	



Docket No. 11-97-25 (14414 Detroit)

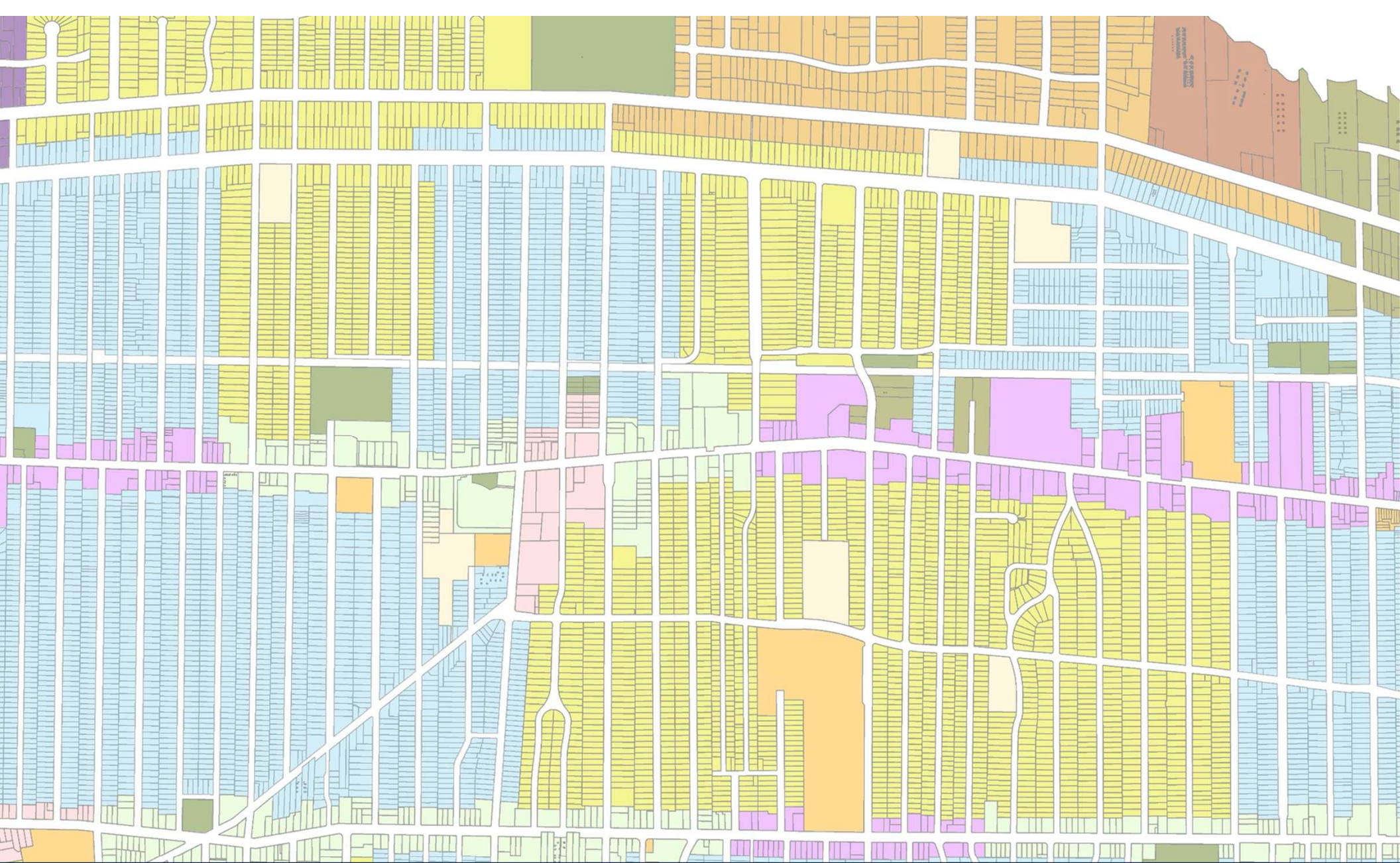
Relevant Code: Chapter 1329

(q) Comprehensive Sign Plan. As part of a comprehensive rehabilitation or redevelopment of a commercially zoned site or building, the Board of Building Standards may approve special sign standards for a property as follows:

- (1) The proposed sign program applies to all current and future building tenants and standardizes the location, size and type of all wall, door and window signs.
- (2) The proposed sign program requires high quality materials, innovative design and uses little or no internally illuminated signage.
- (3) The Board may increase the amount of signage permitted for the property, provided the condition of subsections (q)(1) and (2) hereof are met, and permit more than the standard square footage allowed per sign without requiring variances for each sign.
- (4) The proposed sign program approvals assign the sign criteria for the property. All tenants must conform to those requirements at all times.



Docket No. 11-97-25 (14414 Detroit)



Architectural Board of Review

November 2025

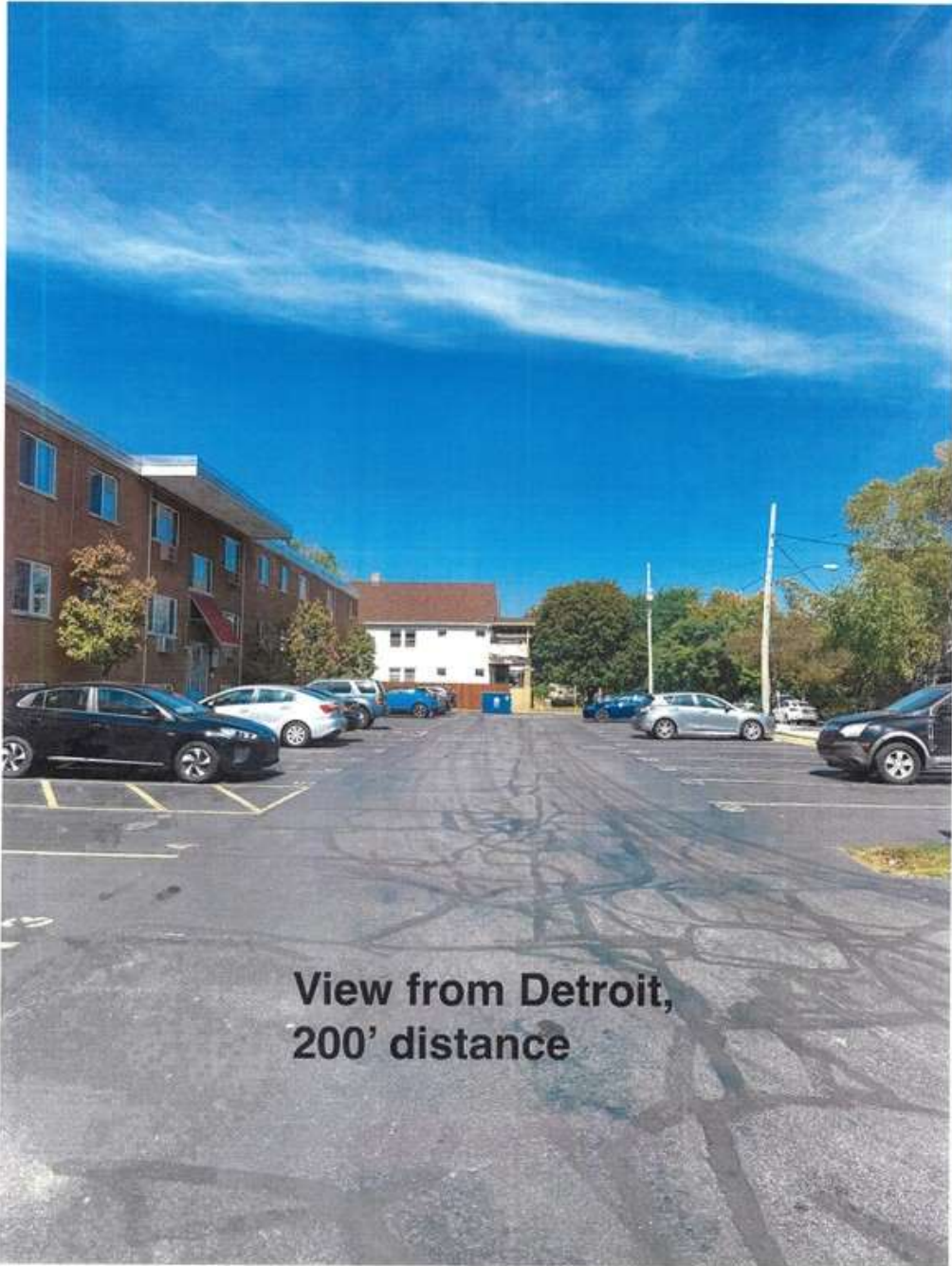
Applicant proposes dumpster screening.

City Notes:

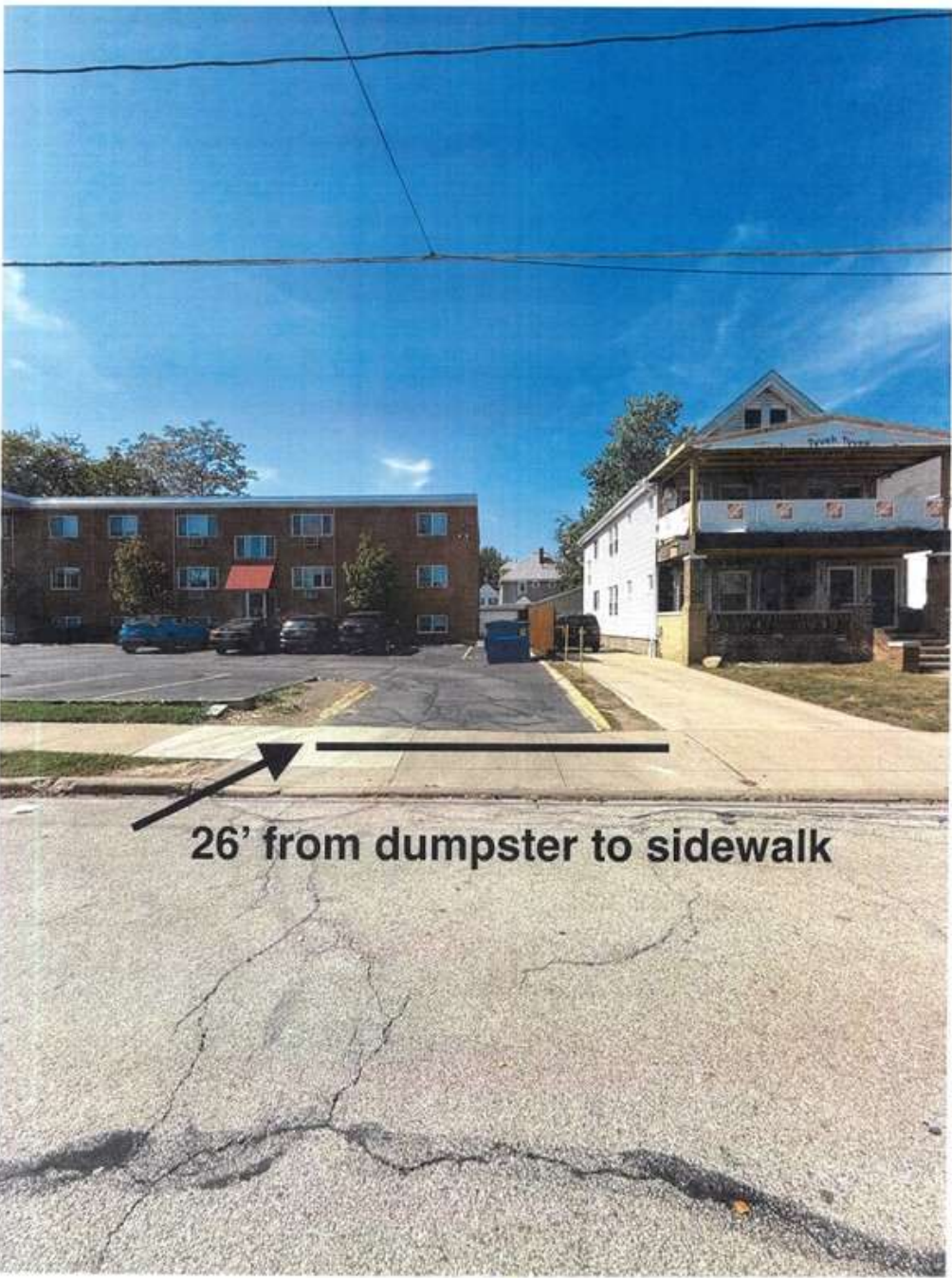
- Applicant revision meets code.



Docket No. 11-98-25 (18240 Detroit)
Chelsea Apartments – Dumpster Enclosure
Adrien Elliott



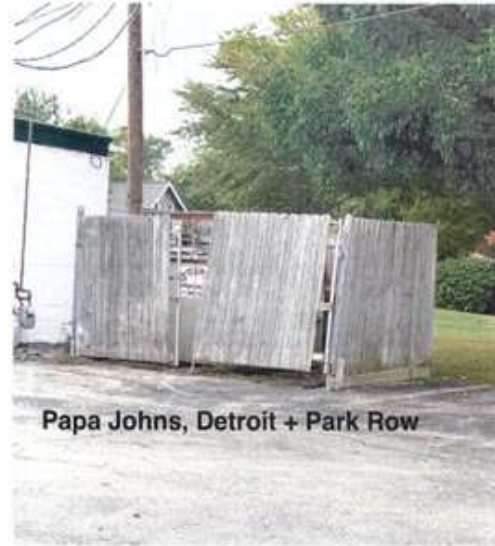
View from Detroit,
200' distance



26' from dumpster to sidewalk



Docket No. 11-98-25 (18240 Detroit)



Papa Johns, Detroit + Park Row



Cilantro, Detroit + Park Row



Mercury Lounge



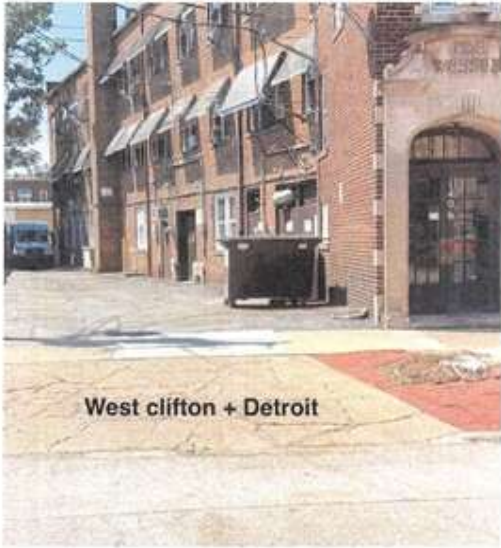
Hungry Howie, Detroit

Docket No. 11-98-25 (18240 Detroit)





