

**MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
JUNE 13, 2024
5:30 P.M.**

1. ROLL CALL

Board Members

Chris Egervary
David Maniet, Chair
Hanna Cohan Plessner, Vice Chair
Jeremy Smith

Staff

Amanda Cramer, Board Secretary, City Planner
Christopher Parmelee, Building Commissioner
Jeff Crossman, First Assistant Law Director

2. APPROVE THE MINUTES OF THE MAY 9, 2024 MEETING

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the May 9, 2024 minutes**. All of the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

SUMMARY APPROVED

No docket items were summary approved at the June 6, 2024 pre-review meeting because there was not a quorum.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

4. Docket No. 05-44-24

(R)

17401 Edgewater Dr.

- () Approve
- () Deny
- () Defer

Amanda Fort
Dane Street Studios
2708 Inverness Rd.
Shaker Heights, OH 44122

Applicant proposes a new front porch on an existing house. (Page 5)

Brian Grady, property owner was present to explain the request. The members liked the revised proposal. Staff had no comments or questions. Public comment was closed as no one addressed the item. Staff received a letter of support from the public prior to the meeting (made part of record).

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **APPROVE the request as presented**. All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

5. Docket No. 06-47-24

**12501 Madison Ave.
Birdietown**

- () Approve
- () Deny
- () Defer

Dean Guernsey
Dynamic Sign Co.
1202 Rowley Ave.
Cleveland, OH 44109

Applicant proposes blade sign and open channel sign on building. (Page 83)

Tim Grazie, Birdietown, and Dean Guernsey, Dynamic Sign Co., applicant, were present to explain the request. Public comment was closed as no one addressed the item. Staff did not receive comment from the public prior to the meeting. Staff stated that any vinyl window signage would need to be reviewed by the Board.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request with the following conditions:**

- **The raceways holding the wall sign are painted to match the brick.**
- **Any window graphics or window signage must be approved by the Board.**

All the members voted yea; the motion passed.

6. Docket No. 06-48-24

**17500 Madison Ave.
Comfort Dental**

- () Approve
- () Deny
- () Defer

Redmond Doyle
FASTSIGNS of North Olmsted
24181 Lorain Rd.
North Olmsted, OH 44070

Applicant proposes vinyl door and window graphics in multiple locations. (Page 92)

Redmond Doyle, FASTSIGNS of North Olmsted, applicant was present to explain the request. Staff confirmed the square footage. The members liked the proposal. Staff had no further comments or questions. Public comment was closed as no one addressed the item. Staff did not receive comment from the public prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request as presented.** All the members voted yea; the motion passed.

7. Docket No. 06-49-24

**15607 Madison Ave.
Doc Lanky's**

- () Approve
- () Deny
- () Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., Ste. 195
Lakewood, OH 44107

Applicant proposes an externally lit double-sided blade sign and front and back-lit channel letters in the sign band. (Page 98)

Staff advised the members the applicant was not required to come to the meeting, because if there were a quorum at the pre-review meeting, the item would have been Summary Approved. Mr. Crossman agreed. Public comment was closed as no one addressed the item. Staff did not receive comment from the public prior to the meeting. Staff stated that any vinyl window signage would need to be reviewed by the Board.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **Any window graphics or window signage must be approved by the Board.**

All the members voted yea; the motion passed.

8. Docket No. 06-50-24

**13306 13302 Detroit Ave.
Cloud City Smoke Shop**

- () Approve
- () Deny
- () Defer

Sam Baadani
Cloud City Smokes
13306 13302 Detroit Ave.
Lakewood, OH 44107

Applicant proposes an illuminated sign in the sign band. (Page 100)

Ahmed Hamash, Cloud City Smoke Shop, representative was present to explain the request. Staff said the proposal was within the permitted coverage. Public comment was closed as no one addressed the item. Staff did not receive comment from the public prior to the meeting.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **Any window graphics or window signage must be approved by the Board.**

All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

9. Docket No. 06-58-24 *

(C)

**Irene & Donald Ave.
Residential Development**

- () Approve
- () Deny
- () Defer

Susan Broadwater
Beegan Architectural Design
15703 Madison Ave.
Lakewood, OH 44107

Applicant proposes a planned development consisting of seven townhouse units and three single-family houses. (Page 225)

*This is for discussion only; no ruling will be made, design feedback only.

Staff advised the members that the applicant requested tabling of the item.

A motion was made by Mr. Maniet, seconded by Ms. Cohan Plessner to **TABLE the request.** All the members voted yea; the motion passed.

10. Docket No. 06-51-24 *

(R)

1114 Forest Rd.

- () Approve

David Maniet

- () Deny
- () Defer

Maniet Architects
 1315 Bunts Rd.
 Lakewood, OH 44107

Applicant proposes the construction of a new residence. (Page 103)

*This is for discussion only; no ruling will be made, design feedback only,

Staff advised the members that the applicant requested tabling of the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Egervary to **TABLE the request**. Ms. Cohan Plessner, Mr. Egervary, and Mr. Smith voted yea, and Mr. Maniet abstained; the motion passed.

11. Docket No. 06-57-24

(C)

**16000 + 15801 Detroit Ave.
 Barry Buick Development**

- () Approve
- () Deny
- () Defer

Michael Christoff
 Vocon
 3142 Prospect Ave.
 Cleveland, OH 44115

Applicant proposes a mixed-use development with ground floor new retail, lobby, amenity space, and elevated residential units. (Page 190)

Denver Brooker, Architect for Vocon, representative was present to explain the request. The proposal was deferred at the Planning Commission on June 6, 2024; it did not need City Council approval because it was a Conditional Use (Mixed-Use Overlay) which was under Planning Commission purview and some items were contrary to the Commercial Design Guidelines. Site plan discussion ensued with the south building about ground floor residential units, massing, demolition process, pedestrian access, parking, parking lot, first-floor residential sidewalk landscaping buffer, utility lines, first-floor living, and more. Next they discussed the north building, pedestrian access, parking lot, pocket park, shared amenities, etc. Next they discussed the massing. Public comment was taken.

Public Questions/Comments

- Number of proposed parking spaces was inadequate.
 - Parking lot counts fall under the Planning Commission's purview.
 - Residents' parking spaces will be assigned.
 - North site = 66 units and 77 parking spaces.
 - South site = 58 units and 73 parking spaces.
- Liked the design better than the former one.
- Traffic concerns.
 - One is being done.
- Refuse removal.
 - Calculations have been done and will be internal of the building. Truck will not circulate within the lot.
- 14 foot light pole in north parking lot.
 - Has been considered and will meet all zoning requirements of no light trespass.
- Could residential use be changed to commercial?
 - The change would need to go to the Planning Commission.
- Visitor parking in south lot.
- Clear story windows on the south side.
 - Windows are fixed and positioned high on the wall to provide light.

- Did not like the red accent.
 - Seeking to create a sense of community by using a medley of materials/colors exist along the Detroit Ave. corridor.
- First floor residential living was acceptable.
- Provide as much parking as possible.

Staff said there was one piece of email communication from LakewoodAlive that addressed all of the items on the evening’s docket (made part of record). Mr. Maniet read the comments regarding the subject’s project into record.

Members’ Questions/Comments

- Liked the shadowing articulation around the windows.
 - Division of the units make for visibility from the street.
- Liked the palette.
- The vertical band/articulation between the units.
- Appreciated the attention to detail.
- Clean design and is appropriate.
- Perhaps add balconies on some of the units for the south building.
- Design is going in a positive direction.
- Provide more of an anchor for the first level residential units.
- Add an awning for the retail corner of the north building.
 - Tenant could add an awning along with signage.
- Seven foot landscaping.
- Vary the parapet height.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **DEFER the request**. All the members voted yea; the motion passed.

<p>12. Docket No. 06-52-24</p> <p>() Approve () Deny () Defer</p>	<p>(R)</p>	<p>18097 Clifton Blvd.</p> <p>Josh Kaye Kaye Construction LLC 16366 Lakeforest Dr. Strongsville, OH 44136</p>
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Applicant proposes a new addition on rear of home. (Page 106)

Josh Kaye, Kaye Construction, application was present to explain the request. The members liked the revisions, wanted to see more details/finish/materials information, discussed the column, roof slope, windows paint color. Staff had no comments or questions. Public comment was closed as no one addressed the item. Staff received comment from the public prior to the meeting (made part of record).

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following conditions:**

- **The materials will match and be reflective of the existing home including window trim, window color, siding material, column style as well as for the back porch.**
- **The rear gable roof will be closed to match the other roof ends and detailing.**
- **Provide cut sheets for the window product, door, and lights; especially the windows to show the matching.**
- **Drawing will be submitted for administrative review by Mr. Maniet, Chair and Ms. Cramer, ABR secretary.**

- Did not like the red accent.
 - Seeking to create a sense of community by using a medley of materials/colors exist along the Detroit Ave. corridor.
- First floor residential living was acceptable.
- Provide as much parking as possible.

Staff said there was one piece of email communication from LakewoodAlive that addressed all of the items on the evening’s docket (made part of record). Mr. Maniet read the comments regarding the subject’s project into record.

Members’ Questions/Comments

- Liked the shadowing articulation around the windows.
 - Division of the units make for visibility from the street.
- Liked the palette.
- The vertical band/articulation between the units.
- Appreciated the attention to detail.
- Clean design and is appropriate.
- Perhaps add balconies on some of the units for the south building.
- Design is going in a positive direction.
- Provide more of an anchor for the first level residential units.
- Add an awning for the retail corner of the north building.
 - Tenant could add an awning along with signage.
- Seven foot landscaping.
- Vary the parapet height.

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **DEFER the request**. All the members voted yea; the motion passed.

12. Docket No. 06-52-24	(R)	18097 Clifton Rd.
<input type="checkbox"/> Approve <input type="checkbox"/> Deny <input type="checkbox"/> Defer		Josh Kaye Kaye Construction LLC 16366 Lakeforest Dr. Strongsville, OH 44136

Applicant proposes a new addition on rear of home. (Page 106)

Josh Kaye, Kaye Construction, application was present to explain the request. The members liked the revisions, wanted to see more details/finish/materials information, discussed the column, roof slope, windows paint color. Staff had no comments or questions. Public comment was closed as no one addressed the item. Staff received comment from the public prior to the meeting (made part of record).

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following conditions:**

- **The materials will match and be reflective of the existing home including window trim, window color, siding material, column style as well as for the back porch.**
- **The rear gable roof will be closed to match the other roof ends and detailing.**
- **Provide cut sheets for the window product, door, and lights; especially the windows to show the matching.**
- **Drawing will be submitted for administrative review by Mr. Maniet, Chair and Ms. Cramer, ABR secretary.**

All the members voted yea; the motion passed.

13. **Docket No. 06-53-24** (R) **2164 Brown Rd.**
- () Approve Eric A. Anderson
() Deny 2164 Brown Rd.
() Defer Lakewood, OH 44107

Applicant proposes the rebuild of a front porch. (Page 113)

Eric Anderson, applicant was present to explain the request. Discussion began about enclosed porches, columns, colors, materials, position of the screening, lattice, stair treads, railings, screen doors and framing, sealing of floors/wood surfaces. The members liked the proposal.

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request with the following condition:**

- **Detailing of the column capital will match the photo as given in updated drawing emphasizing the column base provides more thickness/height.**

All the members voted yea; the motion passed.

14. **Docket No. 06-54-24** (R) **2215 Wascana Ave.**
- () Approve Ian Moyers
() Deny Elegant Renovation, LLC
() Defer 12914 Cherry Rd.
Vermilion, OH 44089

Applicant proposes the replacement of a front porch with new one. (Page 132)

Mario Russo, property owner and Taylor with USA Builders were present to explain the request. Discussion ensued about columns, materials, cutsheets, concrete walk, width of the stairs, base and trim on columns, roof material. Staff had no comments or questions. Public comment was closed as no one addressed the item. Staff received comment from the public prior to the meeting (made part of record).

A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request with the following conditions:**

- **Provide updated drawings as per the evening's discussion for administrative review by Mr. Maniet, Chair and Ms. Cramer, ABR secretary.**
- **The drawing is to reflect that there will be a flat ceiling underneath the porch**
- **The side ends of the porch roof will be closed.**
- **All detailing is to match the existing home including roof material, trim details, colors.**
- **The columns will have a column and base detail as is reflective of the porch design guidelines which will be provided by the City.**

All the members voted yea; the motion passed.

15. **Docket No. 06-55-24** (C) **17514 Detroit Ave.**
Sacred Hour Spa
- () Approve Sean Nugent
() Deny ONE Constructive Services LTD, dba OCS LTD
() Defer 17415 Northwood Ave., Suite 201

Applicant proposes landscaping and exterior renovation of a building. (Page 144)

Jeff Foster, Payto Architects and Sean Nugent, ONE Constructive Services LTD, applicant, were present to explain the request. The members liked the proposal. Staff confirmed a Section 106 review was conducted and approved. Public comment was taken.

Public Questions/Comments

- Said the property was owned by the parish.
 - Mr. Nugent stated the building was purchased by his company, along with the school.
- Wanted more time for analysis.
- Concerned about the fence and courtyard.

Staff received comment from the public prior to the meeting (made part of record).

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request as presented**. All the members voted yea; the motion passed.

16. Docket No. 06-56-24

(R)

15726 Lake Ave.

- () Approve
- () Deny
- () Defer

Charles A. McGettrick
Architects, C.A. McGettrick LLC
14551 Madison Ave.
Lakewood, OH 44107

Applicant proposes a new addition with attached garage, fence, and landscaping. (Page 161)

Mike McGettrick, representative of Architects, C.A. McGettrick LLC was present to explain the request and presented materials. The members liked the proposal. Colors would match the existing home. Staff had no comments or questions. Public comment was closed as no one addressed the item. Staff received comment from the public prior to the meeting (made part of record).

A motion was made by Mr. Maniet, seconded by Mr. Smith to **APPROVE the request as presented**. All the members voted yea; the motion passed.

SIGN REVIEW

17. Docket No. 06-46-24

**17609 Detroit Ave.
Hippie House**

- () Approve
- () Deny
- () Defer

Aldo Dure
Be Next Awnings & Graphics Inc.
5109 Clark Ave.
Cleveland, OH 44102

Applicant proposes illuminated channel letters on rails, sign mounted in the sign band. (Page 75)

No one was there to explain the request. Ms. Cramer said the revisions were within the code requirements. Jeff Crossman said it was permitted to approve without the applicant being present. Discussion started about the square footage, placement was good, raceways should be painted to match the building, adjust the position of the rear

entrance sign. Public comment was closed as no one addressed the item. Staff received comment from the public prior to the meeting (made part of record).

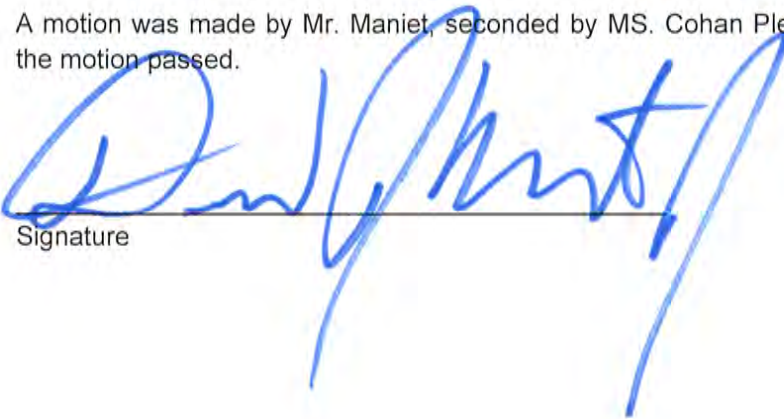
A motion was made by Mr. Maniet, seconded by Mr. Egervary to **APPROVE the request with the following conditions:**

- **The signage is centered over the entry door at the front and rear and within the colored band vertically on the rear of the building.**
- **Raceways will be painted to better closely match the brick color.**
- **Any window graphic signs must be approved by the Board.**

All the members voted yea; the motion passed.

ADJOURN

A motion was made by Mr. Maniet, seconded by MS. Cohan Plessner to **ADJOURN**. All the members voted yea; the motion passed.

A large, stylized handwritten signature in blue ink, written over a horizontal line. The signature is cursive and appears to be 'D. Maniet'.

Signature

07-11-2024

Date

(Handwritten mark)



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. Brian Gandy

(Handwritten signature)

2. DENVER BROOKER

(Handwritten signature: Denver Brooker)

3. Carole Brown

4. Tom Foy

5. Beth Heffner

(Handwritten signature)

6. ERIL ANDERSON

(Handwritten signature: Eril)

7. MARIO RUSO

(Handwritten signature)

8. JEFF FOSTER

9. SEAN HULBERT

(Handwritten signature)

10. Nora McNamee

(Handwritten signature: Nora McNamee)

11. MIKE McGETTRICK

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, June 13, 2024

Page 1 of 2 Page 1 of 1³⁸

Johanna Schwarz

From: Brian Meng <bmeng@bialosky.com>
Sent: Wednesday, June 12, 2024 5:32 PM
To: Johanna Schwarz; David Baas; Amanda L. Cramer
Cc: Ian Andrews; amyjhaney@gmail.com
Subject: Agenda: BBS/ABR/Sign Review - 6/13 Meeting

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Johanna, Amanda, and Dave,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood ABR agenda for the 06/13/2024 meeting.

- **Docket No. 05-44-24 17401 Edgewater Dr.**
 - We assume the applicant is proposing the Certainteed Grand Manor asphalt single for the porch roof in lieu of the options shown on one of the slides.
 - We are curious if the applicant considered maintaining the high slate roof in lieu of changing it to the Certainteed Grand Manor asphalt shingle?
- **Docket No. 06-46-24 Hippie House**
 - We suggest avoiding exposed rails, raceways, or conduit on the fascia signs.
- **Docket No. 06-47-24 Birdietown**
 - We suggest avoiding exposed rails, raceways, or conduit on the fascia sign.
- **Docket No. 06-48-24 Comfort Dental**
 - We question if the proposed signage is over the allowable limit.
 - We also wonder if it will be legible from the street due to how far the building sits back and the due to the size and quantity of the text.
- **Docket No. 06-49-24 Doc Lanky's**
 - We suggest avoiding exposed rails, raceways, or conduit on the fascia sign.
- **Docket No. 06-50-24 Cloud City Smoke Shop**
 - We suggest avoiding cabinet signs and encourage dimensional letters and logos.
- **Docket No. 06-51-24 1114 Forest Road**
 - How does the height of the proposed residence compare to the neighboring properties
- **Docket No. 06-52-24 18097 Clifton Boulevard**
 - Can the applicant provide a description on the proposed materials?
 - Will these be natural materials or synthetic?
 - How will the high and low roof areas be drained.
- **Docket No. 06-53-24 2164 Brown Rd.**
 - Although the existing porch is screened in, we suggest the applicant consider not screening in the new porch.

P.S. I appreciate you as a client and a friend. I appreciate your business, your loyalty, trust and your referrals. It is my goal to provide the very best counsel, advice and service possible for your real estate needs. If I may ever be of assistance to yourself, a relative, friend or co-worker please don't hesitate to call me. I look forward to the opportunity to serve you.

Johanna Schwarz

From: Patti Sims <pattisims1118@gmail.com>
Sent: Monday, June 10, 2024 9:39 PM
To: Planning Dept
Subject: 17401 Edgewater Dr

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

We are neighbors of Brian and Kristen Grady at 17401 Edgewater Drive who have applied for front porch project. We have reviewed the rendering and it will be a great addition to the existing home structure. Please know that we support their plans completely. Please let us know if you have any questions.

Regards,

Patti and Mark Sims
17408 Edgewater Dr
216-396-7797

Johanna Schwarz

From: thomas fraser <tfraserjr@yahoo.com>
Sent: Thursday, June 13, 2024 9:55 AM
To: Planning Dept
Subject: Comment on Docket 05-21-24, 1114 Forest Rd.

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

June 13, 2024
Thomas Fraser
1124 Forest Rd
Lakewood, OH

Dear Members of Architectural Review Board:

I am commenting on docket number 05-21-24, which seeks at the June 13, 2024 meeting to obtain design feedback about a proposed residence at 1114 Forest Rd. It is my understanding there is no approval being sought at this meeting. Unfortunately, I cannot attend in person as I am traveling for work; thus, I am submitting my written comments.

There is very little design material on which to comment at this point. I note that the materials in the public agenda contain only two pages and offer a rudimentary sketch of the property with no salient details provided. Thus, it is hard to frame any specific feedback to the proposed design.

I am noting to this Board that the applicant provided far more detail on the proposed design to the Board of Zoning Appeals at its last meeting (BZA Docket No 05-09-24). That information--which contains more design detail in the context of the applicant's request to obtain three major area variances--is not provided for feedback to this Board. The BZA did not approve the variances.

Several neighbors raised concerns about the density consequences of the major variances. Concerns centered on how excessive the combined effect of three major variance requests (frontage, set back, and distances from property lines) in a low density district would be to the characteristics of the neighborhood. Low density neighborhoods rely on thoughtful setbacks and consistency in buildings on parcels. Examples were cited by the applicant showing a handful of parcels with non-conforming residential characteristics; however, many were the result of Clifton Park being split in half by a highway in the early 1960s. And none demonstrated three major area variances granted.

Moreover, there is no compelling comparison to an existing property seeking three major area variances. (There is a property in the neighborhood build around 1965, in the aftermath of the highway going in, that has some non-conforming characteristics. It is noted, that the 1960s home sits back far from Forest Rd.) The parcel in question here has issues with adequate setbacks and has hardly any frontage to Forest Rd (far less than both the code requires and neighboring properties exhibit). The applicant has provided a paucity of design information to this Board and the design does not anticipate building on a parcel with substantial frontage and setback non-conformities, even if a variance were to be granted. The limited information provided creates two obvious problems: 1) an attached garage which would have to sit very close to the curb (there are a few other properties which have attached garages in the district but they conform to setbacks and/or frontage norms); and 2) the height of the roof line which suggest a rectangular structure inconsistent with the design norms of homes mainly built between 1880-1920 in this neighborhood. Inevitably, these two comments will not be the only comments on the

proposed structure; but, for now, they are the only ones that can be concluded from this limited submission. The submission does not address any sensitivity to the non-conforming parcel or to the neighborhood characteristics.

After Clifton Blvd split the Park in half in the early 1960s, this parcel has lied fallow for over 60 years because of the impracticality of building on it and the low density requirements of the code. It is narrow, strangulated, and abuts a state and federal route. It sits on a curve where traffic safety needs to be considered in any design, as any proposed building would ultimately come close to the road where traffic is often in excess of 35mph. A neighbor immediately whose home is immediately to the West of this parcel noted at ZBA that cars often wind up on the grassy embankment next to his home and where this home is proposed. This Board should think about the safety issues of having a home's exterior on the equivalent of a tree lawn in a 35mph zone. The Board should consider and ask for traffic engineering insights given the proximity to a major traffic artery in Lakewood with high traffic counts and vulnerabilities mentioned in this comment.

Should the applicant achieve these significant three major variances, which at this point have been denied, this Board would have to consider the design impact on the neighborhood given how unusual the structure would be in light of the substantial non-conformity of the parcel. It seems premature for this Board to provide guidance or feedback until the uncertainty of the controversy around the use variances is resolved. I would also encourage the Board to inspect the parcel in person to see the issues described here.

Thomas Fraser
1124 Forest Rd
Lakewood OH

Johanna Schwarz

From: William A. Wagner
Sent: Thursday, June 13, 2024 2:23 PM
To: Amanda L. Cramer
Cc: Christopher Parmelee
Subject: FW: Forest Road Architectural Review Board Meeting Thursday
Attachments: Screen Shot 2024-06-12 at 6.29.36 PM.png; Screen Shot 2024-06-12 at 6.29.26 PM.png; Screen Shot 2024-06-12 at 6.29.08 PM.png; Screen Shot 2024-06-12 at 6.28.58 PM.png; 2c2f945420db3ba251ad60a8af6cea57-uncropped_scaled_within_1536_1152 copy.jpg; Screen Shot 2024-06-13 at 1.31.53 PM.png

From: Nicolas Young <nicolasyoung@live.com>
Sent: Thursday, June 13, 2024 1:38 PM
To: Mayor's Office <mayor@lakewoodoh.net>
Cc: Christopher Parmelee <Christopher.Parmelee@lakewoodoh.gov>; William A. Wagner <William.Wagner@Lakewoodoh.gov>
Subject: Forest Road Architectural Review Board Meeting Thursday

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Mayor George

Tara Kerivan-Weddell, a more than twenty-year Lakewood resident at 1116 Forest Road and fellow Clifton Park neighbor, reached out today due to her concerns about the proposed new construction on the sliver of ground between her fence and Route 6.

As you know, Clifton Park is listed in its entirety on the National Registry of Historic Places and filled with homes that showcase the work of numerous early 20th century Cleveland architectural firms including Hubbell and Benes (they did the Westside Market, the Cleveland Museum of Art, the Wade Chapel), Clarence Mack (several famous Lakewood homes and later ocean side mansions in West Palm Beach), Bonhard and Parson, Dercum and Beer, Gustave Bonn, Meade and Hamilton, Coburn and Barnum, Duncan Candler (designed the Edsel Ford Estate in Maine that Martha Stewart owns), Charles Hopkinson, Anderson and Dracan, Watterson and Schneider, Monroe Copper, Jr., and Philip Lindsley Small (the principal architect of the Van Sweringen Brothers.

I have included images of the proposed design. Unfortunately, the proportions (58 feet at the widest end and tapering down) of the lot confine any new house to be in the style of a townhouse apartment, which isn't in

keeping with the unique character of this beautiful neighborhood. Let alone it creates a 3-level wall of siding towering over her historic home. The minimum lot size for low residential districts in Lakewood is supposed to be 14,000 sq feet and this lot is 8,172 sq. feet, which is 40% short of the requirement. The minimum frontage is supposed to be 70-feet and this is about 58-feet. Let alone, please look at the design and see how it disrupts the entire street environment.

There's a whole wider plan to beautify the Route 6 section through Clifton Park to make the entrance to Lakewood even more green and attractive, which goes along with the changes that have been made on Lake Road by your administration. I cannot see how granting the construction of what is inherently the type of townhouse apartment built over on the Sloane subway is fitting or appropriate in such an architecturally let alone historically significant neighborhood, due to past residents such as the Glidden's of Glidden Paint, Walter Baker of the Baker Electric Car Company, Stouffers of Stouffer Foods, the Rheems of the HVAC maker, Alexander Winton, Elliot Ness, Louise Seltzer, Anthony Celebreze, Cy Deibel who's company became Duracell, and many others.

The neighborhood was assaulted in the 1960s with the forced expansion of the road through the middle of the neighborhood, which had been laid out and designed by the famous Boston Landscape designer Ernest Bowditch in 1894; thus, it was splint in two. The road expansion destroyed five homes and required 5 others to be moved. My neighbors have worked very hard to restore and preserve these homes, and this neighborhood is a truly important part of Lakewood's history.

I ask that you drive over and view the lot and consider how that will fit into the approach to redesign and improve Route 6, the visual assault it will be for Tara's property at 1116 Forest Road, and how such would impact the historical significance of Forest Road. I have included the property map as well as a picture roughly marking the land were the proposed house or possibly apartment would be constructed.

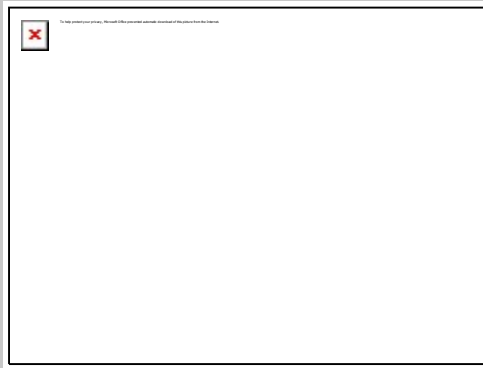
I hope you, the building department, and the ARB will strongly consider a deep look into this situation and strongly consider preventing further damage to the neighborhood's historical fabric.

Needless to say, Tara is a very nice neighbor as was her husband Clint, who died back in 2022, and she has lost a son. So, you can imagine that she has gone through significant trauma and now facing something that could considerably impact her property value and remaining peace is significant.

Mayor George, here is Tara's number: 216-513-1821

Best regards,
Dr. Nicolas Young
17886 Beach Road

The lot in question on Forest Road (South of Clifton): https://www.zillow.com/homedetails/1114-W-Forest-Rd-Lakewood-OH-44107/2056205877_zpid/



1114 W Forest Rd, Lakewood, OH 44107 | Zillow

1114 W Forest Rd, Lakewood OH, is a Vacant Land home. This home last sold for \$195,000 in September 2023. The Rent Zestimate for this Vacant Land is \$1,900/mo, which has increased by \$1,900/mo in the last 30 days.

www.zillow.com

ARCHITECTURAL BOARD OF REVIEW

Docket No. 06-51-24 *
1114 Forest Rd.

David Maniet
Maniet Architects
1315 Bunts Rd.
Lakewood, OH 44107

Applicant proposes the construction of a new residence.

*This is for discussion only; no ruling will be made, design feedback only,

Link to the agenda and the images: https://www.lakewoodoh.gov/wp-content/uploads/2024/06/BBSARBAgenda_061324.pdf
<https://www.lakewoodoh.gov/accordions/board-of-building-standardsarchitectural-board-of-reviewsign-review-board-agendas/>





not intended to reflect all easements, encumbrances, or other items affecting the title to the property shown hereon.

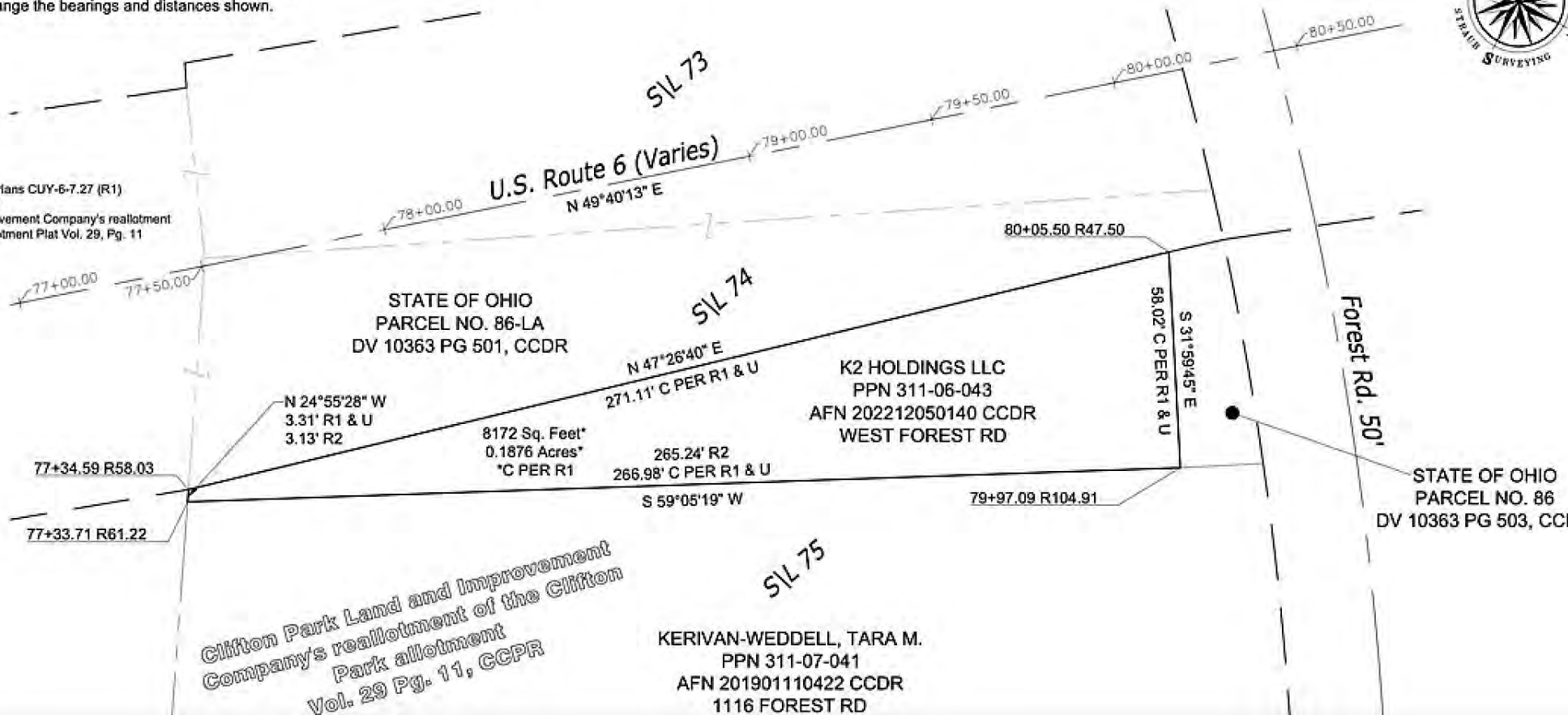
A survey was not performed. This map was prepared solely from Cuyahoga County Record and Ohio Department of Transportation Right of Way plans researched in May, 2023, and does not meet the requirements defined in Chapter 4733-37 of the Ohio Revised Code, Minimum Standards for Boundary Surveys.

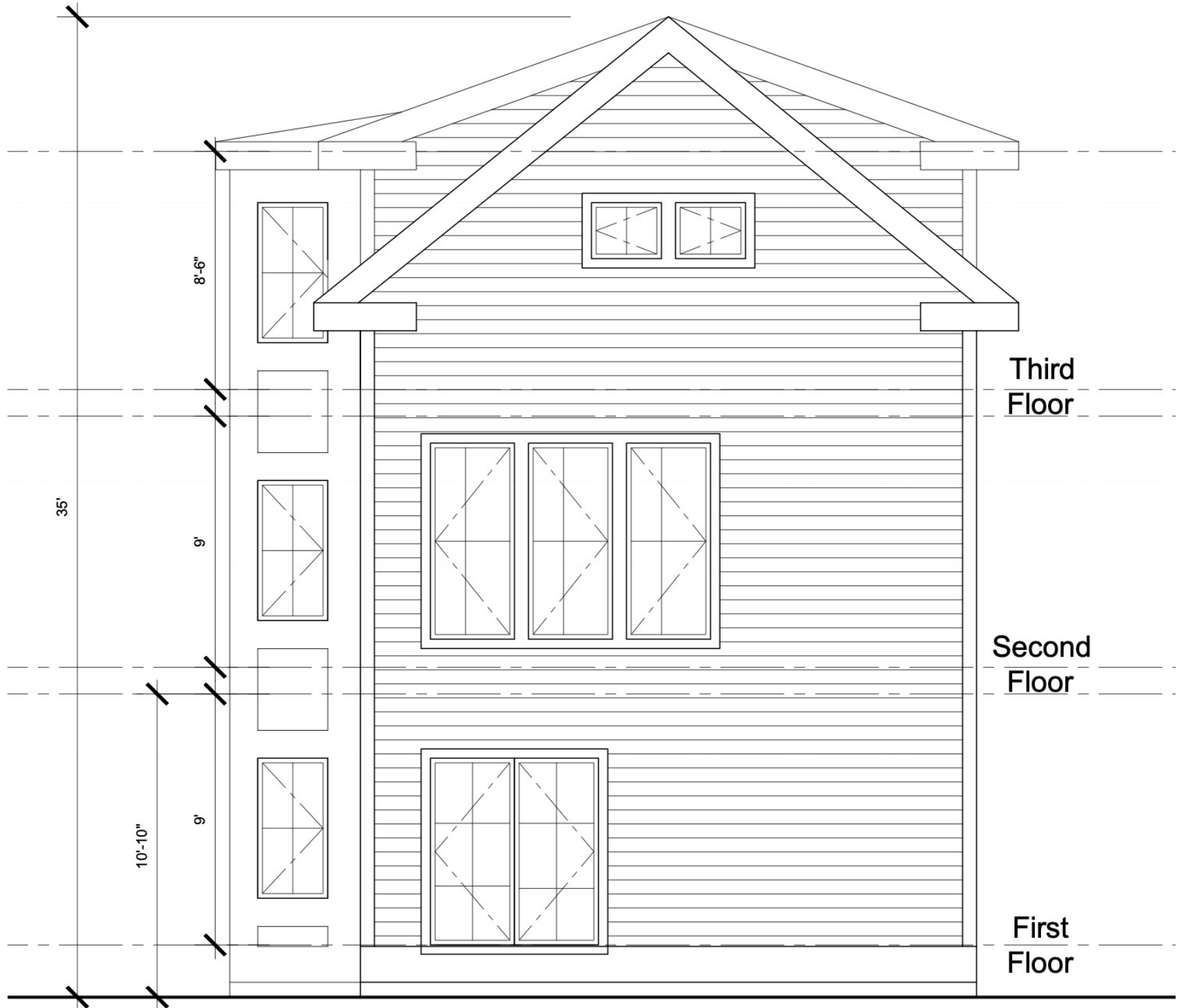
The U.S. Route 6 Right of Way plans were heavily relied upon in preparing this map, as the geometry agreed with itself much more so than the geometry shown on the plat recorded in Volume 29, Page 11 of Cuyahoga County Plat Records. A field survey of the parcel/area may change the bearings and distances shown.

