



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
JULY 10, 2025
5:30 P.M.
MEETING RECORDED
<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Hanna Cohan Plessner, Chair
Chris Egervary
Jeremy Smith, Vice Chair
Nick Slaughterbeck
Matthew Stevenson

Staff

Amanda Cramer, Co-Board Secretary, City Planner
William Wagner, Assistant Building Commissioner
Jeff Crossman, Law Department

2. APPROVE THE MINUTES OF THE JUNE 12, 2025 MEETING

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE the June 12, 2025 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

SUMMARY APPROVED

At the pre-review meeting, three items were Summary Approved (conditions are noted). A motion and a second is needed for approval of Docket No. 07-53-25, Docket No. 07-54-25, and Docket No. 07-55-25.

NEW BUSINESS

SIGN REVIEW

4. Docket No. 07-53-25

18206 Detroit Ave.
Oscar's Pizza

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave. Ste. 195
Lakewood, OH 44107

Applicant proposes an illuminated double-sided blade sign. (Page 32)

Conditions:

- Confirm that wall sign is being removed.
- Sign band is painted to match existing.
- Sign should be centered over doors and vertically in fascia.
- Any window graphics would need to come back to the Board for approval.

The conditions were accepted by the applicant.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Egervary to **APPROVE** the request. All the members voted yea; the motion passed.

5. Docket No. 07-54-25

15709 Detroit Ave.
The White Moon Soap Co.

- Approve
- Deny
- Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave. Ste. 195
Lakewood, OH 44107

Applicant proposes the re-covering of an awning and door window graphics with business name and logo. (Page 36)

A motion was made by Ms. Cohan Plessner, seconded by Mr. Egervary to **APPROVE** the request. All the members voted yea; the motion passed.

6. Docket No. 07-55-25

15422 Detroit Ave.
King's Church

- Approve
- Deny
- Defer

Noah Nickel
King's Church
15422 Detroit Ave.

Lakewood, OH 44107

Applicant proposes signage in multiple locations: window and door graphics, monument sign, wayfinding signage. (Page 40)

Conditions:

- Provide materials for monument signs and letters of main sign.
- Landscaping required for all monument signs that are not wayfinding signs.

The conditions were accepted by the applicant.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Egervary to **APPROVE** the request. All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

7. Docket No. 06-47-25	(R)	1655 Roosevelt Ave.
() Approve		Christopher Walling
() Deny		1655 Roosevelt Ave.
() Defer		Lakewood, OH 44107

Applicant proposes the construction of a new garage. (Page 5)

Ms. Cramer stated the applicant requested a deferral. Ms. Cohan Plessner noted that no updates had been submitted.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **TABLE** the request. All the members voted yea; the motion passed.

8. Docket No. 06-49-25	(C)	16024 Madison Ave. Neighborhood Pediatrics LLC
() Approve		Michael Daso
() Deny		Daso Properties
() Defer		17436 Edgewater Dr. Lakewood, OH 44107

Applicant proposes exterior renovations. (Page 17)

Michael Daso, Daso Properties, applicant, and Burt Wirtz, contractor, were present to explain the request. Discussion ensued about the design complementing the historic nature of the current structure, differing

material colors, the awnings heights, the white Nichiha wrapping into the front door, painting the previously painted brick, retaining the existing chain link fence, ramps, traffic flow within the parking lot. Public communication received by staff prior to the meeting was recognized (made part of record). Public comment was closed as no one addressed the item. There were no other questions from the members.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** the request with the following conditions:

- Only brick that is already painted will be repainted.
- Clarify there will be a vertical metal channel or some type of trim to provide a visual break between the two Nichiha materials on the facade.

All the members voted yea; the motion passed.

9. Docket No. 06-48-25	(C)	13345 Madison Ave. Commercial Building
<input type="checkbox"/> Approve		Daniel Rothstein
<input type="checkbox"/> Deny		Northlake Ridgewood 1 LLC
<input type="checkbox"/> Defer		P.O. Box 773 Hudson, OH 44236

Applicant proposes a mural on the west side of the building. (Page 12)

Aaron Casey, Artist, was present to explain the request. Discussion began with the paint materials and their application. The members liked the updates, liked the mural, and asked about the existing flashing. Administrative staff stated the artist's work was also on Corky's wall and had proven to be durable to the elements. Public comment was closed as no one addressed the item. Public communication received by staff prior to the meeting was recognized (made part of record).

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** the request with the following condition:

- Remove any existing nonfunctioning flashing in the area to be painted.

All the members voted yea; the motion passed.

10. Docket No. 06-51-25	(R)	1070 Rosalie Ave.
<input type="checkbox"/> Approve		Lee Pozek
<input type="checkbox"/> Deny		Architect
<input type="checkbox"/> Defer		5222 Coldbrook Dr. Mantua, OH 44255

Applicant proposes construction of an addition and attached garage on the north side of an existing residence. (Page 21)

Ms. Cramer stated the applicant requested a deferral and recommended to table the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **TABLE** the request. All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

11. Docket No. 07-56-25

15719 Detroit Ave.
Armed Services

- Approve
- Deny
- Defer

Brooke Thomas
Armed Services
15715 Detroit Ave.
Lakewood, OH 44107

Applicant proposes window graphics. (Page 53)

The board members acknowledged the request was **WITHDRAWN** by the applicant. No further action was taken.

ARCHITECTURAL BOARD OF REVIEW

12. Docket No. 07-57-25

(R)

2193 Lakeland Ave.

- Approve
- Deny
- Defer

Nick Legg
Great Day Improvements
1943 Midway Dr.
Twinsburg, OH 44087

Applicant proposes the enclosure of a front porch. (Page 58)

Jeff Leonard, on behalf of the applicant, was present to explain the request. Discussion started about placement of the screening in relationship to the existing railings, the existing columns, dimensions of the doorway, panel, and screening. Administrative staff had no comments. Public comment was closed as no one addressed the item. The members had no additional questions or comments.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** the request with the following condition:

- The screened panels will be set behind the existing railing.

All the members voted yea; the motion passed.

13. Docket No. 07-58-25

(R)

1040 Nicholson Ave.

- () Approve
- () Deny
- () Defer

Marshall Wright
Marshall L. Wright Construction Inc.
15538 Drake Rd.
Strongsville, OH 44136

Applicant proposes the addition of a front porch. (Page 78)

Andrew Swellie, Homeowner, and Marshall Wright, applicant, were present to explain the request. The members asked about materials, railing. Public comment was taken. Public communication in support of the proposal was received by staff prior to the meeting and recognized (made part of record). The members asked about setbacks even though they were not under the purview of ABR. Discussion continued about railings, vertical porch skirt, transom window, and the design following Lakewood's porch design guidelines. H&B staff asked if this was setting a precedence for the neighborhood.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** the request with the following condition:

- The railing height is between 28 and 30 inches and will match the specifications provided.

All the members voted yea; the motion passed.

14. Docket No. 07-59-25

(R)

1515 Wayne Ave.

- () Approve
- () Deny
- () Defer

Vincent Valentino
1515 Wayne Ave.
Lakewood, OH 44107

Applicant proposes the addition of a dormer on the south side of the roof. (Page 89)

Vincent Valentino, applicant and property owner was present to explain the request. Materials, colors, chimney height, and windows were discussed. The members liked the proposal. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** the request with the following conditions:

- The second floor roof line will be maintained along the full length of the dormer to match the existing.
- The new siding will be cedar to match the existing and painted with color to match the existing.
- The windows to match the existing.

All the members voted yea; the motion passed.

15. Docket No. 07-60-25

(C)

1382 Arthur Ave.
Lakewood Seventh Day Adventist Church

- () Approve

Aleksandra Brankov

- () Deny
- () Defer

Lakewood Seventh Day Adventist Church
1382 Arthur Ave.
Lakewood, OH 44107

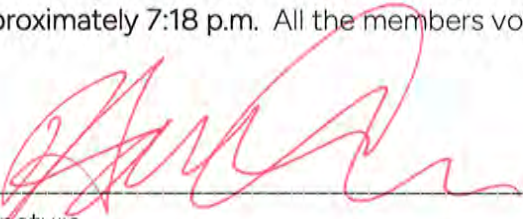
Applicant proposes to paint the brick exterior of the church school building to be consistent with the adjacent painted brick wall. (Page 97)

Aleksandra Brankov, Lakewood Seventh Day Adventist Church, applicant was present to explain the request. Discussion commenced about preparation of the brick surface prior to painting, deterioration of brick when painted, and the fact that the currently painted surfaces had deteriorated already. The existing unpainted brick looked to be in good condition and should not be painted. The members suggested to have a renovation master plan in place before painting brick. Elevations of the proposal would be helpful. The members said there was not a strong argument for approval to paint the unpainted brick but could support repainting the existing painted brick. Discussion continued about brick staining, options available to provide cohesiveness to the church and school, material composition of the windows. Public comment was taken. Public communication received by staff prior to the meeting was recognized (made part of record). Discussion continued about the city ordinance and the brick conditions that would requiring painting brick.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to DENY the request. All the members voted yea; the motion passed.

ADJOURN

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to ADJOURN at approximately 7:18 p.m. All the members voted yea; the motion passed.



Signature



Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Michael Dase
- 2. Aaron Cozy
- 3. JEFF Leonard
- 4. Andre Smilie
- 5. Rosemary Alcaraz
- 6. Vincent Valentino
- 7. Aleksandra Brankov
- 8. Candy Shoen
- 9. _____
- 10. _____
- 11. _____

- 1. *Michael Dase*
- 2. *Aaron Cozy*
- 3. *Jeff Leonard*
- 4. *Andre Smilie*
- 5. *Rosemary Alcaraz*
- 6. *Vincent Valentino*
- 7. *Aleksandra Brankov*
- 8. *Candy Shoen*
- 9. _____
- 10. _____
- 11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, July 10, 2025

1. Item #5: 13345 Madison: mural I'm growing tired of the murals but that's just me. 😊 This one on a brick wall that was never meant to be seen is fine.
2. Item #6 16024 Madison: exterior renovation The storefront design should take its cues from the historic second story. Instead, the architectural details and vocabulary of the historic building are ignored with a storefront design that looks like it belongs in Westlake. The colors, materials and material sizes are inappropriate and should not be approved.
3. Item #8: 18206 Detroit: sign (LakewoodAlive is helping this owner through the sign grant process) Good!
4. Item #9: 15709 Detroit: awning recover and door window graphics Fine.
5. Item #10: 15422 Detroit: multiple signs, monument sign, wayfinding, graphics Fine. Happy to see continued use.
6. Item #15: 1382 Arthur: painting brick to match adjacent painted brick The argument against painting any more brick in Lakewood is illustrated in the photo provided with their application. The painted brick looks horrible, it's not maintained, it traps moisture, and it will cause deterioration of the wall assembly. HARD NO on this one.

Johanna Schwarz

From: Brian Meng <bmeng@bialosky.com>
Sent: Monday, June 30, 2025 6:32 PM
To: Johanna Schwarz; Amanda L. Cramer; David Baas
Cc: Ian Andrews; Amy Haney
Subject: FW: ABR Sign Review and Walk with LakewoodAlive in the Fourth of July Parade

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Johanna, Amanda, and Dave,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood ABR agenda for the 07/01/2025 pre-review meeting:

4. Docket 06-47-25: 1655 Roosevelt
 - No comment.
5. Docket 06-48-25: 13345 Madison
 - Overall, the mural is a nice addition and backdrop to the open lot to the west.
 - Aerosol spray and masonry paint are both included in the submittal. However, it is unclear which is being used for which part of the mural.
 - We suggest the ARB and applicant discuss the use of the aerosol product and its longevity.
6. Docket 06-49-25: 16024 Madison Ave. Neighborhood Pediatrics
 - We are excited to see improvements proposed for the former human services center.
 - We also appreciate the first-floor massing and addressing the entrance(s).
 - However, we question if the storefront design should take its cues from the historic second story.
 - The colors, materials and material sizes do not currently relate to the existing building.
7. Docket 05-51-25: 1070 Rosalie
 - No comment.
8. Docket 07-53-25 18206 Detroit Ave. Oscar's Pizza
 - We appreciate the simple design and the use of internal illumination.
9. Docket 07-54-25: 15709 Detroit Ave. The White Moon Soap Co.
 - No comment.
10. Docket 07-55-25: 15422 Detroit Ave. Kings Church
 - We suggest the applicant provide additional information on the sign construction and details to supplement this package.
 - Can the applicant provide a site plan to key all proposed signs?
 - Will the wayfinding signage or the welcome sign facing Kauffman be illuminated?
 - Is the sign facing Kauffman intended to be used for people parking on the street?
11. Docket 07-56-25: 15719 Detroit Ave. Armed Services
 - We appreciate the precedent images that were included in the submission. However, it is unclear what is being proposed and where it is located on the existing building.
12. Docket 07-57-25: 2193 Lakeland Ave.
 - No comment.
13. Docket 07-58-25: 1040 Nicholson Ave.
 - No comment.
14. Docket 07-59-25: 1515 Wayne Ave.

- No comment.

15. Docket 07-60-25: 1382 Arthur Ave. Lakewood Seventh Day Adventist Church.

- We understand the desire to paint the brick.
- As demonstrated on the photos, the adjacent building's painted brick exterior walls have visible popping mortar joints and it appears some of the individual brick unit faces have deteriorated.
- The restriction of air passage and the trapping of moisture is a concern. We recommend the applicant works with the city for recommendations for breathable sealers.

We truly appreciate the opportunity to share our thoughts with you on these applications. If you have any questions on our comments, please let us know and we would be happy to discuss further. It is exciting to see so many developments occurring in Lakewood.

Thank you,

BRIAN MENG RA, LEED AP
Principal | Architect

BIALOSKY Always By Design.

P 216-767-2023

From: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>
Sent: Tuesday, June 24, 2025 3:45 PM
To: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>
Subject: Agenda: BBS/ABR/Sign Review

https://www.lakewoodoh.gov/wp-content/uploads/2025/06/BBSARBAgenda_071025.pdf

Good afternoon,

Please click on the link to view the agenda for the July 10, 2025 BBS/ABR/Sign Review meeting that begins at 5:30 p.m. in the auditorium. Because of the July 4th holiday, the pre-review meeting will be in the East Conference room at 4:00 p.m. on Tuesday, July 1, 2025.

Thank you and have a good evening.

Sincerely,

Johanna



Johanna Schwarz
Administrative Assistant II

City of Lakewood, Ohio
12650 Detroit Ave.
Lakewood, OH 44107

(216) 529-6631
johanna.schwarz@lakewoodoh.gov

Rob Donaldson thoughts below:

- 13345 Madison: mural. Aerosol spray and masonry paint both submitted. Don't know which is being use for which part of the mural. I have hesitation with the aerosol product and its longevity. ABR approved the mural on Corky's because the substrate was prepped. Text is always tricky, which is why so many murals don't use it. Otherwise, the mural is fine and will work well with the mural on the opposite side of the vacant lot.
- 16024 Madison - nice improvement to the former human services center. Well done. The first floor massing and cleaning up of the entrance(s) are good moves.
- 18206 Detroit - No exception taken. Nice simple sign. Bonus points for being internally illuminated.
- 15709 Detroit - No exception taken. Bonus points for not abusing the storefront with hours, website information, phone number, etc. Model submission.
- 15422 Detroit - Need more information on the sign construction, details, etc. Will wayfinding signage or the welcome sign facing Kauffman be illuminated? Vinyl graphics are clean and simple. The sign facing Kauffman is a little awkward, but I think it's intended to be used for people parking on the street? This should have been caught when it came in and pulled out of the deck administratively.
- 1382 Arthur - On the fence about this one... I can see why they want to paint the brick, but LOOK at the building next to it where the mortar joints are popping off the brick. There was a proposal to put a significant addition on this church (maybe 2019?). The masonry primer is a sealer that will restrict air passage, and the SuperPaint is basic DIY paint. The City should have recommendations for breathable sealers. Recommend the applicant and the City work on this one administratively.

