

**MINUTES**  
**BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**  
**REVIEW MEETING**  
**CITY OF LAKEWOOD**  
**12650 DETROIT AVENUE**  
**AUDITORIUM**  
**DECEMBER 8, 2022**  
**5:30 P.M.**  
**RECORDED**  
<https://www.lakewoodoh.gov/videos-2/>

**1. ROLL CALL**

Board Members

Rob Donaldson  
Brian Grambort, Vice Chair  
David Maniet, Chair  
Hanna Cohan Plessner  
Jeremy Smith

Staff

David Baas, Board Secretary, Senior Planner  
Shawn Leininger, Director, Planning & Development  
Christopher Parmelee, Building Commissioner

**2. APPROVE THE MINUTES OF THE NOVEMBER 10, 2022 MEETING**

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the November 10, 2022 meeting minutes. All the members voting yea, the motion passed.

**3. OPENING REMARKS**

Staff read the opening remarks into record.

**SUMMARY APPROVED**

**SIGN REVIEW**

**At the December 1, 2022 pre-review meeting, items 10, 11, 17, 18, 21, 22, 24, and 25 were Summary Approved (any conditions will be noted). A motion and a second are needed for approval.**

**10. Docket No. 11-78-22**

**1474 W. 117<sup>th</sup> St.**

**Take 5 117<sup>th</sup> Way**

- ( ) Approve  
( ) Deny  
( ) Defer

Damiane' Handa  
4MC  
8040 Jordan Rd.  
Argenta, IL 62501

Applicant proposes updated signage for an existing business. (Page 41)

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- Given proposed white background, **provide internal opaque shielding** to restrict nighttime illumination to just the logo and lettering – avoiding excess glare per Section 1329.06 (a): "*Light sources to illuminate signs*

*shall be shielded from all adjacent buildings and streets and shall not be of such brightness so as to cause glare hazardous to pedestrians or motorists..."*

All the members voting yea, the motion passed.

**11. Docket No. 11-79-22**  
**16910 Detroit Ave.**  
**Take 5 Detroit Ave.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Damiane' Handa  
4MC  
8040 Jordan Rd.  
Argenta, IL 62501

Applicant proposes updated signage for an existing business. (Page 46)

A motion was made by Mr. Maniet, seconded by Mr. Donaldson to **APPROVE the request with the following condition:**

- Due to the sign location (high pedestrian traffic outside of normal business hours due to area bars/restaurants), the changeable copy element of sign will have a lockable transparent shield to keep the letters from being stolen or vandalized.

All the members voting yea, the motion passed.

**17. Docket No. 12-90-22**  
**13383 Madison Ave.**  
**Salvaged Boutique**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shawn Warren  
Erie Design Co. Inc.  
1249 Virginia Ave  
Lakewood, OH 44107

Applicant proposes a blade sign for a new business. (Page 105)

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request as submitted. All the members voting yea, the motion passed.

**18. Docket No. 12-91-22**  
**11860 Clifton Blvd.**  
**Healthy Heart Homes**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shawn Warren  
Erie Design Co. Inc.  
1249 Virginia Ave  
Lakewood, OH 44107

Applicant proposes a new sign face for an existing base. (Page 109)

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following condition:**

- Given proposed white background, **provide internal opaque shielding** to restrict nighttime illumination to just the logo and lettering – avoiding excess glare per Section 1329.06 (a): “*Light sources to illuminate signs shall be shielded from all adjacent buildings and streets and shall not be of such brightness so as to cause glare hazardous to pedestrians or motorists...*”

All the members voting yea, the motion passed.

**21. Docket No. 12-94-22**  
**13425 Madison Ave.**  
**Verb Studio**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Steven Foster  
 The Sign & Graphics Firm, LLC  
 14837 Detroit Ave., Ste. 195  
 Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 125)

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request as presented. All the members voting yea, the motion passed.

**22. Docket No. 12-95-22**  
**16210 Madison Ave.**  
**Green Massage**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Steven Foster  
 The Sign & Graphics Firm, LLC  
 14837 Detroit Ave., Ste. 195  
 Lakewood, OH 44107

Applicant proposes channel letter signage. (Page 127)

A motion was made by Mr. Maniet, seconded by Mr. Donaldson to **APPROVE** the request as presented. All the members voting yea, the motion passed.

**24. Docket No. 12-97-22**  
**13740 Madison Ave.**  
**Lakewood Tire Pros**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Dean Schramm  
 Schramm Signs  
 41431 Schadden Rd.  
 Elyria, OH 44035

Applicant proposes building signage. (Page 134)

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request as presented. All the members voting yea, the motion passed.

**25. Docket No. 12-98-22**  
**16400 Madison Ave.**

**Slate Studio**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Meridyth Boland  
 Slate Studio LLC  
 16400 Madison Ave.  
 Lakewood, OH 44107

Applicant proposes decal signage in the door and storefront windows. (Page 137)

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request as presented. All the members voting yea, the motion passed.

**OLD BUSINESS**

**ARCHITECTURAL BOARD OF REVIEW**

1. **Docket No. 07-35-22**  
**17853 Lake Rd.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

David Hesse  
 Payne & Payne Builders  
 10750 Mayfield Rd.  
 Chardon, OH 44024

Applicant proposes the demolition and rebuild of a single-family home. (Page 6)

Michael Caito, project architect and representative was present to explain the request. Discussion ensued about the chimneys, siding, materials, railing, front door, brick pier caps, column fascia/caps, light fixtures, porch ceilings and floors, the third floor porch needed a variance, metal roof; the members said it was an appropriate for the neighborhood. The staff said the swimming pool was purview of the Division of Housing and Building (“H&B”). Public comment was taken. Staff had not received written comment since the first meeting in July. The members said that the demolition was permitted under 1133.09(3)B. The applicant said the owners considered rehabilitating the existing structure, but the cost was more than building new.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following conditions:**

- **There will be no front porch railing.**
- **The siding will be smooth, not textured.**
- **The front porch material will be approved administratively.**
- **The standing seam metal roof will be approved administratively.**

All the members voting yea, the motion passed.

2. **Docket No. 11-74-22**  
**1485 Parkwood Rd.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Frank Gritti  
 1485 Parkwood Rd.  
 Lakewood, OH 44107

Applicant proposes a front porch addition. (Page 11)

Frank Gritti, applicant was present to explain the request. Discussion ensued about the lighting, the trim detail underneath the roof matching the existing was nice, stone veneer would be used to match the existing, the railing details were explained; the members liked the updates. Public comment was closed as no one addressed the item. Staff had no comments.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request with the following condition:

- **The railing detail will be as presented (not the railing elevation as in the packet).**

All the members voting yea, the motion passed.

**3. Docket No. 11-76-22**  
**1655 Roosevelt Ave.**

- |                                  |                      |
|----------------------------------|----------------------|
| <input type="checkbox"/> Approve | Christopher Walling  |
| <input type="checkbox"/> Deny    | 14225 Cedarwood Ave. |
| <input type="checkbox"/> Defer   | Lakewood, OH 44107   |

Applicant proposes the construction of a new garage. (Page 23)

Christopher Walling, applicant was present to explain the request. Staff had not received the updated submission and said the project still needed approval by the Board of Zoning Appeals; the status of the proposal was in the deferral status, as the garage was still too high.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **DEFER** the request. All the members voting yea, the motion passed.

**4. Docket No. 10-77-22**  
**1374 Manor Park Ave.**  
**Lakewood New Life Church**

- |                                  |                    |
|----------------------------------|--------------------|
| <input type="checkbox"/> Approve | Gregory Ernst      |
| <input type="checkbox"/> Deny    | A°DK Inc.          |
| <input type="checkbox"/> Defer   | 14394 Detroit Ave. |
|                                  | Lakewood, OH 44107 |

Applicant proposes construction of an addition on the east and south sides of the existing church. (Page 29)

Staff had not received any updates and recommended to table the request.

A motion was made by Mr. Maniet, seconded by Mr. Donaldson to **TABLE** the request. All the members voting yea, the motion passed.

**NEW BUSINESS**  
**ARCHITECTURAL BOARD OF REVIEW**

**12. Docket No. 12-85-22**  
**1060 Abbieshire Ave.**

- |                                  |                      |
|----------------------------------|----------------------|
| <input type="checkbox"/> Approve | John O'Reilly        |
| <input type="checkbox"/> Deny    | 1060 Abbieshire Ave. |
| <input type="checkbox"/> Defer   | Lakewood, OH 44107   |

Applicant proposes the screening of a front porch. (Page 52)

Tom Lenahan and John O'Reilly, applicant, were present to explain the request. Discussion commenced the colors, number of screened openings reduced to four (4), the fact that the screening could be reversed and were unobtrusive, the rationale behind the request, Staff reiterated a previous conversation with Mr. Lenahan. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request with the following condition:

- **The front screening is divided into four (4) equal areas rather than five (5).**

All the members voting yea, the motion passed.

**13. Docket No. 12-86-22  
17309 Lakewood Heights Blvd.**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Tom Murdoch  
Dover Home Remodelers Inc.  
29341 Lorain Rd.  
North Olmsted, OH 44070

Applicant proposes the enclosure of an existing second-story porch. (Page 65)

Patti Saracusa, representative was present to explain the request. Discussion ensued about the materials and colors. The members said it looked nice. Staff had no questions. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request as presented. All the members voting yea, the motion passed.

**14. Docket No. 12-87-22  
14800 Madison Ave.  
Urgent Care**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Joseph Kaye  
JL Architects  
115 Westtown Rd.  
West Chester, PA 19382

Applicant proposes exterior modifications. (Page 72)

Joseph Kaye, JL Architects, applicant was present to explain the updated request. Discussion began about the mural (it was to remain), Dumpster enclosure location and access, pedestrian circulation, main and back entrances, ADA accessibility, parking lot lighting (photometrics study to be done), the green spaces and landscaping, the elevations, future signage, the front entrance awning, the Warren Rd. spandrel glass windows, the glass windows on Madison Ave., the under-developed pocket park (an area would be created for RTA waiting, and administrative staff did not want the area for public space to be a requirement), the elimination of the curb cut onto Madison Ave. The members said the applicant was going in the right direction. Staff said the Planning Commission deferred the submission. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Donaldson to **DEFER** the request. All the members voting yea, the motion passed.

**15. Docket No. 12-88-22  
17900 Detroit Ave.  
Artis Restaurant**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Greydon Petznick  
ClevelandDRAW  
3342 Avalon Rd.  
Shaker Heights, OH 44120

Applicant proposes exterior modifications. (Page 91)

Greydon Petznick, ClevelandDRAW, applicant was present to explain the request. The members said it was a handsome project for the community, liked the color palette. Discussion continued about the west elevation and property line (a survey would be completed). The sign was important and would be presented later for approval. Staff appreciated the investment. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following condition:**

- **The future signage will reflect what is represented in the existing application.**

All the members voting yea, the motion passed.

#### **SIGN REVIEW**

**16. Docket No. 12-89-22**  
**17710 Detroit Ave.**  
**ADA Architecture**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Laura Higgins-Woyma  
Brilliant Electric Sign Company  
4811 Van Epps Rd.  
Cleveland, OH 44131

Applicant proposes a sign cabinet on an existing brick base. (Page 102)

Laura Higgins-Woyma, Brilliant Electric Sign Company, applicant, and Brian Quinn, ADA Architects were present to explain the request. Discussion ensued about the color and capping of the remaining brick, dimension of the stone cap, the black trapezoidal element, exposure of the LED tubing. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. to **APPROVE** the request as presented. All the members voting yea, the motion passed.

**19. Docket No. 12-92-22**  
**13425 Detroit Ave.**  
**O'Leary Dentistry**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Heath Newman  
Bruder 360  
138 West Dr.  
Lodi, OH 44254

Applicant proposes replacement of an existing sign. (Page 112)

Staff provided City Notes as shown in the presentation; the proposal had been referred to the Law Department. Kate O'Leary, representative for the business owner was present to explain the request. Discussion began about

the uniqueness of the business location; the members wanted a site plan, asked about materials, said it was a standard design for the neighborhood, suggested sleeving the post, sign illumination. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request with the following condition:

- **A site plan is submitted for administrative approval.**

All the members voting yea, the motion passed.

**20. Docket No. 12-93-22**  
**14200 Detroit Ave.**  
**Crumbl Cookie**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Jim Briola  
 North Coast Sign and Lighting Services Inc.  
 310 N. Broadway St.  
 Medina, OH 44256

Applicant proposes more than the allowable coverage for vinyl window signage. (Page 117)

Jim Briola, North Coast Sign and Lighting Services Inc., applicant was present to explain the request. The members asked about the total square footage of the window graphics; staff stated it was within the allowable. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE** the request as submitted. All the members voting yea, the motion passed.

**23. Docket No. 12-96-22**  
**18103 Detroit Ave.**  
**Gray House Pies**

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shawn Warren  
 Erie Design Co. Inc.  
 1249 Virginia Ave  
 Lakewood, OH 44107

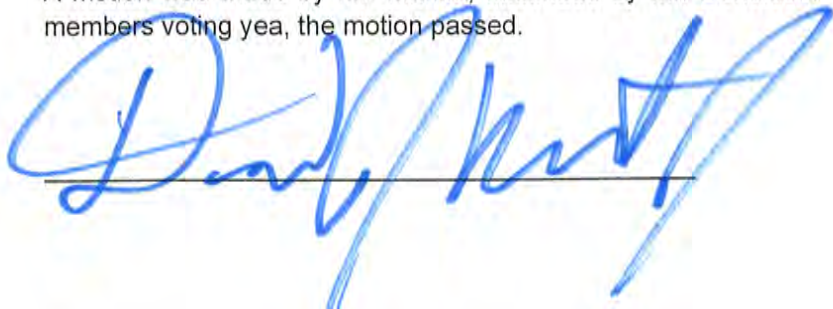
Applicant proposes signage in the sign band and window graphics. (Page 129)

Neither the applicant nor a representative was present to explain the request.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **DEFER** the item. All the members voting yea, the motion passed.

**ADJOURN**

A motion was made by Mr. Maniet, seconded by Mr. Donaldson to **ADJOURN** the meeting at 7:57 p.m. All the members voting yea, the motion passed.



1-12-2023

Signature

Date



Oath

*(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)*

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Michael Carls
- 2. Dawn Lister
- 3. Tim Lister
- 4. FRANK GRITTI
- 5. Chris Walling
- 6. Tom Lendon
- 7. John O'Reilly
- 8. PATTI SAMA CUSA
- 9. Joseph Kay
- 10. STEPHAN PETRICK
- 11. Laura Wynne

- 1. [Signature]
- 2. [Signature]
- 3. [Signature]
- 4. [Signature]
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- 6. [Signature]
- 7. [Signature]
- 8. [Signature]
- 9. [Signature]
- 10. [Signature]
- 11. BRIAN QUINN

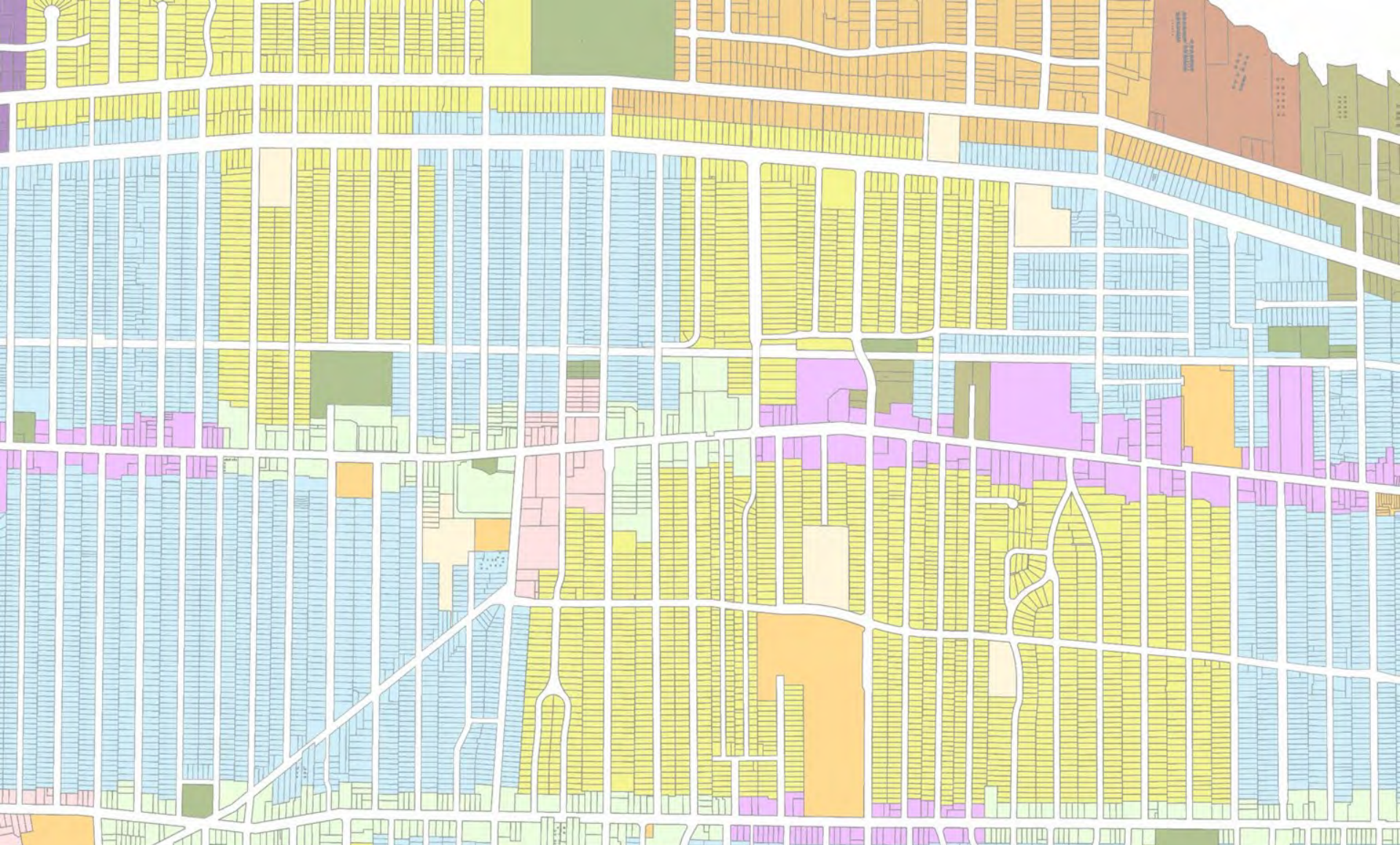
Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure:  ABR/BBS  Citizens Advisory  Civil Svc.  Dangerous Dog  Income Tax Appeals  Loan Approval  Nuisance Abatement Appeals  Parking  Planning  Zoning Appeals  Other:

Date of Proceeding: Thursday, December 8, 2022

Page 1 of 1



# Architectural Board of Review

December 2022



**Architectural Board of Review**

Pre-Review Meeting: 1 December, 4pm (East Conf Rm)

Regular Meeting: 8 December, 5:30 pm (Auditorium)

**Members**

*2022 Chair:* David Maniet

*2022 Vice Chair:* Brian Grambort

Rob Donaldson

Jeremy Smith

Hanna Cohan Plessner

**Staff**

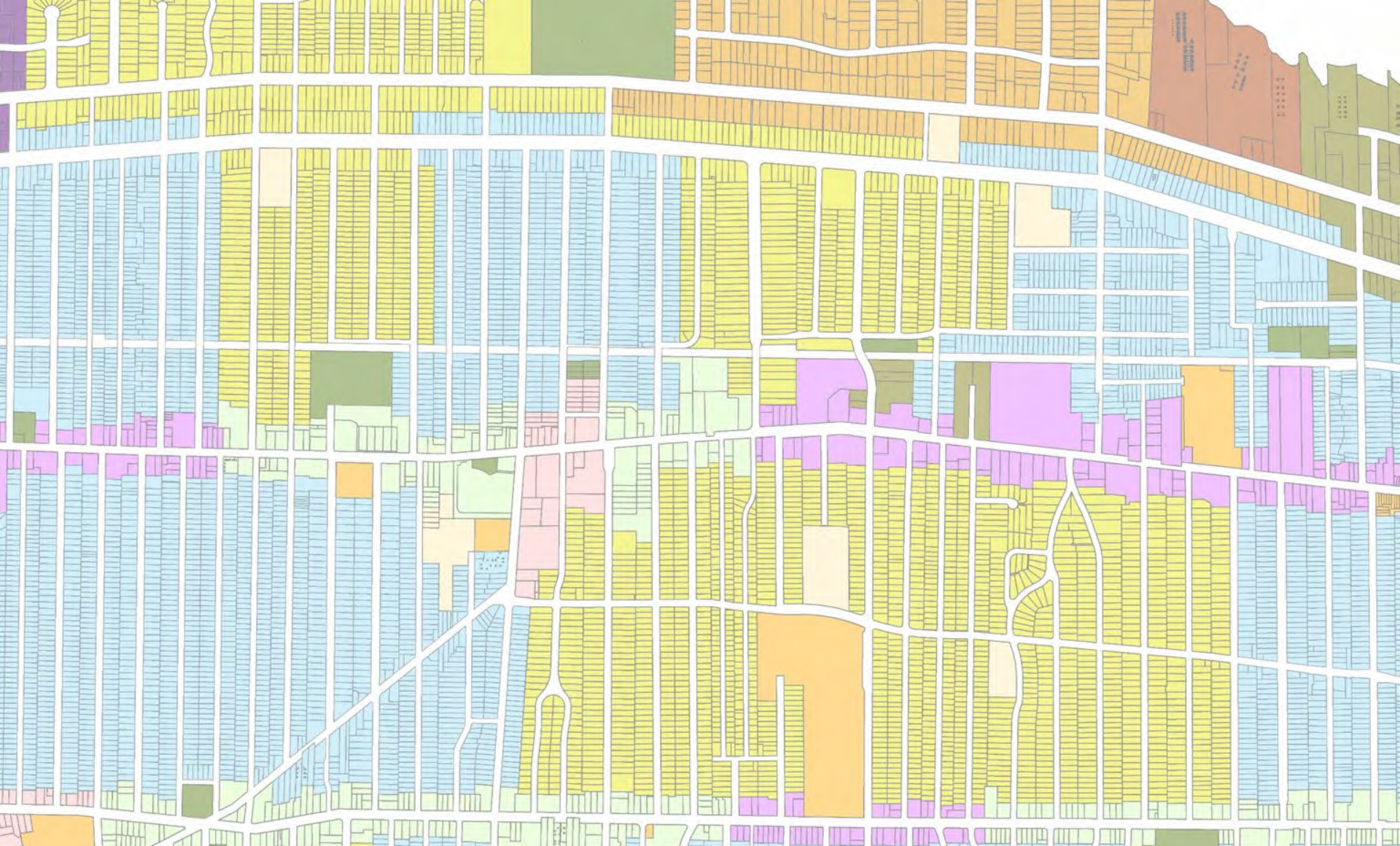
*Board Secretary:* David Baas

*Building Commissioner:* Chris Parmelee



## **Architectural Board of Review** **December Agenda**

1. Roll call
2. Approve minutes – November 2022 meetings
3. Opening Remarks
4. Summary Approval - Sign
5. Old Business
6. New Business
7. Sign Review
8. Adjourn



# Architectural Board of Review

## Sign Review (Summary Approval) – December 2022

# Applicant proposes refacing existing pole sign in C3 district.

## City Notes:

- Recommend internal opaque shielding to limit nighttime illumination to just lettering/logo.

Replacement Faces

Action:

- Remove (2) faces from existing double faced pyramid sign.
- Install (2) new replacement faces as shown.

City will not allow background to illuminate. Only logo and letters

Material & Color:

- W/af - 3M 3630-225 Autumn Yellow
- W/af - 3M 3630-93 Fire Engine Red
- W/af - 3M 3630-02 Black
- Substrate - Clear Acrylic
- Background - 3M 3635-02 Blackout Vinyl

7'-11" CB  
7'-8 1/2" VD  
7'-1 7/8"

6'-11" CB  
6'-8 1/2" VD  
3'-4"  
6'-9 1/4" VD  
6'-9 1/4" VD

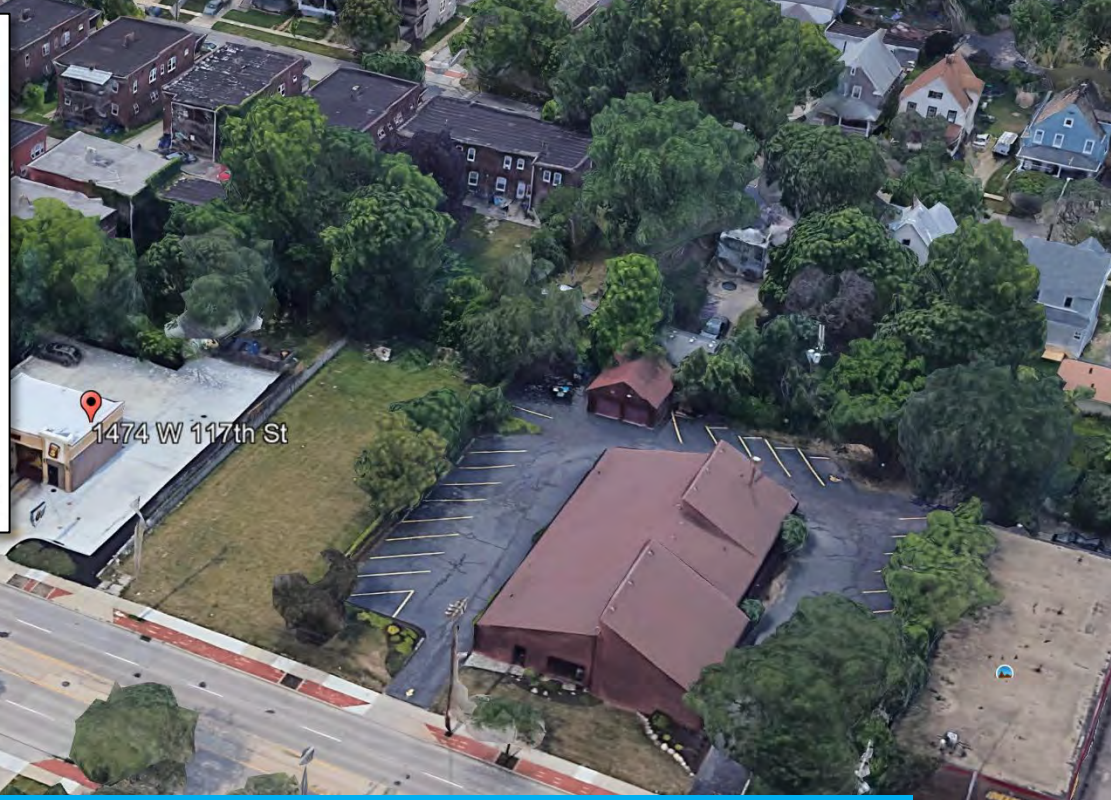
Background to be Opaque

Scale 3/4"=1'

atlas

Division: S01B

112 11865	1675 W 117th St
112 11865	1675 W 117th St
112 11865	1675 W 117th St



**Summary Approval (Condition Accepted)**



**Docket No. 11-78-22 (1474 W117)**

Sign – Take 5  
Damiane' Handa



# Applicant proposes new signage in C2 district.

## City Notes:

- ❑ Storefront ~34 ft...maximum allowable sign area of ~51 ft<sup>2</sup>
- ❑ Proposed projection/blade sign (~ 6 ft<sup>2</sup> total) added to existing window graphics.



**Summary Approval**

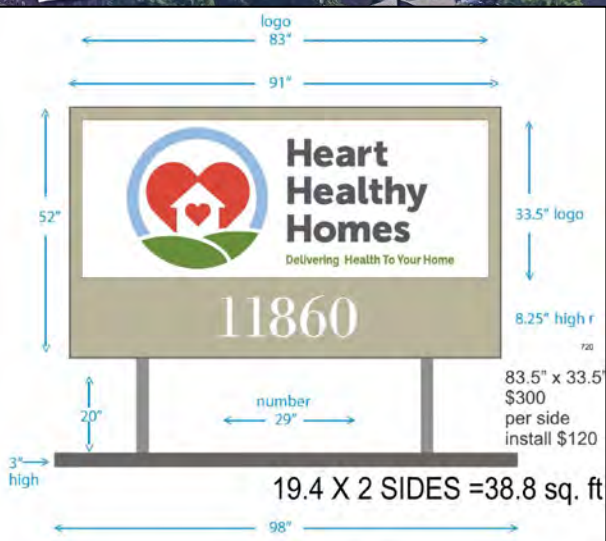


**Docket No. 12-90-22 (13383 Madison)**  
Sign – Salvaged Boutique  
Shawn Warren

**Applicant proposes refacing existing signage in MH district.**

**City Notes:**

N/A.



**Summary Approval (Condition Accepted)**



**Docket No. 12-91-22 (11860 Clifton)**  
Sign – Healthy Heart Homes  
Shawn Warren

# Applicant proposes new signage in C3 district.

## City Notes:

- ❑ Storefront ~34 ft...maximum allowable sign area of ~51 ft<sup>2</sup>
- ❑ Proposed wall sign (~ 25 ft<sup>2</sup> total).

**PROPOSED**  
7'-6"  
2'-6"  
18425  
VERB  
7'-6"  
2'-6"  
3/16" A588/A606, Type 4 HR Plate

**VIEW AT DUSK**  
7'-6"  
2'-6"  
18425  
VERB  
7'-6"  
2'-6"  
3/16" A588/A606, Type 4 HR Plate

**VERB**  
2'-6"  
7'-6"  
3/16" A588/A606, Type 4 HR Plate

LED-LX SIGN SIDE VIEW  
NOT TO SCALE

**SAF**  
SIGN & GRAPHICS  
FLOOR

Steven Foster  
13425 Madison Ave  
Lakewood, OH 44122  
311-162-22

This drawing is Copyrighted, and any reproduction, in whole or in part, without the written permission of SAF Sign & Graphics Floor is prohibited.



**Summary Approval**



**Docket No. 12-94-22 (13425 Madison)**

Sign – Verb Studio  
Steven Foster

# Applicant proposes new signage in C2 district.

## City Notes:

- ❑ Storefront ~15 ft...maximum allowable sign area of ~22.5 ft<sup>2</sup>
- ❑ Proposed wall sign (~ 20 ft<sup>2</sup> total).



**Summary Approval**



**Docket No. 12-95-22 (16210 Madison)**

**Sign – Green Massage  
Steven Foster**

# Applicant proposes replacement signage in C3 district.

## City Notes:

N/A.

### Sq Ft Comparison to Old Sign & Material Lists

157 in over all		Old Sign
17 in		57 in
36 in		
119 in		New Sign
17 in		57 in
10 in		
25.5 in		
157 in over all		

1. Aluminum Extrusion Raceways  
2. .040 Aluminum Letter Returns  
3. .125 Aluminum/Composite Letter Backs  
4. .125 High Impact Acrylic Face with Vinyl Lettering  
5. 1 in Plastic Jewel Lite Trim Cap  
6. Hanley LED 12v DC Lighting 0,62 watt Module

Keeping "LAKEWOOD" Existing Letters

U.S. Patent and Trademark Office

	Lakewood Tire Pros	November 17th, 2022	216-221-7969
<small>SCHRAMM SIGNS EXTERIOR SIGNAGE SOLUTIONS 440-365-9024</small>	Business 13740 Madison Ave., Lakewood, Ohio 44035	Date	Phone
	Location	Contact	

NOTICE: ALL DRAWINGS AND CONCEPTS ARE THE PROPERTY OF SCHRAMM SIGNS UNTIL PAID FOR. UNAUTHORIZED DISTRIBUTION OR USE WILL INCUR A \$500.00 DOLLAR CHARGE.



**Summary Approval**

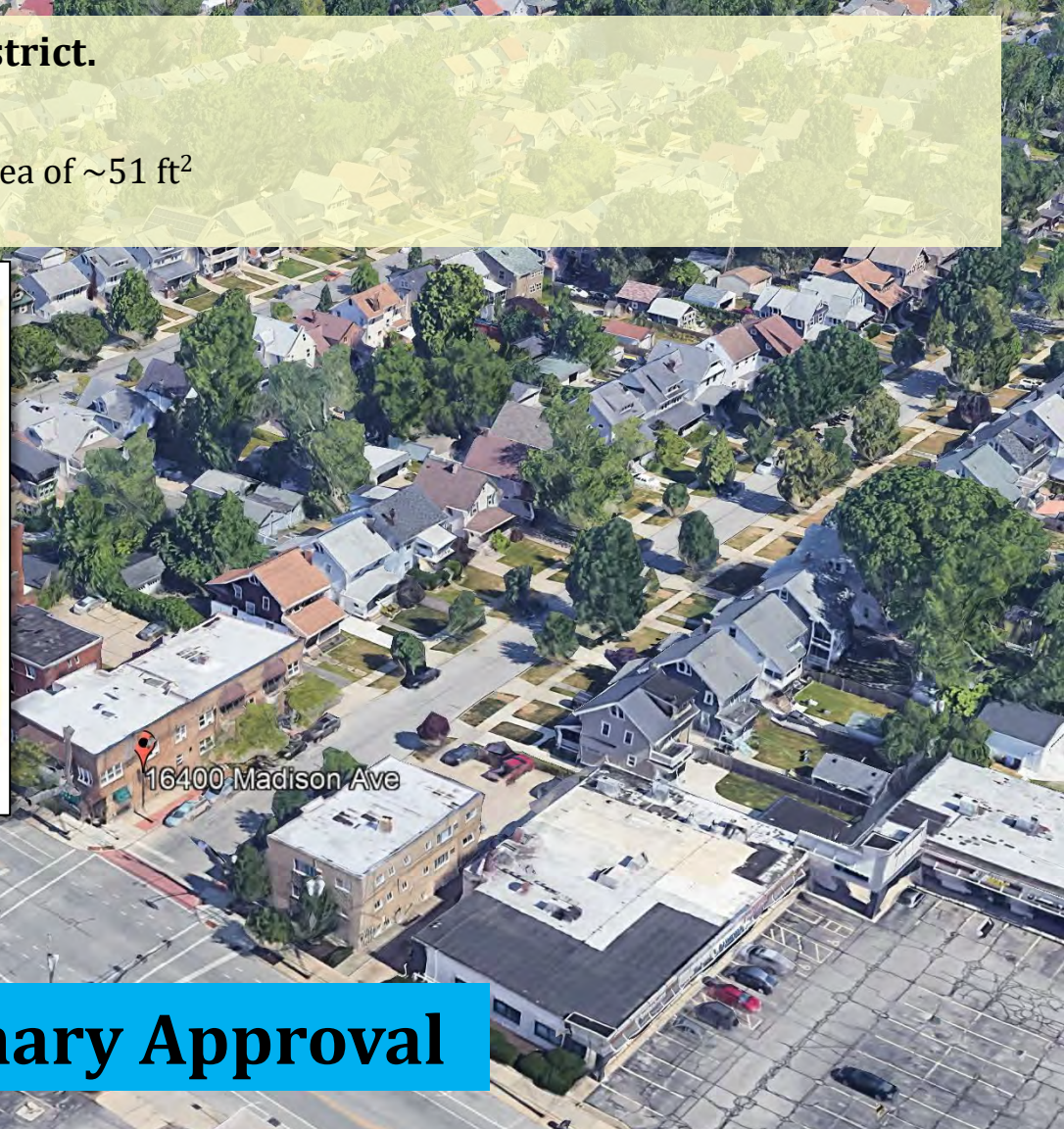


**Docket No. 12-97-22 (13740 Madison)**  
Sign – Lakewood Tire Pros  
Dean Schramm

# Applicant proposes new signage in C1 district.

## City Notes:

- ❑ Storefront ~34 ft...maximum allowable sign area of ~51 ft<sup>2</sup>
- ❑ Proposed wall sign (~ 25 ft<sup>2</sup> total).



16400 Madison Ave

**ORACAL® 651 INTERMEDIATE CALENDERED FILM**

**DESCRIPTION:**  
2.5 mil intermediate calendared PVC film with excellent dimensional stability, extremely good cutting and application characteristics. Available in 32 mil green glass exposure.

**Substrate Limit:**  
Substrates must be clean, dry, smooth and nonporous. All adhesive application (heating and release rollers) must be done under heat. Do not use adhesive on rough or porous substrates.

**Adhesive:**  
Clear, solvent-based, permanent adhesive.

**Area of Use:**  
Used to protect from wear and outdoor weathering, marking and decoration. Not for use in track and wheel.

**Technical Data:**

Thickness (actual over and adhesive)	2.5 mil
Dimensional Stability (P/ΔT 70-14)	±0.001 in/in (±0.025 mm/mm) at 70°F (21°C)
Temperature Resistance	Adhesive is rated for use in temperatures up to 175°F (79°C), no variation.

**SLATE STUDIO**  
Madison + Woodward  
MINI WINDOW

**SLATE STUDIO**  
16400  
FRONT DOOR

**ORACAL® 651 SPEC**

**TRUE SIZE OF DECAL**

**ORACAL® 651 SPEC**

**ORACAL® 651**  
1100 Grand Parkway  
Suite 100  
Phone 888-812-2281

**ORACAL® 651**  
1200 Gilling Drive  
Suite 100  
Phone 888-812-2281

**ORACAL® 651**  
2811 Broad Circle  
Gainesville, Georgia 30606  
Phone 888-812-2281

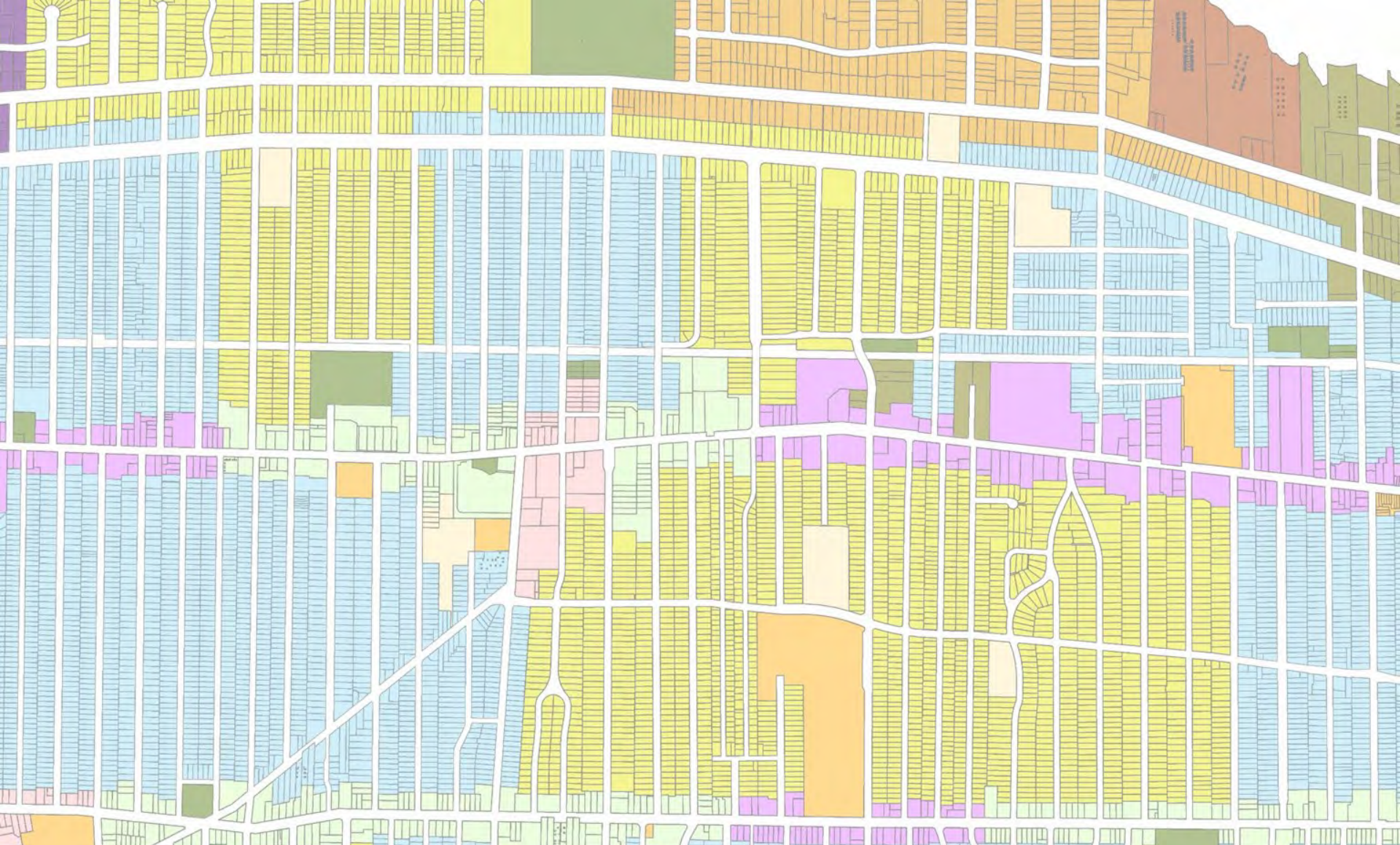
**ORACAL® 651**  
www.oracal.com

## Summary Approval

# Docket No. 12-98-22 (16400 Madison)

Sign – Slate Studio  
Meridyth Boland





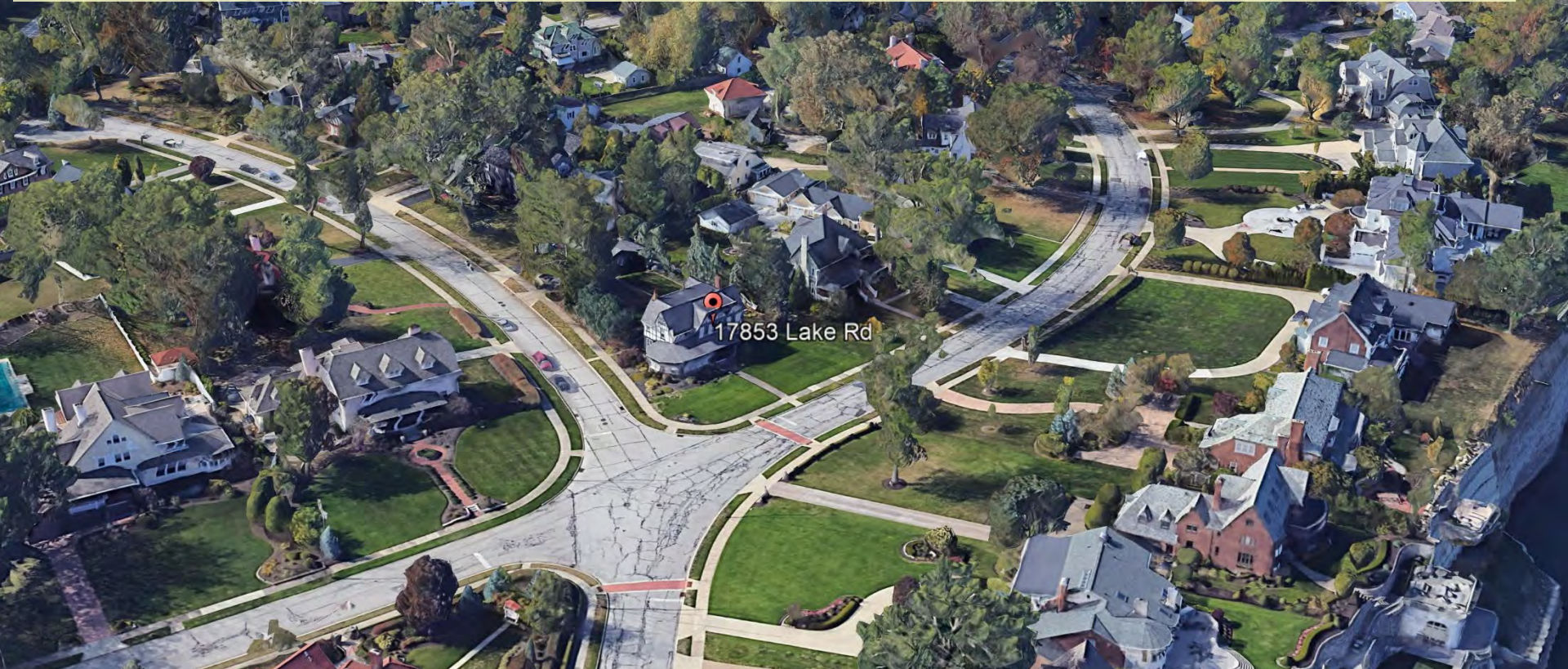
# Architectural Board of Review

Old Business – December 2022

# Applicant proposes the demolition and rebuild of a single-family home.

## City Notes:

- Within Clifton Park Lakefront District (1974), Section 1133.09 applies (not locally-designated HP).
- Illustrate how proposed design represents the *“historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood”* referenced in 1133.09.
- Will require additional variance for uncovered patio deck (third floor).