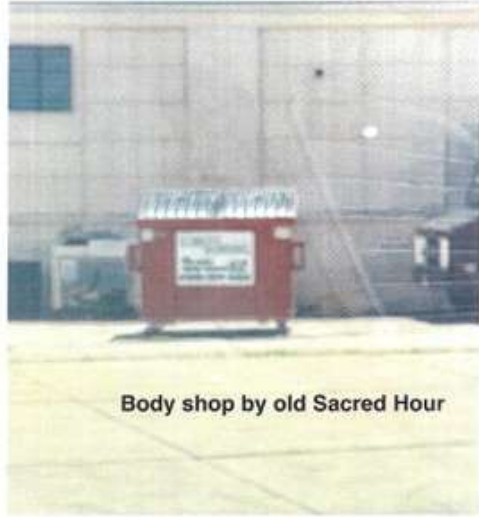
Detroit near West Clifton



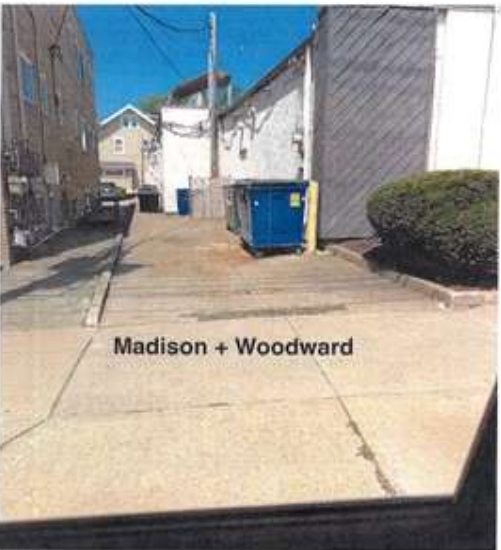
West clifton + Detroit



Take 5 on Detroit



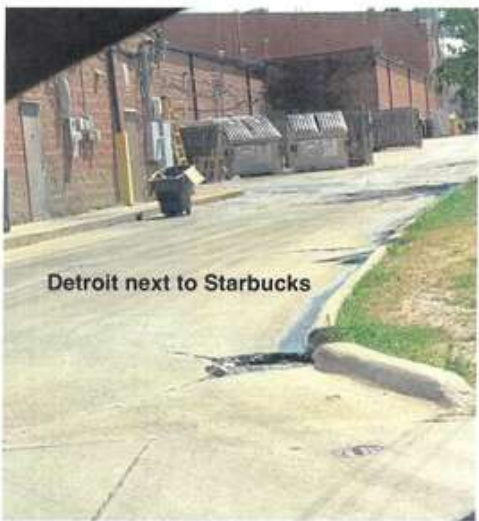
Body shop by old Sacred Hour



Madison + Woodward



Westlake + Detroit

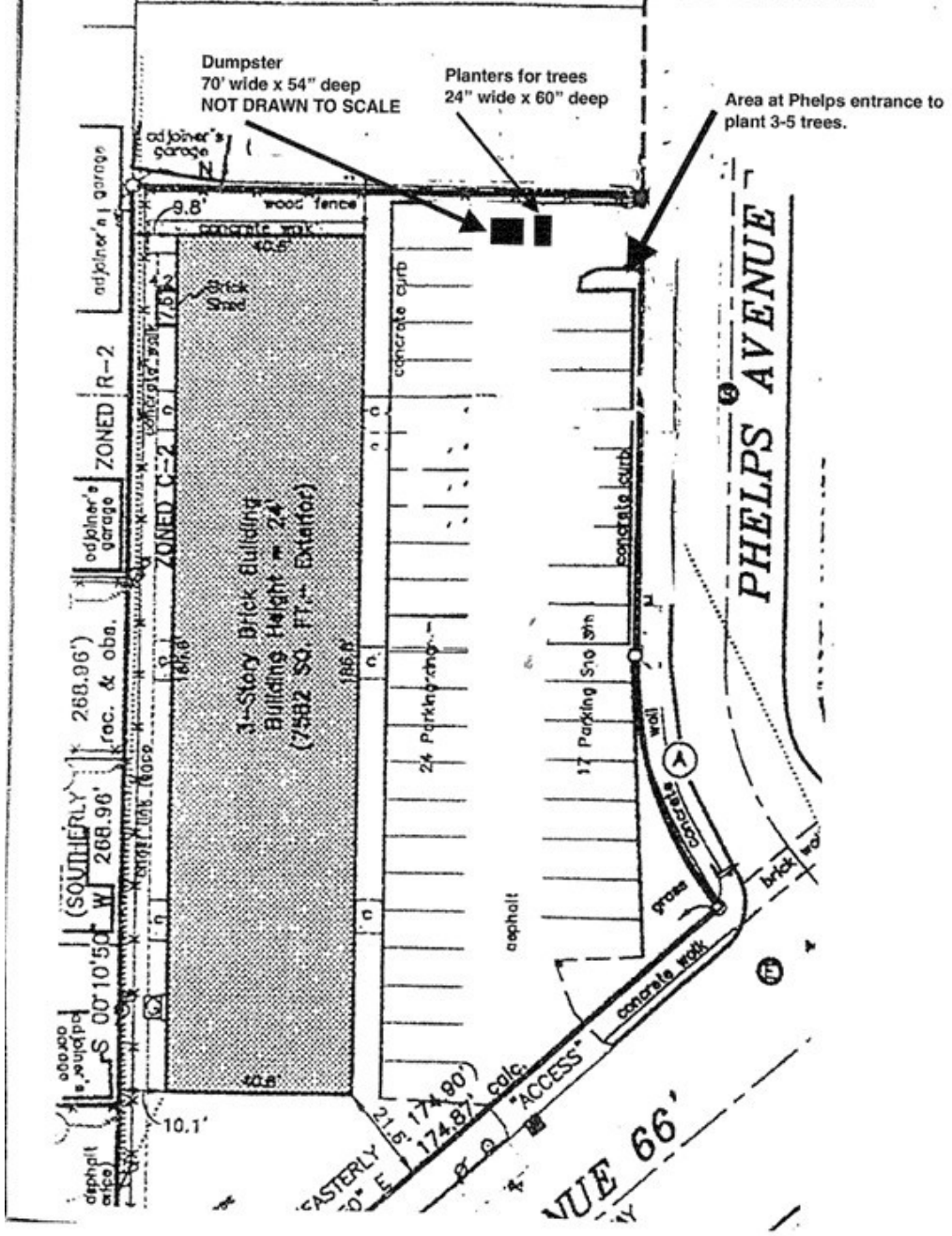


Detroit next to Starbucks



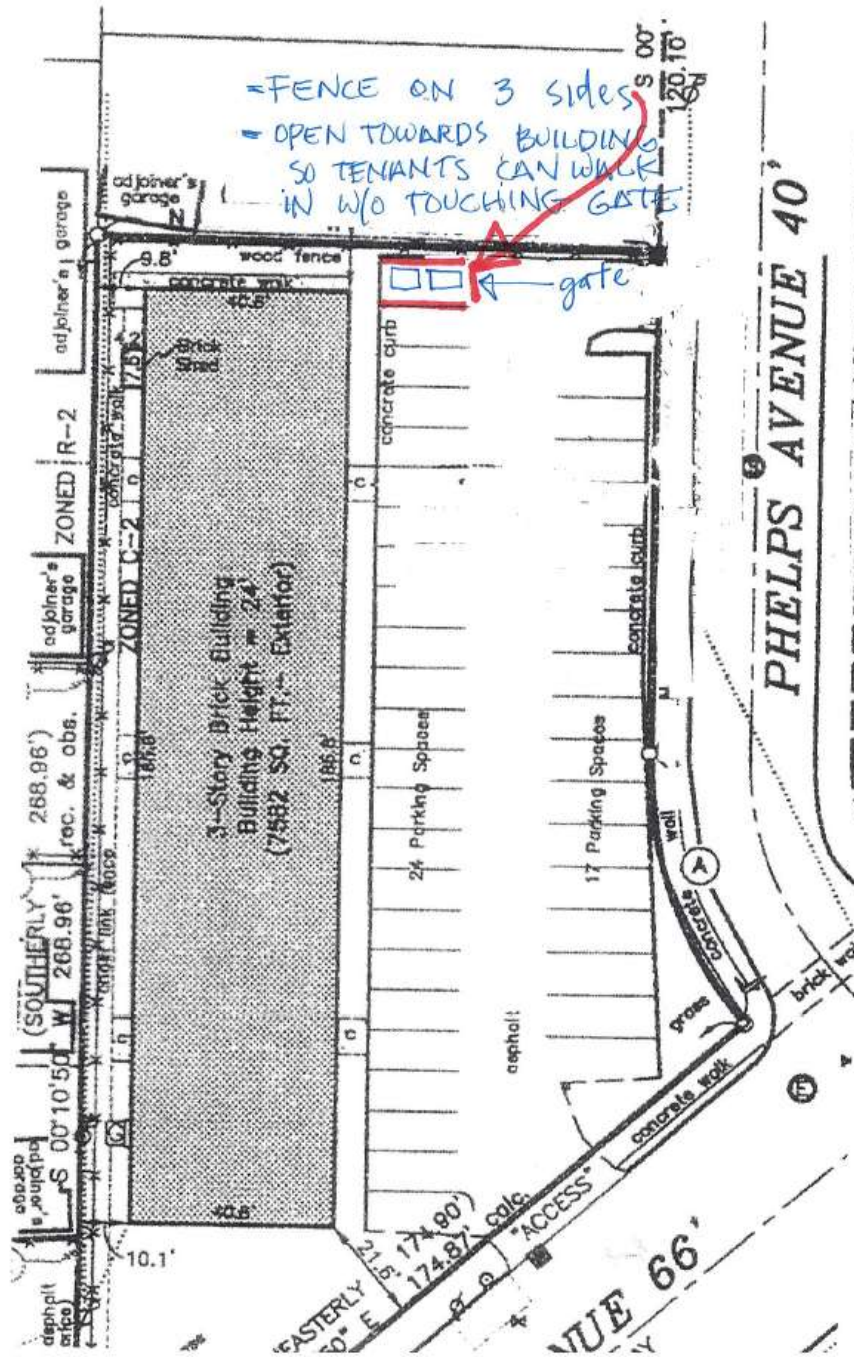
Docket No. 11-98-25 (18240 Detroit)

Chelsea Apartments 18240 Detroit



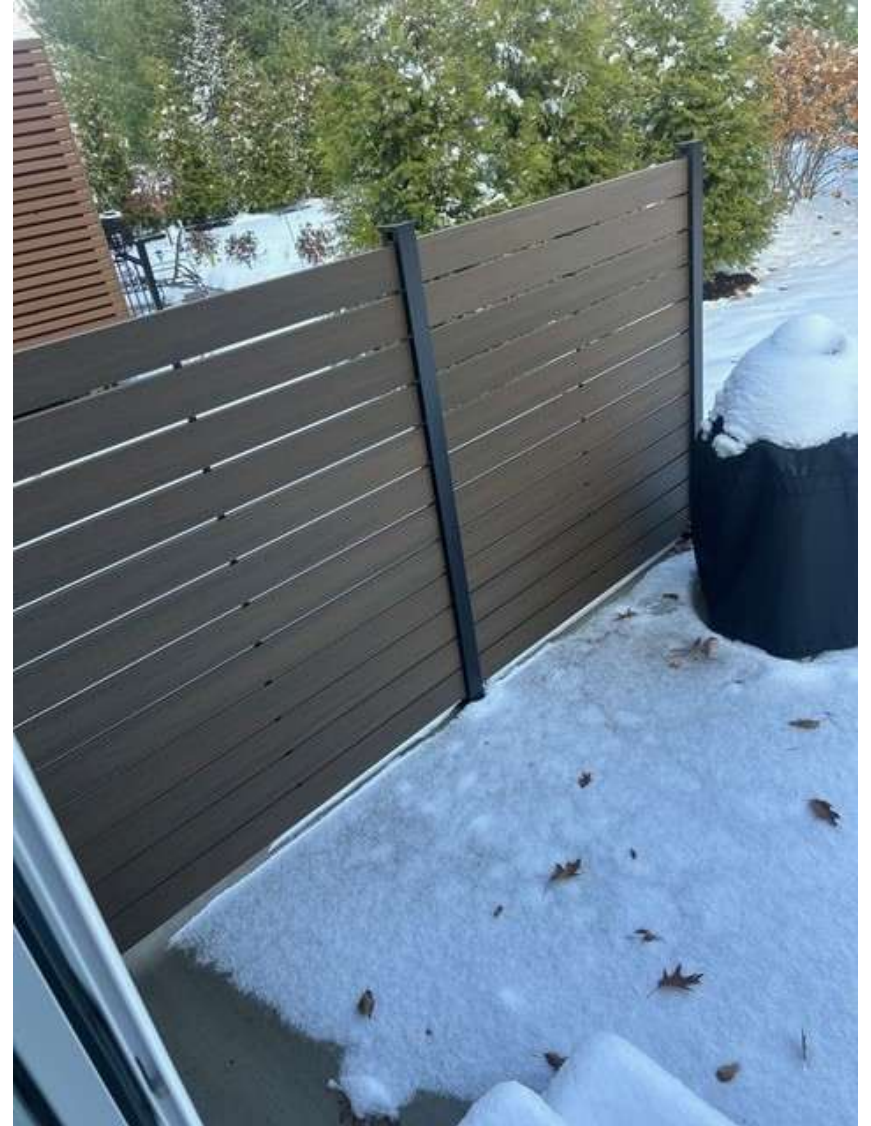
Docket No. 11-98-25 (18240 Detroit)

Revised



Docket No. 11-98-25 (18240 Detroit)





Docket No. 11-98-25 (18240 Detroit)

Relevant Code Information: 1783.07 LOCATION OF RECEPTACLES.

- (a) No person shall place or maintain any receptacle for garbage, ashes or rubbish so that it will be or constitute a nuisance.
- (b) Receptacles for garbage, ashes or rubbish maintained for public collection shall be so placed as to be readily accessible for collection.
- (c) In an ML, MH, C1, C2, C3 and I zoning district, no person shall store refuse or garbage lawfully retained on the premises pending disposition thereof unless same is stored out of view of the public right of way, within a permanent building or structure or is shielded in a manner approved by the Architectural Board of Review.
- (d) The Mayor or Director of Public Safety and the Building Commissioner are hereby charged with the enforcement of subsection (c) hereof.



Applicant proposes addition of hip roof to residence.

City Notes:

- Shingle will be an Atlas Pristine shingle in the color Black Shadow
- Ice guard will be provided 6 feet up on all eave edges
- Atlas synthetic underlayment

1375 Lakewood Ave



Docket No. 11-99-25 (1375 Lakewood)

Residence – Hip Roof Addition
Robert Potocar

GENERAL NOTES

- 1. All dimensions shall be in feet and inches.
- 2. All dimensions shall be taken to the centerline unless otherwise noted.
- 3. All dimensions shall be taken to the face of the wall unless otherwise noted.
- 4. All dimensions shall be taken to the centerline of the pipe unless otherwise noted.

BRICK/MASONRY PANEL NOTES

- 1. Brick masonry shall be laid in a running bond.
- 2. All brick masonry shall be laid on a bed of mortar.
- 3. All brick masonry shall be laid on a level surface.

GENERAL STEEL NOTES

- 1. All steel shall be A36 steel.
- 2. All steel shall be galvanized.
- 3. All steel shall be painted.

DOOR AND WINDOW NOTES

- 1. All doors and windows shall be installed in accordance with the manufacturer's instructions.
- 2. All doors and windows shall be installed on a level surface.

GENERAL FINISH NOTES

- 1. All interior walls shall be finished with 1/2" gypsum board.
- 2. All interior walls shall be finished with 1/2" drywall.
- 3. All interior walls shall be finished with 1/2" drywall.

PAINTING NOTES: REFER TO TABLE PAGE 510

- 1. All exterior walls shall be painted with a high quality exterior paint.
- 2. All exterior walls shall be painted with a high quality exterior paint.

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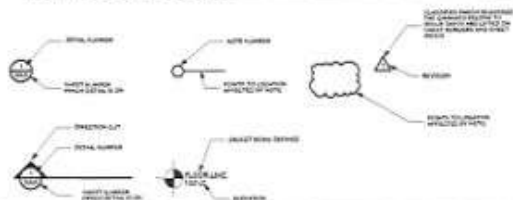
FRAMING NOTES

- 1. All framing shall be in accordance with the manufacturer's instructions.
- 2. All framing shall be in accordance with the manufacturer's instructions.

ABBREVIATION NOTES

- 1. All abbreviations shall be in accordance with the manufacturer's instructions.
- 2. All abbreviations shall be in accordance with the manufacturer's instructions.

SYMBOLS LEGEND



EXTERIOR FINISH NOTES

- 1. All exterior finishes shall be in accordance with the manufacturer's instructions.
- 2. All exterior finishes shall be in accordance with the manufacturer's instructions.

CONCRETE FOUNDATION NOTES

- 1. All concrete foundations shall be in accordance with the manufacturer's instructions.
- 2. All concrete foundations shall be in accordance with the manufacturer's instructions.

STRUCT. WOOD CONSTRUCTION

- 1. All structural wood construction shall be in accordance with the manufacturer's instructions.
- 2. All structural wood construction shall be in accordance with the manufacturer's instructions.

- 1. All structural wood construction shall be in accordance with the manufacturer's instructions.
- 2. All structural wood construction shall be in accordance with the manufacturer's instructions.

GENERAL PROJECT DATA

- 1. Project Name: [REDACTED]
- 2. Project Address: [REDACTED]
- 3. Project Owner: [REDACTED]
- 4. Project Designer: [REDACTED]
- 5. Project Date: [REDACTED]

- 1. Project Name: [REDACTED]
- 2. Project Address: [REDACTED]
- 3. Project Owner: [REDACTED]
- 4. Project Designer: [REDACTED]
- 5. Project Date: [REDACTED]

- 1. Project Name: [REDACTED]
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- 3. Project Owner: [REDACTED]
- 4. Project Designer: [REDACTED]
- 5. Project Date: [REDACTED]

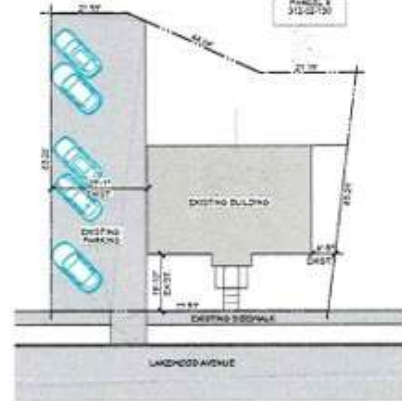
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- 4. Project Designer: [REDACTED]
- 5. Project Date: [REDACTED]

- 1. Project Name: [REDACTED]
- 2. Project Address: [REDACTED]
- 3. Project Owner: [REDACTED]
- 4. Project Designer: [REDACTED]
- 5. Project Date: [REDACTED]

- 1. Project Name: [REDACTED]
- 2. Project Address: [REDACTED]
- 3. Project Owner: [REDACTED]
- 4. Project Designer: [REDACTED]
- 5. Project Date: [REDACTED]

CB25-000116
RECEIVED
 OCT 06 2025
 By CCUNTER KEM

LOT 5 SHOWING A BUILDING LOCATION FOR REFORMATION AND FIELD DETERMINATION
 SHEET 5
 312-02-70



SITE PLAN
 SCALE 1" = 80'

BRANDS INDEX

A-1	CONCRETE
A-2	DRIVEWAY
A-3	EXTERIOR WALL
A-4	EXTERIOR WINDOW
A-5	EXTERIOR DOOR
A-6	EXTERIOR FINISH
A-7	EXTERIOR PAINT

PROJECT SQUARE FOOTAGES

TOTAL LOT AREA	1.00 AC.
TOTAL BUILDING AREA	1,000 SF
TOTAL DRIVEWAY AREA	1,000 SF
TOTAL TOTAL AREA	2,000 SF

EXISTING UTILITIES

1	EXISTING UTILITIES
2	EXISTING UTILITIES
3	EXISTING UTILITIES
4	EXISTING UTILITIES
5	EXISTING UTILITIES

PLANS & DETAILS THIS PAGE.
 GENERAL CONTRACTOR NOTES
 SITE PLAN

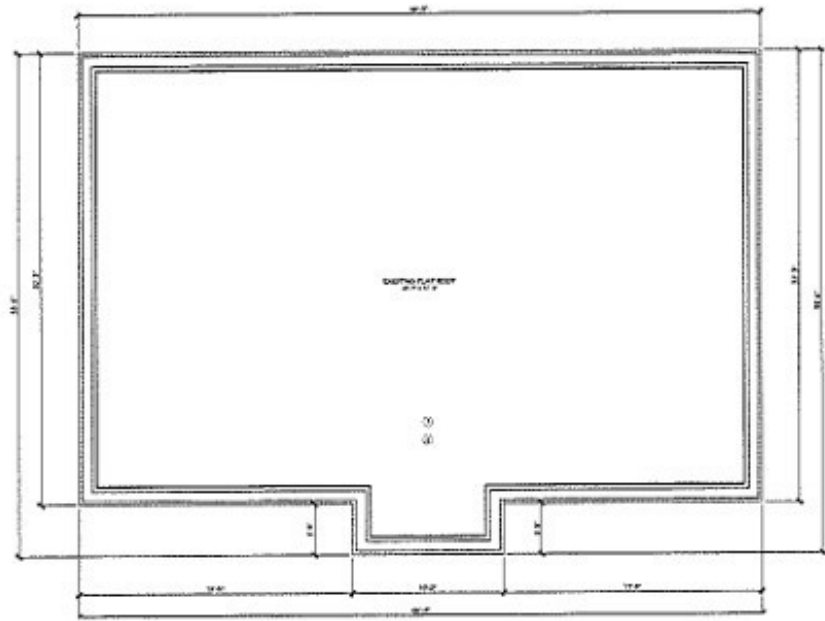
REVISED FOR
 1375 LAKEWOOD AVENUE,
 LAKEWOOD, OH

1375 LAKEWOOD AVENUE
 LAKEWOOD, OH 44122
 (216) 222-2222
 gvr@gvr.com

DATE:	10/1/2025
SCALE:	
SHEET:	A-1



Docket No. 11-99-25 (1375 Lakewood)



NOTES	
1.	EXISTING FLAT ROOF
2.	EXISTING FLAT ROOF DEMO

EXISTING FLAT ROOF DEMO PLAN
SCALE 1/4" = 1'-0"

PLANS & DETAILS THIS PAGE
FLAT ROOF DEMO PLAN

REMODEL FOR
1375 LAKEWOOD AVENUE,
LAKEWOOD, OH

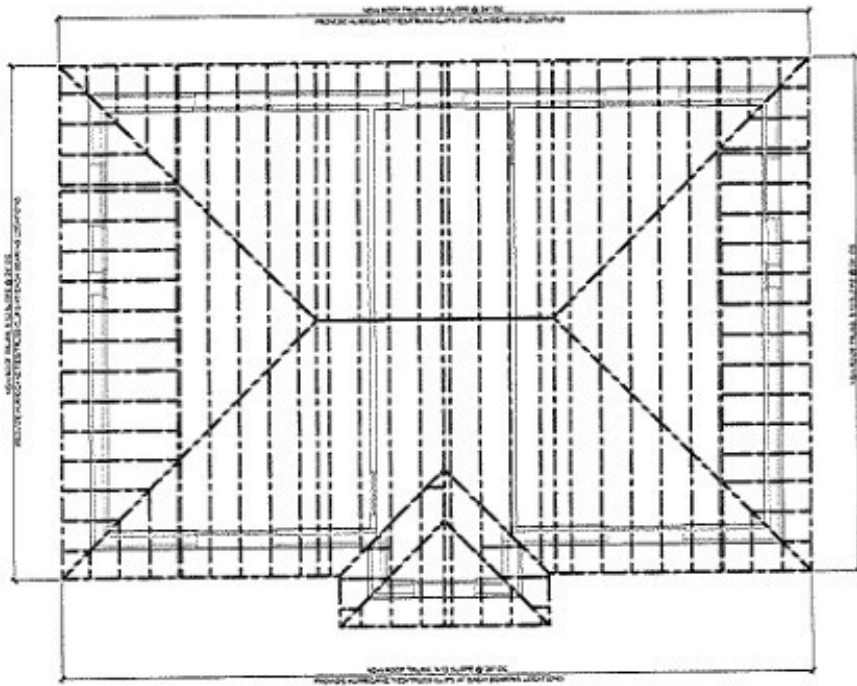
GV GROUP LLC
12451 ROCKDALE BL #
100 CLEVELAND
24471115 CLEVELAND, OH
216.275.3803 gvcad@gvgroup.com

NO.	REVISION	DATE

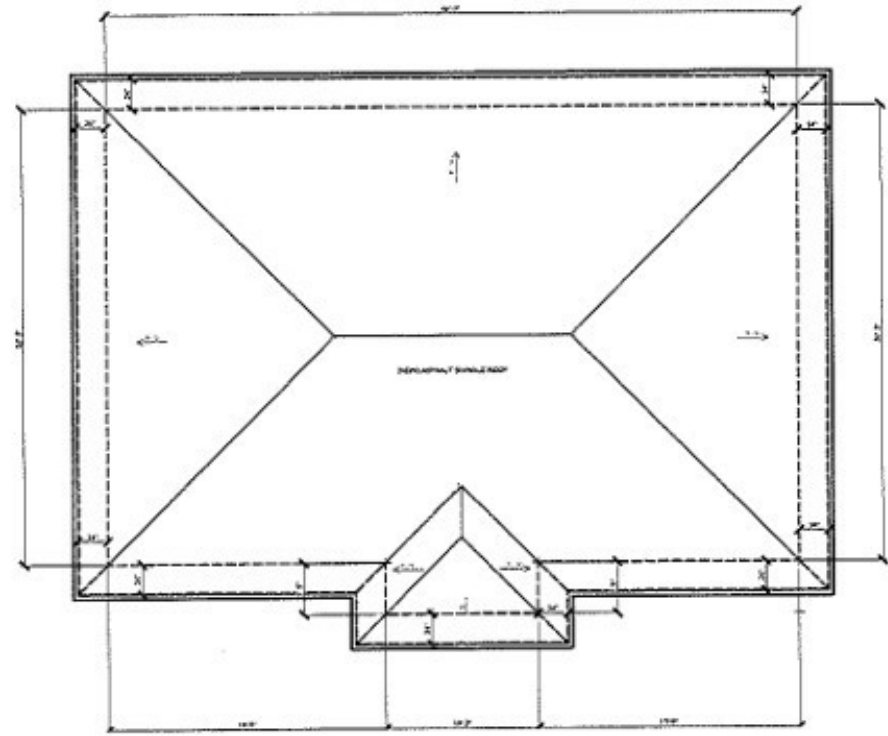
DATE:
10/10/2025
SCALE:
SHEET:
A-2



Docket No. 11-99-25 (1375 Lakewood)



