

MINUTES
**BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
DECEMBER 14, 2023
5:30 P.M.
RECORDED
<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Chris Egervary
Brian Grambort, Vice Chair
David Maniet, Chair
Hanna Cohan Plessner
Jeremy Smith (arrived at 6:50 p.m.)

Staff

Amanda Cramer, Board Secretary, City Planner
Sophia Jones, City Planner
William Wagner, Assistant Building Commissioner
Shawn Leininger, Director, Planning and Development

2. APPROVE THE MINUTES OF THE NOVEMBER 9, 2023 MEETING

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the November 9, 2023 minutes**. All the members voted yea; the motion passed.

3. OPENING REMARKS

Staff read the Opening Remarks into the record.

SIGN REVIEW

At the pre-review meeting, one item was Summary Approved (any conditions will be noted). A motion and a second is needed for approval of Docket No. 12-96-23.

4. Docket No. 12-96-23

- () Approve
- () Deny
- () Defer

14701 Detroit Ave.
Signature Health

Laura Higgins-Woyma
Brilliant Electric Sign Company
4811 Van Epps Rd.
Cleveland, OH 44131

Applicant proposes a wall sign. (Page 83)

- Condition is that no other tenants will be allowed signage above level 1 (one) on east or west facade of building. The condition has been accepted.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE** the request. All the members voted yea; the motion passed.

OLD BUSINESS

SIGN REVIEW

5. Docket No. 10-79-23

**13306 Detroit Ave.
Cloud City Vapes**

- () Approve
- () Deny
- () Defer

Sam Baadani
Cloud City Smokes
13306 Detroit Ave.
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 4)

The applicant communicated with staff that he was not ready. Staff suggested that the members table the request.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **TABLE** the request. All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

6. Docket No. 12-97-23

**16300 Detroit Ave.
The Cleveland Bagel Cafe**

- () Approve
- () Deny
- () Defer

Erika Durham
The Cleveland Bagel Cafe
16300 Detroit Ave.
Cleveland, OH 44102

Applicant proposes an illuminated blade sign, a single-sided illuminated circular capsule for interior of window, and two single-sided illuminated rectangular capsules for interior of windows. (Page 85)

Erika Durham, The Cleveland Bagel Café, applicant was present to explain the request; the blade sign could not be placed at the corner of the building because the main entrance would be located there. Public comment was closed as no one addressed the item. No communication was received by staff prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE** the request as presented. All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

7. Docket No. 12-98-23 (R)

1134 Brockley Ave.

- () Approve

Barry Hoffman

- () Deny
- () Defer

Hoffman Construction, Inc.
23775 Commerce Park, Suite 1
Beachwood, OH 44122

Applicant proposes exterior alteration at side of house. (Page 101)

Barry Hoffman, Hoffman Construction, Inc., applicant was present to explain the request. Discussion began about materials, infill design of the side middle window, water infiltration prevention. Public comment was closed as no one addressed the item. No communication was received by staff prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **APPROVE the request with the following condition:**

- **The infill panel will grow the width covering the vertical trim between the windows to match the style of the rest of the single windows on the home.**

All the members voted yea; the motion passed.

8. Docket No. 12-99-23 (R) 1490 Victoria Ave.

- () Approve
- () Deny
- () Defer

Yousufuddin Mohammed
1490 Victoria Ave.
Lakewood, OH 44107

Applicant proposes repair and enclosure of the front porch and steps repair. (Page 109)

Yousufuddin Mohammed, applicant was present to explain the request. The members stated the standard for porches in Lakewood was for them to remain open. Discussion commenced about the proposal being more of an addition rather than just an enclosure, heat would be provided by the basement furnace. The members did not like the current design; an alternate design was offered. Public comment was closed as no one addressed the item. No communication was received by staff prior to the meeting.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **DEFER** the request. All the members voted yea; the motion passed.

**9. Docket No. 12-100-23 (C) 12507 Plover St.
Mixed-Use Commercial Building
and Apartments**

- () Approve
- () Deny
- () Defer

Heather Mease
12507 Plover St.
Lakewood, OH 44107

Applicant proposes a first floor windows replacement. (Page 114)

Heather Mease, applicant was present to explain the request. There would be no additional lighting, spandrel glass/opaque film would offer privacy. The members said it was an improvement, restoring it to the original building, brick would match. Staff had no comments. Public comment was closed as no one addressed the item. No communication was received by staff prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE** the request as presented. All the members voted yea; the motion passed.

**10. Docket No. 12-101-23 (C) 11818 and 11810 Madison Ave.
RISE Lakewood**

- () Approve
- () Deny
- () Defer

Jonathan Ziegan
Osborn Engineering
1111 Superior Ave. E., Suite 2100
Cleveland, OH 44114

Applicant proposes expansion of a commercial building and parking lot. (Page 126)

Jonathan Ziegan of Osborn Engineering, applicant, Chris Dawson of Chris Dawson Architect, and Glenn Trunley, representative for RISE/GTI, were present to explain the request. Staff said two proposals were deferred from the December 4, 2023 Planning Commission meeting (expansion of the current building – not opposed, and the parking lot – opposed the excessive number of parking spaces). Discussion started with the site plan: the number of parking spaces on the east of the property was reduced which increased the green space with park benches, sally port fencing, pedestrian pathways dumpster enclosure, delivery fence would remain closed once product is offloaded, distance between the vestibule and parking spaces, ingress/egress of the business, snow removal, fence for neighboring business. Discussion continued with the proposed building expansion: materials, construction of the walls, brick, vestibule and canopy, windows (opaque film on front of building and clear windows for vestibule), decking, lighting, canopy support, walkway pavers. Staff had no additional comments. Public comment was closed as no one addressed the item. No communication was received by staff prior to the meeting. The members liked the building, the Planning Commission needed to grant approval for the parking plan, and that outcome would drive ABR's approval.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **DEFER** the request. All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

Docket No. 11-93-23 and Docket No. 11-94-23 were taken together.

**11. Docket No. 11-93-23 (R) 12534 Lake Ave.
Shady Cove Townhouses**

- () Approve
- () Deny
- () Defer

Tyler Brummett
Brookside Shady LLC
716 University Court
Cleveland, OH 44113

Applicant proposes demolition of a residential home. (Page 9)

**12. Docket No. 11-94-23 (C) 12534 Lake Ave.
Shady Cove Townhouses**

- () Approve
- () Deny
- () Defer

Tyler Brummett
Brookside Shady LLC
716 University Court
Cleveland, OH 44113

Applicant proposes the development of 16 townhouses. (Page 54)

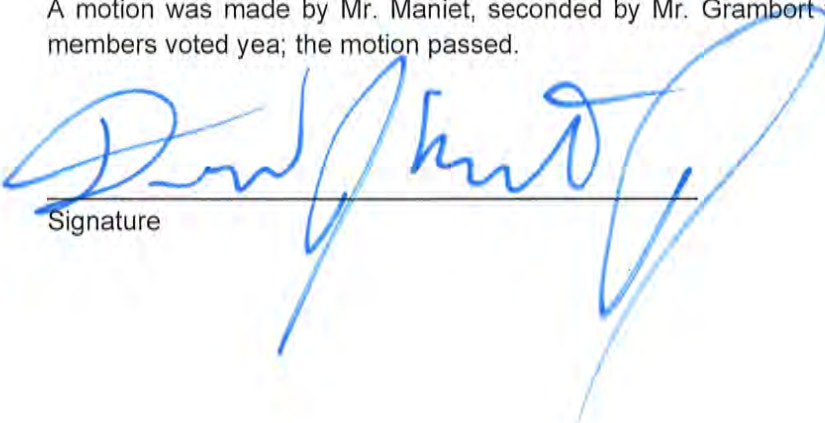
Tyler Brummett of Brookside Shady LLC, applicant, and Gregory Soltis of RDL Architects, were present to explain the request. Discussion began with the material samples and colors. In respect to the multiple color variations, there existed the need for consistency, simplicity, and uniformity beyond the pedestrian level. The members liked the building designs. Discussion continued about the stack bonds and stretcher bonds, white railings, navy blue color, black doors, landscaping, side elevations, lighting, etc. Staff received written communication (made part of record), distributed it to the members prior to the meeting, had not reviewed or responded to the comments due to its large content, and recommended the members to defer the requests. Public comment was closed as no one addressed the item.

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **DEFER the requests for Docket No. 11-93-23 and Docket No. 11-94-23**. All the members voted yea; the motion passed.

This was the last meeting for Mr. Grambort as a member of the board. He was thanked for his dedication, guidance, expertise, and wished good luck in his future endeavors.

ADJOURN

A motion was made by Mr. Maniet, seconded by Mr. Grambort to **ADJOURN the meeting at 7:56 p.m.** All the members voted yea; the motion passed.



Signature

1-11-2024

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. ERIK DURHAM
- 2. Heather Meese
- 3. Jon Ziegler
- 4. CHRIS DAWSON
- 5. GLOWN TRUNNY
- 6. Spencer Brunner A
- 7. GREGORY SJ SOLTIS
- 8. _____
- 9. _____
- 10. _____
- 11. _____

- [Signature]
- [Signature]
- [Signature]
- [Signature]
- [Signature]
- [Signature]
- [Signature]
- _____
- _____
- _____
- _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, December 14, 2023

Johanna Schwarz

From: Michael Pascoe <mpascoe@hahnlaw.com>
Sent: Thursday, December 14, 2023 9:57 AM
To: Planning Dept
Subject: FW: Submission for December 14, 2023 Architectural Board of Review Meeting
Attachments: Pascoe - Submission to Architectural Review Board.pdf

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Apologies for the multiple e-mails, but the last file was quite large and may get a bounce back. Here is a smaller PDF version of the same thing.



Michael Pascoe | Partner
Hahn Loeser & Parks LLP | MORE THAN A CENTURY OF CLIENT SERVICE
Tel: (216) 274-2397 | Cell: (216) 338-6564 | Fax: (216) 274-2597
mpascoe@hahnlaw.com | hahnlaw.com
200 Public Square, Suite 2800 | Cleveland, OH 44114 | [Download my V-Card](#)



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From: Michael Pascoe
Sent: Thursday, December 14, 2023 9:50 AM
To: Planning@LakewoodOH.net
Subject: Submission for December 14, 2023 Architectural Board of Review Meeting

Ms. Cramer,

Attached is my written summary of concerns related to 12534 Lake Ave and the proposed townhomes. I will endeavour to drop off hard copies but it may not be until the afternoon.



Michael Pascoe | Partner
Hahn Loeser & Parks LLP | MORE THAN A CENTURY OF CLIENT SERVICE
Tel: (216) 274-2397 | Cell: (216) 338-6564 | Fax: (216) 274-2597
mpascoe@hahnlaw.com | hahnlaw.com
200 Public Square, Suite 2800 | Cleveland, OH 44114 | [Download my V-Card](#)

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CITY OF LAKEWOOD, OHIO
BOARD OF BUILDING STANDARDS/ ARCHITECTURAL BOARD OF REVIEW/SIGN
REVIEW

December 14, 2023 – Meeting

Docket No. 11-93-23 and 11-94-23

**MICHAEL AND MOLLY PASCOE OF 12543 LAKE AVE.'S OBJECTIONS TO
DEMOLITION AND REDEVELOPMENT PROPOSED BY TYLER BRUMMET OF
BROOKSIDE SHADY, LLC**

In response to the December 5, 2023 Public Notice served by the City of Lakewood, Ohio on me, I am submitting the attached written objections to the proposal by Applicant Tyler Brummet of Brookside Shady, LLC. The demolition must not be approved as it does not meet the necessary standards and the proposed redeveloped principal structure does not meet the necessary standards. Please see attached statement in support. I will provide hard copies for all board members.

Respectfully submitted,

/s/ Michael B. Pascoe
Michael B. Pascoe
Molly E. Pascoe
12543 Lake Ave
Lakewood, Ohio 44107
Email: mpascoe@hahnlaw.com

Neighbors Impacted by Proposed Development.

I. INTRODUCTION

The applicant's proposal adopts a mindset and approach that is diametrically opposed to the stated goals of the City of Lakewood ("City"). Specifically, the City has identified that its residential neighborhoods are recognizable by their characteristics such as height, setback, and side yards. This is extremely evident in the drive down Lake Avenue. Starting at Cove we have the beautiful new Community Center. Every house on the street is set well back from the street with a large front yard. Even the higher density detached homes that replaced the gas station have maintained that. The current property has a wide rolling lawn with the home well back from the historic stone fence. The applicant wants to place tall townhomes that essentially abut that fence.

In addition, the applicant has not met their burden to show that the property is not salvageable. They contend it is worthless. So filled with mold that it is unusable. I offered to buy it from them for \$10,000. A 10:1 return on the value they assigned it in their recent transaction – see Appendix A. Certainly the applicant was truthful as to the assessed value of the property at time of transfer when they certified that value to the County and paid only \$4 for the conveyance fee. This offer would constitute a significant return on their investment. Furthermore, the offhand remark from a self-interested and untrained applicant's representative is not sufficient to demonstrate that the property cannot be salvaged.

Finally, the applicant cannot meet the requirements of the relevant code section and it would be an abuse of discretion to grant the permit given this failure. In addition, even if this board passes on the design—and it should not—the applicant must still obtain multiple variances and they cannot demonstrate the necessary hardship to do so.

II. THE RELEVANT STANDARD OF REVIEW

The relevant code section at issue confirms these townhomes cannot be built:

1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(a) **Lakewood** consists of very distinctive neighborhoods that were settled at different times during its development each with its own distinctive housing patterns, which are reflective of the time period during which these neighborhoods were nurtured during the growth of the **City**. Many of these residential neighborhoods are easily recognizable by their consistency of characteristics such as height, setbacks and side yards as well as their distinctive exterior façade design elements including, but not limited to, porches and steps, masonry, stoops, cornices and trims, doors and windows and other architectural styles and features, which over the years created a neighborhood environment and streetscape that brought neighbors together.

In a correspondence from the Ohio Historic Preservation Office dated May 5, 1992, their opinion is that the entire **City** constitutes a single historic district, eligible for listing in the National Register of Historic Places. As stated in their letter, "The **City** is significant as a late nineteenth and early twentieth century streetcar suburb. The **City** is also unique in that for a community of its size and density it retains remarkable integrity to convey both its historic and architectural significance."

As a result of the Ohio Historic Preservation findings, the **City** encourages conservation, preservation, redevelopment, and revitalization of residential

neighborhoods to preserve their unique environments and for the public welfare of the **City**. The **City** acknowledges as a matter of public policy that the preservation and protection of residential neighborhoods is required for the health, safety and welfare of the people.

(b) Requirements Before Demolition or Removal of Principal Structures on Residential Properties. No demolition or removal of a principal structure, built in 1945 or earlier, in an R1H Single-Family, high density, R1M Single-Family, medium density, R1L Single-Family, low density, R2 Single- and Two-Family, L Lagoon, MH Multiple-Family, high density and ML Multiple-Family, low density, Residential Districts shall be permitted unless and until one (1) of the following conditions is satisfied:

(1) The Safety Director of the **City** authorizes the Commissioner to grant a demolition or removal permit, based on causes such as fire or other source of property damage or loss, in order to remedy conditions immediately dangerous to life, health or property, or to remedy a nuisance, as jointly determined and recommended by the Commissioner, the Fire Chief, and the **City** Engineer; or (Ord. 24-2016. Passed 5-2-2016.)

(2) The passage of 180 days following application to the Commissioner for a demolition permit or permit to move a principal structure, during which time the applicant has further made good faith application to all required boards and commissions of the **City** for approval of a new principal structure at the location of such property; or

(3) The proposed principal structure at the location of such property conforms to the design requirements set forth in Chapter [1325](#) of the Building Code and has been approved by the Architectural Board of Review, and by any other required boards and commissions of the **City**, in order to proceed with the new principal structure. In addition, notwithstanding any other requirements, **all approvals** for such proposed principal structure **shall be based on the following factors**:

A. The proposed principal structure is consistent with the **Code**, the **Vision** and the "Standards for Rehabilitation" adopted by the U.S. Secretary of the Interior, as stated in Title 36 of the Code of Federal Regulations, Part 1208 (Formerly of Part 67); and

B. The proposed principal structure is consistent with any historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood.

C. The Secretary of all such required boards and commissions of the **City** shall immediately notify the Commissioner of compliance with the provisions of this section by any applicant that would allow and provide for the issuance of a demolition permit or a removal permit by the Commissioner.

(c) Demolition or Removal Delay Period. The time period before a demolition or removal permit can be issued in an R1H, R1M, R1L, R2, L, MH and ML is provided in order to permit the **City**, public agencies, civic groups and other interested parties a reasonable opportunity to study, comment and propose potential alternatives or modifications to the proposed new principal structure. During such time period, if the **City** and other interested parties deem preservation appropriate, the applicant shall undertake meaningful and continuing discussions with the **City** and other interested parties for the purpose of preserving such principal structure.

(d) A demolition or removal permit shall comply with the regulations set forth within this Chapter and those in Section [1171.03](#).

III. APPLICANT'S PROPOSAL FAILS TO MEET ANY OF THE ELEMENTS OF 1133.09(B)(3)(A)

The Secretary of the Interior offers ten guidelines in its "Standards for Rehabilitation." *See* <https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm> The applicant does not satisfy a single of these standards.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
 - The proposed use fails. It is a complete change to the historic use. Far from "minimal" it obliterates the historic use in favor of modern townhomes
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
 - Again, no. The character of a wide lot with significant setback is decimated by the proposed street front townhomes
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
 - The applicant's reliance on surrounding "historic" elements is misplaced. The character that must be preserved is unique to the structure itself.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
 - While the applicant maintains the historic stone fence, the manor-like nature is eliminated and instead replaced with the highest possible density townhomes.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
 - The design is entirely devoid of any distinctive features or construction techniques of the current property. Instead it entirely redesigns everything to an art-deco themed proposal.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
 - This element is key. The testimony from the City is that the property is structurally sound and, on the record, the City referred to the needs to repair the property as "deferred maintenance." The only allegation that repair is not possible is from the self-interested perfunctory statement from

the applicant's representative regarding mold. Mold can be abated regardless of severity.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
 - Because the applicant is proposing demolition this largely does not apply, but, academically speaking, the “least harsh” treatment to remedy the mold issue is chemical abatement---not demolition.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
 - They are not protecting or preserving anything. They are destroying it.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
 - This is, perhaps, the largest violation of these standards. They must **not destroy** historic materials, features or **spatial relationships** that characterize the property. The “spatial relationship” is one of a manor home on a large plot of land with significant set back. The proposal is to cram the parcel full of art deco townhomes.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
 - Again, a violation of this standard. They propose destruction of the historic property, not conservation.

IV. APPLICANT'S PROPOSAL FAILS TO MEET ANY OF THE ELEMENTS OF 1133.09(B)(3)(B)

In addition to failing to meet the historic preservation guidelines, the applicant also fails to meet the requirement of consistency with the current structure and/or surrounding neighborhood. Attached as Appendix B is the current street view of the property at issue. Note that this is a limited view through a narrow area between trees. The views to the right and left of it are attached as Appendix C. Notice that the apartment buildings are set far back and almost disappear from view at street level.

Attached as Appendix D are examples of additional street views where there are apartment buildings behind the principal structure. Notice the almost invisibility of the apartment buildings from the street. Even in Appendix B, that is the only view Attached as Appendix D is the new construction.

Even the new construction on Lake maintains the current setbacks against the adjacent properties. *See* Appendix E. Now, compare that to Appendix F that shows the standard set back in the area in red and the proposed set back by applicant in blue (admittedly these are approximate).

The applicant wants to ignore the main defining feature of Lake Avenue – tremendous set back from the road and a “manor like” feeling to the entire street.

V. CONCLUSION

As I stated at the last meeting, the design is a beautiful one. It does not belong in Lakewood on Lake Avenue. By ordinance Lakewood has stated it consists of “very distinctive” neighborhoods and, as of May 5, 1992, the **entire City** constitutes a single historic district. It is an “late nineteenth and early twentieth century streetcar suburb.” The prominent styles of the relevant historic period are Colonial Revival and Classical Revival not 1960s to 1970s art deco. And even if the design were stylistically appropriate—and it is not—the setbacks necessary to maintain the nature of Lake Avenue must be preserved. The City of Cleveland may permit high-density street front townhomes (e.g. 117th street and Lake), the City of Lakewood must not. It is integral to maintaining the characteristics of our neighborhood community and is the mandate of this Board to preserve.

APPENDIX A

312-10-017
VL FREELAND LLC
12534 LAKE AVE
LAKEWOOD, OH. 44107

Transfer History

— Transfer Date: 12/30/2021

Transfer Date: 12/30/2021 10:31:00 AM

AF Number:

Receipt:

Parcel	Deed Type	Vol / Page	Sales Amt	Convey Fee	Convey No	Multiple Sale / No of Parcels
312-10-017	Limited Warranty	/	\$1,000.00	\$4.00	528074	0 / 1

Grantee(s)

VL FREELAND LLC

Grantor(s)

Kenilworth Estates Inc

APPENDIX B



12534 Lake Ave Street View

APPENDIX C



12543 Lake Ave – Street View from the Left



12543 Lake Ave – Street View from the Right

APPENDIX D



12576 Lake and 12586 Lake



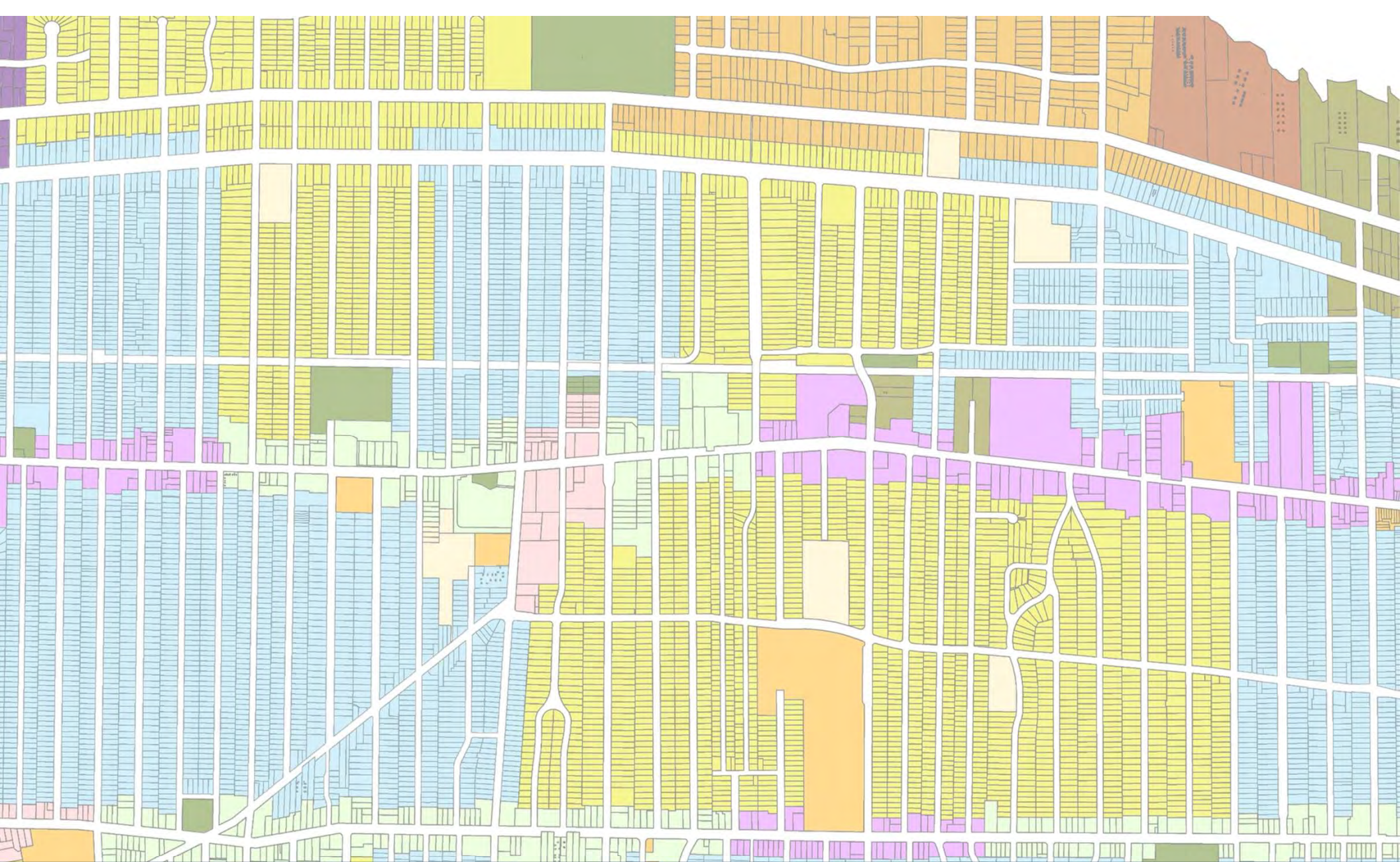
12966 Lake and 12970 Lake

APPENDIX E



APPENDIX F





Architectural Board of Review

December 2023



Architectural Board of Review

Pre-Review Meeting: 7 Dec, 4 pm (East Conf Rm)

Regular Meeting: 14 Dec, 5:30 pm (Auditorium)

Members

David Maniet (2023 Chair)

Brian Grambort (2023 Vice Chair)

Jeremy Smith

Hanna Cohan Plessner

Chris Egervary

Staff

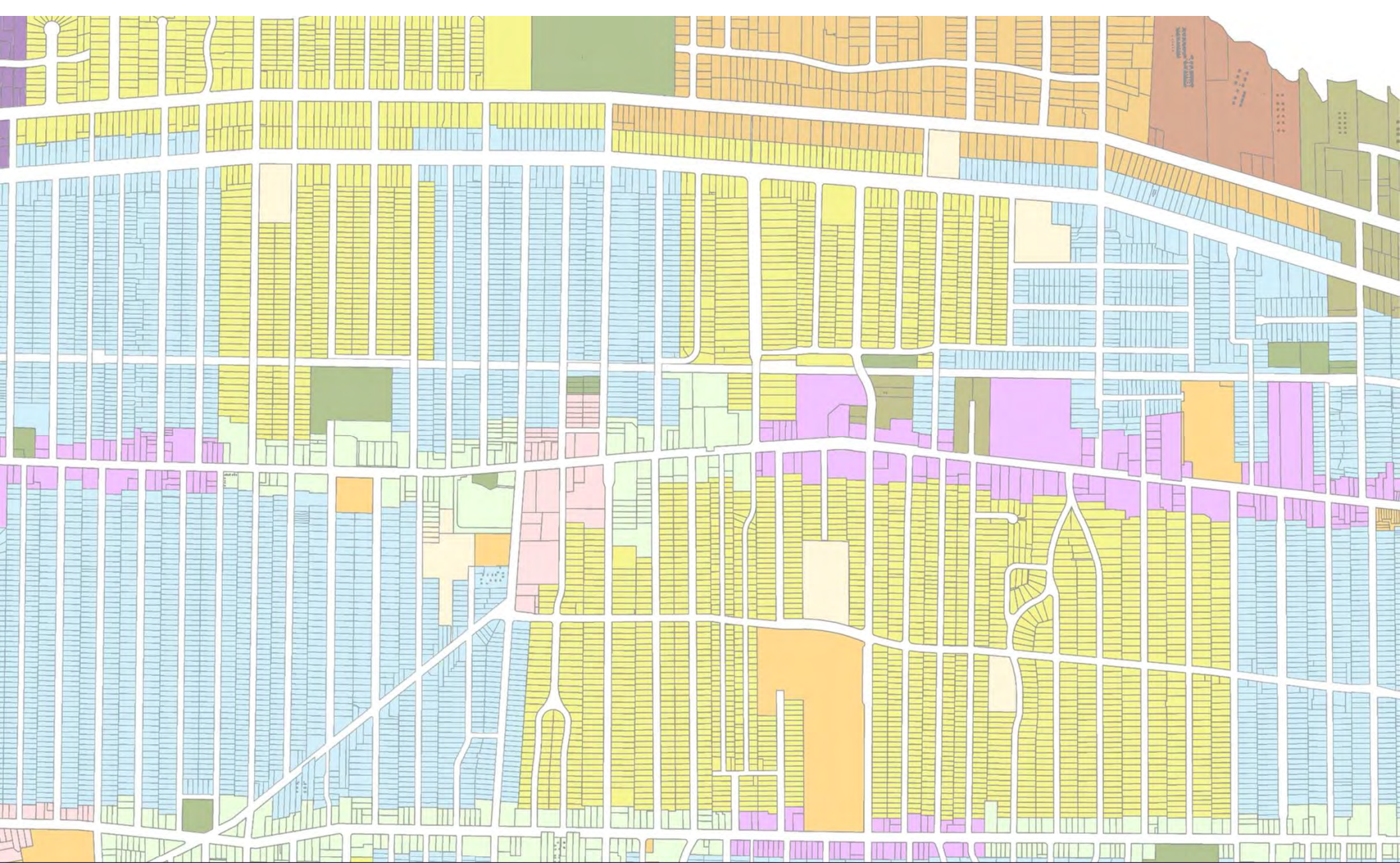
Board Secretary: Amanda Cramer, Sophia Jones

Assistant Building Commissioner: William Wagner



Architectural Board of Review
December Agenda

1. Roll call
2. Approve minutes – November 2023 meeting
3. Opening Remarks
4. Old Business
5. New Business
6. Sign Review
7. Adjourn



Architectural Board of Review

Old Business – December 2023

Applicant proposes new signage in the sign band.

