



City of Lakewood  
Board of Building Standards •  
Architectural Board of Review •  
Sign Review Board

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F: (216) 529-5907  
planning@lakewoodoh.gov

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MINUTES  
BOARD OF BUILDING STANDARDS/  
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW  
REVIEW MEETING  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
AUGUST 14, 2025  
5:30 P.M.  
MEETING RECORDED  
<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Hanna Cohan Plessner, Chair  
Chris Egervary  
Nick Slaughterbeck  
Matthew Stevenson

Staff

Amanda Cramer, Co-Board Secretary, City Planner  
Sophia Szeles, Co-Board Secretary, City Planner  
William Wagner, Assistant Building Commissioner  
Jeff Crossman, Law Department  
Angela Byington, Planning and Development Director

Jeremy Smith, Vice Chair was absent from the meeting. No action was taken by the board.

2. APPROVE THE MINUTES OF THE JULY 10, 2025 MEETING

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE the JULY 10, 2025 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

SUMMARY APPROVED

NEW BUSINESS

SIGN REVIEW

4. Docket No. 08-61-25

12218 Madison Ave.  
Aura Beauty

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shadi Almikdad  
Neon & Signs  
10505 Berea Rd.  
Cleveland, OH 44102

Applicant proposes wall mounted illuminated led channel letters on raceway. (Page 77)

Conditions:

- Any window signage must come to the board before installation.
- 30 inches of clearance for the sign band.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-61-25 with the following conditions:

- Any window signage must come to the board before installation.
- 30 inches of clearance for the sign band.

All the members voted yea; the motion passed.

5. Docket No. 08-63-25

1616 W. 117<sup>th</sup> St.  
Fifth Third Bank

- ( ) Approve
- ( ) Deny
- ( ) Defer

John Benedict  
Brilliant Electric Sign Co., LTD  
4811 Van Epps Rd.  
Cleveland, OH 44131

Applicant proposes replacement signage on front and side of building. (Page 85)

Conditions:

- No conditions.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-63-25 as proposed. All the members voted yea; the motion passed.

6. Docket No. 08-65-25

15620 Detroit Ave.  
Wovensmart

- ( ) Approve
- ( ) Deny
- ( ) Defer

Shawn Warren  
Erie DeSign Co. Inc.  
16504 Detroit Ave.

Lakewood, OH 44107

Applicant proposes a non-illuminated double-sided blade sign and/or vinyl window graphics. (Page 99)

Conditions:

- Approval of window signage only.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-65-25 with the following condition:

- Approval is for window signage only.

All the members voted yea; the motion passed.

7. Docket No. 08-66-25

13705 Madison Ave.  
Be& Blossom

- Approve
- Deny
- Defer

Steven Foster  
The Sign & Graphics Firm, LLC  
14837 Detroit Ave. Ste. 195  
Lakewood, OH 44107

Applicant proposes a non-illuminated double-sided blade sign and vinyl window graphics. (Page 105)

Conditions:

- No conditions.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-66-25 as proposed. All the members voted yea; the motion passed.

## OLD BUSINESS

## ARCHITECTURAL BOARD OF REVIEW

8. Docket No. 06-51-25

(R)

1070 Rosalie Ave.

- Approve
- Deny
- Defer

Lee Pozek  
Architect  
5222 Coldbrook Dr.  
Mantua, OH 44255

Applicant proposes construction of an addition and attached garage on the north side of an existing residence. (Page 6)

Ms. Cramer advised the members that the property owner wanted the item tabled to allow time to realign his proposal.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **TABLE** Docket No. 06-51-25. All the members voted yea; the motion passed.

RETURN FOR MODIFICATIONS

SIGN REVIEW

9. Docket No. 04-26-25

14414 Detroit Ave.  
Ethlete Lab Academy

- Approve
- Deny
- Defer

Abby Ayers  
Ethlete Lab Academy  
14414 Detroit Ave., Basement Unit  
Lakewood, OH 44107

Applicant proposes modifications to approval granted at the April 10, 2025 meeting. (Page 28)

Ms. Cramer advised the members that the applicant was withdrawing the request.

The members acknowledged the request was withdrawn from consideration. No action was taken by the board.