References:
 Cuyahoga County GIS,
 U.S. Route 6 Right of Way Plans CUY-6-7.27 (R1)
 subject deed as shown (R2)
 Clifton Park Land and Improvement Company's reallocation
 of the Clifton Park allotment Plat Vol. 29, Pg. 11
 joining deeds as shown

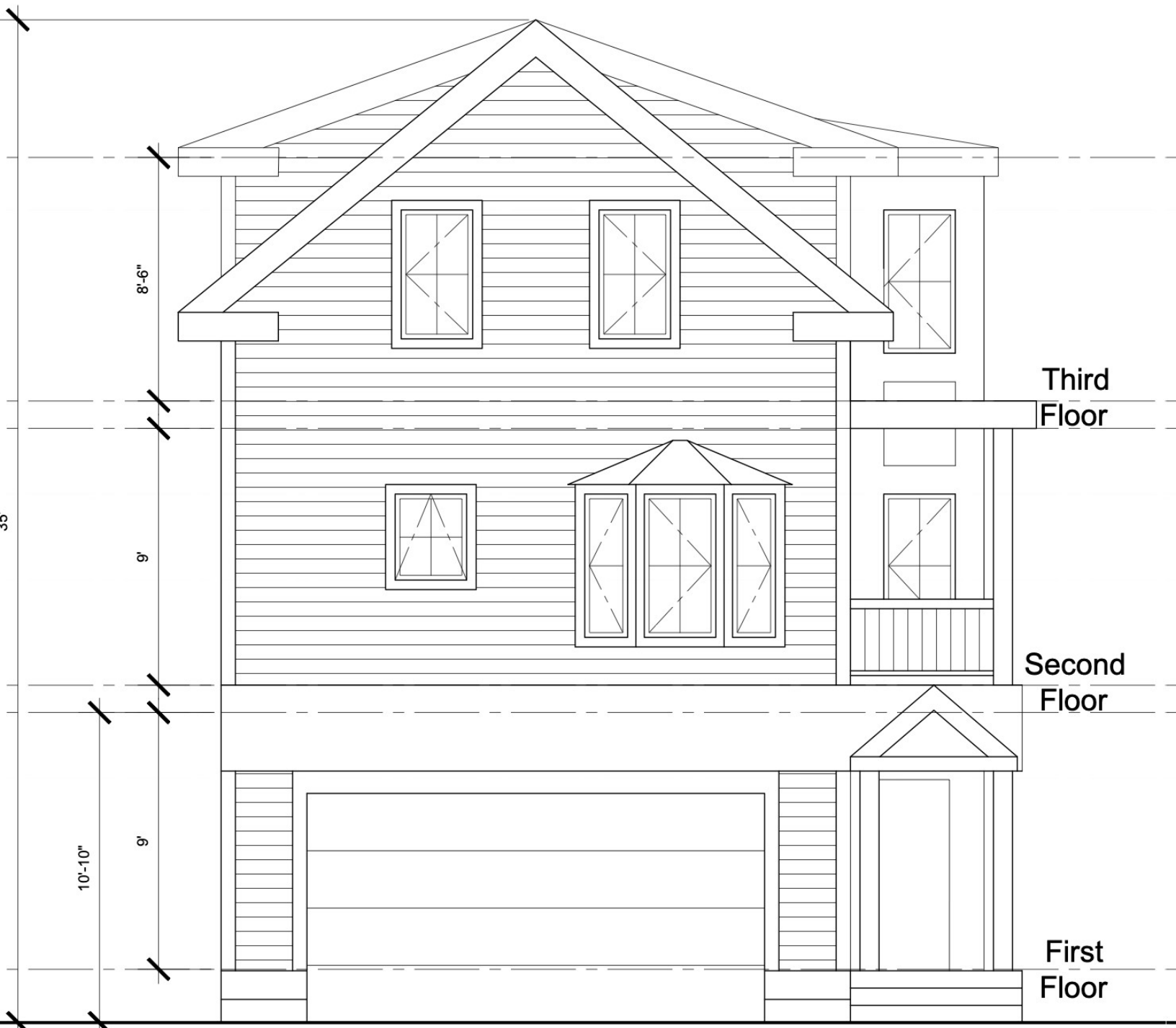
**Clifton Park Land and Improvement Company's
 reallocation of the Clifton Park allotment
 of a part of
 Original Rockport Township Sec. No. 23
 County of Cuyahoga, State of Ohio
 as shown in Plat Volume 29, Page 11
 of Cuyahoga County Plat Records**

CCDR	Cuyahoga County Deed Records	N	North
CCPR	Cuyahoga County Plat Records	S	South
PPN	Permanent Parcel Number	E	East
U	Used	W	West
R	Record		Existing Land Hook
C	Calculated		
	Centerline		
	Right of Way (ROW) Line		
	Record Property Line		



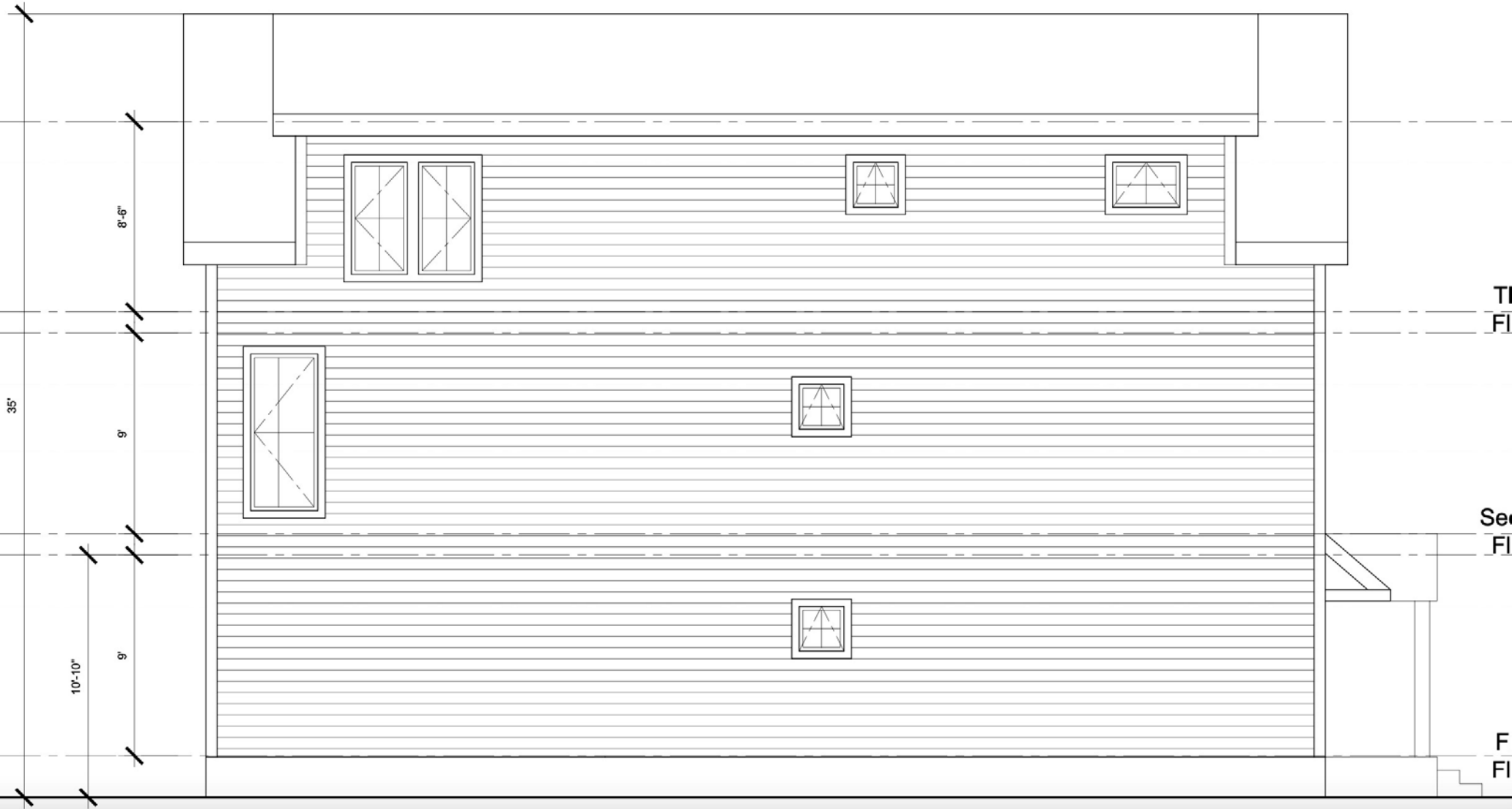


Rear Elevation



Front Elevation

1" = 1'-0"





North (Clifton) Elevation

Johanna Schwarz

From: Michelle Nochta
Sent: Thursday, June 13, 2024 3:27 PM
To: Johanna Schwarz; Amanda L. Cramer
Subject: Fwd: In regards to the ARB meeting tonight

Sent from my iPhone

Begin forwarded message:

From: Cheryl Schwind <cschwind@yahoo.com>
Date: June 13, 2024 at 2:20:21 PM CDT
To: Michelle Nochta <Michelle.Nochta@lakewoodoh.gov>
Subject: In regards to the ARB meeting tonight

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi, I wanted to send you a note because we cannot be at the hearing tonight in regards to 1112 Forest rd

We live across the street from this currently wooded lot therefore what the exterior of this 3.5 story rectangular building is important to us.

We have great concerns about the exterior materials it appears that they are planning on using.

Vinyl siding, un trimmed windows, basic garage door, basic exterior doors, etc

Only I house on the south side of Clifton park has such things, and that was done before the Historical Designation was granted to the community. Clearly this type of materials does not meet any of the guidelines.

I realize that the planning process is just beginning but thought we should share our thoughts early because we are the ones who will be looking at it all the time.

Thank you for your time and hopefully will see you at the next hearing.

cheyrl schwind

cschwind@yahoo.com

216-559-3261 vm/cel

Life is ten percent what happens to you and ninety percent how you respond to it.

P.S. I appreciate you as a client and a friend. I appreciate your business, your loyalty, trust and your referrals. It is my goal to provide the very best counsel, advice and service possible for your real estate needs. If I may ever be of assistance to yourself, a relative, friend or co-worker please don't hesitate to call me. I look forward to the opportunity to serve you.

Johanna Schwarz

From: David Griffiths <deglakewood@ameritech.net>
Sent: Wednesday, June 12, 2024 8:46 PM
To: Planning Dept
Subject: Irene & Donald Ave. Project Docket No. 06-58-24 Griffiths 1311 Donald Ave
Attachments: Flooded Area.JPG; ZP1010002 (2).JPG; ZP1010002 (3).JPG; ZP1010002 (4).JPG

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Board Members,

Again, I will not be able to attend the meeting on Thursday 06-13-24.

John Levine (1315 Donald Ave). will represent me.

I too object to such a massive project. It will have an impact on those in the area.

An Impact Study should be considered.

Also, A hydrologic study should be performed. See attached pics. All run off ends up on the lot behind 13107-09, 1311 and 1315.

The yard you see is 1286 Thoreau (David Kermode). It's between 1311 and 1315 garages.

This project is way to much. Townhouses on Detroit may work, but not around the classic homes in the area.

Is this entity going to finish it? Are they financed? Do they really have an arrangement for the purchase (+8 feet plus)? I doubt it.

Many have tried to no avail - runaround. We don't need another 117th Studio and the Hospital.

Years of construction, lost parking, and the cut thru that will be used.

I object and more people (tenants disagree, but won't come forth) . They don't care.

David Griffiths
1311 Donald Ave
216-255-8198

[Sent from AT&T Yahoo Mail on Android](#)







Johanna Schwarz

From: David Griffiths <deglakewood@ameritech.net>
Sent: Thursday, June 13, 2024 11:39 AM
To: Planning Dept
Subject: 6 objections to Irene & Donald project tenants came thru

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

[Sent from AT&T Yahoo Mail on Android](#)

Monday, June 10, 2024

Dear Architectural Review Board,

We object to the plans to develop Docket No. 06-58-24* / Irene and Donald.

Printed Name

Signature

Anna Zook

Anna Zook

Address

1314 Donald Ave

Printed Name

Signature

Jason Zook

Jason Zook

Address

1314 Donald

Monday, June 10, 2024

Dear Architectural Review Board,

We object to the plans to develop Docket No. 06-58-24* / Irene and Donald.

Printed Name

Signature

Tara Byrne

[Handwritten Signature]

Address

1309 Donald Ave

Printed Name

Signature

Michael O'Malley

[Handwritten Signature]

Address

1309 Donald Ave

Monday, June 10, 2024

Dear Architectural Review Board,

We object to the plans to develop Docket No. 06-58-24* / Irene and Donald.

Printed Name

Signature

Taylor Weiss

Taylor Weiss

Address

1312 Donald Ave.

Printed Name

Signature

Theo Stone

Theo Stone

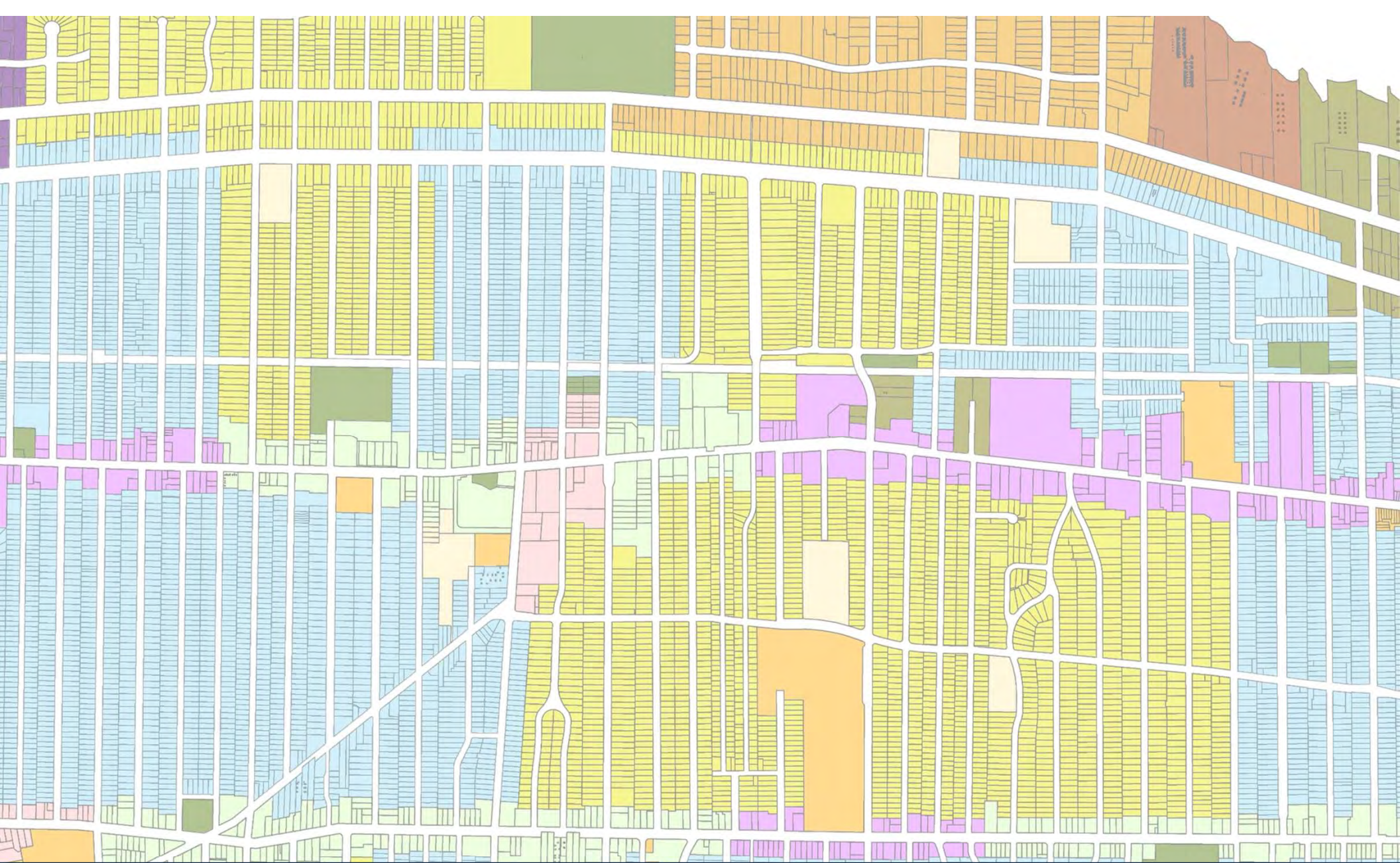
Address

1312 Donald Ave.









Architectural Board of Review

June 2024



Architectural Board of Review

Pre-Review Meeting: June 6th, 4 pm (East Conf Rm)

Regular Meeting: June 13th, 5:30 pm (Auditorium)

Members

David Maniet (2024 Chair)

Hanna Cohan Plessner (2024 Vice-Chair)

Jeremy Smith

Chris Egervary

Staff

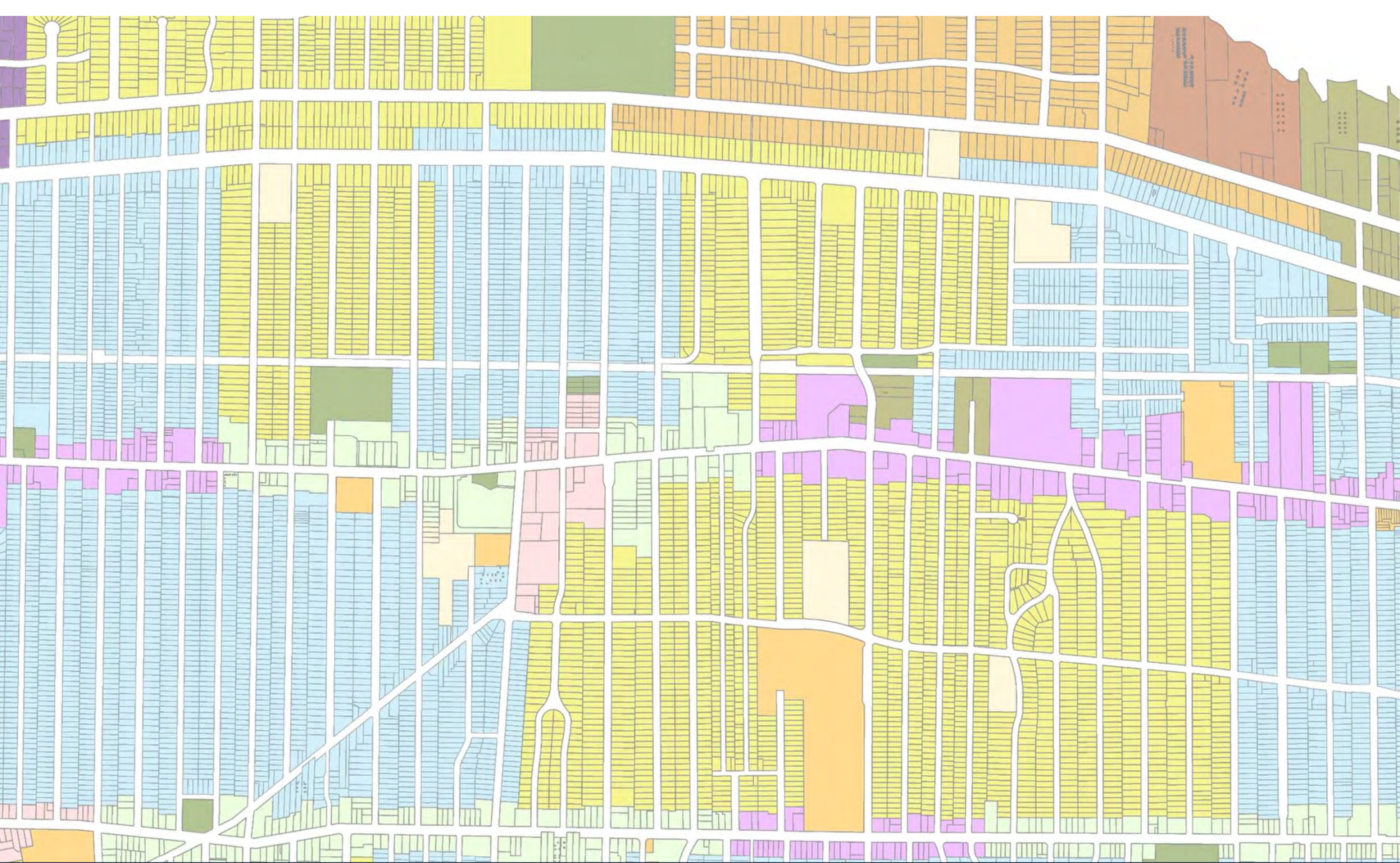
Board Secretary: Amanda Cramer, Sophia Jones

Assistant Building Commissioner: William Wagner



Architectural Board of Review
June Agenda

1. Roll call
2. Approve minutes – May 2024 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn



Architectural Board of Review

Old Business – June 2024

Applicant proposes roof addition to existing raised front porch.

City Notes:

N/A



Docket No. 5-44-24 (17401 Edgewater)

**Residential Roof Addition
Amanda Fort**



From Street



From Street - East



From Street - West

SCALE

1/8"

DATE

ASB Submission

4/16/24

EXISTING PHOTOS - CONTEXT

GRADY RESIDENCE

17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

DANE STREET STUDIO

E-0



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort



Front Elevation - North



Existing Patio - Seating Area



Existing Patio - From West

SCALE: AS SHOWN
 DATE: 4/15/24

TITLE: ABR Submission

EXISTING PHOTOS

GRADY RESIDENCE
 17401 EDGEWATER DRIVE
 LAKEWOOD, OHIO 44107

DANE STREET STUDIO

E-1



Docket No. 5-44-24 (17401 Edgewater)

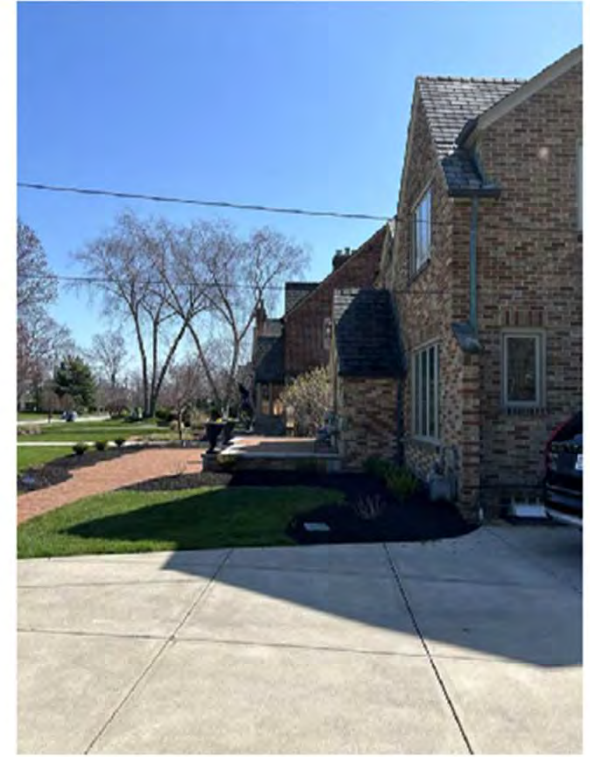
Residential Roof Addition - Fort



Existing Patio - From West



Existing Patio - From East



Existing Patio - From West

SCALE
NA

ISSUE
NR Submission

4.16.24

EXISTING PHOTOS

GRADY RESIDENCE
17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

DANE STREET STUDIO

E-2



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort



Existing Brick & Roofing



Existing Window Finish (match)



Existing Window - Measurement Reference

SCALE

NA

ISSUE

ABR Submission

4.16.24

EXISTING PHOTOS

GRADY RESIDENCE
17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

DANE STREET STUDIO

E-3



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort

EXTERIOR PORCH ROOF ADDITION
17401 EDGEWATER DRIVE
 LAKEWOOD, OHIO 44107

OWNER CONTACT

Brian and Kristen Grady
 17401 Edgewater Drive
 Lakewood, OH 44107
 (330) 575-1910

CONTRACTOR CONTACT

Tim Ferguson, Project Manager
 Oster Services
 17415 Northwood Avenue, Suite 100
 Lakewood, OH 44107
 (440) 570-7675

DESIGNER CONTACT

Amanda Fort
 Dane Street Studio
 3109 Mayfield Road, Suite 201
 Cleveland Heights, OH 44118
 (718) 872-8116

DRAWING INDEX

- A-0 Cover Sheet, Site Plan, & General Notes
- A-1 Demolition Plan
- A-2 Proposed Plan
- A-3 Exterior Elevation - North
- A-4 Exterior Elevation - East
- A-5 Exterior Elevation - West
- A-6 Section - North/South
- A-7 Unused
- A-8 Model - Oblique West
- A-9 Model - Oblique East

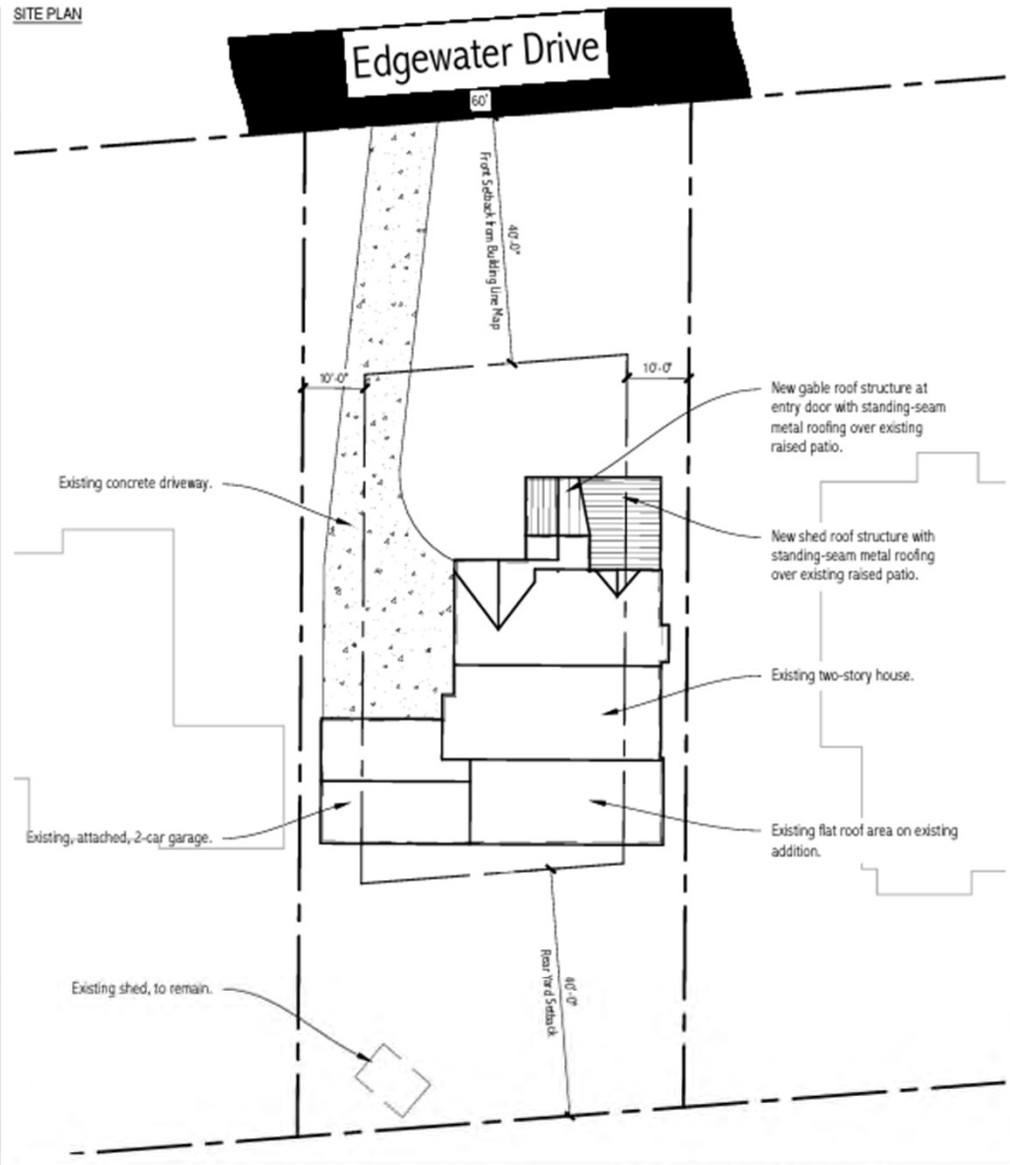
PROJECT INFORMATION

Jurisdiction: City of Lakewood
 Lot Area: 10,269 SF
 Existing Building Area: 2411 SF (2-story)
 Existing Porch Area: 257 SF
 Description of Work: Addition of new roof structure over existing, raised masonry patio.

GENERAL NOTES

1. Do not scale drawings.
2. All dimensions are from face of finished wall, existing wall, concrete block units, or concrete, unless otherwise noted.
3. All work is to be performed in accordance with all applicable state (2024 Residential Code of Ohio) and local building codes and referenced standards. These documents serve to depict the final configuration of improvements, not dictate all responsibilities the Contractor(s) have in achieving that end. The Contractor should report to Owner and Designer any conflict between bid documents, field conditions, and/or code requirements prior to commencement of work.
4. Provide bracing and support as required to prevent damage to structure and utilities affected by the work.
5. Patch all existing walls and floors to meet and match existing adjacent surfaces where disturbed and/or damaged by or during the course of the work.
6. The Contractor is to coordinate all work shown on the floor plans with all required mechanical and electrical work. The Contractor shall notify the Designer of any interference of mechanical, electrical, or plumbing work with the proposed plans.
7. Remove and dispose of debris and other materials resulting from demolition and general construction throughout the project.
8. Conduct demolition and removal of debris in such a way as to cause a minimum of interference with adjacent, occupied areas of the home. If shut-off of plumbing or other utilities is required for the work, please notify Owner promptly.