**Docket No. 07-35-22 (17853 Lake)**

**Demolition/New Construction**

**David Hesse**



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



## Home Inspection Report

### Project Information

12-20-21

17853 Lake Rd. Lakewood Ohio 44107

Conor Sweeney, Isabel Sweeney  
csweeney12@jcu.edu, montoyaisabelc@gmail.com,  
amberlynncallahan@gmail.com,

### Prepared By

Marko Vovk 216-924-8378  
Ambassador Construction Consultants LLC.  
1501 Spring Garden Ave. Lakewood Ohio 44107  
clevelandmold@aol.com, www.houseinvestigations.com



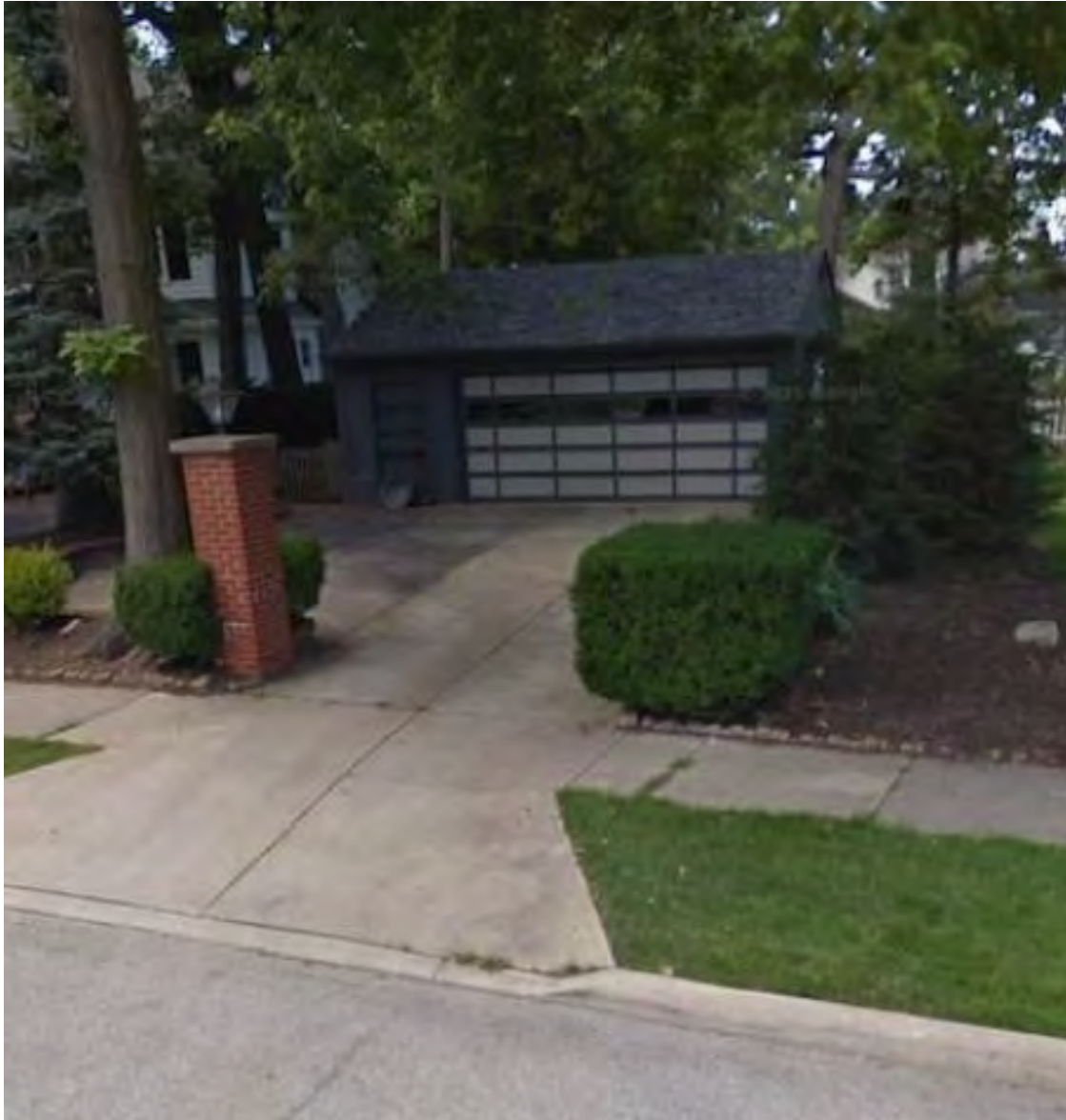
**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction

SITE ADDRESS: 17853 LAKE ROAD

**NOTES:**

- XXXX\* PROPOSED GRADE
- XXXXX EXISTING ELEVATION
- EX. CONTOUR
- PROP. CONTOUR
- ← INDICATES DIRECTION OF SURFACE WATER AFTER FINAL GRADING.

BENCH MARK: TOP OF HYDRANT  
INTERSECTION OF LAKE RD./FOREST RD.  
ELEVATION = 639.13

MINIMUM FALL AWAY FROM HOUSE IS 6 INCHES IN 10 FEET.

MAINTAIN POSITIVE YARD DRAINAGE (TO SWALES, YARD DRAINS, NATURAL WATERCOURSES OR STREET) ACROSS.

VERIFY MINIMUM SLOPE OF 1% FROM BOTTOM OF FOOTER TO STORM AND SANITARY LATERALS. IF 1% CANNOT BE ACHIEVED, CONTACT CITY ENGINEER.

UNDERGROUND INFORMATION SHOWN TAKEN FROM IMPROVEMENT PLANS AND TYPE, SIZE AND ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.

CONTRACTOR MUST CHECK BENCH MARK WITH PERMANENT GRADE BEFORE ANY EXCAVATION OR WORK IS STARTED.

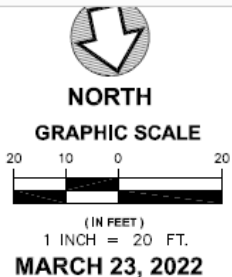
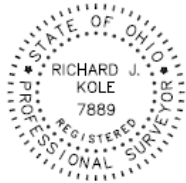
THE SITE SHALL COMPLY WITH "SPECIFICATIONS FOR INDIVIDUAL LOT PROTECTION" AND "EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES".

THIS PLAN FOR SITE PURPOSES ONLY. REFER TO HOUSE PLANS FOR FOUNDATION DETAILS AND DIMENSIONS.

- 5/8" CAPPED IRON PIN TO BE SET
- IRON PIN FOUND

Dimensions shown herein are expressed in feet and decimal parts thereof. Monuments were found or set as indicated hereon. Bearings shown are to an assumed meridian and are for the sole purpose of describing the relative angular value between lines, all of which I certify to be correct to the best of my knowledge and belief.

*Richard J. Kole* 3/23/22  
Richard J. Kole, Reg. Surveyor #7889 Date



**CONNECTIONS:**

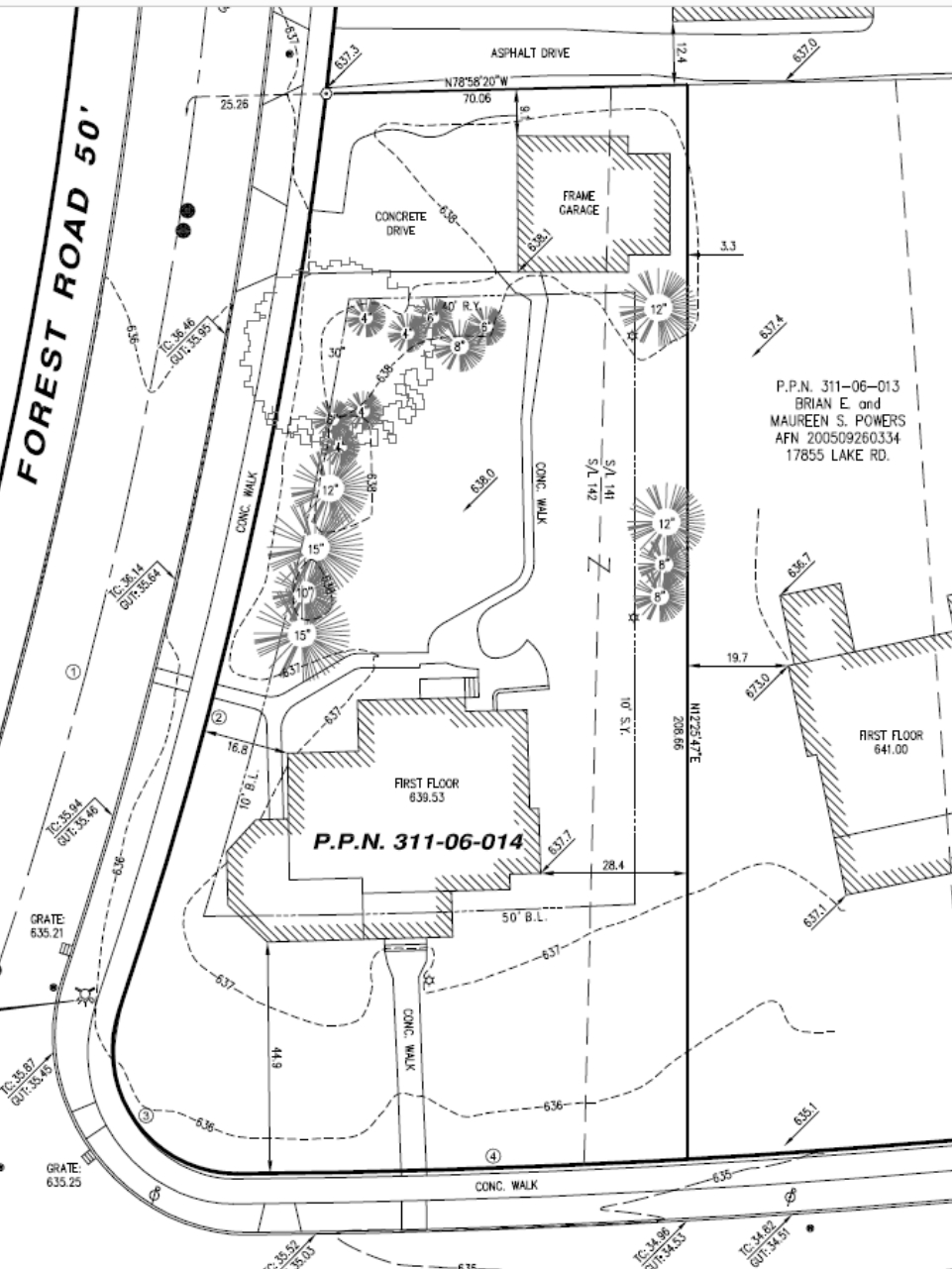
- (A) = USE 1" TYPE "K" COPPER
- (B) (C) = USE 6" PVC SDR 35 w/ GASKETS 1% MIN., 10% MAX.

PREMIUM FILL FOR ALL UTILITY TRENCHES UNDER PROPOSED DRIVEWAY AND WALKS.

**BMP LEGEND**

- (SF) SILT FENCE or SILT SOCK
- (CE) CONSTRUCTION ENTRANCE
- (CW) CONCRETE WASHOUT

BENCH MARK  
TOP OF HYD.  
- 639.13



P.P.N. 311-06-013  
BRIAN E. and  
MAUREEN S. POWERS  
AFN 200509260334  
17855 LAKE RD.

P.P.N. 311-06-014



# SITE IMPROVEMENT & SWP3 PLAN

SITUATED IN THE CITY OF LAKEWOOD, COUNTY OF CUYAHOGA AND STATE OF OHIO AND KNOWN AS BEING ALL OF SUBLOT NO. 142 AND PART OF SUBLOT NO. 141 IN THE CLIFTON PARK LAND AND IMPROVEMENT COMPANY ALLOTMENT AS SHOWN BY THE RECORDED PLAT IN VOLUME 29, PAGE 11 OF CUYAHOGA COUNTY RECORDS.

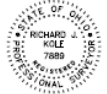
DEED REFERENCE:  
 P.P.N. 311-06-014  
 CONDOMINIUM ISABEL C. SWEENEY  
 AFN 20202150834  
 SITE ADDRESS: 17853 LAKE ROAD

### NOTES:

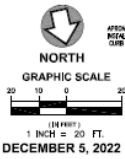
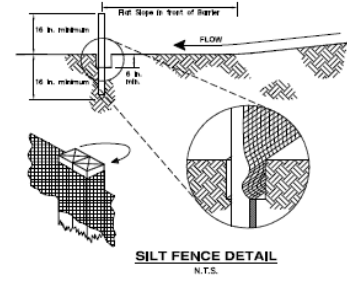
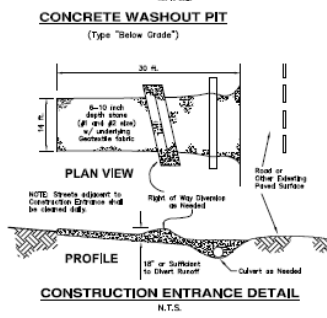
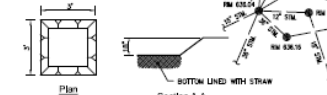
- EXIST. PROPOSED GRADE
- EXIST. EXISTING ELEVATION
- EX. CONTOUR
- PROP. CONTOUR
- INDICATED DIRECTION OF DRAINAGE
- WATER AFTER FINAL DRAINAGE
- BENCH MARK TOP OF HYDRANT
- INSPECTION OF LANE 101, FOREST RD. ELEVATION = 638.13
- MINIMUM FALL AWAY FROM HOUSE IS 6 INCHES IN 10 FEET
- MAINTAIN POSITIVE SHARD DRAINAGE (TO SINKS, SHARD DRAINAGE, NATURAL, IN RECOGNIZES OF STREET) ACROSS
- VERIFY MINIMUM SLOPE OF 1% FROM BOTTOM OF FOOTING TO STORM AND SANITARY LATERAL 1" IF CONTACT BE AVOIDED, CONTACT CITY ENGINEER
- UNDESIRABLE INFORMATION SHOWN FROM IMPROVEMENT PLANS AND THIS SIZE AND LOCATION TO BE KEPT IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION
- CONTRACTOR MUST CHECK BENCH MARK WITH PERMANENT GRADE BEFORE ANY EXPANSION OF WORK IS STARTED
- THE SITE SHALL COMPLY WITH SPECIFICATIONS FOR MINIMUM LOT PROTECTION AND SEWERAGE AND SEWAGE CONTROL FOR CONSTRUCTION SITES
- THIS PLAN FOR USE PURPOSES ONLY REFER TO HOUSE PLANS FOR FOUNDATION DETAILS AND DIMENSIONS
- 5/8" CAPPED IRON PIN TO BE SET
- IRON PIN FOUND

Dimensions shown herein are expressed in feet and decimal parts thereof. Measurements were found or set on indicated corners. Bearings shown are to an assumed meridian and are to the best of my knowledge and belief.

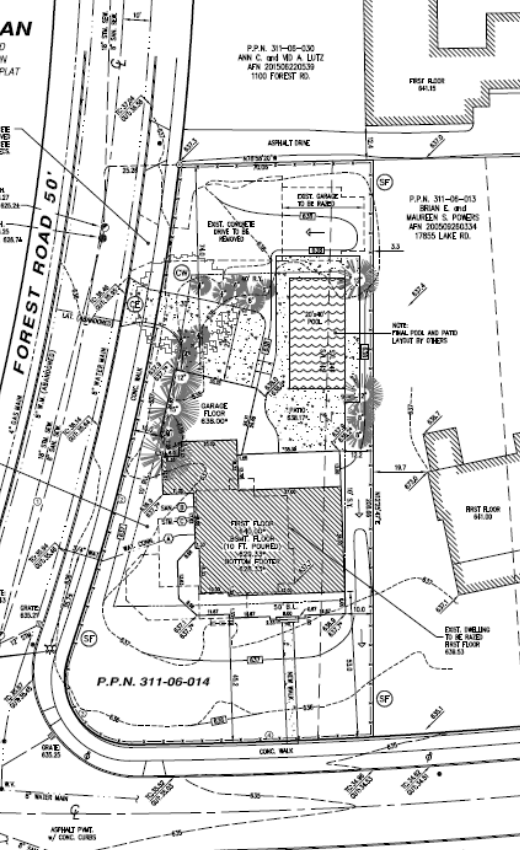
*Richard A. Kille, Inc. Surveyors (P) 00*  
 12/15/22



**SIDEWALK NOTE:**  
 REPLACE ANY AND ALL DAMAGED OR DETERIORATED CONCRETE SIDEWALK SECTIONS. SIDEWALK SHALL BE 6" MINIMUM THICKNESS.



- CONNECTIONS:**
- (A) = USE 3/4" TYPE 'X' COVER
  - (B) = USE 6" PVC SWP 35 W/ GRAPES TO AIR, SEE PLAN
  - (C) = PREMIUM FILL AND ALL UTILITY REINFORCES UNDER PROPOSED DRIVEWAYS AND WALKS
- EXIST. CONNECTIONS:**
- THE LOCATION OF EXIST. CONNECTIONS (SANITARY AND STORM) IS UNKNOWN AND BEING PROVISION OF LOCATION OF LOCATION FOUND IN FIELD. PRIOR TO THE START OF CONSTRUCTION, THE USE EXISTING LATERALS FROM WEST SIDE TO THE SEWER MAINS. ANY GRAPES SHALL BE REMOVED/REPLACED BY OWNER.
- BMP LEGEND**
- (SF) SILT FENCE or SILT SOCK
  - (CE) CONSTRUCTION ENTRANCE
  - (CM) CONCRETE MURKIN



- (R) = 854.89
- (A) = 142.547
- (I) = 37.277
- (T) = 108.20
- (C) = 246.00
- W2192547E
- (R) = 878.89
- (A) = 179.747
- (I) = 162.89
- (T) = 8.75
- (C) = 162.10
- W2192547E
- (R) = 24.00
- (A) = 102.017
- (I) = 45.11
- (T) = 33.71
- (C) = 35.11
- W2192547W
- (R) = 1763.81
- (A) = 324.229
- (I) = 82.41
- (T) = 43.73
- (C) = 87.81
- W2192277W

Prepared by  
**RMK KOLE**  
 1200 High Street - Cleveland, OH 44115  
 Phone: (440) 581-1517 - Fax: (440) 581-7539  
 www.rmkkole.com  
 File No. 22017 Iss.



# Docket No. 07-35-22 (17853 Lake) Demolition/New Construction

**NORTH**

**GRAPHIC SCALE**

(IN FEET)  
1 INCH = 20 FT.

**CEMBER 5, 2022**

**CONNECTIONS:**

- = USE 3/4" TYPE "K" COPPER
  - ⊕ = USE 6" PVC SDR 35 w/ GASKETS  
1% MIN., 10% MAX.
- MEDIUM FILL FOR ALL UTILITY TRENCHES  
OVER PROPOSED DRIVEWAY AND WALKS.

**TEST CONNECTIONS:**

LOCATION OF EXIST. CONNECTIONS  
(WATER and STORM) IS UNKNOWN. NO  
3RD INFORMATION OR EVIDENCE OF  
LOCATION FOUND IN FIELD. PRIOR TO THE  
START OF CONSTRUCTION, FILM THE  
EXISTING LATERALS FROM TEST TEES TO  
SEWER MAINS. ANY DEFECTS SHALL BE  
REPAIRED/REPLACED BY BUILDER.

**BMP LEGEND**

- ⊕ SILT FENCE or SILT SOCK
- ⊕ CONSTRUCTION ENTRANCE
- ⊕ CONCRETE WASHOUT

Monuments  
meridian  
on lines, all

5/22  
SAN. M.H.  
RIM 635.72  
8" INV. 622.5±

STM. M.H.  
RIM 636.25  
18" INV. 625.4±

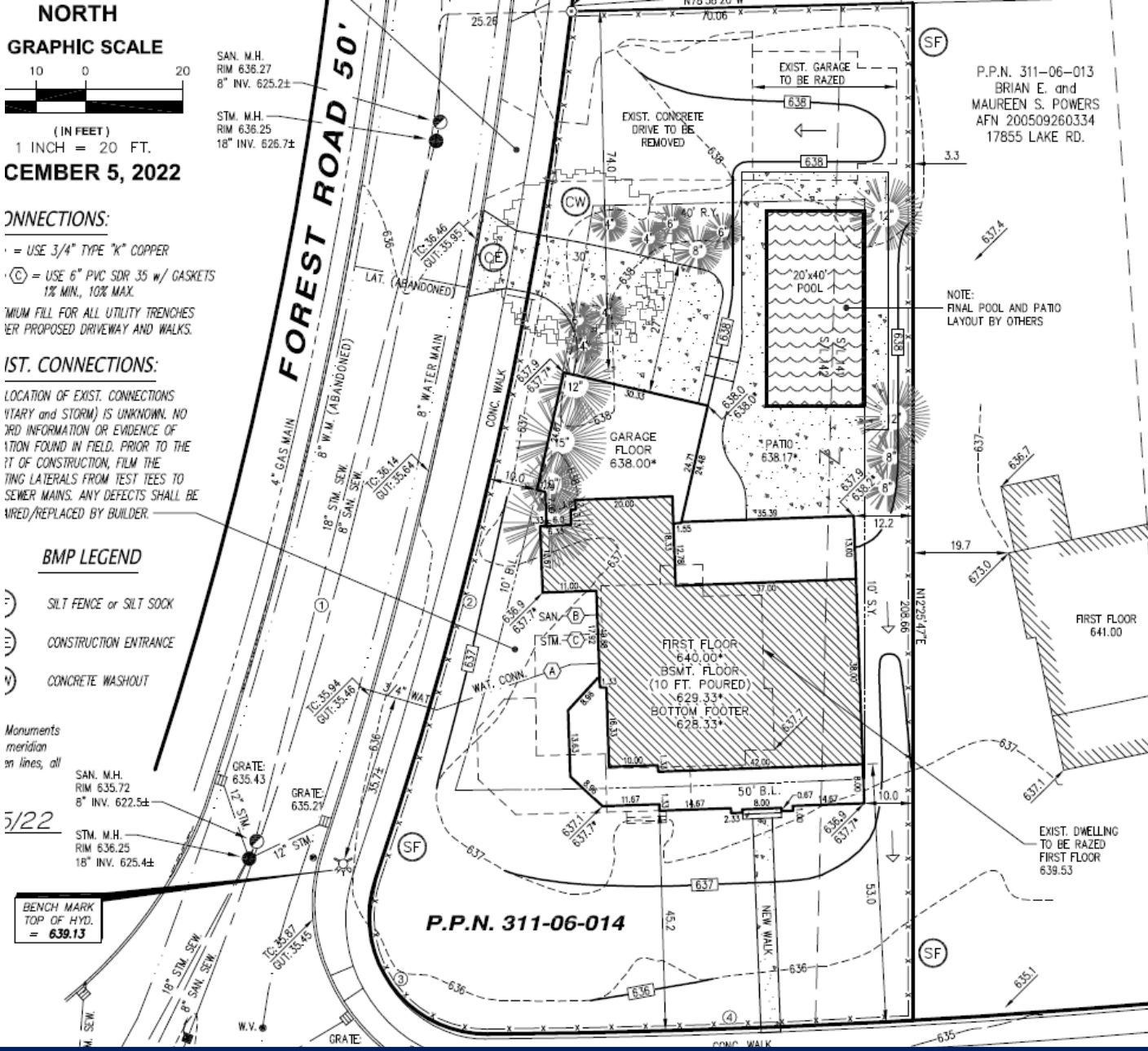
BENCH MARK  
TOP OF HYD.  
= 639.13

SAN. M.H.  
RIM 636.27  
8" INV. 625.2±

STM. M.H.  
RIM 636.25  
18" INV. 626.7±

P.P.N. 311-06-013  
BRIAN E. and  
MAUREEN S. POWERS  
AFN 200509260334  
17855 LAKE RD.

NOTE:  
FINAL POOL AND PATIO  
LAYOUT BY OTHERS



**Docket No. 07-35-22 (17853 Lake)**  
**Demolition/New Construction**





SWEENEY LANDSCAPE CONCEPT  
 1"=20'  
 12.7.22 DAYNE & PAYNE

# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction





AREA SCHEDULE	
NAME	AREA
Finished First Floor	2438 sq ft.
Finished Second Floor	2110 sq ft.
Bonus Room	506 sq ft.
Finished Third Floor	825 sq ft.
<b>Total</b>	<b>6879 sq ft.</b>

**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

12/7/2022

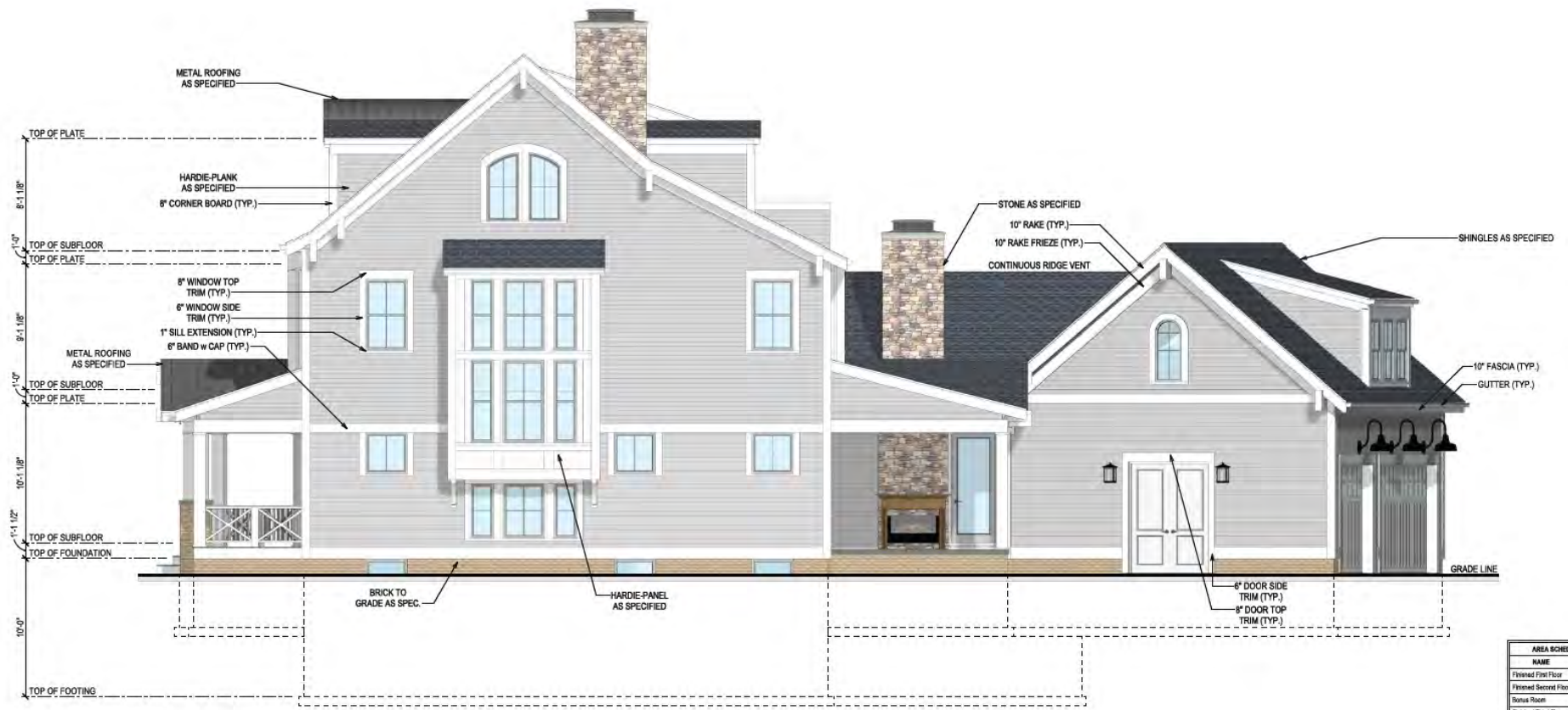
**Payne & Payne**  
BUILDERS INC

COPYRIGHT 2022  
SCALED TO PRINT ON 11" x 17" SHEET  
CONOR AND ISABEL SWEENEY



# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



AREA SCHEDULE	
NAME	AREA
Finished First Floor	2458 sq ft.
Finished Second Floor	2110 sq ft.
Basement	826 sq ft.
Finished Third Floor	825 sq ft.
Total	6219 sq ft.

**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Finished First Floor	2498 sq ft
Finished Second Floor	2115 sq ft
Bonus Room	506 sq ft
Finished Third Floor	825 sq ft
<b>Total</b>	<b>6039 sq ft</b>



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction

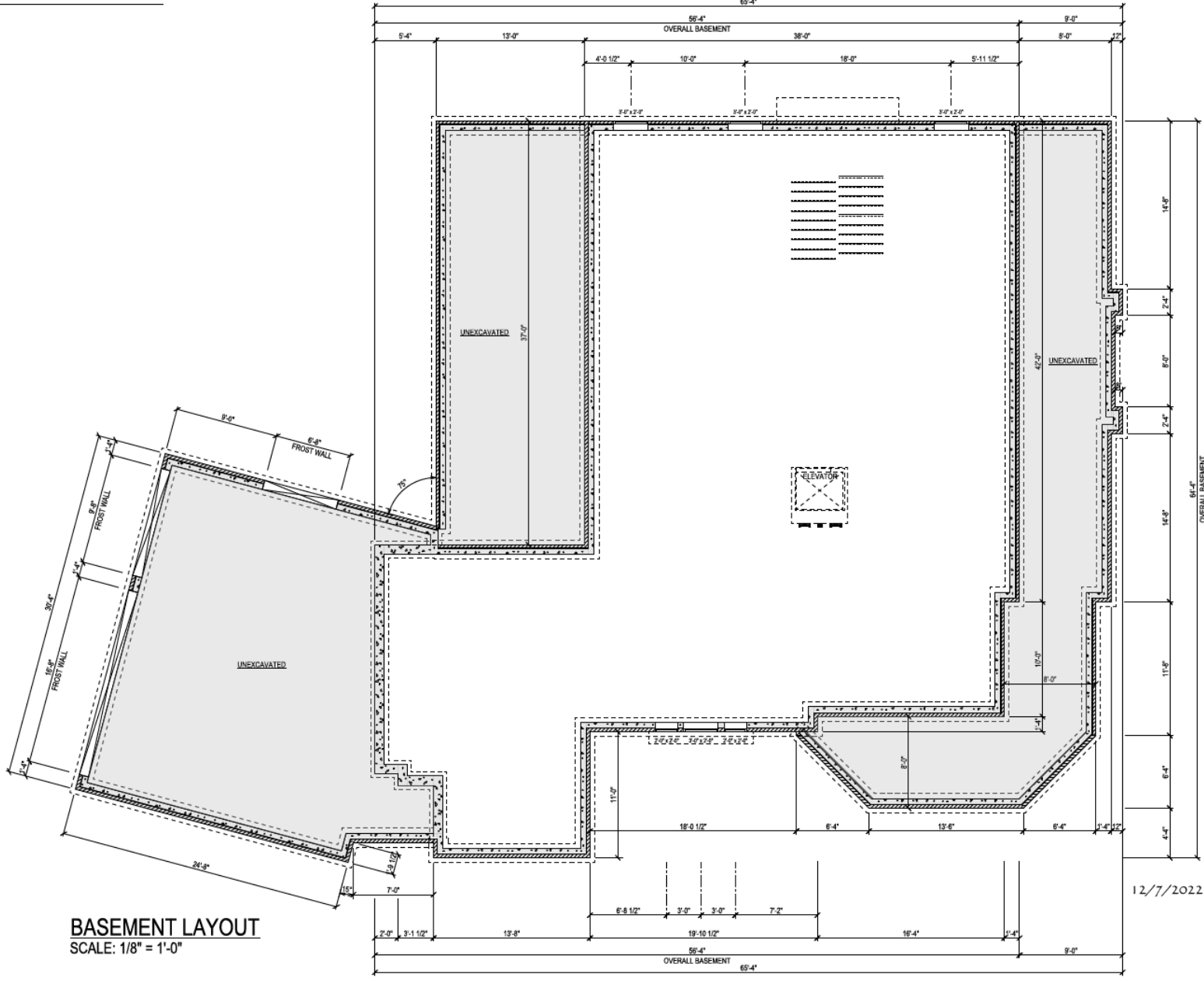


**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction





**BASEMENT LAYOUT**  
SCALE: 1/8" = 1'-0"

AREA SCHEDULE		
NAME	AREA	
Finished First Floor	2098 sq. ft.	
Finished Second Floor	2115 sq. ft.	
Basement	586 sq. ft.	
Finished Third Floor	525 sq. ft.	
<b>Total</b>	<b>5324 sq. ft.</b>	



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12/7/2022

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# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



**FIRST FLOOR LAYOUT**  
SCALE: 1/8" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Finished First Floor	2939 sq. ft.
Finished Second Floor	2115 sq. ft.
Basement	356 sq. ft.
Finished Third Floor	625 sq. ft.
<b>Total</b>	<b>6035 sq. ft.</b>



**Payne & Payne**  
BUILDERS INC

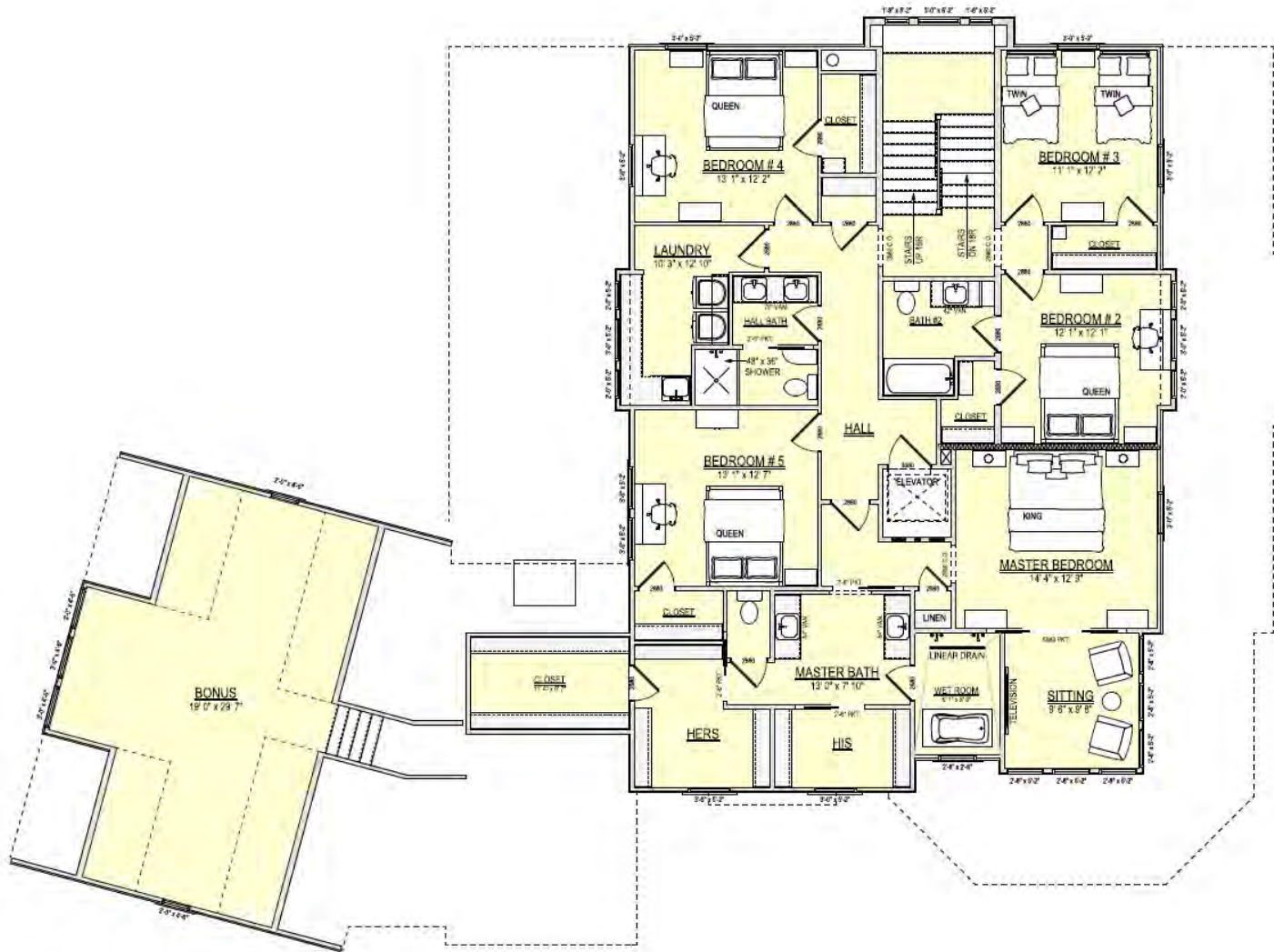
12/7/2022

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# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