Johanna Schwarz

From: Linda Springer <linda.springer@mac.com>
Sent: Wednesday, July 2, 2025 9:11 PM
To: Planning Dept
Cc: andrewswellie@gmail.com; David Delgado
Subject: Docket No 07-58-25 1040 Nicholson Road front porch

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Members of the Architectural Review Board,

We write in support of the plans submitted by Andrew Swellie to add a front porch to their home at 1040 Nicholson Avenue, which is across the street from our home at 1031 Nicholson. We are unable to attend the July 10 meeting and send this email in lieu of our comments at the meeting.

We've reviewed their plans online and find the proposed porch to be attractive and aesthetically in keeping with the style of their home and the neighborhood. We love that a front porch will provide them seating space in front of their home. A front porch is a neighborly place to gather and such a "Lakewood" feature. Many people are out and about on our street, and I'm sure their porch will provide opportunities for mingling.

We enthusiastically support their project and look forward to watching their porch go up!

Sincerely,

Linda Springer and David Delgado
1031 Nicholson Avenue

Johanna Schwarz

From: Travis Ahren <travrock1383@gmail.com>
Sent: Thursday, July 10, 2025 8:41 AM
To: Planning Dept
Subject: Docket No. 07-60-25

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

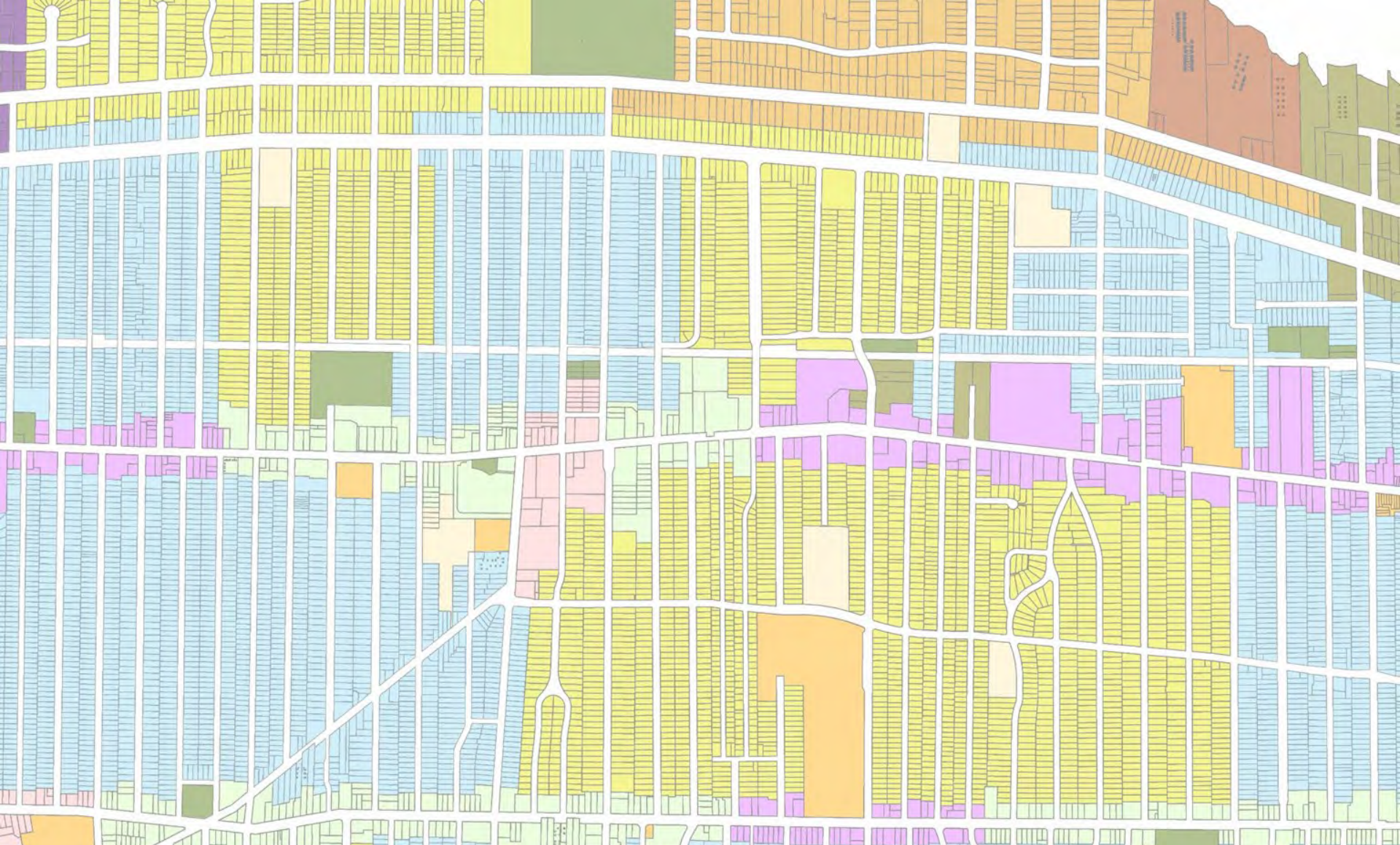
Good Morning,

I reside at 1383 Lakeland Ave. The Seventh Day Adventist Church is literally in my backyard. I understand their intent (and right) to paint their building. That said, I have a few concerns regarding the vines originating from the ground that will need to be removed from the building. These have been here for as long as i can remember and are quite established. My main concerns are these:

- 1) I will not allow any poisons or chemicals to be disbursed in my back yard. We have several dogs as well as wildlife and gardens/flowerbeds that we have planted and i do not want chemicals leaching into the ground.
- 2) I do not want the vines removed and left on the property. We have been accused (verbally) of planting these vines but they are naturally occurring and thus, they are not "mine." I feel that they should be removed entirely if this comes to pass.
- 3) Lastly, as mentioned above, we have several Dogs and a fenced in yard to keep them. There will need to be coordination for accessing the yard for the safety of the dogs.

Thank you for your consideration. Please feel free to reach out if there are any questions.

Travis G Ahren
Resident 1383 Lakeland Ave
(216) 798-5157



Architectural Board of Review

July 2025



Architectural Board of Review

Pre-Review Meeting: July 2nd, 4 pm (East Conf Rm)

Regular Meeting: July 10th , 5:30 pm (Auditorium)

Members

Hanna Cohan Plessner (2025 Chair)

Jeremy Smith (2025 Vice-Chair)

Chris Egervary

Nick Slaughterbeck

Matt Stevenson

Staff

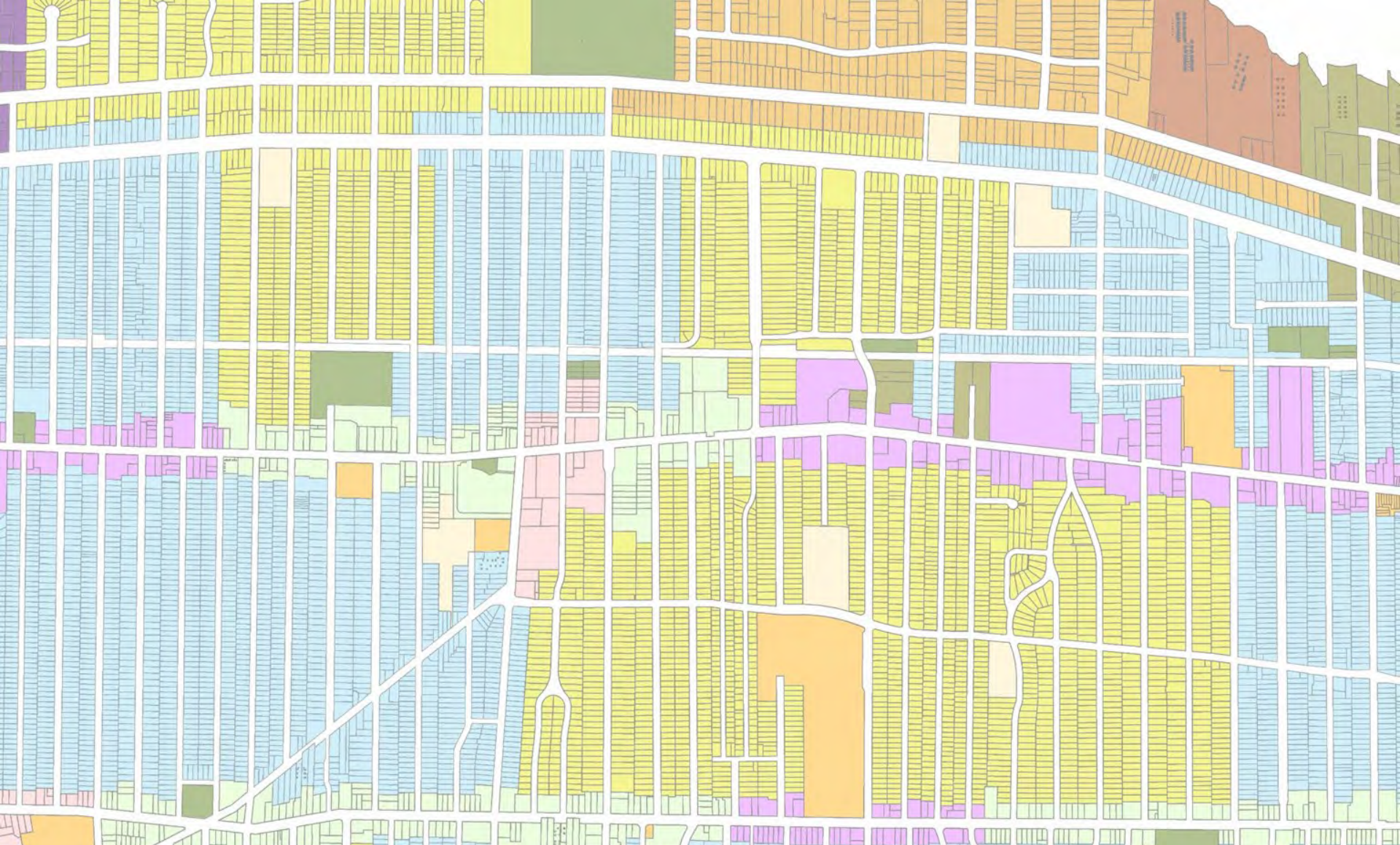
Board Secretary: Amanda Cramer, Sophia Szeles

Assistant Building Commissioner: William Wagner



Architectural Board of Review **July Agenda**

1. Roll call
2. Approve minutes – June 2025 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn



Architectural Board of Review

Sign Review – July 2025

Applicant proposes new signage.

City Notes:

- ❑ Applicant proposes 1 blade sign (3.7 sq ft)
- ❑ Max allowed square footage: 24 sq ft
- ❑ Total proposed square footage: 3.7 sq ft

• Summary approved with conditions:

- Confirm that wall sign is being removed
- Sign band is painted to match existing
- Sign should be centered over doors and vertically in fascia
- Any window graphics would need to come back to the Board for approval



Docket No. 07-54-25 (18206 Detroit)

New Signage – Oscar's Pizza
Steven Foster

Applicant proposes new signage.

City Notes:

- ❑ Applicant proposes 1 awning sign (12.8 sq ft) and 1 vinyl decal sign (3 sq ft)
- ❑ Max allowed square footage: 28.5 sq ft
- ❑ Total proposed square footage: 15.8 sq ft

• Summary approved with no conditions

15709 Detroit Ave



Docket No. 07-55-25 (15709 Detroit)

New Signage – White Moon Soap Co.
Steven Foster

Applicant proposes new signage.

City Notes:

- ❑ Applicant proposes 1 wall sign (11 sq ft); 3 monument signs (4 ft)(28 sq ft)(17.5 sq ft); 9 vinyl decal signs (total 18.5 sq ft; less than 15% window coverage)
- ❑ Max allowed square footage: 100 sq ft
- ❑ Total proposed square footage: 79 sq ft

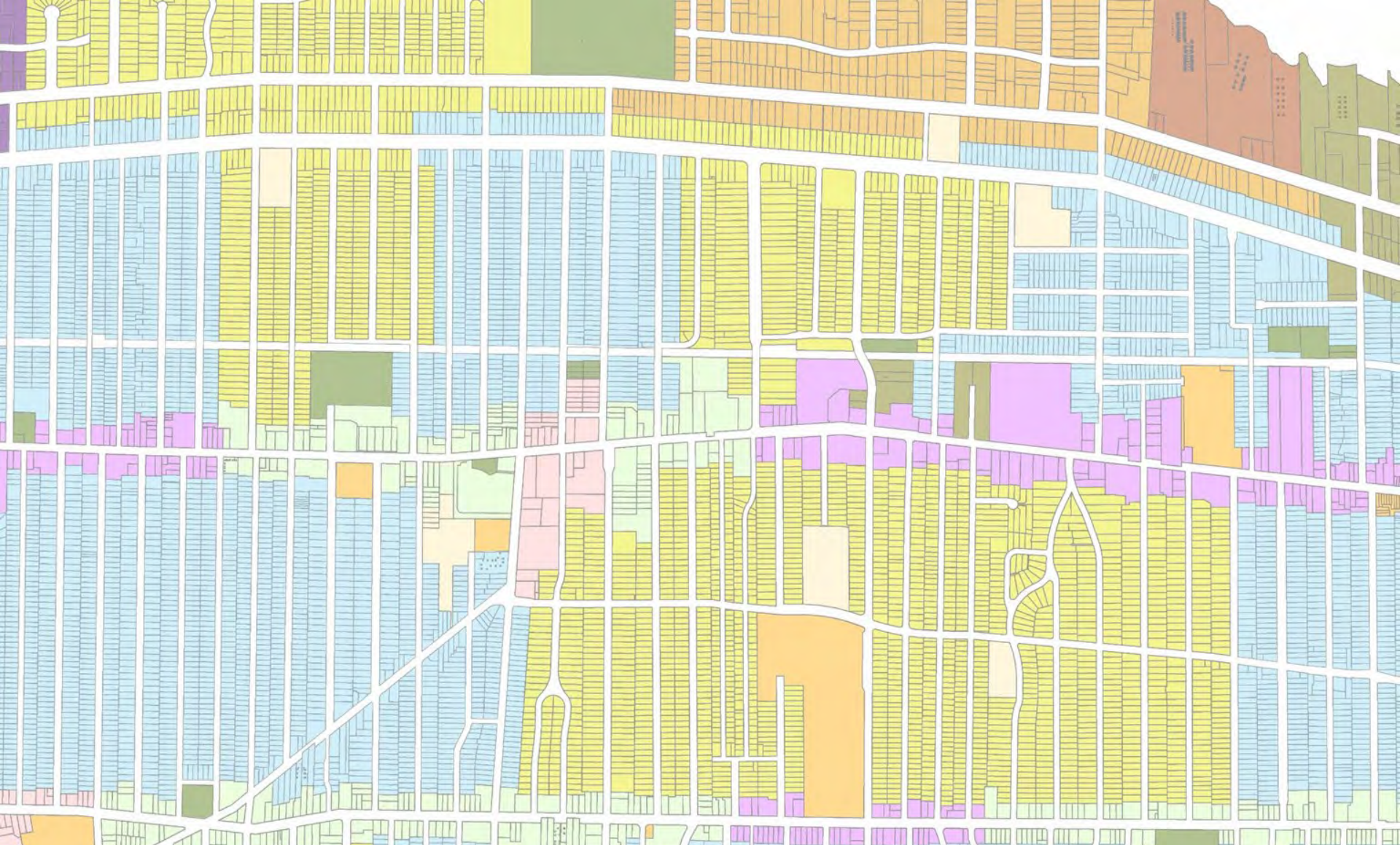
Summary approved with the following conditions:

- Provide materials for monument signs and letters of main sign
- Landscaping required for all monument signs that are not wayfinding signs



Docket No. 07-56-25 (15422 Detroit)

**New Signage – King’s Church
Noah Nickel**



Architectural Board of Review

Old Business – July 2025

Applicant proposes mural.