SITE PLAN



SCALE: 1" = 20'-0"
 DATE: 4/16/24

COVER SHEET, SITE PLAN, & GENERAL NOTES

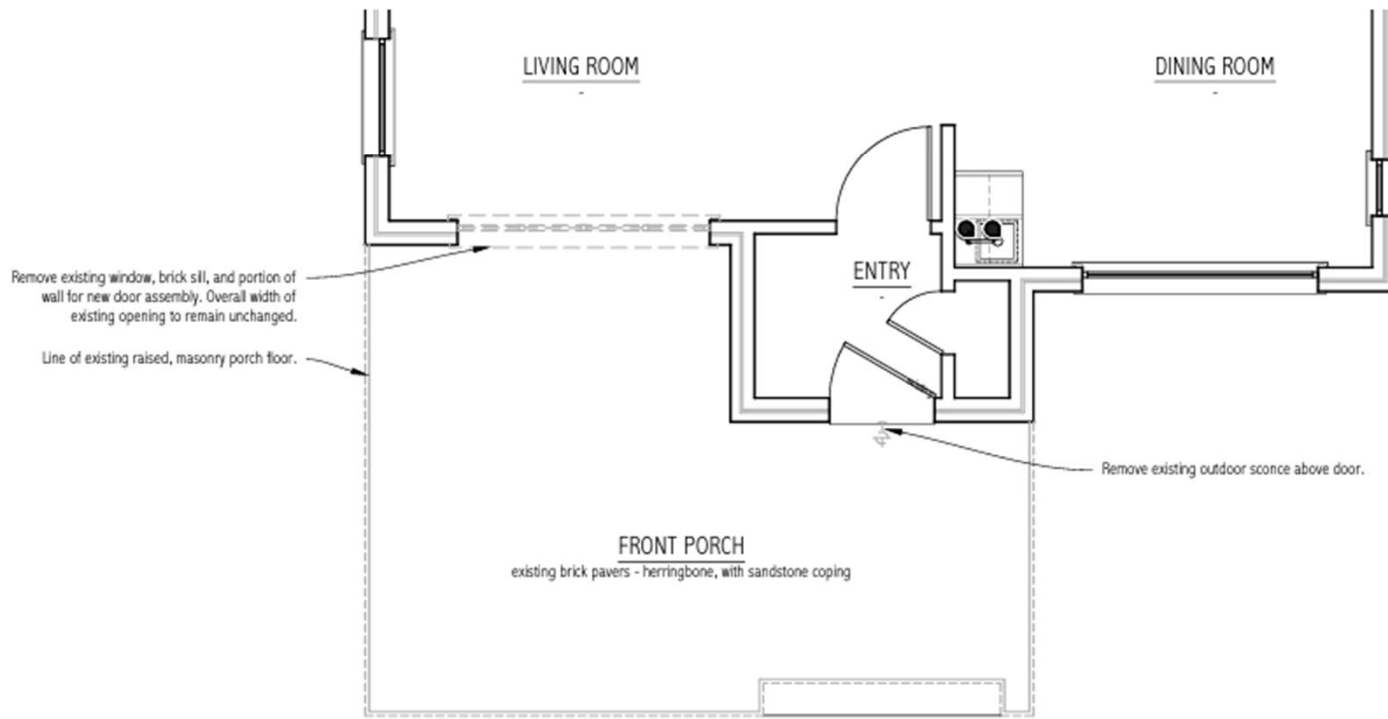
GRADY RESIDENCE
 17401 EDGEWATER DRIVE
 LAKEWOOD, OHIO 44107

A-0

DANE STREET STUDIO



Docket No. 5-44-24 (17401 Edgewater)
 Residential Roof Addition - Fort



SCALE
1/8" = 1'-0"

TITLE
CD Review
CD Review 2
ADR Submission

10.17.23
3.12.24
4.16.24

DEMOLITION PLAN

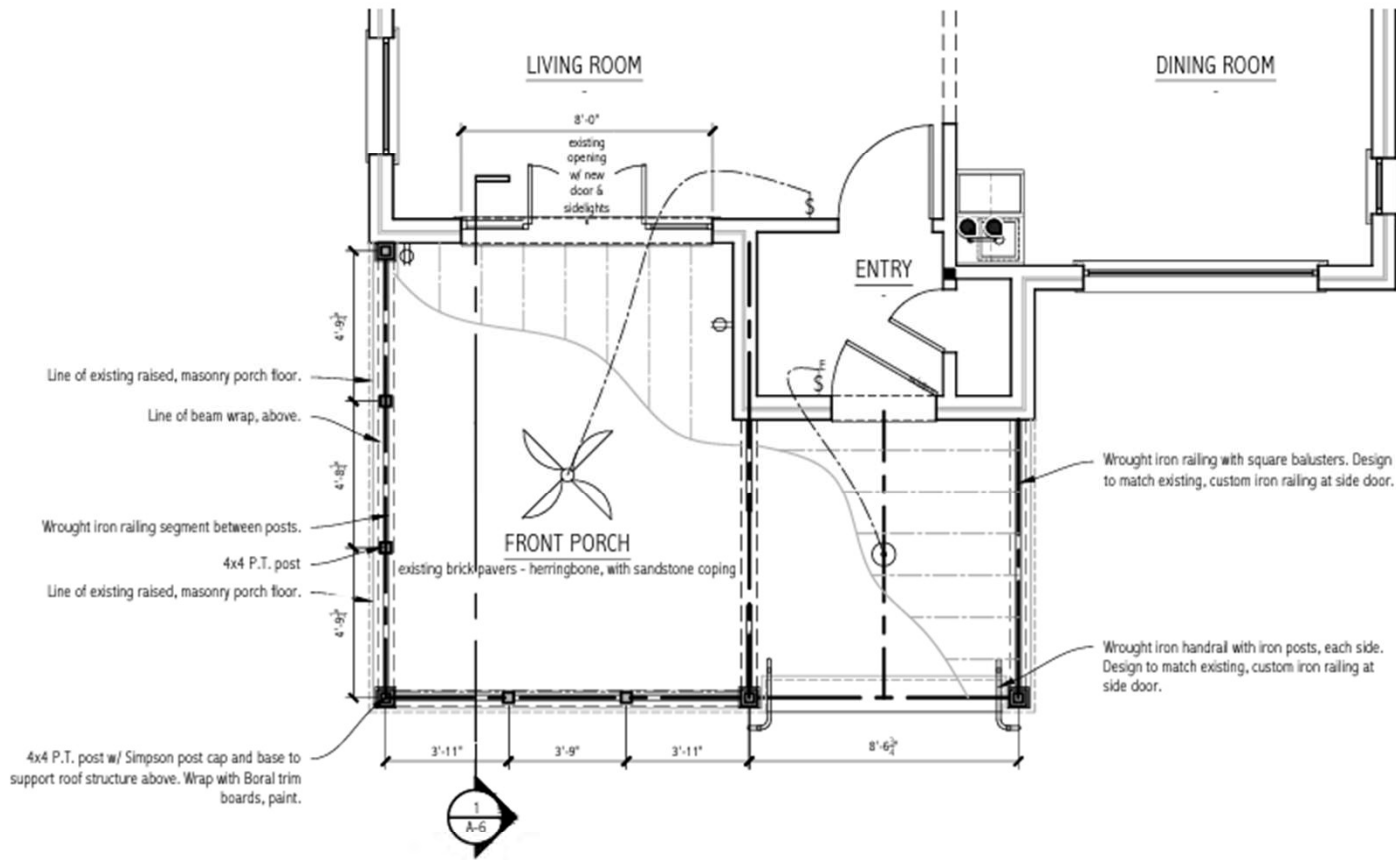
GRADY RESIDENCE
17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

DANE STREET STUDIO

A-1



Docket No. 5-44-24 (17401 Edgewater)
Residential Roof Addition - Fort



SCALE

1/4" = 1'-0"

DATE

Design Review 1
 CD Review
 CD Review 2
 ADP Submission

3.11.23
 10.17.23
 1.10.24
 4.16.24

PROPOSED PLANS

GRADY RESIDENCE

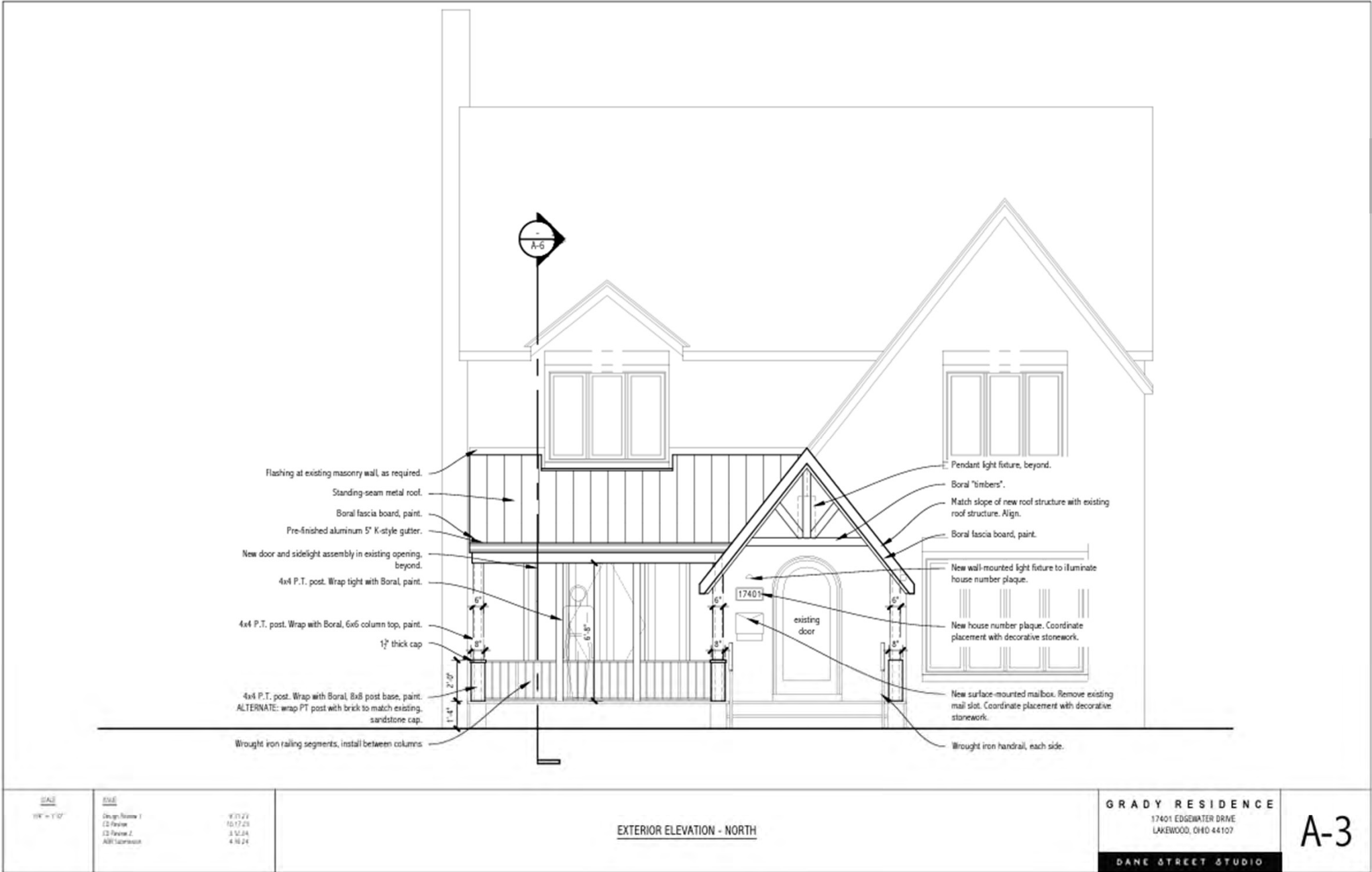
17401 EDGEWATER DRIVE
 LAKEWOOD, OHIO 44107

DANE STREET STUDIO

A-2

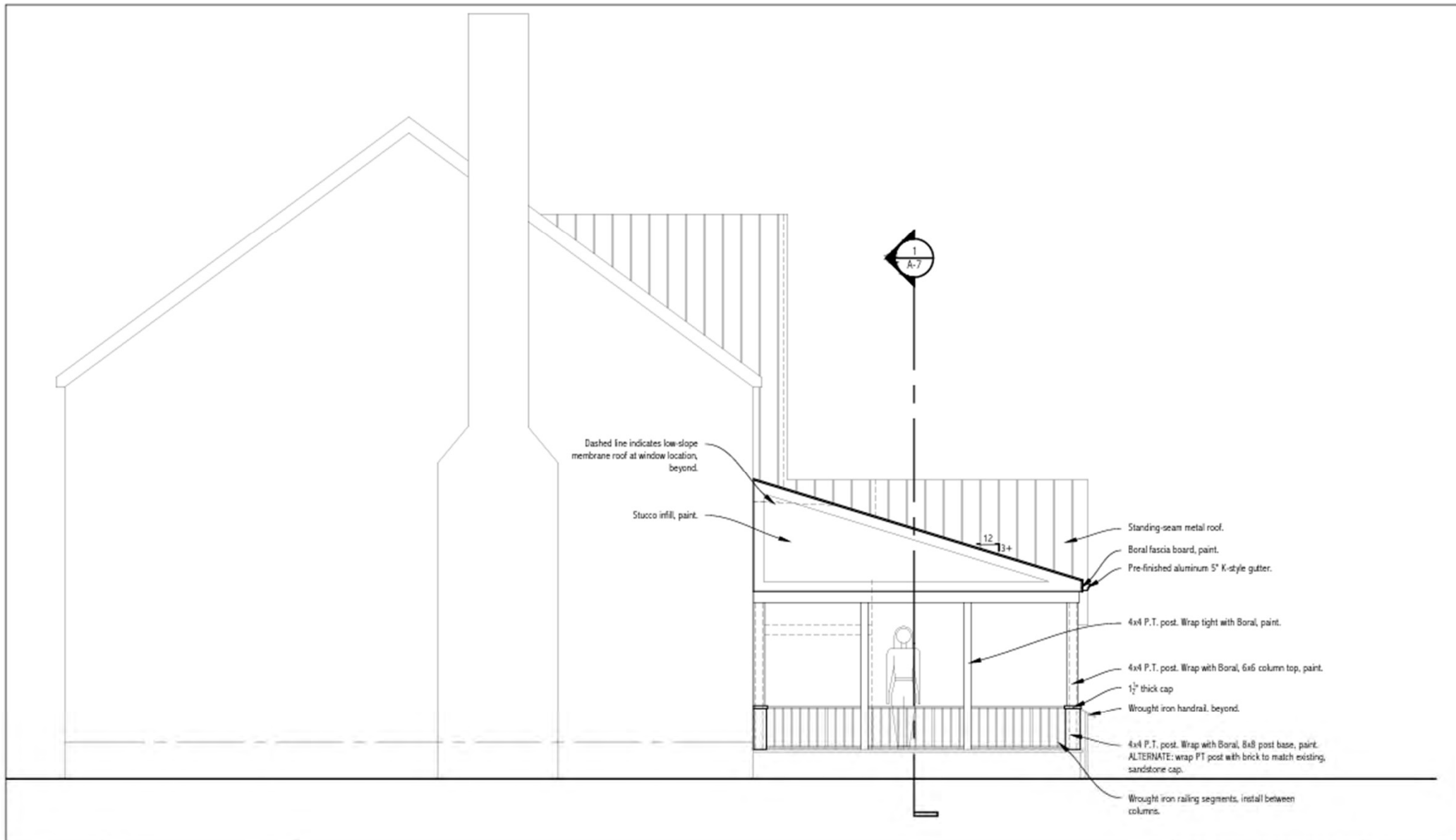


Docket No. 5-44-24 (17401 Edgewater)
 Residential Roof Addition - Fort



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort



EXTERIOR ELEVATION - EAST

GRADY RESIDENCE
17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

A-4

DANE STREET STUDIO

SCALE

1/2" = 1'-0"

DATE

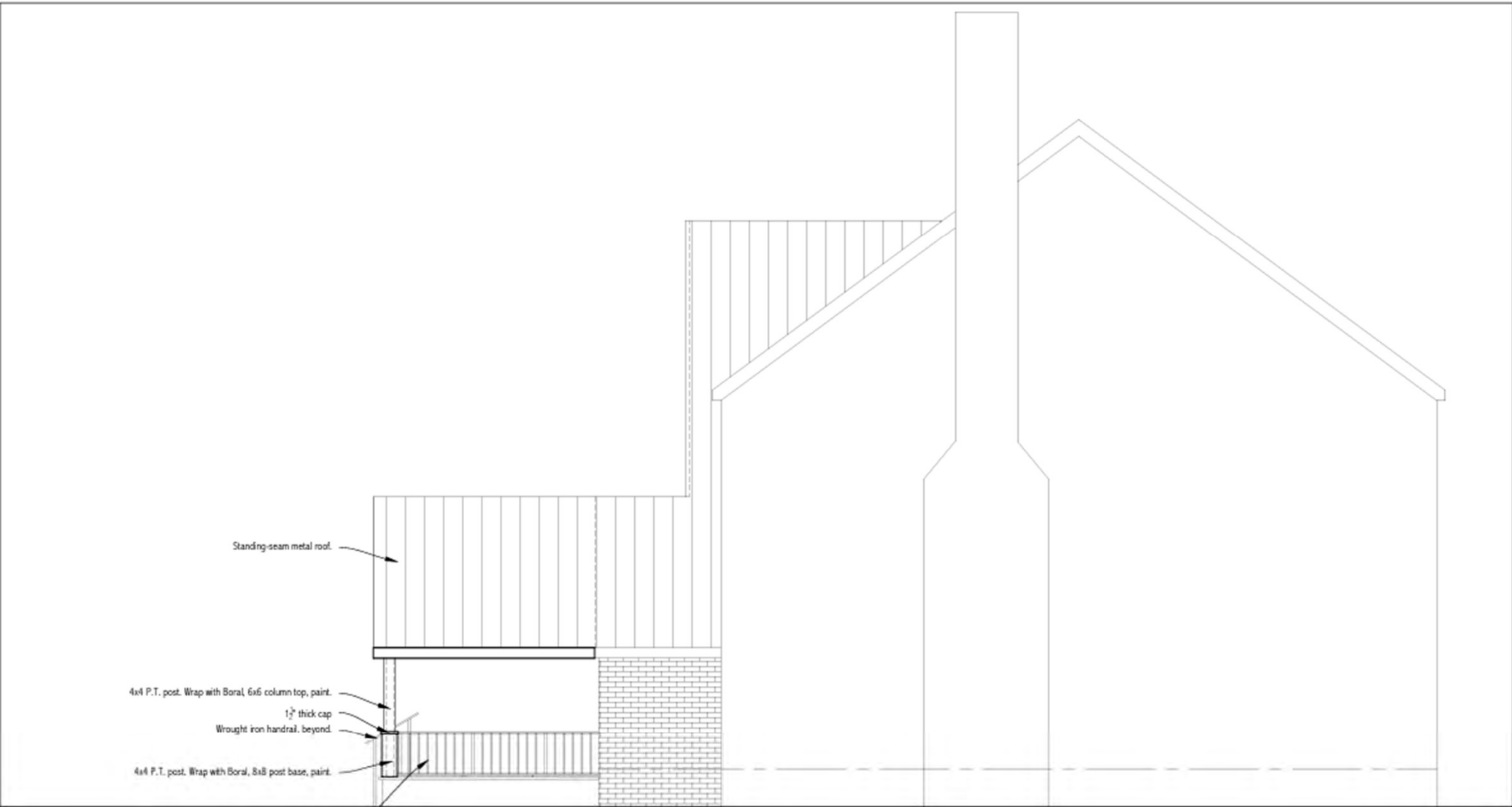
Design/Issue 1
C2 Review
C3 Review 2
MR Submission

8/11/23
10/17/23
3/12/24
4/11/24



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort



Standing-seam metal roof.

4x4 P.T. post. Wrap with Boral. 6x6 column top, paint.

1 1/2" thick cap

Wrought iron handrail, beyond.

4x4 P.T. post. Wrap with Boral. 8x8 post base, paint.

Wrought iron railing segments, install between columns.

EXTERIOR ELEVATION - WEST

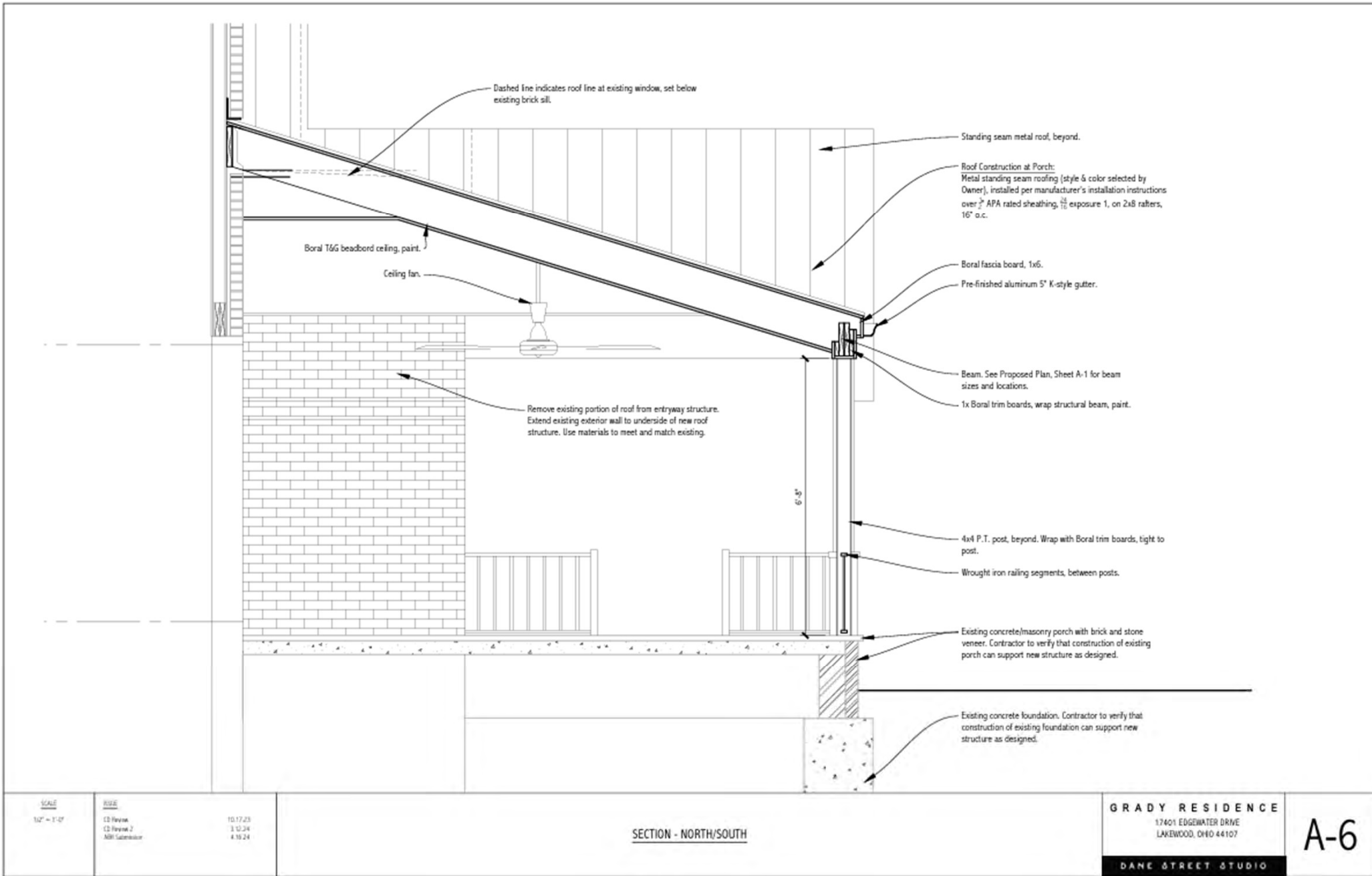
GRADY RESIDENCE
17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

A-5

DANE STREET STUDIO



Docket No. 5-44-24 (17401 Edgewater)
Residential Roof Addition - Fort



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort

Updated



HIP ROOF - Asphalt Shingle, Certainteed Landmark, at 2:12, Color: Driftwood
MAIN ROOF - Asphalt Shingle, Certainteed Grand Manor, Color: Stonegate Gray

MODEL - FRONT VIEW

GRADY RESIDENCE
17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107
DANE & STREET STUDIO

A-8

SCALE	DATE	
NA	ARR Submittals ARR Submittals - Revised	4.16.24 6.4.24



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort



HIP ROOF - Asphalt Shingle, Certainteed Landmark, at 2:12, Color: Driftwood

MAIN ROOF - Asphalt Shingle, Certainteed Grand Manor, Color: Stonegate Gray

SCALE

NA

DATE

ADR Submitted
ADR Submitted - Revised

4.16.24
6.4.24

MODEL - OBLIQUE, WEST

GRADY RESIDENCE

17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

DANE & STREET STUDIO

A-9



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort

Updated



HIP ROOF - Asphalt Shingle, Certainteed Landmark, at 2:12, Color: Driftwood

MAIN ROOF - Asphalt Shingle, Certainteed Grand Manor, Color: Stonegate Gray

SCALE

NA

DATE

ABR Submission
ABR Submission - Revised

4.16.24
6.4.24

MODEL - OBLIQUE, EAST

GRADY RESIDENCE

17401 EDGEWATER DRIVE
LAKENWOOD, OHIO 44107

DANE STREET STUDIO

A-10



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort

Updated



SHED ROOF - 1" Mini Batten, Standing Seam Metal Roof at 3:12, Color: Champagne Metallic



FLAT ROOF



SHED ROOF - Asphalt Shingle, Certainteed Landmark, at 2:12, Color: Stonegate Gray



HIP ROOF - 1" Mini Batten, Standing Seam Metal Roof at 3:12, Color: Zinc Gray

SCALE

NA

ISSUE

ADR Submission - Revised

6.4.24

ROOF LINE EXPLORATION

GRADY RESIDENCE

17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107

DANE & STREET STUDIO

A-11



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort

metal roof - weathered copper



french door - tan



iron railing - black



metal roof product sample



Docket No. 5-44-24 (17401 Edgewater)
Residential Roof Addition - Fort

Colors

Wood Types

Choose the wood species that best complements your project's interior.

Custom solutions:

Pine	Douglas Fir	Mahogany	White Oak	Red Oak	Cherry	Maple

Prefinished Pine Interior Colors

Custom Interior finishes, unfinished or primed and ready-to-paint are also available.

White	Bright White	Linen White	Natural Stain	Golden Oak Stain	Early American Stain	Provincial Stain	Dark Mahogany Stain
Red Mahogany Stain	Espresso Stain	Charcoal Stain	Black Stain				

Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁷

Black	White	Brown	Fossil				
Iron Ore	Portobello	Putty	Almond	Classic White	Brick Red	Hartford Green	
Pearl Gray	Soft Linen	Satin Steel	Matte Gray	Wolf Gray	Spice Red	Sage	
Frost Blue	Blue Ash						

Custom colors are also available.

Added Peace of Mind

Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Inspyctiv® App and are compatible with major security panel systems.⁸ For more information, go to connectpella.com.

The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.²

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energyguide.gov.
² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty or contact Pella Customer Service.
³ Ratings are contingent on product configurations.
⁴ Color-matched to your product's interior and exterior color.
⁵ Flush multi-slide handle is a Pella exclusive design.
⁶ Flush multi-slide handle is not available in Champagne.
⁷ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.
⁸ Requires the Inspyctiv App on a smart device, an Inspyctiv Bridge and a wireless home router with internet connection.

VERTICAL SEAM

- Structural standing seam roof system
- Panel coverages: 12", 16" or 18"
- Rib height: 1-3/4"
- Gauges: 24 ga. standard; 22 ga. optional
- Snap-together panel system with factory-applied side-lap sealant
- Minimum roof slope over open framing 3:12
- Minimum roof slope over solid substrate 1:12
- Concealed clip designed for unlimited thermal movement

MINI-BATTEN

- Standing seam roof system
- Panel coverages: 12", 16" or 18"
- Rib height: 1" and 1-1/2" with a narrow batten cap
- Gauges: 24 ga. standard; 22 ga. optional
- Minimum roof slope: 3:12
- Concealed clip secures snap-on batten cap

CURVED 1" MINI-BATTEN

- Standing seam roof system
- Panel coverages: 12", 16" or 18"
- Gauges: 24 ga. standard; 22 ga. optional
- Minimum radius: 4'-0" pan and batten
- Concealed clip designed
- Whether it's an accent or an entire roof, Curved Mini-Batten panels give your project a unique look

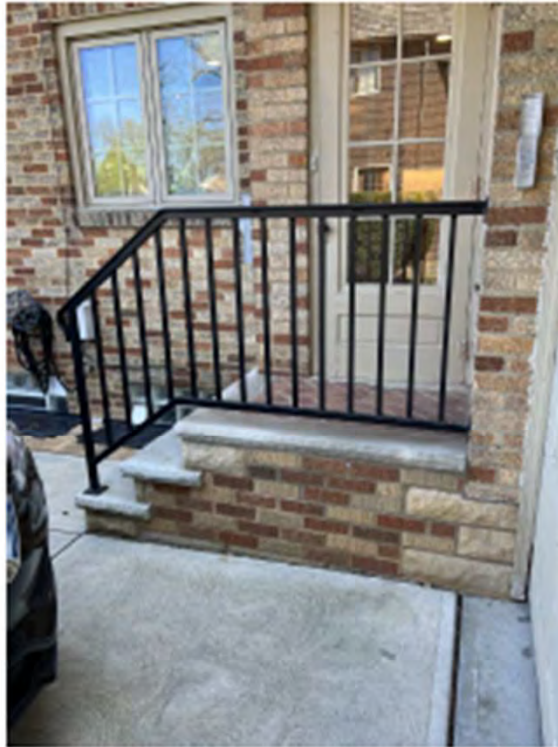


Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort



Existing Iron Railing - Custom (match)



Existing Iron Railing - Custom (match)

DATE: 06/11/2024
BY: JEFF LUTHEMAN
SHEET: 13/26

EXISTING PHOTOS

GRADY RESIDENCE
17401 EDGEWATER DRIVE
LAKEWOOD, OHIO 44107
DANE STREET STUDIO

E-4



Docket No. 5-44-24 (17401 Edgewater)

Residential Roof Addition - Fort

ZUMA

F6710-FRN

Zuma embraces its surroundings, taking cues from the natural world to inform its captivating silhouette. This candelabra style cage light features a delicate leaf detail climbing up the edges, revealing demure finials on each corner. Clear glass allows you to admire the candlestick lights clearly. Available in French iron or verdigris finish. Available as a one, two, or three-light wall sconce, and pendant in two sizes.

FINISHES

FRENCH IRON (FRENCH IRON)
VERDIGRIS (VER)

DIMENSIONS

Height: 21.25"
Width/Diameter: 10"
Minimum Height: 24.25"
Maximum Height: 93.25"
Canopy/Backplate: 6.5"
Hanging Type:
Product Weight: 15lb

GLASS

Attachment:
Glass 1: Glass
Glass 2:

LAMPING



Bulb 1
Socket: E12 Candelabra Base
Bulb: 4 • 60 Watt Max
Voltage: 120
UL Rating: UL Wet

SHIPPING

Carton 1: 13' x 13' x 24'
Carton 1 Weight: 15lb
Shipping Method: Ground

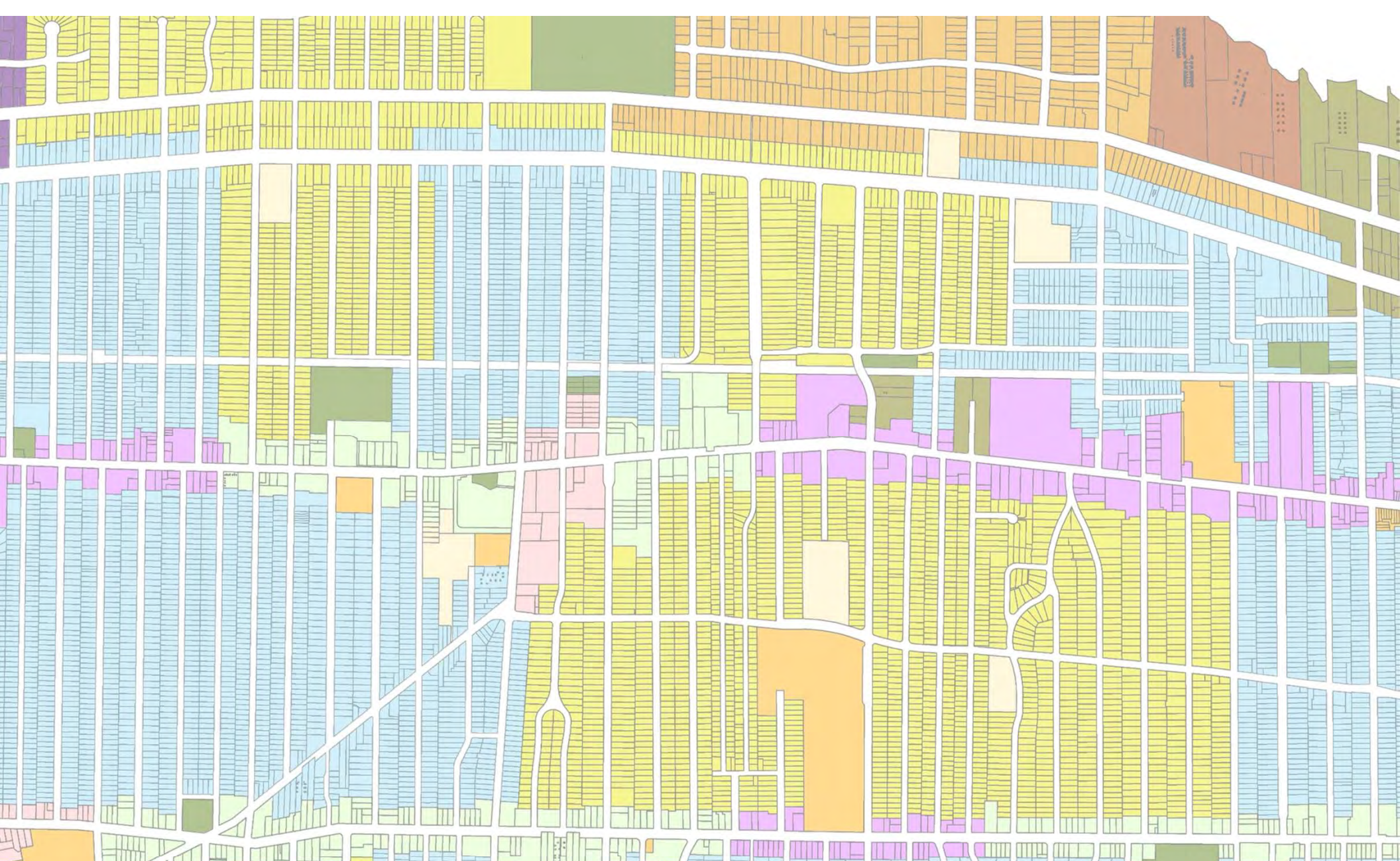


HUDSON VALLEY
LIGHTING GROUP | hvlgroup.com | 1.800.814.3993

REVISED 3.11.2022



Docket No. 5-44-24 (17401 Edgewater)
Residential Roof Addition - Fort



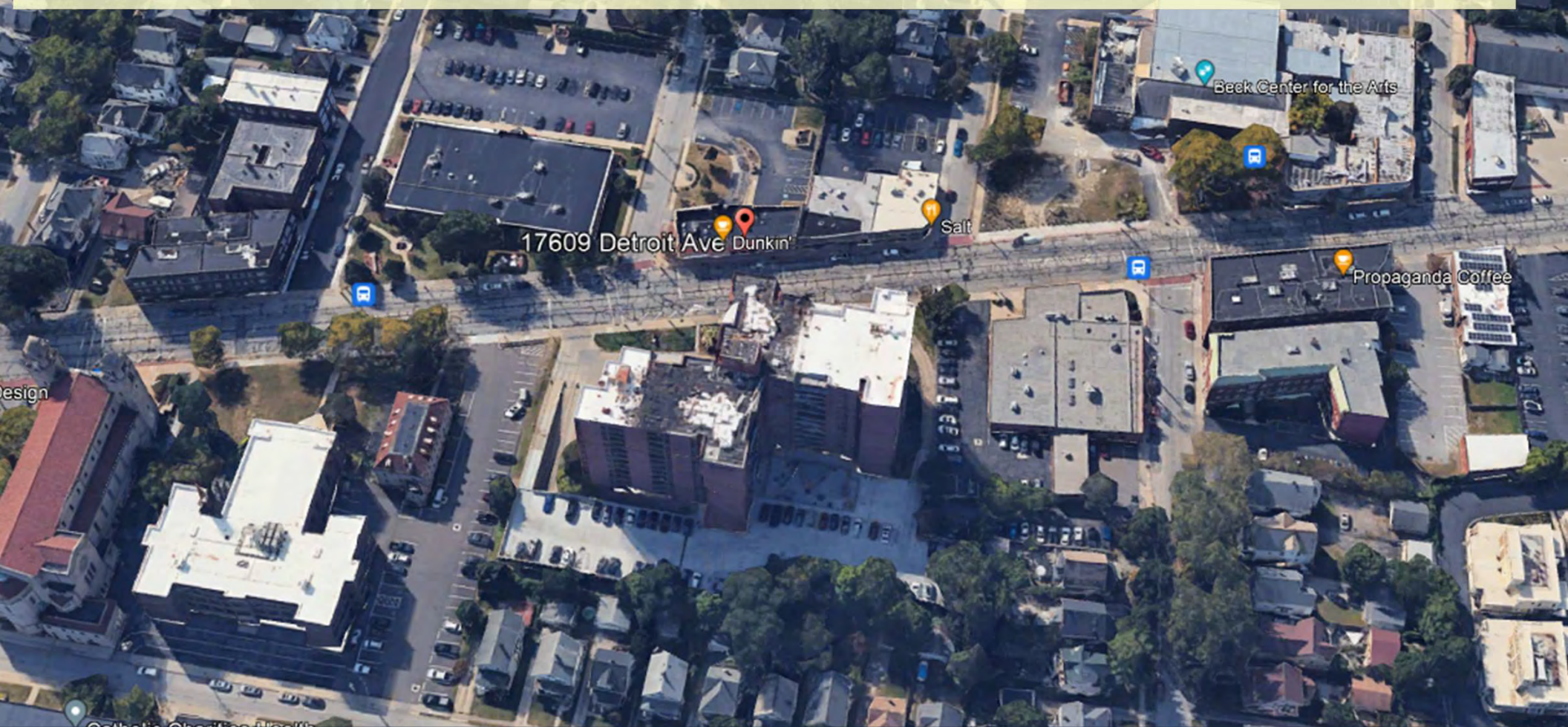
Architectural Board of Review

Sign Review – June 2024

Applicant proposes new signage.