City Notes:

- Applicant proposing 1 new wall sign (48 sq ft)
- Business frontage = 19.5 ft; maximum allowed square footage 19.5 sq ft
- Table until applicant supplies adequate information



Recommend Table



Docket No. 10-79-23 (13306 Detroit)

**Sign – Cloud City Vapes
Sam Baadani**



Docket No. 10-79-23 (13306 Detroit)
Signage – Baadani Cloud City Vapes



Docket No. 10-79-23 (13306 Detroit)
Signage – Baadani Cloud City Vapes





11 1/2 - 12 ft

3 1/2 - 4 ft

Text

13306

SMILE!
YOU'RE IN
CANNABIS
NO SALES HERE
PLEASE HAVE ID READY



Docket No. 10-79-23 (13306 Detroit)
Signage – Baadani Cloud City Vapes

RBG Lakewood LLC
13302 Detroit Ave.
Lakewood Ohio, 44280
(216-235-8484)

9/20/2023

To the City of Lakewood,

I Rick Groetsch owner of the building in which Aish Alhanash will be opening a Vape Store within, I DO give permission for him to place a new sign either on the inside windows or outside wall either is totally fine by me.

If needed you may reach me on my cell listed above.

Thank you,

Rick Groetsch

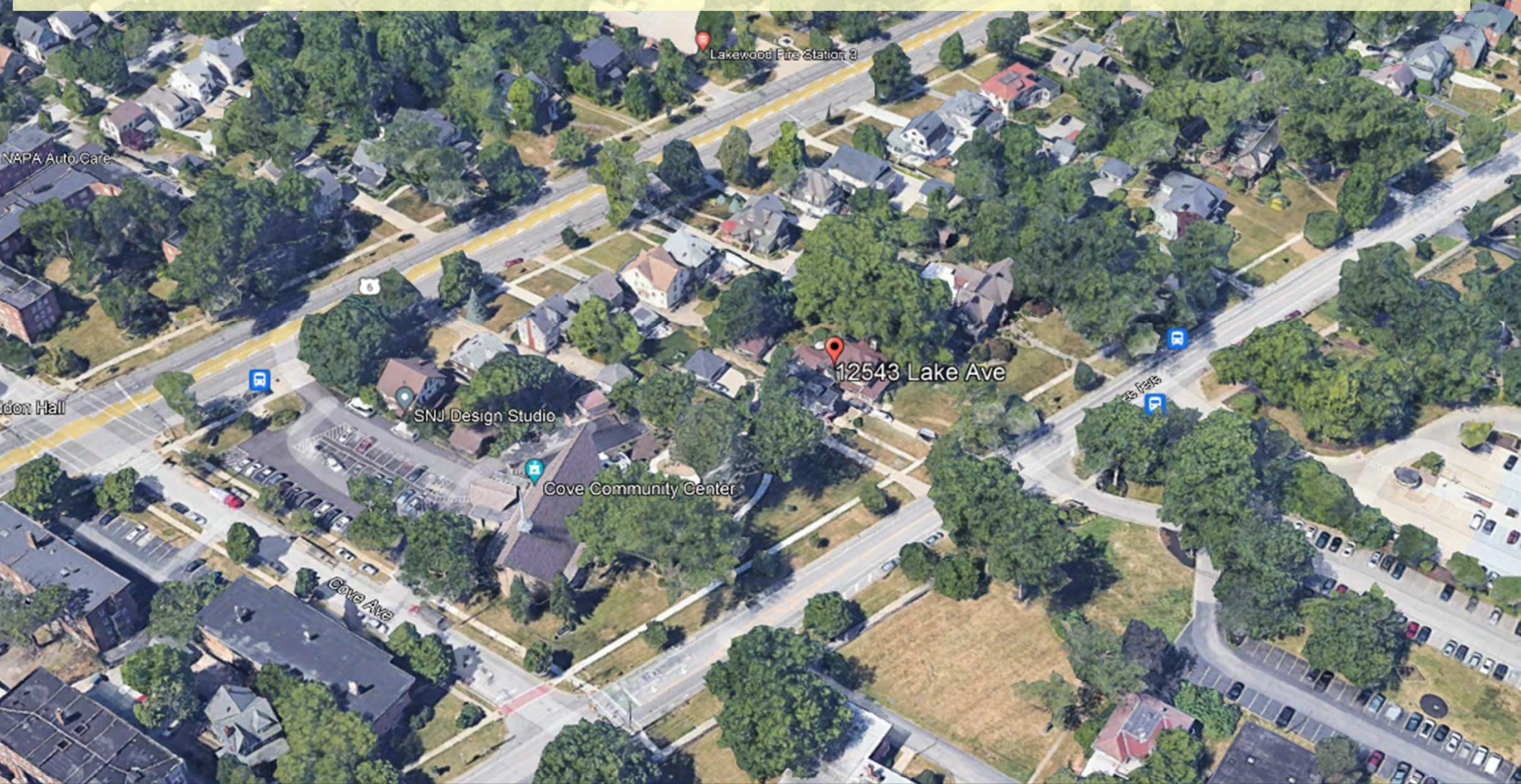


Docket No. 10-79-23 (13306 Detroit)
Signage – Baadani Cloud City Vapes

Applicant proposes demolition of vacant residential home.

City Notes:

N/A



Docket No. 11-93-23 (12534 Detroit)

**Demolition – Shady Cove Townhomes
Tyler Brummett**



Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes



Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes





Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes



Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes





Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes



Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes



Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes



Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes



Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes





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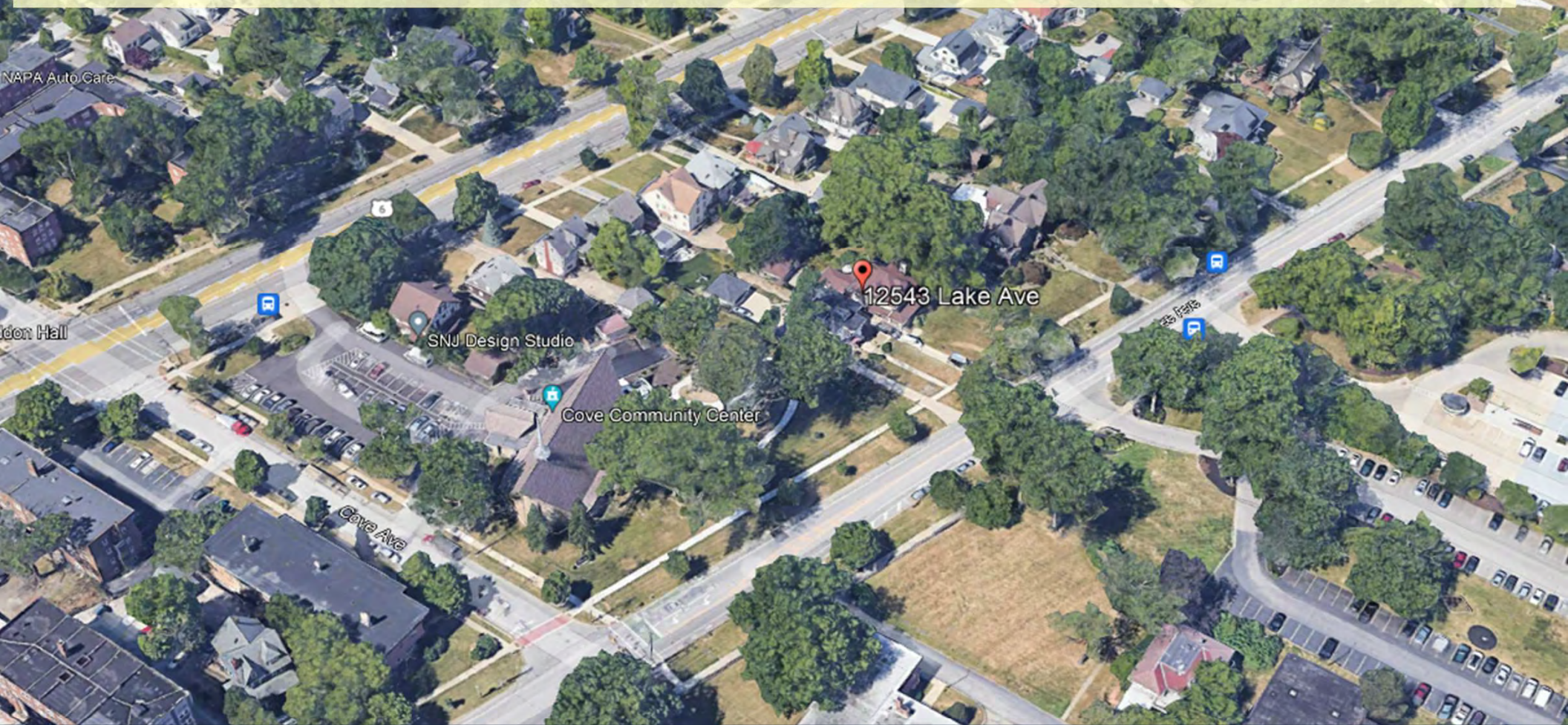


Docket No. 11-93-23 (12534 Lake)
Demolition – Brummett Shady Cove Townhomes

Applicant proposes new construction of townhomes.

City Notes:

- BZA variances required for front (50' required; 13' proposed), rear (50' required; 20' proposed) and side (27' required; 6' proposed) yard setbacks
- BZA variance required for lot coverage (25% allowed; 45% proposed)



Docket No. 11-94-23 (12543 Lake)

New Construction – Shady Cove Townhomes
Tyler Brummett

LAKESWOOD TOWNHOMES

ADDRESS: 12534 LAKE AVE, LAKESWOOD, OH

The Lakewood Townhome project proposes for sale residential urban living on Lakewood's Gold Coast. The site is the nexus of three urban conditions:

1. Lakewood's famous mid-century high-rises,
2. Nearby historic colonial revival, art deco, and midcentury mid-rises,
3. And the beautiful historic homes that line Lake Avenue as it moves west.

The townhouse concept brings together elements of all three urban conditions with a new element that melds the other three. The townhouses together relate to the massing and site placement of the mid-rises to the east, they reflect the architectural styling of the high-rises to the north that serve as a backdrop when viewed from Lake Avenue, and in use they match the single-family private ownership of the houses to the south.

The site and urban design proposed will increase the walkability and livability of the Gold Coast by creating context that is human scaled, friendly to the street, and fills the existing void between Lake Avenue and Edgewater Drive.

LAKESWOOD TOWNHOMES | LAKESWOOD, OH | 11-10-2023



Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



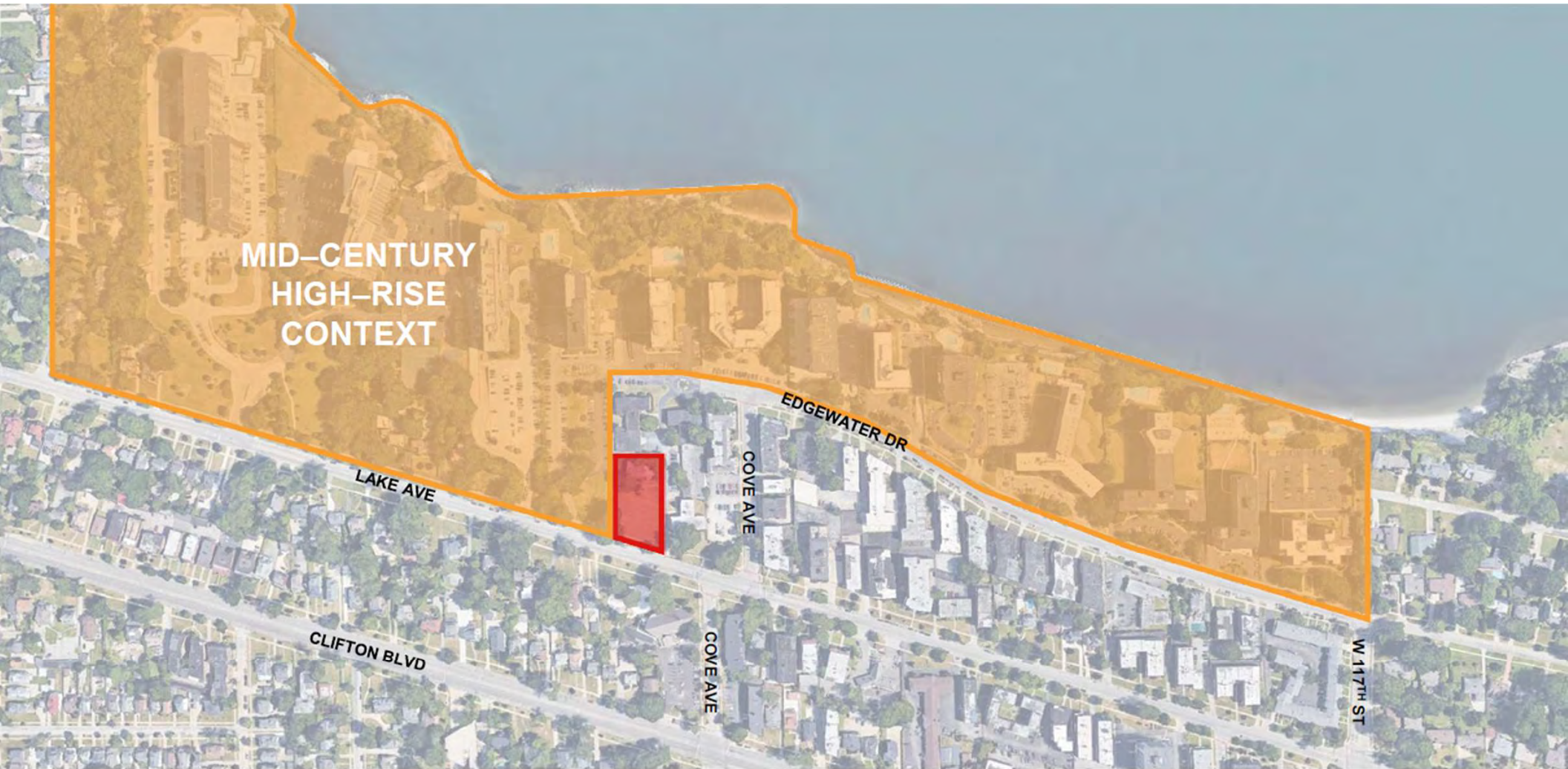
LAKWOOD TOWNHOMES | LAKWOOD, OH | SITE LOCATION MAP

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Docket No. 11-94-23 (12534 Lake)

New Construction – Brummett Shady Cove Townhomes



MID-CENTURY
HIGH-RISE
CONTEXT

LAKE AVE

EDGEWATER DR

COVE AVE

CLIFTON BLVD

COVE AVE

W 117TH ST

LAKWOOD TOWNHOMES | LAKWOOD, OH | SITE CONTEXT PLAN

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Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

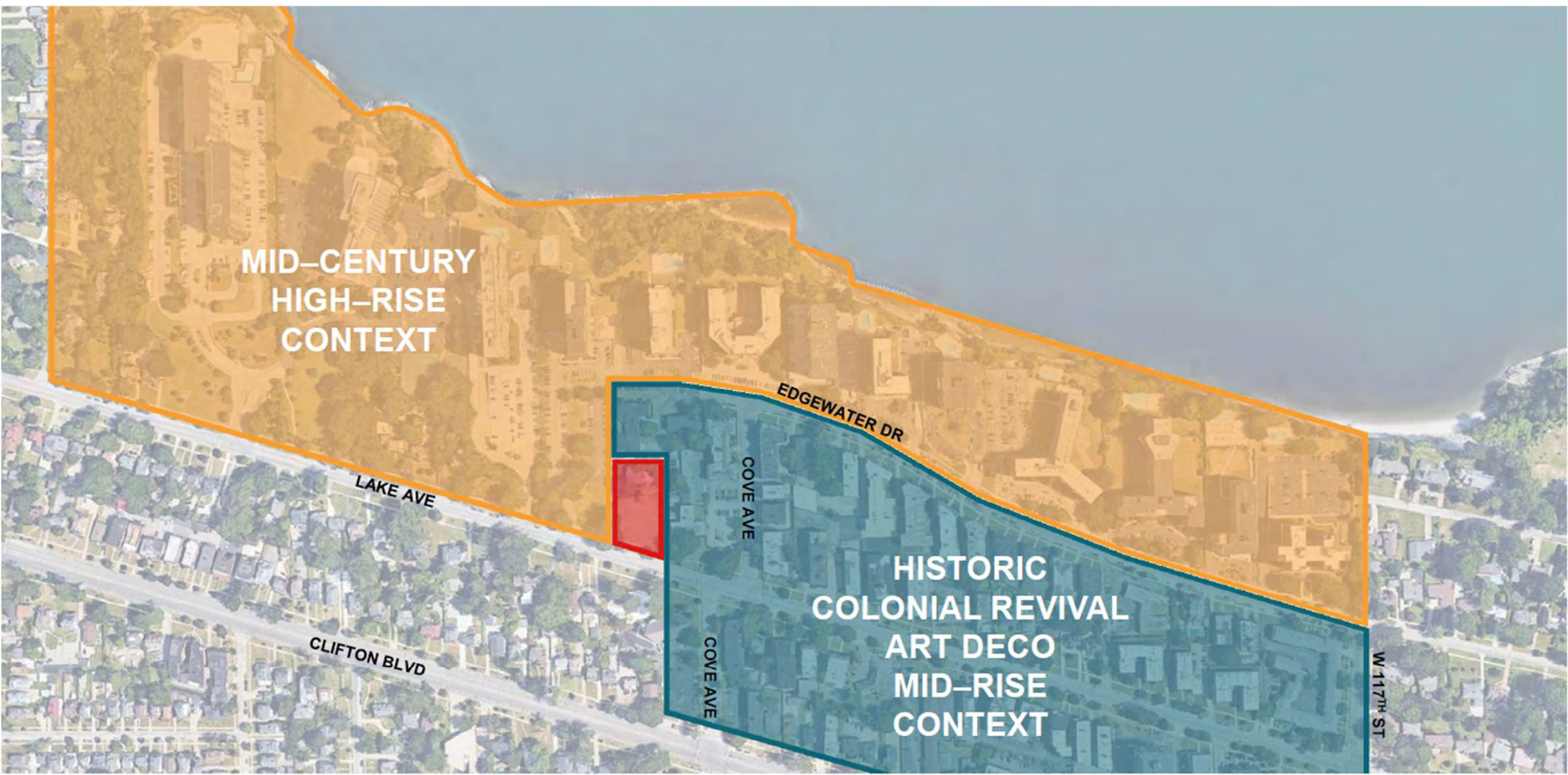


LAKEWOOD TOWNHOMES | LAKEWOOD, OH | SITE CONTEXT HIGH-RISE IMAGES

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Docket No. 11-94-23 (12534 Lake)
 New Construction – Brummett Shady Cove Townhomes



LAKWOOD TOWNHOMES | LAKWOOD, OH | SITE CONTEXT PLAN

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New Construction – Brummett Shady Cove Townhomes

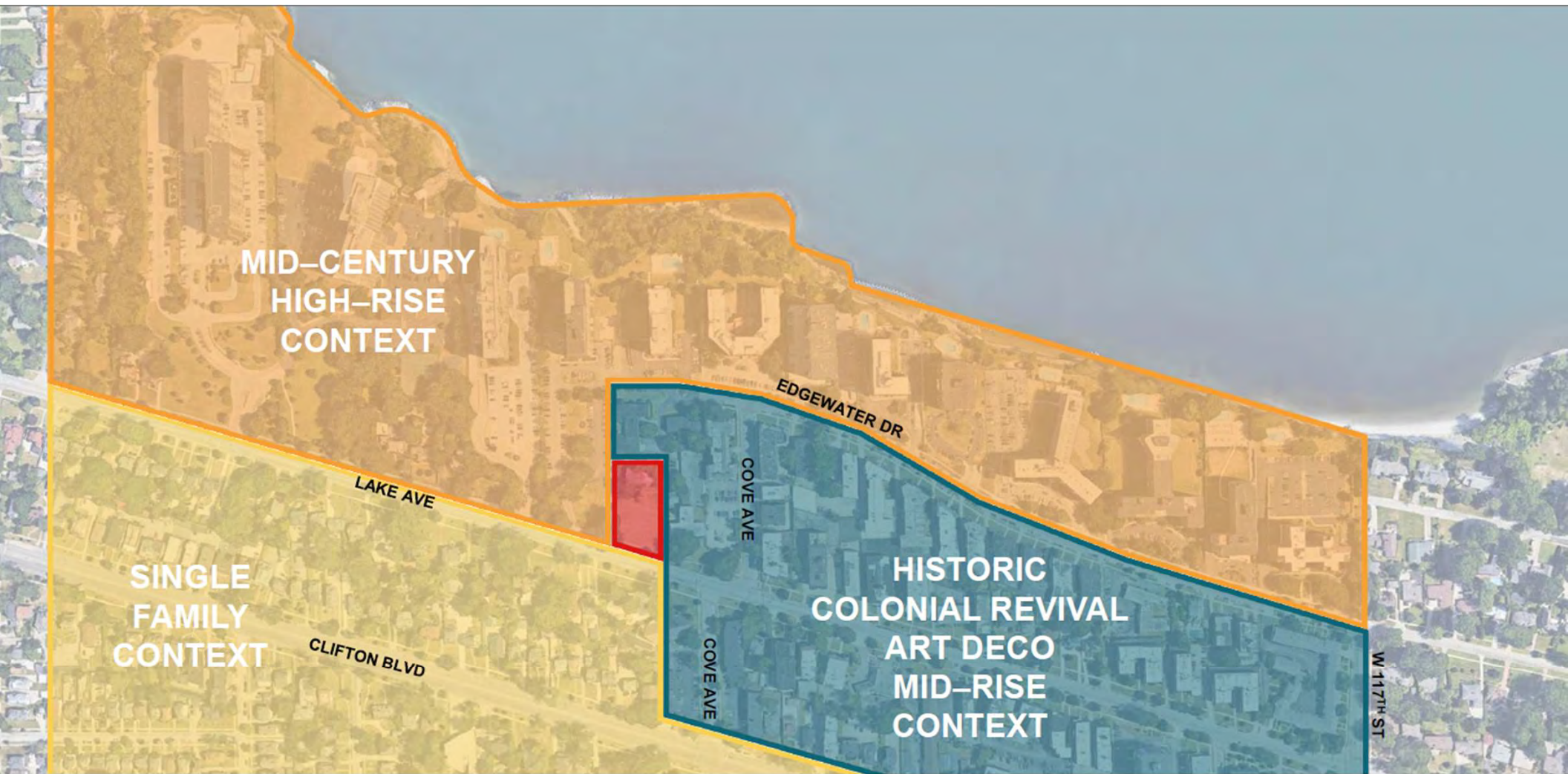


LAKEWOOD TOWNHOMES | LAKEWOOD, OH | SITE CONTEXT MID-RISE IMAGES

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Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



LAKWOOD TOWNHOMES | LAKEWOOD, OH | SITE CONTEXT PLAN

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Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



LAKWOOD TOWNHOMES | LAKEWOOD, OH | SITE CONTEXT SINGLE FAMILY HOMES

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Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



LAKEWOOD TOWNHOMES | LAKEWOOD, OH | CONTEXT VOLUME STUDY

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Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



LAKESWOOD TOWNHOMES | LAKESWOOD, OH | CONTEXT VOLUME STUDY

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FREELAND
VENTURES 

RDL
ARCHITECTS



Docket No. 11-94-23 (12534 Lake)

New Construction – Brummett Shady Cove Townhomes



LAKWOOD TOWNHOMES | LAKWOOD, OH | IMMEDIATE EXISTING CONDITIONS

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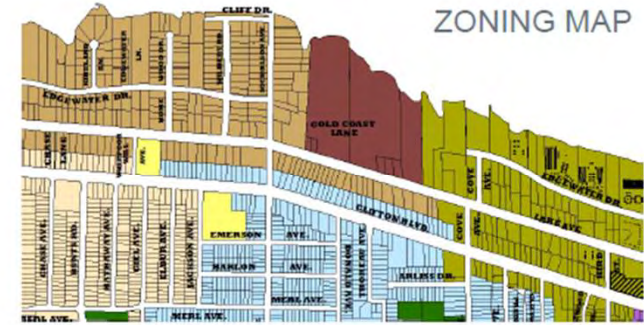
Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



SITE DATA

ZONING	MH –RESIDENTIAL, MULTI-FAMILY (HIGH DENSITY)
ACREAGE	+/- 0.70-AC (30,315-SF)
PROPOSED USE	SINGLE-FAMILY RESIDENTIAL
BUILDING FOOTPRINT	+/- 800 SF
BUILDING TOTAL SF	+/- 2,000 SF
BUILDING HEIGHT	36' (3 STORIES) 43' (ROOF ACCESS)
PARKING	2 SPACES / DU
FRONT YARD SETBACK	R. 50'-0" P. 20'-0"
SIDE YARD SETBACK	R. 20'-0" P. 13'-2"W, 11'-6" E
REAR YARD SETBACK	R. 50'-0" P. 7'-6"

- Mixed Use Overlay
- MH - Residential, Multi-Family (High Density)
- ML - Residential, Multi-Family (Low Density)
- R1H - Residential, Single Family (High Density)
- R1M - Residential, Single Family (Medium Density)
- R1L - Residential, Single Family (Low Density)
- R2 - Residential, Single and Two Family



LAKWOOD TOWNHOMES | LAKWOOD, OH | PROPOSED SITE PLAN

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Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



- ①. LAWN
- ②. COMMUNITY SEATING AREA
- ③. SIDEWALK CONNECTIONS
- ④. GARDEN TERRACES

LAKWOOD TOWNHOMES | LAKWOOD, OH | PROPOSED LANDSCAPE PLAN

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Docket No. 11-94-23 (12534 Lake)
 New Construction – Brummett Shady Cove Townhomes



LAKESWOOD TOWNHOMES | LAKEWOOD, OH | REFERENCE + INSPIRATION IMAGES

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FREELAND
VENTURES 

RDL
ARCHITECTS



Docket No. 11-94-23 (12534 Lake) New Construction – Brummett Shady Cove Townhomes