City Notes:

- Finished Wire Cut Yellow brick existing.
- Brush off brick, apply a good quality masonry brick primer to seal the brick, and then apply the actual paint afterwards. Followed by a protecting clear coat to finish it off.



Docket No. 06-48-25 (13345 Madison)

**Commercial – Mural
Daniel Rothstein**



Docket No. 06-48-25 (13345 Madison)



Docket No. 06-48-25 (13345 Madison)



Docket No. 06-48-25 (13345 Madison)



About This Product

The BEHR Masonry, Stucco and Brick Paint a high-quality, satin acrylic latex paint with a 20-year customer satisfaction guarantee. This interior/exterior, self-priming, alkali and mildew resistant finish also provides excellent adhesion, coverage and water repellency and color retention. Ideal for use on properly prepared interior or exterior vertical surfaces such as stucco, masonry, concrete, concrete block and brick as well as adjacent wood and metal.

Highlights

- Excellent hide, coverage, adhesion and water repellency
- Durable satin finish
- Alkali and mildew resistant finish (ideal for new or weathered stucco)
- 250 sq. ft. - 400 sq. ft. of coverage per gallon
- Easy clean up with soap and water
- Self-priming, acrylic latex paint

New

Siloxane 7 1 Gal. Clear Invisible Exterior Concrete Waterproof/Sealer for Brick and Masonry

★★★★★ (7) Questions & Answers (3)

Hover Image to Zoom

KILZ

KILZ 2 ALL PURPOSE 1 qt. White Interior/Exterior Multi-Surface Primer, Sealer, and Stain Blocker

★★★★★ (1202) Questions & Answers (1093)

Hover Image to Zoom



Docket No. 06-48-25 (13345 Madison)

Applicant proposes exterior renovation.

City Notes:

- No parking lot included in this proposal: approved by PC 7/8
- Any signage will need separate approval
- Wall section requested



16024 Madison Ave



Docket No. 06-49-25 (16024 Madison)

Neighborhood Pediatrics – Exterior Renovation
Michael Daso



Docket No. 06-49-25 (16024 Madison)



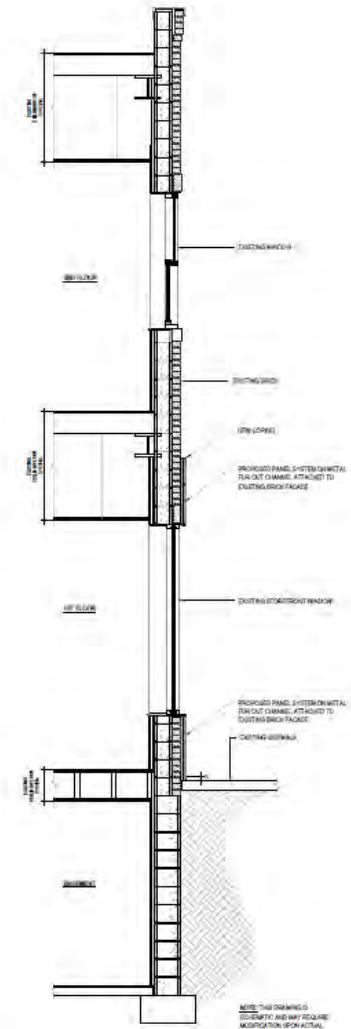
Docket No. 06-49-25 (16024 Madison)



Docket No. 06-49-25 (16024 Madison)



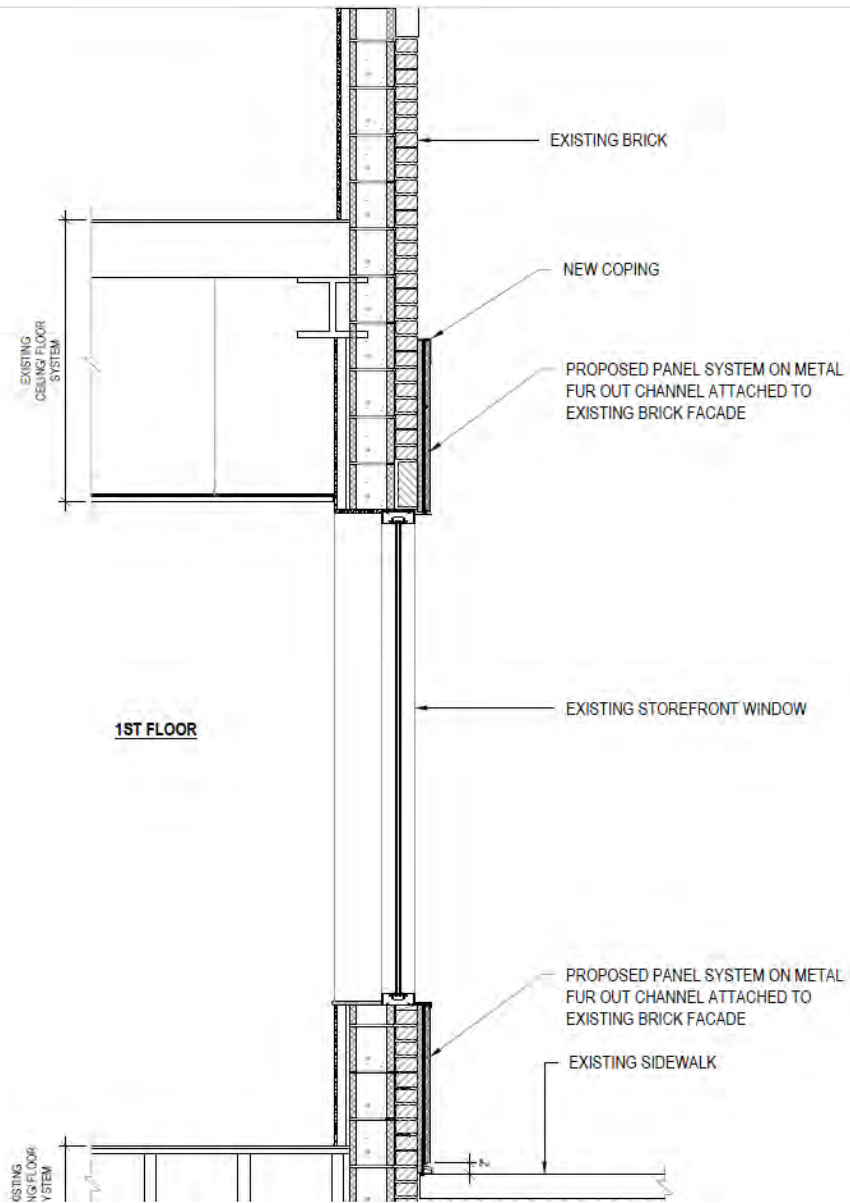
ELEVATION REFERENCE FOR WALL SECTION



WALL SECTION THRU FRONT ELEVATION
SCALE: 3/4" = 1'-0"



Docket No. 06-49-25 (16024 Madison)



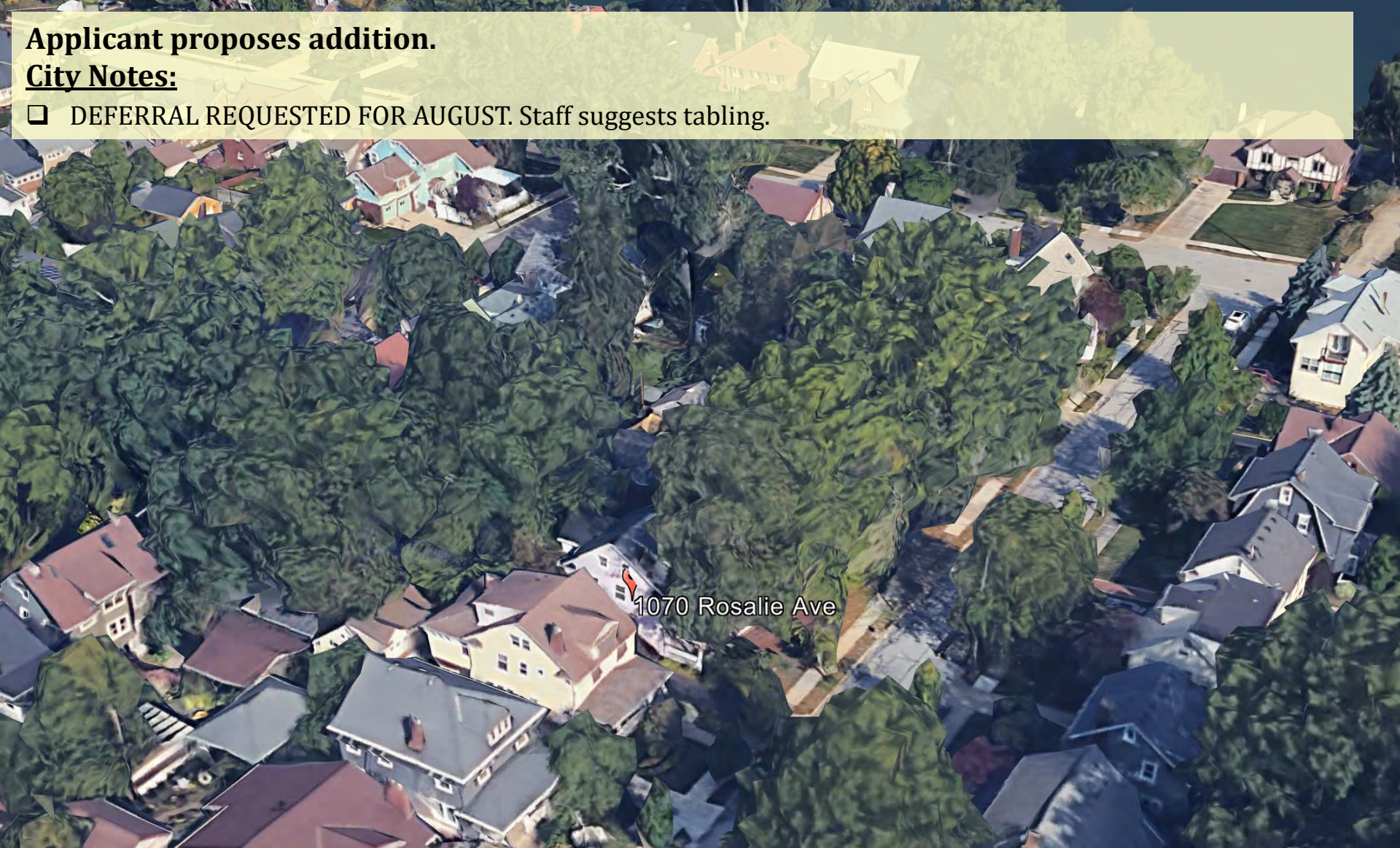
Docket No. 06-49-25 (16024 Madison)



Applicant proposes addition.

City Notes:

- DEFERRAL REQUESTED FOR AUGUST. Staff suggests tabling.

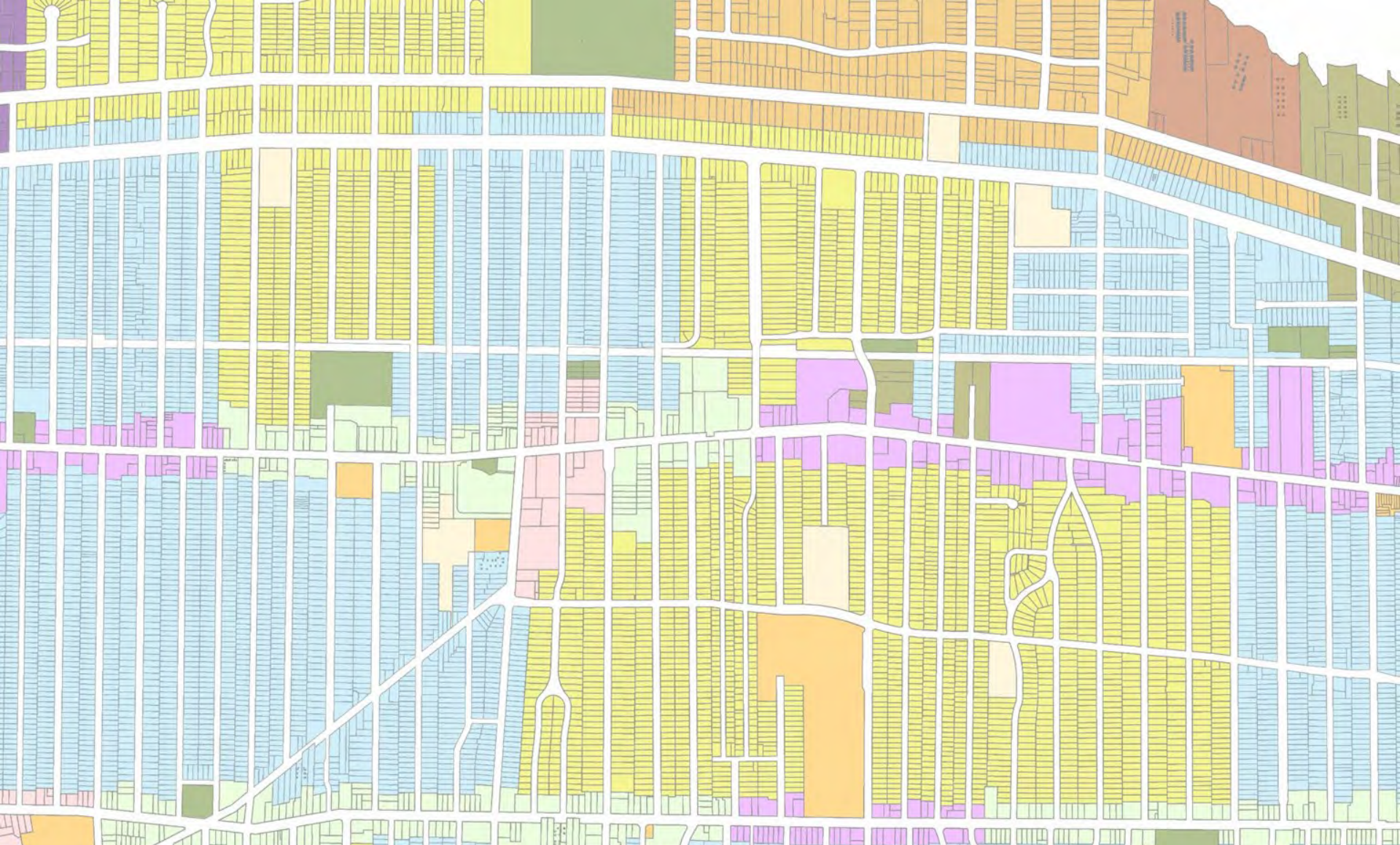


1070 Rosalie Ave



Docket No. 06-51-25 (1070 Rosalie)

**Residence – Addition
Lee Pozek**



Architectural Board of Review

July 2025

Applicant proposes seasonal enclosure.