**SECOND FLOOR LAYOUT**  
SCALE: 1/8" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Finished First Floor	2039 sq. ft.
Finished Basement Floor	2159 sq. ft.
Basement Room	355 sq. ft.
Finished Third Floor	925 sq. ft.
<b>Total</b>	<b>6588 sq. ft.</b>



12/7/2022

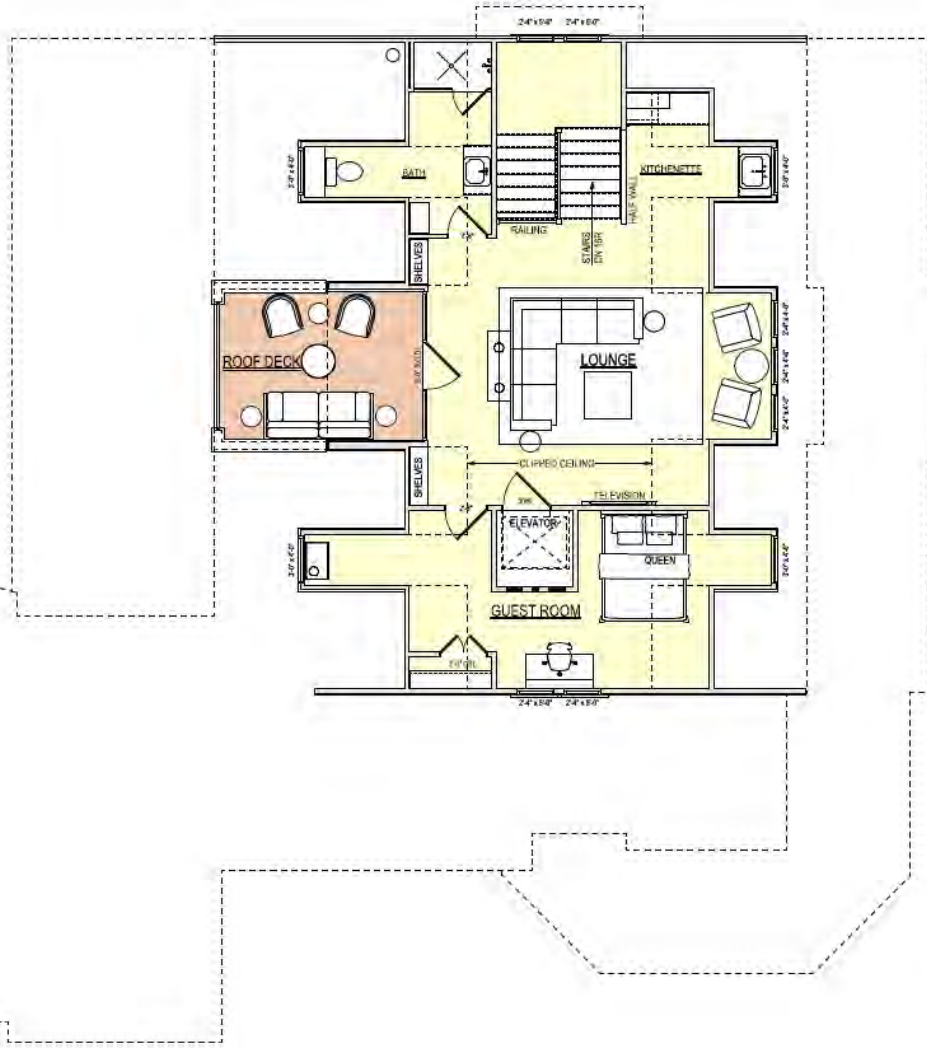
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CONOR AND ISABEL SWEENEY



# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



AREA SCHEDULE	
NAME	AREA
Finished First Floor	2028 sq. ft.
Finished Second Floor	2571 sq. ft.
Basement	826 sq. ft.
Finished Third Floor	826 sq. ft.
<b>Total</b>	<b>6251 sq. ft.</b>



**THIRD FLOOR LAYOUT**  
SCALE: 1/8" = 1'-0"

12/7/2022

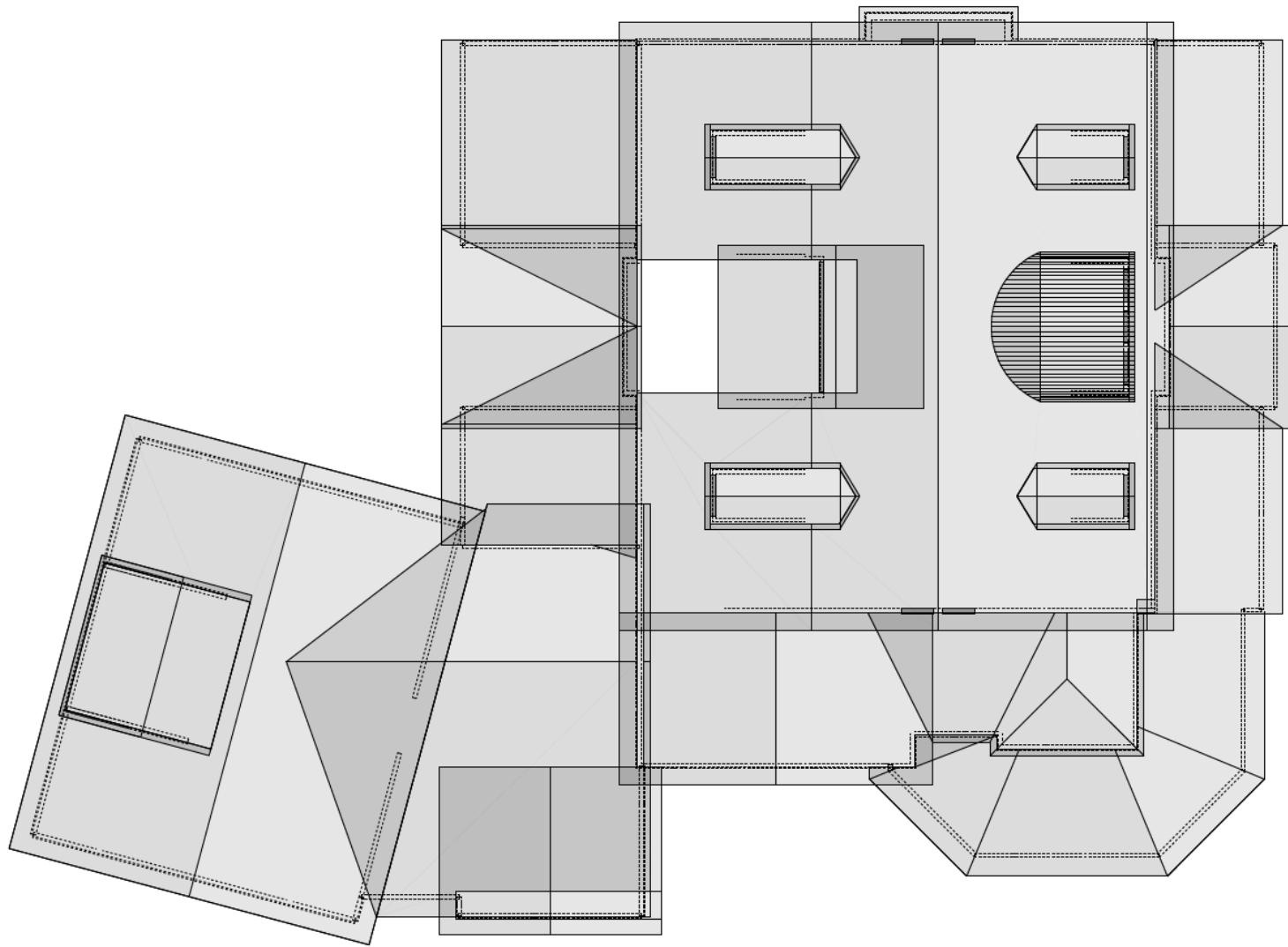
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**BUILDERS INC**

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# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



AREA SCHEDULE	
NAME	AREA
Finished First Floor	2499 sq. ft.
Finished Second Floor	2713 sq. ft.
Basement	526 sq. ft.
Finished Third Floor	825 sq. ft.
<b>Total</b>	<b>6563 sq. ft.</b>



**ROOF OVERVIEW**  
SCALE: 1/8" = 1'-0"

12/7/2022

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# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



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12/7/2022

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**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction





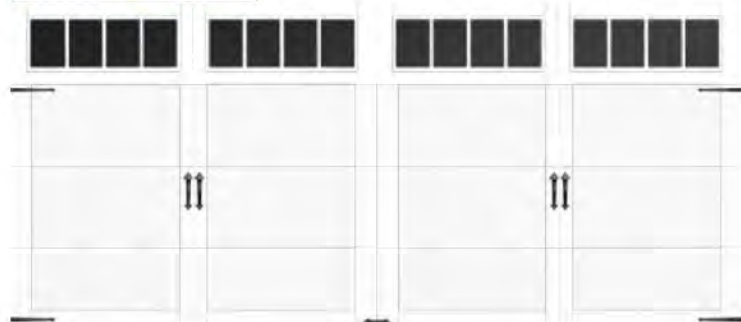
**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



Marvin Elevate fiberglass exterior/ wood interior SDL with spacer bars.



Therma Tru fiberglass wood stainable or painted finish (mutins optional). Alternate : custom wood door (stained)



Applied Products:

	Paint	White	White
Windows	Clear		
Garage Door	Carriage House Steel	6600 Panel 10' x 8'	
Hardware	Hinge	Arrow 16" x 8"	
Hardware	Full Handle	Arrow 16" x 8"	
Hardware	Lift Handle	Arrow 16" x 8"	
Windows	Carriage House Steel 6600 Window	Blockbridge insert 7"	



## 1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(b) Requirements Before Demolition or Removal of Principal Structures on Residential Properties. No demolition or removal of a principal structure, built in 1945 or earlier...shall be permitted unless and until one (1) of the following conditions is satisfied:

(1) The Safety Director of the *City* authorizes the Commissioner to grant a demolition or removal permit, based on causes such as fire or other source of property damage or loss, in order to remedy conditions immediately dangerous to life, health or property, or to remedy a nuisance, as jointly determined and recommended by the Commissioner, the Fire Chief, and the *City* Engineer; or (Ord. 24-2016. Passed 5-2-2016.)

(2) The passage of 180 days following application to the Commissioner for a demolition permit or permit to move a principal structure, during which time the applicant has further made good faith application to all required boards and commissions of the *City* for approval of a new principal structure at the location of such property; or

(3) The proposed principal structure at the location of such property **conforms to the design requirements set forth in Chapter 1325 of the Building Code and has been approved by the Architectural Board of Review**, and by any other required boards and commissions of the *City*, in order to proceed with the new principal structure. In addition, notwithstanding any other requirements, all approvals for such proposed principal structure shall be based on the following factors:

A. The **proposed principal structure is consistent with the Code, the Vision and the “Standards for Rehabilitation”** adopted by the U.S. Secretary of the Interior, as stated in Title 36 of the Code of Federal Regulations, Part 1208 (Formerly of Part 67); and

B. The **proposed principal structure is consistent with any historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood.**

C. The Secretary of all such required boards and commissions of the *City* shall immediately notify the Commissioner of compliance with the provisions of this section by any applicant that would allow and provide for the issuance of a demolition permit or a removal permit by the Commissioner.



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction

# Clifton Park Lakefront District (1974)

Form 10-300 (Rev. 6-72) UNITED STATES DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE

STATE: Ohio  
COUNTY: Cuyahoga  
FOR NPS USE ONLY  
ENTRY DATE: NOV 20 1974

**NATIONAL REGISTER OF HISTORIC PLACES INVENTORY - NOMINATION FORM**  
(Type all entries - complete applicable sections)

1. NAME  
COMMON: Clifton Park Lakefront District  
AND/OR HISTORIC:

2. LOCATION **W. D. BENES (TIFFANY) HOUSE MAY NOT BE PUBLISHED.**  
STREET AND NUMBER: *roughly bounded by* See Continuation Sheet  
Clifton Boulevard, Rocky River, Lake Erie and Webb Road  
CITY OR TOWN: Lakewood CONGRESSIONAL DISTRICT: 23 - William Minshall  
STATE: Ohio CODE: 039 COUNTY: Cuyahoga CODE: 035

3. CLASSIFICATION

CATEGORY (Check One)	OWNERSHIP	STATUS	ACCESSIBLE TO THE PUBLIC
<input checked="" type="checkbox"/> District <input type="checkbox"/> Site	<input type="checkbox"/> Building <input type="checkbox"/> Structure <input type="checkbox"/> Object	<input type="checkbox"/> Public Public Acquisition: <input type="checkbox"/> In Process <input type="checkbox"/> Being Considered	<input checked="" type="checkbox"/> Occupied <input type="checkbox"/> Unoccupied <input type="checkbox"/> Preservation work in progress
		<input type="checkbox"/> Transportation <input type="checkbox"/> Other (Specify)	Yes: <input checked="" type="checkbox"/> Restricted <input type="checkbox"/> Unrestricted <input type="checkbox"/> No

PRESENT USE (Check One or More as Appropriate)

<input type="checkbox"/> Agricultural	<input type="checkbox"/> Government	<input type="checkbox"/> Park	<input type="checkbox"/> Transportation	<input type="checkbox"/> Comments
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Private Residence	<input type="checkbox"/> Other (Specify)	
<input type="checkbox"/> Educational	<input type="checkbox"/> Military	<input type="checkbox"/> Religious		
<input type="checkbox"/> Entertainment	<input type="checkbox"/> Museum	<input type="checkbox"/> Scientific		

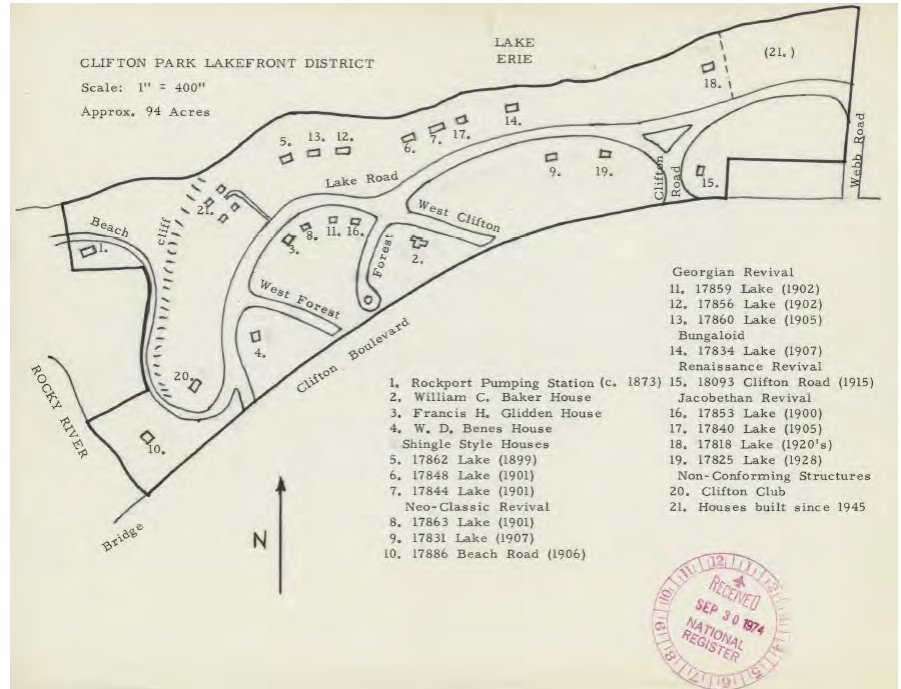
4. OWNER OF PROPERTY  
OWNER'S NAME: Multiple private ownership  
STREET AND NUMBER:  
CITY OR TOWN: STATE: Ohio CODE: 039

5. LOCATION OF LEGAL DESCRIPTION  
COURTHOUSE, REGISTRY OF DEEDS, ETC.: Cuyahoga County Building  
STREET AND NUMBER: 1219 Ontario  
CITY OR TOWN: Cleveland STATE: Ohio CODE: 039

6. REPRESENTATION IN EXISTING SURVEYS  
TITLE OF SURVEY:  
DATE OF SURVEY:  Federal  State  County  Local  
DEPOSITORY FOR SURVEY RECORDS:  
STREET AND NUMBER:  
CITY OR TOWN: STATE: CODE: DATE: NOV 20 1974

SEE INSTRUCTIONS

RECEIVED SEP 30 1974 NATIONAL REGISTER



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



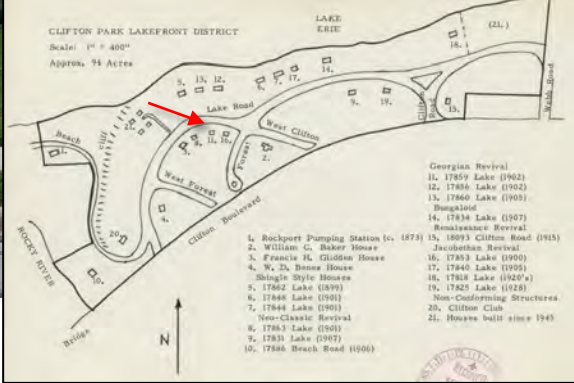
# Docket No. 07-35-22 (17853 Lake)

## Demolition/New Construction



Jacobethan Revival  
16, 17853 Lake (1900)

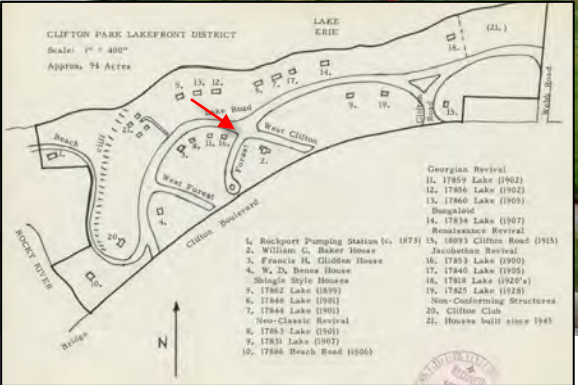
Georgian Revival  
11, 17859 Lake (1902)



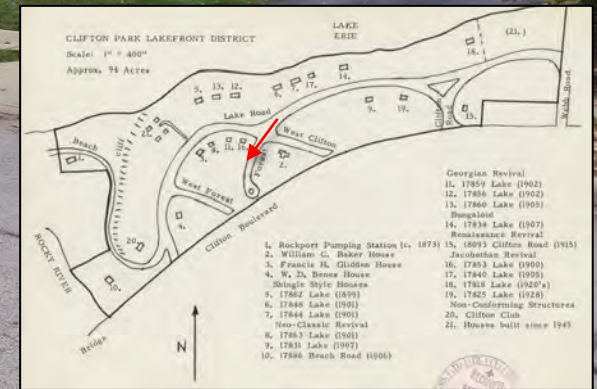
**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



2. William C. Baker House



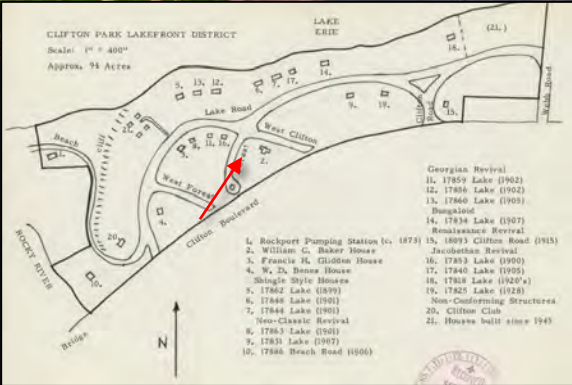
**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction



2. William C. Baker House

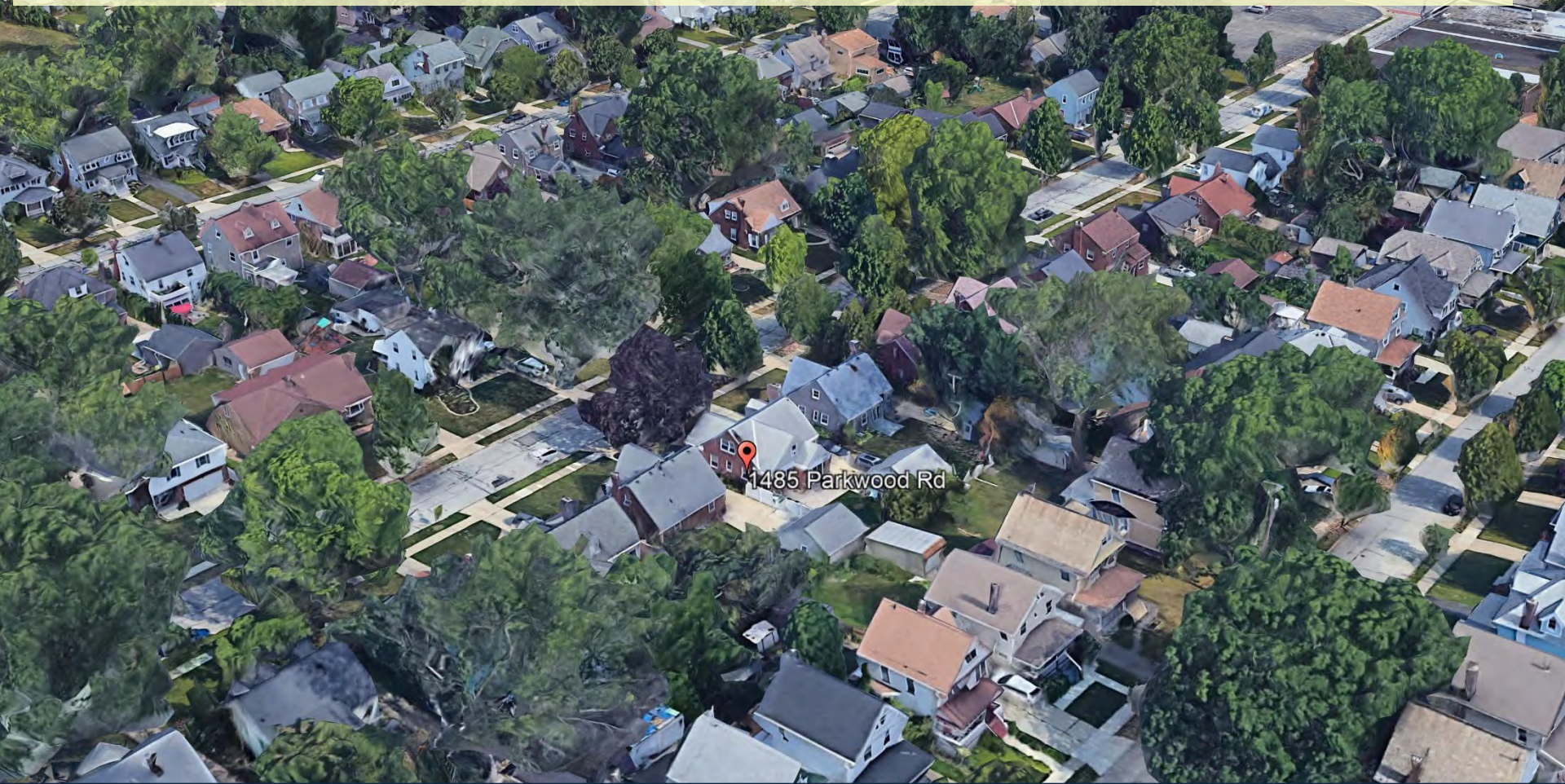


**Docket No. 07-35-22 (17853 Lake)**  
Demolition/New Construction

**Applicant proposes addition of a front porch.**

**City Notes:**

N/A.



**Docket No. 11-74-22 (1485 Parkwood)**

**Residential – Front Porch Addition**

**Frank Gritti**



**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition

# EXISTING CONDITIONS



**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition

# NEIGHBORHOOD CONTEXT



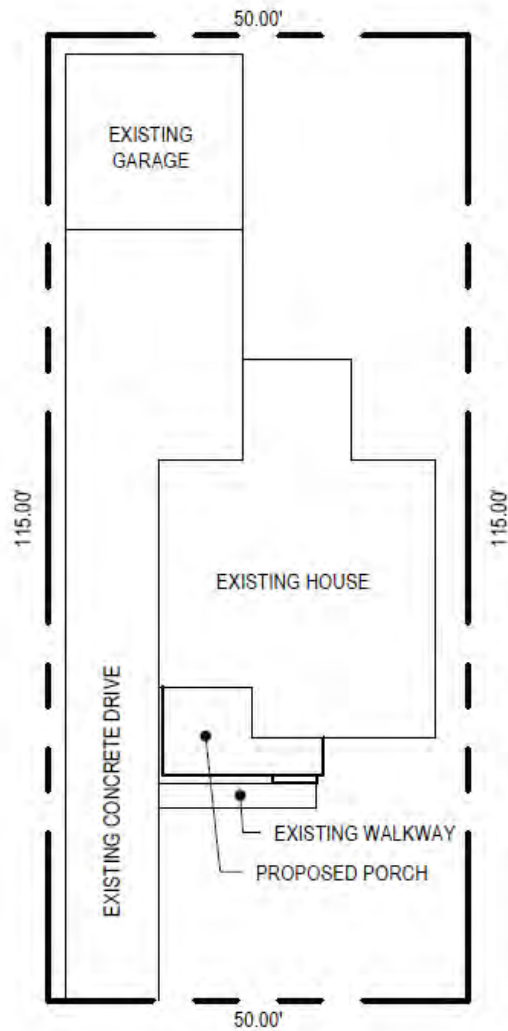
**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition



**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition



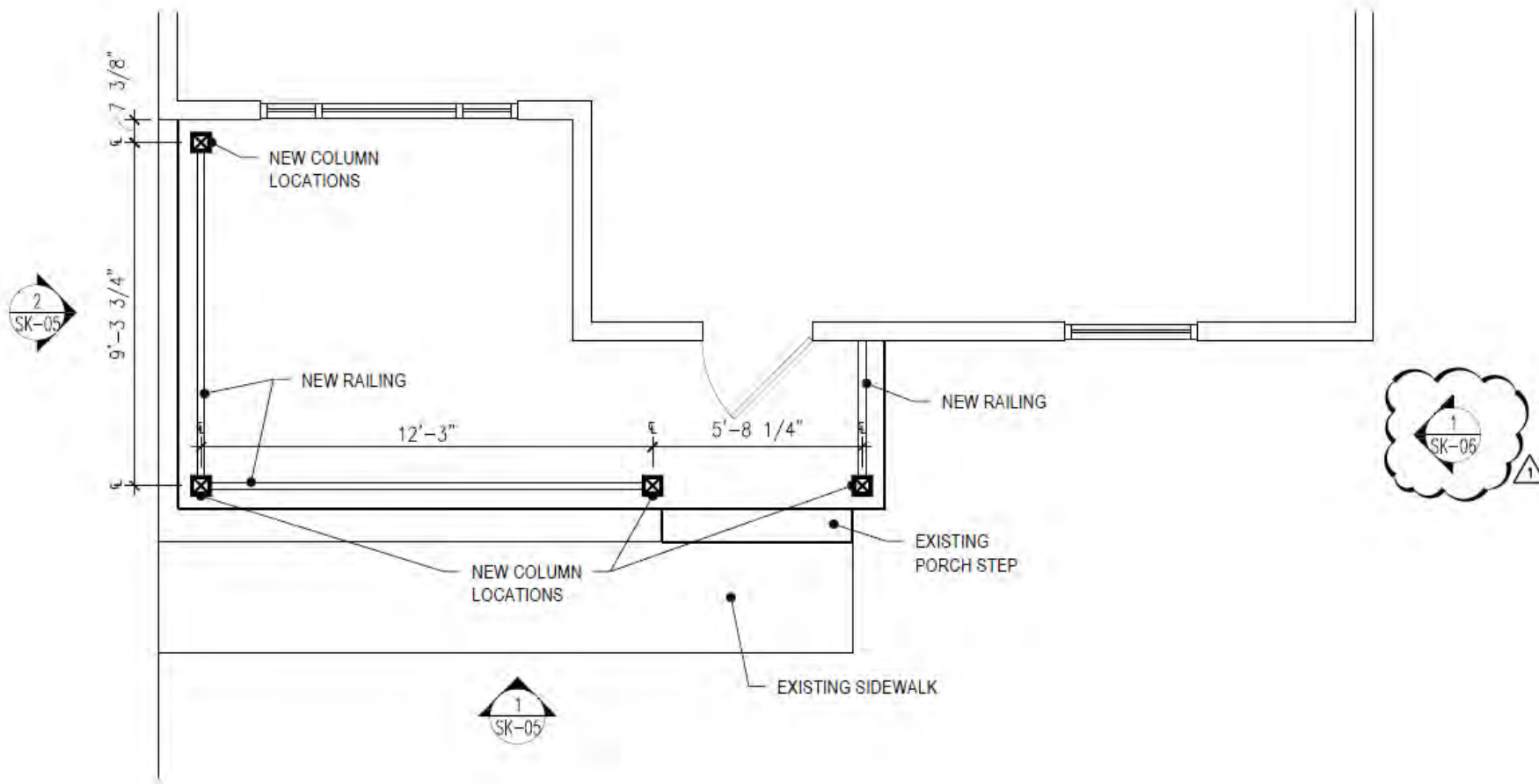
**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition



**1** **SITE PLAN**  
SCALE: 1" = 30'-0"



**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition



**1** PROPOSED PLAN  
 SCALE: 1/4"=1'-0"



**Docket No. 11-74-22 (1485 Parkwood)**  
 Residential – Front Porch Addition

- NEW SHINGLES TO MATCH EXISTING
- AZEK EXTERIORS 8"x8" COLUMN WRAP. PAINT WHITE TO MATCH EXISTING HOUSE TRIM.
- RAILING. BASIS OF DESIGN: IMPRESSION RAIL EXPRESS RAIL SYSTEM. ALUMINUM BALUSTERS WITH OPEN MID-RAIL
- NEW CONCRETE SLAB
- STONE VENEER TO MATCH EXISTING



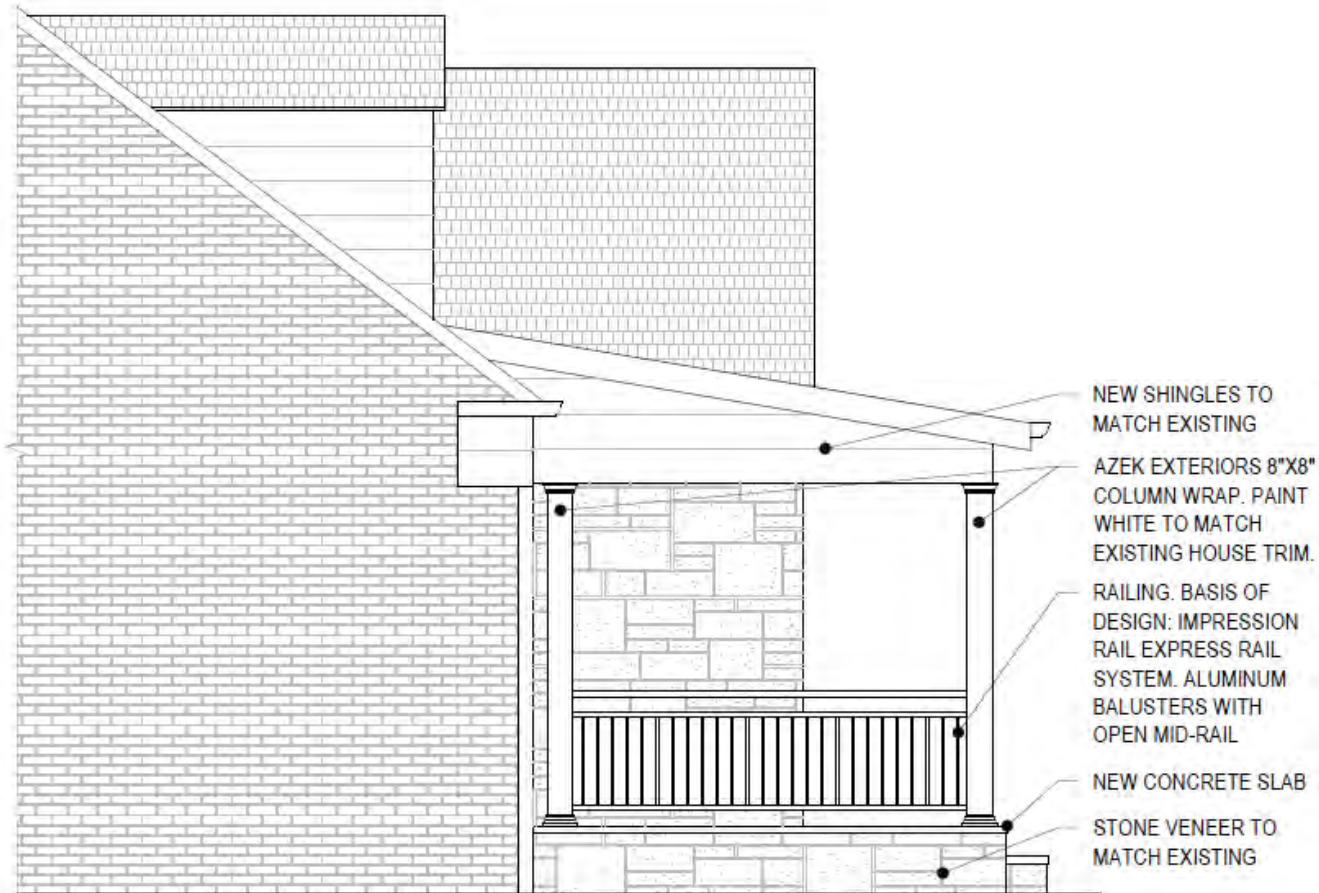
1

**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition



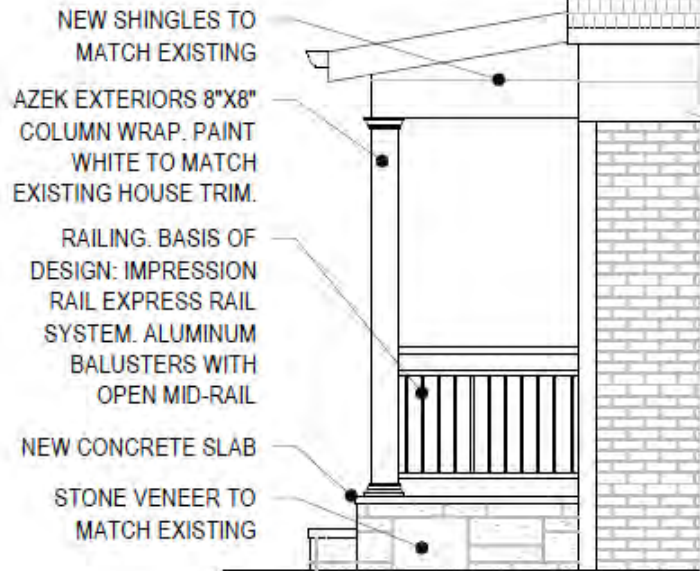
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## SIDE ELEVATION

SCALE: 1/4"=1'-0"



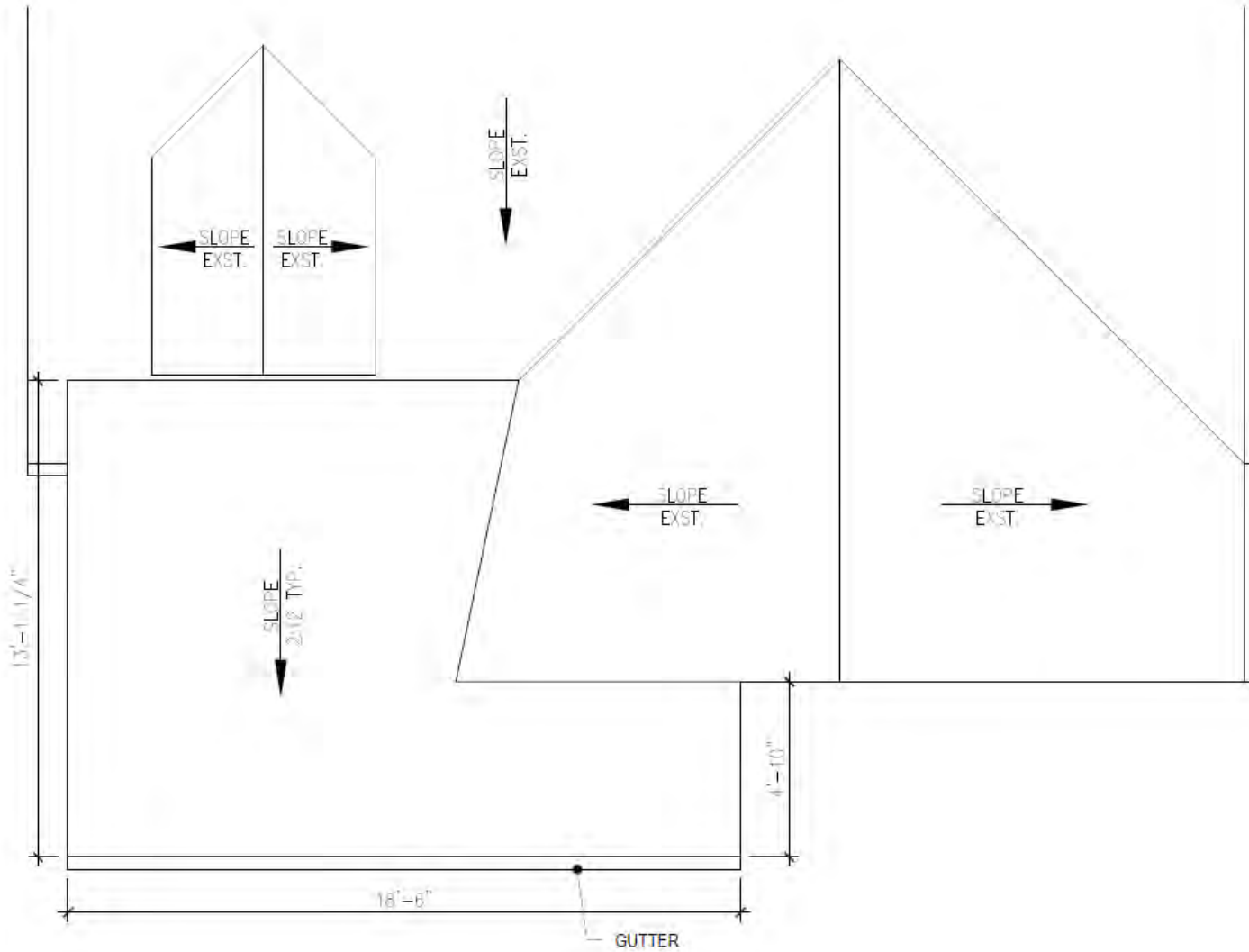
**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition



**1** SIDE ELEVATION  
SCALE: 1/4"=1'-0"



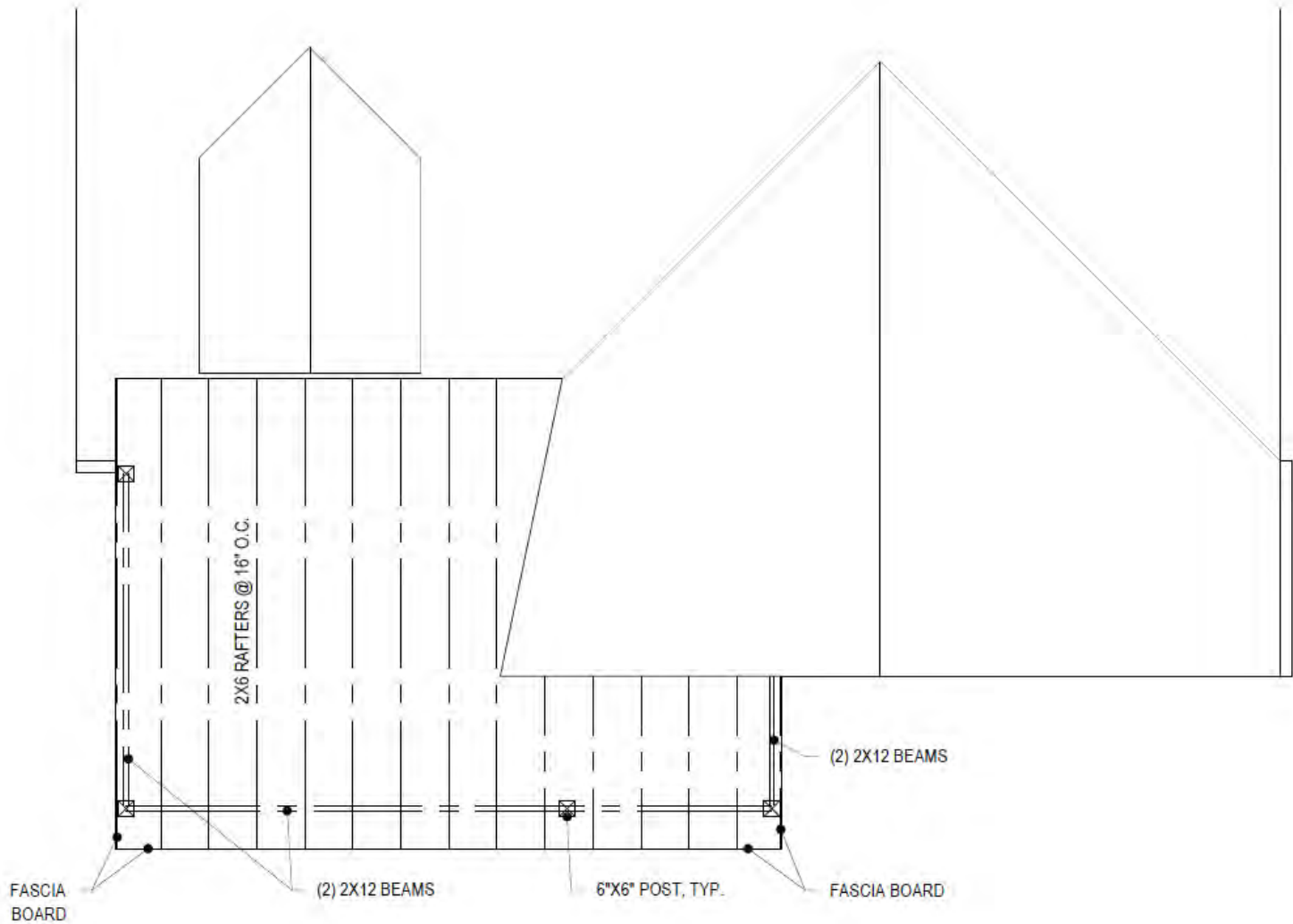
**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition



