

MINUTES
**BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW**
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
APRIL 11, 2024
5:30 P.M.
RECORDED
<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Chris Egervary
David Maniet, Chair
Hanna Cohan Plessner, Vice Chair
Jeremy Smith

Staff

Amanda Cramer, Board Secretary, City Planner
Sophia Jones, Board Secretary, City Planner
William Wagner, Assistant Building Commissioner
Shawn Leininger, Director, Planning and Development

2. APPROVE THE MINUTES OF THE MARCH 14, 2024 MEETING

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the March 14, 2024 meeting minutes**. All the members voted yea; the motion passed.

3. OPENING REMARKS

Staff read the Opening Remarks into the record.

SUMMARY APPROVED

At the pre-review meeting, three items were Summary Approved (any conditions will be noted). A motion and a second is needed for approval of Docket No. 04-27-18-24, 04-29-24, and Docket No. 04-30-24,

SIGN REVIEW

4. Docket No. 04-27-24

**14235 Madison Ave.
Marathon Station**

- () Approve
- () Deny
- () Defer

Tony M. Bazo
Bazo Construction
12645 Delta St.
Taylor, OH 48180

Applicant proposes rebranding signage from Valero gas station to Marathon. (Page 138)

*Summary Approved with the condition that any window signage requires approval by the Architectural Board of Review (ABR) before installation.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request. All the members voted yea; the motion passed.

5. Docket No. 04-29-24

**17525 Madison Ave.
The Attaché Apartments**

- Approve
- Deny
- Defer

James Briola
North Coast Sign and Lighting Services Inc.
310 N. Broadway St.
Medina, OH 44256

Applicant proposes a non-illuminated monument sign. (Page 178)

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request. All the members voted yea; the motion passed.

6. Docket No. 04-30-24

**13741 Madison Ave.
La Mocha**

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes vinyl window graphics and a double-sided replacement blade sign in an existing frame. (Page 184)

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE** the request. All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

7. Docket No. 03-13-24

(R)

17428 Edgewater Dr.

- Approve
- Deny
- Defer

Alexander Kolbe
evoDOMUS LLC
2176 S. Taylor Rd.
Cleveland Heights, OH 44118

Applicant proposes demolition of a home and a new home construction. (Page 5)

Alexander Kolbe, evoDOMUS LLC, applicant was present to explain the request. Discussion ensued about the materials, colors, the architectural elements and styles of the immediate neighborhood. Debate began with what makes the design and context appropriate to the area. Staff provided an analysis of proposal and reminded the board members of the design requirements and guidelines. Public comment was taken. Staff did not receive communication from the public prior to the meeting. Conversation among staff, members, and applicant continued.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request. Mr. Egervary, Mr. Maniet and Mr. Smith voted yea, and Ms. Cohan Plessner voted nay; the motion passed.

8. Docket No. 03-16-24

(C)

12102 Madison Ave.

Hola Tacos

Approve

Deny

Defer

Ryan Kauffman

Kauffman Lawn Furniture

4574 US-62

Millersburg, OH 44654

Applicant proposes an approximately 2,000 sq. ft. awning addition to the existing building. (Page 16)

Staff said the applicant requested the members to table the item.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **TABLE** the request. All the members voted yea; the motion passed.

NEW BUSINESS

ARCHITECTURAL BOARD OF REVIEW

9. Docket No. 04-22-24

(R)

1276 Manor Park Ave.

Approve

Deny

Defer

Jill Brandt

Brandt Architecture

19440 Riverwood Ave.

Rocky River, OH 44116

Applicant proposes a new front porch and dormer. (Page 55)

Jill Brandt, Brandt Architecture, applicant was present to explain the request. The style, colors, and materials would match the existing home. Discussion continued about the new windows, door and sidelights, and lighting. The members liked the proposal. Public comment was closed as no one addressed the item. Staff did not receive any comments prior to the meeting. Mr. Wagner asked the applicant to please notify the homeowner to wait for approval before demolishing pieces of the structure.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request. All the members voted yea; the motion passed.

10. Docket No. 04-23-24

(R)

17879 Lake Rd.

Approve

Deny

Defer

Mark H. Reinhold

Mark Reinhold Architect

1120 Forest Rd.

Lakewood, OH 44107

Applicant proposes a front porch addition. (Page 67)

Arvind Gounder, property owner, was present to explain the request. The members liked the proposal. Staff had no comments. Public comment was closed as no one addressed the item. Staff did not receive any comments prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE** the request. All the members voted yea; the motion passed.

11. Docket No. 04-24-24 (C) 15501 Madison Ave. Vital Pilates & Wellness Bar

- () Approve
- () Deny
- () Defer

Lizandra Gonzalez
Vital Pilates & Wellness Bar
15501 Madison Ave.
Lakewood, OH 44107

Applicant proposes exterior alterations to an existing building. (Page 76)

Jake Szaraz, representative was present to explain the request. Discussion began about the spacing of the infill and dividers, materials, colors, parapet. Staff said signage would be a separate issue, needed to submit a site plan for determination if a Board of Zoning Appeals (BZA) application was needed, and would have to return to ABR for parking plan approval. Public comment was closed as no one addressed the item. Staff did not receive any comments prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **The transom divider lines of the three bay infill windows line up with the sides of the door.**

All the members voted yea; the motion passed.

12. Docket No. 04-26-24 (C) 16512 Detroit Ave. Cozumel Lakewood

- () Approve
- () Deny
- () Defer

Graham Post
Sixmo Architecture
1107 Auburn Ave.
Cleveland, OH 44113

Applicant proposes renovation to the front of a commercial building for outdoor dining and an addition for a rear storage unit. (Page 110)

Graham Post, Sixmo Architecture, applicant was present to explain the request. Discussion commenced about the proposed overhanging roof, front window replacement, roll-up vinyl screening, outdoor heaters and venting, landscaping, and the result of the Planning Commission (PC) meeting. The members liked the proposal. Staff said the shed was part of the proposal, and that the umbrellas were not allowed to display any form of advertising. Public comment was closed as no one addressed the item. Staff did not receive any comments prior to the meeting.

A motion was made by Mr. Maniet Plessner, seconded by Ms. Cohan Plessner to **APPROVE** the request. All the members voted yea; the motion passed.

SIGN REVIEW

13. Docket No. 04-28-24

**14538 Detroit Ave.
Blossom Cleveland**

- () Approve
- () Deny
- () Defer

Megan Robinson
Blossom Cleveland
14538 Detroit Ave.
Lakewood, OH 44107

Applicant proposes more than the allowable window square foot coverage by use of vinyl cut graphics.
(Page 171)

Megan Robinson, Blossom Cleveland, applicant was present to explain the request. Discussion ensued about how to reduce the percentage of window coverage. Public comment was closed as no one addressed the item. Staff did not receive any comments prior to the meeting.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request with the following condition:**

- **The graphics will be reduced to meet a 50% overall window coverage whether met by reducing or pruning, to be shown with a drawing which will be submitted for administrative review and approval.**

All the members voted yea; the motion passed.

14. Docket No. 04-25-24

(C)

**14414 Detroit Ave.
The Marlowe Building**

- () Approve
- () Deny
- () Defer

David J. Maniet AIA
Maniet Architects
1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes renovation of a commercial building. (Page 87)

Ms. Cohan Plessner, Vice Chair conducted this portion of the hearing as Mr. Maniet, Chair, was recused from the discussion.

David Maniet, David J. Maniet Architects, applicant, was present to explain the request. The members liked the proposal. Discussion continued about the rooftop. Staff had no comments. Public comment was closed as no one addressed the item. Staff did not receive any comments prior to the meeting.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Smith to **APPROVE the request with the following conditions:**

- **The project is to appear before the Board of Zoning Appeals for approval of the open roof deck, if necessary.**
- **Approval is based on the revised drawings as shown at the current review meeting.**

Mr. Egervary, Ms. Cohan Plessner, and Mr. Smitt voted yea, and Mr. Maniet abstained; the motion passed.

COMMUNICATION

15. Docket No. 04-31-24

Residential Architectural Design Standards

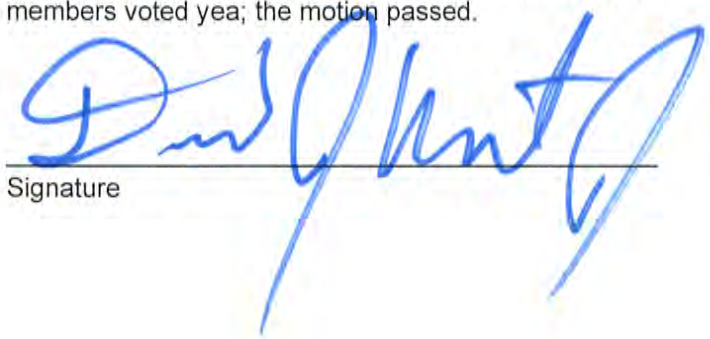
The Department of Planning and Development staff will present a communication regarding proposed Residential Architectural Design Standards for Architectural Board of Review proposals. (Page 187)

Staff presented and explained the item. The members and staff commenced to discussed and amend specific points. Staff noted that the standards would be presented to the Planning Commission at their May meeting.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **RECEIVE AND FILE Docket 04-31-24 with comments and live mark-ups as noted.**

ADJOURN

A motion was made by Mr. Maniet, seconded by Mr. Smith to **ADJOURN the meeting at 8:30 p.m.** All the members voted yea; the motion passed.



A handwritten signature in blue ink, appearing to read 'D. Maniet', is written over a horizontal line.

Signature

5-9-2024
Date

000



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

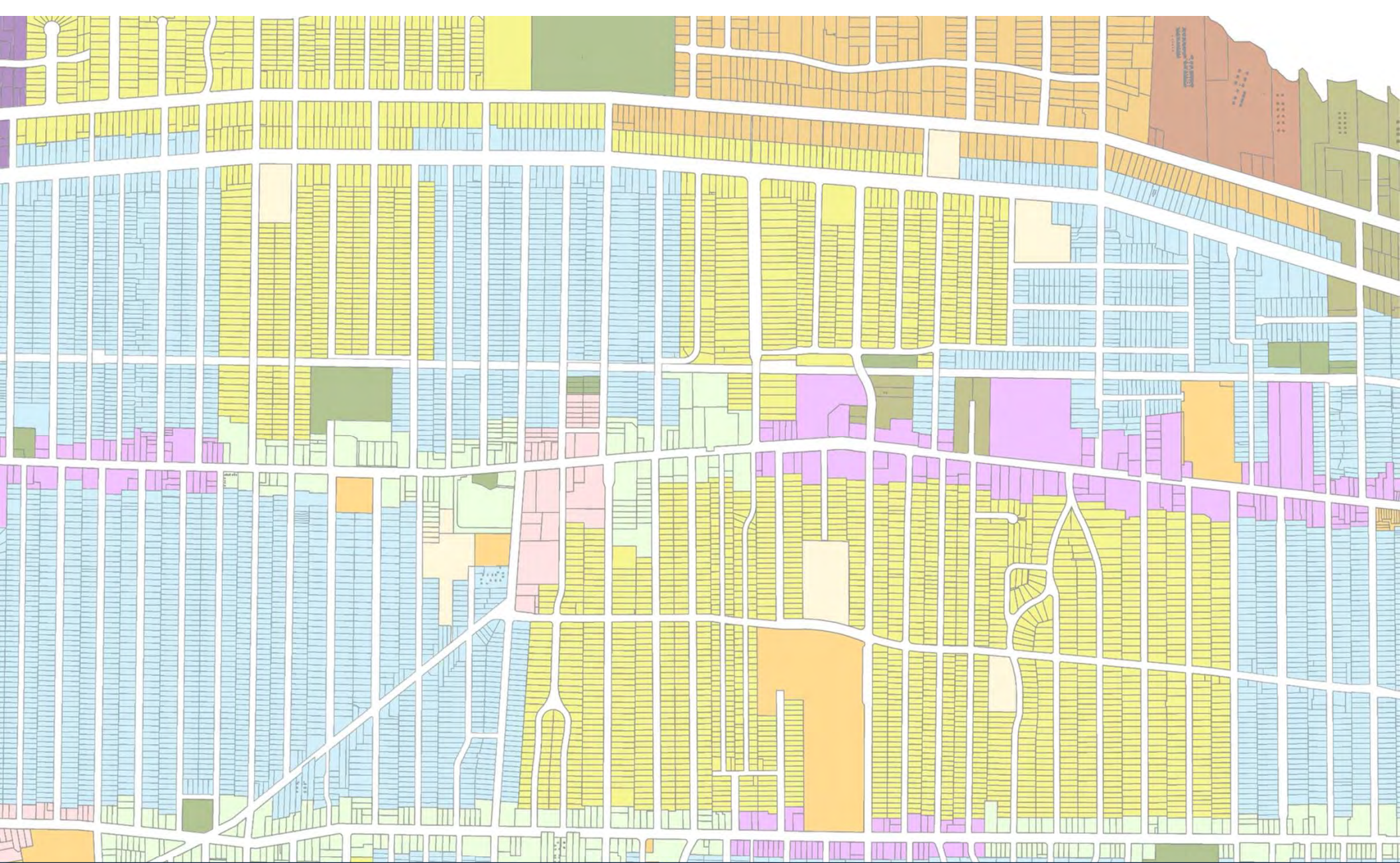
- 1. A. KOUBE
- 2. MH her UG
- 3. VIKTORIA PIKA
- 4. Jill Branch
- 5. ARVIND GOUNDER
- 6. Jake Szaraz
- 7. GRAHAM POST
- 8. Masa Akim
- 9. DAVID MANIET
- 10. _____
- 11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, April 11, 2024



Architectural Board of Review

April 2024



Architectural Board of Review
April Agenda

1. Roll call
2. Approve minutes – March 2024 meeting
3. Opening Remarks
4. Old Business
5. New Business
6. Sign Review
7. Communication
8. Adjourn

Applicant proposes sign replacements.

City Notes:

- Applicant proposes changing faces of 2 illuminated logo signs (22.5 sq ft) and 1 wall sign (24 sq ft) on canopy and 1 monument sign (38.9 sq ft)
- Business frontage: 65 ft; Max allowed signage: 97.5 sq ft
- Total proposed signage: 85.4 sq ft
- Any window signage must be approved by ABR before installation



Docket No. 4-27-24 (14235 Madison)

Sign Replacement
Tony Bazo



14235 Madison Ave
Lakewood, Ohio
Google Street View
Aug 2022 See more dates



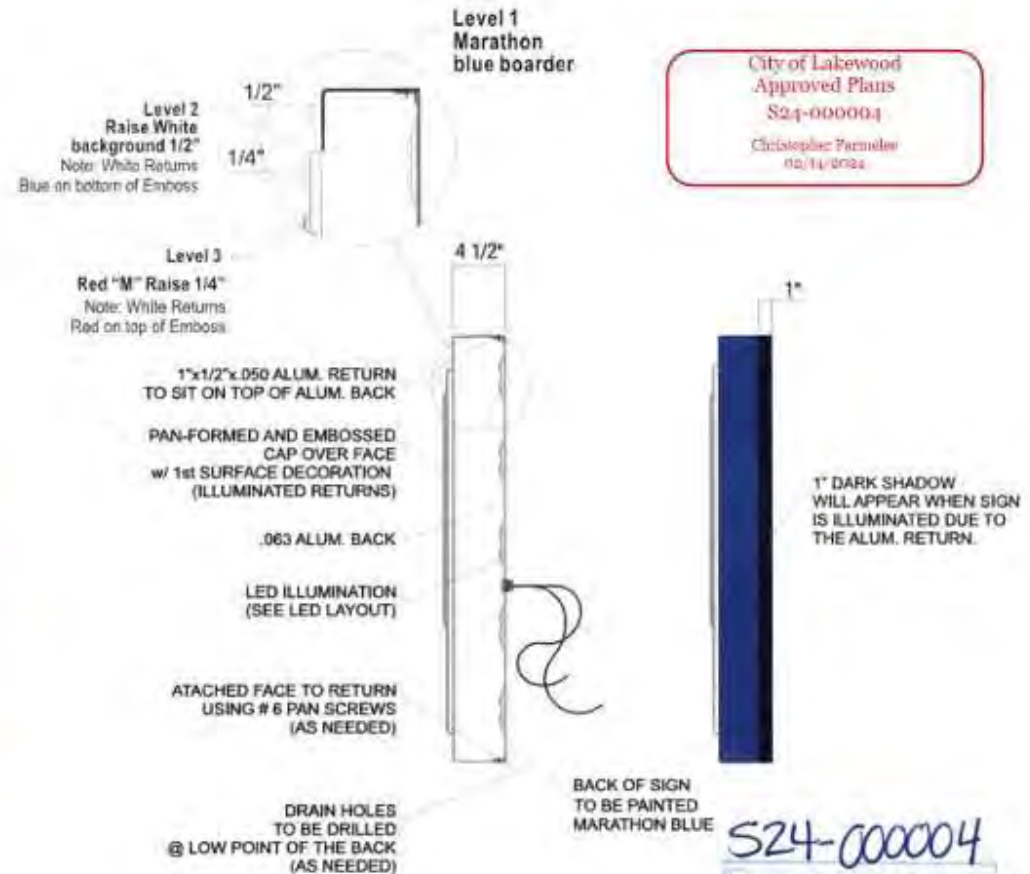
Google



Docket No. 4-27-24 (14235 Madison)
Sign Replacement - Bazo

MARATHON 36" LOGO SIGN

Pan Formed & Embossed Illuminated Logo
 Cap Over Face to extend beyond canopy fascia.
 .177 White Polycarbonate w/ 1st Surface Decoration



City of Lakewood
 Approved Plans
 S24-000004
 Christopher Parmelee
 02/14/2024

S24-000004
 FEB 18 2024
 Mail

Color specifications and usage

	01		07
Marathon Blue		Marathon Red	

NOTE: FACES TO HAVE UV CLEAR COAT #L8-5168



THIS DRAWING IS YOUR FINAL PROOF. IT SUPERSEDES ALL VERBAL AND WRITTEN COMMUNICATION BY SIGNING BELOW YOU ARE AUTHORIZING US TO MANUFACTURE TO THE ABOVE SPECIFICATION
 Client Approval Date: _____

Approved By: _____
 Project Manager: _____
 Client By: _____



Project Number: 224061
 Date: 06.30.22
 Sheet Number: 1 of 1

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Docket No. 4-27-24 (14235 Madison)
 Sign Replacement - Bazo

* Face
Change
Only *



Detailed Information

Standard Windload
Retainer Quantity: 2
Retainer Size: 104.625"H X 53.625"W
Retainer Type: Hinged
Existing Cab: 105"H X 54"W
Area: 38.96 SQ FT
Retainer Color: Sky White


Detail 1: Logo
VO: 36"H X 49.625"W
Marathon Endurance Logo Flat Emboss Face

Detail 2: Priceline
VO: 51.625"H X 49.625"W
Digit Type: Lumidigit 4 (Flat Faces)
Priceline 1: Red 12", Stacked
Priceline 2: Red 12", Stacked

Detail 3: Text
VO: 9"H X 49.625"W
Marathon Endurance Flat Imprint Face
Text Line 1: DIESEL

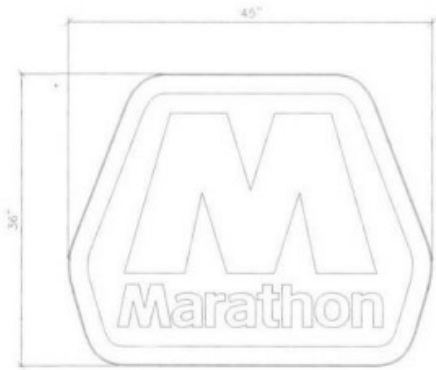
1 - 20 Amp Circuit(s) Required
LEDs Total Draw: 2 Amps

Est. Crated Weight: 417 pounds
Crate HxLxW: 67x112x21"
Freight Class: 175

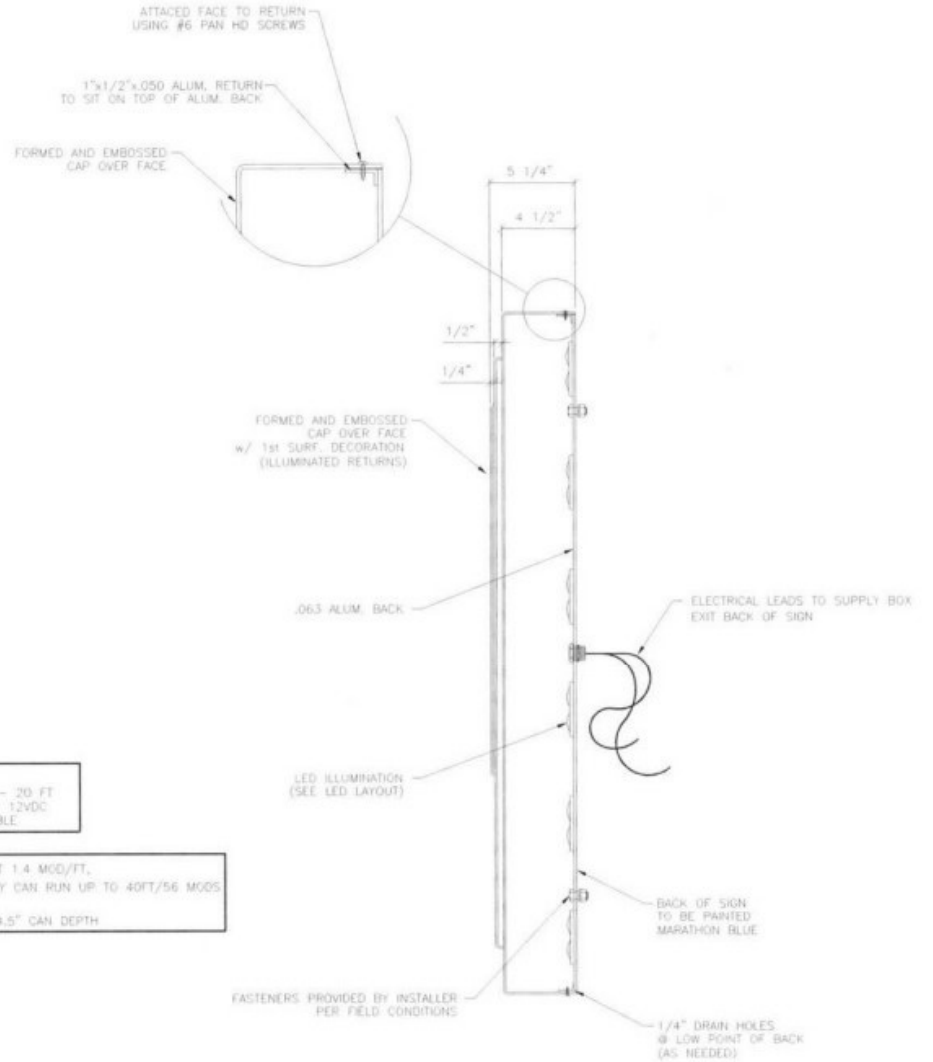
 Everbrite		<small>DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.</small>	
Customer: Marathon Endurance		Description:	
Project No: PP497636A	Scale: N/A	Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer. Please read carefully, check appropriate box and fax back to Everbrite:	
Date: 01/19/2024	Drawn By: RG		
Location & Site No: , 14235 Madison Ave, Lakewood, OH, 44107-4527		Version:1	<input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New Sketch Required
		SIGNATURE _____	DATE _____



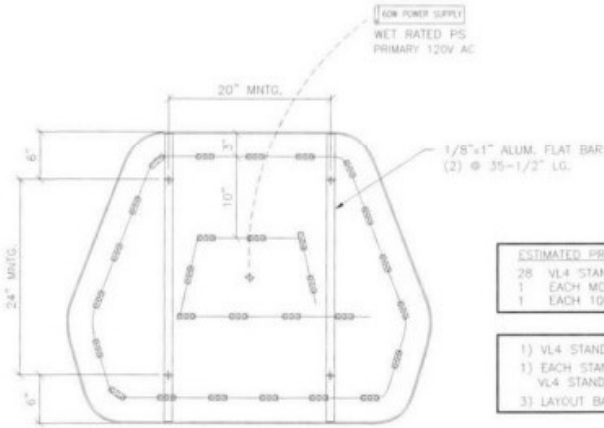
Docket No. 4-27-24 (14235 Madison)
Sign Replacement - Bazo



FORMED CANOPY CS SIGN ELEVATION VIEW
SCALE: 1"=1'-0"



CTS LOGO DETAIL VIEW
SCALE: N.T.S.



ELECTRICAL / LED LAYOUT DETAIL VIEW
SCALE: 1"=1'-0"

ESTIMATED PRODUCT B.O.M. PER SIGN:
28 VL4 STANDARD (7200K) MODULES - 20 FT
1 EACH MODULAR 60 POWER SUPPLY 12VDC
1 EACH 100' ROLL OF JACKETED CABLE

- 1) VL4 STANDARD (7200K) LAID OUT AT 1.4 MCD/FT.
- 1) EACH STANDARD 60W POWER SUPPLY CAN RUN UP TO 40FT/56 MOOD VL4 STANDARD (7200K) MODULES.
- 3) LAYOUT BASED ON A 5/8 CABINET 4.5" CAN DEPTH

SIGN SPECIFICATIONS:

SIGN SIZE:
AREA - CLOSED RECTANGLE 11,2500 SQ. FT.
ACTUAL SIZE - 36" x 45"
APPROXIMATE WEIGHT - TBD
DESIGNED WINDLOAD - 110 MPH (3 SEC. GUST EXPOSURE C)
COMPLIANT w/ NATIONAL BUILDING CODES & STANDARDS
(IBC, UBC, BOCA, AISC, ASCE7, ACI, & ALUM. DSGN. MANUAL)

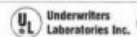
ELECTRICAL:
AMPS - 1.2 AMPS
CIRCUITS - (1) 20
VOLTS - 120

COLORS:
REFER TO COLOR RENDERING
FOR COLOR AND GRAPHIC SPECS

FEDERAL HEATH
VISUAL COMMUNICATIONS

1500 N. BOLTON, JACKSONVILLE, TX 75766
(903) 589-2100

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ELECTRICAL TO BEE U.L.-48 LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

NO.	REVISIONS	DATE	BY

36" MARATHON CANOPY LOGO SGN
CANOPY - VACUUM FORMED

LED ILLUMINATION

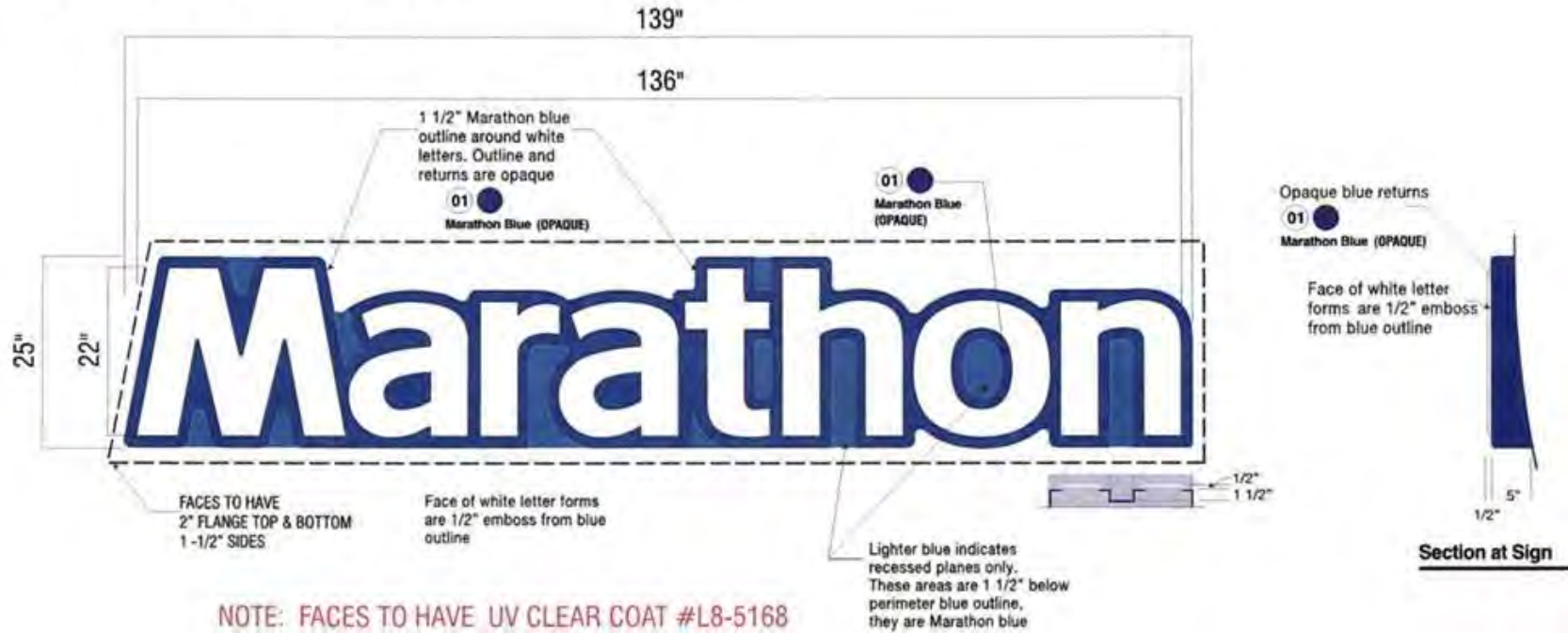
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DRAWN BY:	R_RIOS	06.30.22
DRAWING NO:	Ma_36_LG_12V	

SHEET NO:	1
OF:	1



Docket No. 4-27-24 (14235 Madison)
Sign Replacement - Bazo

MARATHON 25" Cloud Word Mark Sign
 PAN FORMED CAP OVER FACE w/ EMBOSSED COPY
 .177 WHITE POLY w/ 1st SURF. DECORATION



Color specifications and usage

 **01**
Marathon Blue
 (OPAQUE) #1955 Hidding Gray

FEDERAL HEALTH
 VISUAL COMMUNICATIONS
 www.federalhealth.com
 1500 North Bolton Jacksonville, Tx75766
 3) 589-2100 (800) 888-1327 Fax (903) 589-2101

Rev:1 Revise faces to be white poly w/1st surf. Decoration RRR 06.27.22
 Rev:2 Added debossments to letter "M" RRR 07.01.22

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Client Approval/Date: _____
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Account Rep: _____
 Project Manager: **A Williams**
 Drawn By: **Rrios**


Project / Location: _____

Job Number: _____
 Date: **04.21.22**
 Sheet Number: **1** of **1**
 Design Number: _____

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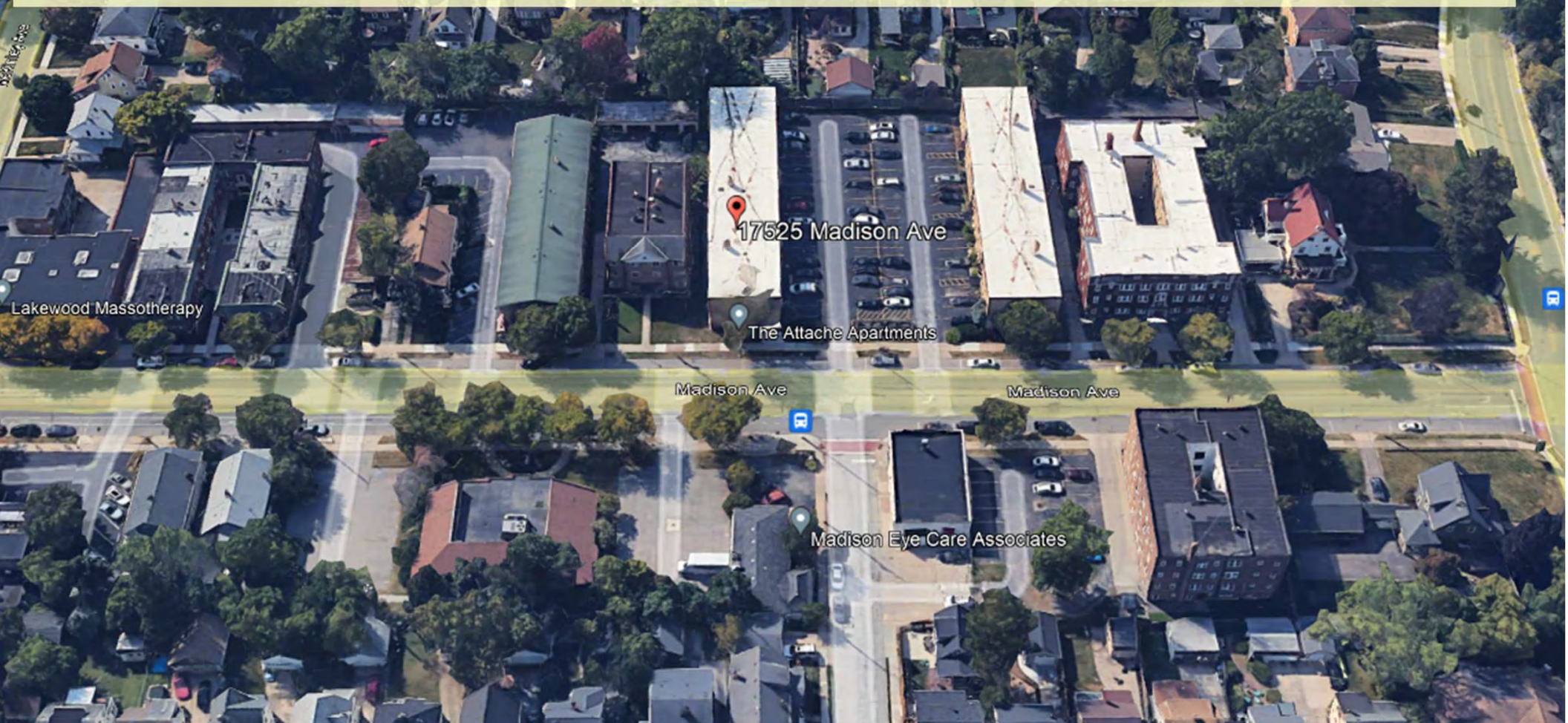


Docket No. 4-27-24 (14235 Madison)
Sign Replacement - Bazo

Applicant proposes a new non-illuminated ground sign.

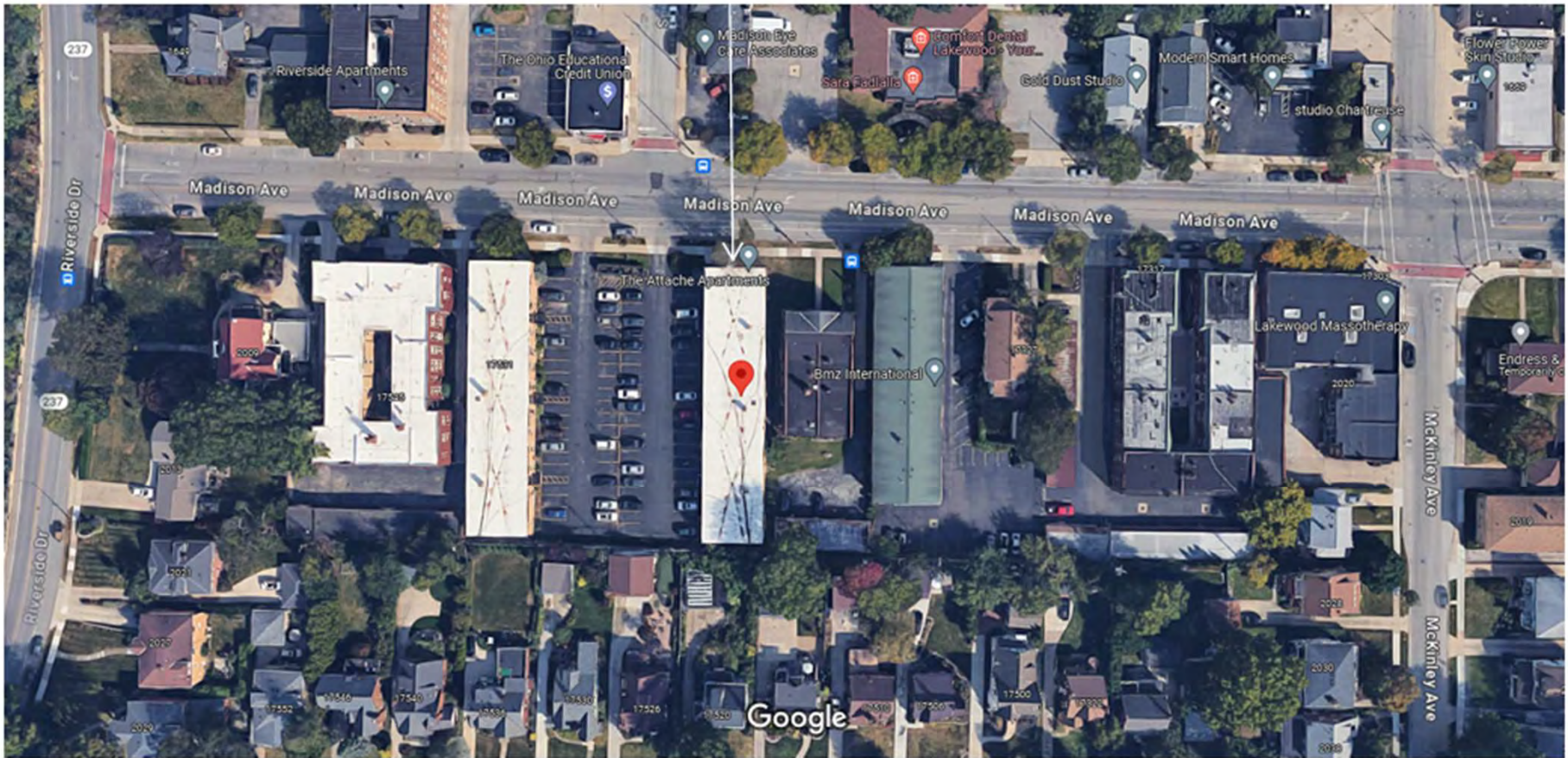
City Notes:

- Applicant proposes 1 non-illuminated ground sign.
- Frontage: 45 ft ; Max allowed square footage: 67.5 sq ft
- Total proposed square footage: 16 sq ft



Docket No. 4-29-24 (17525 Madison)

Signage – Attaché Apartments
Jim Briola

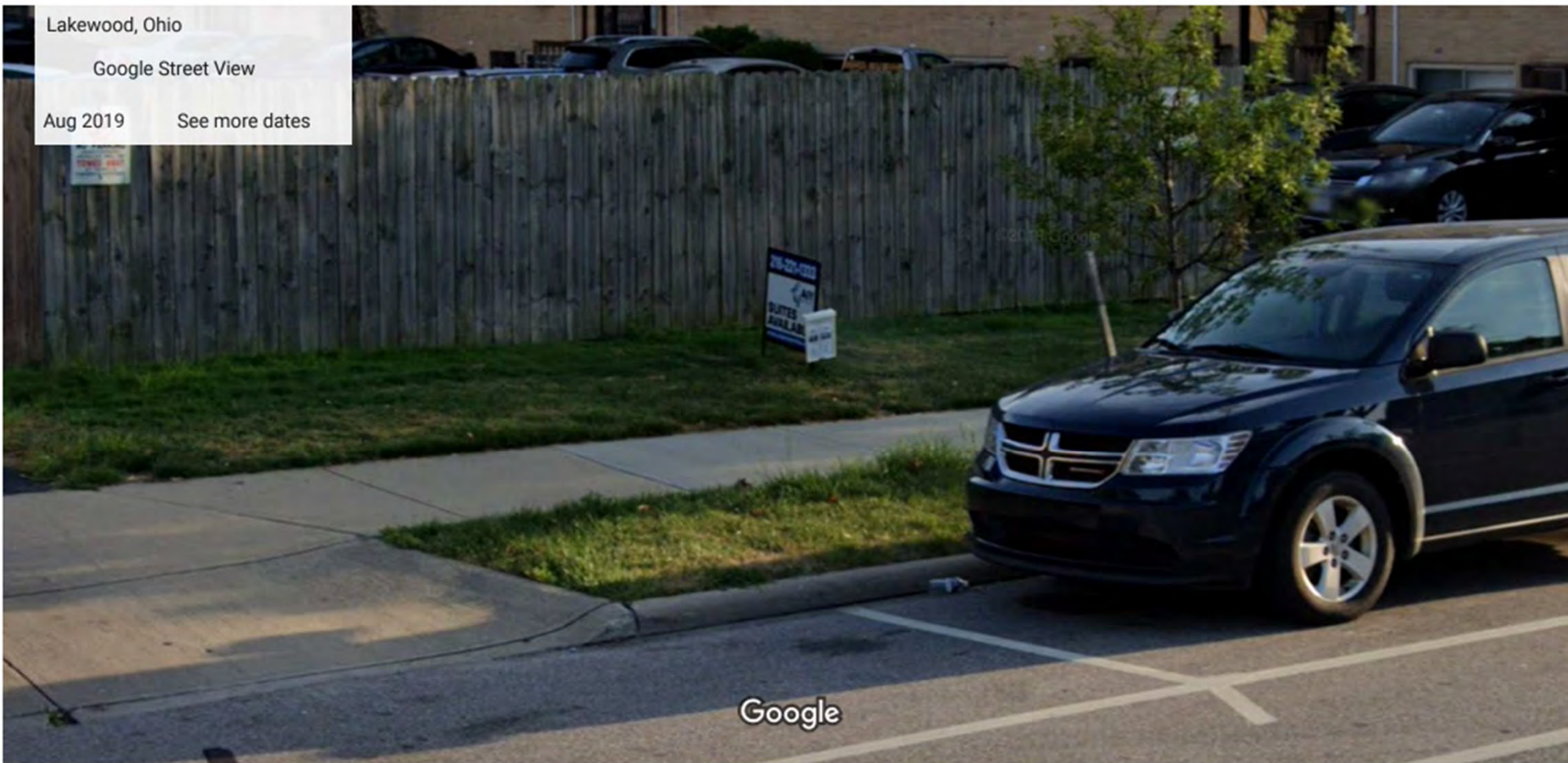


Imagery ©2024 Google, Imagery ©2024 CNES / Airbus, Maxar Technologies, Map data ©2024 Google 50 ft

The Attache' Apartments
17525-17535 Madison Ave.
Lakewood, OH 44107

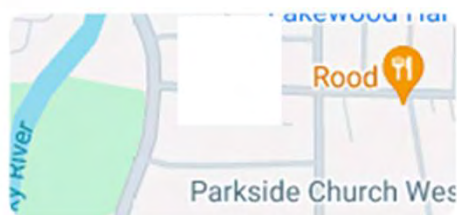


Docket No. 4-29-24 (17525 Madison)
Signage - Briola



Lakewood, Ohio
Google Street View
Aug 2019 See more dates

Image capture: Aug 2019 © 2024 Google



The Attache' Apartments
17525-17535 Madison Ave.
Lakewood, OH 44107



Docket No. 4-29-24 (17525 Madison)
Signage - Briola

PHONE:
330.723.2376
FAX:
330 722.2843
NICK OR JIM
@SIGNANDLIGHT.COM



**NORTH
COAST**
SIGN & LIGHTING
SERVICE INC.

48x32" FACE=10.67'SQ.



JOB: ATTACHE APARTMENTS
ADDRESS: 17525 MADISON LAKEWOOD
CONTACT: TONY DICILLO
PHONE: 440.862.4631
EMAIL: TDICILLO@AIYPROPERTIES.COM
DATE: 7 MARCH 2024 REV4

NOTES: - NEW CABINET SIGN

ALL DRAWINGS ARE THE PROPERTY OF
NORTH COAST SIGN & LIGHTING
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FOR CONCEPTUAL PURPOSES ONLY
UNTIL SIGNED AND DATED BY PROJECT
MANAGER AND CUSTOMER. ANY OTHER
USE IS PROHIBITED.

APPROVED DESIGNS MUST BE SIGNED & RETURNED BEFORE PRODUCTION CAN BEGIN
THE COST OF ANY CHANGES AFTER PRODUCTION IS THE RESPONSIBILITY OF THE CUSTOMER (INC. ADDITIONAL TRIPS)

CUSTOMER APPROVAL SIGNATURE: _____

LANDLORD APPROVAL SIGNATURE: _____



Docket No. 4-29-24 (17525 Madison)
Signage - Briola

PHONE:
330.723.2376
FAX:
330 722.2843
NICK OR JIM
@SIGNANDLIGHT.COM



**NORTH
COAST**
SIGN & LIGHTING
SERVICE INC.

48" SQ. .080 ALUMINUM FACES
LORD EPOXIED TO FRONT AND BACK



4x4 ALUMINUM POSTS 7' LONG

2x2 ALUMINUM
WELDED FRAME 48" SQ.

PAINTED WITH EITHER WHITE VINYL OR ROUTED WHITE PVC

JOB: ATTACHÉ APARTMENTS
ADDRESS: 17525 MADISON LAKEWOOD
CONTACT: TONY DICILLO
PHONE: 440.862.4631
EMAIL: TDICILLO@AIYPROPERTIES.COM
DATE: 4 MARCH 2024 REV3

NOTES: - NEW CABINET SIGN

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UNTIL SIGNED AND DATED BY PROJECT
MANAGER AND CUSTOMER. ANY OTHER
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THE COST OF ANY CHANGES AFTER PRODUCTION IS THE RESPONSIBILITY OF THE CUSTOMER (INC. ADDITIONAL TRIPS)

CUSTOMER APPROVAL SIGNATURE: _____

LANDLORD APPROVAL SIGNATURE: _____



Docket No. 4-29-24 (17525 Madison)
Signage - Briola

Applicant proposes new signage.

City Notes:

- Applicant proposes 1 blade sign (10.5 sq ft) and 1 window vinyl (3.8 sq ft)
- Applicant proposes to keep existing window vinyls (1.6 sq ft and 4 sq ft)
- Business frontage: 20 ft ; Max allowed signage: 30 sq ft
- Total proposed signage: 27 sq ft (12 SF window [allowed 16.8 SF], 15 SF blade)



Docket No. 4-30-24 (13741 Madison)

Signage – La Mocha
Steven Foster

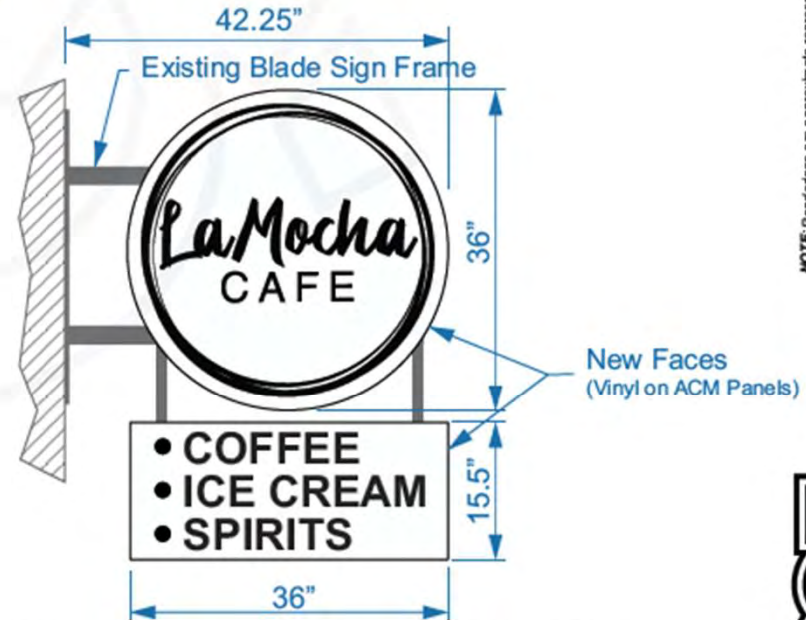
Before



Front Windows



Proposed



PROPOSED DOUBLE-SIDED SIGNAGE
NEW ACM PANELS WITH VINYL DECALS

3-27-24: Added dimensions for window vinyl

This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

1
3-27-24

ADDRESS:
13743 Madison Ave.
Lakewood, OH 44107

BUSINESS NAME:
La Mocha Café

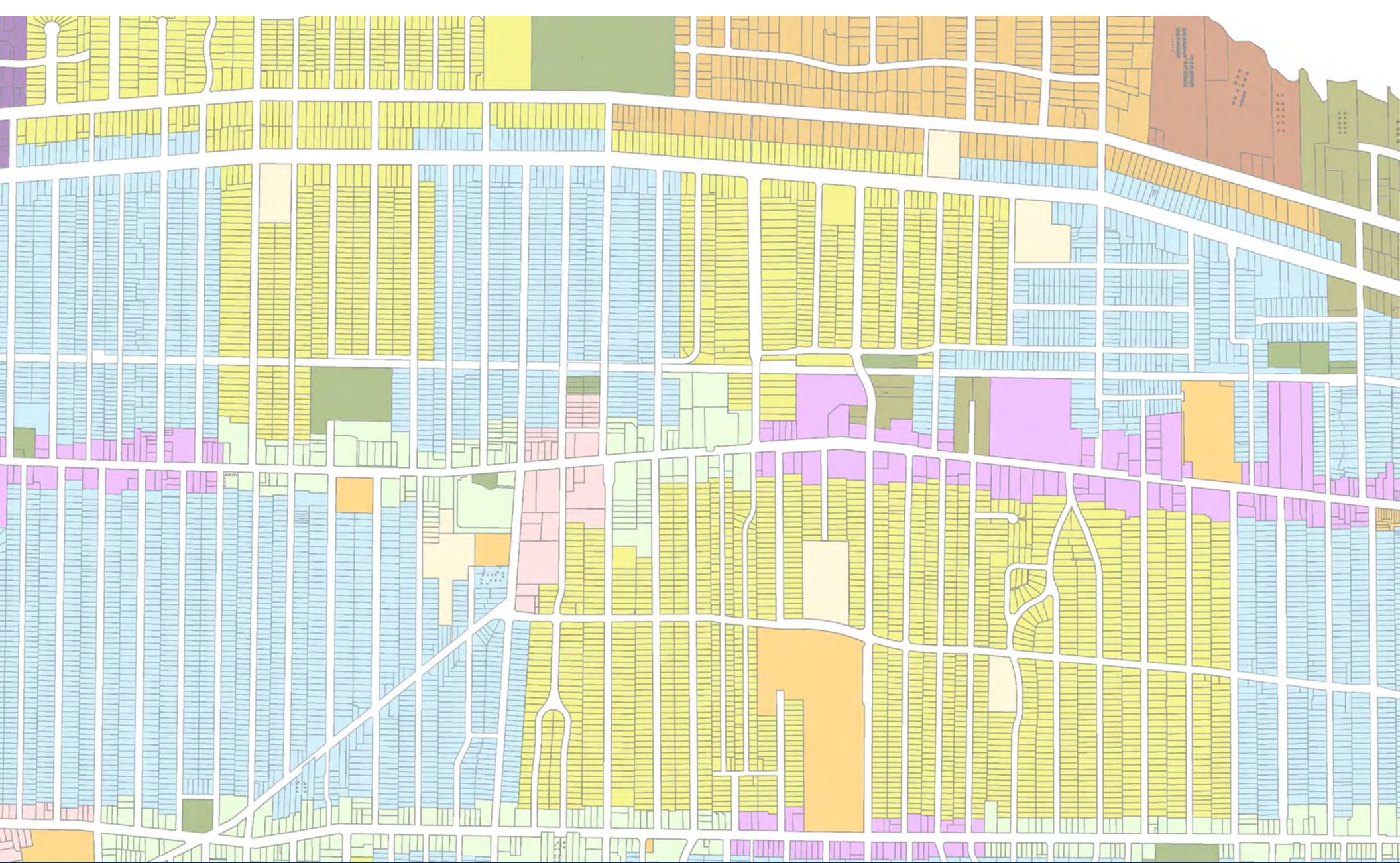
Steven Foster
216.390.0198
srfoster09@gmail.com

THE SIGN & GRAPHICS FIRM



Docket No. 4-30-24 (13741 Madison)

Signage - Foster



Architectural Board of Review

Old Business - April 2024

Applicant proposes demolition of a residential structure and new construction in the R1L District.