City Notes:

- Provide photo of house (existing)
- Provide cut sheet/sample of screen material
- Provide material/information on infill panel on missing column
- Clarify if railing is in front of or behind screens

2193 Lakeland Ave

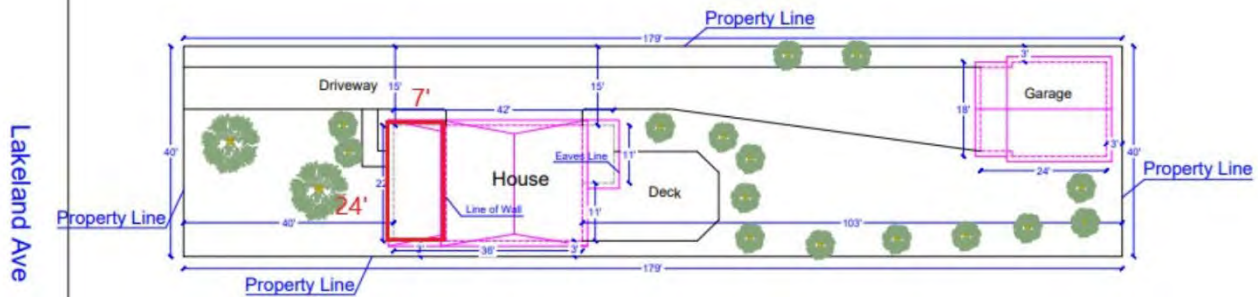


Docket No. 07-58-25 (2193 Lakeland)

Residence – Seasonal Enclosure
Nick Legg



Seasonale Enclosure - 7' x 24' - Under Existing Roof - No Setbacks Affected



Lakeland Ave

ADDRESS: 2193 Lakeland Ave, Lakewood, OH 44107, USA

Scale: 1"=20'

Land: 7160 SF

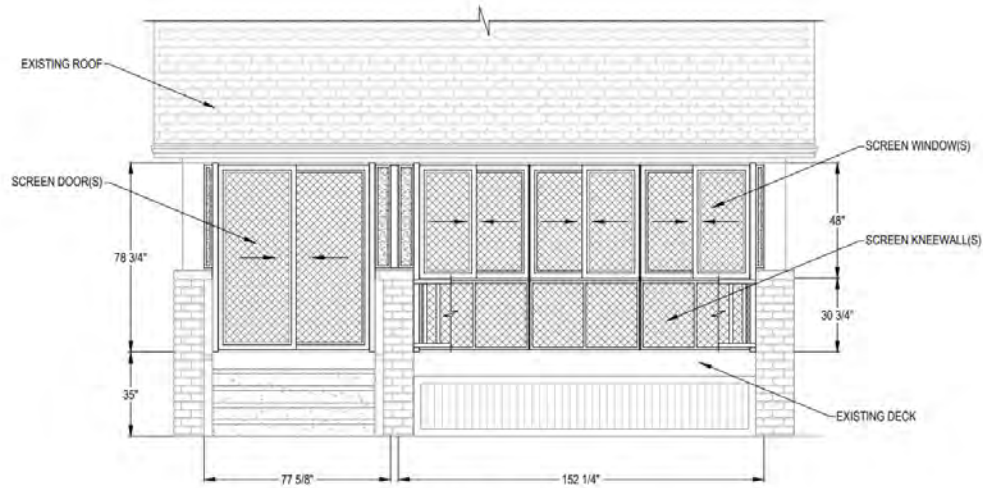
House: 1605 SF

THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE

This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.



Docket No. 07-58-25 (2193 Lakeland)



ELEVATION - "B" WALL

NOTES:

1. ALLVIEW (AVS) SCREEN SUNROOM; WHITE IN COLOR
2. CONSTRUCT SUNROOM ON EXISTING DECK AND UNDER EXISTING ROOF
3. NO ELECTRICAL BY GDI

DATE	5/21/25
DRAWN	MTS
SCALE	1/4" = 1'-0"
SHEET	1 OF 4

REBECCA HURBIZONDO
 2193 LAKELAND AVENUE
 LAKEWOOD, OH 44107
 JOB #44444

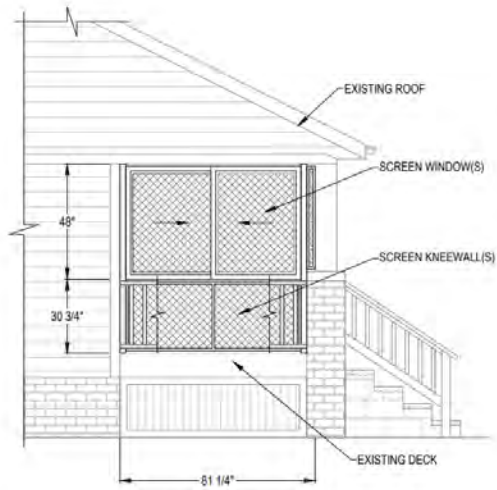
PATIO ENCLOSURES
 CLEVELAND
 1943 MIDWAY DRIVE
 TWINSBURG, OH 44087
 330-467-4267



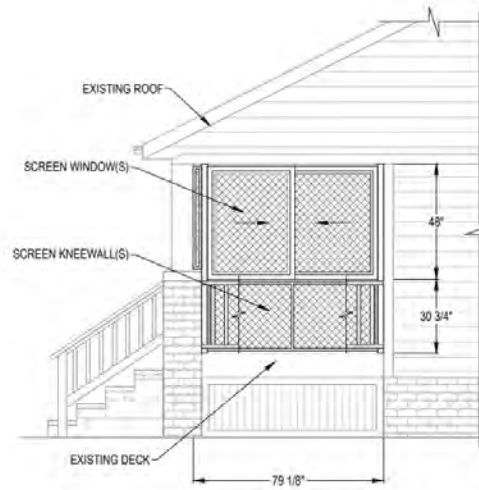
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC. AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



Docket No. 07-58-25 (2193 Lakeland)



ELEVATION - "A" WALL



ELEVATION - "C" WALL

DATE	5/21/25
DRAWN	MTS
SCALE	1/4" = 1'-0"
SHEET	2 OF 4

REBECCA URBIZONDO
 2193 LAKELAND AVENUE
 LAKEWOOD, OH 44107
 JOB #44444

PATIO ENCLOSURES
 CLEVELAND
 1943 MIDWAY DRIVE
 TWINSBURG, OH 44087
 330-467-4267



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Docket No. 07-58-25 (2193 Lakeland)



DATE	5/21/25	-
DRAWN	MTS	-
SCALE	1/4" = 1'-0"	-
SHEET	3 OF 4	-

REBECCA URBIZONDO
 2193 LAKELAND AVENUE
 LAKEWOOD, OH 44107
 JOB #44444

PATIO ENCLOSURES
 CLEVELAND
 1943 MIDWAY DRIVE
 TWINSBURG, OH 44087
 330-467-4267

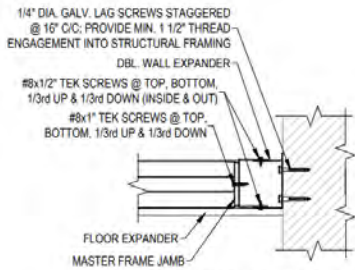


THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC. AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.

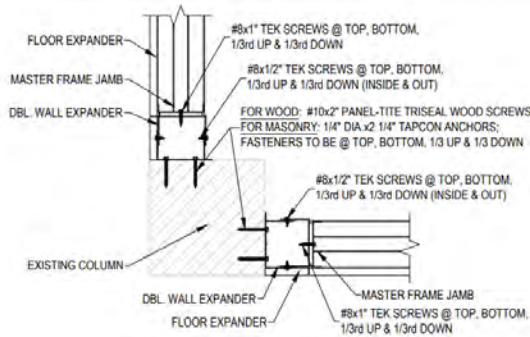


Docket No. 07-58-25 (2193 Lakeland)

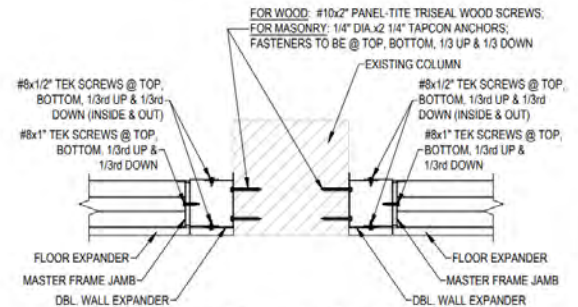
THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC. AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



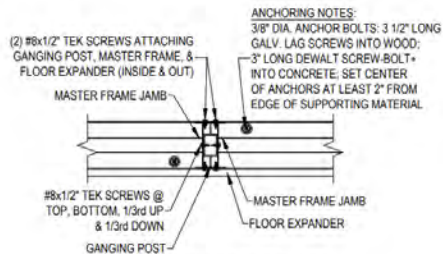
PLAN VIEW OF MASTER FRAME JAMB & DBL EXPANDER CONNECTION @ EXISTING WALL



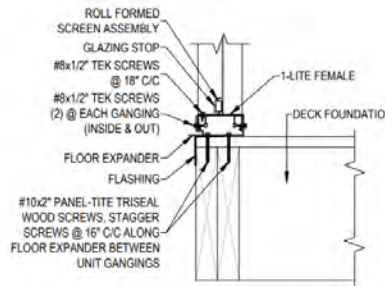
PLAN VIEW OF MASTER FRAME JAMB & DBL EXPANDER CONNECTION @ EXISTING COLUMN



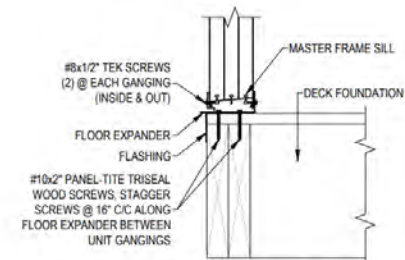
PLAN VIEW OF MASTER FRAME JAMB & DBL EXPANDER CONNECTION @ EXISTING COLUMN



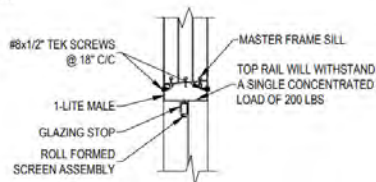
PLAN VIEW OF MASTER FRAME JAMBS CONNECTION @ GANGING POST



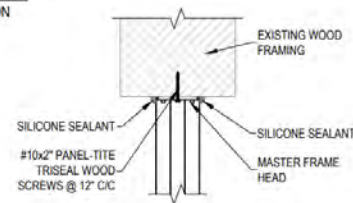
SECTION THROUGH SCREEN KNEEWALL CONNECTION @ DECK FOUNDATION



SECTION THROUGH MASTER FRAME SILL CONNECTION @ DECK FOUNDATION



SECTION THROUGH MASTER FRAME SILL CONNECTION @ SCREEN KNEEWALL



SECTION THROUGH MASTER FRAME HEAD CONNECTION @ EXISTING HEADER

DATE	5/21/25	-
DRAWN	MTS	-
SCALE	1 1/2" = 1'-0"	-
SHEET	4 OF 4	-

REBECCA URBITONDO
2193 LAKELAND AVENUE
LAKEWOOD, OH 44107
JOB #4444

PATIO ENCLOSURES
CLEVELAND
1943 MIDWAY DRIVE
TWINSBURG, OH 44087
330-467-4267



Docket No. 07-58-25 (2193 Lakeland)



Applicant proposes new front porch.

City Notes:

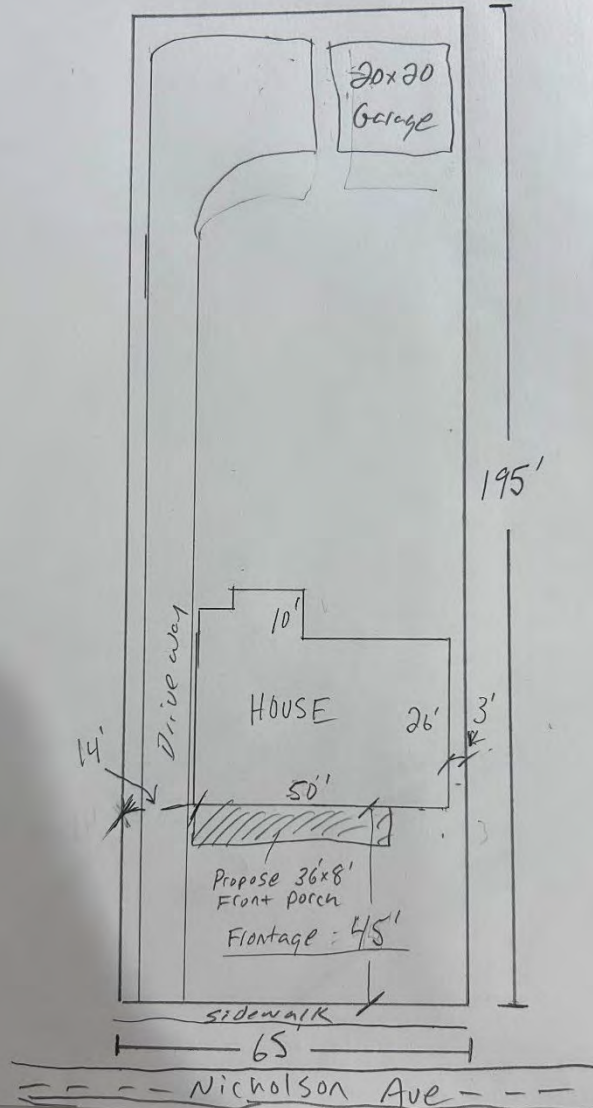
- 32' ft wide x 8' ft deep
- Update elevation to show railing at desired height (railing not required; if desired, railing does not need to be 36" in height)
- Update elevation to show accurate spacing of windows, columns, overhangs, ect.
- Provide cut sheets of lighting, fans, composite skirting, composite decking, roofing, etc.



Docket No. 07-59-25 (1040 Nicholson)

Residence – New Front Porch
Marshall Wright





Docket No. 07-59-25 (1040 Nicholson)





Docket No. 07-59-25 (1040 Nicholson)



Docket No. 07-59-25 (1040 Nicholson)



DESIGN LOADS			
CATEGORY	USE LOAD	DEAD LOAD	TOTAL LOAD
ATYC GEAR UP STORAGE	20 P.S.F.	8 P.S.F.	28 P.S.F.
ATYC OFFICE STORAGE	20 P.S.F.	8 P.S.F.	28 P.S.F.
ATYC NO STORAGE	0 P.S.F.	8 P.S.F.	8 P.S.F.
DECK	40 P.S.F.	8 P.S.F.	48 P.S.F.
EXTERIOR BALCONY	20 P.S.F.	8 P.S.F.	28 P.S.F.
GENERAL HOV UNDECKED	20 P.S.F.	8 P.S.F.	28 P.S.F.
GENERAL WFL UNDECKED	20 P.S.F.	8 P.S.F.	28 P.S.F.
PASSENGER VEHICLE GARAGE	30 P.S.F.	8 P.S.F.	38 P.S.F.
50% GEAR UP LOADING	40 P.S.F.	8 P.S.F.	48 P.S.F.
SLEEPING DECKS	30 P.S.F.	8 P.S.F.	38 P.S.F.
WALKWAY	40 P.S.F.	8 P.S.F.	48 P.S.F.
ROOF	20 P.S.F.	8 P.S.F.	28 P.S.F.
SOIL	2 P.S.F.	N/A	2 P.S.F.
SNOW	20 P.S.F.	N/A	20 P.S.F.
WIND	1500 P.S.F.	N/A	1500 P.S.F.