SHADY COVE TOWNHOMES | LAKEWOOD, OH | REFERENCE + INSPIRATION IMAGES

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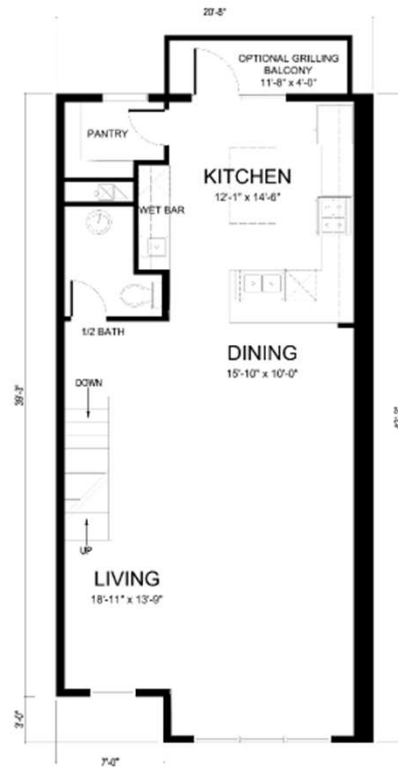


Docket No. 11-94-23 (12534 Lake)
 New Construction – Brummett Shady Cove Townhomes



GROUND FLOOR

329-SF (INCLUDES STAIRWELL)



FIRST FLOOR

795-SF



SECOND FLOOR

795-SF



ROOF

103-SF (TOTAL 2,022-SF)

LAKWOOD TOWNHOMES | LAKWOOD, OH | PROPOSED FLOOR PLANS

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Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

South Elevation



Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

West Elevation



Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

North Elevation



Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

East Elevation



Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

Site East Elevation



Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

Site West Elevation

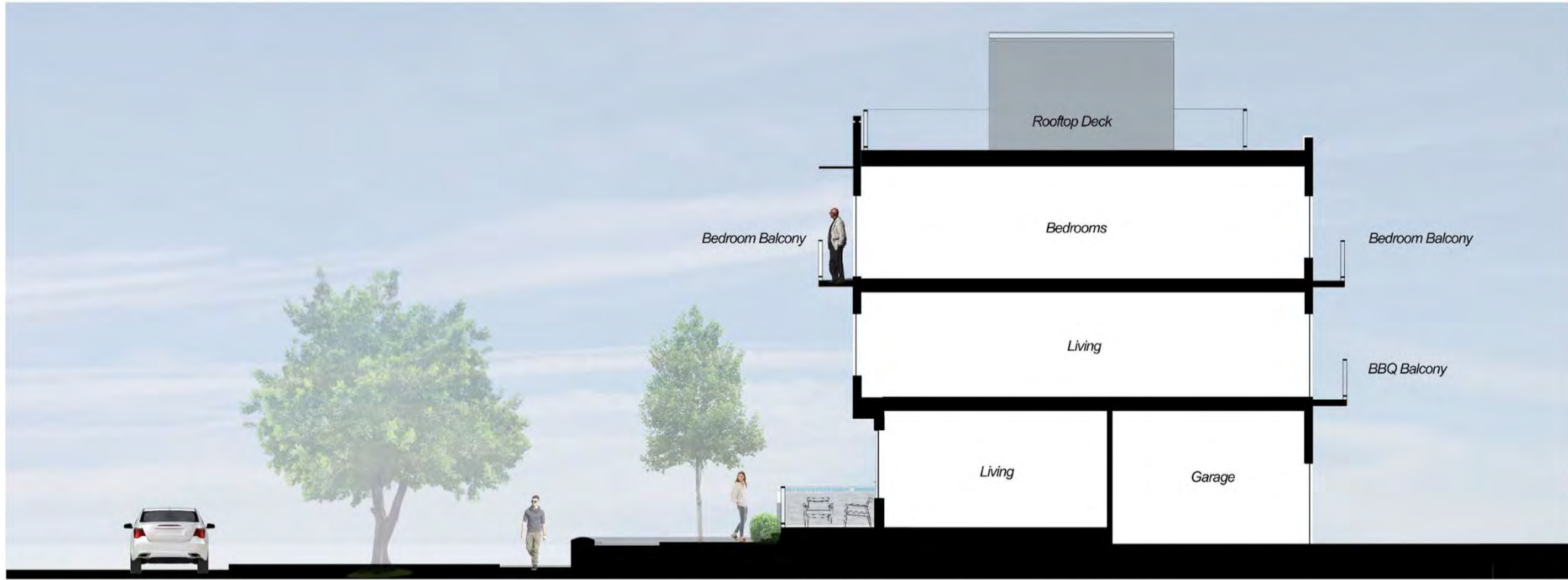


Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes

Site North Elevation



Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



Lake Avenue

LAKE AVENUE SECTION

Public Tree Lawn
~ 24'

Public Sidewalk
~ 6'

Private Sidewalk
5'

Private Tree-Lawn
~ 10'
(varies)

Garden Terrace
8'

Townhouse
40'



LAKWOOD TOWNHOMES | LAKWOOD, OH | STREET SECTION

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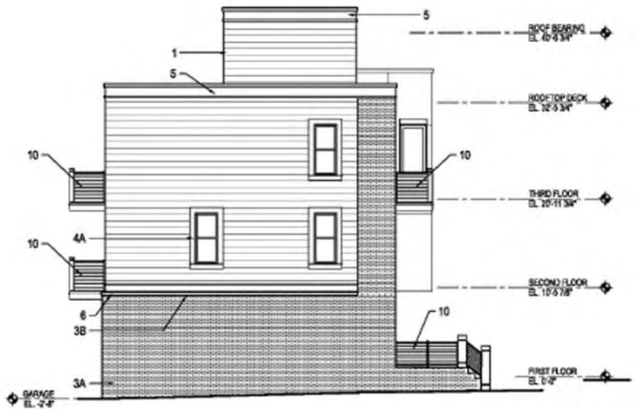


Docket No. 11-94-23 (12534 Lake)
New Construction – Brummett Shady Cove Townhomes



Docket No. 11-94-23 (12534 Lake)

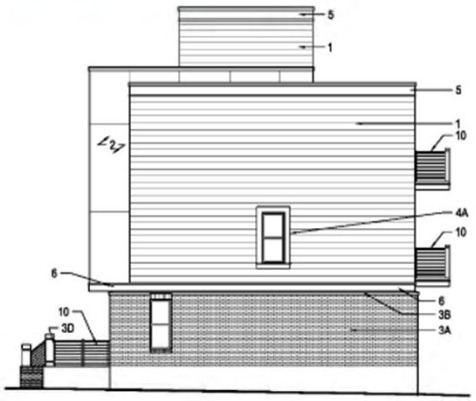
New Construction – Brummett Shady Cove Townhomes



SIDE ELEVATION



FRONT ELEVATION (LAKE AVE UNITS)



SIDE ELEVATION



REAR ELEVATION

LAKEWOOD TOWNHOMES | LAKEWOOD, OH | PROPOSED ELEVATIONS

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Docket No. 11-94-23 (12534 Lake)
 New Construction – Brummett Shady Cove Townhomes



*RAILING
GRECO
BLACK*



*LAP SIDING
HARDIE PLANK
KHAKI BROWN*



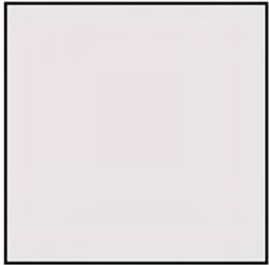
*LAP SIDING
HARDIE PLANK
COBBLESTONE*



*BRICK
GLEN GERY
SILVER CITY SMOOTH*



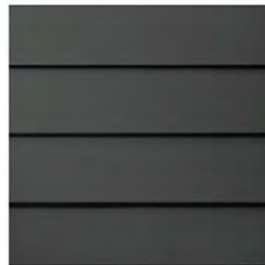
*BRICK
GLEN GERY
BELGIAN GREY WIRECUT*



*RAILING
GRECO
WHITE*



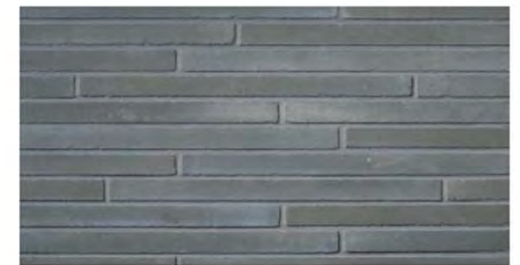
*LAP SIDING
PECAN*



*LAP SIDING
HARDIE PLANK
IRON GREY*



*BRICK
GLEN GERY
WHITE PLAINS VELOUR*



*BRICK
ARRISCRAFT
FORGED STEEL*

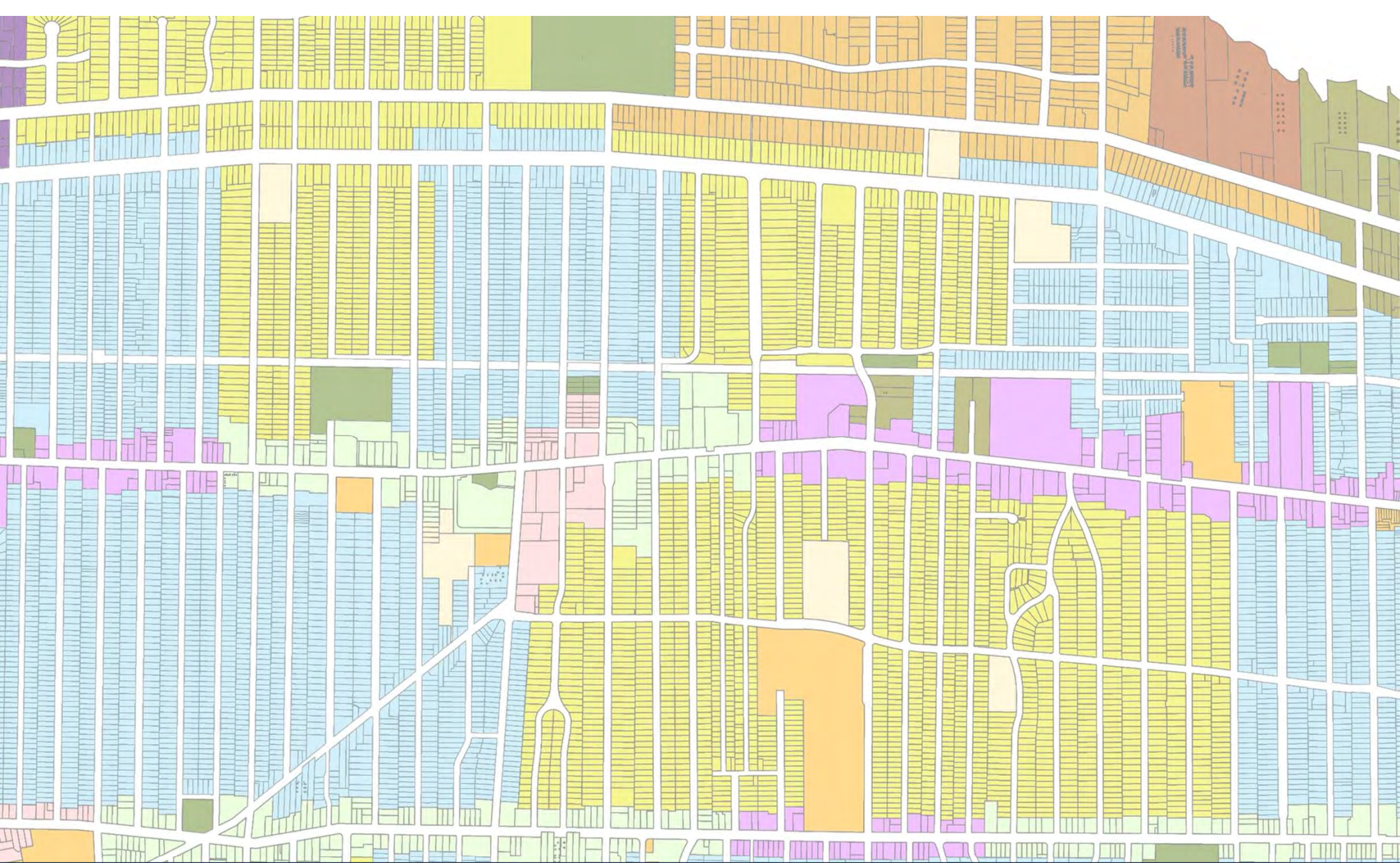
MATERIAL SELECTIONS REPRESENT GENERAL CONCEPTUAL INTENT AND ARE SUBJECT TO CHANGE.

SHADY COVE TOWNHOMES | LAKEWOOD, OH | PROPOSED BUILDING MATERIALS

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New Construction – Brummett Shady Cove Townhomes



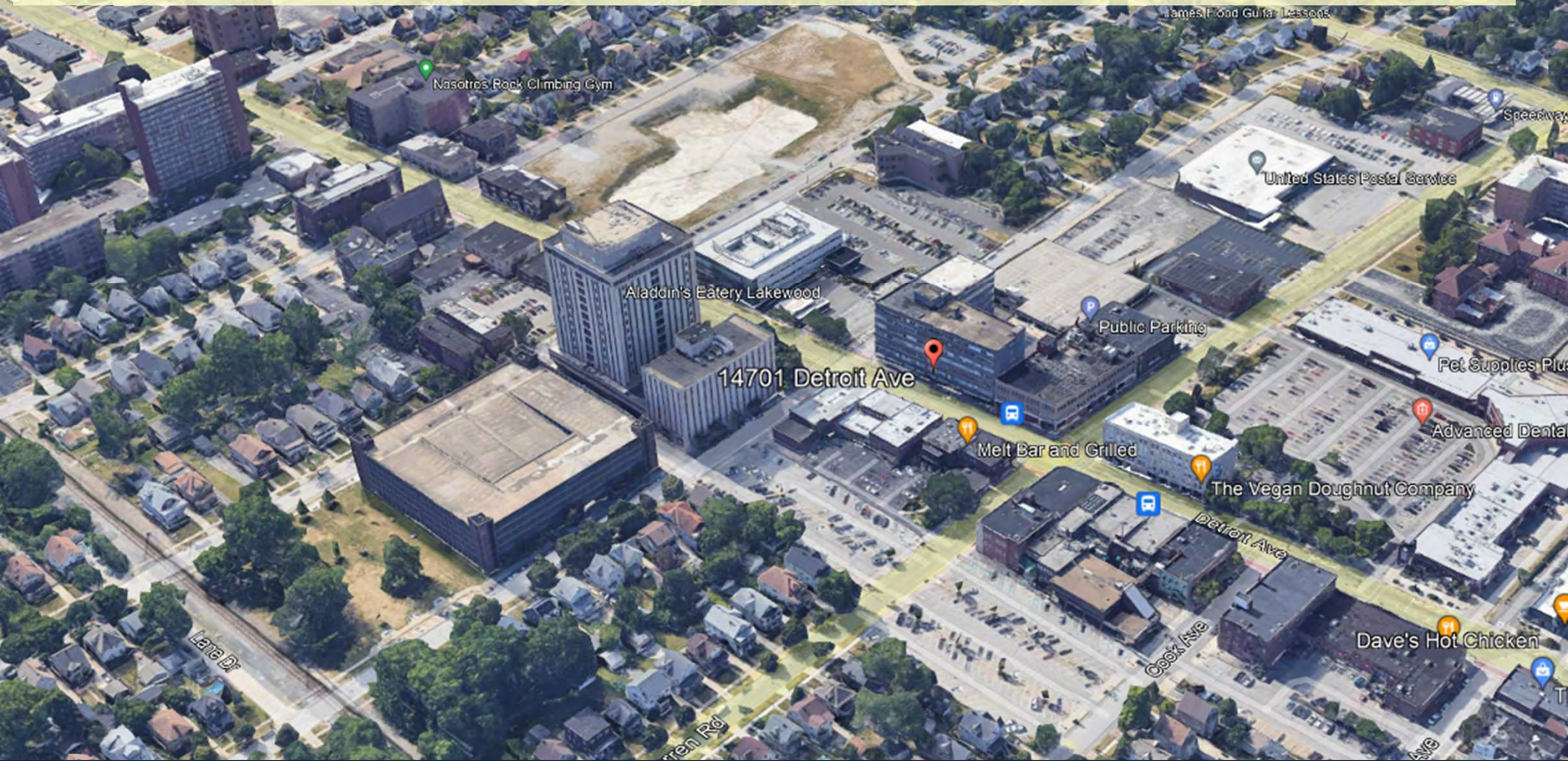
Architectural Board of Review

Sign Review – December 2023

Applicant proposes new illuminated raceway sign.

City Notes:

- ❑ Frontage ~265 ft = max permitted sign area of ~100 ft²
- ❑ Applicant proposes new ~36 ft² internally illuminated channel-mounted raceway sign



Docket No. 12-96-23 (14701 Detroit)
Signage – Signature Health
Laura Higgins-Wyoma

SIGN 3 (A)

SIGN ELEVATION: 3/4" = 1'-0'

Notes

Manufacture & install one (1) set of internally illuminated, LED channel logo/letters mounted on raceway on the building; raceway to contain power supplies

- Logo & letters to have white 7328 plexiglass; logo to have first surface, orange vinyl reversed so the copy & rule line in the middle to be white; the letters to be white; trim & returns to be painted white

- Raceway to be painted to match building fascia

RATED 120 VOLTS

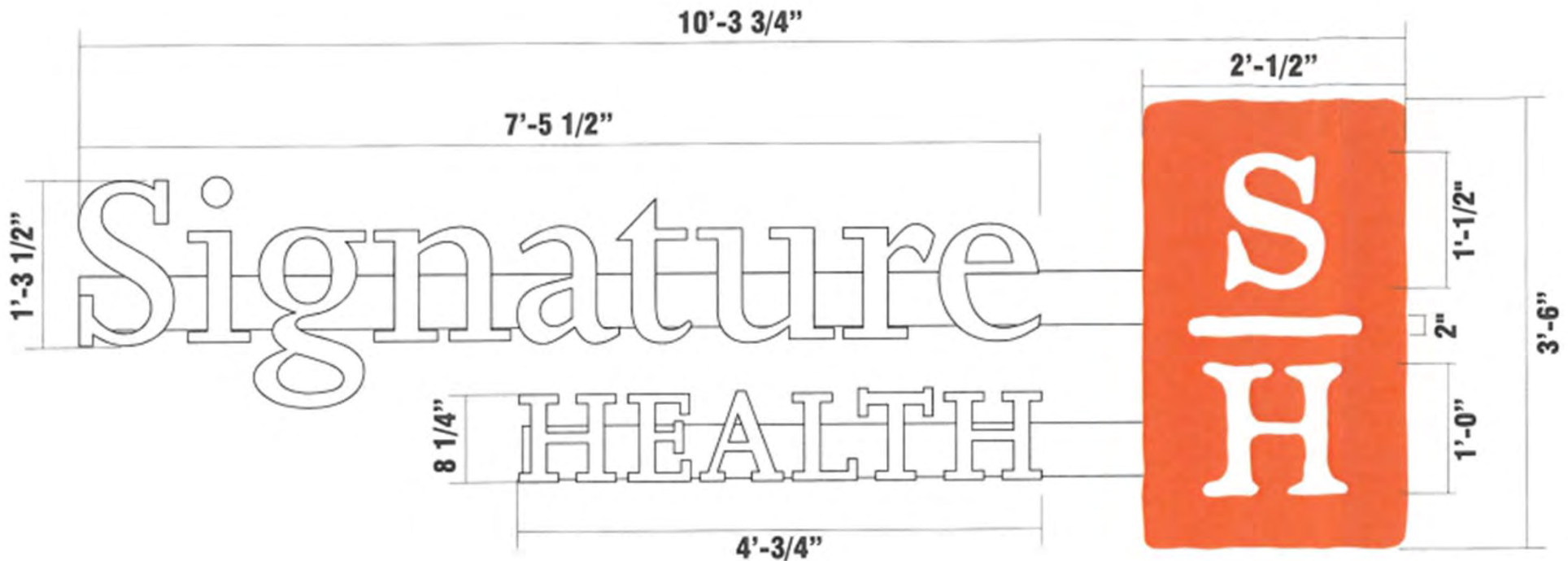
***Specific colors to be determined**



PHOTO RENDERING NTS



Docket No. 12-96-23 (14701 Detroit)
Signage – Higgins-Wyoma Signature Health



Docket No. 12-96-23 (14701 Detroit)
Signage – Higgins-Wyoma Signature Health

Applicant proposes new illuminated sign package.

City Notes:

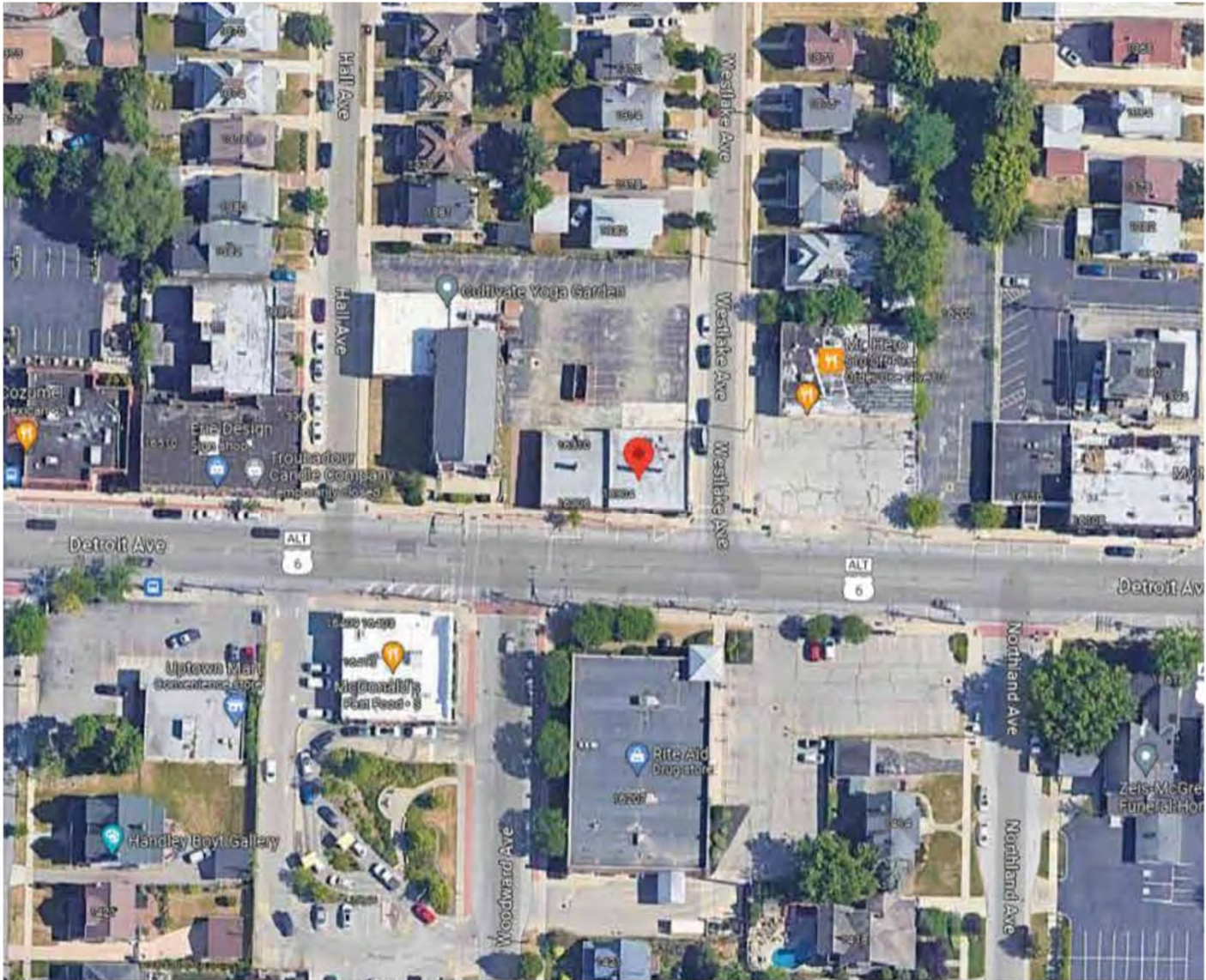
- ❑ Frontage ~54 ft = permitted sign area of ~54 ft²
- ❑ Applicant proposes 1 double-sided illuminated blade sign (9 ft²), 1 single-sided illuminated circular capsule for interior of window (6.25 ft²), 2 single-sided illuminated rectangular capsules for interior of windows (ea. 10 ft²); **Total = 35.25 ft²**



Docket No. 12-97-23 (16300 Detroit)

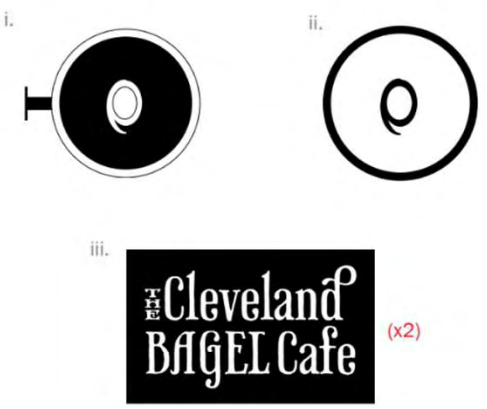
Signage – Cleveland Bagel Cafe
Erika Durham

CLEVELAND BAGEL CAFE (LAKEWOOD)

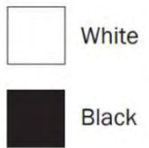


SCOPE OF PROJECT

- i. One (1) double-sided illuminated blade sign
- ii. One (1) single-sided illuminated circular capsule for interior of window
- iii. Two (2) single-sided illuminated rectangular capsules for interior of windows



COLORS



***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>VERSIONS V1: 09/27/23 V2: 11/09/23</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION LOCATION & SCOPE</p>	<p>PAGE NO. 1 OF 14</p>
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Docket No. 12-97-23 (16300 Detroit)
Signage – Durham Cleveland Bagel Cafe

FRONTAGE: 33.67 ft.



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CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	SCALE	DATE	PROJECT MANAGER	PAGE DESCRIPTION	PAGE NO.
	AS NOTED	11/09/23	ANNA A.	EXISTING CONDITIONS	10 OF 14



Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe

FRONTAGE: 33.67 ft.



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CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	SCALE	DATE	PROJECT MANAGER	PAGE DESCRIPTION	PAGE NO.
	AS NOTED	11/09/23	ANNA A.	MOCK-UP ON SITE - DAY	11 OF 14



Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe

ii. & iii. OVERVIEW Singe-sided illuminated capsules for interior of windows

FRONTAGE: 33.67 ft.



*ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.

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CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	SCALE AS NOTED	DATE 11/09/23	PROJECT MANAGER ANNA A.	PAGE DESCRIPTION MOCK-UP ON SITE - NIGHT	PAGE NO. 12 OF 14
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Docket No. 12-97-23 (16300 Detroit) Signage – Durham Cleveland Bagel Cafe

FRONTAGE: 33.67 ft.