SCHEMATIC ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED PITCHED ROOF PLAN
SCALE: 1/4" = 1'-0"

PLANS & DETAILS THIS PAGE
MAY BE USED FOR ANY
PROPOSED ROOF PLAN

REVISION FOR
1375 LAKEWOOD AVENUE,
LAKEWOOD, OH

GV
GUYTON VINTAGE
13201 BALDWIN RD #
202 CLEVELAND, OH 44128
313.233.3663 gvinco@earthlink.net

DATE:

10/1/2023

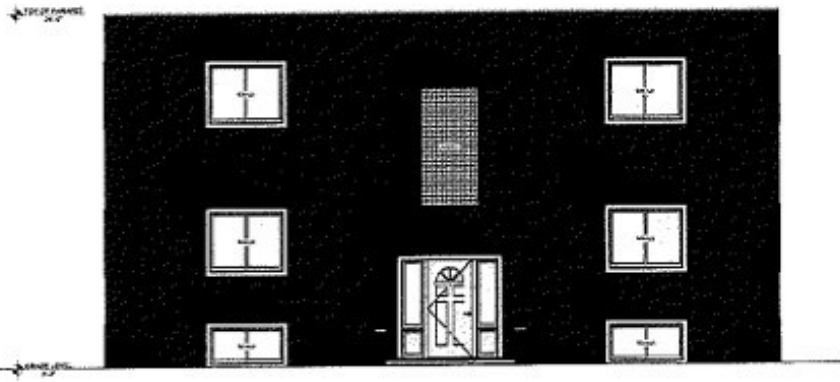
SCALE:

SHEET:

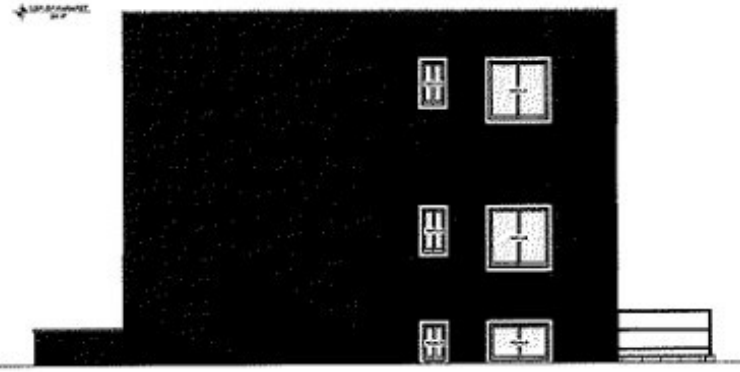
A-4



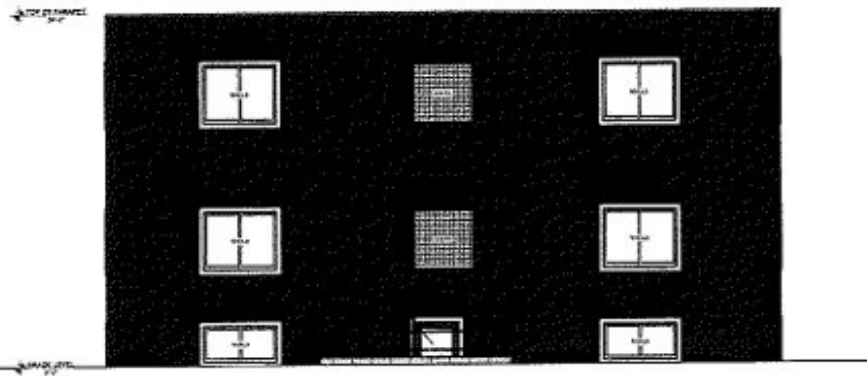
Docket No. 11-99-25 (1375 Lakewood)



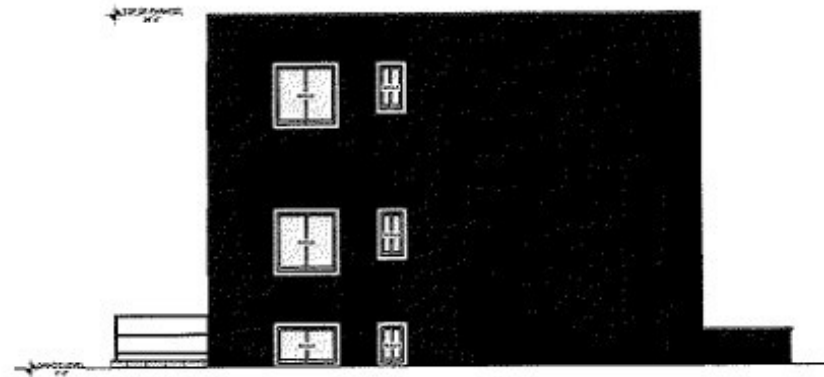
FRONT/WEST ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT/NORTH ELEVATION
SCALE: 1/4" = 1'-0"



BACK/EAST ELEVATION
SCALE: 1/4" = 1'-0"



LEFT/SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PLANS & DETAILS THIS PAGE:
EXISTING ELEVATIONS

RECORD FOR
1375 LAKEWOOD AVENUE,
LAKEWOOD, OH

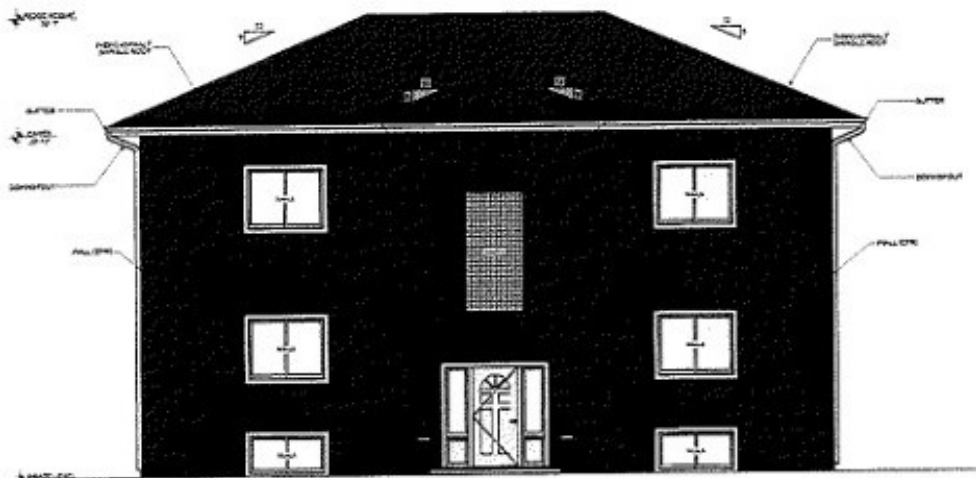
GV CONSULTING
12401 Rockside Rd #
1000, Cleveland, OH 44130
216.220.3443 gville@gvconsulting.com

DATE:	10/1/2025
SCALE:	
SHEET:	A-3

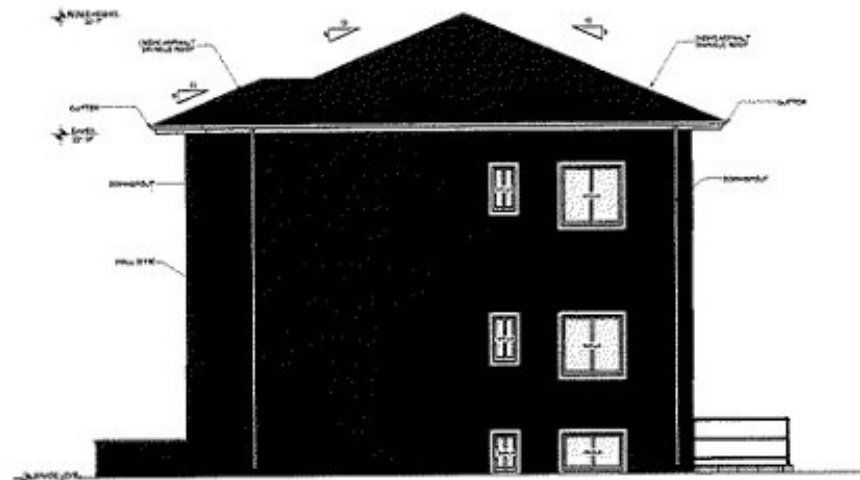
DATE:
10/1/2025
SCALE:
SHEET:
A-3



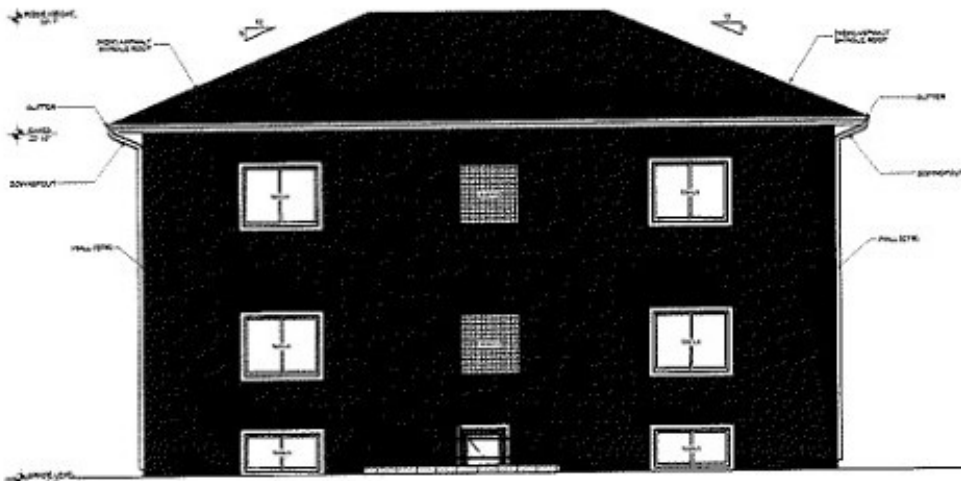
Docket No. 11-99-25 (1375 Lakewood)



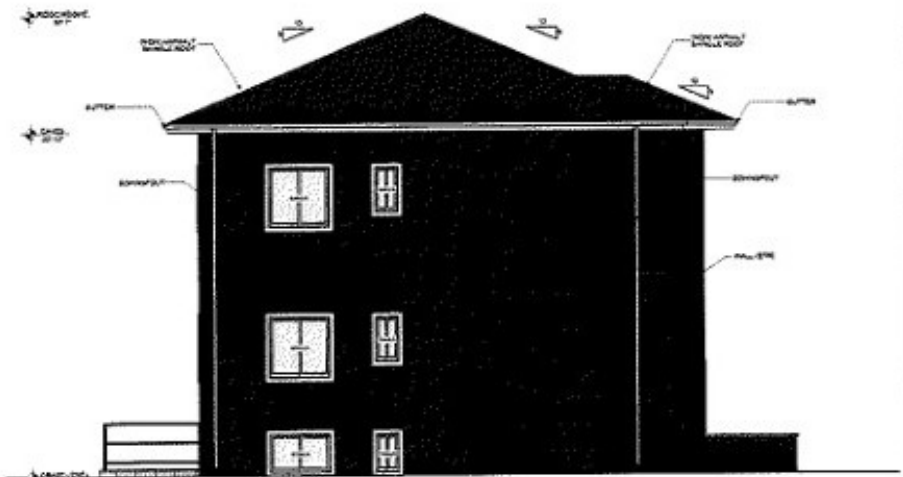
PROPOSED FRONT/WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT/NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED BACK/EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED LEFT/SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PLANS & DETAILS THIS PAGE.
PROPOSED ELEVATIONS

NEEDED FOR
1375 LAKEWOOD AVENUE,
LAKEWOOD, OH

GV
13801 Rockside Rd. #
1000, Cleveland, OH
44130-2603
www.gvgroup.com

DATE:
10/12/2025
SCALE:
SHEET:
A-5



Docket No. 11-99-25 (1375 Lakewood)



EXISTING CONDITION PHOTOS
SCALE: NOT TO SCALE



PROPOSED RENDERED PHOTOS
SCALE: NOT TO SCALE

PLANS & DETAILS THIS PAGE.
EXISTING CONDITION
RENDERED PHOTOS

PROPOSED FOR
1375 LAKEWOOD AVENUE,
LAKEWOOD, OH

GM GROUP, INC. 13851 Kelleys Rd. #
1000, Columbus, OH 43240
2015.270.2410 gmginc@patriotgroup.com

DATE:

10/1/2025

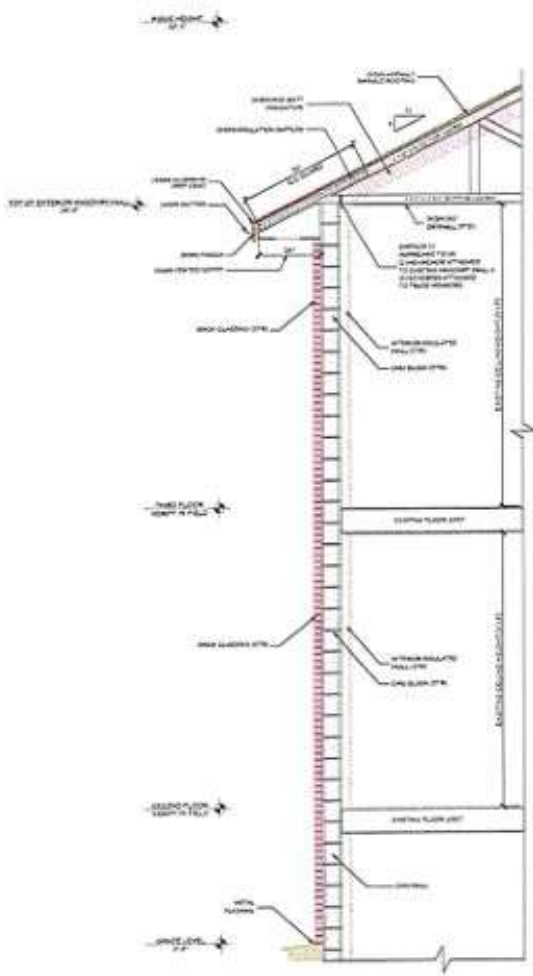
SCALE:

SHEET:

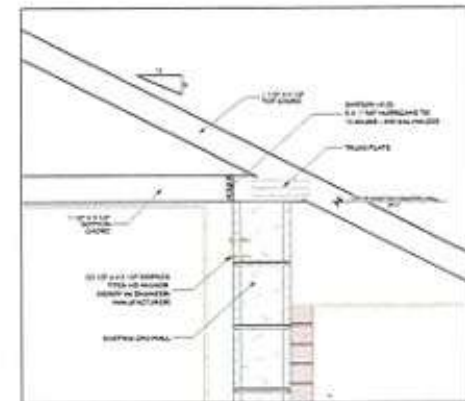
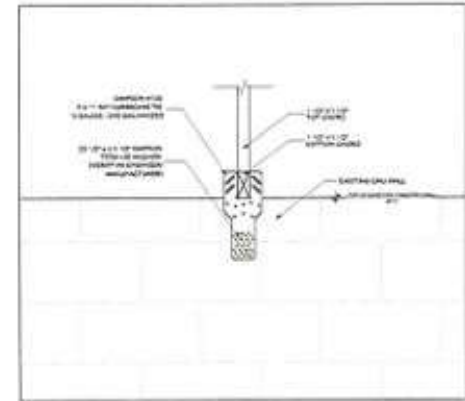
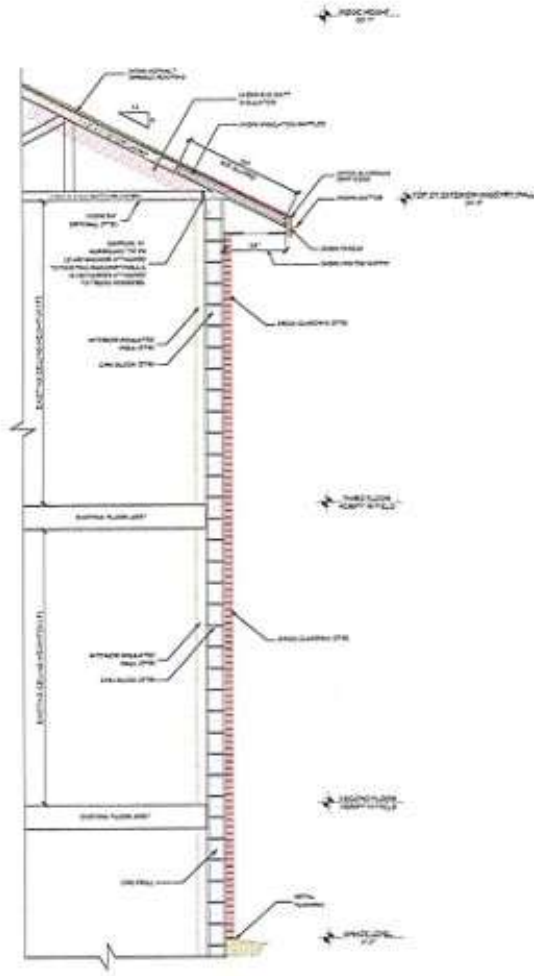
A-7



Docket No. 11-99-25 (1375 Lakewood)



WALL SECTION
SCALE: 1/2" = 1'-0"



ALLWORK TO BE DONE BY THE CONTRACTOR. SEE SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION. SEE SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION. SEE SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.

TRUSS TIE DETAIL
SCALE: 1/2" = 1'-0"

PLANS & DETAILS THIS PAGE.
FINAL SECTION
FROM SO MASONRY WALL RE DETAIL.

REVISION FOR
1975 LAKEWOOD AVENUE,
LAKEWOOD, OH

GENERAL CONTRACTOR
13051 Rockside Rd. # 4
Cleveland, OH 44130
2911, Cleveland, OH
29120 3448 44130
29120 3448 44130

NO.	DATE	DESCRIPTION

DATE: 10/1/02
SCALE: 1/2" = 1'-0"
SHEET: A-6



Docket No. 11-99-25 (1375 Lakewood)

Relevant Residential Design Standards: Roof Design

- A roof's form, style, and material must be compatible with the chosen architectural style. For existing structures, the roof's form, style and material shall be harmonious and consistent with the neighborhood context.
- Roofline variations may be used to demarcate primary building entrances, to break up larger massed front facades, and provide visual variety to the front façade of the home.
- When appropriate to the roof design and surrounding context, overhangs must be present.



Docket No. 11-99-25 (1375 Lakewood)



Newton Falls Component Plant
3747 State Rd 5
Newton Falls, OH 44444
Phone #:330-872-6474



Builder: Carter - Middlefield

Model: Template

THE PLACEMENT PLAN NOTES:

1. The Placement Plan is a diagram for truss installation. It is not an engineered drawing and has not been reviewed by an engineer. The Owner/Building Designer is responsible for obtaining an engineer's review if one is required by the local jurisdiction.
2. The responsibilities of the Owner, Contractor, Building Designer, Component Designer and Component Manufacturer shall be as set forth in ANSI/TPI 1. Capitalized terms shall be as defined in ANSI/TP 1 unless otherwise indicated.
3. Each Component is designed as an individual component utilizing information provided by others. The Owner/Building Designer is responsible for reviewing all Component Submittal Packages and individual Component Design Drawings for compliance with the Construction Documents and compatibility with the overall Building design.
4. Contractor will not proceed with component installation until the Owner/Building Designer has reviewed the Component Submittal Package. Questions on the suitability of any Component will be resolved by the Building Designer.
5. The Building Designer and Contractor are responsible for all temporary and permanent bracing.
6. The Placement Plan assumes the building is dimensionally correct, structurally sound, and in a suitable condition to support each Component during installation and thereafter, including but not limited to installation of all bearing points. Proper design and construction of all structural components, including foundations, headers, beams, walls and columns are the responsibility of the Owner, Building Designer and Contractor.
7. Do not cut, drill, or modify any Component without first consulting the Component Manufacturer or Building Designer. Damaged Components shall not be installed unless directed by the Building Designer or approved by the Component Manufacturer.
8. Components must be handled and installed following all applicable safety standards and best practices, including but not limited to BCSI, OSHA, TPI and local codes. Failure to properly handle, brace or otherwise install Component can result in serious injury or death.