NOTES:
 1. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE AS SHOWN.
 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE SPECIFIED.
 5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
 6. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
 7. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.

MATERIAL SUMMARY		
SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE 4"	N/A
MAIN FLOOR	WOOD 2"x6" T&G	N/A
UPPER FLOOR	WOOD 2"x6" T&G	N/A

AREA SUMMARY	
AREA	SIZE
UNFINISHED LOWER LEVEL	0,000 SQ. FT.
FINISHED LOWER LEVEL	0,000 SQ. FT.
MAIN LEVEL	0,000 SQ. FT.
UPPER LEVEL	0,000 SQ. FT.
UPPER LEVEL (VOLU. SPACE)	0,000 SQ. FT.
FINISHED FLOOR	0,000 SQ. FT.
TOTAL HEATED AREA	0,000 SQ. FT.
REAR PORCH (NOT COVERED)	296 SQ. FT.
ARRIVAL PORCH	296 SQ. FT.
FRONT PORCH	0,000 SQ. FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ. FT.
LOWER LEVEL COVERED REAR PORCH	296 SQ. FT.
TOTAL AREA UNDER ROOF	0,000 SQ. FT.
TOTAL PROJECT AREA	296 SQ. FT.

REV. NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	05/04/2025

PROJECT: PORCH ADDITION TO A PRIVATE RESIDENCE

LOCATION: 1040 NICHOLSON AVENUE
 LAKESWOOD, OHIO 44130
 CUYAHOGA COUNTY
 PERMANENT PARCEL NUMBER: 30-01-024

ADDITION PLANS

SCALE: AS NOTED

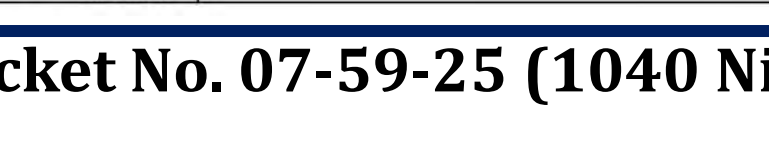
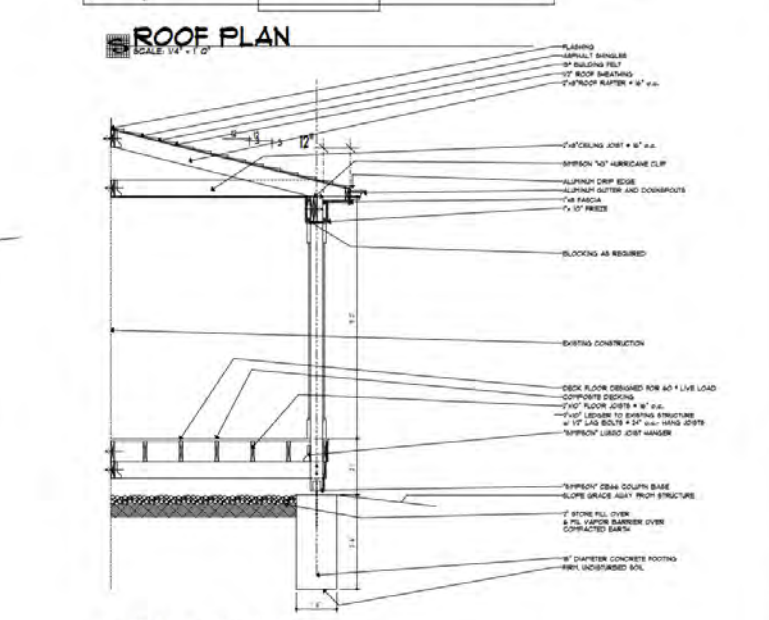
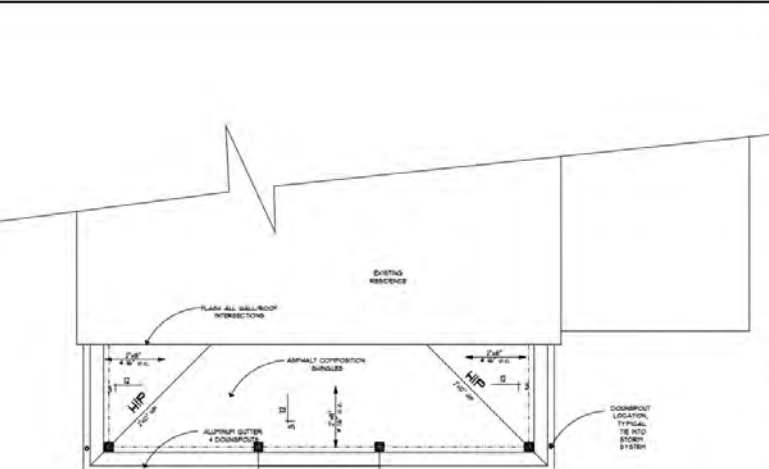
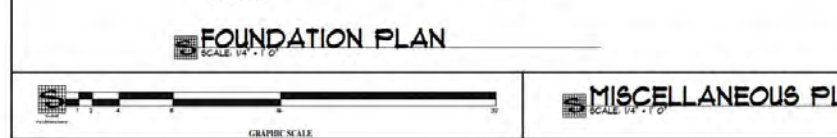
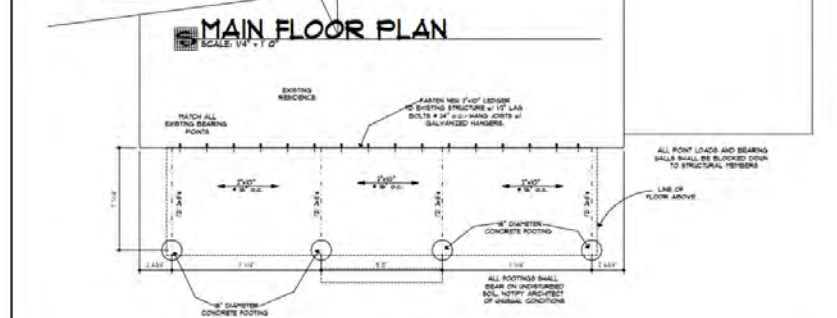
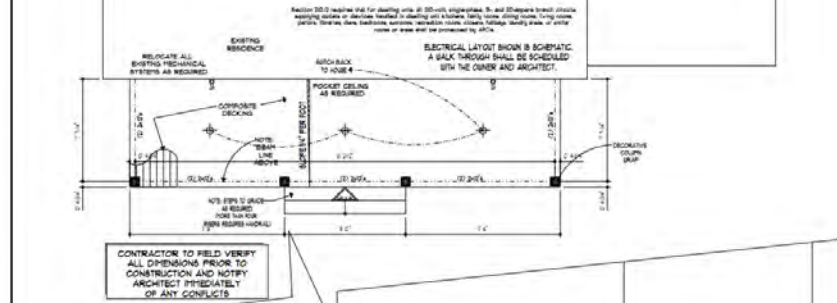
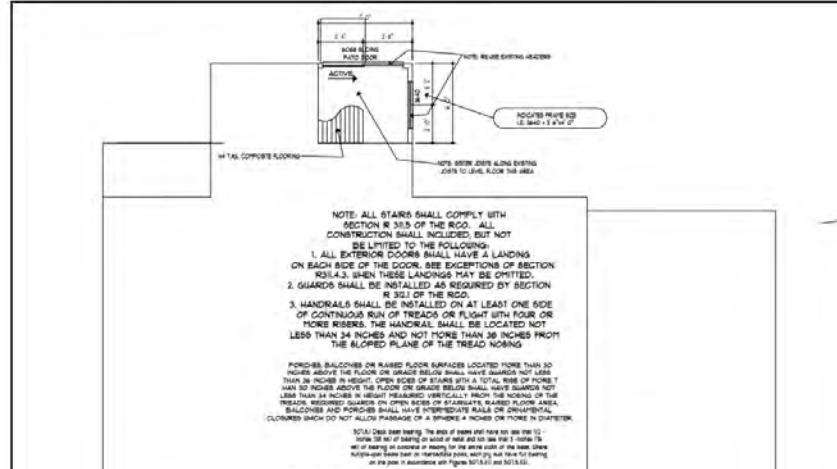
JOB NUMBER: 250928197H

DATE: 05 MAY 2025

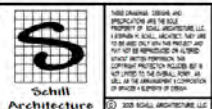
DESIGNER: STEPHEN M. SCHILL

SCALE: A-1

DRAWING NUMBER: 07-59-25-01



Docket No. 07-59-25 (1040 Nicholson)



Schill Architecture
 308 S. GALL AVENUE, L.L.C.
 10000 N. LAKESIDE BLVD., SUITE 100
 LAKESIDE, OHIO 44027
 TEL: 440.285.1100
 WWW.SCHILLARCHITECTURE.COM

PROJECT: PORCH ADDITION TO A PRIVATE RESIDENCE
 LOCATION: 1040 NICHOLSON AVENUE, LAKESIDE, OHIO 44027
 PERMANENT PARCEL NUMBER: 30-01-024

DESIGN LOADS

COMPONENT	DEAD LOAD	CEILING LOAD	TOTAL LOAD
ATRIUM SLAB (STORAGE)	10 P.S.F.	5 P.S.F.	15 P.S.F.
ATRIUM LIMITED STORAGE	10 P.S.F.	5 P.S.F.	15 P.S.F.
ATRIUM FLOOR FINISH	10 P.S.F.	5 P.S.F.	15 P.S.F.
CEILING	10 P.S.F.	5 P.S.F.	15 P.S.F.
EXTERIOR BALCONY	40 P.S.F.	5 P.S.F.	45 P.S.F.
GENERAL AND UNCLASSIFIED	20 P.S.F.	5 P.S.F.	25 P.S.F.
STRUCTURAL WALL COMPONENTS	10 P.S.F.	5 P.S.F.	15 P.S.F.
FINISHED FLOOR SURFACES	10 P.S.F.	5 P.S.F.	15 P.S.F.
ROOF (PER THE BUILDING CODE)	20 P.S.F.	5 P.S.F.	25 P.S.F.
SLEEPING ROOFS	10 P.S.F.	5 P.S.F.	15 P.S.F.
SHADE	10 P.S.F.	5 P.S.F.	15 P.S.F.
SOILS	5 P.S.F.	5 P.S.F.	10 P.S.F.
WIND	5 P.S.F.	N.A.	5 P.S.F.
SEIC	5 P.S.F.	N.A.	5 P.S.F.
WALL BRACING	1000 P.S.F.	N.A.	1000 P.S.F.

NOTES:
 1. VERIFY ALL DESIGN LOADS WITH LOCAL BUILDING DEPARTMENT.
 2. FINISHES SHALL BE IDENTIFIED AND QUANTIFIED BY THE CONTRACTOR.
 3. ALL MATERIALS TO MATCH EXISTING.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE.

MATERIAL SUMMARY

SPACE	MATERIAL	HEIGHT
LOWER LEVEL	CONCRETE: 8"	N.A.
MAIN FLOOR	10000'x6"1/4"	N.A.
UPPER FLOOR	10000'x6"1/4"	N.A.

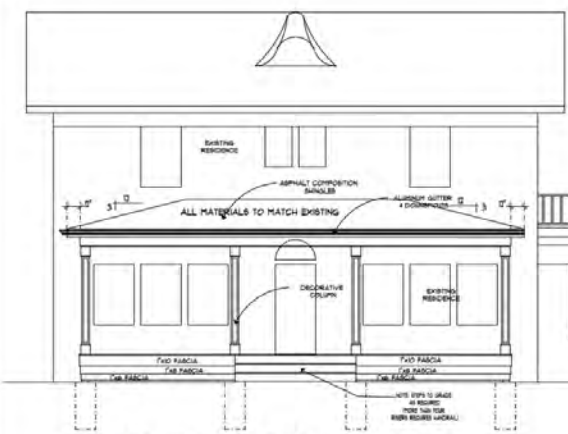
AREA SUMMARY

AREA	SIZE
UNFINISHED LOWER LEVEL	0,000 SQ. FT.
FINISHED LOWER LEVEL	0,000 SQ. FT.
MAIN LEVEL	0,000 SQ. FT.
UPPER LEVEL	0,000 SQ. FT.
UPPER LEVEL/CLIMATE SPACE	0,000 SQ. FT.
THIRD FLOOR	0,000 SQ. FT.
TOTAL HEATED AREA	0,000 SQ. FT.
GARAGE	0,000 SQ. FT.
ARRIVAL PORCH	296 SQ. FT.
PORCH (PARTIAL)	0,000 SQ. FT.
MAIN LEVEL COVERED REAR PORCH	0,000 SQ. FT.
LOWER LEVEL COVERED REAR PORCH	0,000 SQ. FT.
TOTAL AREA UNDER ROOF	296 SQ. FT.
REAR PORCH (NOT COVERED)	0,000 SQ. FT.
TOTAL PROJECT AREA	296 SQ. FT.