RETURN FOR MODIFICATIONS

ARCHITECTURAL BOARD OF REVIEW

10. Docket No. 03-21-25

(R)

15431 Edgewater Dr.

- Approve
- Deny
- Defer

Mark Reinhold  
Mark Reinhold Architect  
1120 Forest Rd.  
Lakewood, OH 44107

Applicant proposes modifications for an addition on the west side of the home that was approved at the March 13, 2025 meeting. (Page 36)

Mark Reinhold, applicant was present to explain the request. He noted the addition of dormers and front porch. He stated a metal porch would be an accent feature over the porch and that new window bays would fit under the existing eaves.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 03-21-25 as presented. All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

11. Docket No. 08-67-25

15901 Hilliard Rd.  
CLE Smiles

- ( ) Approve
- ( ) Deny
- ( ) Defer

Nicole Cochran  
CLE Smiles by Dr. Niki  
15901 Hilliard Rd.  
Lakewood, OH 44107

Applicant proposes replacement of a monument sign with new base. (Page 108)

Kathy Clarke, representative was present to explain the updated request. Discussion revealed the window signage was over the allowable square footage; window vinyl graphics (removal of one of them), monument dimensions, and added landscaping. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-67-25 with the following condition:

- Remove the "6 month Smile" sign from the front window.

All the members voted yea; the motion passed

ARCHITECTURAL BOARD OF REVIEW

12. Docket No. 08-68-25

(C)

17510 Detroit Ave.  
St. James Church

- ( ) Approve
- ( ) Deny
- ( ) Defer

James McGinty  
1510 Waterbury Rd.  
Lakewood, OH 44107

Applicant proposes the installation of a flagpole on a locally designated historic property. (Page 111)

James McGinty, applicant was present to explain the request. The members were impressed with the applicant's preparation and said the proposal was appropriate. Ms. Cramer stated that the lighting at the base of the flagpole would be approved administratively. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-68-25 with the following condition:

- The ground uplighting is submitted for administrative approval.

All the members voted yea; the motion passed.

|                         |     |  |
|-------------------------|-----|--|
| 13. Docket No. 08-69-25 | (C) | 15711 Madison Ave.<br>Lakewood Dental Associates |
| ( ) Approve             |     | Leon S. Sampat                                   |
| ( ) Deny                |     | LS Architects Inc.                               |
| ( ) Defer               |     | 22082 Lorain Rd.<br>Fairview Park, OH 44126      |

Applicant proposes exterior alterations of facade. (Page 152)

Leon S. Sampat, LS Architects Inc., applicant was present to explain the request. The members liked the proposal. Colors and materials were discussed, asked about the dumpster relocation and enclosure. Ms. Cramer said the property was eligible for a Commercial Storefront Renovation rebate. Public comment was closed as no one addressed the item. A comment received prior to the meeting was read into public.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-69-25 with the following condition:

- Signage is not included in this approval.

All the members voted yea; the motion passed.

|                         |     |  |
|-------------------------|-----|--|
| 14. Docket No. 08-70-25 | (C) | 14523-27 Madison Ave.<br>Sarita a Restaurant |
| ( ) Approve             |     | Daniel Margulies                             |
| ( ) Deny                |     | Daniel Margulies Co. Inc.                    |
| ( ) Defer               |     | 1210 Chase Ave.<br>Lakewood, OH 44107        |

Applicant proposes additional awning on the front of the building. (Page 164)

Daniel Margulies, Daniel Margulies Co. Inc., applicant was present to explain the request. Discussion began about materials and colors, alignment of the awning. Staff had no comments. Public comment was closed as no one addressed the item. The members liked the proposal.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-70-25 as presented. All the members voted yea; the motion passed.

## SIGN REVIEW

15. Docket No. 08-64-25

11820 Detroit Ave.  
Confidence Med-Spa

- Approve
- Deny
- Defer

Shawn Warren  
Erie DeSign Co. Inc.  
16504 Detroit Ave.  
Lakewood, OH 44107

Applicant proposes an illuminated double-sided blade sign. (Page 94)

Victoria Heinman, Confidence Med-Spa business and property owner was present to explain the request. Discussion started with verification that the second floor units would not be used as apartments, the proposed placement of the blade sign, and that square footage was within the allowable. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-64-25 with the following condition:

- The blade sign aligns vertically with the blade sign on the adjacent property which will be roughly in line with the second floor window.