1 ROOF PLAN  
 SCALE: 1/4"=1'-0"



**Docket No. 11-74-22 (1485 Parkwood)**  
 Residential – Front Porch Addition



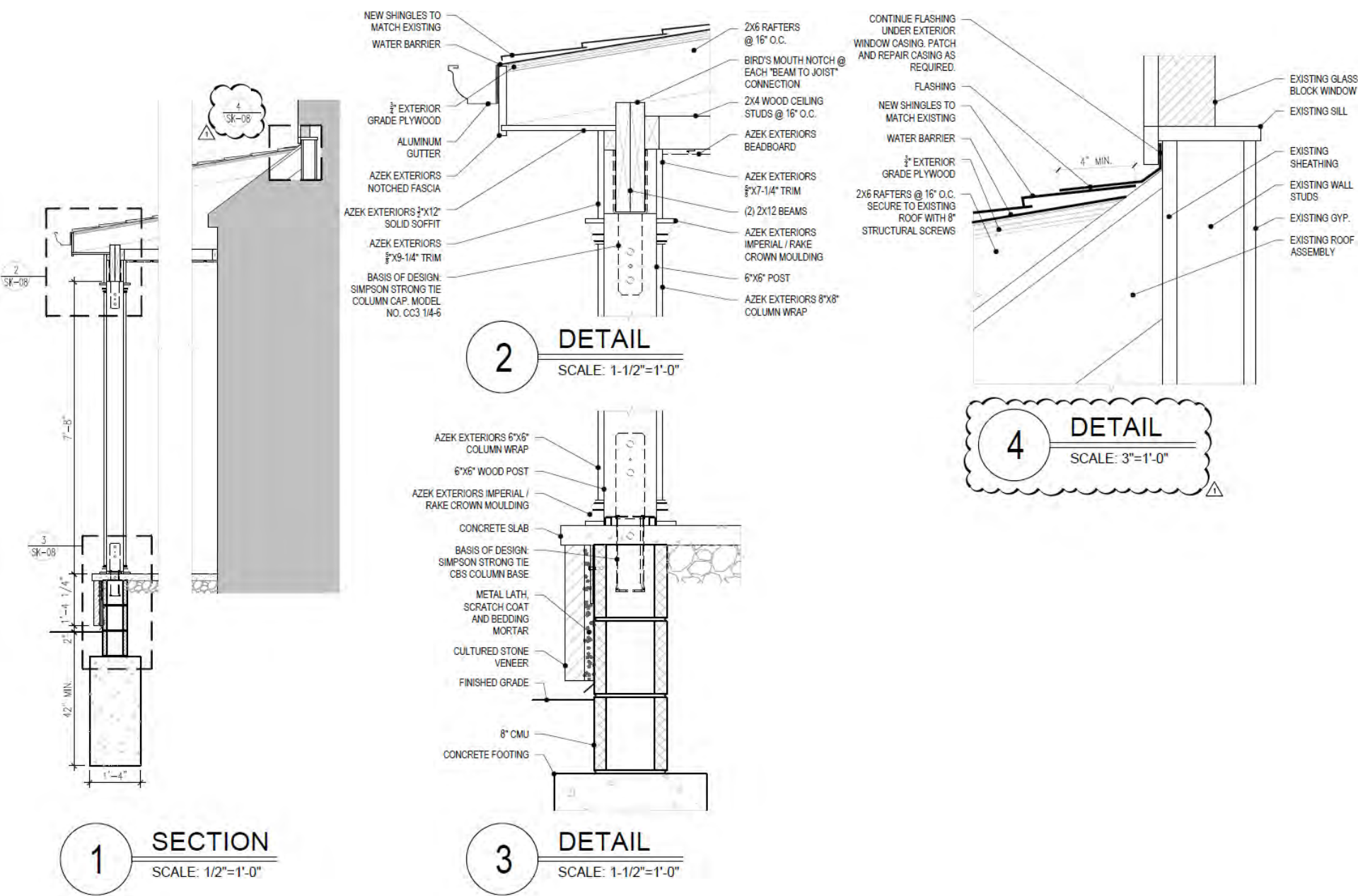
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## ROOF FRAMING PLAN

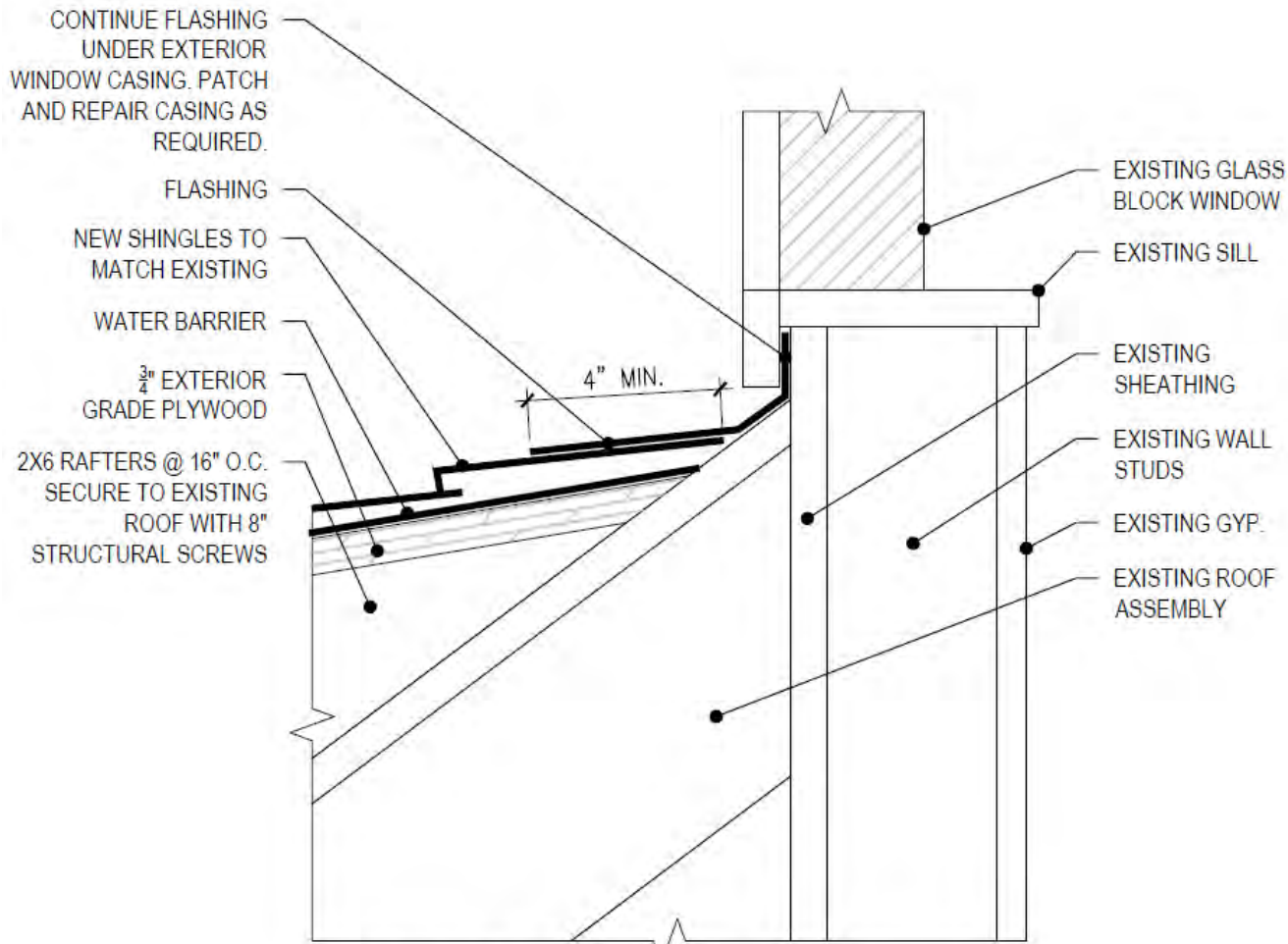
SCALE: 1/4"=1'-0"



**Docket No. 11-74-22 (1485 Parkwood)**  
 Residential – Front Porch Addition



**Docket No. 11-74-22 (1485 Parkwood)**  
 Residential – Front Porch Addition



4

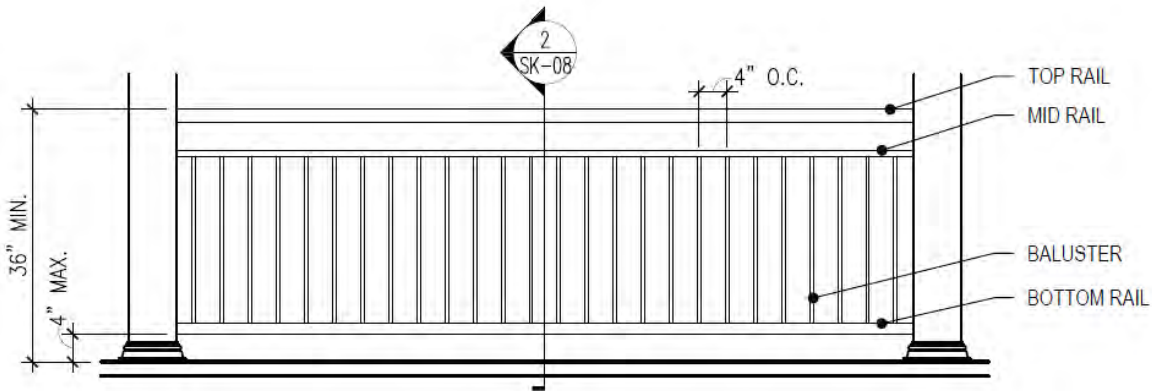
**DETAIL**  


---

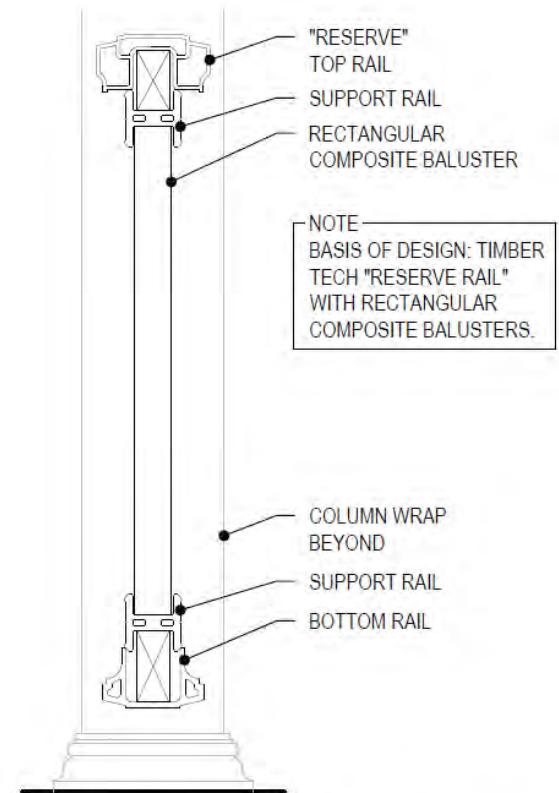
 SCALE: 3"=1'-0"

**Docket No. 11-74-22 (1485 Parkwood)**  
 Residential – Front Porch Addition





**1** RAILING ELEVATION  
SCALE: 1/2"=1'-0"



**2** RAILING DETAIL  
SCALE: 1-1/2"=1'-0"



# MATERIALS

Install roofing underlayment on the remaining roofing deck. Type: Synthetic

Install drip edge (1-1/2") on all gutter and rake edges. Color: W White

Install starter shingles on all gutter and rake edges.

Install shingles to manufacturer's specifications. Certainteed Landmark Shingle,

Color: MAX Def Weathered wood – to match existing roof



Number of masonry chimneys to be flashed: N/A

Type of valley: shingle/closed

Wood cost

\$65.00 per sheet of 7/16" OSB,

\$85.00 for plywood, \$7.50 per lineal foot for spaced decking,

\$7.00 per foot for fascia board.

Structural work will be additional charged

Apron flashing will be charged out at \$6.50 per foot.

Brick flashing will be charged out at \$7.50 per foot

PAD

8 inch block 11x13

#304 limestone fill

\$ inch cement pad

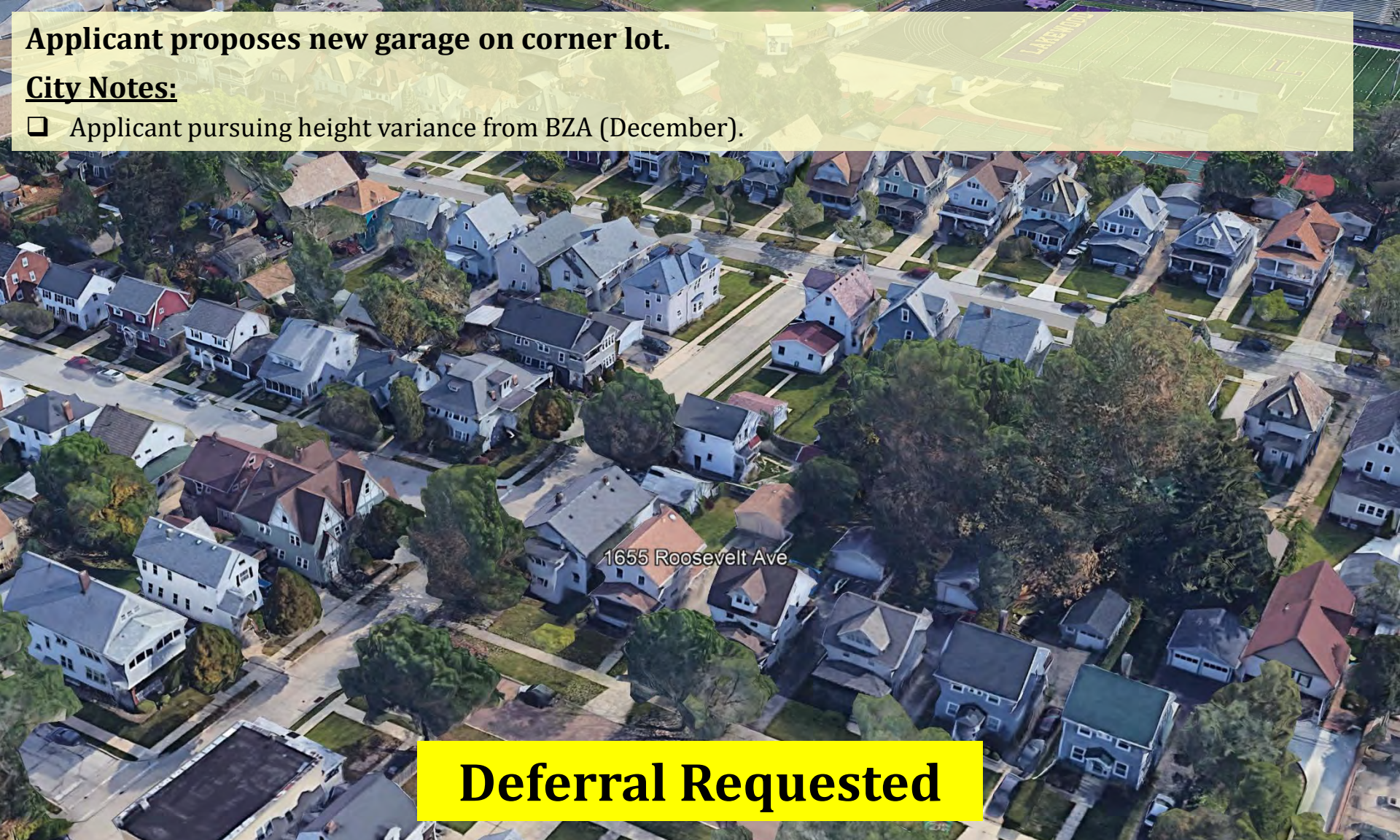


**Docket No. 11-74-22 (1485 Parkwood)**  
Residential – Front Porch Addition

**Applicant proposes new garage on corner lot.**

**City Notes:**

- Applicant pursuing height variance from BZA (December).



1655 Roosevelt Ave

**Deferral Requested**



**Docket No. 11-76-22 (1655 Roosevelt)**  
Residential – New Garage  
Christopher Walling

## Applicant proposes addition to existing Church.

### City Notes:

- Pending Planning Commission (Lot Split)
- Provide more detail on material selections.
- Property is listed as a contributing structure in the Lakewood Downtown Historic District.



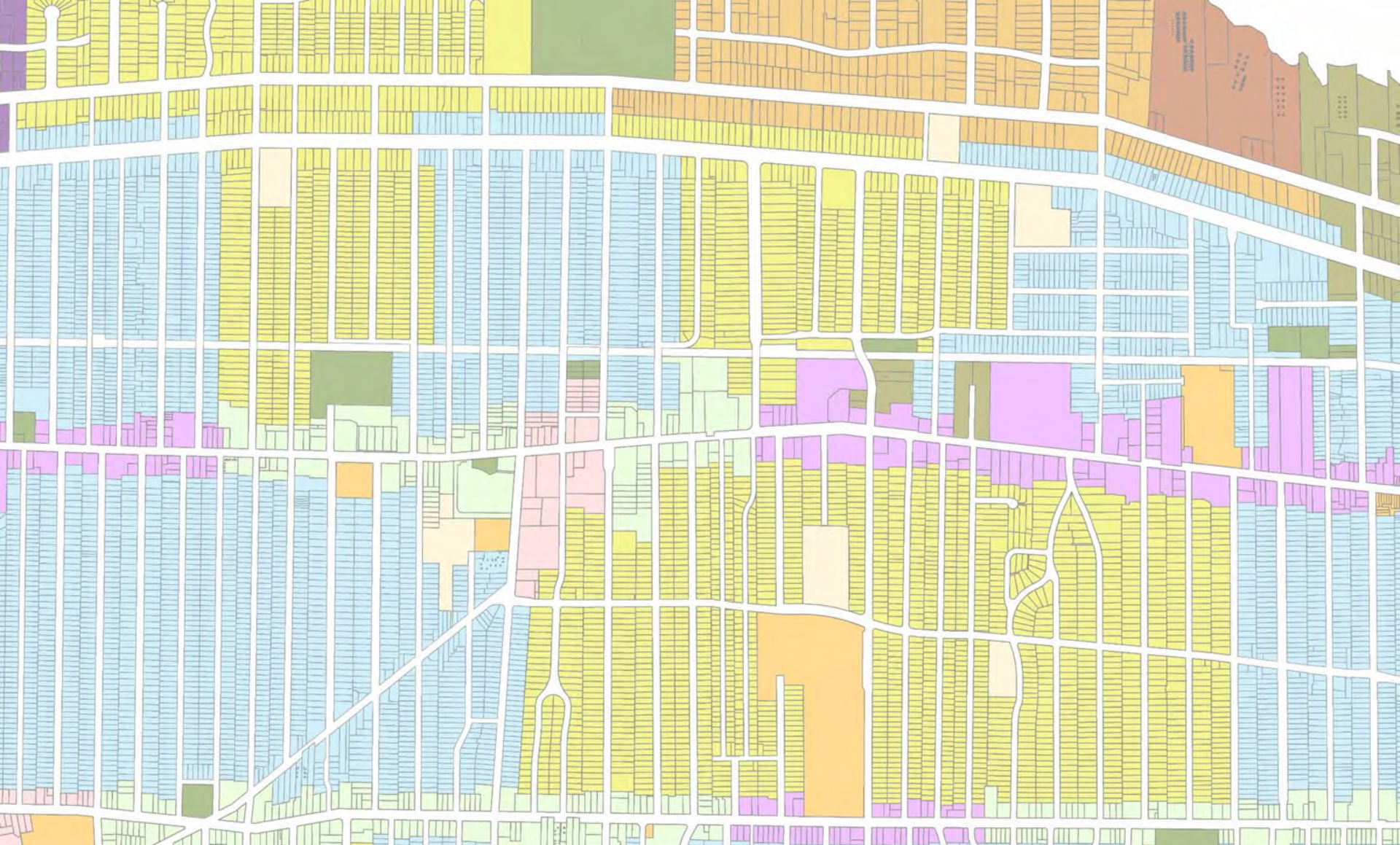
**Deferral Anticipated**

**Docket No. 11-77-22 (1374 Manor Park)**

Commercial – Addition to Church

Gregory Ernst





# Architectural Board of Review

New Business – December 2022

**Applicant proposes installation of screens on front porch.**

**City Notes:**

N/A.



**Docket No. 12-85-22 (1060 Abbieshire)**  
**Front Porch Screen Install**  
**John O'Reilly**



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



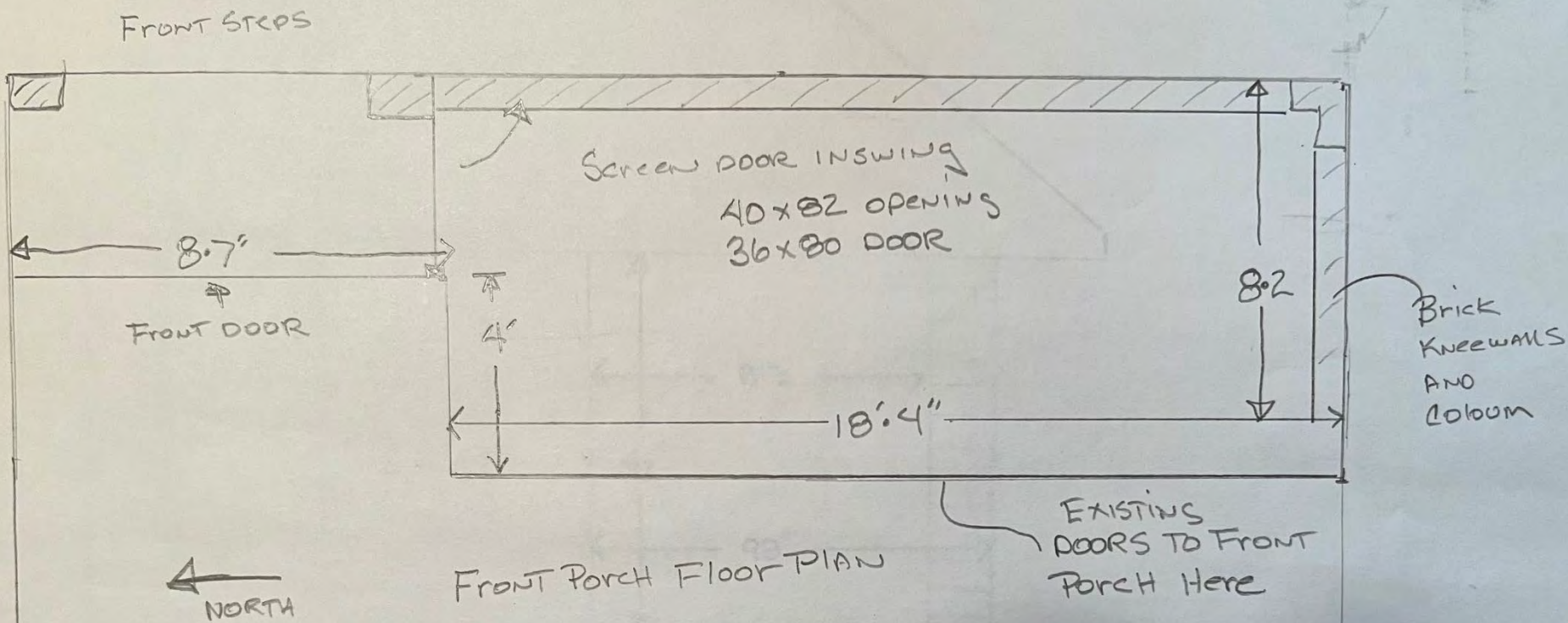
**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



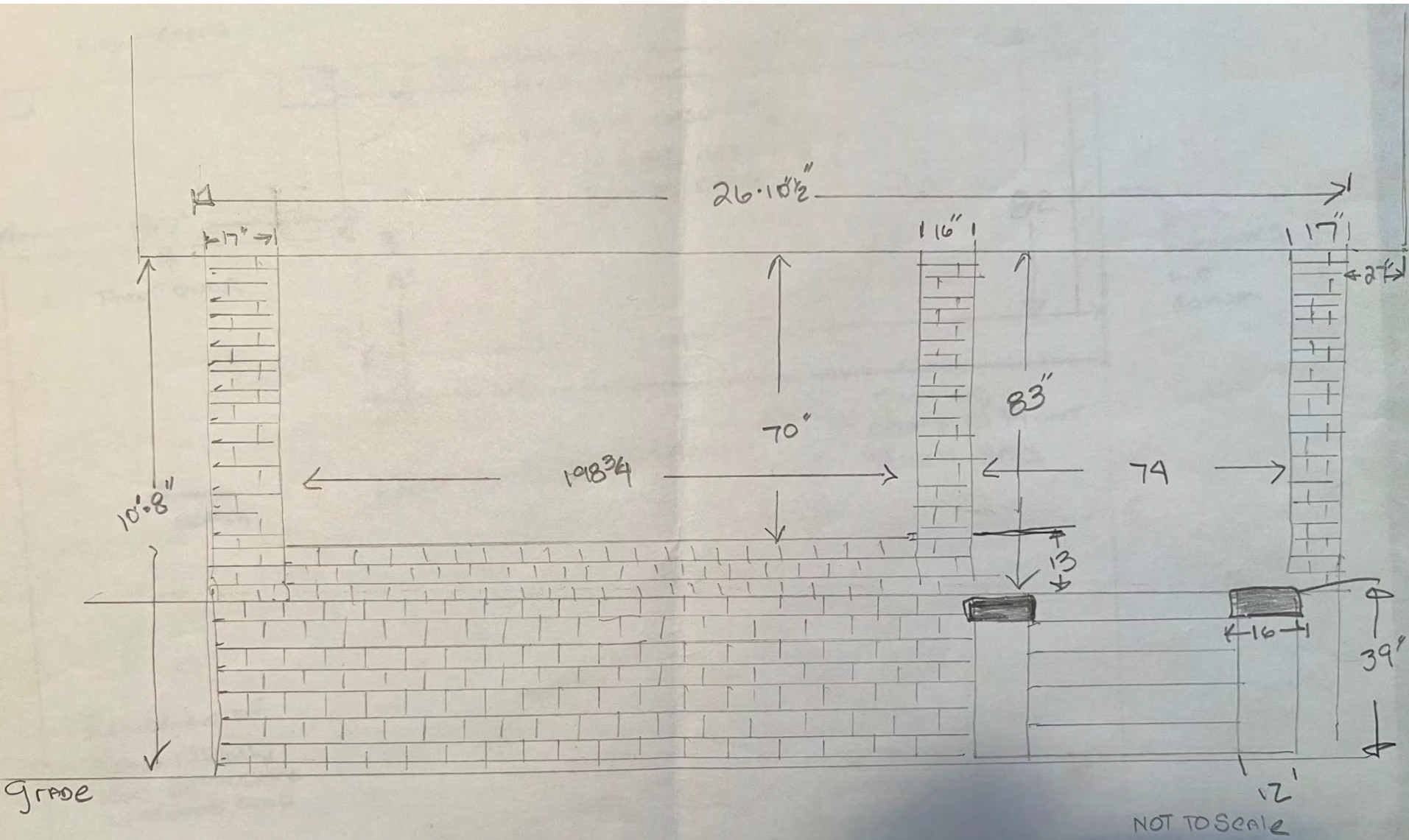
**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



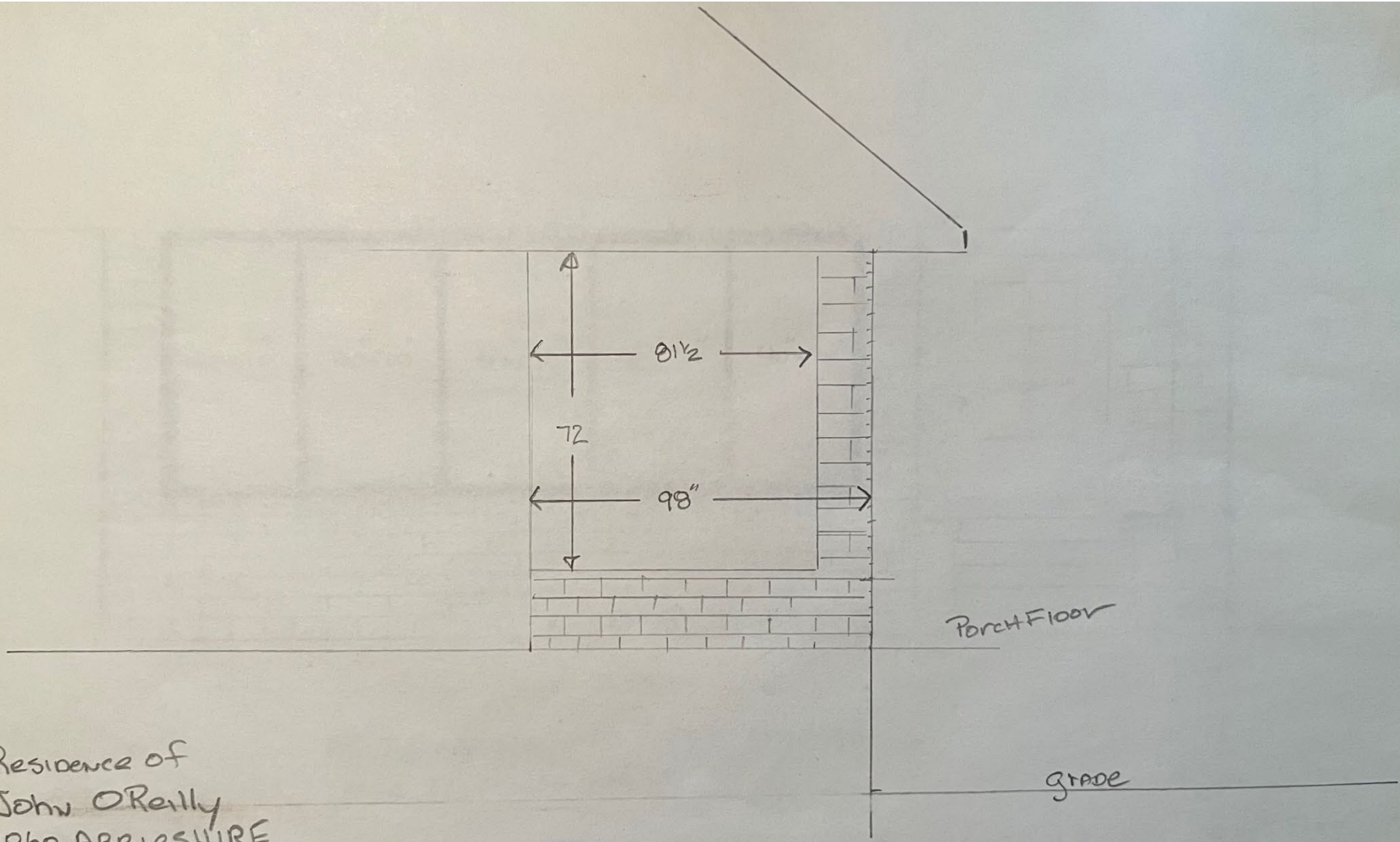
Residence of  
John O'Reilly  
1060 ABBIESHIRE  
LAKWOOD OHIO



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



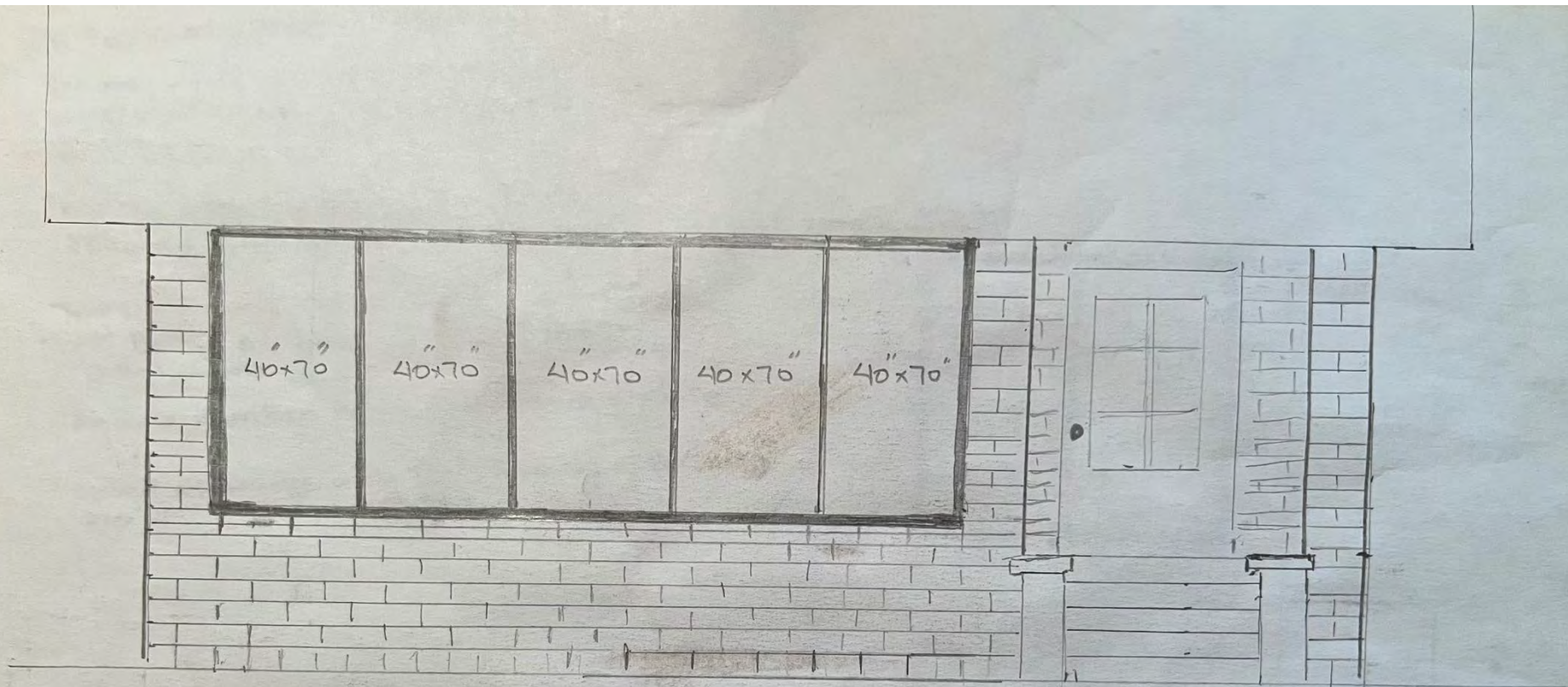
**Docket No. 12-85-22 (1060 Abbieshire)**  
 Front Porch Screen Install



Residence of  
John O'Reilly  
1060 ABBIESHIRE  
LAKEWOOD OHIO



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



Residence of  
John O'Reilly  
1060 Abbieshire  
Lakewood Ohio

DIVIDE opening INTO 5 equal openings  
TO be SCREENED IN.