City Notes:

- Will need BZA variance for unroofed second floor patio



Docket No. 3-13-24 (17428 Edgewater)
Residential Demolition and New Construction
Alexander Kolbe

1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(b) Requirements Before Demolition or Removal of Principal Structures on Residential Properties. No demolition or removal of a principal structure, built in 1945 or earlier...shall be permitted unless and until one (1) of the following conditions is satisfied:

(1) The Safety Director of the *City* authorizes the Commissioner to grant a demolition or removal permit, based on causes such as fire or other source of property damage or loss, in order to remedy conditions immediately dangerous to life, health or property, or to remedy a nuisance, as jointly determined and recommended by the Commissioner, the Fire Chief, and the *City* Engineer; or (Ord. 24-2016. Passed 5-2-2016.)

(2) The passage of 180 days following application to the Commissioner for a demolition permit or permit to move a principal structure, during which time the applicant has further made good faith application to all required boards and commissions of the *City* for approval of a new principal structure at the location of such property; or

(3) The proposed principal structure at the location of such property **conforms to the design requirements set forth in Chapter 1325 of the Building Code and has been approved by the Architectural Board of Review**, and by any other required boards and commissions of the *City*, in order to proceed with the new principal structure. In addition, notwithstanding any other requirements, all approvals for such proposed principal structure shall be based on the following factors:

A. The **proposed principal structure is consistent with the Code, the Vision and the “Standards for Rehabilitation”** adopted by the U.S. Secretary of the Interior, as stated in Title 36 of the Code of Federal Regulations, Part 1208 (Formerly of Part 67); and

B. The **proposed principal structure is consistent with any historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood.**

C. The Secretary of all such required boards and commissions of the *City* shall immediately notify the Commissioner of compliance with the provisions of this section by any applicant that would allow and provide for the issuance of a demolition permit or a removal permit by the Commissioner.



Docket No. 3-13-24 (17428 Edgewater)
Residential Demolition and New Construction – Kolbe



Neighbor to the East, showing the existing structure on the left



Existing structure to be demolished



Neighbor to the West, existing structure to the right



Modern home in vicinity



evoDOMUS LLC
 2176 S Taylor Road
 Cleveland Heights, OH 44118
 Phone: +1(216) 772-2603
 www.evodomus.com

Print Date: 2/20/24

Design History:
 Ed.: Date: Changes:

Ed.	Date	Changes

Client:
 Nathan Chavez
 17428 Edgewater Drive
 Lakewood OH

Drawing:
**Neighboring
 Homes**
 Scale:

Issue Date:
02/20/2024

Phase:
ABR Review

Sheet Number:
03.5

Sheet Size:
11" x 17"

Project Name:
Chavez Residence
 17428 Edgewater Drive Lakewood OH

Project Number:
CHZ



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



Existing structure, as seen from Edgewater Drive



Existing structure showing green buffer and neighbor to the East



Existing Conditions

Existing structure is much closer to the cliff



Existing structure, backyard view, showing mature vegetation



evoDOMUS LLC

2176 S Taylor Road
Cleveland Heights, OH 44118
Phone: +1 (216) 772-2603

www.evodomus.com

Print Date: 2/20/24

Design History:

Edt: Date: Changes:

Client:
Nathan Chavez
17428 Edgewater Drive
Lakewood OH

Drawing:
Existing
Conditions
Scale:

Issue Date:
02/20/2024

Phase:
ABR Review

Sheet Number:
03.4

Sheet Size:
11" x 17"

Project Name:
Chavez Residence
17428 Edgewater Drive Lakewood OH

Project Number:
CHZ



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



Edgewater Drive - Random mix of styles



Eclectic Neighborhood - I



evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1 (216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Drawing: Eclectic Neighborhood - I Scale:	
Issue Date: 02/20/2024	Project Number: CHZ
Phase: ABR Review	
Sheet Number: 03.8	
Sheet Size: 11" x 17"	



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



Edgewater Drive - Random mix of styles



evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Drawing: Eclectic Neighborhood -2 State:	
Issue Date: 02/20/2024	Project Number: CHZ
Phase: ABR Review	
Sheet Number: 03.9	
Sheet Size: 11" x 17"	

Eclectic Neighborhood -2



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe

Design elements that correspond with neighboring homes



Stone application



Stone application



Stone application
Horizontal canopy



evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1 (216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive, Lakewood OH 44107
Drawing: Design Elements	
Issue Date: 02/20/2024	Project Number: CHZ
Phase: ABR Review	
Sheet Number: 03.11	
Sheet Size: 11" x 17"	

Design Elements



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



Proposed single family home


evoDOMUS LLC
 2176 S Taylor Road
 Cleveland Heights, OH 44118
 Phone: +1(216) 772-2603
 www.evodomus.com

Print Date: 2/20/24

Design History:		
Edt.:	Date:	Change:

Client:	Nathan Chavez 17428 Edgewater Drive Lakewood OH
---------	---

Drawing:	Proposed single family home
Scale:	

Issue Date:	02/20/2024
Phase:	ABR Review

Sheet Number:	03.1
Sheet Size:	11" x 17"

Project Name: **Chavez Residence**
 17428 Edgewater Drive Lakewood OH
 Project Number: **CHZ**



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe

Introduction - New Home at 17428 Edgewater Drive

This project is a replacement for an existing, two-story, mid-century modern home in poor condition and with little architectural merit. The new home is a 4 bedroom single-family design with 4.5 bathrooms.

This home is designed per passive house standards which means it is optimized for minimal energy requirements. The thermal envelope consists of super insulated walls and roofs, triple-glazed windows, high-efficiency heat pump technology and an energy recovery ventilation system (ERV), providing a comfortable and healthy indoor climate.

The design is modern but modest in its appearance. Gray high-performance stucco (EIFS), stone accents and wood create a visually pleasing and coherent aesthetic.

A large photovoltaic system is installed on the flat roof, concealed from the street view by the parapet walls.



Concealed solar panels

The new building is located well within the setback limitations with more than 15 feet from the eastern property line and over 28 feet from the western line. This is a huge improvement over the current situation, providing more privacy for the new home and the adjacent neighbors. The existing building outline is shown as a dotted red line on the site overview, page 03.2.

The new structure will be located significantly further back from the bluff, 94'/85' compared to the current 48'.

This project is intended to be a milestone in energy efficient and sustainable design.



Project Brief

 evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603 www.evodomus.com	
Print Date: 2/20/24	
Design History Edt.: Date: Change:	
Class: Nathan Chavez 17428 Edgewater Drive Lakewood OH	
Drawing: Project Brief	
Issue Date: 02/20/2024	
Phase: ABR Review	
Sheet Number: 03.2	
Sheet Size: 11" x 17"	
Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH	
Project Number: CHZ	



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



View from Edgewater Drive



View from Forecourt



Rear of building, facing the lake



Rear of building, facing the lake

The New Home



evoDOMUS LLC
 2176 S Taylor Road
 Cleveland Heights, OH 44118
 Phone: +1(216) 772-2603
 www.evodomus.com

Print Date: 2/20/24

Design History:
 Edt: Date: Changes:

Class:
 Nathan Chavez
 17428 Edgewater Drive
 Lakewood OH

Drawing:
The New Home

Scale:

Issue Date:
 02/20/2024

Phase:
 ABR Review

Sheet Number:
03.6

Sheet Size:
 11" x 17"

Project Name:
Chavez Residence
 17428 Edgewater Drive Lakewood OH

Project Number:
CHZ



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



S and E Elevations

evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH
Drawing: S and E Elevations	
Scale: 1/8" = 1'-0"	Project Number: CHZ
Issue Date: 02/20/2024	
Phase: ABR Review	
Sheet Number: B-02	
Sheet Size: 11" x 17"	




Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe

Updated



S and E Elevations



evodomus
evodomus LLC

2176 S Taylor Road
Cleveland Heights, OH 44118
Phone: +1 (216) 772-2603
www.evodomus.com

Print Date: 4/9/24

Design History		
Edic.	Date	Changes

<p>Client: Nathan Chavez 17428 Edgewater Drive Lakewood OH</p>	<p>Chavez Residence 17428 Edgewater Drive Lakewood OH</p>
<p>Drawing: S and E Elevations</p>	
<p>Scale:</p>	
<p>Issue Date: 04/08/2024</p>	
<p>Phase: ABR Review 2</p>	<p>CHZ</p>
<p>Sheet Number: B-02</p>	
<p>Sheet Size: 11" x 17"</p>	



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



N and W Elevations

evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603		Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH		
Drawing: N and W Elevations Scale:		
Issue Date: 02/20/2024 Phase: ABR Review		
Sheet Number: B-01		Project Number: CHZ
Sheet Size: 11" x 17"		




Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe

Updated



N and W Elevations



evoDOMUS LLC
 2176 S Taylor Road
 Cleveland Heights, OH 44118
 Phone: +1 (216) 772-2603
 www.evodomus.com

Print Date: 4/9/24

Design History:		
Ed:	Date:	Changes:

Client: Nathan Chavez 17428 Edgewater Drive Lakewood OH	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH
Drawing: N and W Elevations Scale:	Project Number: CHZ
Issue Date: 04/08/2024	
Phase: ABR Review 2	
Sheet Number: B-01	
Sheet Size: 11" x 17"	



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



EIFS System we installed in 2014
To this day no cracks or discoloration, no moss or mold



Thanks to the EIFS system this home in NC can hold 65°F indoor temperature **without heating** on a 40°F winter day



Typhoon resistant Dryvit EIFS installation on a LEED platinum home we designed in the Philippines



Impeccable EIFS system on a home in PA

EIFS Systems

EIFS is a vital part in the effort to create energy efficient homes in times of dwindling resources and climate change.

evoDOMUS has used these advanced systems all over the world with great success.

Unlike some bad examples in the past these modern stucco systems provide not only superior thermal insulation and extreme durability due to its construction with a drainage plane and hydrophobic surface protection (HDL or Lotusan)

These products do not require movement joints and come with a 20 year warranty. Installation is performed by certified installers

evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Drawing: Design Examples EIFS Scale:	
Issue Date: 02/20/2024	Project Number: CHZ
Phase: ABR Review	
Sheet Number: 03.6	
Sheet Size: 11" x 17"	

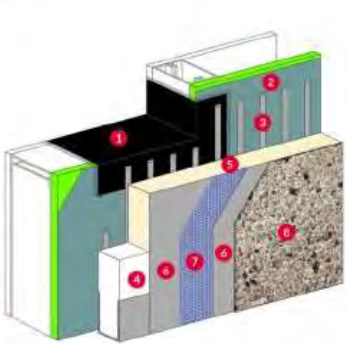
Design Examples EIFS



Docket No. 3-13-24 (17428 Edgewater) Residential Demolition and New Construction – Kolbe

Outsulation® Plus MD System

An Exterior Insulation and Finish System With Passive Moisture Drainage That and An Air/Water-Resistive Barrier



- 1 AquaFlash® Flashing System
- 2 Backstop® NT Air/Water-Resistive Barrier
- 3 Adhesive/ Drainage Medium
- 4 Pre-Based Starter Board
- 5 EPS Continuous insulation
- 6 Base Coat
- 7 Reinforcing Mesh
- 8 Finish



Stone accents ▲

▼ Thermally treated wood

DRYVIT EIFS System ▲▼



Horizontal wood paneling, facing the lake



▲ High performance windows



▲ Triple glazed curtain wall system

evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1 (216) 772-2603		Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107		
Drawing: Material Selections Scale:		
Issue Date: 02/20/2024		
Phase: ABR Review		
Sheet Number: 03.7		
Sheet Size: 11" x 17"		Project Number: CHZ

Material Selections



Docket No. 3-13-24 (17428 Edgewater) Residential Demolition and New Construction – Kolbe

Updated



Docket No. 3-13-24 (17428 Edgewater)
Residential Demolition and New Construction – Kolbe

Updated




Docket No. 3-13-24 (17428 Edgewater)
Residential Demolition and New Construction – Kolbe

Updated



First Floor Overview



evoDOMUS LLC
 2176 S Taylor Road
 Cleveland Heights, OH 44118
 Phone: +1 (216) 772-2603
 www.evodomus.com

Print Date: 4/9/24

Design History:		
Edt:	Date:	Changes:

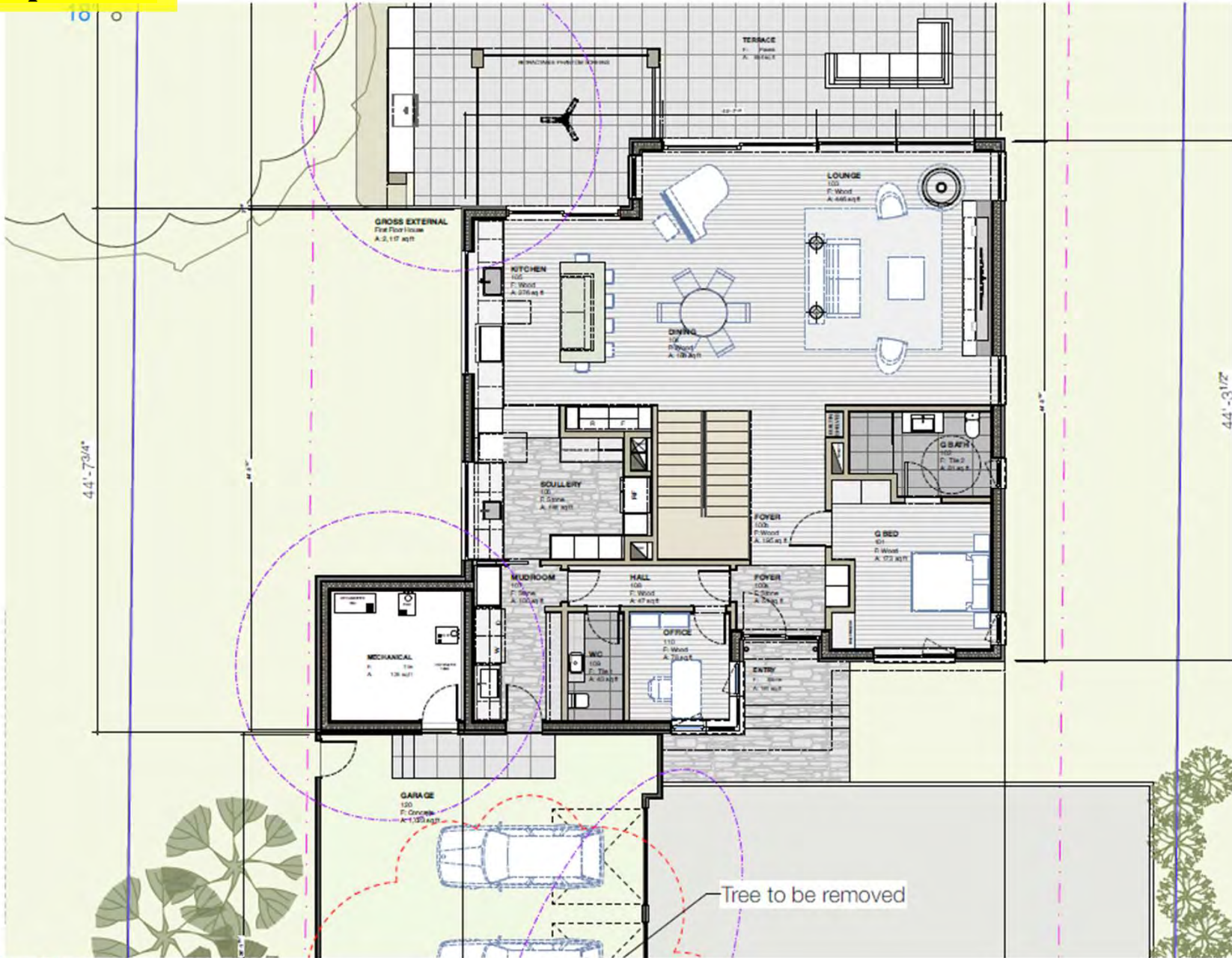
<p>Client: Nathan Chavez 17428 Edgewater Drive Lakewood OH</p>	<p>Chavez Residence 17428 Edgewater Drive Lakewood OH</p>
<p>Drawing: First Floor Overview Scale:</p>	<p>CHZ</p>
<p>Issue Date: 04/08/2024</p>	<p>CHZ</p>
<p>Phase: ABR Review 2</p>	<p>CHZ</p>
<p>Sheet Number: A-02</p>	<p>CHZ</p>
<p>Sheet Size: 11" x 17"</p>	<p>CHZ</p>



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe

Updated



First Floor

evodomus
 evodomus LLC
 2176 STaylor Road
 Cleveland Heights, OH 44118
 Phone: +1(216) 772-2603
 www.evodomus.com

Design History:
 Ed: Doc: Change

Client:
 Nathan Chavez
 17428 Edgewater Drive
 Lakewood OH

Drawing:
First Floor

Issue Date:
 04/08/2024

Phase:
 ABR Review 2

Sheet Number:
A-03

Sheet Size:
 11" x 17"

Project Name:
Chavez Residence
 17428 Edgewater Drive Lakewood OH

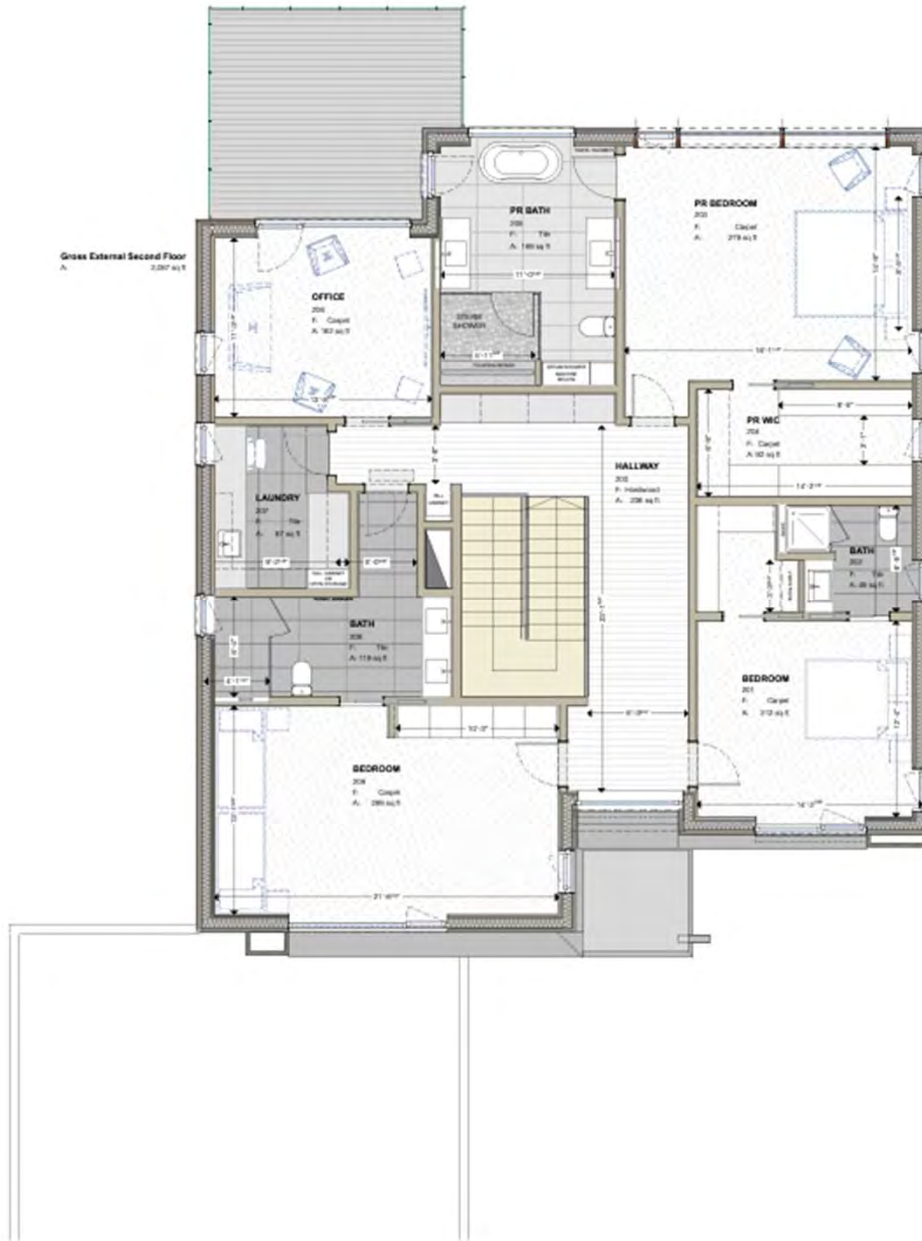
Project Number:
CHZ

Print Date: 4/9/24



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



Second Floor

evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH
Drawing: Second Floor	
Scale:	
Issue Date: 02/20/2024	
Phase: ABR Review	
Sheet Number: A-04	Project Number: CHZ
Sheet Size: 11" x 17"	



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH 44107	Project Name: Chavez Residence 17428 Edgewater Drive Lakewood OH 44107
Drawing: Landscape Proposal Scale:	
Issue Date: 02/20/2024	Phase: ABR Review
Sheet Number: 03.12	
Sheet Size: 11" x 17"	Project Number: CHZ



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe



evoDOMUS LLC 2176 S Taylor Road Cleveland Heights, OH 44118 Phone: +1(216) 772-2603	
Owner: Nathan Chavez 17428 Edgewater Drive Lakewood OH	Chavez Residence 17428 Edgewater Drive Lakewood OH
Drawing: Section I N-S	
Scale: 1/8" = 1'-0"	
Issue Date: 02/20/2024	
Phase: ABR Review	CHZ
Sheet Number: C-01	
Sheet Size: 11" x 17"	

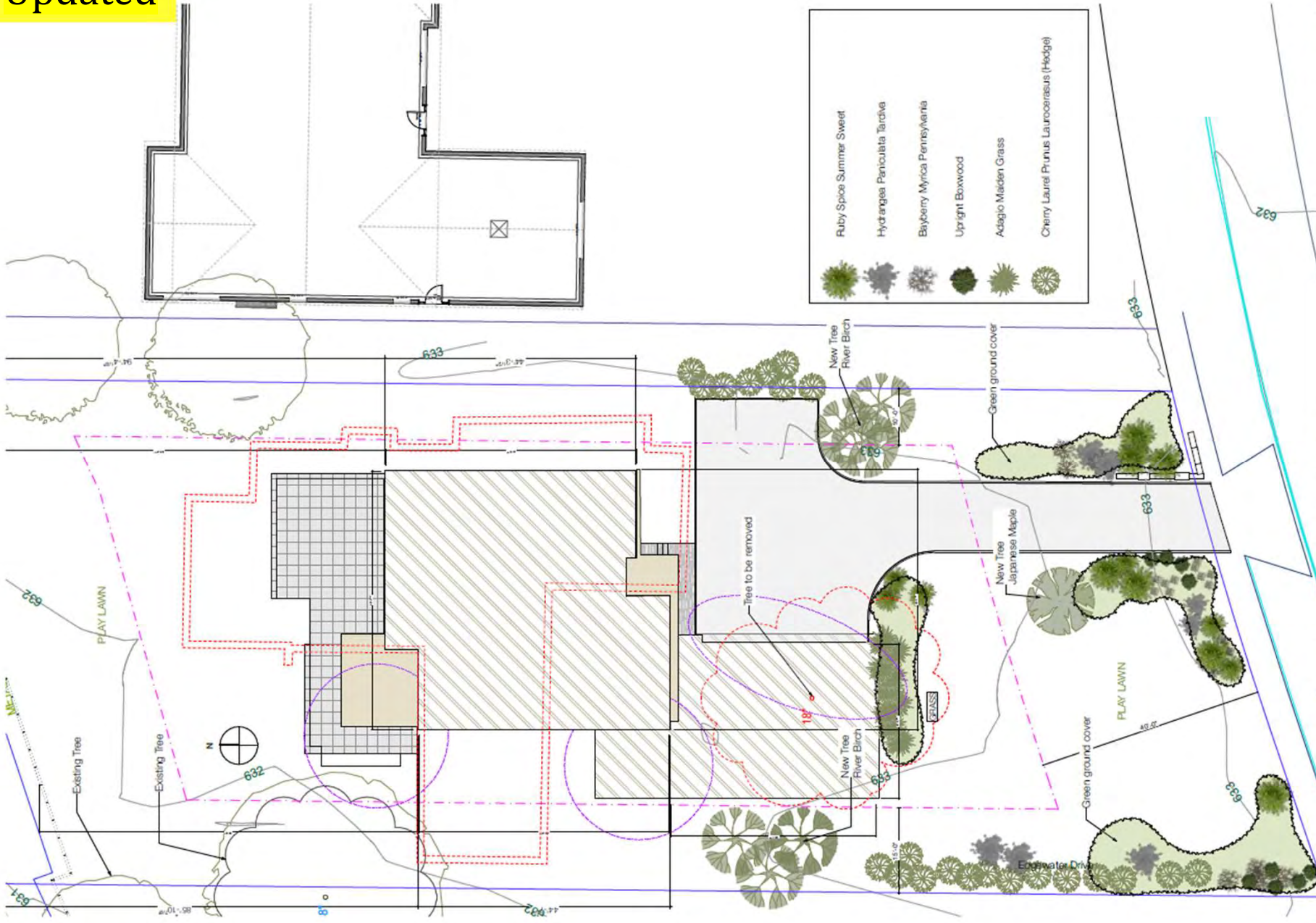
Section I N-S




Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe

Updated



- Ruby Spice Summer Sweet
- Hydrangea paniculata tardiva
- Bayberry Myrica Pennsylvania
- Upright Boxwood
- Adagio Maiden Grass
- Cherry Laurel Prunus laurocerasus (Hedge)



evoDOMUS LLC
 2176 S Taylor Road
 Cleveland Heights, OH 44118
 Phone: +1 (216) 772-2603
 www.evodomus.com

Plot Date: 4/9/24	
Design History:	
Edt:	Chg:
Client:	Chavez Residence 17428 Edgewater Drive Lakewood OH
Drawing: Landscape Proposal Scale:	
Issue Date:	CHZ
Phase:	
Sheet Number:	CHZ
Sheet Size:	

Landscape Proposal



Docket No. 3-13-24 (17428 Edgewater)

Residential Demolition and New Construction – Kolbe

Updated



Docket No. 3-13-24 (17428 Edgewater)
Residential Demolition and New Construction – Kolbe

Updated



Docket No. 3-13-24 (17428 Edgewater)
Residential Demolition and New Construction – Kolbe

Updated



Docket No. 3-13-24 (17428 Edgewater)
Residential Demolition and New Construction – Kolbe

Applicant proposes renovation of outdoor dining area.

City Notes:

N/A



Recommend Table



Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation – Hola Taco
Ryan Kauffman



Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman



Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman

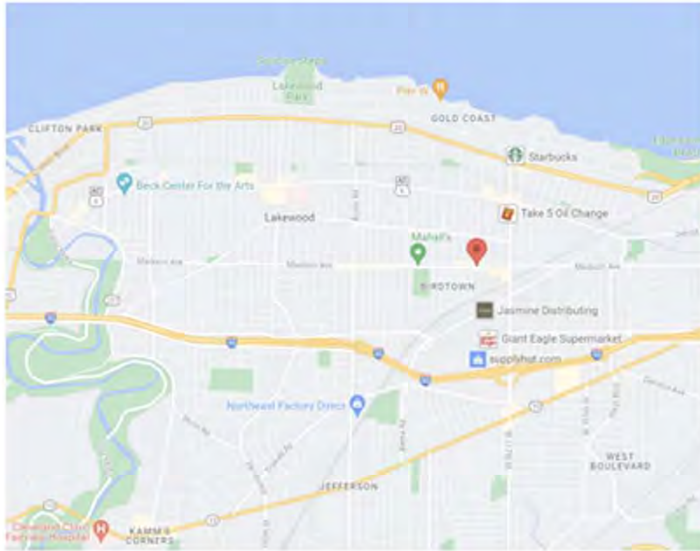


Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman

Hola Taco StruXure Project

12102 Madison Ave
Lakewood, OH 44107

VICINITY MAP



General Notes:

All reference in this section are according to the Ohio Residential Building Code. All areas of the building are to meet or exceed the standards required therein.

Soil bearing design based on 1,500 psf at footing depth. Contractor and owner are responsible for verifying that the above soil conditions exists at the foundation locations. Soil testing is recommended for any areas that have been mined or disturbed previously.

Concrete strength for footers shall be a minimum of 3,000 psf at 28 days. Concrete for exterior slabs shall be a minimum of 4,000 psf at 28 days with 6% air entrainment.

The structure is designed to be self-supporting and stable after completion. It is the contractors responsibility to determine erection procedures and sequence, and to ensure the safety of the building and it's components.

An approved set of construction documents shall be kept at the site of the work. And shall be available for reference by the building official at all times during working hours while such work is in progress.

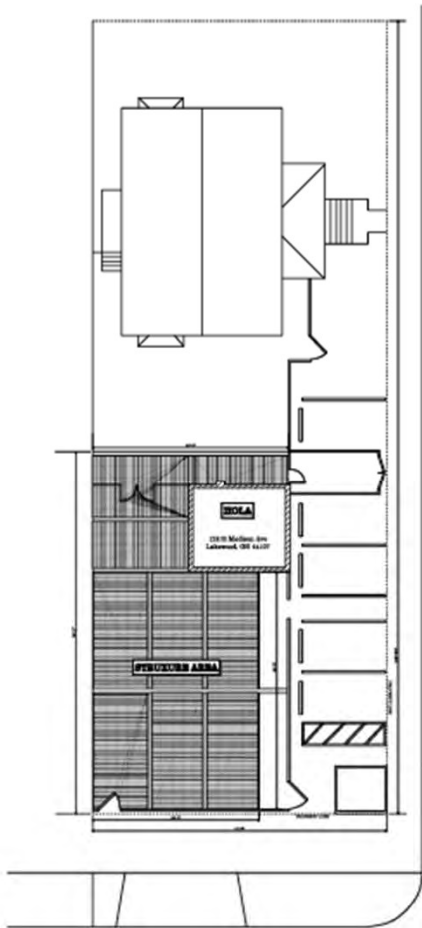
<p>SECTION LETTER A</p> <p>PAGE NUMBERS 11</p>	<p>PAGE: 1 / 3 Cover Sheet</p>
<p>Hola Tacos 12102 Madison Ave Lakewood OH 44107</p>	<p>Cuyahoga County</p> <p>DRAWN BY: QUINN MILLER</p> <p>SCALE: As Noted</p> <p>DATE: Monday, February 19, 2024</p>
<p>Kauffman Lawn Furniture 4540 US 62 MILLERSBURG OH 44654</p> <p>330-401-6303 BRYAN@KAUFFMANLAWNFURNITURE.COM</p>	<p>SOFTPLAN ARCHITECTURAL DESIGN SOFTWARE</p>



Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman

Site Plan

Scale: 1/32" = 1'



Kauffman Lawn Furniture
4540 US 62 MILLERSBURG OH 44654

330-401-6303
BRYAN@KAUFFMANLAWNFURNITURE.COM

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

Hola Tacos
12102 Madison Ave
Lakewood OH 44107
Cuyahoga County

DRAWN BY: QUINN MILLER

SCALE: 0.0312" = 1'-0"

DATE: Monday, February 19, 2024



PAGE: 2 / 3

Site Plan

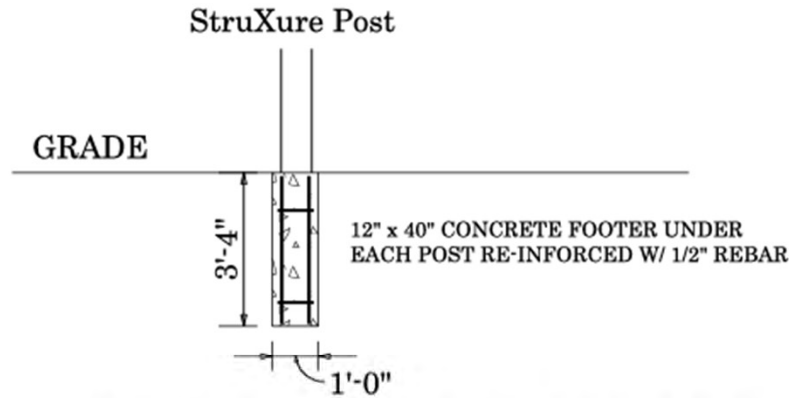


Docket No. 3-16-24 (12102 Madison)


Commercial Outdoor Dining Renovation - Kauffman

Footer Detail

SCALE: 1/4" = 1'-0"



**SEE PG A 108 FOR BRACKET / FASTENER DETAILS

 <p>Kauffman Lawn Furniture 4540 US 62 MILLERSBURG OH 44654 BRYAN@KAUFFMANLAWNFURNITURE.COM 330-401-6303</p>	<p>Hola Tacos 12102 Madison Ave Lakewood OH 44107 Cuyahoga County</p>	<p>SECTION LETTER A</p>
	<p>DRAWN BY: QUINN MILLER</p>	<p>PAGE: 3 / 3</p>
<p>SOFTPLAN ARCHITECTURAL DESIGN SOFTWARE</p>	<p>SCALE: 1/4" = 1'-0"</p>	<p>Section Detail</p>
<p>DATE: Monday, February 19, 2024</p>		



Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman

PRESENTED BY:
KAUFFMAN LAWN FURNITURE

4574 US-62
MILLERSBURG, OH 44654

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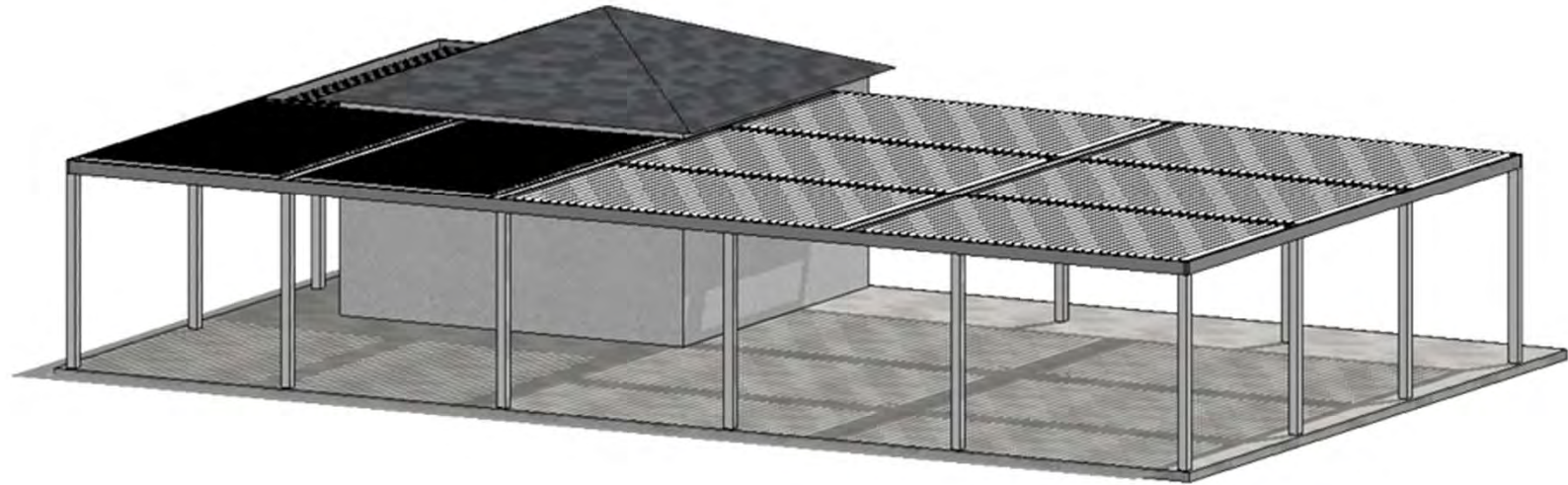
DATE ISSUED:
February 18, 2024
ADDRESS
12102 MADISON AVE,
LAKEWOOD, OH 44107

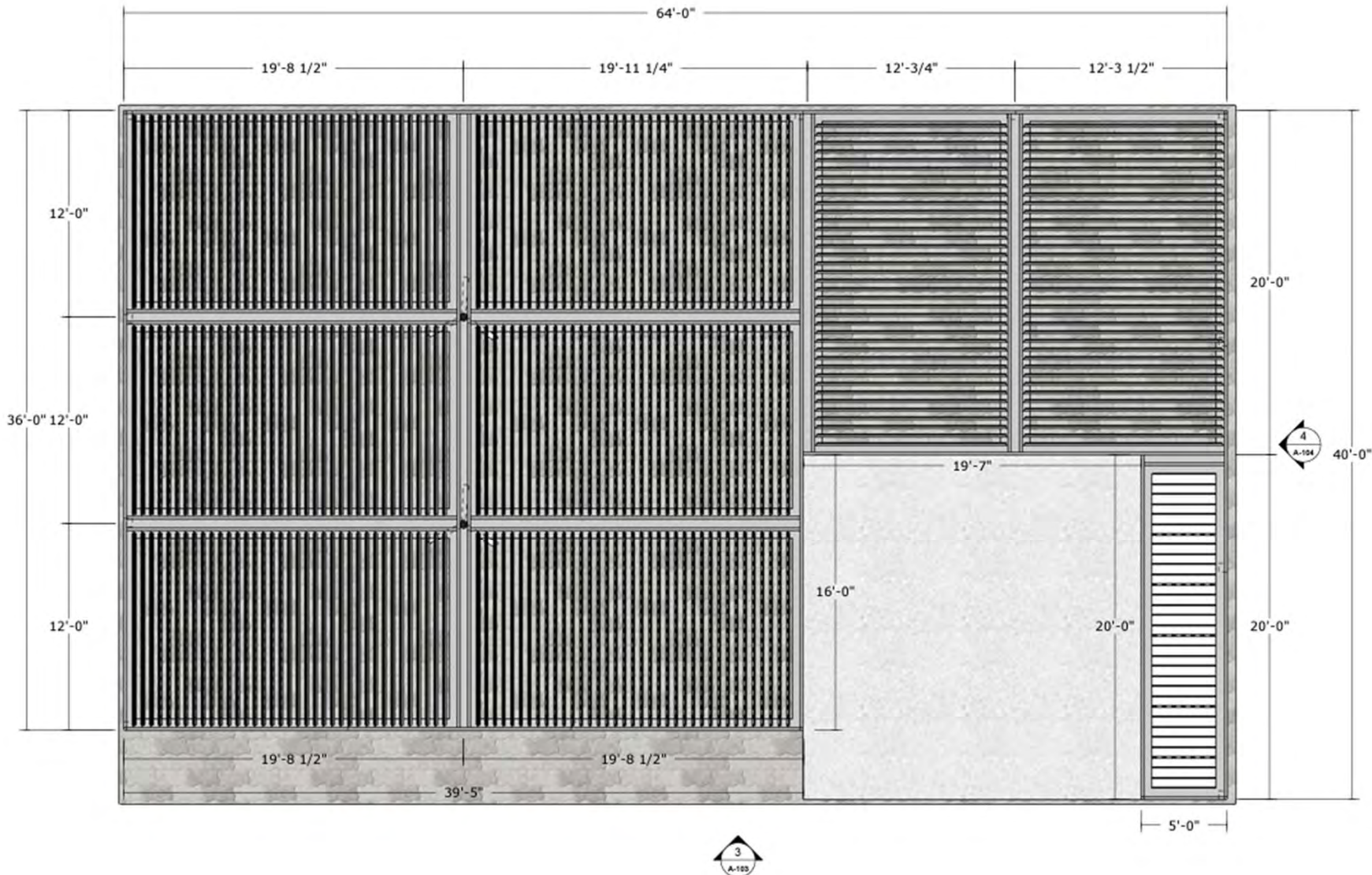
PROJECT SHEETS
A 100/COVER
A 101/ TOP PLAN
A 102/ TOP DETAIL PLAN
A 103/ SIDE ELEVATION
A 104/ FRONT ELEVATION
A 105/ LOUVER DETAIL
A 106/ GUTTER DETAIL
A 107/ POST DETAIL
A 108/ FOOTER DETAIL
A 109/ DETAIL
A 110/ DETAIL
A 111/ DETAIL

PROJECT # 7056	DRAWING # C-100
-------------------	--------------------

PAGE NAME:
COVER SHEET

PAGE #
A100





HOLA TACOS

PRESENTED BY:
KAUFFMAN LAWN FURNITURE

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MILLERSBURG, OH 44654

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DATE ISSUED:
February 18, 2024

ADDRESS:
12102 MADISON AVE,
LAKEWOOD, OH 44107

PROJECT #: 7056	DRAWING #: 1
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PAGE NAME:
TOP VIEW

PAGE #:
A101

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

1 :: TOP VIEW
::Scale: 3/16" = 1'-0"

PERGOLA SHOP DRAWING | STRUXTURE™
OUTDOOR



Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman

HOLA TACOS

PRESENTED BY:
KAUFFMAN LAWN FURNITURE

4574 US-62
MILLESBURG, OH 44654

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DATE ISSUED:
February 18, 2024

ADDRESS:
12102 MADISON AVE,
LAKEWOOD, OH 44107

PROJECT #: 7056	DRAWING #: 2
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PAGE NAME:
TOP DETAIL PLAN

PAGE #:
A102

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



6
A

4
A-104

6
B

3
A-103

2 :: TOP DETAIL PLAN
::Scale: 3/16" = 1'-0"

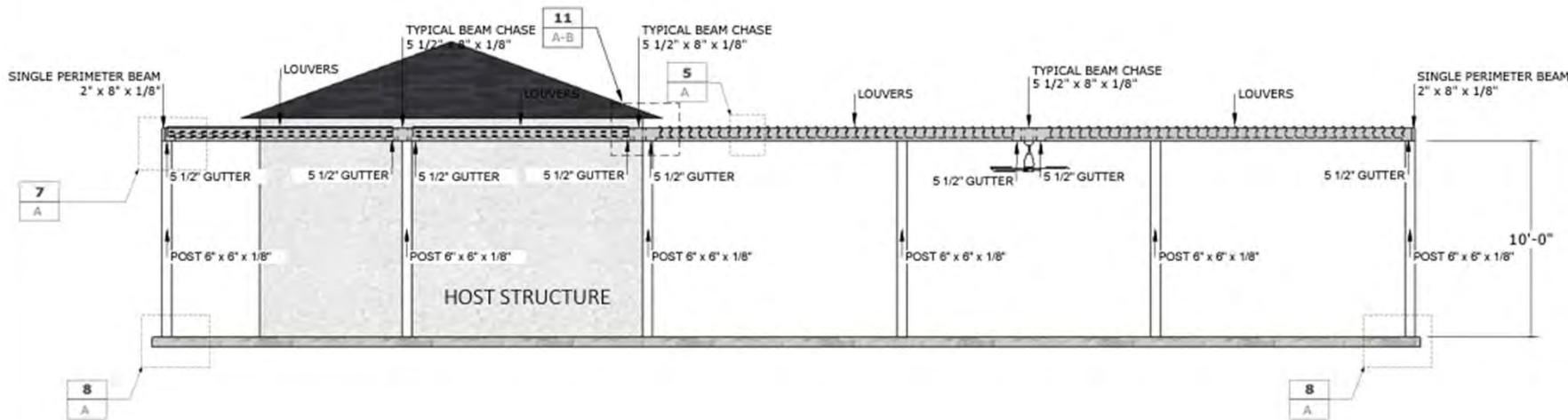
PERGOLA SHOP DRAWING | STRUXURE™
OUTDOOR



Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman

HOLA TACOS



3 :: SIDE ELEVATION
 ::Scale: 3/16" = 1'-0"

PRESENTED BY:
 KAUFFMAN LAWN FURNITURE

4574 US-62
 MILLERSBURG, OH 44654

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PROJECT #: 7056	DRAWING #: 3
--------------------	-----------------

PAGE NAME:
 SIDE ELEVATION

PAGE #:
 A103

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

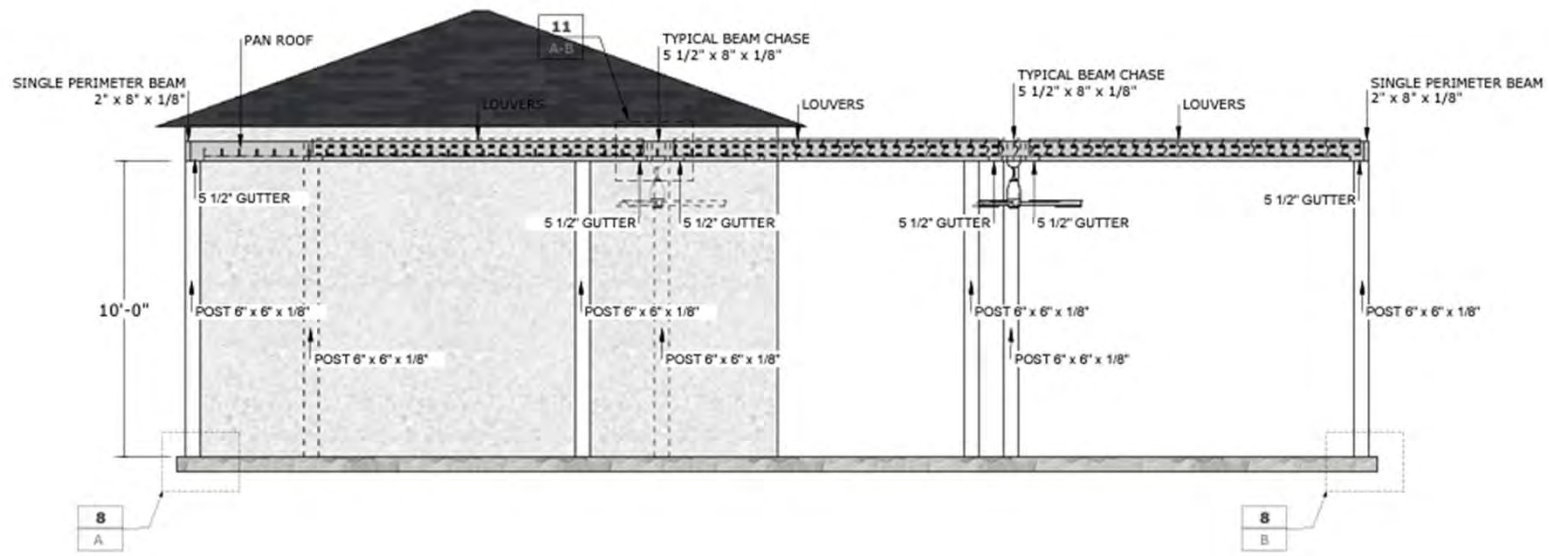
PERGOLA SHOP DRAWING | STRUXORE™
 OUTDOOR



Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman

HOLA TACOS



PRESENTED BY:
KAUFFMAN LAWN FURNITURE

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PROJECT #: 7056	DRAWING #: 4
--------------------	-----------------