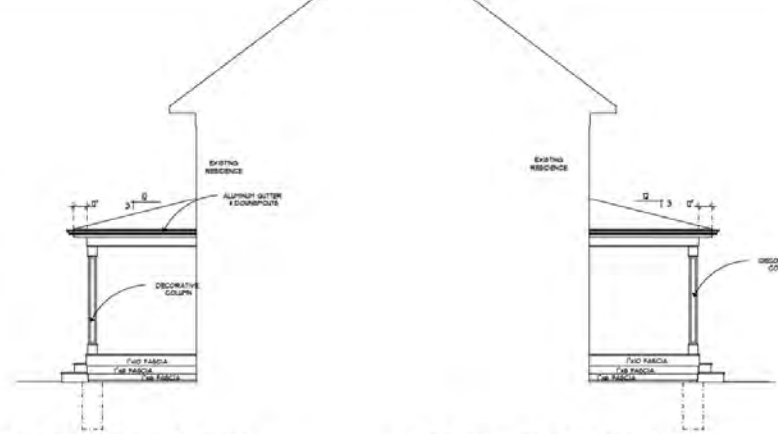
REV. NO.	DESCRIPTION	DATE

PORCH ADDITION TO A PRIVATE RESIDENCE
 LOCATION: 1040 NICHOLSON AVENUE, LAKESIDE, OHIO 44027
 CITY: LAKESIDE, OHIO
 PERMANENT PARCEL NUMBER: 30-01-024

ADDITION PLANS
 SCALE: AS NOTED
 JOB NUMBER: 250818171
 DATE: 15 MAY 2025
 CAD FILE NAME: 250818171.dwg
A-2
 DRAWING NUMBER

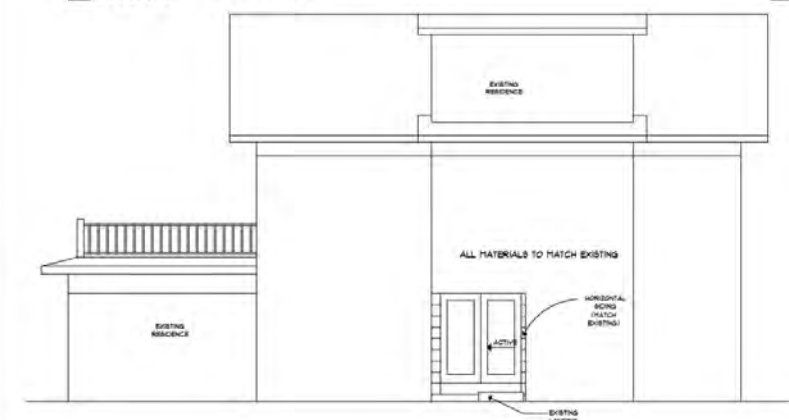


EAST ELEVATION
 SCALE: 1/4" = 1'-0"

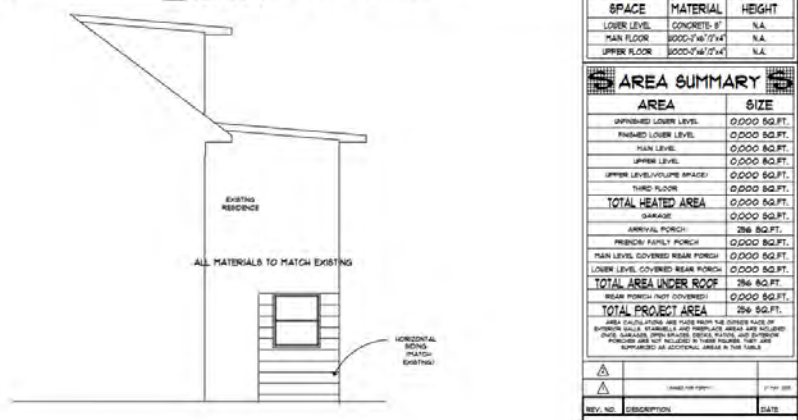


NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

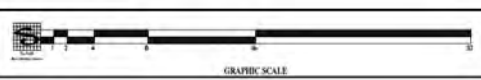
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"



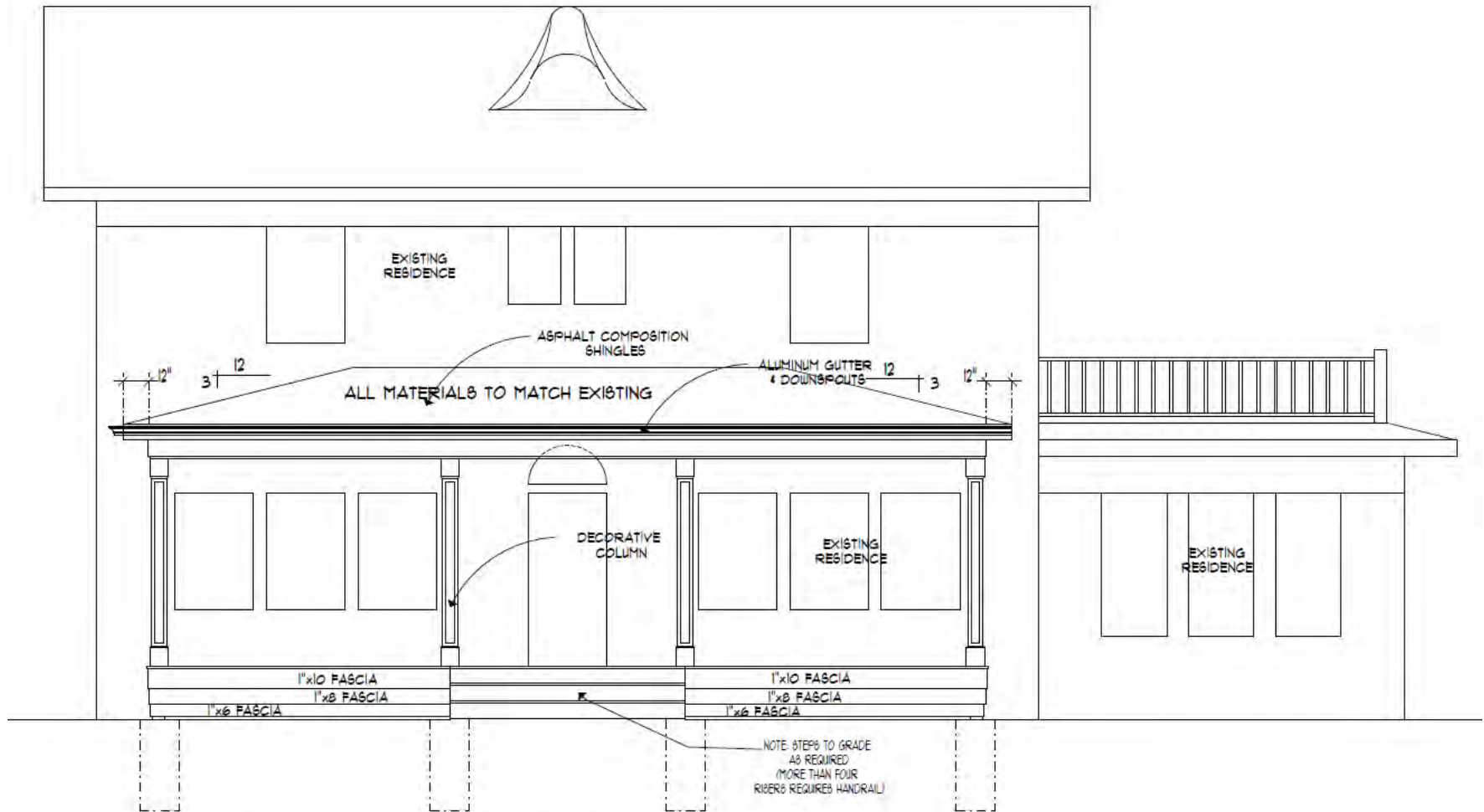
NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"
 ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF OHIO.



Docket No. 07-59-25 (1040 Nicholson)

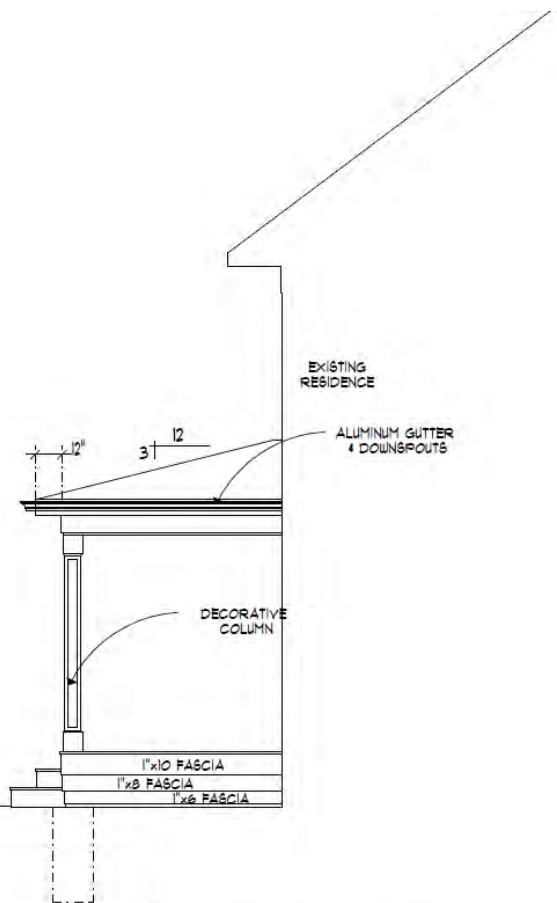


EAST ELEVATION

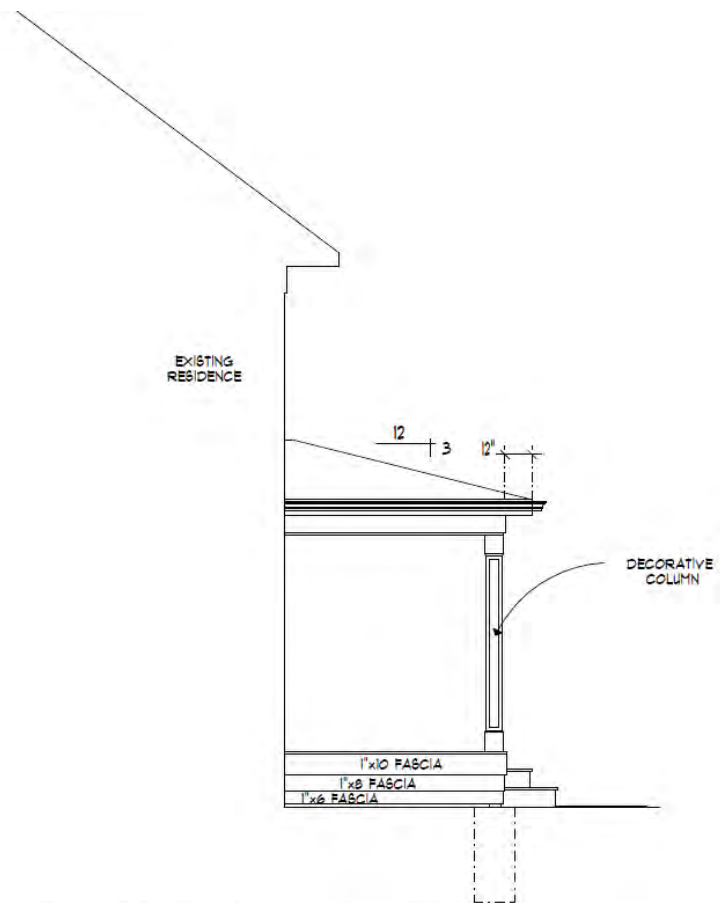
SCALE: 1/4" = 1' 0"



Docket No. 07-59-25 (1040 Nicholson)



 **NORTH ELEVATION**



 **SOUTH ELEVATION**



Docket No. 07-59-25 (1040 Nicholson)



Docket No. 07-59-25 (1040 Nicholson)

Aeratis Heritage

Features:

- Now with DuraTech Capping Technology
- All Heritage boards 3-1/8" wide and are double sided.
- 3 fade resistant colors: Battleship Gray, Weathered Wood and Vintage Slate
- Comes in 12 foot, 16 foot, and 20 foot lengths
- ADA slip compliant both wet and dry

Best for:

- Covered and Uncovered Exterior Living Space
- Waterproof Applications
- Balconies
- Direct to Concrete
- Boat Docks
- Screened Porches
- Low Ventilation Environments



[View Details](#)



Docket No. 07-59-25 (1040 Nicholson)

Step 1: Select Top Rail



Step 2: Select Infill



Step 3: Select Post Sleeves and Caps



4" x 4" Cap
5.63' x 5.63' Profile



Docket No. 07-59-25 (1040 Nicholson)

Applicant proposes new dormer on 3rd floor of residence.

City Notes:

- Revise section to show overhang of lower roof; section and elevation should match
- Overhang should continue/match that of the rest of the house
- Hardie board should match exposure and paint of existing siding (unless new paint color is chosen)
- If changing house paint color, house and dormer should be the same color
- Building dept. recommends reconfiguring access to seem like 2nd floor of house
- Per applicant:
 - Please see the plan to match existing materials below:
 - Trim Boards 5/4 x 4 1/2 " primed cedar
 - Siding 1/2 x 6" primed cedar
 - Shingles to match
 - Color to match Sherwin Williams color match
 - Vinyl Windows - double insulation, low E
 - Will get the materials we need from Cleveland Lumber who does extensive work in the area and understands the requirements needed to match materials

1515 Wayne Ave



Docket No. 07-60-25 (1515 Wayne)

**Residence – 3rd Floor Dormer
Vincent Valentino**

Valentino Residence

Room Addition



Valentino Residence
1515 Wayne, Lakewood, Ohio



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104

COVER SHEET

A-1



drawing index

- A-1 cover sheet
- A-2 elevations
- A-3 foundation floor plan / main floor plan
- A-4 upper floor plan / attic floor plan (select)
- A-5 section/details

code summary & design criteria

- 2014 Ohio Plumbing Code
- 2014 Ohio Mechanical Code
- 2003 National Electrical Code (NEC) - NFPA 70-17
- 2013 International Fuel Gas Code
- Accessibly - Chapter 11 OBC with current amendments & 2018 ASCE 117-09/9
- 2018 International Energy Conservation Code (IECC) 90.1-2009
- 2018 National Fire Alarm Code (NFPA 101-18)
- 2013 International Fire Code (IFC) 101-18
- 2018 OBC - Residential Code of Ohio (RCO)

Design Snow Load

section 551 design criteria
S_g = 30 (15) ground snow loads
roof snow load = 32 psf

Design Wind Load

section 551, 202, component and cladding loads for a building with a mean roof height of 33 feet located in exposure B
115 mph (3-second gust)

building information

Basement	0
Main Floor	0
Upper Floor Addition	100
100	
Basement	0
Garage	0
Entry Covered Porch	0
Rear Covered Porch	0

general notes

the use of these documents is restricted to the original site for which they were prepared, issued or reproduction of the documents in whole or in part, for any other purpose is prohibited. Streamline Designs, Inc. and Jason Bink reserve all rights of ownership for these documents.

do not scale drawings, written dimensions govern.

if a discrepancy or conflict between code requirements, drawings, details, specifications, engineering data, manufacturer's recommendations, or owner provided information becomes known to the contractor, he or she shall promptly report to the conflict or discrepancy in writing to the architect or owner's representative for clarification and correction. In addition, any work installed in conflict with requirements identified herein, without proper notification shall be corrected by the contractor at his or her expense, and all no cost to the architect, engineer, consultant, or building owner.

all exterior dimensions are from face of masonry to face of masonry or face of sheathing unless otherwise noted. verify all dimensions prior to beginning work.

all interior dimensions are from the face of rough framing to face of rough framing unless otherwise noted. verify all dimensions prior to beginning work.

sub-contractor shall determine erection procedure and sequencing and provide adequate bracing that may be required to complete the work.

verify all rough openings with manufacturer prior to framing. each sub-contractor shall obtain and pay for required permits and schedule all inspections and coordinate all trades.

the contractor and sub-contractors shall be solely responsible for compliance with all federal, state and local safety requirements together with excavation practitioners at all times for the protection of all persons including employees and the public. it is the sole responsibility of the contractor and subcontractors to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work.

stairwells shall be provided in all attic areas exceeding 3,000 sq. ft. in area.

framing shall be installed in all concealed spaces of stud walls and ceilings including but not limited to closets and spaces of masonry or concrete walls, and at the ceiling and floor or roof levels. developing shall be installed at the intersections between vertical and horizontal spaces such as occurring at soffits over cabinets, drop ceilings, door ceilings and etc.

symbols and abbreviations used on these drawings are defined in the code book and standards. if the contractor has questions regarding abbreviations or symbols as to their exact meaning, the designer shall be notified at once for clarification.

if the builder and/or owner retains responsibility to supply any or all of this information if requested by the building department to issue building permits.

consultants

STRUCTURAL ENGINEERING BY:

PRO-E DESIGN, LLC
1211 Macdonald Road SE
Marietta, OH 44066
733.463.9077
prodesign@ohio.com



all residential plans drawn by streamline designs are structurally sealed by an independent structural engineer.

any beam size, wall movements or structural opening changes made during construction to a stamped set of plans without consulting streamline designs completely negates any structural responsibilities of independent structural engineer.