All the members voted yea; the motion passed.

16. Docket No. 08-62-25

13611 Detroit Ave.  
King Hibachi

- Approve
- Deny
- Defer

Lei Lin  
King Hibachi  
13611 Detroit Ave  
Lakewood, OH 44107

Applicant proposes vinyl window graphics with logo. (Page 80)

Ms. Cramer noted that neither the applicant nor a representative was present to explain the request, and that the members were allowed to render a decision, as per legal counsel. The proposal was over allowable square footage by a little. Removal of the QR code and one of the two telephone numbers would result in square footage allowance. Discussion continued with signage in the recessed door area and the frosted portion of the windows. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-62-25 with the following conditions:

- Remove the QR code.
- Remove any signage in the recessed door area.
- The windows will not be frosted.

All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

17. Docket No. 08-72-25 (C) 13815 and 13901 Detroit Ave.  
The View on Detroit East

- Approve
- Deny
- Defer

Ron Tannenbaum  
RDL Architects  
21111 Chagrin Blvd., Ste. 110  
Beachwood, OH 44122

Applicant proposes the review of a previously approved project for the construction of a mixed-use structure with parking to be evaluated under C3 zoning; ABR review under Chapter 1325. The project was approved at the May 13, 2021 meeting. (Page 181)

Mackenzie Makepeace, Managing Director, DiGeronimo Development, and Greg Soltis, RDL Architects, applicant, were present to explain the request. Discussion ensued about EIFS materials, staff stated that no other EIFS materials were being used for the city's other current development(s), EIFS today versus 20 to 30 years ago. Discussion continued about the first floor heights of the two buildings, to provide street trees, asked about the different Juniper heights, landscaping, planters needed to be studied, ground-floor residential units, parking, more prominence to the entrance of the west building, articulate the first-floor band, provide pet-relief areas, to add bike racks along Detroit Avenue. Conversation moved to the elevations. EIFS was discussed at length. Colors and materials were discussed, along with the width of the detailing at the top of the buildings, and cornices. Staff stated the width of the sidewalk was less than the Barry Buick site that was referenced. Public comment was taken. A comment received prior to the meeting was read into public record. Ms. Makepeace stated that if EIFS was not allowed, the project could not proceed. Also stated was that the first floor residential units did not comply with the city's commercial design guidelines.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Stevenson to DEFER Docket No. 08-72-25. All the members voted yea; the motion passed.

18. Docket No. 08-71-25 (R) 1586 Lakeland Ave.

- Approve
- Deny
- Defer

Samuel Diaquila AIA  
AMSR LLC  
1039 Forest Cliff Dr.  
Lakewood, OH 44107

Applicant proposes to rebuild a two-story front porch. (Page 171)

Sam Diaquila AIA, AMSR LLC, applicant was present to explain the request. Discussion was about the shingles, the foundation, the covered railing, the city's railing guidelines, and colors and materials. Staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 08-71-25 with the following conditions:

- The roof will be asphalt shingles to match the existing roof.
- The existing foundation is being maintained.
- Approving the presented open spindle railing alternate elevation which will be submitted to the city for record.

All the members voted yea; the motion passed.

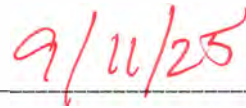
#### ADJOURN

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **ADJOURN** at the meeting 8:05 p.m. All the members voted yea; the motion passed.