City Notes:

- Applicant proposes illuminated channel letters on rail sign on front and rear of building.
- Frontage: 32 ft ; Max allowed square footage: 48 sq ft
- Total proposed square footage: 43.33 sq ft for front (31.6) and rear (11.7)



Docket No. 6-46-24 (17609 Detroit)

**New Signage – Hippie House
Aldo Dure**



BNEXT

Cleveland Office
5107 Clark Ave.
Cleveland, Ohio 44102
216-688-1800

TEXT 216-487-7770 TO CHAT NOW!
Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: HIPPIE HOUSE

CONTACT:

ADDRESS: 17609 DETROIT LAKEWOOD OHIO

DRAWING: 0000154

DATE: 01-24-2024

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: HIPPIE HOUSE / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	01-24-24
Design	Juan J. Monsanto	01-24-24

JOB DESCRIPTION

ILLUMINATED CHANNEL LETTERS ON RAIL

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:



HIPPIE HOUSE

SMOKE • VAPE • GIFT SHOP

17609 Detroit Lakewood Ohio

1



Docket No. 6-46-24 (17609 Detroit)



BNEXT

Cleveland Office
 5109 Clark Ave.
 Cleveland, Ohio 44102
 216-688-1800
 TEXT 216-407-7711 TO CHAT NOW!
 | Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: HIPPIE HOUSE

CONTACT:

ADDRESS: 17609 DETROIT LAKEWOOD OHIO

DRAWING: 0000154 DATE: 01-24-2024

REPRESENTATIVE: Aldo Dure | aldodure2000@gmail.com

FILE: HIPPIE HOUSE / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	01-24-24
Design	Nicole Concepcion	01-24-24

JOB DESCRIPTION

ILLUMINATED CHANNEL LETTERS ON RAIL

ILLuminated cloud sign on rail for "HIPPIE HOUSE"
 mounted flush, cloud channel Letters & bar faces to be 3/16" WHITE
 ACRYLIC with translucent vinyl ORACAL 8500 #053 Light Blue
 1" BLACK trim cap.
 5" BLACK Returns for cloud channel Letters
 Raceway painted to match facade TBD.

I have reviewed the artwork and approve that everything is 100%
 correct and give my permission to move forward with this project.
LANDLORD SIGNATURE:
 (PROPERTY OWNER OR AUTHORIZED AGENT)
 DATE:

I have reviewed the artwork and approve that everything is 100%
 correct and give my permission to move forward with this project.
CLIENT SIGNATURE:
 DATE:

ILLUMINATED CHANNEL LETTERS ON RAIL SIGN **A**

32'0 FRONTAGE



SURVEY NEEDED TO
 VERIFY DIMENSIONS
 BASED ON
 ARCHITECTURAL RENDERINGS
 NEED SIGN PLACEMENT APPROVAL

COLOR SPECIFICATIONS

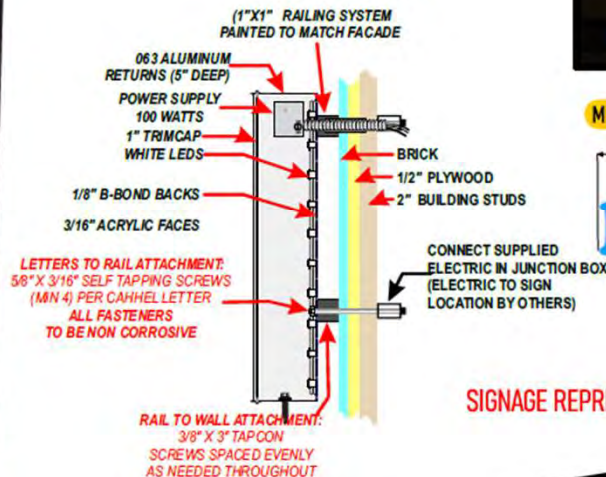
- 3/16" WHITE ACRYLIC
- 1/8" WHITE B-BOND BACKS
- 1" BLACK TRIMCAP
- 063 BLACK ALUMINUM RETURNS
- PAINT TO MATCH FACADE TBD
- ORACAL 8500 #053 Light Blue

Customer Initials
 to approve colors

This drawing and the concepts
 contained herein are the
 exclusive property of
 BNEXT DESIGN Signs and are
 not to be shared without our
 expressed written consent.
 All rights are retained.



SIDE VIEW



MEASUREMENT SIGN **A**



SIGNAGE REPRESENTS 30'6 SQ FT

2



Docket No. 6-46-24 (17609 Detroit)



ILLUMINATED CHANNEL LETTERS ON RAIL SIGN **C**

BNEXT

Cleveland Office
5109 Clark Ave.
Cleveland, Ohio 44132
216-688-1800

TEXT 216-487-7771 TO CHAT NOW!
Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: HIPPIE HOUSE

CONTACT:

ADDRESS: 17609 DETROIT LAKEWOOD OHIO

DRAWING: 0000154

DATE: 01-24-2024

REPRESENTATIVE: Aldo Dure | aldodure2000@gmail.com

FILE: HIPPIE HOUSE / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	01-24-24
Design	Nicole Concepcion	01-24-24

JOB DESCRIPTION

ILLUMINATED CHANNEL LETTERS ON RAIL

ILLUMINATED cloud sign on rail for "HIPPIE HOUSE"
mounted flush, cloud channel letters & bar faces to be 3/16" WHITE
ACRYLIC with translucent vinyl ORACAL 8500 #053 Light Blue
1" BLACK trim cap,
5" BLACK Returns for cloud channel letters.
Raceway painted to match facade TBD.

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:
DATE:



SIGN **1**

SURVEY NEEDED TO
VERIFY DIMENSIONS

BASED ON
ARCHITECTURAL RENDERINGS

NEED SIGN PLACEMENT APPROVAL

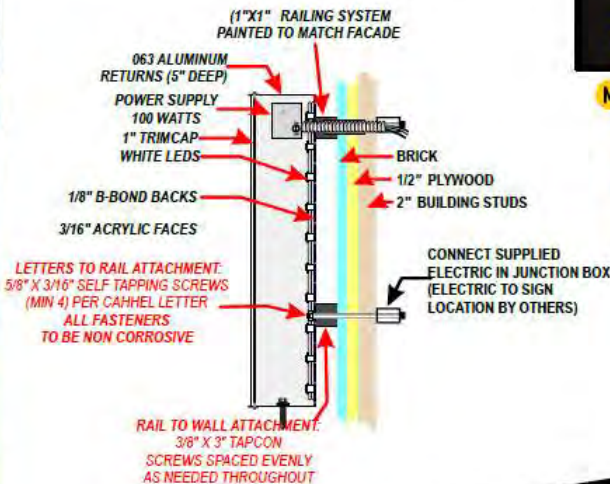
COLOR SPECIFICATIONS

- 3/16" WHITE ACRYLIC
- 1/8" WHITE B-BOND BACKS
- 1" BLACK TRIMCAP
- 063 BLACK ALUMINUM RETURNS
- PAINT TO MATCH FACADE TBD
- ORACAL 8500 #053 Light Blue
- ORACAL 8500 #013 Zinc Yellow

Customer Initials
to approve colors

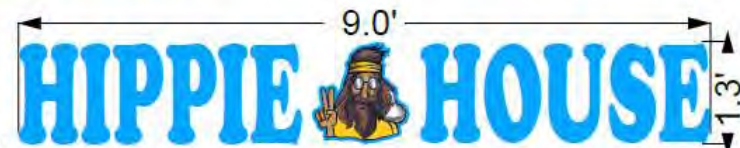
This drawing and the concepts contained herein are the exclusive property of BNEXT DESIGN Signs and are not to be shared without our expressed written consent. All rights are retained.

SIDE VIEW



NIGHT VIEW SIGN **2**

MEASUREMENT SIGN **3**



SIGNAGE REPRESENTS 11.7' SQ FT

4



Docket No. 6-46-24 (17609 Detroit)



BNEXT

Cleveland Office

5109 Clark Ave.
Cleveland, Ohio 44102
216-688-1800

TEXT 216-407-7711 TO CHAT NOW!
| Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: HIPPIE HOUSE

CONTACT:

ADDRESS: 17609 DETROIT LAKEWOOD OHIO

DRAWING: 0000154 DATE: 01-24-2024

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: HIPPIE HOUSE / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	01-24-24
Design	Nicole Concepcion	01-24-24

JOB DESCRIPTION

VIEWS

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

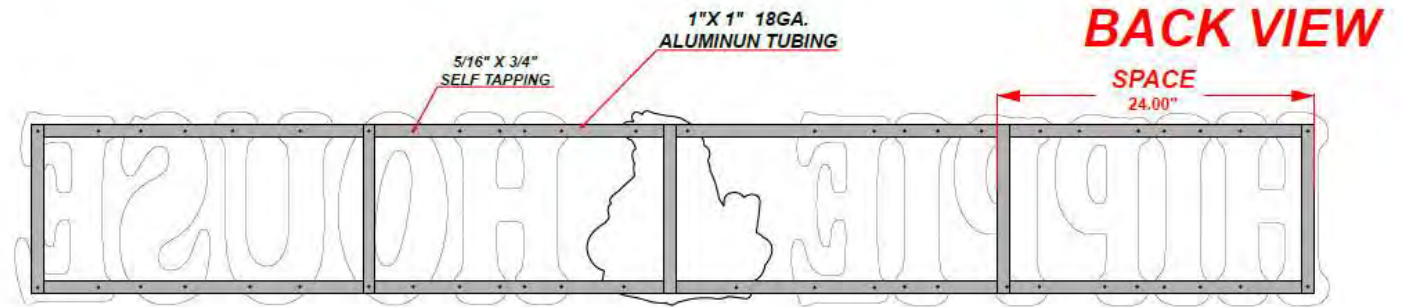
LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:





BNEXT

Cleveland Office
5109 Clark Ave.
Cleveland, Ohio 44132
216-688-1800

TEXT 216-487-7711 TO CHAT NOW!
Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: HIPPIE HOUSE
CONTACT:

ADDRESS: 17609 DETROIT LAKEWOOD OHIO

DRAWING: 0000154 DATE: 01-24-2024

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: HIPPIE HOUSE / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	01-24-24
Design	Juan J. Monsanto	01-24-24

JOB DESCRIPTION

SITE PLAN

SIGN LOCATION - A
SIGN LOCATION - B

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.
LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)
DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.
CLIENT SIGNATURE:
DATE:

SIGN PHOTOS OF THE SURROUNDINGS

front of the premises



Applicant proposes new signage.

City Notes:

- Applicant proposes 1 illuminated wall sign (72 sq ft) and 1 blade sign (10.5 sq ft).
- Frontage: 60 ft ; Max allowed square footage: 90 sq ft
- Total proposed square footage: 82.5 sq ft
- Existing signage for other units is 48 sq ft.



Docket No. 6-47-24 (12501 Madison)
New Signage – Birdietown
Dean Guernsey



Docket No. 6-47-24 (12501 Madison)

MAIN SIGN

Birdietown

MINI GOLF + LOUNGE

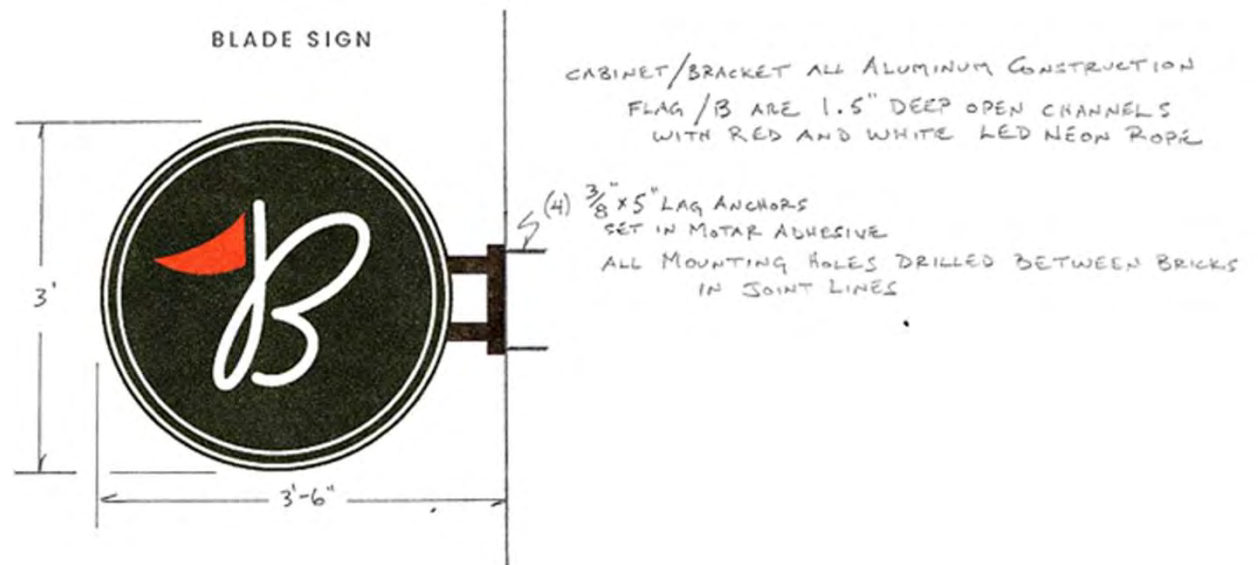
BLADE SIGN



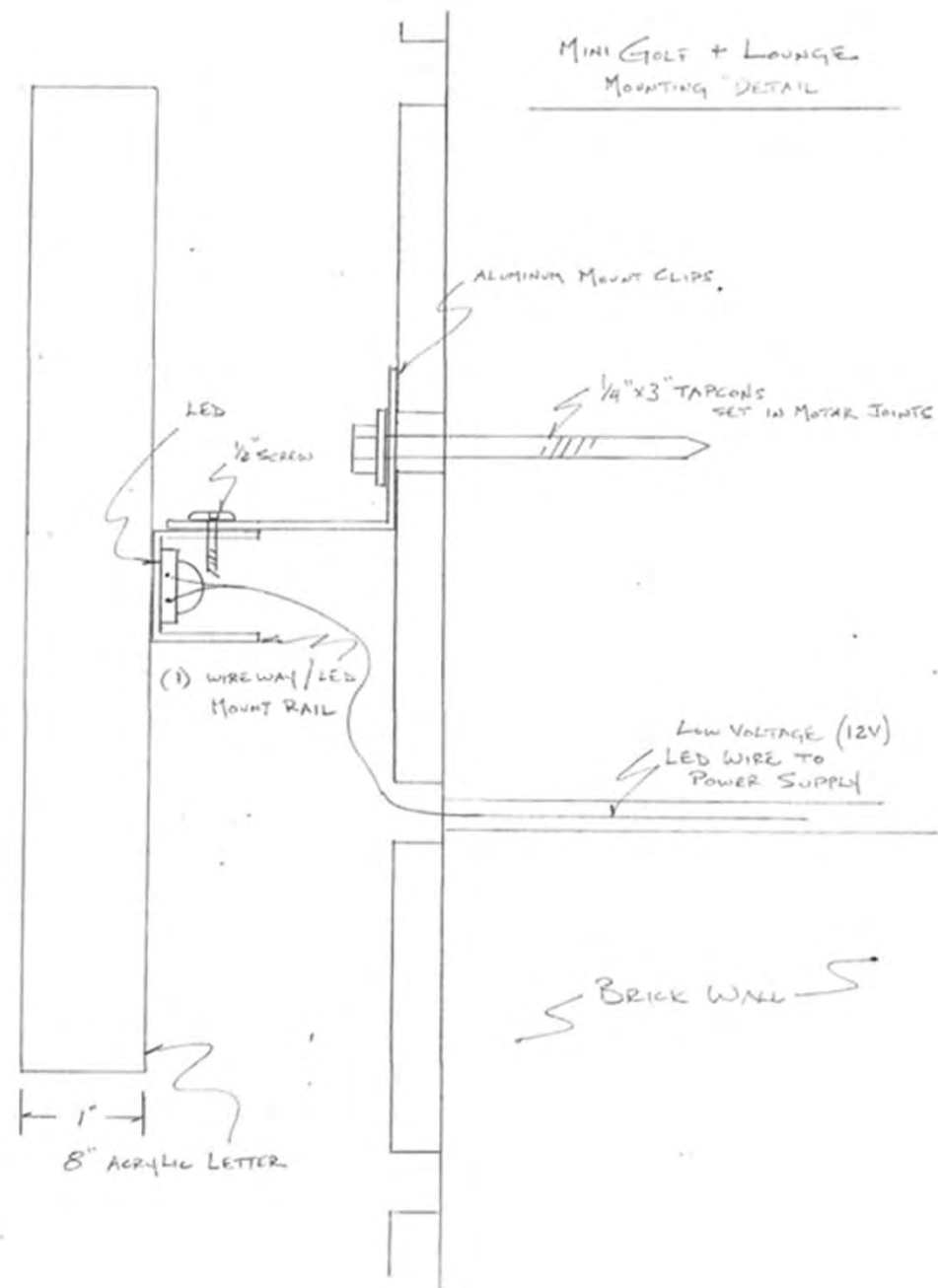
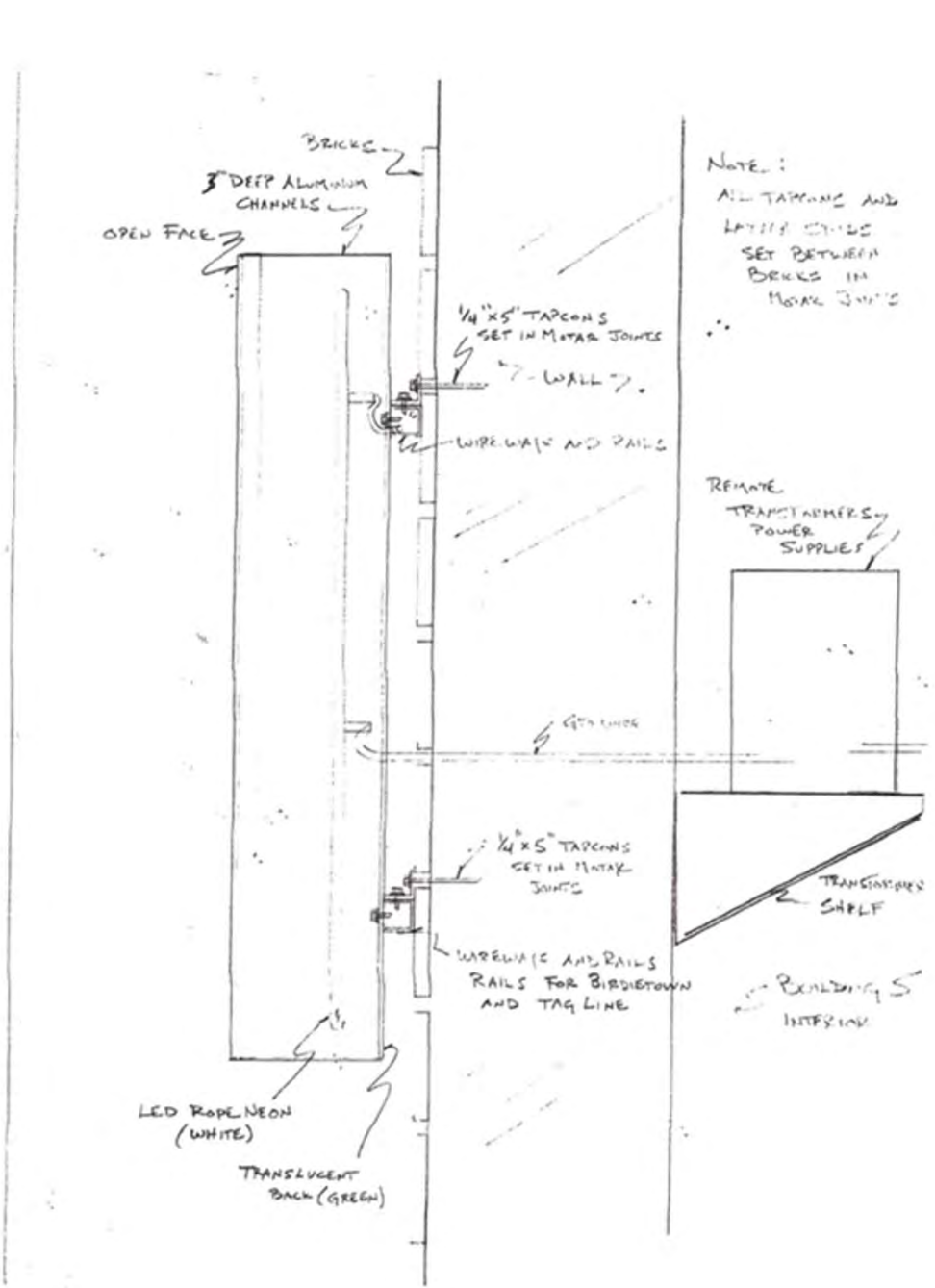
City of Lakewood
Approved Plans
S24-000023
Christopher Parmelee
04/29/2024



Docket No. 6-47-24 (12501 Madison)



Docket No. 6-47-24 (12501 Madison)



Docket No. 6-47-24 (12501 Madison)

Applicant proposes new vinyl window graphics.

City Notes:

- Signage already installed
- Frontage: 80 ft ; Max allowed square footage: 100 sq ft
- Max allowed window coverage: 31.05 sq ft
- Total proposed square footage: 52 sq ft for windows and doors, 30.25 sq ft for monument sign = 82.25



Docket No. 6-48-24 (17500 Madison)

New Signage – Comfort Dental Redmond Doyle

ADDITIONAL INFORMATION / PHOTOS

ADDRESS:
17500 MADISON AVE.
LAKEWOOD, OHIO, 44107

207 SQFT = TOTAL WINDOW AREA
30.25 SQFT (DOUBLE SIDED) = MONUMENT AREA



TOTAL COVERAGE FOR LEFT DOOR PANEL: 22 SQFT

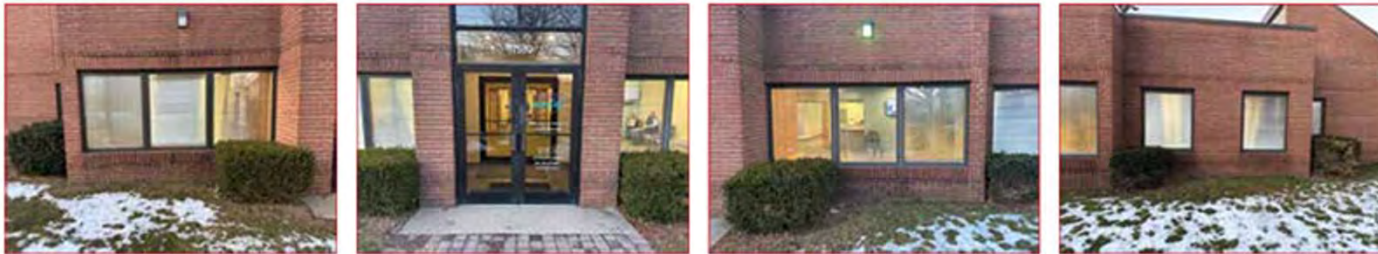
TOTAL COVERAGE FOR NEW PROPOSED WINDOW GRAPHICS: 21.6 SQFT

TOTAL PROPOSED GRAPHICS: 52 SQFT

ADDITIONAL INFORMATION / PHOTOS

ADDRESS:
17500 MADISON AVE.
LAKEWOOD, OHIO, 44107

BEFORE:



AFTER:



CONTEXTUAL PHOTOS OF THE REST OF THE BUILDING/AREA



FRONT ELEVATION

ADDRESS:
17500 MADISON AVE.
LAKEWOOD, OHIO, 44107

SIGN 1 @ W: 123" X H: 53" - PER WINDOW



SIGN 1 | QTY-2:
60/40 HD PERFORATED WINDOW VINYL

(SIGN 2 @ W: 27" X H: 71")



SIGN 2:
60/40 HD PERFORATED WINDOW VINYL

(SIGN 3 @ W: 25" X H: 40")



SIGN 3:
SELF ADHESIVE VINYL

TENANT FRONTAGE: 90 FT

TOTAL SQFT FOR SIGN 1 (QTY 2): 45.27 SQFT

TOTAL SQFT FOR SIGN 2: 13.3125 SQFT

TOTAL SQFT FOR SIGN 3: 6.94 SQFT



Description: 40/60 perforated window film to be applied to 7 of the front facing windows - which includes one window pane of the glass doors - covering the window while still allowing some visibility. One door panel with self adhesive vinyl lettering adhered to the glass. Existing signage that was there prior have been removed to allow the new signage to go up, and perforated vinyl to go on windows that were previously empty, but vision into them was blocked by window blinds

Please review this proof carefully. It details every aspect of the sign construction and installation. Following proof approval any alterations will constitute a change order and may be subject to additional charges.



SPECIFICATIONS | MOUNTING

ADDRESS:
17500 MADISON AVE.
LAKEWOOD, OHIO, 44107

SIGN 1:

- QTY 2 SETS OF 40/60 (40% OPEN) PERFORATED WINDOW FILM. APPLIED DIRECTLY TO THE GLASS SURFACE OF 7 GLASS WINDOWS/DOOR PANES OF THE FRONT PORTION OF THE BUILDING
- TOTAL MEASUREMENTS FOR ONE FULL SET OF WINDOWS WITH 3 PANES IS: W:123" X H:53"

SIGN 2:

- QTY 1 SET OF 40/60 (40% OPEN) PERFORATED WINDOW FILM. APPLIED DIRECTLY TO THE GLASS SURFACE. TO COVER ONLY ONE DOOR OF THE TWO GLASS DOOR ENTRY.
- TOTAL MEASUREMENTS FOR ONE GLASS DOOR PANE IS: W:27" X H: 71"

SIGN 3:

- QTY 1 SET OF SELF ADHESIVE VINYL. DISPLAYING THE LOGO & OFFICE INFORMATION OF THE BUILDING.
- TOTAL MEASUREMENTS FOR VINYL IS: W: 25" X H: 40"



60/40 Perf Pattern
(40% open)





City of Lakewood ; Project Letter for 17500 Madison Ave.

FASTSIGNS of North Olmsted was requested by Comfort Dental, to produce and install perforated window vinyl at the dental office location.

The perforated vinyl is applied to the outside of the glass. It provides privacy for the dental patients and allows the office staff to see outside.

The customer had been using white window blinds to provide privacy and sun protection. They wanted to add the 'privacy vinyl' to the windows and offer a 'pedestrian friendly' and impactful message to the area.

In error, FASTSIGNS of North Olmsted did not seek ABR/Sign Review Board permission before installing the vinyl.

The contextual photos of the neighborhood, pictures of the windows before the vinyl installation, site plan for the building, sign elevations, proofs and specifications and mounting plans are attached.

It appears that the dimensions of the window vinyl graphics may exceed the 15% limitation.

We are seeking approval for the graphics as described, and to apply for the sign permit, as they have been installed.

We appreciate any consideration the Review Board can give to the concept and approval of the window graphics requested.

Thank you very much,

Redmond Doyle, owner

FASTSIGNS of North Olmsted 24181 Lorain Rd North Olmsted OH 44070

440-979-0025, email:141@fastsigns.com

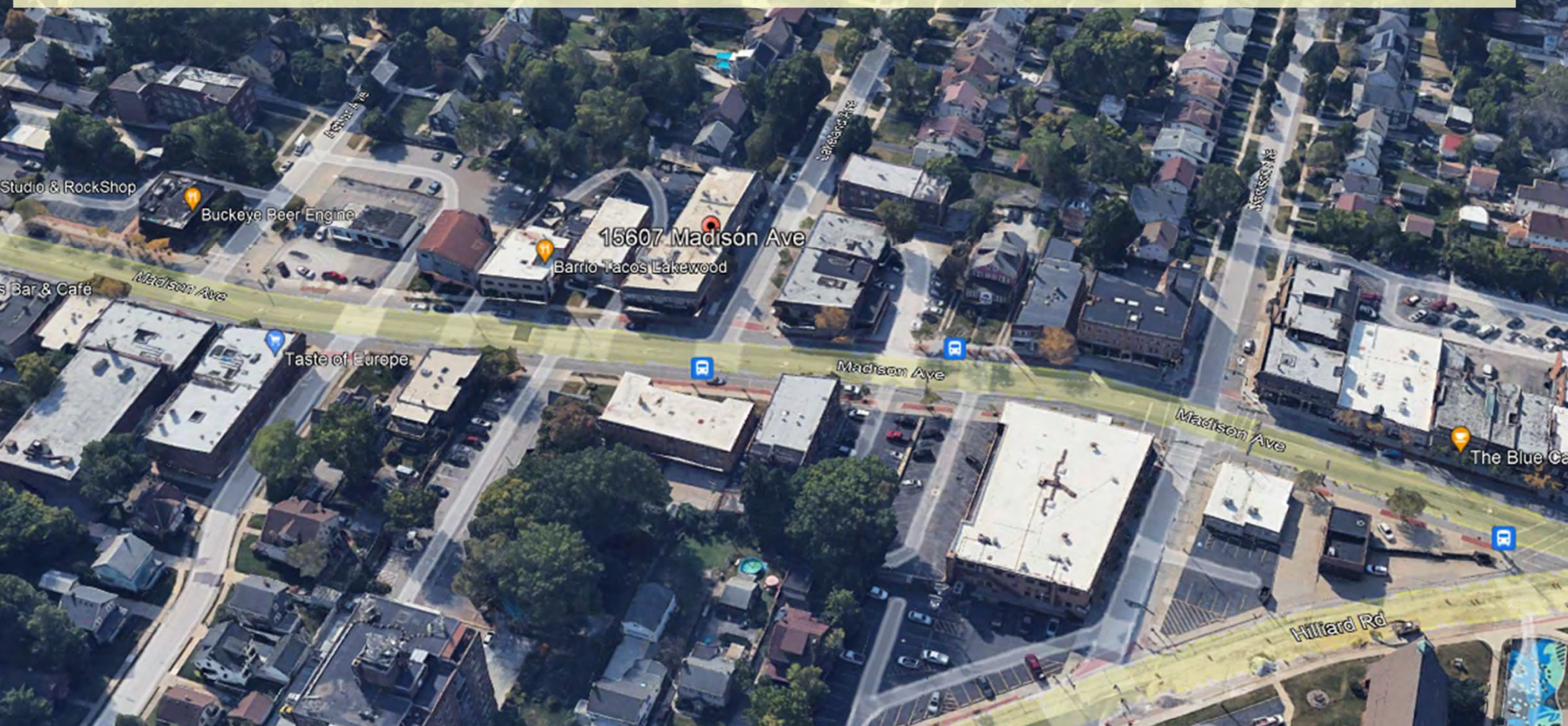


Docket No. 6-48-24 (17500 Madison)

Applicant proposes a new wall sign and blade sign.

City Notes:

- Applicant proposes new wall sign (42.7 sq ft) and blade sign (20 sq ft)
- Frontage: 65 ft ; Max allowed square footage: 97.5 sq ft
- Total proposed square footage: 62.7 sq ft



Docket No. 6-49-24 (15607 Madison)
New Signage – Doc Lanky's
Steven Foster

Existing



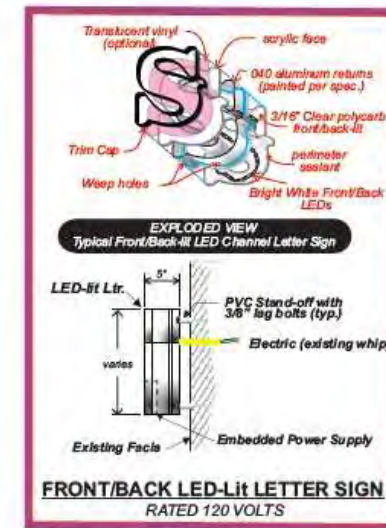
Proposed



Front & Back-Lit Channel Letter Sign
(Rail-mounted)



Double-Side Blade Sign
(Existing Frame and External Illumination)



This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

NOTE: Renderings are approximate representations of final production.

SCF
THE SIGN & GRAPHICS FIRM
 Steven Foster
 216.390.0198
 sfoster09@gmail.com
 BUSINESS NAME:
DOC LANKY'S LLC
 ADDRESS:
 15607 Madison Ave.
 Lakewood, OH 44107
 6-5-24

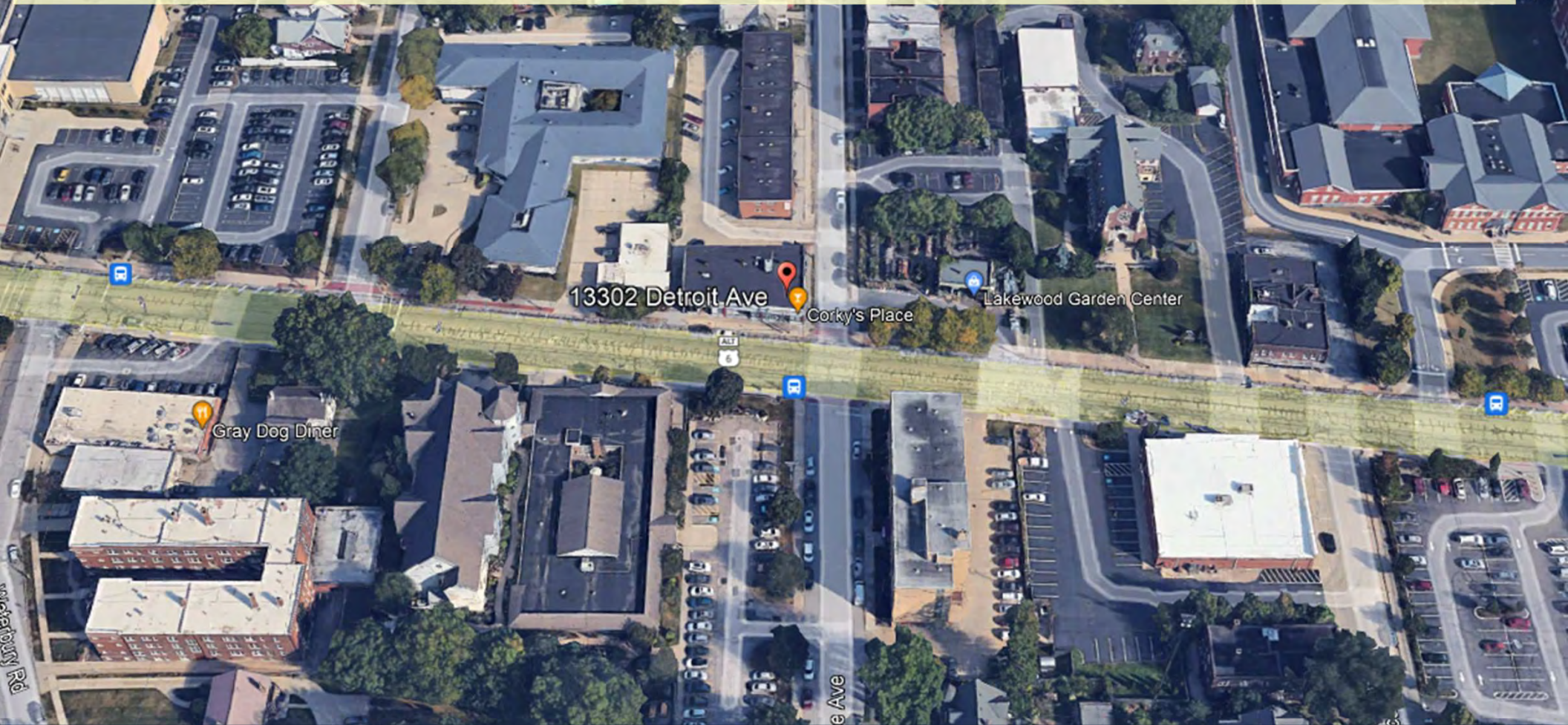


Docket No. 6-49-24 (15607 Madison)

Applicant proposes new wall and window signage.

