



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

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planning@lakewoodoh.gov

MINUTES  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW  
REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
DECEMBER 11, 2025  
5:30 P.M.  
MEETING RECORDED

<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Chris Egervary  
Nick Slaughterbeck  
Jeremy Smith, Vice Chair  
Matthew Stevenson

Staff

Amanda Cramer, Co-Board Secretary, City Planner  
William Wagner, Assistant Building Commissioner

Hanna Cohan Plessner, Chair was absent from the meeting.

2. APPROVE THE MINUTES OF THE NOVEMBER 13, 2025 MEETING

A motion was made by Mr. Smith, Vice Chair, seconded by Mr. Slaughterbeck to **APPROVE** the November 13, 2025 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

SUMMARY APPROVED

At the pre-review meeting, five items were Summary Approved (conditions are noted). A motion and a second is needed for approval of Docket No. 12-107-25, Docket No. 12-109-25, Docket No. 12-110-25, docket No. 12-111-25 and Docket No. 12-112-25.

SIGN REVIEW

4. Docket No. 12-107-25

13316 Madison Ave.  
Forte

- ( ) Approve
- ( ) Deny
- ( ) Defer

Amanda Fulmer  
Forte  
13316 Madison Ave.  
Lakewood, OH 44107

Applicant proposes vinyl window and door signage. (Page 18)

- No conditions

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to APPROVE Docket No. 12-107-25 as presented.

All the members voted yea, the motion passed.

5. Docket No. 12-109-25

13439 Detroit Ave.  
Forevergoldence

- ( ) Approve
- ( ) Deny
- ( ) Defer

Ben Szarek  
The Awning Company  
7109 Madison Ave.  
Lakewood, OH 44107

Applicant proposes awning replacement and graphics. (Page 24)

- Condition that any window signage be approved by ABR before installation.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to APPROVE Docket No. 12-109-25 with the following conditions:

- Condition that any window signage is approved by ABR before being installed.

All the members voted yea; the motion passed.

6. Docket No. 12-110-25

15711 Madison Ave.  
Lakewood Dental Associates

- ( ) Approve
- ( ) Deny
- ( ) Defer

Christian Gnizak  
CLE Signs  
4399 State Road.  
Cleveland, OH 44109

Applicant proposes multiple signs on building. (Page 32)

- Condition 1: Center signage on top part of façade.

- Condition 2: Send updated elevation that doesn't include the blade sign, lower wall sign, and tooth on larger wall sign.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 12-110-25 with the following conditions:

- Center signage on the top part of the façade
- Send updated elevation that does not include blade sign, lower wall sign, and tooth on the larger wall sign.

All the members voted yea; the motion passed.

7. Docket No. 12-111-25

14224 Madison Ave.  
The Pastimes Cafe

- Approve
- Deny
- Defer

Evan Laisure  
The Pastimes Cafe  
1601 Elmwood Ave  
Lakewood, OH 44107

Applicant proposes new signage in the sign band and painted window/door signage. (Page 43)

- No conditions

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 12-111-25 as presented.

All the members voted yea; the motion passed.

8. Docket No. 12-112-25

15207 Detroit Ave.  
Flame & Fable

- Approve
- Deny
- Defer

Nickie Lui  
Flame & Fable  
15207 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes new signage on awning and window. (Page 50)

- Condition that the awning matches the rest of the adjoining storefronts.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 12-112-25 with the following conditions:

- Condition the awning will match the rest of the adjoining storefronts.

All the members voted yea; the motion passed.

NEW BUSINESS  
SIGN REVIEW

9. Docket No. 12-105-25

(C)

13601 Detroit Ave.  
One Star Bar

- ( ) Approve
- ( ) Deny
- ( ) Defer

Brian Taubman  
One Star Bar  
13601 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes a blade sign and neon window signage. (Page 5)

Jim Bocka, representative from One Star Bar, was present and discussed the corner star sign. Discussion was made about whether the bracket would be mounted at an angle on the corner or flat on the wall, 45 degree angle with the bracket being black in color.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 12-105-25 with the following conditions:

- Blade sign to be mounted on the brick NOT on the cornices

All the members voted yea; the motion passed.

10. Docket No. 12-106-25

(C)

13609 Detroit Ave.  
Wize Guyz

- ( ) Approve
- ( ) Deny
- ( ) Defer

Jeries Eadeh  
Wize Guyz  
13609 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes awning and window graphics. (Page 115)

Ms. Cramer stated that the graphics were installed as discussed, specials on bottom.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 12-106-25 with the following conditions:

- Updated drawing submitted showing installed as discussed at pre-review

All the members voted yea; the motion passed.

11. Docket No. 12-108-25

(C)

13318 Madison Ave.  
CLE GLO CO

- ( ) Approve
- ( ) Deny
- ( ) Defer

Lily Richards  
CLE GLO CO  
13318 Madison Ave.  
Lakewood, OH 44107

Applicant proposes vinyl window signage. (Page 21)

Ms. Cramer stated that the applicant has not been in touch and it should be deferred.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to DEFER Docket No. 12-108-25. All the members voted yea, the motion passed.

ARCHITECTURAL BOARD OF REVIEW

12. Docket No. 12-113-25	(R)	1629 Hopkins Ave.
<input type="checkbox"/> Approve		Charles McGettrick
<input type="checkbox"/> Deny		Architects, C.A. McGettrick LLC
<input type="checkbox"/> Defer		14551 Madison Ave.
		Lakewood, OH 44107

Applicant proposes front porch renovation. (Page 56)

The applicant was not in attendance per administrative recommendation. Ms. Cramer commented that the colors were added.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to APPROVE Docket No. 12-113-25 as presented. All the members voted yea; the motion passed.

13. Docket No. 12-114-25	(R)	1114 Forest Rd.
<input type="checkbox"/> Approve		Elizabeth Davis
<input type="checkbox"/> Deny		Old World Classics, LLC
<input type="checkbox"/> Defer		7056 Mears Gate Dr. NW
		North Canton, OH 44720

Applicant proposes the construction of a new single family home. (Page 71)

Ms. Cramer recommended to defer per Law Department to understand new information about the proposal.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to DEFER Docket No. 12-114-25. All the members voted yea; the motion passed.

14. Docket No. 12-115-25	(R)	1296 Cranford Ave.
<input type="checkbox"/> Approve		Michael Michalak
<input type="checkbox"/> Deny		Michalak Contracting LLC
<input type="checkbox"/> Defer		3212 Oak Park Ave

Cleveland, OH 44109

Applicant proposes demolition and rebuild of two front porches.

Ms. Cramer received communication from the applicant who requested the application be withdrawn from consideration. No further action was required from the board.

15. Docket No. 12-116-25	(R)	1477 Lakewood Ave.
<input type="checkbox"/> Approve		Gary Platt
<input type="checkbox"/> Deny		Knez Homes
<input type="checkbox"/> Defer		7555 Fredle Dr Ste 210
		North Canton, OH 44077

Applicant proposes demolition and rebuild of two front porches.

Gary Platt, Knez Homes was present to discuss the updated renderings, including landscaping plan, lighting on home and garage, removal and replanting of trees if needed.

- o Comment/Question was asked as to what style the home was, modern farmhouse or colonial?
- o Extended conversation on various styles and what makes them what style.

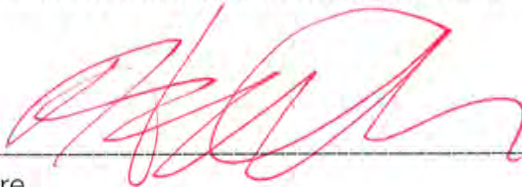
Ms. Cramer added that the plans met the residential design standards set forth.

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to APPROVE Docket No. 12-116-25. All the members voted yea; the motion passed.

#### ADJOURN

A motion was made by Mr. Smith, seconded by Mr. Slaughterbeck to ADJOURN at the meeting 6:15 p.m. All the members voted yea; the motion passed.

Signature



Date

1/8/26



Oath

*(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)*

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth.

PRINT NAME:

SIGN NAME:

- 1. Jim Bacha
- 2. Gary Platt
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_
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- 8. \_\_\_\_\_
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Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure:  ABR/BBS  Citizens Advisory  Civil Svc.  Dangerous Dog  Income Tax Appeals  Loan Approval  Nuisance Abatement Appeals  Parking  Planning  Zoning Appeals  Other:

Date of Proceeding: THURSDAY, DECEMBER 11, 2025

Re: 1114 Forest Rd Design

Date: January 7, 2026

Dear Architectural Board of Review Members,

This updates my previous letter delivered to ABR this past December.

I am writing to express concerns regarding the proposed design at 1114 Forest Rd. I ask the ABR to reject the proposed design for the reasons expressed herein. Should the ABR not have enough information on the concerns expressed by me and others, then the ABR should continue to defer consideration of the design until further clarification is obtained and other administrative and process matters are resolved.

**Administrative and Process Considerations:**

There are several administrative and process items that impact this application to the ABR. First, the existing variance granted by the BZA is now under notice of appeal to the Court of Common Pleas, which will take several weeks or months at a minimum to resolve. The BZA granted unprecedented substantial area setback variances in this historic neighborhood. While the appeal is pending, the ABR can thoughtfully use that time to address concerns this board and neighbors are bringing forth.

Second, the applicant in the pre-meeting on December 4 disclosed that he had entered into a temporary grading easement with Cuyahoga County (believed to be through mid 2029). The scope of that easement abuts and possibly overlays the proposed building footprint. The impact of that easement should be fully assessed in the design, especially if the simultaneous construction of the home and the Clifton Rd project limit ABR's ability to assess and enforce design standards. The easement and its impact were not disclosed in the BZA application and was only revealed by the applicant in the ABR pre-meeting on December 4.

Finally, in the pre-meeting on December 4, the applicant also mentioned his intent to add a third bedroom in a finished basement. ABR members inquired about egress in such a situation. This application (and the BZA application) does not disclose the third bedroom and describes the proposed home as two-bedroom. Egress design may be a material concern based upon the permanent relocation of bi-directional travel lanes on Clifton Blvd closer to the North facing elevation of the proposed home.

### **Historic Nature of Clifton Park South:**

Because Clifton Park South is listed on the National Register of Historic Places — recognized for its “community planning and architectural quality and diversity” dating from the late 19th / early 20th century — the board’s review should go well beyond mere building-code compliance.

The ABR should not use comparisons with moderate-density and high-density properties in the Sloane neighborhood (high density) or recent approvals at 18169 Clifton Rd (moderate density along the railroad right of way). Nor should the ABR impose planning design for "infill" use. This proposed home sits on an intentionally orphaned lot in a zoned **low-density** neighborhood.

My comments focus on these overarching ideas:

- The ABR should **protect and preserve the historic and architectural character** of this district — its sense of time, place, and community. New construction should respect and respond to that character, rather than ignore it.
- The ABR should focus on ensuring compatibility in scale and material of the proposed home.
- The ABR should consider not just the new building in isolation — but how it fits within the context **of the neighborhood and streetscape**. The ABR should ensure the new structure does not disrupt the rhythm and character that makes the district historically significant.
- The original development of Clifton Park was a **planned community**, with curving streets, irregular large lots, set-back lines, and an emphasis on cohesive planning (parks, and shared community spaces). That planning legacy suggests the board’s evaluation should include how the new house impacts more than just the lot — but the sense of community, lot pattern, and neighborhood openness.
- Preserving **historic integrity and neighborhood character**: helping maintain the cultural, aesthetic, and historical value of Clifton Park South. A single badly-designed infill visually “breaks” the rhythm of this, diminishing the historic feel.
- Avoiding site designs that disrupt established patterns of lot orientation or front-yard character.

### Design Concerns related to Proposed Home on 1114 Forest Rd:

This proposed home purports to be a "Modern Craftsman" design, though fails to honor the legacy of the community expressed in aforementioned objectives. My concerns center on the following:

- The proposed structure does not match prevailing scale in terms of footprint and fails to respect the width to height ratios in neighboring homes. This design is an outlier compared to every other home on the street. It intrudes as a vertical shard, conflicting with the aesthetic of the neighborhood. Its width to height ratio is less than 1.0; it is 0.79 (23' x 29'). Every other home on this side of the street has a width to height ratio greater than 1.0 (see table below using a 29' height standard).

Property	Width (in feet)	Width to Height Ratio	Square Footage
<b>Proposed Building</b>	<b>23</b>	<b>0.79</b>	<b>1750</b>
1116 Forest	36	1.24	2380
1120 Forest	44	1.52	2852
1122 Forest	38	1.31	2970
1124 Forest	55	1.89	6908
1126 Forest	43	1.48	3244
1128 Forest	36	1.24	2504
1130 Forest	36	1.24	4600
1132 Forest	42	1.44	3240

- Many of the homes on Forest Rd have front porches or welcoming distinctive front entrances. This proposed home already has an exceptional setback variance (now under appeal). The recessed front entrance and minimalist porch further compound this abnormal setback and makes the home look grossly out of place.
- The volumes in the design struggle to be broken into legible forms and the proposed home resembles a compressed, unmodulated vertical box. This is in contrast to the more balanced volumes of neighboring homes.
- Are the materials proposed in the design consistent with the quality of the neighboring homes? Neighboring homes have an architectural richness derived from the use of real materials: wood, shingle, real brick, stucco, and stone. Does this home rely on antiseptic modern materials that falsify the age of the home with faux-like finishes?

- This solution uses "postage stamp" design found in high density lots. This attempt seeks to maximize the use of the land, rather than respect the architectural aesthetic of the planned community.
- The design does not provide supporting context photos or streetscape drawings. It does not accurately show how the proposed home would fit into the historic neighborhood. Instead, the application (on pages 73 and 74 December agenda and now pages 85 and 86 January agenda) shows an image of the home in an artificial – almost ex-urban—setting. It uses "stock-type" photo trees and landscaping that can't logically exist. This conveys a false sense of non-impact on the neighborhood, and an inaccurate depiction of the lot disconnected from surrounding homes and streetscape features.

This application, as proposed, must be denied for now. A simple "infill" design is not appropriate here, nor is it replacing an existing structure. If resubmitted after the BZA appeal is complete, the application must thoroughly address the problems cited above. It should also include a design with a more comprehensive analysis that explains:

- Understanding of the district's character through context photos, streetscape drawings, and architectural analysis.
- How the design impacts neighborhood patterns on Forest Rd.
- Material samples and clear elevations evidencing compatibility with the neighboring properties. How does this proposed house maintain the "the street rhythm" typical of Forest Rd?
- How the proposed home does not defy Clifton Park's spatial order — the distance between homes, their relation to the street, and views along curved roads.
- Given its minimalist width, how does the lack of a porch and recessed entrance fit into the neighborhood?

- How would the final home design ensure safety for its occupants and vehicular traffic that will pass closer to the home's footprint after the Clifton Connector project is complete? It is my understanding that the county's highway plan will permanently shift bi-directional traffic lanes closer to the north facing elevation of the proposed house. The design would shift bicycle and pedestrian lanes to the other side of Clifton Blvd. (away from the home), while orienting vehicular traffic even closer to the proposed structure.

Sincerely,



Thomas Fraser






1124 Forest Rd

Lakewood, OH 44107

Docket No. 01-08-26 14819 Lake Avenue



William Crosby <wmcrosbyesq@gmail.com>  
To ● Planning Dept

  Reply  Reply All  Forward 

Fri 1/2/2026 5:27 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Planning Review Board--

My wife Elizabeth (a former member of Lakewood's Planning Board) and I fully-support the proposed project of my neighbor at 14819 Lake Avenue to add a front porch. My wife and I have lived on this block for nearly 40 years and that house, previously owned by the McReynolds, has long been a truncated looking structure due to the fact that its previous front porch collapsed and was not replaced. Frankly, until the current owner began restoration of the residence it was an eyesore.

Thank you

William Crosby  
14805 Lake Avenue  
Cleveland, Ohio 44107

ph.216 401-3392

Note: not a practicing lawyer--an old email address

**Sent:** Wednesday, January 7, 2026 11:41 AM

**To:** Amanda L. Cramer <[Amanda.Cramer@lakewoodoh.gov](mailto:Amanda.Cramer@lakewoodoh.gov)>

**Cc:** Chris Gordon <[Chris.Gordon@lakewoodoh.gov](mailto:Chris.Gordon@lakewoodoh.gov)>

**Subject:** Residents' concerns regarding Pilates studio expansion at Madison and Arthur

Good Morning Amanda and Director Gordon,

Several residents on Arthur Avenue have expressed concerns about the expansion of the Pilates studio at the end of their street on Madison. I want to share those concerns with ahead of your next meeting for consideration.

While most of the concerns are about traffic and parking, one about the building design itself is lighting. The current lights on the back of the building shine into neighboring homes and stay on all night. The design calls for a different style fixture, but regardless, I'd request any new lighting be shielded so all light is directed downward.

Parking is already a big issue in this area, and the expansion will compound the issue. Directly related to this project, residents would like to see some kind of physical barrier between the parking lot and the sidewalk along Arthur. Currently, the lot flows right into the sidewalk, and cars are constantly backing right up into the sidewalk instead of staying on the lot portion of the pavement. There have been many near-hits, including with kids walking to and from school. I'd also request that the owner remove the old sign foundation at the corner of the parcel, as it's a tripping hazard and an eyesore.

Not directly related to this project but still an issue is the lot belonging to the owners of Hudak Dental that runs behind both that building and the pilates studio. When was the last time the owner of that lot was approached in regards to lot sharing? Right now, all cars are towed starting at 6pm, meaning clients going to evening classes are taking up street spots or getting towed. Also, the guardrail along this lot is in disrepair and should be removed or replaced as it is a hazard an eyesore.

Finally, I've copied Director Gordon to see if we can better delineate street parking near the corner on Arthur. Currently people are regularly squeezing extra cars in close to the intersection, making it difficult for people trying to turn safely onto Madison.

Thanks All,

Bryan Evans

(he/his)

Lakewood City Council

Ward 2 Representative

Cell: 216-800-7818

[bryan.evans@lakewoodoh.gov](mailto:bryan.evans@lakewoodoh.gov)

ABR - Vital Pilates & Wellness - 1/8/2026

Hi - thank you for taking the time to present our thoughts below on the proposed addition to Vital Pilates & Wellness.

We are Matt & Alyssa Olsson, current owners/occupants of 2031 Arthur Ave; which is the 3rd house south of Madison, on the east (parking) side of Arthur. With two young children (ages 1 and 2) and a dog, we are daily walkers of Arthur / Mars / Lakeland from Madison to Delaware.

While we share some of the concerns others have voiced/will voice tonight, we feel it is important to delineate between whether those concerns exist today and the incremental concerns that may arise from the proposed addition.

- Current concerns/observations (majority of which are not attributable to Vital):
  - Driveway/parking lot entrances/exits that overlap with a sidewalk; Vital has an entry with sidewalk overlap. Beer Engine has two, Dollar Bank / Dentist has two.
    - Suggest creating an obvious distinction between parking lot and sidewalk to reduce sidewalk blockage as cars enter and exit parking lot and wait for spots
  - Given we all understand living in Lakewood - especially in close proximity to businesses - comes with cars parking on your street, this is more observation than issue:
    - Rarely do Vital patrons park on Arthur
    - There is a car(s) parked in front of our house 95% of the time day or night (employees from Closets by Design 8am-5pm, Beer Engine/Barrio/apt building residents 5pm onward)
    - We walk Arthur / Mars / Lakeland from Madison to Delaware daily, and so I would estimate:
      - 80% of the available parking on Arthur (and Mars/Lakeland) from Madison to Athens is utilized from 8am-10pm
      - 60% of the available parking on Arthur (and Mars/Lakeland) from Athens to Delaware is utilized from 8am-10pm
    - We would love if there was a limit to a single car parking in front of our house; two cars parking results in driveway apron encroachment nearly every time (that the city does not proactively enforce)
      - We are opposed to drawing parking lines that would encourage 2 parking spaces in front of houses
  - Not attributable to Vital: Illegal parking in front of Beer Engine at corner of Arthur & Madison; I (Matt Olsson) have personally raised this issue before with no resolution from the City. My wife (Alyssa) totaled her car in late 2023 turning left onto Madison because she had no visibility into traffic coming down Madison.

- Future concerns/observations: if the addition is approved
  - There will be 10-20 more patrons requiring parking
  - This really only impacts the residents of Arthur/Mars/Lakeland on the east (parking) side of the streets; many of which probably won't even notice a change given there is a car(s) parked in front of their house the majority of the time currently
- The impact of this is that the incremental 10-20 Vital patrons have to park farther away, which really only ends up being a potential risk for Vital ownership that they won't see a sustained increased level of patrons

Again, while we do share some of the concerns you've heard, they are nearly all concerns that exist today and have existed for some time. We very much hope these concerns will not be used as a catalyst to prevent the addition approval. Given we are in close proximity (three houses down on Arthur), on the east (parking) side of the street, and walk the nearby sidewalks with a dog and young children daily, we enthusiastically support the approval of the addition.

Thank you for your time,

Matt & Alyssa Olsson  
2031 Arthur

January 8th ABR Meeting Public Feedback - 15501 Madison Ave.

Good morning,

We are writing today regarding the notice we received regarding the proposed project for the building located at 15501 Madison Ave. We live at 2020 Arthur Ave, immediately behind the building.