EAST Elevation  
Scale  $\frac{3}{8} = 1'$



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install

Description of work

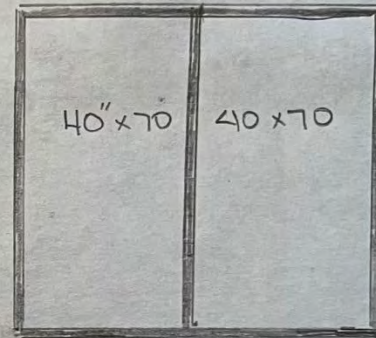
Remove wood sill covering old sill  
AND Prep for new 2"x10" Redwood  
with 5° Slope

Replace side wood 2x6 ON Brick  
Columns AND Replace with Redwood

Top of Frame MATCH window height  
AT Bottom of Bow IN Front Beam  
with Redwood

All New Lumber Primed AND PAINTED white

Cover openings with Black Aluminum Screen  
AND wood screen bead



Residence of  
John O'Reilly  
1060 Abbieshire  
Lakewood Ohio

DIVIDE opening INTO 2 EQUAL  
OPENINGS TO BE SCREENED IN

Scale  $\frac{3}{8} = 1'$

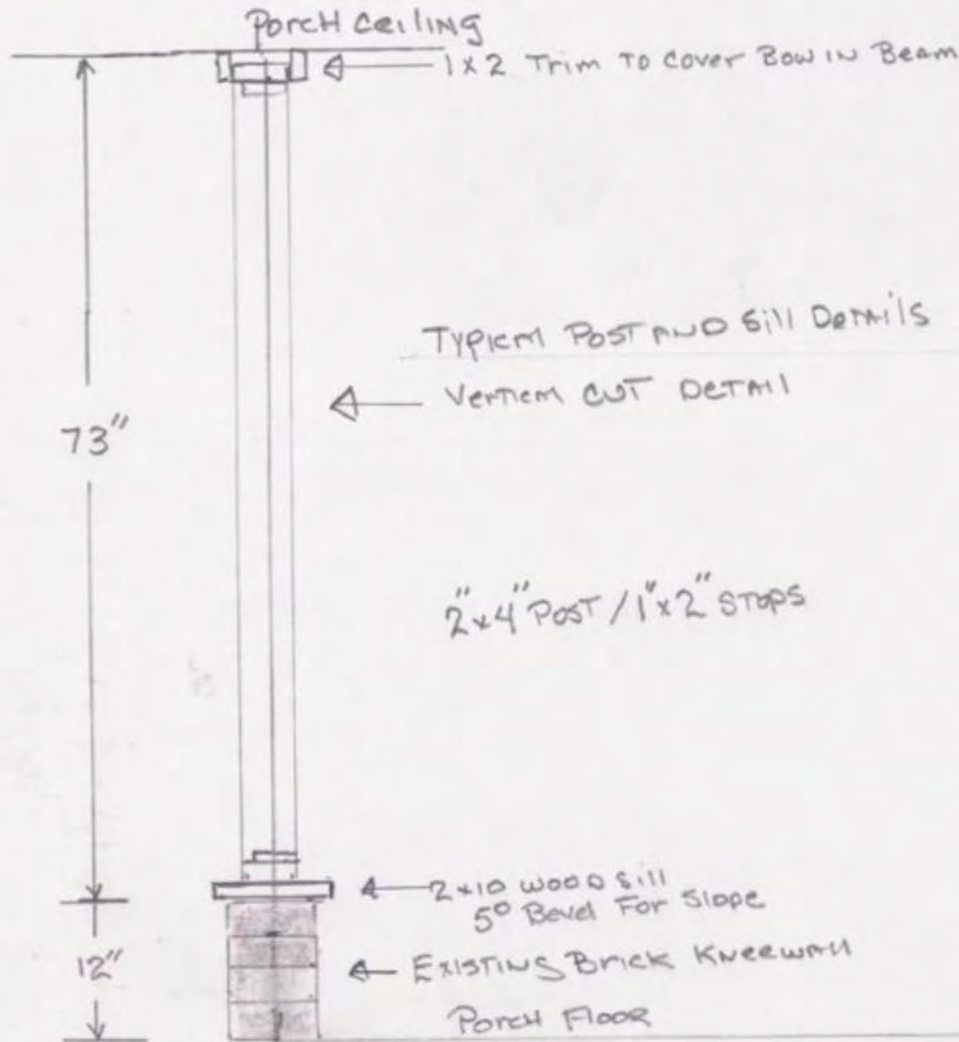
SOUTH ELEVATION



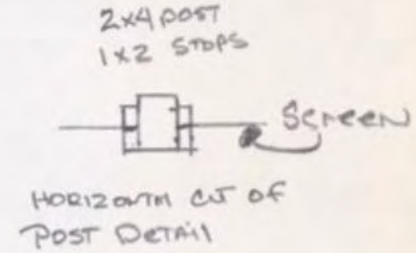
**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install

12/4/22

NOTE  
All New  
Lumber  
PAINTED  
White  
Species  
Redwood



TYPICAL POST AND SILL DETAILS  
← VERTICAL CUT DETAIL



Residence of  
John O'Reilly  
1060 Abbieshire

Scale 1" = 1'



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install

Share

# Saint-Gobain ADFORS FCS9371-M Aluminum Window Screen, 48" x 84", Charcoal

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★★★★☆ 1,090 ratings

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Color Name: Charcoal



Size Name: 48" x 84"



Style: Screen



- 48 inch x 84 inch
- Durable, rust resistant, will not sag
- Protective finish that prevents corrosion and strengthens the weave
- Easy to install. Consult the ADFORS Scene Weaver App for helpful product information and installation guides



Roll over image to zoom in

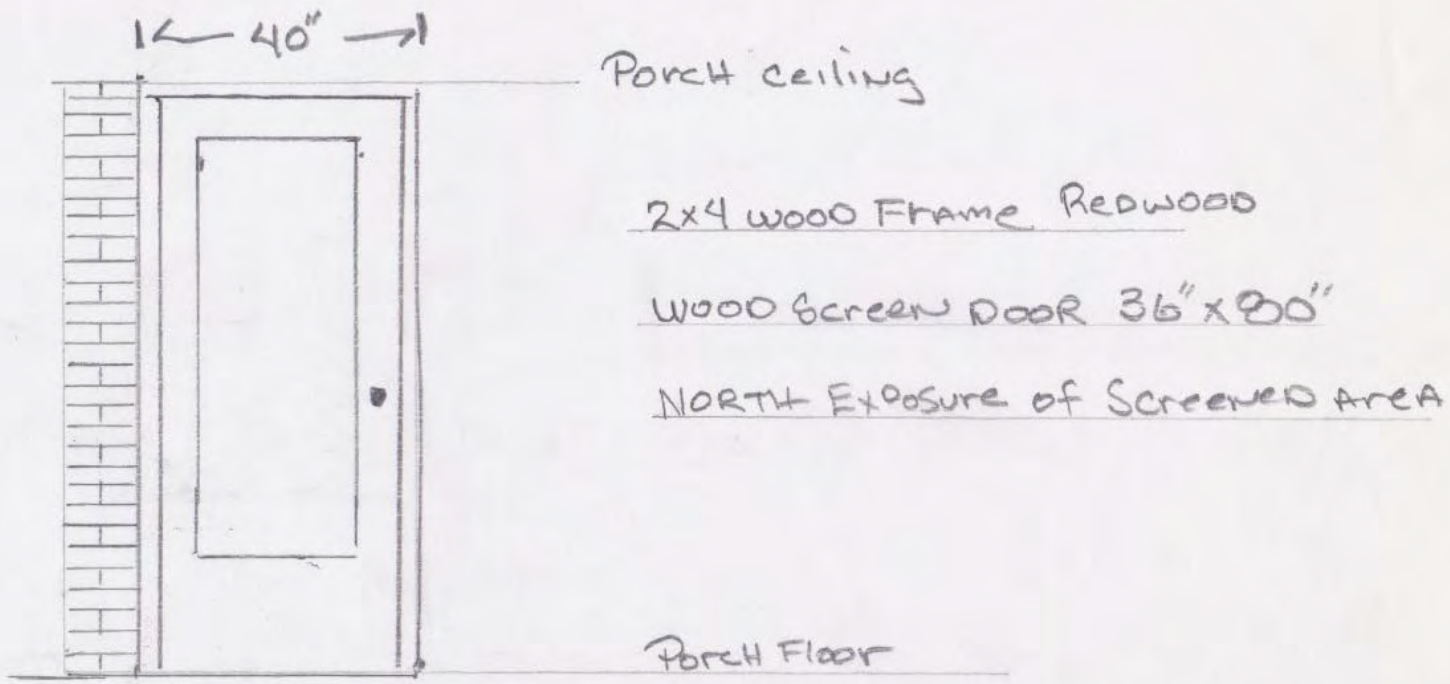


2 VIDEOS



# Docket No. 12-85-22 (1060 Abbieshire)

Front Porch Screen Install



Porch ceiling

2x4 wood Frame Redwood

WOOD Screen Door 36" x 80"

NORTH Exposure of Screened Area

Porch Floor

Scale  $\frac{1}{2}'' = 1'$



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



Serving Lumberyards for over 55 years

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- Disappearing Stairs
- Domes
- Doors & Accessories
  - Accessories
  - Bifolds
  - Cafe
  - Exterior
  - Fire Doors
  - Flush Interior
  - Interior
  - Louver
  - Screen Doors: Wood
  - Storm Doors Wood
  - Hidden Bookcase
  - Roll-Up Doors
  - Prehungs
- Finials & Spires
- Fypon & Urethane Millwork
- Hardware

Home > Doors & Accessories > Storm Doors Wood > Combination Door: 758

### Combination Door: 758

[<< Previous in Storm Doors Wood](#)

[Next in Storm Doors Wood >>](#)

Price: From \$554.00 to \$798.00

#### Product Options

Size:

Quantity:

[Add to Cart](#)

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#### Description

#### 758 Pine Combination Door

Click [here for specifications](#).

- Removable Screen insert - charcoal aluminum screening.
- Removable Storm insert - clear 1/8" tempered glass.
- Easy-change Hardware in Zinc finish locks storm and screen inserts in place.
- Optional Ez-change hardware in **Black** or **Satin Nickel** can be purchased separately
- Rattle-free weather seal.
- Aluminum bottom door weather strip included.
- Veneered stiles and solid wood rails.

[Screen and Storm Door hardware sets sold separately.](#)

[Download Installation Instructions for EZ change doors](#)

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Newsletter 2022 Vol 3

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Application

Stair Artist

Upload a File to B&B

Updates:

- LOWER prices most Box Newels, Stair Rail
- In-Stock Schlage Latitude with Collins Rose, 619, 622
- New MultiPointe Hardware



# Docket No. 12-85-22 (1060 Abbieshire)

## Front Porch Screen Install



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install





**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



**Docket No. 12-85-22 (1060 Abbieshire)**  
Front Porch Screen Install



**Applicant proposes the enclosure of a second-floor rear porch.**

**City Notes:**

N/A.



**Docket No. 12-86-22 (17309 Lakewood Heights)**  
**Second-Floor Rear Porch Enclosure**  
**Tom Murdoch**



**Docket No. 12-86-22 (17309 Lakewood Heights)**  
**Second-Floor Rear Porch Enclosure**

**ROACH RESIDENCE**  
**EXTERIOR REMODEL PROJECT**  
 17309 Lakewood Hts Blvd  
 Lakewood, OH 44107



Site Plan  
 1 in = 10 ft

**PRELIMINARY DRAWING**  
 NOT FOR CONSTRUCTION

THESE DRAWINGS AND DESIGNS WILL BE  
 RELEASED AT AUTHORIZATION OF PROJECT. ANY  
 USAGE WITHOUT WRITTEN CONSENT WILL DEFER  
 ANY AND ALL RESPONSIBILITIES OF DOVER HOME  
 REMODELERS, INC. ALL RIGHTS ARE HEREBY  
 SPECIFICALLY RESERVED.

NO.	DATE	BY	DESCRIPTION

2041 Lorain Road  
 North Olmsted, Ohio 44130  
 Phone: 441-3113  
 Fax: 441-3133  
 www.doverremodeling.com

**DOVER**  
 Home Remodelers, Inc.

APPROVAL DATE \_\_\_\_\_  
 CLIENT SIGNATURE \_\_\_\_\_

NAME: **Roach, Kevin**  
 HOME ADDRESS: **17309 Lakewood Hts Blvd**  
 CITY: **Lakewood, OH**  
 ZIP: **44107** PHONE: **216-942-3597**

DATE: **11/15/2022**  
 SCALE: **AS NOTED**  
 Drawn By: **CA**  
 Designer: **PS**  
 SHEET: **T1**

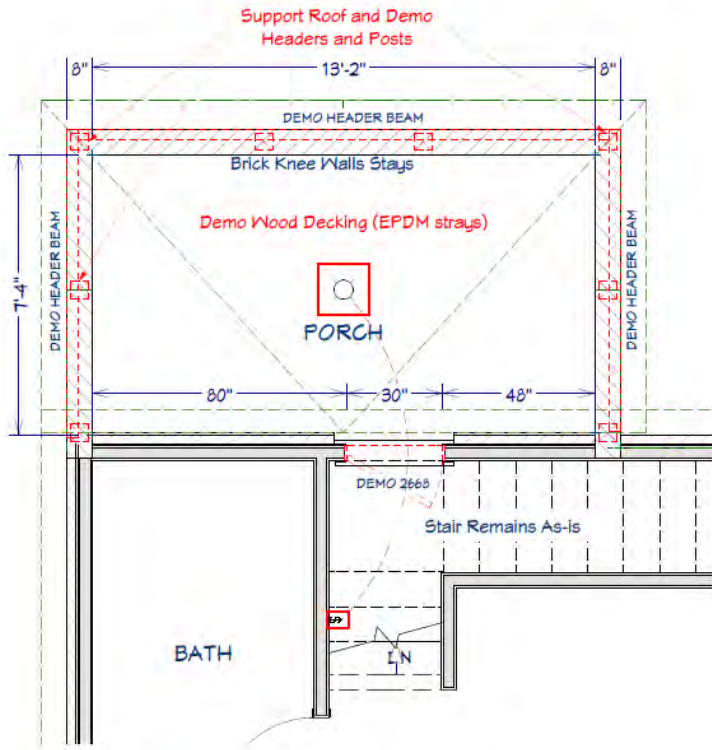


**Docket No. 12-86-22 (17309 Lakewood Heights)**  
**Second-Floor Rear Porch Enclosure**

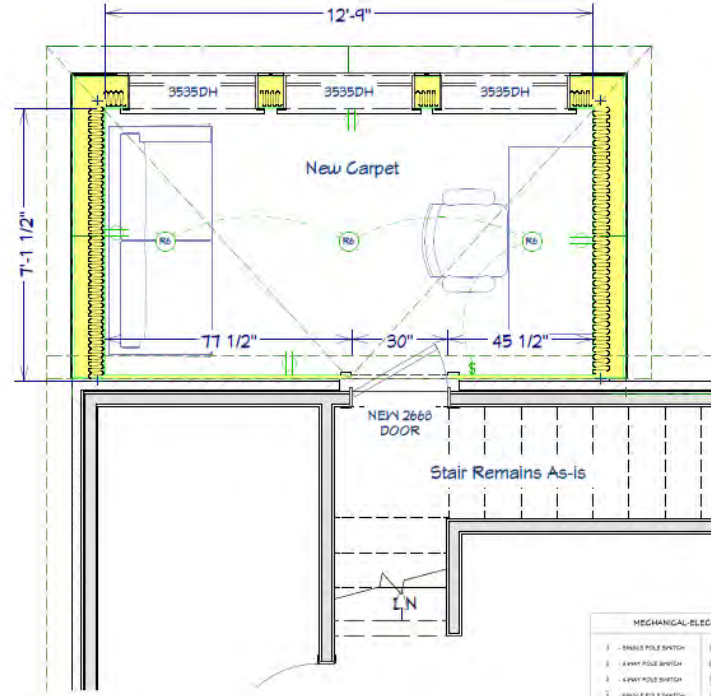
# ROACH RESIDENCE

## EXTERIOR REMODEL PROJECT

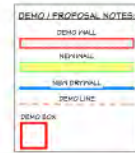
17309 Lakewood Hts Blvd  
Lakewood, OH 44107



**Porch Demo Plan**  
1/2 in = 1 ft



**Office (Porch) Proposed Plan**  
1/2 in = 1 ft



MECHANICAL-ELECTRICAL LEGEND	
1 SINGLE POLE SWITCH	110 RECEPTACLE
2 2-WAY POLE SWITCH	110 2-SP RECEPTACLE
3 3-WAY POLE SWITCH	110 3-SP RECEPTACLE
4 4-WAY POLE SWITCH	110 4-SP RECEPTACLE
5 SINGLE POLE SWITCH-W/ DIMMER	110 5-SP RECEPTACLE
6 2-WAY POLE SWITCH-W/ DIMMER	200 RECEPTACLE
7 HALLMOUNTED LIGHT	DISPOSAL SWITCH
8 HALL MOUNTED SMOKE	DISPOSAL
9 EXHAUST FAN	SMOKE DETECTOR
10 EXHAUST FAN LIGHT	CARBON MONOXIDE DETECTOR
11 RECESSED GAS LIGHT	TRIM/ROSETTE
12 RECESSED GAS LIGHT	PHONE JACK
13 RECESSED GAS LIGHT	TV/SAT/BLU JACK
14 RECESSED GAS LIGHT	ELECTRICAL PANEL
15 PULL DOWN LIGHT	SUPPLY AIR
16 PENDANT LIGHT	RETURN AIR
17 FLOURESCENT LIGHT	100 DIMMER DIMMER DEVICE
18 UNDER CABINET	101 DIMMER DIMMER DEVICE
19 FLOURESCENT LIGHT	102 DIMMER DIMMER DEVICE
20 COLORED WALL LIGHT	

**PRELIMINARY DRAWING**  
**NOT FOR CONSTRUCTION**

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# Docket No. 12-86-22 (17309 Lakewood Heights)

## Second-Floor Rear Porch Enclosure



3D Concept



**Docket No. 12-86-22 (17309 Lakewood Heights)**  
Second-Floor Rear Porch Enclosure





**Docket No. 12-86-22 (17309 Lakewood Heights)**  
Second-Floor Rear Porch Enclosure

## 17309 LAKEWOOD HEIGHTS BLVD



Maverick Brown



## Home Accents

### SPLIT SHAKE PRODUCT DETAIL



- 1 Allure of hand-split cedar
- 2 Random grains and grooves
- 3 Deeply textured for contrast between shadow and light
- 4 7" exposure
- 5 Limited lifetime fade protection warranty
- 6 Easy installation with full-length nailing hems
- 7 Fortified weather-resistant panels
- 8 Random designs and hidden seams, which reduces scrap



**Docket No. 12-86-22 (17309 Lakewood Heights)**  
Second-Floor Rear Porch Enclosure



**Contract - Detailed**

Pella Window and Door Showroom of Mentor  
 8020 Broadmoor Road  
 Mentor, OH 44060-7502  
 Phone: (440) 942-2262 Fax: (440) 942-0416

Sales Rep Name: Brady, Tim  
 Sales Rep Phone: 216-952-5741  
 Sales Rep Fax: 440-942-0416  
 Sales Rep E-Mail: tim\_brady@gunton.com

Customer Information	Project/Delivery Address	Order Information
<b>DOVER HOME REMODELERS</b> 29341 LORAIN ROAD  NORTH OLMSTED, OH 44070 Primary Phone: (216) 870-4452 Mobile Phone: (216) 870-4452 Fax Number: (440) 777-8188 E-Mail: orfb@doverremodeling.com Contact Name:  Great Plains #: 208974 Customer Number: 1002264532 Customer Account: 1000293965	Roach Res 17309 Lakewood Hts. Blvd.  Lot # LAKEWOOD, OH 44107 County: CUYAHOGA Owner Name:  Owner Phone:	Quote Name: Lifestyle 2  Order Number: 276 Quote Number: <b>16158882</b> Order Type: Non-Installed Sales Wall Depth: Payment Terms: Net 30 Days Tax Code: 43 Cust Delivery Date: None Quoted Date: 10/27/2022 Contracted Date: Booked Date: Customer PO #:

Line #	Location:	Attributes	Qty
10		Lifestyle, Double Hung, 35 X 35, Without HGP, Brick Red	3
	<p>PK # 2124 Viewed From Exterior</p>	<p><b>1: Non-Standard Size Double Hung, Equal</b>  <b>Frame Size: 35 X 35</b>  <b>General Information:</b> No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", No Certification, Jambliner Color: <b>Gray</b>  <b>Exterior Color / Finish:</b> Standard Enduraclad, Brick Red  <b>Interior Color / Finish:</b> Prefinished White Paint Interior  <b>Glass:</b> Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  <b>Hardware Options:</b> Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor  <b>Screen:</b> Full Screen, Brick Red, InView™  <b>Performance Information:</b> U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00426-00002, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08/11, Clear Opening Width 31.812, Clear Opening Height 14.25, Clear Opening Area 3.14806Z, Egress Does not meet typical United States egress, but may comply with local code requirements  <b>Remake:</b>  <b>Grille:</b> GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 3W2H), White, Brick Red  <b>Wrapping Information:</b> Foldout Fins, Factory Applied, No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 140".</p>	

Rough Opening: 35 - 3/4" X 35 - 3/4"

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)  
 Printed on 11/21/2022 Contract - Detailed Page 1 of 7



# Docket No. 12-86-22 (17309 Lakewood Heights) Second-Floor Rear Porch Enclosure

# Applicant proposes renovation of commercial building.

## City Notes:

- Applicant pending conditional use approval (Planning Commission)



**Docket No. 12-87-22 (14800 Madison)**  
**Commercial Renovation – Urgent Care**  
**Joseph Kaye**



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care





**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



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Commercial Renovation – Urgent Care



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Commercial Renovation – Urgent Care



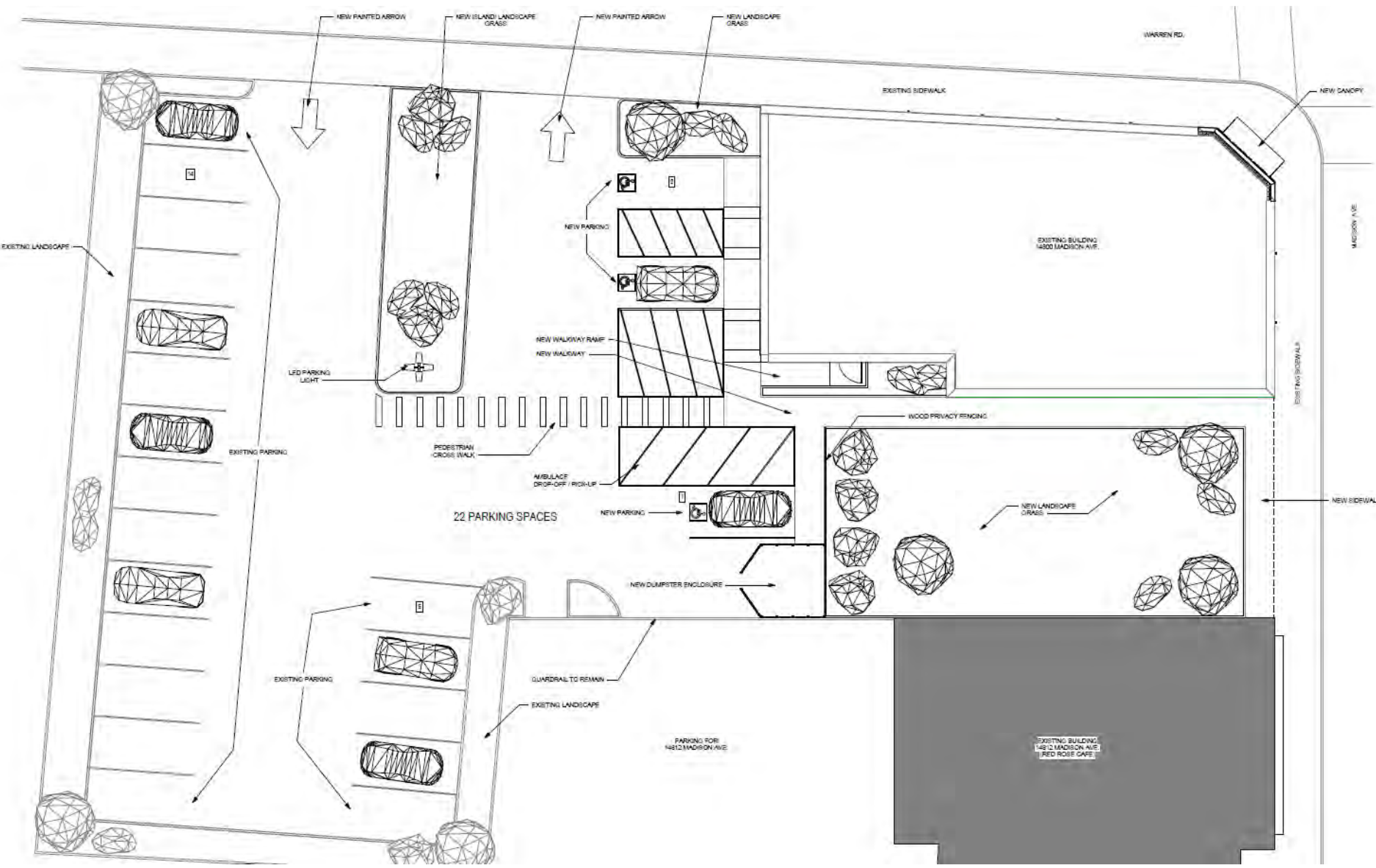
**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care

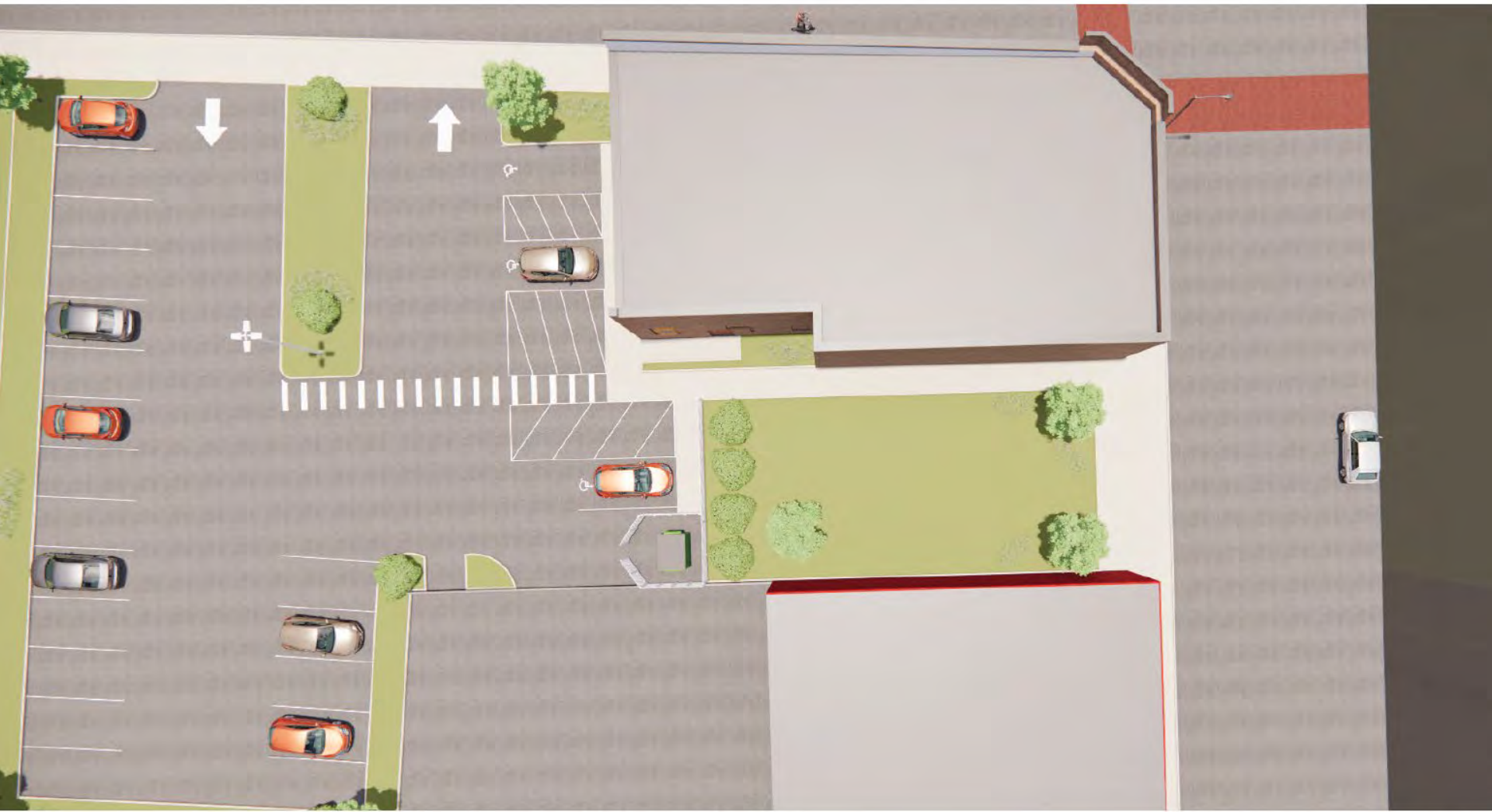


**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



# Docket No. 12-87-22 (14800 Madison)

## Commercial Renovation – Urgent Care



SITE PLAN  
DECEMBER 6, 2022



WellStreet Urgent Care

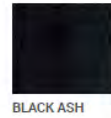


**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care

### WHITE SHADES



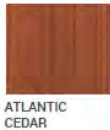
### BLACK SHADES



### YELLOW SHADES

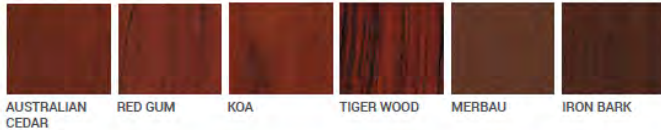


### YELLOW SHADES



ATLANTIC CEDAR

### ORANGE SHADES



AUSTRALIAN CEDAR

RED GUM

KOA

TIGER WOOD

MERBAU

IRON BARK

### LIGHT BROWN SHADES



EASTERN MAHOGANY

WESTERN RED CEDAR

BUSH CHERRY

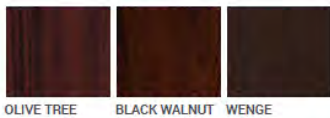
ELM

KWILA

TEAK BROWN

**Stock Colors**  
Colors with a grey background are the Knotwood stock colors.

### DARK BROWN SHADES

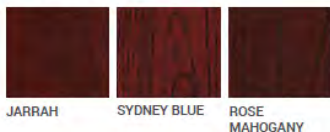


OLIVE TREE

BLACK WALNUT

WENGE

### RED SHADES



JARRAH

SYDNEY BLUE

ROSE MAHOGANY

All Knotwood woodgrain finishes come with a **Limited Lifetime Warranty**. Unlike natural wood, Knotwood will NEVER rot, warp or crack. With next to no maintenance, these finishes will look like new from the day they are installed, and never need to be painted, stained or oiled.

What more could you ask for?

[www.knotwood.com](http://www.knotwood.com)  
1-855-566-8966

*\*Colors shown are indicative only, please call Knotwood for a production prepared sample for final color selection.*

### 1. PRODUCT NAME

**KNOTWOOD™**  
Fence System

### 2. MANUFACTURER

**OmniMax International**  
30 Technology Pkwy. S, Suite 400  
Peachtree Corners, GA 30092  
Phone: 855.566.8966

### 3. PRODUCT DESCRIPTION

Knotwood™ Fences are made from 100% aluminum protected by a durable powder coat finish. It's immune to fire, rust, rot, insects and will never warp, split or crack. Even extreme heat or freezing cold can't damage Knotwood™. Sublimated in Knotwood's award winning woodgrain finish or custom solid color coated, it meets the highest finishing standards in the world.

Knotwood™ Fencing is 50% lighter per square foot than treated pine which means a less back-breaking burden transporting materials off and on site.

Knotwood's unique hidden fastener system creates a clean finish. In addition, Knotwood™ Fences require next to no maintenance.

Slat Sizes:  
1.5" x 5/8", 2.5" x 5/8", 4" x 5/8", 6" x 5/8"

Post Sizes:  
2.5" x 2.5", 4" x 4"

Colors:  
A wide variety of over 30 woodgrain colors as well as solid and custom color options.

### 4. TECHNICAL DATA

Material/Paint & Coatings Data:

- 100% Recyclable
- VOC-free coatings
- Lead free finishes
- LEED Certified Green Building Material

Non-Combustible Ratings:

- ASTM E84
- ASTM E84-17
- Class A Rating

### 5. INSTALLATION

Knotwood™ has specifically designed fence components that make installation simple. With no need for pre-drilling, utilizing our hidden fastener and spacer system means no more unsightly screws or rivets. The use of clip together U-channels make installing on a grade or uneven terrain a breeze.

### 6. AVAILABILITY & COST

**Availability:**

Fence systems are available through Knotwood™ distributors. A complete line of related Knotwood™ systems are available to complete any fence system. In addition, custom color matching is available.

**Cost:**  
Contact Knotwood™ product distributors for current pricing. *Contact at - [www.knotwood.com/contact-us](http://www.knotwood.com/contact-us)*

### 7. WARRANTY

Knotwood™ expressly warrants for a limited lifetime that its aluminum products are free from manufacturing defects in material or workmanship

when installed according to Knotwood™ specifications and properly maintained. The warranty provides for a 15-year warranty for the Knotwood™ finish, including checking/cracking, chalking, color change, gloss retention and adhesion of finish.

*The full warranty details are provided at [www.knotwood.com/warranty](http://www.knotwood.com/warranty)*

### 8. MAINTENANCE

Our products are designed to be effortless and low maintenance. Wash the surface with a mild solution of pure soap or mild non-abrasive kitchen detergent in warm water. Application should be with a sponge, soft cloth or soft bristle nylon brush, and should be gentle to prevent shiny spots. If cared for in this way, your Knotwood™ application should give many years of easy maintenance life.

### 9. TECHNICAL SERVICES

Complete technical information and literature available at [www.knotwood.com/architects](http://www.knotwood.com/architects) - *Click here.*



# 150W LED Pole Lights



**LIGHT DISTRIBUTION TESTING PARAMETERS**

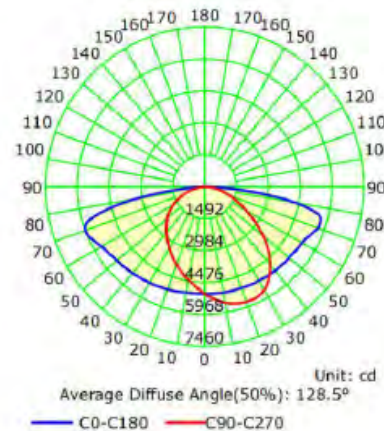
**Luminaire Property**

Luminaire Manufacturer:	Luminaire Description:
Luminaire Category:	Lamp Description:
Lamp Catalog:	Lumens per Lamp:
Number of Lamps:	Luminous Width (mm):
Luminous Length (mm):	Voltage: 120.0 V
Luminous Height (mm):	Power: 149.65 W
Current: 1.253 A	
Power Factor: 0.993	

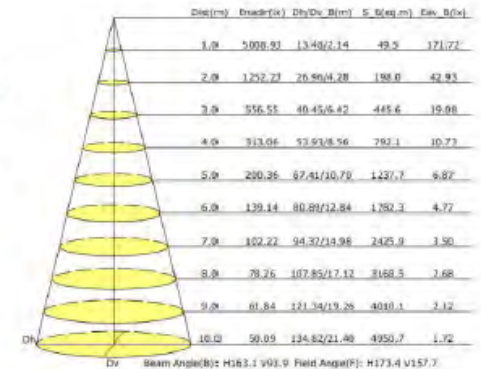
**Photometric Results**

IES Classification: Type III	Longitudinal Classification: Medium
Total Rated Lamp Lumens: 20136.5 lm	Measurement Flux: 20136.5 lm
Efficiency: 100%	Downward Ratio: 100%
Upward Ratio: 0%	Luminaire Efficacy Rating (LER): 134.61
C0r0 Intensity: 5008.93 cd	Max. Intensity: 5968.11 cd
Pos of Max. Intensity: H180 V70	

Luminous Intensity Distribution Curve



Illuminance at a Distance



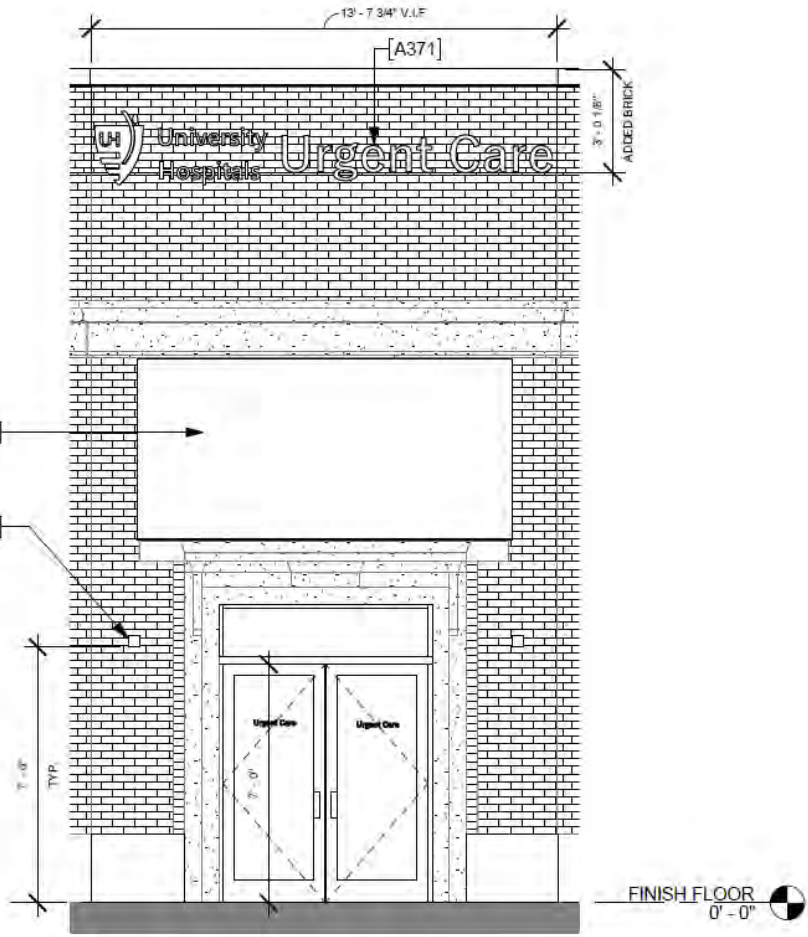
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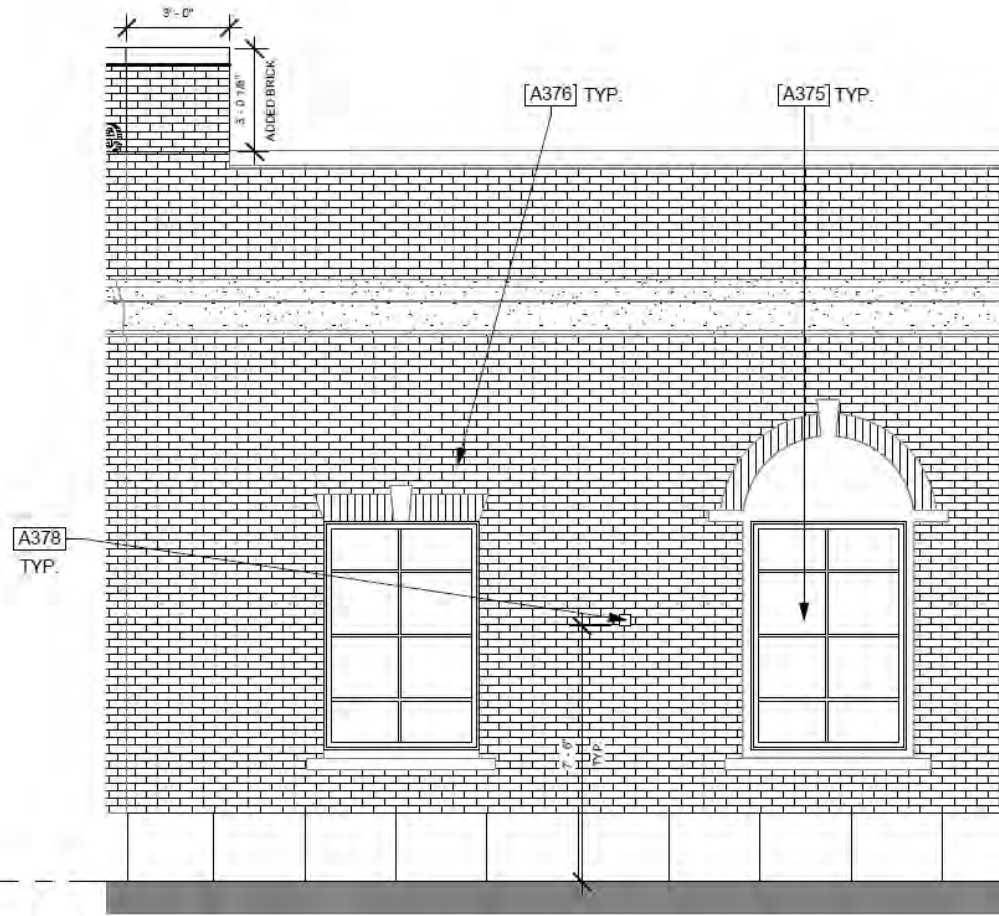
**Docket No. 12-87-22 (14800 Madison)**  
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KEYNOTE SCHEDULE	
TAG	NOTE
A371	PROPOSED LOCATION FOR SIGNAGE, DETAILS LISTED.
A373	MAPES LUMISHADE ALUMINUM CANTILEVER SUPPORT CANOPY, RED PAINT COLOR. SEE MAPES ARCHITECTURAL CANOPIES FOR SPEC DETAILS.
A375	INSTALL WINDOWS IN EXISTING OPENINGS. GLASS MANUFACTURER TBD.
A376	PATCH AND REPAIR BRICK AS NEEDED FROM EXISTING CANOPY REMOVAL.
A378	4.5' x 4.5' VEX WALL SCONCE 700 OWVEX - 940, 90 CRI 4000K. SEE SPECS FOR MORE DETAILS.