City Notes:

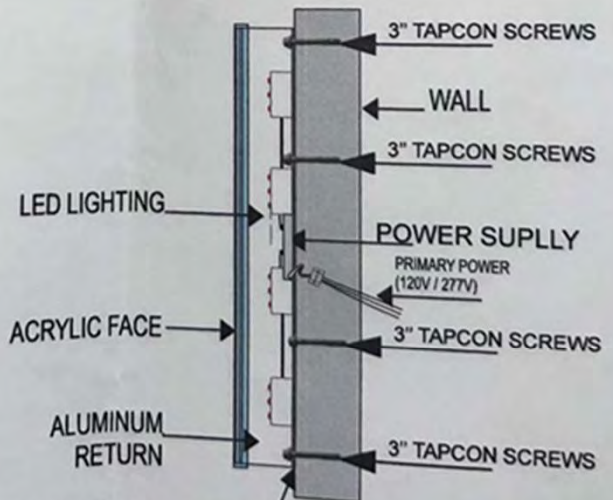
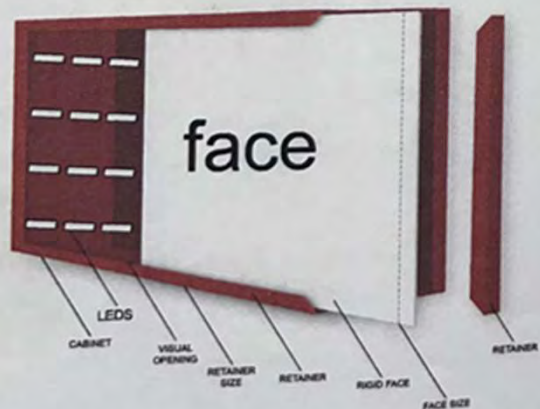
- Applicant is proposing 1 wall sign (20 sq ft) and 1 window sign (Smoke Shop) (3.4 sq ft) to be removed
- Frontage: 13.75 ft ; Max allowed square footage: 20.6 sq ft
- Total proposed square footage: 20 sq ft



Docket No. 6-50-24 (13302 Detroit)

**New Signage – Cloud City Smoke Shop
Sam Baadani**





ALUMINUM OR POLYMETAL STAPLED, WELDED, OR RETURNS

TOTAL SCREWS (12) TAPCON SCREWS

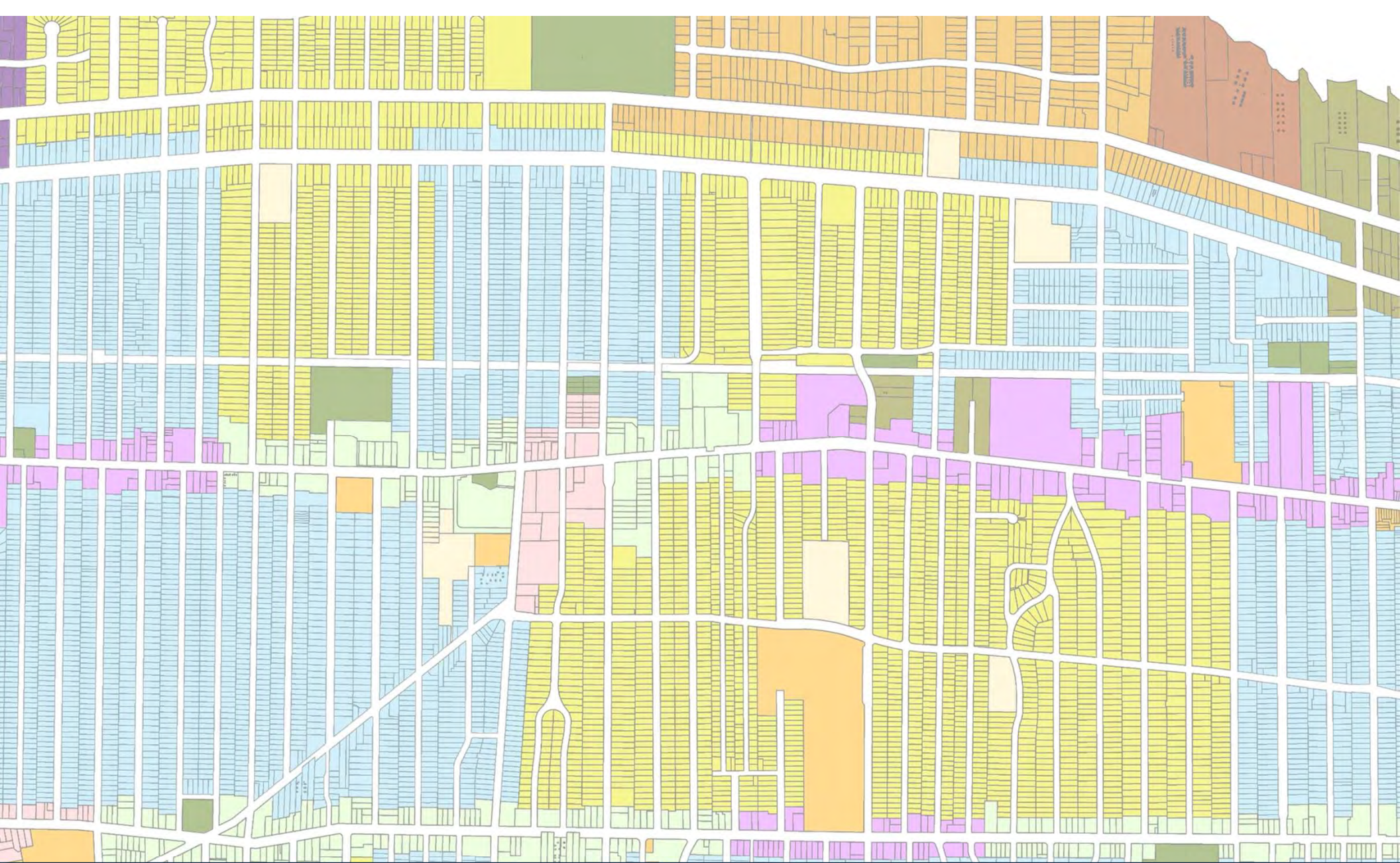


Docket No. 6-50-24 (13302 Detroit)



Docket No. 6-50-24 (13302 Detroit)





Architectural Board of Review

June 2024

Applicant proposes a planned development.

City Notes:

Applicant request to table



Docket No. 6-58-24 (Irene and Donald Ave)

**Planned Development
Susan Broadwater**

1156.01 – Purpose (Planned Development)

- ❑ Promote development that is:
 - **Innovative;**
 - **Integrated with surrounding uses; and**
 - **Shows sensitivity to cultural, environmental, and economic considerations**

- ❑ Development which is consistent with the **Community Vision** including:
 - **More compact development**
 - **Pedestrian-friendly site design**
 - **Urban street character**
 - **Energy-efficient design**
 - **Industry best practices**



Applicant proposes a mixed-use development.

City Notes:

- ❑ Planning Commission 6/6



Docket No. 6-57-24 (16000 Detroit)
Mixed-Use Development
Michael Christoff

Planning Commission Comments, June 6th Meeting

- Confirmation of setbacks for both buildings.
- Submission of Traffic Management Plan.
- More site-level information & details on pedestrian circulation (especially in relation to moving from parking to retail space & resident amenities).
- Consideration for internal vehicle circulation in south parking lot design (may require loss of 8 spaces).
- Consideration of outlet drive to Cranford as green/open space vs. parking/drive lane (may not be feasible based on circulation/parking requirements).
- Design treatment/landscaping of first-floor residential units (South Building) facing Detroit.
- Consideration of streetscape furniture in support of the retail space (benches, etc.).
- Requested coordination between this proposal and the bank proposal in terms of site-level design (vehicular/pedestrian flow) and the potential for shared parking (as they intend to submit for parking plan/exception to maximums).



Docket No. 6-57-24 (16000 Detroit)

North Building

- Adjusted the parking layout to include an east-west connection through the parking lot and better connectivity to Cranford Avenue
- Modified the landscaping along the south side of the building to provide more pavement outside the retail space for future tenant improvements.
- Added a context elevation on Brockley Avenue, showing the relationship of the new building to the homes immediately north. Noted required and provided setbacks. Clarified the location of the new fence.
- Coordinated the architectural site plan and civil layout plan to show the same proposed setback off the Detroit Avenue right-of-way.



South Building

- Redesigned the south parking lot with one curb cut on Rosewood and one curb cut on Orchard Grove. Improved pedestrian experience on both streets with continuation of sidewalk, tree lawn and parking landscape buffer. Improved alignment of north-south paths through the parking lot for residences to the south building entrances.
- Revised the windows on the north half of the east and west elevations to continue the more storefront-like fenestration that is on the Detroit Avenue face of the building.
- Added landscape walls at the Rosewood/Detroit, Orchard Grove/Detroit, and main building entrance on Detroit Avenue to provide a more formal, urban edge to the building. Added benches between the entrance walls and Rosewood/Detroit corner walls.
- Added a context elevation on Detroit Avenue of the north face of the building, showing relative heights to the existing building to the east. Note that the proposed new 4-story building is only approximately 8' taller than the adjacent 3-story building.
- Added a context elevation on Rosewood, showing the relationship between the new building and the homes immediately south.



vocon.

CITY OF LAKEWOOD ARB PLANNING SUBMISSION

newbrook
PARTNERS

TKG
THE KRUEGER GROUP

LAKEWOOD DETROIT LLC

16000 & 15801 DETROIT AVENUE | LAKEWOOD, OH

Docket No. 6-57-24 (16000 Detroit)



Applicant proposes new construction of a residential structure in a R.

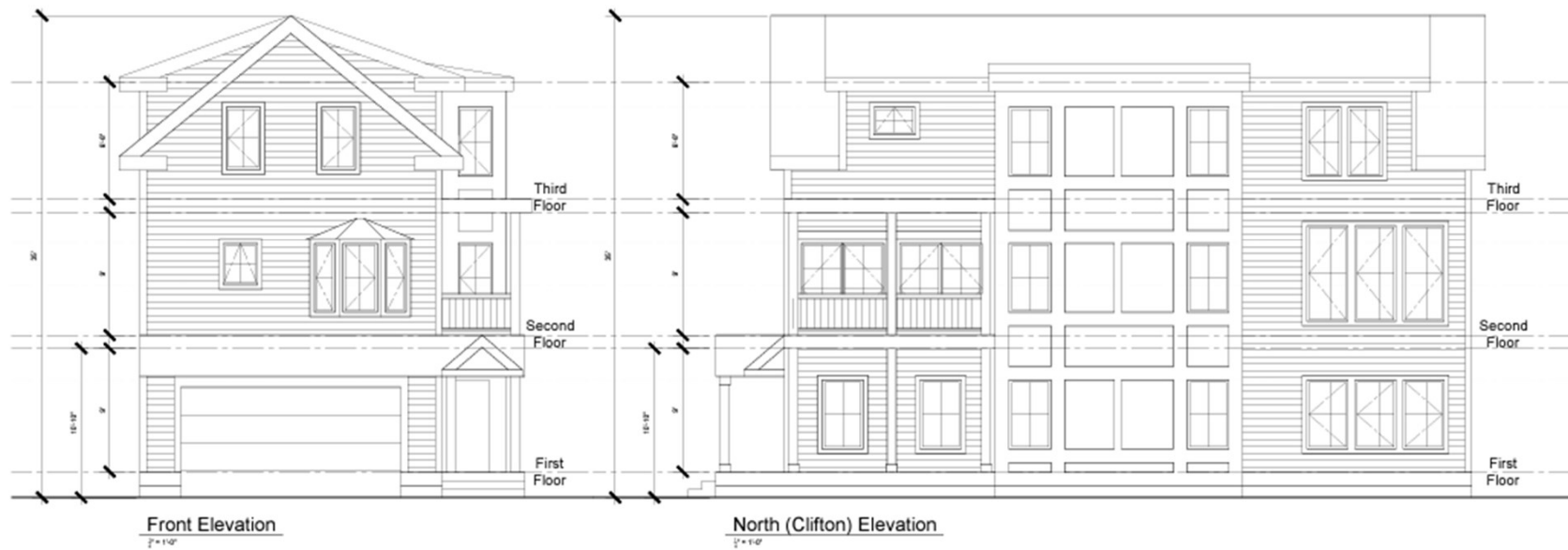
City Notes:

Applicant request to table

1114 Forest Rd

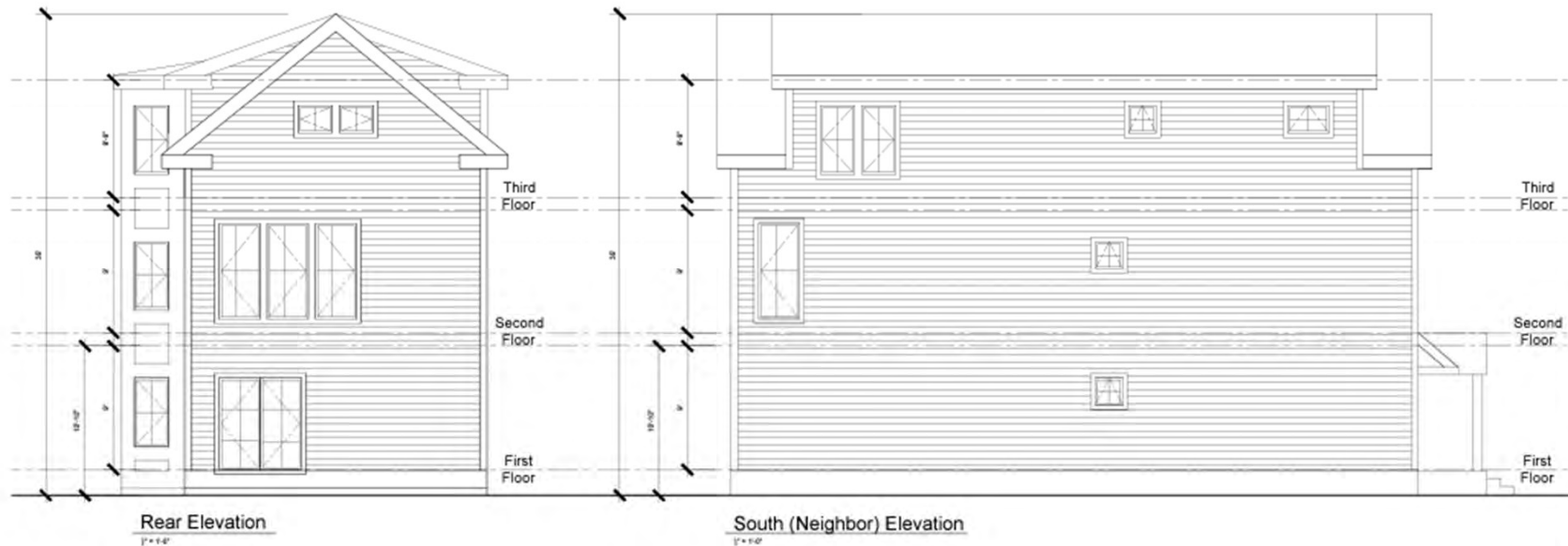


Docket No. 6-51-24 (1114 Forest)
Residential New Construction
David Maniet



Front Elevation
1/4" = 1'-0"

North (Clifton) Elevation
1/4" = 1'-0"



Rear Elevation
1/4" = 1'-0"

South (Neighbor) Elevation
1/4" = 1'-0"

- WALL TYPES**
- 1) EXTERIOR 2X6 WOOD STUD WALL @ 24" O.C. GYPSUM INTERIOR
 - 2) INTERIOR 2X4 WOOD STUD WALL @ 16" O.C. GYPSUM BOARD FINISH
 - 3) INTERIOR 2X4 WOOD STUD WALL @ 16" O.C. GYPSUM BOARD FINISH
- NOTE: USE GREEN BOARD GYPSUM IN BATHROOMS, LAUNDRY ROOM, AND KITCHEN
- WALL LEGEND**
- NEW STUD WALL
 - ▨ FOUNDATION WALL

MA
MANIET
ARCHITECTS

412.720.0424
DavidJManiet@gmail.com

Name / Project Address
Leon Residence
1114 Forest Road
Lakewood, Ohio 44107

Scale for Design Phase	Sheet
Date: 3/23/2014	A3
Drawn By: DJM	



Docket No. 6-51-24 (1114 Forest)

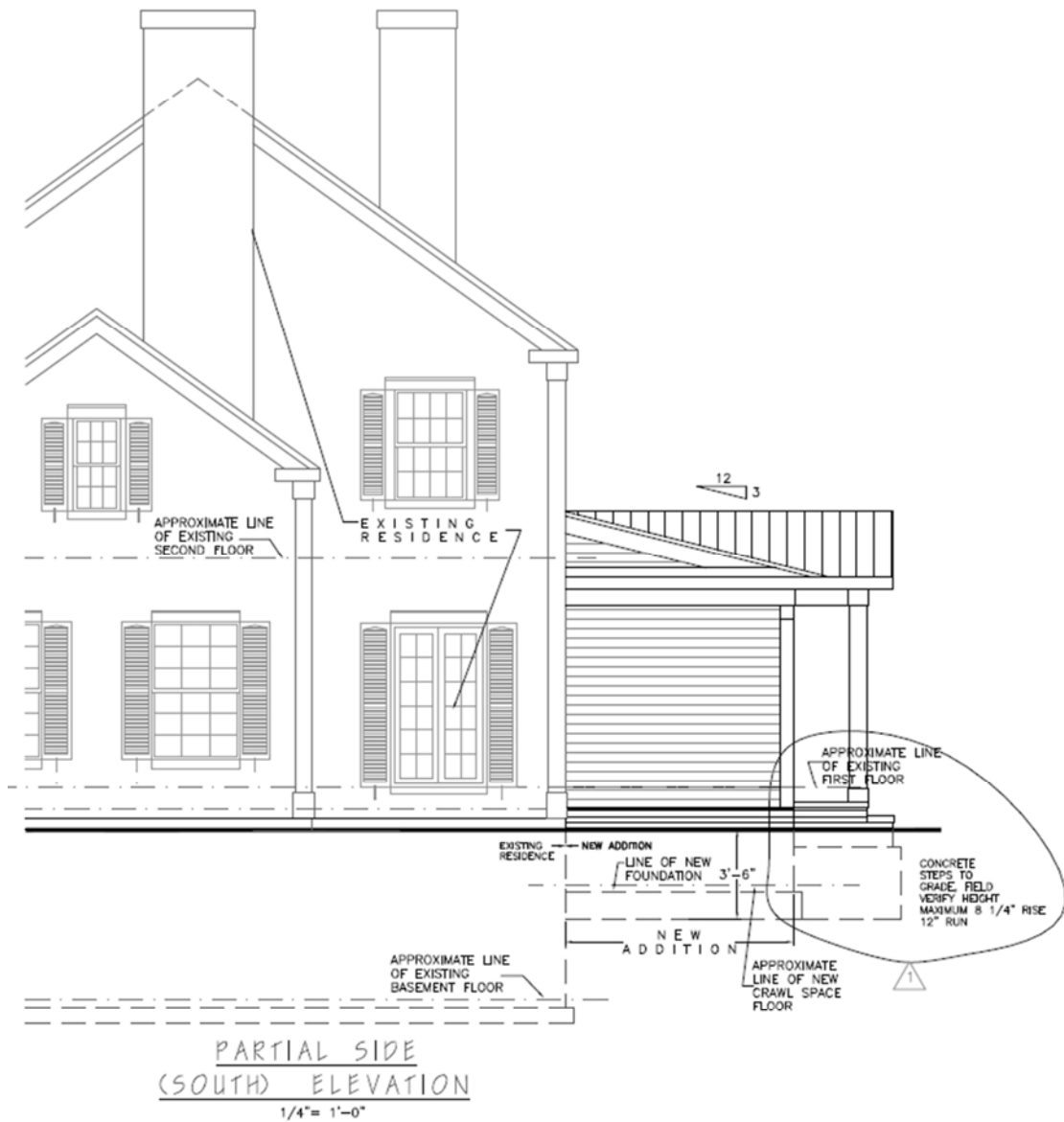
Applicant proposes addition to residential structure in R1L district.

City Notes:



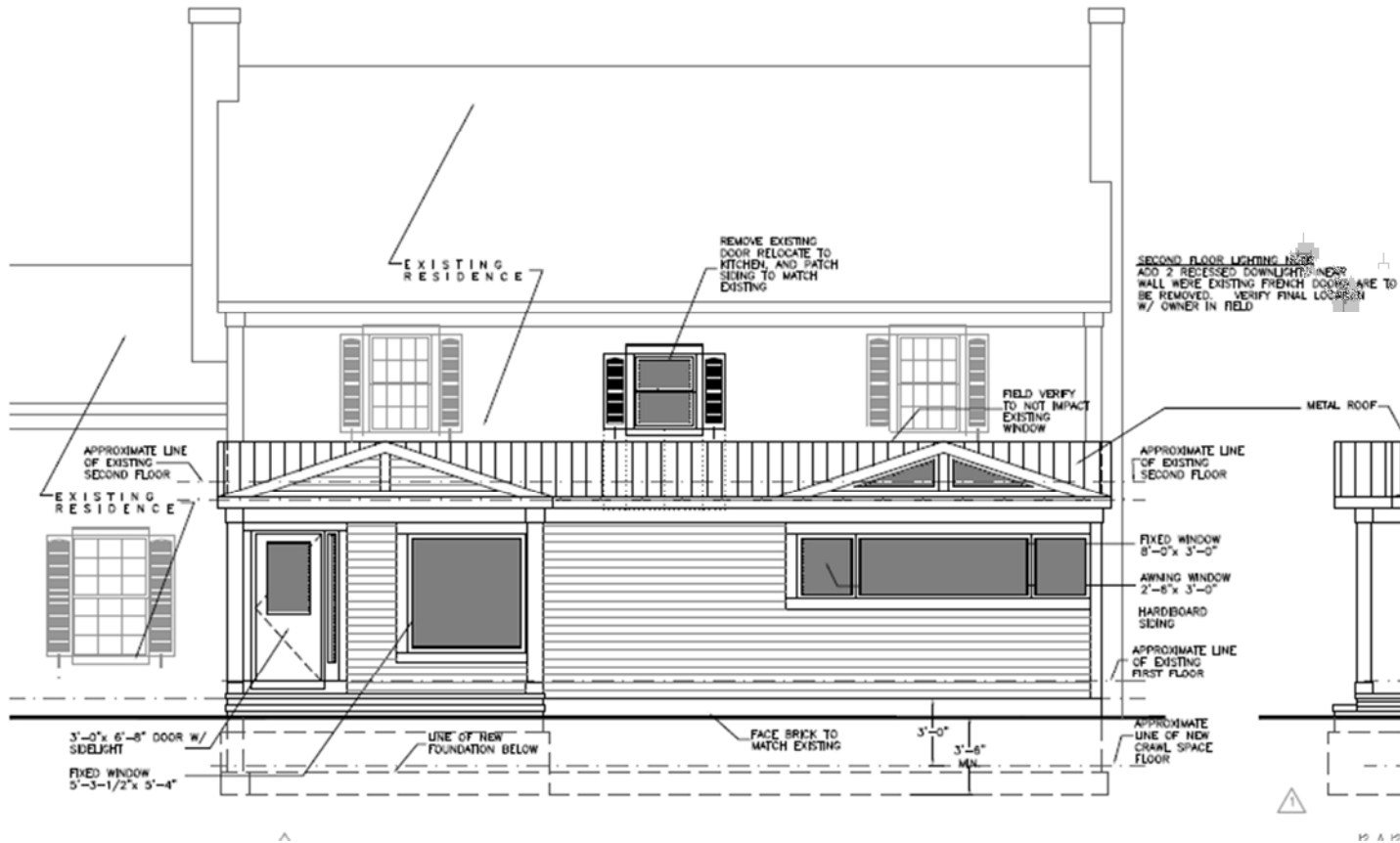
Docket No. 6-52-24 (18097 Clifton)
Residential Addition
Josh Kaye





Docket No. 6-52-24 (18097 Clifton)

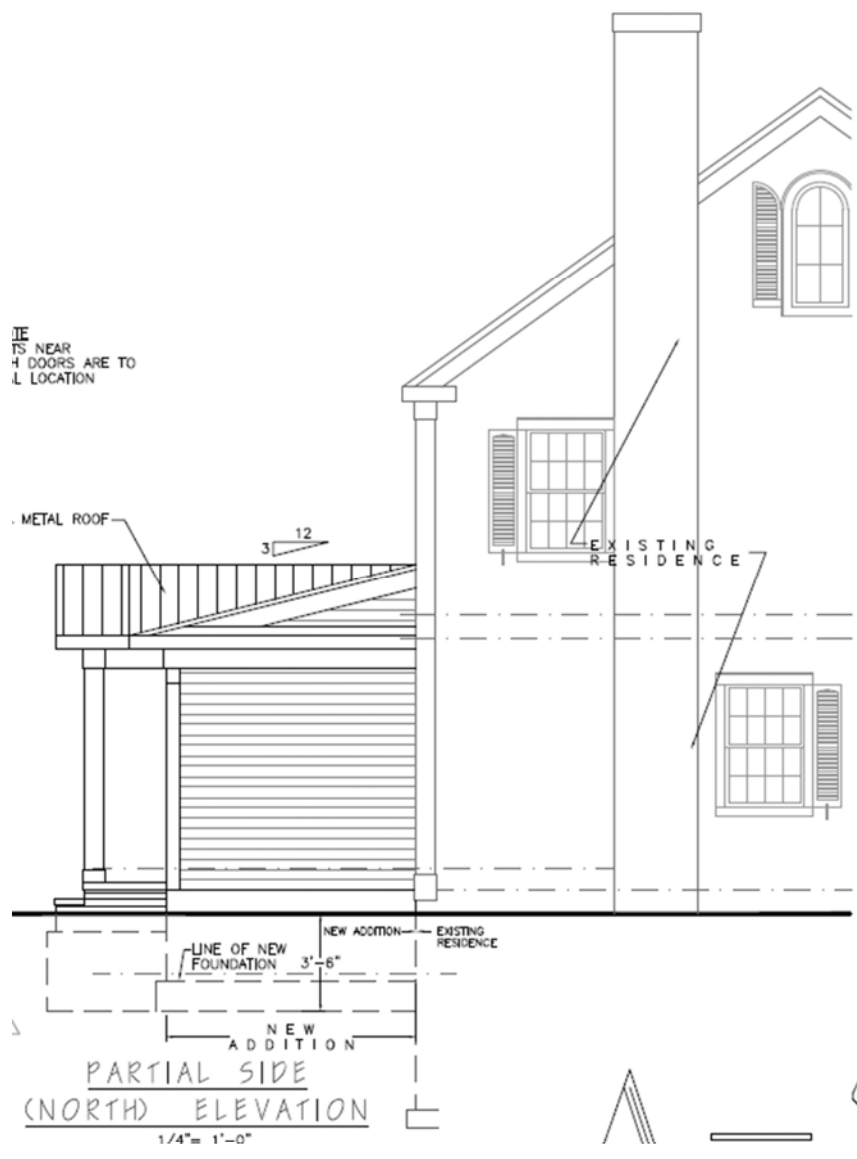
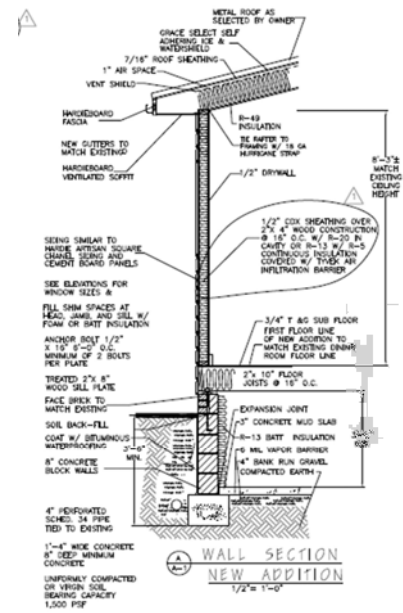




Docket No. 6-52-24 (18097 Clifton)



DAN SABEL 10472
12/31/24 EXPIRATION DATE



THE
 IS NEAR
 4 DOORS ARE TO
 L LOCATION



Docket No. 6-52-24 (18097 Clifton)



Docket No. 6-52-24 (18097 Clifton)



Docket No. 6-52-24 (18097 Clifton)



Docket No. 6-52-24 (18097 Clifton)

Applicant proposes front porch renovation for residential structure in R2 district.

City Notes:

- Columns will be MDO
- Spindles from original porch framing

2164 Brown Rd



Docket No. 6-53-24 (2164 Brown)

**Front Porch Renovation
Eric Anderson**



Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)





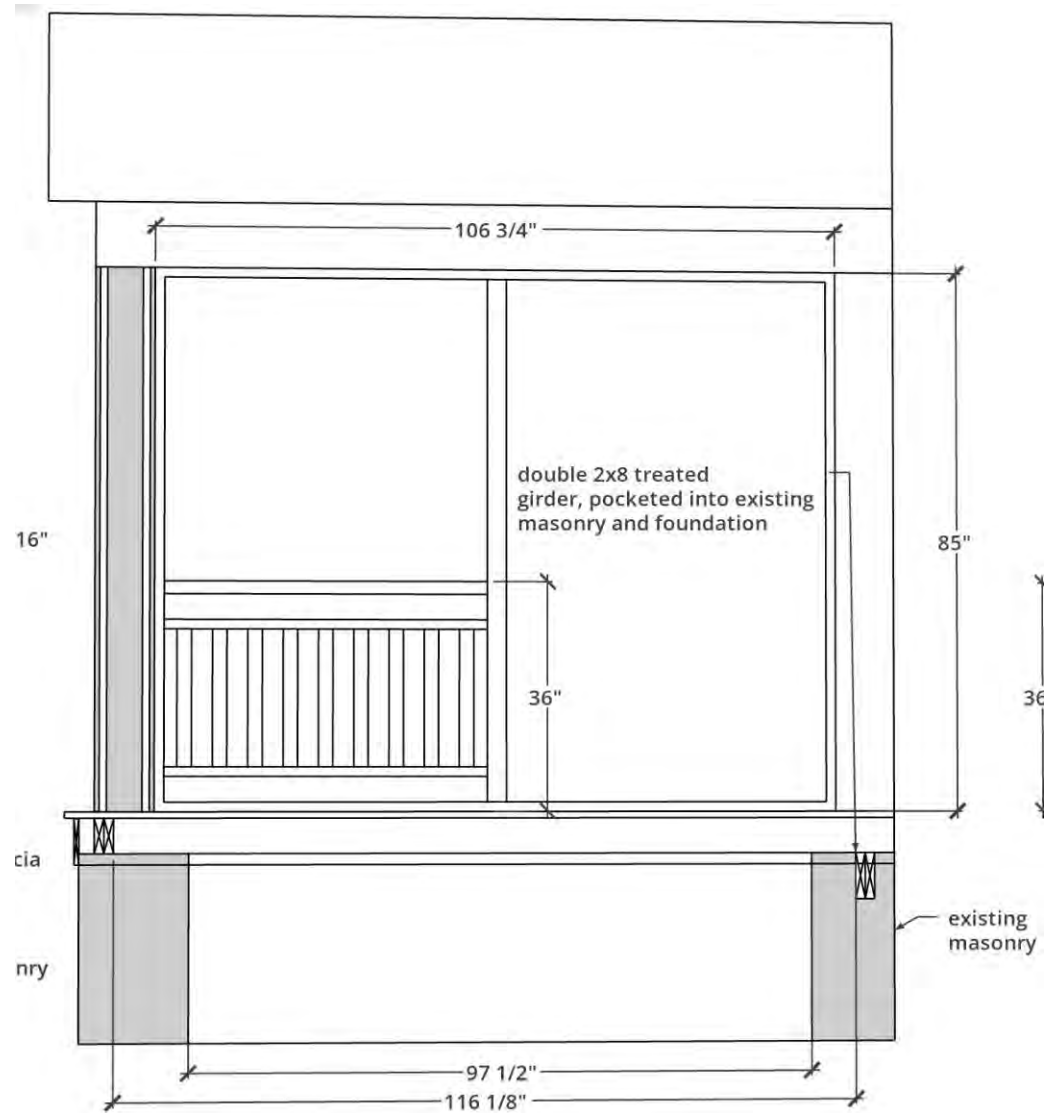
Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)

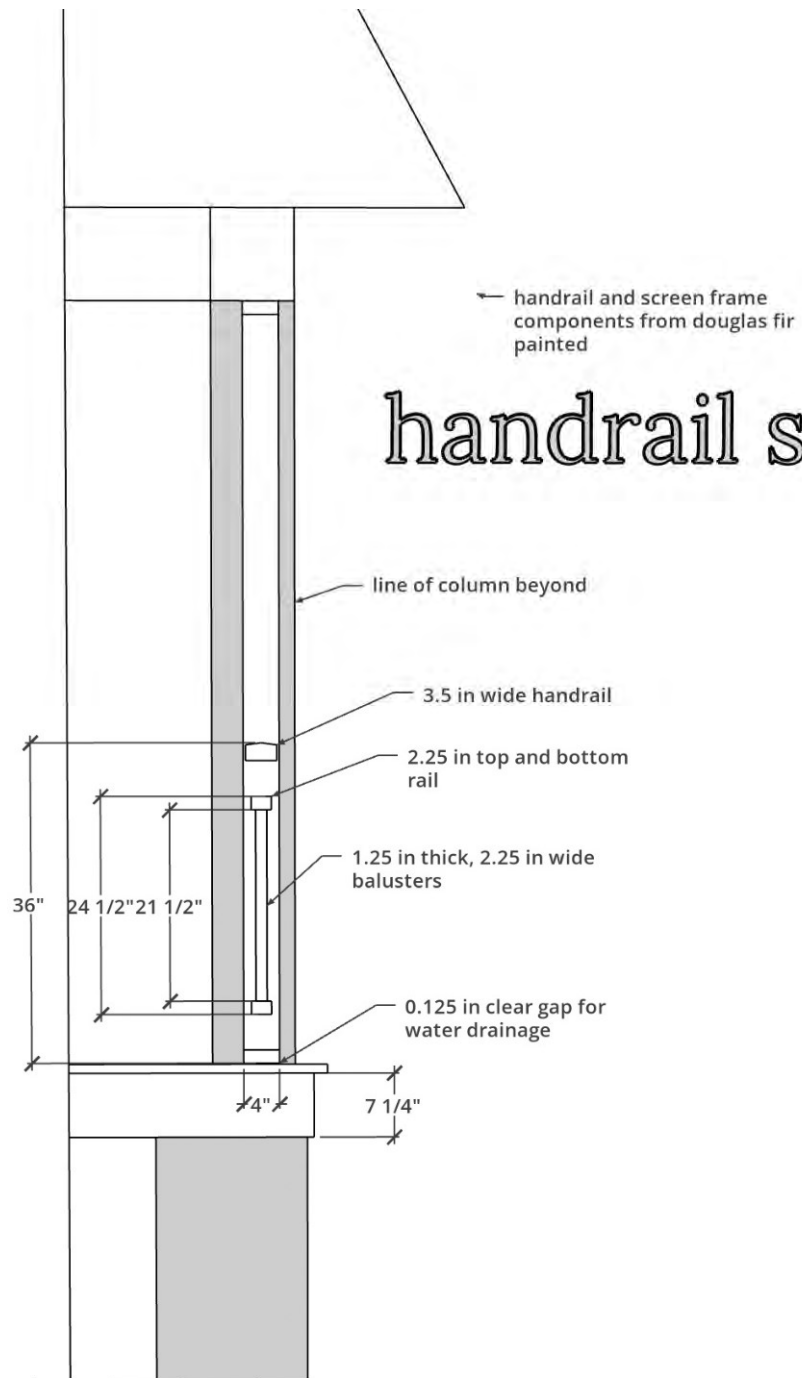




front view

Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)



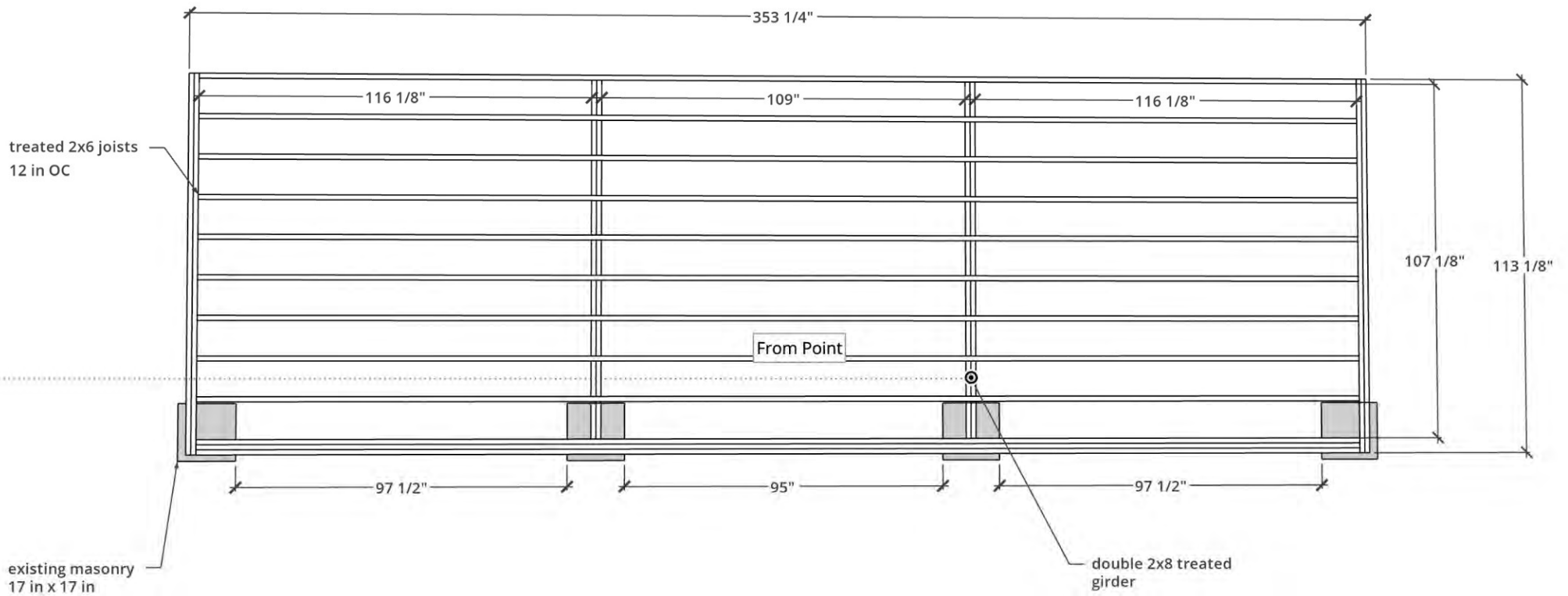


Docket No. 6-53-24 (2164 Brown)





Docket No. 6-53-24 (2164 Brown)



porch framing



Docket No. 6-53-24 (2164 Brown)

Scope of project and materials:

Reframe porch structure - pressure treated framing lumber

Replace porch flooring - reclaimed Douglas fir 5/4 tongue and groove

Replace columns - load bearing 6x6 post and decorative 0.75 in MDO box column

Replace screening and handrail - heavy duty pet screen installed with spline, hand rail and screen panel components made from Douglas fir, painted

Porch trim boards - AZEK 1x8

|

Docket No. 6-53-24 (2164 Brown)



Applicant proposes front porch replacement for residential structure in R2 district.