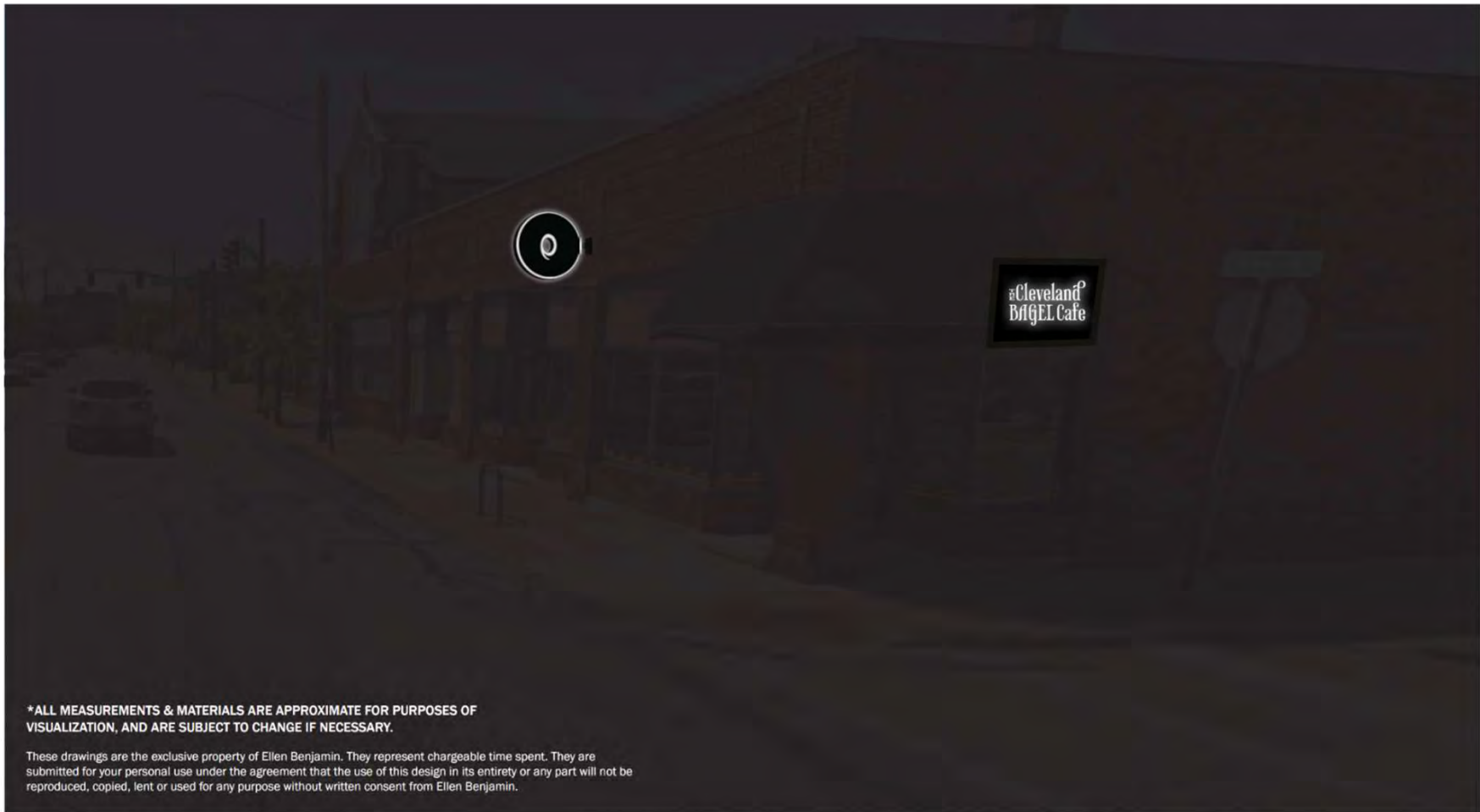
CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	SCALE	DATE	PROJECT MANAGER	PAGE DESCRIPTION	PAGE NO.
	AS NOTED	11/09/23	ANNA A.	MOCK-UP ON SITE - DAY	13 OF 14



Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe

MOCK-UP ON SOUTH ELEVATION - NIGHT TIME



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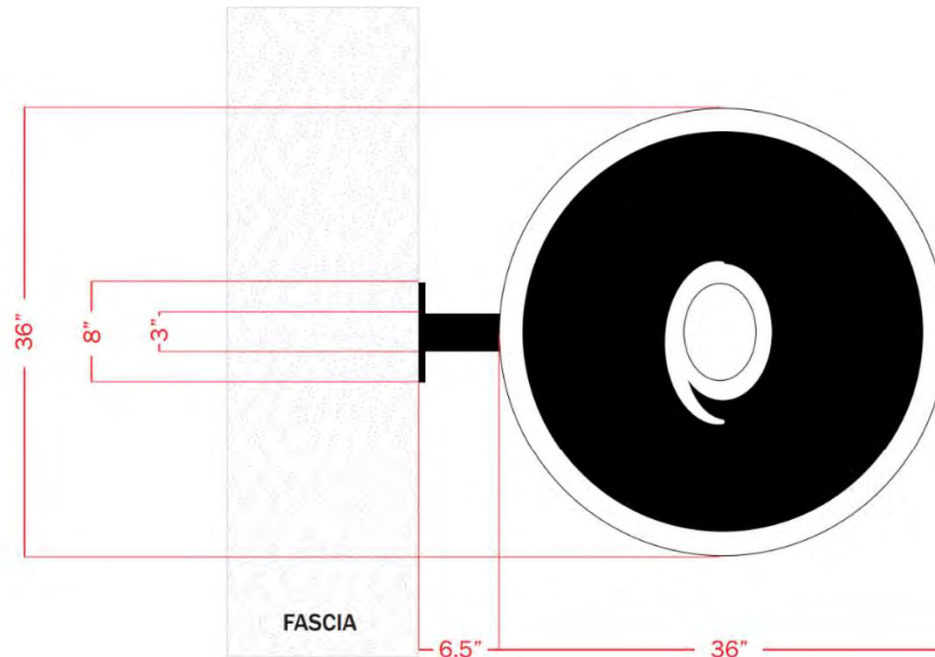
CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	^ v	14 / 14	+	↺	PROJECT MANAGER N.A.	PAGE DESCRIPTION MOCK-UP ON SITE - NIGHT	PAGE NO. 14 OF 14
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Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe

i. OVERVIEW Double-sided illuminated blade sign



MATERIALS

CABINET: 5" D .040 aluminum can, painted black

FACES: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced

TRIM CAP: 1" black

GRAPHICS: Weeded translucent black vinyl

LIGHTING: Internally-illuminated with white LEDs & 12V internal power supplies (*location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer*); UL listed

MOUNTING: 2" x 3" horizontal aluminum mounting arm w/ 8" x 8" x 1/2" aluminum plates, painted black, bolted to fascia with appropriate hardware (*TBD by installer*)

PAINT: Std. black (satin)

COLORS



White



Black

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CLEVELAND BAGEL CAFE
16300 DETROIT AVE, LAKEWOOD, OH 44107

OVERALL DIMENSIONS 3' - 0" W x 3' - 0" H x 5" D
(excluding mounting)
SQUARE FOOTAGE 9 ft.²

SCALE
1 : 10

DATE
11/09/23

PROJECT MANAGER
ANNA A.

PAGE DESCRIPTION
BLADE SIGN
FRONT/BACK VIEW

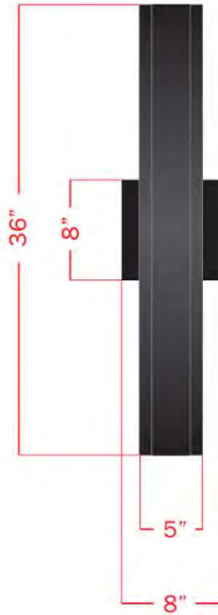
PAGE NO.
2 OF 14



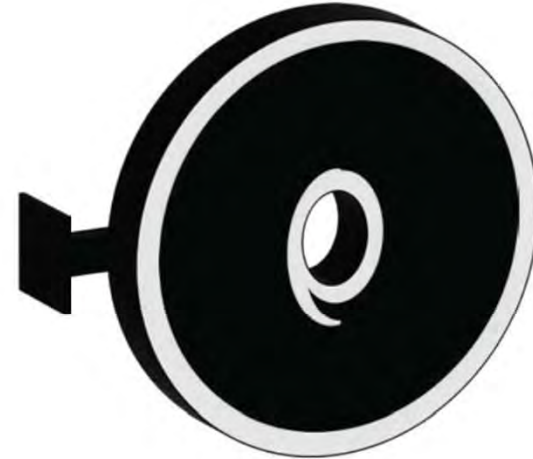
Docket No. 12-97-23 (16300 Detroit)
Signage – Durham Cleveland Bagel Cafe



i. OVERVIEW Double-sided illuminated blade sign

DIRECT SIDE VIEW



ORTHOGRAPHIC VIEW



<p>MATERIALS</p> <p>CABINET: 5" D .040 aluminum can, painted black</p> <p>FACES: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced</p> <p>TRIM CAP: 1" black</p> <p>GRAPHICS: Weeded translucent black vinyl</p> <p>LIGHTING: Internally-illuminated with white LEDs & 12V internal power supplies (<i>location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer</i>); UL listed</p> <p>MOUNTING: 2" x 3" horizontal aluminum mounting arm w/ 8" x 8" x 1/2" aluminum plates, painted black, bolted to fascia with appropriate hardware (<i>TBD by installer</i>)</p> <p>PAINT: Std. black (satin)</p>
<p>COLORS</p> <p> White</p> <p> Black</p>
<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>

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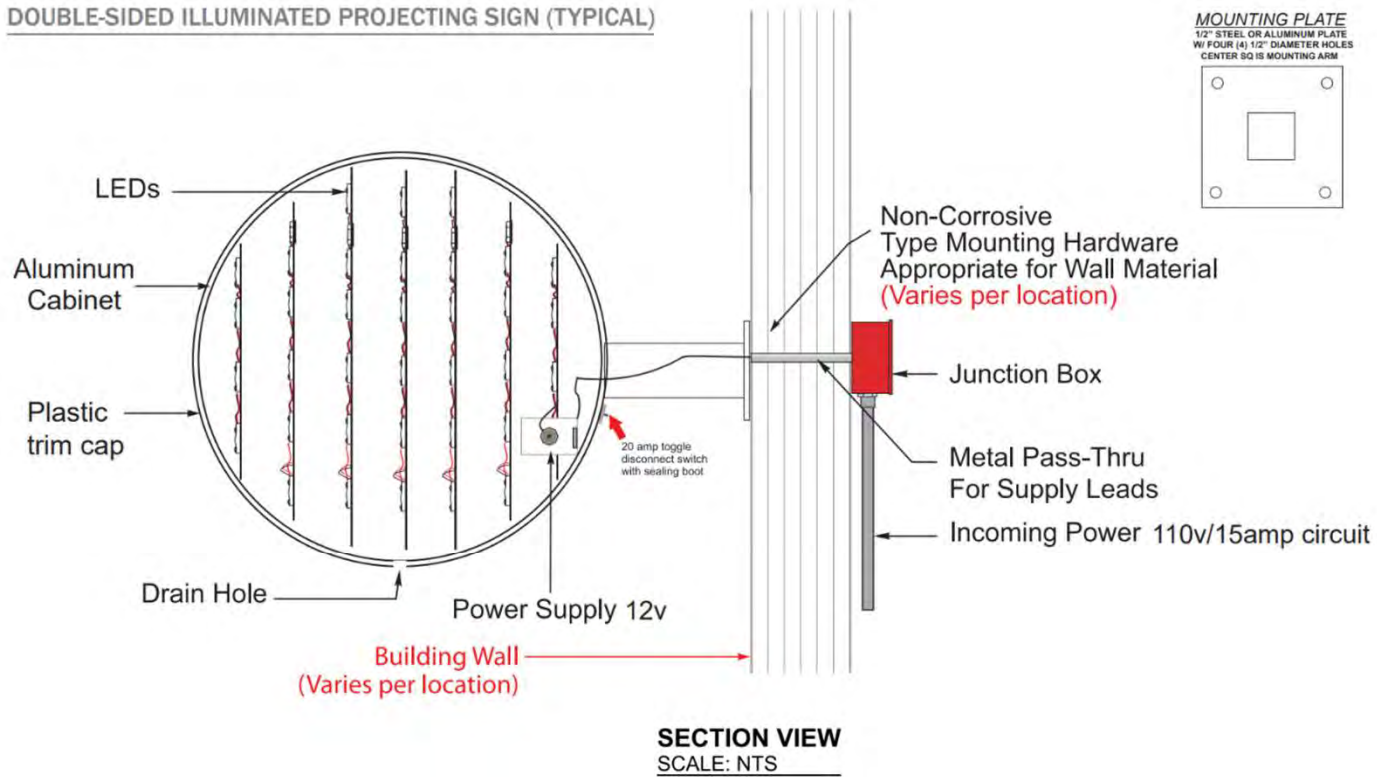
<p>OVERALL DIMENSIONS 3' - 0" W x 3' - 0" H x 5" D <i>(excluding mounting)</i></p> <p>SQUARE FOOTAGE 9 ft.²</p>	<p>SCALE 1 : 10</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION BLADE SIGN SIDE VIEWS</p>	<p>PAGE NO. 3 OF 14</p>
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Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe

DOUBLE-SIDED ILLUMINATED PROJECTING SIGN (TYPICAL)



Customer is to provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or electrician. Each sign must have a minimum of one (1) dedicated 120V 20A circuit. Junction box must be installed within 6 feet of the sign. Whips provided by sign manufacturer to include three (3) wires: ground, line & neutral.

***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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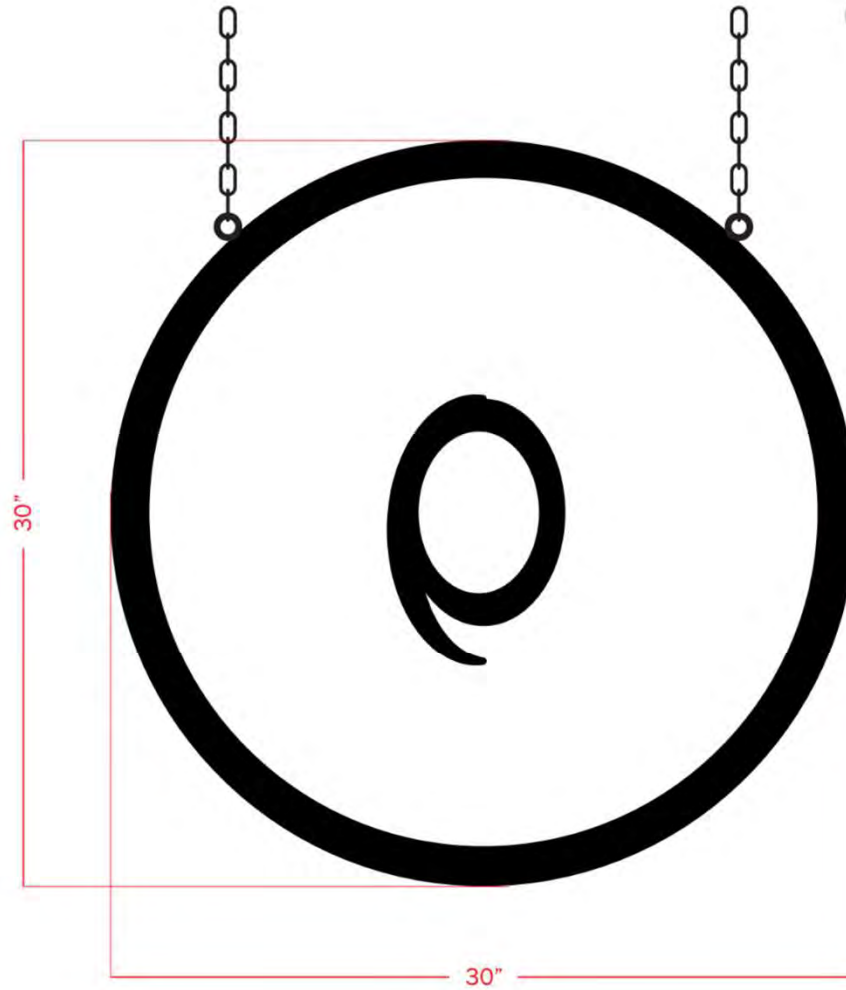
<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>OVERALL DIMENSIONS 3' - 0" W x 3' - 0" H x 5" D (excluding mounting) SQUARE FOOTAGE 9 ft.²</p>	<p>SCALE NOT TO SCALE</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION BLADE SIGN SECTION-THRU</p>	<p>PAGE NO. 4 OF 14</p>
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Docket No. 12-97-23 (16300 Detroit)
Signage – Durham Cleveland Bagel Cafe

ii. OVERVIEW Single-sided illuminated circular capsule for interior of window

CIRCULAR WINDOW SIGN
FRONT VIEW



MATERIALS	
FACE: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced	
RETURNS: 3" .040 black	
TRIM CAP: 1" black	
BACK: 3mm ACM, finished black	
GRAPHICS: Reverse-weeded translucent black vinyl	
LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer); UL listed	
MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer	
COLORS	
	White
	Black
CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	
OVERALL DIMENSIONS 2' - 6" W x 2' - 6" H x 3" D <i>(excluding mounting)</i> SQUARE FOOTAGE 6.25 ft. ²	SCALE 1 : 5
DATE 11/09/23	PROJECT MANAGER ANNA A.
PAGE DESCRIPTION CIRCULAR WINDOW SIGN FRONT VIEW	PAGE NO. 5 OF 14

***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

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Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe

ii. OVERVIEW Single-sided illuminated circular capsule for interior of window

CIRCULAR WINDOW SIGN
SIDE VIEWS



MATERIALS	
FACE: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics; Note that center of bagel is pierced	
RETURNS: 3" .040 black	
TRIM CAP: 1" black	
BACK: 3mm ACM, finished black	
GRAPHICS: Reverse-weeded translucent black vinyl	
LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer); UL listed	
MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer	
COLORS	
	White
	Black
CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107	

***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

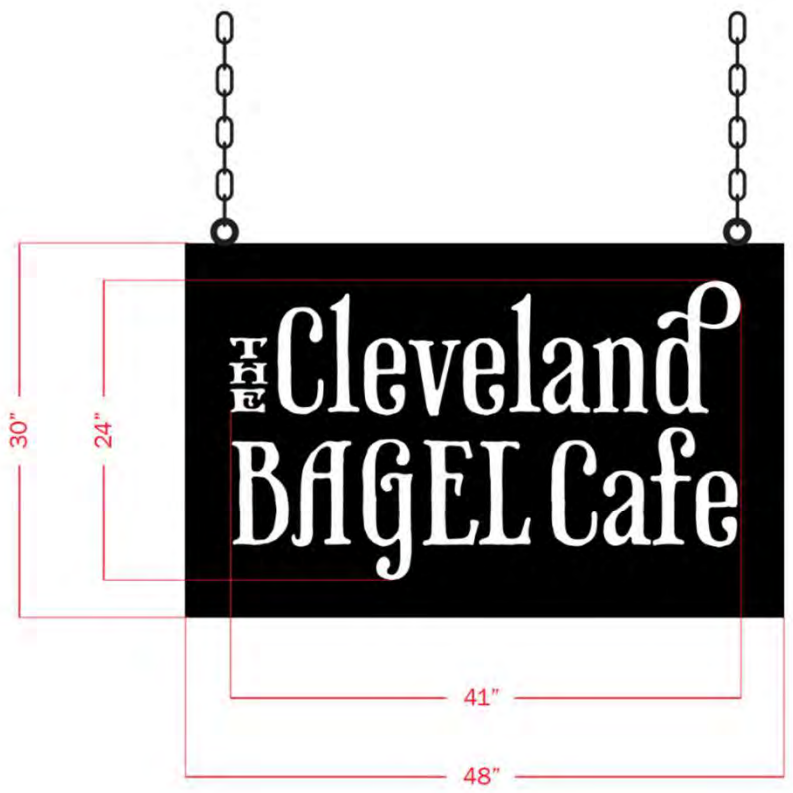
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OVERALL DIMENSIONS 2' - 6" W x 2' - 6" H x 3" D <i>(excluding mounting)</i> SQUARE FOOTAGE 6.25 ft. ²	SCALE 1 : 5	DATE 11/09/23	PROJECT MANAGER ANNA A.	PAGE DESCRIPTION CIRCULAR WINDOW SIGN SIDE VIEWS	PAGE NO. 6 OF 14
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Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe



MATERIALS

FACES: 5" D .040 aluminum can, painted black

RETURNS: 3/16" #2447 white acrylic w/ trim cap & vinyl graphics

TRIM CAP: 2" black

BACKS: 3mm ACM, finished black

GRAPHICS: Weeded translucent black vinyl

LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (*location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer*); UL listed

MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer

COLORS

 White

 Black

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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>EACH</p> <p>OVERALL DIMENSIONS 4' - 0" W x 2' - 6" H x 3" D (excluding mounting)</p> <p>SQUARE FOOTAGE 10 ft.²</p>	<p>SCALE</p> <p>1 : 10</p>	<p>DATE</p> <p>11/09/23</p>	<p>PROJECT MANAGER</p> <p>ANNA A.</p>	<p>PAGE DESCRIPTION</p> <p>RECTANGULAR WINDOW SIGNS FRONT VIEW</p>	<p>PAGE NO.</p> <p>7 OF 14</p>
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Docket No. 12-97-23 (16300 Detroit)
Signage – Durham Cleveland Bagel Cafe

iii. OVERVIEW Single-sided illuminated rectangular capsules for interior of windows

RECTANGULAR WINDOW SIGNS
FRONT VIEW

MATERIALS

FACES: 3/16" #2447 white acrylic w/ vinyl graphics
RETURNS: 3" .040 black
TRIM CAP: 1" black
BACKS: 3mm ACM, finished black
GRAPHICS: Reverse-weeded translucent black vinyl
LIGHTING: Front-lit only with white LEDs & 12V internal power supplies (*location of power supplies to be confirmed by installer; power to be brought within 6 ft of sign by customer*); UL listed
MOUNTING: Eyehooks & chains to hang from ceiling; appropriate hardware TBD by installer

COLORS



White



Black



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CLEVELAND BAGEL CAFE
16300 DETROIT AVE, LAKEWOOD, OH 44107

EACH

OVERALL DIMENSIONS **4' - 0" W x 2' - 6" H x 3" D**
(excluding mounting)
SQUARE FOOTAGE **10 ft.²**

SCALE
1 : 10

DATE
11/09/23

PROJECT MANAGER
ANNA A.

PAGE DESCRIPTION
**RECTANGULAR WINDOW SIGNS
FRONT VIEW**

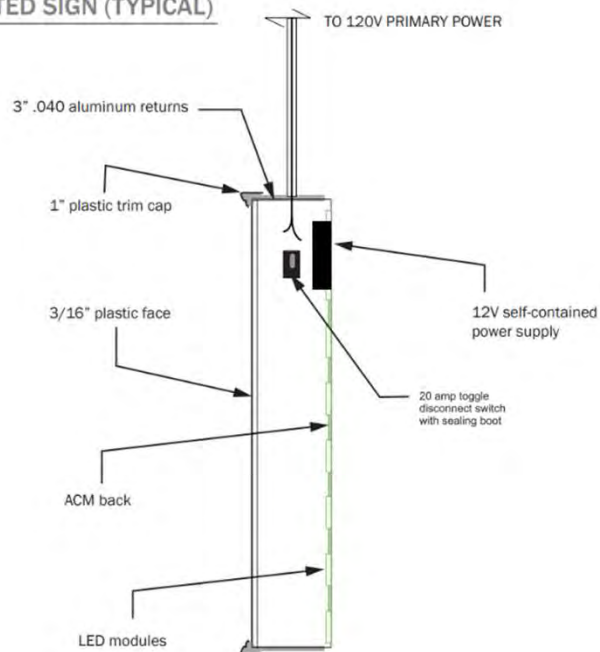
PAGE NO.
8 OF 14



Docket No. 12-97-23 (16300 Detroit)
Signage – Durham Cleveland Bagel Cafe

ii. & iii. OVERVIEW Singe-sided illuminated capsules for interior of windows

SINGLE-SIDED ILLUMINATED SIGN (TYPICAL)



All components used in the fabrication of our signs are UL certified.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or applicable codes. This includes proper grounding and bonding of the sign.

Customer is to provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or electrician. Each sign must have a minimum of one (1) dedicated 120V 20A circuit. Junction box must be installed within 6 feet of the sign. Whips provided by sign manufacturer to include three (3) wires: ground, line & neutral.