We are pleased to see that this new business is thriving and support our business neighbor's ability to continue to grow! However, we do have several practical considerations that are inextricably tied to the project and the client growth that comes with the expansion - primarily safety concerns as they relate to the current (and projected future) parking situation for their clientele. As a bustling business with clients coming and going from classes hourly, the current parking situation is not just inconvenient for their clients, but also a major safety hazard for pedestrians and a significant contributing factor to the congestion at an already busy intersection of Arthur Ave and Madison Ave.

Based on our review of the proposed expansion to 15501 Madison Ave, not only will the second floor workout area increase the number of clients attending classes during any given hour, but the addition of showers will extend the timeframe cars will be parked in the lot, thus reducing parking availability further in an already crammed, chaotic parking lot immediately adjacent to a challenging major intersection. We have outlined the specific concerns, along with some proposed solutions, so that this project may move ahead with the best interest of all impacted parties in mind.

**East Side Parking Lot** *(see pictures 1 & 2 attached)*

*Concern #1:* Our primary safety concern, specifically for pedestrians, is the section of the east parking lot between the two aprons, which blends seamlessly with the adjacent sidewalk of Arthur Ave. This is a very busy pedestrian area due not only to the patrons of the numerous restaurants and businesses along Madison that park on Arthur, but also due to the many active Arthur residents out walking to schools (Grant, Harding & LHS), Wagar Park, restaurants, various businesses, etc. Unfortunately, our daily lived experience as we walk our kids to school each day and attend activities at businesses on Madison Ave each evening, is encountering cars backing out from the east parking lot onto the sidewalk, idling across the sidewalk while waiting for a parking spot to open up, or even simply parked blocking the sidewalk entirely.

*Solution #1:* A barrier in the form of plastic bollards, a concrete curb, rumble strips, or some combination thereof to separate the sidewalk from the parking lot would prevent cars from backing into pedestrians. Another alteration would be to change the existing parking spots from angled, to spots that run parallel to the east side of the building.

*Concern #2:* The parking lot to the east of the structure has two large aprons for entrances and exits. These are not used consistently in one direction or the other causing back ups and difficulty turning out of and onto the intersection of Arthur and Madison.

*Solution #2:* We feel this could benefit for safety and congestion purposes from a set directional signs to clarify/ease the traffic patterns.

Obviously, should the project be approved and client use of the parking lot increase, both of the problems noted above will be exacerbated if the current parking situation goes unchanged. This then brings us to our next concern/solution.

### **Dentist/Bank Parking Lot** *(see picture 3 attached)*

*Concern #3:* This lot is immediately adjacent to the south of the pilates studio's southern parking lot. The metal barrier between them is rusted and is not only an eyesore, but a safety hazard. This parking lot has long been a community issue, as not only is the lot overgrown with lots of vegetation/garbage and in general not maintained, the private owner consistently tows cars on a daily basis from what is largely an underutilized lot. By not allowing parking here in the evening or on weekends, Arthur Ave residents struggle to find on-street parking for themselves and their guests.

*Solution #3:* The bulk of the current class schedule at the pilates studio occurs during the early morning and later evening hours - largely outside of the business hours of the dentist/bank. Posting signage allowing clients of the pilates studio to park in the dentist/bank parking lot during classes without fear of being towed (which they are regularly currently) would offer immediate relief to the parking issue for clients and Arthur Ave residents alike. While it would be difficult to enforce the difference between the car of a patron of a nearby bar from a pilates client, merely extending the non-towing hours of the lot until after the studio closes would still prevent overnight parking from bar patrons (which is presumably the reason for towing from the lot in the first place).

### **Additional Considerations** *(see picture 4 attached)*

- As the business district at the intersection of Arthur and Madison has continued to thrive and grow we are pleased to have the impending addition of a hawk crosswalk light immediately in front of the proposed project building. While not yet functional, any changes to parking, construction, etc should be done with this new pedestrian crossing in mind.

- At this time, the only design specific concern that we have based on the renderings is the lighting on the back of the building. Currently, there are several security lights that point directly outward and remain on, blaring into the residential neighborhood from dusk till dawn. In the new renderings it *appears* these lights on the first floor of the building are being removed and instead, there are several shielded downward facing lights instead. This is greatly preferred as we are immediately adjacent to the

south face of the property, but want to confirm that the existing security lights are in fact being removed as part of this project.

In closing, we again want to emphasize that we would like to make sure this expansion can work for everyone - the business, their clients, and the neighborhood. We hope that the Board will take steps to holistically address the parking & safety issues that the neighborhood already experiences as part of this process.

Sincerely,

Margaret Brinich & Troy Bratz

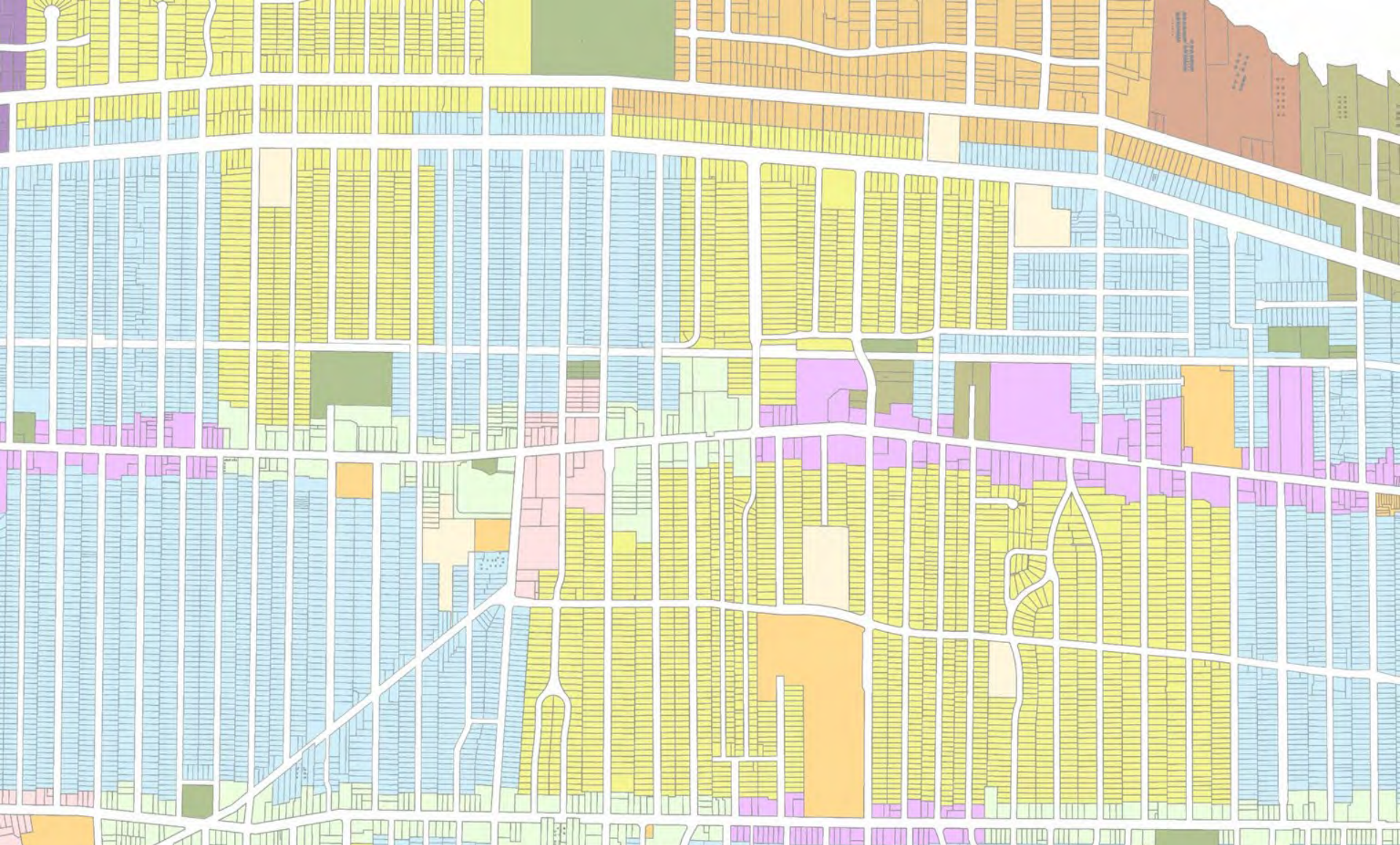












# Architectural Board of Review

January 2026



**Architectural Board of Review**

Pre-Review Meeting: CANCELLED (January 1)

Regular Meeting: January 8<sup>th</sup>, 5:30 pm (Auditorium)

**Members**

Hanna Cohan Plessner (2025 Chair)

Chris Egervary

Nick Slaughterbeck

Matt Stevenson

**Staff**

*Board Secretary:* Amanda Cramer

*Assistant Building Commissioner:* William Wagner

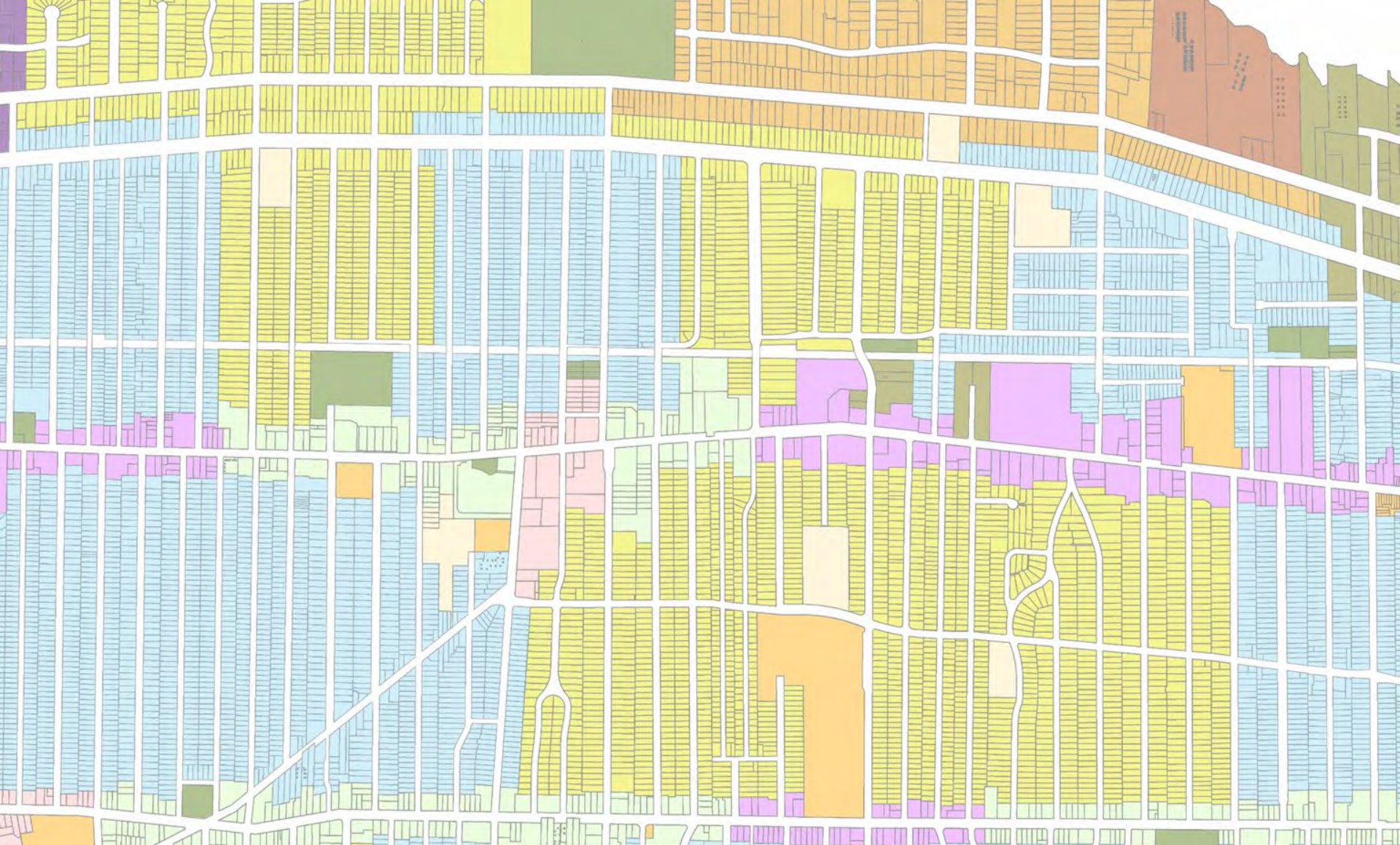


## **Architectural Board of Review** **January Agenda**

1. Roll call
2. Approve minutes – December 2025 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn

## 1325.03 of the Lakewood Codified Ordinances: Purpose of ABR/BBS/Sign Review Board

- The purposes of the Architectural Board of Review are to protect the value, appearance and use of property on which buildings are constructed or altered, to maintain a high character of community development, to protect the public health, safety, convenience and welfare and to protect real estate within the City from impairment or destruction of value.
- Such purposes shall be accomplished by the Board by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all main and accessory buildings to be erected, moved, altered, remodeled or repaired, subject to the provisions of the Zoning and Building Codes and other applicable ordinances of the City, and shall take into consideration the Architectural Standards Workbook and any other design guidelines or standards, as recommended by the Administration or City Council and adopted by the Planning Commission pursuant to Part One, Title Five, Chapter [154](#) of the Codified Ordinances of the City of Lakewood, for use by the Board.
- In reviewing, regulating and approving building plans, the Board shall consider and take cognizance of the development of adjacent, contiguous and neighboring buildings and properties for the purpose of achieving safe, harmonious and integrated development of related properties.



# Architectural Board of Review

Old Business – January 2026

## Applicant proposes signage.

### City Notes:

- Applicant proposes 2 window signs
- Max allowed square footage: 9 SF (windows)
- Total proposed square footage: 13.11 SF



13318 Madison Ave



**Docket No. 12-108-25 (13318 Madison)**

Window Signage  
Lily Richards



Allowed: 9 square feet  
Requesting: 13.33 square feet



**Docket No. 12-108-25 (13318 Madison)**

**Applicant proposes new construction of residence.**

**City Notes:**

An aerial photograph of a residential street, 1114 Forest Rd, showing a road with white lane markings, surrounding green trees, and a large house in the lower-left corner. A red location pin is placed on the road, with the text '1114 Forest Rd' next to it.

1114 Forest Rd



**Docket No. 12-114-25 (1114 Forest)**

**Residence – New Construction**  
**Elizabeth Davis**



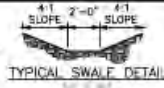
**Docket No. 12-114-25 (1114 Forest)**

**LEGEND**

- CAPPED REBAR TO BE SET
- CURVE DATA
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- NEW FINISHED GRADE ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING FINISHED GRADE ELEVATION
- NEW FINISHED TOP CONCRETE GRADE ELEVATION
- NEW LATERAL CLEAN OUT
- NEW TEMPORARY EROSION CONTROL (SILT SOCK)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- NEW FINISHED GRADE CONTOURS
- EXISTING GRADE CONTOURS
- EXISTING SANITARY SEWER
- EXISTING SANITARY LATERAL
- NEW SANITARY LATERAL
- EXISTING STORM SEWER
- EXISTING STORM LATERAL
- NEW STORM LATERAL
- EXISTING WATER MAIN
- EXISTING WATER SERVICE
- NEW WATER SERVICE
- NEW UTILITY SERVICE
- X EXISTING TREE TO BE REMOVED

DRIVE AFRON	=	58 S.F.
DRIVEWAY	=	862 S.F.
PARKING PAD	=	603 S.F.
LEAD WALK	=	26 S.F.
PORCH/STEEP	=	40 S.F.

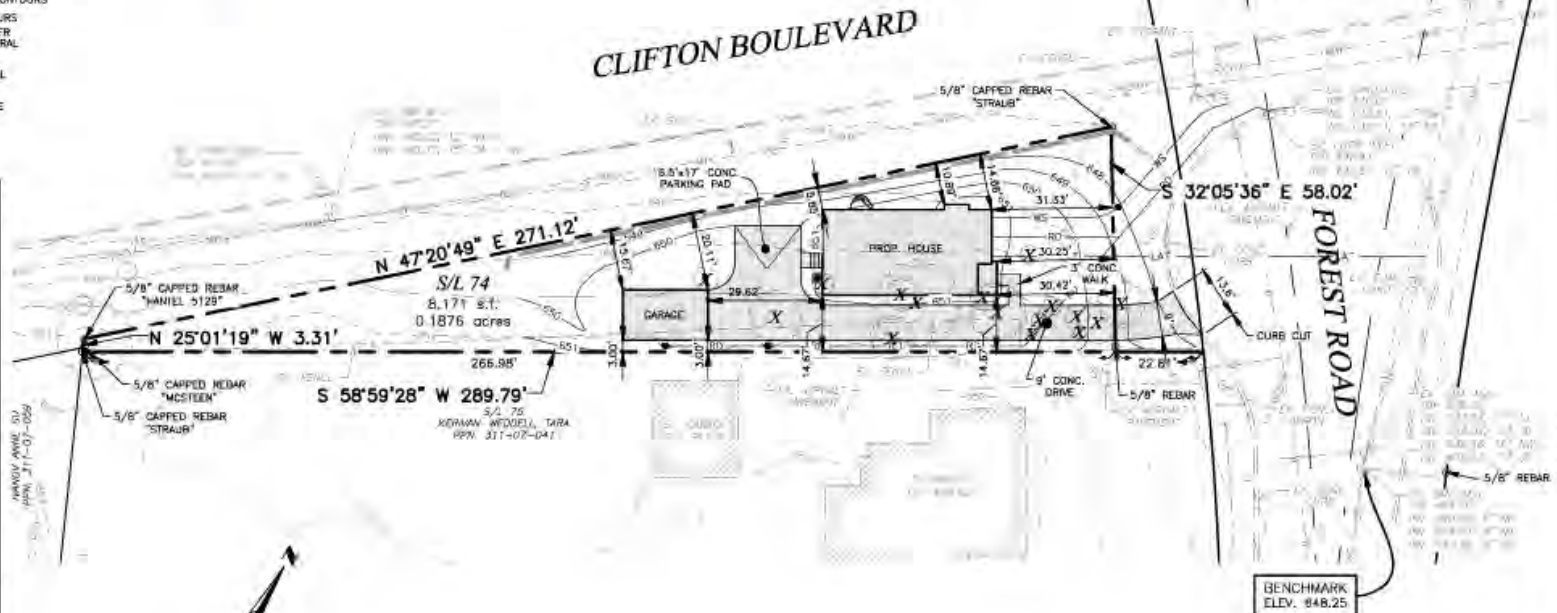
**UTILITY CONNECTION NOTES:**  
 1. SANITARY LATERAL TO BE 8" AT 1.008 MIN.  
 2. STORM LATERAL TO BE 6" AT 1.008 MIN.  
 3. SANITARY WILL ENTER HOME UNDER FOOTER.  
 4. WATER WILL ENTER HOME THROUGH A SLEEVE IN THE WALL A MIN. OF 2' ABOVE SANITARY AND WILL BE 1" DIAMETER COPPER.



REVISIONS:



- PLOT PLAN NOTES:**
- THIS PLAN SHALL NOT BE CONSIDERED A BOUNDARY SURVEY OF THE PARCEL SHOWN. LATERAL INVERT ELEVATIONS AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ACTUAL LATERAL INVERT ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES ON THE LOT PRIOR TO THE EXCAVATION OF THE FOUNDATION. EXISTING UNDERGROUND UTILITIES AND PAVEMENT ARE SHOWN PER COUNTY RECORDS.
  - EXISTING CONTOURS SHOWN ARE REPRESENTATIVE OF FIELD WORK DATED OCTOBER 2025.
  - FOUNDATION DIMENSIONS ARE MEASURED TO THE OUTSIDE CORNER OF FOUNDATION WALL OR BRICK FACE IF APPLICABLE.
  - FOUNDATION DRAIN SLUMP PUMP IS REQUIRED FOR FOOTER DRAINS. USE MINIMUM 1% SLOPE TO STORM SEWER.
  - 2% SLOPE FOR SWALES IS PREFERRED, 1% MINIMUM.
  - MOWABLE AREAS OF THE YARD ARE NOT TO EXCEED 3:1 SLOPE UNLESS OTHERWISE SHOWN ON PLAN.
  - CONTRACTOR MUST CHECK THE BENCHMARK ELEVATIONS SHOWN ON THE PLAN PRIOR TO START OF CONSTRUCTION.
  - ALL CONSTRUCTION TRAFFIC IS RESTRICTED TO THE CONSTRUCTION ENTRANCE.
  - REMOVE EXISTING CONCRETE AS NEEDED FOR NEW WORK.
  - CONTRACTOR TO WORK WITH UTILITY COMPANIES ON RELOCATIONS AS NEEDED FOR NEW WORK.
  - THE CITY OF WESTLAKE ENGINEERING DEPARTMENT MUST BE NOTIFIED TWENTY-FOUR (24) HOURS IN ADVANCE FOR ALL REQUIRED INSPECTIONS.
  - PRIOR TO CONSTRUCTION, BASEMENT AND FOOTER ELEVATIONS ARE TO BE VERIFIED BY THE BUILDER/CONTRACTOR AND IF A DISCREPANCY EXISTS BETWEEN THE HOUSE PLANS AND THIS PLOT PLAN, THE CITY OF WESTLAKE AND GBC DESIGN, INC., SHALL BE NOTIFIED.
  - FACE/FRONT OF MANHOLES SHALL BE INSTALLED 12" FROM BACK OF CURB OR EDGE OF PAVEMENT.