Docket No. 11-99-25 (1375 Lakewood)

Applicant proposes changes to building façade with addition of awnings.

City Notes:



17415 Northwood Ave



Docket No. 11-100-25 (17415 Northwood)

St. James Corporate Building – Awnings
Sean Nugent



CANOPY 140" WIDE
48" PROTECTION



Docket No. 11-100-25 (17415 Northwood)



Docket No. 11-100-25 (17415 Northwood)

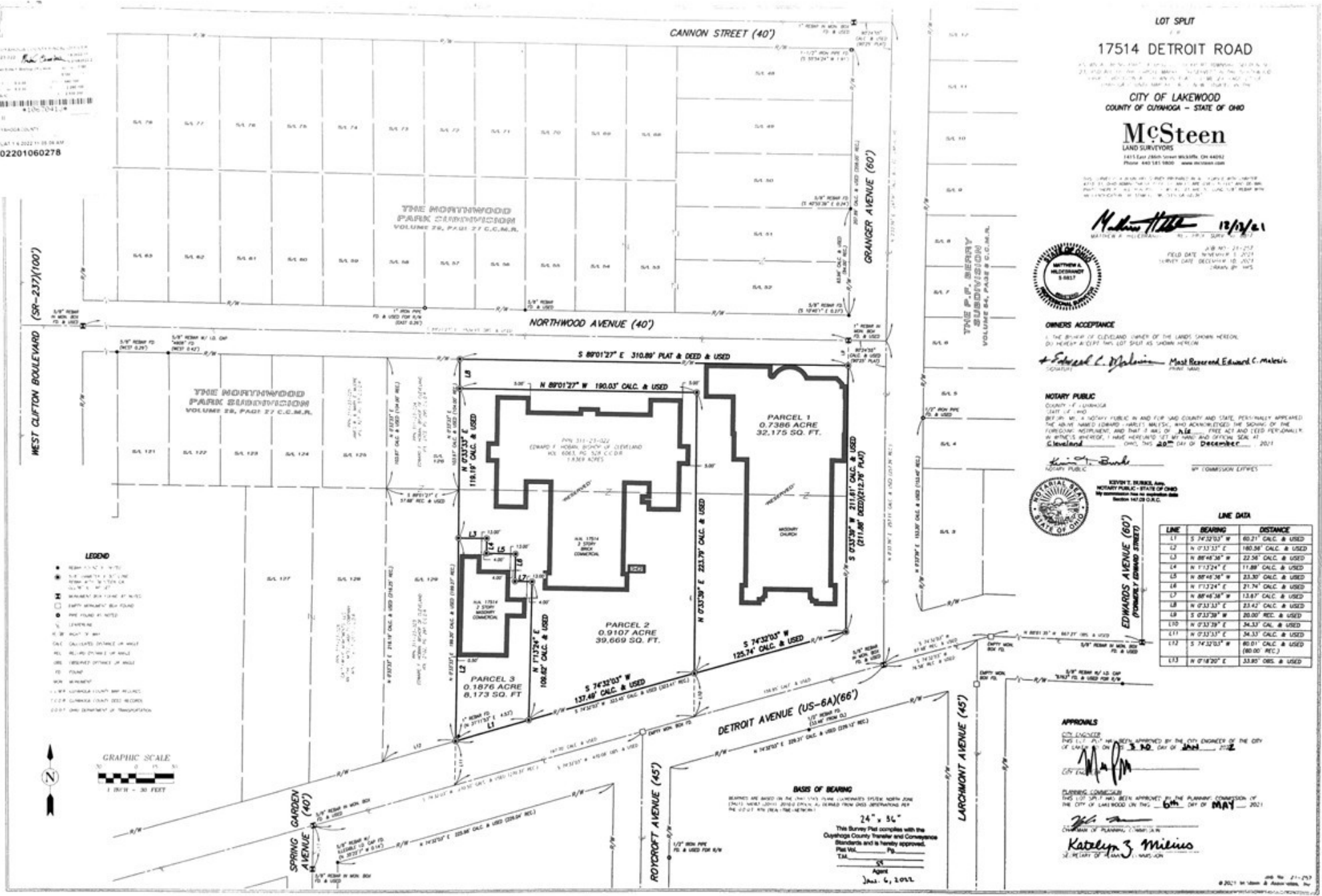


Docket No. 11-100-25 (17415 Northwood)



Docket No. 11-100-25 (17415 Northwood)

202201060278



LOT SPLIT
17514 DETROIT ROAD
CITY OF LAKEWOOD
COUNTY OF CUYAHOGA - STATE OF OHIO

McSteen
LAND SURVEYORS
2411 East 24th Street WILSON, OH 44092
Phone: 440.343.9000 www.mcsteen.com

Matthew Hill 12/15/21
MATTHEW A. HILL, SURV. # 6287



OWNERS ACCEPTANCE
I, the owner of CLEVELAND PARCELS OF THE LANDS SHOWN HEREON DO HEREBY ACCEPT THIS LOT SPLIT AS SHOWN HEREON.
Edward C. Maloney Most Reverend Edward C. Maloney
PASTOR

NOTARY PUBLIC
COUNTY OF CUYAHOGA
STATE OF OHIO
I, the Notary Public in and for said County and State, personally appeared the above named EDWARD MALONEY, who acknowledged the signing of the foregoing INSTRUMENT AND THAT I BELIEVE HIM TO BE THE PERSONAL SIGNER THEREOF. I HAVE HERETOFORE LET MY SEAL AND OFFICIAL SEAL AT CLEVELAND, OHIO, THIS 20th DAY OF DECEMBER, 2021.



KEYNOT BUNK
NOTARY PUBLIC - STATE OF OHIO
My commission expires on September 28, 2024.
Section 1402.02 O.R.C.

LINE DATA

LINE	BEARING	DISTANCE
L1	S 74°52'03" W	60.21' CALC. & USED
L2	N 07°32'37" E	180.58' CALC. & USED
L3	N 88°48'36" E	22.58' CALC. & USED
L4	N 17°32'24" E	11.89' CALC. & USED
L5	N 88°48'36" E	23.30' CALC. & USED
L6	N 17°32'24" E	21.74' CALC. & USED
L7	N 88°48'36" E	13.87' CALC. & USED
L8	N 07°32'37" E	23.42' CALC. & USED
L9	S 07°32'39" W	20.00' REC. & USED
L10	N 07°32'39" E	34.33' CALC. & USED
L11	N 07°32'37" E	34.33' CALC. & USED
L12	S 74°52'03" W	60.01' CALC. & USED (60.00' REC.)
L13	N 07°18'20" E	33.80' OBS. & USED

APPROVALS
I, the undersigned, have been approved by the CITY ENGINEER OF THE CITY OF LAKEWOOD ON THIS 3rd DAY OF JANUARY, 2022.
CITY ENGINEER
[Signature]
PLANNING COMMISSION
THIS LOT SPLIT HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE CITY OF LAKEWOOD ON THIS 6th DAY OF MAY, 2021.
CHAIRMAN OF PLANNING COMMISSION
Katelyn J. Milnes
CITY OF LAKEWOOD, OHIO



Docket No. 11-100-25 (17415 Northwood)



PLAT DATA SHEET

Plat Title: Lot Split for
17514 Detroit Road (Edward Hoban, Edward Malesic now the Bishop of Cleveland)

Plat Type: Lot Split

Municipality: Lakewood

Township: Original Rockport Township Section No. 23

Parent Parcel Numbers: 311-23-022, _____, _____, _____,
_____, _____, _____, _____, _____,
_____, _____, _____, _____, _____,

Number of New parcels created: 3

Number of deeds filed with plat: 0

Plat Size: 24" x 36"

Date Filed: 1/6/2021

Recorder's Fee: _____

CUYAHOGA COUNTY FISCAL OFFICER
311-23-022 *Paul Chamberlain* 1/6/2022 11
N-01062022-2
Hoban Edw F Bishop Of Cleve Tax Dist. 3180
Plat LUC: 5100 EX:
Sale Amt: \$ 0.00 LAND: 640,100
Conv. Fee: \$ 0.00 BLDG: 2,290,100
PUBLIC TOTAL: 2,930,200



New Parcels
New Parcel Numbers are subject to change

Parcel Name/Sublot:	Proposed Permanent Parcel Number:
<u>PARCEL 1 (Hoban)</u>	<u>311-23-106</u>
<u>PARCEL 2 (Hoban)</u>	<u>311-23-107</u>
<u>PARCEL 3 (Hoban)</u>	<u>311-23-108</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____



Northwood Avenue

Granger Avenue

Detroit Avenue

Proposed Entry Canopy

Proposed West Balcony

Proposed East Balcony

EXTERIOR ELEVATION
1/8" = 1'-0"



Project:
**ST. JAMES
CORPORATE CAMPUS
EXTERIOR IMPROVEMENTS**
12514 Detroit Avenue
Lakewood, Ohio 44107

Structural Engineer
Corvus Engineering
3545 Wilsonville Road, Suite 104
Highland Heights, Ohio 44133
T 440.488.2730
www.corvuseng.com

Scale:

PROGRESS SET

onward
design collaborative

18119 Detroit Avenue
Lakewood, Ohio 44107
P 914.492.2448
www.onwarddesigncollaborative.com

Project No. 20-07
Drawn / Checked: JL

Scale:

EXTERIOR BALCONY DESIGN

A1

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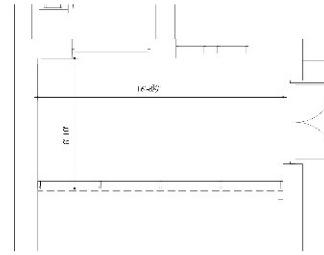
Docket No. 11-100-25 (17415 Northwood)



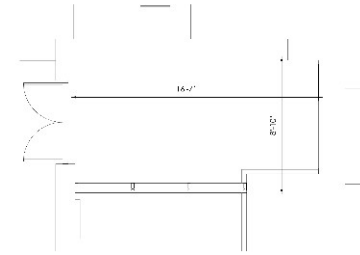
1
A2
EXISTING
EXTERIOR ELEVATION
1/8" = 1'-0"



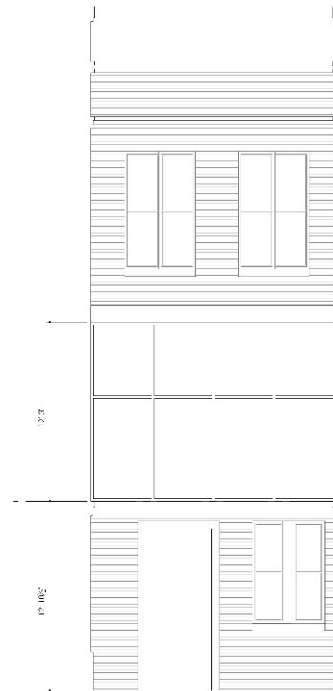
2
A2
PROPOSED
EXTERIOR ELEVATION
1/8" = 1'-0"



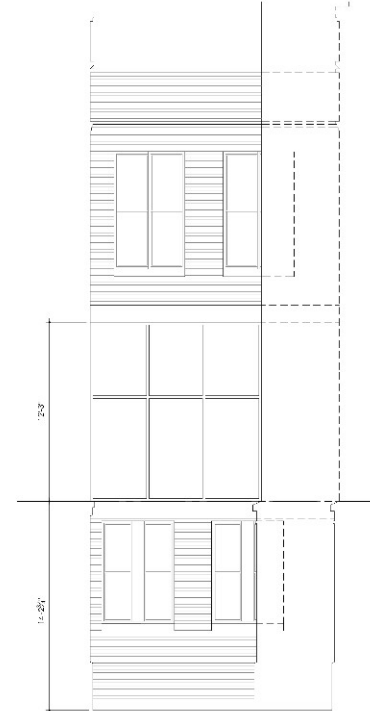
3
A2
WEST
BALCONY PLAN
1/4" = 1'-0"



5
A2
EAST
BALCONY PLAN
1/4" = 1'-0"



4
A2
WEST BALCONY
EXTERIOR ELEVATION
1/4" = 1'-0"



6
A2
EAST BALCONY
EXTERIOR ELEVATION
1/4" = 1'-0"

Project:
**ST. JAMES
CORPORATE CAMPUS
EXTERIOR IMPROVEMENTS**
17415 Northwood Avenue
Lancaster, Ohio 44130

STRUCTURE ENGINEER
CARLOS BRONKHORST
CARLOS BRONKHORST ARCHITECTS, INC.
16500 Hilltop Dr., Suite 104
Lancaster, OH 44130
P: 614.488.2750
WWW.CBRONKHORST.COM

Seal
PROGRESS SET

onward
design collaborative

100 W. Central Avenue, Suite 200
Lancaster, OH 44130
P: 614.479.3666
WWW.ONWARDDESIGNCOLLABORATIVE.COM

Project No. 2027
Drawing No. 03

Date:

EXISTING BALCONY DESIGN

A2

City of Lancaster, Ohio 44130



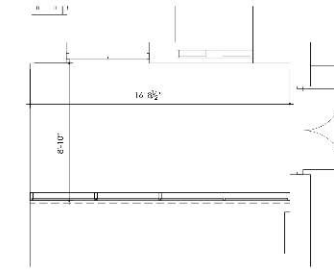
Docket No. 11-100-25 (17415 Northwood)



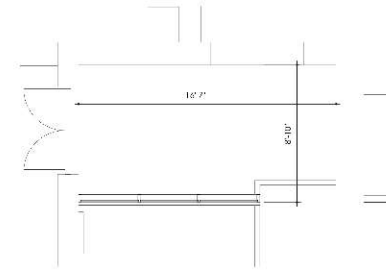
1
A2
EXISTING
EXTERIOR ELEVATION
1/8" = 1'-0"



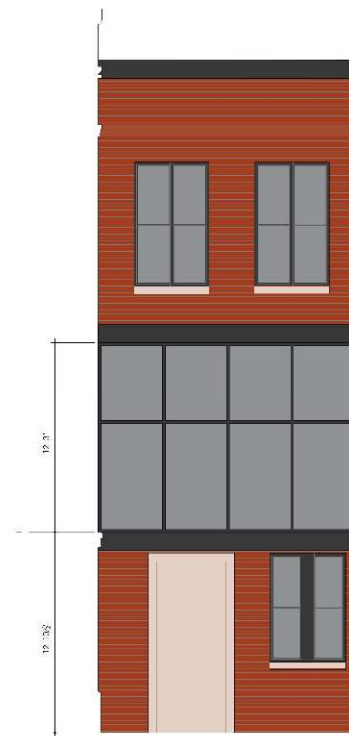
2
A2
PROPOSED
EXTERIOR ELEVATION
1/8" = 1'-0"



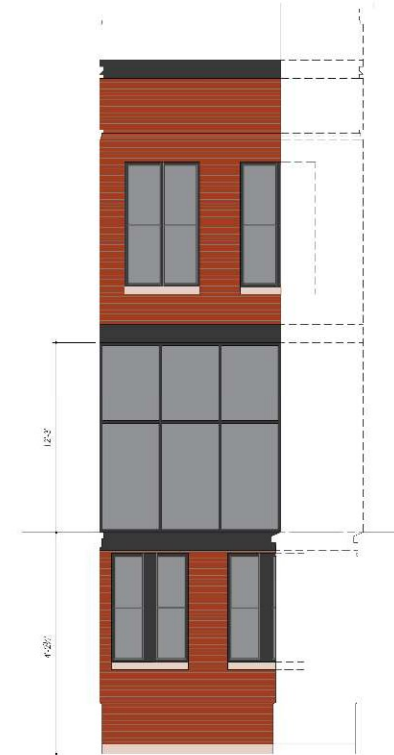
3
A2
WEST
BALCONY PLAN
1/4" = 1'-0"



5
A2
EAST
BALCONY PLAN
1/4" = 1'-0"



4
A2
WEST BALCONY
EXTERIOR ELEVATION
1/4" = 1'-0"



6
A2
EAST BALCONY
EXTERIOR ELEVATION
1/4" = 1'-0"

Project:
**ST. JAMES
CORPORATE CAMPUS
EXTERIOR IMPROVEMENTS**
17314 Detroit Avenue
Lakewood, Ohio 44107

Mechanical Engineer
Onward Engineering
3642 W. 101st N.W. Road, Suite 106
Lakewood, Ohio 44107
P: 440.933.8662
F: 440.933.2790
www.onwardeng.com

Scale:

PROGRESS SET

onward
design collaborative

18119 Detroit Avenue
Lakewood, Ohio 44107
P: 440.933.8662
www.onwardeng.com

Project No: 15-27
Drawn / Checked: JS

Date:

EXTERIOR BALCONY DESIGN

A2

Onward@zzz.onwarddesigncollaborative



Docket No. 11-100-25 (17415 Northwood)



EXISTING EXTERIOR ELEVATION
A1 1/8" = 1'-0"



PROPOSED ENTRY CANOPY EXTERIOR ELEVATION
A2 1/8" = 1'-0"

FINISH: KYNAR 2_CUSTOM COLOR

PITCH REQUIREMENTS	
1:96	
PROJECTION DIM "A"	PITCH DIM "B"
60"	5/8"

NOTES:

1. LOUVERS SHOWN ARE DESIGNED TO MEET 30 LBS./SQ. FT. WIND LOADING (APPROXIMATELY 100 MPH).
2. LOUVER PANELS SHIP LOOSE.
3. OUTRIGGERS ARE FINISHED TO MATCH LOUVERS & SHIP LOOSE.
4. ALL TUBE "T" TRIM PIECES ARE FINISHED TO MATCH LOUVERS & SHIP LOOSE.
5. MOUNTING BRACKETS ARE FINISHED TO MATCH LOUVERS & SHIP LOOSE.

LEGEND

C.W.	ORDER WIDTH	C.W.	ORDER WIDTH
E.L.W.	EXACT LOUVER WIDTH	H.C.V.	SPICES
O.H.	ORDER HEIGHT	S.H.	DETAILS
M.B.C.	MOUNTING BRACKET CENTER	SP	SP

SECTION A-A SCALE 1:10

ARCHITECTURAL LOUVERS SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL SITE CONDITIONS. P-NOT NOTED ON THESE DRAWINGS PRIOR TO BIDD.

DESIGN REVIEW AND APPROVAL:

ISSUED FOR FABRICATION SHALL NOT CONSTITUTE A DESIGN. THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED DESIGN PROFESSIONAL AND RETURNED TO ARCHITECTURAL LOUVERS.

APPROVED AS NOTED
 APPROVED AS NOTED
 REVISIONS AND RESUBMIT
 REJECT - RESUBMIT

BY: _____ DATE: _____

FIELD IDENTIFICATION OF QTY, SIZE, AND CONDITIONS:

SUBMITTAL REQUEST ARCHITECTURAL LOUVERS BEST INTERPRETATION OF THE CONTRACT DOCUMENTS PROVIDED. ALL QUANTITIES, SIZES, AND MOUNTING CONDITIONS, FABRICATION SHALL NOT CONSTITUTE A DESIGN. THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED DESIGN PROFESSIONAL AND RETURNED TO ARCHITECTURAL LOUVERS. ANY DISCREPANCIES FROM OUR INTERPRETATION OF THE CONTRACT MUST BE NOTED AND FORWARDED TO ARCHITECTURAL LOUVERS PRIOR TO FABRICATION.

DESIGNATIONS FROM STANDARD CONSTRUCTION:

1. NAME
2.
3.
4.

PROJECT: ST JAMES ENTRANCE CANOPY
 CLIENT: ONE CONSTRUCTIVE SERVICES LTD
 THE DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF ARCHITECTURAL LOUVERS AND CANNOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF ARCHITECTURAL LOUVERS.
ARCHITECTURAL LOUVERS
 256 W Mitchell Ave - Cincinnati, OH 45222
 PH: (888) 568-8371 Fax: (888) 568-8370

REV. DESCRIPTION DATE APPR

DESIGNED BY: SUBMITTAL
 DRAWN BY: C.W. ISSUED TITLE: H.C.V.
 APPROVED BY: S.H. SPECIES
 SCALE OF: SP DETAILS
 MADE BY: SP
 DATE ISSUED: 10/08/25 DRAWING NO.: 0925007 REV: 2

TOP VIEW

SECTION B-B

LEGEND

C.W.	ORDER WIDTH	C.W.	ORDER WIDTH
E.L.W.	EXACT LOUVER WIDTH	H.C.V.	SPICES
O.H.	ORDER HEIGHT	S.H.	DETAILS
M.B.C.	MOUNTING BRACKET CENTER	SP	SP

ARCHITECTURAL LOUVERS SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL SITE CONDITIONS. P-NOT NOTED ON THESE DRAWINGS PRIOR TO BIDD.