2 WORKING DAYS BEFORE YOU DIG
CALL YOUR PERMITS OFFICE
800.362.2766
OHIO STATE UNIVERSITY



symbol legend

- point load above, continues load
- point load above, transferred load to their bearing
- section
- cross section
- stepped opening direction
- star direction
- elevation heights
- feet
- door size (3'-0")
- existing floor partitioning
- floor joist direction
- ceiling joist direction
- rafter direction
- roof truss direction
- roof truss gilder
- flush multiple joist or beam
- dropped header or beam
- floor beam
- joist
- closet rod and shelf
- Kitchen cabinet and ceiling coverings
- main floor floor
- other floor building lines
- roof line
- elevation lines
- half wall
- face brick
- walls above
- interment floor walls
- C.F.U. foundation wall
- concreting foundation wall
- poured foundation wall
- main floor walls
- main floor bearing walls
- upper floor walls
- upper floor bearing walls
- half wall
- face brick
- walls above
- interment floor walls
- C.F.U. foundation wall
- concreting foundation wall
- poured foundation wall

baseline structural criteria & design information

Framing Lumber (Minimums): S = 1,500,000 psi F _v = 1400 psi F _x = 105 psi	MicroLam (LVL): E = 2,900,000 psi F _b = 2600 psi F _v = 285 psi	Paralamin (PSL): E = 2,900,000 psi F _b = 2600 psi F _v = 285 psi	Steel ASTM A-36 E = 29,000,000 psi F _y = 36 ksi F _u = 58 ksi	Wind Speed (design): 30 MPH ASCE 7 115 MPH ULT response B	Concrete: f' _c = 3000 psi E _{concrete} = 4000 psi (ARI)	Soil Bearing Capacity (min.): 2000 psf assumed geotechnical engineer to verify not bearing capacity	Live Loads: Roof = 20 psf Floor = 40 psf Ceiling = 20 psf Attic = 10 psf (no storage) Attic = 20 psf (limited storage) Decks = 40 psf Balconies (exterior) = 40 psf	Dead Loads: Roof = 15 psf Ceiling = 10 psf Floor = 12 psf	Allowable Deflection: Floors = L/240 Beams & Headers = L/240 Roofs = L/180 Ceilings & Headers = L/200 Limits for Masonry L/800 (L = Span Length)	Truss Data (Min.): Top Chord: Lx = 25 psf Dx = 10 psf Bottom Chord: Lx = 10 psf (no storage) Dx = 5 psf	Seismic Category: B	Engineered Products: LVL, PSL, PSB, IFS by Trus Joist Systems all engineered floor systems shall be designed by the manufacturer. if the builder and/or owner retains responsibility to supply any or all of this information if requested by the building department to issue building permits.
---	--	---	--	--	--	---	---	---	--	--	-------------------------------	--

streamline designs does not provide any construction supervision, build and/or owner is responsible to verify that all structure matches the plans as drawn and stamped

streamline designs is not responsible for structural or non structural issues related to soil conditions, any design plan for, site study, mechanical or truss related changes and/or issues brought to streamline designs after the printing of final construction sets will be considered changes to the drawings and bid set.

streamline designs is not a truss designer, engineered roof trusses and the responsibility of the truss and/or owner, lumber company and truss manufacturer. Issues designed roof plans are to be reviewed by the truss manufacturer prior to printing final construction sets. During this review process it will be the responsibility of the truss manufacturer to verify that all plate heights, panel heights and roof pitches will create a suitable truss package. The truss manufacturer is also responsible to verify, and if necessary, adjust the roof or add any beam, post or member that is directly affected or required to carry the roof loads. In this event, the truss manufacturer, truss and/or owner shall contact such architect, etc. to update the plan set.

it is the responsibility of the truss and/or owner to field verify all all built operations of foundation and framing prior to closing trusses. streamline designs assumes no responsibility for trusses ordered solely from this set of construction documents.

streamline designs assumes no responsibility for any construction schedule changes or delays due to any engineered roof truss issues.

all trusses are to be designed by the truss manufacturer with detailed drawings showing their layout and load calculations used to design the trusses.

abbreviation legend

abbr.	description	abbr.	description	abbr.	description	abbr.	description	abbr.	description	abbr.	description	abbr.	description
A-11	above finish floor	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-12	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-13	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-14	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-15	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-16	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-17	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-18	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-19	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-20	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-21	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-22	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-23	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-24	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-25	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-26	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-27	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-28	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-29	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-30	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
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A-32	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-33	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-34	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
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A-36	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-37	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-38	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-39	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
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A-42	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-43	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-44	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-45	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-46	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-47	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-48	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-49	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-50	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-51	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-52	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-53	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-54	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-55	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-56	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-57	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-58	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-59	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-60	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-61	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-62	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-63	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-64	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-65	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-66	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-67	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-68	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-69	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-70	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-71	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-72	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-73	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.	aluminum
A-74	above finished ceiling line	alt.	aluminum	alt.	aluminum	alt.	aluminum	alt.					

header schedule

- 1. In the responsibility of the Engineer to verify the content of the header schedule is correct and to be used as such. It is the responsibility of the contractor to verify the content of the header schedule is correct and to be used as such. It is the responsibility of the contractor to verify the content of the header schedule is correct and to be used as such.

lvi notes

- 1. All plumbing fixtures shall be installed in accordance with the International Plumbing Code (IPC) and the Ohio Plumbing Code (OPC).

column schedule

- 1. All columns shall be installed in accordance with the International Building Code (IBC) and the Ohio Building Code (OBC).

- 1. All columns shall be installed in accordance with the International Building Code (IBC) and the Ohio Building Code (OBC).

post & footing schedule

- 1. All posts and footings shall be installed in accordance with the International Building Code (IBC) and the Ohio Building Code (OBC).

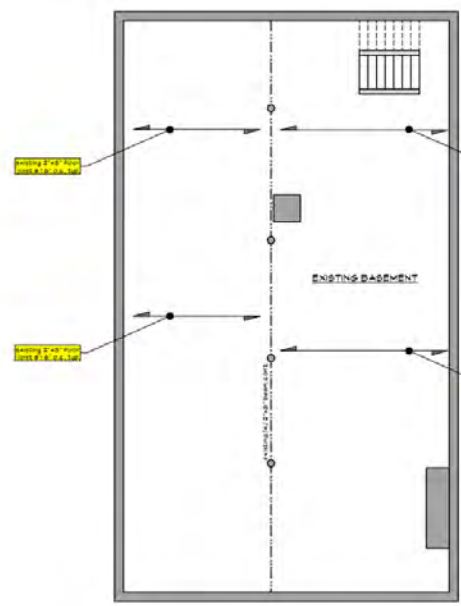
steel column & footing schedule

- 1. All steel columns and footings shall be installed in accordance with the International Building Code (IBC) and the Ohio Building Code (OBC).

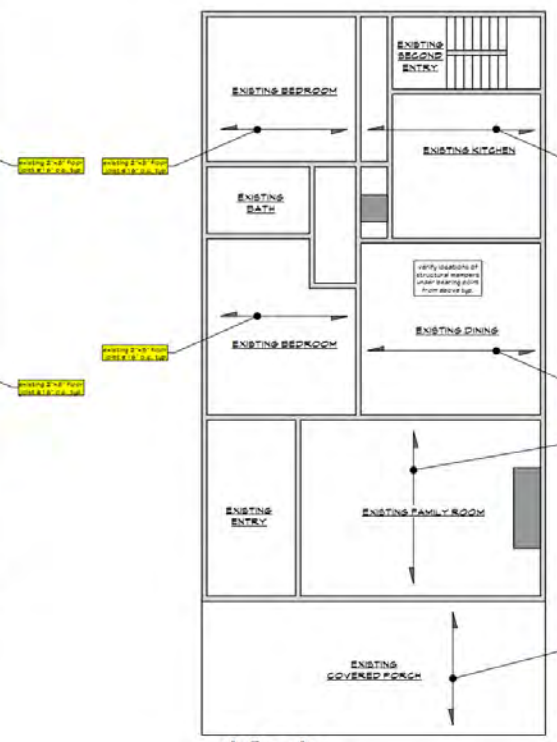
It is the responsibility of the Engineer to verify the content of the header schedule is correct and to be used as such. It is the responsibility of the contractor to verify the content of the header schedule is correct and to be used as such. It is the responsibility of the contractor to verify the content of the header schedule is correct and to be used as such.

The header schedule is provided as a guide only. It is the responsibility of the contractor to verify the content of the header schedule is correct and to be used as such. It is the responsibility of the contractor to verify the content of the header schedule is correct and to be used as such.

For any approvals or construction not specifically noted on these plans, consult with the local authority having jurisdiction (L.A.H.J.) for approval. It is the responsibility of the contractor to verify the content of the header schedule is correct and to be used as such.



foundation plan
SCALE: 1/4" = 1'-0"



main floor plan
SCALE: 1/8" = 1'-0"

floor joist schedule

NO.	DESCRIPTION	SPACING	SPAN
1	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
2	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
3	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
4	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
5	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
6	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
7	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
8	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
9	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
10	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
11	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
12	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
13	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
14	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
15	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
16	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
17	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
18	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
19	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
20	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
21	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
22	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
23	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
24	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
25	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
26	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
27	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
28	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
29	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
30	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
31	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
32	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
33	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
34	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
35	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
36	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
37	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
38	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
39	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
40	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
41	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
42	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
43	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
44	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
45	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
46	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
47	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
48	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
49	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)
50	2" x 8" floor joist @ 12" o.c. with blocking per 1910, where blocking is required (see 205)	12"	10'-0" (see 205)

treated wood notes

- 1. All wood shall be treated in accordance with the International Building Code (IBC) and the Ohio Building Code (OBC).



Valentino Residence
1515 Wayne, Lakewood, Ohio



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STREAMLINE DESIGN, LLC
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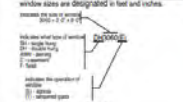
NO.	REVISION	DATE
1	ISSUED FOR PERMIT	07/25/25

foundation floor plan
main floor plan
A-3



Docket No. 07-60-25 (1515 Wayne)

WINDOW SIZE DESIGNATION



treated wood note
All exterior woodwork shall be treated with a preservative...
1. All exterior woodwork shall be treated with a preservative...
2. All exterior woodwork shall be treated with a preservative...
3. All exterior woodwork shall be treated with a preservative...

header schedule
1. 2" x 4" header @ 12" o.c.
2. 2" x 6" header @ 12" o.c.
3. 2" x 8" header @ 12" o.c.

l/vl notes
1. All l/vl work shall be in accordance with the approved drawings...
2. All l/vl work shall be in accordance with the approved drawings...

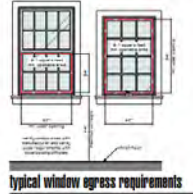
rafter/ceiling joist schedule
1. 2" x 10" rafter @ 16" o.c.
2. 2" x 12" rafter @ 16" o.c.
3. 2" x 14" rafter @ 16" o.c.

column schedule
1. 4" x 4" post @ 12" o.c.
2. 4" x 6" post @ 12" o.c.
3. 4" x 8" post @ 12" o.c.

post & footing schedule
1. 4" x 4" post @ 12" o.c.
2. 4" x 6" post @ 12" o.c.
3. 4" x 8" post @ 12" o.c.

steel column & footing schedule
1. 4" x 4" post @ 12" o.c.
2. 4" x 6" post @ 12" o.c.
3. 4" x 8" post @ 12" o.c.

rough framed stairs
1. 2" x 10" rafter @ 16" o.c.
2. 2" x 12" rafter @ 16" o.c.
3. 2" x 14" rafter @ 16" o.c.



typical window egress requirements

g.c. shall provide caulk and seal package of all gaps between frame walls.
g.c. and / or owners shall notify the architect of any field changes made to the plans or building during construction.

all windows shall be flashed and sealed over existing flanges with window flashing tape.
all enclosed attics and rafter spaces shall have cross ventilation with the net free ventilating area not less than 1/200 of the area to be ventilated.

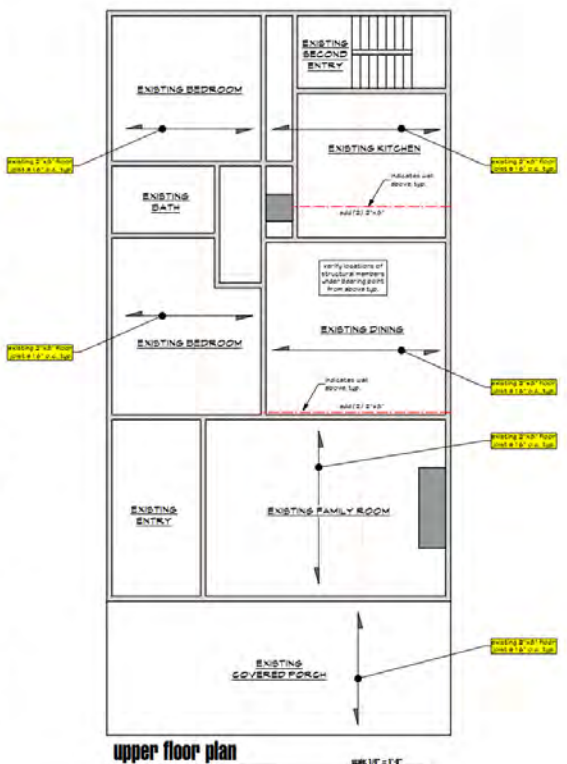
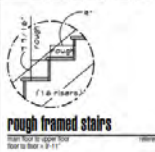
adjust all overhangs of different pitches to maintain consistent level.
all lumber in contact with masonry and/or concrete shall be protected from decay in accordance with a.c.c. 317 1.2.

it is the responsibility of the builder and/or owner to verify that all lumber used for this project meets or exceeds the minimum requirements of strength and moisture content set forth by the state and building codes.