2 SOUTH EAST ELEVATION  
1/4" = 1'-0"

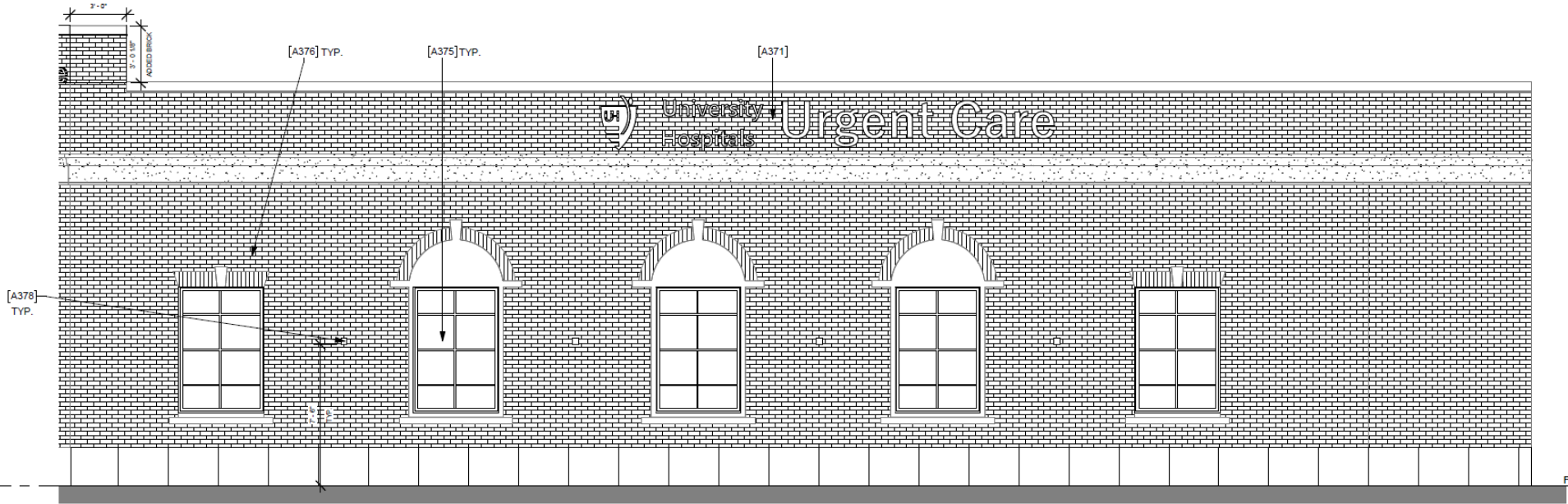


# Docket No. 12-87-22 (14800 Madison)

## Commercial Renovation – Urgent Care

# KEYNOTE SCHEDULE

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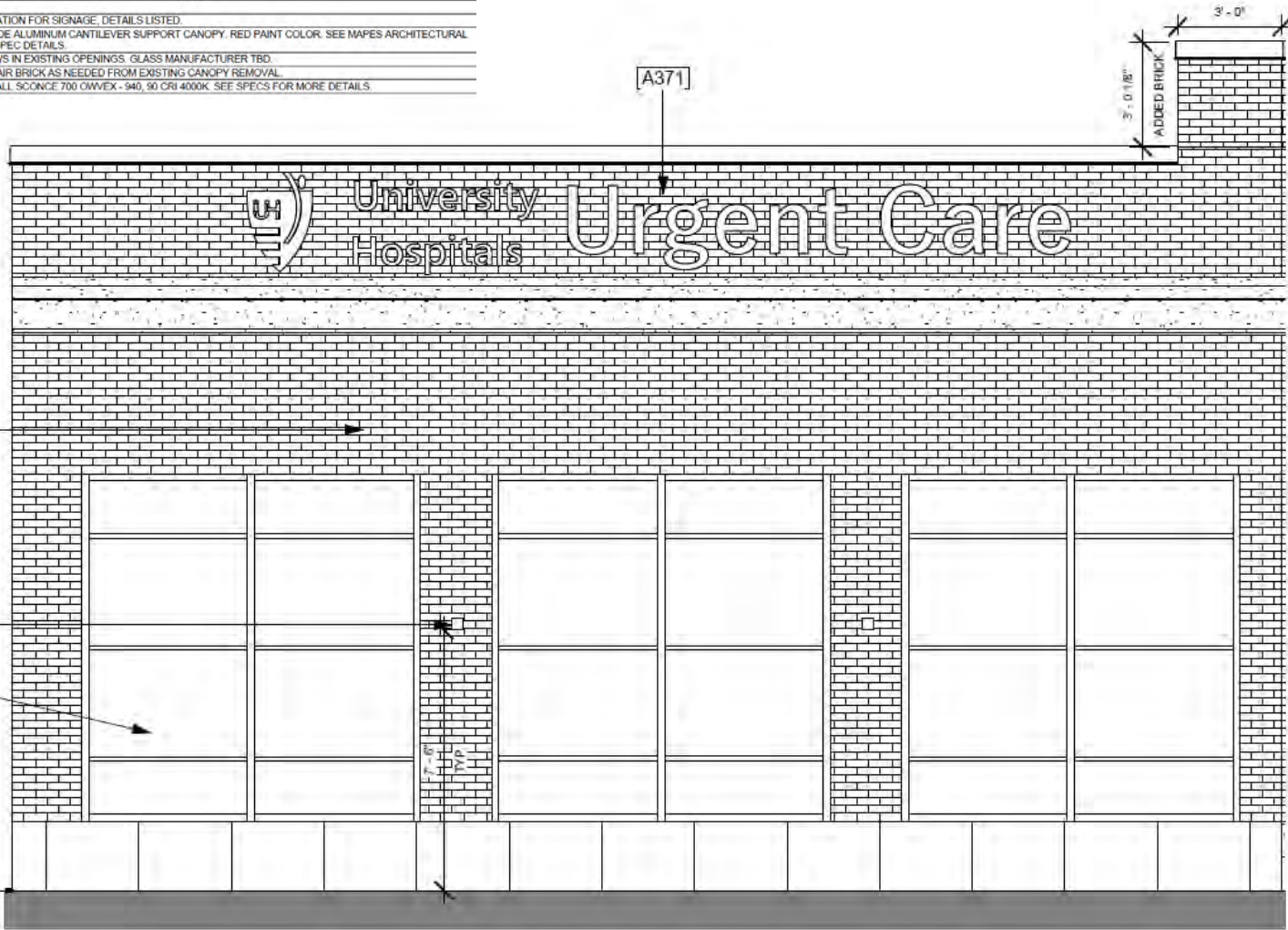
1 EAST ELEVATION  
1/4" = 1'-0"



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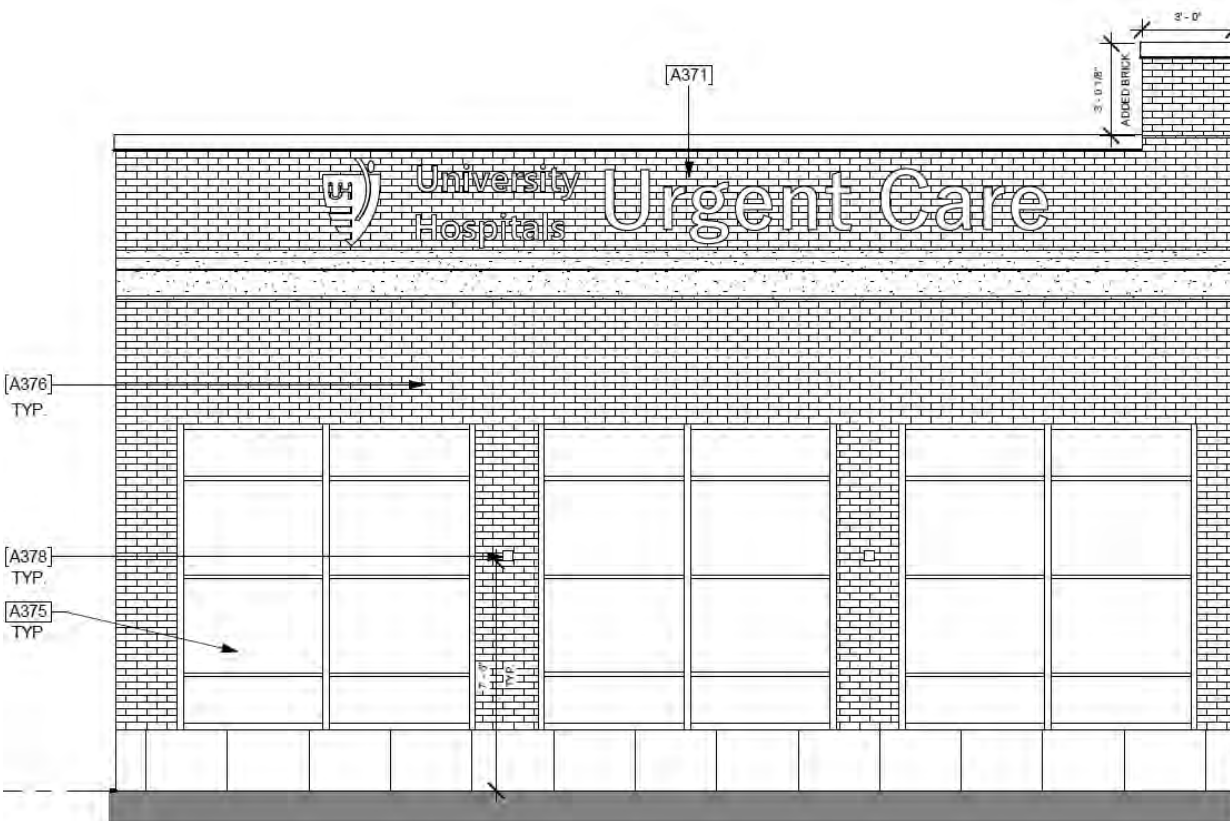
3 SOUTH ELEVATION  
1/4" = 1'-0"



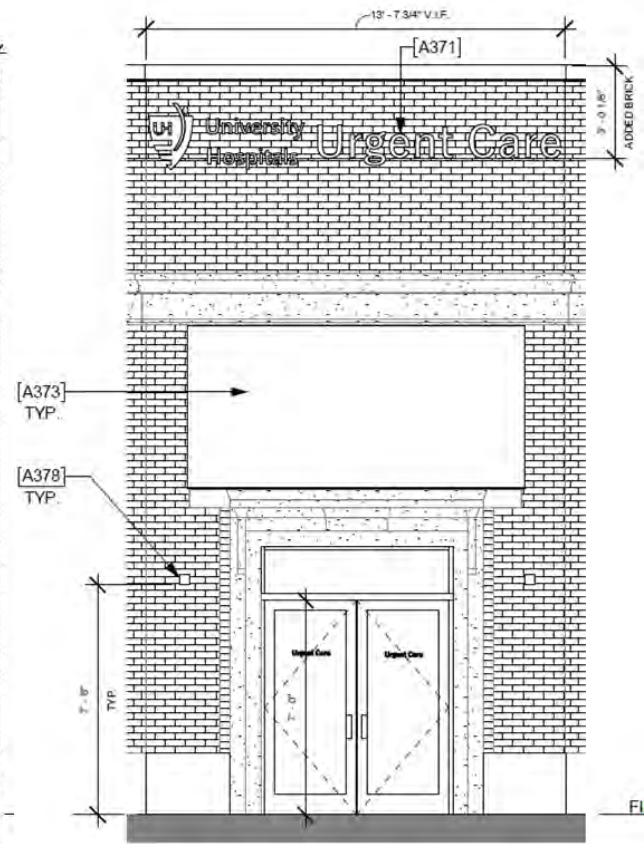
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3 SOUTH ELEVATION  
1/4" = 1'-0"

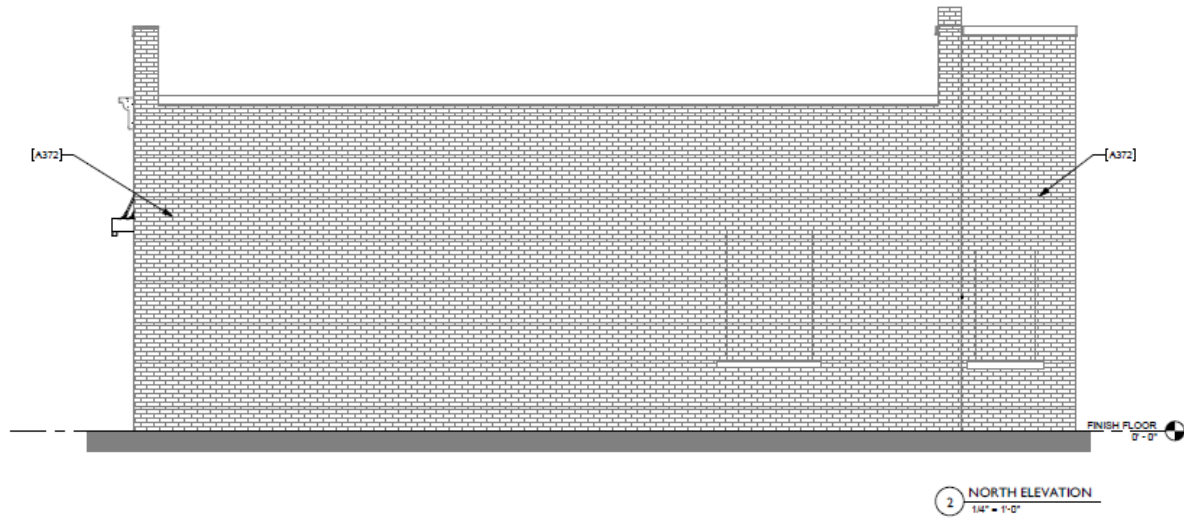
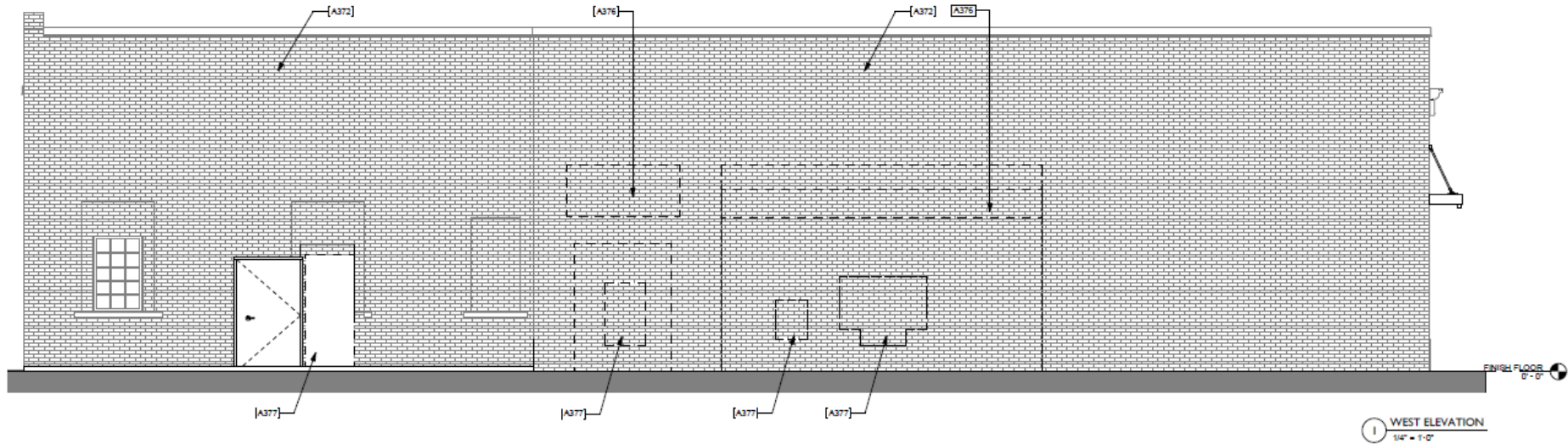


2 SOUTH EAST ELEVATION  
1/4" = 1'-0"



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care

# West & North elevations - From 11/29 Plans (no update provided)



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



FRONT ENTRANCE  
DECEMBER 6, 2022



WellStreet Urgent Care



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



EAST ELEVATION  
DECEMBER 6, 2022



WellStreet Urgent Care



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



SOUTH ELEVATION  
DECEMBER 6, 2022



WellStreet Urgent Care



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



FRONT ENTRANCE  
DECEMBER 6, 2022



WellStreet Urgent Care



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



EAST ELEVATION  
DECEMBER 6, 2022



WellStreet Urgent Care



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



SOUTH ELEVATION  
DECEMBER 8, 2022



WellStreet Urgent Care



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care



**United Plate Glass Company, Inc.**

Butler, PA: 800-772-7783

Fax: 724-848-4946

Lincolnton, NC: 866-361-8992

Fax: 828-970-6114

**CERAMIC FRIT SPANDREL GLASS**

**Standard Color Chart**



Black



Solar Gray



Warm Gray



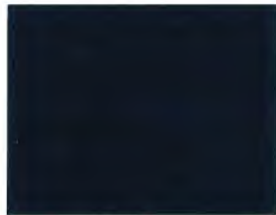
Solar Bronze



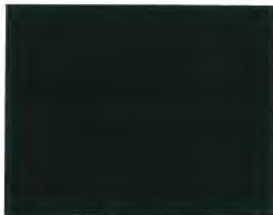
Smoke



Harmony Solex



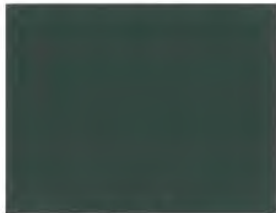
Ford Blue



Gunmetal



Lava Bronze



Charcoal



Hi Opacity White



White on Low Iron

*NOTE: Color chips are simply close representations to actual colors manufactured. Actual production line samples are recommended for final color approval.*



**Docket No. 12-87-22 (14800 Madison)**  
**Commercial Renovation – Urgent Care**



**T-14000-series Storefront Framing**  
**Center and Front Glazed Thermally Broken**  
Product Details

Details:

- T-14000 series has a 2" sightline and is 4-1/2" deep.
- Utilizes a snap-in heavy duty CDM-32 door stop, which is 3/16" thick, 5/8" high and 1-1/2" wide. This door stop is an excellent choice where closers, removable hardware mullion, and strikes are mounted directly to door stop.
- High performance flashing always used on exterior applications.
- System can be specified as a complete thermally broken system, where door jambs and door stops are also thermally broken. FTM-1 door stop holds the same dimensions as CDM-32 and is the only snap-in door stop in the market that maintains systems thermally broken status.
- Center and front glazed options.
- Flush glazed system.
- Additional feature: Stabilizer brackets are used in areas, where extra reinforcement and support are needed.
- Unlimited design possibilities and hardware options.
- Infills range from 1/4" to 1-1/8".
- Virtually maintenance-free construction.
- Custom and standard anodized, painted, and wood grain finishes.
- UltraFab's UltraFin weatherseals for door stops.
- Unlimited head rail, midrail, and base sizes and configurations available.
- Numerous muntin details available.
- Flush glazed door panels (fluted and smooth patterns) available.
- Concealed card readers available.
- Sunshade adaptable.
- Operable windows, head receptors and historical glazing kits available.
- Design Limits – 12 feet high/ 14 feet high with design modifications. Width limits - wide spans with addition of expansion jambs every 16 feet to 21 feet.

Product Uses

- Areas of common use: Military installations, schools, universities, water treatment plants, banks, stores, government buildings, restaurants, hotels, utilities buildings, YMCAs, indoor pool areas, greenhouses, aquatic centers.



**NS-250**  
**Heavy-Duty**  
**Aluminum Stile & Rail Door Entrances**  
Product Details

Details:

- NS-250 narrow stile has 2-1/2 inch vertical stiles with 1/8" thick walls with .140" top rail wall thickness for closer and header stop mounting.
- Doors are 1-3/4" thick.
- True mortise and tenon construction, maximizing joint strength and eliminating any chance of daylight through stile and rail intersections.
- Unlimited hardware options.
- Infills range from 1/4" to 1-5/16".
- Custom and standard anodized, painted, and wood grain finishes.
- UltraFab's UltraFin weatherseals for meeting stiles and framing door stops.
- Can be thermally insulated with 1-1/2" polyisocyanurate rigid foam insulation. "R" value 11.23 and "u" factor .089.
- Unlimited rail sizes and configurations available.
- Numerous muntin details available.
- Continuous non-removable exterior glazing leg for ultimate security.
- Glazed door panels available.
- Concealed card readers available.
- Hurricane, historical, and "blinds in glass" glazing kits available

Product Uses

- NS-250 doors are designed to maximize daylight opening without sacrificing heavy-duty functionality. Limited on hardware applications. Used on offices, stores, and restaurants.



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**Commercial Renovation – Urgent Care**

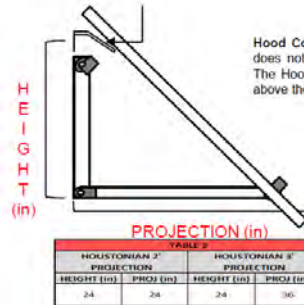
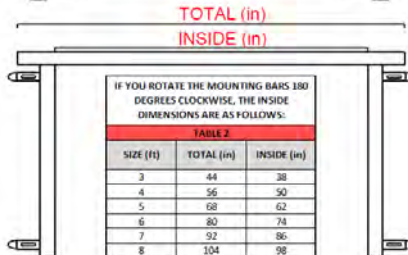
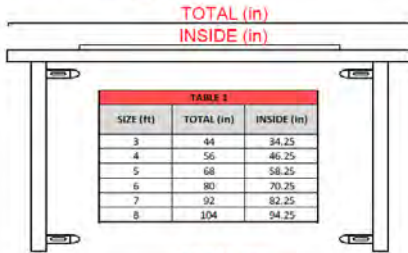
The Houstonian awning is a standing seam metal awning applicable for doors, windows, and entryways. This awning is perfect for any residential home or commercial buildings. Its modular design makes assembly and installation seamless for any professional installer, contractor, or anyone looking to do a DIY (Do-It-Yourself) project.

The awning is individually hand-crafted and durable. The framework is constructed out of a powder-coated steel with stainless steel hardware. The powder-coated finishes are available in black, bronze, copper, and pewter. The finish is treated with resistant coatings that keep the awning water resistant, fade resistant, and prevent mildew and soil build up. The awnings material and structure can withstand harsh winds, heavy rain, snow, and is even perfect for high humidity climates.

Assembling this fixed awning is simple with its step-by-step manual and can be installed on many different surfaces types such as brick, stucco, wood, stone and other surfaces.



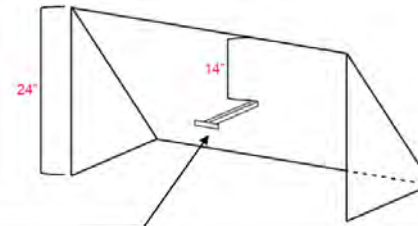
### Measuring Guide



Hood Cover (part "n"): The height of the awning does not take the Hood Cover into consideration. The Hood Cover can be mounted at any distance above the solid frame of the awning.

**PLEASE NOTE:** For Houstonian widths 5' through 8' ONLY (does not apply to widths 3' or 4'), an additional middle support is included in the kit. This middle support is meant to run perpendicular from the wall and can therefore make it difficult or impossible to install around a window/door. Please refer to page 17 in the 5' through 8' width Houstonian owner's manual for more information.

Please note that the (q) Middle Support is **not required and is only a recommendation** to provide additional structural support to the middle of the awning. Customers who wish to install this unit around the perimeter of a window/door frame can do so by eliminating the (q) Middle Support.



The Vex Outdoor LED Wall Sconce is a minimalist profile featuring up and down lighting and delivers a wide range of optical control and illumination options. Independently controlled beam angles range from 10° - 120° achieved with a simple tool-free adjustment. Beams are lockable and can be set symmetric or asymmetric in both directions. Angle markers ensure consistency and precision from fixture to fixture. Vex is ideal for indoor or outdoor accent lighting, ambient lighting and wayfinding where beam angle is critical.

**Key features**

- Tool-free, independent, up/down beam angle adjustment 10° - 120°
- Asymmetric or Symmetric Beam Shaping
- Lockable
- Angle markers for consistent and precise aiming

**SPECIFICATIONS**

DELIVERED LUMENS	554.3
WATTS	18.7
VOLTAGE	Universal 120V - 277V
DIMMING	0-10V, ELV, TRAC, CL
LIGHT DISTRIBUTION	Symmetric or Asymmetric depending on beam doors position
MOUNTING OPTIONS	Wall
OPTICS	Adjustable beam spread
CCT	2700K, 3000K or 4000K
CRI	90+
COLOR BINNING	3-Step
BUG RATING	B0-U3-G0
DARK SKY	Non-Compliant
WET LISTED	IP65
GENERAL LISTING	ETL, ADA
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 years
WEIGHT	2.4 lbs.



VEX shown in black



VEX shown in bronze



VEX shown in charcoal



VEX shown in white

\*Visit [techlighting.com](http://techlighting.com) for specific warranty limitations and details. Ships with optional acrylic cover for protection against outdoor debris.

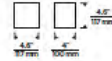
**ORDERING INFORMATION**

PRODUCT	CR/CCT	LENGTH	FINISH	FUNCTION	INPUT VOLTAGE
7000WVEX	927 90 CRI, 2700K	4' 4"	H CHARCOAL	UPLIGHT AND DOWNLIGHT	UNV UNV120V-277V
	930 90 CRI, 3000K		Z BRONZE	DO DOWNLIGHT ONLY	
	940 90 CRI, 4000K		W WHITE		
			B BLACK		

SHIPS WITH OPTIONAL ACRYLIC COVER FOR PROTECTION AGAINST OUTDOOR DEBRIS.

[techlighting.com](http://techlighting.com)

UPDATED 6/17/21

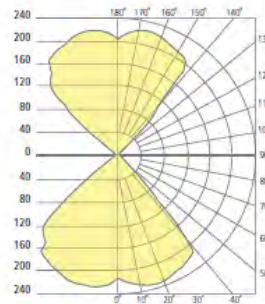


Vex Wall Sconce

**PHOTOMETRICS\***

\*For latest photometrics, please visit [www.techlighting.com/OUTDOOR](http://www.techlighting.com/OUTDOOR)

VEX  
 Total Lumen Output: 554.3  
 Total Power: 18.7  
 Luminaire Efficacy: 29.6  
 Color Temp: 3000K  
 CRI: 90+  
 BUG Rating: B0-U3-G0



**PROJECT INFO**

FIXTURE TYPE & QUANTITY	JOB NAME & INFO	NOTES



# Docket No. 12-87-22 (14800 Madison)

## Commercial Renovation – Urgent Care

# City Standards for Painting or Covering of Masonry Surfaces

The following standards shall be met for the painting of any masonry surface:

1. Painting, staining, or covering, such as but not limited to stucco, of previously unpainted or uncovered masonry surfaces is not supported or recommended. There are several reasons for the basis of this recommendation and generally include:
  - a. Painting masonry results in regular, costly maintenance whereas natural masonry is low in maintenance work and cost;
  - b. Painting masonry can result in moisture being trapped in the wall system causing unintended damage to the masonry itself and the building;
  - c. For historic buildings or those located in a historic district, painting of masonry is not recommended by the Secretary of Interior's Standards for Historic Rehabilitation and such action may result in the loss of the historic designation of the building or district – including possibly preventing a building or district from being nominated; and
  - d. There are other alternatives to the painting of masonry.
2. However, in the event such painting, staining, or covering is found to be necessary, at a minimum:
  - a. The application of such paint, stain, or covering must use a system compatible with the surface on which it is being applied. A mineral paint system is preferred.
  - b. The paint, stain, or covering must be durable, easy to apply and have good adhesive characteristics.
  - c. The paint, stain, or covering must be porous, thereby permitting the wall to breathe and preventing the trapping of free moisture behind the paint or stain film or covering.
  - d. All manufacturer and industry standard specifications must be followed.
  - e. A maintenance plan must be provided and developed in accordance with manufacturer and industry standards and strictly implemented.
3. Clear / Transparent and porous waterproofing in a matte or flat finish allowing the wall to breathe is permissible with the application of a system compatible with the surface on which it is being applied. All manufacturer and industry standard specifications must be followed.
4. The U.S. Secretary of Interior Standards for Rehabilitation of Historic Structures shall be complied with for any building:
  - a. Designated by the City of Lakewood as a historic property or landmark or located in historic property district; or
  - b. Individually listed or located within a listed district of the National Register of Historic Places.
5. All contractors must be registered with the City prior to the commencement of any approved work subject to these standards.



**Docket No. 12-87-22 (14800 Madison)**  
**Commercial Renovation – Urgent Care**

## **Commercial District Design Guidelines (Revised March 2011)**

The Commercial District Design Guidelines embody community values and offer direction to new development, rehabilitation, redevelopment and other improvements in Lakewood's commercial districts. The target audience is developers, designers, property owners, business owners, visitors and residents.

At the core of these guidelines are three fundamental goals that serve as the basis for the design principles. These goals are the vision and articulation of the characteristics that make for a vibrant downtown and commercial districts. The design principles are categories to describe the physical elements and manifestations of that vision.

### **The Prime Directive – Fundamental Goals for Design and Development:**

- **Create Places for People.** Vibrant cities promote and develop places that always put people first. Lakewood's places must be safe, comfortable, varied, attractive and fun.
- **Enhance Existing Assets.** Vibrant cities require that development respond to and engage with its setting. Lakewood's existing qualities--its density, walkability, and historic streetcar-era building stock – should be enriched and preserved whenever possible.
- **Create Connections.** Vibrant cities make it easy for people to navigate and connect to, from and within them. Lakewood's connections will link its' attributes, amenities and public spaces physically, psychologically and visually.

**The Commercial Design Principles.** The following five principles elaborate on the concepts, means and methods of development that will positively impact the physical realm of Lakewood's commercial districts.

- Think Pedestrian First
- Place Activity at the Street
- Minimize the Impact of Parking and Vehicles
- Compatibility with the Historic Context
- Quality of Design



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care

## 1325.08 PARKING AND VACANT LOT DESIGN.

The following design standards shall apply to off-street parking spaces except in the R-1H, R-1L and R-1M Districts and vacant and unimproved lots in all districts.

- (a) Each required parking space shall have an unobstructed access to a public street.
- (b) **Each required parking space shall have a minimum dimension of 9 feet wide by 18 foot long** - 162 square feet exclusive of driveways, aisles, ramps or columns, **except that the Board in its consideration of the design of a parking lot may allow a maximum percent of required spaces for compact and subcompact cars not less than 8 feet wide and 15 feet long.**
- (c) **Depth of rows or parking spaces** shall be 20 feet, except as provided in subsection (b).
  - Aisle width when row of spaces is at 90 degrees to aisle: minimum of 20 feet.
  - Aisle width when row of spaces is at 60 degrees to aisle: minimum of 15 feet.
  - Aisle width when row of spaces is at 45 degrees to aisle: minimum of 10 feet.
- (d) All parking areas, and access driveways shall be improved with concrete, asphalt, or other material approved by the Board, and shall be graded to drain all storm water into a storm sewer or other on-site storm water management device. There shall be no free flow of water onto either adjacent properties or sidewalk.
- (e) **Spaces shall be so arranged and marked to provide for orderly and safe parking and shall be improved with bumper or wheel stops to define parking spaces.** Concrete curbs at least six inches above the finished surface of the parking area shall be provided to contain the edge of the parking surface and control surface water drainage. Wheel stops shall be placed so that bumpers shall not protrude beyond the curbs.
- (f) **Lighting may be required for parking lots to be used after sunset.** The light fixtures shall be arranged to reflect light away from adjacent residential property to reduce any annoyance the lights may cause pursuant to Section 1306.311.
- (g) **Screening of parking lots.** Parking lots abutting a residential lot or projecting into a residential district by a special exception shall have a solid visual barrier at least four feet high on the common parking lot, residential lot line by one or a combination of the following methods:
  - (1) Solid decorative masonry wall.
  - (2) Landscape earth mound not less than 2 to 1 slope.
  - (3) **Treated wood fence.**
  - (4) Evergreen hedge chain link fence.
- (i) "Handicapped parking" shall conform to the requirements as set forth in the Americans with Disabilities Act (ADA).



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care

## 1306.311 OUTDOOR LIGHTING.

### (b) Lighting Fixture Design and Control.

- (2) For the lighting of predominantly horizontal surfaces such as, but not limited to parking areas...building entrances...**luminaires shall be aimed straight down, have no uplight and shall meet IESNA full-cutoff/fully shielded criteria.**
- (4) **Area light shall not be permitted where visible, during hours of darkness, from a residential use, unless fitted with a reflector or other shielding device to block direct viewing of the light source from the adjacent use.**
- (5) **All lighting shall be aimed, located, designed, fitted and maintained so as not to present a hazard and so as not to create a light trespass by projecting or reflecting objectionable light onto a neighboring use or property.**

**(c) Plan Submission.** For all commercial properties where site lighting is proposed or otherwise required by the City, lighting plans shall be submitted to the Commissioner for review and approval with any preliminary development plan application or with any conditional use application. The Commissioner may also require that lighting plans be submitted for Building Permit applications or referred to Architectural Review Board for review.

### **Lighting plans shall include:**

- (1) **A site plan**, complete with all structures, parking spaces, building entrances, traffic areas (both vehicular and pedestrian), vegetation that might interfere with lighting, and adjacent uses that might be adversely impacted by the lighting, containing a layout of all proposed fixtures by location, mounting height and type. The submission shall include, in addition to area lighting, exterior architectural, building entrance, landscape lighting, etc.
- (2) **A point-by-point illuminance-grid plot on 10-foot-by-10-foot centers** (or as necessary for suitable legibility) of footcandles overlaid on the site plan, plotted out to 0.0 maintained footcandles, which demonstrate compliance with the light trespass, illuminance and uniformity requirements as set forth in this Section or as otherwise required by the City.
- (3) **Description of the proposed equipment**, including fixture catalog cuts, photometrics, glare reduction devices, lamps, on/off control devices, mounting heights, pole wind-loading conformance, foundation pole details and mounting methods.
- (4) **Landscaping plans** shall contain lighting fixture locations and shall demonstrate that the site lighting and landscaping have been coordinated to minimize conflict between vegetation and intended light distribution, both initially and at vegetation maturity.



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care

## 1783.07 LOCATION OF RECEPTACLES.

- (a) No person shall place or maintain any receptacle for garbage, ashes or rubbish so that it will be or constitute a nuisance.
- (b) Receptacles for garbage, ashes or rubbish maintained for public collection shall be so placed as to be readily accessible for collection.
- (c) In an ML, MH, C1, C2, C3 and I zoning district, no person shall store refuse or garbage lawfully retained on the premises pending disposition thereof unless same is **stored out of view of the public right of way, within a permanent building or structure or is shielded in a manner approved by the Architectural Board of Review.**
- (d) The Mayor or Director of Public Safety and the Building Commissioner are hereby charged with the enforcement of subsection (c) hereof.  
(Ord. 59-08. Passed 7-21-2008.)



**Docket No. 12-87-22 (14800 Madison)**  
Commercial Renovation – Urgent Care

**Applicant proposes renovation of commercial building.**

**City Notes:**

N/A.



**Docket No. 12-88-22 (17900 Detroit)**  
**Commercial Renovation – Artis Restaurant**  
**Greydon Petznick**









EXISTING CONDITIONS  
1 FRONT (SOUTH) ELEVATION AT DETROIT  
SCALE: N.T.S.



EXISTING CONDITIONS  
2 FRONT (SOUTHWEST) CORNER AT DETROIT  
SCALE: N.T.S.



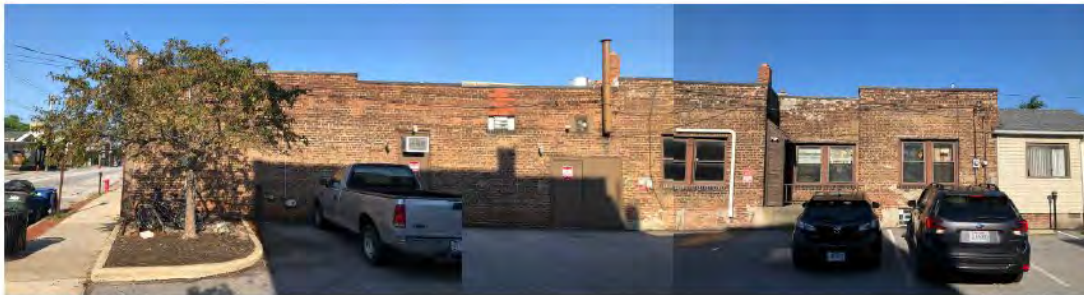
EXISTING CONDITIONS  
3 FRONT (SOUTH) ELEVATION AT SIDEWALK  
SCALE: N.T.S.



EXISTING CONDITIONS  
4 FRONT (SOUTH) ELEVATION AT SIDEWALK DETAIL  
SCALE: N.T.S.



EXISTING CONDITIONS  
5 FRONT (SOUTHEAST) CORNER AT SIDEWALK DETAIL  
SCALE: N.T.S.



EXISTING CONDITIONS  
6 SIDE (EAST) CORNER AT CITY PARKING LOT  
SCALE: N.T.S.



EXISTING CONDITIONS  
7 REAR WOOD FRAMED ADDITIONS  
SCALE: N.T.S.



# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant



- BLADE SIGNAGE
- STUCCOED MASONRY CORNING
- STUCCO OVER COMMON BRICK MASONRY
- INSET TILE IN STUCCO
- RETRACTABLE AWNING
- WOOD STOREFRONT/PLATE GLASS

1 HISTORIC FACADE - STUCCO LATE 1930s - MAHEUS TAVERN  
SCALE: N.T.S.

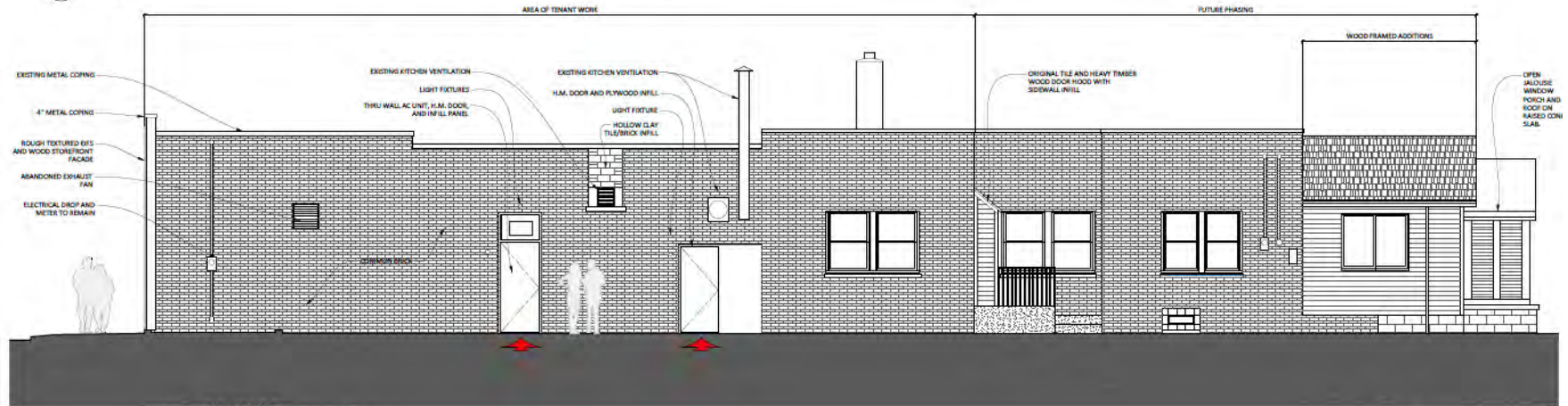


- DEMOLISHED ORIGINAL FACADE FOR NEW WOOD SHINGLE HOOD
- SOLID DOOR
- SONAGE
- PUNCHED WINDOWS
- APPLIED FACE BRICK VENER

2 HISTORIC FACADE - REMODELED BRICK LATE 1970s - CUCKOO'S NEST  
SCALE: N.T.S.



EXISTING ELEVATION  
AS-FOUND FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

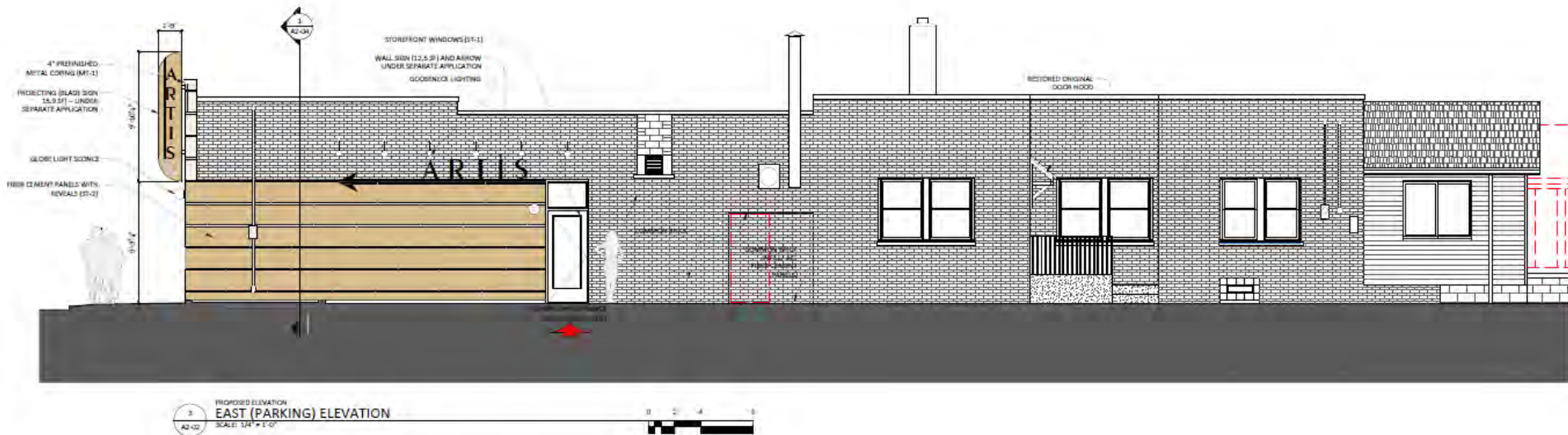
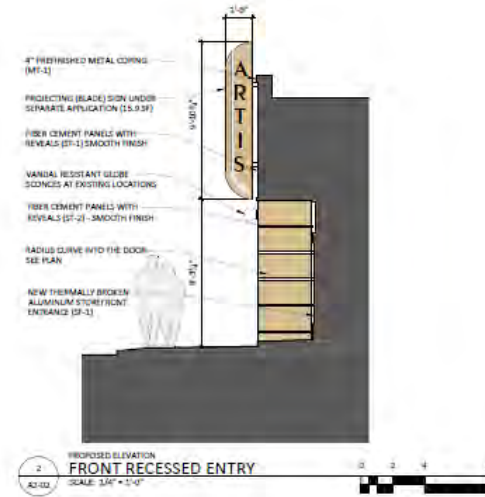
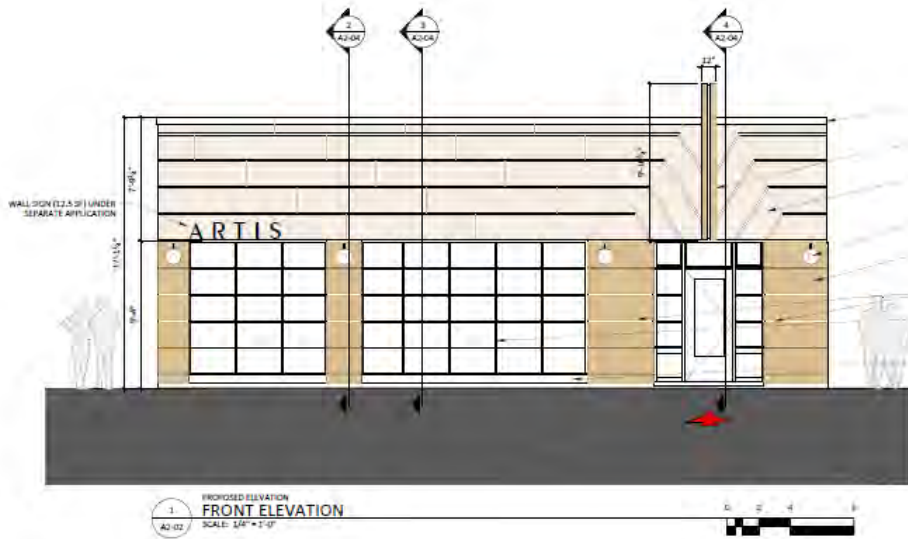