PAGE NAME:
FRONT ELEVATION

PAGE #:
A104

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

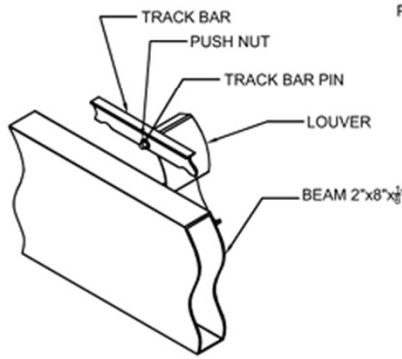
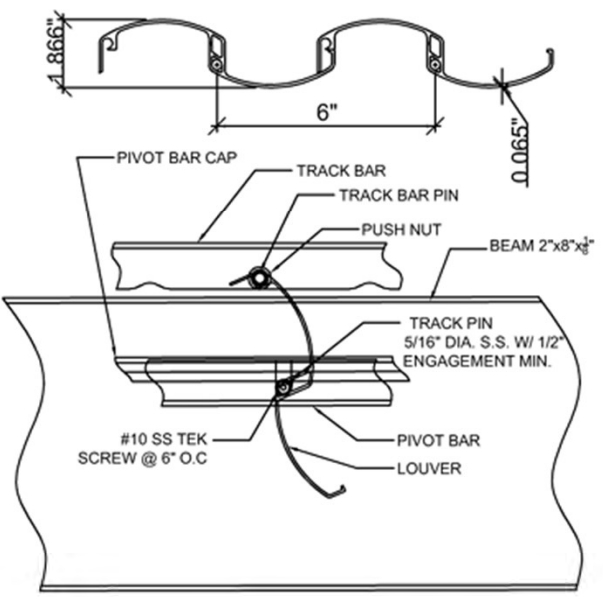
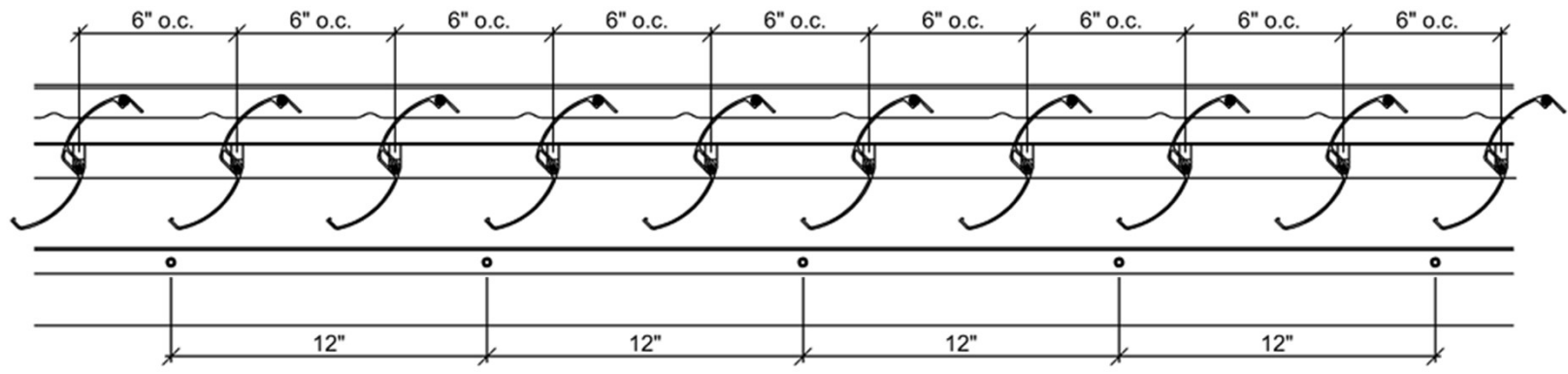
4 :: FRONT ELEVATION
::Scale: 3/16" = 1'-0"

PERGOLA SHOP DRAWING | STRUXURE™
OUTDOOR

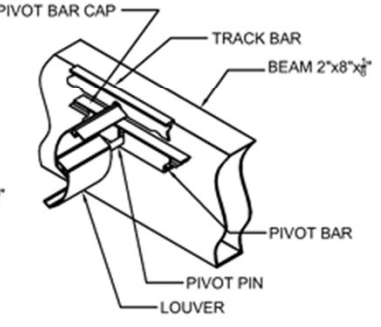


Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman



ISOMETRIC OUT-SIDE VIEW



ISOMETRIC IN-SIDE VIEW

5 LOUVER DETAIL - STANDARD VIEWS
A

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PROJECT #:
7056

DRAWING #:
5

PAGE NAME:
LOUVER DETAIL

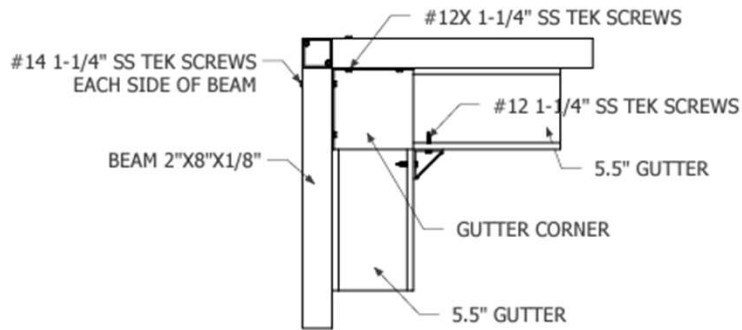
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ALL OTHER COMPONENTS 6063-T6

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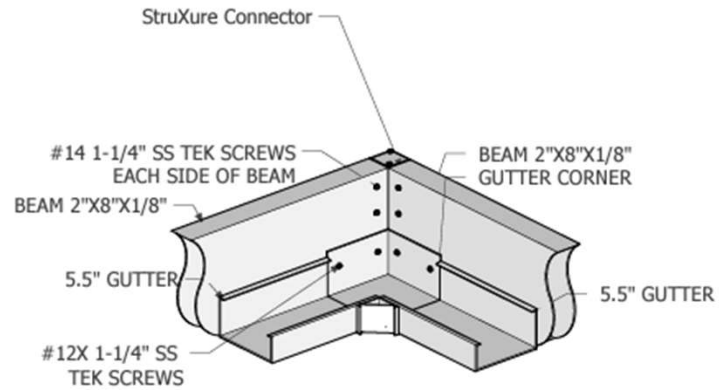


Docket No. 3-16-24 (12102 Madison)

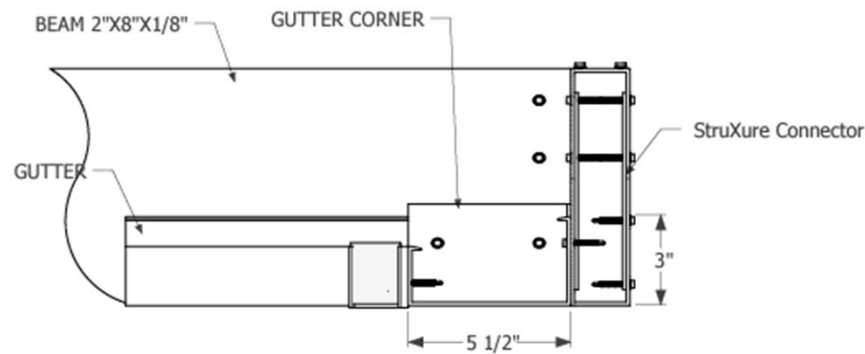
Commercial Outdoor Dining Renovation - Kauffman



6 :: GUTTER DETAIL - TOP VIEW
A
scale: 1 1/2" = 1'-0"



6 :: GUTTER DETAIL - ISOMETRIC VIEW
B
scale: 1 1/2" = 1'-0"



6 :: GUTTER DETAIL - SIDE VIEW
C
scale: 3" = 1'-0"

6 :: GUTTER DETAIL
Scale: 3" = 1'-0"

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PROJECT # 7056	DRAWING # 6
-------------------	----------------

PAGE NAME:
GUTTER DETAIL

PAGE #:
A106
ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman

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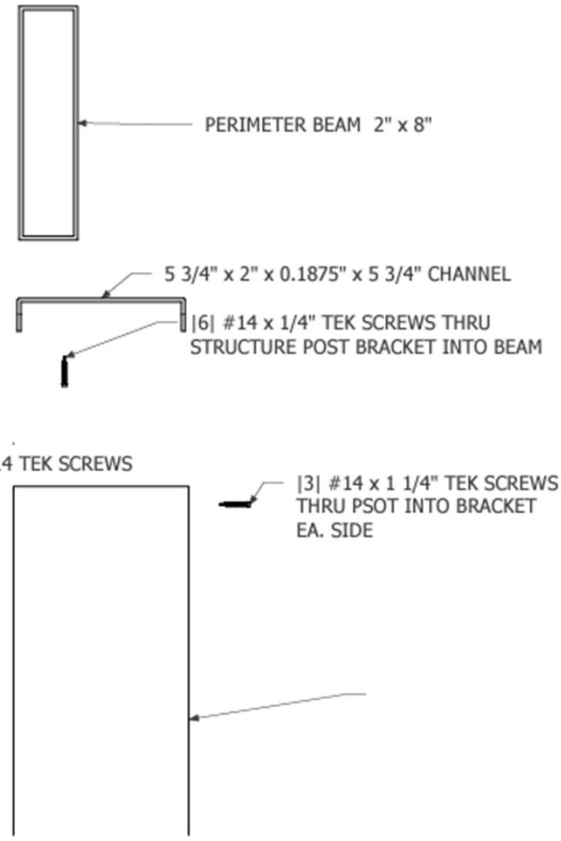
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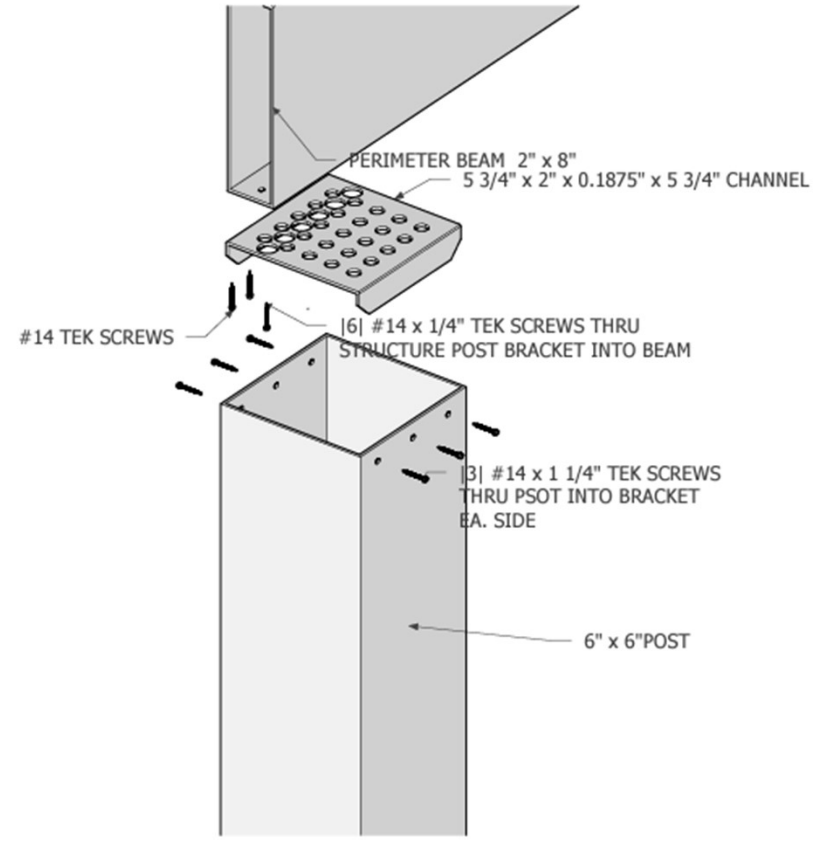
DATE ISSUED:
February 18, 2024
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LAKEWOOD, OH 44107

PROJECT # 7056	DRAWING # 7
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PAGE NAME:
POST DETAIL
PAGE #
A107
ALUMINUM TYPE
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



7 :: POST DETAIL - FRONT VIEW
A
scale: 3" = 1'-0"



7 :: POST DETAIL - ISOMETRIC VIEW
B
scale: 3" = 1'-0"

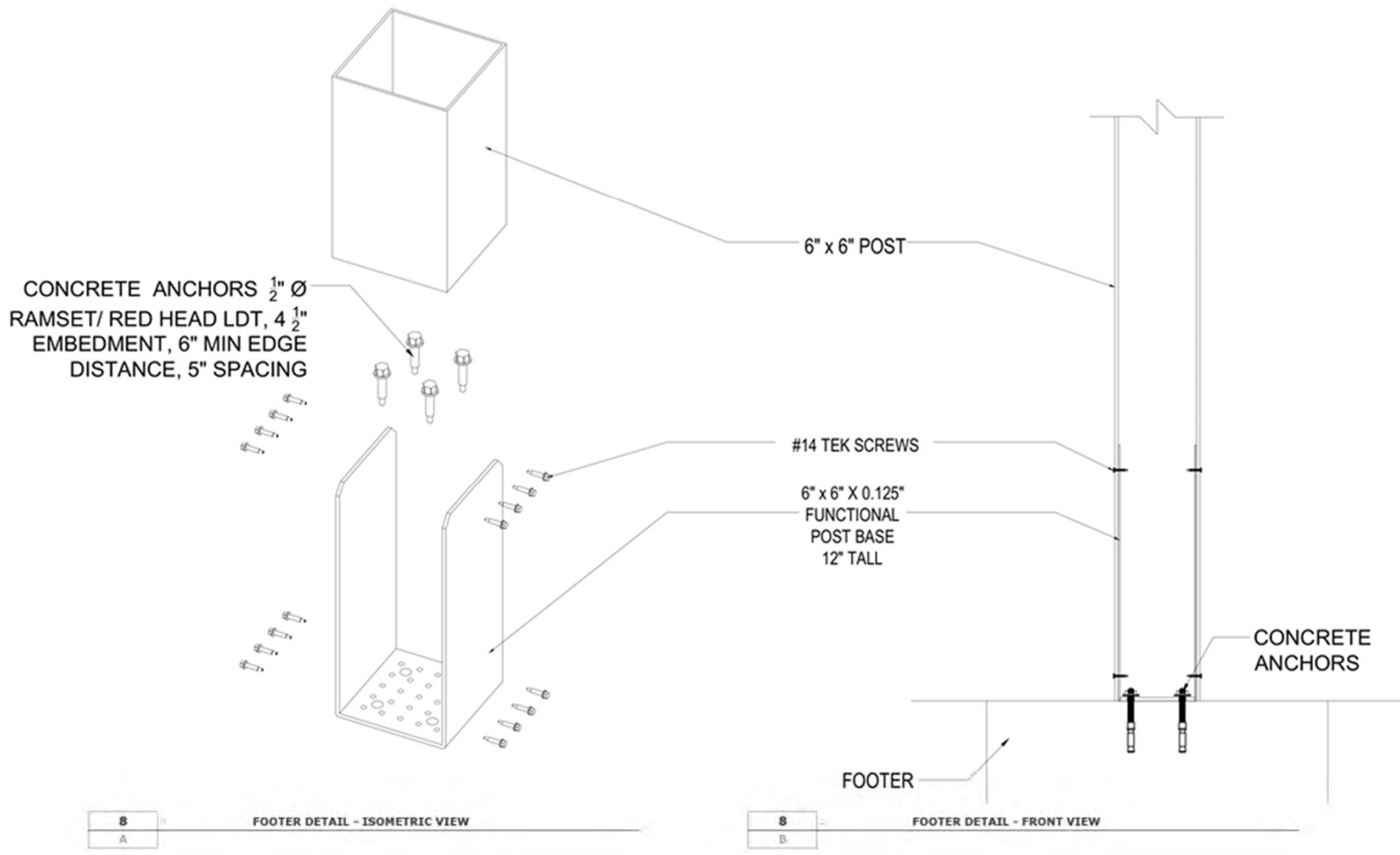
7 :: POST DETAIL



Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman

HOLA TACOS



8
A

FOOTER DETAIL - ISOMETRIC VIEW

8
B

FOOTER DETAIL - FRONT VIEW

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PROJECT #:
7056

DRAWING #:
8

PAGE NAME:
FOOTER DETAIL

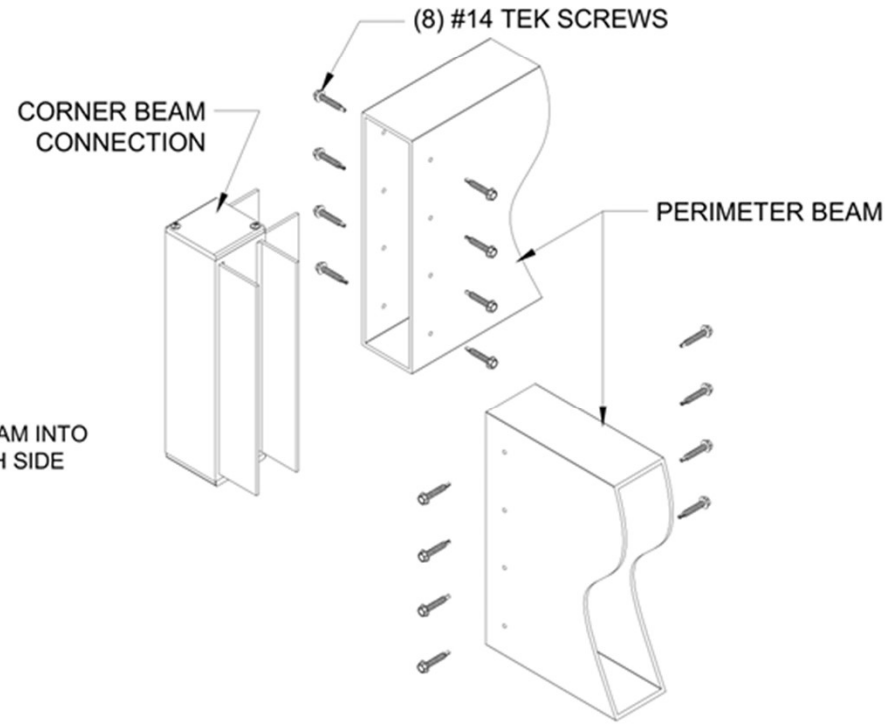
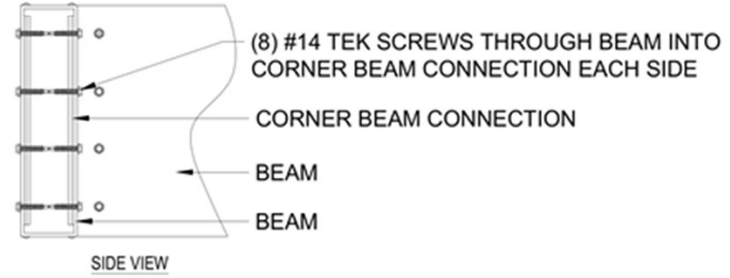
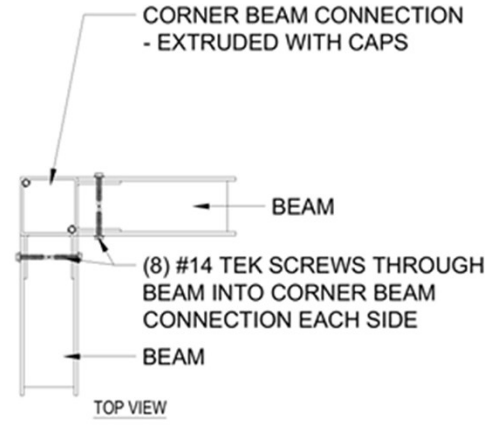
PAGE #:
A108
ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

8 :: FOOTER DETAIL
::Scale: 3/16" = 1'-0"



Docket No. 3-16-24 (12102 Madison) Commercial Outdoor Dining Renovation - Kauffman

HOLA TACOS



TYPICAL CORNER ASSAMBLEY - VIEWS

9
A

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PROJECT #: 7056	DRAWING #: 9
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PAGE NAME:
DETAIL

PAGE #:
A109

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

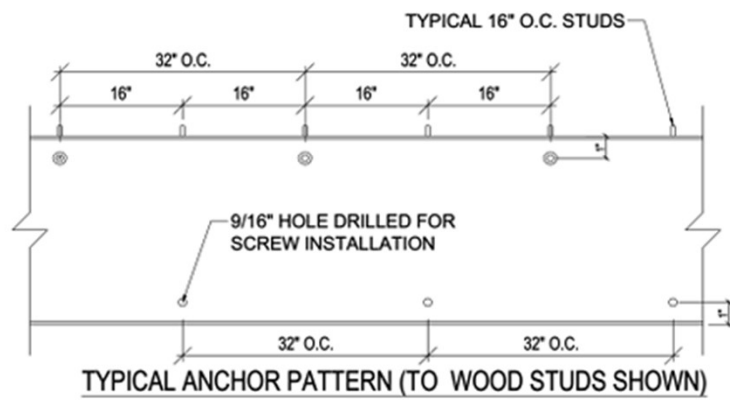
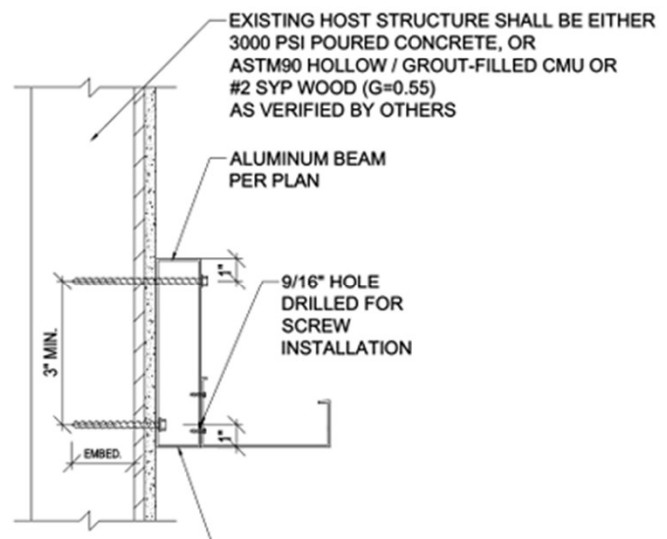
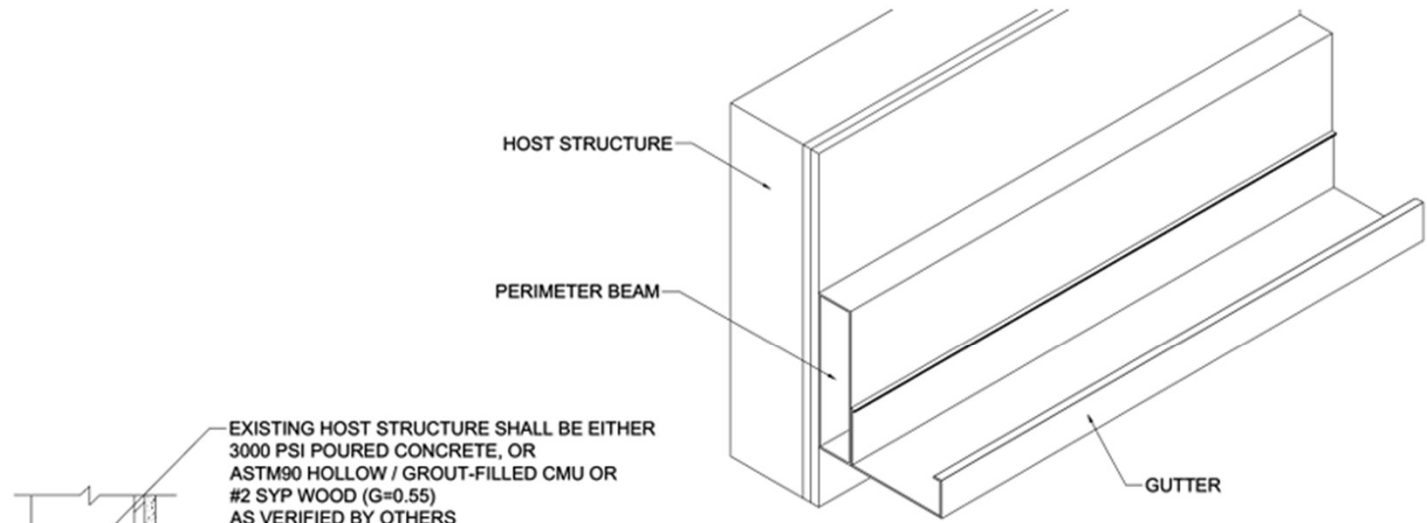
9 :: DETAIL
::Scale: 3/16" = 1'-0"

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OUTDOOR



Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman



EXISTING HOST STRUCTURE SHALL BE EITHER 3000 PSI POURED CONCRETE, OR ASTM90 HOLLOW / GROUT-FILLED CMU OR #2 SYP WOOD (G=0.55) AS VERIFIED BY OTHERS

ALUMINUM BEAM PER PLAN

9/16" HOLE DRILLED FOR SCREW INSTALLATION

3" MIN.

EMBED

FOR CONCRETE ATTACHMENT:
 [2] 1/4" DIAM. ITW STAINLESS STEEL TAPCON INTO WALL W/ 3" EMBEDMENT AND 3" EDGE DISTANCE, SPACED 12" O.C. STAGGERED

FOR WOOD ATTACHMENT:
 [2] 1/4" DIAM. S.S. WOOD LAG SCREWS INTO WALL W/ 3" THREAD ENGAGEMENT AND 3/4" MINIMUM EDGE DISTANCE, SPACED 16" O.C. STAGGERED

FOR HOLLOW CMU ATTACHMENT:
 [2] 1/4" DIAM. S.S. HILTI KWIK-CON II+ INTO BLOCK FACE W/ 1-3/4" EMBEDMENT AND 3" MINIMUM EDGE DISTANCE, SPACED 12" O.C. STAGGERED

BEAM TO HOST STRUCTURE CONNECTION

10 :: DETAIL
 ::Scale: 3/16" = 1'-0"

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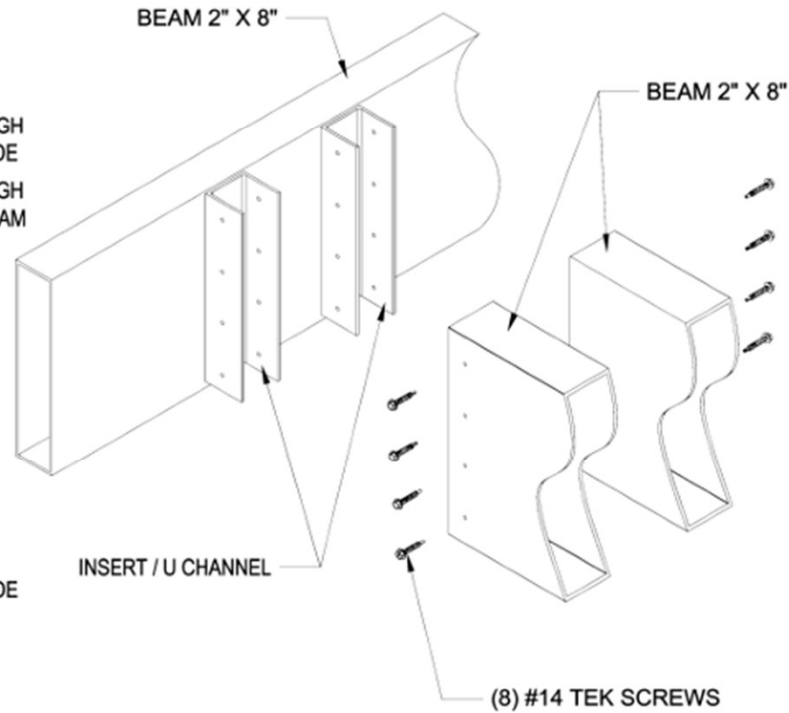
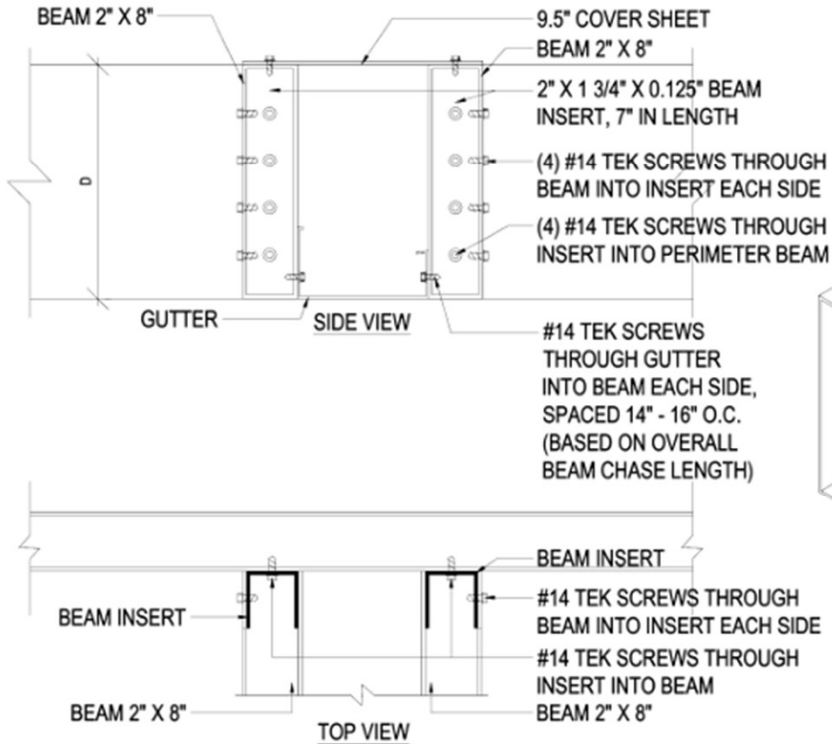
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PROJECT #: 7056	DRAWING #: 10
PAGE NAME: DETAIL	
PAGE #: A110	
ALUMINUM TYPE: LOUVERS 6063-T5 ALL OTHER COMPONENTS 6063-T6	



Docket No. 3-16-24 (12102 Madison)
 Commercial Outdoor Dining Renovation - Kauffman



11
A

DETAIL - FRONT VIEW

11
B

DETAIL - ISOMETRIC

TYPICAL BEAM CHASE

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PROJECT #: 7056	DRAWING #: 11
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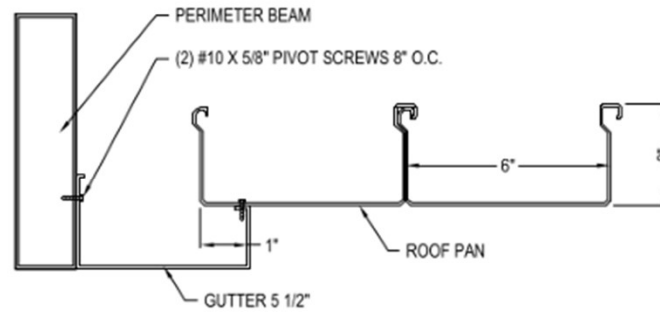
PAGE NAME:
DETAIL

PAGE #:
A111

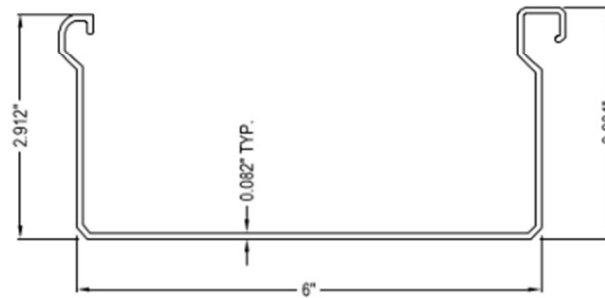
ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

11 :: DETAIL
::Scale: 3/16" = 1'-0"





GUTTER TO ROOF PAN ATTACHMENT DETAIL



SELF MATING FLAT ROOF PAN

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4875-195

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PROJECT #: 7056	DRAWING #: 12
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PAGE NAME:
DETAIL

PAGE #:
A112

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T5

12 :: DETAIL
::Scale: 3/16" = 1'-0"

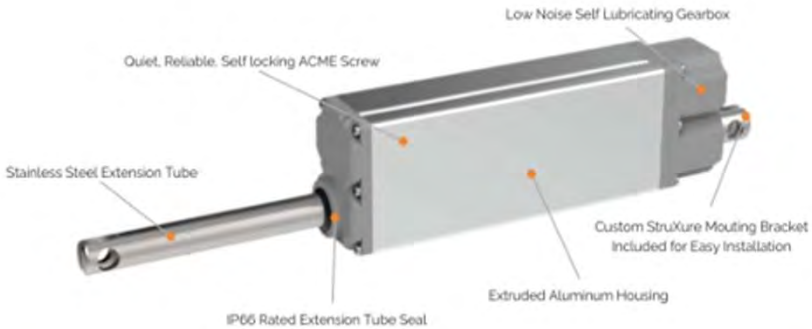


Docket No. 3-16-24 (12102 Madison)

Commercial Outdoor Dining Renovation - Kauffman

LOUVERED PERGOLA CONTROL

LOUVERED ROOF MOTOR



*Product dimensions: 10.59 x 8.59 x 6.96 in. / 268.99 x 218.19 x 176.78 mm
 ** Enclosure must be mounted in this vertical orientation

SOMFY TECHNICAL SPECIFICATIONS

VOLTAGE		
Input Voltage	[VDC]	24
LOAD		
Static Load (Fx), max.	[N/lbs]	2500 / 562
Dynamic Load (Fx), max.	[N/lbs]	2500 / 562
STROKE		
Stroke length, standard	[mm]	140
CURRENT		
Current consumption, rated load	[A]	1.875
GENERAL DATA		
Speed, no load	[mm/s]	3.4
Speed, rated load	[mm/s]	2.8
Operating temperature limits	[°C]	-10/+60
Service life	[Cycles]	± 10,000
Sound level	[dBA]	± 70
Lead screw type		ACME
Protection Class		IP66
Certificates		CE (EN60601-1)
Insulation		CLASS III

COMPONENT RATINGS AND CERTIFICATIONS

POWER SUPPLY		
Input Voltage	[VAC]	115/230
Input Voltage Frequency Range	[Hz]	47 - 63
Output Voltage	[VDC]	24
Voltage Adjustable Range	[VDC]	21.6 - 28.8V
Current Range	[A]	0 - 14.6
Rated Power	[W]	350.4
Safety Standard	[UL Certification]	UL60950-1
POWER SUPPLY CABLE (NOT SHOWN)		
Safety Standard	[ETL Certification]	#3170291
Voltage Rating	[V]	300
Temperature Rating	[°F]	-40 to 158
ENCLOSURE		
Safety Standard	[UL Certification]	UL508A
	[File Number]	E352997
Temperature Range	[°F]	-40 to 257
Impact Resistance	[in/lb]	500
Dielectric Strength	[volts/mil]	380
UV Rating	[UL Certification]	UL 746C
Flammability Rating	[UL Certification]	UL 94

HOLA TACOS

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PROJECT #: 7056	DRAWING #: 13
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PAGE NAME:
DETAIL
PAGE #:
A113

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6

13 :: DETAIL
::Scale: 3/16" = 1'-0"

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Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman



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Commercial Outdoor Dining Renovation - Kauffman



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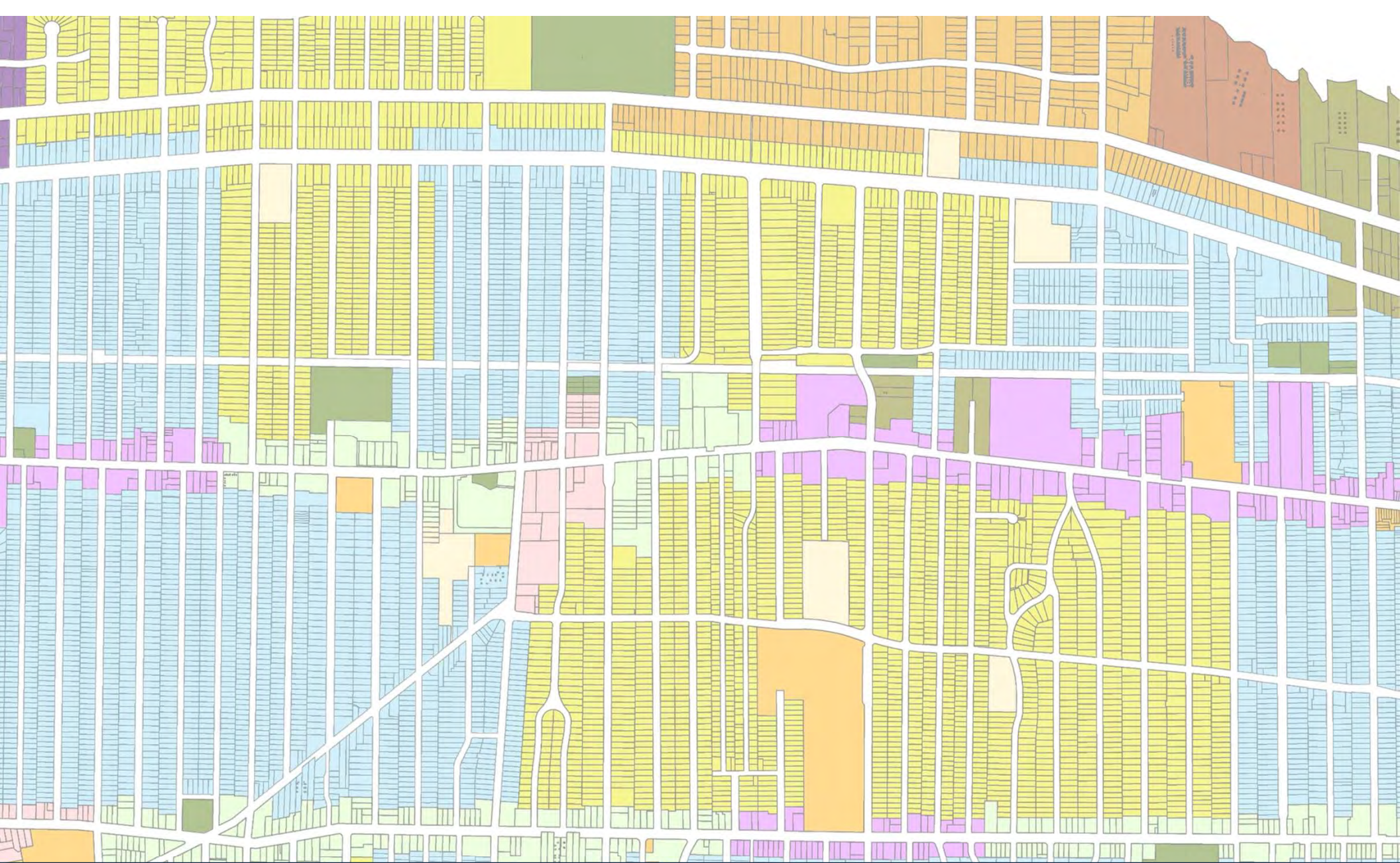
Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman



Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman



Docket No. 3-16-24 (12102 Madison)
Commercial Outdoor Dining Renovation - Kauffman



Architectural Board of Review

April 2024

Applicant proposes renovation of residential structure.

City Notes:

- Porch has already been deconstructed
- Specifications:
 - Shutter color: louvered white
 - Windows: Andersen wood clad
 - Porch lights: recessed can
 - Siding color: medium grey
 - Windows, trim, shutters: white
 - Roof: match existing
 - Wood railing and spindels: white
 - Stairs: brick w/limestone tread
 - 5" lap siding, 5" shake siding. All siding new and existing to be painted medium gray



Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation
Jill Brandt



Docket No. 4-22-24 (1276 Manor Park)
Residential Renovation - Brandt



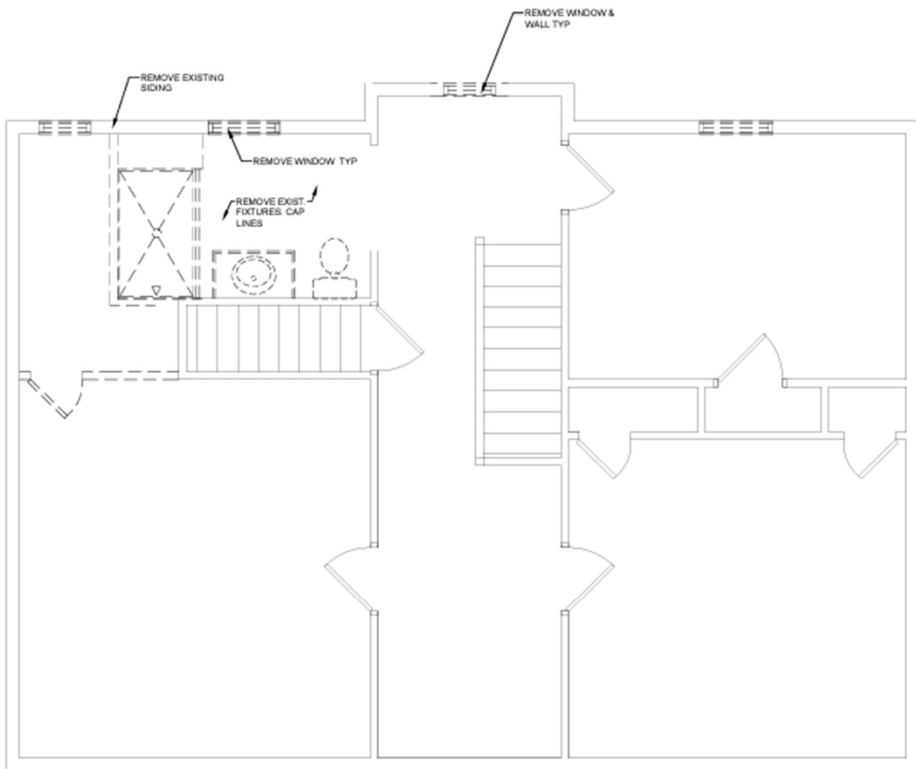


Docket No. 4-22-24 (1276 Manor Park)
Residential Renovation - Brandt

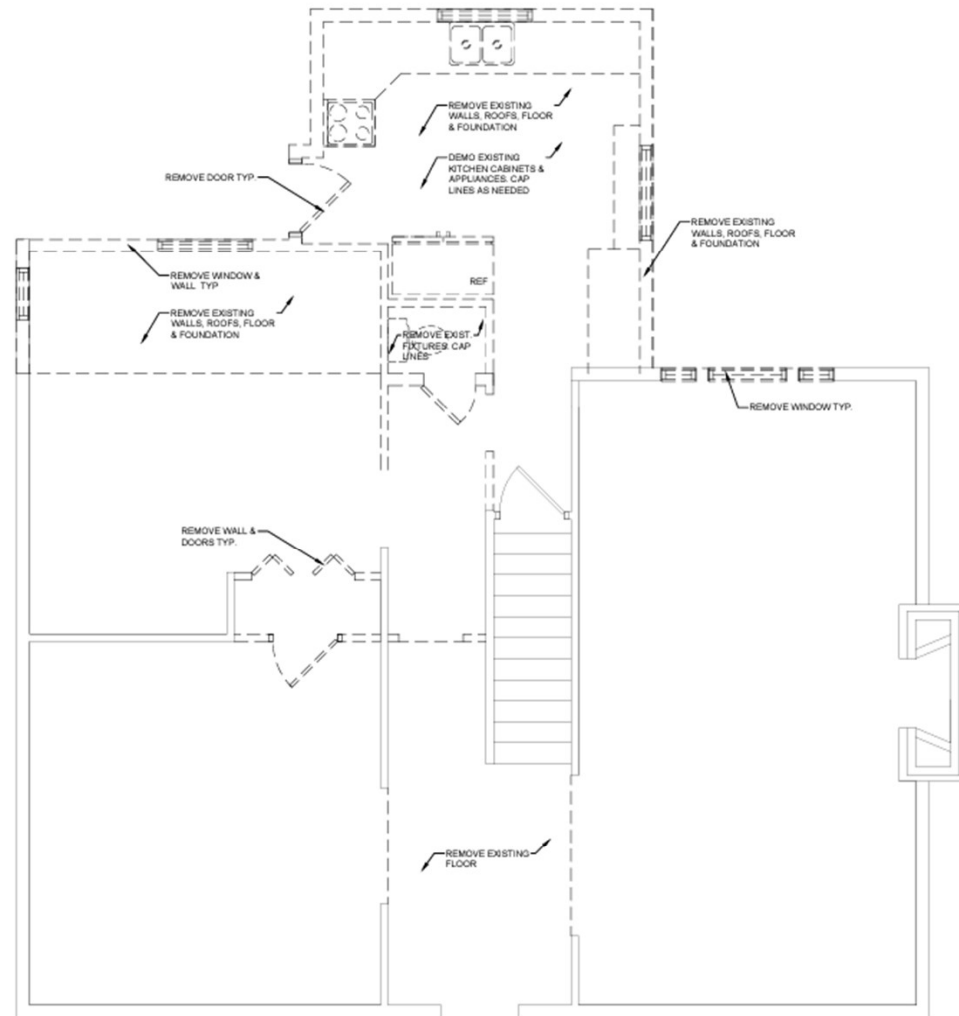


Docket No. 4-22-24 (1276 Manor Park)
Residential Renovation - Brandt





1 SECOND FLOOR DEMO PLAN
A-0 SCALE: 1/4" = 1'-0"

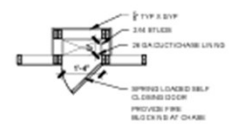


2 FIRST FLOOR DEMO PLAN
A-0 SCALE: 1/4" = 1'-0"

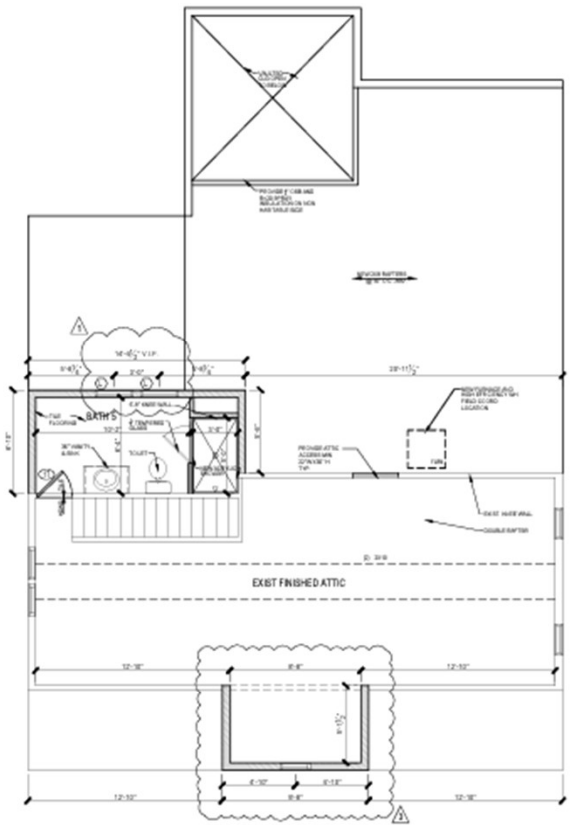


Docket No. 4-22-24 (1276 Manor Park)