SCALE: 1" = 30'  
 1114 W FOREST DRIVE  
 PPN. 311-06-043

**LOT BENCHMARK:**  
 C.L. RIM OF SANITARY MANHOLE LOCATED AS SHOWN ON PLOT PLAN.  
 ELEV. 848.25

PLOT PLAN PREPARED FOR  
 OLD WORLD CUSTOM HOMES  
 SUBLOT NO. 74 IN THE CLIFTON PARK ALLOTMENT  
 202309180243  
 SITUATED IN THE CITY OF LAKEWOOD  
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:  
**GBC DESIGN, INC.**  
 965 White Pond Dr. Akron, OH 44330-1123  
 Phone 330-818-0288 www.GBCDesign.com

PAGE 1 OF 2  
 DATE: 10/24/2025  
 DRAWN BY: RAW  
 PROJECT No. 5818A

**BUILDER:**  
 OLD WORLD CUSTOM HOMES, LLC  
 7054 MEARS GATE DR. NW  
 NORTH CANTON, OHIO 44770  
 ANDREW EGGEMAN  
 330-494-0228

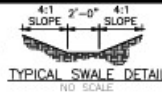


# Docket No. 12-114-25 (1114 Forest)

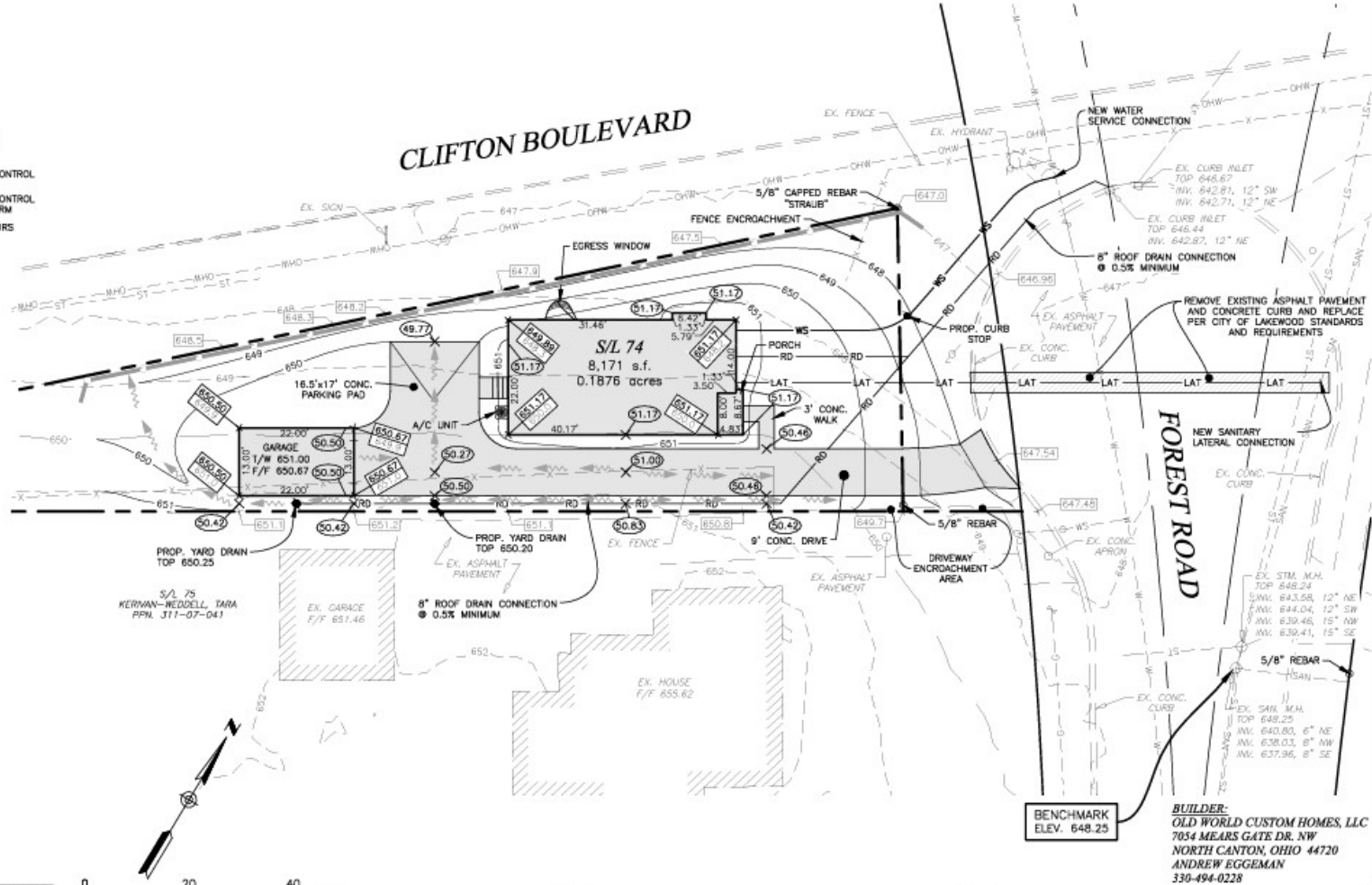
**LEGEND**

- CAPPED REBAR TO BE SET
- CURVE DATA
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- EXISTING MANHOLE
- EXISTING BOX INLET
- EXISTING CURB INLET
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- FLOW DIRECTION OF DRAINAGE
- NEW FINISHED GRADE ELEVATION
- NEW FINISHED GRADE ELEVATION
- EXISTING FINISHED GRADE ELEVATION
- NEW FINISHED TOP CONCRETE GRADE ELEVATION
- C.O. NEW LATERAL CLEAN OUT

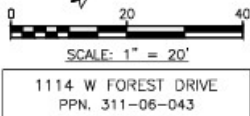
- NEW TEMPORARY EROSION CONTROL (SILT SOCK)
- NEW TEMPORARY EROSION CONTROL AT INLET, USE ADS FLEXSTORM
- NEW FINISHED GRADE CONTOURS
- EXISTING GRADE CONTOURS
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- EXISTING STORM SEWER
- EXISTING STORM LATERAL
- NEW STORM LATERAL
- EXISTING WATER MAIN
- EXISTING WATER SERVICE
- NEW WATER SERVICE
- NEW UTILITY SERVICE



REVISIONS:



FINISH FLOOR ELEVATION	653.01
TOP OF WALL ELEVATION (8'-0" WALL)	651.83
GARAGE ELEVATION	650.50
BASEMENT FLOOR ELEVATION	644.17
TOP OF FOOTING ELEVATION	643.83
BOTTOM OF FOOTING ELEVATION	643.17



**LOT BENCHMARK:**  
 C.L. RIM OF SANITARY MANHOLE LOCATED AS SHOWN ON PLOT PLAN.  
 ELEV. 648.25

PLOT PLAN PREPARED FOR  
 OLD WORLD CUSTOM HOMES  
 SUBLOT NO. 74 IN THE CLIFTON PARK ALLOTMENT  
 202309180243  
 SITUATED IN THE CITY OF LAKEWOOD  
 COUNTY OF CUYAHOGA, STATE OF OHIO

PREPARED BY:  
**GBC DESIGN, INC.**  
 665 White Pond Dr. Akron, OH 44320-1183  
 Phone 330-836-0226 www.GBCDesign.com

**BUILDER:**  
 OLD WORLD CUSTOM HOMES, LLC  
 7054 MEARS GATE DR. NW  
 NORTH CANTON, OHIO 44720  
 ANDREW EGGMAN  
 330-494-0228

PAGE 2 OF 2  
 DATE: 10/24/2025  
 DRAWN BY: BAW  
 PROJECT No. 58188



# Docket No. 12-114-25 (1114 Forest)

# LEON RESIDENCE

1114 FOREST ROAD, LAKEWOOD, OH 44107



AREA SCHEDULE	
NAME	AREA
MAIN FLOOR	944 SQ. FT.
SECOND FLOOR	805 SQ. FT.
TOTAL FINISHED AREA	1,749 SQ. FT.
GARAGE	292 SQ. FT.
FRONT PORCH	40 SQ. FT.

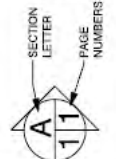
DRAWING SCHEDULE	
COVER SHEET	1
ADDITIONAL RENDERINGS	2
FOUNDATION	3
FINISHED BASEMENT	4
MAIN FLOOR	5
SECOND FLOOR	6
FRONT & REAR ELEVATIONS	7
SIDE ELEVATIONS	8
GARAGE ELEVATIONS	9
GARAGE SIDE ELEVATIONS	10
ROOF PLAN	11
SECTIONS 2X6	12
WALL SECTIONS	13
ADDITIONAL SECTIONS	14
STAIR DETAIL	15
CEILING DETAILS	16
GREAT ROOM ELEVATION	17
ADDITIONAL DETAILS	18
FLOOR FINISHES - BASEMENT	19
FLOOR FINISHES - MAIN FLOOR	20
FLOOR FINISHES - SECOND FLOOR	21
GENERAL NOTES	22
SCHEDULES	23

REVISIONS SCHEDULE		
DATE	REVISION NOTES	INITIALS
12.9.25	SPR REVISIONS	TB

LEON RESIDENCE

1114 FOREST ROAD  
LAKEWOOD OH 44107

DRAWN BY: \_\_\_\_\_ PAGE: 1  
SCALE: As Noted  
DATE: 12/10/2025 COVER SHEET



**Old World**  
CUSTOM HOMES  
**Old World Classics, LLC**  
7056 Meers Gate Dr. NW 330.494.0228  
North Canton, OH 44720 www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**



**LEON RESIDENCE**

1114 FOREST ROAD  
LAKEWOOD OH 44107

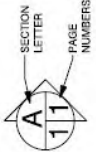
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DATE: 12/10/2025

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ADDITIONAL RENDERINGS



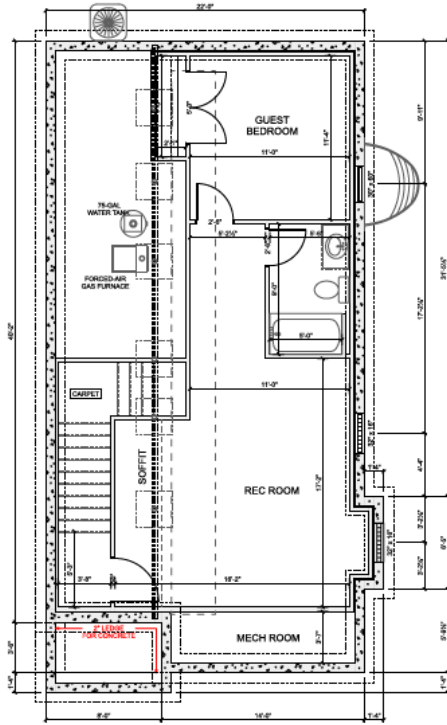
**Old World**  
CUSTOM HOMES

**Old World Classics, LLC**

7056 Meers Gate Dr. NW  
North Canton, OH 44720  
330.494.0228  
www.oldworldclassics.com



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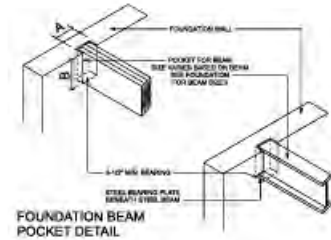


\*POST & BEAM PLACEMENT WILL BE MODIFIED DURING ENGINEER REVIEW  
 \*TRAC & PLUMBING OTHER CEILING DROPS ARE REQUIRED AND LOCATIONS ON PLANS ARE A GUIDE ONLY. FINAL LOCATION OF DROPS CANNOT BE GUARANTEED.  
**8" POURED FOUNDATION WALLS**

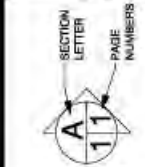
**FOUNDATION**  
 SCALE: 1/8" = 1'-0"



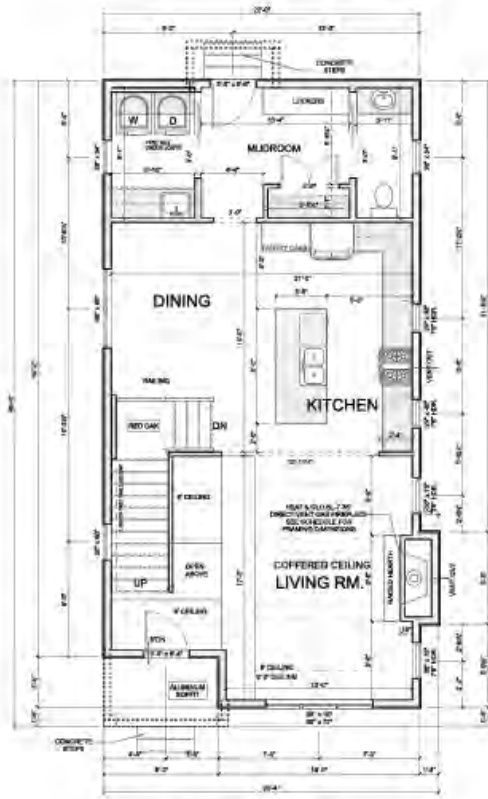
**GARAGE FOUNDATION**  
 SCALE: 1/8" = 1'-0"



POCKET BEAM SHEET		
DATE	BY	APP



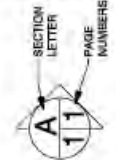
**Docket No. 12-114-25 (1114 Forest)**



**GARAGE PLAN**  
SCALE: 1/8" = 1'-0"

9' WALL HEIGHTS  
6'8" DOOR HEIGHTS  
8' SQ. DRYWALL OPENINGS  
UNLESS OTHERWISE NOTED

**MAIN FLOOR**  
SCALE: 1/8" = 1'-0"



**LEON RESIDENCE**

1114 FOREST ROAD  
LAKEWOOD OH 44107

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SCALE: 1/8" = 1'-0"

DATE: 10/28/2025



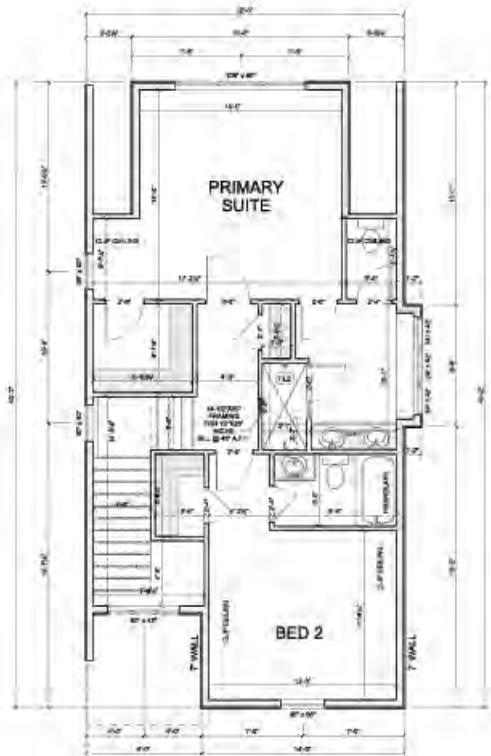
**Old World**  
CUSTOM HOMES

**Old World Classics, LLC**  
330.494.0228  
www.oldworldclassics.com

7056 Mears Gate Dr. NW  
North Canton, OH 44720



**Docket No. 12-114-25 (1114 Forest)**



8" WALL HEIGHTS  
 6"8" SOLID CORE DRS.  
 UNLESS OTHERWISE NOTED

**SECOND FLOOR**  
 SCALE: 1/8" = 1'-0"

**LEON RESIDENCE**

1114 FOREST ROAD  
 LAKEWOOD OH 44107

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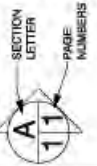
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SECOND FLOOR

DRAWN BY:

SCALE: 1/8" = 1'-0"

DATE: 10/23/2025



**Old World Classics, LLC**

330.494.0228  
 7056 Mears Gate Dr. NW  
 North Canton, OH 44720  
 www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

HARDIE LAP SIDING	LP SMARTSIDE PANELING & TRIM
THIN BRICK FOUNDATION BAND ON ALL ELEVATIONS	GLEN-DERY THIN BRICK ON FRONT ELEVATION
ALUMINUM SOFFIT & FASCIA	6" ALUMINUM FRIEZE BOARDS
3-1/2" ALUMINUM WINDOW WRAP ON ALL WINDOWS	3-1/2" HARDIE SIDING CORNERS
URETHANE BRACKETS @ RIGHT BUMPOUT	PELLA/IMPERVIA WINDOWS
10"x10" LP WRAPPED POSTS @ FRONT PORCH	LP WRAPPED BEAMS @ FRONT PORCH
CERTAINTED LANDMARK ARCHITECTURAL SHINGLES	HAYNE DALTON 9103 SERIES GARAGE DOORS

**LEON RESIDENCE**

1114 FOREST ROAD  
LAKEWOOD OH 44107

7

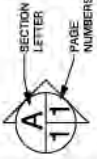
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DATE: 12/10/2025

FRONT & REAR ELEVATIONS



**Old World Classics, LLC**

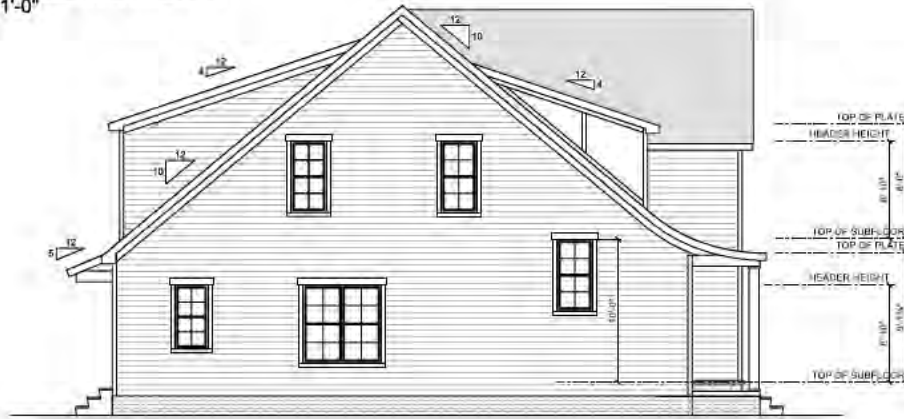
330.494.0228  
7056 Meers Gale Dr. NW  
North Canton, OH 44720  
www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**

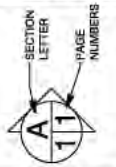


**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

HARDIE LAP SIDING	LP SMARTSIDE PANELING & TRIM
THIN BRICK FOUNDATION BAND ON ALL ELEVATIONS	GLEN-GERY THIN BRICK ON FRONT ELEVATION
ALUMINUM SIDING & FASCIA	6" ALUMINUM FRIEZE BOARDS
3-1/2" ALUMINUM WINDOW WRAP ON ALL WINDOWS	3-1/2" HARDIE SIDING CORNERS
URETHANE BRACKETS @ RIGHT BUMP-OUT	PELLA IMPERVA WINDOWS
10"X10" LP WRAPPED POSTS @ FRONT PORCH	LP WRAPPED BEAMS @ FRONT PORCH
CERTAPTEED LANDMARK ARCHITECTURAL SHINGLES	WAYNE-DALTON 9110-SERIES GARAGE DOORS



LEON RESIDENCE

1114 FOREST ROAD  
LAKEWOOD OH 44107

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PAGE:

8

SIDE ELEVATIONS

Old World  
CUSTOM HOMES

Old World Classics, LLC

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7056 Meers Gate Dr. NW  
North Canton, OH 44720  
www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**

**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

WAYNE-DALTON 9100-SERIES  
GARAGE DOORS  
HARDIE LAP SIDING

TOP OF PLATE  
8'-0"  
TOP OF FOUNDATION

TOP OF PLATE  
8'-0"  
TOP OF FOUNDATION

10  
12

**Old World**  
CUSTOM HOMES  
Old World Classics, LLC  
1828 Meier Dale Dr. NW  
North Canton, OH 44705  
www.oldworldclassics.com

**LEON RESIDENCE**  
1114 FOREST ROAD  
LAKEWOOD, OH 44107

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SCALE: 1/4" = 1'-0"  
DATE: 12/12/2025

PAGE: **9**  
GARAGE ELEVATIONS

**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

TOP OF PLATE  
8'-0"  
TOP OF FOUNDATION

TOP OF PLATE  
8'-0"  
TOP OF FOUNDATION

**Old World**  
CUSTOM HOMES  
Old World Classics, LLC  
1828 Meier Dale Dr. NW  
North Canton, OH 44705  
www.oldworldclassics.com

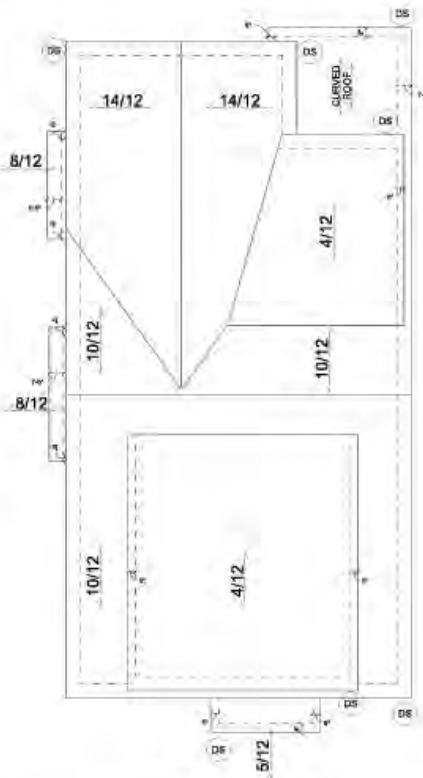
**LEON RESIDENCE**  
1114 FOREST ROAD  
LAKEWOOD, OH 44107