DESIGN REVIEW AND APPROVAL:

ISSUED FOR FABRICATION SHALL NOT CONSTITUTE A DESIGN. THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED DESIGN PROFESSIONAL AND RETURNED TO ARCHITECTURAL LOUVERS.

APPROVED AS NOTED
 APPROVED AS NOTED
 REVISIONS AND RESUBMIT
 REJECT - RESUBMIT

BY: _____ DATE: _____

FIELD IDENTIFICATION OF QTY, SIZE, AND CONDITIONS:

SUBMITTAL REQUEST ARCHITECTURAL LOUVERS BEST INTERPRETATION OF THE CONTRACT DOCUMENTS PROVIDED. ALL QUANTITIES, SIZES, AND MOUNTING CONDITIONS, FABRICATION SHALL NOT CONSTITUTE A DESIGN. THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED DESIGN PROFESSIONAL AND RETURNED TO ARCHITECTURAL LOUVERS. ANY DISCREPANCIES FROM OUR INTERPRETATION OF THE CONTRACT MUST BE NOTED AND FORWARDED TO ARCHITECTURAL LOUVERS PRIOR TO FABRICATION.

DESIGNATIONS FROM STANDARD CONSTRUCTION:

1. NAME
2.
3.
4.

PROJECT: ST JAMES ENTRANCE CANOPY
 CLIENT: ONE CONSTRUCTIVE SERVICES LTD
 THE DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF ARCHITECTURAL LOUVERS AND CANNOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF ARCHITECTURAL LOUVERS.
ARCHITECTURAL LOUVERS
 256 W Mitchell Ave - Cincinnati, OH 45222
 PH: (888) 568-8371 Fax: (888) 568-8370

REV. DESCRIPTION DATE APPR

DESIGNED BY: SUBMITTAL
 DRAWN BY: C.W. ISSUED TITLE: H.C.V.
 APPROVED BY: S.H. SPECIES
 SCALE OF: SP DETAILS
 MADE BY: SP
 DATE ISSUED: 10/08/25 DRAWING NO.: 0925007 REV: 2

Project: **ST. JAMES CORPORATE CAMPUS EXTERIOR IMPROVEMENTS**
 17514 Detroit Avenue
 Lakewood, Ohio 44107

Structural Engineer
 Onward Engineering
 3642 W 50th Mile Road, Suite 106
 11819 Detroit Avenue, Lakewood, Ohio 44107
 P: 440.491.2666
 www.onwardeng.com

PROGRESS SET

onward
 design collaborative

18119 Detroit Avenue
 Lakewood, Ohio 44107
 P: 440.491.2666
 www.onwardeng.com

Project No: 9527
 Drawn / Checked: S.

ENTRY CANOPY DESIGN

A3

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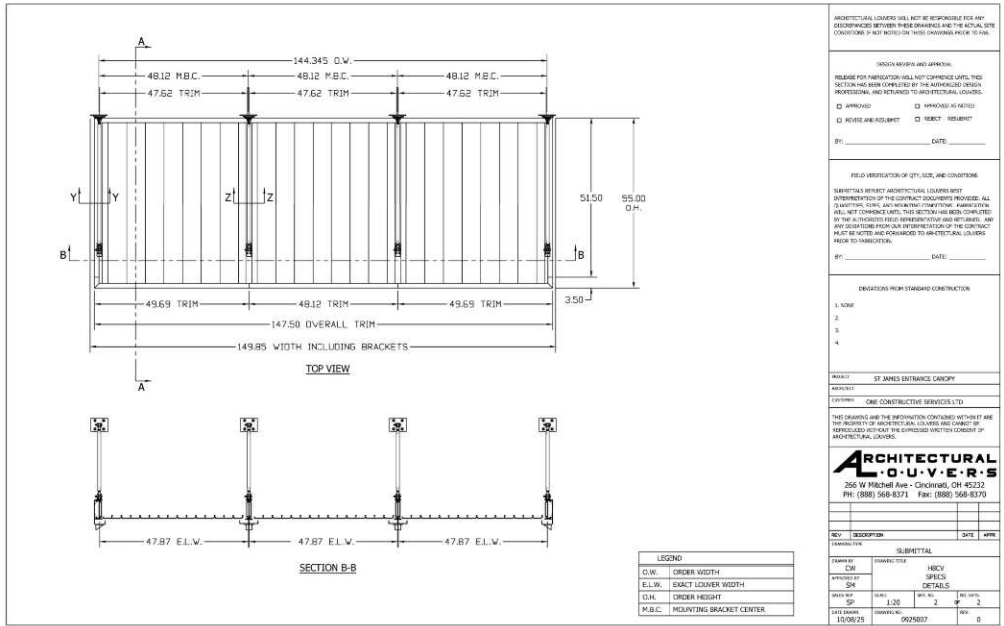
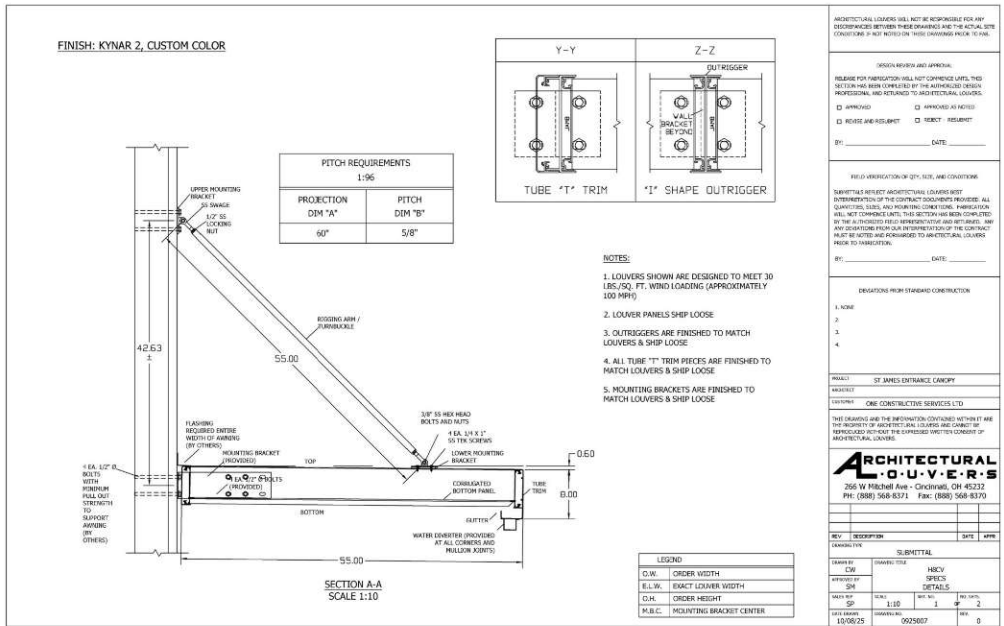
Docket No. 11-100-25 (17415 Northwood)



1
A3
PROPOSED EXTERIOR ELEVATION
1/8" = 1'-0"



2
A3
PROPOSED ENTRY CANOPY EXTERIOR ELEVATION
1/8" = 1'-0"



Project: **ST. JAMES CORPORATE CAMPUS EXTERIOR IMPROVEMENTS**
 1751 Dushoff Avenue
 Columbus, Ohio 43107

Architect: **onward design collaborative**
 18119 Dushoff Avenue
 Columbus, Ohio 43107
 P: 614.692.6666
 www.onwarddesigncollab.com

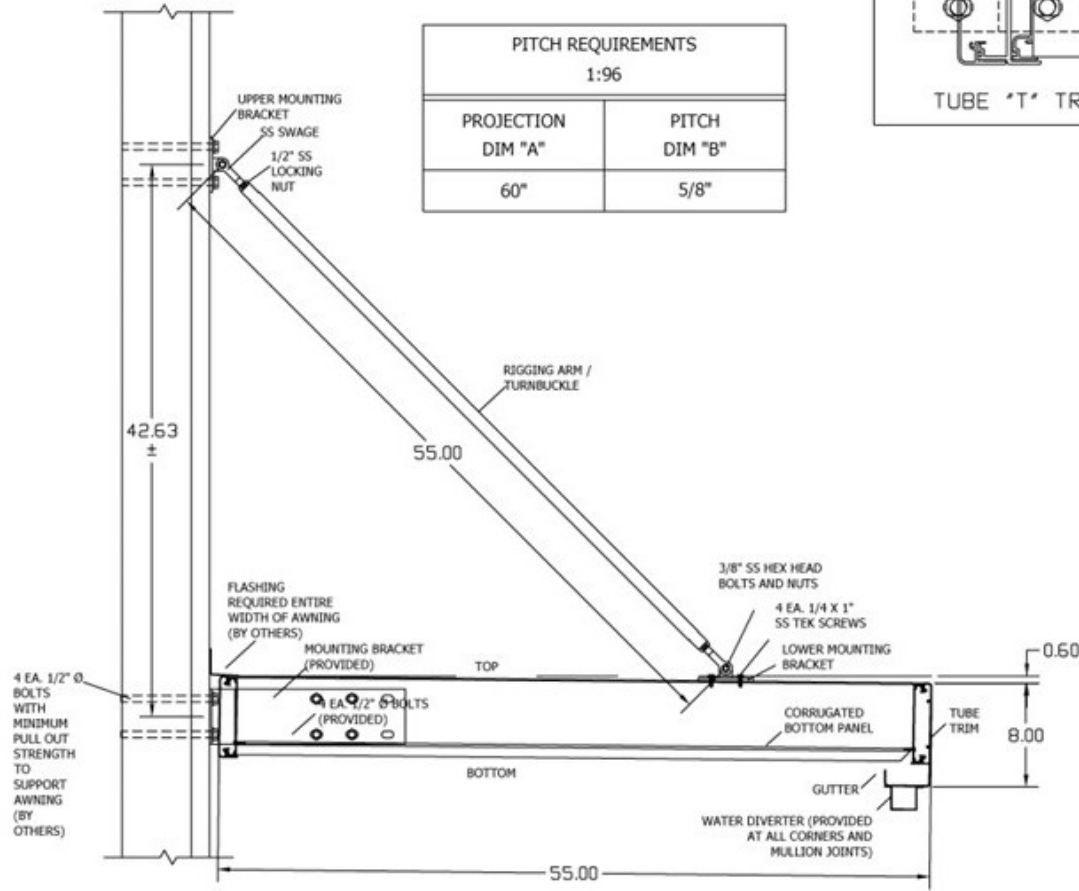
3500
 PROGRESS SET
onward
 design collaborative
 18119 Dushoff Avenue
 Columbus, Ohio 43107
 P: 614.692.6666
 www.onwarddesigncollab.com

Project No: 11-100-25
 Drawn / Checked: JS
 Issue:
 ENTRY CANOPY DESIGN
A3
 09/25/2019

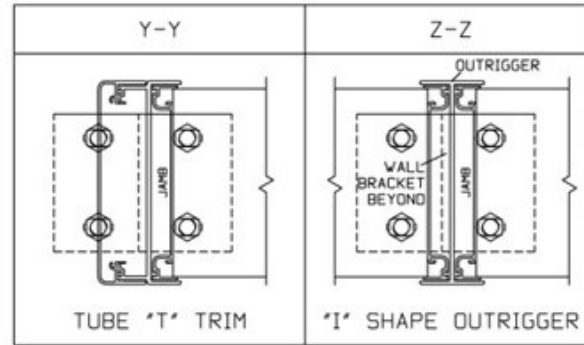


Docket No. 11-100-25 (17415 Northwood)

FINISH: KYNAR 2, CUSTOM COLOR



PITCH REQUIREMENTS	
1:96	
PROJECTION DIM "A"	PITCH DIM "B"
60"	5/8"



NOTES:

1. LOUVERS SHOWN ARE DESIGNED TO MEET 30 LBS./SQ. FT. WIND LOADING (APPROXIMATELY 100 MPH)
2. LOUVER PANELS SHIP LOOSE
3. OUTRIGGERS ARE FINISHED TO MATCH LOUVERS & SHIP LOOSE
4. ALL TUBE "T" TRIM PIECES ARE FINISHED TO MATCH LOUVERS & SHIP LOOSE
5. MOUNTING BRACKETS ARE FINISHED TO MATCH LOUVERS & SHIP LOOSE

LEGEND	
O.W.	ORDER WIDTH
E.L.W.	EXACT LOUVER WIDTH
O.H.	ORDER HEIGHT
M.B.C.	MOUNTING BRACKET CENTER

SECTION A-A
SCALE 1:10

ARCHITECTURAL LOUVERS WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL SITE CONDITIONS IF NOT NOTED ON THESE DRAWINGS PRIOR TO FAB.

DESIGN REVIEW AND APPROVAL

RELEASE FOR FABRICATION WILL NOT COMMENCE UNTIL THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED DESIGN PROFESSIONAL AND RETURNED TO ARCHITECTURAL LOUVERS.

- APPROVED APPROVED AS NOTED
 REVISE AND RESUBMIT REJECT - RESUBMIT

BY: _____ DATE: _____

FIELD VERIFICATION OF QTY, SIZE, AND CONDITIONS

SUBMITTALS REFLECT ARCHITECTURAL LOUVERS BEST INTERPRETATION OF THE CONTRACT DOCUMENTS PROVIDED. ALL QUANTITIES, SIZES, AND MOUNTING CONDITIONS. FABRICATION WILL NOT COMMENCE UNTIL THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED FIELD REPRESENTATIVE AND RETURNED. ANY DEVIATIONS FROM OUR INTERPRETATION OF THE CONTRACT MUST BE NOTED AND FORWARDED TO ARCHITECTURAL LOUVERS PRIOR TO FABRICATION.

BY: _____ DATE: _____

DEVIATIONS FROM STANDARD CONSTRUCTION

1. NONE
- 2.
- 3.
- 4.

PROJECT ST JAMES ENTRANCE CANOPY

ARCHITECT

CUSTOMER ONE CONSTRUCTIVE SERVICES LTD

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ARCHITECTURAL
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 266 W Mitchell Ave - Cincinnati, OH 45232
 PH: (888) 568-8371 Fax: (888) 568-8370

REV	DESCRIPTION	DATE	APPR

DRAWING TYPE SUBMITTAL

DRAWN BY CW DRAWING TITLE HSCV SPECS DETAILS

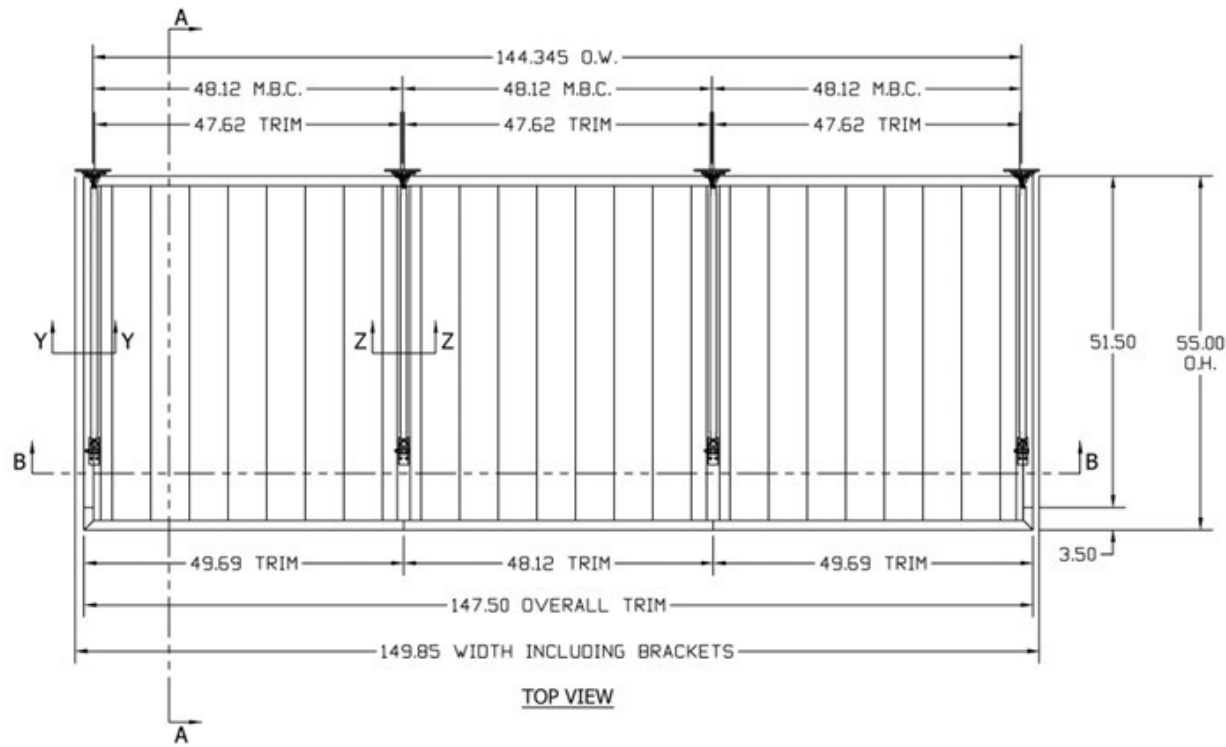
APPROVED BY SM

SALES REP SP SCALE 1:10 SH. NO. 1 OF 2 NO. SHTS. 2

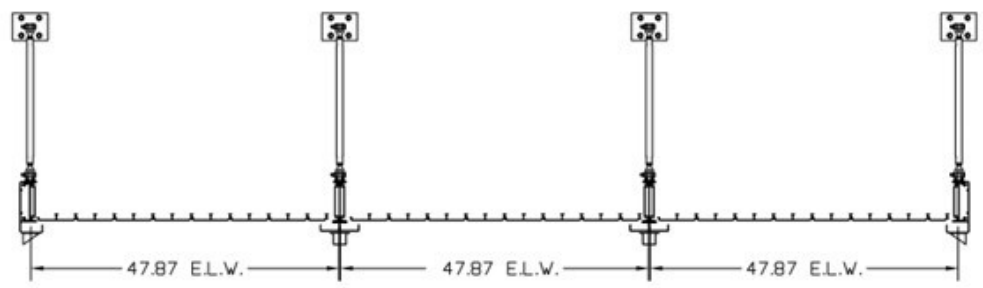
DATE DRAWN 10/08/25 DRAWING NO. 0925007 REV. 0



Docket No. 11-100-25 (17415 Northwood)



TOP VIEW



SECTION B-B

LEGEND	
O.W.	ORDER WIDTH
E.L.W.	EXACT LOUVER WIDTH
O.H.	ORDER HEIGHT
M.B.C.	MOUNTING BRACKET CENTER

ARCHITECTURAL LOUVERS WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL SITE CONDITIONS IF NOT NOTED ON THESE DRAWINGS PRIOR TO FAB.

DESIGN REVIEW AND APPROVAL
 RELEASE FOR FABRICATION WILL NOT COMMENCE UNTIL THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED DESIGN PROFESSIONAL AND RETURNED TO ARCHITECTURAL LOUVERS.

APPROVED APPROVED AS NOTED
 REVISE AND RESUBMIT REJECT - RESUBMIT

BY: _____ DATE: _____

FIELD VERIFICATION OF QTY, SIZE, AND CONDITIONS

SUBMITTALS REFLECT ARCHITECTURAL LOUVERS BEST INTERPRETATION OF THE CONTRACT DOCUMENTS PROVIDED. ALL QUANTITIES, SIZES, AND MOUNTING CONDITIONS. FABRICATION WILL NOT COMMENCE UNTIL THIS SECTION HAS BEEN COMPLETED BY THE AUTHORIZED FIELD REPRESENTATIVE AND RETURNED. ANY ANY DEVIATIONS FROM OUR INTERPRETATION OF THE CONTRACT MUST BE NOTED AND FORWARDED TO ARCHITECTURAL LOUVERS PRIOR TO FABRICATION.

BY: _____ DATE: _____

DEVIATIONS FROM STANDARD CONSTRUCTION

- NONE
-
-
-

PROJECT ST JAMES ENTRANCE CANOPY
 ARCHITECT _____
 CUSTOMER ONE CONSTRUCTIVE SERVICES LTD

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ARCHITECTURAL LOUVERS
 266 W Mitchell Ave - Cincinnati, OH 45232
 PH: (888) 568-8371 Fax: (888) 568-8370

REV	DESCRIPTION	DATE	APPR

DRAWING TYPE: SUBMITTAL

DRAWN BY CW	DRAWING TITLE HSCV SPECS DETAILS
APPROVED BY SM	
SALES REP SP	SCALE 1:20
DATE DRAWN 10/08/25	SHT. NO. 2 OF 2 NO. SHTL. 2 DRAWING NO. 0925007 REV. 0



Docket No. 11-100-25 (17415 Northwood)



Docket No. 11-100-25 (17415 Northwood)



Docket No. 11-100-25 (17415 Northwood)



Docket No. 11-100-25 (17415 Northwood)

1134.06 PROCEDURES FOR THE REVIEW OF PROPOSED ALTERATIONS, DEMOLITION AND NEW CONSTRUCTION AND FOR ISSUANCE OF APPROVAL TO PROCEED WITH WORK (CERTIFICATE OF APPROPRIATENESS).