***ALL MEASUREMENTS & MATERIALS ARE APPROXIMATE FOR PURPOSES OF VISUALIZATION, AND ARE SUBJECT TO CHANGE IF NECESSARY.**

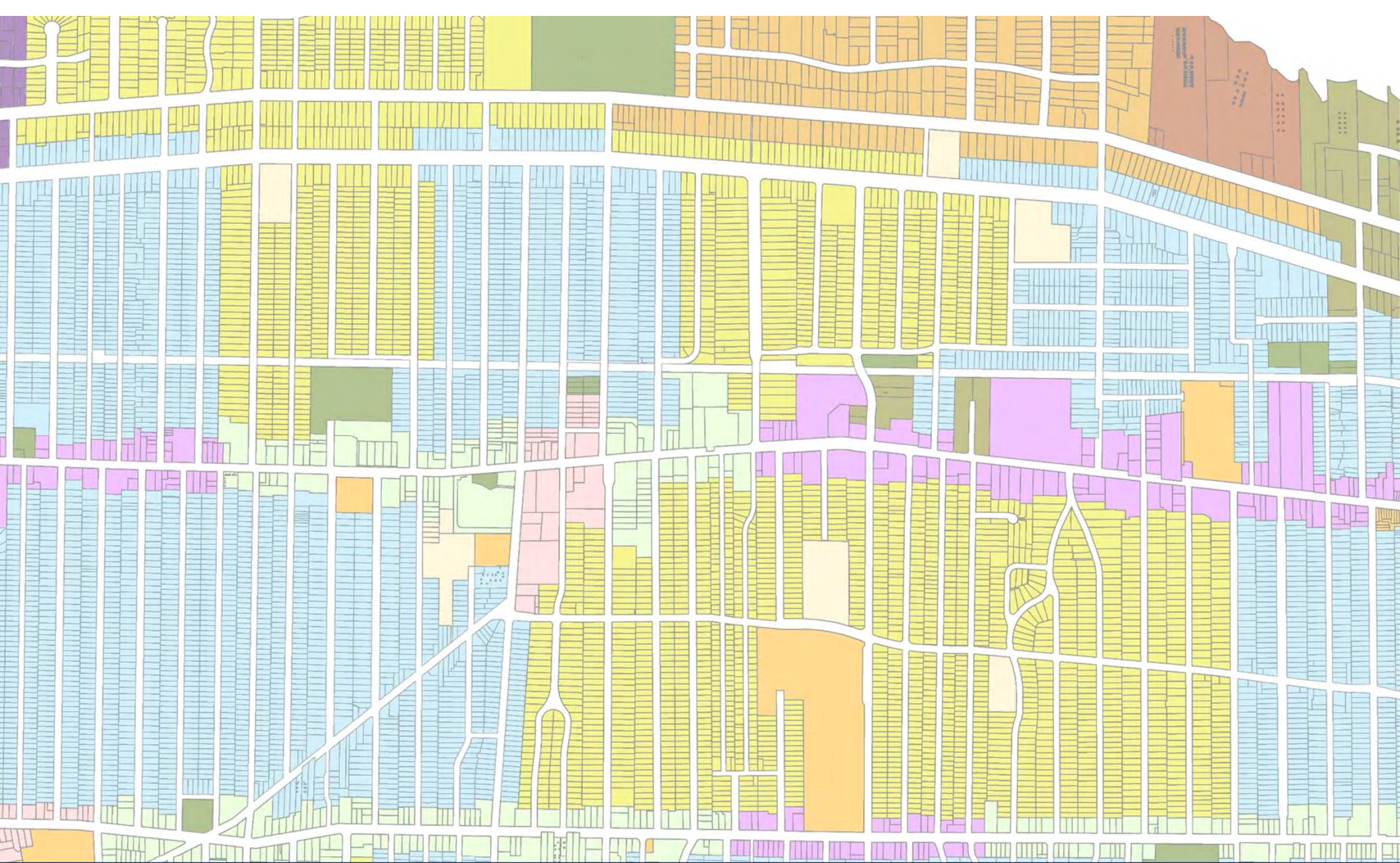
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<p>CLEVELAND BAGEL CAFE 16300 DETROIT AVE, LAKEWOOD, OH 44107</p>	<p>SCALE NOT TO SCALE</p>	<p>DATE 11/09/23</p>	<p>PROJECT MANAGER ANNA A.</p>	<p>PAGE DESCRIPTION WINDOW SIGNS SECTION-THRU</p>	<p>PAGE NO. 9 OF 14</p>
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Docket No. 12-97-23 (16300 Detroit)

Signage – Durham Cleveland Bagel Cafe



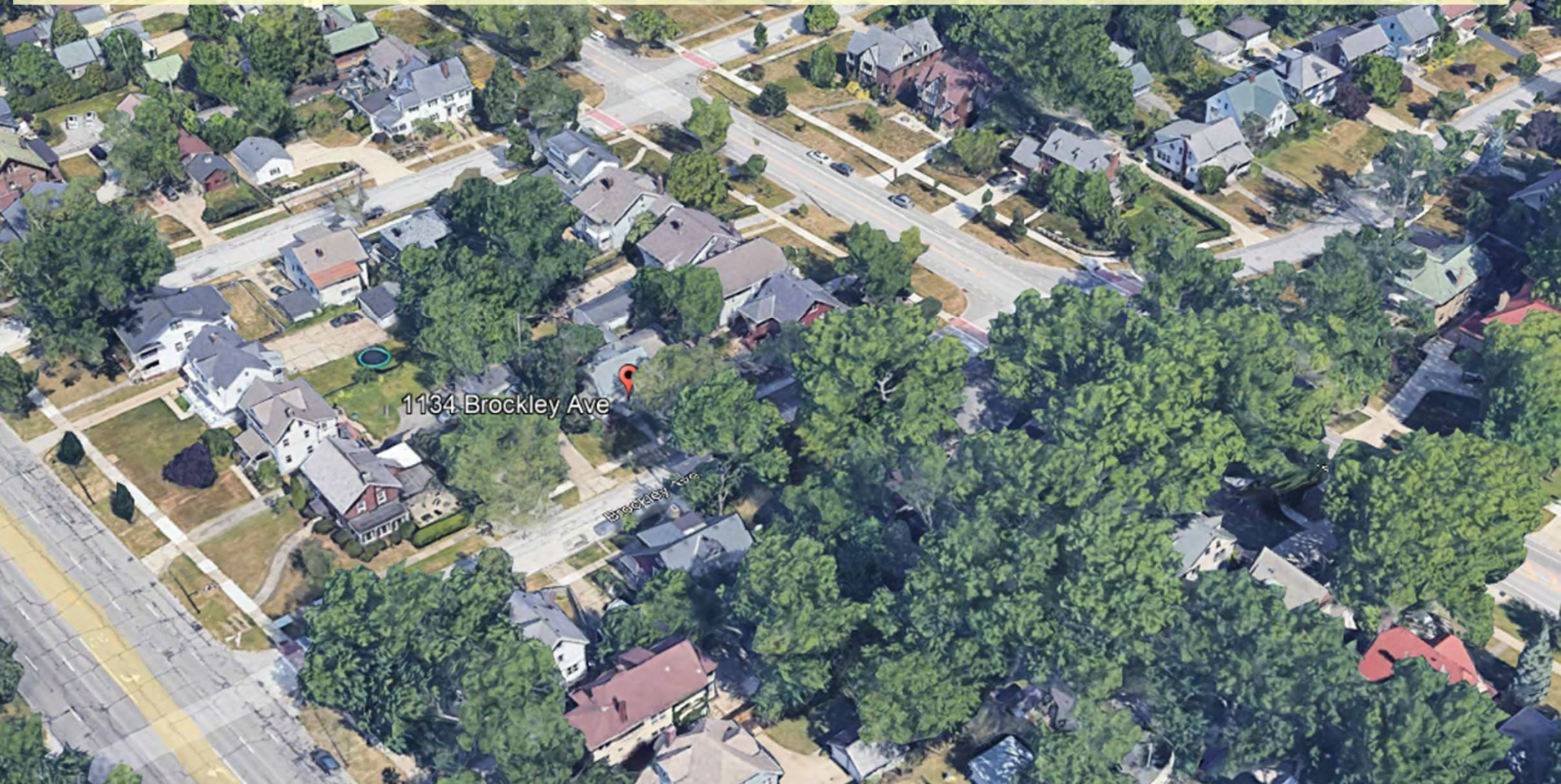
Architectural Board of Review

New Business – December 2023

Applicant proposes renovation of residential home.

City Notes:

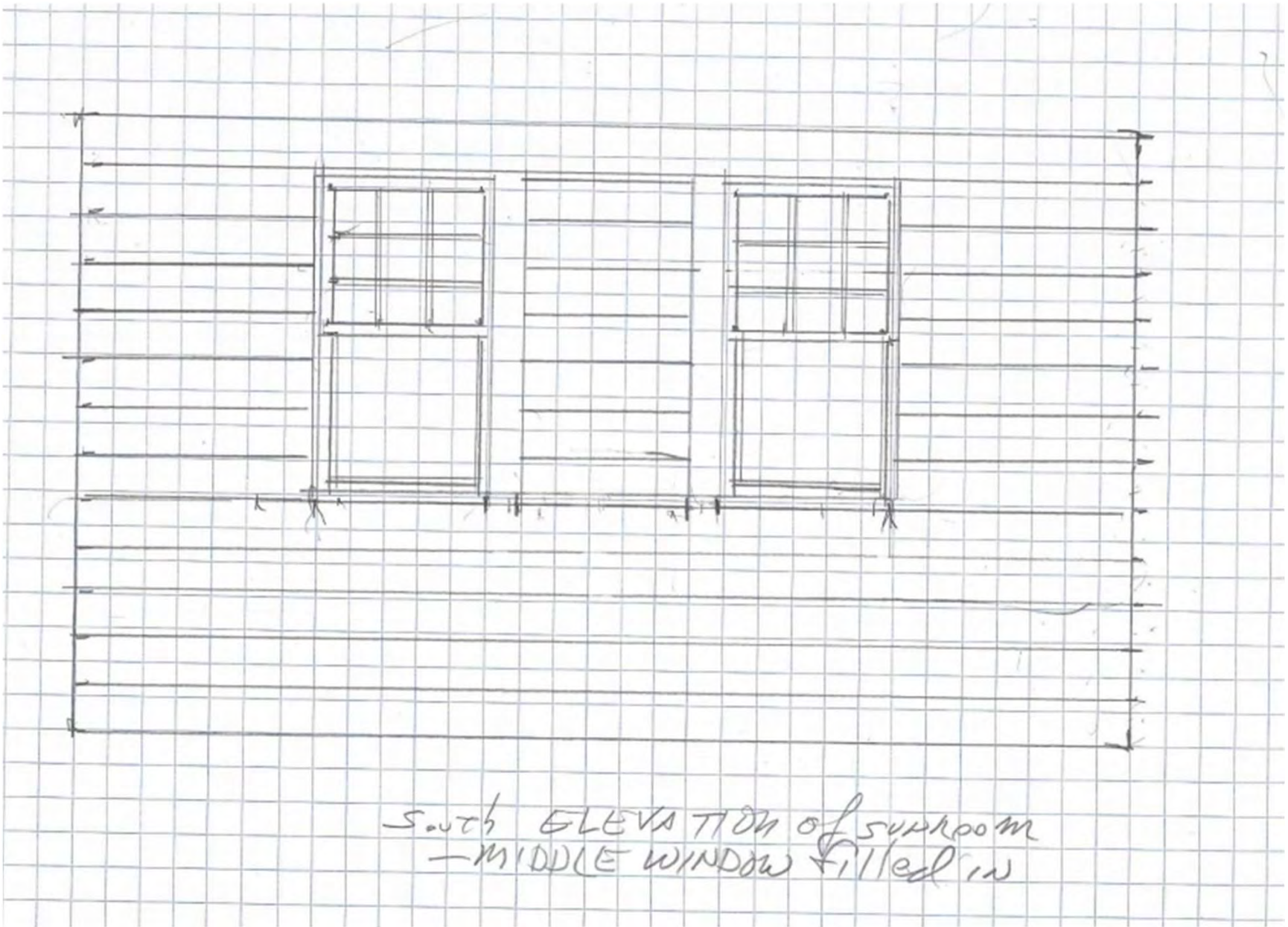
- Applicant proposes renovation of exterior south elevation of sunroom.



Docket No. 12-98-23 (1134 Brockley)
Residential Renovation
Barry Hoffman



Docket No. 12-98-23 (1134 Brockley)
Residential Renovation – Hoffman



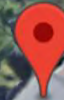
Docket No. 12-98-23 (1134 Brockley)
Residential Renovation - Hoffman

Applicant proposes front porch enclosure.

City Notes:

N/A

1490 Victoria Ave



Docket No. 12-99-23 (1490 Victoria)

Porch Enclosure

Yousufuddin Mohammed



BEFORE ENCLOSED PORCH



BEFORE ENCLOSED PORCH



ENCLOSED PORCH AFTER



ENCLOSED PORCH AFTER

INDEX	
BEFORE & AFTER PICTURES	PAGE 1
SIDES & FRONT ELEVATIONS	PAGE 2
FOUNDATION & PORCH PLAN	PAGE 3
CROSS-SECTION - A	PAGE 4

NOTE: LIST OF ITEMS SUPPLIED BY OTHERS

- ENERGY CODE COMPLIANCE SHEETS
- MECHANICAL HVAC, PLUMBING ISOMETRIC DRAWINGS
- PROPERTY SURVEY OR SITE PLAN
- DETAIL ON FRAMING, AND FASTNERS FOR TRUSS PACKAGE
- DETAIL ON MATERIAL, COLORS & TRIM SELECTIONS
- SMOKE AND FIRE ALARM SYSTEM.

NOTE:

THESE PLANS ARE INTENDED TO SHOW GENERAL DESIGN AND STRUCTURAL DESIGN CHANGES TO DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTORS.

LUMBER SPAN CHARTS SHOULD BE REFERENCED TO IN CHOOSING KINDS OF LUMBER AND SPECIES OF LUMBER. THE DEPTH AND SIZE OF FOUNDATION WALLS OR FOOTERS AND REBAR ARE ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTORS IN CHARGE.

ALL CITY PERMITS SHOULD BE OBTAINED.

ANY ROOF SLOPE SHALL BE 3/12 PITCH THAT HAVE POTENTIAL WATER PROBLEMS.

PROPERTY LINES MUST BE SURVEYED PRIOR TO EXCAVATION OF FOUNDATION.

BECAUSE OF THE POSSIBILITY OF PROVIDING ANY DIRECT SUPERVISION OR CONTROL OVER THE CONSTRUCTION OF THIS BUILDING, THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL DAMAGES, DUE TO ANY DEFICIENCIES, OMISSIONS, OR ERRORS OR FOR THE IMPROPER INSTALLATION OF MATERIAL, IN THE EXECUTION OF THE DESIGN OR TO VARIATION LUMBER GRADES AND ENGINEERING LUMBER.

THESE PLANS SHALL BE PROVIDED TO A COMPETENT LUMBER SUPPLIER FOR FINAL ORDERING OF ALL MATERIAL.

PLEASE NOTE:

When dimensions are omitted I only rely due to the location of plumbing, heating & electrical services. In addition, the location of electrical services, whether 1" or 2" deep, may vary but will be installed according to applicable building codes.

By my approval, that since the house plans they are approving are correct, the Builder reserves the right to make any necessary field adjustments to correct any discrepancies in the plans.

Signature _____ Date _____

Signature _____ Date _____

REVISED
ST

RB23-000652
RECEIVED
NOV 21 2023
C. Amis-Ken

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND DESIGNING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REQUIREMENTS. ALL DIMENSIONS ARE TAKEN FROM ROOM TO ROOM, STODS OF A DIMENSION BY DIMENSION, 31/4" ON CENTER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REQUIREMENTS.

Custom Designs

PHONE CELL
216-389-8911

EMAIL:
E62homes539@gmail.com

DRAIN BY:
ED. ZERNICKO

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COMMENTS / REVISIONS	
1.	
2.	
3.	
4.	
5.	

CLIENT/LOCATION
1400 VICTORIA AVE
LAKESWOOD, OHIO

PROJECT:
ENCLOSE FRONT PORCH

CONTRACTOR:

FOLLOW ONLY 2019 RESIDENTIAL CODE OF OHIO

SCALE: 1/4" = 1'-0"

DATE PRINTED

PAGE 1 OF 4



Docket No. 12-99-23 (1490 Victoria)

Porch Enclosure – Mohammed



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ENCLOSE FRONT PORCH

CONSTRUCTION NOTES:

1. ALL NEW WORK ON THIS PROJECT, INCLUDING ALL ELECTRICAL SHALL BE IN COMPLIANCE WITH ALL BUILDING CODES INCLUDING THE 2019 VERSION OF THE OHIO RESIDENTIAL CODES.
2. DEMO EXISTING PORTION OF REAR OF EXTERIOR KITCHEN WALL. REBUILD NEW WALLS TO CURRENT CODE REQUIREMENTS.
3. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD CONSTRUCTION, W/ 7/16 OSB EXT. WALL SHEATHING W/ RD NAILS PER PROVISION SECTION 602.10 IN R.C.O.
4. STRUCTURAL HEADERS: 2" X 21". EXCEPT AS OTHERWISE NOTED, FIELD VERIFY ALL EXISTING WALL BEARING EXTERIOR WINDOWS AND DOOR HEADERS ARE PROPERLY SIZED. IF NOT, REPLACE WITH PROPER SIZED HEADER, AT NEW OPENINGS, PROVIDE ONE JACK ON EACH SIDE FOR SPANS UNDER 6', TWO JACKS FOR SPANS OVER 6'.
5. ALL NEW WINDOWS OPENINGS TO BE SET AT MAN DOOR HEIGHT.
6. FOR SILL PLATE USE PRESSURE-TREATED WOOD IN ACCORDANCE WITH THE PROVISION OF SECTION 316.1 IN R.C.O. WITH FASTENERS: HOT-DIPPED ZINC-COATED GALVANIZED STEEL, PER PROVISION SECTION 317.3.3 IN R.C.O.
7. GENERAL CONTRACTOR SHALL VERIFY THAT THE EXISTING UTILITIES ARE NOT IN THE WAY OF THE NEW CONSTRUCTION.
* CONTRACTOR SHALL BE LICENSED, INSURED AND BONDED FOR THIS JOB. *
8. PRIOR TO START OF WORK, HOMEOWNER WILL NEED TO REMOVE ALL INTERIOR PERSONAL BELONGINGS, IN THE AREA TO BE REMODELED PRIOR TO THE START OF WORK.
9. ALL NEW SIDING ON HOME TO MATCH THE TO CURRENT SIZE WITH VINYL SIDING.
10. ALL NEW SOFFITS, GUTTER BOARD, FLY RAFTERS, AND OTHER EXTERIOR TRIM TO BE ALUMINUM/ VINYL WRAPPED. ALL TRIM DETAILS AND OVERHANG SOFFITS TO BE VENTED.
11. ROOF BUNGLES OVER SYNTHETIC FELT WITH A MIN. 3" ICE GUARD UP FROM GUTTER BOARD.
12. PROVIDE CONT. RIDGE VENTS FOR PROPER VENTILATION AS REQUIRED BY CODE.
13. ALL WINDOWS TO BE DETERMINED WINDOW CHOSEN BY CUSTOMER.
14. ALL NEW EXTERIOR DOORS TO BE INSULATED METAL.
15. ALL ELECTRICAL SHALL BE IN ACCORDANCE TO ANY LOCAL CODES.
16. DECKING ON SECOND FLOOR PORCH RECOVER OLD PLAT DECK WITH CERTAINTED FIBREGLASS 3/4" MALIBASE AND FLINTLASTIC SA MIDPLY FOR A 20 YR. WARRANTY TWO LAYER MATERIAL FOR A LOW SLOPE DECK.

NOTE: LIST OF ITEMS SUPPLIED BY OTHERS

1. ENERGY CODE COMPLIANCE SHEETS
2. MECHANICALS HVAC, PLUMBING ISOMETRIC DRAWINGS
3. PROPERTY SURVEY OR SITE PLAN
4. DETAIL ON FRAMING, AND FASTNERS FOR TRUSS PACKAGE
5. DETAIL ON MATERIAL, COLORS & TRIM SELECTIONS
6. SMOKE AND FIRE ALARM SYSTEM.

NOTE:

THESE PLANS ARE INTENDED TO SHOW GENERAL DESIGN. ANY STRUCTURAL DESIGN CHANGES TO DRAMAIS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ABOVE APPROXIMATE LUMBER SPAN CHARTS SHOULD BE REFERENCED TO BE GUIDING KINDS OF LUMBER AND SPACES OF LUMBER. THE DEPTH AND SIZE OF FOUNDATION WALLS OR FOOTINGS AND RESULTS ARE ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNER IF CHANGED. ALL CITY/STATE CODES SHOULD BE FOLLOWED. ANY WORK WITH LUMBER MUST BE 1/2" PITCH THAT HAVE POTENTIAL WATER PROBLEMS.

PROPERTY LINES MUST BE SURVEYED PRIOR TO BEGINNING OF FOUNDATION.

BECAUSE OF THE POSSIBILITY OF PRODUCING ANY DIRECT IMPROVISON OR CONTROL, OVER THE CONSTRUCTION OF THIS BUILDING, THE OWNER ASSUMES THE RESPONSIBILITY FOR ANY DAMAGE, INCLUDING STRUCTURAL FAILURES, DUE TO ANY DEFICIENCIES, OMISSIONS OR ERRORS ON THE PART OF THE CONTRACTOR'S INSTALLATION OF MATERIAL, IN THE EXECUTION OF THE DESIGN DUE TO VARIATION LUMBER GRADERS AND ENGINEERED LUMBER.

THESE PLANS SHALL BE PROVIDED TO A COMPETENT LICENSED SUPPLIER FOR FINAL ORDERING OF ALL MATERIALS.

PLEASE NOTE:
Rise alterations are needed to be made due to the installation of existing heating & electrical services. In addition, the location of electrical outlets, switches & lights may need to be modified according to applicable building codes.
By contract, the licensor reserves the right to make any necessary final adjustments to contract by amendments to the plans.

Signature: _____ Date: _____
Signature: _____ Date: _____



PHONE: CELL
216-389-8911
EMAIL:
EgZrone6839@gmail.com
DRAWN BY:
ED. ZERNICKI

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CONTRACTOR # COPYRIGTH0029 BY:

COMMENTS / REVISIONS	1.	2.	3.	4.	5.

CLIENT/LOCATION
1400 VICTORIA AVE
LAKEWOOD, OHIO

PROJECT:
ENCLOSE FRONT PORCH
CONTRACTOR:

FOLLOW ONLY 2019
RESIDENTIAL CODE OF OHIO

SCALE: 1/4" = 1'-0"
DATE PRINTED:
PAGE 2 OF 4

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEIR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL GOVERNING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND TAKE NECESSARY PRECAUTIONS TO AVOID ANY COLLISIONS WITH EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND TAKE NECESSARY PRECAUTIONS TO AVOID ANY COLLISIONS WITH EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND TAKE NECESSARY PRECAUTIONS TO AVOID ANY COLLISIONS WITH EXISTING UTILITIES AND STRUCTURES.



Docket No. 12-99-23 (1490 Victoria)
Porch Enclosure – Mohammed

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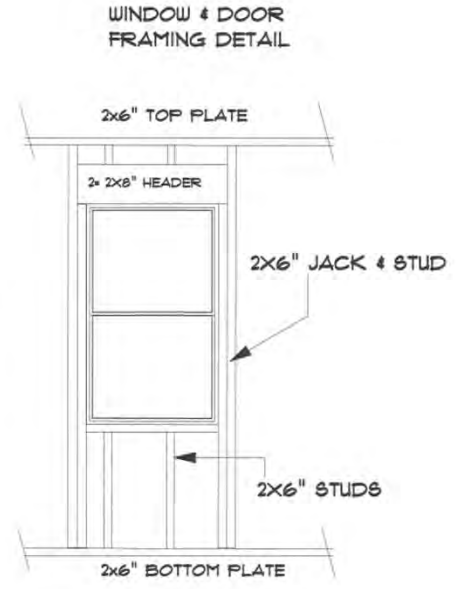
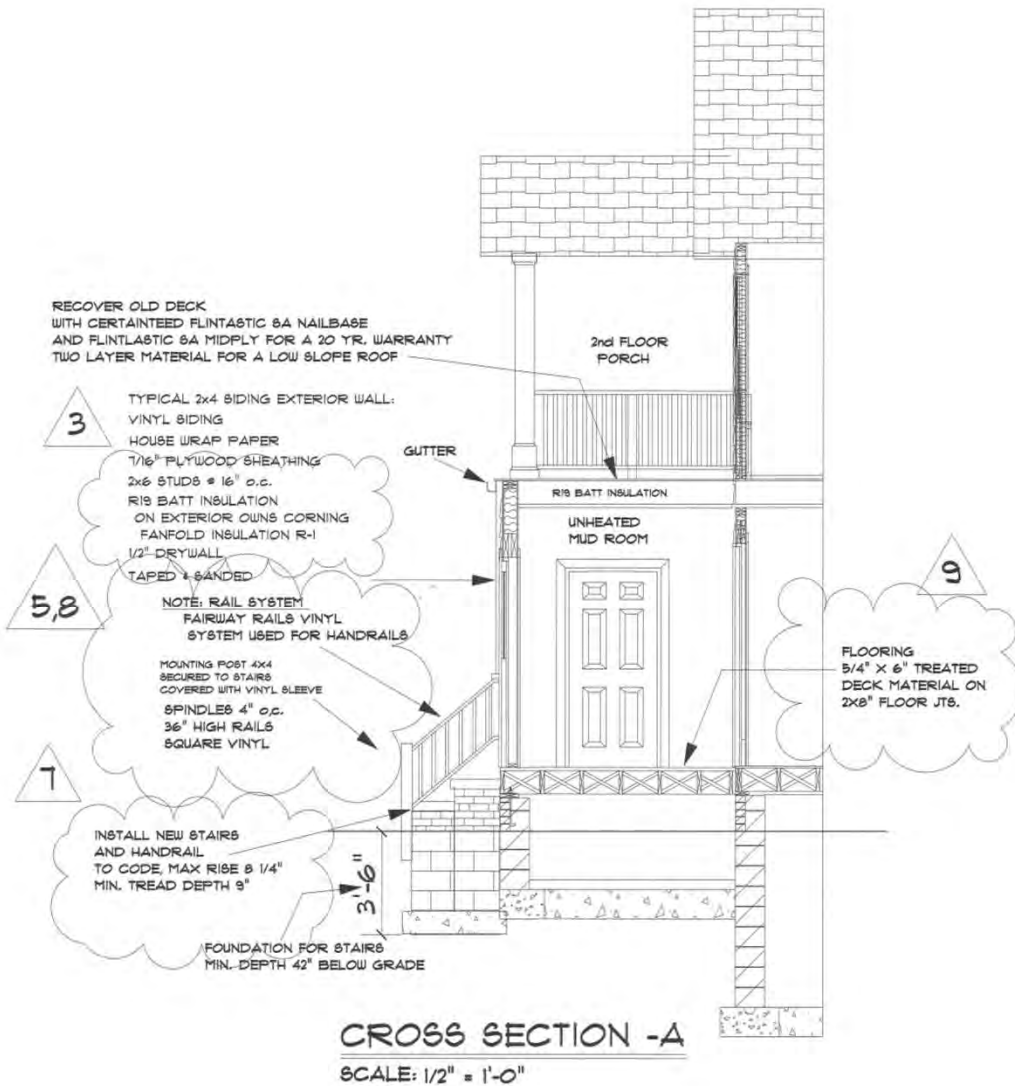
COMMENTS / REVISIONS	3.	4.	5.
1.	2.		

CLIENT/LOCATION
1490 VICTORIA AVE.
LAKEWOOD, OHIO

PROJECT:
BUNGALOW PORCH
CONTRACTOR:

FOLLOW ONLY 2019
RESIDENTIAL CODE OF OHIO
SCALE: 1/4" = 1'-0"
DATE PRINTED:

A GENERAL CHECK ONLY HAS BEEN MADE IN PREPARING THESE PLANS AND ENGINEERS SHALL BE RESPONSIBLE FOR THE SAME FOR ALL CODES, ORDINANCES AND REGULATORY AGENCIES. THESE DRAWINGS CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL VERIFY ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.



CROSS SECTION -A
SCALE: 1/2" = 1'-0"

- NOTE: LIST OF ITEMS SUPPLIED BY OTHERS**
- ENERGY CODE COMPLIANCE SHEETS
 - MECHANICALS HVAC, PLUMBING ISOMETRIC DRAWINGS
 - PROPERTY SURVEY OR SITE PLAN
 - DETAIL ON FRAMING, AND FASTNERS FOR TRUSS PACKAGE
 - DETAIL ON MATERIAL, COLORS & TRIM SELECTIONS
 - SMOKE AND FIRE ALARM SYSTEM.

NOTE:
THESE PLANS ARE INTENDED TO SHOW GENERAL DESIGN. ANY TECHNICAL DESIGN CHOICES TO DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ARCHITECT. LUMBER SPAN CHARTS SHOULD BE REFERRED TO IN DETERMINING KINDS OF LUMBER AND SIZES OF LUMBER. THE DEPTH AND SIZE OF FOUNDATION SHALL BE DETERMINED BY THE CONTRACTOR AND/OR ARCHITECTS. IF CHANGED, ALL CITY STATE CODES SHOULD BE FOLLOWED. ANY FOOTING SHALL BE AT LEAST 4\"/>

PROPERTY LINES MUST BE SURVEYED PRIOR TO SUGGESTION OF FOUNDATION.
BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY DIRECT SUPERVISION OR CONTROL OVER THE CONSTRUCTION OF THIS BUILDING, THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE, INCLUDING STRUCTURAL FAILURES, DUE TO ANY DEFICIENCIES, OMISSIONS OR ERRORS OR FOR THE IMPROPER INSTALLATION OF MATERIAL IN THE EXECUTION OF THE DESIGN OR TO VARIATION LUMBER GRADES AND ENGINEERED LUMBER.
THESE PLANS SHALL BE PROVIDED TO A COMPETENT LUMBER SUPPLIER FOR FINAL ORDERING OF ALL MATERIALS.

PLEASE NOTE:
These drawings are based on my very best to the best of my knowledge, having a reasonable reliance on the accuracy of the information furnished to me. I warrant that I have not been negligent in the preparation of these drawings. I warrant that I have not been negligent in the preparation of these drawings. I warrant that I have not been negligent in the preparation of these drawings.

Signature: _____ Date: _____
Signature: _____ Date: _____



Applicant proposes window replacement on first floor.