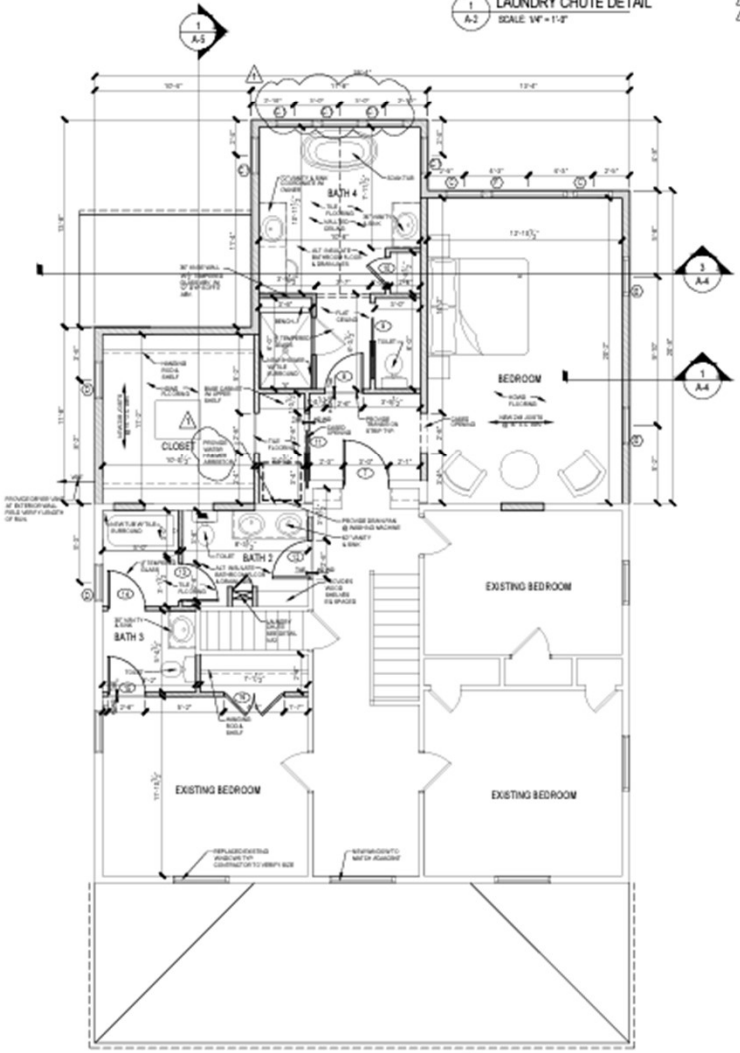
Residential Renovation - Brandt



1 LAUNDRY CHUTE DETAIL
 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

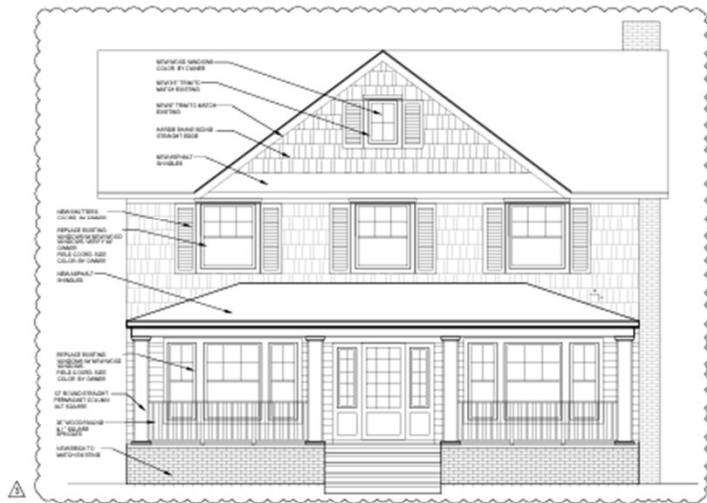


3 SECOND FLOOR PLAN
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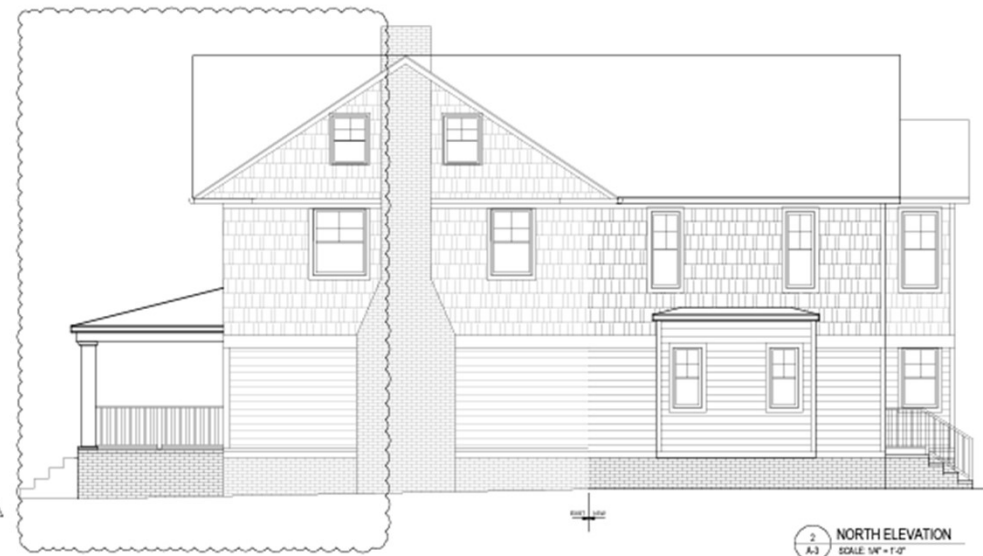


Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation - Brandt



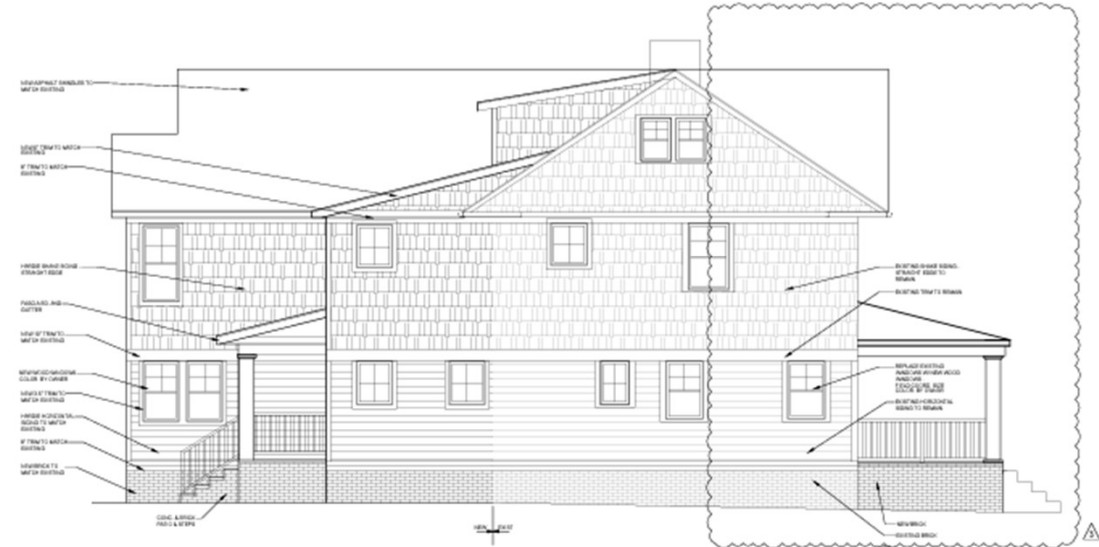
1 EAST ELEVATION (NO CHANGE)
SCALE 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE 1/4" = 1'-0"



3 WEST ELEVATION
SCALE 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

BRANDT
ARCHITECTURE, LLC
2200 Wooster Rd
Rocky River, OH 44116
440.884.8424
brandt@brandtllc.com

11-8-23	PERMIT
11-30-23	REVISIONS
3-28-24	REVISIONS
3-14-24	REVISIONS



Jill L. Brandt
OH #12667
EXP 12/31/25

CARSON RESIDENCE
1276 MANOR PARK AVE
LAKEWOOD, OHIO 44107

ELEVATIONS
A-3



Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation - Brandt



3

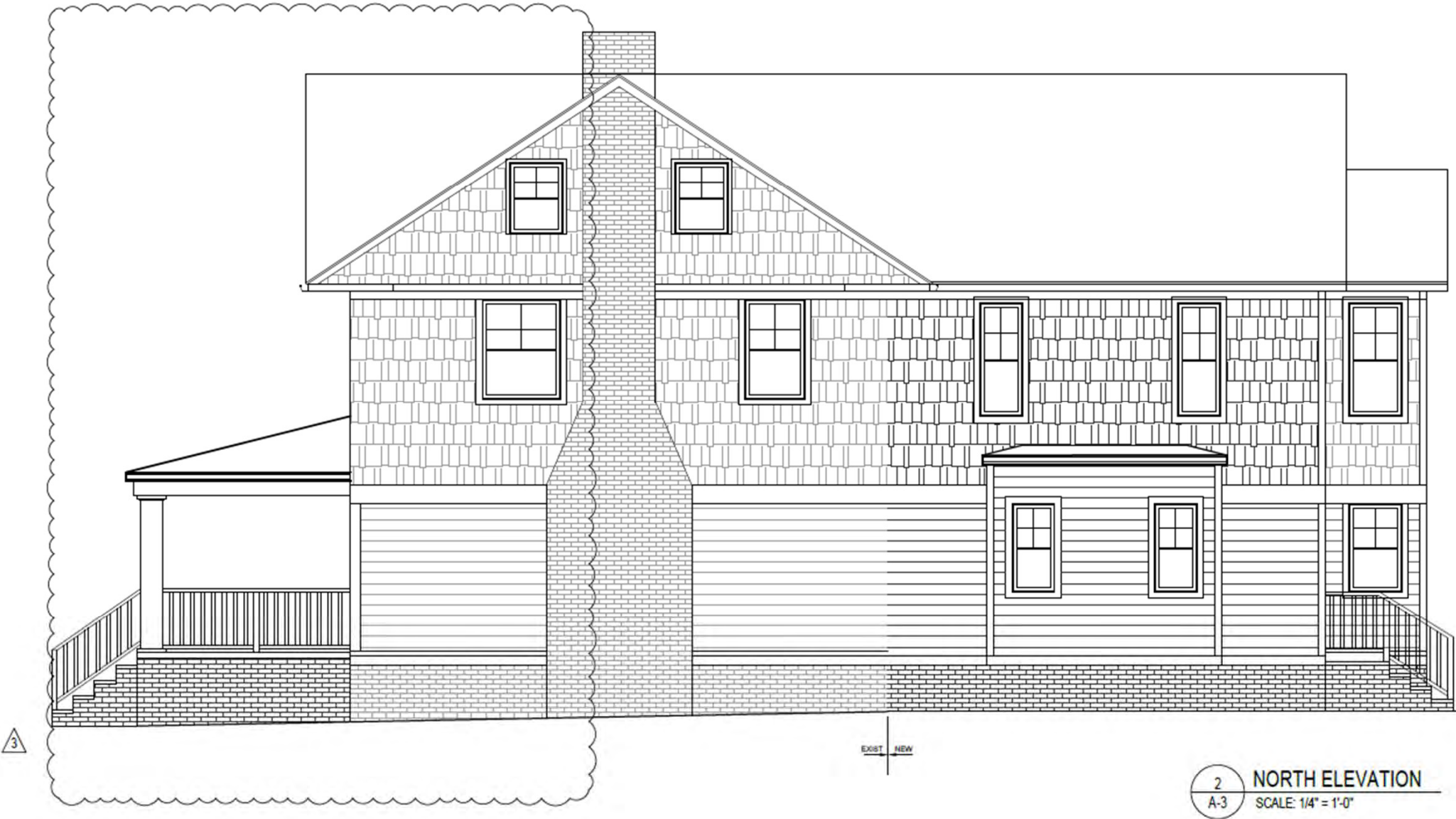
1 EAST ELEVATION (NO CHANGE)
A-3 SCALE: 1/4" = 1'-0"



Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation - Brandt

Updated



Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation - Brandt

Updated



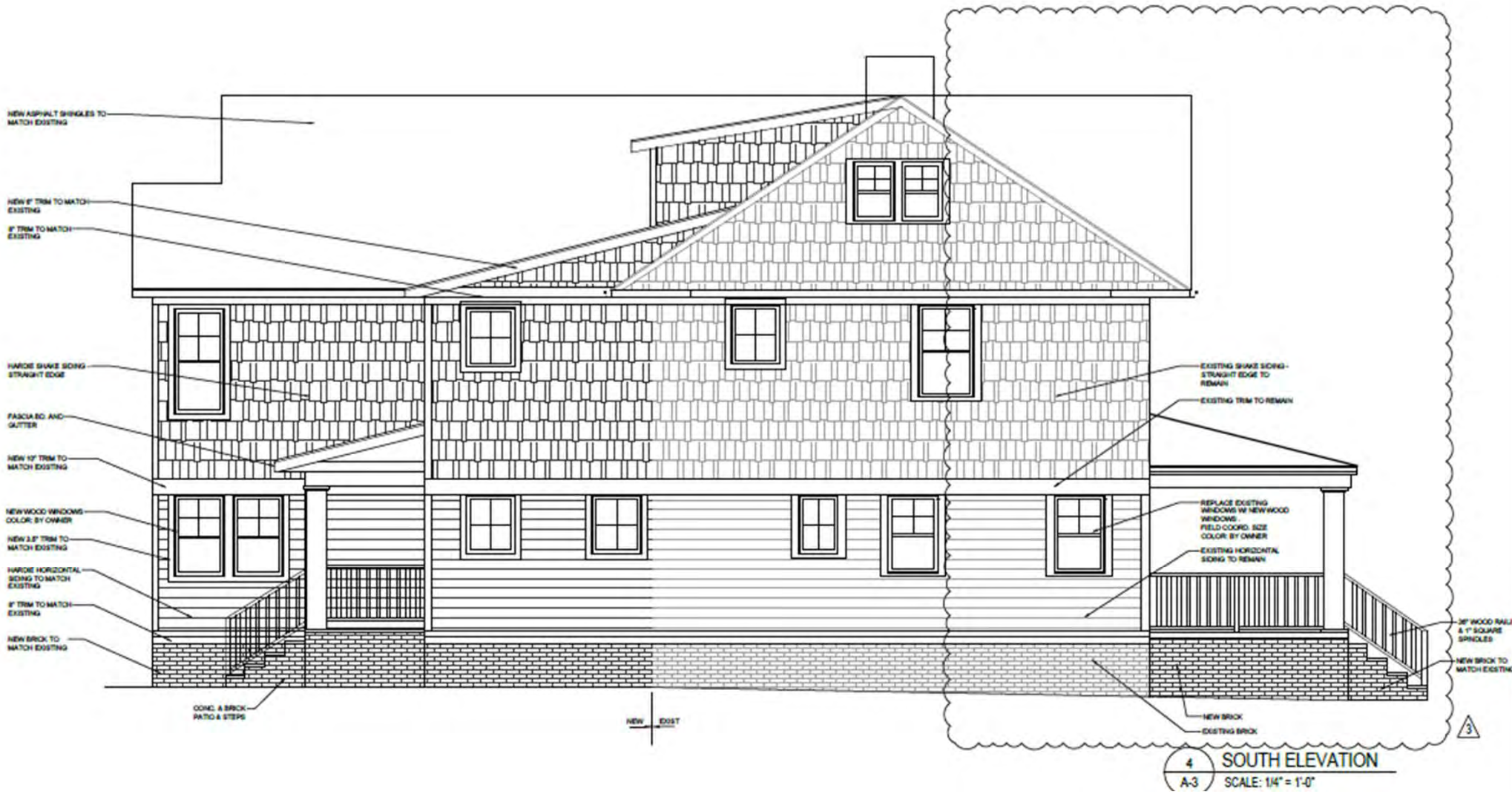
3 WEST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



Docket No. 4-22-24 (1276 Manor Park)

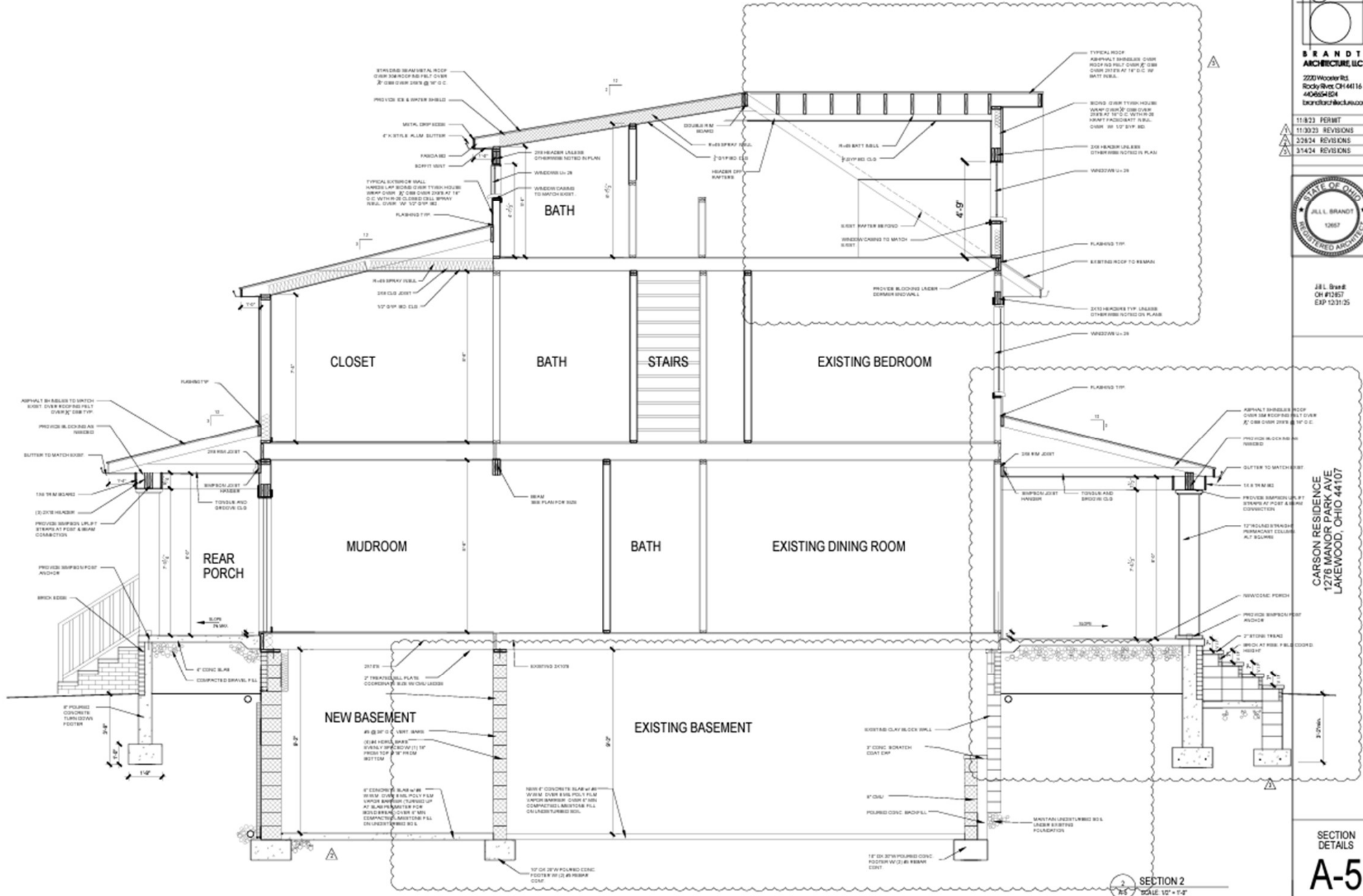
Residential Renovation - Brandt

Updated



Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation - Brandt



SECTION 2
 SCALE: 1/2" = 1'-0"



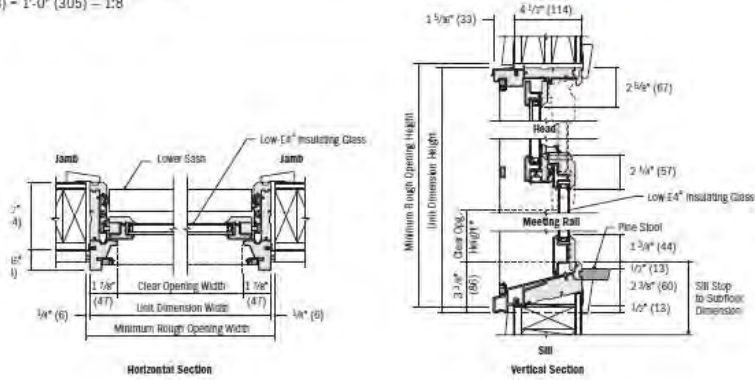
Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation - Brandt

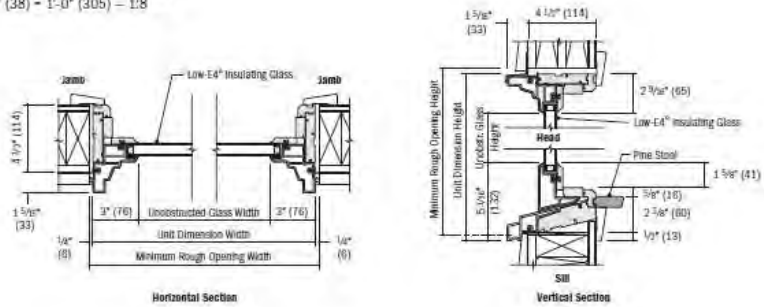
Updated

400 SERIES WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS 

Woodwright® Double-Hung Window Details
Scale 1 1/2" (38) - 1'-0" (305) - 1:8

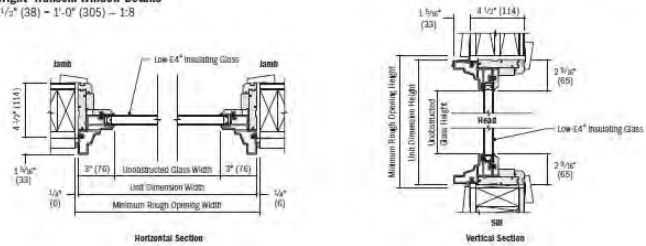


Woodwright® Picture Window Details
Scale 1 1/2" (38) - 1'-0" (305) - 1:8



400 SERIES WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS 


Woodwright® Transom Window Details
Scale 1 1/2" (38) - 1'-0" (305) - 1:8



18 in. x 58 in. Timberthane Polyurethane 2 Equal Louver Riverwood Faux Wood Shutters Pair
by Ekena Millwork ★★★★★ (6) ❤️ \$269.79 /pair

[Product Details](#) [Specifications](#) [Questions & Answers](#) [Customer Reviews](#)

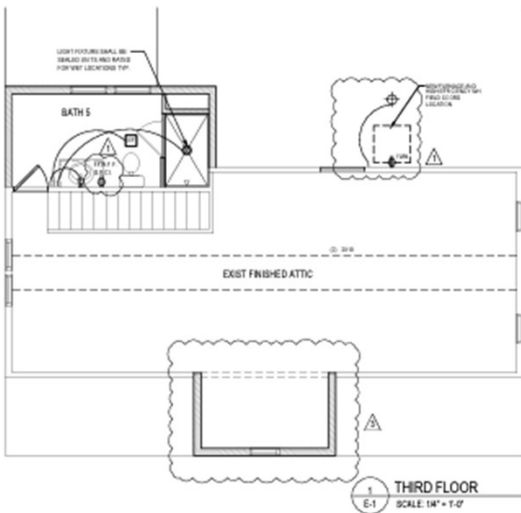
Ekena Millwork
18 in. x 58 in. Timberthane Polyurethane 2 Equal Louver Riverwood Faux Wood Shutters Pair
★★★★★ Questions & Answers



[Feedback](#) [Live Chat](#)



Docket No. 4-22-24 (1276 Manor Park)
Residential Renovation - Brandt



SYMBOL	DESCRIPTION
⊕	DIFFUSE OUTLET
⊖	DECEASED WIRING OUTLET
⊕	GROUND-FULT CIRCUIT BREAKER OUTLET
⊕	NATURAL GAS GAS OUTLET
⊕	CIRCUIT BREAKER LIGHT ROUTE
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	RECESSED LIGHT FIXTURE
⊕	FACE MOUNTED LIGHT FIXTURE
⊕	LINEAR CEILING LIGHT FIXTURE
⊕	DOWNLIGHT IN WET TO DRY LOC
⊕	COMBINED EXHAUST/STAIN LIGHT
⊕	CEILING FAN LIGHT FIXTURE
⊕	HARDWIRED SMART SWITCH
⊕	COMBINATION SMOKE & CO2 SMOKE DETECTOR

ELECTRICAL NOTES:

- ALL WORK SHALL COMPLY WITH THE NEC, NFPA, IBC, AND FEDERAL, STATE AND LOCAL CODES.
- ANY OCCUPANCY CLASSIFICATION, ELECTRICAL PANELS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
- FIELD VERIFY ALL WIRING OUTLET LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WIRING AND WIRING OUTLET LOCATIONS TO MEET CURRENT CODE REQUIREMENTS.
- NEW AND EXISTING CIRCUITS TO BE INSTALLED IN WITNESS OF CONTRACTOR SHALL RECEIVE AND PROTECTION.
- PROVIDE A NUMBER OF THRU CLIP OR RAMP SHALL APPLY, WIRE CIRCUIT FOR PROTECTABLE AT LAUNDRY ROOMS.
- PROVIDE HANDHELD SAFETY SWITCHES FOR COOKTOPS AND SECTION 216.3. THREE BRACKET ROOMS ARE LOCATED ON EACH FLOOR. ALL NEW WIRING SHALL BE INSTALLED AND WIRING SHALL BE POWER. USE NEW ADDITIONAL PROTECTABLE SHALL BE PROVIDED. THEY SHALL BE SUBCIRCUITIZED BY A CIRCUIT BREAKER OR OTHER ELECTRICAL PROTECTABLE DEVICE.
- PROVIDE CARBON MONOXIDE DETECTOR PER CODE BOOK SECTION 216.3 PER FLOOR.
- OWNER SHALL PROVIDE DECORATIVE LIGHTING.
- ALL EXISTING WIRING AND SYSTEM COMPONENTS SHALL BE REMOVED OR APPROVED EQUAL.
- NEW LIGHT FIXTURES SHALL BE LED CFL OR LED OR MEET ENERGY EFFICIENCY REQUIREMENTS.
- ALL ELECTRICAL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NEC, NFPA, IBC, AND FEDERAL, STATE AND LOCAL CODES.

ELECTRICAL WORK NOTES:

- PROVIDE NEW WIRING FOR NECESSARY ELECTRICAL WORK TO BE DONE.
- PROVIDE 30 AMP WIRE CIRCUIT BREAKER WITH FUSE TO FEED MAIN PANEL (CRAMP).
- PROVIDE 30 AMP WIRE CIRCUIT BREAKER WITH FUSE TO FEED MAIN PANEL (CRAMP).
- PROVIDE 30 AMP WIRE CIRCUIT BREAKER WITH FUSE TO FEED MAIN PANEL (CRAMP).
- PROVIDE 30 AMP WIRE CIRCUIT BREAKER WITH FUSE TO FEED MAIN PANEL (CRAMP).

SYMBOL	DESCRIPTION
⊕	RETURN AIR GRILLE
⊕	SUPPLY AIR/FAN LEAK
⊕	DUCT

MECHANICAL NOTES:

- ALL WORK SHALL COMPLY WITH THE NEC, NFPA, IBC, FEDERAL, STATE AND LOCAL CODES.
- MECHANICAL CONTRACTOR TO BE RESPONSIBLE FOR ALL MECHANICAL WORK.
- COORDINATE GRILLE LOCATIONS WITH OWNER & FURNITURE LAYOUT.
- GRILLE COLOR AND FIN BE SELECTED BY OWNER.
- DUCT FLEX IN BASEMENT SHALL BE LOCATED TO MAINTAIN HEADROOM AND TO LEAVE VENT FLEX SPACE.

PLUMBING NOTES:

MECHANICAL CONTRACTOR SHALL FIELD VERIFY WITH OWNER SUPPLY, WASTE & VENT LINES. COORDINATE HIS WORK WITH MECHANICAL CONTRACTOR AND FURNISH SPEC EXPLAN.

BRANDT ARCHITECTURE LLC
2222 Wacker Rd
Rocky River, OH 44116
440.664.6844
brandt@brandtllc.com

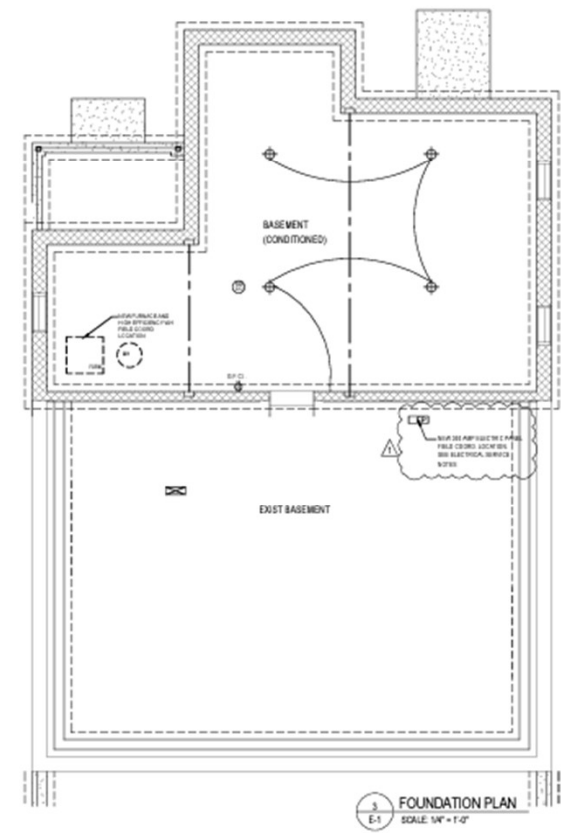
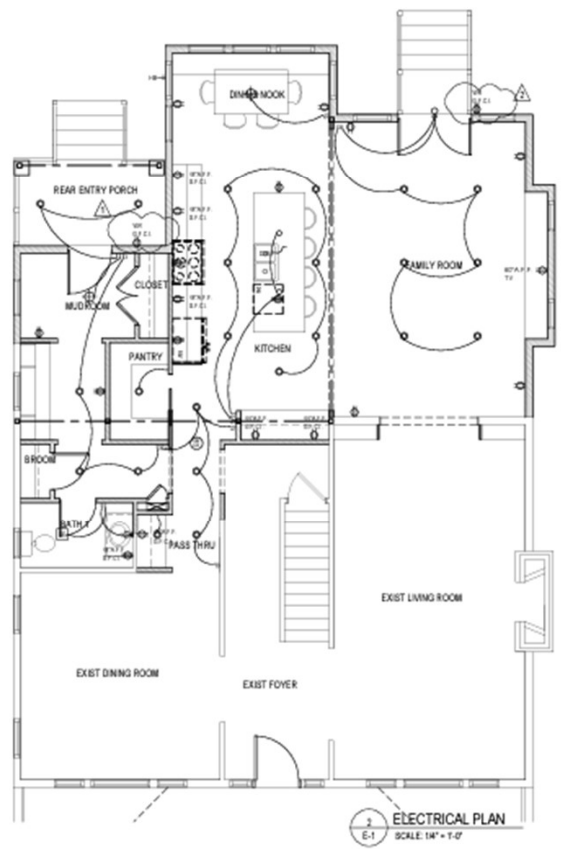
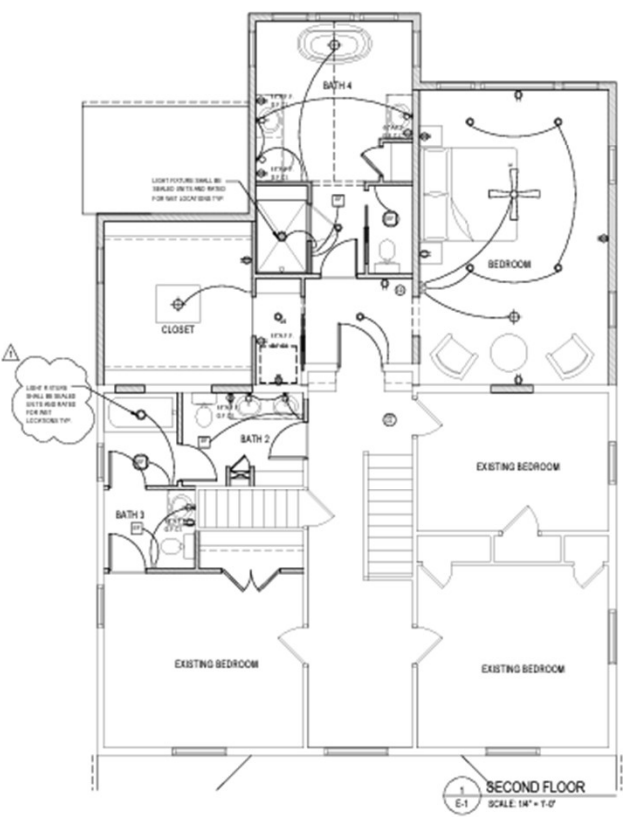
11/8/23 PERMIT
11/30/23 REVISIONS
2/28/24 REVISIONS
3/14/24 REVISIONS



J. L. Brandt
OH #12657
EXP 12/31/25

CARSON RESIDENCE
1276 MANOR PARK AVE
LAKEWOOD, OHIO 44107

ELECTRICAL PLAN
E-1



Docket No. 4-22-24 (1276 Manor Park)

Residential Renovation - Brandt

Applicant proposes porch addition to residential structure.

City Notes:

N/A



Docket No. 4-23-24 (17879 Lake)

**Residential Porch Addition
Mark Reinhold**



Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold

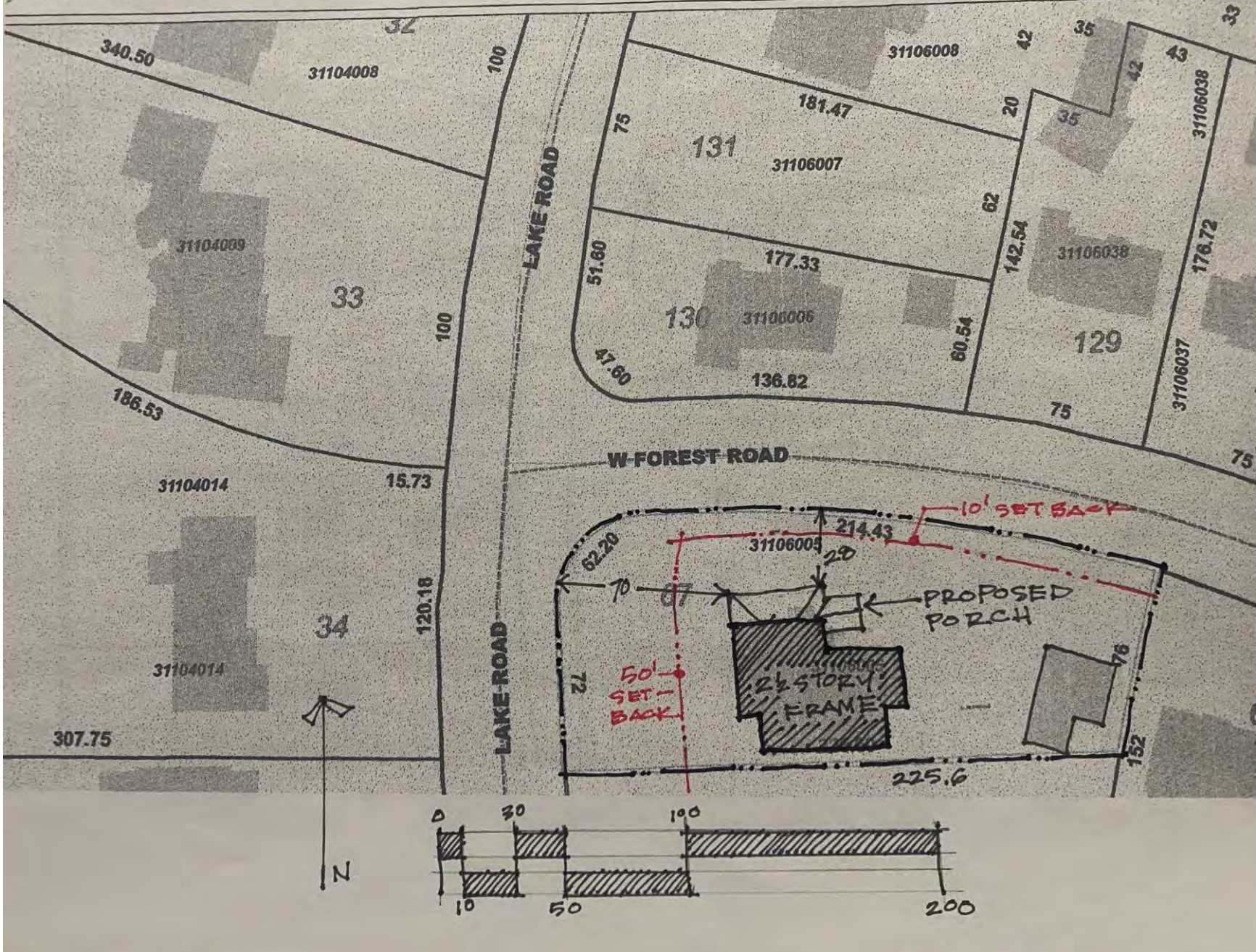


Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold



Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold





Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold



Updated



MARK REINHOLD architect
 GRAF / GOUNDER RESIDENCE

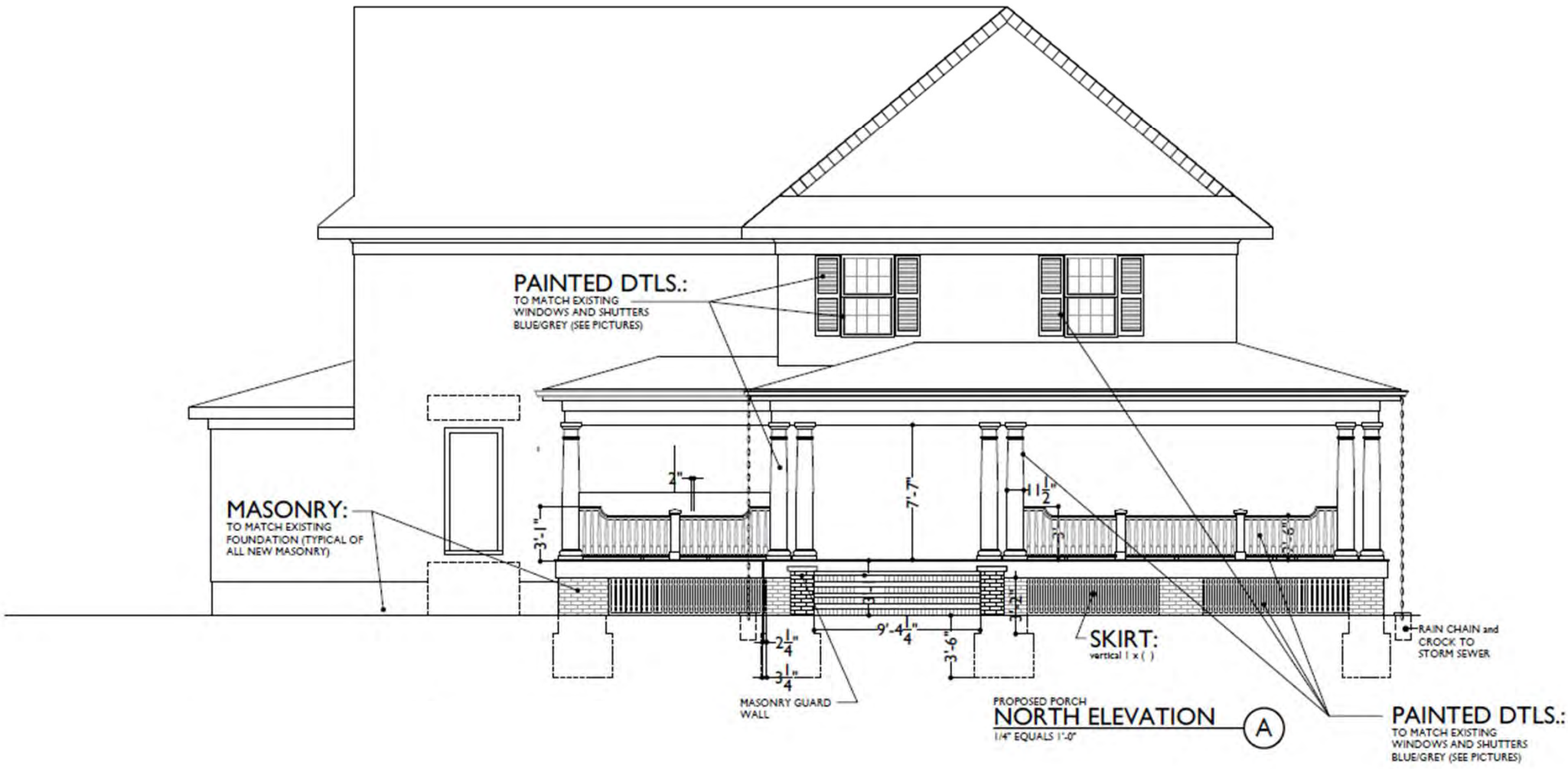
1120 Forest Road, Lakewood, Ohio 44107 (216) 906.7097



17879 LAKE ROAD, LAKEWOOD, OHIO 44107

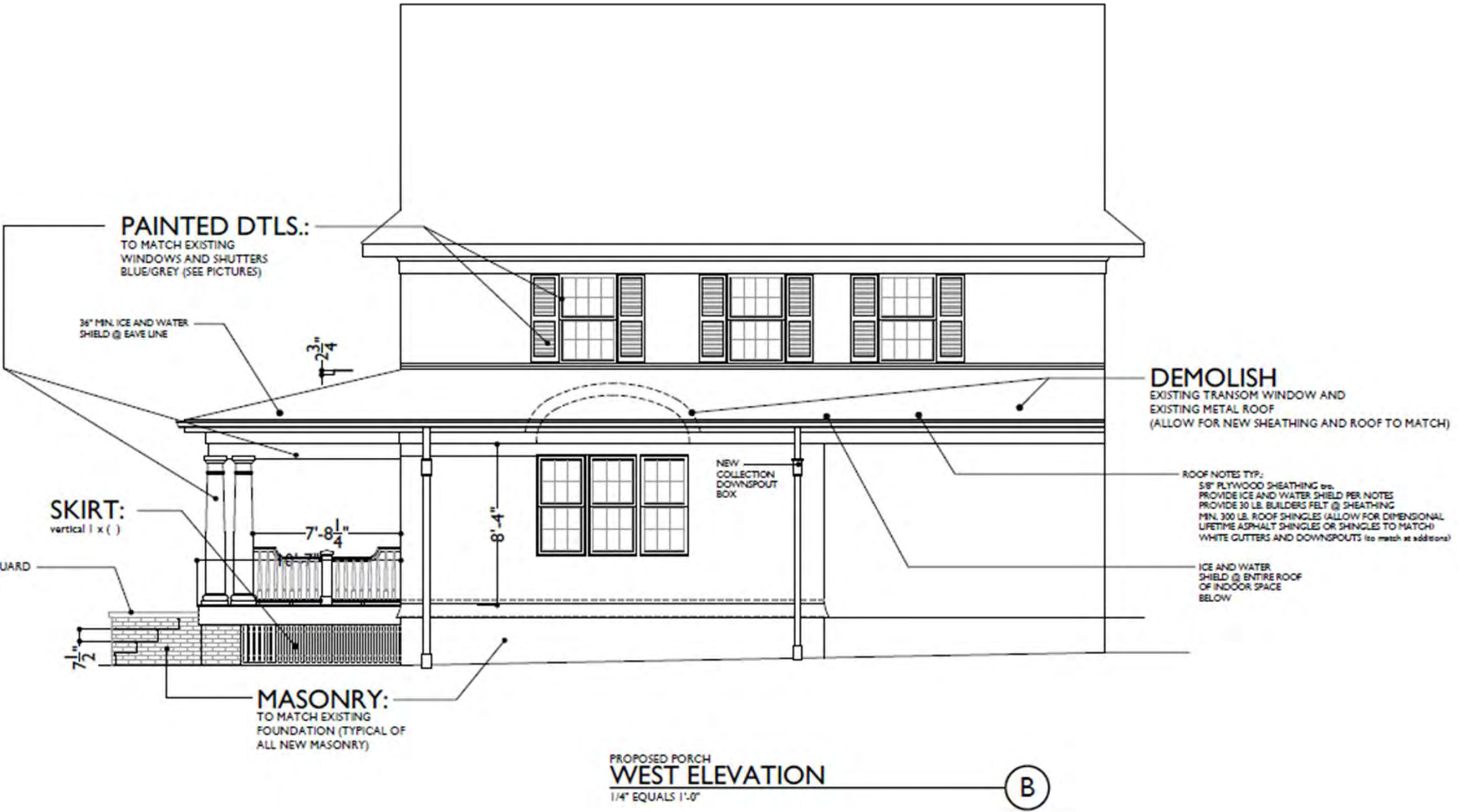


Docket No. 4-23-24 (17879 Lake)
 Porch Addition - Reinhold



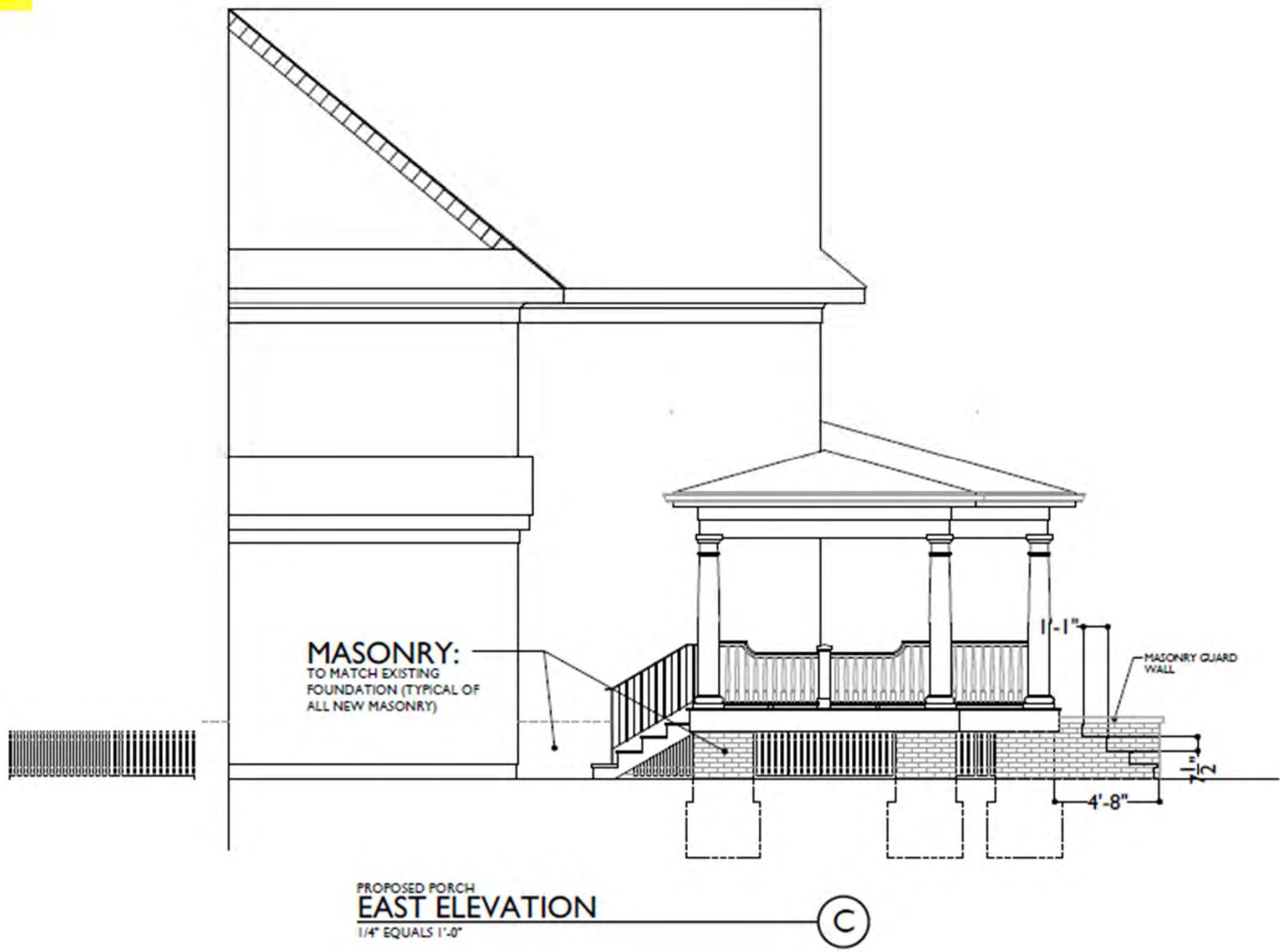
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Porch Addition - Reinhold



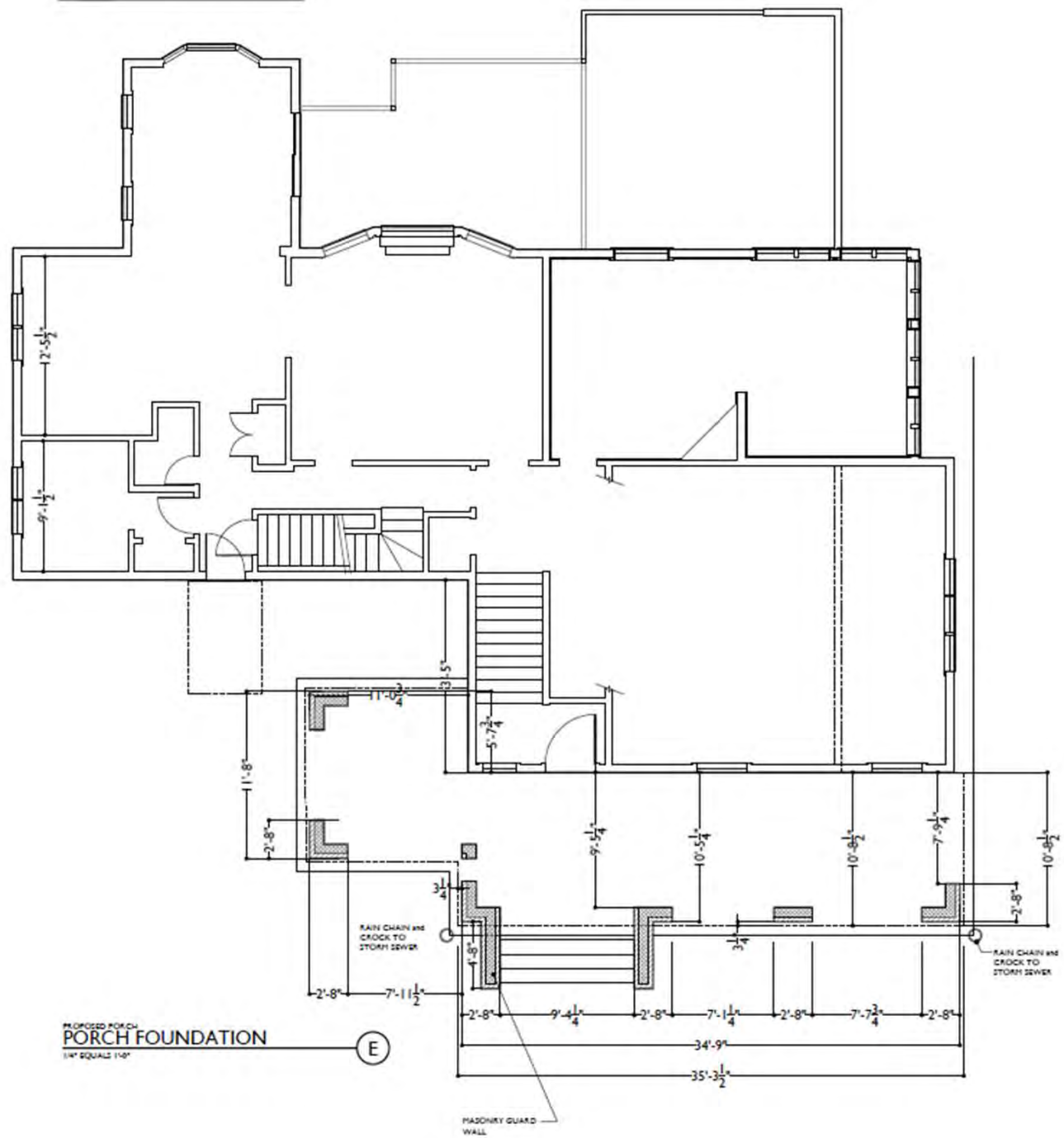
Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold

Updated



Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold

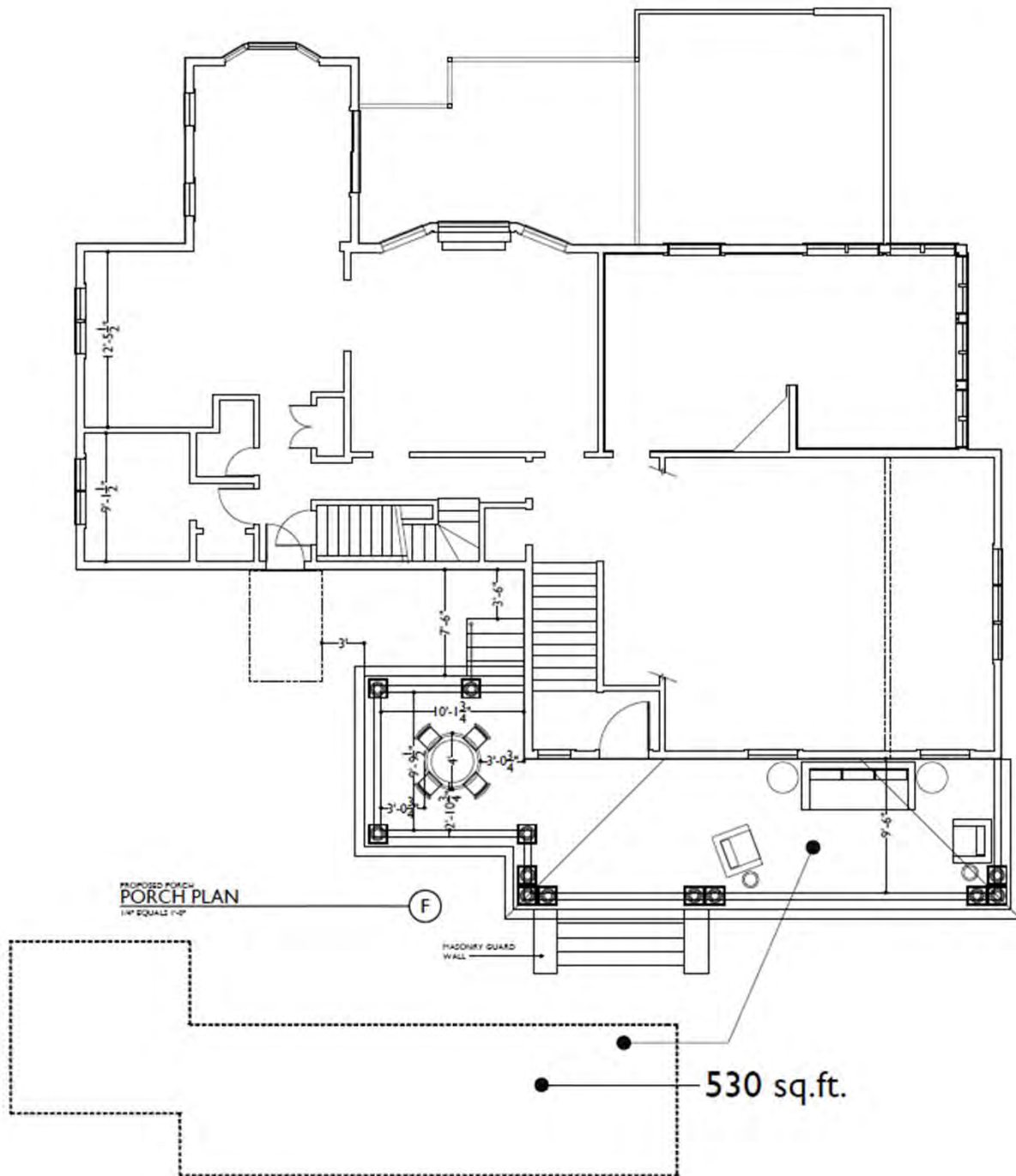
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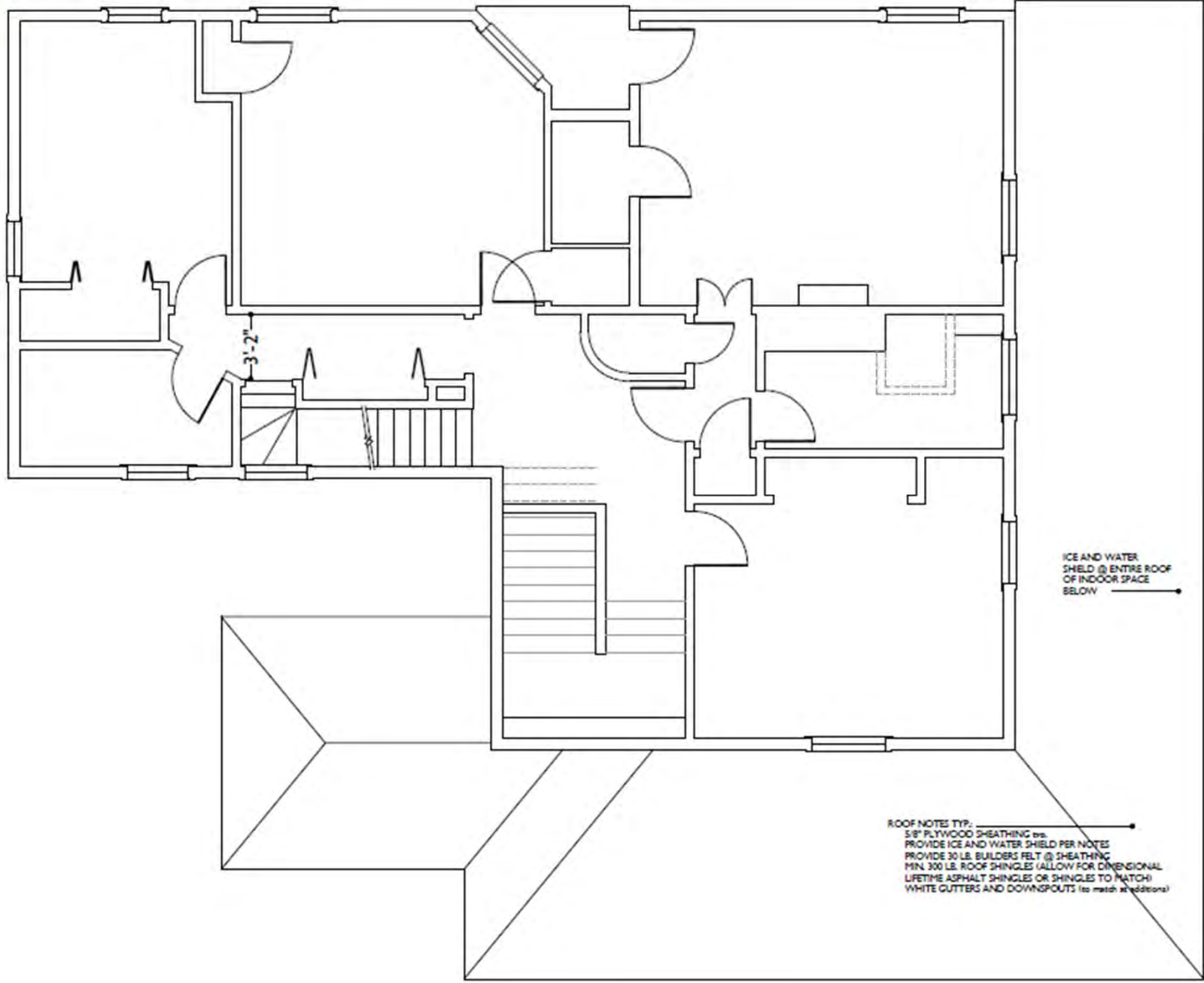
Porch Addition - Reinhold

Updated



Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold

Updated



Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold

Home / Outdoor Lighting / Security / 10 In. High Or Less / Black / Style # 275P8

Nobel 10" High Black Motion Sensor Outdoor Wall Light Set of 2

\$199.98

Pay in 4 interest-free payments of \$50.00 with [PayPal](#) [Learn more](#)

FREE SHIPPING & FREE RETURNS*
Ships Today if ordered in the next 6 Hr. 41 Min.



1

Need help? Call 800-782-1967 or [LIVE CHAT](#)



Product Details



Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold

Updated

/ Ceiling Fans / Ceiling Fan With Light Kit / 48 - 58 In. Span / Casa Vieja / Style # 79D89



56" Mach 5 Oil-Rubbed Bronze and Koa LED Damp Ceiling Fan with Remote

★★★★★ 8 Reviews

DOWNRODS & SLOPE ADAPTERS

\$399.99

Pay in 4 interest-free payments of \$100.00 with PayPal Learn more

FREE SHIPPING & FREE RETURNS*

Ships Today if ordered in the next 6 Hr. 39 Min.

Quantity: 1 ADD TO CART SAVE

Need help? Call 800-782-1967 or LIVE CHAT



Share icons (Pinterest, Email, Print) and buttons for DESIGN CHAT and VIEW IN YOUR ROOM

Product Details

This damp-rated outdoor ceiling fan has the added benefit of providing ambient LED lighting indoor or outdoor.

Additional Info:

Offering a modern tropical style, this contemporary LED ceiling fan comes in a handsome oil-rubbed bronze finish, with five molded ABS blades in a hand painted koa finish. This fan is also rated for use in damp outdoor covered locations. A full function remote control is included for use.



Shop all Casa Vieja

- 56" blade span. 14-degree pitch. 120 x 15 mm DC motor size. 25-degree maximum ceiling slope with included canopy.
• Oil rubbed bronze finish motor. Five painted koa finish molded ABS blades.
• Integrated 20 watt dimmable LED module light. 3000K color temperature. 1350 lumens. 90 CRI.
• Full-function hand-held six-speed remote control with dimming function included. Damp location rated. Not suitable for locations in humid climates with saltwater exposure.
• 6" downrod included. Fan height is 12" ceiling to blades, 13" ceiling to bottom of the fan light (with 6" downrod).



Docket No. 4-23-24 (17879 Lake)
Porch Addition - Reinhold

Applicant proposes building renovation for Pilates and wellness bar.

City Notes:

- Signage will need separate application



Docket No. 4-24-24 (15501 Madison)

**Building Renovation
Lizandra Gonzalez**

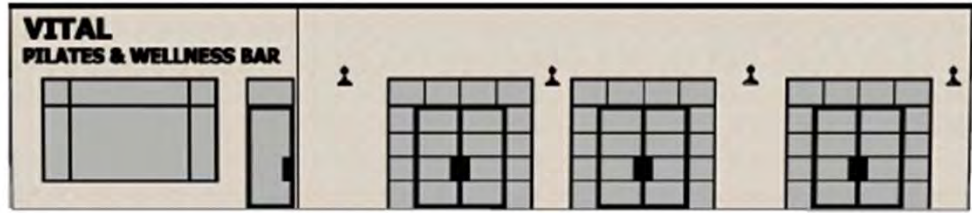


Docket No. 4-24-24 (15501 Madison)
Building Renovation - Gonzalez

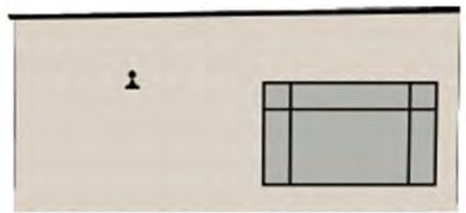
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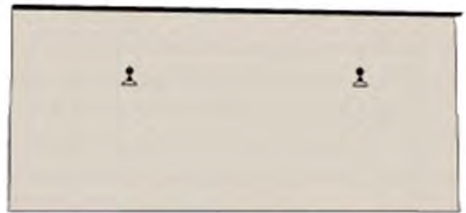
SOUTH ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

MTM
STANDARDS
MJM BUILDING
STANDARDS INC.



VITAL PILATES & WELLNESS BAR
15501 MADISON AVE
LAKEWOOD, OHIO 44107

No.	Description	Date
1	Permit Set	3-5-24

Project No: 202402
Drawn By: JS
Name: AS NOTED

Sheet Name:
COLORED ELEVATIONS

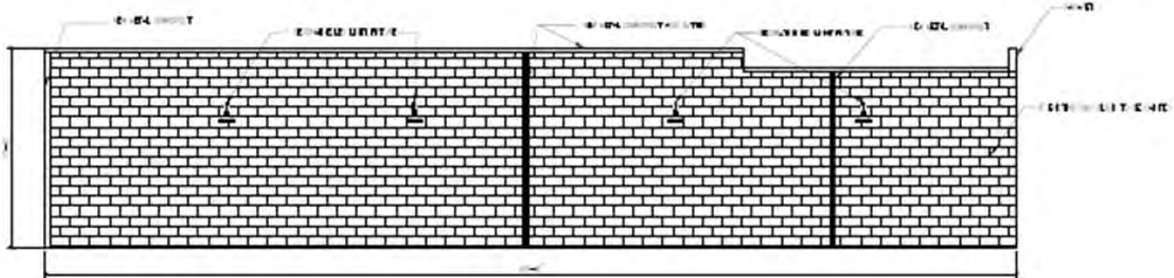
Sheet Number:
A2.02

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Docket No. 4-24-24 (15501 Madison)
Building Renovation - Gonzalez

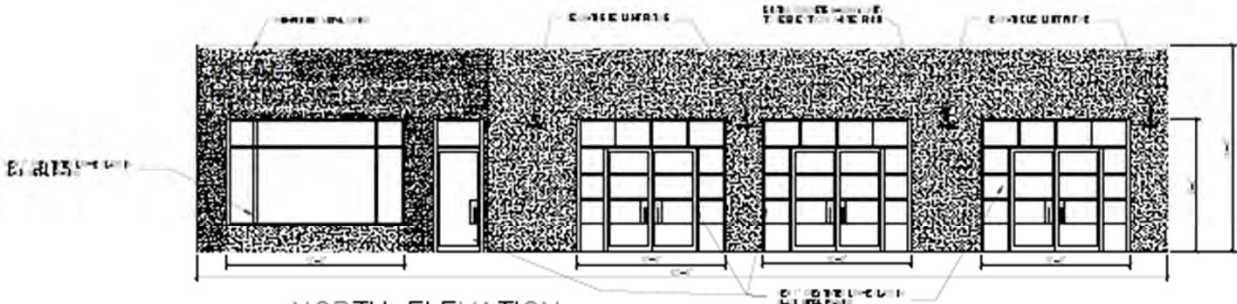
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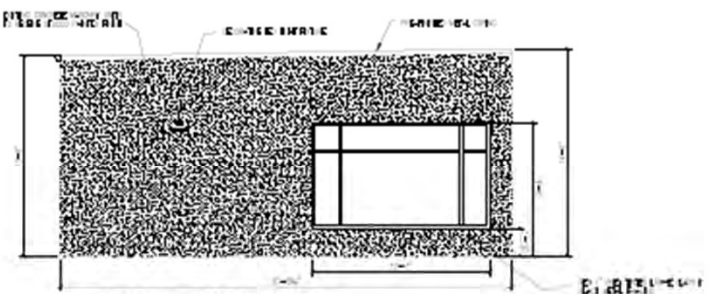
SOUTH ELEVATION
1/4" = 1'-0"



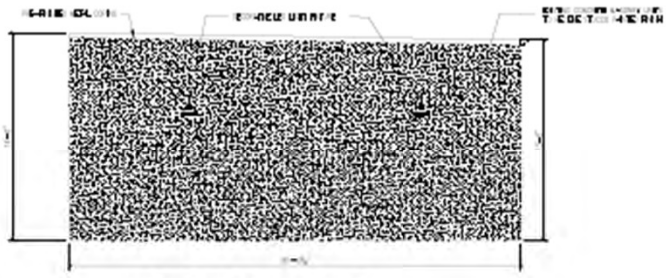
STUCCO DETAIL



NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



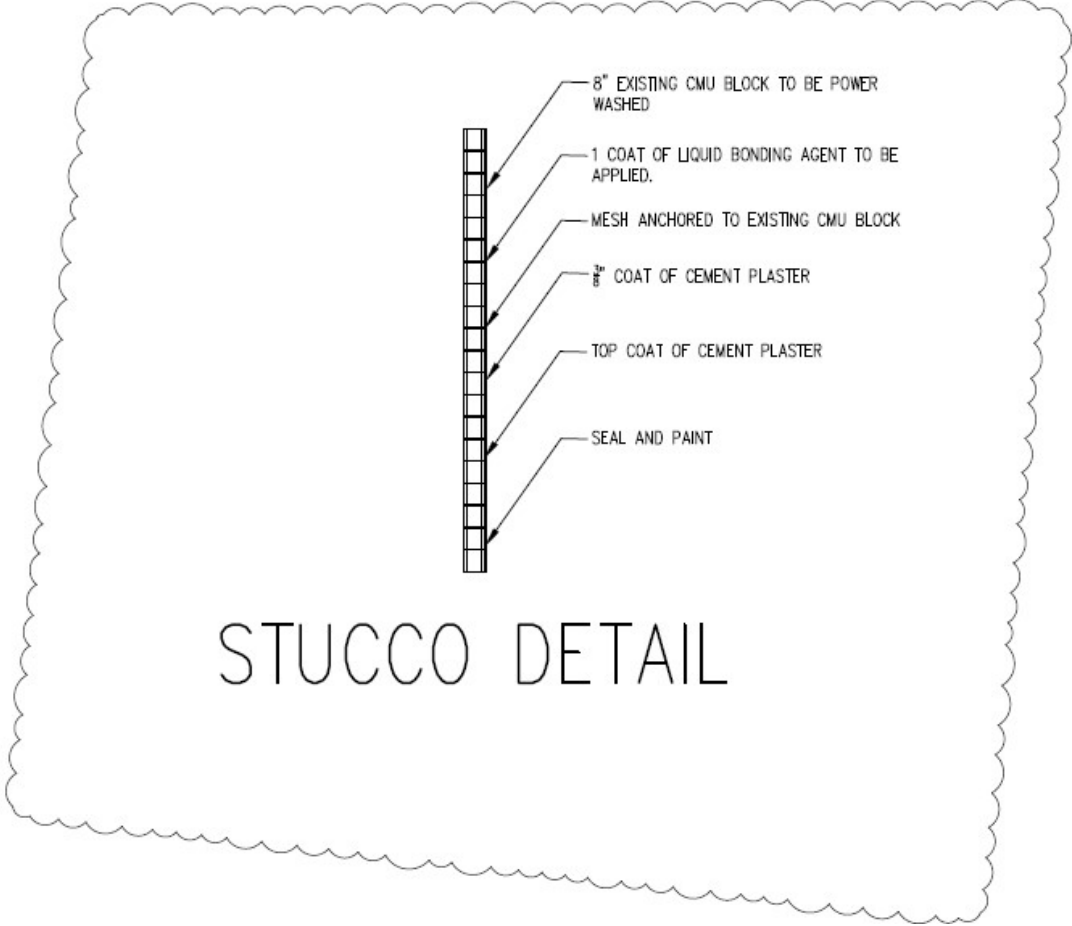
VITAL PILATES & WELLNESS BAR
15501 MADISON AVE
LAKEWOOD, OHIO 44107

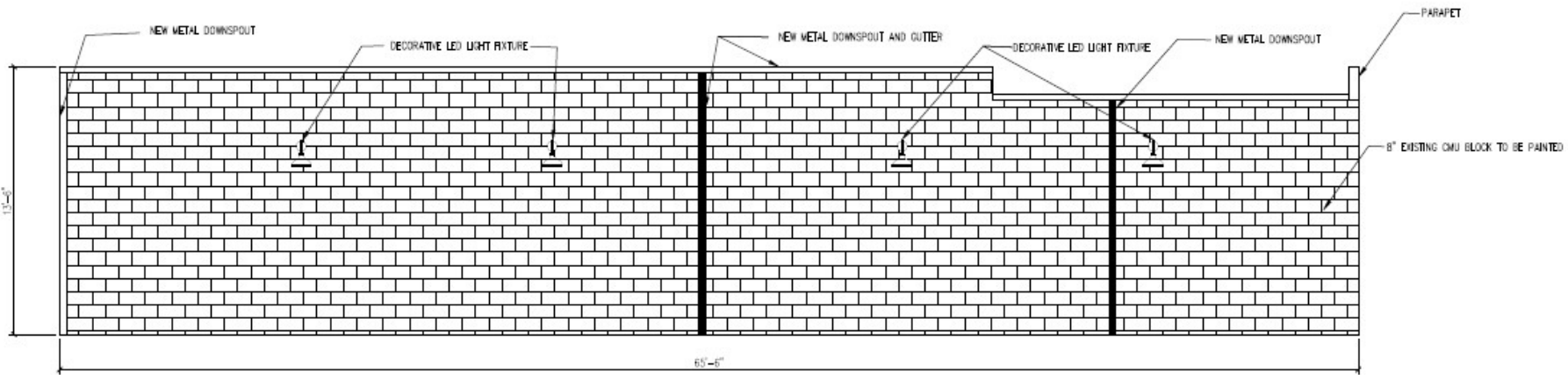
Sheet Name:
ELEVATIONS

Sheet Number:
A2.01

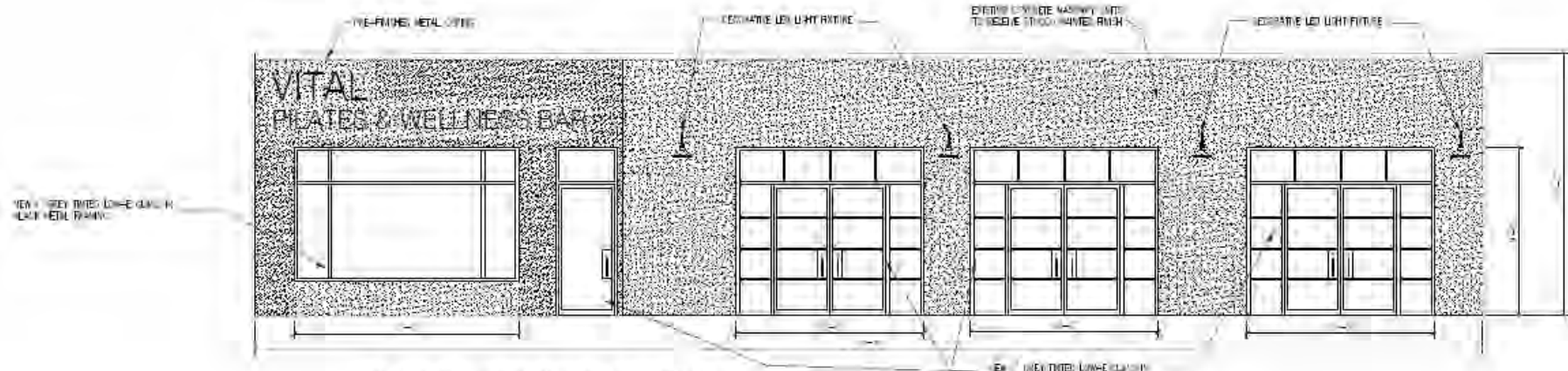


Docket No. 4-24-24 (15501 Madison)
Building Renovation - Gonzalez



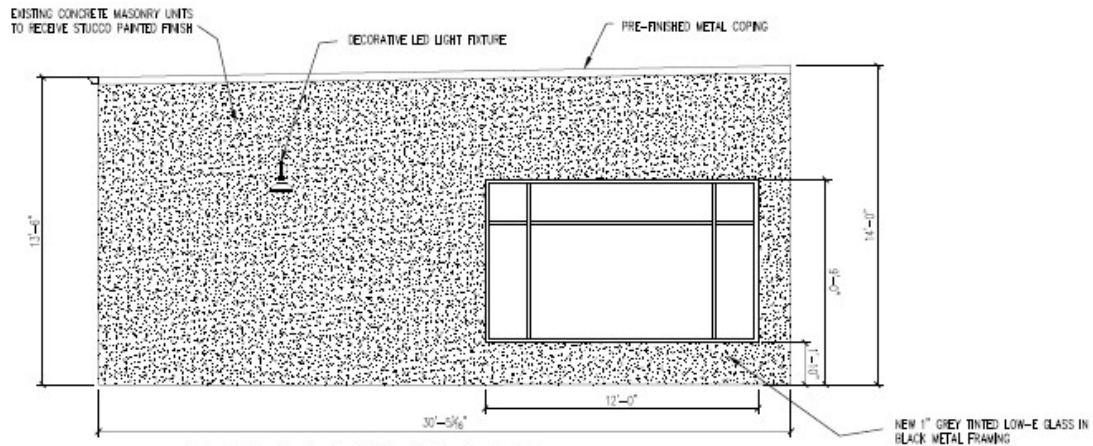


SOUTH ELEVATION
1/4" = 1'-0"

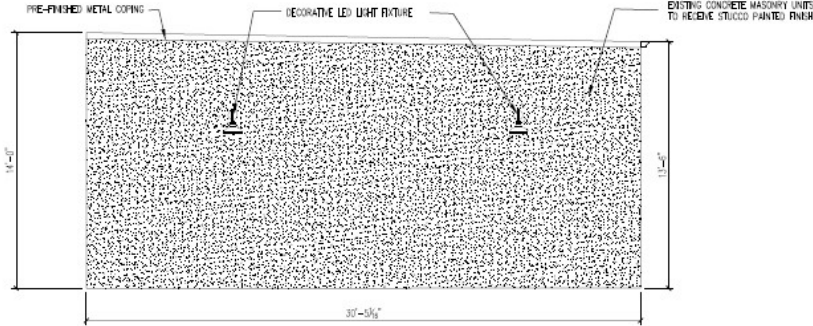


NORTH ELEVATION



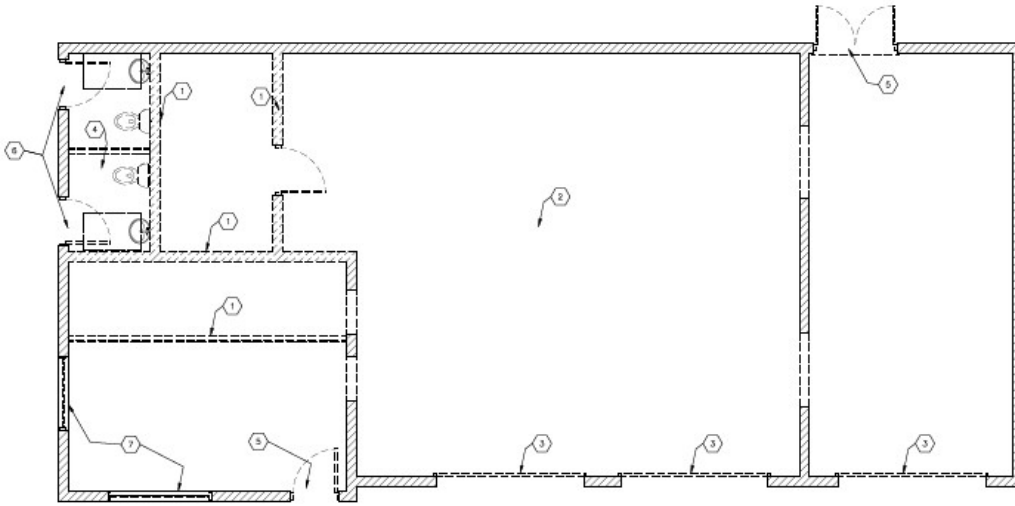


EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"





DEMO PLAN

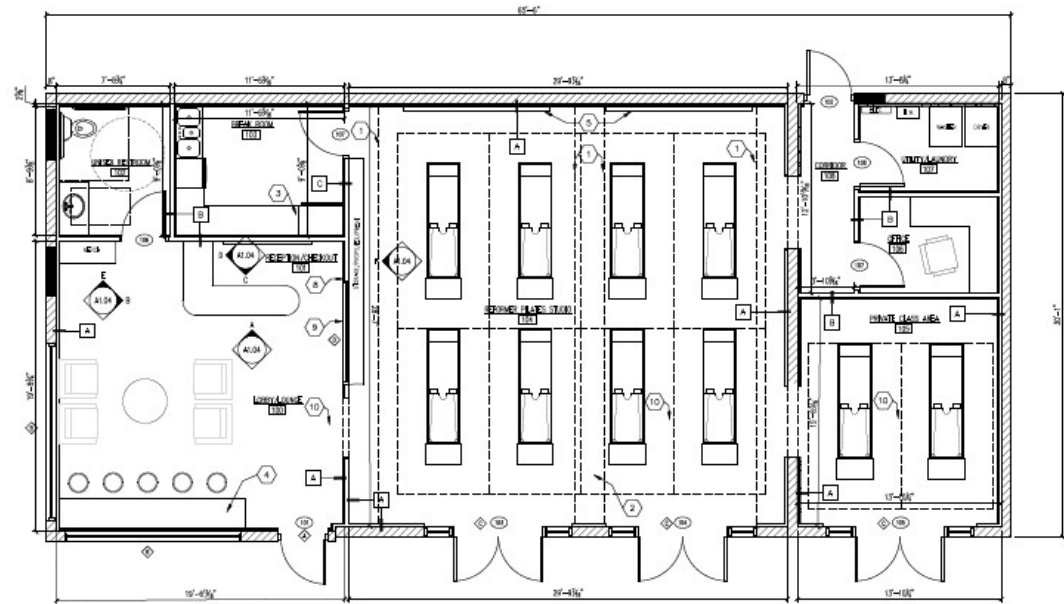
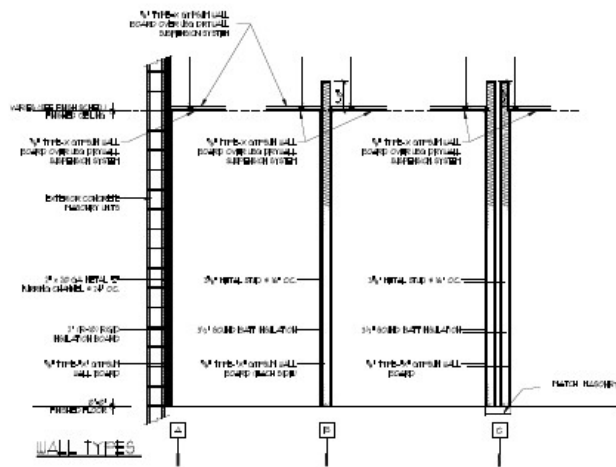
1/4" = 1'-0"

FLOOR PLAN DRAWING NOTES:

1. USE OF ILLUMINATED SIFFIT ABOVE SEE DEMO PLAN AND DETAILS BOTTOM OF SIFFIT @ V AFF.
2. EXISTING STEEL BEAM TO BE ENCASED WITH SIFFIT DETAIL.
3. OWNER SUPPLIED COUNTERTOPS.
4. OWNER SUPPLIED BAR TOP TO BE INSTALLED BY CONTRACTOR.
5. OWNER SUPPLIED ILLUMINATED MIRRORS. SEE ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS.

DEMO PLAN DRAWING NOTES:

1. REMOVE EXISTING WALLS.
2. REMOVE EXISTING CONCRETE FLOOR SLAB THROUGHOUT ENTIRE BUILDING. SEE STRUCTURAL DRAWINGS FOR NEW SOG DETAILS.
3. REMOVE EXISTING OVERHEAD DOORS AND HARDWARE. NOT TO BE COMPLETED UNTIL ARCHITECTURAL REVIEW BOARD APPROVAL HAS BEEN RECEIVED FROM THE CITY.
4. REMOVE ALL PLUMBING FIXTURES.
5. REMOVE EXISTING DOORS AND REPLACE. NOT TO BE COMPLETED UNTIL ARCHITECTURAL REVIEW BOARD APPROVAL HAS BEEN RECEIVED FROM THE CITY.
6. REMOVE EXISTING WALK DOORS AND HALL WITH SLICE. NOT TO BE COMPLETED UNTIL ARCHITECTURAL REVIEW BOARD APPROVAL HAS BEEN RECEIVED FROM THE CITY.
7. WINDOWS TO BE REMOVED AND REPLACED WITH NEW THERMOPLASTIC GLASS SYSTEM. NOT TO BE COMPLETED UNTIL ARCHITECTURAL REVIEW BOARD APPROVAL HAS BEEN RECEIVED FROM THE CITY.
8. BID OF MASONRY WALL. USE FINISHING TO BUILD NEW WALL FINISH WITH FINISHED OUT MASONRY WALL.
9. REMOVE MASONRY TO ACCEPT NEW GLASS SYSTEM.
10. NEW 4" CONCRETE SLAB ON GRADE (REQUIRED) WITH (1) LAYER OF 8#-W/4" W/12" @ 4" ML. TAPOK DAMPER W/OUT LAPED 1/2" MIN. OVER EXISTING WALL. NEW FLOOR SLAB TO BE FINISHED THROUGHOUT THE EXISTING BUILDING.



FLOOR PLAN

1/4" = 1'-0"




Docket No. 4-24-24 (15501 Madison)
Building Renovation - Gonzalez

Updated

Crittenden 1-Light Black Outdoor 8.5 in. Wall Lantern Sconce
 by Generation Lighting ★★★★★ (16)

Product Details Specifications Questions & Answers Customer Reviews

specifications
 Dimensions: H 9.5 in., W 10 in., D 10 in.



Sconce Type Lantern See similar items	Number of Lights 1 Light See similar items	Power Source Hardwired See similar items	Light Direction Down See similar items
Damp/Wet Rating Wet Rated See similar items	Fixture Material Aluminum See similar items	Style Modern See similar items	Durability Weather Resistant See similar items

Dimensions			
Mounting Plate Height (in.)	5	Mounting Plate Width (in.)	5
Product Depth (in.)	10 in	Product Height (in.)	8.5 in
Product Width (in.)	10 in		

Details			
Compatible Bulb Type	Incandescent, LED	Damp/Wet Rating	Wet Rated
Durability	Weather Resistant	Exterior Lighting Product Type	Sconce
Fixture Color/Finish	Black	Fixture Material	Aluminum
Glass Type	Decorative Glass	Included	Hardware Included
Indoor/Outdoor	Outdoor	Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included	Light Direction	Down
Max. Bulb Wattage (W)	75	Number of Lights	1 Light
Outdoor Lighting Features	No additional features	Package Quantity	1
Power Source	Hardwired	Product Size	Small
Product Weight (lb.)	1.5 lb	Recommended Light Bulb Shape Code	A19
Returnable	90-Day	Sconce Type	Lantern
Shade Material	Glass	Shape	Cone
Style	Modern	Voltage Type	Line Voltage

Emerald Designer Edition Expert Pick
 SW 9590
Taupe of the Morning
 FULL DETAILS

Get this color in a:

Color Sample	Interior Paint	Trim Enamel
--------------	----------------	-------------



Docket No. 4-24-24 (15501 Madison)
 Building Renovation - Gonzalez

Updated



Description

Preferred Wire Products 1" - 20 Gauge Galvanized Stucco Netting: More Wire; Less Hassle.

- Specifications: 150 Foot Long x 37 Inches Wide. (51.4 Square Yards)
- Self-Furred; Furring Points on the twists every 4 inches across the netting.
- Innovative "Soft-Weave" process keeps the netting flat and pliable
- More Wire: Extra Inch : Weep Scream to Window Sill: Covered!
- Less Labor : 37" Wide Roll will give full 36" coverage + 1" overlap.

Innovating Designs - Superior Products...

The Newest Machines in the Industry

Made in the USA: Preferred Wire Products' netting machines are not only the newest in the industry, but include a proprietary 'soft-weave' design that reduces tension during the weaving process. This creates a softer, more pliable netting that lies flat against the wall and folds easily into corners.

Mix Design for Stucco – 3,000 PSI @28 days

Scratch coat (base coat) - 1 part Portland Cement to 3 parts sand. $\frac{3}{4}$ part water.

Finish coat - 1 part Portland Cement to 2 parts sand. $\frac{1}{2}$ part water.



Docket No. 4-24-24 (15501 Madison)
Building Renovation - Gonzalez

Features

- 2" (50.8) sightline
- 2-1/4" (57.2) frame depth (Veneer) and 4-1/2" (114.3) frame depth (Captured)
- Front glass plane
- Flush glazed from either the Inside or Outside (Veneer is outside glazed)
- Stick fabrication
- SSG / Weatherseal option
- 1/8" (3.2), 1/4" (6.4), or 3/8" (9.5) infill options
- Permanodic® anodized finishes option
- Painted finishes in standard and custom choices

Product Applications

- Storefront, Ribbon window or Punched openings
- Low to Mid-rise
- Single-Span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be included

For specific product applications, consult your Kawneer representative.



2" x 4-1/2" (50.8 x 114.3) FRAMING MEMBERS

OUTSIDE GLAZED 5

INSIDE GLAZED 6

OUTSIDE GLAZED with SSG ADAPTER 7

INSIDE GLAZED with SSG ADAPTER 8

2" x 2-1/4" (50.8 x 114.3) VENEER FRAMING MEMBERS

OUTSIDE GLAZED 9

OUTSIDE GLAZED SSG 10

CORNERS 11

ENTRANCE FRAMING 12

WIND LOAD CHARTS 13, 15

END REACTION CHARTS 16

Metric (SI) conversion figures are included throughout these details for reference. Numbers in parentheses () are millimeters unless otherwise noted.

The following metric (SI) units are found in these details:

- m – meter
- cm – centimeter
- mm – millimeter
- s – second
- Pa – pascal
- MPa – megapascal



Updated

TRIFAB® VG (VERSAGLAZE®)
 TRIFAB® VG 450, 451 & 451T (THERMAL) FRAMING SYSTEMS &
 TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM



Design + Performance Versatility with Unmatched Fabrication Flexibility



Gokinger Professional Building
 Jenkins Township, Pennsylvania
 ARCHITECT
 Marica Commercial Real Estate Services
 Wilkes-Barre, Pennsylvania
 GLAZING CONTRACTOR
 Sterling Glass, Inc., Scranton, Pennsylvania
 PHOTOGRAPHER
 © Perzel Photography Group

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5' depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs a dual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone

glazing (SSG) and weatherseal glazing options further expand designers' choices, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

ECONOMY

- Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:
- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation. (available for all systems)
 - **Shear Block** – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units. (available for 450/451/451T systems)
 - **Stick** – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the jobsite. (available for 450/451/451T systems)
 - **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)



Brighton Landing
 Cambridge, Massachusetts
 ARCHITECT
 ADD Inc., Cambridge, Massachusetts
 GLAZING CONTRACTOR
 Ipswich Bay Glass Company, Inc., Rowley, Massachusetts
 PHOTOGRAPHER
 © Gordon Schenck, Jr.

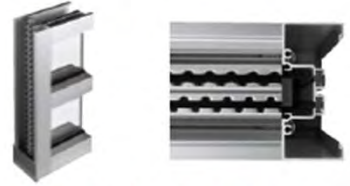
All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

Architectural Class 1 anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

PERFORMANCE

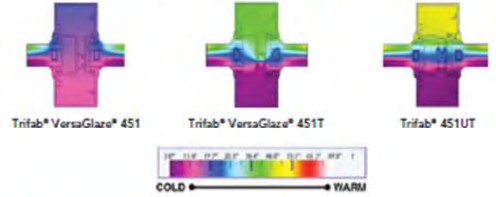
Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.



Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high-performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

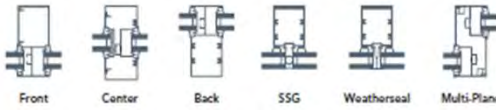
U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information.)

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-AB
Acoustical	AAMA 1801, ASTM E1425



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Kawneer Company, Inc. 555 Guthridge Court 770-449-5555
 Technology Park / Atlanta Norcross, GA 30092 kawneer.com



ARCHITECTURAL SYSTEMS | ENTRANCES + FRAMING | CURTAIN WALLS | WINDOWS



Docket No. 4-24-24 (15501 Madison) Building Renovation - Gonzalez

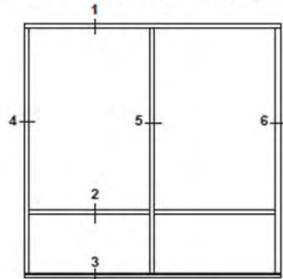
EC 97911-281

OUTSIDE GLAZED (2" x 4-1/2")

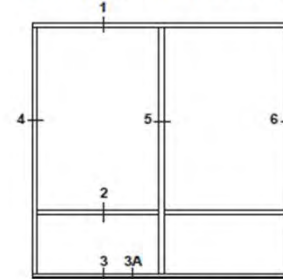
INSIDE GLAZED - 2" x 4-1/2" (50.8 x 114.3)

Additional information and CAD details are available at www.kawneer.com

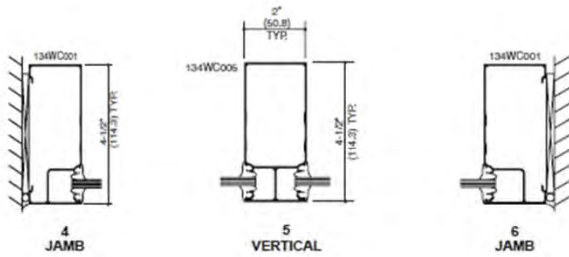
Additional information and CAD details are available at www.kawneer.com



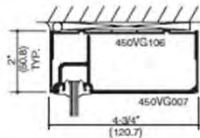
ELEVATION IS NUMBER KEYED TO DETAILS



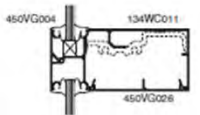
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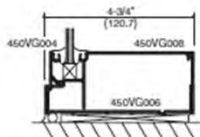
1 HEAD



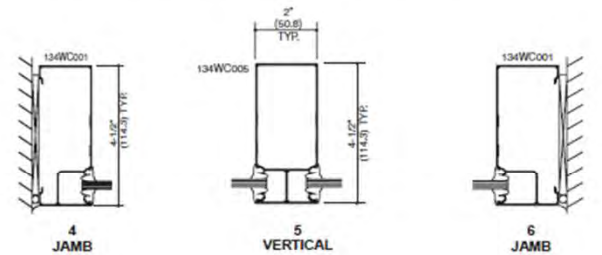
2 HORIZONTAL



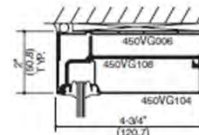
3 SILL



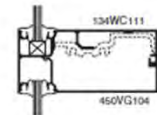
ADMCO30EN



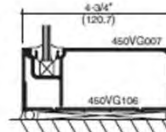
1 HEAD



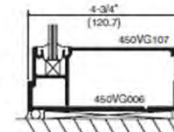
2 HORIZONTAL



3 SILL



3A SILL



ADMCO30EN

kawneer.com

Docket No. 4-24-24 (15501 Madison)
Building Renovation - Gonzalez

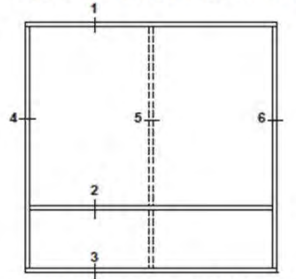


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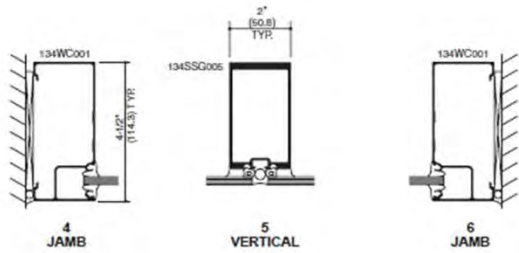
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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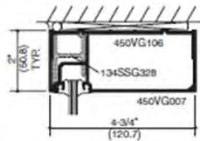
Additional information and CAD details are available at www.kawneer.com



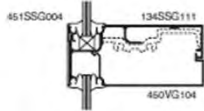
ELEVATION IS NUMBER KEYED TO DETAILS



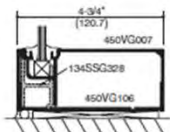
1 HEAD



2 HORIZONTAL



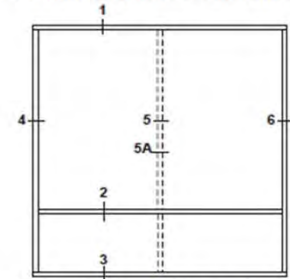
3 SILL



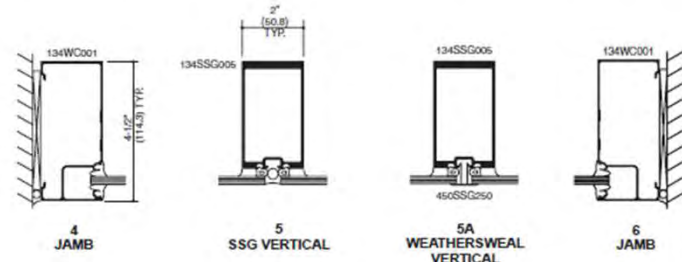
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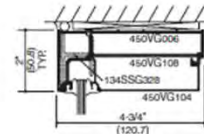
Additional information and CAD details are available at www.kawneer.com



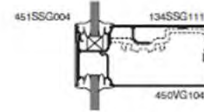
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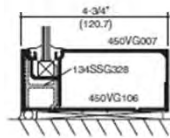
1 HEAD



2 HORIZONTAL



3 SILL



ADMCO30EN



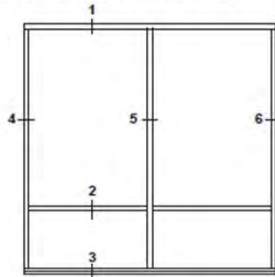
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Vertical text on the right edge of the page, partially cut off.

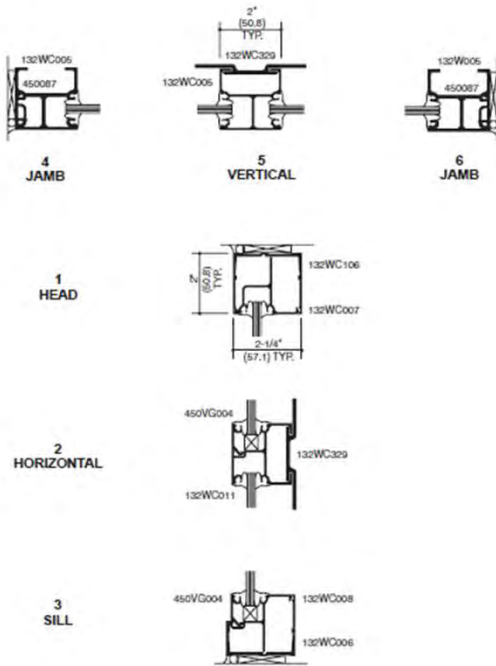


Docket No. 4-24-24 (15501 Madison) Building Renovation - Gonzalez

Additional information and CAD details are available at www.kawneer.com



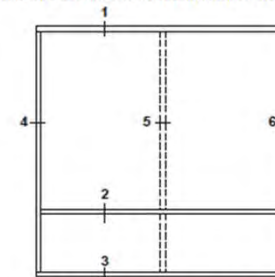
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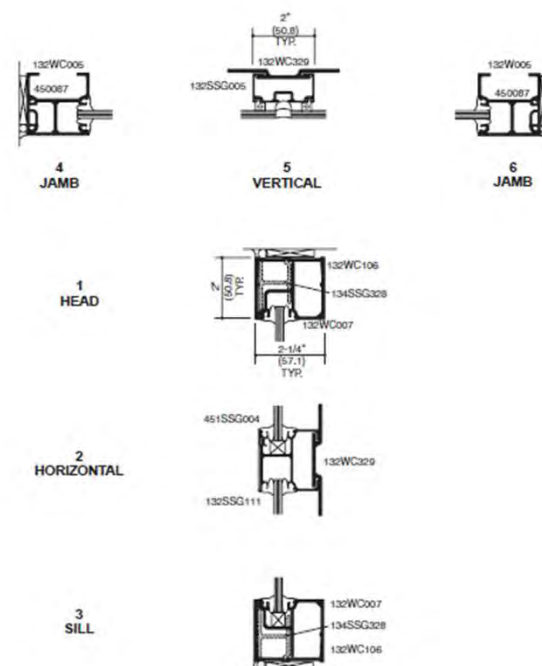
ADMC030EN



Additional information and CAD details are available at www.kawneer.com



ELEVATION IS NUMBER KEYED TO DETAILS



ADMC030EN



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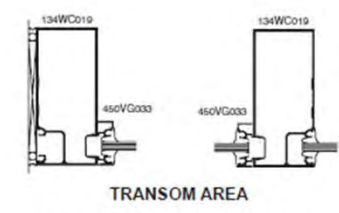
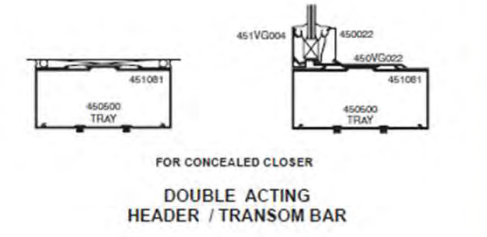
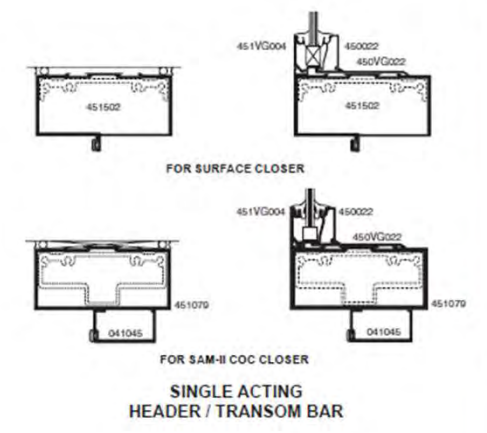
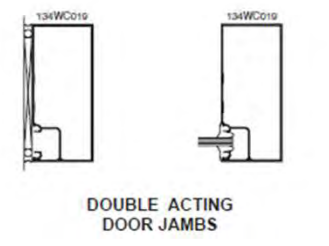
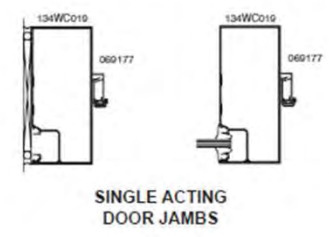
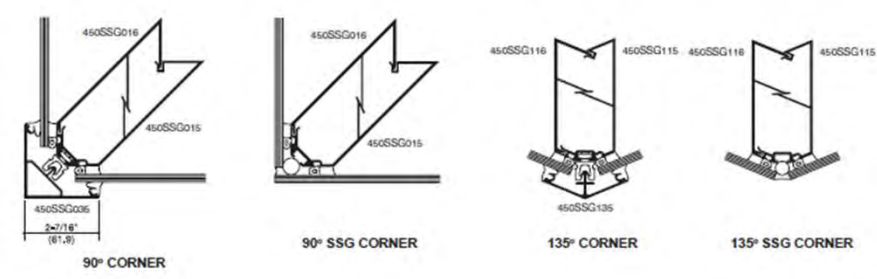
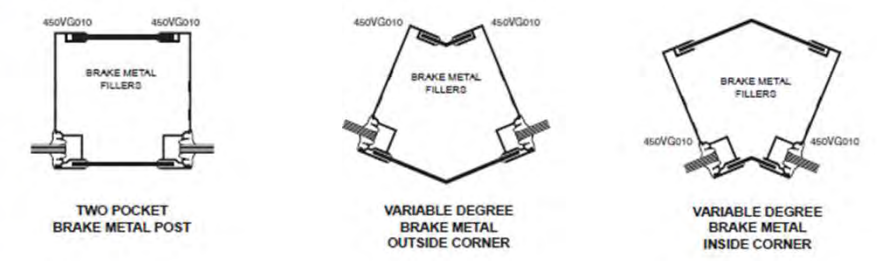
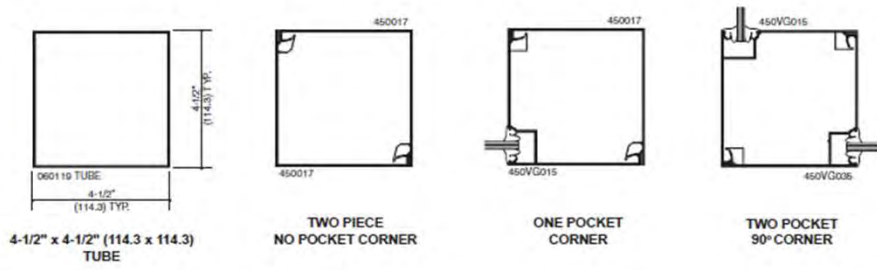


Docket No. 4-24-24 (15501 Madison)

Building Renovation - Gonzalez

Additional information and CAD details are available at www.kawneer.com

Additional information and CAD details are available at www.kawneer.com



Transom area for both double and single acting doors with glass surround. Jamb above transom bar are routed out to accept glass holding insert (450VG033).