(a) No person shall make any alteration or demolition with respect to any property designated historic that is situated in a determined HPD or has been determined an HP unless a certificate of appropriateness has been previously issued with respect to such property. With respect to any such alteration or demolition, the owner of the property to be altered or demolished shall first apply for and secure a certificate of appropriateness from the Architectural Board of Review. In addition, any improvements or changes undertaken within public rights-of-way within an HPD also require a certificate of appropriateness from the Architectural Board of Review.

(b) Unless the Commission has previously approved unique historic guidelines, the Architectural Board of Review when considering an application for a certificate of appropriateness shall determine whether the proposed construction, reconstruction, alteration or demolition is appropriate and shall refer to the Secretary of the Interior's Standards for Rehabilitation, as amended from time to time, and which on the date of the adoption of this chapter are as follows:

(1) A property shall be used for its historic purpose or placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize an HP shall be preserved.

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to the historic materials and structures, if appropriate, shall be undertaken using the gentlest means possible.

(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and environment would be unimpaired.

(c) In the case of archeological properties, the Architectural Board of Review shall refer to the Advisory Council on Historic Preservation's Treatment of Archeological Properties: A Handbook or successor publication(s).



Docket No. 11-100-25 (17415 Northwood)

Applicant proposes demo of existing garage and construction of new garage.

City Notes:



13406 Harlon Ave



Docket No. 11-101-25 (13406 Harlon)

Residence – Garage Demo and Construction

Duane Shreiner



Docket No. 11-101-25 (13406 Harlon)



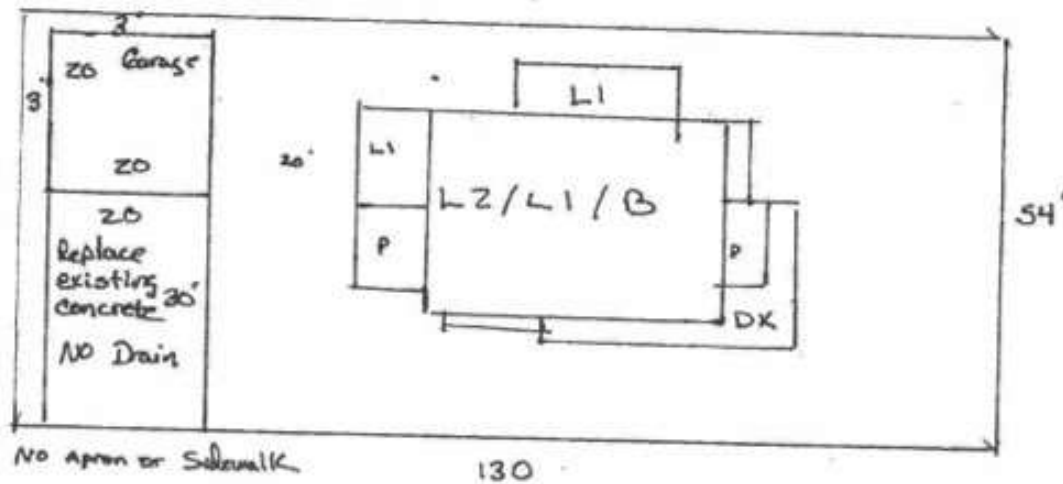
Docket No. 11-101-25 (13406 Harlon)



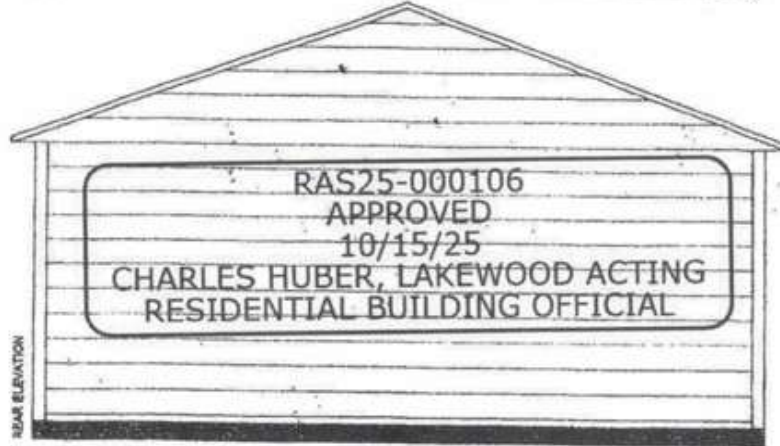
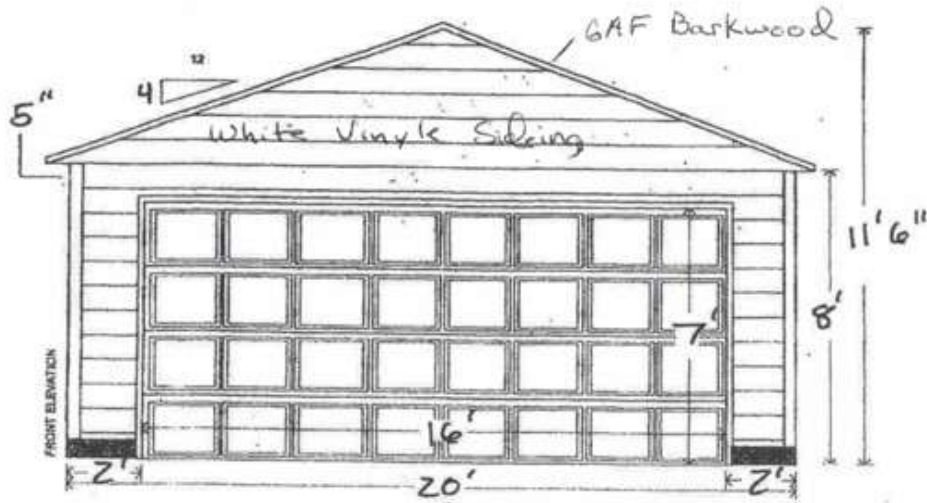


Docket No. 11-101-25 (13406 Harlon)

Jill Dickie
13406 Harlon Ave
Lakewood OH 44107
330 328 0928



Docket No. 11-101-25 (13406 Harlon)



Duane Schreiner
Owner

Shannonwood Homes

Building our reputation one home at a time



1635 Wood Rd.
Cleveland Hts., OH 44121
330.780.6952
duaneschreiner2@gmail.com

SPECIFICATIONS	
SIDING:	Vinyle DBL 5" white
TRIM:	White Aluminium
OH DOOR:	16' x 7' white
GUTTERS & D/S:	5" white
DISCHARGED TO:	splash

MICHAEL GERSON
DBA SHANNONWOOD HOMES LLC.
1635 WOOD RD.
CLEVELAND HEIGHTS, OHIO 44121
216-215-2310

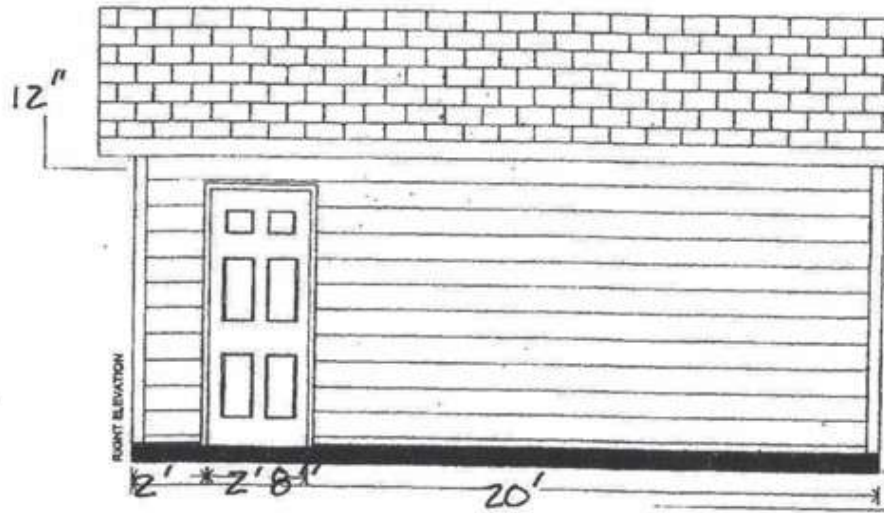
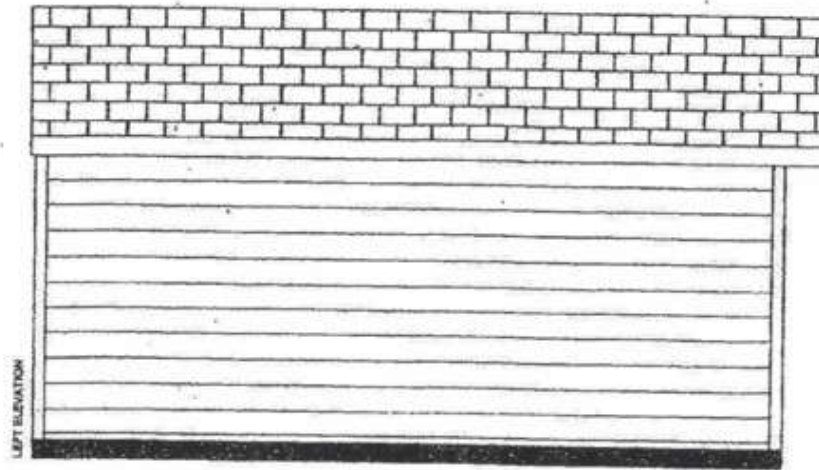
20' x 20' GABLE GARAGE
4/12 ROOF PITCH
SCALE: 1/4" = 1'-0"

HOMEOWNER
Jill Dickie
13406 Harlon Ave
Lakewood OH 44107
330-328-0928

RAS25-000106
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OCT 02 2025
By Counter Kim

Docket No. 11-101-25 (13406 Harlon)





Duane Schreiner
Owner

Shannonwood Homes

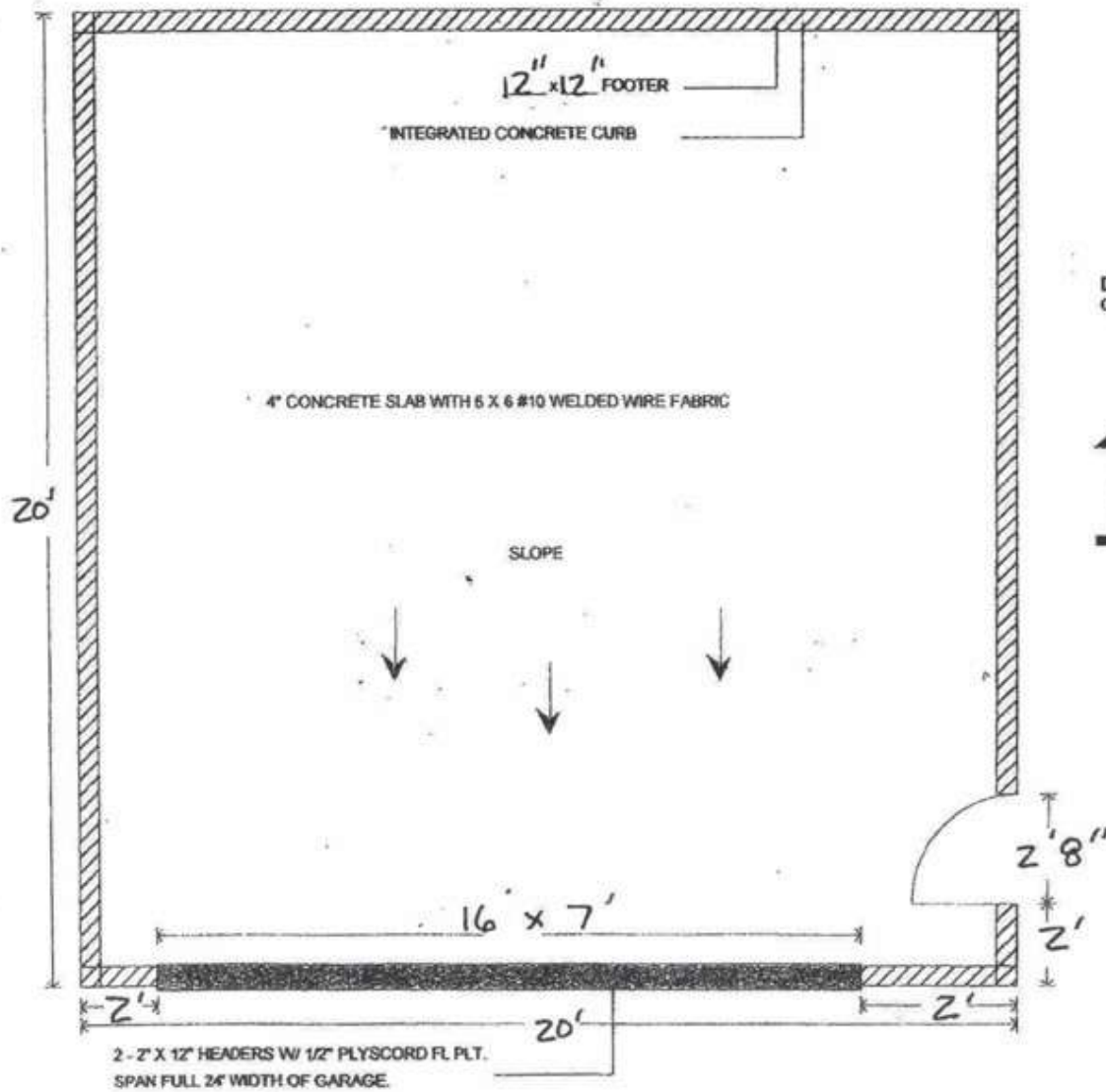
Building our reputation one home at a time



1635 Wood Rd.
Cleveland Hts., OH 44121
330.780.6952
duaneschreiner2@gmail.com



Docket No. 11-101-25 (13406 Harlon)



FLOOR PLAN
SCALE: 1/4" = 1'-0"

Duane Schreiner
Owner

Shannonwood Homes

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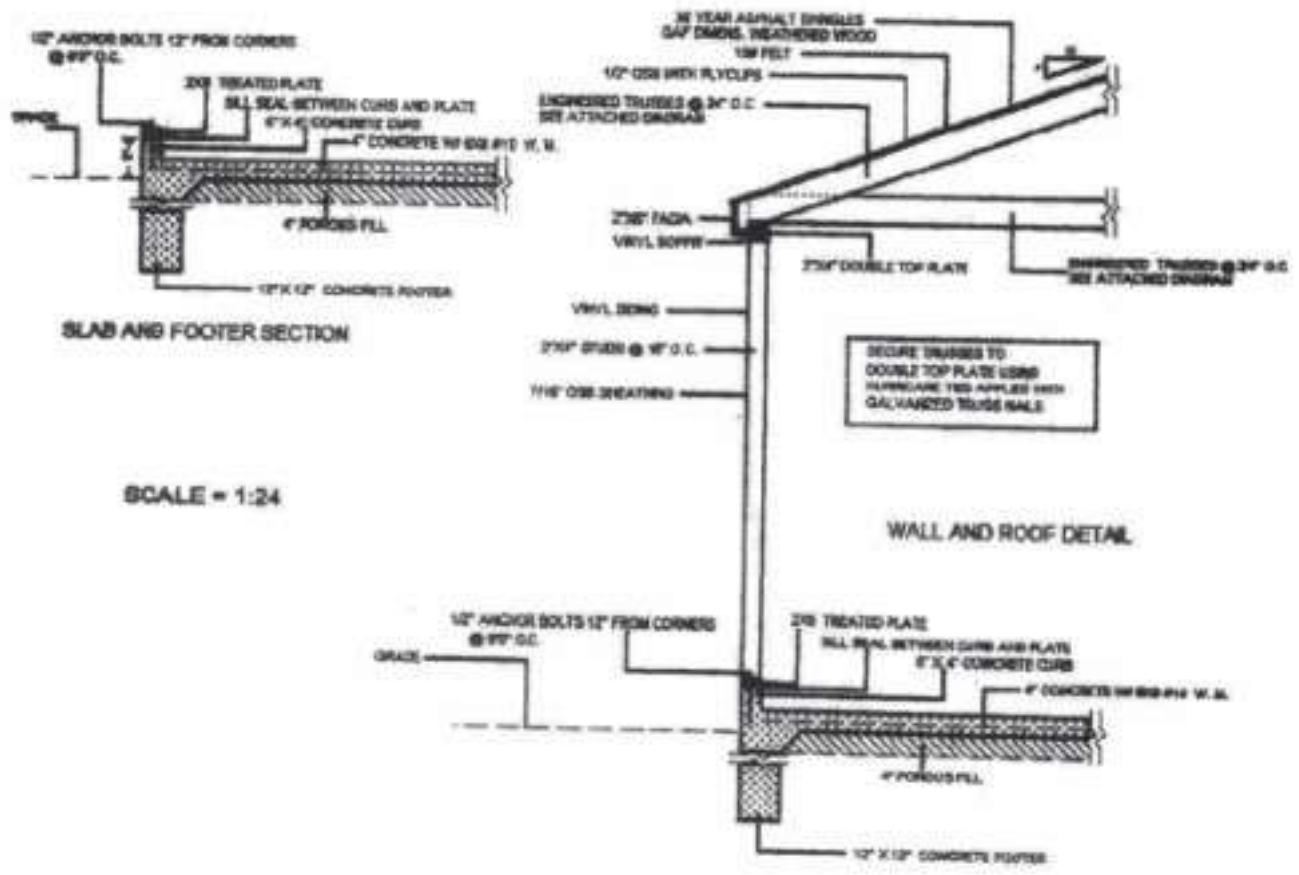


1635 Wood Rd.
Cleveland Hts., OH 44121
330.780.6952
duaneschreiner2@gmail.com

20' x 20' GABLE GARAGE
4/12 ROOF PITCH



Docket No. 11-101-25 (13406 Harlon)



Docket No. 11-101-25 (13406 Harlon)

Relevant Residential Design Standards: Garages and Accessory Structures

- Garages and accessory structures must be secondary structures on the lot and shall not overshadow the primary building or residence. They must be complementary to the primary structure.
- Detached or side or rear-oriented attached garages are preferred.
- Garage doors must be designed in a way that is compatible with the chosen architectural style of the rest of the home and surrounding properties.
- Finish materials and colors must match or complement principal structure.

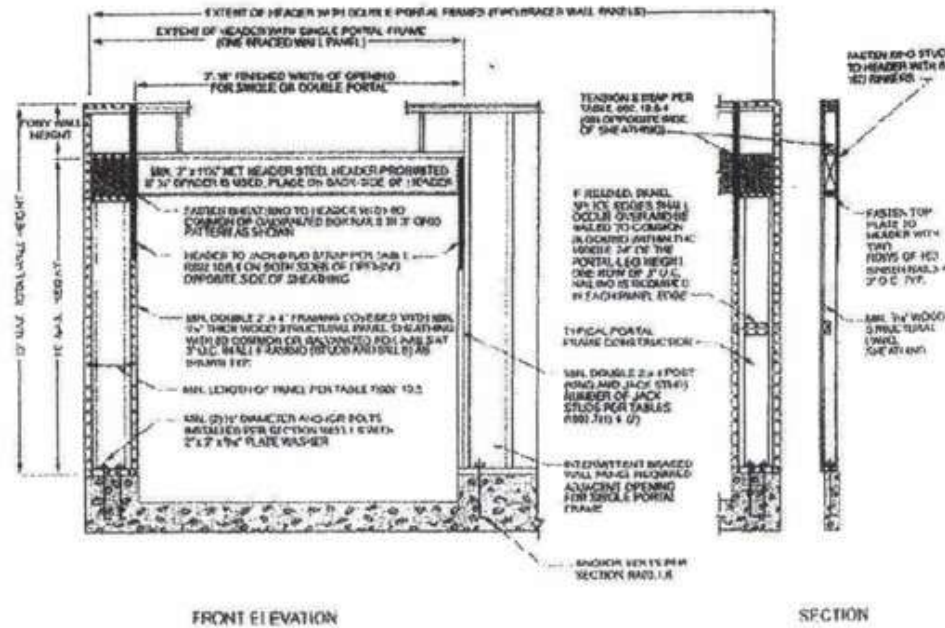


Docket No. 11-101-25 (13406 Harlon)

CHAPTER 6 WALL CONSTRUCTION

R602.10.6.3 Method PFG: Portal frame at garage door openings in Seismic Design Categories A, B and C.