City Notes:

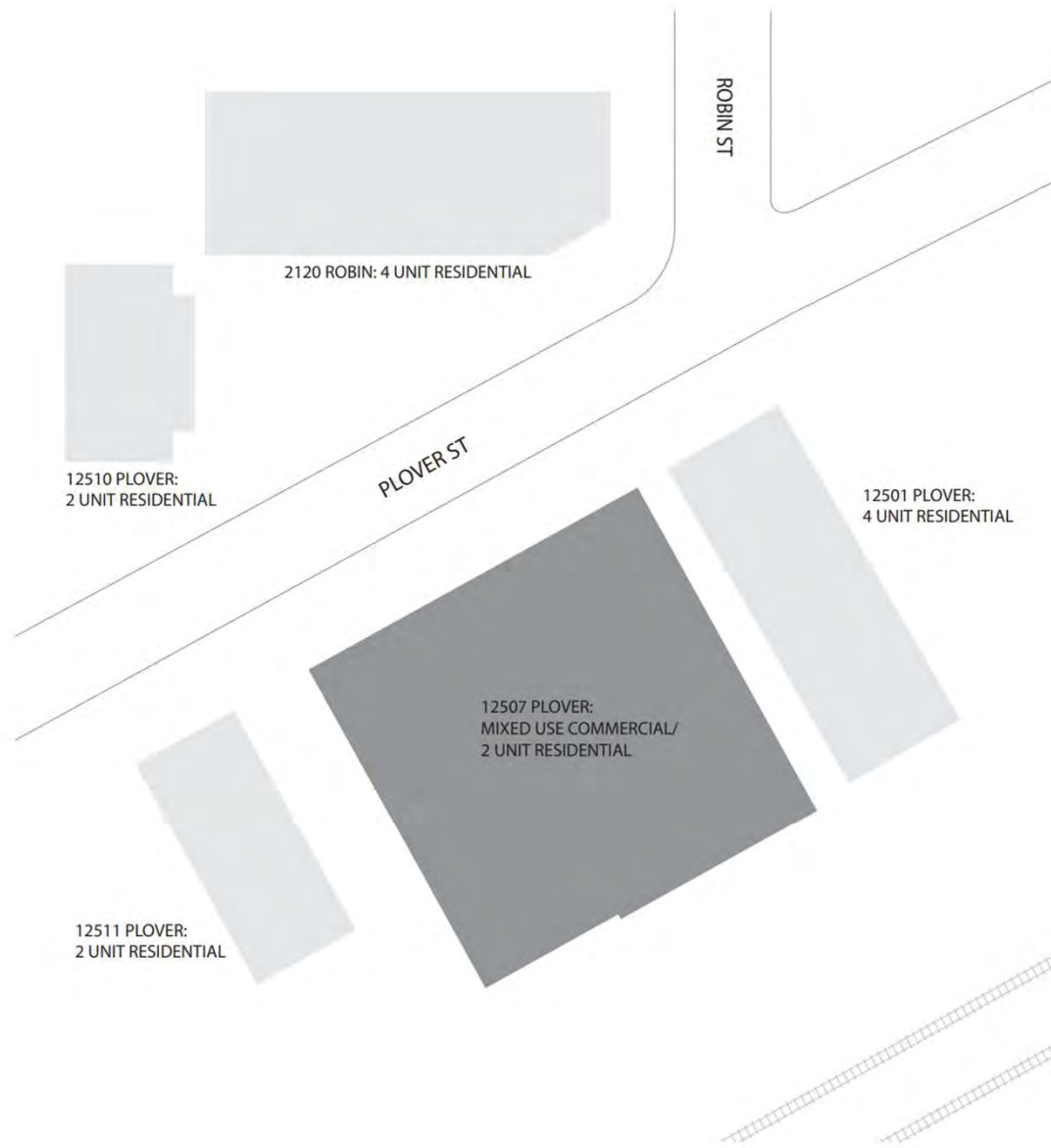
N/A

12507 Plover St



Docket No. 12-100-23 (12507 Plover)

**Window Replacement
Heather Mease**



SITE PLAN
1/32" = 1'-0"



Docket No. 12-100-23 (12507 Plover)

Window Replacement – Mease



NORTH EXTERIOR



NORTH INTERIOR



SOUTH EXTERIOR



SOUTH INTERIOR



ADJACENT MULTIFAMILY HOUSING

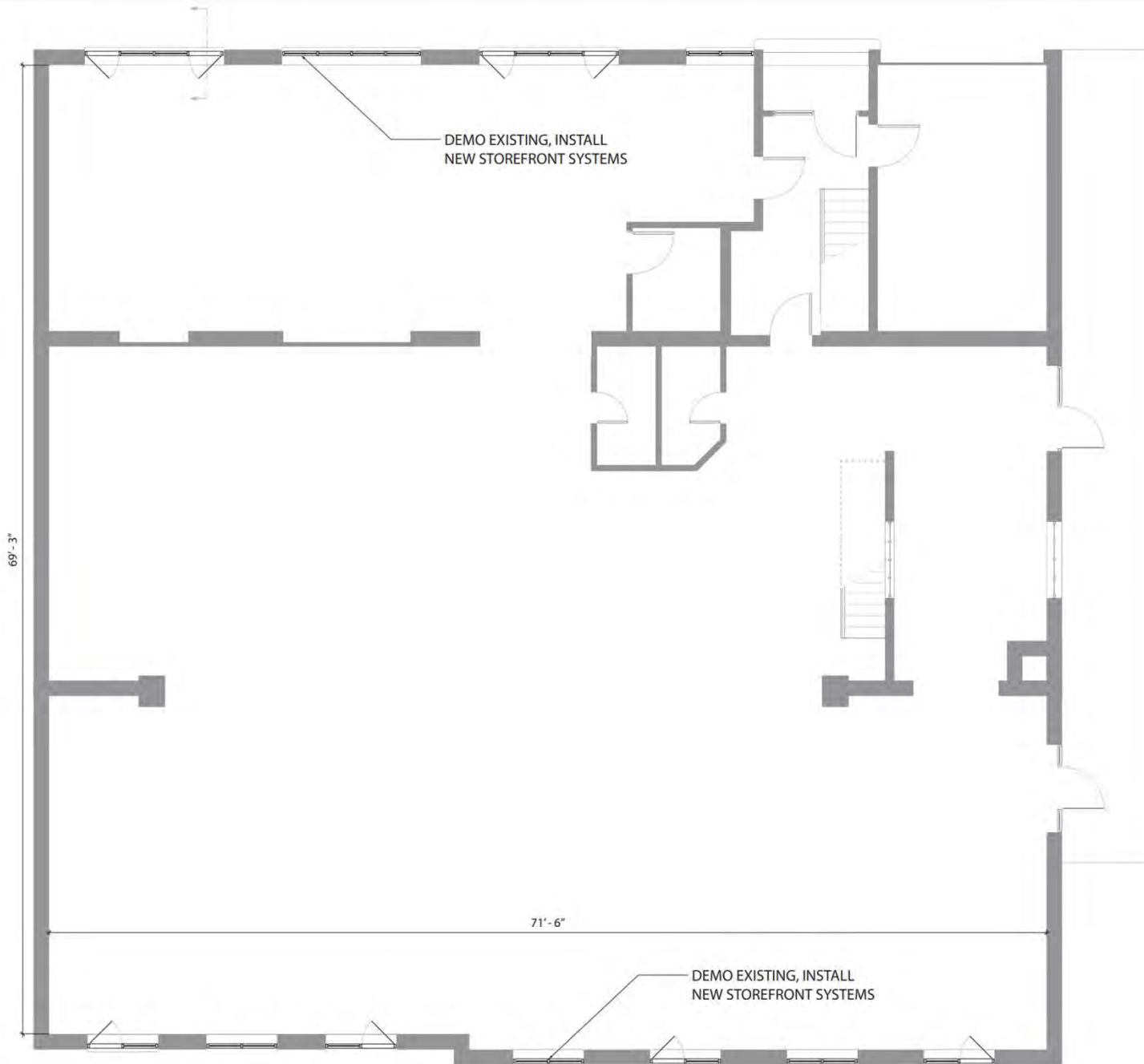


EXISTING CONDITIONS



Docket No. 12-100-23 (12507 Plover)

Window Replacement – Mease

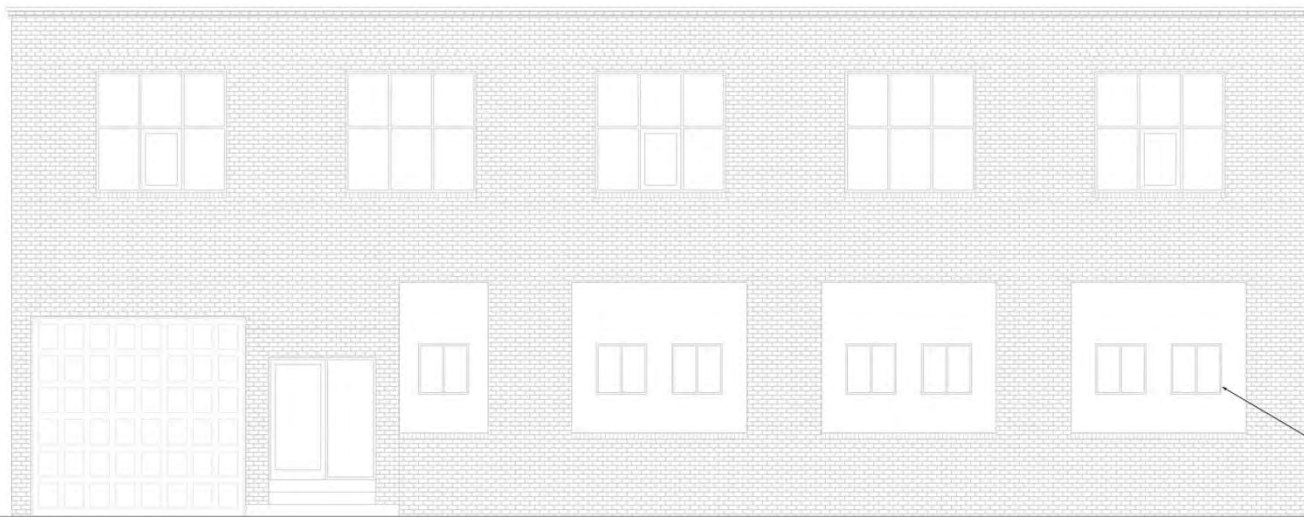


FIRST FLOOR PLAN
1/8" = 1'-0"



Docket No. 12-100-23 (12507 Plover)

Window Replacement – Mease



EXISTING NORTH ELEVATION

DEMO EXISTING FRAMED
WALLS AND WINDOWS TO
ORIGINAL BRICK OPENINGS



PROPOSED NORTH ELEVATION
1/8" = 1'-0"

NEW KAWNEER STOREFRONT SYSTEMS



Docket No. 12-100-23 (12507 Plover)

Window Replacement – Mease



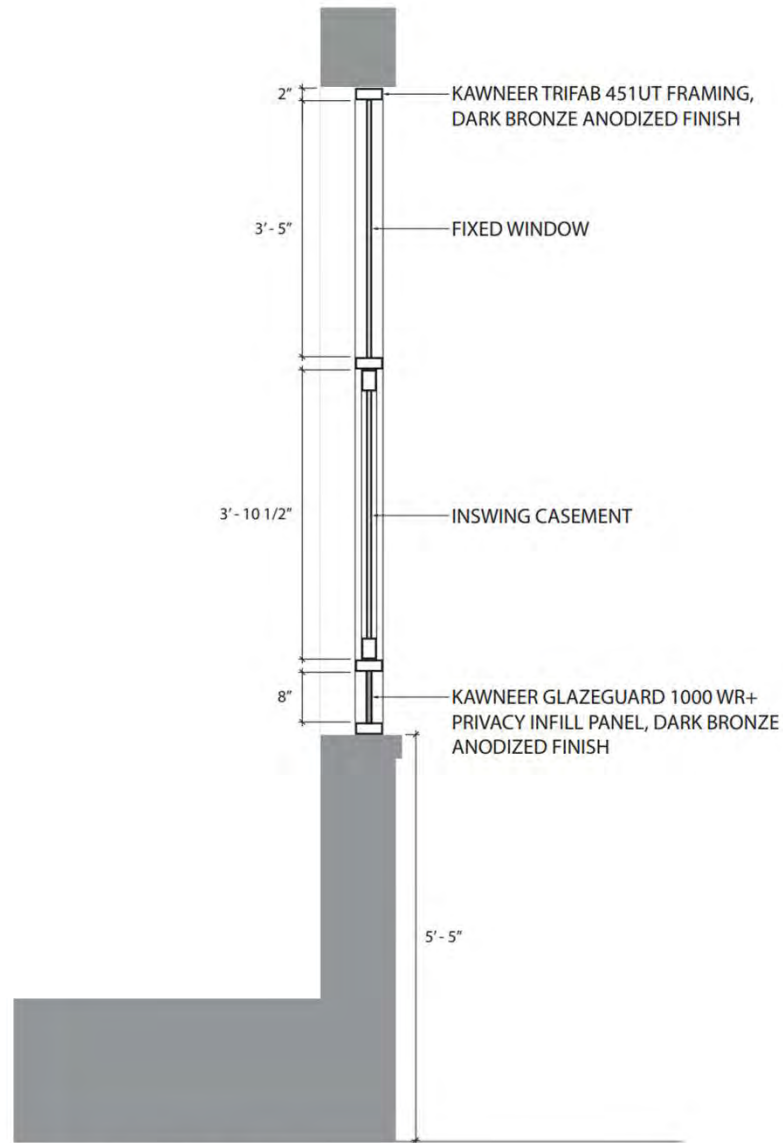
PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

NEW KAWNEER STOREFRONT SYSTEMS



Docket No. 12-100-23 (12507 Plover)

Window Replacement – Mease



NORTH WINDOW SECTION
 1/2" = 1'-0"

Docket No. 12-100-23 (12507 Plover)
 Window Replacement – Mease





INTENDED MATERIAL



Docket No. 12-100-23 (12507 Plover)
Window Replacement – Mease

Water Resistant Infill Solution
With Increased Thermal Value

GLAZEGUARD® 1000 WR+

WATER RESISTANT GLAZING INFILL PANELS

FEATURES & BENEFITS

- fits standard 1" glazing systems
- custom thicknesses up to 3-1/2"
- economical, textured polyester finishes
- long-lasting, smooth Kynar 500® finishes
- anodized finishes to match storefronts
- water resistant
- polypropylene stabilizers, foam core
- can be easily cut-to-size in the field
- very low maintenance
- no minimum quantities
- quick lead time
- available in several standard sizes



Description:

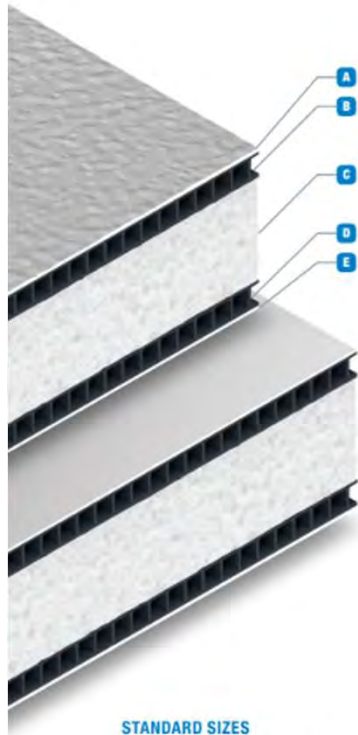
GlazeGuard® 1000 WR+ is a composite panel with textured or smooth aluminum skins, polypropylene stabilizers, and an EPS or ISO foam core. Panels are furnished with a strippable film on the painted surfaces to protect the finish during shipment and installation.

Use & Application:

GlazeGuard® 1000 WR+ is installed in aluminum glazing or storefront channels (on setting blocks) and sealed using gaskets. No fasteners or adhesives are used in the installation of the panel. Typical applications include glazing infill, modesty screens, spandrel panels, and railing inserts.



Docket No. 12-100-23 (12507 Plover)
Window Replacement – Mease



STANDARD SIZES

- 48" x 96" (121.9cm x 243.8cm)
- 48" x 120" (121.9cm x 304.8cm)
- 48" x 144" (121.9cm x 365.8cm)
- 60" x 96" (152.4cm x 243.8cm)
- 60" x 120" (152.4cm x 304.8cm)
- 60" x 144" (152.4cm x 365.8cm)

Cut-to-size panels are available in any increment up to 60" x 144".

WARRANTY

- Panel Composition: 5 years
- Polyester Finishes: 5 years
- Kynar 500® Finishes: 30 years
- Anodized Finishes: 20 years

RECYCLED CONTENT (BY WEIGHT)

Panels With Textured Skins

- Post-Consumer: EPS - 0.9% ISO - 0.9%
- Post-Industrial: EPS - 13.1% to 17.0%
- ISO - 12.5% to 16.2%

Panels With Smooth Skins

- Post-Consumer: EPS - 0.7% ISO - 0.7%
- Post-Industrial: EPS - 29.9% to 32.5%
- ISO - 28.7% to 31.2%

GLAZEGUARD® 1000 WR PLUS

MATERIAL PROPERTIES

Component	Standard (in)	Metric (mm)
A Prefinished Textured Aluminum ¹ (or) Prefinished Smooth Aluminum ¹	.010" .024"	0.25mm 0.61mm
B High Density Polypropylene	1/8"	3.00mm
C Expanded Polystyrene (EPS) Foam (or) Polyisocyanurate (ISO) Foam	11/16" 11/16"	17.4mm 17.4mm
D High Density Polypropylene	1/8"	3.00mm
E Prefinished Textured Aluminum ¹ (or) Prefinished Smooth Aluminum ¹	.010" .024"	0.25mm 0.61mm

PANEL PROPERTIES

Property	Standard (in)	Metric (mm)
Panel Weight	Textured Skins - EPS / ISO	0.80 / 0.84 lbs/ft ²
	Smooth Skins - EPS / ISO	1.18 / 1.23 lbs/ft ²
Nominal Thickness	1"	25mm
Thickness Tolerance	±1/16"	±1.59mm
Length & Width Tolerance	+0, -1/8"	+0, -3.18mm
Squareness	1/64" per lineal ft	
Flatness	visually flat	

FINISH PROPERTIES

Finish	Type	Coating
Textured Polyester	1-coat	0.80 mil color
Smooth Kynar 500®	2-coat PVDF (solid, mica)	0.20 mil primer + 0.80 mil color
	3-coat PVDF (metallic)	0.20 mil primer + 0.80 mil color + 0.70 mil clear
Smooth Anodized	Exterior Standard No. 1 ²	0.20 mil to 0.45 mil (depending on color)

PANEL PERFORMANCE

Property	Test	Value	Unit
Flame Spread	ASTM E84	Class A	---
R-Value - EPS / ISO	---	4.19 / 6.13	°F-ft ² -h/BTU
Wind Load (4' x 4' and 4' x 8' tested)	ASTM E72	varies, available upon request	

1 - Prefinished aluminum skins are furnished with a PVC film for protection during shipment and installation.
2 - Class I or Class II anodizing is available as a premium custom finish. However, the warranty remains the same and fabrication difficulties will result (increased crazing, cracking) due to the increased film thickness.



Docket No. 12-100-23 (12507 Plover) Window Replacement – Mease

TRIFAB® VG (VERSAGLAZE®)
TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance Versatility with Unmatched Fabrication Flexibility



Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.



Docket No. 12-100-23 (12507 Plover)

Window Replacement – Mease

ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
- **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



Brighton Landing
Cambridge, Massachusetts
ARCHITECT
ADD Inc., Cambridge, Massachusetts
GLAZING CONTRACTOR
Ipswich Bay Glass Company, Inc., Rowley, Massachusetts
PHOTOGRAPHER
© Gordon Schenck, Jr.

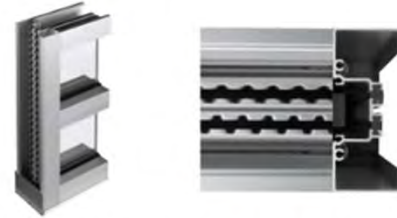
All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

PERFORMANCE

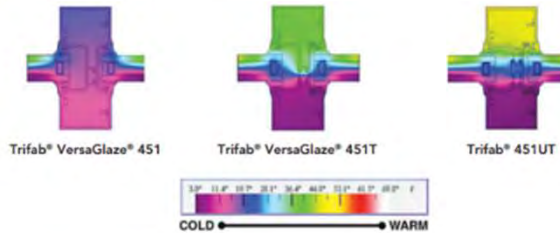
Kawneer’s Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

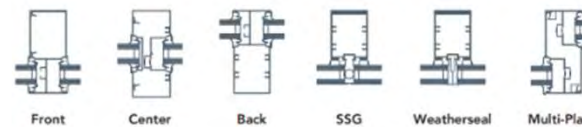
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425



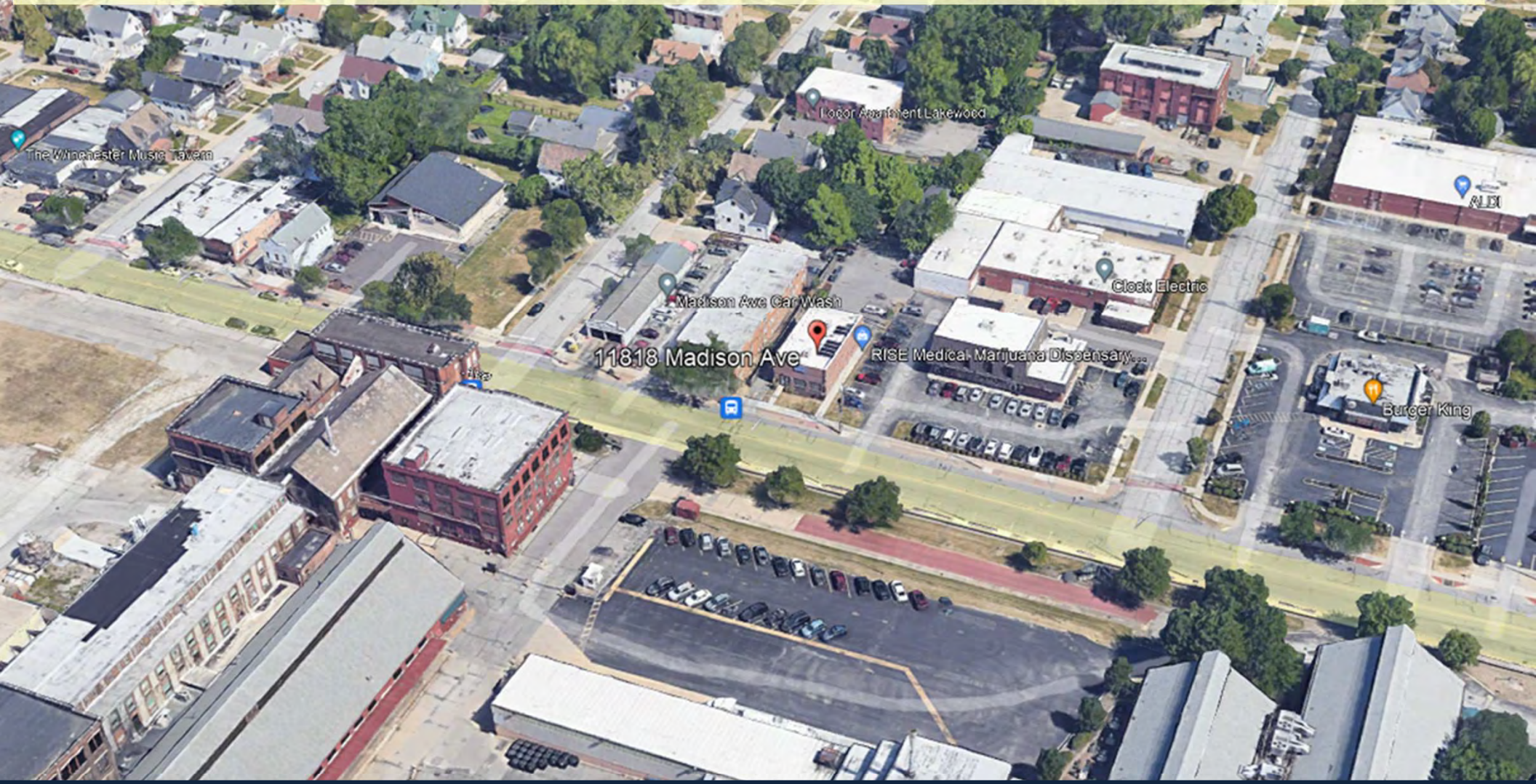
Docket No. 12-100-23 (12507 Plover)

Window Replacement – Mease

Applicant proposes building renovation.

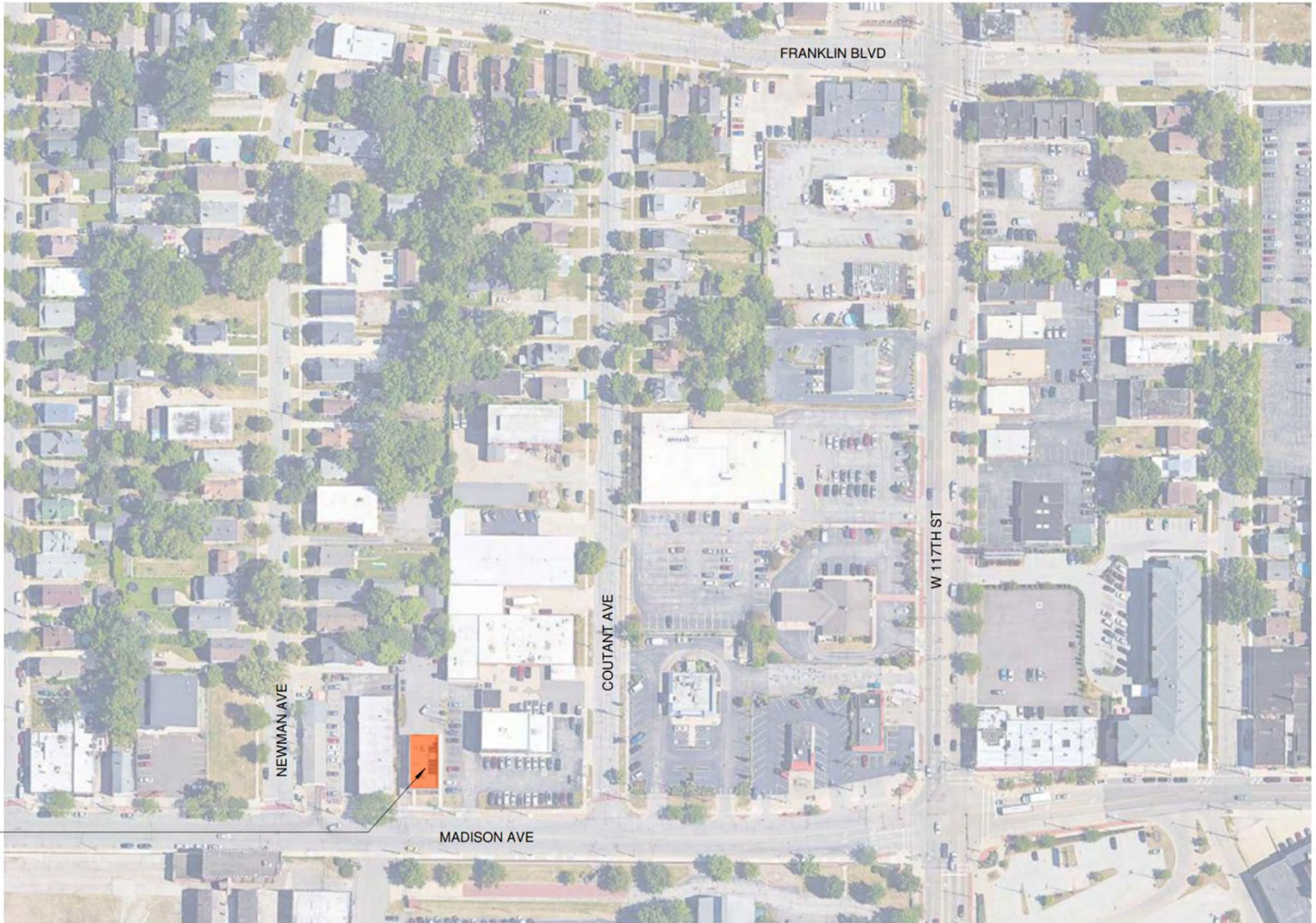
City Notes:

N/A



Docket No. 12-101-23 (11818 Madison)