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DATE: 12/12/2025

PAGE: **10**  
GARAGE SIDE ELEVATIONS



**Docket No. 12-114-25 (1114 Forest)**

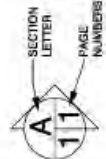


12" OVERHANGS TYPICAL  
UNLESS OTHERWISE NOTED

**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**Old World Classics, LLC**  
330.494.0228  
www.oldworldclassics.com  
7056 Meers Gate Dr. NW  
North Canton, OH 44720

**LEON RESIDENCE**

1114 FOREST ROAD  
LAKEWOOD, OH 44107

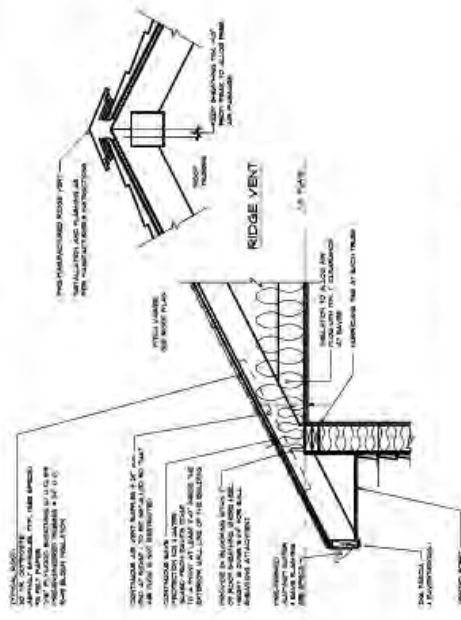
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ROOF PLAN

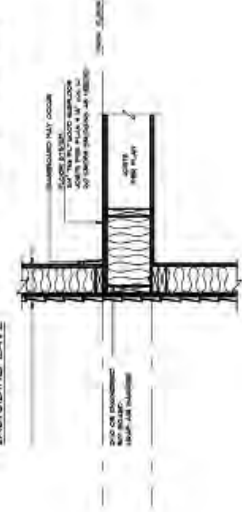




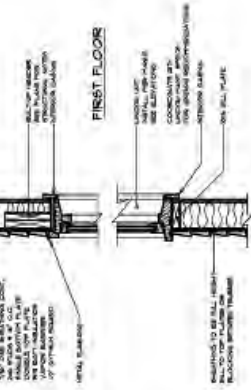
**SECTION - 2X6 WALLS**  
SCALE: 1/2" = 1'-0"



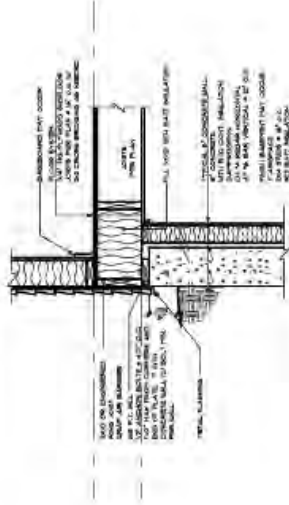
**2X6 SIDING EAVE**      **SECOND / THIRD FLOOR**



**FIRST FLOOR**



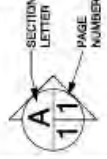
**2X6 SIDING HEADER & SILL (TYP.)**



**BASEMENT**

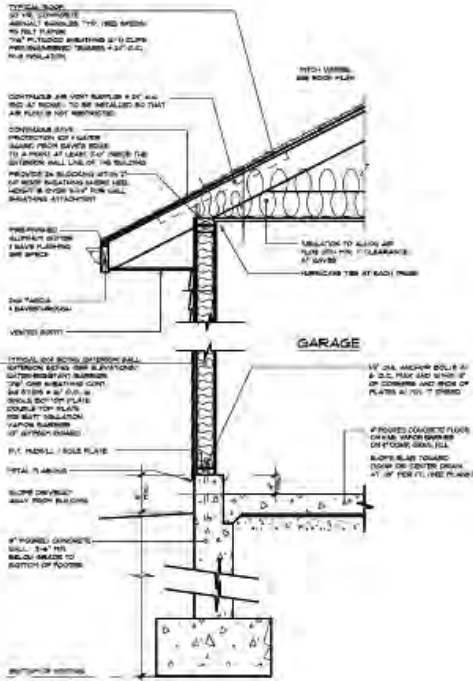


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330.484.0228  
7056 Mears Gate Dr. NW  
North Canton, OH 44720  
www.oldworldclassics.com

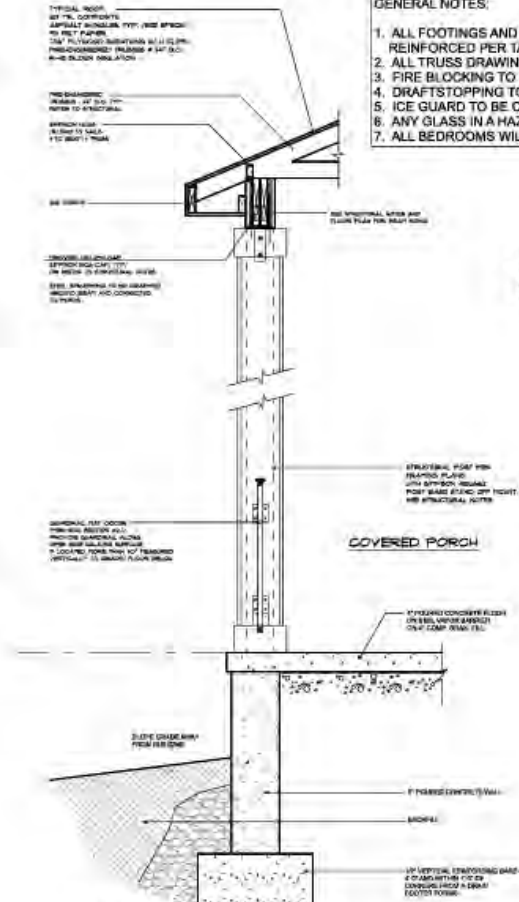


**LEON RESIDENCE**  
1114 FOREST ROAD  
LAKEWOOD, OH 44107

DRAWN BY:  
SCALE: 1/2" = 1'-0"  
DATE: 10/23/2025



**POURED CONCRETE FOOTING AT GARAGE**  
**TYP. WALL SECTION**  
**@ GARAGE**



**TYPICAL COVERED PORCH DETAIL**

**SECTION - 2X6 WALLS**  
 SCALE: 1/2" = 1'-0"

**LEON RESIDENCE**  
 1114 FOREST ROAD  
 LAKEWOOD OH 44107

**SECTION LETTER**  
 A

**PAGE NUMBER**  
 11

**DRAWN BY:**  
 SCALE: 1/2" = 1'-0"  
 DATE: 10/23/2025

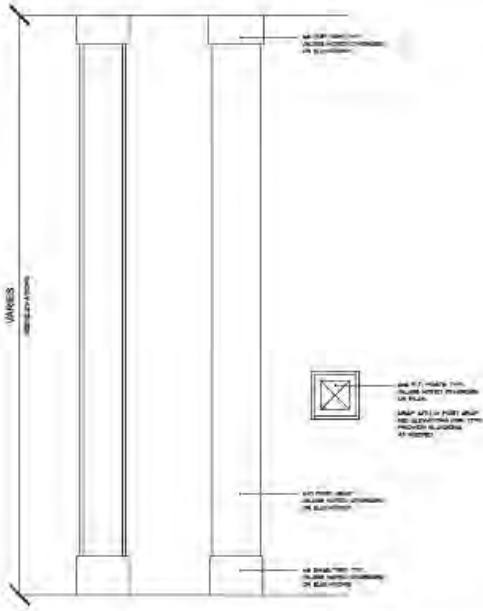
**PAGE:**  
 9

**WALL SECTIONS**

**Old World Custom Homes**  
**Old World Classics, LLC**  
 7058 Meers Gate Dr. NW  
 North Canton, OH 44720  
 330.484.0228  
 www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**



**STANDARD PORCH POST DETAIL**  
SCALE: 1/2" = 1'-0"

**LEON RESIDENCE**

1114 FOREST ROAD  
LAKEWOOD OH 44107

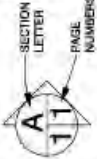
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SCALE: 1/2" = 1'-0"

DATE: 10/23/2025

PAGE: **10**

ADDITIONAL SECTIONS

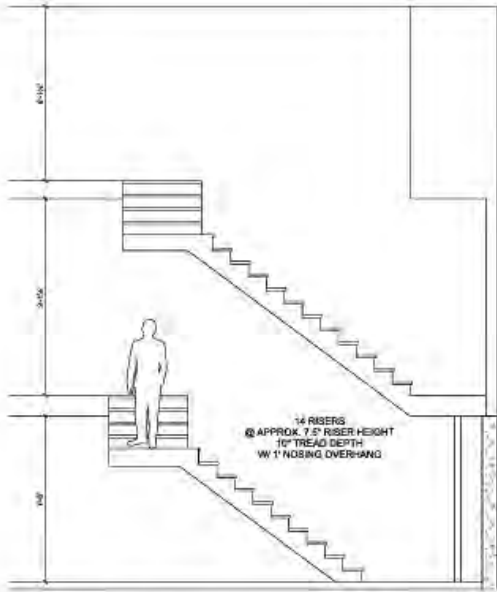


**Old World Classics, LLC**

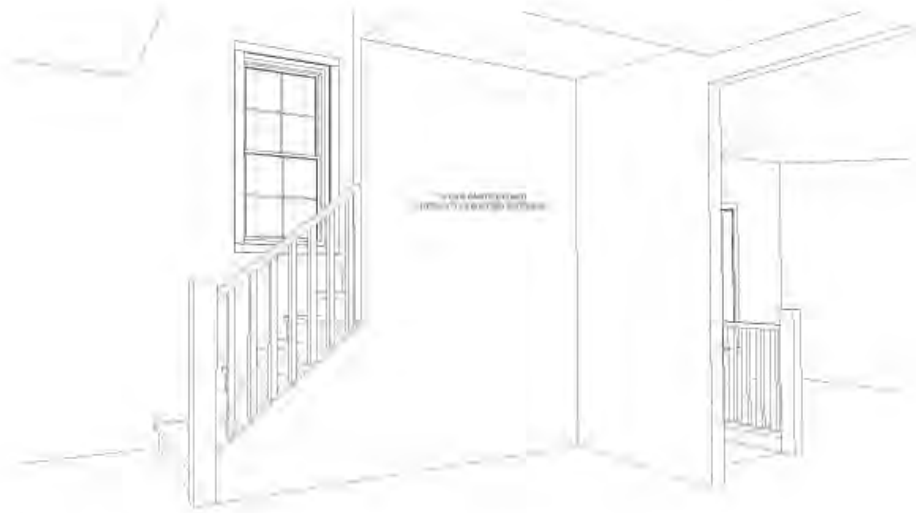
7056 Mears Gate Dr. NW  
North Canton, OH 44720  
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www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**



**STAIR DETAIL**  
SCALE: 3/16" = 1'-0"

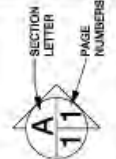


**STAIR DETAIL**  
SCALE: NOT TO SCALE

**LEON RESIDENCE**  
1114 FOREST ROAD  
LAKEWOOD OH 44107

DRAWN BY:  
SCALE: As Noted  
DATE: 10/23/2025

PAGE:  
**11**  
STAIR DETAIL



**Old World**  
CUSTOM HOMES

**Old World Classics, LLC**  
7056 Meers Gable Dr. NW  
North Canton, OH 44720  
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**Docket No. 12-114-25 (1114 Forest)**

9' WALL HEIGHTS  
 8'8" DOOR HEIGHTS  
 8' SQ. DRYWALL OPENINGS  
 UNLESS OTHERWISE NOTED

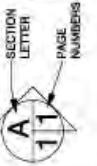


**CEILING DETAILS - MAIN FLOOR**  
 SCALE: 1/8" = 1'-0"

**LEON RESIDENCE**

1114 FOREST ROAD  
 LAKEWOOD OH 44107

DRAWN BY: \_\_\_\_\_ PAGE: **12**  
 SCALE: 1/8" = 1'-0"  
 DATE: 10/23/2025  
 CEILING DETAILS



**Old World Classics, LLC**  
 7056 Meera Gate Dr, NW  
 North Canton, OH 44720  
 330.494.0228  
 www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**

**GENERAL CONSTRUCTION NOTES**

**MISCELLANEOUS:**

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE OHIO RESIDENTIAL CODE OF OHIO, UNLESS LOCAL BUILDING AND ZONING DEPARTMENTS ADHERE TO A SPECIFIC EDITION.

**TRUSSES:**

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAIL DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO VERIFY ANYOR ALL OF THIS INFORMATION IS REGULATED BY THE BUILDING DEPARTMENT TO OBTAIN BUILDING PERMITS.

**LIVE LOADS:**

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS. STRUCTURES SHALL BE DESIGNED TO RESIST MINIMUM UNIFORM DISTRIBUTED LIVE LOADS PER IRC 301.5.

**CONCRETE:**

ALL CONCRETE SHALL COMPLY WITH ACI 318-05 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318-05 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. ALL EXTERIOR CONCRETE SHALL BE AIR-TRAINED PER IRC SECTION 402.2.

**LUMBER:**

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES PER IRC 502.1.

TYPE SPEC AS OR BETTER.  $P_0$  875 (PS)

WALL STUDS SHALL BE A MINIMUM OF 2X6S @ 16" O.C. AND SHALL BE ONE PIECE FULL HEIGHT AND A MINIMUM OF (5) STUDS AT EACH SIDE OF ALL OPENINGS THROUGH ALL WALLS UNLESS NOTED OTHERWISE.

ALL EXTERIOR WALLS TO HAVE VAPOR BARRIER PER IRC 601.3. ALL EXTERIOR WALLS TO HAVE WATER RESISTANT BARRIER PER IRC 602.3. ALL WALL COVERINGS SHALL BE CAPABLE OF RESISTING WIND LOADS IN ACCORDANCE WITH TABLES 301.2(2) AND 301.2(3) PER IRC 703.1.2.

REFER TO THE TYPICAL WALL SECTION FOR SUB-FLOOR AND ROOF SHEATHING THICKNESS AND MATERIAL TYPES.

**BUILDING THERMAL ENVELOPE:**

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION PER IRC 102.4.1. THE SEALING METHOD BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL.

- ALL JOINTS, SEAMS, AND PENETRATIONS
- SITE-BUILT WINDOWS, DOORS, AND SKYLIGHTS
- OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
- UTILITY PROTECTIONS
- DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
- KNEE WALLS
- WALLS & CEILINGS SEPARATING THE GARAGE FROM CONDITIONED SPACES
- BATH TUBS AND SHOWERS ON EXTERIOR WALLS
- ATTIC ACCESS OPENINGS
- OTHER SOURCES OF INFILTRATION

**GENERAL CODE REQUIREMENTS:**

REFERENCE SECTIONS 106.1.3 AND CHAPTER 44 OF THE RESIDENTIAL CODE OF OHIO.

**ROOFS:**

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. FOR A ROOF WITH A 4/12 OR LESS PITCH REFER TO IRC SECTION 905.2. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS.

**ATTICS:**

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

**MECHANICALS:**

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE 2019 RESIDENTIAL CODE OF OHIO.

**SMOKE & CARBON DETECTORS:**

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACKUP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER IRC 314.3 AND 315.1.

**FIRESTOPPING:**

SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF EXIST WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURE AT SOFFITS OVER CABINETS, DROP CEILINGS, ETC. ALSO AROUND VENTS, PIPES AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

**INSULATION:**

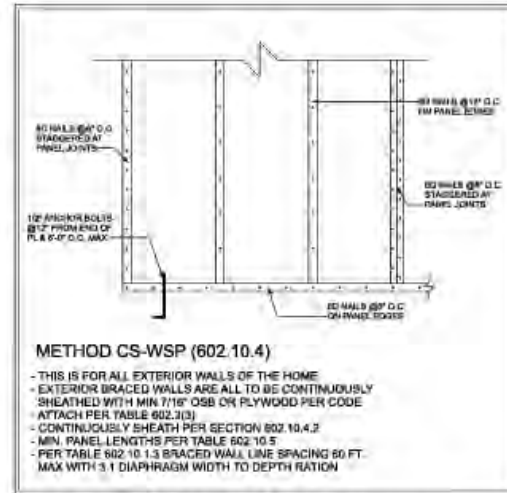
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTIONS FOR WALLS AND LOCATIONS.

**SHEATHING:**

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 1/2" OSB OR PLYWOOD PER SECTION 602.19 RAISED BY 80 HALLS @ 8" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

**FIREPLACES:**

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2019 IRC AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL WALL TO BE INSTALLED, PRIOR TO FRAMING.



**METHOD CS-WSP (602.10.4)**

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME
- EXTERIOR BRACED WALLS ARE ALL TO BE CONTINUOUSLY SHEATHED WITH MIN 7/16" OSB OR PLYWOOD PER CODE ATTACH PER TABLE 602.1(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 80 FT. MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATION

**BRACED WALL PANELS (NOT TO SCALE)**

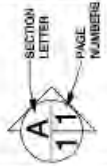
**STAIR REQUIREMENTS:**

MIN. STAIR WIDTH EXCLUDING WALL HANDRAIL.....	3'-0"
MINIMUM TREAD DEPTH.....	3"
MAXIMUM RISER HEIGHT.....	8-1/4"
MAXIMUM VARIANCE IN RISER HEIGHT.....	3/8"
MAXIMUM NOSING PROJECTION.....	1"
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....	8'-0"
MINIMUM/MAXIMUM HANDRAIL HEIGHT.....	34" / 38"
MAXIMUM BALUSTER SPACING (CLEAR OPENING).....	4"
MINIMUM GUARDRAIL HEIGHT AT STAIRS.....	34"
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....	36"
MAXIMUM HAND GRIP WIDTH.....	2-1/4"
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....	1-1/2"

**LEON RESIDENCE**

1114 FOREST ROAD  
LAKEWOOD, OH 44107

PAGE: 17  
DRAWN BY: As Noted  
SCALE: As Noted  
DATE: 10/23/2025  
GENERAL NOTES



**Old World Classics, LLC**  
330.494.0228  
7058 Milens Gate Dr, NW  
North Canton, OH 44720  
www.oldworldclassics.com



**Docket No. 12-114-25 (1114 Forest)**

FIREPLACE FRAMING SPECIFICATIONS					
	H&G SL-7 36"	H&G RUTHERFORD 42"	H&G COTTAGEWOOD 42"	SIMPLIFIRE ALLUME PLATINUM 60"	H&G VESPER 42"
FRAMING WIDTH	42"	53-7/8"	51-1/2"	51"	48-1/2"
FRAMING HEIGHT	35-1/4"	74-5/8"	59-3/4"	19-3/4"	34-1/4"
FRAMING DEPTH	15-1/4"	28-1/2"	28-1/2"	28"	19-5/4"

OVERALL BUILDING DIMENSIONS	
LENGTH	45'-0"
WIDTH	23'-4"
HEIGHT	28'-8"

POURED CONCRETE INFORMATION	
LOCATION/TYPE	COMPRESSIVE STRENGTH
INTERIOR SLABS (EXCEPT GARAGE)	2500 PSI
FOUNDATION WALLS	3000 PSI
PORCH & GARAGE SLABS	3500 PSI

**LEON RESIDENCE**

1114 FOREST ROAD  
LAKEWOOD OH 44107

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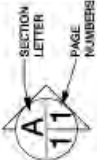
18

SCHEDULES

DRAWN BY: As Noted

SCALE: As Noted

DATE: 10/23/2025



**Old World**  
CUSTOM HOMES

**Old World Classics, LLC**

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North Canton, OH 44720  
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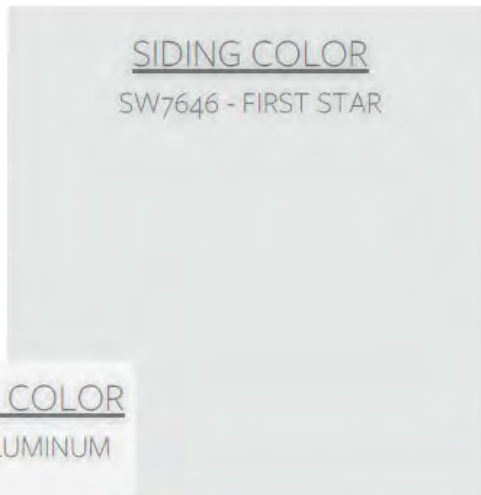