City Notes:

- We plan to replace the proposed treated lumber railing system with a vinyl railing system. All posts above the deck level will be covered in white vinyl post sleeves or Azek type material.
- All fascias will match the existing home (white aluminum).
- Soffits/Overhangs will be finished with vinyl soffit material to match the existing home.
- The skirting detail will be comprised of a white PVC or vinyl frame and attached white vinyl lattice.
- The end walls above will be finished to match the style and color of the existing home.
- The vinyl rail system is the Veranda Traditional railing.



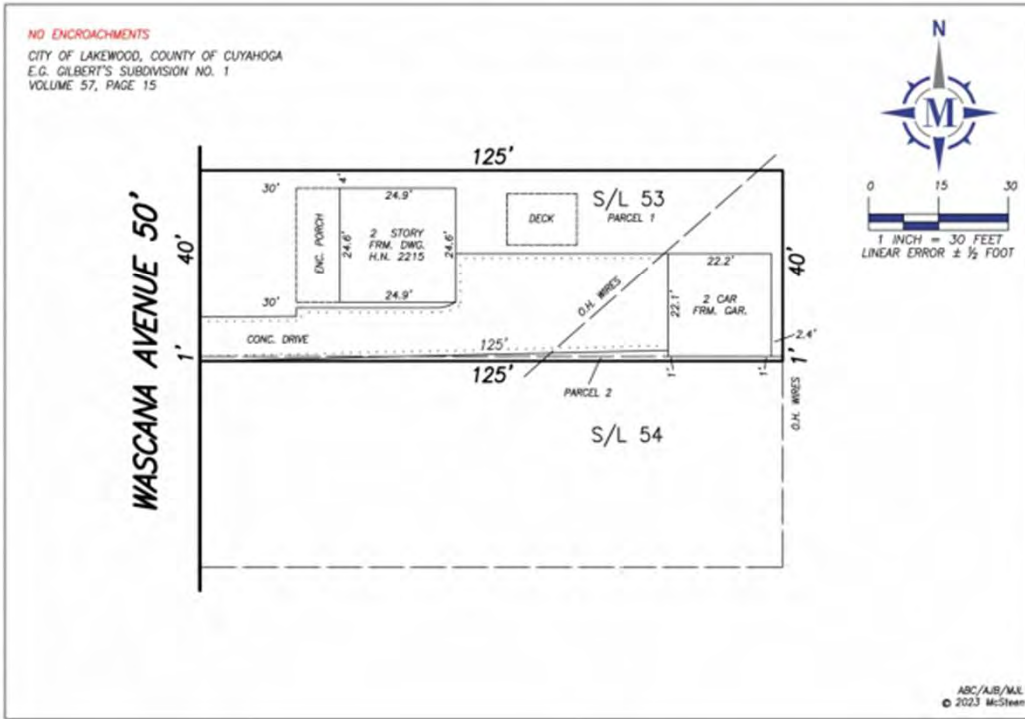
Docket No. 6-54-24 (2215 Wascana)
Front Porch Replacement
Ian Moyers



PREPARED FOR:	CHICAGO TITLE COMPANY, LLC CASH
PRESENT OWNER:	GIAR-SCHU REAL ESTATE LLC
NEW OWNER:	SPERRY HOLDINGS LLC
OCCUPIED BY:	No Answer
WORK:	None Observed
STREET IMPROVEMENTS:	None Apparent
TITLE CO. FILE #:	2300154051-20E

PROPERTY ADDRESS: 2215 WASCANA AVENUE,
LAKEWOOD, OH 44107

DATE: 10/20/23 **TIME:** 11:47 AM **FILE #:** 642935



Phone (440) 585-9800 www.McSteen.com Fax (440) 585-9801

Date: Monday, October 23, 2023

CHICAGO TITLE COMPANY, LLC
3560 WEST MARKET STREET
Suite 105
Fairlawn OH 44333

Contact Names: DOUGLAS BOYLE, BILL FELLER

Title Order #:	2300154051-20E	
Buyer:	SPERRY HOLDINGS LLC	
Property:	2215 WASCANA AVENUE LAKEWOOD, OH 44107	
McSteen #:	642935	Amount Due: \$205.00

<p>50+ YEARS OF EXPERIENCE</p>	<p>McSteen Proudly Surveying all 88 Ohio Counties</p>	<p><i>William H. Loetz</i></p>
--------------------------------	---	--------------------------------

Please Remit Payment To:
McSteen & Associates, Inc.
1415 East 286th Street
Wickliffe, OH 44092

Thank you for using McSteen for your Surveying needs.



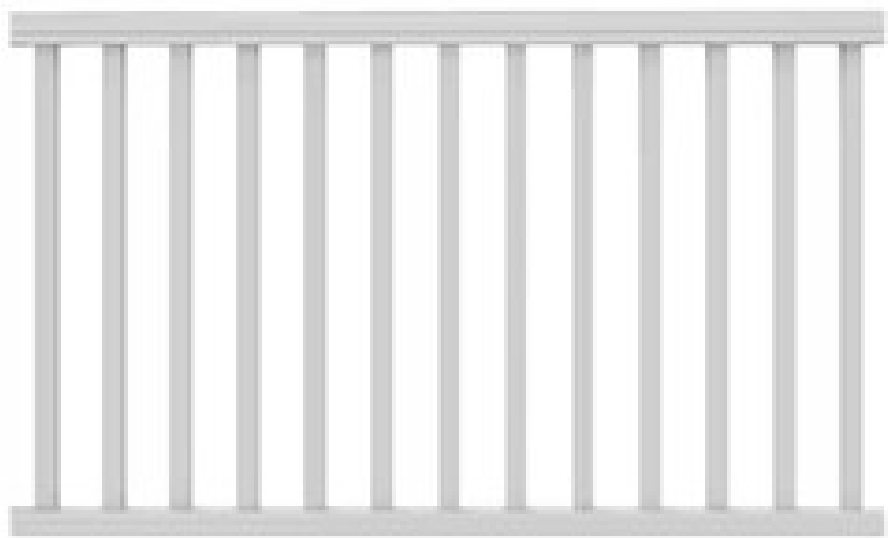
Docket No. 6-54-24 (2215 Wascana)



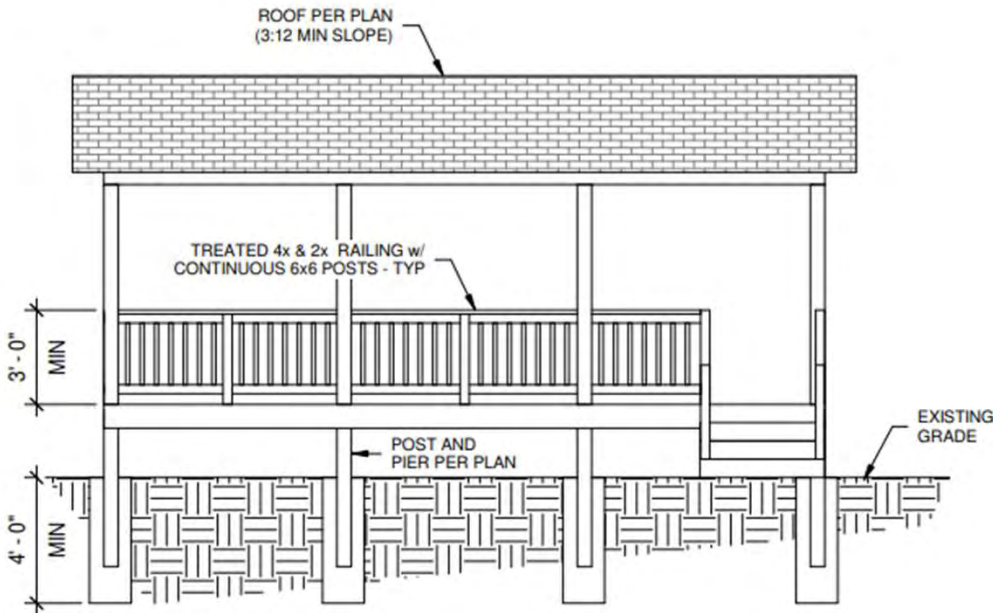
Docket No. 6-54-24 (2215 Wascana)



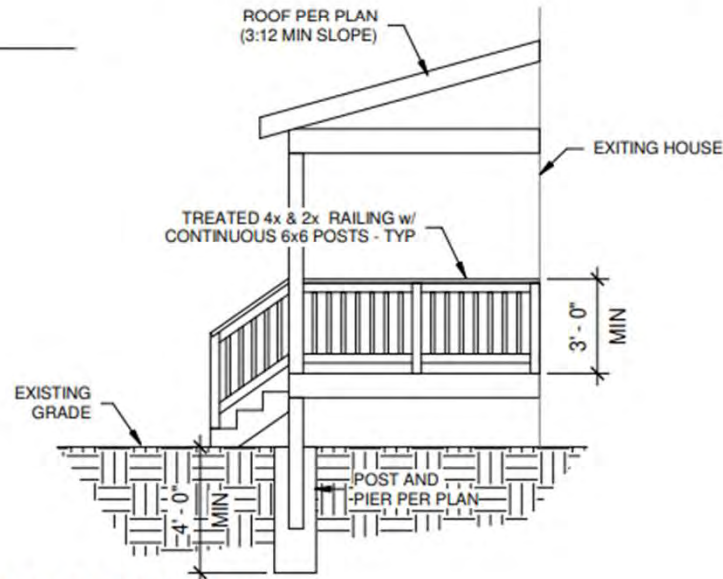
Docket No. 6-54-24 (2215 Wascana)



Docket No. 6-54-24 (2215 Wascana)



A FRONT ELEVATION
D5 N.T.S.



B SIDE ELEVATION
D5 N.T.S.

MOYERS
2215 WASCANA AVE.
LAKEWOOD, OH 44107

REVISIONS

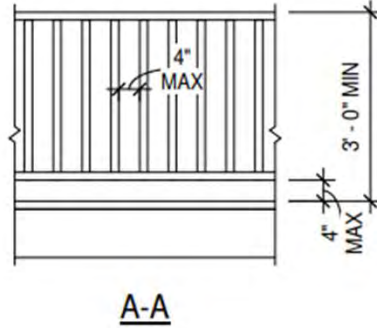
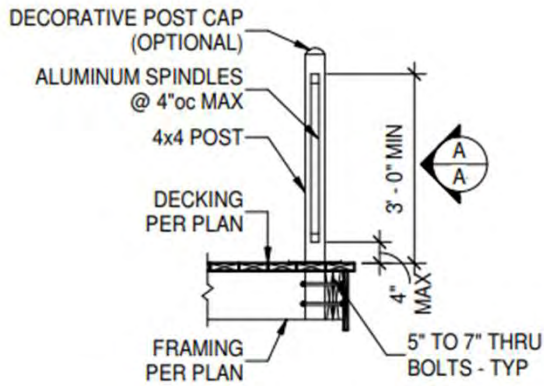
No.	Description	Date

D5

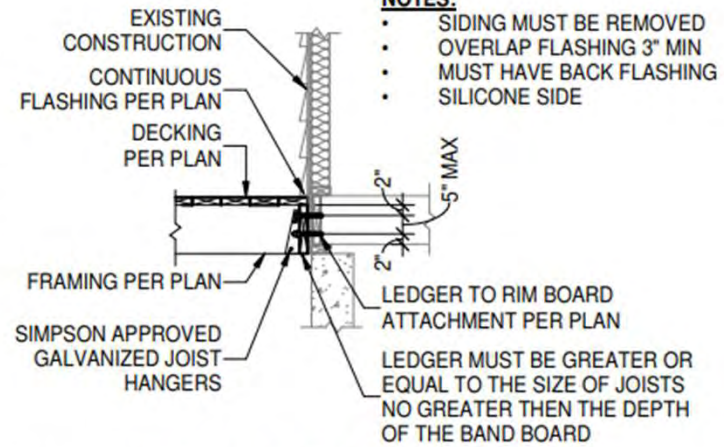
ELEVATIONS



Docket No. 6-54-24 (2215 Wascana)

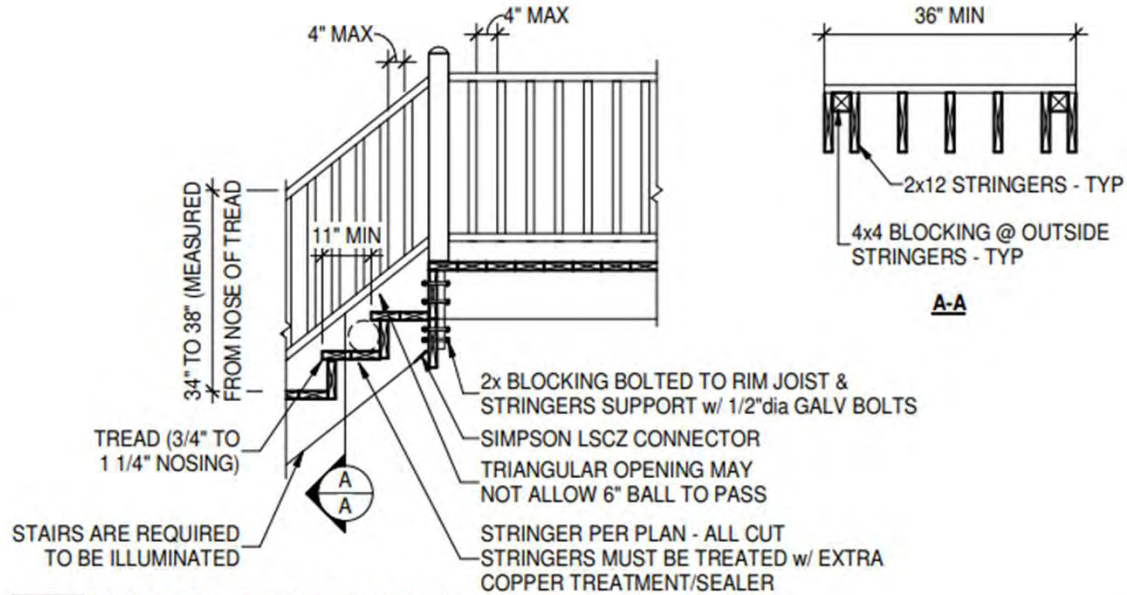
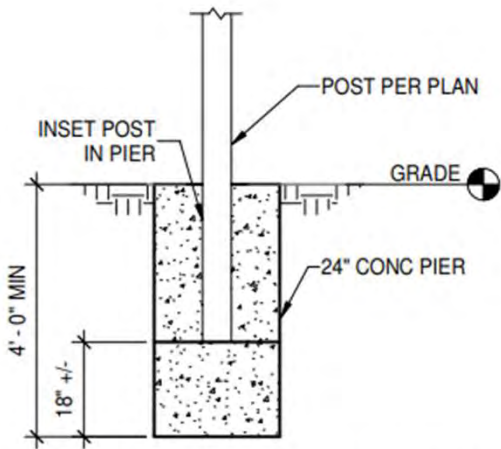


A TYPICAL POST TO DECK DETAIL
D1 N.T.S.



- NOTES:**
- SIDING MUST BE REMOVED
 - OVERLAP FLASHING 3" MIN
 - MUST HAVE BACK FLASHING
 - SILICONE SIDE

B TYPICAL LEDGER DETAILS
D1 N.T.S.



D TYPICAL STAIR DETAIL
D1 N.T.S.

C TYPICAL POST @ PIER DETAIL
D1 N.T.S.

MOYERS
2215 WASCANA AVE.
LAKEWOOD, OH 441107

REVISIONS

No.	Description	Date

D1

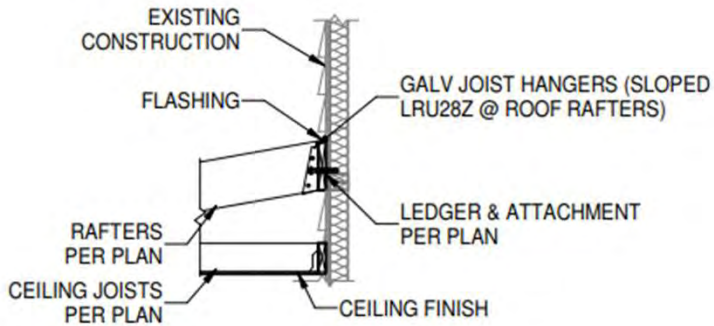
TYPICAL DETAILS



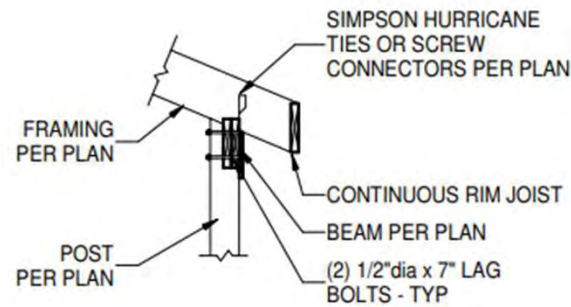
Docket No. 6-54-24 (2215 Wascana)



A TYPICAL BEAM TO POST DETAIL
D2 N.T.S.



B TYPICAL ROOF LEDGER
D2 N.T.S.



C TYPICAL ROOF BEAM TO POST
D2 N.T.S.

MOYERS
 2215 WASCANA AVE.
 LAKEWOOD, OH 44107

REVISIONS

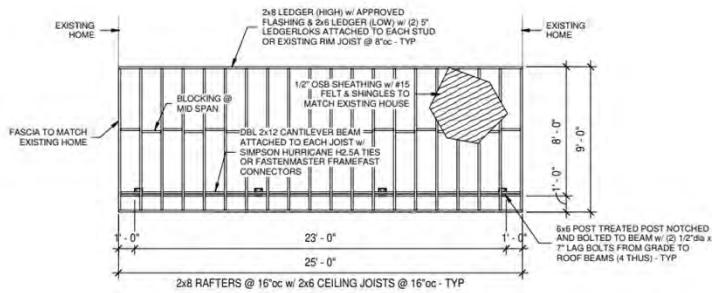
No.	Description	Date

D2

TYPICAL DETAILS



Docket No. 6-54-24 (2215 Wascana)



MOYERS

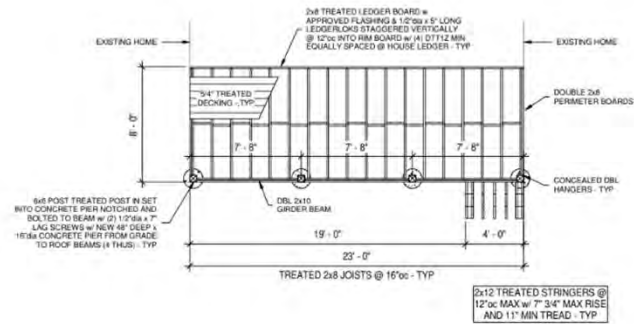
2215 WASCANA AVE.
LAKEWOOD, OH 44107

REVISIONS

No.	Description	Date

D4

ROOF FRAMING PL



MOYERS

2215 WASCANA AVE.
LAKEWOOD, OH 44107

REVISIONS

No.	Description	Date

D3

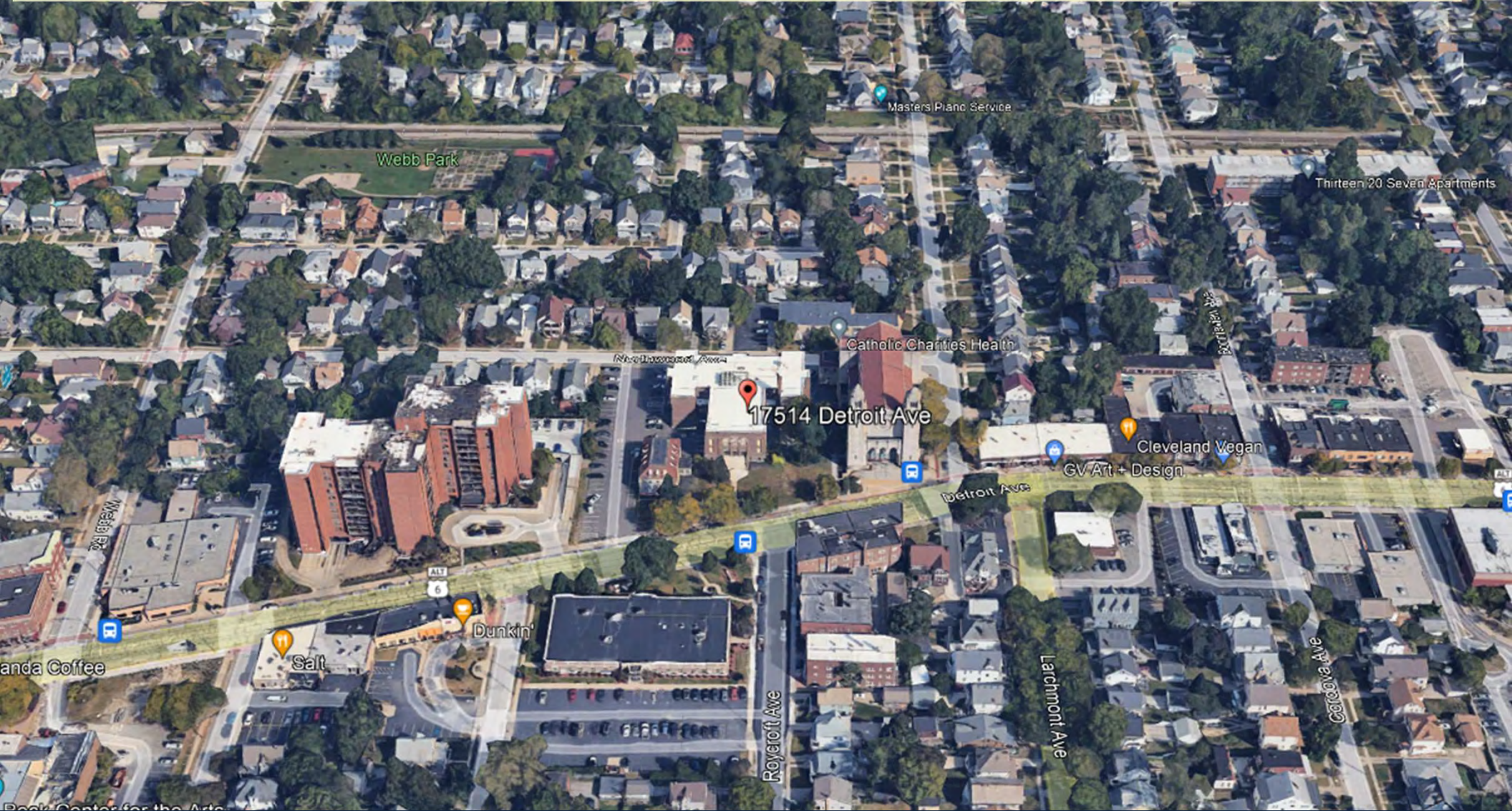
FRAMING PLAN
SCALE: 1/4" = 1'-0"



Docket No. 6-54-24 (2215 Wascana)

Applicant proposes plans for former St. James rectory site.

Going to PC for use



Docket No. 6-55-24 (17514 Detroit)
Sacred Hour
Sean Nugent



Docket No. 6-55-24 (17514 Detroit)





Docket No. 6-55-24 (17514 Detroit)





Docket No. 6-55-24 (17514 Detroit)



Docket No. 6-55-24 (17514 Detroit)





PLAT DATA SHEET

Plat Title: Lot Split for
17514 Detroit Road (Edward Hoban, Edward Malesic now the Bishop of Cleveland)

Plat Type: Lot Split

Municipality: Lakewood

Township: Original Rockport Township Section No. 23

Parent Parcel Numbers: 311-23-022, _____, _____, _____,
 _____, _____, _____, _____,
 _____, _____, _____, _____

Number of New parcels created: 3

Number of deeds filed with plat: 0

Plat Size: 24" x 36"

Date Filed: 1/6/2021

Recorder's Fee: _____

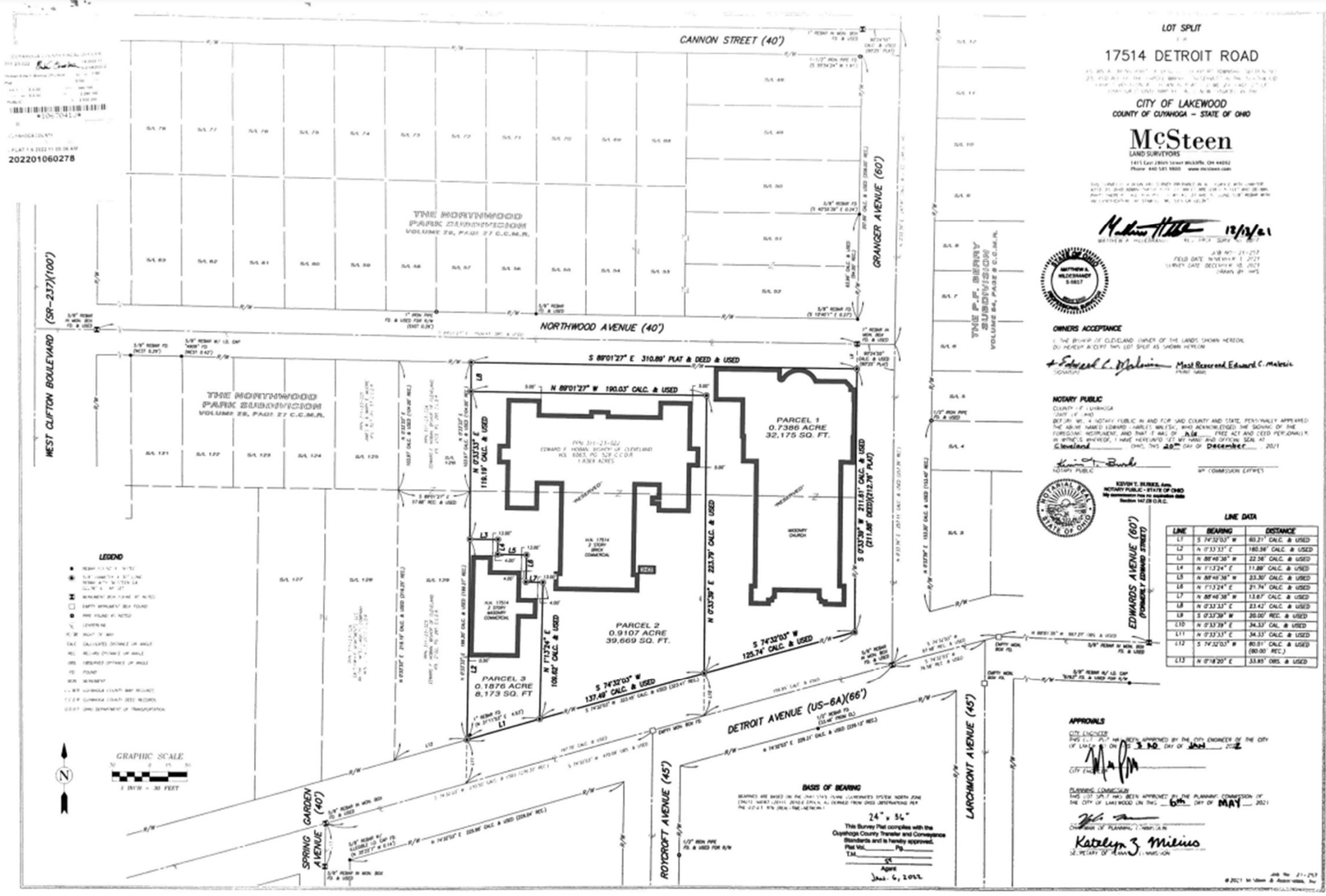
CUYAHOGA COUNTY FISCAL OFFICER
 311-23-022 *Robert Chambers* 1/6/2022 11
 N-01062022-2
 Hoban Edw F Bishop Of Cleve Tax Dist. 3180
 Plat LUC: 5100 EX:
 Sale Amt: \$ 0.00 LAND: 640,100
 Conv. Fee: \$ 0.00 BLDG: 2,290,100
 PUBLIC TOTAL: 2,930,200



New Parcels
 New Parcel Numbers are subject to change

Parcel Name/Sublot:	Proposed Permanent Parcel Number:
<u>PARCEL 1 (Hoban)</u>	<u>311-23-106</u>
<u>PARCEL 2 (Hoban)</u>	<u>311-23-107</u>
<u>PARCEL 3 (Hoban)</u>	<u>311-23-108</u>
_____	_____





LOT SPLIT
17514 DETROIT ROAD

CITY OF LAKEWOOD
COUNTY OF CUYAHOGA - STATE OF OHIO

McSteen
LAND SURVEYORS
1415 East 28th Street, Lakewood, OH 44122
Phone: 440.581.9000 www.mcsteen.com



Matthew A. McSteen 12/12/21
REGISTERED PROFESSIONAL SURVEYOR No. 27372 State of Ohio

OWNERS ACCEPTANCE

I, THE BENEVOLENT OWNER OF THE LANDS SHOWN HEREON, DO HEREBY ACCEPT THIS LOT SPLIT AS SHOWN HEREON.
Edward C. Malinin Most Reverend Edward C. Malinin
PASTOR

NOTARY PUBLIC

COUNTY OF CUYAHOGA
STATE OF OHIO
I, THE BENEVOLENT AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED EDWARD MALININ, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT AND THAT HE WAS OF SOUND MIND AND FREE WILL AND OF SOUND MEMORY AND HE HAS SIGNED SAID INSTRUMENT AND OFFICIAL SEAL AS A Witness thereto, ON THIS 20th DAY OF December, 2021



KEVIN T. BLUNK, Notary Public - State of Ohio
My commission expires on September 14, 2024

LINE DATA

LINE	BEARING	DISTANCE
L1	S 74°32'03" W	80.37' CALC. & USED
L2	N 07°33'23" E	180.36' CALC. & USED
L3	N 88°48'38" W	22.38' CALC. & USED
L4	N 71°32'24" E	11.88' CALC. & USED
L5	N 88°48'38" W	23.30' CALC. & USED
L6	N 71°32'24" E	21.74' CALC. & USED
L7	N 88°48'38" W	13.67' CALC. & USED
L8	N 07°33'23" E	28.20' REC. & USED
L9	N 07°33'23" W	30.20' REC. & USED
L10	N 07°33'23" E	34.33' CALC. & USED
L11	N 07°33'23" E	34.33' CALC. & USED
L12	S 74°32'03" W	80.00' REC. & USED
L13	N 07°18'20" E	33.80' OBS. & USED

APPROVALS

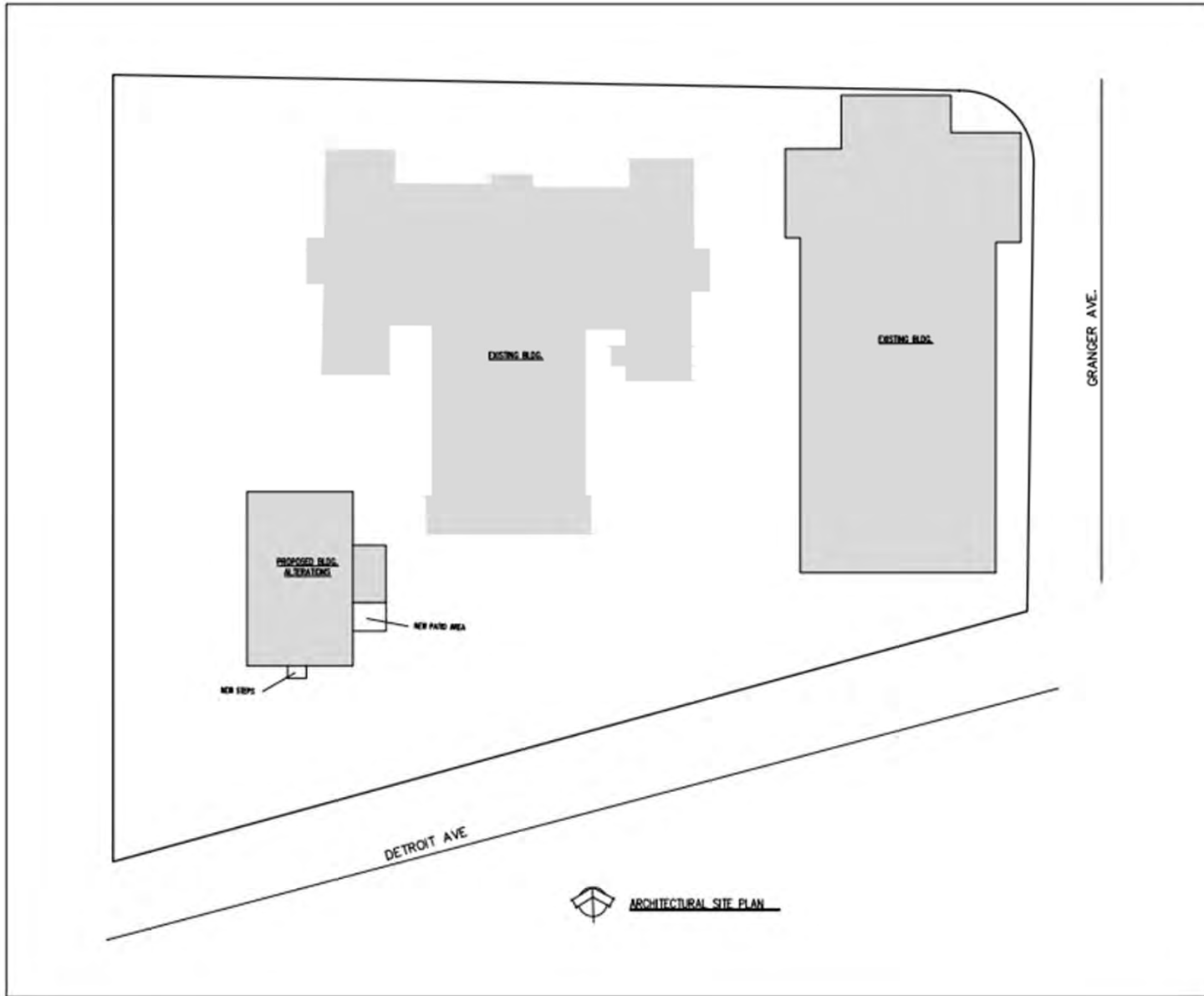
CITY ENGINEER
I HEREBY APPROVE AND HAVE BEEN APPROVED BY THE CITY ENGINEER OF THE CITY OF LAKEWOOD ON 3rd DAY OF JAN 2022
Maureen
CITY ENGINEER

CLERK OF COMMONS
I HEREBY APPROVE AND HAVE BEEN APPROVED BY THE PLANNING COMMISSION OF THE CITY OF LAKEWOOD ON THIS 6th DAY OF MAY 2021
Katelyn S. Milnes
CLERK OF COMMONS

BASE OF BEARING
BEARINGS ARE BASED ON THE 2011 NAD 83 COORDINATED SYSTEM NORTH ZONE (NAD83) MEASUREMENTS. ALL BEARINGS ARE DERIVED FROM THIS UNDERLYING PLAN.
24" x 36"
This Survey Plat complies with the Cuyahoga County Transfer and Conveyance Standards and is hereby approved.
Plat No. _____ Pg. _____
T.M. _____
Agent
Jan. 6, 2022



Docket No. 6-55-24 (17514 Detroit)



 ARCHITECTURAL SITE PLAN



A Project for:
SACRED HOUR
 17514 DETROIT ROAD
 LAKEWOOD, OH 44107



No.	Description	Date
	Preliminary Drawings	4.23.24

Project No: 202438
 Drawn By: JZ
 Scale: AS NOTED
 Sheet Name:

SITE PLAN
 Sheet Number: **SP1.01**
© MJM STANDARDS 2024. ALL RIGHTS RESERVED.