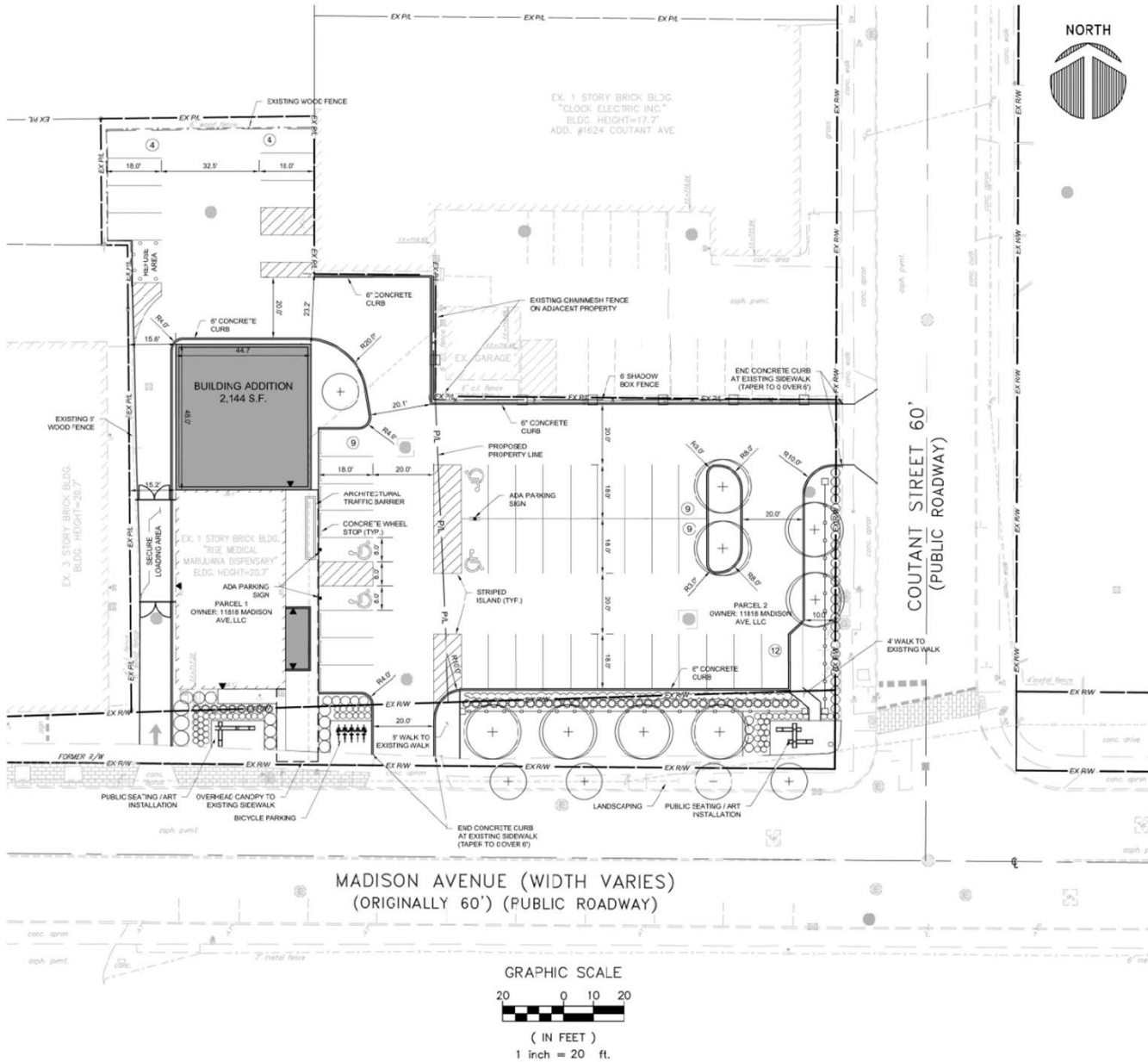
**Dispensary Renovation – RISE Lakewood
Jonathan Ziegan**



11818 MADISON AVE
LAKEWOOD, OH

Docket No. 12-101-23 (11818 Madison)
Dispensary Renovation – Ziegen





PARCEL 1 SUMMARY

FEATURE	CURRENT	REQUIRED	PROPOSED
ZONE	C3-COMMERCIAL-GENERAL		C3-COMMERCIAL-GENERAL
USE	MEDICAL, MARILIANA DISPENSARY		MEDICAL/MARILIANA DISPENSARY
USE CATEGORY	CONDIT ONAL USE	CONDITIONAL USE	CONDIT ONAL USE
PARCEL AREA	12,240 GSF	10,090 GSF	10,100 GSF
BUILDING AREA	2,276 GSF		4,520 GSF
PARKING COUNT	14	1 TO 2.5 SPACE / 1000 GSF: 5 TO 11	17
ACCESSIBLE PARKING COUNT	1		2
BICYCLE PARKING COUNT	0	2	1
FRONT SETBACK	6.1 FT	5 FT MAX	1.1 FT
REAR SETBACK	59.7 FT (TO PL BE REMOVED)	> 1/2 HEIGHT AND > 1 FT	23.2 FT
SIDE SETBACK	14.7 FT	> 5 FT	14.7 FT

PARCEL 2 SUMMARY (EXISTING BUILDING DEMOLISHED WITH NO PROPOSED BUILDINGS)

FEATURE	CURRENT	REQUIRED	PROPOSED
ZONE	C3-COMMERCIAL-GENERAL		C3-COMMERCIAL-GENERAL
USE	MOYOR VEHICLE RENTAL		PUBLIC PARKING
USE CATEGORY	CONDIT ONAL USE		PUBLIC PARKING PERMITTED
PARCEL AREA	18,597		17,775 GSF
BUILDING AREA	2,376 GSF		
PARKING COUNT	39		30
ACCESSIBLE PARKING COUNT	2	2	2
BICYCLE PARKING COUNT	0	0	0
FRONT SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
REAR SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
SIDE SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE

LANDSCAPE PLAN NOTE:
SEE THE LANDSCAPE PLAN BY DEKL LANDSCAPE ARCHITECTURE FOR DETAILS OF THE LANDSCAPING, FENCING, AND SITE FURNISHINGS.

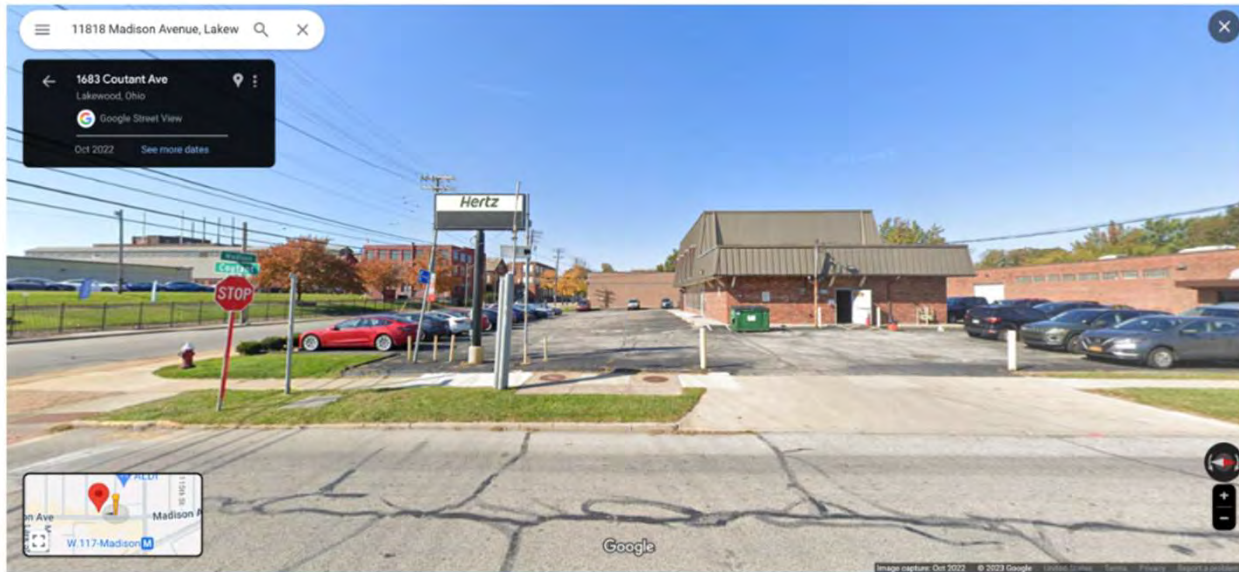
Docket No. 12-101-23 (11818 Madison)

Dispensary Renovation – Ziegan





View of 11810 Madison from Coutant Ave (#1)



View of 11810 Madison from Coutant Ave (#2)

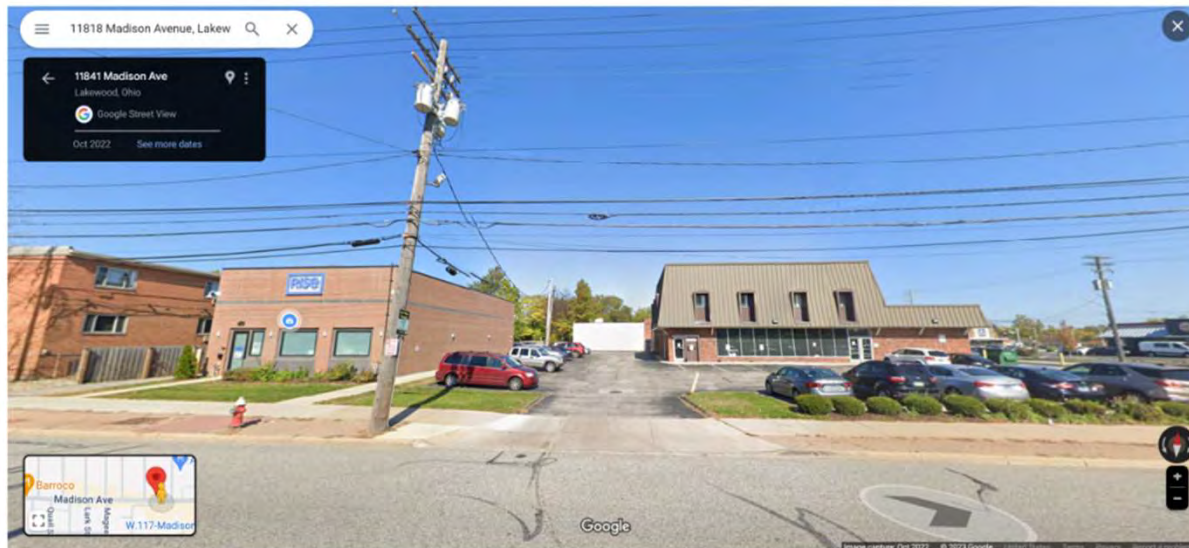


Docket No. 12-101-23 (11818 Madison)

Dispensary Renovation – Ziegen



View of 11810 & 11818 Madison from intersection of Madison Ave and Coutant Ave



View of 11810 Madison from Madison Ave



Docket No. 12-101-23 (11818 Madison)

Dispensary Renovation – Ziegen



View of 11818 Madison from Madison Ave



Docket No. 12-101-23 (11818 Madison)

Dispensary Renovation – Ziegen

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION

11818 MADISON AVE., LAKEWOOD, OHIO 44107



DRAWING INDEX - CONCEPT SET

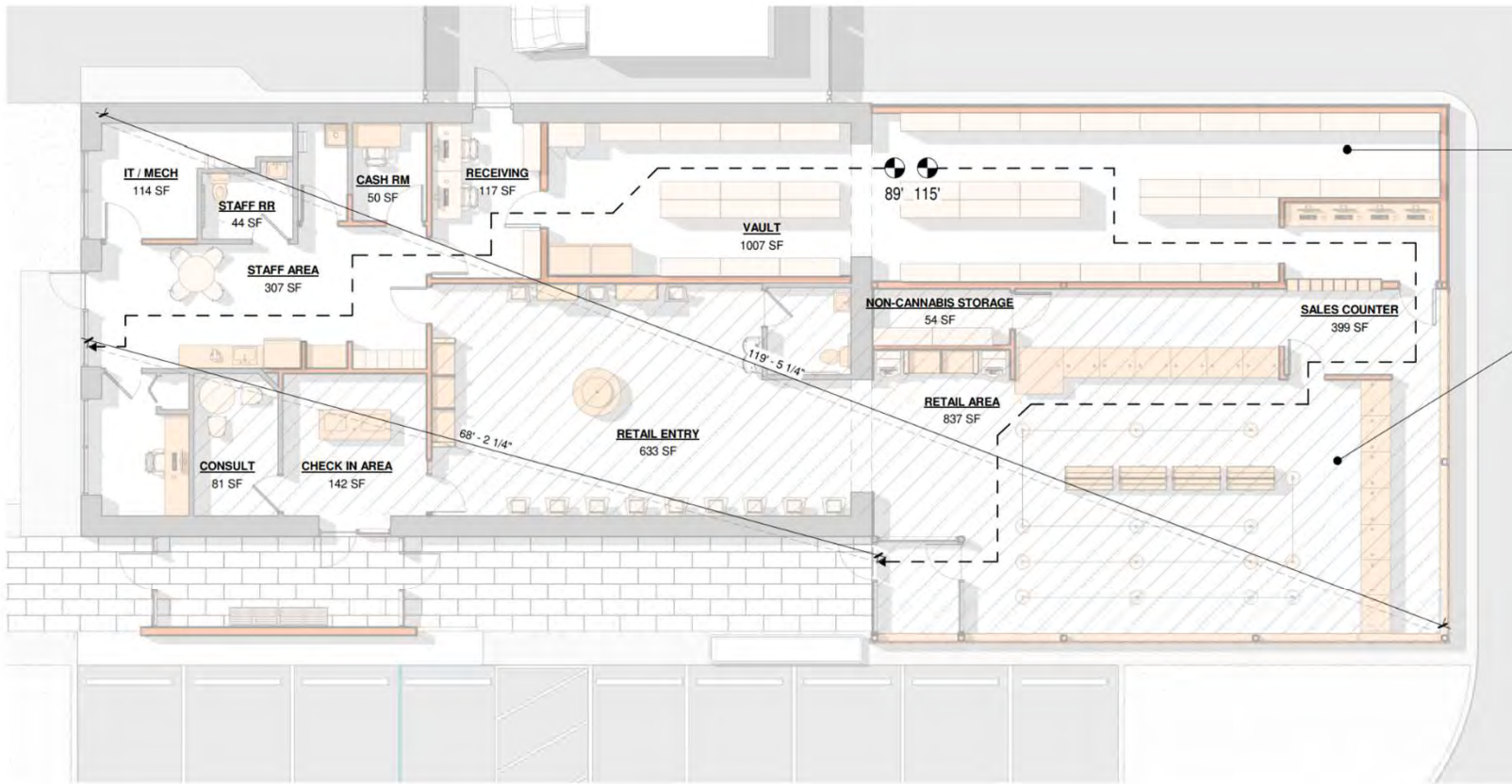
CS	COVER SHEET
LS-1	CODE ANALYSIS PLAN
A-1	LOCATION MAP
A-2	EXISTING PHOTOS
A-3	EXISTING FLOOR PLAN
A-4a	PROPOSED SITE PLAN
A-4b	ALTERNATE SITE PLAN
A-5	PROPOSED FLOOR PLAN
A-6	EXTERIOR RENDERING
A-7	EXTERIOR RENDERING
A-8	EXTERIOR RENDERING
A-9	PARTIAL AXON
A-10	OVERALL AXON

PROJECT DESCRIPTION

CDA has been engaged to expand the existing Rise dispensary located at 11818 Madison Avenue. The expansion will consist of two volumes added to the rear of the building expanding both the sales floor and the back of house space. The final building square footage will be approximately 4,551 square feet. The front of house volume is proposed to be clad in polycarbonate which allows extensive daylighting into the space while fully obscuring views into the sales floor from the exterior. The interior of the existing space will be fully renovated with minor upgrades to the exterior of the existing building.



Docket No. 12-101-23 (11818 Madison)
Dispensary Renovation – Ziegen



STORAGE, STOCK & SHIPPING
 1,780 S.F. @ 300 GROSS OCCUPANTS
 = 6 OCCUPANTS (TABLE 1004.5)

MERCANTILE
 2,300 S.F. @ 60 GROSS OCCUPANTS
 = 38 OCCUPANTS (TABLE 1004.5)
 DESIGN OCCUPANT LOAD = 49 OCCUPANTS

CODE SUMMARY NOTES - 2018 IBC	
PROJECT TYPE:	RENOVATION / ADDITION TENANT FIT-OUT (LEVEL 3 ALTERATION)
LOCATION:	LAKEWOOD, OH
OCCUPANCIES:	MERCANTILE (M)
MAX. OCCUPANT LOAD:	44
CONSTRUCTION:	TYPE VB CONSTRUCTION (UNPROTECTED WOOD FRAME)
EXISTING FIRE RESISTANCE:	NON-SPRINKLERED
MAX. TRAVEL DISTANCE:	200'-0" AS PER TABLE 1017.2
TOTAL SF=	GROUND FLOOR: 4,160 SF (INTERIOR GROSS S.F.) (MAX. 9,000 SF @ TABLE 506.2)
NUMBER OF STORIES:	1 STORY (MAX. 1 STORY - TABLE 504.4)
HEIGHT=	+/- 26' 7" (MAX. 40' 0" - TABLE 504.3)

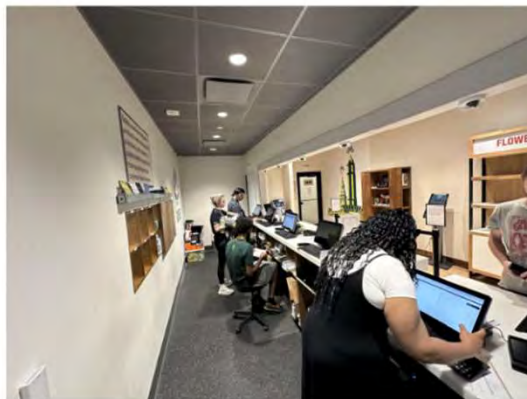
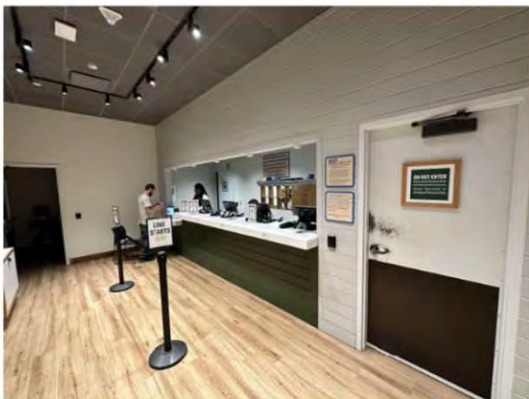
OHIO CODES IN FORCE
OHIO BUILDING CODE 2017
OHIO FIRE CODE 2017
OHIO PLUMBING CODE 2017
OHIO MECHANICAL CODE 2017
OHIO FUEL GAS CODE 2015
OHIO ENERGY CODE 2017
OHIO ACCESSIBILITY CODE 2009
ADA STANDARDS 2010
OHIO ELECTRICAL CODE 2017
LIFE SAFETY CODE OF OMS
OHIO FIRE ALARM CODE 2016

PLUMBING	
PLUMBING PER IBC TABLE 2902.1	
1 WATER CLOSET PER 500 OCC.	1 REQ'D / 2 PROVIDED
1 LAVATORY PER 750 OCC.	1 REQ'D / 2 PROVIDED
1 WATER FOUNTAIN PER 1000 OCC.	1 REQ'D / 1 PROVIDED
1 JANITOR CLOSET	1 REQ'D / 1 PROVIDED



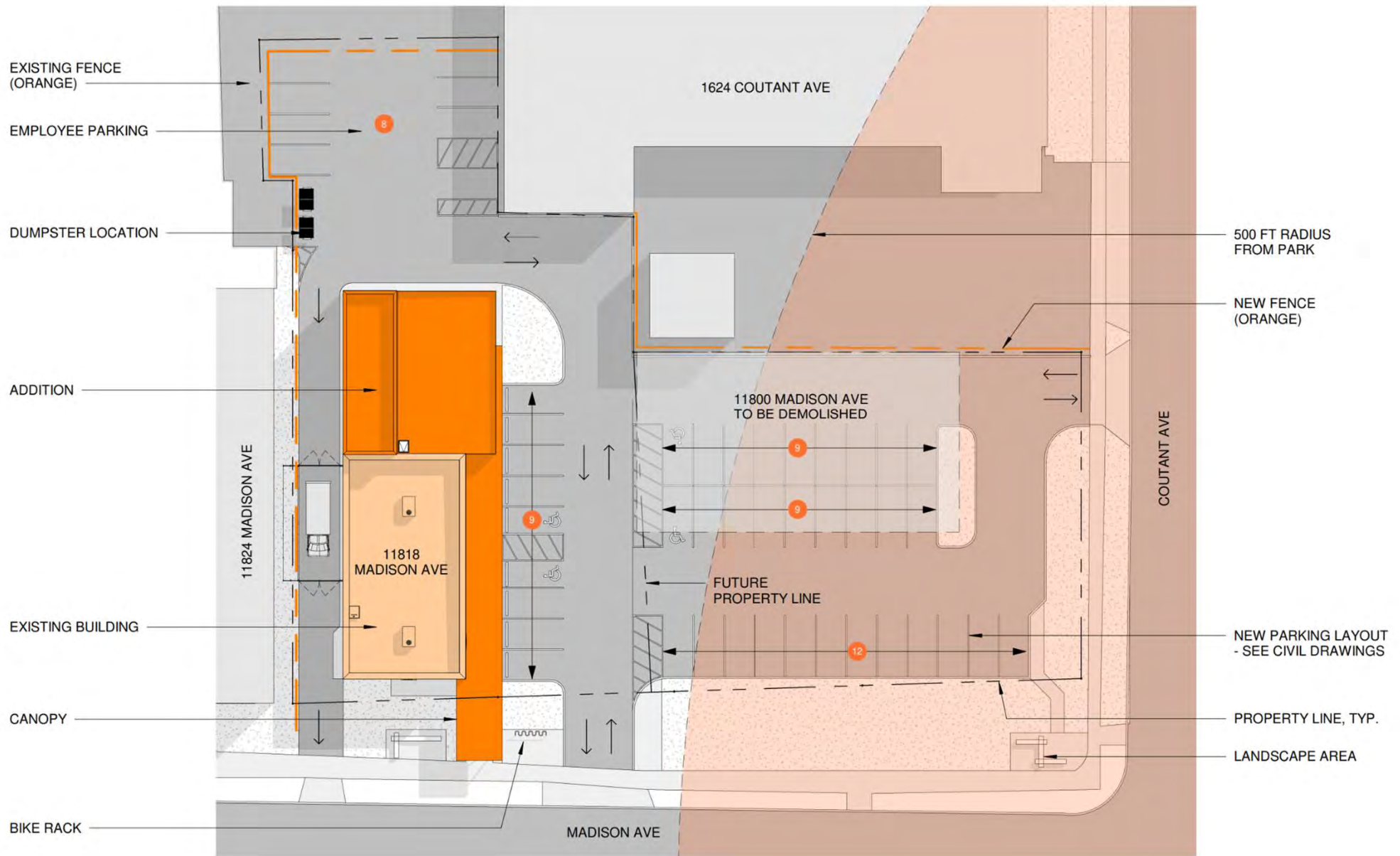
Docket No. 12-101-23 (11818 Madison)

Dispensary Renovation – Ziegen



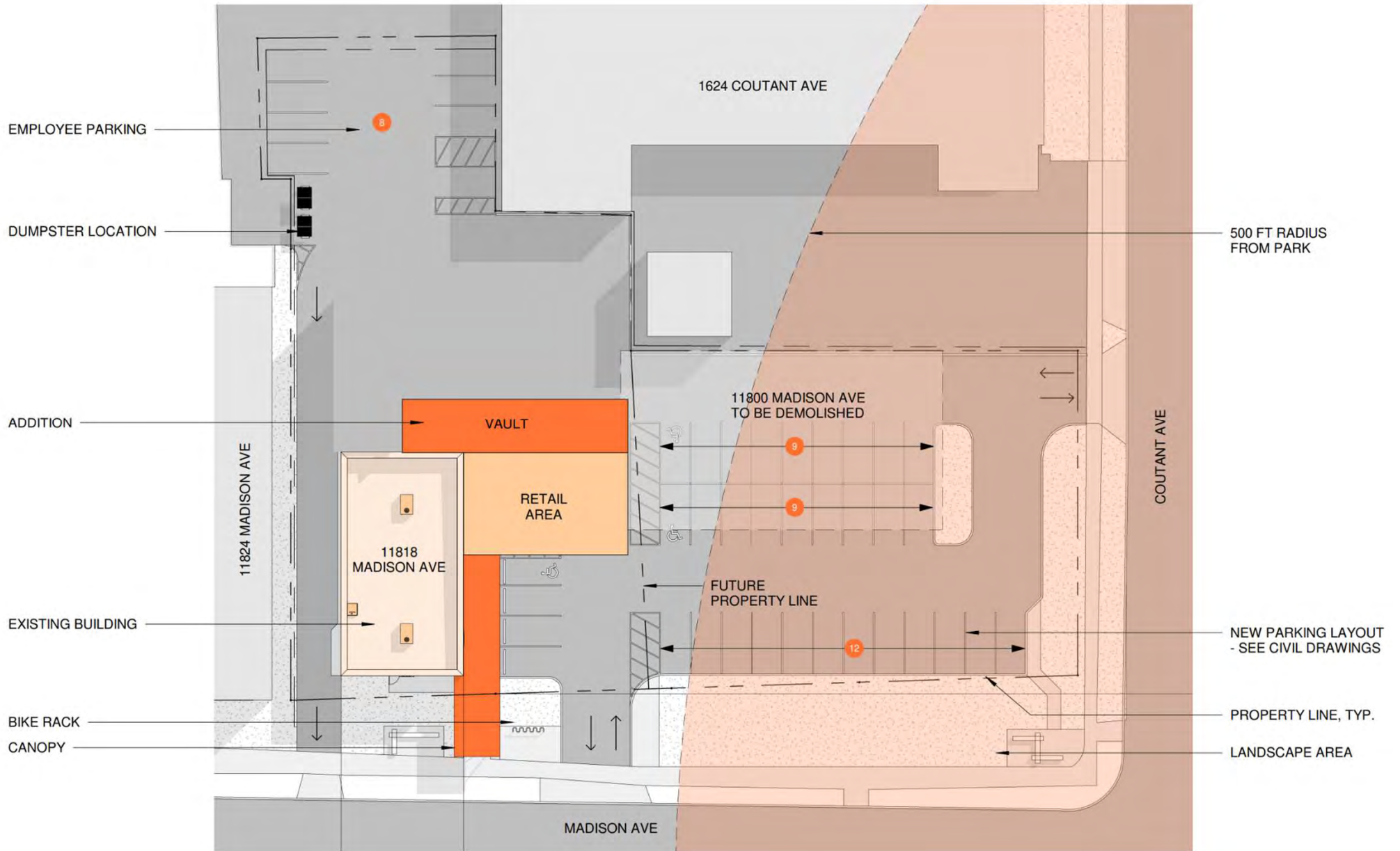
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Proposed Site Plan