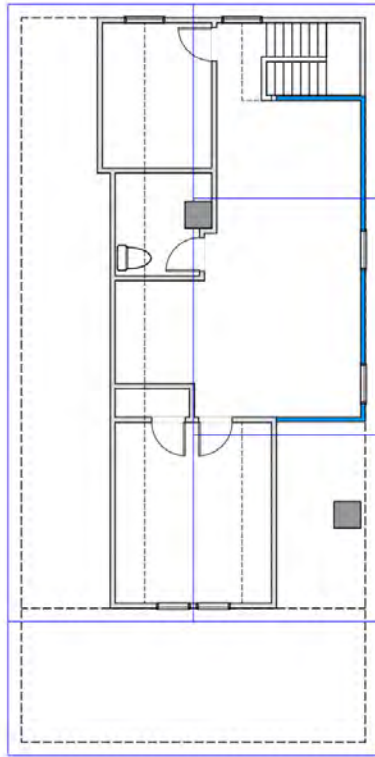
required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches or more in diameter.

framing shall be installed in all concealed spaces of stud walls and partitions including furled or stubbed off spaces of masonry or concrete walls.

framing shall be installed at all interconnections between vertical and horizontal spaces such as occurring at soffits over cabinets, drop ceilings, cove ceiling, etc.



upper floor plan



general plan notes

- 1. All work shall be in accordance with the approved drawings...
2. All work shall be in accordance with the approved drawings...
3. All work shall be in accordance with the approved drawings...

wall bracing notes

- 1. All exterior walls shall be continuously braced and anchored per code...
2. All exterior walls shall be continuously braced and anchored per code...

floor joist schedule

Joist Size	Spacing	Notes
2" x 10"	@ 16" o.c.	per approved drawings
2" x 12"	@ 16" o.c.	per approved drawings
2" x 14"	@ 16" o.c.	per approved drawings
2" x 16"	@ 16" o.c.	per approved drawings
2" x 18"	@ 16" o.c.	per approved drawings
2" x 20"	@ 16" o.c.	per approved drawings
2" x 22"	@ 16" o.c.	per approved drawings
2" x 24"	@ 16" o.c.	per approved drawings
2" x 26"	@ 16" o.c.	per approved drawings
2" x 28"	@ 16" o.c.	per approved drawings
2" x 30"	@ 16" o.c.	per approved drawings
2" x 32"	@ 16" o.c.	per approved drawings
2" x 34"	@ 16" o.c.	per approved drawings
2" x 36"	@ 16" o.c.	per approved drawings
2" x 38"	@ 16" o.c.	per approved drawings
2" x 40"	@ 16" o.c.	per approved drawings
2" x 42"	@ 16" o.c.	per approved drawings
2" x 44"	@ 16" o.c.	per approved drawings
2" x 46"	@ 16" o.c.	per approved drawings
2" x 48"	@ 16" o.c.	per approved drawings
2" x 50"	@ 16" o.c.	per approved drawings
2" x 52"	@ 16" o.c.	per approved drawings
2" x 54"	@ 16" o.c.	per approved drawings
2" x 56"	@ 16" o.c.	per approved drawings
2" x 58"	@ 16" o.c.	per approved drawings
2" x 60"	@ 16" o.c.	per approved drawings



Valentino Residence
1515 Wayne, Lakewood, Ohio



Copyright 2025
Valentino Residence

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NO.	DATE	DESCRIPTION
1	07/20/25	ISSUED FOR PERMITS
2	07/20/25	ISSUED FOR PERMITS
3	07/20/25	ISSUED FOR PERMITS
4	07/20/25	ISSUED FOR PERMITS

upper floor plan
attic floor plan

A-4



Docket No. 07-60-25 (1515 Wayne)

Applicant proposes painting brick wall.

City Notes:

- Painting of brick is not supported or recommended per City standards.
- Provide close-up photos of brick, both painted and unpainted
- Provide photos of buildings from all directions
- Provide photos of full extent of currently painted areas
- Provide justification for painting
- If painting is justifiable, Board recommends light color to match existing building



Docket No. 07-61-25 (1382 Arthur)

Institutional – Painting Brick
Aleksandra Brankov

CITY OF LAKEWOOD STANDARDS FOR PAINTING OR COVERING OF MASONRY SURFACES

The following standards shall be met for the painting of any masonry surface:

1. Painting, staining, or covering, such as but not limited to stucco, of previously unpainted or uncovered masonry surfaces is not supported or recommended. There are several reasons for the basis of this recommendation and generally include:
 - a. Painting masonry results in regular, costly maintenance whereas natural masonry is low in maintenance work and cost;
 - b. Painting masonry can result in moisture being trapped in the wall system causing unintended damage to the masonry itself and the building;
 - c. For historic buildings or those located in a historic district, painting of masonry is not recommended by the Secretary of Interior's Standards for Historic Rehabilitation and such action may result in the loss of the historic designation of the building or district – including possibly preventing a building or district from being nominated; and
 - d. There are other alternatives to the painting of masonry.



Docket No. 07-61-25 (1382 Arthur)



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Docket No. 07-61-25 (1382 Arthur)



Docket No. 07-61-25 (1382 Arthur)






Docket No. 07-61-25 (1382 Arthur)

SW 7040

Smokehouse

FULL DETAILS 

This warm brown with a prominent gray undertone creates a comfortable, inviting atmosphere. Pair this versatile neutral with other neutrals, both warm and cool.

Get this color in a:



Color Sample



Paint Sample



Interior Paint



Exterior Paint



Docket No. 07-61-25 (1382 Arthur)

PAINTS & FINISHES

Area	Product	Color	Coats
Exterior areas to be painted	Sherwin-Williams or Pittsburgh Paints (PPG) Exterior Flat (See product options below)	TBD	2
Exterior – brick primer	Sherwin-Williams Loxon Conditioner Masonry Primer	Clear / White	1
All Doors	Sherwin-Williams DTM Direct-to-Metal Semi-Gloss	TBD	2

COLORS

- Color scheme included in this proposal: Based on current color scheme, colors may change

Additional colors added to the color scheme (E.g. multiple-colored spindles, additional trim and accent colors) will result in an agreed upon additional cost.

PRICING

We proudly use high quality coatings from both Sherwin-Williams and Pittsburgh Paints (PPG). Listed below you will find 3 price levels and their respective paints that will be used on your project. Each pair of products, which are equal in quality, has been carefully selected to ensure we give you the highest performance at each price level. All other specialty products are listed above in the "Paints & Finishes" section.

Visit this address for more information about the above paints (or click the link) → www.pinpointpainting.com/paints



Best



Sherwin-Williams Duration
PPG Permaizer (Timeless)

QUOTE 1 Exterior \$9,765

Better



Sherwin-Williams SuperPaint
PPG Acri-Shield (Manor Hall)

\$9,070

Good



Sherwin-Williams A-100
PPG Sunproof (Fortis 350)

\$8,745

- After pricing level is selected, Pinpoint Painting will determine which product will be used based on location and availability.
- This amount includes all labor, paint, and materials needed to complete the work.

PROPOSED ADD-ONS

Listed below are optional add-ons to the estimated prices above. Note: unless otherwise specified, add-ons below are listed at "Better" pricing level and will be adjusted accordingly if *Best* or *Good* paint options are used.

- **Prime & Paint North Facing Side of (1 story, facing tennis courts) Brick, Paint Wood Soffits, Paint Door/Door Frame = +\$1,465 (if done at same time as main project)**

ADDITIONAL CHARGE INFORMATION (If Applicable)

CARPENTRY

- Pinpoint Painting can perform general carpentry such as siding replacement, trim repair, deck repair/replacement, and other general carpentry. Such work will be billed as an add-on of **\$90/hour + materials** in addition to the project price. There is a **minimum charge of \$300** for all carpentry work.
- The billable hours for carpentry include, but not limited to: work performed, time spent on assessment of project, ordering and picking up materials, disposing of materials, picking up and/or dropping off tools and equipment, associated travel costs

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Docket No. 07-61-25 (1382 Arthur)

- At times, more than one carpenter will be working on the project. Billing will adjust accordingly depending on how many carpenters are working. For example; if two carpenters are working, the billing rate would be \$150/hour + materials.
- **Important Note regarding initial estimated ranges:** An initial time-frame estimate or range may be given or listed on estimate. We will bill to the exact hours spent on the work, which may be less or exceed the initial estimate range. By signing this contract, the customer understands that the exact hours spent on the additional carpentry work will be billed and understands that the actual hours may be less or more than any initial estimated range that was discussed or listed on the estimate.
- **Important Note regarding payment terms:** A materials deposit may be required for carpentry work. All carpentry work will be billed as a separate invoice, which will be due upon receipt of invoice. This may include progress invoices prior to completion of work.
- Design Consultation that is beyond color consultation will be billed at \$80/hour + materials. This may include, but not limited to: selection assistance of window treatments, tile, flooring, fixtures, and other items that may be consulted during project. This does not apply to color consultation, which is included at no additional cost for any booked project.

ADD ONS

- Pinpoint Painting will bill any additional charges such as; added painting projects or drywall and plaster work, excessive brush removal, excessive furniture removal, hanging lights, or other miscellaneous tasks that may be requested by the customer at **\$70/hour + materials**. Estimates that are approved through the add on system are based on this billing rate with the exception of Carpentry.

PAYMENT TERMS

- Deposit Required: 0
- Note: For projects exceeding \$15,000, progress invoice(s) may be required
- **Note: If your project includes carpentry**, please see notes regarding carpentry payment terms in *Additional Charge Information* section above.
- Note: There will be a 1.5% fee accessed to all Credit Card Payments
- Signed proposal is required prior to beginning project.
- **Full payment is due at the time of project completion.**
- Methods of payment accepted: Cash, Check, E-Check, Credit Card



CONDITIONS

- Unforeseen conditions that arise that could not be determined by visual inspection prior to beginning the work will be subject to an additional charge.
- Colors are to be chosen prior to commencement of work. If a color change is requested after the project has commenced, the customer will incur additional labor and material charges that result from the color change.
- Any alteration or deviation from the above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the amount on this estimate. All agreements are contingent upon accidents, or delays beyond our control.
- Slate/Tile/Shingle Roof (if applicable) – It may be necessary to walk on the slate/tile/shingle roof to properly paint all areas. Pinpoint Painting will take caution while walking on the slate. Pinpoint Painting will not be responsible for tiles/shingles that break or crack, and such repairs would need to be done by a contractor who specializes in such work.
- Windows/storm windows (if applicable) – It may be necessary to open and close windows or remove/re-install storm windows. Pinpoint Painting will take caution while working on these areas. Pinpoint Painting will not be responsible for windows that break or crack. Repair costs would be the responsibility of the customer.
- This proposal is valid for 60 days after the proposal date listed above.

FURNITURE

- Unless otherwise noted or discussed and decided upon, Pinpoint Painting will expect that pictures, paintings, mirrors and other decorations will be removed from the walls prior to the arrival of the paint crew.
- Pinpoint Painting will aid in the moving of large furniture (i.e. sofas, end tables, bookshelves, beds)
- It is the responsibility of the homeowner or business owner, unless otherwise noted, to remove pictures, books, and other decorative items from the shelves prior to the arrival of the paint crew.
- Any deviations from the standards listed may result in additional charges. These charges would be discussed and approved by homeowner prior to work commencing.

WARRANTY

- Visit this address for more information about our Hassle-Free 2 Year Touch-up Guarantee (for most projects) and Extended Warranty (or click the link) → <http://www.pinpointpainting.com/warranty>

ADDITIONAL INFORMATION

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Docket No. 07-61-25 (1382 Arthur)

1. Certificate of Liability Insurance available upon request.
2. We have a decorator available for color consultations at all times. This service is free of charge if we have your signed proposal for the project.
- 3.
4. We appreciate the opportunity to place a yard sign in front of your home to promote our company while working on your project. Please initial here if this is not acceptable: _____
5. We will likely be taking before and after pictures of the project. We may post these pictures to our website or social media pages. If you would prefer us not to use pictures of your project, please initial here: _____
6. We strive to keep a clean and neat work environment while we are working on your project. Our crew will perform basic cleanup each day. Ladders, tools, drop cloths and other supplies will be stored away in a safe and acceptable location deemed appropriate by the client. A thorough cleanup will be done upon completion of the project.
7. We are EPA Certified Lead-Safe Contractors. License #NAT-F111764-1
8. Visit our Facebook page for more information on our company and photos of recent projects.
www.facebook.com/pinpointpaintingllc



EPA LEAD-SAFE "RENOVATE RIGHT" PAMPHLET (THIS SECTION IS ONLY FOR HOMES BUILT PRE-1978)

To view pamphlet: <https://www.epa.gov/sites/production/files/2020-09/documents/renovaterightbrochurebwlandscapesep2011.pdf>

I have received a copy of the lead hazard information pamphlet informing me of the potential risk of the lead hazard exposure from renovation activity to be performed in my dwelling unit. I received this pamphlet before the work began.

Printed Name of Owner-occupant

Signature of Owner-occupant

Signature Date

PROJECT ACCEPTANCE

I acknowledge and accept the terms and conditions of this estimate.

Customer Signature: _____ Date: _____

Printed Name: _____

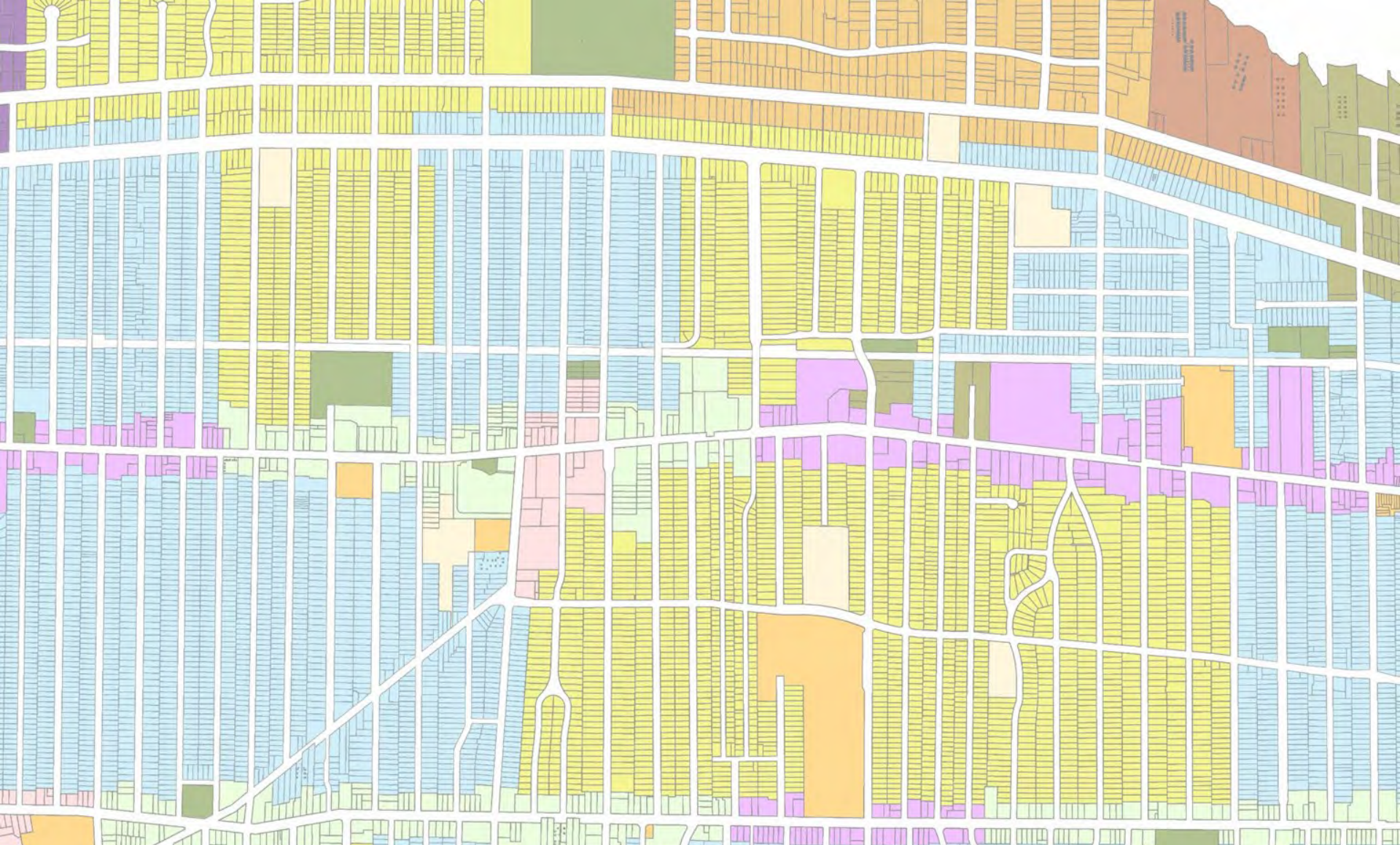
Preferred contact method for scheduling, job updates, etc:

- Phone: _____
- Text: _____
- E-Mail: _____

Respectfully Submitted By:

Doug Rhamy
Owner -
Pinpoint Painting LLC





Architectural Board of Review

July 2025