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WIND LOAD CHARTS

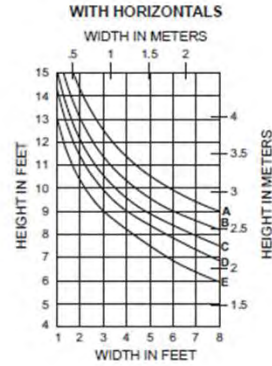
Mullions are designed for deflection limitations in accordance with AAMA TIR-A11 of L/175 up to 13' 6" and L/240 +1/4" above 13' 6". These curves are for mullions WITH HORIZONTALS and are based on engineering calculations for stress and deflection. Allowable wind load stress for ALUMINUM 15,152 psi (104MPa), STEEL 30,000 psi (207MPa). Charted curves, in all cases are for the limiting value. Wind load charts contained herein are based upon nominal wind load utilized in allowable stress design. A conversion from Load Resistance Factor Design (LRFD) is provided. To convert ultimate wind loads to nominal loads, multiply ultimate wind loads by a factor of 0.6 per ASCE/SEI 7. A 4/3 increase in allowable stress has not been used to develop these curves. For special situations not covered by these curves, contact your Kawneer representative for additional information.

If the end reaction of the mullion [mullion spacing (ft.) times height (ft.) times specified wind load (psf) divided by two] is more than 500 lbs., the optional Mullion Anchors must be used. Consult Application Engineering. (Mullion Anchor not used with Lightweight Receptor.)

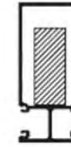
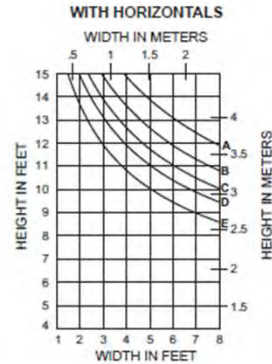
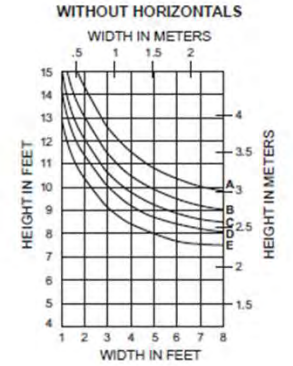
Laws and building and safety codes governing the design and use of Kawneer products, such as glazing materials, window and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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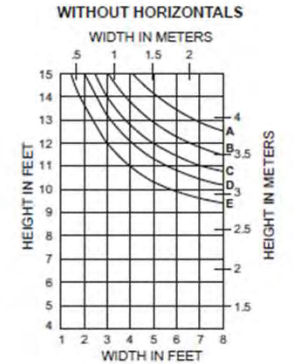
	Allowable Stress Design Load	LRFD Ultimate Design Load
A =	15 PSF (720)	25 PSF (1200)
B =	20 PSF (960)	33 PSF (1580)
C =	25 PSF (1200)	42 PSF (2000)
D =	30 PSF (1440)	50 PSF (2400)
E =	40 PSF (1920)	67 PSF (3200)



134WC005
 $I_x = 2.862 (120.37 \times 10^4)$
 $S_x = 1.125 (18.44 \times 10^3)$



134WC005
 $I_x = 2.862 (120.37 \times 10^4)$
 $S_x = 1.125 (18.44 \times 10^3)$
1" x 2-1/2" (25.4 x 63.5) STEEL BAR
 $I_x = 1.302 (54.19 \times 10^4)$
 $S_x = 1.042 (17.08 \times 10^3)$



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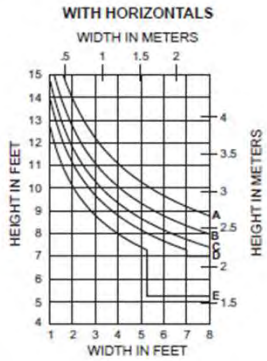
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	Allowable Stress Design Load	LRFD Ultimate Design Load
A =	15 PSF (720)	25 PSF (1200)
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E =	40 PSF (1920)	67 PSF (3200)

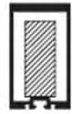
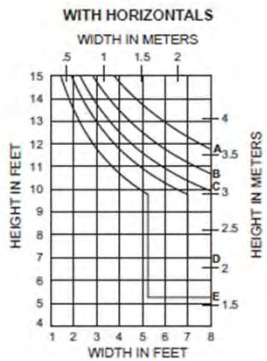
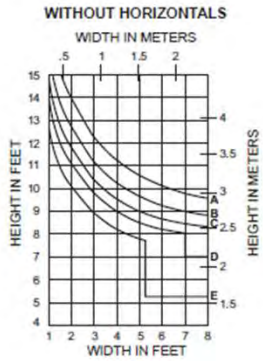
	Allowable Stress Design Load	LRFD Ultimate Design Load
A =	15 PSF (720)	25 PSF (1200)
B =	20 PSF (960)	33 PSF (1580)
C =	25 PSF (1200)	42 PSF (2000)
D =	30 PSF (1440)	50 PSF (2400)
E =	40 PSF (1920)	67 PSF (3200)

For each application, end reactions MUST be checked. These charts are used to verify that the end reactions at the head and sill receptors are 500 lbs. (2224N) or less and will meet the specified wind load.



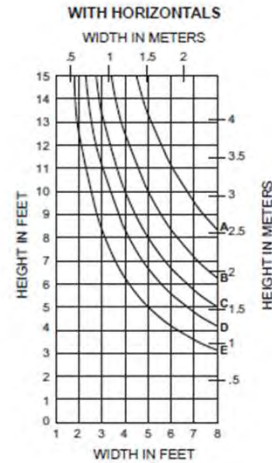
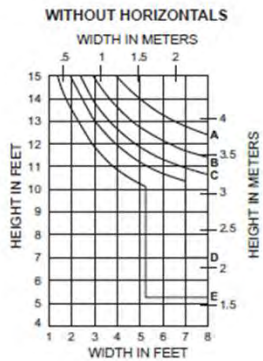
134SSG005

$I = 2.672 (111.22 \times 10^4)$
 $S = 1.437 (23.55 \times 10^3)$

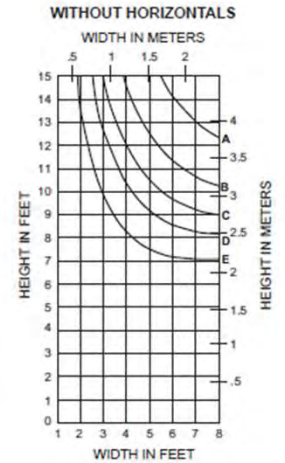


134SSG005

$I = 2.672 (111.22 \times 10^4)$
 $S = 1.437 (23.55 \times 10^3)$
1" x 2-1/2" (25.4 x 63.5) STEEL BAR
 $I = 1.302 (54.19 \times 10^4)$
 $S = 1.042 (17.08 \times 10^3)$



500lbs. Max. End Reaction



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Example of
Final Sign
Look



Illuminated
Black Metal
Letter Signs



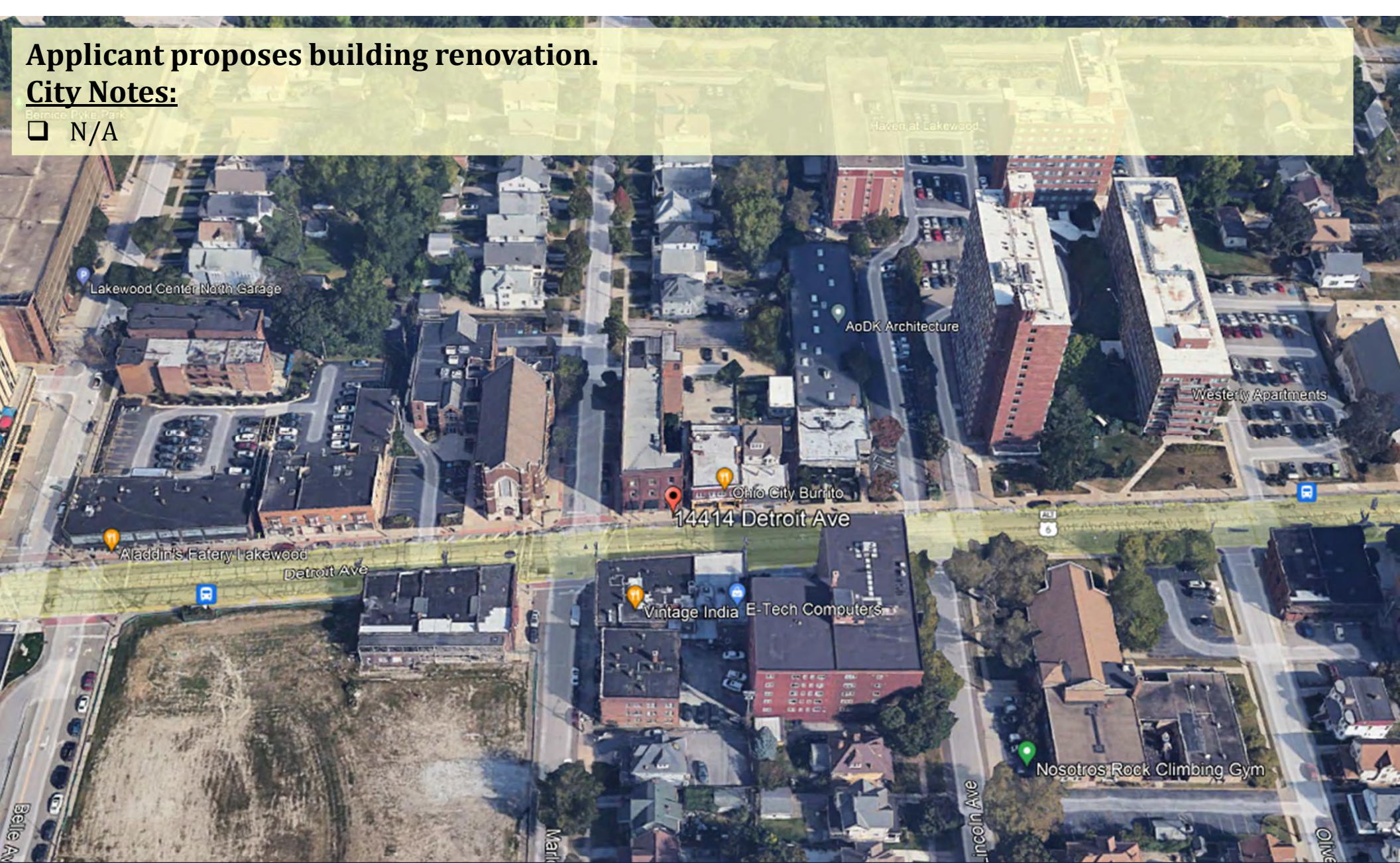
Docket No. 4-24-24 (15501 Madison)

Building Renovation - Gonzalez

Applicant proposes building renovation.

City Notes:

N/A



Docket No. 4-25-24 (14414 Detroit)
Building Renovation
David Maniet



Detroit Facade



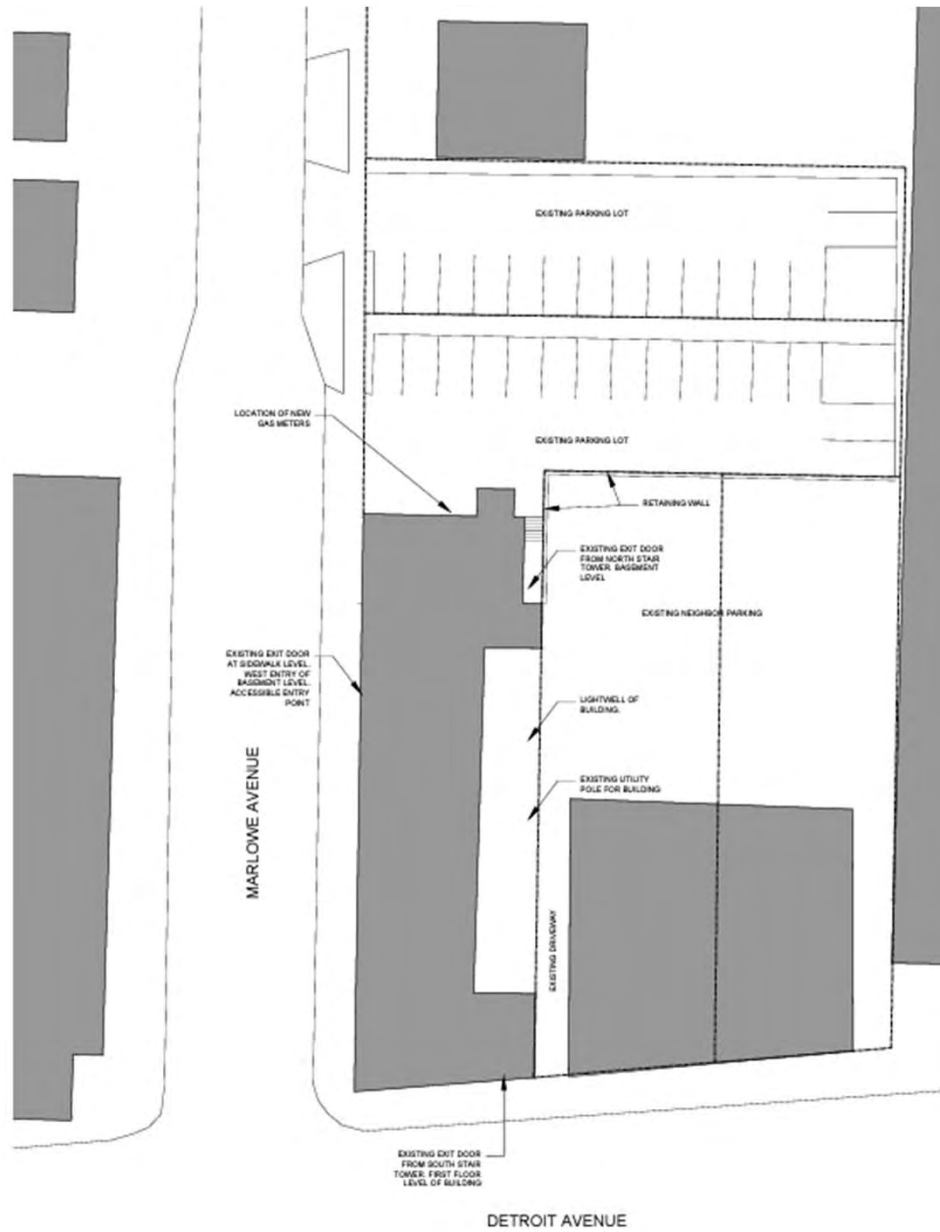
Detroit Facade Entry



Marlowe Elevation



Existing Accessible Roof



Site Plan
1/4" = 1'-0"

SITE PLAN NOTES:
PROPERTY LINES LOCATED FROM CLIENT PROVIDED SURVEY AND CUYAHOGA COUNTY GIS DATA.

MA
MANIET
ARCHITECTS

412.720.0424
DavidJManiet@gmail.com

Name / Project Address
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Issue for
Permit
Date
2/28/2024
Drawn By
DJB

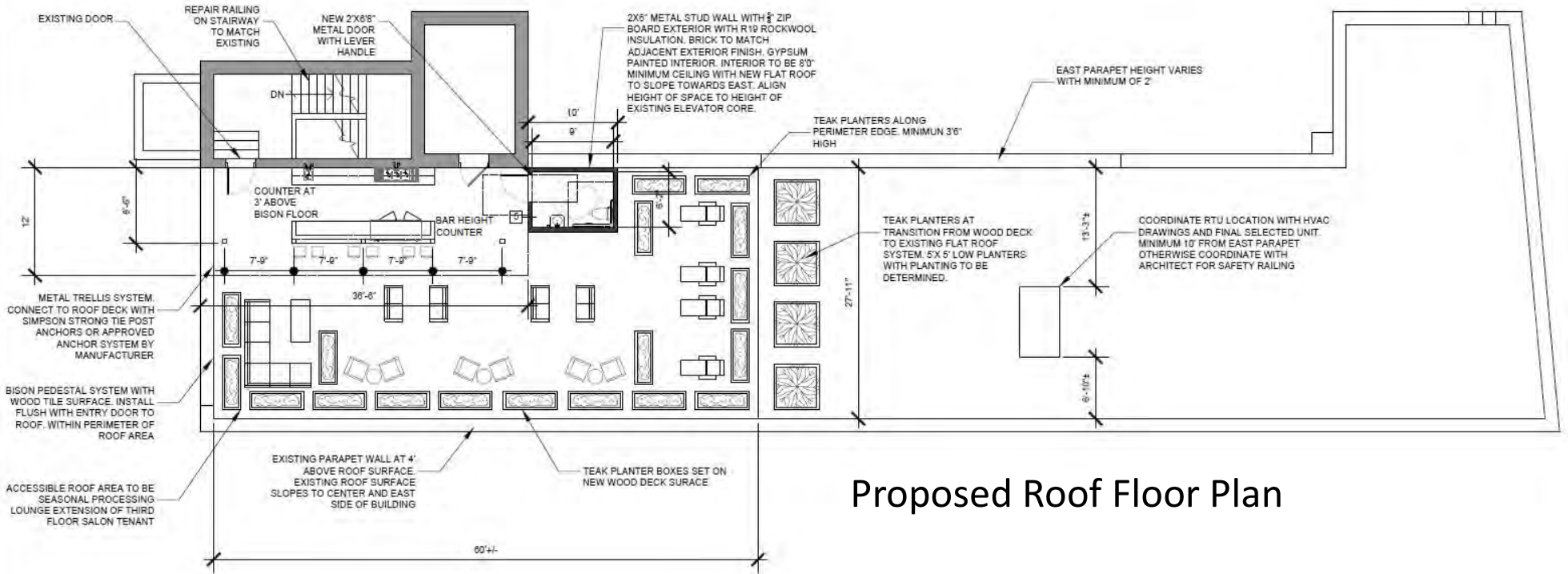
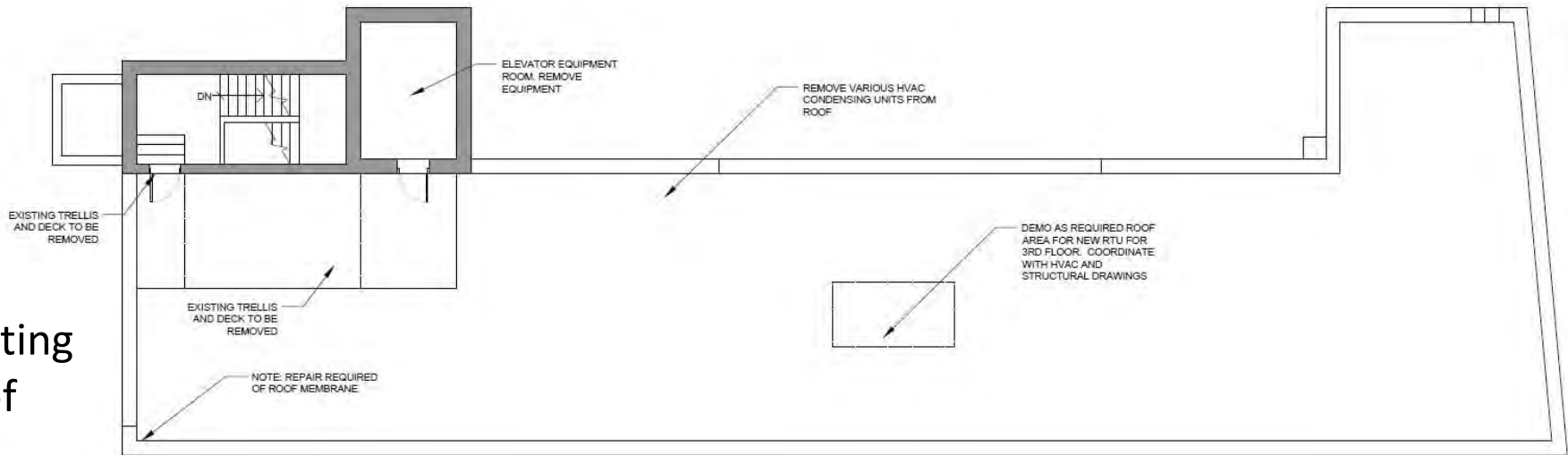
Sheet
R1



Docket No. 4-25-24 (14414 Detroit)

Building Renovation - Maniet

Existing Roof



Proposed Roof Floor Plan





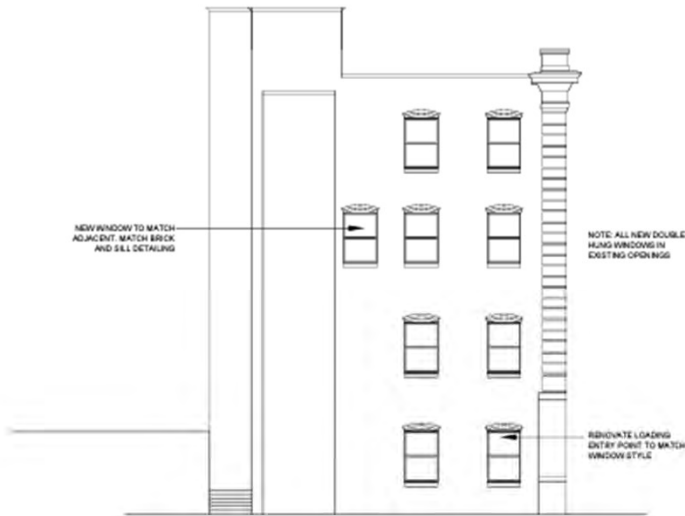
Existing North Elevation

3/8" = 1'-0"



Existing South Elevation (Detroit)

3/8" = 1'-0"



Proposed North Elevation

3/8" = 1'-0"



Proposed South Elevation (Detroit)

3/8" = 1'-0"

MA
MANIET
ARCHITECTS

412.720.0424
DavidJManiet@gmail.com

Normal Project Address
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Name for Printing	Sheet
Date: 10/20/24	R3
Drawn By: DM	



Docket No. 4-25-24 (14414 Detroit)

Building Renovation - Maniet



Existing Marlowe Avenue Elevation

3/4" = 1'-0"



Proposed Marlowe Avenue Elevation

3/4" = 1'-0"

MA
MANIET
ARCHITECTS

412.720.0424
DavidJManiet@gmail.com

Name / Project Address
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Issue No.	Sheet
Phase	
Date	2/28/2014
Drawn By	DJM
	R4



Docket No. 4-25-24 (14414 Detroit)

Building Renovation - Maniet

Series 2000A



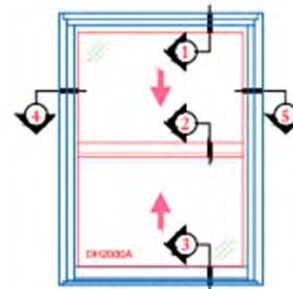
Features

- Frame Depth = 3 1/4"
- Insulated Glass Unit Depth = 7/8"
- Tilt Sashes
 - Safe, easy cleaning of both top & bottom sashes
- Sloped Sill
- Anti-Drift Head Clip Lock
 - Automatically secures the top sash in the closed position for safety, security and a weather-tight seal
- AAMA 2604 Powder Coat Finish
 - The durable finish that's also environmentally friendly

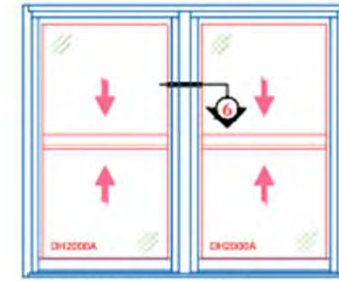
Options

- Low-E Coating & Argon
- Between-the-Glass or Applied Grids
- Custom Colors & Finishes
- Nailing Fin
 - Designed for New Construction
- Casement Fin
 - Provides a fast, easy and neat replacement
- A/C Oriel Kit
 - Easily accommodates air conditioners in the same opening
- Continuous Head & Sill
 - Enhances aesthetics & simplifies installation

SERIES	STYLES	FRAME DEPTH	IG DEPTH	AAMA RATING	AIR (cfm/ft ²)	WATER (psf)	UNIFORM LOAD (psf)	WALL THICKNESS (frame/sill)
2000A	Double Hung Tilt	3 1/4"	7/8"	H-C60 CW60	< 0.30	7	75	F - 0.062 S - 0.078

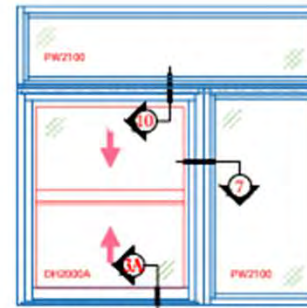


2000A DOUBLE HUNG

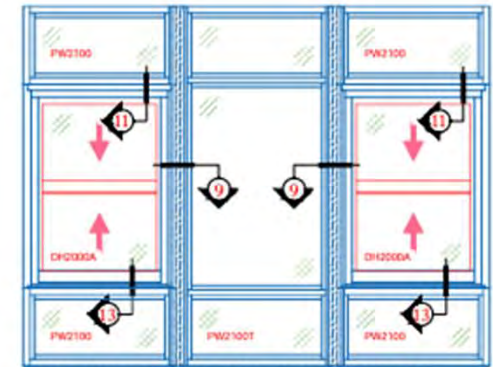


TWIN 2000A DOUBLE HUNG

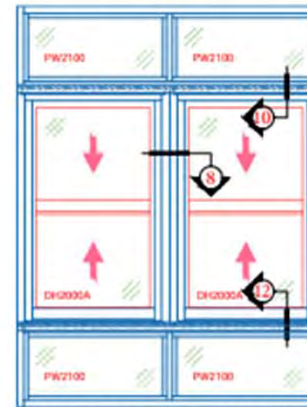
OPTIONAL FRAME



2000A DOUBLE HUNG □ 2100 PW



2000A DOUBLE HUNG □ 2100 PW W:3PC MULLION



2000A DOUBLE HUNG □ 2100 PW W:STACK MULLION

FEATURES

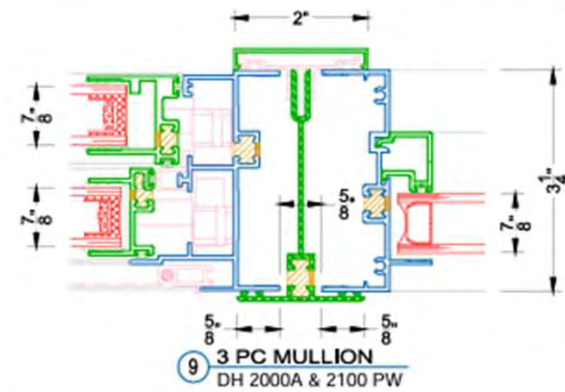
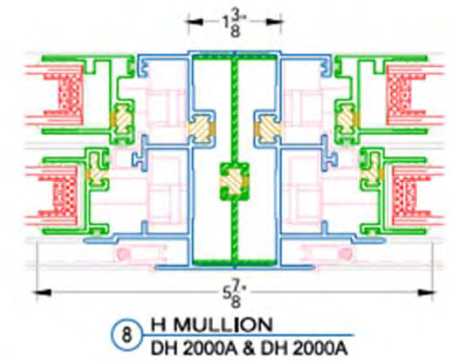
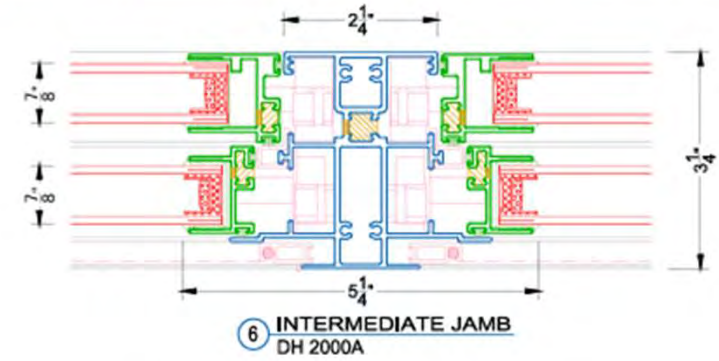
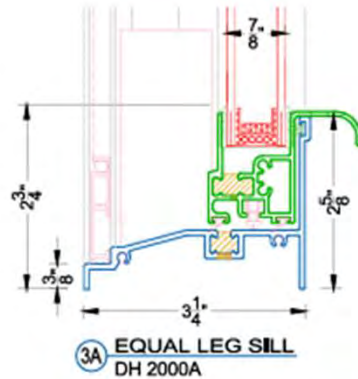
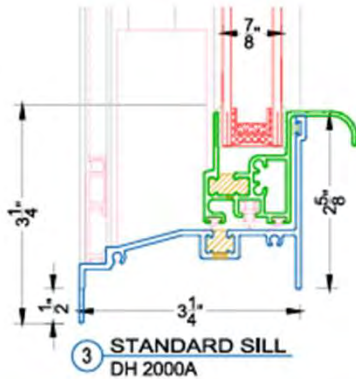
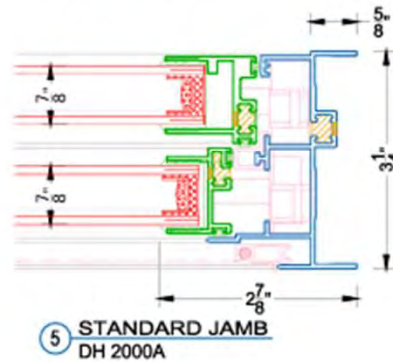
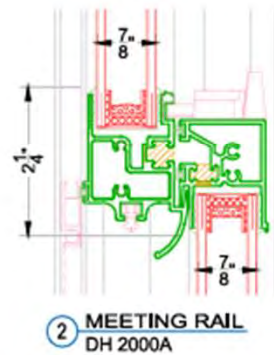
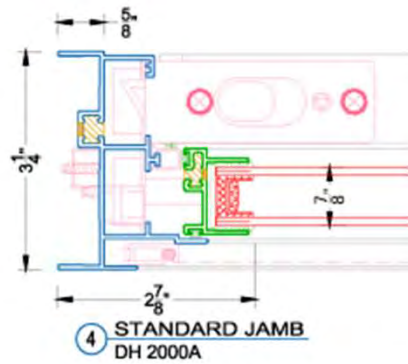
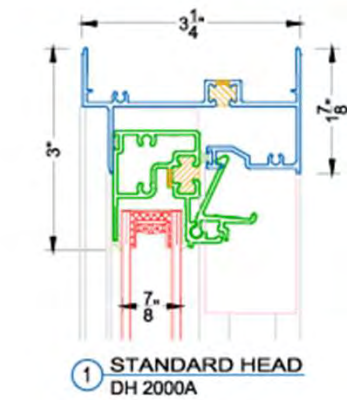
- 3 1/4" FRAME DEPTH
- 7/8" INSULATED GLASS
- TILT SASHES - MAKE CLEANING EASY
- ANTI-DRIFT HEAD CLIP LOCK
- SLOPED SILL
- AAMA RATING: H-C60 / CW-PG50

OPTIONAL

- LOW-E COATING & ARGON GAS
- FLANGE FRAME
- NAILING FIN FRAME
- CUSTOM COLORS & FINISHES
- BETWEEN THE GLASS OR EXTERIOR APPLIED GRID
- CONTINUOUS HEAD & SILL
- A/C ORIEL KIT



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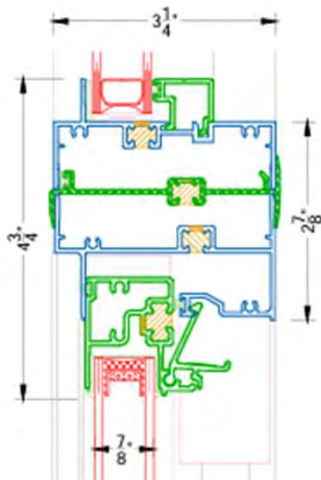


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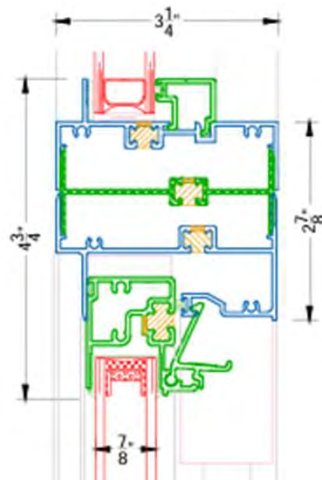
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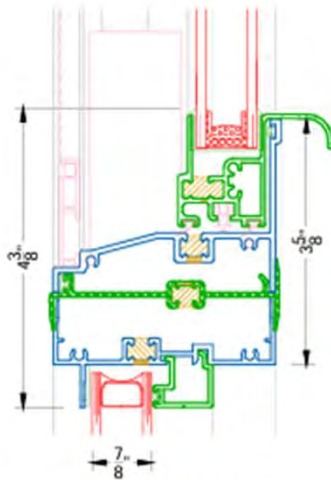
Docket No. 4-25-24 (14414 Detroit)
Building Renovation - Maniet



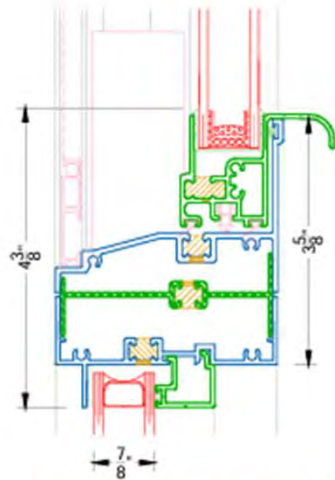
10 STACK MULLION
2100 PW & DH 2000A



11 H MULLION
2100 PW & DH 2000A



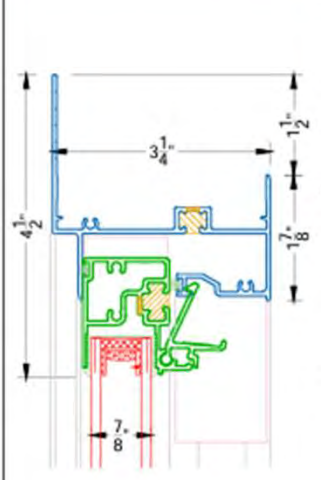
12 STACK MULLION
DH 2000A & 2100 PW



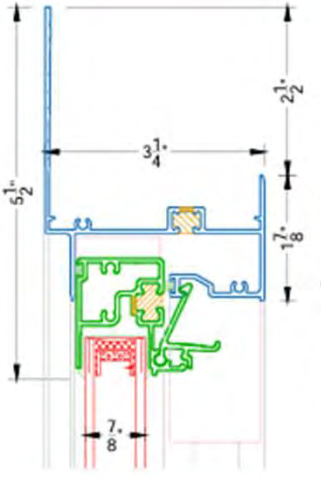
13 SHORT LEG H MULLION
DH 2000A & 2100 PW

VER: 2014.01

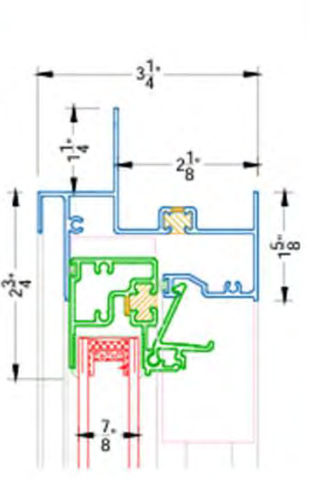
VER: 2014.01



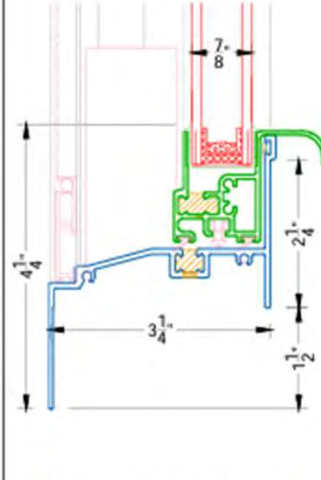
14 HEAD W/ 1 1/2" FLANGE
DH 2000A



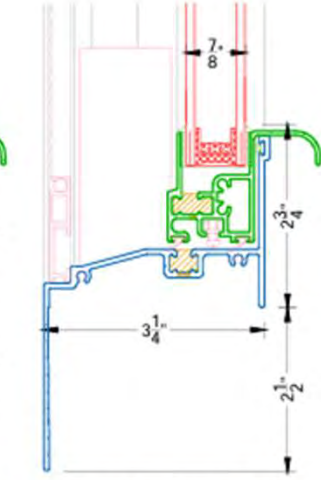
15 HEAD W/ 2 1/2" FLANGE
DH 2000A



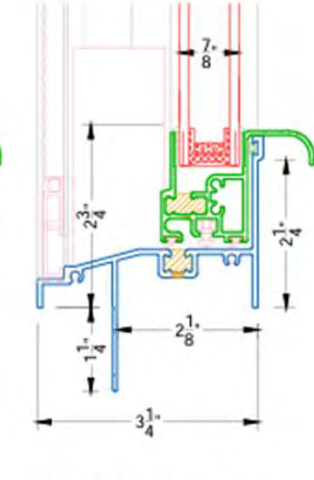
16 HEAD W/ NAILING FIN
DH 2000A



17 SILL W/ 1 1/2" FLANGE
DH 2000A



18 SILL W/ 2 1/2" FLANGE
DH 2000A



19 SILL W/ NAILING FIN
DH 2000A



Docket No. 4-25-24 (14414 Detroit)
Building Renovation - Maniet

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

SECTION 08 51 13
ALUMINUM WINDOWS

PART 1 - GENERAL

1.1 SCOPE OF WORK

- A. Furnish and install aluminum windows as shown in bid drawings and as per specifications stipulated in this section.
- B. Factory-installed glass & glazing

1.2 ITEMS FURNISHED BUT NOT INSTALLED (Enter description and quantity of items such as extra sash, screens, glass units, hardware, etc. for attic stock)

1.3 ITEMS INSTALLED BUT NOT FURNISHED (Enter description and quantity of items such as air conditioners, louvers, duct work to be installed in locations as directed by Architect)

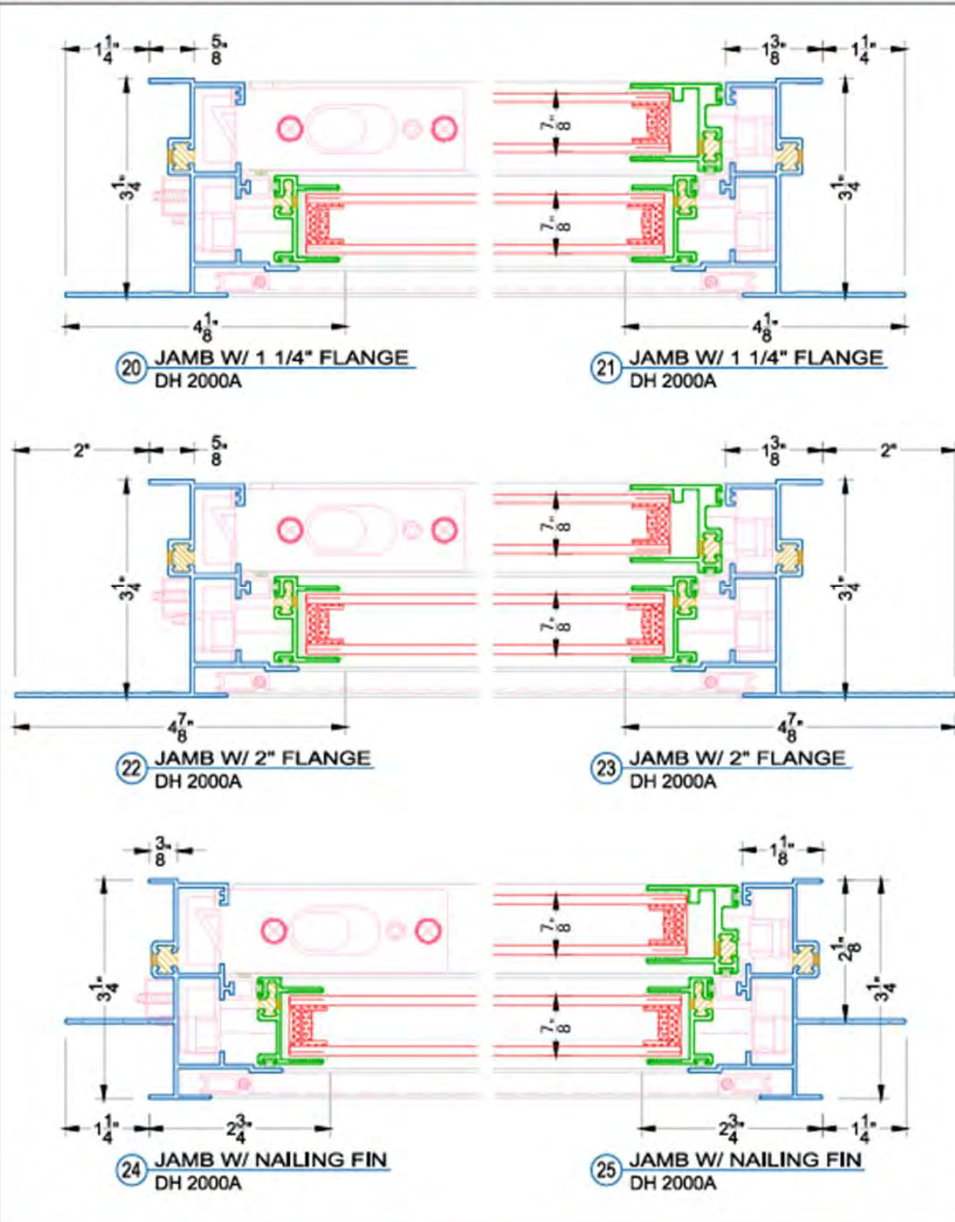
1.4 RELATED SECTIONS

- A. Section 07 90 00 - Joint Protection.
- B. Section 08 41 00 - Entrances and Storefronts.
- C. Section 08 70 00 - Hardware.

1.5 REFERENCES

- A. AAMA - American Architectural Manufacturers Association:
 1. AAMA/WDMA/CSA 101/I.S.2/A440-08 "North American Fenestration Standard/Specification for Windows, Doors, and Skylights"
 2. AAMA/WDMA/CSA 101/I.S.2/A440-05 "Standard/Specification for Windows, Doors, and Unit Skylights"
 3. AAMA 502-08 - Voluntary Specification for Field Testing of Newly Installed Fenestration Products.
 4. AAMA 611-98 - Voluntary Specification for Anodized Architectural Aluminum
 5. AAMA 701/702-04 - Voluntary Specification for Pile Weatherstripping and Replaceable Fenestration Weatherseals.
 6. AAMA 800-07 - Voluntary Specifications and Test Methods for Sealants.
 7. AAMA 902-07 - Voluntary Specification for Sash Balances.
 8. AAMA 910-93 - Voluntary Life Cycle' Specifications and Test Methods for Architectural Grade Windows and Sliding Glass Doors.
 9. AAMA 1503-98 - Voluntary Test Method for Thermal Transmittance and Condensation Resistance of Windows, Doors, and Glazed Wall Sections.
 10. AAMA 2603-02 - Voluntary Specification, Performance Requirements and Test Procedures for Pigmented Organic Coatings on Aluminum Extrusions and Panels.
 11. AAMA 2604-05 - Voluntary Specification, Performance Requirements and Test Procedures for High Performance Organic Coatings on Aluminum Extrusions and Panels.
 12. AAMA 2605-05 - Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum Extrusions and Panels.
- B. ASTM - American Society for Testing and Materials:
 1. ASTM E 283-04 - Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimen.
 2. ASTM E 330-02 - Standard Test Method for Structural Performance of Exterior Windows,

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SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

- 3. Doors, Skylights, and Curtain Walls by Uniform Static Air Pressure Difference.
 - 4. ASTM E 331-00 - Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Uniform Static Air Pressure Difference.
 - 5. ASTM E 547-00 - Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Cyclic Static Air Pressure Differential.
 - 6. ASTM F 588; 1997 - Standard Test Methods for Measuring the Forced Entry Resistance of Window Assemblies, Excluding Glazing Impact
 - 7. ASTM E 2190-02 - Standard Specification for Insulating Glass Unit Performance and Evaluation.
 - C. NFRC - National Fenestration Rating Council.
 - 1. NFRC 100-04 - Procedure for Determining Fenestration Product U Factors.
 - 2. NFRC 102-04 - Procedure for Measuring the Steady-State Thermal Transmittance of Fenestration Systems.
 - 3. NFRC 500-04 - Procedure for Determining Fenestration Product Condensation Resistance Values.
 - D. IGCC - Insulating Glass Certification Council.
 - E. SGCC - Safety Glazing Certification Council.
 - 1. Z97.1-04 American National Standard for Safety Glazing Materials used in Buildings - Safety Performance Specifications and Methods of Test.
 - 2. 16 CFR 1201 Consumer Product Safety Commission Safety Standard for Architectural Glazing Materials - codified at Title 16, Part 1201 of the Code of Federal Regulations.
 - F. ANSI Z97.1 - American National Standard For Safety Glazing Materials Used in Buildings - Safety Performance Specifications and Methods of Test/Consumer Products Safety Commission CPSC 16 CFR 1201.
 - G. LEED: The Leadership in Energy & Environmental Design; U.S. Green Building Council (USGBC).
- 1.6 SUBMITTALS
- A. Submit administrative requirements under provisions of Section 01 30 00.
 - B. Product Data: Manufacturer's data sheets on each product to be used, including:
 - 1. Preparation instructions and recommendations.
 - 2. Storage and handling requirements and recommendations.
 - 3. Installation methods.
 - C. Shop Drawings:
 - 1. Elevation for each style window specified indicating its size, glazing type, muntin type and design.
 - 2. Manufacturer's head, jamb and sill details and section views for each window type specified.
 - D. Schedules:
 - 1. Provide a window schedule indicating the type, size, color, and operation of each unit specified. Coordinate with window mark types found in the Contract Drawings.
 - E. Selection Samples: For each finish product specified, two complete sets of color chips representing manufacturer's full range of available colors and patterns.
 - F. Verification Samples: For each finish product specified, samples may be subsequently installed on the project.

SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

- G. Test Reports: Submit certified independent testing agency reports indicating window units meet or exceed specified performance requirements.
- 1.7 SYSTEM DESCRIPTION
- A. Operation: DOUBLE HUNG with TILT-IN SASH for cleaning
 - B. AAMA Rating: CW-PG50-H when tested according to AAMA/WDMA/CSA 101/I.S.2/A440-08 at the gateway size of 56" x 91"
 - C. Construction: 3 1/4 inch frame depth. Wall thickness: 0.062"/0.078" frame/sill; 0.062" sash. Factory finished extruded aluminum frame and sash members with integral structural polyurethane thermal break.
 - D. Glazing: 7/8 inch insulating glass; black reusable flexible PVC channel gasket;
- 1.8 HARDWARE:
- A. Balances:
 - 1. Balances shall provide a positive lifting force through the full range of sash travel. Sash travel shall be limited on oversize units.
 - 2. When properly adjusted, balances shall hold the sash stationary at any open position.
 - 3. Balances shall be factory calibrated of type Spiral (or Ultra-Lift balance or Block and Tackle)
 - B. Meeting Rail Lock(s): White or Black painted zinc alloy sweep lock fastened at meeting rail with two self-tapping screws.
 - C. Head Lock: Automatic aluminum spring-loaded head lock shall secure top sash in closed position.
 - D. Tilt latches: Custodial-operated locking tamper-proof tilt latches
 - E. Lift Handles: Integral continuous lift handles on bottom sash.
 - F. Limit Stops: Jamb-mounted limit stops.
- 1.9 WEATHERSTRIPPING:
- A. Sash: High-density woven pile shall be used in combination with continuous polyethylene rigid seal to minimize air infiltration.
 - B. Securely stake and join at corners. Provide drainage to exterior as necessary.
- 1.10 PERFORMANCE REQUIREMENTS
- A. Air, Water and Structural Performance Requirements:

When tested in accordance with cited test procedures, windows shall meet or exceed the following performance criteria, as well as those indicated in AAMA 101 and 101/I.S.2/A440-08 for performance grade of unit specified unless otherwise noted herein.

 - 1. Air Test Performance Requirements:



SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

- a. Performance: Air infiltration maximum 0.30 cfm per square foot at 1.6 psf pressure differential when tested in accordance with ASTM E283 for sliding sealed products.
- 2. Water Test Performance Requirements:
 - a. No uncontrolled water leakage at 7.5 psf static pressure differential when tested in accordance with ASTM E331 and ASTM E547.
- 3. Structural Test Performance Requirements:
 - a. Uniform Load Deflection Test
 - 1) No deflection of any unsupported span L of test unit (framing rails, muntins, Mullions, etc.) in excess of L/175 at both a positive and negative load of design test pressure when tested in accordance with ASTM E330.
 - 2) Structural reinforcing that is not standard on units being furnished is not allowed.
 - b. Uniform Load Structural Test:
 - 1) Unit to be tested at 1.5 x design test pressure, both positive and negative, acting normal to plane of wall in accordance with ASTM E330.
 - 2) No glass breakage; permanent damage to fasteners, hardware parts, or anchors; damage to make windows inoperable; or permanent deformation of any main frame or ventilator member in excess of 0.2% of its clear span.
- B. Forced Entry Resistance Test: ASTM F 588, Type and Grade as indicated for each Product.
- C. Thermal Performance Requirements

- 1. Perform thermal computer simulation in accordance with the configuration specified in NFRC 100.
- 2. Computed Thermal Transmittance (U-Value) shall not exceed 0.43 BTU/hr/sq.ft./°F for the whole window assembly.
- 3. Computed Solar Heat Gain Coefficient (SHGC) shall not exceed 0.36 for the whole window assembly.

1.11 QUALITY ASSURANCE

- A. Manufacturer Qualifications: All windows specified in this section shall be supplied by a manufacturer which has been fabricating/manufacturing commercial grade aluminum windows of similar quality and performance for a minimum of ten (10) years.
- B. Installer Qualifications: All products listed in this section are to be installed by a single installer with a minimum of five (5) years demonstrated experience in installing windows of the same type and scope as specified, preferably AAMA certified installers.
- C. Provide test reports from AAMA accredited laboratory certifying that window units are found to be in compliance with AAMA/WDMA/CSA 101/I.S.2/A440-08 and performance standards listed above.
 - 1. Test reports shall be accompanied by the window manufacturer's letter of certification stating that the tested window meets or exceeds criteria for the appropriate AAMA/WDMA/CSA 101/I.S.2/A440 test.

1.12 DELIVERY, STORAGE, AND HANDLING

- A. Store products in manufacturer's unopened packaging until ready for installation in accordance with manufacturer's recommendations.
- B. Protect units against damage from the elements, construction activities and other hazards before, during, and after installation.

1.13 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.

1.14 WARRANTY

- A. Refer to Crystal Window & Door Systems, Ltd. standard warranty.
- B. Optional Extended Warranty (contact your Crystal sales representative).

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable Manufacturer: **Crystal Window & Door Systems, Ltd.**, which is located at: 31-10 Whitestone Expressway, Flushing, NY 11354; Tel: 718. 961.7300; Tel: 800. 472.9988; Fax: 718.460.4594; Web: www.crystalwindows.com
- B. Requests for substitutions will be considered in accordance with provisions of Section 01 60 00.

2.2 Aluminum:

- A. Extruded aluminum prime billet 6063-T5 or 6063-T6 alloy for primary components; 6063-T5, 6063-T6, or 6061-T6 for structural components; all meeting the requirements of ASTM B221.
- B. Aluminum sheet alloy 5005 H 32 (for anodic finish), meeting the requirements of ASTM B209 or alloy 3003 H 14 (for painted or unfinished sheet).

2.3 Thermal Barrier:

- A. Structural Thermal Barrier:
 - 1. Structural thermal barrier shall consist of poured-in-place polyurethane polymer that shall transfer shear during bending and provide composite action between frame components.
- B. Non Structural Thermal Barriers:
 - 1. Non structural thermal barriers are used only in conjunction with structural thermal barriers. The purpose of non structural thermal barriers is to enhance thermal performance of the primary structural thermal barriers (polyamide struts) by inhibiting heat transfer through thermal radiation and convection. Non structural thermal barriers shall not be used as primary load carrying members.
 - 2. Rigid non structural thermal barriers shall be constructed of extruded polyvinylchloride (PVC).

2.4 GLASS

- A. Glazing Materials:
 - 1. Vertical Glazing: For glass surfaces sloped 15 degrees or less from vertical. Design glass to resist design wind pressure based on glass type factors for short-duration load.
 - 2. Thickness: Where glass thickness is indicated, it is a minimum. Provide glass lites in thicknesses as needed to comply with requirements indicated.
 - 3. Strength: Where float glass is indicated, provide annealed float glass. Where fully tempered glass is indicated, provide Kind FT heat-treated float glass.
 - 4. Thermal and Optical Performance Properties: Provide glass with performance properties specified, as indicated in manufacturer's published test data, based on procedures indicated.



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- a. U-Factors: Total-glazing values, according to NFRC 100 and based on LBL's WINDOW 5.2 computer program, expressed as BTU/sq.ft x h x deg F (W/sq. m x K).
- b. Solar Heat-Gain Coefficient and Visible Transmittance: Center-of-glazing values, according to NFRC 200 and based on LBL's WINDOW 5.2 computer program.
- c. Visible Reflectance: Center-of-glazing values, according to NFRC 300.
- 5. Float Glass: ASTM C 1036, Type 1, Quality-Q3, Class 1 (clear) unless otherwise indicated.
- 6. Coated Glass: ASTM C 1376, Type 1, Quality-Q3, Class 1 (clear) unless otherwise indicated, of kind and condition indicated.
- 7. Laminated Glass: ASTM C 1172, Type 1, Quality-Q3, Class 1 (clear) unless otherwise indicated, of kind and condition indicated.
- B. Insulating Glass Units:
 - 1. Factory-assemble units consisting of sealed lites of glass separated by a PPG Intercept Spacer system consisting of a one-piece, metallic, U-channel design that creates an effective thermal barrier to help reduce conducted heat loss through the window.
 - 2. Insulating glass units shall be sealed with an integral dessicant matrix and a butyl sealant extruded around the entire perimeter of the spacer to achieve a seal. The sealant applied is to be Dual Seal Equivalent (DSE). Interspace to be filled with air or argon gas as required by thermal computer simulation.
 - 3. Insulating Glass Types: Low-E coated, insulating glass units.
 - a. Overall Unit Thickness: 7/8" (22mm)
 - b. Thickness of Each Glass Lite: 3/32", 1/8" or 1/4 inch
 - c. Outdoor Lite: Class 1 (Clear) float glass, or fully tempered float glass.
 - d. Interspace Content: Air or Argon Gas.
 - e. Indoor Lite: Class 1 (Clear) float glass, or fully tempered float glass.
 - f. Low-E Coating: Sputtered on second or third surface.
 - g. Glass Winter Night time U-Value: 0.26 maximum.
 - h. Solar Heat Gain Coefficient: 0.46 maximum.
 - i. Provide safety glazing labeling, if necessary.

2.5 WINDOW ACCESSORIES

Provide the following accessories as specified in the contract drawings. Finish to match window frames or as selected by the Architect:

- A. Wrap Around Panning
- B. Preset Panning
- C. Snap Trim/Clips
- D. Expanders
- E. Receptors
- F. Subsills and Subsill Anchors
- G. Mullions and Mullion Covers
- H. Exterior Sills
- I. Interior Stools
- J. Muntins

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SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

2.6 FINISHES

- A. Conforming to AAMA 2604-05 specification, finish on all extruded aluminum shall consist of zero or near-zero VOC, organic POWDER COAT with a baked on super-durable thermosetting polyester resin, electro-statically applied on five-stage pre-treated aluminum surface. Equivalent to 50% Kynar polyvinylidene fluoride liquid paint finishes. Powder coat material to be as manufactured by Sherwin Williams or PPG Powder Coatings.
- B. Color to be selected from Manufacturer's Standard Color Chart (or custom-matched as required by project Architect/Owner).

2.7 Insect Screens:

- A. Screen frames shall consist of tubular extruded aluminum profiles with finish to match window frames.
- B. Fiberglass mesh (18 X 16) with PVC spline.

2.8 Steel components including attachment fasteners shall be 300 series stainless steel except as noted.

2.9 Thermoplastic or thermo-set plastic caps, housings and other components shall be injection-molded nylon, extruded PVC, or other suitable compound.

2.10 Sealants:

- 1. Sealants shall comply with applicable provisions of AAMA 800 and/or Federal Specifications FS-TT-001 and 002 Series.
- 2. Frame joinery sealants shall be suitable for application specified and as tested and approved by window manufacturer.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Do not begin installation until substrates have been properly prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

3.2 PREPARATION

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.

3.3 INSTALLATION

- A. Install in accordance with manufacturer's instructions.

3.4 ANCHORAGE

- A. Anchor window units and/or assemblies sufficiently to maintain permanent positions when subjected to normal thermal movement, specified building movement and specified wind loads.

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SERIES 2000A CW-PG50-H DOUBLE-HUNG TILT WINDOW

3.5 PROTECTION

- A. Protect installed products until completion of project.
- B. Final operating adjustment shall be made after glazing work is complete. Operating sash and ventilator shall operate smoothly and shall be weathertight when in locked position
- C. Touch-up, repair or replace damaged products before Substantial Completion.

3.6 DISPOSAL OF DEBRIS

- A. Remove all garbage off site and legally dispose of existing windows and debris generated from the installation of the new windows.

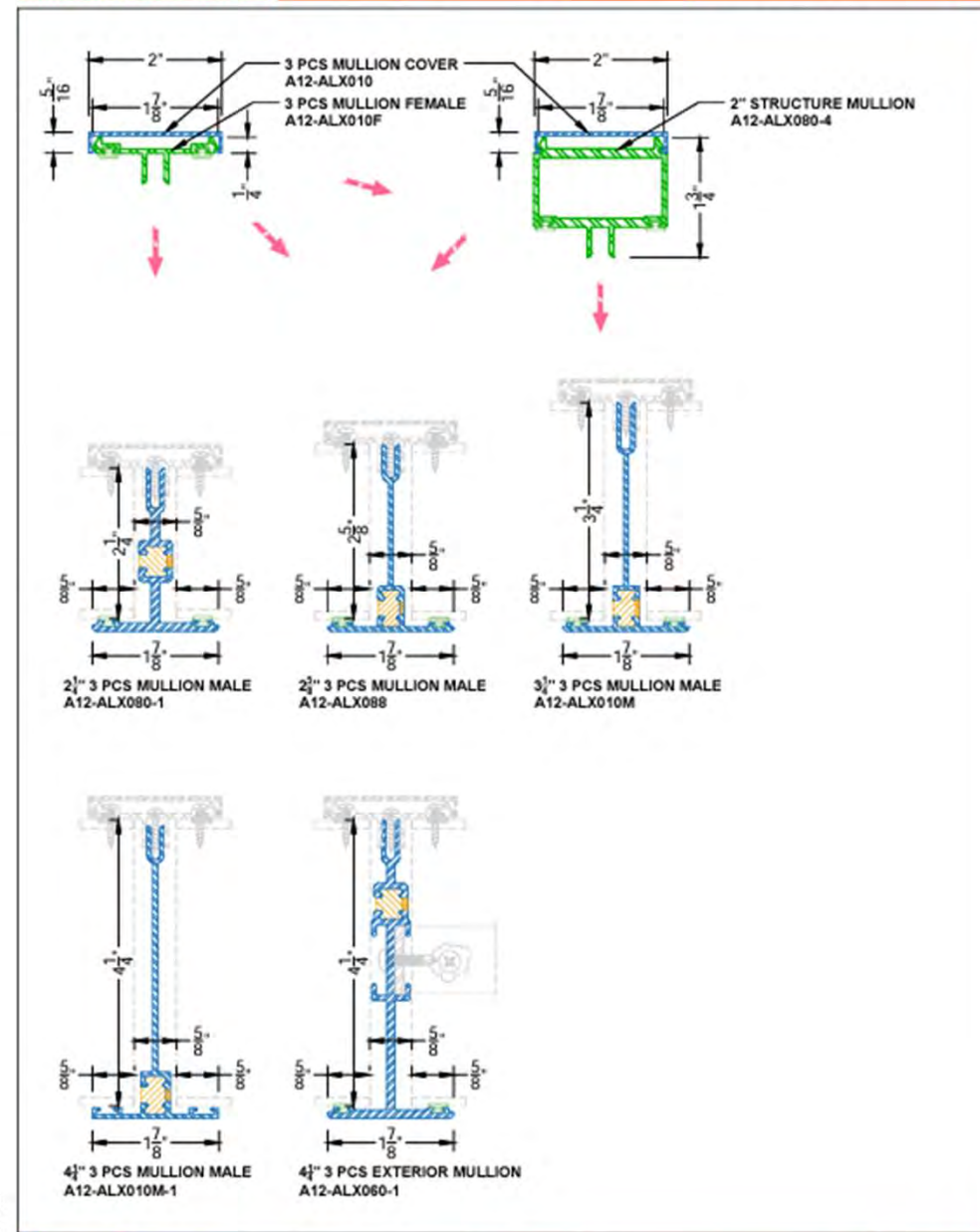
3.7 OPTIONAL FIELD TESTING

- A. At the discretion and expense of Owner or Owner's representative, perform on-site testing of installed units in conformance with AAMA 502 - Voluntary Specification for Field Testing of Windows and Sliding Glass Doors. Conduct air and water infiltration testing with the window manufacturer, contractor, and owner present.
- B. An AAMA accredited lab will be hired by the owner to perform the required testing.

3.8 ADJUSTMENT AND CLEAN UP

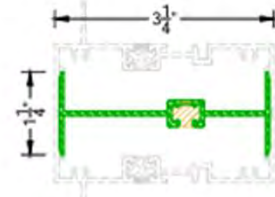
- A. Adjust all products, sash, vents, and hardware after installation, as necessary to provide proper operation and a weather tight installation
- B. Remove any labels and dirt from the window.

END OF SECTION

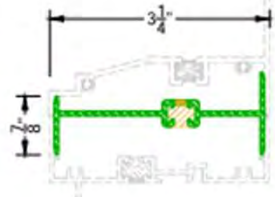


VER: 2014.01

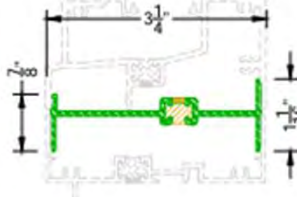




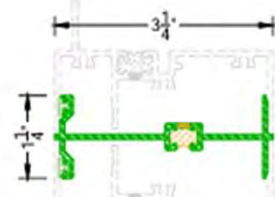
3/4" H-MULLION
A12-ALX001
FOR LIGHT COMMERCIAL
SERIES 2000, 3000, 4000



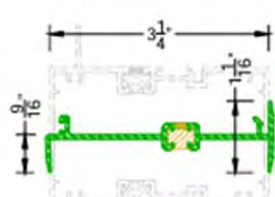
3/4" H-MULLION SHORT LEG
A12-ALX01X-B
FOR MULLIED UNIT WITH
DOUBLE HUNG ON TOP



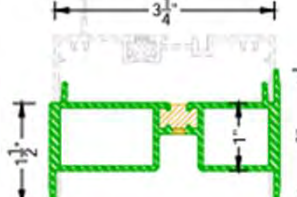
3/4" H-MULLION SHORT LEG
A12-ALX-22
FOR SERIES 2300 SLIDER



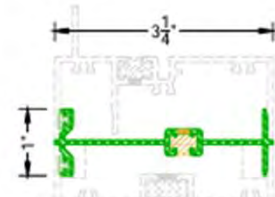
3/4" H-MULLION
THX-56-013
FOR SERIES 5000, 5500



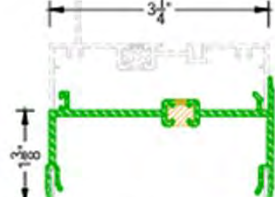
3/4" STACK MULLION
A12-ALX-ST-03
FOR HORIZONTAL ONLY



3/4" STRUCTURAL STACK MULLION
A12-ALX-ST-01
FOR HORIZONTAL ONLY



3/4" SHORT H-MULLION
THX-56-014
FOR SERIES 5600



3/4" STACK MULLION TRICKLE VENT
MULL-VENT-325X188
FOR HORIZONTAL ONLY

VER: 2014.01



Bison ScrewJack Pedestal Installation Guide



SCREWJACK Installation Guide

August 2023

B-Series Spacer Tab

3/16" (4.5 mm) integrated tabs

B-Series Top

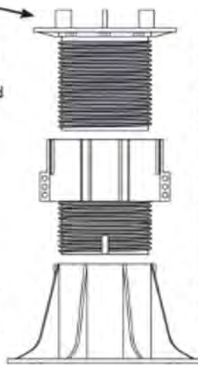
Comes screwed into B-Series Base. Unscrew top until thread engagement indicators are felt and heard. DO NOT extend beyond this point except to add a C4 Coupler to a B3 or B4 Pedestal.

C4 Coupler

Insert coupler to reach higher elevations. Thread engagement indicators warn of overextension. DO NOT extend couplers beyond this point. (Item C4 sold separately)

B-Series Base

Comes screwed into B-Series Top. Unscrew top until thread engagement indicators are felt and heard. DO NOT extend beyond this point except to add a C4 Coupler to a B3 or B4 Pedestal.



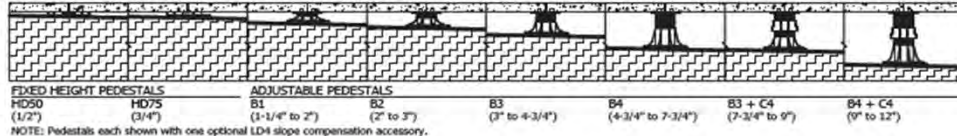
Bison ScrewJack Pedestals are packaged with the top and base fully assembled in the pedestal's lowest height position. To increase the height, simply unscrew. DO NOT extend the height of the pedestal past the built-in thread engagement indicators unless adding a C4 Coupler.

To further increase the height, continue to unscrew the top and base past the thread engagement indicators until they separate. Insert a C4 Coupler between the top and base and reassemble making certain that they are both screwed past the thread engagement indicators. Screw or unscrew the C4 Coupler while maintaining equal thread engagement between the top and bottom of the coupler for maximum strength.

Available exclusively through Oldcastle Westile, the Bison ScrewJack (B-Series) Adjustable Pedestal line has a broad footprint that provides stability, is impervious to freeze thaw cycles, and offers a range of heights suited to a wide variety of applications. Precise integrated spacer tabs allow for deck drainage and uniform paver spacing, simple accessories adjust for slope, and the screw-to-adjust height settings assure a perfectly level deck.

The Bison ScrewJack Pedestal series reaches heights from 1-1/4" to 36" (32 to 914 mm) and has a weight bearing capacity of 1,000 lbs (FoS:3). Accessories are available to compensate for slope (up to 1" per foot or 8%) and accommodate low height applications from 1/8" to 1-1/4" (3.2 to 32 mm). Use ScrewJack Pedestals with the Bison Brace System for excess height installations from 24" to 36" (610 to 914 mm) or for installations requiring additional stability. Proudly manufactured in the U.S.A.

IMPORTANT: Refer to ScrewJack product specifications to ensure proper use and installation. For more information visit www.bisonip.com.



Maintenance Guide

Routine maintenance of your paver deck system will enhance the beauty, reduce major repairs, and prolong the life of your deck. Below is a list of maintenance guidelines that should be performed on a regular basis:

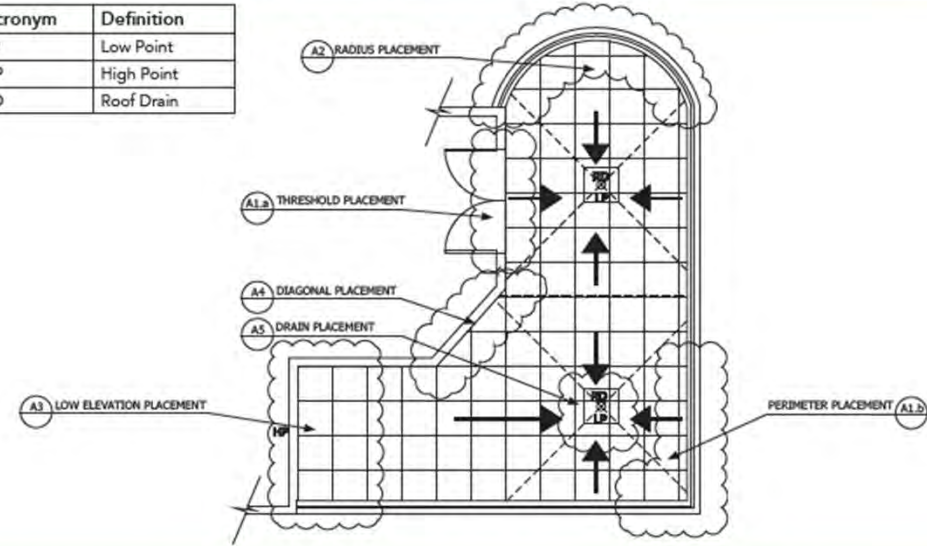
1. Check for pavers that rock. If you notice pavers rocking back and forth while walking on the deck, lift the paver up and shim one or more corners until the paver is level on all four corners. Bison 1/16" (1.5 mm) B11 Shimms or 1/8" (3.2 mm) PS1 Shimms are available. To ensure pedestal stability, make sure to not exceed the thread engagement indicators.
2. Depending on substrate materials, some settling and/or deflection can occur. Remove the paver and adjust the pedestal until a level height is achieved. You may need to do this to more than one pedestal to level out an area.
3. Clean drains and scuppers on a regular basis. Water should completely drain off the roof deck within 48 hours after rainfall, under ambient drying conditions. Standing or pooling water can be detrimental to some waterproofing systems.
4. Periodically check the spacer tabs between pavers, and replace pedestals with broken spacer tabs. Loss of spacer tabs could create unsafe deck movement.
5. Make sure the edge restraint remains intact. There should not be room around the perimeter of the deck in excess of 3/16" (4.5 mm) width which would allow for lateral movement of the pavers and create an unsafe condition.
6. Follow paver manufacturers' suggestions for upkeep and maintenance of the pavers.

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Covered by one or more patents or pending patents.

Bison Innovative Products | 701 Osage Street, Unit 120, Denver CO 80204 USA | 800-333-4234 | www.bisonip.com

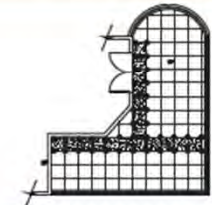
Advanced Layout and Pedestal Placement

Acronym	Definition
LP	Low Point
HP	High Point
RD	Roof Drain



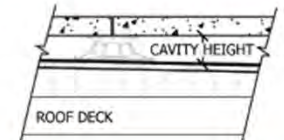
"T" Method Installation

1. Determine cavity heights at all thresholds, drains, and high points.
2. Deduct thickness of decking material.
3. Mark top of pedestal elevation around deck with chalk line or laser level.
4. Plan paver/pedestal layout pattern in advance.
5. Install "T" shaped portion of deck starting from threshold or high point.
6. Adjust to correct height and level.
7. Install on both sides of the "T".



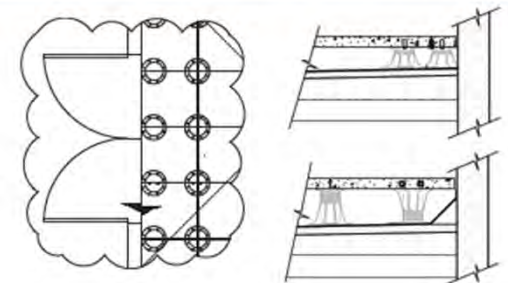
Determining Cavity Height

- The cavity height is the space between the top of the roofing membrane and the bottom of the decking material.
- Use a laser level or chalk line to assist.



(A1) (a) Threshold and (b) Perimeter Placement

- Use extra pedestals under small cut pieces for additional support.
- Adhere small pavers to top of pedestal with construction adhesive.
- Remove tabs as necessary for perimeter pedestals.
- Turn pedestals upside down or trim pedestal bases as necessary to fit around the perimeter.
- Decking pavers must not be spaced more than 3/16" (4.5 mm) from the perimeter containment.
- Adhere tabs into place with construction adhesive to maintain spacing between pavers when normal tab placement is not possible.

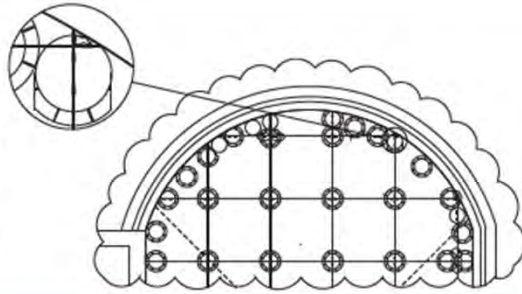


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Updated

- additional support.
- Adhere small pavers to top of pedestal with construction adhesive.
 - Remove tabs as necessary for perimeter pedestals.
 - Turn pedestals upside down or trim pedestal bases as necessary to fit around the perimeter.
 - Decking pavers must not be spaced more than 3/16" (4.5 mm) from the perimeter containment.
 - Adhere tabs into place with construction adhesive to maintain spacing between pavers when normal tab placement is not possible.

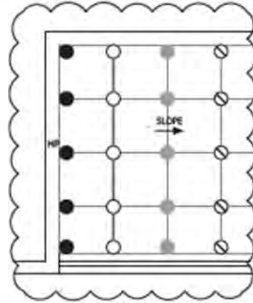


A3 Low Elevation Placement

For low cavity heights the following pedestals are available:

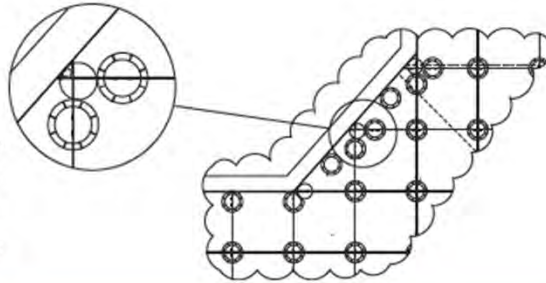
LOW HEIGHT PEDESTALS	
MODEL:	HEIGHT:
VT316	● 1/8" (3.2 mm)
HD25-316	○ 1/4" (6 mm)
HD50-316	◐ 1/2" (13 mm)
HD75-316	◑ 3/4" (19 mm)
B1	⊗ 1-1/4 to 2" (32 to 51 mm)

- Shims can also be used to accommodate variations in height:
- 1/16" (1.5 mm) B11 Shim
 - 1/8" (3.2 mm) PS1 Shim



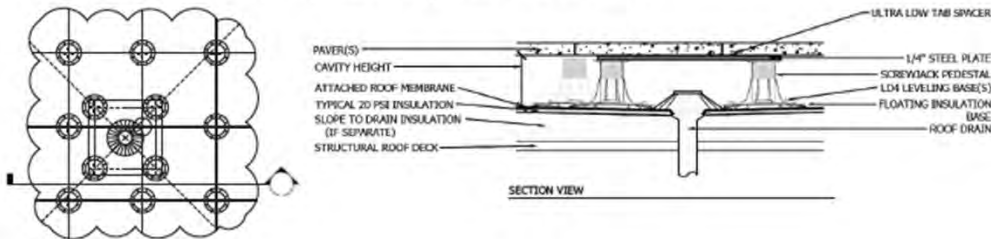
A4 Diagonal Placement

- Use extra pedestals under small cut pieces for additional support.
- Adhere small pavers to top of pedestal with construction adhesive.
- Remove tabs as necessary for perimeter pedestals.
- Turn pedestals upside down or trim pedestal bases as necessary to fit around the perimeter.
- Decking pavers must not be spaced more than 3/16" (4.5 mm) from the perimeter containment.
- Adhere tabs into place with construction adhesive to maintain spacing between pavers when normal tab placement is not possible.



A5 Drain Placement

- Elevate a steel plate or spare paver above the drain but below the deck itself.
- Use that elevated paver to support a pedestal where you need for the deck above.

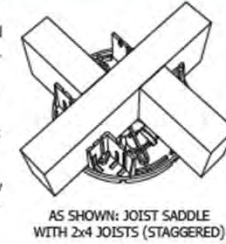


Working with Wood

JS Joist Saddle

The JS can be used alone or on top of any Bison Pedestal. A screw is included for attachment to adjustable pedestals. It is designed to support 2x joists in one direction and 4x (or staggered 2x) joists in the other direction. Place a joist between the JS walls and attach it with #8 deck screws (NOT provided).

IMPORTANT: Do not overtighten screw when attaching the JS to an adjustable pedestal.



FS-1 Wood Tile Fastening Kit

Place FS-1 washer in the kerf between the surface planks and the runners. Screw FS-1 washer through center hole of spacer tab set and into pedestal.

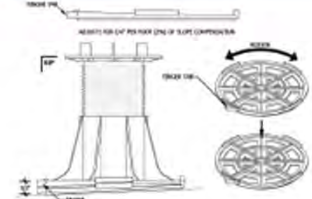
Make sure that washer clamps all corners of wood tiles and then tighten. To remove a wood tile: Loosen screw, and, using a screwdriver, rotate FS-1 washer to release wood tile.



Slope Compensation

LD4 Base Leveler

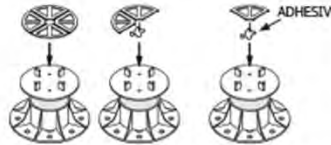
- Use LD4(s) to compensate for slope in order to keep pedestals plumb (vertical) and finished deck elevation level.
- Each LD4 compensates for a 1/4" per foot slope (2%) and adds 1/4" (6 mm) to the overall height of the pedestal. Stack up to 4 total LD4s below the base of a pedestal and rotate to compensate for slopes from 0" to a maximum of 1" per foot slope (0 to 8%).
- Place LD4 on substrate with smooth side down. Center pedestal or additional LD4s between tabs on top.
- Finger tab points downhill for 1/4" per foot slope (2%) when using a single LD4.



Working with Shims

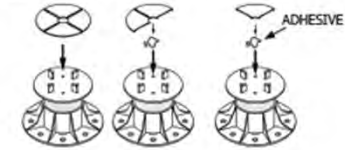
PS1 1/8" (3.2 mm) Shims - Rigid

PS1s may be placed on top of pedestals to accommodate for minor leveling of pavers with thickness variations. Use no more than 2 shims. If using only a partial segment, adhere it to the pedestal with construction adhesive.



B11 1/16" (1.5 mm) Shims - Flexible

B11s may be placed on top of pedestals to accommodate for minor leveling of pavers with thickness variations. Use no more than 2 shims. If using only a partial segment, adhere it to the pedestal with construction adhesive.



PS1 and B11 Shims Under Pedestals

Place shims (whole or in segments) under the pedestal in a staircase fashion to compensate for sloping substrates. Use no more than 2 shims. Adhere them to each other and to the pedestal with construction adhesive. **IMPORTANT: DO NOT ADHERE TO SUBSTRATE.**



Pedestal Base Pads

Floating Insulation Base (FIB)

The FIB is required beneath Bison Pedestals to disperse the deck load over roofing systems with a compressive resistance of 20 to 40 psi (138 to 275 kPa). The FIB provides a large 12" x 12" (305 x 305mm) base bearing surface. FIBs are not recommended for use with VT or HD25 Fixed Height Pedestals. **IMPORTANT:** The pedestal must be placed in the center of the FIB for proper installation. The FIB may be trimmed to accommodate narrow perimeter placement if necessary. Trim at least 4.125" away from the center.



Floating Foundation Base (FFB)

FFBs are required for use beneath all Bison Pedestal decks installed on-grade (soil). Level the surface and set the FFB directly on-grade as a base below each pedestal.





2' x 2' Ipê Wood Tile - Ribbed

Model: WT-IPE-24-RIBBED

Bison 2' x 2' ribbed Ipê wood tiles are commercial grade, constructed from responsibly harvested hardwoods, and provide increased slip resistance. Bison wood tiles weather over time, developing a silvery-gray patina. If maintaining the natural wood color is desired, wood tiles can be periodically cleaned and sealed. *Note: Wood is a natural product and actual tile colors may differ from photo.*

Categories:

- [Wood Tiles](#)
- [Wood Tiles](#)
- [Standard Wood Tiles](#)

Product Information

Downloads

Product Information

Species	Ipê
Surface	Ribbed
Color	Brown
Planks	8 Plank
Dimensions L x W x H	23.875" x 23.875" x 1.69" (606 x 606 x 43 mm)
Weight	24 lbs (10.9 kg)
Weight psf	6 psf (29.3 kg/m2)





Simply put, Struxure offers a superior product, which has made us the industry leader in customizable automated louvered roof systems.



Applicant proposes new outdoor dining and addition for storage.

City Notes:

- Goal is to have the patio roof.
- Umbrellas will be installed while fabrication and installation of roof/structure is coordinated.



Docket No. 4-26-24 (16512 Detroit)
Outdoor Dining & Storage Addition - Cozumel
Graham Post

Rite Aid

EXISTING CONDITION



PROJECT DESCRIPTION

1. **PATIO:** INTENT IS TO ADD PATIO AT FRONT OF BUILDING ALONG SIDEWALK TO ACTIVATE STREETFRONT. FIRST PHASE WOULD BE TO ENCLOSE WITH GUARDRAIL, TABLES/CHAIRS, UMBRELLAS, AND HEATERS. PHASE 2 WOULD BE TO ADD PERGOLA ROOF STRUCTURE WITH ALL WEATHER ROLLDOWN TO EXTEND PATIO ACTIVITY THROUGHOUT THE SEASONS.

2. **STORAGE ADDITION:** INTENT IS TO BUILD A SMALL ENCLOSURE ON THE BACK OF THE BUILDING TO ACCOMMODATE GROWING DRY STORAGE NEEDS.



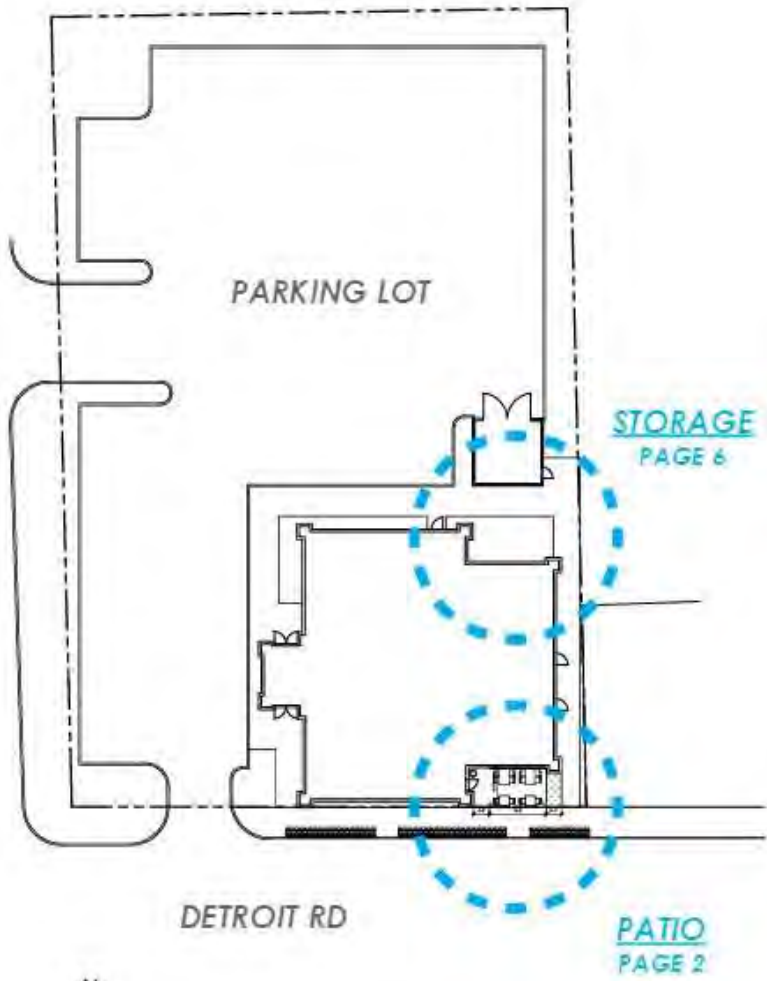
COZUMEL RESTAURANT RENOVATION | 16512 Detroit Ave. | Lakewood, OH

March 19, 2024 | EXTERIOR

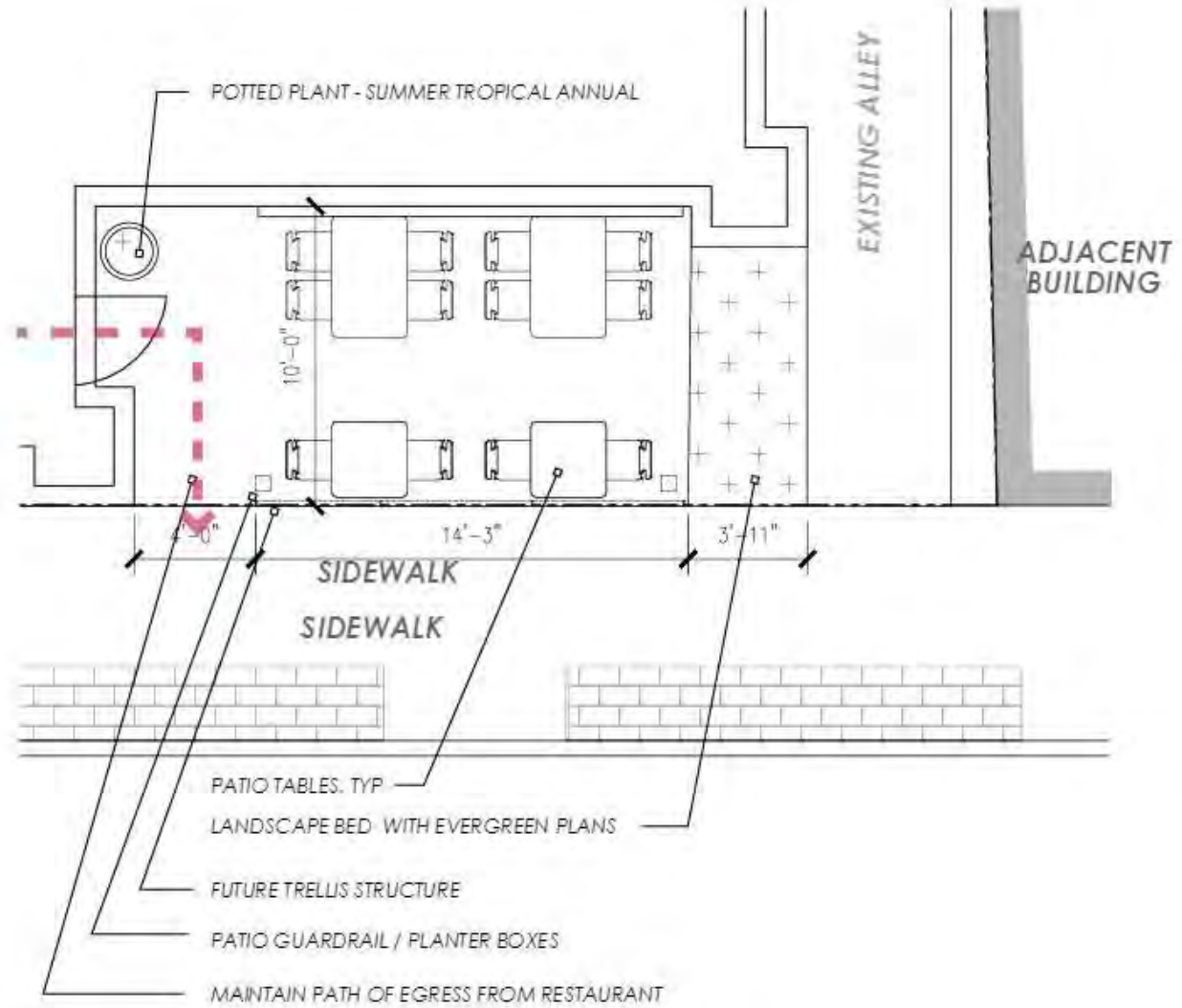


Docket No. 4-26-24 (16512 Detroit)

Cozumel Outdoor Dining & Storage Addition - Post



SITEPLAN scale : 1/32" = 1'-0"



PATIO PLAN scale : 1/4" = 1'-0"



Docket No. 4-26-24 (16512 Detroit)

Cozumel Outdoor Dining & Storage Addition - Post



STRING LIGHTS SUSPENDED FROM PAINTED STEEL POLE

DECORATIVE METAL SCREEN WALL-
WHITE GLOSS FINISH

ALUMINUM RAILING

LANDSCAPING

PATIO - UMBRELLAS



COZUMEL RESTAURANT RENOVATION | 16512 Detroit Ave. | Lakewood, OH

March 19, 2024 | EXTERIOR



Docket No. 4-26-24 (16512 Detroit) Cozumel Outdoor Dining & Storage Addition - Post



PATIO - ROOF



COZUMEL RESTAURANT RENOVATION | 16512 Detroit Ave. | Lakewood, OH

March 19, 2024 | EXTERIOR

4



Docket No. 4-26-24 (16512 Detroit) Cozumel Outdoor Dining & Storage Addition - Post

View with roll downs



PATIO - ROOF W/ ROLLDOWNS

CUSTOM ROLL DOWN CLEAR VINYL WEATHER SCREENS- OPEN ON END FOR VENTING HEATERS



COZUMEL RESTAURANT RENOVATION | 16512 Detroit Ave. | Lakewood, OH

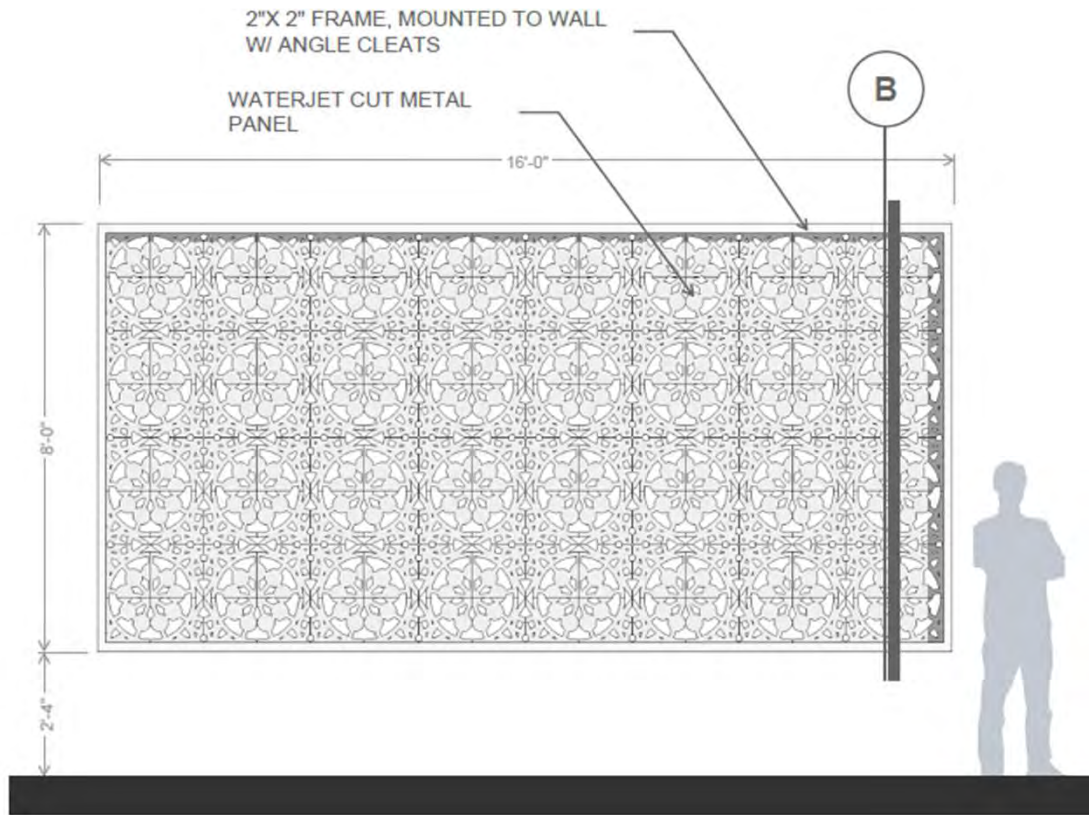
March 19, 2024 | EXTERIOR

5

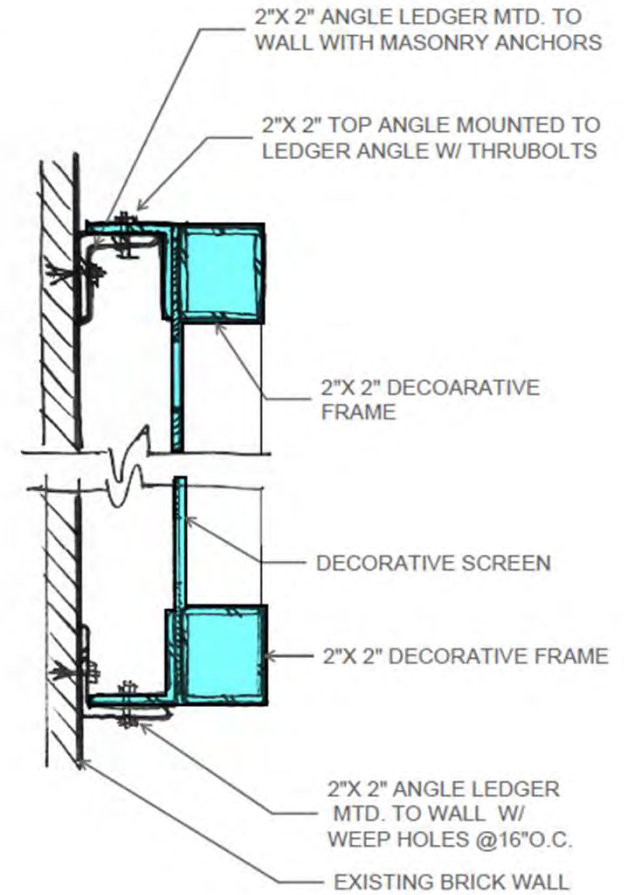


Docket No. 4-26-24 (16512 Detroit) Cozumel Outdoor Dining & Storage Addition - Post

CUSTOM METAL DECORATIVE SCREEN
 PAINTED GLOSS WHITE



A ELEVATION
 AT DECORATIVE SCREEN



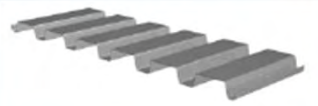
NOTE: DECORATIVE SCREEN, FRAME AND
 MOUNTING ANGLES TO BE PAINTED GLOSS WHITE

SHOP FABRICATED
 DECORATIVE SCREEN

B SECTION
 AT DECORATIVE SCREEN



Docket No. 4-26-24 (16512 Detroit)
 Cozumel Outdoor Dining & Storage Addition - Post



METAL ROOF HSB-36 ROOF DECK
PAINTED SW-TRICORN BLACK

SW 6258
Tricorn Black

CUSTOM METAL 4X12 TUBE FRAMING
PAINTED SW-TRICORN BLACK
GUTTER TO MATCH



2X6 DECORATIVE WOOD CEILING RAFTERS
WITH STAIN/SEALER

SW 6258
Tricorn Black

4X4 METAL POSTS
PAINTED SW-TRICORN BLACK

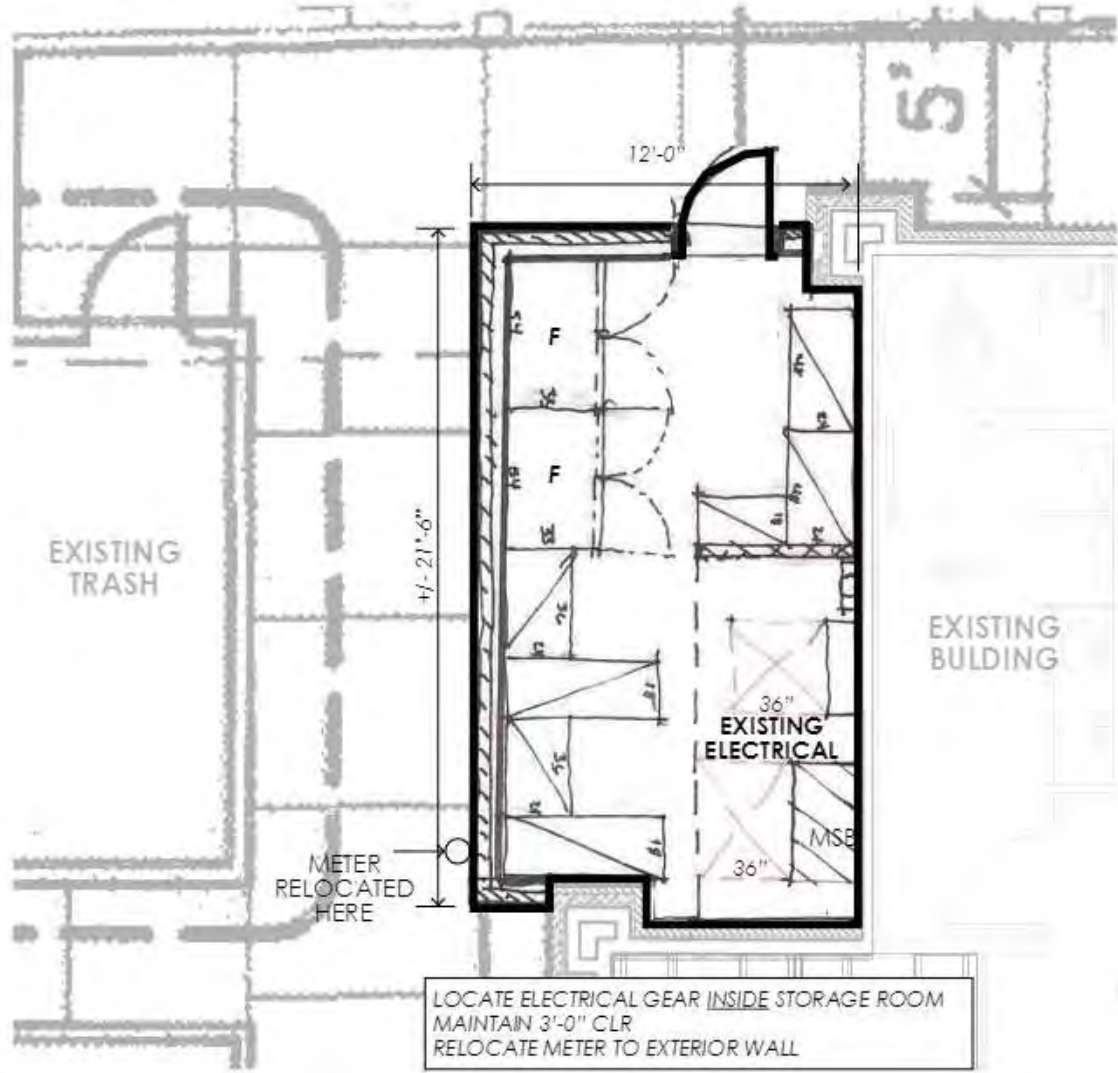
RAIN CHAIN, BLACK
TO LANDSCAPE BELOW

PATIO - ROOF MATERIALS

Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post



STORAGE ADDITION



STORAGE ADDITION

NEW EXTERIOR STORAGE WALL ENCLOSURE WITH METAL ROOF - PAINT TO MATCH EXISTING



COZUMEL RESTAURANT RENOVATION | 16512 Detroit Ave. | Lakewood, OH

March 19, 2024 | EXTERIOR



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post

BEEFY BIFOLD DOORS

Architectural Collection



BRING THE OUTDOORS IN

Maximize large openings with Beefy Bifold doors from Andersen. With a robust design, their heavy-duty hardware system supports larger door panels without sacrificing ease of operation, opening a space to the outdoors effortlessly.