Docket No. 6-55-24 (17514 Detroit)



MJM BLAZING STRONGER INC.
CONE
 CONSTRUCTIVE SERVICES LTD.
ONE CONSTRUCTIVE SERVICES LTD.

A Report for:

SACRED HOUR
 17514 DETROIT ROAD
 LAKEWOOD, OH 44107

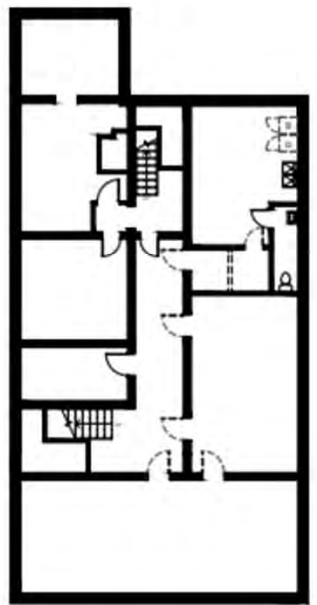


No.	Description	Date
	Preliminary Drawings	4-23-24

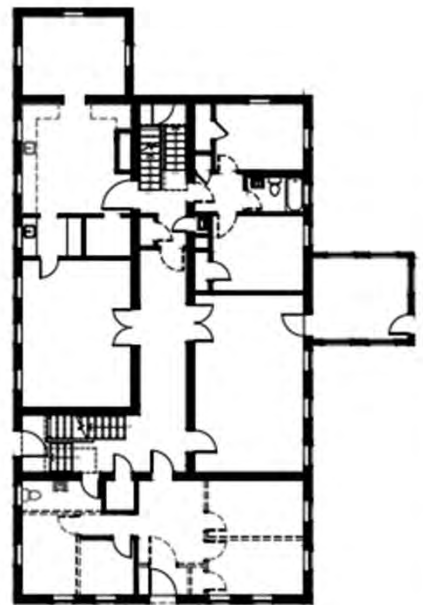
Project No. 230408
 Drawn By: JCS
 Date: 4/23/24
 Sheet Name: AS NOTED

DEMO PLANS

Scale: A1.00
© MJM STANDARDS 2024. ALL RIGHTS RESERVED.



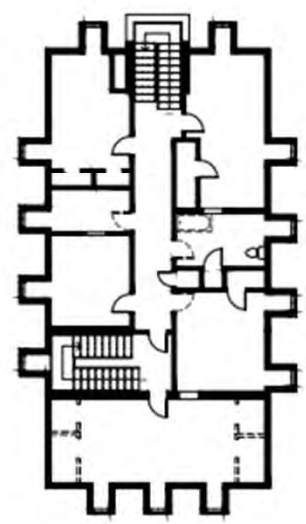
BASEMENT DEMO PLAN
W-1-F



FIRST FLOOR DEMO PLAN
W-1-F



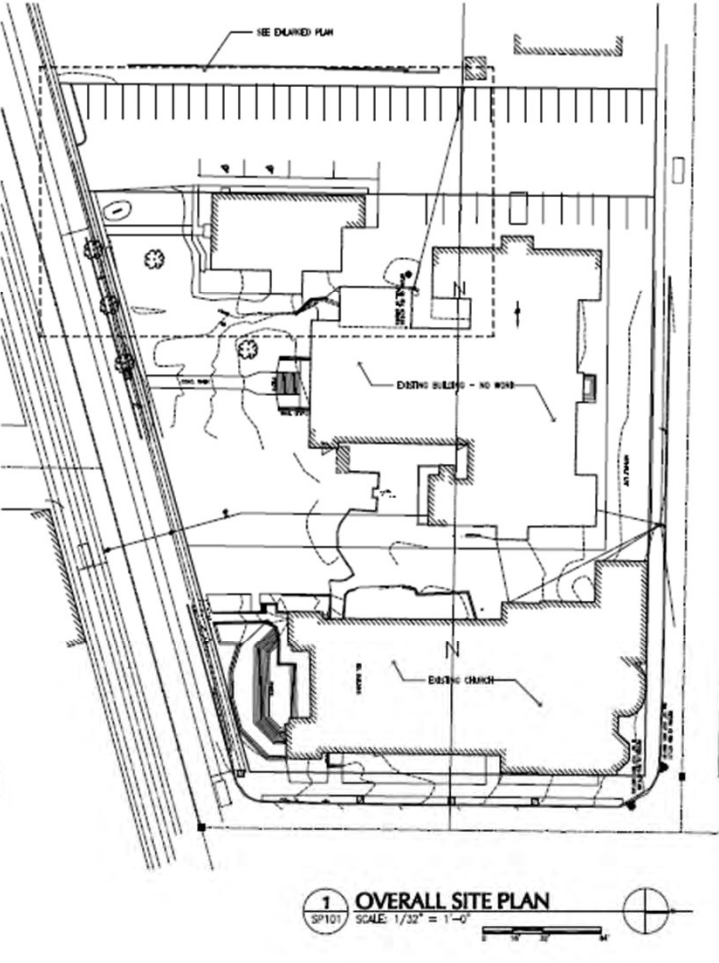
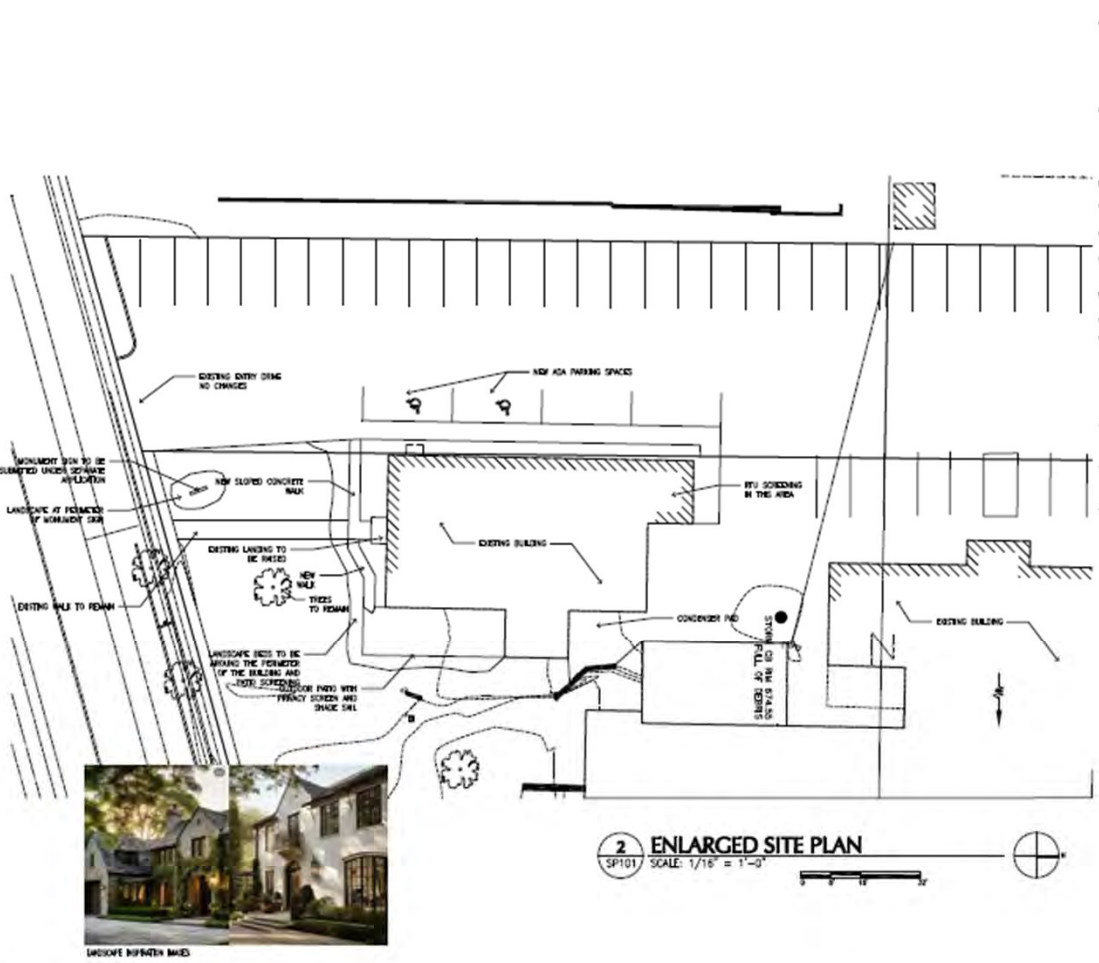
SECOND FLOOR DEMO PLAN
W-1-F



THIRD FLOOR DEMO PLAN
W-1-F



Docket No. 6-55-24 (17514 Detroit)



SEARCHED _____ INDEXED _____
 CHECKED _____ DRAWN _____
 PRINTS FULL SCALE
 ON 24"X36" SHEET

PRELIMINARY
 NOT FOR CONSTRUCTION

SACRED HOUR SPAS
 ONE CONSTRUCTION SERVICES LTD.
 FORMER ST JAMES RECTORY ADAPTIVE RE-USE
 17514 DETROIT ROAD, LAKEWOOD, OH 44107

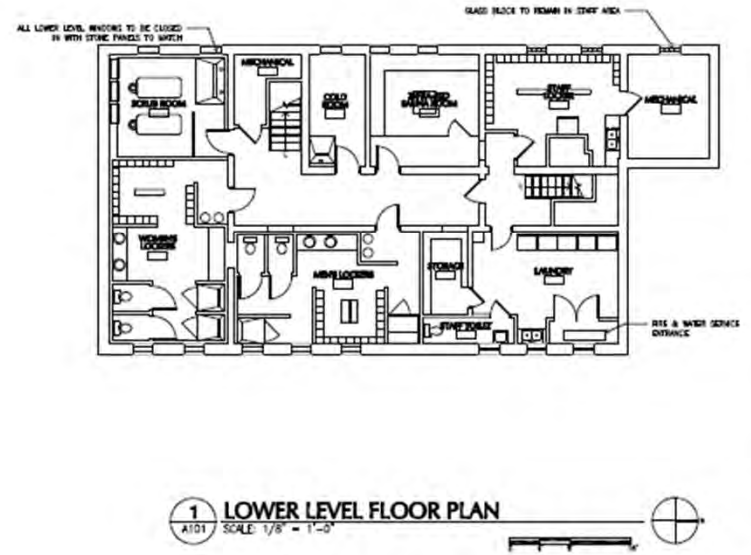
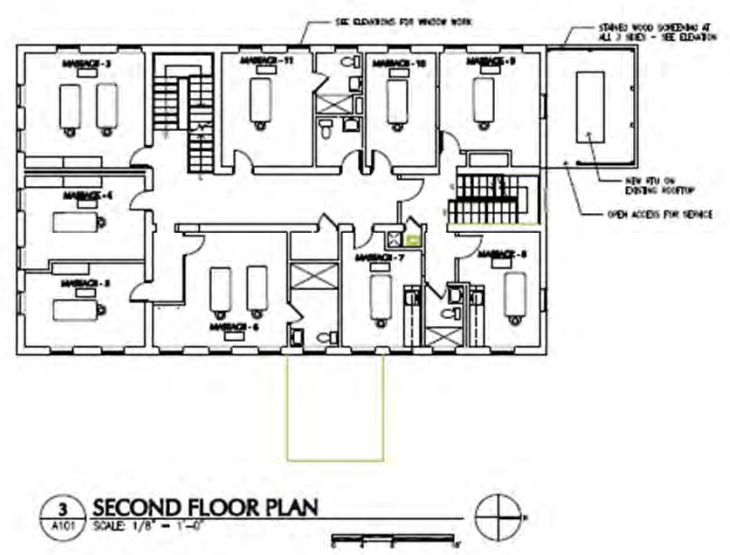
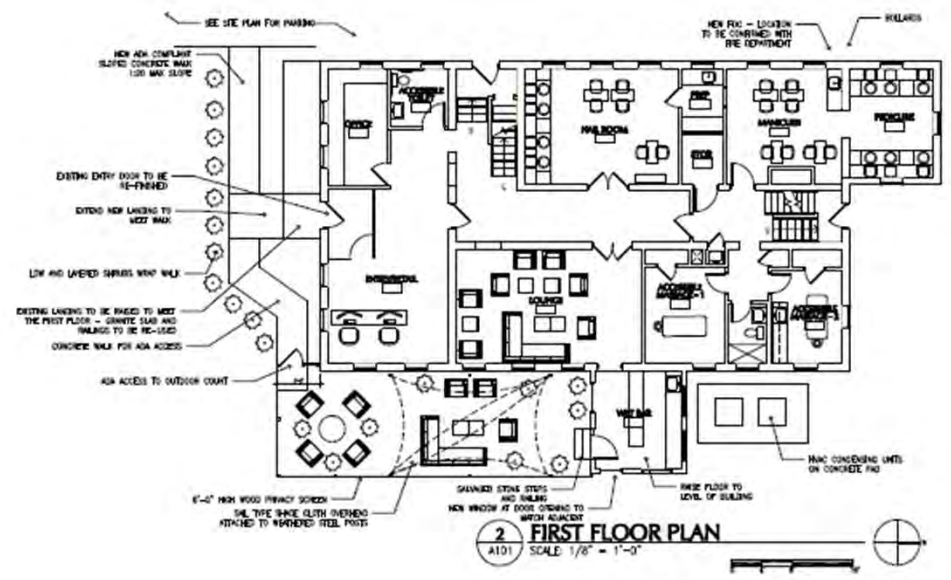
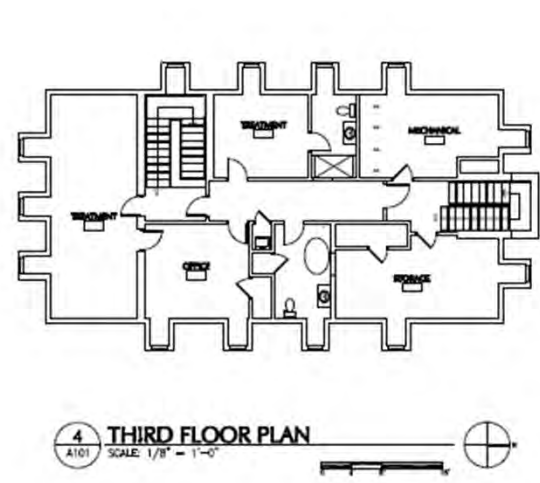


SITE PLAN
 SP101
 ARCHITECTURAL DRAWING
 DRAWN BY [unreadable]

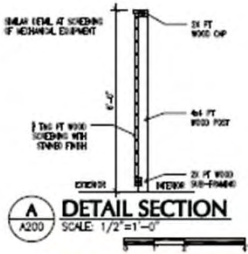


Docket No. 6-55-24 (17514 Detroit)

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 FORMER ST JAMES RECTORY ADAPTIVE RE-USE
 17514 DETROIT ROAD, LAKEWOOD, OH 44107
 PAYTO Architects
 400 WOODLEY BUILDING, 1200 WEST 87TH STREET, CLEVELAND, OHIO 44115
 PHONE: 216.845.8100
 WWW.PAYTOARCHITECTS.COM
 PROPOSED FLOOR
 PLANS - ALL
 LEVELS
 A101
 ARCHITECTURAL BOARD
 BOARD EXAMINATION



Docket No. 6-55-24 (17514 Detroit)



BACK OF EXISTING LOCATION - NEW TO HAVE SIMILAR LOOK AND FINISH



BACK OF EXISTING LOCATION - NEW TO HAVE SIMILAR LOOK AND FINISH

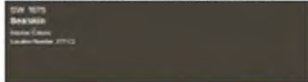


BACK OF EXISTING LOCATION - NEW TO HAVE SIMILAR LOOK AND FINISH



BACK FABRIC - BAMBELLA CANNAL BLACK

PAINT COLOR FOR WINDOWS AND DOORS
PAINT COLOR FOR WOOD SCREENING AT PATIO AND REU



PAINT COLOR FOR WINDOWS AND DOORS



EAST ELEVATION



SOUTH AND EAST ELEVATION



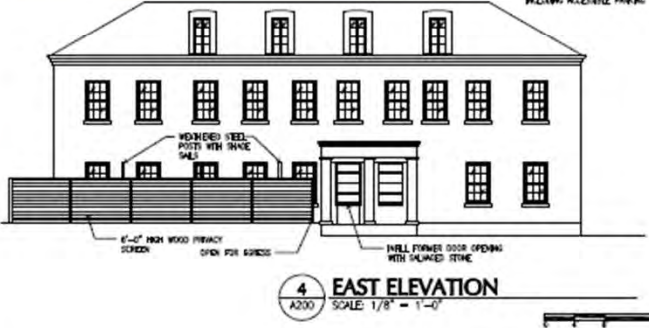
SOUTH AND WEST ELEVATION



PROPOSED SOUTH ELEVATION



NORTH ELEVATION



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH AND PARTIAL EAST ELEVATION



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISION	DATE

PRINTED FULL SCALE ON 24"X36" SHEET

PRELIMINARY NOT FOR CONSTRUCTION

SACRED HOUR SPAS
ONE CONSTRUCTION SERVICES LTD.
FORMER ST JAMES RECTORY ADAPTIVE RE-USE
17514 DETROIT ROAD, LAKEWOOD, OH 44107



EXTERIOR ELEVATIONS AND SCOPE OF WORK

A200



Docket No. 6-55-24 (17514 Detroit)



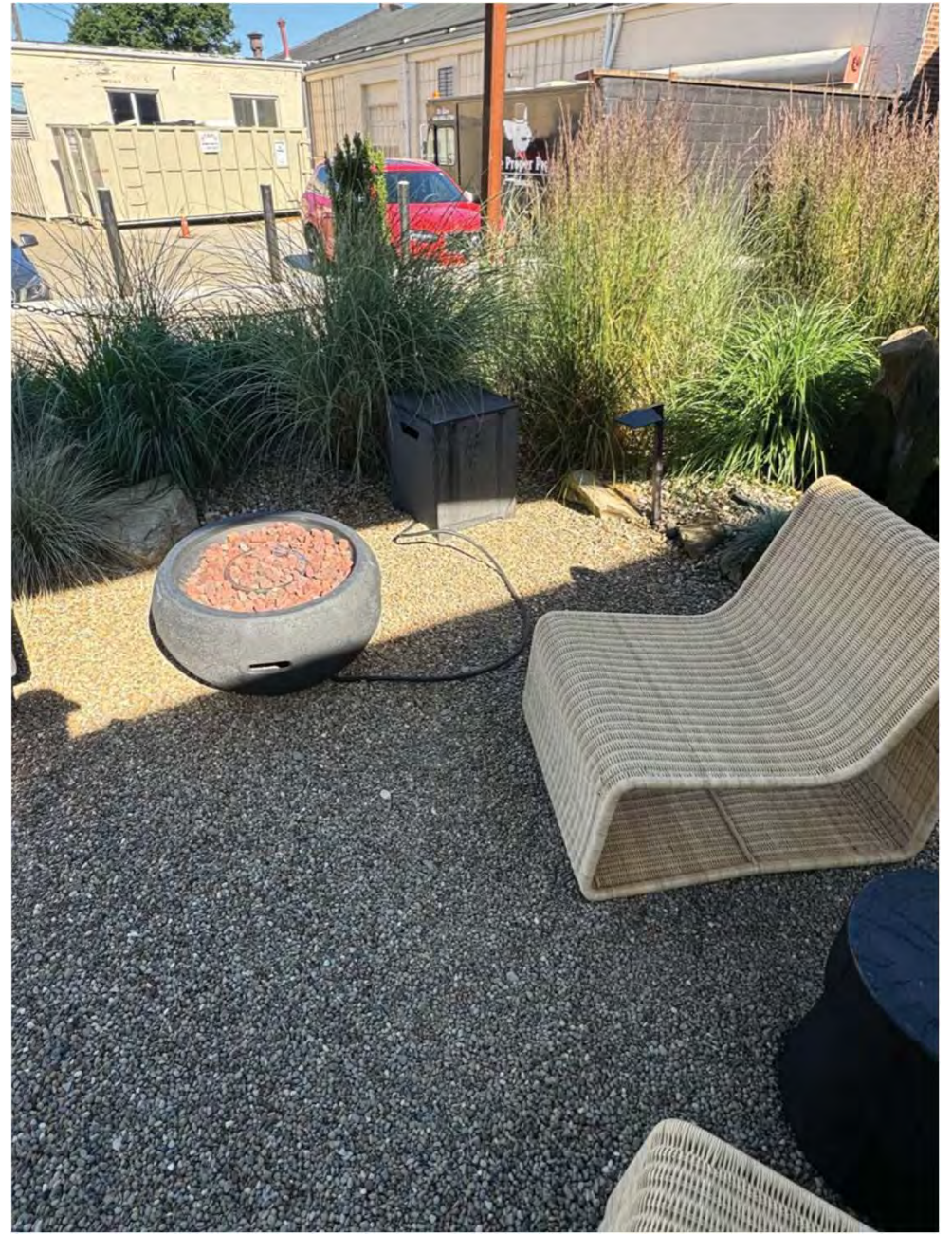
Docket No. 6-55-24 (17514 Detroit)





Docket No. 6-55-24 (17514 Detroit)





Docket No. 6-55-24 (17514 Detroit)



Docket No. 6-55-24 (17514 Detroit)



Docket No. 6-55-24 (17514 Detroit)



Applicant proposes a residential addition of a mudroom and 2 car garage in the R1L district.
City Notes:



Docket No. 6-56-24 (15726 Lake)
Residential Addition
Charles McGettrick



Docket No. 6-56-24 (15726 Lake)



Docket No. 6-56-24 (15726 Lake)



Docket No. 6-56-24 (15726 Lake)



Docket No. 6-56-24 (15726 Lake)





Docket No. 6-56-24 (15726 Lake)



Docket No. 6-56-24 (15726 Lake)





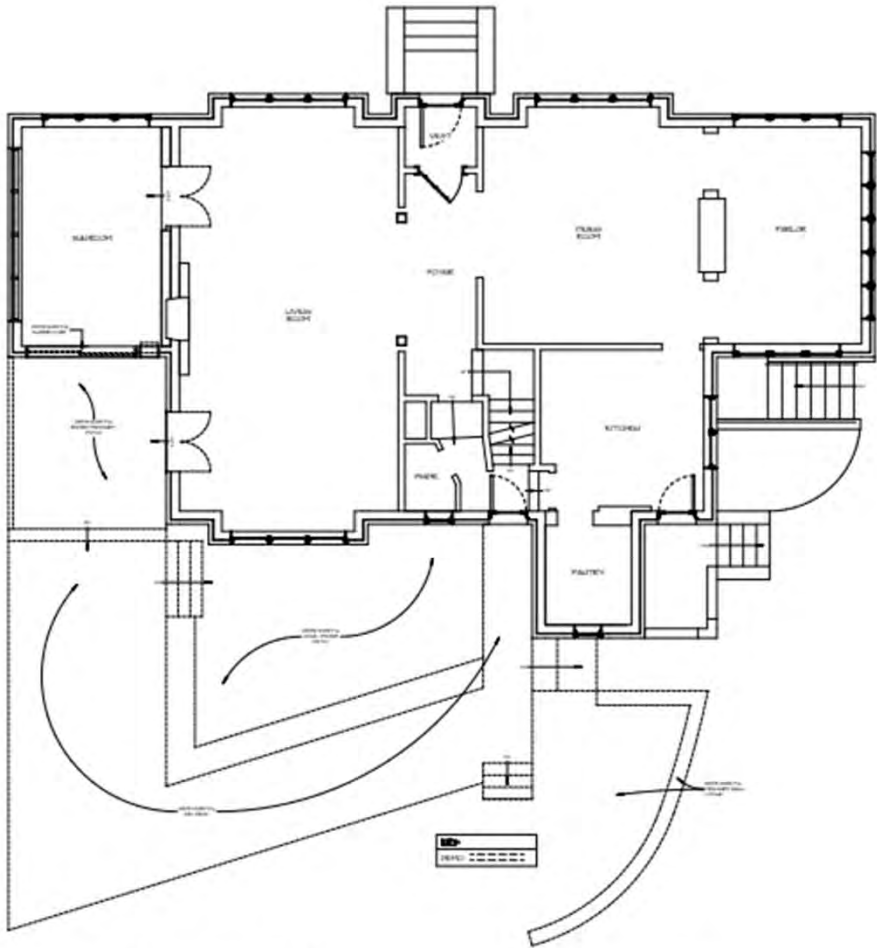
Docket No. 6-56-24 (15726 Lake)



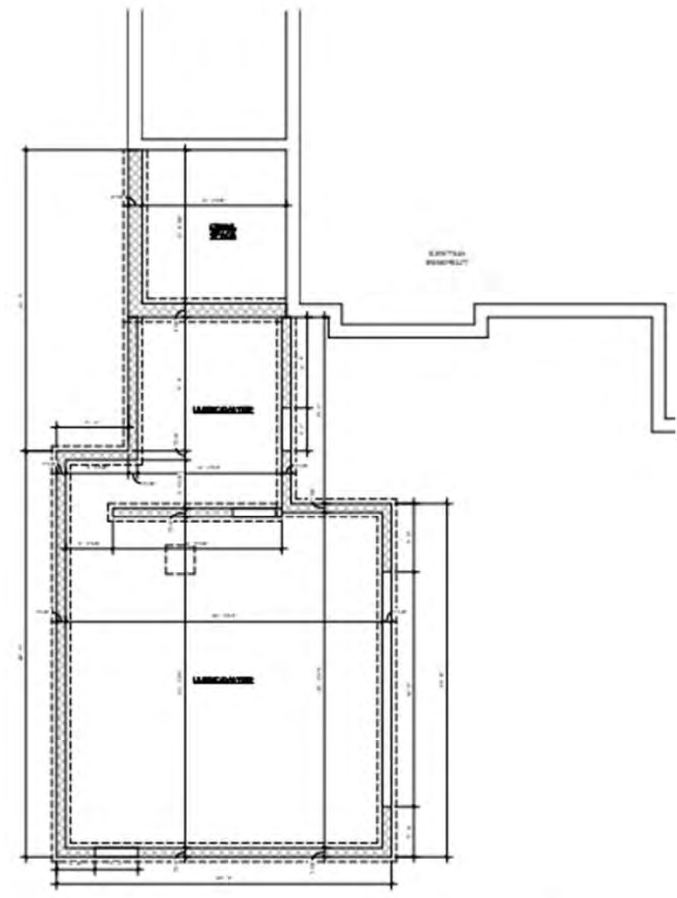
Docket No. 6-56-24 (15726 Lake)



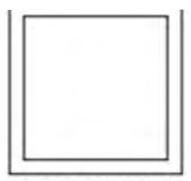
Docket No. 6-56-24 (15726 Lake)



FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



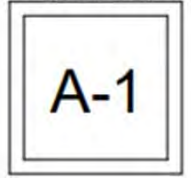
FOUNDATION PLAN
1/4" = 1'-0"



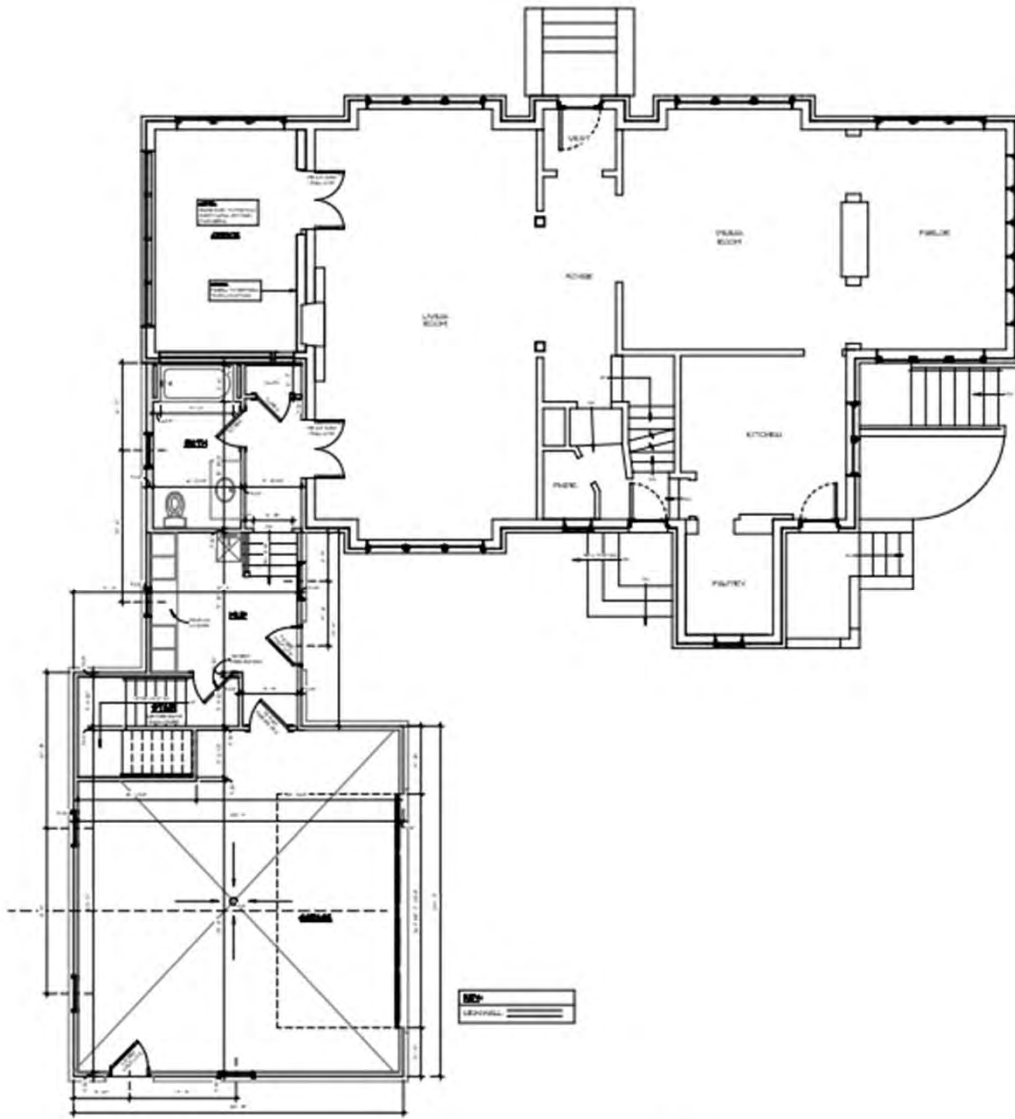
DATE: 05/20/24
REVISED:
PRELIMINARY

HOUSE ADDITION
15726 Lake Ave., Lakewood, Ohio 44117
ARCHITECTS: C.A. McGETTRICK, LLC
45711 Netherland Ave., Lakewood, Ohio 44117 TEL: 216-227-0700 FAX: 216-227-0712

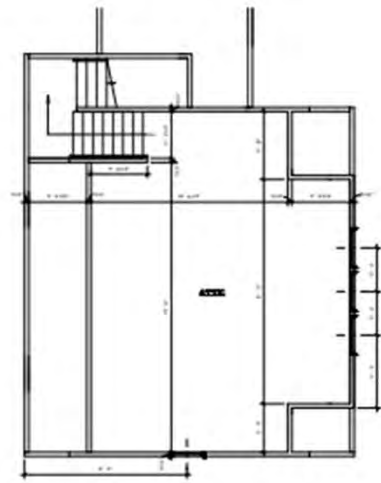
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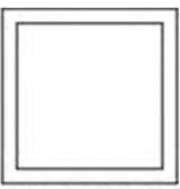
Docket No. 6-56-24 (15726 Lake)



FIRST FLOOR PLAN
1/4" = 1'-0"



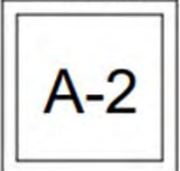
GARAGE ATTIC
1/4" = 1'-0"



DATE: 5/22/24
REVISIONS:
PRELIMINARY

HOUSE ADDITION
15726 Lake Ave. Lakewood, Ohio 44147
ARCHITECTS, C.A. McGETTRICK, LLC
14511 Mathison Ave. Lakewood, Ohio 44147 | 313-227-0700 | FAX: 313-227-0712

COMPILED:
S.S.A.P.
DRAWN BY: C.A. McGETTRICK, P.P.S.
DATE: 5/22/24



Docket No. 6-56-24 (15726 Lake)



SOUTH ELEVATION
1/4" = 1'-0"



Docket No. 6-56-24 (15726 Lake)



EAST ELEVATION
1/4" = 1'-0"



Docket No. 6-56-24 (15726 Lake)



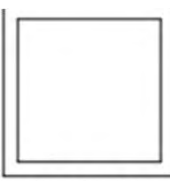
NORTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



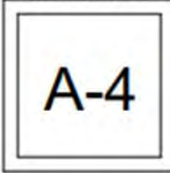
PARTIAL WEST ELEVATION
1/4" = 1'-0"



DATE: 05/24/24
REVISIONS:
PRELIMINARY

HOUSE ADDITION
15726 Lake Ave., Lakewood, Ohio 44147
ARCHITECTS: C.A. McGETTRICK, LLC
14531 N. Jackson Ave., Lakewood, Ohio 44147 | P: 166-227-0700 | F: 166-227-4072

UNAPPROVED
SCALE
CHARLES McGETTRICK, P.E.
REGISTERED ARCHITECT



Docket No. 6-56-24 (15726 Lake)

A classic look that stands the test of time.