EXISTING ELEVATION  
EAST (PARKING) ELEVATION  
SCALE: 1/4" = 1'-0"



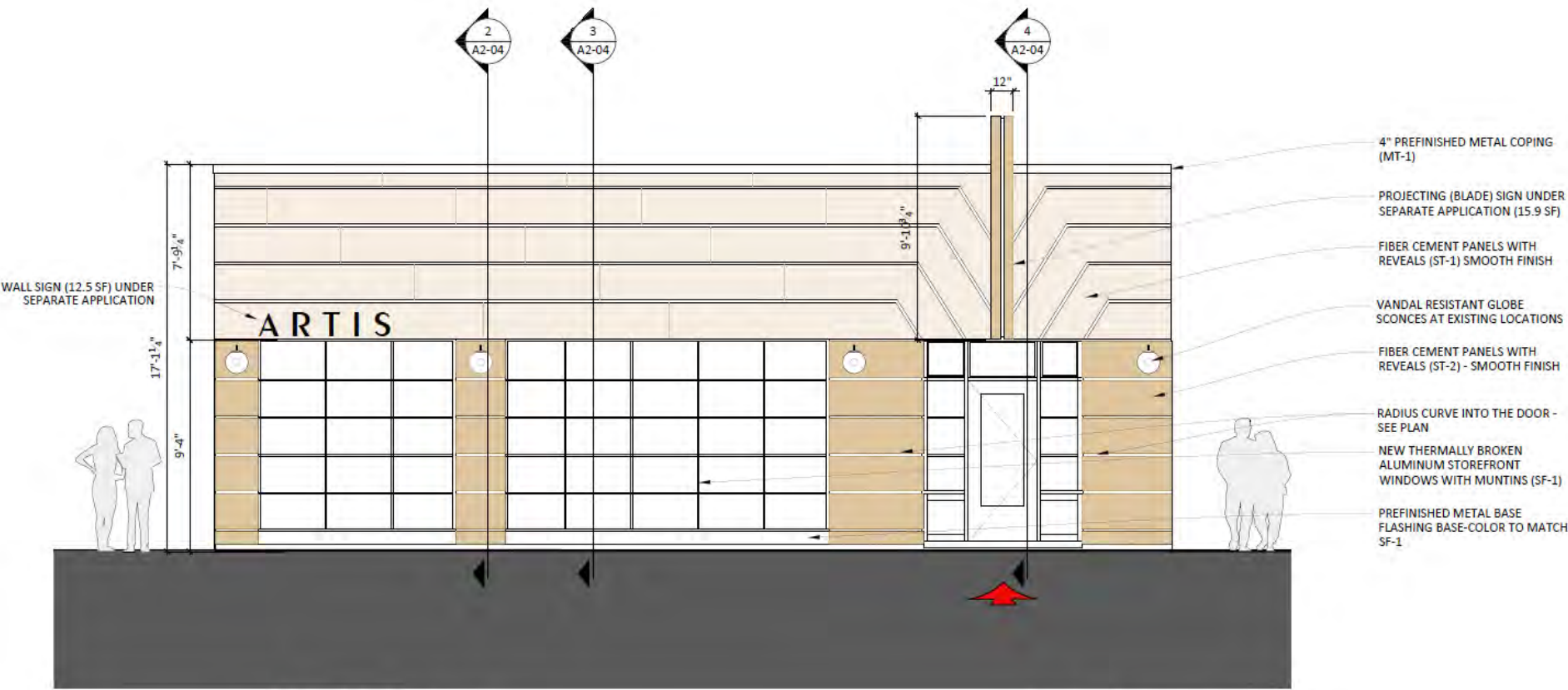
# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant



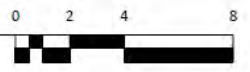
# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation - Artis Restaurant



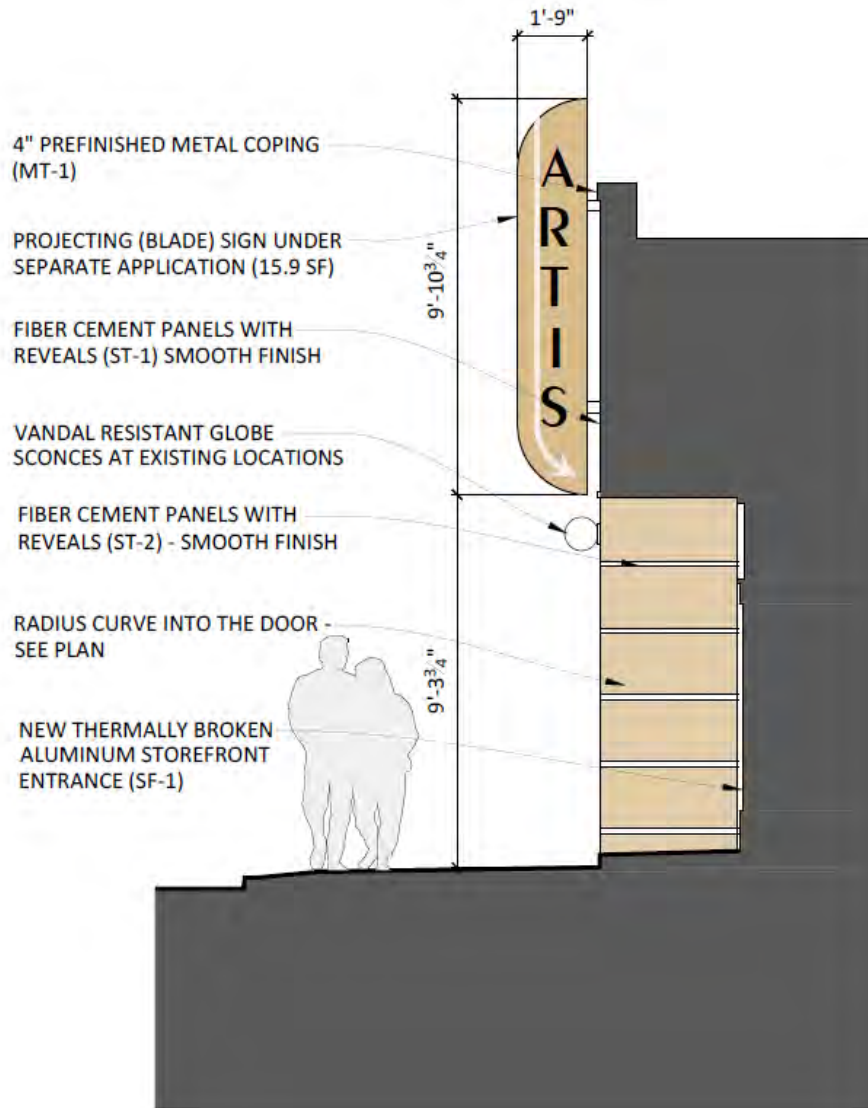
1  
A2-02

PROPOSED ELEVATION  
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



# Docket No. 12-88-22 (17900 Detroit)

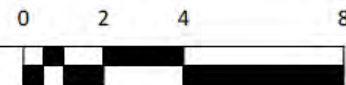
## Commercial Renovation – Artis Restaurant



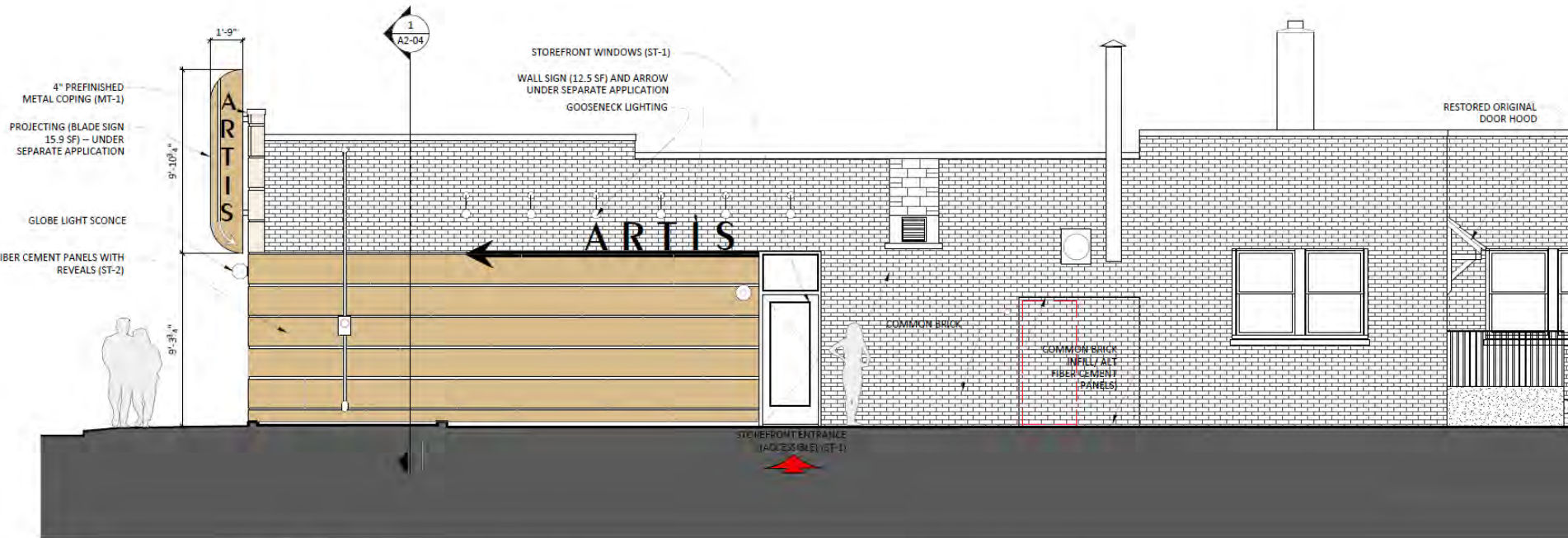
2  
A2-02

PROPOSED ELEVATION  
FRONT RECESSED ENTRY

SCALE: 1/4" = 1'-0"



**Docket No. 12-88-22 (17900 Detroit)**  
Commercial Renovation – Artis Restaurant



3  
A2-02  
PROPOSED ELEVATION  
**EAST (PARKING) ELEVATION**  
SCALE: 1/4" = 1'-0"

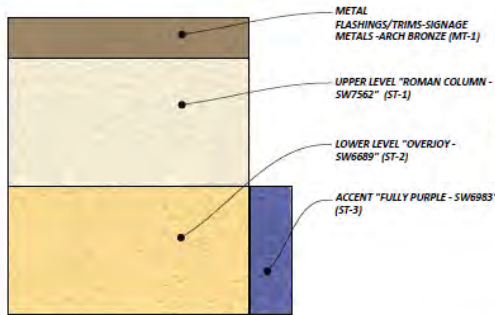


# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant



PROPOSED  
**1**  
 A2-03 **SCHEMATIC RENDERING - SCHEME B**  
 SCALE: N.T.S.



PROPOSED  
**2**  
 A2-03 **COLOR PALETTE**  
 SCALE: N.T.S.

SIGNAGE BY SEPARATE APPLICATION. PROJECTING (BLADE) AND (2) WALL SIGNS SHOWN RENDERED FOR INTENT, MATERIAL, SCALE, AND FEEDBACK. AS SHOWN AREA OF SIGNS ARE 41 SF + 61.6 SF (1.5 X 41'-3" FRONTAGE)

PROPOSED  
**3**  
 A2-03 **BLADE AND WALL SIGNAGE**  
 SCALE: N.T.S.

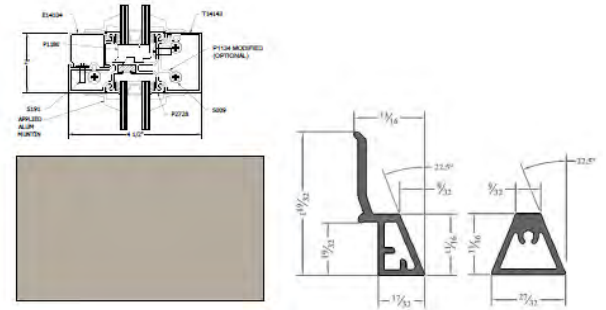


**SIDE ELEVATION SIGNAGE LIGHTING:**  
 BOOSERCK  
 BASIS OF DESIGN: TROY LIGHTING RALD-VANDAL RESISTANT 10" LED LIGHT IN BURNISHED BRONZE

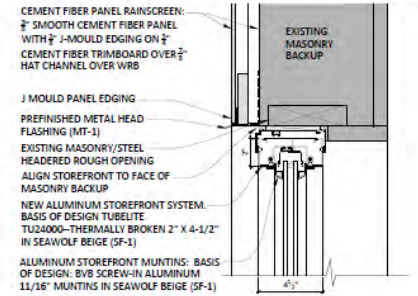
PROPOSED  
**4**  
 A2-03 **EXTERIOR LIGHTING**  
 SCALE: N.T.S.



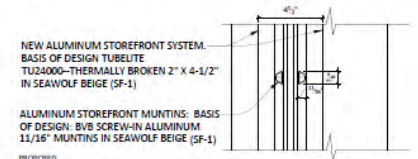
**FRONT ELEVATION LIGHTING:**  
 GLOBE SCORCE  
 BASIS OF DESIGN: ANSEL 10" GLOBE BY TROY LIGHTING



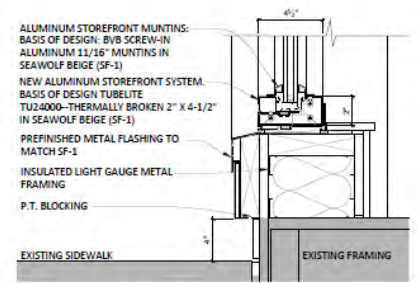
PROPOSED  
**5**  
 A2-03 **NEW STOREFRONT**  
 SCALE: N.T.S.



PROPOSED  
**5A**  
 A2-03 **NEW STOREFRONT HEAD / JAMB (SIM)**  
 SCALE: 3/8" = 1'-0"



PROPOSED  
**5B**  
 A2-03 **NEW STOREFRONT MUNTINS**  
 SCALE: 3/8" = 1'-0"



PROPOSED  
**5C**  
 A2-03 **NEW STOREFRONT SILL**  
 SCALE: 3/8" = 1'-0"



# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant



1 PROPOSED  
SCHEMATIC RENDERING - SCHEME B  
A2-03 SCALE: N.T.S.



# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant

PREFINISHED METAL COPING (MT-1) ON P.T. PLATE FULLY WRAPPED WITH BITUTHANE  
 EXISTING MASONRY PARAPET  
 EXISTING COMMON BRICK WALL

PREFINISHED METAL CAP FLASHING (MT-1)

CEMENT FIBER TRIM BLOCKING

CEMENT FIBER PANEL RAINSCREEN: 2" SMOOTH FINISH CEMENT FIBER PANEL EDGED WITH 2" J MOULDING INSTALLED WITH 1-1/2" REVEAL OVER 2" X 5-1/2" CEMENT FIBER TRIM BOARDS CONT. OVER 2" GALV HAT CHANNELS OVER WRB ON EXISTING MASONRY BACKUP

CEMENT FIBER TRIM BLOCKING  
 PREFINISHED BASE FLASHING (MT-1)  
 EXISTING PARKING ASPHALT

PREFINISHED METAL COPING (MT-1) ON P.T. PLATE FULLY WRAPPED WITH BITUTHANE  
 CEMENT FIBER TRIM BLOCKING

EXISTING MASONRY PARAPET

CEMENT FIBER PANEL RAINSCREEN: 2" SMOOTH FINISH CEMENT FIBER PANEL EDGED WITH 2" J MOULDING INSTALLED WITH 1-1/2" REVEAL OVER 2" X 5-1/2" CEMENT FIBER TRIM BOARDS CONT. OVER 2" GALV HAT CHANNELS OVER WRB ON EXISTING MASONRY BACKUP

NEW GLOBE LIGHT FIXTURE IN EXISTING LOCATION

EXISTING MASONRY WALL

EXISTING SIDEWALK

PREFINISHED METAL COPING (MT-1) ON P.T. PLATE FULLY WRAPPED WITH BITUTHANE  
 CEMENT FIBER TRIM BLOCKING

EXISTING MASONRY PARAPET

CEMENT FIBER PANEL RAINSCREEN: 2" SMOOTH FINISH CEMENT FIBER PANEL EDGED WITH 2" J MOULDING INSTALLED WITH 1-1/2" REVEAL OVER 2" X 5-1/2" CEMENT FIBER TRIM BOARDS CONT. OVER 2" GALV HAT CHANNELS OVER WRB ON EXISTING MASONRY BACKUP

CEMENT FIBER TRIM BLOCKING  
 PREFINISHED HEAD FLASHING (MT-1)  
 NEW STOREFRONT (SF-1)

ALUM STOREFRONT MUNTIN (SF-1)

PREFINISHED METAL FLASHING TO MATCH SF-1  
 INSULATED LIGHT GAUGE METAL FRAMING  
 EXISTING SIDEWALK

PROJECTING (BLADE) SIGN PER SEPARATE SIGNAGE SUBMISSION

PREFINISHED METAL COPING (MT-1) ON P.T. PLATE FULLY WRAPPED WITH BITUTHANE  
 CEMENT FIBER TRIM BLOCKING

EXISTING MASONRY PARAPET

CEMENT FIBER PANEL RAINSCREEN: 2" SMOOTH FINISH CEMENT FIBER PANEL EDGED WITH 2" J MOULDING INSTALLED WITH 1-1/2" REVEAL OVER 2" X 5-1/2" CEMENT FIBER TRIM BOARDS CONT. OVER 2" GALV HAT CHANNELS OVER WRB ON EXISTING MASONRY BACKUP

CEMENT FIBER TRIM BLOCKING

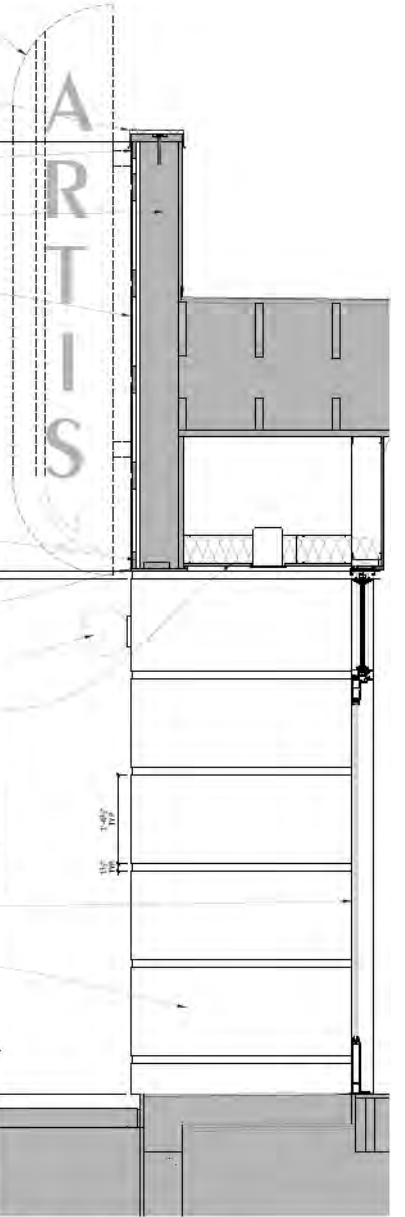
PREFINISHED HEAD FLASHING (MT-1)

GLOBE LIGHT FIXTURE IN EXISTING LOCATION

NEW RECESSED ENTRANCE CEILING WITH RECESSED LIGHTING (ST-3)

NEW STOREFRONT ENTRANCE (SF-1)

LAMINATED 2 PLY 2" CEMENT FIBER PANEL AT RADIUS ENTRANCE



1 PROPOSED WALL SECTION AT PARKING SCALE: 1" = 1'-0"

2 PROPOSED WALL SECTION AT PIERS SCALE: 1" = 1'-0"

3 PROPOSED WALL SECTION AT WINDOWS SCALE: 1" = 1'-0"

4 PROPOSED WALL SECTION AT NEW ENTRY SCALE: 1" = 1'-0"



# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant

**DEMOLITION GENERAL NOTES**

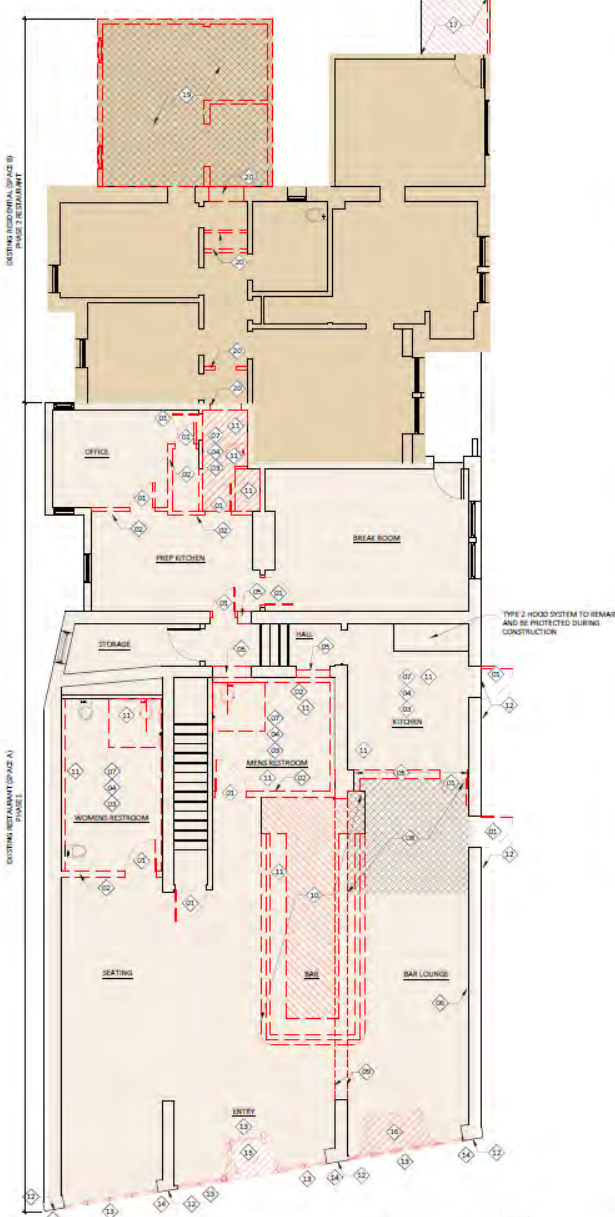
- DEMOLITION SHALL NOT BE LIMITED TO THE ITEMS SPECIFICALLY SHOWN IN THE DRAWINGS. THE INTENT IS TO SHOW THE GENERAL SCOPE OF DEMOLITION REQUIRED TO PREPARE THE SPACES FOR NEW CONSTRUCTION. CONTRACTOR IS TO BECOME FAMILIAR WITH THE FULL SCOPE OF NEW WORK INCLUDING ARCHITECTURE AND MEP. DEMOLITION IS TO REMOVE ALL ITEMS DETAILED HEREIN AS WELL AS THOSE NOT WHICH HAVE BEEN ADDED TO THE BASE WALL, FLOOR AND CEILING STRUCTURE. IN ORDER TO START THE NEW CONSTRUCTION WITHOUT INTERFERENCE OF RESIDUAL PART WORK.
- CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AS WELL AS ALL OSHA REGULATIONS TO PROTECT SAFETY OF WORKERS, PROPERTY, AND INSURE ENVIRONMENTAL PROTECTION.
- CONTRACTOR TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES. CONTRACTOR TO PROVIDE SUFFICIENT TEMPORARY BRACING AND/OR SHORING OF EXISTING STRUCTURE TO PREVENT ANY DAMAGE, OR INJURY RESULTING FROM THE DEMOLITION WORK REQUIRED.
- CONTRACTOR TO REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DAILY REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. CONTRACTOR SHALL MAINTAIN A REFUSE DUMPSTER ON SITE IF NECESSARY. COORDINATE LOCATION WITH BUILDING OWNER AND/OR CITY. DEMOLITION SPACE SHALL BE LEFT ROOM-CLEAN AND READY TO RECEIVE NEW CONSTRUCTION.
- THE NEW WORK IS LOCATED AT DIFFERENT LEVELS AND AREAS OF AN EXISTING, FUNCTIONING BUILDING WITH OCCUPANCY AND ACTIVE TENANTS. ALL LIFES, LIFE SAFETY SYSTEMS, AND UTILITIES ETC. SHALL REMAIN IN SERVICE AT ALL TIMES. SHOULD ANY SYSTEM NEED TO BE TAKEN OUT OF SERVICE FOR NEW WORK, A MINIMUM 48 HOURS NOTICE SHALL BE MADE TO THE OWNER WITH CONFIRMATION OF RECEIPT AND AGREEMENT TO THE SCHEDULED REQUEST.
- UNLESS OTHERWISE NOTED, ALL EXISTING BUILDING ELECTRICAL, LIGHTING, TV CABLE, TELEPHONE/DATA, CONDUIT & MECHANICAL DUCTWORK THAT IS EXISTING AND SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION.
- CONTACT ARCHITECT AND/OR OWNER IF DEMOLITION OR REMOVAL OF ANY ITEM NOT SPECIFICALLY IDENTIFIED IS IN QUESTION.
- CONTRACTORS SHALL VISIT AND INSPECT EXISTING BUILDING SITE AND BECOME FAMILIAR WITH ALL CONDITIONS IN FIELD PRIOR TO SUBMITTING A BID FOR DEMOLITION WORK.
- CONTRACTOR TO SALVAGE AND PROTECT FOR RE-USE ANY ITEMS INDICATED AS SUCH IN THE DRAWINGS.
- REMOVE AND DISCARD ALL REMAINING ELECTRICAL COMPONENTS WITHIN WALLS, CEILING & FLOORS SCHEDULED TO BE DEMOLISHED. REMOVE ITEMS BACK TO SERVICE. REFER TO ELECTRICAL DRAWINGS.
- REMOVE EXISTING OR ABANDONED PLUMBING IN FLOORS AND WALLS SCHEDULED TO BE DEMOLISHED. REMOVE PIPING BACK TO SOURCE WHERE POSSIBLE. CALL AS REQUIRED. REFER TO PLUMBING DRAWINGS.
- CONTRACTOR TO PROTECT THE EXISTING BUILDING IN ALL ASPECTS FROM DAMAGE DUE TO WEATHER AND/OR OTHER INTERUSIONS.
- CAREFULLY SAWCUT / CORE DRILL EXISTING CONCRETE FLOOR SLAB TO ACCOMMODATE NEW PLUMBING / ELECTRICAL / MECHANICAL PENETRATIONS WITHIN AREA OF DEMOLITION INDICATED. REFER TO PLUMBING / ELECTRICAL / MECHANICAL DRAWINGS.
- ALL EXISTING EXTERIOR WALL AND/OR ROOF PENETRATIONS (PLUMBING / MECHANICAL / ELECTRICAL, ETC.) THAT ARE NO LONGER REQUIRED DUE TO SCOPE OF WORK DESCRIBED HEREIN ARE TO BE INFILLED TO MATCH ADJ. BRNL CONSTRUCTION.
- COORDINATE WITH OWNER, ALL ACCESS, WORK SCHEDULE, STAGING, AND DUMPSTER/EQUIPMENT AREAS FOR ALL DEMOLITION WORK.

**DEMOLITION KEY NOTES**

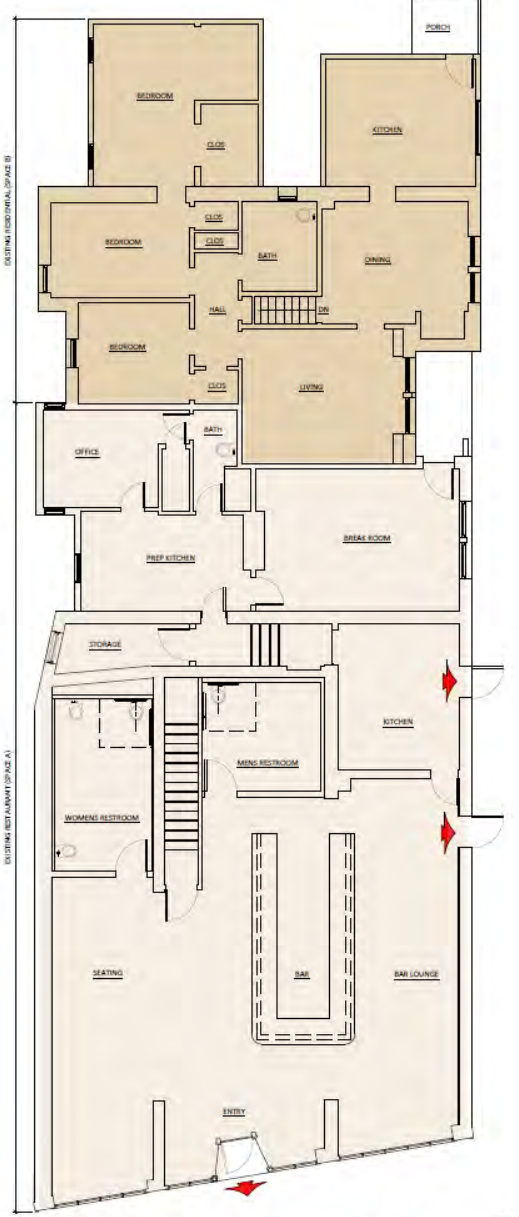
- REMOVE DOOR AND/OR DOOR FRAME ASSEMBLY COMPLETELY TO STRUCTURE
- REMOVE WALL ASSEMBLY COMPLETE
- REMOVE FLOOR FINISHES TO SUBFLOOR
- REMOVE PARTITIONS, RESTROOM ACCESSORIES, FIXTURES, MILL WORK COMPLETE IN THIS ROOM TO BRICK WALL/STUD PARTITIONS TO REMAIN
- CAREFULLY SAWCUT REMOVE, & DISCARD BRICK WALL TO REQUIRED WIDTH FOR FINISH SURFACES. PROVIDE HEADERS AND STEEL REINFORCEMENT FOR WALL ABOVE PER STRUCTURAL NOTES
- REMOVE WALL FINISHES TO BRICK OR UNDERLYING STUD SYSTEM THIS WALL
- REMOVE DROPPED ACEL CEILING AND SYSTEM TO STRUCTURE ABOVE
- CAREFULLY REMOVE AND SALVAGE TIN CEILING PANELS/CROWN AND TRIM FOR REUSE IN THIS AREA.
- REMOVE FURN DOWN FINISHES OVER STEEL BEAM AT THE FULL WIDTH OF THE OPENING ABOVE
- REMOVE BAR AND FIXTURES COMPLETE TO SUBFLOOR. COORDINATE WITH OWNER FOR ANY SALVAGEABLE/REUSED EQUIPMENT
- REMOVE SINK AND FIXTURES. REMOVE ALL ASSOCIATED SUPPLY, WASTE, AND VENT PIPING TO SOURCE AND ROOF WHERE NOT REUSED IN EXISTING LOCATION
- REMOVE LIGHT FIXTURES, CONDUIT AND ACCESSORIES.
- REMOVE STOPPED IN WINDOW ASSEMBLY COMPLETE AND PREPARE FOR NEW STOREFRONT
- REMOVE WOOD TRIM, STUCCO, AND LATTICE FACADE MATERIALS BACK TO SUBSTRATE AND PREPARE FOR NEW FACADE
- REMOVE CONCRETE PAD AS REQUIRED FOR NEW INTERIOR FLOORING
- REMOVE WOOD FLOORING AND FRAMING AS REQUIRED FOR NEW ADA ENTRANCE
- REMOVE OPEN JALOUSIE WINDOW PORCH, FRAMING, AND ROOF TO SLAB. PRESERVE EXISTING METAL STANDARDS.
- REMOVE WOOD FRAMED SIDEWALL AT ORIGINAL TILE ROOF AND HEAVY TIMBERS WOOD DOOR HOOD. PRESERVE ORIGINAL ROOF AND HOOD FRAMING
- PHASE 2 DEMOLITION: REMOVE VINYL SIDING CLAD, WOOD-FRAMED LEAN-TO ADDITION COMPLETE
- PHASE 2 DEMOLITION: REMOVE WALL PARTITIONS

**DEMOLITION LEGEND**

- INDICATES EXISTING PARTITION / CONSTRUCTION TO REMAIN
- INDICATES EXISTING PARTITION / CONSTRUCTION TO BE DEMOLISHED
- INDICATES AREA TO BE DEMOLISHED
- INDICATES SCOPE AREA FOR SELECTIVE DEMOLITION
- DEMOLITION KEYNOTE (SEE NOTES AT RIGHT)



GROUND FLOOR LEVEL  
**DEMOLITION PLAN - PROPOSED**  
 SCALE: 3/16" = 1'-0"  
 NORTH



GROUND FLOOR LEVEL  
**AS FOUND FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"  
 NORTH

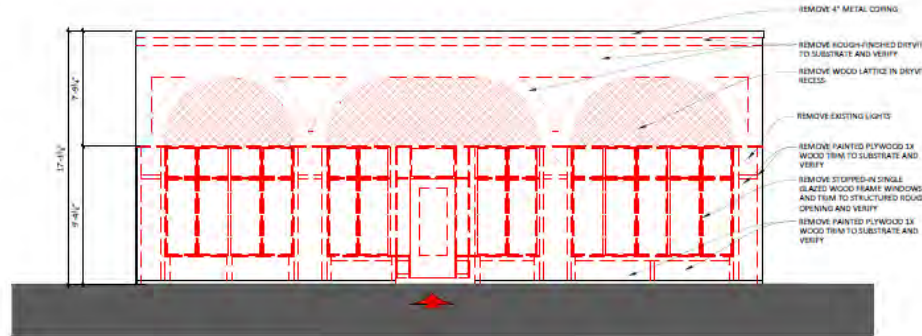


# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant

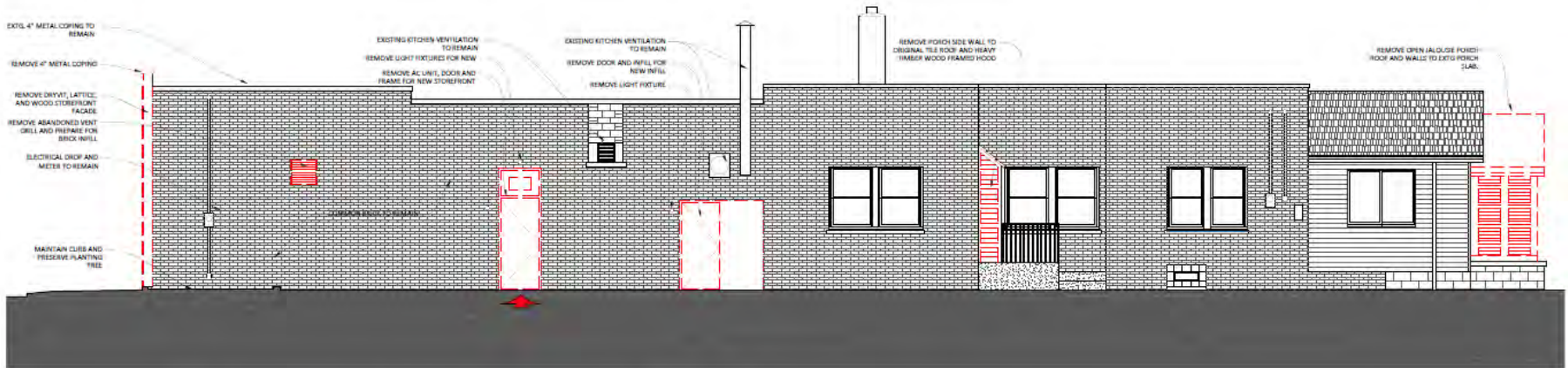
**DEMOLITION GENERAL NOTES**

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- CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AS WELL AS ALL OSHA REGULATIONS TO PROTECT SAFETY OF WORKERS, PROPERTY, AND INSURE ENVIRONMENTAL PROTECTION.
- CONTRACTOR TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES. CONTRACTOR TO PROVIDE SUFFICIENT TEMPORARY BRACING AND/OR SHORING OF EXISTING STRUCTURE TO PREVENT ANY DAMAGE, OR INJURY RESULTING FROM THE DEMOLITION WORK REQUIRED.
- CONTRACTOR TO REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DAILY REFUSE, DEBRIS, RUBBER, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. CONTRACTOR SHALL MAINTAIN A REFUSE DUMPSTER ON SITE IF NECESSARY. COORDINATE LOCATION WITH BUILDING OWNER AND/OR CITY. DEMOLITION SPACE SHALL BE LEFT BROOM-CLEAN AND READY TO RECEIVE NEW CONSTRUCTION.
- THE NEW WORK IS LOCATED AT DIFFERENT LEVELS AND AREAS OF AN EXISTING, FUNCTIONING BUILDING WITH OCCUPANCY AND ACTIVE TENANTS. ALL EGRESS, LIFE SAFETY SYSTEMS, AND UTILITIES ETC. SHALL REMAIN IN SERVICE AT ALL TIMES. SHOULD ANY SYSTEM NEED TO BE TAKEN OUT OF SERVICE FOR NEW WORK, A MINIMUM 48-HOUR NOTICE SHALL BE MADE TO THE OWNER WITH CONFIRMATION OF RECEIPT AND AGREEMENT TO THE SCHEDULED REQUEST.
- UNLESS OTHERWISE NOTED, ALL EXISTING BUILDING ELECTRICAL, LIGHTING, TV CABLE, TELEPHONE/DATA, CONDUIT & MECHANICAL DUCTWORK THAT IS EXISTING AND SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION.
- CONTACT ARCHITECT AND/OR OWNER IF DEMOLITION OR REMOVAL OF ANY ITEM NOT SPECIFICALLY IDENTIFIED IS IN QUESTION.
- CONTRACTORS SHALL VISIT AND INSPECT EXISTING BUILDING SITE AND BECOME FAMILIAR WITH ALL CONDITIONS IN FIELD PRIOR TO SUBMITTING A BID FOR DEMOLITION WORK.
- CONTRACTOR TO SALVAGE AND PROTECT FOR RE-USE ANY ITEMS INDICATED AS SUCH IN THE DRAWINGS.
- REMOVE AND DISCARD ALL REMAINING ELECTRICAL COMPONENTS WITHIN WALLS, CEILING & FLOORS SCHEDULED TO BE DEMOLISHED. REMOVE ITEMS BACK TO SERVICE. REFER TO ELECTRICAL DRAWINGS.
- REMOVE EXISTING OR ABANDONED PLUMBING IN FLOORS AND WALLS SCHEDULED TO BE DEMOLISHED. REMOVE PIPING BACK TO SOURCE WHERE POSSIBLE, CAP AS REQUIRED. REFER TO PLUMBING DRAWINGS.
- CONTRACTOR TO PROTECT THE EXISTING BUILDING IN ALL ASPECTS FROM DAMAGE DUE TO WEATHER AND/OR OTHER INTERUSIONS.
- ALL EXISTING EXTERIOR WALL AND/OR ROOF PENETRATIONS (PLUMBING / MECHANICAL / ELECTRICAL, ETC.) THAT ARE NO LONGER REQUIRED DUE TO SCOPE OF WORK DESCRIBED HEREIN ARE TO BE INFILLED TO MATCH ADJ. WALL CONSTRUCTION.
- COORDINATE WITH OWNER, ALL ACCESS, WORK SCHEDULE, STAGING, AND DUMPSTER/ EQUIPMENT AREAS FOR ALL DEMOLITION WORK.