**Docket No. 12-114-25 (1114 Forest)**



SIDING

HARDIE SELECT CEDARMILL PLANK

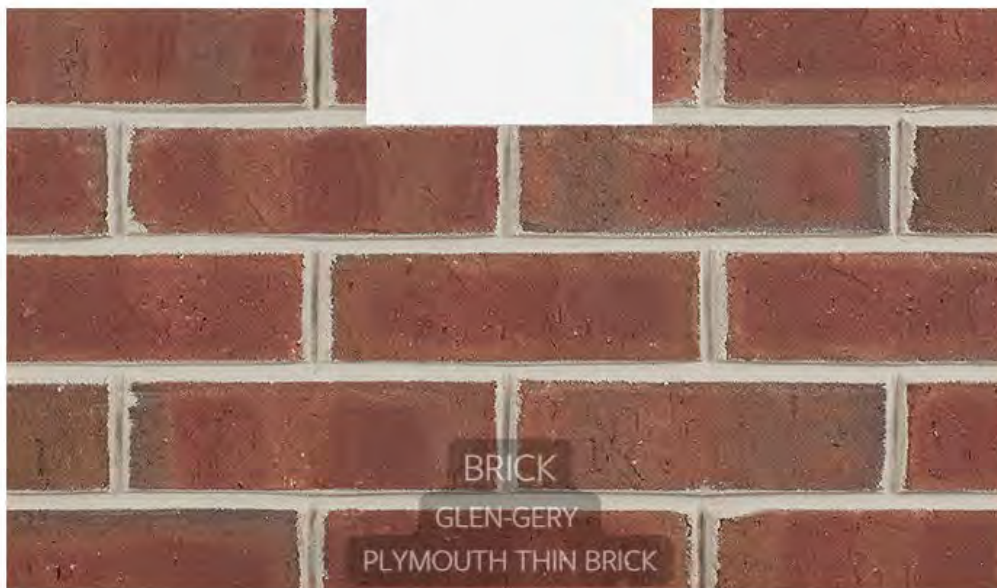


SIDING COLOR

SW7646 - FIRST STAR

ACCENT COLOR

WHITE ALUMINUM



BRICK

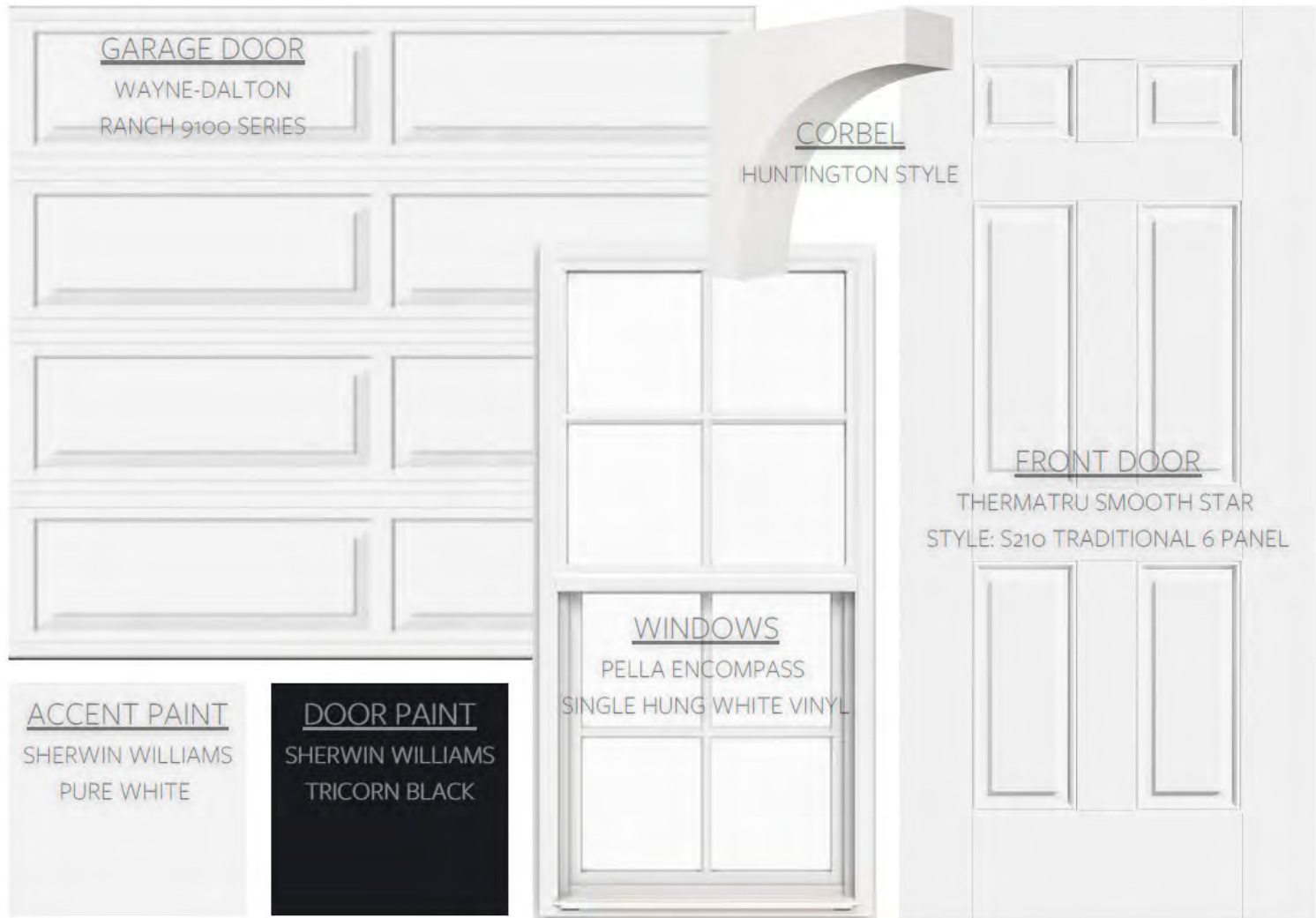
GLEN-GERY  
PLYMOUTH THIN BRICK



ROOFING

LANDMARK LIFETIME SHINGLES  
GRANITE GRAY







PORCH LIGHT

BRADFORD OUTDOOR WALL LANTERN  
BLACK



HARDWARE

SCHLAGE HANDLESET  
CENTURY TRIM - MATTE BLACK



GARAGE LIGHT

ACADEMY OUTDOOR FLYNN  
BOWERS SHADE WALL LIGHT  
MATTE BLACK



# Installation Manual

## Installation and Appliance Setup

**CAUTION!** Risk of Fire! **DO NOT** store instruction manuals inside fireplace cavity. High temperatures could cause a fire.

**INSTALLER:** Leave this manual with the appliance, not inside the appliance.

**CONSUMER:** Retain this manual for future reference. Do not store inside the appliance.

**NOTICE: DO NOT** discard this manual!

**HEAT & GLO**  
No one builds a better fire

**Models:**

SL-5-IFT

SL-5LP-IFT

SL-7-IFT

SL-7LP-IFT

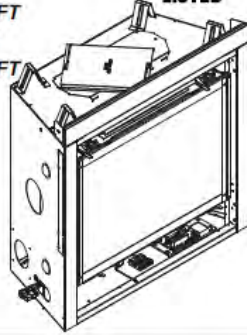
SL-9-IFT

SL-9LP-IFT

GAS-FIRED



LISTED



This appliance may be installed as an OEM installation in manufactured home (USA only) or mobile home and must be installed in accordance with the manufacturer's instructions and the *Manufactured Home Construction and Safety Standard, Title 24 CFR, Part 3280* in the United States, or the *Standard for Installation in Mobile Homes, CAN/CSA Z240 MH Series*, in Canada.

This appliance is only for use with the type(s) of gas indicated on the rating plate. This appliance is not convertible for use with other gases, unless a certified kit is used.

**▲ WARNING:**  
**FIRE OR EXPLOSION HAZARD**  
Failure to follow safety warnings exactly could result in serious injury, death, or property damage.

- **DO NOT** store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance.
- **What to do if you smell gas**
  - **DO NOT** try to light any appliance.
  - **DO NOT** touch any electrical switch. **DO NOT** use any phone in your building.
  - Leave the building immediately.
  - Immediately call your gas supplier from a neighbor's phone. Follow the gas supplier's instructions.
  - If you cannot reach your gas supplier, call the fire department.
- Installation and service must be performed by a qualified installer, service agency, or the gas supplier.

**! DANGER**



**HOT GLASS WILL CAUSE BURNS.**

**DO NOT TOUCH GLASS UNTIL COOLED.**

**NEVER ALLOW CHILDREN TO TOUCH GLASS.**

A barrier designed to reduce the risk of burns from the hot viewing glass is provided with this appliance and must be installed for the protection of children and other at-risk individuals.

Decorative barrier front must be ordered separately at time of appliance purchase. See Section 3.A.

Pour demander un exemplaire en français de ce manuel d'installation, visitez [www.heatnglo.com](http://www.heatnglo.com).



## Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

## Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



## Front Porch and Entry

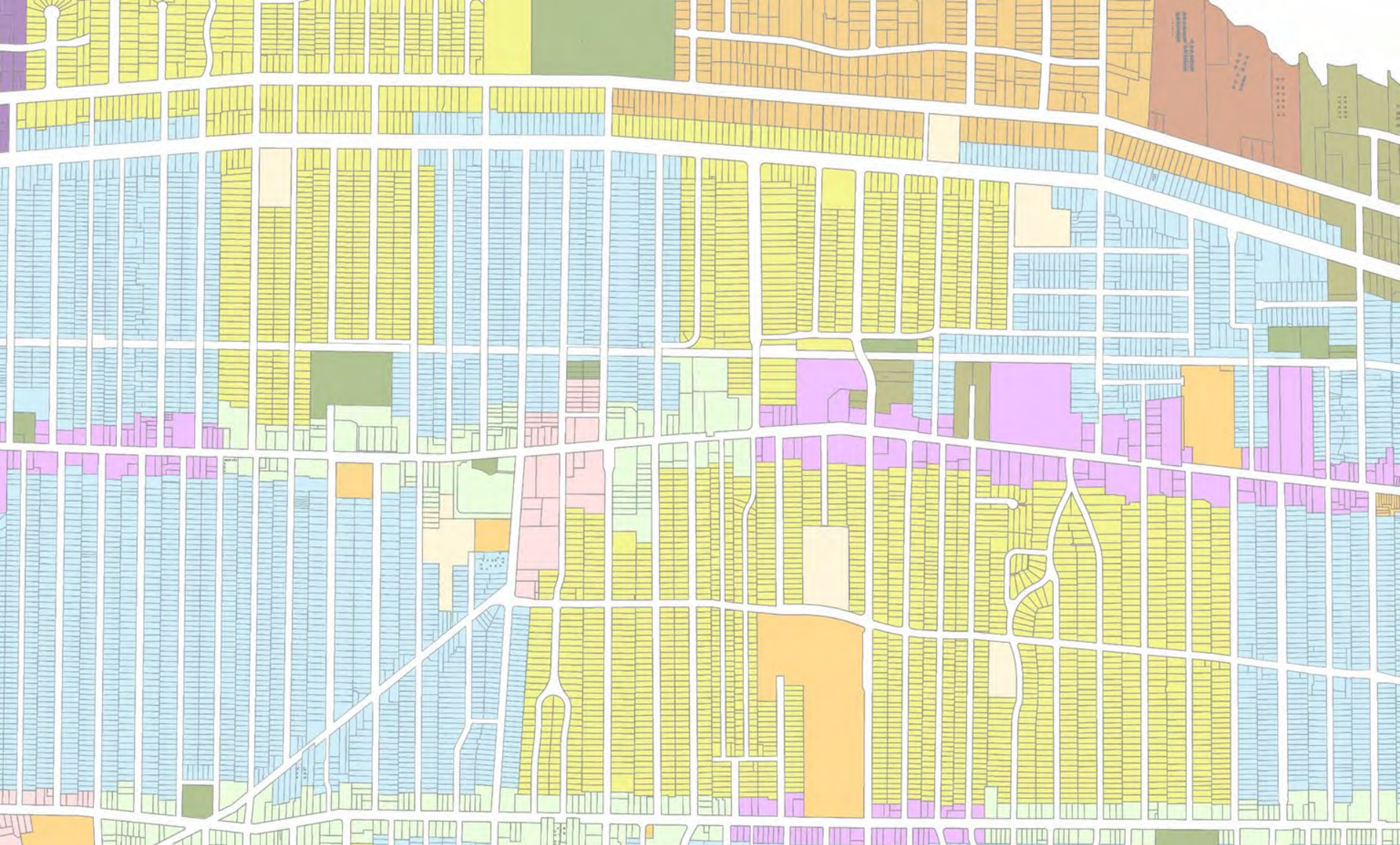
- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
  - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
  - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
  - Compliance with Appendix B Front Porch Guidelines is required.
  - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



## Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.





# Architectural Board of Review

Sign Review – January 2026

## Applicant proposes signage.

### City Notes:

- Applicant proposes window (2.67 SF), blade (15.64 SF), monument (24 SF) signage
- Max allowed square footage: 75 SF total
- Total proposed square footage: 42.31 SF



**Docket No. 01-01-26 (13523 Detroit)**  
Wall, Window, Ground Signage – Little Buckeye Learning Center  
Redmond Doyle

# FRONT ELEVATION SIGN A

ADDRESS:  
13523 DETROIT AVE  
LAKEWOOD, OHIO, 44107

**NEW LENSES ONLY**



(SIGN A @ W:72.25" X H:47.75")

SIGN IS DOUBLE SIDED W/ 2 LENSES

BUILDING FRONTAGE: 50FT

**SIGN A** SQFT OF SIGN (FOR ONE SIDE ONLY): 23.96



SIDE A



SIDE B

Description: Sign A is double sided with two separate polycarbonate lenses. The lenses are 3/16" thick, and will have custom printed graphics. Only the lenses are new for this sign. The monument sign is pre existing and the lenses will be inserted into the existing frame. The current sign has a setback of roughly 12FT from the edge of the existing sign edge to the edge of the sidewalk, and roughly 35FT to the middle of the road.

Please review this proof carefully. It details every aspect of the sign construction and installation.  
Following proof approval any alterations will constitute a change order and may be subject to additional charges.  
Thank you. Production begins with permit approval from the governing jurisdiction.



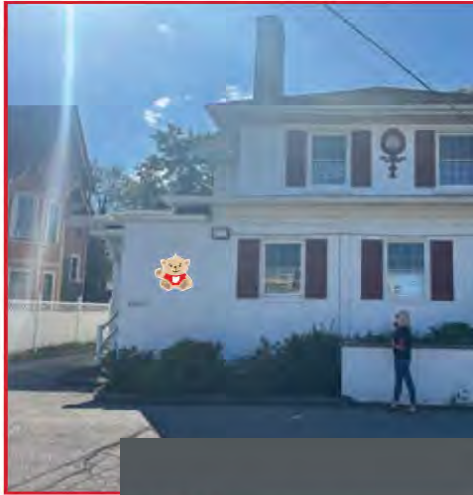
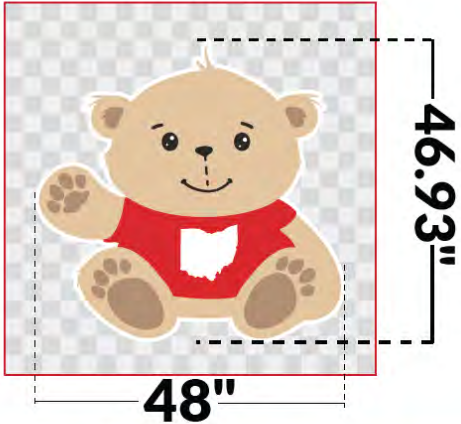
# FRONT ELEVATION SIGN B

ADDRESS:  
13523 DETROIT AVE  
LAKEWOOD, OHIO, 44107

**SQFT OF SIGN: 15.64**  
**BUILDING FRONTAGE: 50FT**

(SIGN B @ W:48" X H:46.93")

**SIGN B**



# FRONT ELEVATION SIGN C

Description: Sign B is to be made of 3Mm Aluminum Composite Material with cu contour edges of the bear mascot for a custom routed shape. This sign will be m a setback from the sidewalk of roughly 81FT from the brick of the building to the

ADDRESS:  
13523 DETROIT AVE  
LAKEWOOD, OHIO, 44107

**SQFT OF SIGN: 2.67**  
**BUILDING FRONTAGE: 50FT**

(SIGN C @ W:20" X H:19.24")

**SIGN C**



**Docket No. 01-01-26 (13523 Detroit)**

# SPECIFICATIONS | MOUNTING

ADDRESS:  
13523 DETROIT AVE  
LAKEWOOD, OHIO, 44107

## SIGN A

### NEW LENSES ONLY

- OVERALL SIZE OF SIGN:
  - W:72.25" X H:47.75" - 23.96 SQFT
- QTY OF 2 LENSES FOR A DOUBLE SIDED SIGN
  - MADE OF 3/16" POLYCARBONATE & CUSTOM VINYL GRAPHICS
  - LENSES TO FIT INTO EXISTING SIGN STRUCTURE (SLIDE IN)
  - SETBACK FROM ROAD IS 12FT
  - SETBACK TO MIDDLE OF ROAD IS 35FT

## SIGN B

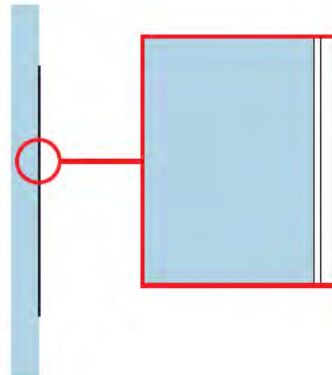
- OVERALL SIZE OF SIGN:
  - W:48" X H:46.93" - 15.64 SQFT
- QTY 1 CUSTOM ROUTED ACM SIGN W/ CUSTOM PRINTED GRAPHICS
  - SIGN TO BE MOUNTED TO EXTERIOR BRICK OF BUILDING
  - MOUNTING TO BE USED: TAPCONS
  - SETBACK TO ROAD IS 81FT

## SIGN C

- OVERALL SIZE OF SIGN:
  - W:20" X H:19.24" - 2.67 SQFT
- CUSTOM PRINTED GRAPHICS CONTOUR CUT TO SHAPES
  - ADHERED DIRECTLY TO THE GLASS OF THE DOOR
  - SETBACK TO ROAD IS 88FT



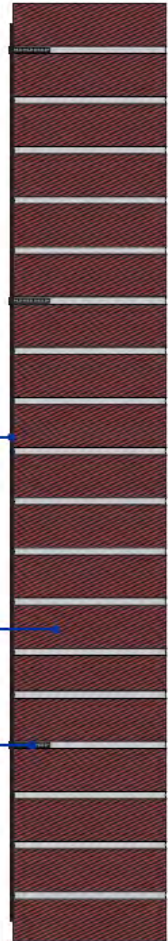
## SIDE VIEW OF SIGN C



3MM ACM SIGN (SIGN B)

EXTERIOR BRICK OF BUILDING

MOUNTING - TAPCONS



PG 6 OF 6



Docket No. 01-01-26 (13523 Detroit)

## Applicant proposes wall sign.

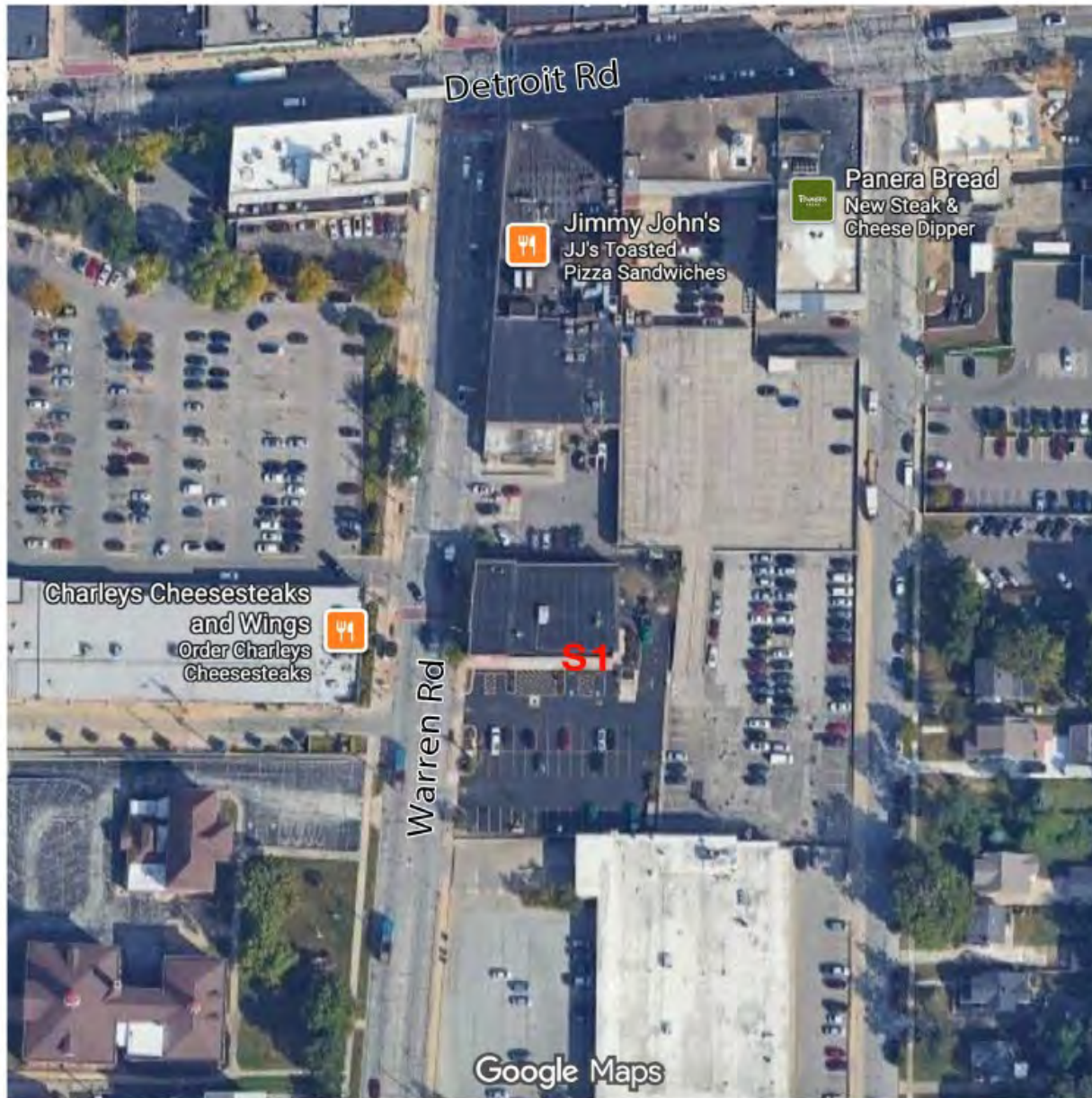
### City Notes:

- Applicant proposes 1 wall sign (40 SF)
- Max allowed square footage: 66 SF
- Total proposed square footage: 40 SF



**Docket No. 01-03-26 (1435 Warren)**

Wall Sign – CPR Ohio  
Kathy Clarke



**Docket No. 01-03-26 (1435 Warren)**





PROPOSED SIGNAGE

### Scope of Work

1. Install Sign as designed and to code.  
(Install over existing electrical box)

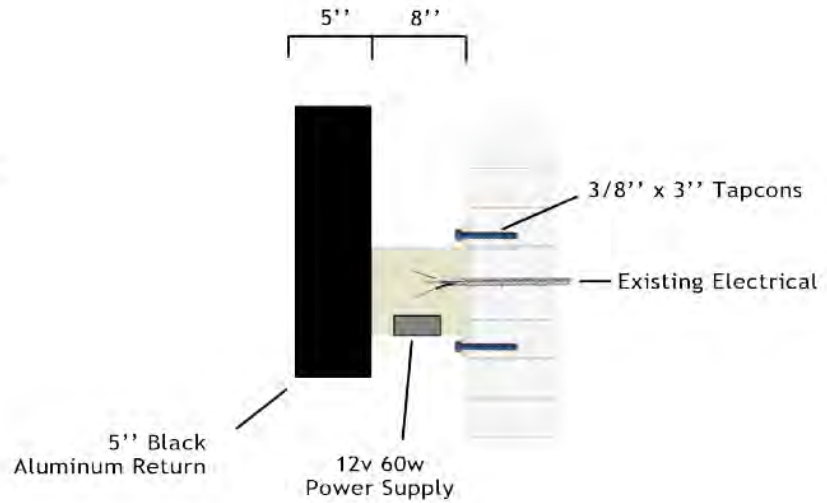
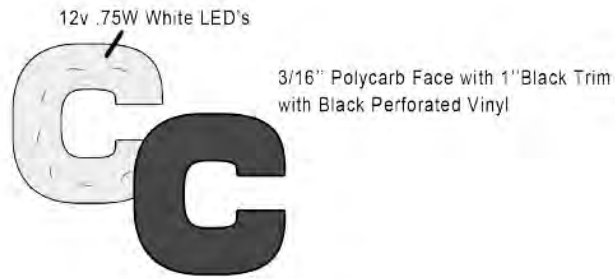


EXISTING CONDITIONS

Note\* Drawings are not for construction purposes. They are intended for design intent only and are not to scale.



**Docket No. 01-03-26 (1435 Warren)**



**Docket No. 01-03-26 (1435 Warren)**

## Applicant proposes new window signage.

### City Notes:

- Applicant proposes 6 window signs (6.67 SF each, 40 SF total), 23 SF existing awning signs
- Max allowed square footage: 125 SF total, 67.2 SF windows
- Total proposed square footage: 63 SF



**Docket No. 01-04-26 (14519 Madison)**

Window Signage – Spin Bike Shop  
Ray Wagner

**1000-SPIN BIKE SHOP**  
MOCKUP /OVERVIEW

EXISTING



MOCKUP BY DAY



MOCKUP BY NIGHT



1000-SPIN BIKE SHOP  
SIGN / OVERVIEW

MEASUREMENTS TBD

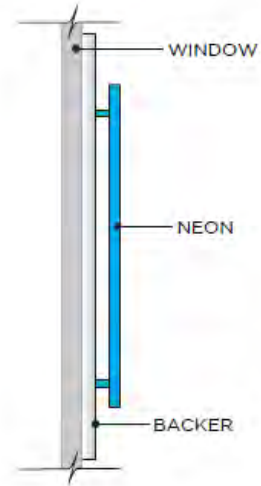


TBD

10mm

10mm stroke neon

SIDE VIEW



MEASUREMENTS TBD



## Applicant proposes new window signage.

### City Notes:

- Applicant proposes 1 door sign (4 SF)
- Max allowed square footage: 5.94 SF window
- Total proposed square footage: 4 SF



**Docket No. 01-05-26 (15640 Madison)**

Window Signage – CB Photo  
Craig Brown



**Docket No. 01-05-26 (15640 Madison)**



**Docket No. 01-05-26 (15640 Madison)**

## Applicant proposes window signage.

### City Notes:

- ❑ Applicant proposes 6 window signs, 4 upper window at 1.4 SF each, 2 window at 3.14 SF each
- ❑ Max allowed square footage: 15.5 SF window
- ❑ Total proposed square footage: 11.88 SF



**Docket No. 01-09-26 (2007 Carabel)**  
Window Signage – Absolute Legends and Collectibles  
Javier Sandate



**Docket No. 01-09-26 (2007 Carabel)**



**Applicant proposes signage.**

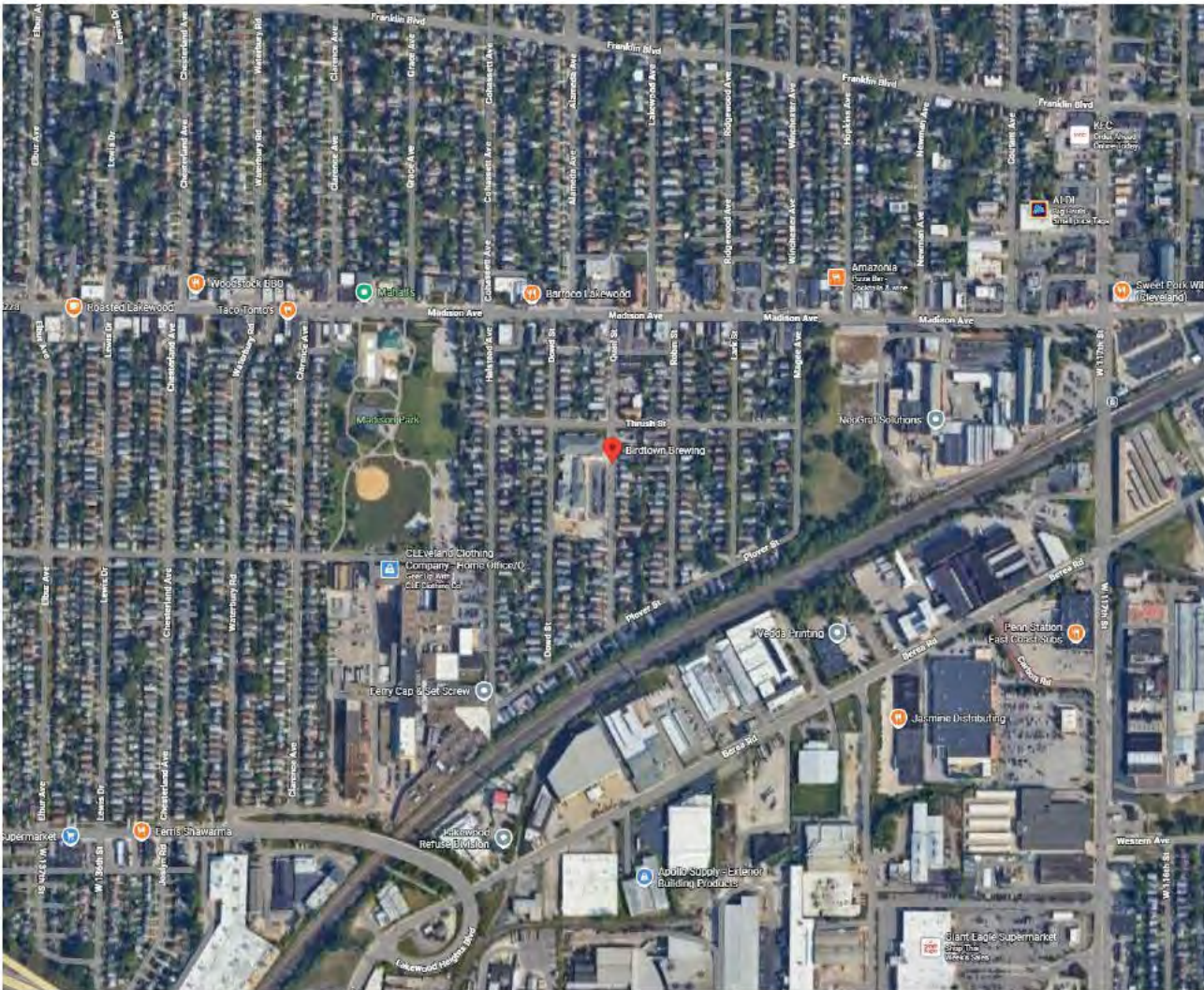
**City Notes:**

- ❑ Applicant proposes 1 wall sign (60.36 SF), **existing unapproved mural sign (unknown SF)**
- ❑ **Max allowed square footage: 84.38 SF total**
- ❑ **Total proposed square footage: unknown**



**Docket No. 01-10-26 (2035 Quail)**  
Wall Signage – Birdtown Brewing  
Kathy Clarke

# BIRDTOWN BREWING



## SCOPE OF PROJECT

- i. One (1) set of non-illuminated channel letters & FCO acrylic copy



### COLORS



**\*ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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# Docket No. 01-10-26 (2035 Quail)



<p><b>COLORS</b></p> <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; width: 20px; height: 20px; margin-right: 5px;"></div> <p>White</p> </div>	<p><b>MATERIALS</b></p> <p><b>A. "Birdtown" script</b>                  FACES: .090 aluminum, painted white                  RETURNS: 2" .080 aluminum, painted white                  PAINT: Std. white, satin                  MOUNTING: Pads &amp; threaded aluminum studs for flush mount to brick fascia</p> <p><b>B. "BREWING"</b>                  ALL COPY: 1" FCO acrylic, painted white                  PAINT: Std. white, satin                  MOUNTING: Threaded aluminum studs for flush mount to brick fascia</p>
<p><b>BIRDTOWN BREWING</b>                  QUAIL ST. LAKEWOOD, OH 44107</p>	<p>OVERALL DIMENSIONS 13' - 7.5" W x 4' - 10" H x 2" D                  SQUARE FOOTAGE 65.9 ft.<sup>2</sup></p>

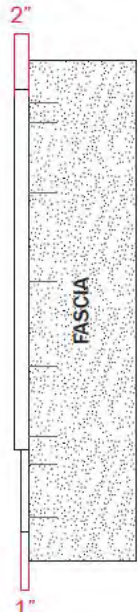
**\*ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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SCALE 1 : 15	DATE 12/16/25	PROJECT MANAGER ANNA A.	PAGE DESCRIPTION FRONT/BACK VIEW	PAGE NO. 2 OF 4
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DIRECT SIDE VIEW



ORTHOGRAPHIC VIEW





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**Docket No. 01-10-26 (2035 Quail)**

## Applicant proposes window signage

### City Notes:

- ❑ Applicant proposes 4 window signs (8.93 SF total), existing awning (4.4 SF)
- ❑ Max allowed square footage: 21 SF total, 18.72 SF windows
- ❑ Total proposed square footage: 13.33 SF



**Docket No. 01-11-26 (13439 Detroit)**

Window Signage – Forevergoldence  
Nicole Bozickovich



**Docket No. 01-11-26 (13439 Detroit)**

Size: 28" x 12"  
Warm White

OPEN



32" by 23"

**HEY  
CLEVELAND,**

**YOU ARE GOLDEN,  
COOL, BEAUTIFUL,  
AND EXTRAORDINARY**

**20" by 20"**

**Forevergoldence**

*Permanent Jewelry*

Find us on Social Media  
@forevergoldence

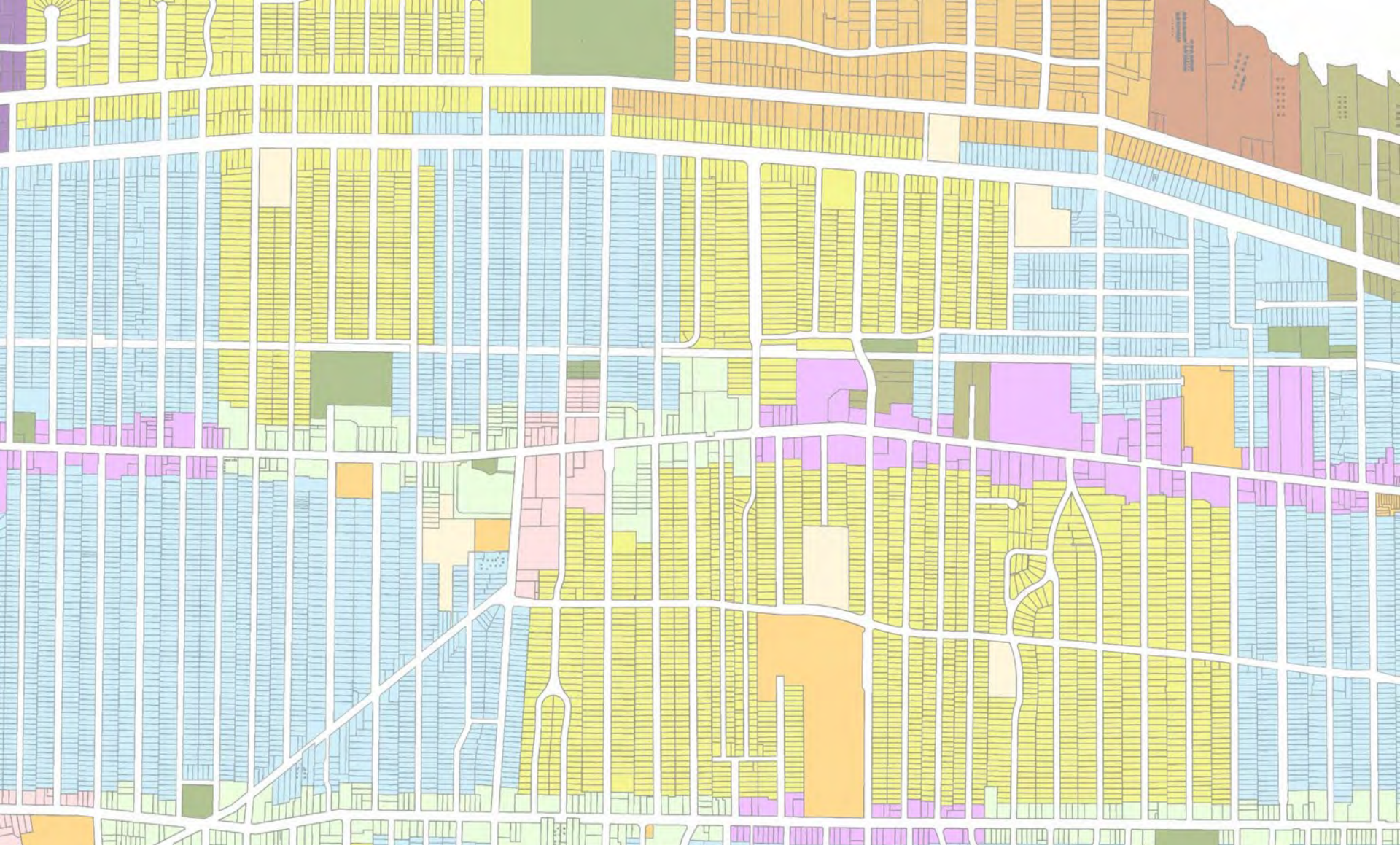
**Patchitupcle**

*Patch Apparel Bar*

Find us on Social Media  
@patchitupcle



**Docket No. 01-11-26 (13439 Detroit)**



# Architectural Board of Review

January 2026

**Applicant proposes storefront renovation/painting.**

**City Notes:**

- While signage was submitted with this, a separate application is required and not part of this application.



**Docket No. 01-06-26 (16806 Madison)**

**Storefront Renovation – Cini  
Gary Fischer**



EXISTING MASONRY TO REMAIN.  
CLEAN.

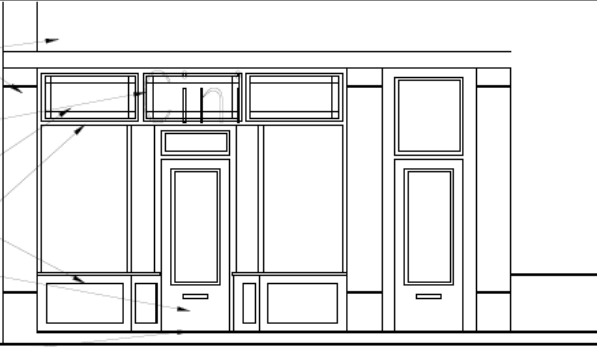
CUSTOM NEON SIGN TO REPLACE  
EXISTING REFER TO RENOVATED ELEV.  
ON G100 SIGN AREA 8 SQ. FT.

EXISTING TRANSOM GLASS TO  
REMAIN.

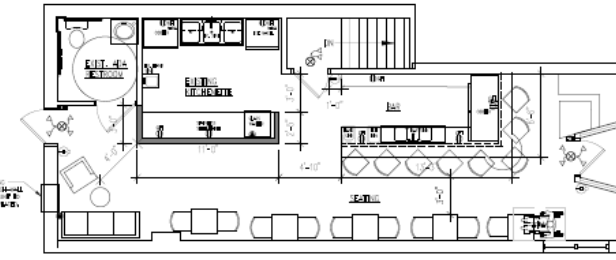
REPAINT EXISTING WOOD FRAMING  
& BULLHEADS BLACK, TYP.

REPAIR EXISTING DOOR & REPAINT.  
ADD TO BOTTOM OF DOOR &  
PROVIDE NEW SWEEP.

REPAIR EXISTING QUARRY TILE  
ENTRY FLOORING.



STOREFRONT ELEVATION  
1/2" = 1'-0"



**LEGEND**  
 - 1" DIA. METAL ROD  
 - 1/2" DIA. METAL ROD  
 - 1/4" DIA. METAL ROD  
 - 1/8" DIA. METAL ROD  
 - 1/16" DIA. METAL ROD  
 - 1/32" DIA. METAL ROD  
 - 1/64" DIA. METAL ROD  
 - 1/128" DIA. METAL ROD  
 - 1/256" DIA. METAL ROD  
 - 1/512" DIA. METAL ROD  
 - 1/1024" DIA. METAL ROD  
 - 1/2048" DIA. METAL ROD  
 - 1/4096" DIA. METAL ROD  
 - 1/8192" DIA. METAL ROD  
 - 1/16384" DIA. METAL ROD  
 - 1/32768" DIA. METAL ROD  
 - 1/65536" DIA. METAL ROD  
 - 1/131072" DIA. METAL ROD  
 - 1/262144" DIA. METAL ROD  
 - 1/524288" DIA. METAL ROD  
 - 1/1048576" DIA. METAL ROD  
 - 1/2097152" DIA. METAL ROD  
 - 1/4194304" DIA. METAL ROD  
 - 1/8388608" DIA. METAL ROD  
 - 1/16777216" DIA. METAL ROD  
 - 1/33554432" DIA. METAL ROD  
 - 1/67108864" DIA. METAL ROD  
 - 1/134217728" DIA. METAL ROD  
 - 1/268435456" DIA. METAL ROD  
 - 1/536870912" DIA. METAL ROD  
 - 1/1073741824" DIA. METAL ROD  
 - 1/2147483648" DIA. METAL ROD  
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 - 1/3035420176930312087

EXISTING MASONRY TO REMAIN.  
CLEAN.