Hardie® Plank

From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long-lasting beauty that can transform your home exterior. With endless gorgeous color and plank pairings available, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



Hardie® Plank



Smooth



Beaded Select Cedarmill®

	Thickness 5/16 in				Length 12 ft planks
Width	5,25 in	6,25 in	7,25 in	8,25 in	9,25 in*
Exposure	4 in	5 in	6 in	7 in	8 in
Prime Pcs/Pallet	360	308	252	230	190
ColorPlus® Pcs/Pallet	324	280	252	210	—
Pcs/Sq.	25,0	20,0	16,7	14,3	12,5

Select Cedarmill®

Width	5,25 in	6,25 in	7,25 in	8,25 in	9,25 in*
Statement Collection*			•	•	
Dream Collection*	•	•	•	•	
Prime	•	•	•	•	•

Smooth

Width	5,25 in	6,25 in	7,25 in	8,25 in	9,25 in*
Statement Collection*					
Dream Collection*	•	•	•	•	
Prime	•	•	•	•	•

Beaded Select Cedarmill®

Width	8,25 in
Exposure	7 in
ColorPlus® Pcs/Pallet	210
Pcs/Sq.	14,3
Statement Collection*	
Dream Collection*	•
Prime	

*9,25 in widths do not feature the drip edge



A finished look starts with beautiful trim.

Hardie® Trim

Form meets function at every intersection with Hardie® Trim boards. With an authentic look, Hardie® Trim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

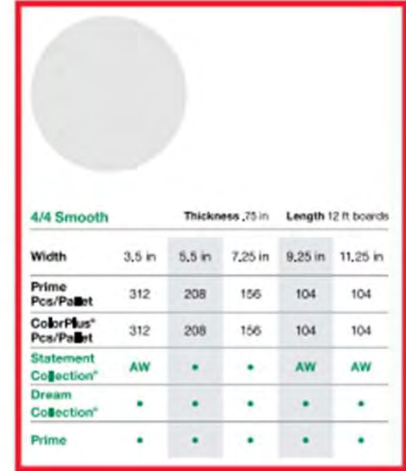
With higher performance to withstand damage from the elements compared to wood trim, Hardie® Trim is the perfect option for a long-lasting home. Hardie® Trim is a low-maintenance and durable accent for your exterior — adding an extra component of beauty to your home.



Hardie® Trim



4/4 Roughsawn	Thickness .75 in					Length 12 ft boards				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in					
Prime Pcs/Pallet	312	208	156	104	104					
ColorPlus® Pcs/Pallet	312	208	156	104	104					
Statement Collection®	AW	AW	*	AW	AW					
Dream Collection®	*	*	*	*	*					
Prime	*	*	*	*	*					



4/4 Smooth	Thickness .75 in					Length 12 ft boards				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in					
Prime Pcs/Pallet	312	208	156	104	104					
ColorPlus® Pcs/Pallet	312	208	156	104	104					
Statement Collection®	AW	*	*	AW	AW					
Dream Collection®	*	*	*	*	*					
Prime	*	*	*	*	*					

5/4 Roughsawn	Thickness 1 in						Length 12 ft boards					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in						
Prime Pcs/Pallet	240	200	180	120	80	80						
ColorPlus® Pcs/Pallet	240	200	180	120	80	80						
Statement Collection®	*		*	*	AW	AW						
Dream Collection®	*	*	*	*	*	*						
Prime	*	*	*	*	*	*						

5/4 Smooth	Thickness 1 in						Length 12 ft boards					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in						
Prime Pcs/Pallet	240	200	160	120	80	80						
ColorPlus® Pcs/Pallet	240	200	160	120	80	80						
Statement Collection®	*		*	*	AW	*						
Dream Collection®	*	*	*	*	*	*						
Prime	*	*	*	*	*	*						

Batten Boards

Thickness	.75 in
Length	12 ft
Width	2.5 in
Prime Pcs/Pallet	437
ColorPlus® Pcs/Pallet	190



Rustic Grain

Statement Collection®	*
Dream Collection®	*
Prime	*



Smooth

Statement Collection®	*
Dream Collection®	*
Prime	*



Protection in every detail, complete confidence in every area.

Hardie® Soffit

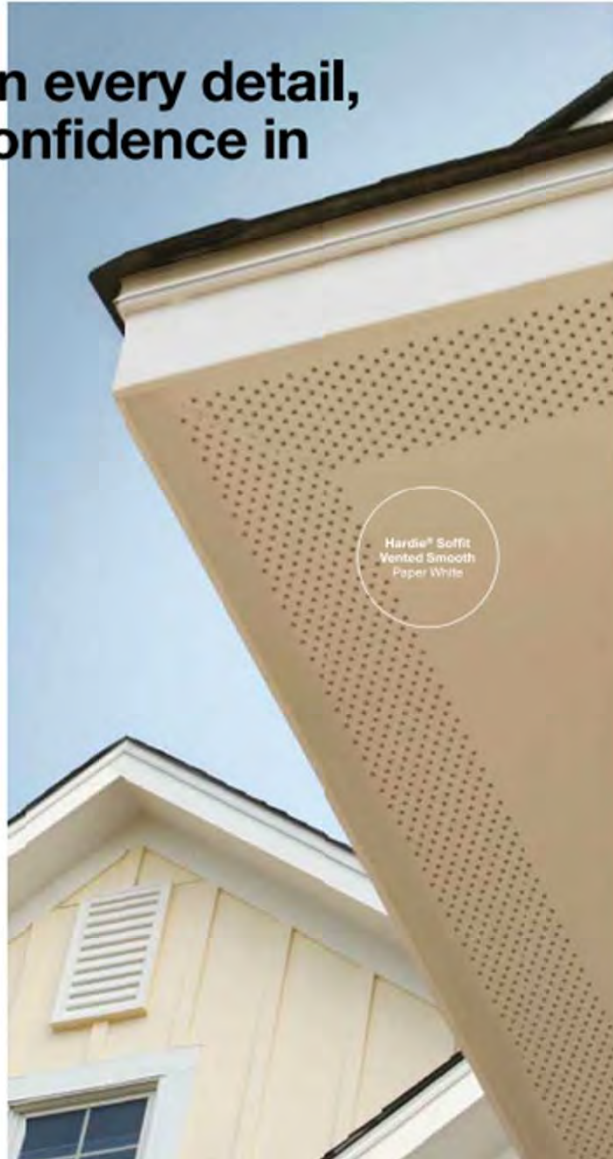
Every part of your home's exterior matters. With Hardie® Soffit panels, you can live confidently, knowing that gaps between eaves and exterior walls are covered to provide trusted protection.

DID YOU KNOW?

Using vented soffit improves ventilation and reduces the chance of water-vapor condensation that can promote mold, mildew and stains and which can damage your home's framing over time.

In warm climates, vented soffit allows hot, humid air to escape, which not only helps prevent condensation in the attic, but also helps reduce air-conditioning costs.

In cool climates, vented soffit helps prevent condensation from forming on the interior side of the roof sheathing and reduces the chances of roof-damaging ice dams.



Hardie® Soffit



	Thickness 1/4 in			
Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus® Pcs/Pallet	216	156	108	—

Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®			
Dream Collection®	*	*	*
Prime	*	*	*

Non-Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
Statement Collection®				
Dream Collection®	*	*	*	*
Prime	*	*	*	*

Vented Cedar™

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®	*		
Dream Collection®	*	*	*
Prime	*	*	*

Non-Vented Cedar™

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
Statement Collection®	*			
Dream Collection®	*	*	*	*
Prime	*	*	*	*

Beaded Porch Panel



Thickness	1/4 in
Size	4 ft x 8 ft
Bead Size	2 in o.c.
Prime Pcs/Pallet	50

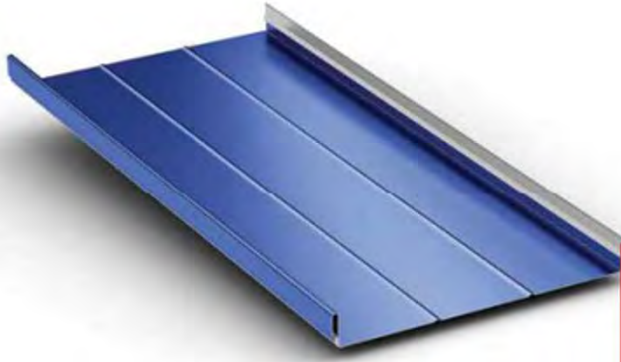
Statement Collection®	
Dream Collection®	*
Prime	*

Dead edge/ends on long edge of sheet to hide seams.

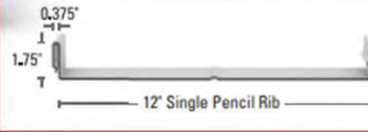
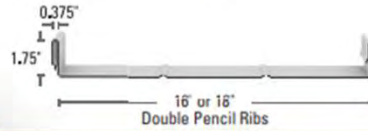
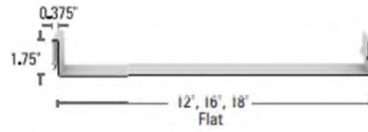
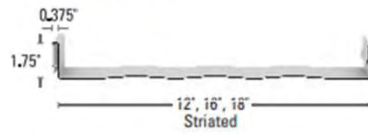


Medallion-Lok

Medallion-Lok is a snap-together architectural panel with structural capabilities that features a rigid 1.75" standing seam. Medallion-Lok is McElroy Metal's most popular snap-together panel and has been utilized to add beauty and function on projects all across the country.



Panel Options



Note: Striated panels are recommended as they reduce the appearance of oil canning



Details

- Factory formed eave notch upon request in: Clinton, Peachtree City, and Sunnyvale
- Factory applied sealant
- Minimum slope: 3:12
- Can be installed over solid deck or open framing

Panel Options

- Panel width: 12", 16" & 18"
- Panel configurations: striated, ribbed or flat pan (striated recommended)
- Coating: Kynar 500® (PVDF)
- Substrate:
 - Standard 24 gauge Galvalume®
 - Optional 22 gauge Galvalume
 - .032 aluminum

Testing Data

- Fire Rating: Class A
- Uplift Test: UL580 Class 90 ASTM E1592
- Air Infiltration: ASTM E1680
- Water Infiltration: ASTM E1646
- Class 4 Impact Resistance: III 221R
- Florida State Approval: 1747.5, 1832.7, 30920.5
- Fire Resistance: UL 263
- Miami-Dade Approval
- ICC-ES Approval: ESL-1082
- For any available Test Data, Section Properties or Load Tables please visit our download section at www.mcelroymetal.com



Architectural Colors

STANDARD COLORS



Docket No. 6-56-24 (15726 Lake)



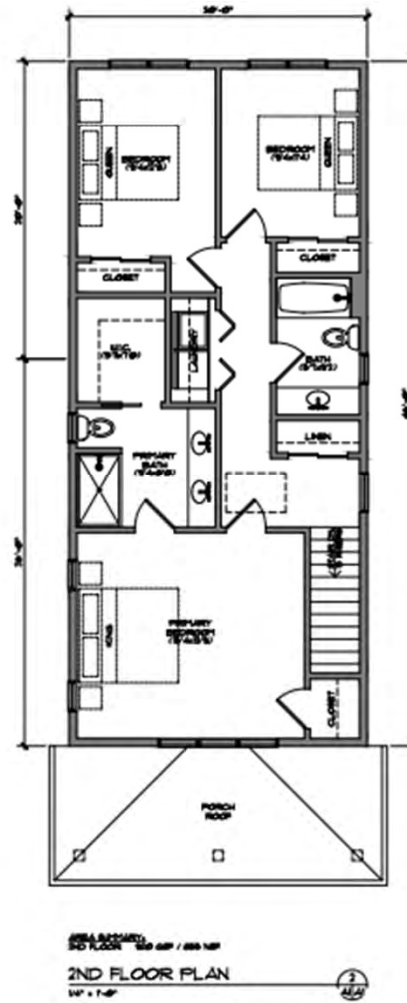
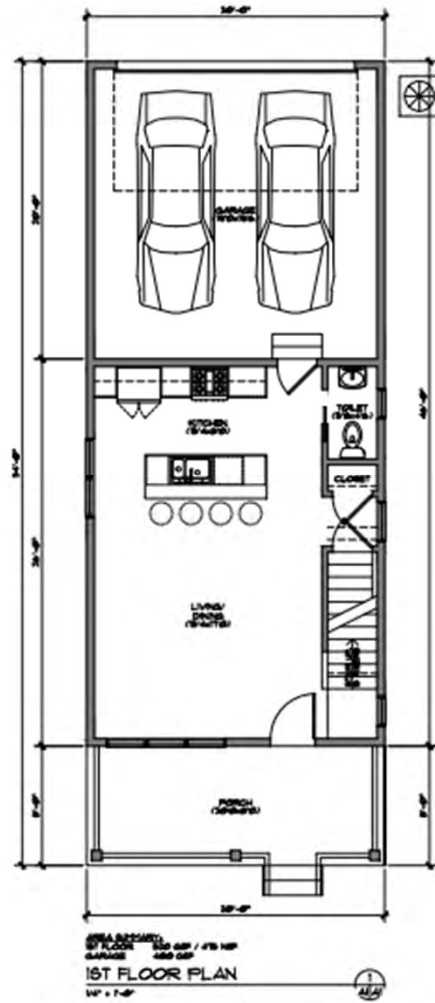
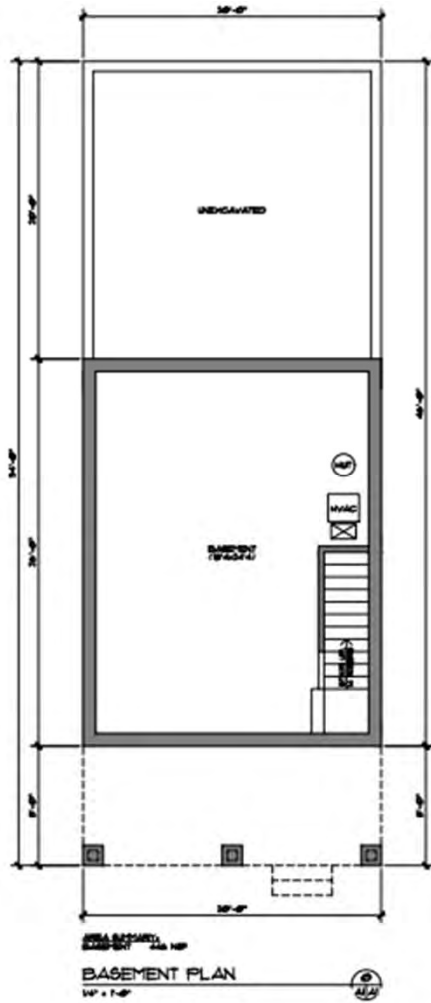
Planned Development Approval Process

1. Planning Commission reviews and approves plan for preliminary approval
2. Architectural Board of Review begins review of site plan and elevations
3. Planning Commission approves final development
4. Architectural Board of Review approves site plan, elevations and materials
5. City Council approves Final Planned Development



Docket No. 6-58-24 (Irene and Donald)

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



PAUL R. BEEGAN, LICENSE #125174
EXPIRATION DATE: 12.31.2025

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216.521.9000 PHONE
LAKWOOD, OHIO 44107 216.916.4591 FAX
WWW.BEEGAN-AD.COM PAUL.BEEGAN-AD.COM

project no. 23-075
Hilane Realty
Donald & Thoreau
Development
pgn 312-26-102
lakewood, oh 44107

Single-Family Houses
Floor Plans

A1

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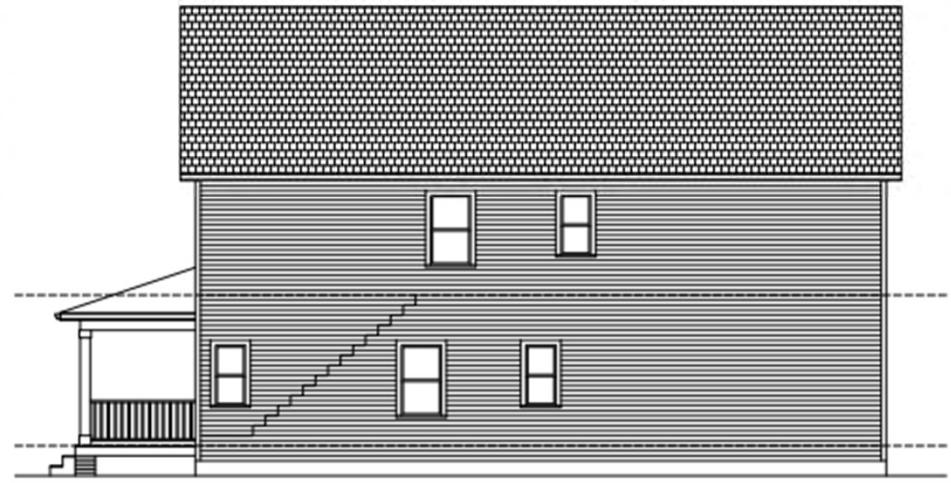
Docket No. 6-58-24 (Irene and Donald)

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design

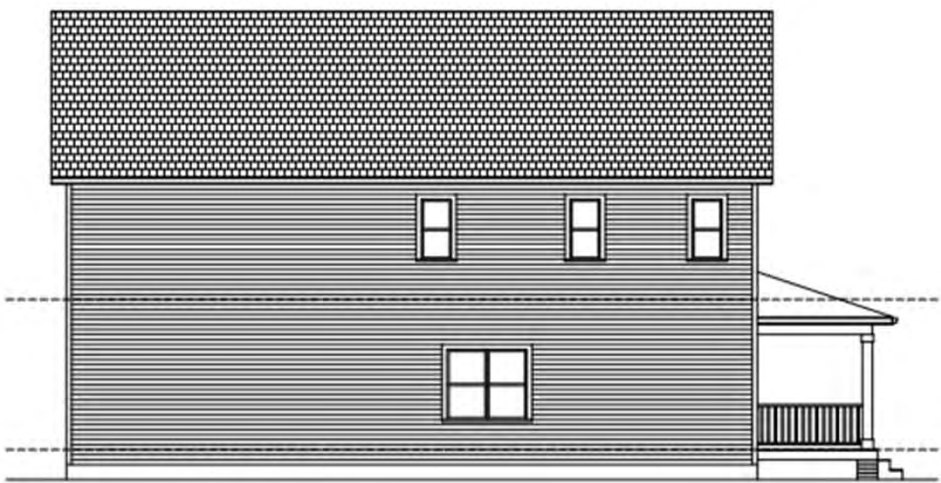


FRONT ELEVATION
1/4" = 1'-0"

- TOP OF ROOF
ELEV. 7'-0"
- SECOND FLOOR
ELEV. 10'-0"
- ROOF RISE
ELEV. 10'-0"
- 1ST FLOOR
ELEV. 7'-0"
- GRADE
ELEV. 0'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

- TOP OF ROOF
ELEV. 7'-0"
- SECOND FLOOR
ELEV. 10'-0"
- ROOF RISE
ELEV. 10'-0"
- 1ST FLOOR
ELEV. 7'-0"
- GRADE
ELEV. 0'-0"



REAR ELEVATION
1/4" = 1'-0"



PAUL R. BEEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2025

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216-521-9300 PHONE
LAKEWOOD, OHIO 44107 216-716-4591 FAX
WWW.BEEGAN-AD.COM PAUL.BEEGAN-AD.COM

project no. 23-075

Hilane Realty
Donald & Thoreau
Development
ppn 312-26-102
lakewood, oh 44107

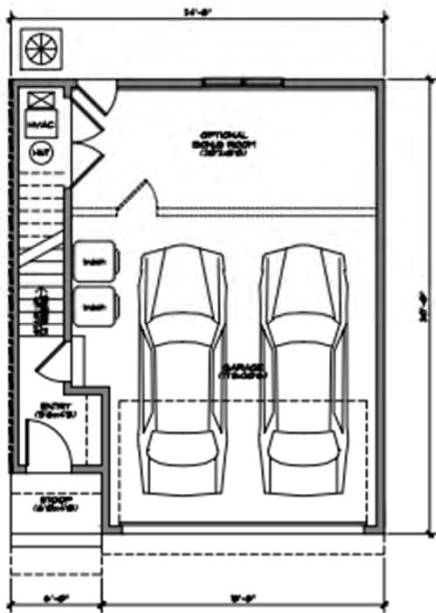
Single-Family Houses
Exterior Elevations

A2

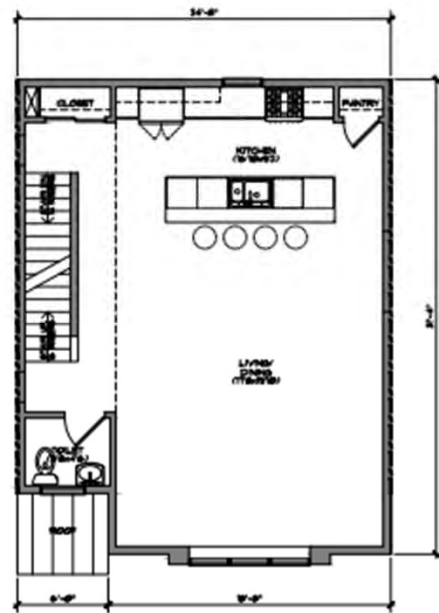
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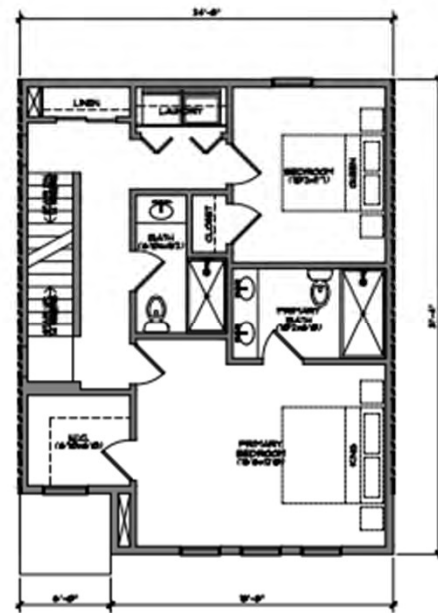
Docket No. 6-58-24 (Irene and Donald)



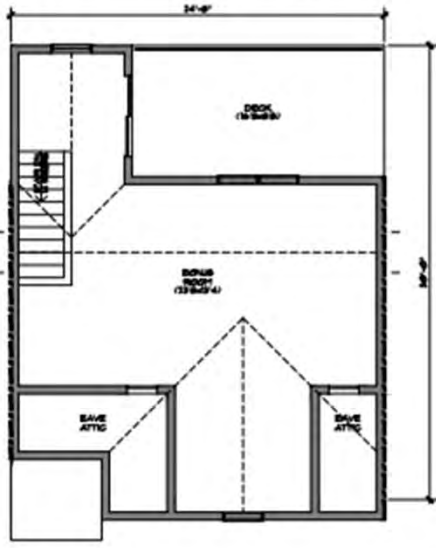
INT. S. JERMA ARCHITECTS
1ST FLOOR (WITH SECOND ROOM)
1ST FLOOR (WITH BONUS ROOM)
1ST FLOOR PLAN
1/4" = 1'-0"



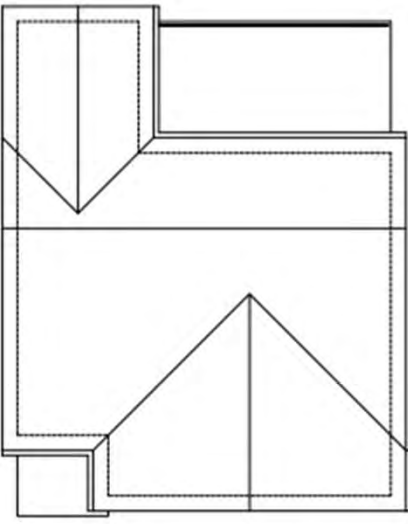
INT. S. JERMA ARCHITECTS
2ND FLOOR
2ND FLOOR PLAN
1/4" = 1'-0"



INT. S. JERMA ARCHITECTS
3RD FLOOR
3RD FLOOR PLAN
1/4" = 1'-0"



INT. S. JERMA ARCHITECTS
ATTIC FLOOR
ATTIC PLAN
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



PAUL S. BEEGAN, LICENSE #12174
EXPIRATION DATE: 12.31.2025

BEEGAN
ARCHITECTURAL DESIGN

11703 MADISON AVENUE 216.521.9000 PHONE
LAKWOOD, OHIO 44107 216.916.4591 FAX
WWW.BEEGAN-AD.COM PNL@BEEGAN-AD.COM

project no. 23-075
Hilane Realty
Donald & Thoreau
Development
ppn 312-26-102
lakewood, oh 44107

Townhouses
Floor Plans

A3

BEEGAN ARCHITECTURAL DESIGN LLC



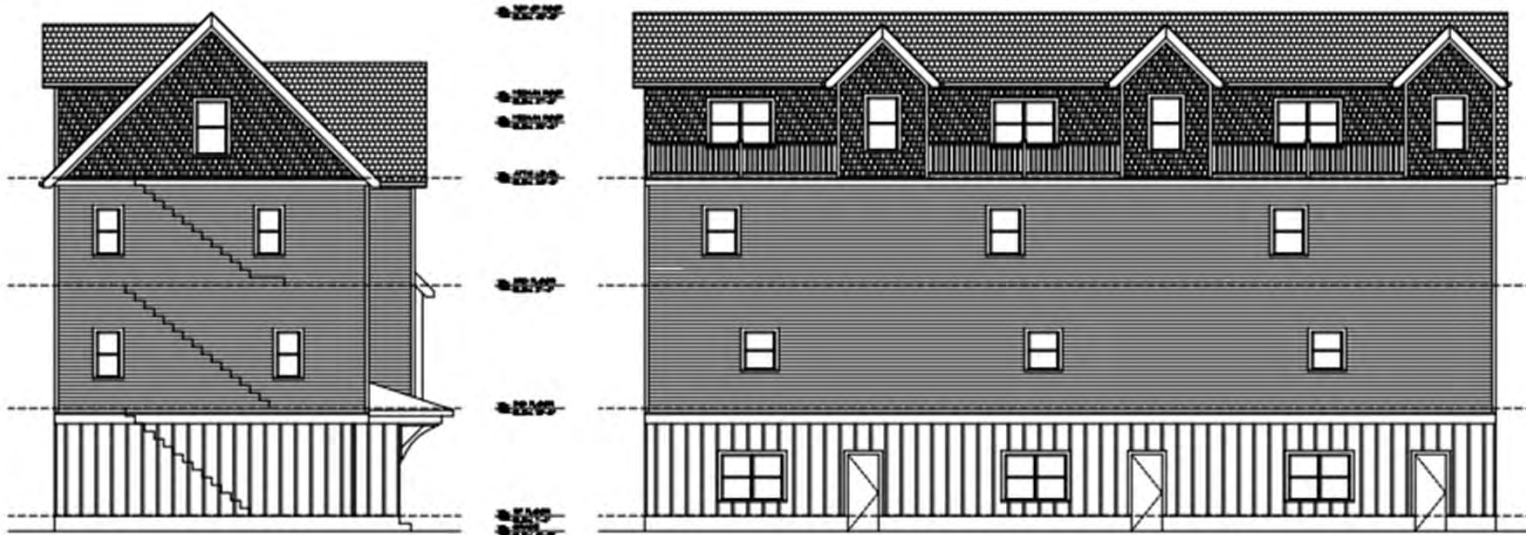
Docket No. 6-58-24 (Irene and Donald)

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



FRONT ELEVATION
30' x 14'

RIGHT SIDE ELEVATION
30' x 14'



LEFT SIDE ELEVATION
30' x 14'

REAR ELEVATION
30' x 14'



PAUL R. BEEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2025

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216.521.9000 PHONE
LAKEWOOD, OHIO 44107 216.916.4591 FAX
WWW.BEEGAN-AD.COM PAUL.BEEGAN-AD.COM

project no. 23-075

Hilane Realty
Donald & Thoreau
Development

ppn 312-26-102
lakewood, oh 44107

Townhouses
Exterior Elevations

A4

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Docket No. 6-58-24 (Irene and Donald)

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



RENDERING FROM WEST
N/A

RENDERING TO EAST
N/A



PAUL R. BEEGAN, LICENSE #12574
EXPIRATION DATE: 12.31.2025

BEEGAN
ARCHITECTURAL DESIGN

15703 MADISON AVENUE 216.521.9000 PHONE
LAKWOOD, OHIO 44107 216.916.4591 FAX
WWW.BEEGAN-AD.COM PAUL.BEEGAN-AD.COM

project no. 23-075

Hilane Realty
Donald & Thoreau
Development

ppn 312-26-102
lakewood, oh 44107

Townhouses
Project Renderings

A5

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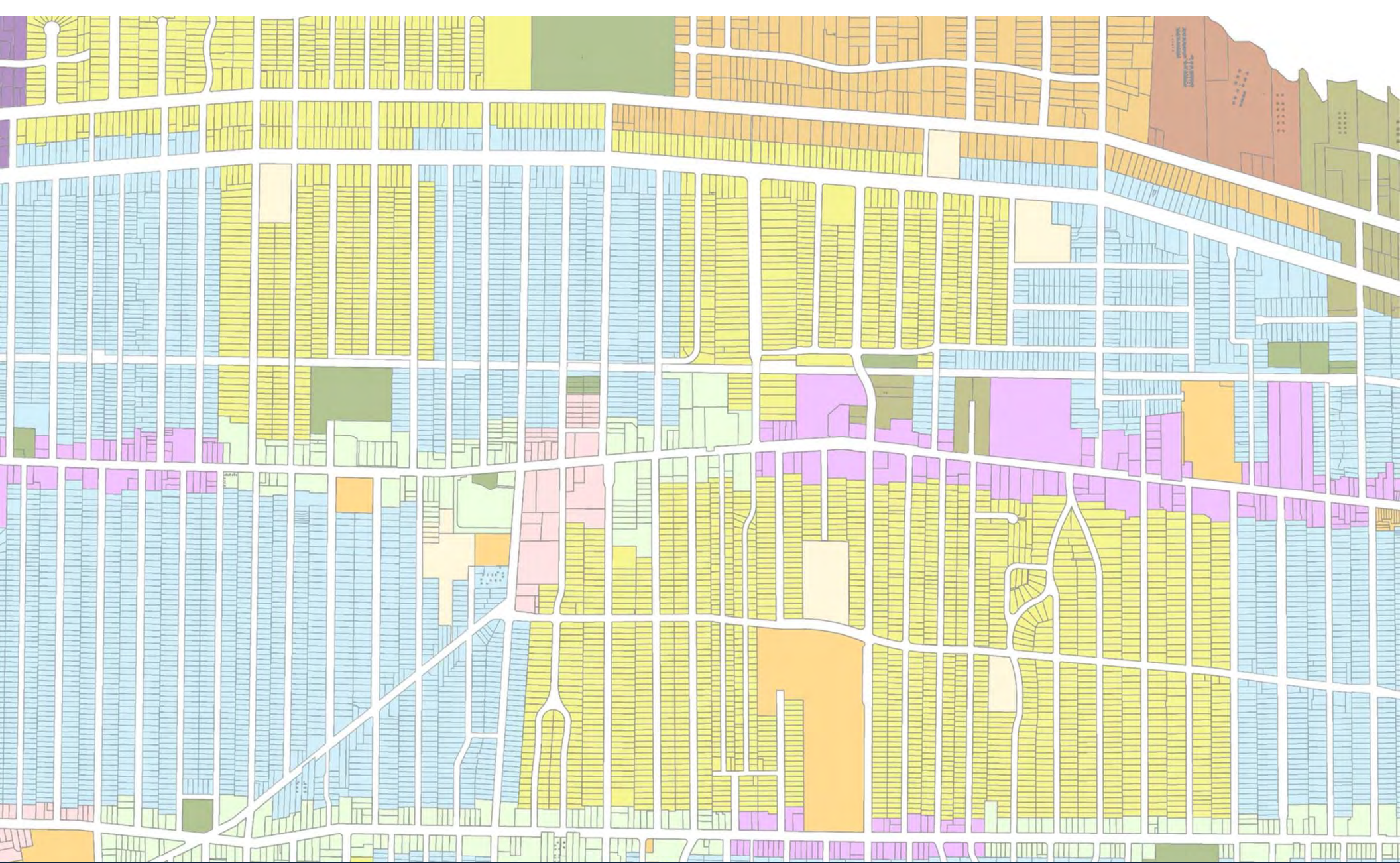


RENDERING TO WEST
N/A

RENDERING FROM EAST
N/A



Docket No. 6-58-24 (Irene and Donald)



Architectural Board of Review

June 2024