Where supporting a roof or one story and a roof, a Method PFG braced wall panel constructed in accordance with Figure R602.10.6.3 shall be permitted on either side of garage door openings.



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm,

FIGURE R602.10.6.3
METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B AND C



2019 Residential Code of Ohio Categories Ohio

About this Title

This is a integrated code based on the 2018 International Residential Code®.



Docket No. 11-101-25 (13406 Harlon)



5924 Fortune Place
Apolo Beach, FL 33572

COMPONENT DESIGN DRAWINGS AND DETAILS

Prepared for: STARK TRUSS - CANTON		Job Number: Q58448	
CLEVELAND LUMBER 2'OC STOCK			
05/12/2025	110918-W1	Issue	2
Village of Madison Lake County, OH			
Design Code IRC-2018/TP12014			
Roof Load (PSF): 40	Floor Load (PSF): REFER TO TOD		
Wind Standard: ASCE7-16	Wind Speed (MPH): 115	Exposure Cat.: C	Bldg. Enclosure: Partially Enclosed



Przemyslaw Ciolko, P.E.
Ohio Reg. #87692
COA: 02356

- The component design drawing(s) attached have been prepared by Dansco Engineering, LLC under my direct supervision and control based on the parameters specified in the Construction Documents as conveyed by the Component Manufacturer.
- The seal on these drawings indicates acceptance of professional engineering responsibility solely for the Individual Truss components to resist the design loads indicated. The suitability and use of this component for any specific building is the responsibility of the building designer, per ANSITPI 1, Chapter 2.

Warning 1—Verify design parameters and read notes before use.
These designs are based only upon parameters shown and are for individual building components to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is the responsibility of building designer — not truss designer or truss engineer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to ensure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult ANSITPI 1 National Design Standard for Metal Plate Connected Wood Truss Construction and the latest edition of BCBI Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses from Truss Plate Institute.

MY COPY

Q58448 - 2' OC STOCK Qty: 30 Truss: 30'

Customer: CLEVELAND LUMBER
Stark Truss Canton 330-475-2121

Truss Mfr. Contact: Dan Wilson

Code/Design: IRC-2018/TP1-2014	Design Load Spec: ASCE7-16 Unsed Snow (Pg) = 20.0 psf Risk Category II (Is = 1.00) Exposure: Partially Exposed	Wind Load Spec: ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	Additional Design Checks: 2x 2x6 BC Limited Storage: Yes
RF Live Dead	Dist. Factors	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	2x 2x6 BC Accessible Ceiling: No
TC 35.0 15.0	Live Wind Snow	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	2x 2x6 BC Minimum Load: No
SC 0.0 10.0 Sun 1.15 1.60 1.15	Roof Exposure: Partially Exposed	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	2x 2x6 BC Deck Load: No
Truss: 40.0 715 1.15 1.60 1.15	Wind Condition: All Sides (S)	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	2x 2x6 BC Deck Perim Loading: No
Spacing: 2'-00" O.C. ELLIPS 1	Unobstructed Storage Limit: No	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	
Repetitive Member (Increase): Yes	Low-Slope Minimum (P/Factor): No	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	
Green Lumber: No Wet Service: No	Unobstructed Snow Loads: Yes	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	
Tab Tolerances: 20% Comp (Max) = 3.0	Deck Overhangs: No Top Deck Chk: Yes	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	
OS Surface Load: 2.0 psf	Decking: = 20'-00" O.C.	ASCE7-16 Wind Speed (V) = 115 mph Risk Cpt. II Exposure Cat. C	

Material Summary

TC	2x6	877	22
SC	2x4	872	22
Node	2x4	877	22

Member Forces Summary

Max CST in TC PANEL	1	2	0.48
Max CST in SC PANEL	1	2	0.87
Max CST in Node	4	2	0.99

Reaction Summary

Node	Reaction Summary (kips)
1	41.12 844.183 83.08 81.08 877 171
2	19.10-04 261.182 03.08 83.08 877 171
Max Value	= 28 / +10 at Joint 1

Deflection Summary

TrussSpan Limit	Actual (in)	Location
Vert. LL	1/348	L/999 (-0.38) 8'-0"
Vert. SC	1/180	L/999 (-0.32) 8'-0"
Vert. CB	1/249	L/751 (-0.82) 8'-0"
Node CL	8.15in	(+0.83) Node 5
Node CL	1.15in	(+0.03) Node 3
Node CB	16/180	16/999 (-0.03) 1'-1"
Node CB	11/249	21/999 (-0.01) 2'-5"

Notes
Truss designed for Up to 0.60 and Rotational Tolerance of 15.0 degrees. Plates located at TC pitch breaks meet the manufacturing minimum size requirement to transfer tab-to-tab strength under these design loads and plating have been applied symmetrically.

Plate offsets (X, Y)
(None unless indicated below)
Joint 1, -10'-00"

REVISION A copy of this design shall be furnished to the erection contractor. The design of this individual truss is based on design criteria and requirements supplied by the truss manufacturer and relies upon the accuracy and completeness of the information and facts by the Building Designer. A copy of this drawing includes "Notes" page for additional information. All connector plates shall be manufactured by Simpson Strong-Tie Company. This is corroborated with E338-0192, 38 connector plates are 50 gauge, unless the specified plate size is followed by a "10" which indicates an 18 gauge plate, or "10" 12", which indicates a high tensile 18 gauge plate.

Dansco Engineering, LLC
COA: 02356
Date: 05/12/2025
DR: Job# 110918-W1



Docket No. 11-101-25 (13406 Harlon)

Q5848 - 2" OC STOCK		Qty: 30	Truss: 2P22
Customer: CLEVELAND LUMBER		Stark Truss Center 300-470-2181	
Truss Mt. Contact: Der/Wilson		SD: Q5848 TD: 05/09/25 Date: 05/09/25 Page: 1 of 1	

24" OC STUDS

Code/Notes: INC-2018/191-2018 W/F Line Used: See Part 2 SC 20.0 18.0 Live Wind Snow SC 9.0 10.0 Ice 1.15 1.00 1.10 Total 40.0 33.0 1.15 1.00 1.10 Spacing: 2'-0"-00" o.c. Rise: 1 Regulated Member Increase: Yes Street Loading: No (No Services) No Full Tolerances: 30% Crimp (Max) = 3.0 No Split Load: 2.0 per	Wind Load Specs: ASCE7-16 Ground Snow(S _g) = 20.0 psf Risk Category: II (I _w = 1.00) Hazard Region: Partially Exposed (Special Condition All Other(I _w)) Unobstructed Sloped Surf: No Low-Walls Minimum(Finish): No Unbalanced Snow Loads: Yes Main Driveway: No (See Item 014: Yes Driveway) = 20'-00"-00"	Wind Load Specs: ASCE7-16 Wind Speed(S _w) = 115 mph Risk Cat: II Exposure Cat: C Wind Zone: 1 = 0.0 R1 R = 0.0 R2 M.S.Ratio = 25.000 S _w = 1.0 S _w = 1.00 Wind Direction: Excluded Wind Dir(S _w): SC = 0.0 SC = 0.0 Wind Vertical Exposure: C = Top B = Yes Wind Dir(S _w) Supporting: ASCE7 1019A Cat Wind Snow: 0-20-20
--	--	--

Material Summary SC 2x4 S/P #2 SC 2x6 S/P #2 Webs 2x4 S/P #2 Member Forces Summary Max C/F in 75 Panels: 1 - 1 0.08 Max C/F in 90 Panels: 1 - 18 0.00 Max C/F in Webs: 11 - 8 0.19	Reaction Summary Max Reactions: -28 / +30 at Joint 14 Reactions not shown above + 400 and up + 100 --- Reaction Summary (kif) --- 1 - 8 84 18 29-20-20	Deflection Summary Truss/Spec Limit: Actual/Initial Location Vert 14: 1/320 L/999(0.000) 18-0 Vert 16: 1/180 L/999(0.000) 18-0 Vert 18: 1/240 L/999(0.000) 18-0 Horiz 14: 0.70in (0.00) 8/2 0 Horiz 16: 1.25in (0.00) 8/2 0 Horiz 18: 21/248 21/999(0.00) 1-1 Horiz 20: 21/248 21/999(0.00) 8-8
---	---	---

Loads Summary User-defined unbalanced Top Chord Live loads (TCLL) occurring at 10-10-00 are based on 1.20 full and 0.50 reduced load factors. See Loadcase Reports for load combinations and additional details.	Notes If 24" OC studs are exposed to wind load perpendicular to the plane of the truss, gable studs must be braced according to the Construction Specifications, MSS-93, or a similar wind bracing detail matching the design wind speed shown. Lateral bracing of the truss itself to resist out-of-plane wind load must be in accordance with the Construction Specifications. The maximum allowable overhang length is 12'-0". Gable requires 7/8" x 3/8 sheathing on truss from 0-00-00 to 20-00-00 connection details to be provided by the Building Designer. Plates designed per CA at 2.0 and designed to maximum of 18.0 degrees. Plates located at SC plate double end the prescriptive minimum size requirements for corner unobstructed diaphragm loads across these joints. Lumber and gables have been applied symmetrically.	Bracing Data Summary --- Bracing Data --- Chords: continuous except where shown Web Bracing: -- None Plate offsets (X, Y): (None unless indicated below) (in)(ft, 01-00)
---	--	--

NOTICE: A copy of the design shall be furnished to the erection contractor. The design of this individual truss is based on design criteria and requirements supplied by the User. Manufacturer and shall verify the accuracy and completeness of the information set forth by the Building Designer. A cut on this drawing indicates a complete engineering responsibility solely for the truss as represented on this drawing. See the cover page and the "Important Information & General Notes" page for additional information. All connector plates shall be manufactured by Simpson Strong-Tie Company, Inc. in accordance with SSPC-370. All connector plates are 30 gauge, unless the specified plate size is followed by a "10" which indicates an 18 gauge plate, or "12" or "14" which indicates a high tensile 18 gauge plate.

DarSO Engineering, LLC
 CCA: 02368
 Date: 05/12/2025
 DE: JDM 119918-W1

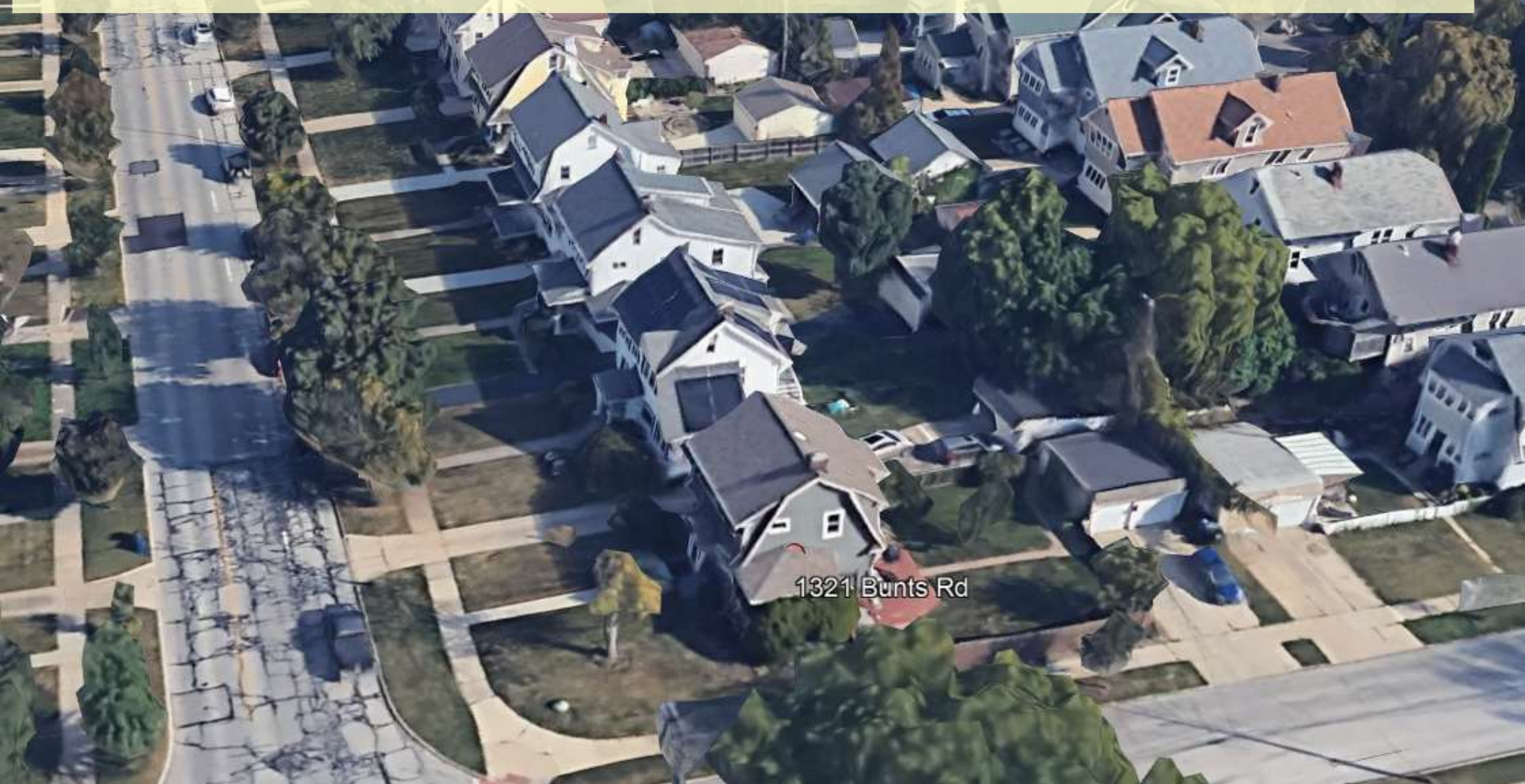


Docket No. 11-101-25 (13406 Harlon)

Applicant proposes rear addition, covered patio, and new garage.

City Notes:

- Will need BZA approval for lot coverage and setbacks.



1321 Bunts Rd



Docket No. 11-102-25 (1321 Bunts)
Residence – Rear Addition, Covered Patio, and New Garage
Brian Limkemann



Docket No. 11-102-25 (1321 Bunts)



Docket No. 11-102-25 (1321 Bunts)



Docket No. 11-102-25 (1321 Bunts)



Project Summary

This family needs more space and enjoys outdoor living, so we propose to add two 450 square foot floors of living area onto the house to create a large, modern kitchen and second floor primary suite.

The existing garage has reached the end of its useful life, so that will be replaced as well. New electric service will be run to the garage to handle a future EV charger.

To cater to their outdoor living needs, a large patio will take space between the garage and house and a roof will be constructed to connect those two structures. This creates a breezeway for daily use as well as a wonderful covered outdoor living area. A hot tub is planned for the SE corner of the patio / house.

Exterior finishes will match the existing fiber cement siding / paint color and roofing shingles as closely as possible.



INDEX	
G-1	Project Overview
V-1	Site Plan
A-1	Floor Plans - AD-BUILT
D-1	Floor Plans
A-1	Floor Plans Overlay
D-1	Storage and Covered Patio
A-1	Elevations
D-1	Exterior Remodeling
D-1	First Floor Remodeling
D-2	Second Floor Remodeling

The Westerns

1321 Bunts
Lakewood, OH
44107

Notes:
• Scale will be 1/4" = 1'-0" (if not noted)
• Dimensions in feet unless noted.

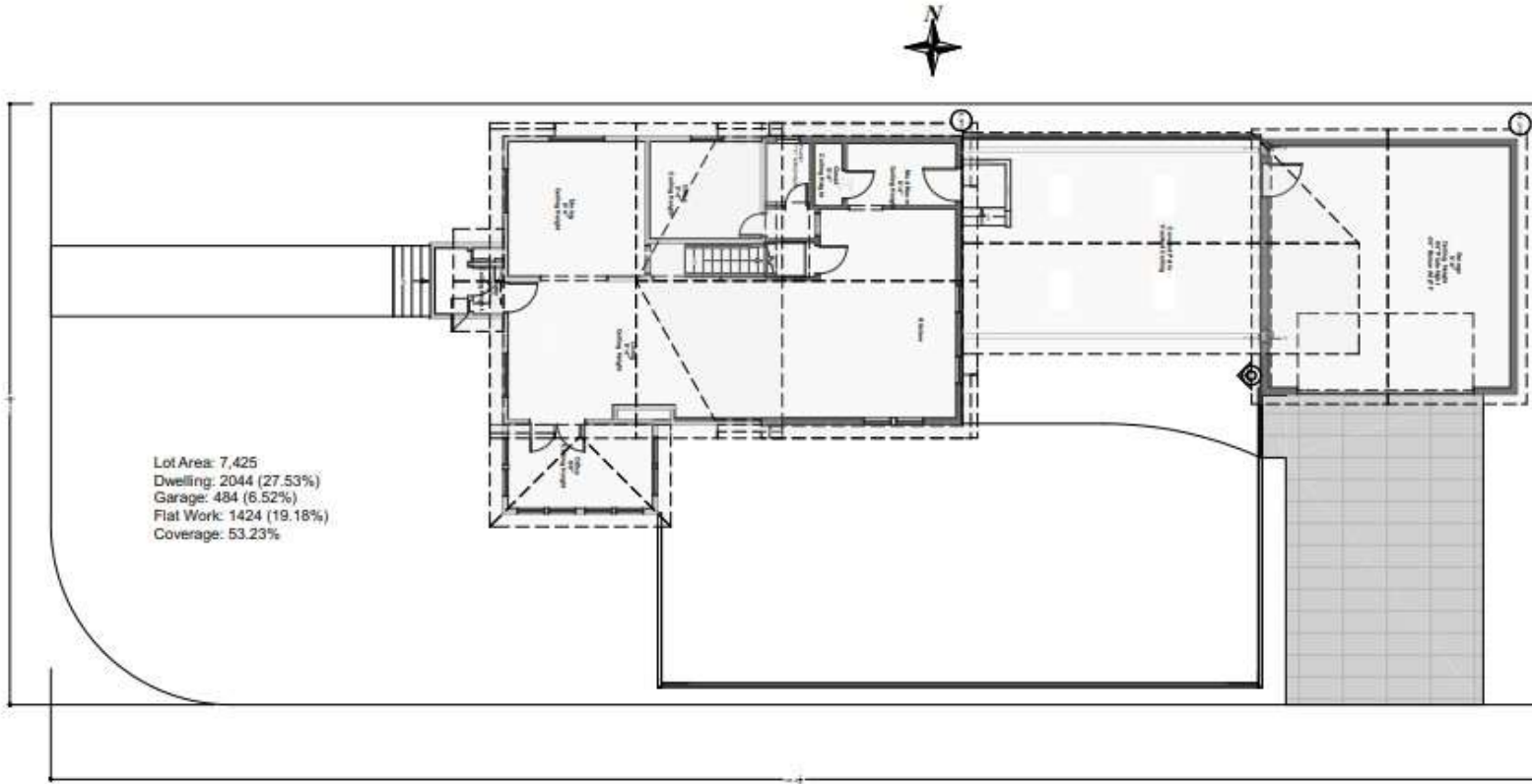
Project Overview

* DATE *

G-1



Docket No. 11-102-25 (1321 Bunts)



01	Project Overview
02	Site Plan
A1	Floor Plans - ADULT
01	Floor Plans
02	Floor Plans Overlay
A1	Storage and
04	Garage and
A2	Second Floor
01	Second Floor
A1	Second Floor
01	Second Floor
12	Second Floor
01	Second Floor

The Westerts
1321 Bunts
Lakewood, OH
44107

Scale: 3/16" = 1'-0"
Dimensions to be field verified

Site Plan

* DATE *

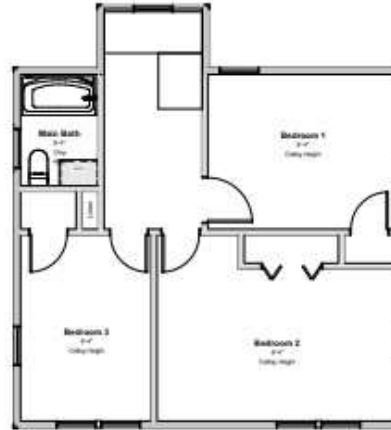
Y-1



Docket No. 11-102-25 (1321 Bunts)