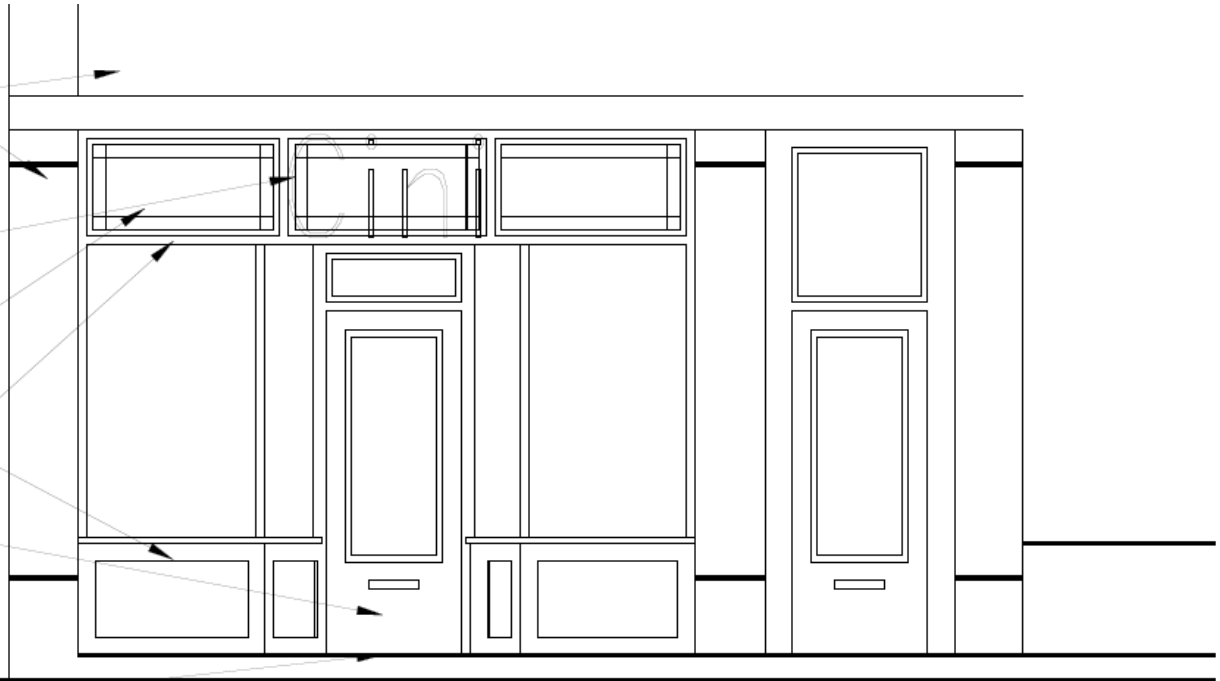
CUSTOM NEON SIGN TO REPLACE  
EXISTING REFER TO RENDERED ELEV.  
ON G100 SIGN AREA 8 SQ. FT.

EXISTING TRANSOM GLASS TO  
REMAIN.

REPAINT EXISTING WOOD FRAMING  
& BULKHEADS BLACK. TYP.

REPAIR EXISTING DOOR & REPAINT.  
ADD TO BOTTOM OF DOOR &  
PROVIDE NEW SWEEP.

REPAIR EXISTING QUARRY TILE  
ENTRY FLOORING.



**STOREFRONT ELEVATION**  
1/4" = 1'-0"



**Docket No. 01-26-26 (16806 Madison)**

**Applicant proposes second floor addition of commercial space.**

**City Notes:**

- **No materials presented**



**Docket No. 01-07-26 (15501 Madison)**

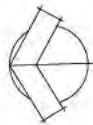
**Second Floor Addition – Vital Pilates  
Jake Szaraz**



**Docket No. 01-07-26 (15501 Madison)**

MADISON AVE

ARTHUR AVE.



ARCHITECTURAL SITE PLAN

1/8" = 1'-0"



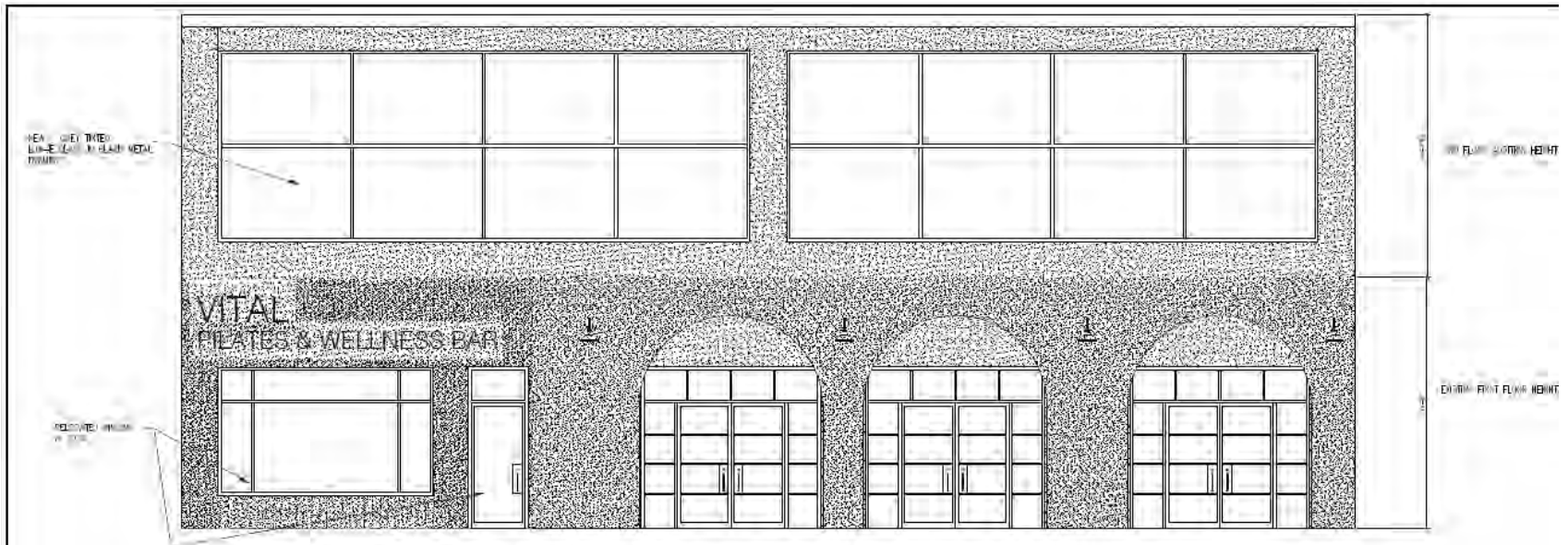
**Docket No. 01-07-26 (15501 Madison)**



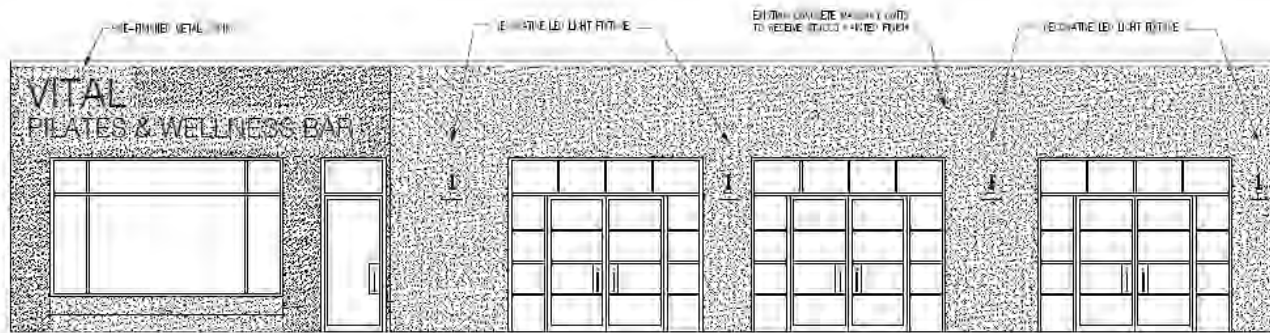
**Docket No. 01-07-26 (15501 Madison)**



**Docket No. 01-07-26 (15501 Madison)**

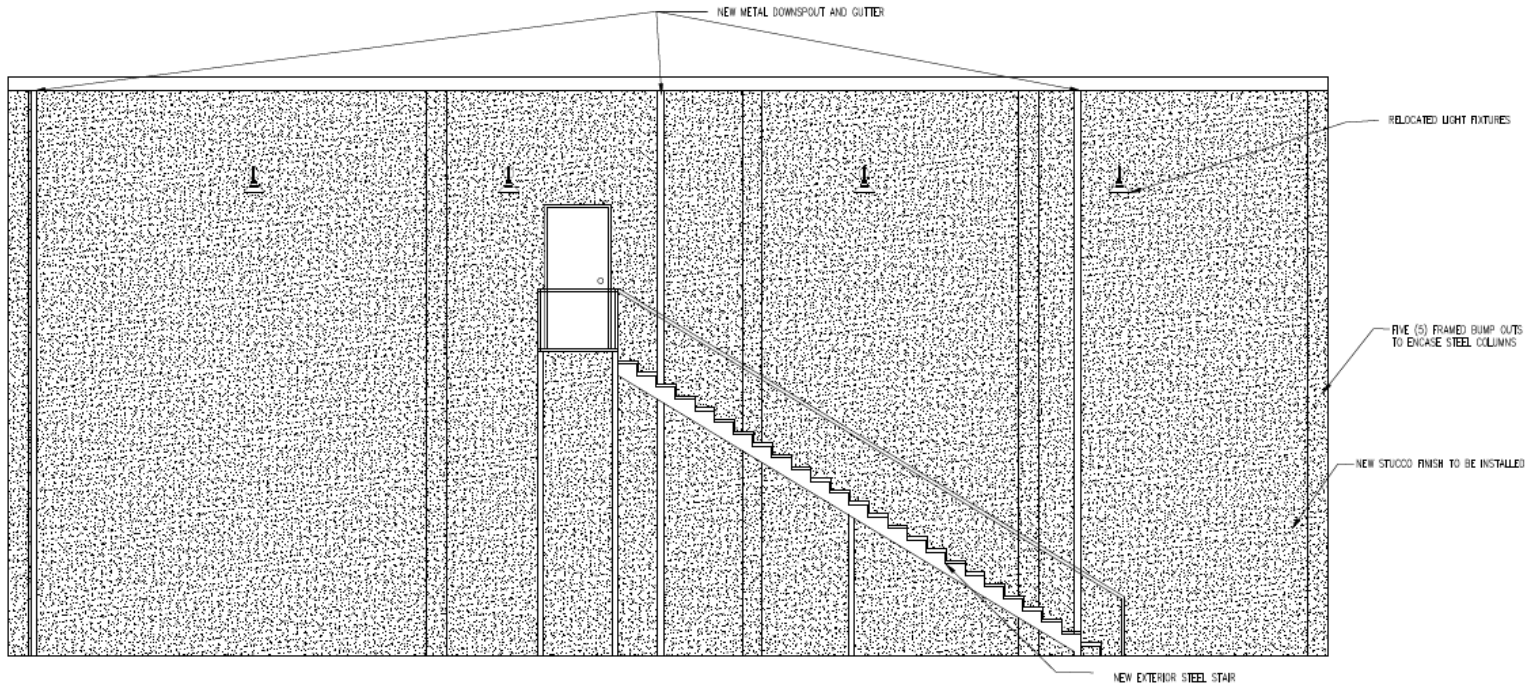


SOUTH ELEVATION



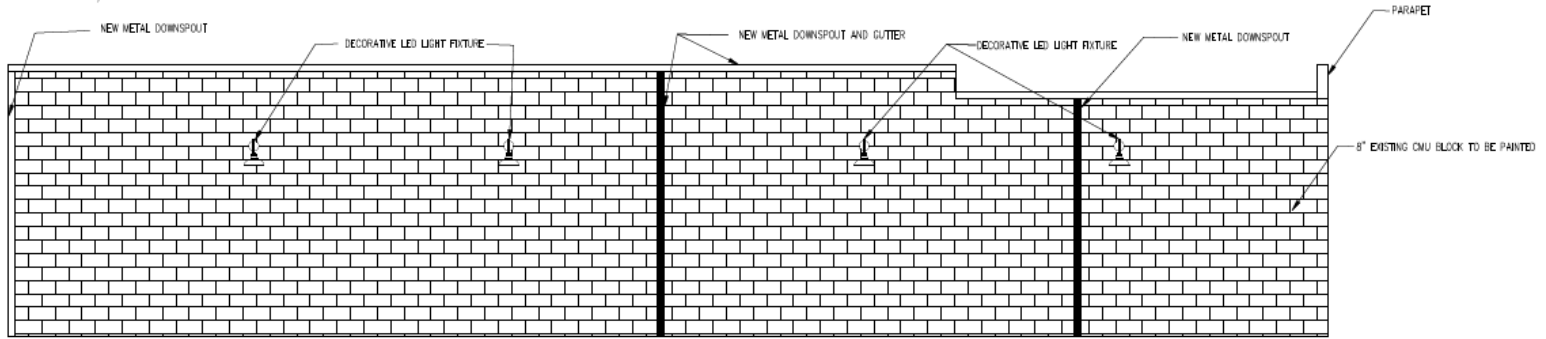
EXISTING SOUTH ELEVATION





**NORTH ELEVATION**

3/8" = 1'-0"

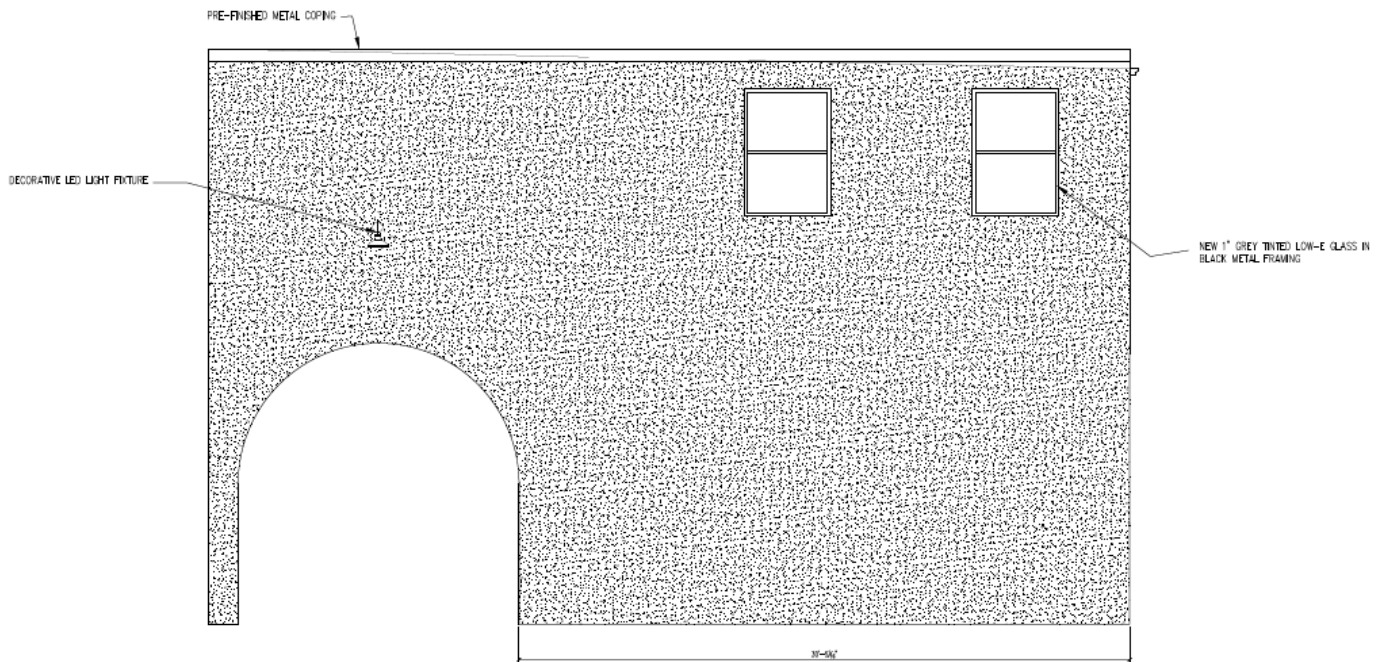


**EXISTING NORTH ELEVATION**

3/8" = 1'-0"

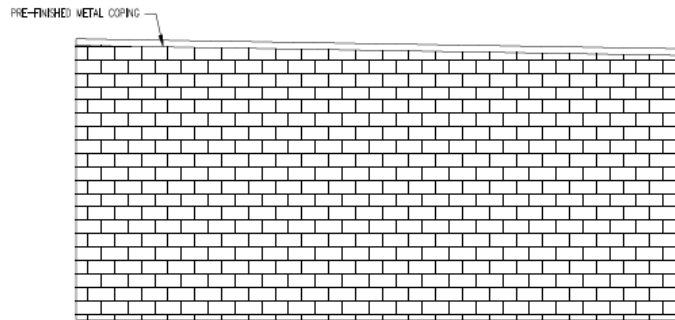


**Docket No. 01-07-26 (15501 Madison)**



WEST ELEVATION

3/8" = 1'-0"



EXISTING WEST ELEVATION

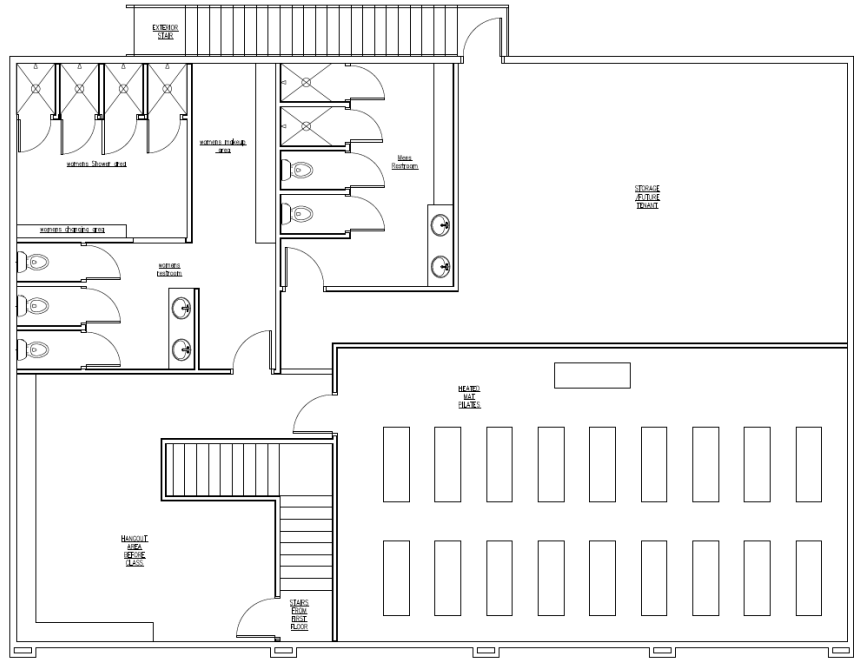
3/8" = 1'-0"



**Docket No. 01-07-26 (15501 Madison)**



FIRST FLOOR PLAN  
 $3/8" = 1'-0"$



SECOND FLOOR PLAN  
 $3/8" = 1'-0"$

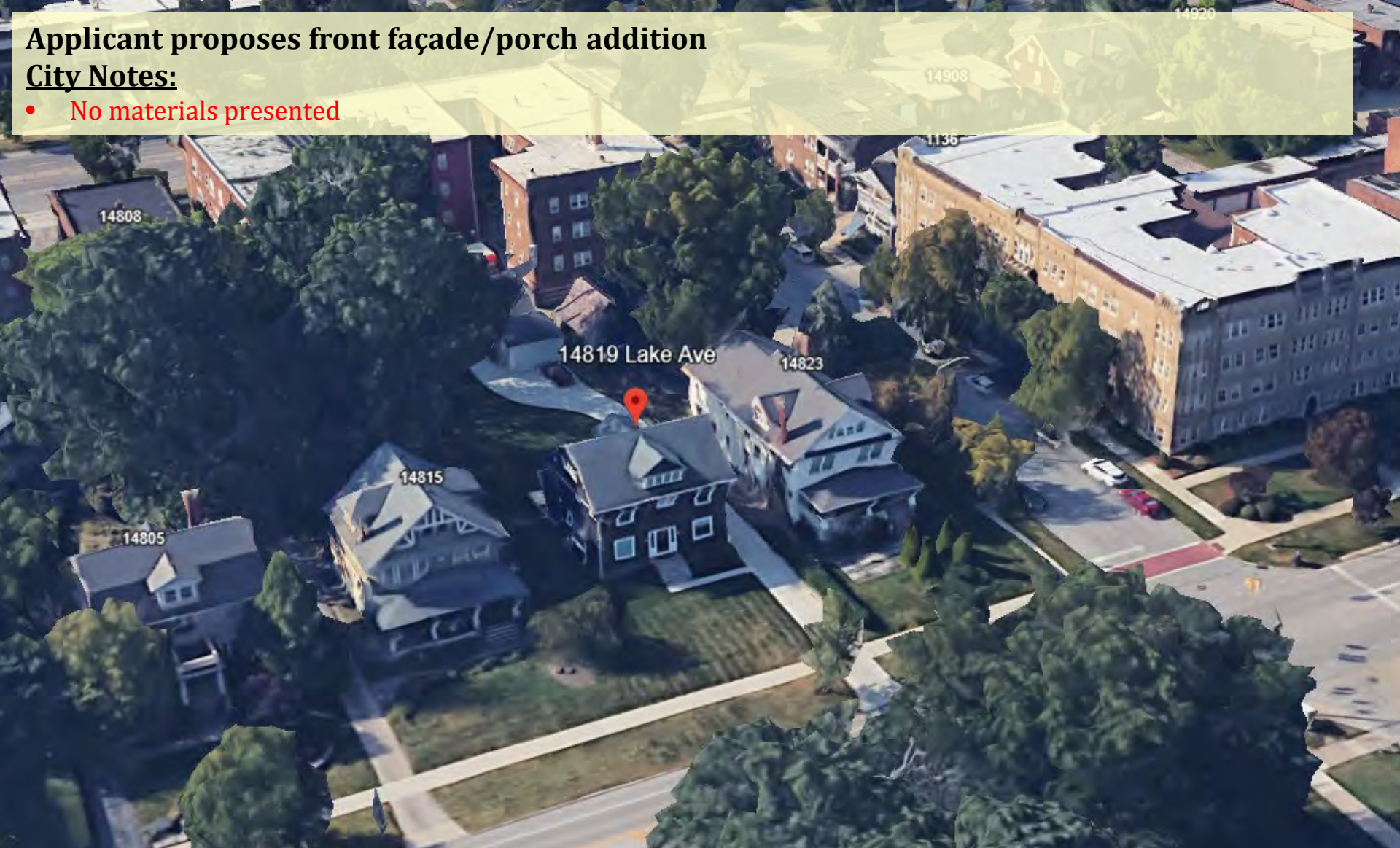


**Docket No. 01-07-26 (15501 Madison)**

**Applicant proposes front façade/porch addition**

**City Notes:**

- **No materials presented**



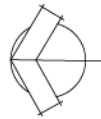
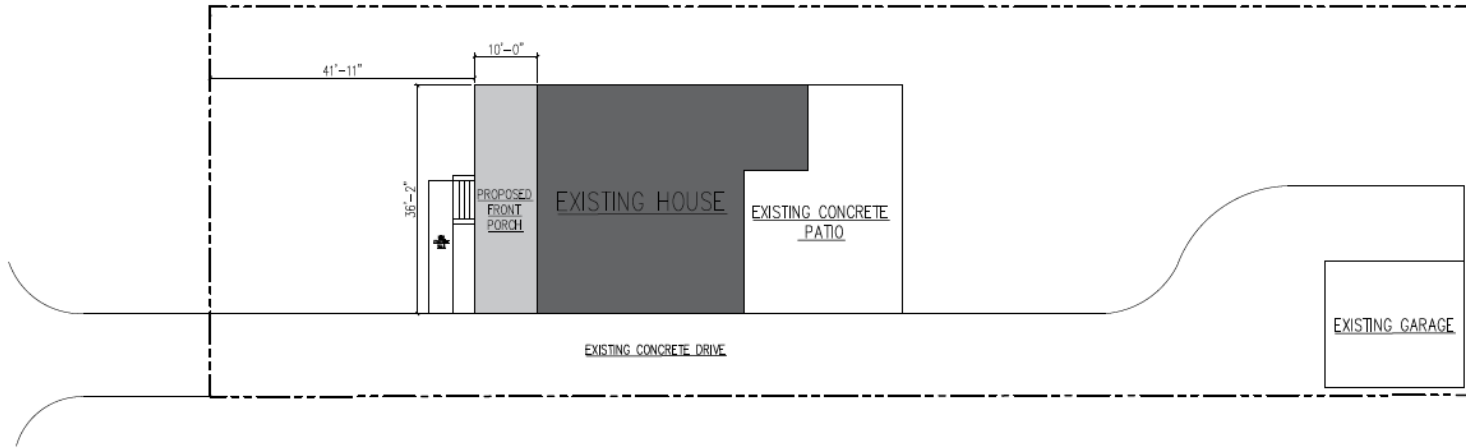
**Docket No. 01-08-26 (14819 Lake)**