KEY FEATURES

- Up to 40' wide and 13' 6" tall, with panels up to 5' wide
- Wood, aluminum or aluminum wood-clad construction
 - All aluminum and aluminum wood-clad panels have rails and stiles that are 3 1/2" wide and a thickness of 3 7/16"
 - All wood panels up to 10' tall have stiles that are 3 5/8" wide with a bottom rail height of 7 1/4" and a thickness of 2 5/8"
- Center-pivoting design with internal shoot-bolt locking hardware
- Panels stack perpendicular to the wall to maximize the size of the opening
- Door jamb is less than 4" wide and can fit into almost all existing wall conditions
- Variety of glass options
- High-quality AAMA 2605 finish

FLUSH SILL

Flush sill with a built-in drainage system allows for a seamless transition while offering protection from the weather. The track is a corrosion-resistant stainless steel U-channel that only sits 3/8" above the finished floor.



CONFIGURATIONS

- Vary the number of panels to fit any opening
- Use as a pass-through window for a kitchen or bar area
- Corner bifold without a meeting post creates a dramatic design
- Individually-operable doors can be built into most door configurations for more exit options. Operable doors are great for frequent entries and exits, without needing to unlock the entire system.



BEEFY BIFOLD DOORS

FINISH OPTIONS

EXTERIOR OPTIONS FOR ALUMINUM-CLAD WOOD DOORS

Painted Finishes



INTERIOR OPTIONS

Wood Species



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post



Quote

03/19/2024

To:
Cozumel Lakewood
Agustin

Project:
Cozumel Lakewood - New Patio

From:
TriMark
Frank Brawner
4567 Willow Parkway
Cleveland, OH 44125-1041
(216) 271-7700
1-216-271-7700 (Contact)

Job Reference Number: 213301

Notwithstanding anything set forth in the Standard Terms and Conditions, TriMark will use commercially reasonable efforts to hold above prices for 30 days, however pricing may change due to manufacturer cost increases. TriMark reserves the right to make any corrections or adjustments due to cost increases, errors, market fluctuations, supply chain disruptions, tariffs, third party supplier changes in cost, or any other factors outside of TriMark's control. TriMark will provide reasonable written notice in the form of a final NSO quote to customer and/or the franchisee at the time of franchisee payment and signed quote. TriMark reserves the right to cancel or refuse any orders based on incorrect pricing or availability.

Item	Qty	Description	Sell	Sell Total
1	1 ea	TABLE TOP, LAMINATE, OUTDOOR	\$321.88	\$321.88
		Grosfillex Model No. UT330727 Indoor/Outdoor Table Top, 32" x 48", rectangular, fitted with rails, burn, stain, heat & scratch resistant, UV resistant, high pressure laminate, Compact Touch, gray slate, Made in France		
	1 ea	2 year warranty		
	1 ea	UTX1D017 X-One Tilt Top Lateral Base 100, 35-1/2" x 35-1/2" base spread, folds for daily storage, (2) adjustable leg levelers, for use with 48" x 32" table tops, powder coated aluminum, black , Made in China	\$279.59	\$279.59
ITEM TOTAL:				\$601.47



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post

Item	Qty	Description	Sell	Sell Total
2	1 ea	CHAIR Bum Commercial Furniture USA Model No. COSTA SIDE 40245 NARDI Costa Side Stacking Side Chair, outdoor/indoor, solid fiberglass and resin back and seat, drainage hole in seat, UV protected, tubular fiberglass and resin frame, non-slip replacement feet.	\$85.49	\$85.49
	1 ea	Quick ship item		
	1 ea	02 ANTHRACITE (02) Anthracite		
			ITEM TOTAL:	\$85.49
3	1 ea	UMBRELLA Grosfillex Model No. 98948231 Market Umbrella, 7 ft, round top, 1-1/2" dia. wooden pole, Outdura fabric, terra cotta, Made in USA	\$312.48	\$312.48
	1 ea	US608402 Umbrella Base, 84 lbs., with wheels, cement filled with resin cover, built in handle, adjustable stem reducer for 1" to 2" umbrella poles, charcoal (for freestanding umbrellas only), Made in Germany	\$185.61	\$185.61
			ITEM TOTAL:	\$498.09
			Total	\$1,185.05

Standard Contract Terms & Conditions

All quotations are subject to approval by the company. The above listed prices shall be firm for 30 days. Prices shown in this quotation are for specific items, quantities, and lead times indicated.

Prices are subject to change if all of the items are not ordered, if quantities ordered differ, or if adequate lead-time is not allowed.

The prices shown in this quotation DO/DO NOT include freight charges which will be added to our invoice. This quotation does not include any fees for local permits or licenses that may be required by your municipality or state.

The prices shown in this quotation DO/DO NOT include applicable taxes, which will be added to our invoice unless a valid certificate of exemption is provided by you. Please be advised that, under state law, some items may still be taxable. In states where TriMark SS Kemp is not registered to collect Sales Tax, it is the buyer's responsibility to pay any applicable Use Tax due to the state.

Payment terms are 50% due at time of order, 45% due prior to delivery and 5% due based on customer terms. We impose a surcharge on credit cards that is not greater than our cost of acceptance. Please be advised that a 1.5% per month FINANCE CHARGE will begin to accrue upon expiration of the above payment terms. This will amount to 18% annually.

It is our understanding that you are requesting delivery of the items on this order during the week of (T.B.D.) If this date is not correct or is missing, please provide us with a scheduled delivery date



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post

_____. If an alternative date is not provided, the date specified above is considered confirmed. In the event that the delivery date is delayed by you, or any party other than TriMark SS Kemp, for more than two (2) weeks from the agreed upon date, you hereby agree that TriMark SS Kemp. will bill you for "stored materials".

You also agree that any payments originally due "upon delivery" will become immediately due and payable. For valuable consideration, receipt of which is hereby acknowledged, you hereby grant to TriMark SS Kemp a security interest in the equipment described herein and any and all additions and accessories thereto, to secure payment of the total debt and any and all other obligations to TriMark SS Kemp under this agreement. The security interest created hereby shall terminate when obligations have been paid in full.

You hereby authorize TriMark SS Kemp to file any UCC financing statement that it deems necessary to perfect its security interest.

On capital purchases, we require a perfected security interest in the goods until they have been paid for in full. TriMark SS Kemp. will handle all of the necessary U.C.C. filings and pay for any costs associated with these filings. Upon failure of you to promptly pay or perform any of the obligations or any covenants contained or referred to herein, TriMark SS Kemp may, at its option, declare all of the obligations immediately due and payable and then shall have all of the remedies of a secured party under the Uniform Commercial Code of the state where the equipment is located. Such remedies shall include, but are not limited to, the right to take possession of the equipment. Expenses related to repossessing, holding, repairing, or reselling the equipment, including any collection costs, reasonable attorney's fees and legal expenses, shall be the responsibility of the buyer.

No warranty of merchantability or fitness for a particular purpose, or other warranty, express, implied or statutory, nor any affirmation of fact or promise is made by Seller with respect to the goods which are sold pursuant hereto.

TRIMARK SS KEMP SHALL NOT BE LIABLE FOR INCIDENTAL OR CONSEQUENTIAL LOSSES, DAMAGES OR EXPENSES, DIRECTLY OR INDIRECTLY ARISING FROM THE SALE, HANDLING OR USE OF THE GOODS, OR FROM ANY OTHER CAUSE RELATING THERETO. TriMark SS Kemp's liability hereunder and Buyer's exclusive remedy hereunder is expressly limited to the replacement (in the form originally shipped) of goods not complying with this Agreement or, at TriMark SS Kemp's election, to credit Buyer with an amount equal to the purchase price of such goods, whether claims are for breach of warranty, negligence or otherwise.

If you are in agreement with the aforementioned terms, prices, specifications and conditions, please sign a copy of this contract and return it to the undersigned at our offices, accompanied by any required advance payment.

Thank you for the opportunity to offer our quotation. We look forward to receiving your valued order.

Frank Brawner
TriMark SS Kemp

Acceptance _____ Date _____

Print Name _____

Company Name _____



Docket No. 4-26-24 (16512 Detroit)

Cozumel Outdoor Dining & Storage Addition - Post



48" x 32" HPL Compact Top



Length: 48"
Width: 32"
Weight: 29.53 lbs
Thickness: 10 mm

Product Specifications

Product Code	Material	Product Code	Price	Weight	Quantity	Lead Time
UT330038	Granite	936550	34.95	1	1.53	
US48H790	Kandia Gr. Marble	934495	34.95	1	1.53	
US48H722	Walnut	934532	34.95	1	1.53	
UT330727	Gray Slate	936567	34.95	1	1.53	
UT330245	Drifted Pine	936574	34.95	1	1.53	

Features & Benefits Warranty: 2 Yrs

- Durable and impact resistant
- Water resistant – even when chipped!
- Easy to clean with soap and water – ideal for the foodservice environment
- Strong – the density of HPL is similar to the density of concrete
- 8 pre-installed rails to easily attach to base

Grosfillex HPL Compact tabletops are perfect for fine dining, indoors or out! They provide the ultimate in strength and beauty along with their easy-to-clean finishes. They are available in attractive decors that feature a realistic "touch" effect. They are fitted with rails for easy installation on our bases, and pair beautifully with our X-One tilting table bases.





X-One Lateral Tilting Base



Length: 20.25"
Width: 35.5"
Height: 28"

Product Specifications

Product Category	Product Code	Color	UPC Code (12 Digits)	Weight (LBS)	MSRP (Each)	Volume (CUB. FT)
X-One Lateral Tilting Base	USX1D009	Silver Gray	824120	22.00	1	2.03
	USX1D017	Black	824113	22.00	1	2.03

Features & Benefits Warranty: 3 Yrs.

- Patented folding system
- Fiberglass reinforced!
- Easy-to-operate large lever is designed to open/close smoothly and will withstand wear & tear
- Interior handhold for easy moving when folded
- Leg components are powder coated aluminum
- All four legs have levelers to optimize stability
- Legs are weighted to provide counterbalance when folded
- Legs nest together when folded for easy storage



Silver Gray

Black



NARDI
YOUR OUTDOOR LIVING

COSTA BISTROT

design Raffaello Girotto

Ref. 245



3.9

peso prodotto in kg / weight of product in kg



24

1.438 litri

totalità litri / total volume in liters / total capacity in liters



24

02

da sedile / seat stackable



empilabile / stackable



IT Sedile monoblocco senza braccioli. Polipropilene fibreglass trattato anti-UV e colorato in massa. Impilabile. Finitura opaca. Dotata di piedini antiscivolo.

FR Chaise monobloc sans accoudoirs. Polypropylène fibreglass traité anti-UV et coloré dans la masse. Empilable. Effet mat. Avec patins anti-dérapants.

ES Silla monobloco sin brazos. Polipropileno fibreglass tratado anti-UV y teñido en masa. Apilable. Con tapones antideslizantes. Efecto mate.

EN Monobloc chair without armrest. Unidensity colored fiberglass polypropylene resin with UV additives. Stackable. Matt finish. With non-slip feet.

DE Monoblock Stuhl ohne Armlehnen. UV-beständiges fibreglass-Polypropylen, soll durchgefärbt. Stapelbar. Matt-Effekt. Mit rutschfesten Fußkappen.

PT Cadeira monobloco sem braços. Polipropileno fibreglass com tratamento anti-UV, colorido na totalidade. Empilável. Acabamento fosco. Com pés antiderrapantes.



BIANCO
40245.00.000



ANTRACITE
40245.02.000



CAFFÈ
40245.05.000



ROSSO
40245.07.000



TORTORA
40245.10.000



CELESTE
40245.19.000

NARDI s.p.a.
36072 Champo (VI) Italia - Via della Stanga, 14 - Tel. +39 0444 422100
www.nardikult.com - info@nardikult.com

made in Italy



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post



Canopy: 7' Round
Height: 76.5"

7' Round Market Umbrella with 1 1/2" Wooden Pole

Product Specifications						
Product Code	Color	Material	Item Code (UPC)	Weight (lb)	Material	Material Grade
98942031	Forest Green	Forest Green	138015	22.00	1	1.32
98949731	Pacific Blue	Pacific Blue	138008	22.00	1	1.32
98942731	Burgundy	Burgundy	137995	22.00	1	1.32
98948231	Terra Cotta	Terra Cotta	141084	22.00	1	1.32
98940331	Khaki	Khaki	142500	22.00	1	1.32
98944931	Pesto	Pesto	909882	22.00	1	1.32
98944831	Sand	Sand	909875	22.00	1	1.32
98940431	White	White	142531	22.00	1	1.32
98943131	Turquoise	Turquoise	912912	22.00	1	1.32
98948131	Taupe	Taupe	912668	22.00	1	1.32
98945031	Spa Blue	Spa Blue	912813	22.00	1	1.32

Features & Benefits Warranty: 5 Yrs. on Grade C Fabric/1 Yr. on Pole

- 7 ft. wooden market umbrella with eight ribs and vent. 95% sunscreen.
- Two piece 1 1/2" hard kempas wood pole for structural strength with brass connector for easy transportation and shipping. Can be shipped via UPS.
- All brass hardware to resist corrosion.
- Will fit all Grosfillex pedestal tables.
- A selection of Outdura® solution-dyed acrylic traditional fabric colors - Grade C.
- Fully tested to 1000 hours for fade resistance in laboratory tests to meet ASTM G53-96 performance standards for commercial outdoor furniture fabric. Fabric complies with ACFFA requirements.
- Pulley facilitates easy opening and closing.
- Fade, stain and mildew resistant.
- Umbrella is 8" higher when used with optional bar height bottom pole.



Docket No. 4-26-24 (16512 Detroit) Cozumel Outdoor Dining & Storage Addition - Post



84 lb. Free Standing Umbrella Base with wheels

Stem Height: 16"
Diameter: 24"

Product Specifications

Product Description	Item Number	Color	UPC Number (Printed)	Weight (lbs.)	Number of Pieces	Volume (cu. ft.)
84 lb. Free Standing Umbrella Base with wheels	US608404	White	813445	88.00	1	1.34
	US608466	Sand	813452	88.00	1	1.34
	US608437	Bronze	813469	88.00	1	1.34
	US608402	Charcoal	820597	88.00	1	1.34

Features & Benefits Warranty: 2 Yrs.

- Cement filled base with a resin cover and wheels.
- Wide and heavy for extra stability.
- Heavy duty rollers for ease of movement.
- Adjustable stem reducer for 1" to 2" umbrella poles.
- Optional RTA (ready to assemble) glides to clear the base from the deck surface and facilitates its cleaning.
- Will not rust or mark your deck.
- Built in handle for convenient portability.
- U.V. resistant and easy to clean with soap and water.

Our umbrella bases are available in a variety of sizes and materials to fit your needs. Be sure to measure where you will be using your base to ensure fit. Your Grosfillex representative can assist you in determining the best base for your needs.

WARNING: Cancer - www.P65Warnings.ca.gov.

AVERTISSEMENT: Cancer - www.P65Warnings.ca.gov.

ADVERTENCIA: Cancer - www.P65Warnings.ca.gov.



Docket No. 4-26-24 (16512 Detroit)

Cozumel Outdoor Dining & Storage Addition - Post

COASTAL
ELEMENTS®
collection



SILO

EXTRA SMALL FLUSH MOUNT

13592BK-LL

The perfect addition to Modern Coastal, Silo's compact design blends simple and long-lasting practicality. Built to stand up to harsh climates and available in three rust and corrosion-resistant finishes, Silo is available in a downlight-only option to meet dark sky compliance, an up and downlight for additional wall washing, and a small flush mount.

FINISH: Black

GLASS: Etched Lens

WIDTH: 5"

HEIGHT: 7"

DEPTH: 0

LIGHT SOURCE: Socketed

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post



Features:

- 50,000 BTU adjustable-flame burner
- #304 heavy-duty stainless steel construction
- 5-piece 33" reflector
- 3" diameter one-piece post
- Base compartment conceals 20 or 30-lb. LPG tank (not included)
- Easy-exchange components
- Electronic igniter provides ignition at a touch
- Tip-over protection system
- Lifetime defective parts replacement warranty
- Convenient wheel assembly
- Weighted base
- Uses standard 20 or 30 lb. LPG tank (not included)
- Consumption rate (20 lb. tank) approx. 10 hrs.
- CSA approved



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post



21' Medium Base Suspended Commercial String Light Kit includes 10 clear medium base LED light bulbs with 9 LEDs in each bulb.

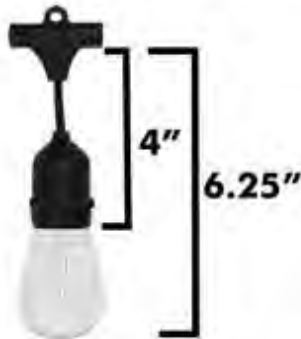
Great for lighting festive interiors and exteriors including building outlines, patio lighting, gazebos, porches, tents, streets and many other applications.

Heavy-duty factory-molded sockets on 18-gauge wire is suitable for commercial applications. Formulated PVC socket forms a tight weatherproof seal around the bulb.

Please note: These cords can be plugged end to end, but please do not exceed the recommend Amperage of the cord.

To calculate amperage of the cord, please use the following formula:

Total Number of Bulbs x Bulb Wattage x 1.05 / 120 = Total AMPS



These are the measurements for how far down your suspended commercial light strand will hang.



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post

Commercial Grade Light String

Installation instructions for Candelabra, Intermediate, Medium light string product for permanent installation

WARNING: These products may represent a possible shock or fire hazard if improperly installed or attached in any way. Products should be installed in accordance with these instructions; and current electrical codes and/or the current National Electric Code (NEC).

CAUTION – To reduce the risk of fire, electric shock or injury to persons:

1. Commercial Grade Light String is intended for installation by trained, qualified electrical contractors.
2. Light string can be supported by steel guide cables, with zip ties and eyebolts. Proper diameter cabling must be used for the maximum span distance between supports according to local building codes. See chart on for maximum span distances between supports.
3. Suspend strings properly by attaching suspension cable (not provided) to solid support structures, such as joists, beams or wall studs.
4. Light sockets must be suspended so that bulbs are facing down ONLY.
5. Keep combustible material clear of bulbs with a minimum of 3" space from the nearest object.
6. Do not cluster the bulbs.
7. Not intended for installation in ceilings, soffits, cabinets or other enclosed spaces.
8. Do NOT secure light string using nails, staples or other sharp, conducting materials.
9. Periodically inspect wire and sockets for degradation due to weather, UV light or other damage. Promptly replace worn out light string.
10. **DO NOT MOUNT THE LIGHT STRINGS WITH SOCKETS FACING UPWARD**
11. **DO NOT OVERLOAD ANY SOCKET'S MAXIMUM WATTAGE RATING**
12. **DO NOT OVERLOAD MAXIMUM WATTAGE CAPACITY IN ANY RUN (see wattage chart)**
13. **DO NOT HANG FROM MOULDED END CAPS.**

WARNING – RISK OF ELECTRIC SHOCK

Disconnect power at source prior to wiring, re-lamping or servicing in any way.

LIGHT STRING SETS WITH POLARIZED PLUG

1. Do not connect the light string to any other string.
2. The plug-in light string sets are supplied with an attached polarized plug that will only fit into a polarized outlet. If it does not fit, reverse the plug. If it still does not fit, contact a qualified electrician. Do not alter the plug.
3. **DO NOT EXCEED THE MAXIMUM WATTAGE FOR LIGHT STRING SETS WITH ATTACHED PLUG:**

600 WATTS MAXIMUM FOR 48 FOOT PLUG-IN LIGHT STRING SETS
1250 WATTS MAXIMUM FOR 100 FOOT PLUG-IN LIGHT STRING SETS

www.OOGALIGHTS.com



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post

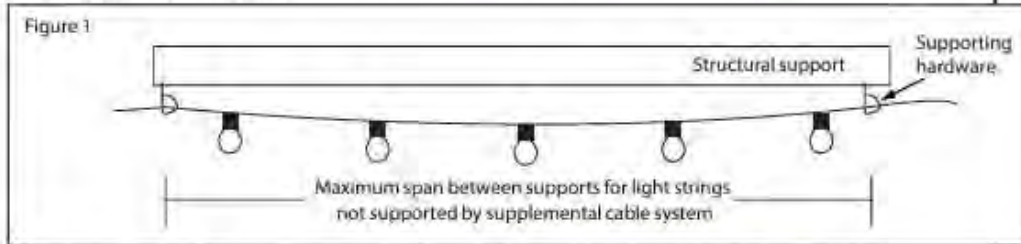
Installation instructions for Candelabra, Intermediate, Medium socket light strings for permanent installation

SUSPENDING LIGHT STRINGS

1. Light string must be securely attached to a support structure at each end of each span. See chart below for maximum span distances:

MODEL #	Max. span between supports
Medium socket 24" spacing between sockets	10 sockets or 20'
Intermediate socket with 15" spacing between	15 sockets or 19'
Candelabra with 12" spacing between bulbs	20 sockets or 20'

2. Secure light string to supporting hardware (eyebolts, brackets, etc., not provided) using cable ties (not included). See Figure 1.

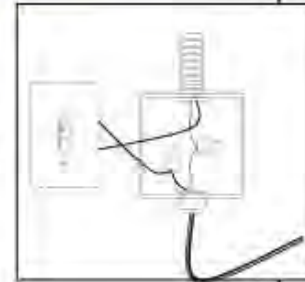


3. For spans exceeding the above, use properly rated cable support system and cable ties (both not provided) and follow local codes for suspended structures and loads.

CONNECTING LIGHT STRINGS TO A POWER SOURCE

WARNING - RISK OF ELECTRIC SHOCK - Disconnect power at source prior to wiring and follow any required lock-out/tag-out procedures. These wiring instructions are intended for use by qualified and licensed electrical contractor.

1. Located power source in properly rated junction box (not supplied) for indoor or outdoor application. See Figure 2.
2. Thread light string end through strain relief fitting (indoor installations) or water tight strain relief fitting (outdoor installations) and into junction box.
3. Connect light string to power source: On the **flat style** corded light string the smooth wire (hot) goes to black (hot) wire in electrical box; ribbed edge wire (neutral) goes to white (neutral) wire in electrical box.
On the **round jacketed style** corded light string the black wire (hot) goes to black (hot) wire in electrical box; the white wire (neutral) goes to white (neutral) wire in electrical box.
4. Ensure that no bare wires are exposed outside the electrical connections.
5. Power source may be switched with properly rated switch or dimmer control (not provided). For maximum run distances, see Table 1 on following page.



www.OOGALIGHTS.com



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post

Commercial Grade Light String

Lamp and Re-Lamp instructions for Candelabra, Intermediate, Medium light string product for permanent installation

RE-LAMPING LIGHT STRINGS

WARNING - RISK OF ELECTRIC SHOCK - Disconnect power at source prior to re-lamping light strings. For outdoor light strings, do NOT re-lamp light strings during rain or other inclement weather conditions.

1. Re-lamp light strings only during dry and calm weather conditions.
2. Unscrew existing lamps by lightly holding the socket in one hand and twisting the lamp counter-clockwise. Lamps may be tight in the sockets. This is normal to prevent moisture from getting into the socket.
3. Replace with proper wattage and type lamps according to the following chart.

MODEL #	Maximum Load in Watts (per socket type)	Maximum Load in Watts	
		Plug-in (48'/100')	Hardwire
M	25 (medium base)	600/1250*	1800**
I	10 (intermediate base)	N/A	1200**
C	10 (candelabra base)	N/A	1200**

*Maximum run for 48 foot plug-in sets is 600 watts, based on 24 sockets at 25 watts each maximum.
Maximum run for 100 foot plug-in sets is 1250 watts, based on 50 sockets at 25 watts each maximum.

**Use 14AWG for hardwire connection to 120V power source. Check local electrical codes for variations before installing or lamping light string.

COMMERCIAL GRADE LIGHT STRINGS SPECIFICATIONS

Specifications	LS-C Series	LS-I Series	LS-M Series	LS-M5 Series
Socket Type	Candelabra Base	Intermediate Base	Medium Base	Medium Base
Max Bulb Wattage	10 watts	10 watts	25 watts	25 watts
Max Amperage Load	10 Amps	10 Amps	15 Amps	15 Amps
Socket Spacing	12 inches	15 inches	24 inches	24 inches
Maximum Run	1200 watts†	1200 watts†	1800 watts‡	1800 watts‡

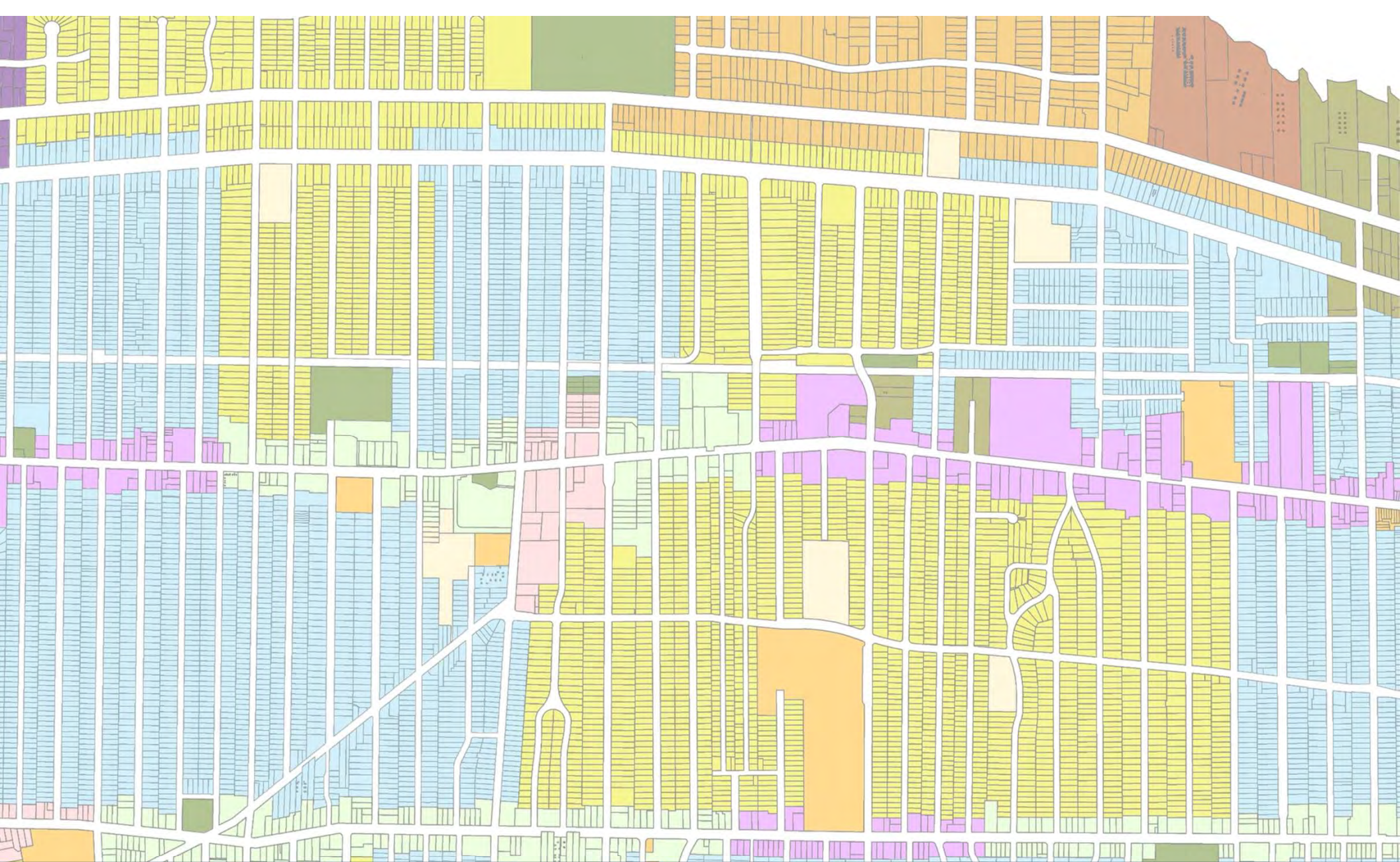
†Maximum run for Candelabra and Intermediate base bulk reels is 1200 watts, based on 10 amps allowed for 16AWG wire;

‡Maximum run for Medium base bulk reels is 1800 watts, based on 15 amps allowed on 14AWG wire.

www.OOGALIGHTS.com



Docket No. 4-26-24 (16512 Detroit)
Cozumel Outdoor Dining & Storage Addition - Post



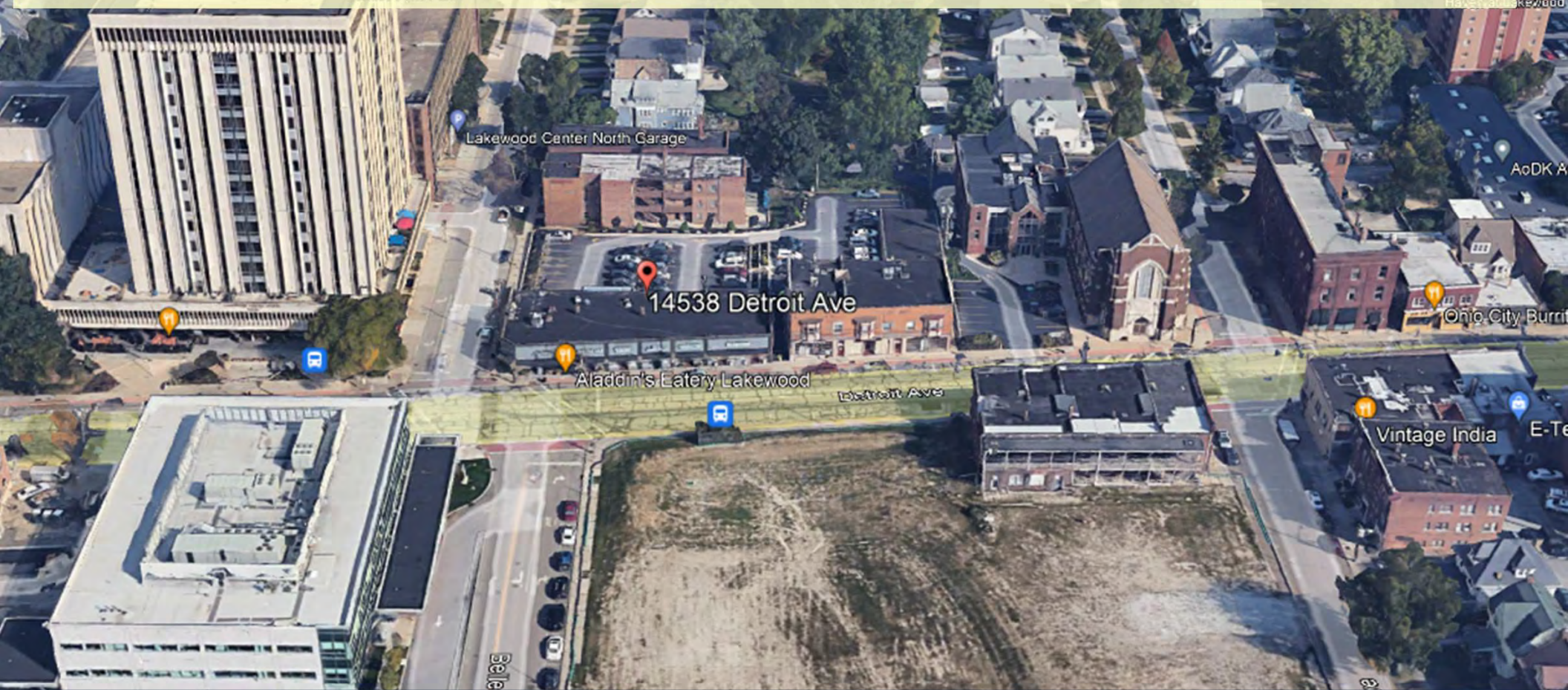
Architectural Board of Review

Sign Review – April 2024

Applicant has installed vinyl window graphics.

City Notes:

- ❑ Applicant has installed 8 vinyl window signs and 2 vinyl door signs
- ❑ Window SF: 234 SF; Max allowed window signage: 35 sq ft
- ❑ Total proposed window signage square footage: 197 sq ft
- ❑ Over 15% window coverage



Docket No. 4-28-24 (14538 Detroit)

Signage - Blossom Flower Bar
Megan Robinson



Docket No. 4-28-24 (14538 Detroit)
Signage - Robinson



Docket No. 4-28-24 (14538 Detroit)
Signage - Robinson



QUOTE

ORDER FROM

Blossom Flower Bar - Lakewood

Wendy Hanna

Date: **11/9/2023**

DESIGNED ITEMS AND/OR ORDERED

Clear Window Clings with White Mask

Qty: (10) window illustrations Material: 8 mil clear window clings

Color: White Ink / White Mask, Inside Mounting | Ground Ship | Install: 1 day (3-4 hours)

Window 1 - 56" wide x 69" tall

Window 5 - 56" wide x 69" tall

Window 2 - 56" wide x 69" tall

Window 6 - 56" wide x 69" tall

Window 3 - 56" wide x 69" tall

Window 7 - 56" wide x 69" tall

Window 4 - 56" wide x 69" tall

Window 8 - 44.5" wide x 69" tall

Door Window 1 - 28" wide x 36" tall

Door Window 2 - 28" wide x 36" tall



Docket No. 4-28-24 (14538 Detroit)

Signage - Robinson

CLIENT: Blossom Flower Bar

Left Side

Window 1

56" x 69"



Window 2

51" x 69"



Door 1

28" x 33"



Window 3

51" x 69"



Window 4

56" x 69"



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Keith Haynik | 216-408-9547 | keith.haynik@gmail.com
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Docket No. 4-28-24 (14538 Detroit)
Signage - Robinson

CLIENT: Blossom Flower Bar

Right Side

Window 5

56" x 69"



Window 6

51" x 69"



ENTRANCE

28" x 33"



Window 7

51" x 69"



Window 8

44.5" x 20"



Created / Designed by:



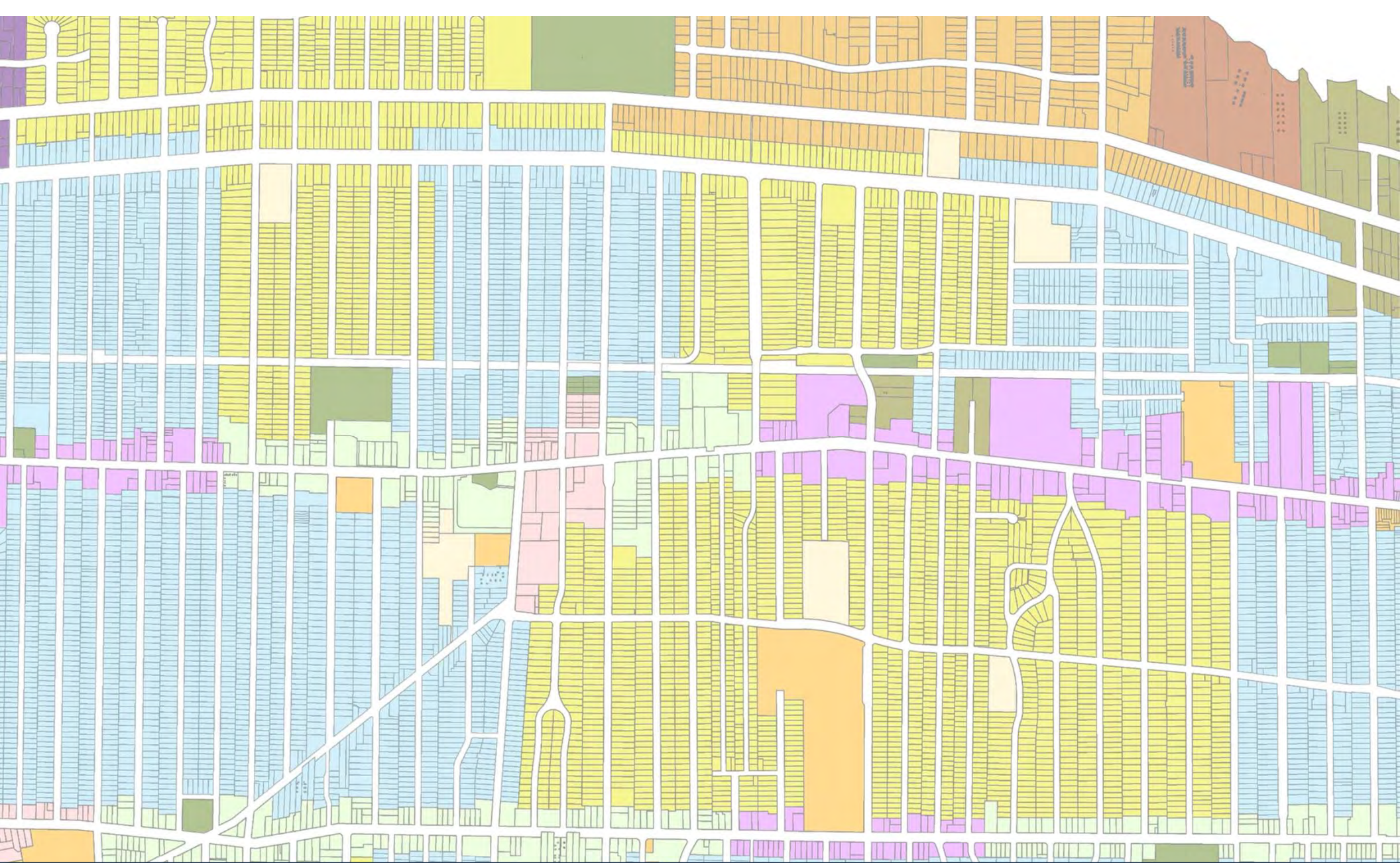
QWICK CREATIVE LLC

Keith Haynik | 216-408-9547 | keith.haynik@gmail.com
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Docket No. 4-28-24 (14538 Detroit)
Signage - Robinson



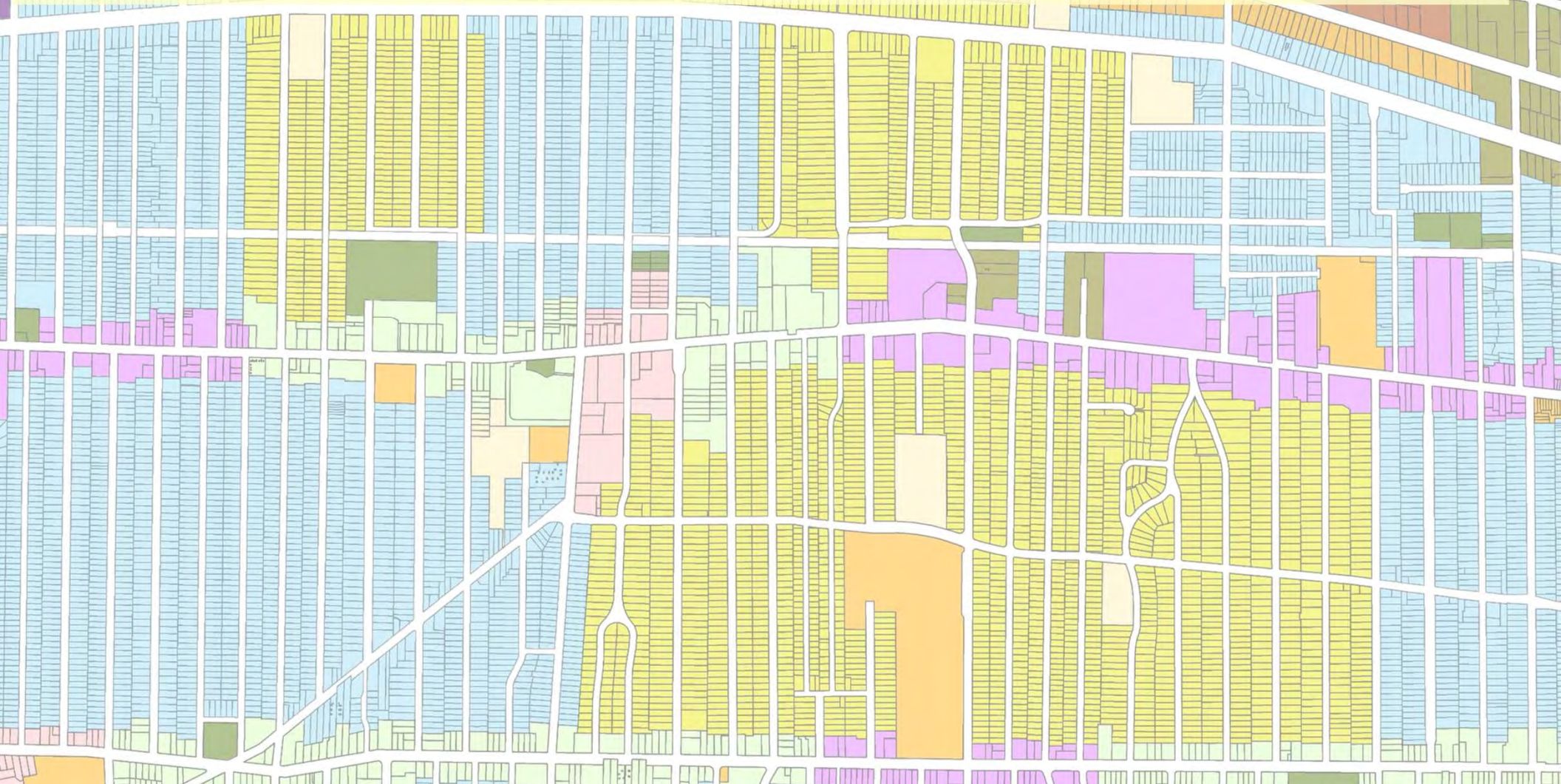
Architectural Board of Review

Communications – April 2024

Proposal of Residential Architectural Design Standards.

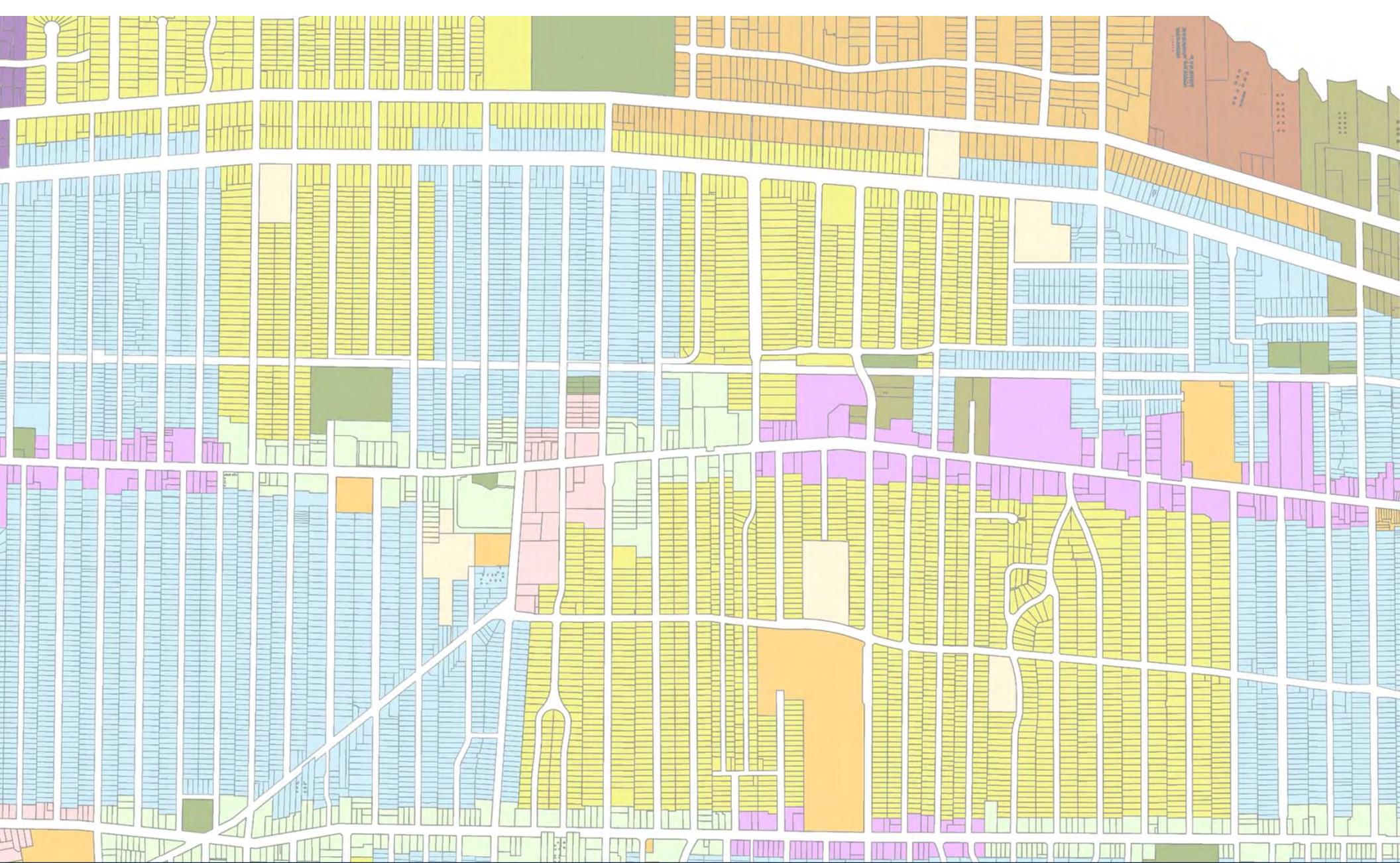
City Notes:

- Will be voted on by Planning Commission at May meeting.



Docket No. 4-31-24

Residential Architectural Design Standards
City of Lakewood Department of Planning & Development



Architectural Board of Review

April 2024