DEMOLITION LEGEND	
	INDICATES EXISTING PARTITION / CONSTRUCTION TO REMAIN
	INDICATES EXISTING PARTITION / CONSTRUCTION TO BE DEMOLISHED
	INDICATES AREA TO BE DEMOLISHED
	INDICATES SCOPE AREA FOR SELECTIVE DEMOLITION
	DEMOLITION KEYNOTE (SEE NOTED AT RIGHT)

1  
AD-03  
EXISTING ELEVATION  
**FRONT ELEVATION - PROPOSED FACADE DEMOLITION**  
SCALE: 1/4" = 1'-0"



2  
AD-02  
EXISTING ELEVATION  
**EAST (PARKING) ELEVATION - DEMOLITION**  
SCALE: 1/4" = 1'-0"



# Docket No. 12-88-22 (17900 Detroit)

## Commercial Renovation – Artis Restaurant

## Hardie® Panel



Select Cedarmill®

Select Cedarmill®, Smooth, Stucco & Sierra 8 Thickness 5/16 in

Size	4 ft x 8 ft	4 ft x 10 ft	4 ft x 12 ft
Prime Pcs/Pallet	50	50	50
ColorPlus® Pcs/Pallet	50	—	50
Pcs/Sq.	3.2	2.8	2.5

Select Cedarmill®

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Statement Collection™			*
Dream Collection™	*		*
Prime	*	*	*

Smooth

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Statement Collection™			*
Dream Collection™	*		*
Prime	*	*	*

Stucco

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Statement Collection™			*
Dream Collection™	*		*
Prime	*	*	*

Sierra 8

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Statement Collection™			*
Dream Collection™	*		*
Prime	*	*	*

## Hardie® Trim



4/4 Roughsawn Thickness .75 in Length 12 ft boards

Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	312	208	156	104	104
ColorPlus® Pcs/Pallet	312	208	156	104	104
Statement Collection™	AW	AW	*	AW	AW
Dream Collection™	*	*	*	*	*
Prime	*	*	*	*	*

5/4 Roughsawn Thickness 1 in Length 12 ft boards

Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	240	200	180	120	80	80
ColorPlus® Pcs/Pallet	240	200	180	120	80	80
Statement Collection™	*	*	*	AW	AW	*
Dream Collection™	*	*	*	*	*	*
Prime	*	*	*	*	*	*

### Batten Boards

Thickness	.75 in
Length	12 ft
Width	2.5 in
Prime Pcs/Pallet	437
ColorPlus® Pcs/Pallet	190



Rustic Grain  
Statement Collection™ \*  
Dream Collection™ \*  
Prime \*



Smooth  
Statement Collection™ \*  
Dream Collection™ \*  
Prime \*



4/4 Smooth Thickness .75 in Length 12 ft boards

Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	312	208	156	104	104
ColorPlus® Pcs/Pallet	312	208	156	104	104
Statement Collection™	AW	*	*	AW	AW
Dream Collection™	*	*	*	*	*
Prime	*	*	*	*	*

5/4 Smooth Thickness 1 in Length 12 ft boards

Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Prime Pcs/Pallet	240	200	160	120	80	80
ColorPlus® Pcs/Pallet	240	200	160	120	80	80
Statement Collection™	*	*	*	AW	*	*
Dream Collection™	*	*	*	*	*	*
Prime	*	*	*	*	*	*

## Hardie® Soffit



Vented Smooth



Vented Select Cedarmill®



Non-Vented Smooth



Non-Vented Select Cedarmill®

	Thickness 1/4 in			
Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus® Pcs/Pallet	216	156	108	—

### Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection™			*
Dream Collection™	*	*	*
Prime	*	*	*

### Non-Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection™			*
Dream Collection™	*	*	*
Prime	*	*	*

### Vented Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection™	*		
Dream Collection™	*	*	*
Prime	*	*	*

### Non-Vented Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection™	*		
Dream Collection™	*	*	*
Prime	*	*	*



## LIGHTING

### Ansel Outdoor Wall Sconce

ITEM NUMBER

TRY1043469



**BRAND**

Troy Lighting

**DESCRIPTION**

The Ansel Outdoor Wall Sconce features a Textured Black finish and an Opal Shiny Glass globe. This piece will bring simple style to any space and can be mounted on the wall or ceiling, indoors or out.



Shown in: Textured Black / Opal

Item # bci2966261

**Troy RLM Lighting** Angle Reflector Single Light 25" Tall Outdoor Barn Light with Gooseneck

Model:RA10MTBZ3LL30

from the [Angle Reflector Collection](#)



SHADE COLOR	Opal
BODY FINISH	Textured Black
WATTAGE	60W
DIMMER	Standard 120V
DIMENSIONS	7"W x 7"H x 6.5"D
BULB NOT INCLUDED	
LAMP	1 x A19/Medium (E26)/60W/120V Incandescent 1 x A19/Medium (E26)/120V LED

Technical Information:	
PRODUCT DIMENSIONS	Backplate: 5.25" diameter

ITEM NUMBER	TRY1043469
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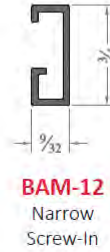
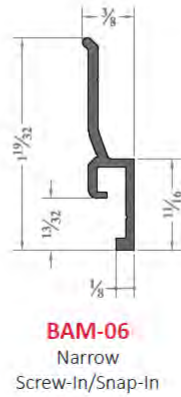
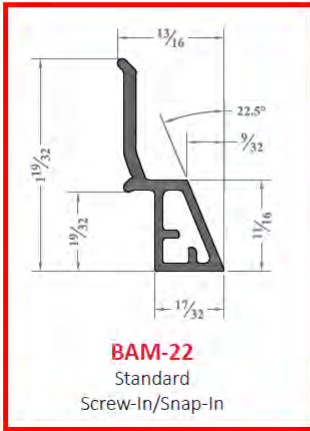


# Perimeter Extrusions

**BAM** BVB Architectural Products

**MUNTINS**

Screw-In/Snap-In



## STANDARD OPTIONS

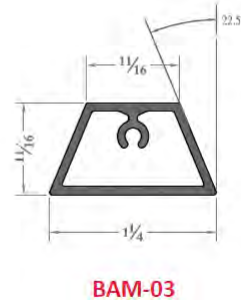
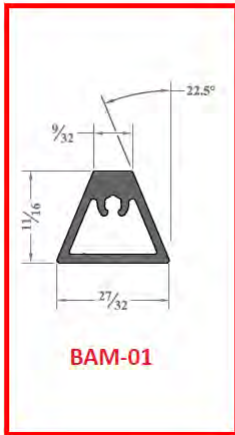
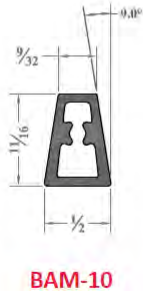
Standard Colors are two coat in-house blendable paints. Normal lead times apply. Please indicate desired paint system when ordering (70%, 50% or Baked Enamel).



# Muntin Extrusions

**BAM** BVB Architectural Products

11/16" Height



**Docket No. 12-88-22 (17900 Detroit)**  
Commercial Renovation – Artis Restaurant

# STOREFRONT

800-866-2227 / www.tubeliteinc.com

## Tubelite® TU24000 Storefront

*Dual cavity pour and debridge ultra-thermal barrier*

Tubelite's most popular thermally broken storefront line has been expanded and enhanced with an additional P&D thermal break. The TU24000 Series has the same 2" x 4-1/2" profile as the T14000 system, and offers standard screw-spline or shear block connections.

TU24000 dual cavity pour and debridge ultra-thermal barrier storefront is recommended for use on ground floor storefront or protected low-rise applications. Framing has 1/2" bite for use with glass or panels up to 1" thick. Verticals can be steel-reinforced for high performance against strong windloads. Tubelite 3700 Series operable windows can be glazed into the storefront framing pocket for natural ventilation. Framing is compatible with Tubelite's Medium and Wide Stile Thermi-Block® Doors.

Our TU24000 Series Storefront products are subjected to thorough testing by an independent laboratory, ensuring that you get the highest quality storefront framing products that the industry has to offer.

**Thermi-Block**  
HIGH-PERFORMANCE THERMAL FRAMING

400TU High Performance Thermal Curtainwall

ALSO USED WITH

Thermal Entrances



Wilmington Gardens, Salt Lake City, UT  
Photographer: Cache Valley Photographers

**TUBELITE**  
DEPENDABLE  
LEADERS IN ECO-EFFICIENT STOREFRONT, CURTAINWALL AND ENTRANCE SYSTEMS

# TUBELITE®

DEPENDABLE  
LEADERS IN ECO-EFFICIENT STOREFRONT, CURTAINWALL AND ENTRANCE SYSTEMS

We offer an option for recycled aluminum on selected extruded products with an industry leading content of post-consumer and pre-consumer material.

## Anodized Finishes

Clear Class 2 Clear Class 1 C1	Light Champagne LC	Champagne CH	Light Bronze LB	Medium Bronze MB
Dark Bronze DB	Extra Dark Bronze EB	Black BL	Copper CA	Bordeaux BD

## Standard Painted Colors – 70% PVDF

Bone White 1P LT609-70	Colonial White NP LT640-70	Sandstone 5P LT607-70	Burnt Sun 7P LT612-70	Antique Bronze 2P LT641-70
Beige BP LT603-70	Light Seawolf Beige CP LT614-70	Dove Gray VP LT615-70	Slate Gray WP LT604-70	Charcoal Gray XP LT605-70
Patina Green SP LT616-70	Dark Ivy TP LT617-70	Hartford Green 2P LT606-70	Military Blue DP LT610-70	Black 3P LT601-70
Colonial Red RP LT622-70	Boysenberry 9P LT608-70	Sage Brown 8P LT620-70	Quaker Bronze 6P LT602-70	

NOTE: Colors shown are not exact and are intended for planning purposes. For actual job, Tubelite® will supply Linetec color chips.

www.tubeliteinc.com • 800-866-2227 • Fax 877-299-2414 • 3056 Walker Ridge Drive NW, Suite G, Walker, Michigan 49544



**Docket No. 12-88-22 (17900 Detroit)**  
Commercial Renovation – Artis Restaurant

## **Commercial District Design Guidelines (Revised March 2011)**

The Commercial District Design Guidelines embody community values and offer direction to new development, rehabilitation, redevelopment and other improvements in Lakewood's commercial districts. The target audience is developers, designers, property owners, business owners, visitors and residents.

At the core of these guidelines are three fundamental goals that serve as the basis for the design principles. These goals are the vision and articulation of the characteristics that make for a vibrant downtown and commercial districts. The design principles are categories to describe the physical elements and manifestations of that vision.

### **The Prime Directive – Fundamental Goals for Design and Development:**

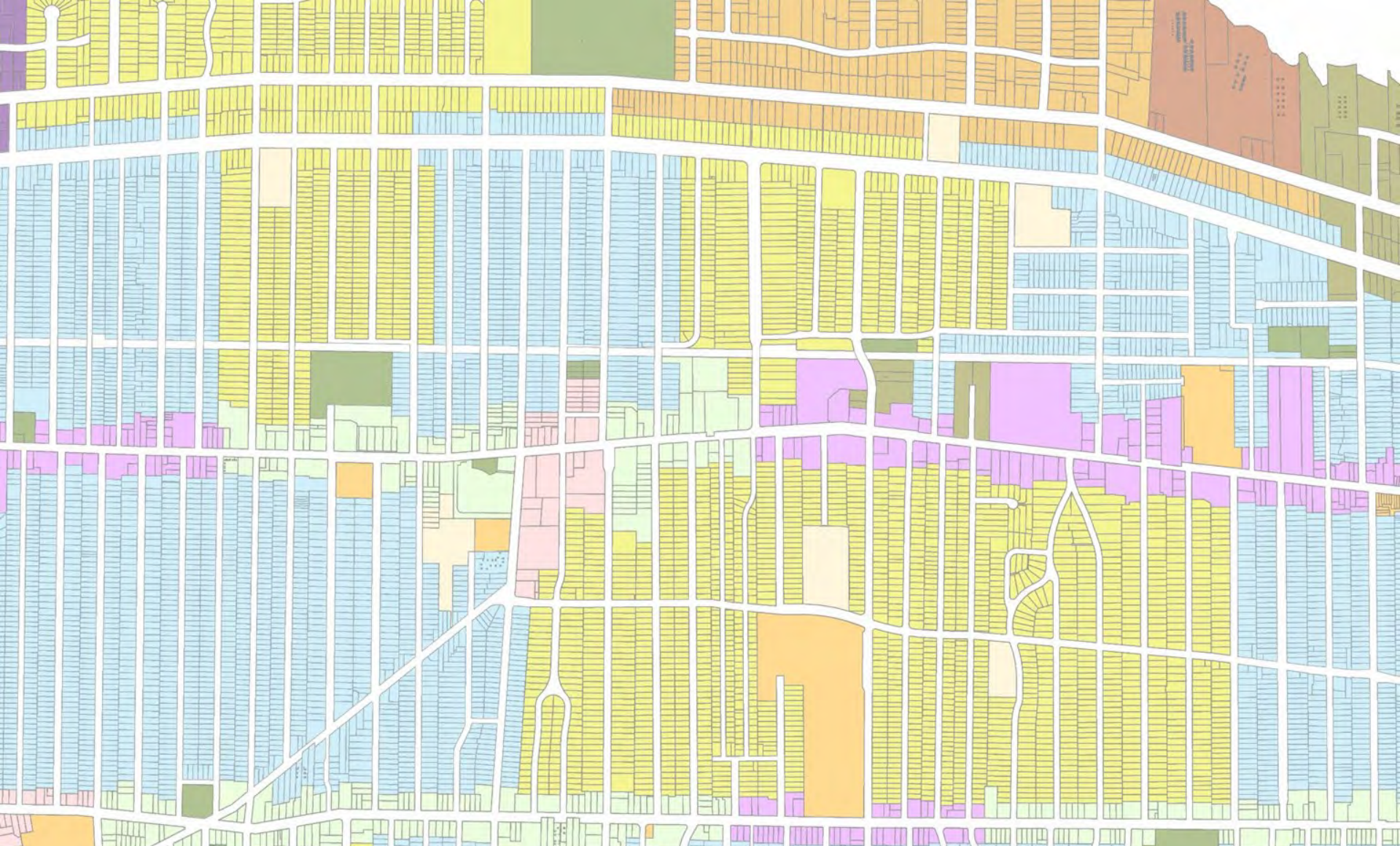
- **Create Places for People.** Vibrant cities promote and develop places that always put people first. Lakewood's places must be safe, comfortable, varied, attractive and fun.
- **Enhance Existing Assets.** Vibrant cities require that development respond to and engage with its setting. Lakewood's existing qualities--its density, walkability, and historic streetcar-era building stock – should be enriched and preserved whenever possible.
- **Create Connections.** Vibrant cities make it easy for people to navigate and connect to, from and within them. Lakewood's connections will link its' attributes, amenities and public spaces physically, psychologically and visually.

**The Commercial Design Principles.** The following five principles elaborate on the concepts, means and methods of development that will positively impact the physical realm of Lakewood's commercial districts.

- Think Pedestrian First
- Place Activity at the Street
- Minimize the Impact of Parking and Vehicles
- Compatibility with the Historic Context
- Quality of Design



**Docket No. 12-88-22 (17900 Detroit)**  
Commercial Renovation – Artis Restaurant



# Architectural Board of Review

Sign Review – December 2022

**Applicant proposes refacing/renovation of existing sign in C2 district.**

**City Notes:**

N/A.



**Docket No. 12-89-22 (17710 Detroit)**

**Sign – ADA Architecture  
Laura Higgins-Woyma**



**Docket No. 12-89-22 (17710 Detroit)**  
Sign - ADA Architecture



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

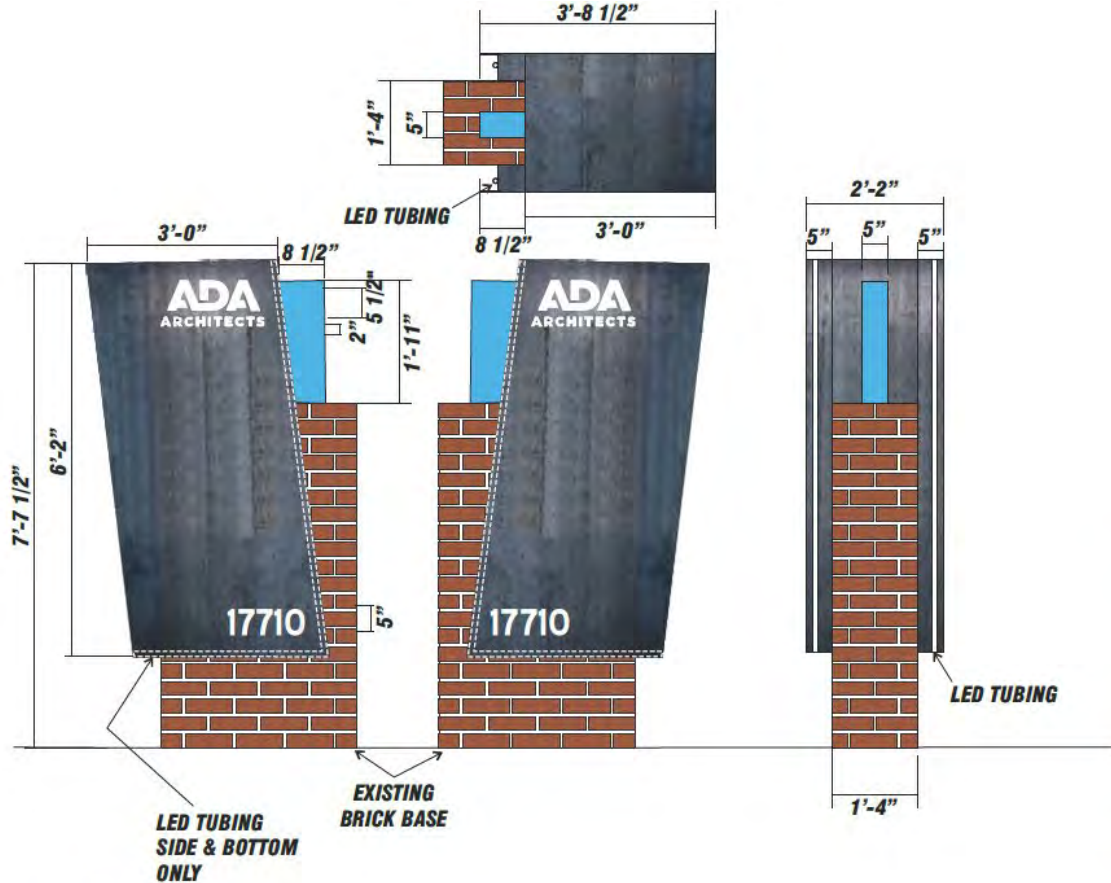
**Brilliant Electric Sign Co., Ltd.**  
 4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800



COMPANY NAME	ADA ARCHITECTS	SALESMAN	IMB	DATE	10/25/22	REVISION		DESIGN NO.	B22-1781
LOCATION	17710 DETROIT AVE., LAKEWOOD, OH 44107	DESIGNER	CP	SCALE	SHOWN			COPYRIGHT ©	2022
								FILE NAME	



**Docket No. 12-89-22 (17710 Detroit)**  
 Sign - ADA Architecture



REMOVE BY OTHERS



PHOTO RENDERING NTS

### OPTION 3

SIGN ELEVATION: 1/2" = 1'-0"

**Notes**

Manufacture & install one (1) double face, irregular shaped, internally illuminated, aluminum, clam shell cabinet wrapped around existing brick base; cabinet to have LED tubing around the edge; also to have one (1) double face, non-illuminated, irregular, shaped, decorative, cabinet attached to the one (1) side of the clam shell; copy & address numbers to be routed out of the face of the irregular, shaped, clam shell; all to be mounted on existing red brick base

- Faces of the clam shell cabinet to be painted to simulate blue weathered steel; copy to be routed out & backed up by white 7328 plexiglass so the copy would be white
- LED tubing to be white
- Decorative cabinet in the corner to be painted blue PMS 2190C

RATED 120 VOLTS



**Docket No. 12-89-22 (17710 Detroit)**  
Sign – ADA Architecture

## Applicant proposes replacement signage in C3 district.

### City Notes:

- ❑ Law Dept. opinion – proposal does not meet full definition of a “pole sign” under 1329.03.
- ❑ 1329.09 (Commercial Sign Regulations): Commercial district limited to: **awning, canopy, ground, wall, A - Frame and window signs**. This application proposes replacing an existing ground sign (permitted) with a type generally referred to as a “**post and panel sign**” – which was not contemplated/is not covered by code.
- ❑ 1329.17 (Appeal Procedure). A variance from the strict application of the provisions of this chapter may be granted by the Board...in regard to an existing nonconforming sign or a new sign to be installed, erected, constructed or painted, if the Board finds that requiring strict compliance with the provisions of this chapter may impose an undue hardship and that **the granting of the variance from the provisions of this chapter will not depreciate or damage neighboring property, will not create a safety hazard and will not be contrary to the purposes of this chapter.**

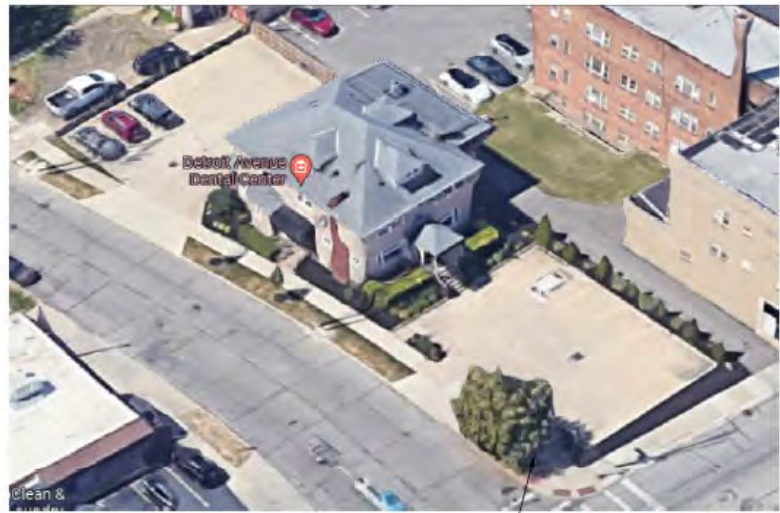


**Docket No. 12-92-22 (13425 Detroit)**

**Sign – O’Leary Dentistry**  
**Heath Newman**



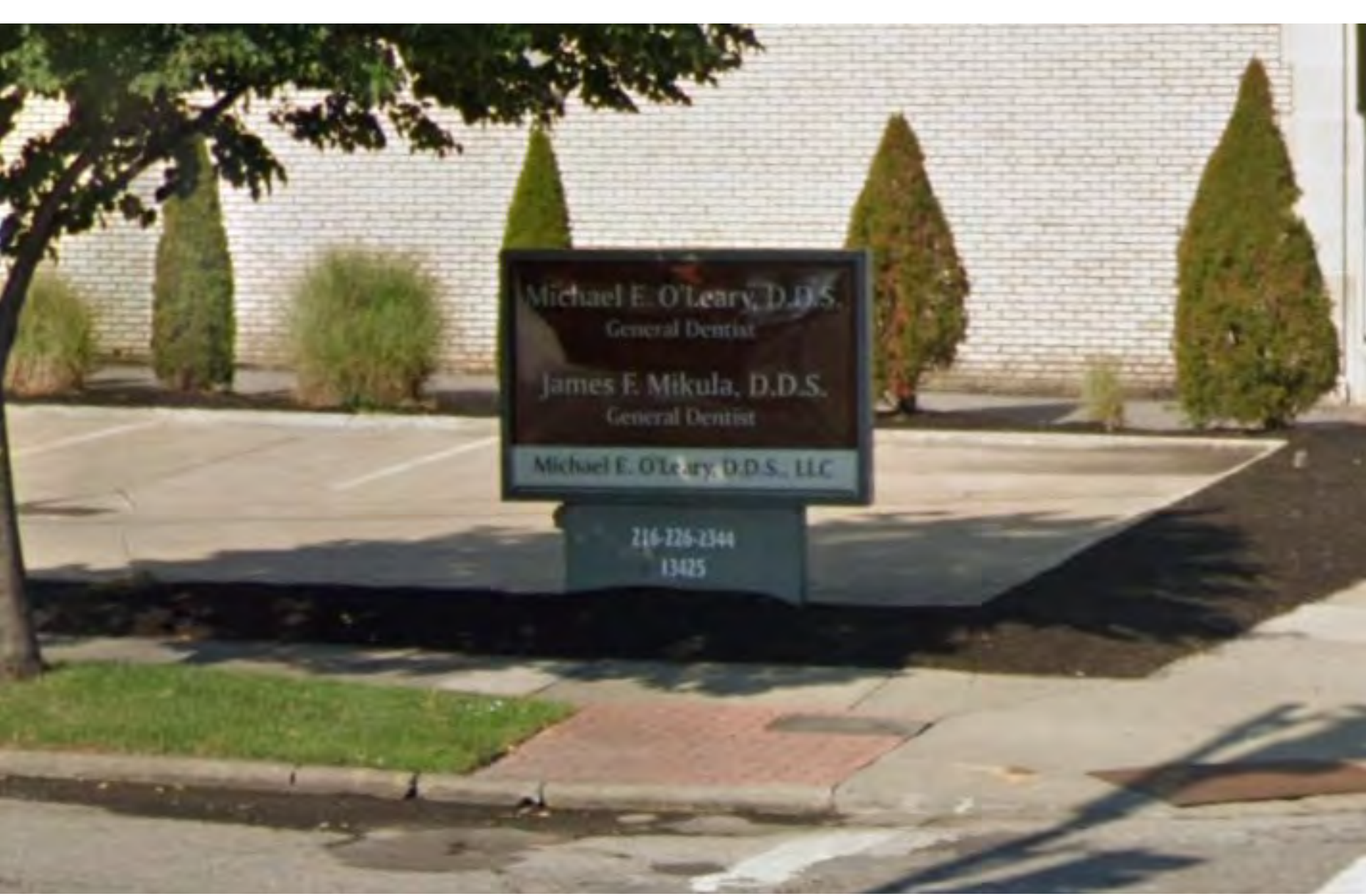
Existing Sign



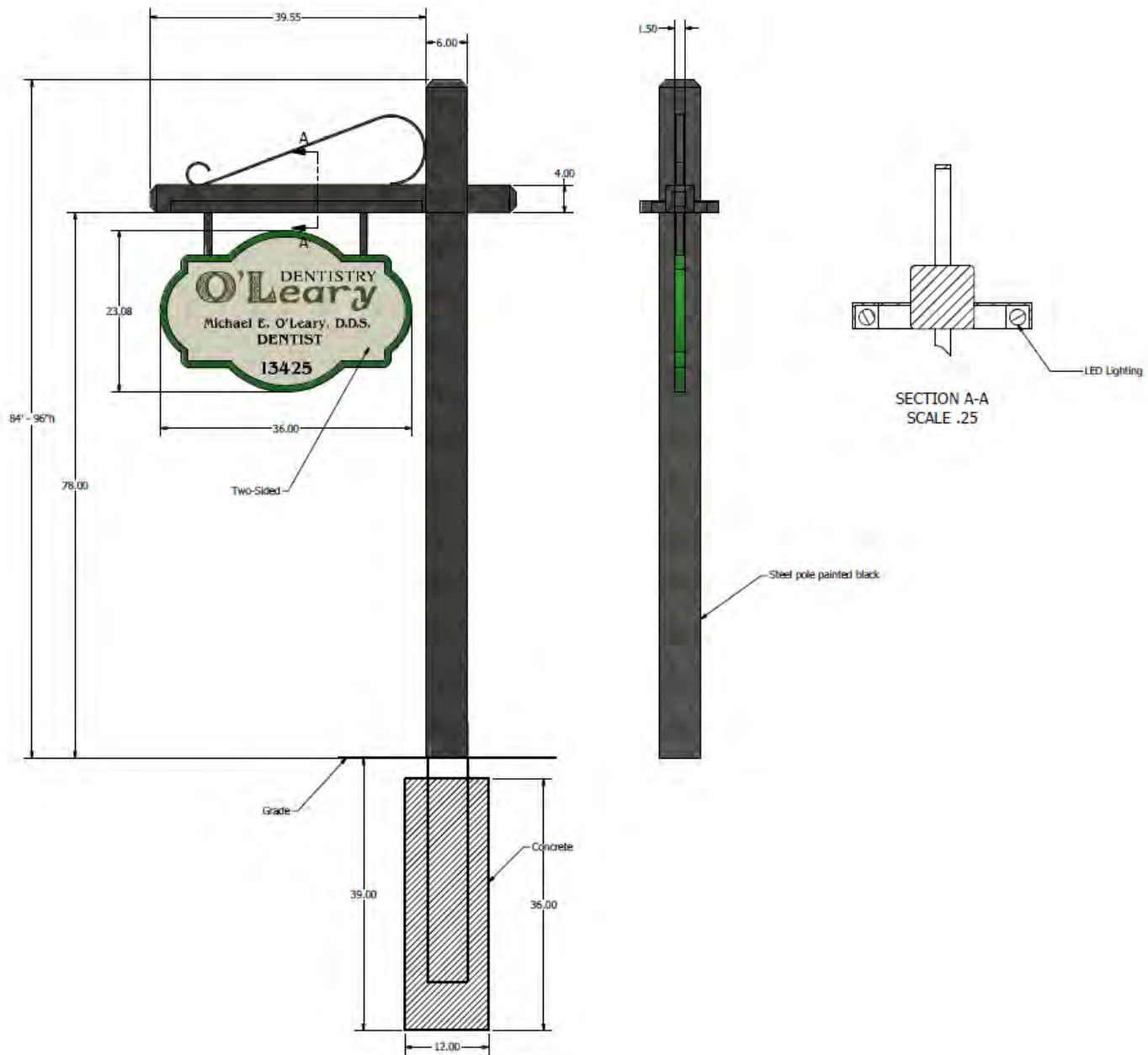
Site overview



**Docket No. 12-92-22 (13425 Detroit)**  
Sign – O’Leary Dentistry



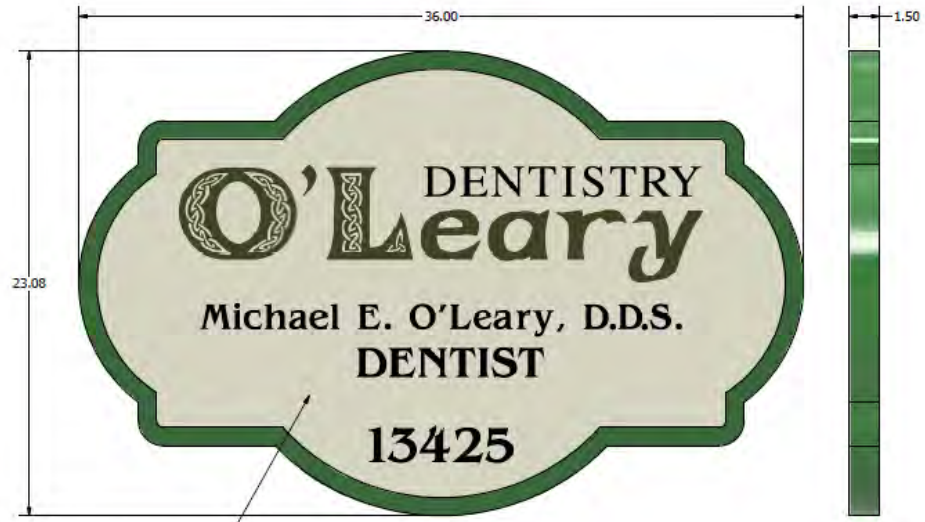
**Docket No. 12-92-22 (13425 Detroit)**  
Sign - O'Leary Dentistry



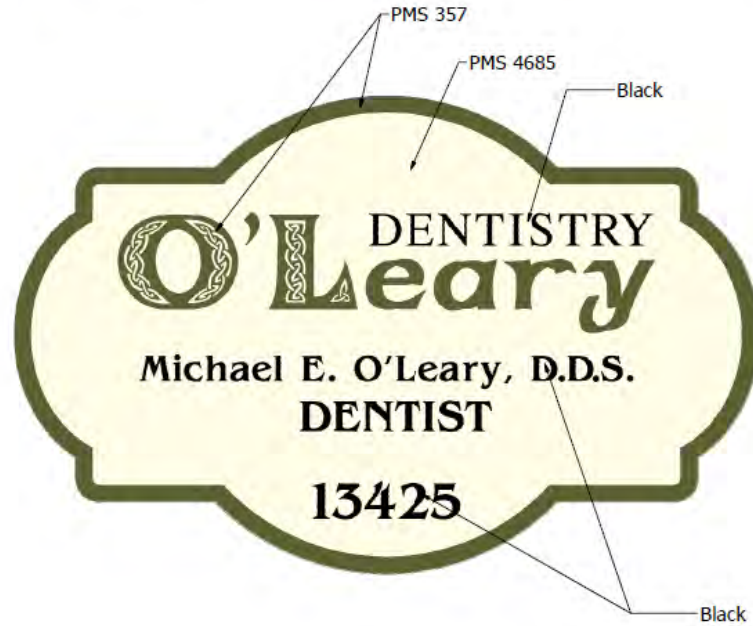
**Docket No. 12-92-22 (13425 Detroit)**  
 Sign - O'Leary Dentistry



Black post



Two-Sided



**Docket No. 12-92-22 (13425 Detroit)**  
**Sign - O'Leary Dentistry**



**Docket No. 12-92-22 (13425 Detroit)**  
Sign - O'Leary Dentistry





**Docket No. 12-92-22 (13425 Detroit)**  
Sign – O'Leary Dentistry





## Applicant proposes new signage in C3 district.

### City Notes:

- ❑ Storefront ~30 ft...maximum allowable sign area of ~45 ft<sup>2</sup>
- ❑ Existing Wall Sign (25ft<sup>2</sup>) leaves ~20 ft<sup>2</sup> of allowable sign area remaining.
- ❑ Proposed Window Graphics (~ 15 ft<sup>2</sup> total, ~6% coverage).



**Docket No. 12-93-22 (14200 Detroit)**

**Sign – Crumbl Cookie**  
**Jim Briola**

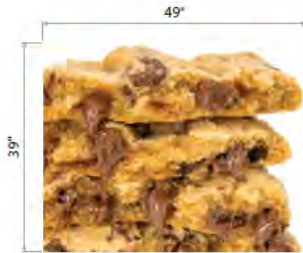


**store hours**  
mon - thurs / 8 am - 10pm  
fri & sat / 8 am - midnight

**delivery hours**  
mon - thurs / 8 am - 10pm  
fri & sat / 8 am - midnight

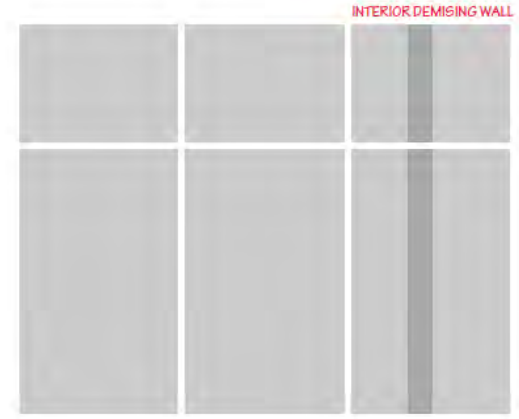
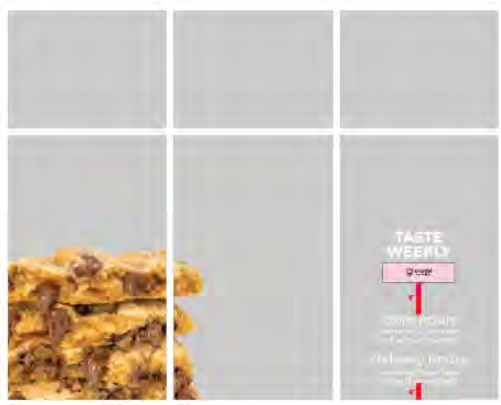
DETAILS
▶ HP White Vinyls
▶ 1st Surface

**7.1 STORE HOURS**  
Scale : 1" = 1'-0"



DETAILS
▶ Contoured Graphic
▶ 1st Surface

**7.2 COOKIE GRAPHIC**  
Scale : 1/2" = 1'-0"



**7.4 PROPOSED LAYOUT - FRONT ELEVATION**  
Scale : 3/8" = 1'-0"

**\*\* WINDOW MEASUREMENTS PROVIDED BY CLIENT \*\***



# Docket No. 12-93-22 (14200 Detroit)

## Sign - Crumbl Cookie



**Docket No. 12-93-22 (14200 Detroit)**  
Sign - Crumbl Cookie



**Docket No. 12-93-22 (14200 Detroit)**  
Sign - Crumbl Cookie

## Applicant proposes new signage in C2 district.

### City Notes:

- ❑ Storefront ~16 ft...maximum allowable sign area of ~24 ft<sup>2</sup>
- ❑ Proposed wall lettering and window graphic (~ 18 ft<sup>2</sup> total).



**Docket No. 12-96-22 (18103 Detroit)**

**Sign – Grey House Pies**  
**Shawn Warren**



**Docket No. 12-96-22 (18103 Detroit)**  
Sign – Grey House Pies

36" w x 58" high  
logo



Text PVC 1/2" thick 8"h x 55" text  
adhesive mounted to fascia

**PIE + COFFEE**



AS is NOW



**Docket No. 12-96-22 (18103 Detroit)**  
Sign – Grey House Pies

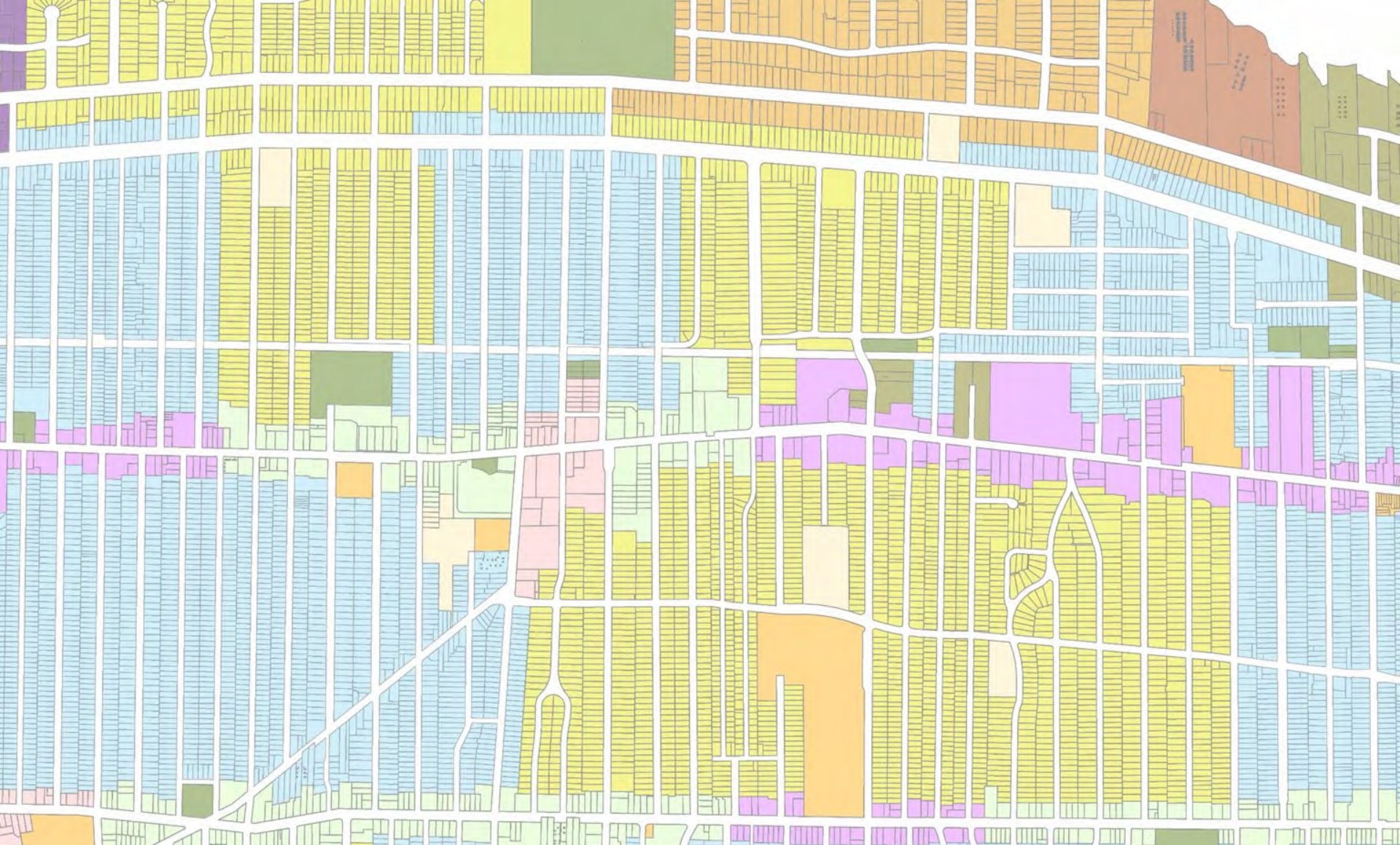
36" w x 58" high  
logo

Text PVC 1/2" thick 8"h x 55" text  
adhesive mounted to fascia

**PIE + COFFEE**



**Docket No. 12-96-22 (18103 Detroit)**  
Sign – Grey House Pies



# Architectural Board of Review

December 2022