**Front Porch  
Jake Szaraz**



**Docket No. 01-08-26 (14819 Lake)**

LAKE AVENUE



ARCHITECTURAL SITE PLAN

1/8" = 1'-0"



Docket No. 01-08-26 (14819 Lake)



**Docket No. 01-08-26 (14819 Lake)**

## Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

## Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



## Front Porch and Entry

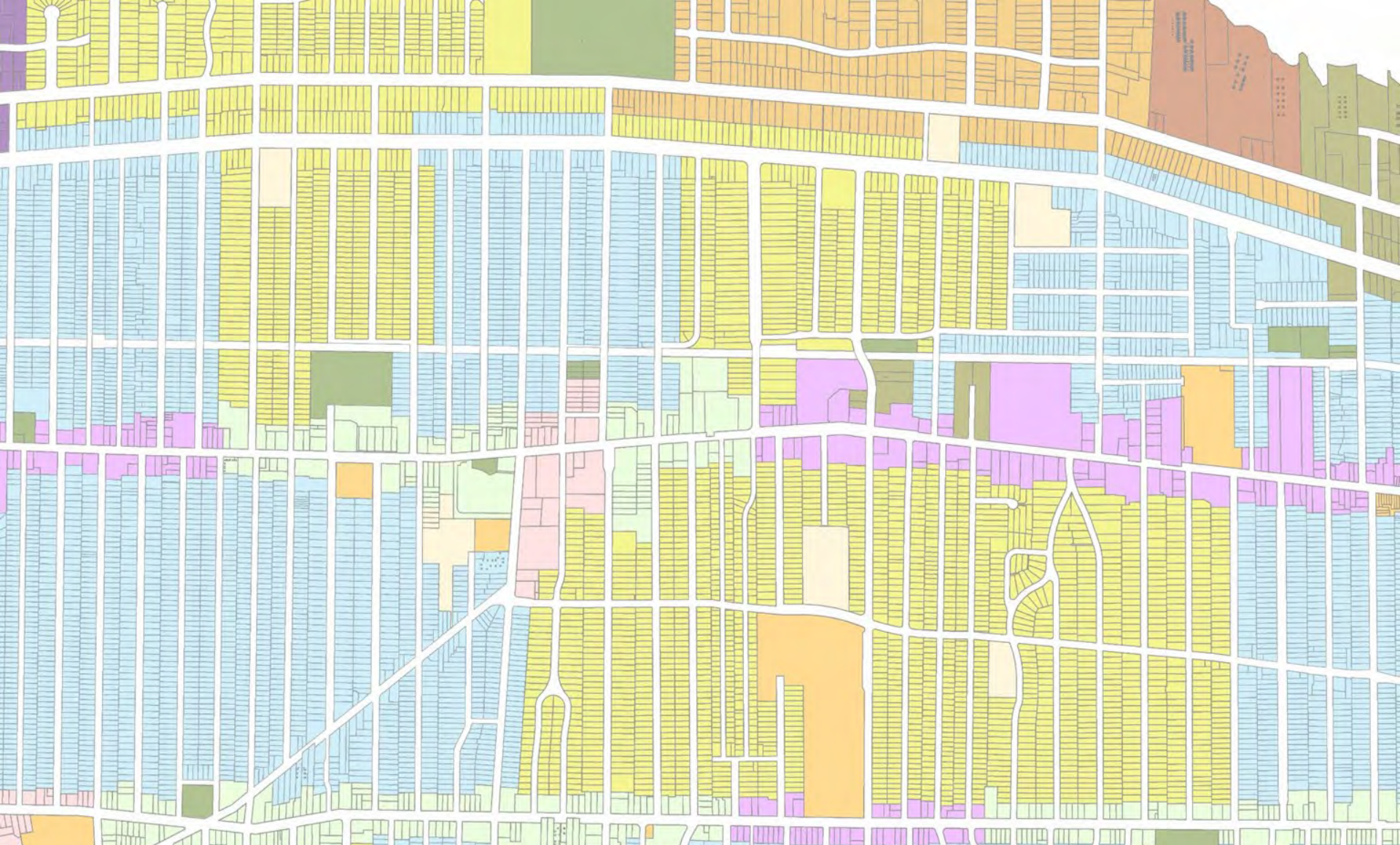
- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
  - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
  - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
  - Compliance with Appendix B Front Porch Guidelines is required.
  - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



## Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.



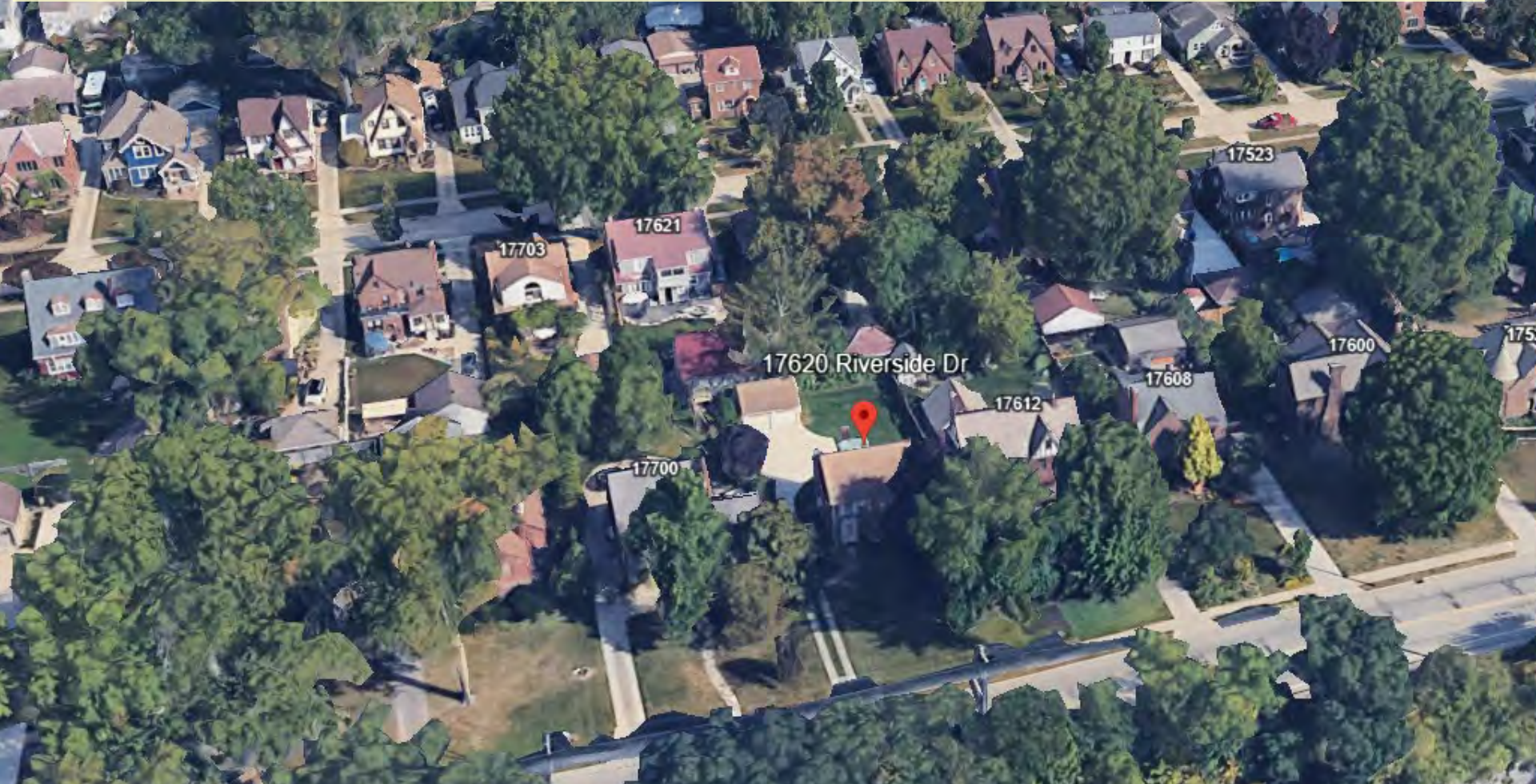


# Board of Building Standards

January 2026

**Applicant appeals Ohio Building Code**

**City Notes:**



**Docket No. 01-12-26 (17620 Riverside)**

**BBS Appeal  
Daniel Margulies**



1. Item 1, Work contrary to approved plans. (RCO 108.6 & 108.6.1)

***a) Exterior wall cut on page 8 of the approved plans show exterior walls framing 2"x6". On site inspections, exterior walls are 2"x4". Revise plans to show this framing change.***

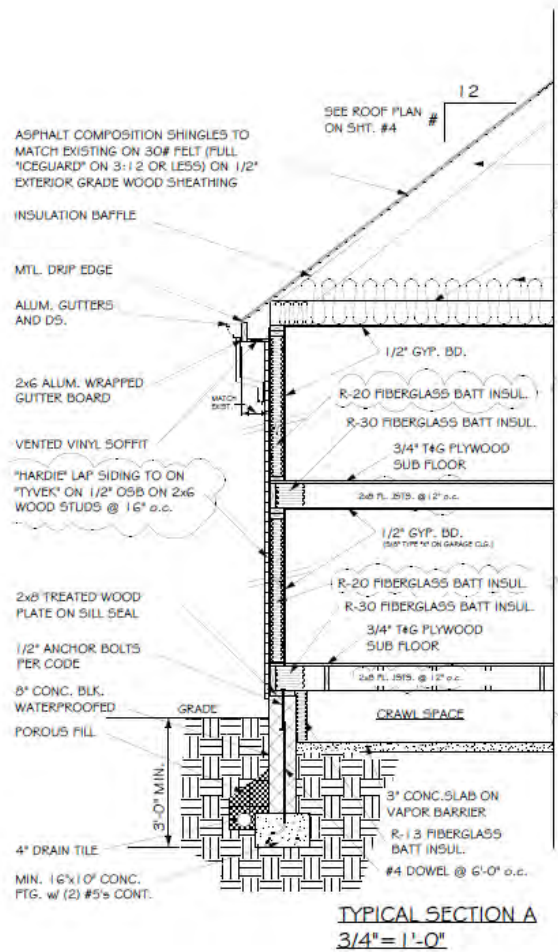
2. Item 2, Work contrary to approved plans. (RCO 108.6 & 108.6.1)

***a) Exterior wall cut on page 8 of the approved plans show R20 fiberglass batt insulation. On site inspection, exterior wall insulation is R15. Provide the minimal required insulation in the exterior wall as in the approved plans or provide an alternative to achieve the minimal R20. (RCO 1102.1.2)***



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**Docket No. 01-12-26 (17620 Riverside)**



2x RAFTERS AND CLG. JSTS. @ 16" O.C. (SEE ROOF FRAMING PLAN ON SHT. 6 FOR SIZES)

2x6 CLG. JSTS. @ 12" o.c..

R-49 FIBERGLASS BATT INSUL.

2nd FLOOR  
1/4" PL.

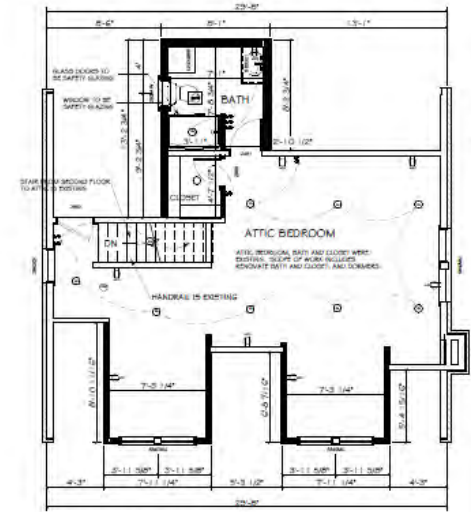
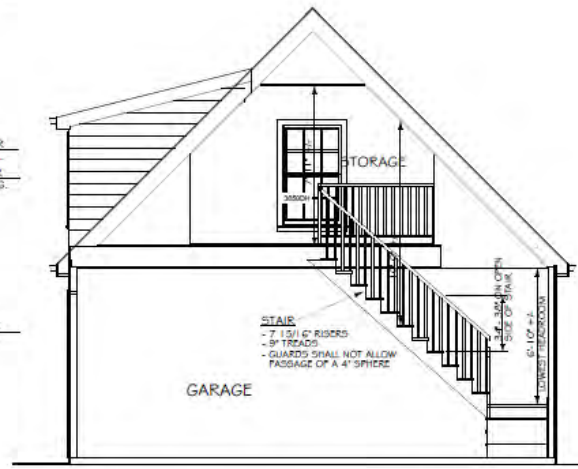
6'-1" 105"

2nd FLOOR  
1/2" SUB. FL.

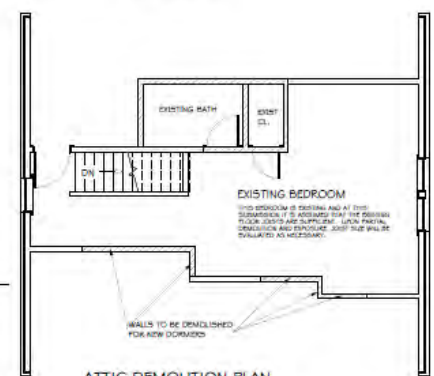
1st FLOOR  
1/2" FIN. CLG.

7" 1 1/2" 14" MATCH EXISTING

1st FLOOR  
1/2" FIN. FL.



**ATTIC FLOOR PLAN**  
1/4" = 1'-0"  
WITH ELECTRICAL (SEE ELECT. LEGEND ON SHT. 10)



**WALL LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING FRAME WALL TO BE DEMOLISHED
- NEW 2x4 INTERIOR OR 2x6 EXTERIOR WOOD FRAMED WALL

REV.  
08.19.24 RESPONSE TO ADJUDICATION ORDER 2024-03 RECEIVED 08.17.24  
08.19.24 RESPONSE TO NONCOMPLIANCE PLAN APPROVAL RECEIVED 10.07.24  
11.31.24 RESPONSE TO ADJUDICATION ORDER RECEIVED 11.27.24

DESIGN: DANIEL MARGULIES COMPANY, INC.  
1210 CHASE AVENUE  
LAKEWOOD, OHIO 44107  
TEL: 440.355.0859  
EMAIL: dan@dmcc.com



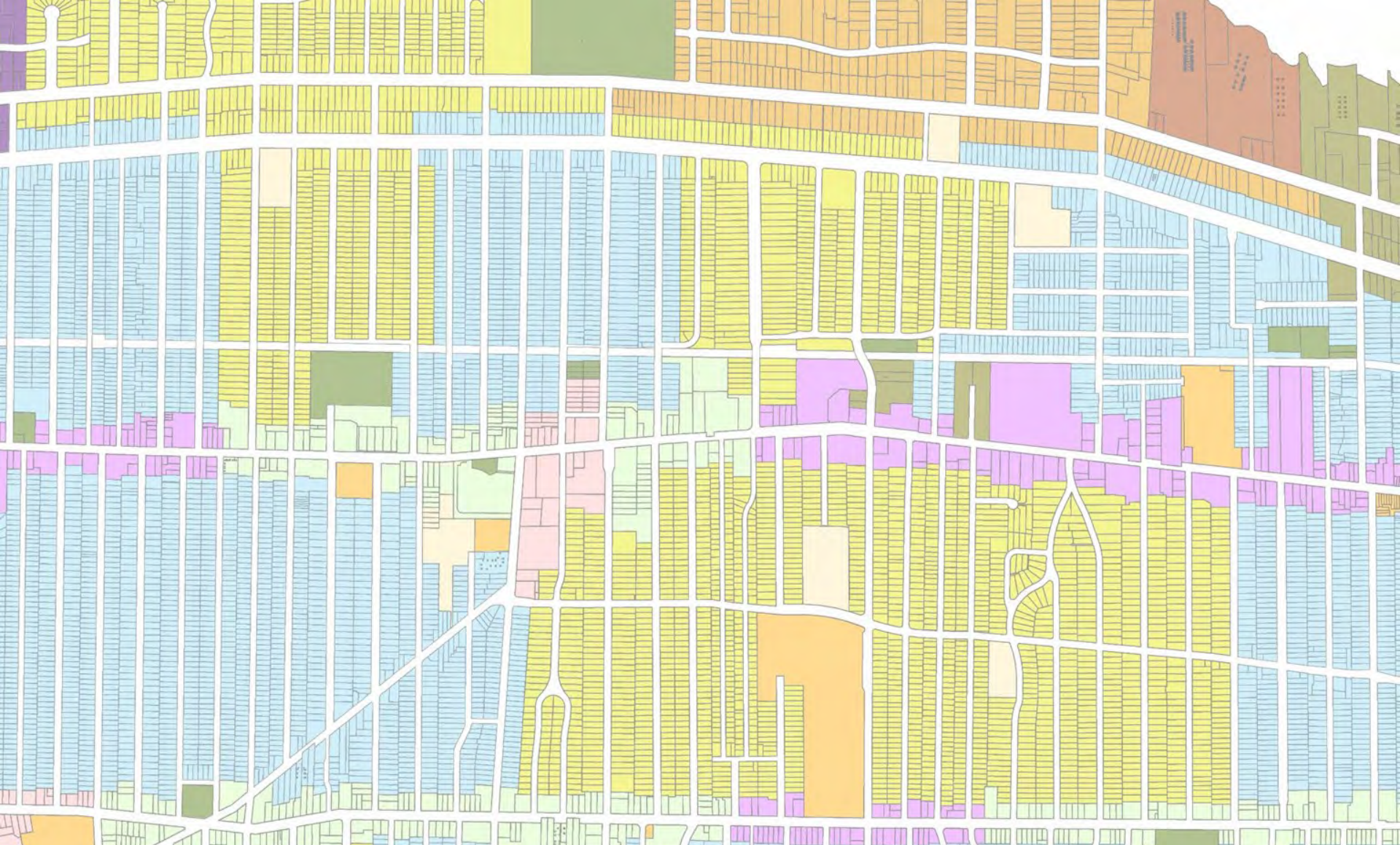
ADDITION, RENOVATION and NEW DETACHED GARAGE for  
**THE MEREDITH RESIDENCE**  
17620 RIVERSIDE DR., LAKEWOOD, OHIO

3/04/24  
02.20.24 CONSTRUCTION DRAWING FOR PERMIT AND PRINT

SHEET NO.  
8 of 10



# Docket No. 01-12-26 (17620 Riverside)



# Architectural Board of Review

January 2026