AS-BUILT - 1ST FLOOR
1/4 IN = 1 FT



AS-BUILT - 2ND FLOOR
1/4 IN = 1 FT

00-1	Project Overview
01-1	Site Plan
01-01	Floor Plans - AS-BUILT
01-01	Floor Plans
01-02	Floor Plans Overlay
01-03	Storage and
01-04	Garage Plans
01-05	Elevations
01-06	Exterior Renderings
01-07	First Floor
01-08	Second Floor
01-09	Renderings

The Westers
1321 Bunts
Lakewood, OH
44107

• Double check for final 2 (DWG)
• Dimensions to be field verified

Floor Plans
- AS-BUILT

* DATE *

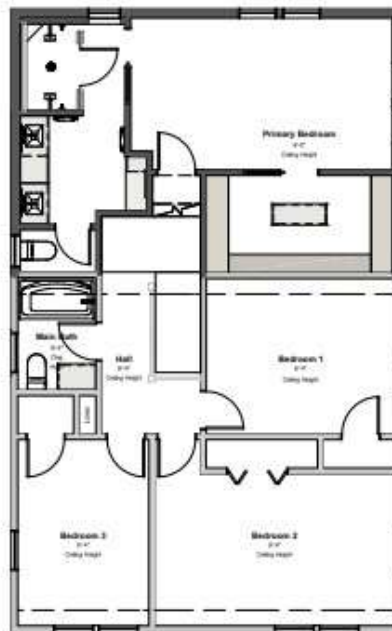
A1-01



Docket No. 11-102-25 (1321 Bunts)



FIRST FLOOR
1/4 IN = 1 FT



SECOND FLOOR
1/4 IN = 1 FT

R-1	Project Overview
V-1	Site Plan
A-1	Floor Plans - AD-SULT
A1-01	Floor Plans
02	Floor Plans Overlay
A3-02	Storage and General Plans
A1-04	Elevations
A2-01	Exterior Renderings
A3-01	First Floor Renderings
1-2	Second Floor Renderings

The Westers
1321 Bunts
Lakewood, OH
44107

• Scale valid for Aerial D (20' x 20')
• Dimensions to be field verified

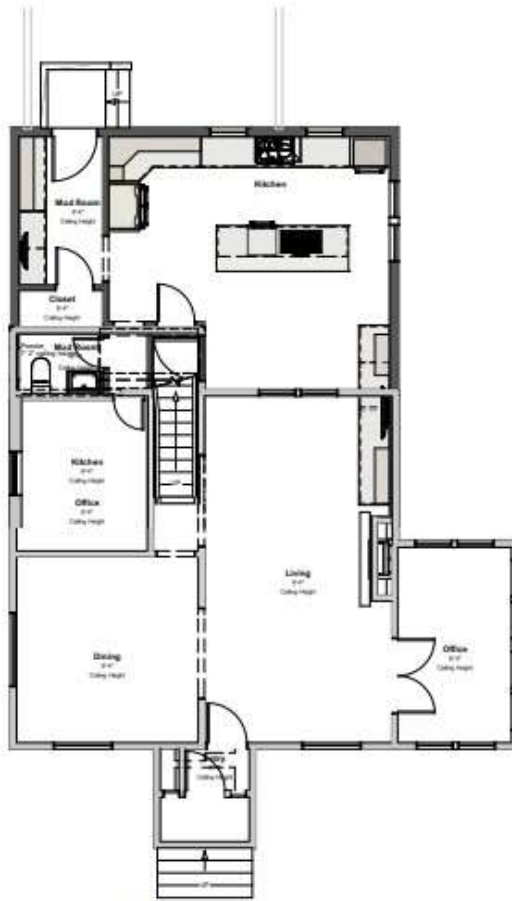
Floor Plans

* DATE *

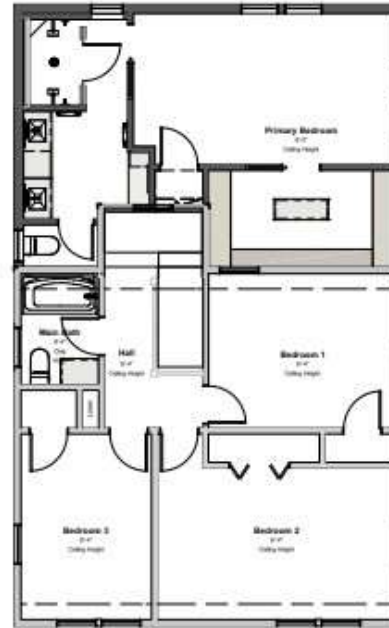
A1-02



Docket No. 11-102-25 (1321 Bunts)



FIRST FLOOR OVERLAY
1/4 IN = 1 FT



SECOND FLOOR
1/4 IN = 1 FT



B-1	Project Overview
B-2	Site Plan
A-1	Floor Plans - ADULT
D-1	Floor Plans
A-1	Floor Plans Overlay
D-1	Storage and Ground Floor Elevations
A-1	Exterior Remodeling
D-1	First Floor Remodeling
D-2	Second Floor Remodeling

The Westerns

1321 Bunts
Lakewood, OH
44107

• Scale: 1/4" = 1'-0" (1/8" = 1'-0")
• Dimensions to be face-unless noted

Floor Plans
Overlay

* DATE *

A1-03



Docket No. 11-102-25 (1321 Bunts)

Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Building placement and orientation is integral to the site design and the overall interaction with surrounding properties.
 - Buildings must be oriented with the primary façade and entry facing parallel to the principal street frontage, unless an alternative orientation is consistent with the majority of homes along the same block face.
 - For buildings located on corner lots, the secondary street frontage must be addressed with a compatible appearance of the principal street frontage but of less prominence.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.
- Staff Notes
 - Site plan not showing sidewalk/roadways.
 - Merl facing façade needs to be compatible to the Bunts façade.
 - Landscaping not detailed.



Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.
- Staff Notes
 - This addition is a significant scale for the immediate neighborhood. Precedent.



Docket No. 06-51-25 (1070 Rosalie)

Overall form, Massing and Scale

- New residential buildings, additions, and alterations must be compatible in predominant form, mass, lot coverage, general character and in proportion and scale to other surrounding structures in the immediate area; however, some differentiation from adjacent homes is allowable.
- For larger massed residential buildings, techniques such as stepping back upper stories, offsetting secondary masses, dividing facades into smaller components, or varying materials must be considered to reduce the perceived mass of the structure.
- For visual variety, building massing for residential buildings should be varied by employing techniques such as but not limited to: bay windows, dormers, and varying planes or roof lines.
- Any addition or alteration must be complementary to the principal structure.
- Staff Notes
 - This addition is a significant scale for the immediate neighborhood in lot coverage, mass and general character.

Styles and Facades

- For new construction, alterations, and additions on a corner lot or where frontage is on multiple streets, façade details should extend to all frontage streets.
- Staff Notes
 - Merl facing side detail and character vs. Bunts facing façade.



Roof Design

- A roof's form, style, and material must be compatible with the chosen architectural style. For existing structures, the roof's form, style and material shall be harmonious and consistent with the neighborhood context.
- Roofline variations may be used to demarcate primary building entrances, to break up larger massed front facades, and provide visual variety to the front façade of the home.
- When appropriate to the roof design and surrounding context, overhangs must be present.
- Staff Notes
 - Roof line is very long without any breaks. Consider interventions.

Garages and Accessory Structures

- Garages and accessory structures must be secondary structures on the lot and shall not overshadow the primary building or residence. They must be complementary to the primary structure.
- Garage doors must be designed in a way that is compatible with the chosen architectural style of the rest of the home and surrounding properties.



Applicant proposes a parking lot.

City Notes:

- Existing driveway to remain

Withdrawn by applicant

13341 Madison Ave



Docket No. 11-103-25 (13341-55 Madison)

Vacant Lot – Parking Lot
Thomas Leneghan



Docket No. 11-103-25 (13341-55 Madison)





Docket No. 11-103-25 (13341-55 Madison)

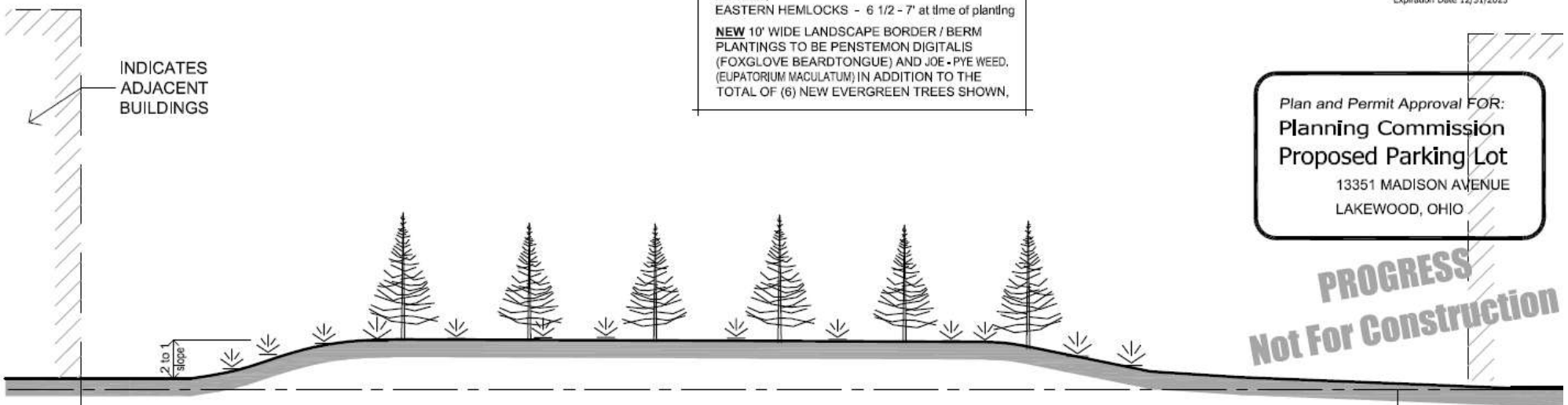
Plan and Permit Approval 10/27/2025	
Plan and Permit Approval 09/02/2025	
OWNER REVIEW 07/02/2025	
Revisor/Issue /Date	

NEIL A. SAFRAN License #11380
Expiration Date 12/31/2025

(6) NEW EVERGREENS:
FOR IN FRONT OF THE PARKING LOT
NORWAY SPRUCE or
SERBIAN SPRUCE or
CANAAN FIR [best] - 6 1/2 - 7' at time of planting
Alternate:
EASTERN HEMLOCKS - 6 1/2 - 7' at time of planting
NEW 10' WIDE LANDSCAPE BORDER / BERM
PLANTINGS TO BE PENSTEMON DIGITALIS
(FOXGLOVE BEARDTONGUE) AND JOE - PYE WEED,
(EUPATORIUM MACULATUM) IN ADDITION TO THE
TOTAL OF (6) NEW EVERGREEN TREES SHOWN.

Plan and Permit Approval FOR:
Planning Commission
Proposed Parking Lot
13351 MADISON AVENUE
LAKEWOOD, OHIO

PROGRESS
Not For Construction



DIAGRAMMATIC
Landscape Border [street] Elevation
Approximate Scale 3/16" = 1'-0"

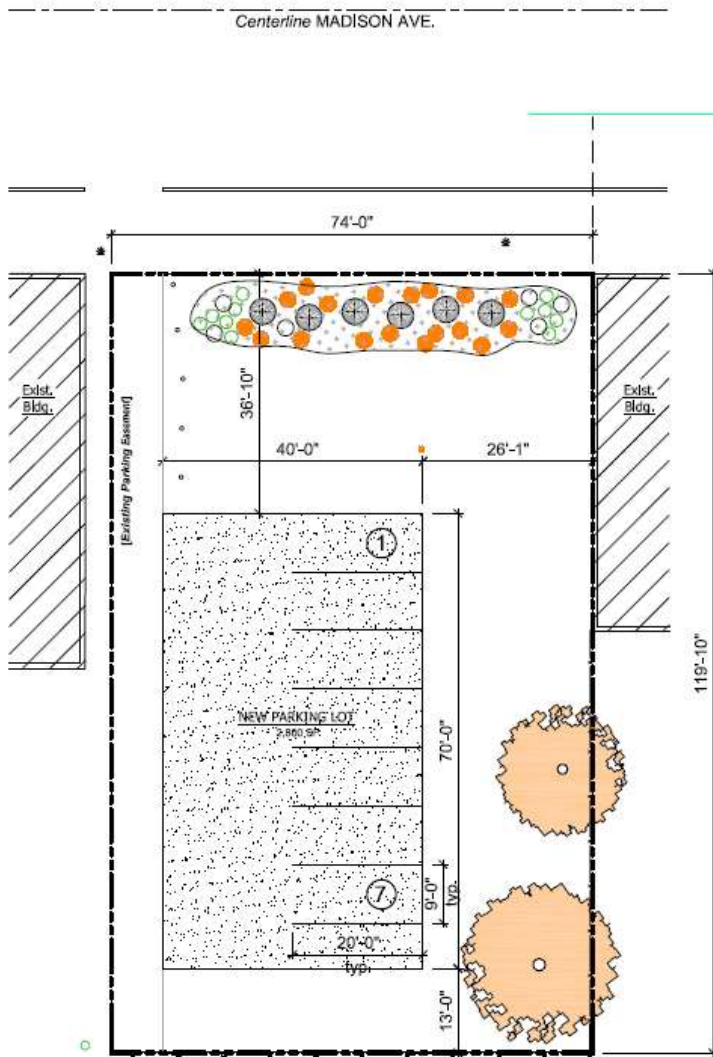
Safran Studio
ARCHITECTURE

NEIL A. SAFRAN • ARCHITECT
10489 KERWICK COURT, REMINDERVILLE, OHIO 44202
Ph. (330) 998-6367 SAFRANSTUDIO@aol.com

Safran Studio Job # 2025 - 18	Sheet
Sheet Contents Parking Lot Site Plan	S-p2
Scale approx. Scale 1" = 20'-0"	



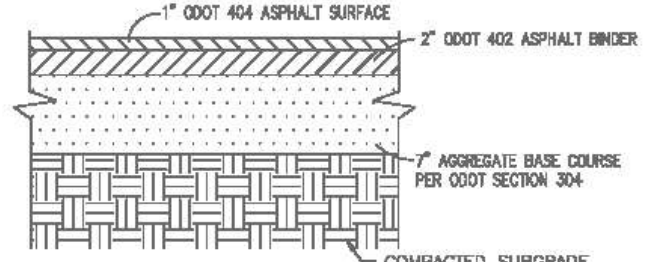
Docket No. 11-103-25 (13341-55 Madison)



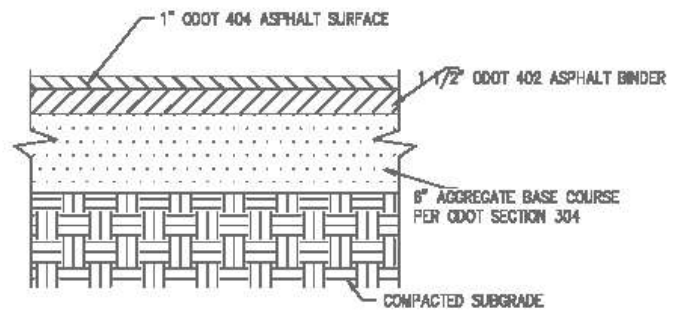
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HEAVY DUTY SECTION



LIGHT DUTY SECTION

ASPHALT PAVEMENT SECTIONS

NOT TO SCALE

* NOTE, CONDITIONS SHOWN ARE BASED ON
 FIELD MEASUREMENTS AND CUYAHOGA COUNTY
 LAND RECORDS. NOT AN ACTUAL LAND SURVEY.
 315-18-010
 NORTHCOAST AFFORDABLE H.O.J.SING LLC
 13351-55 MADISON AVE
 LAKEWOOD, OH. 44107

Plan and Permit Approval 10/27/2025	Stamp STATE OF OHIO NEIL A. SAFRAN 11380 REGISTERED ARCHITECT
Plan and Permit Approval 09/02/2025	
OWNER REVIEW 07/02/2025	
Revision/Issue /Date	

NEIL A. SAFRAN License #11380
 Expiration Date 12/31/2025

PROGRESS
 Not For Construction

Planning Commission
 Plan and Permit Approval FOR:
Proposed Parking Lot
 13351 MADISON AVENUE
 LAKEWOOD, OHIO

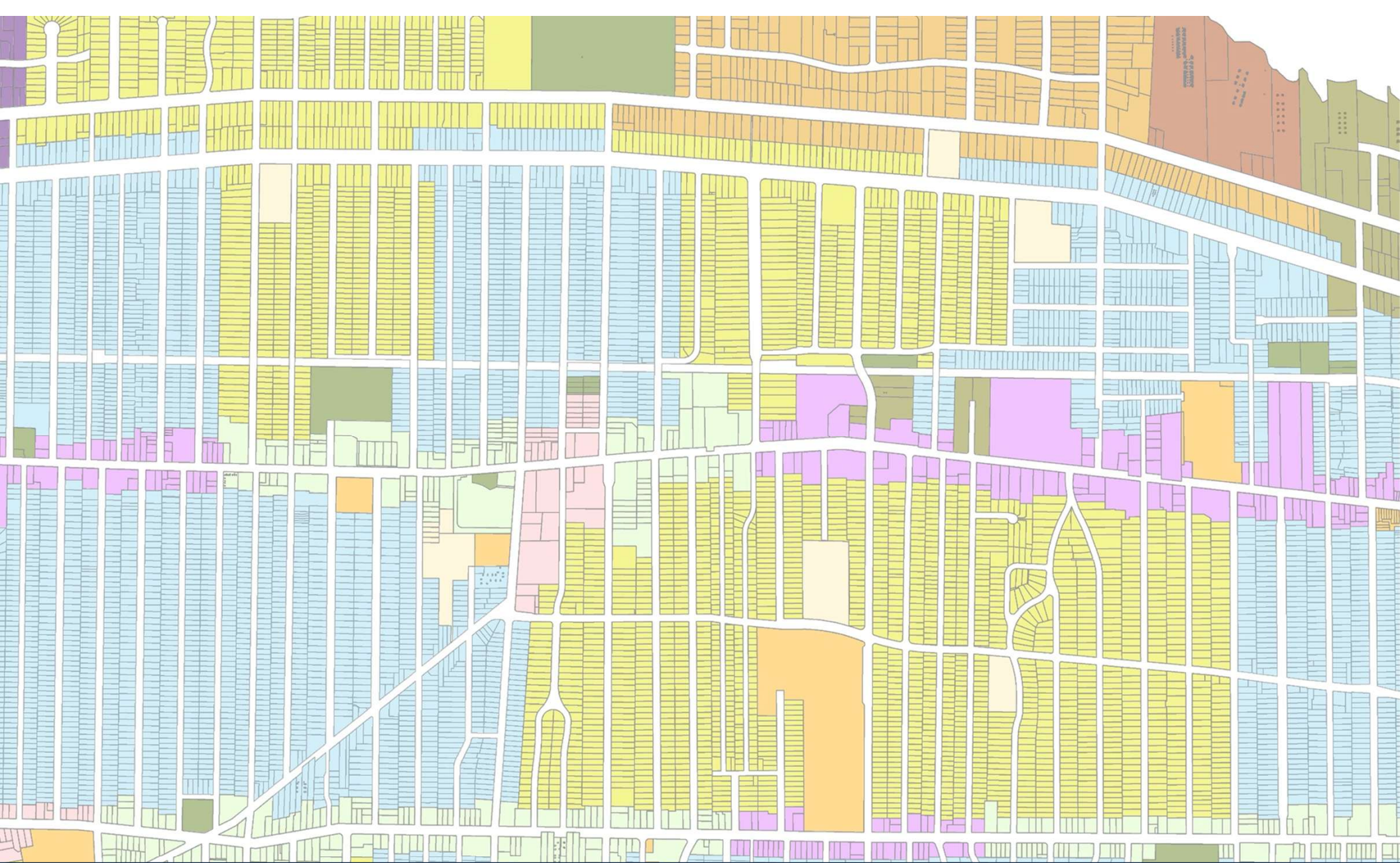
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Safran Studio Job # 2025 - 18	Sheet
Sheet Contents Parking Lot Site Plan	S-p1
Scale approx. Scale 1"=20'-0"	

PARKING LOT
*** SITE PLAN**
 * APPROXIMATE SCALE 1" = 20'-0"



Docket No. 11-103-25 (13341-55 Madison)



Architectural Board of Review

November 2025