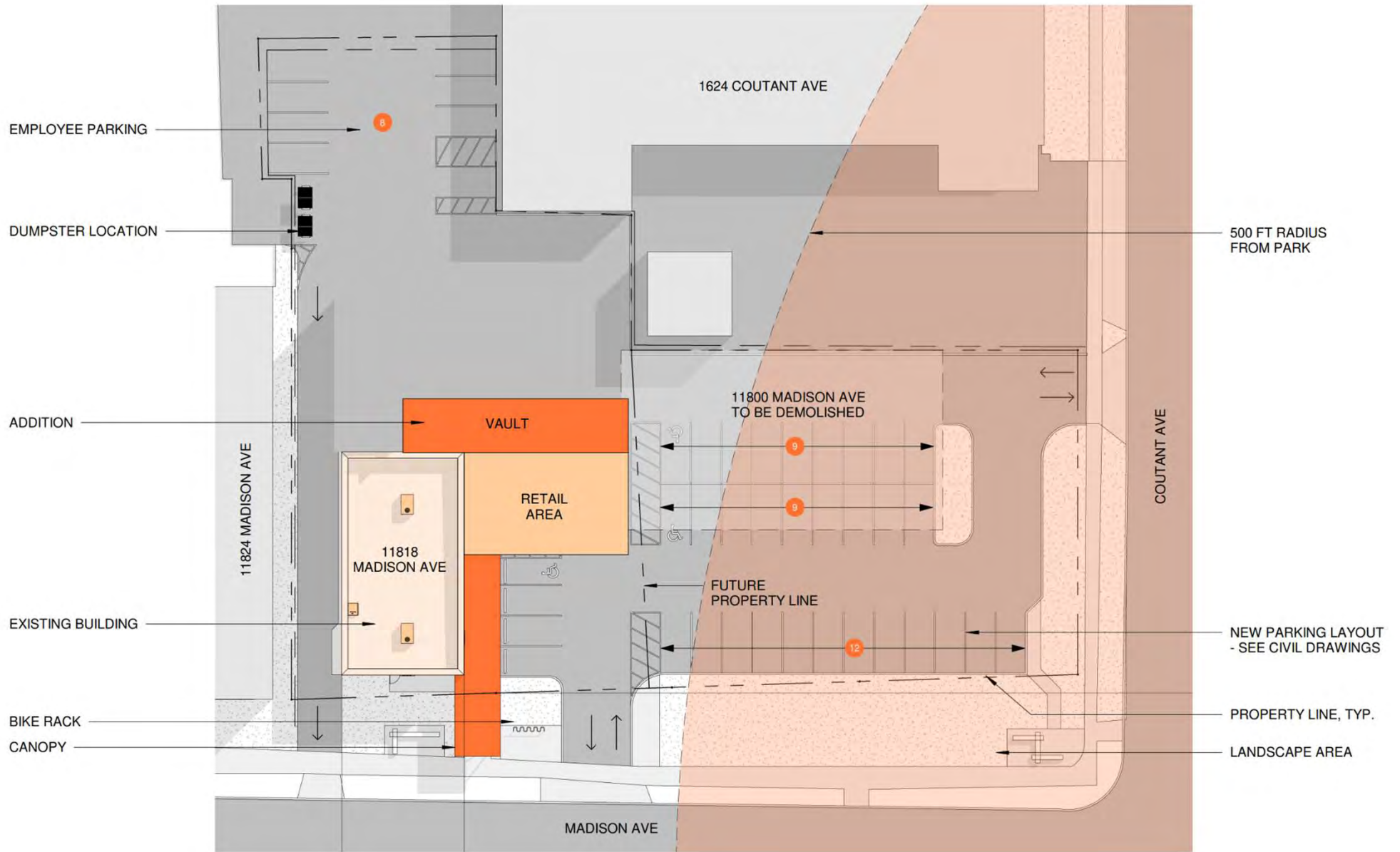
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Alternate Site Plan

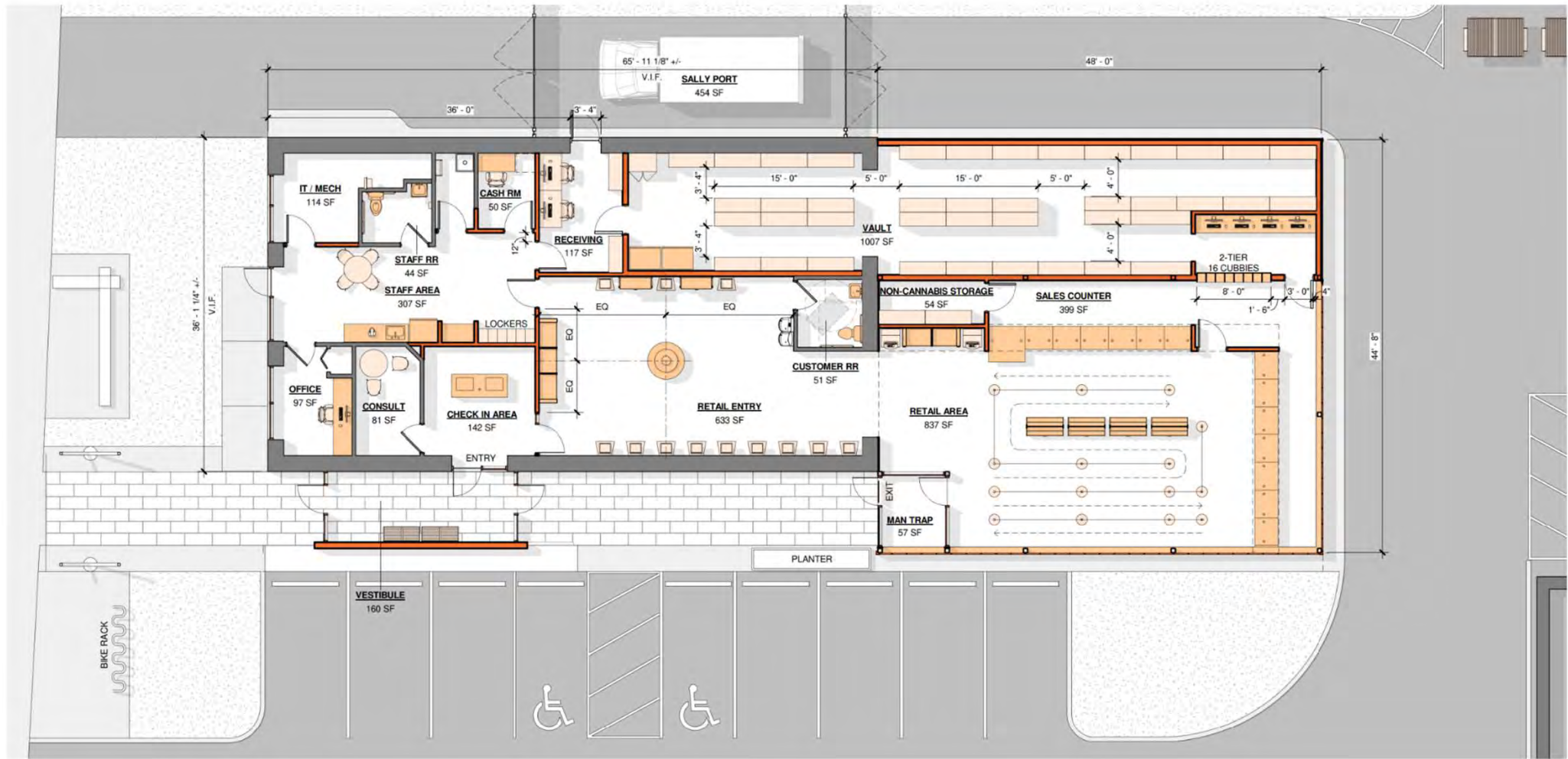


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Alternate Site Plan

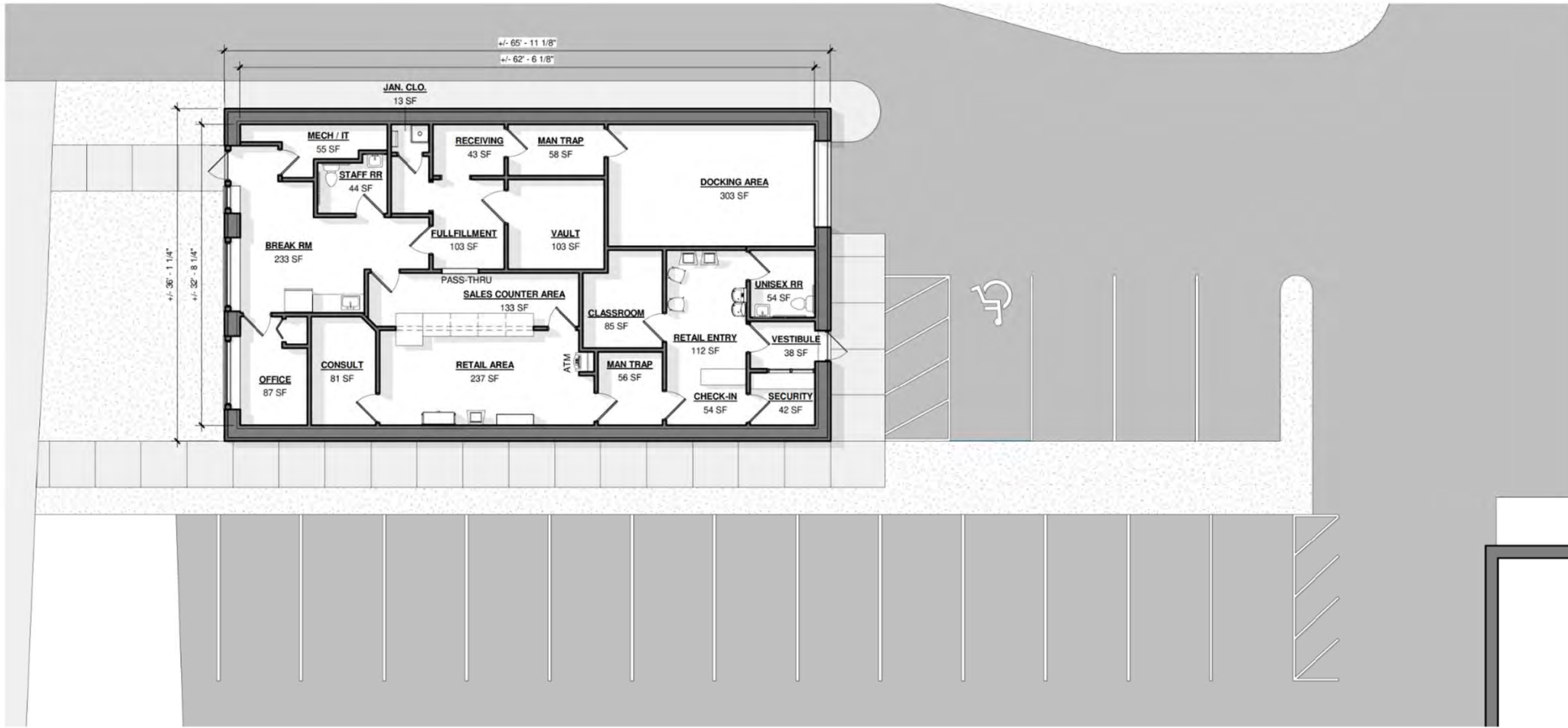


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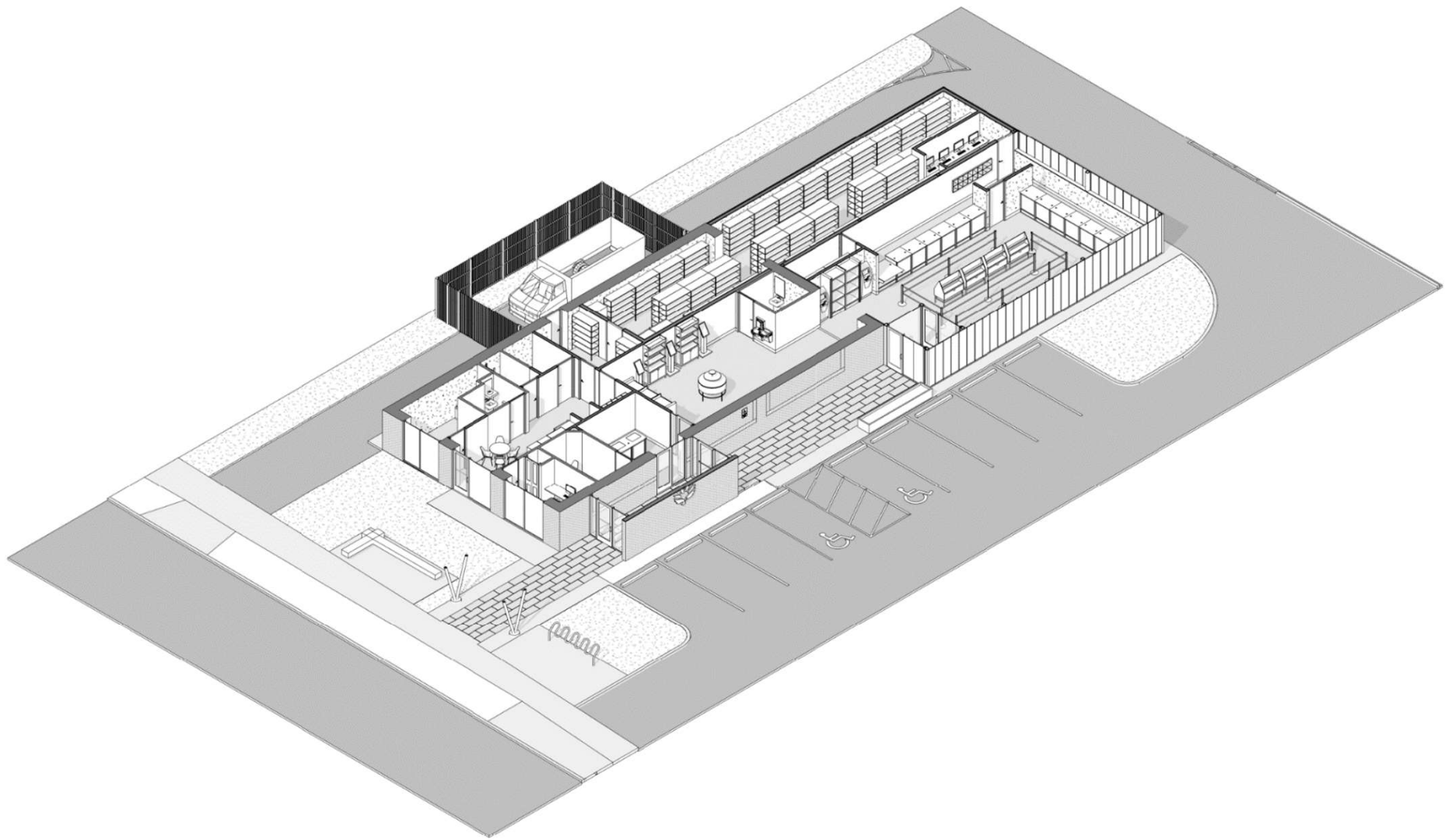


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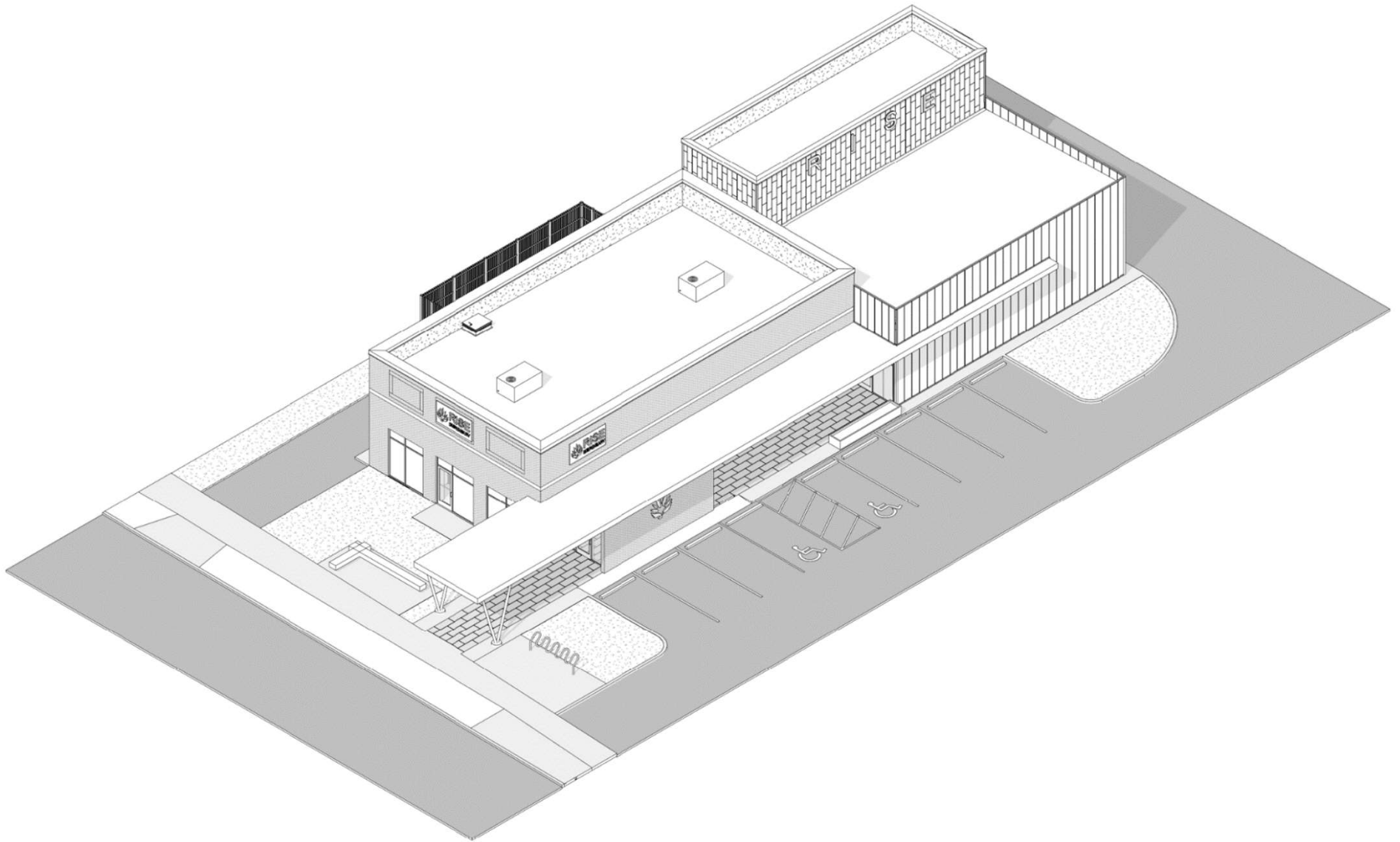
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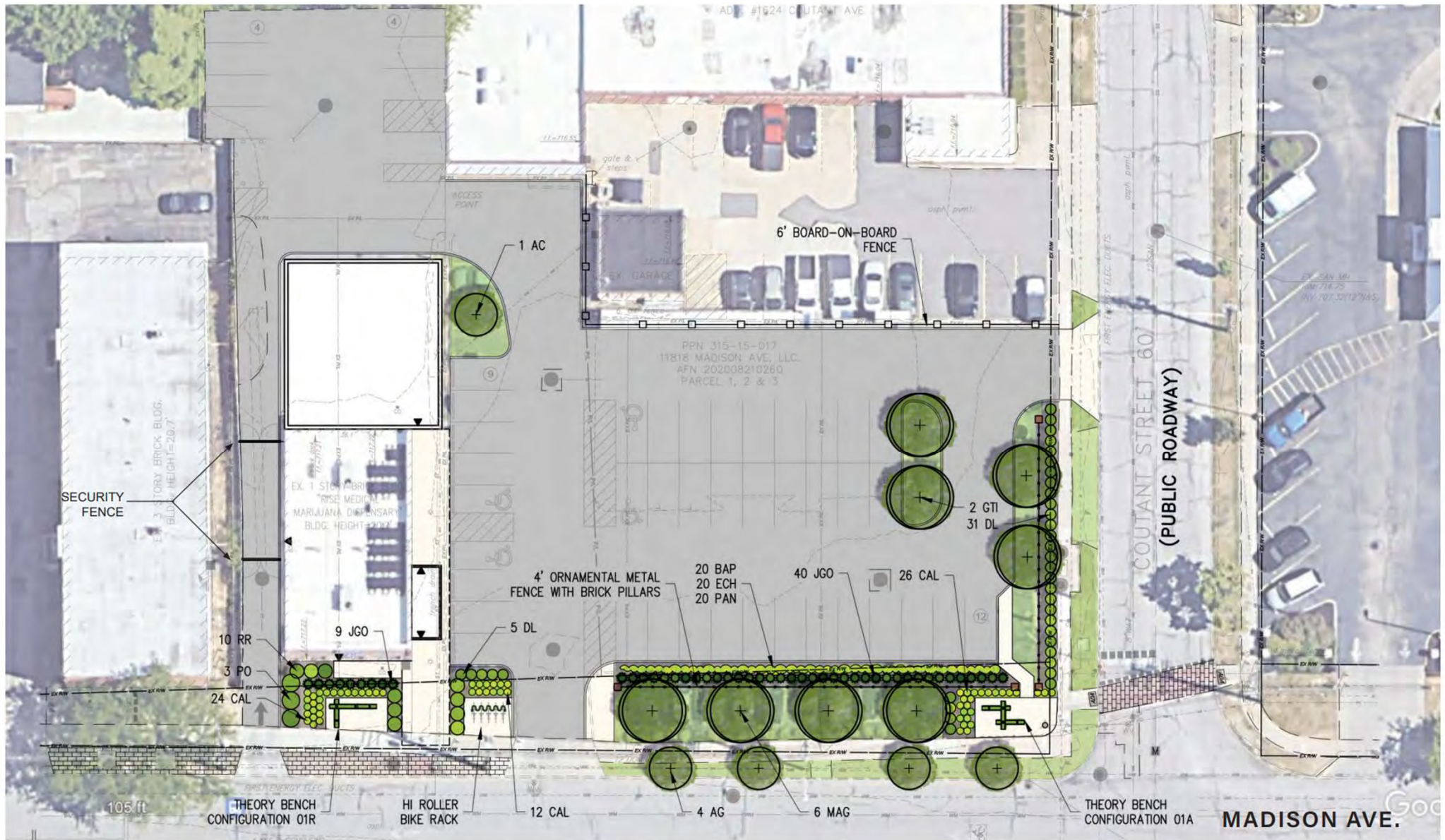
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Site Plan
11/22/2023
Madison Rise



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Theory bench from Landscape Forms- in green



Hi Roller bike rack from DERO



Ornamental fence with brick pillars- 4 ft.



Board on board fence- 6 ft.



Security fence- 6 ft. in dark bronze

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Furnishings
11/22/2023
Madison Rise



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AC- Multi-stem Serviceberry



AG- Single-stem Serviceberry



MAG- Saucer Magnolia



GTI- Honeylocust



DL- Bush Honeysuckle



JGO- Grey Owl Juniper



RR- White Rugosa Rose



PO- Tiny Wine Ninebark



BAP- False Indigo



ECH- Purple Coneflower



PAN- Northwind Switchgrass



CAL- Karl Foerster Reed Grass

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Plant Palette
11/22/2023
Madison Rise



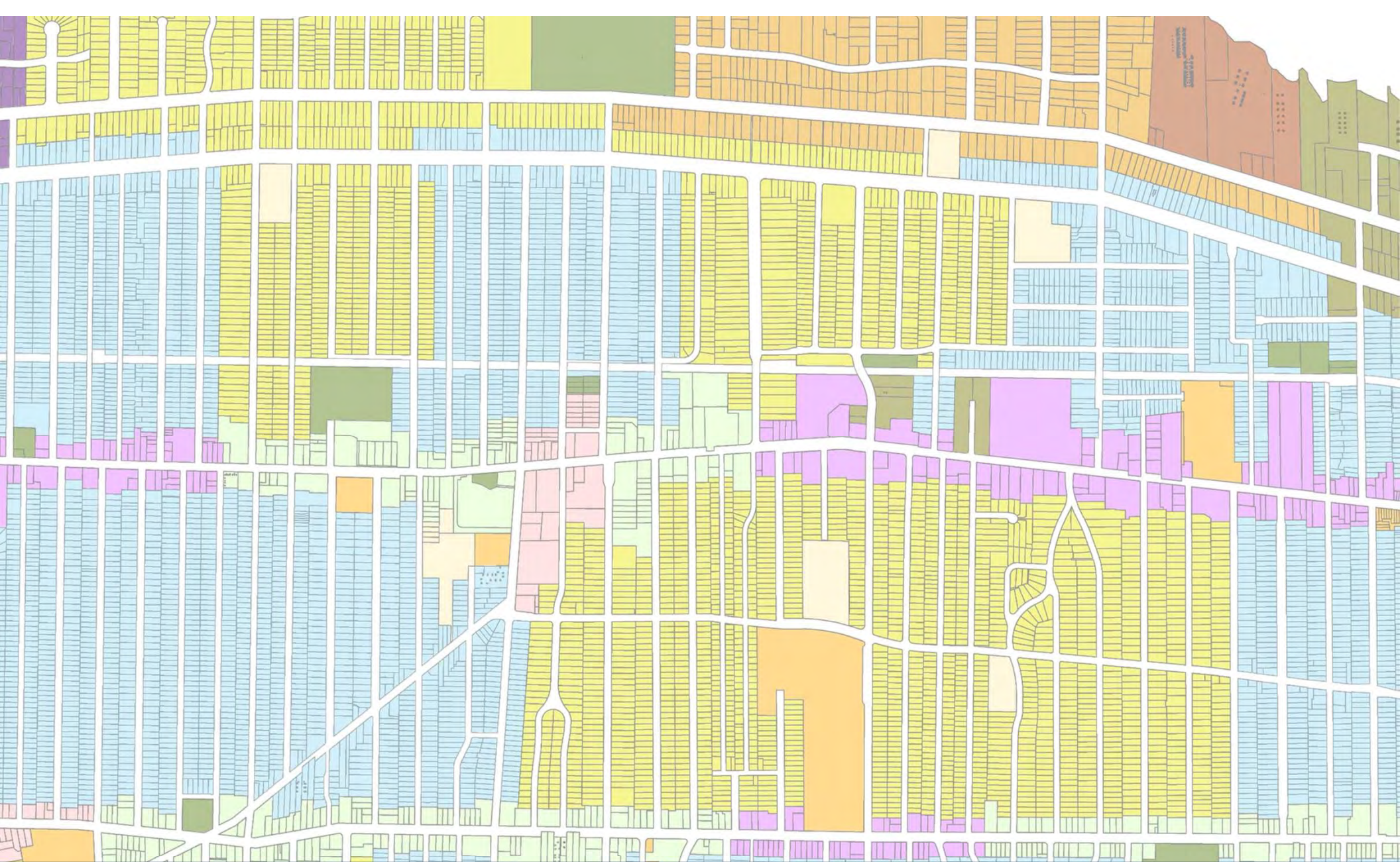
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Dispensary Renovation – Ziegler

Plant Schedule					
Key	Qty	Botanical / Common Name	Size	Cond.	Spacing
		Trees			
AC	1	Amelanchier x grandiflora/ Apple Serviceberry	6'	B&B	See Plan
AG	4	Amelanchier x grandiflora 'Autumn Brilliance'/ Apple Serviceberry	2"	B&B	See Plan
MAG	6	Magnolia x soulangiana/ Saucer Magnolia	8'	B&B	See Plan
GTI	2	Gleditsia t.f.i. Street Keeper/ Street Keeper Honeylocust	2"	B&B	See Plan
				B&B	See Plan
		Shrubs			
DL	36	Diervilla lonicera/ Dwarf Bush Honeysuckle	18"	No. 3	3' O.C.
JGO	9	Juniperus v. 'Grey Owl'/ Grey Owl Juniper	30"	B&B	4' O.C.
RR	10	Rosa rugosa 'Alba'/ White Rugosa Rose	SHRUB	No. 3	4' O.C.
PO	3	Physocarpus o. 'Tiny Wine'/ Tiny Wine Ninebark	24"	No. 3	4' O.C.
		Perennials			
BAP	20	Baptisia australis/ Blue False Indigo	Clump	No. 3	36" O.C.
ECH	20	Echinacea purpurea 'Magnus'/ Magnus Coneflower	Clump	No. 2	24" O.C.
PAN	30	Panicum v. 'Northwind'/ Northwind Switchgrass	Clump	No. 2	30" O.C.
CAL	62	Calamagrostis x ac. 'Karl Foerster'/ Karl Foerster Reed Grass	Clump	No. 2	24" O.C.
		Lawn			



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 Dispensary Renovation – Ziegen



Architectural Board of Review

December 2023