\_\_\_\_\_  
Signature



\_\_\_\_\_  
Date



2



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. MARK REINHOLD [Signature]
- 2. KATHY CLARKE [Signature]
- 3. James McInty [Signature]
- 4. [Signature] [Signature]
- 5. [Signature] [Signature]
- 6. Victoria Heimann [Signature]
- 7. BOB WIEFF [Signature]
- 8. GREG SOUTS [Signature]
- 9. Sam DiQuattro [Signature]
- 10. \_\_\_\_\_
- 11. \_\_\_\_\_

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure:  ABR/BBS  Citizens Advisory  Civil Svc.  Dangerous Dog  Income Tax Appeals  Loan Approval  Nuisance Abatement Appeals  Parking  Planning  Zoning Appeals  Other:

Date of Proceeding: Thursday, August 14, 2025

Page 1 of 1

## Johanna Schwarz

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**From:** Amanda L. Cramer  
**Sent:** Monday, August 11, 2025 10:23 AM  
**To:** Johanna Schwarz  
**Subject:** Fw: ABR Sign Review and Walk with LakewoodAlive in the Fourth of July Parade

FYI, some public comment. I can put them in the folder when I'm back in the office.

---

**From:** Robert Donaldson <rob.donaldson@gmail.com>  
**Sent:** Monday, August 11, 2025 9:30:32 AM  
**To:** Ian Andrews <iandrews@lakewoodalive.org>  
**Cc:** adamb\_40@yahoo.com <adamb\_40@yahoo.com>; Amy Haney <amyjhaney@gmail.com>; Brian Meng <bmeng@bialosky.com>; Amanda L. Cramer <amanda.cramer@lakewoodoh.net>; shammer@chnhousingpartners.org <shammer@chnhousingpartners.org>; Diana Menser <diana.menser1@gmail.com>; Carl DeScott <carlc2942@gmail.com>; Josh Mottor <josh.mottor@gmail.com>; Heather Rudge <heather@hpgroup-llc.com>; Kyle G. Baker <Kyle.Baker@lakewoodoh.gov>; Amanda Santa <amandaesanta@gmail.com>  
**Subject:** Re: ABR Sign Review and Walk with LakewoodAlive in the Fourth of July Parade

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

- 1070 Rosalie - Are there other options the garage other than to face the street? Can the garage step back any more to be less frontage? Front-facing garages in alignment with the primary house facade are typically not approved in the City.
- 14414 Detroit - location on proposed signs is unclear. Mark up photos indicating respective locations.
- 15431 Edgewater - Nice porch addition given the existing conditions. Very thorough design submission.
- 13611 Detroit - Can the URL, phone numbers, and QR code go to the door? Free up the windows to be the logo, which is too high relative to eye level.
- 15711 Madison - Mixed feelings on this one. The building looked out of place to begin with, but now it looks like a day spa. We support reinvestment in the commercial corridor, but neither the existing nor the proposed concept acknowledges its context.
- 1586 Lakeland - The board typically does not support wrapping railings with siding on current and proposed porch renovations.
- 13815/13901 Detroit - Strongly recommend that the 2021 proposal that ABR approved be revisited, as the board and applicant worked through the design, so it wasn't cake architecture (bring the building mass to grade to hold the corners, lighter materials overall). Strongly recommend that the use of stamped stucco to simulate brick is **not** accepted.

On Thu, Aug 7, 2025 at 2:31 PM Ian Andrews <[iandrews@lakewoodalive.org](mailto:iandrews@lakewoodalive.org)> wrote:

Good afternoon,

Sending along the latest docket for ABR. Please take a look and let us know if you have any comments.

Thank you.

Ian

[https://www.lakewoodoh.gov/wp-content/uploads/2025/08/BBSARBAgenda\\_081425A.pdf](https://www.lakewoodoh.gov/wp-content/uploads/2025/08/BBSARBAgenda_081425A.pdf)

**Ian Andrews**

Executive Director  
LakewoodAlive  
12815 Detroit Avenue  
Lakewood, OH 44107  
216-521-0655



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**Upcoming Events:**

**8/27 – [Cilantro Taqueria Dine to Donate](#)**



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**From:** Ian Andrews <[iandrews@lakewoodalive.org](mailto:iandrews@lakewoodalive.org)>

**Sent:** Thursday, June 26, 2025 6:33 AM

**To:** [adamb\\_40@yahoo.com](mailto:adamb_40@yahoo.com) <[adamb\\_40@yahoo.com](mailto:adamb_40@yahoo.com)>; Amy Haney <[amyjhaney@gmail.com](mailto:amyjhaney@gmail.com)>; Brian Meng <[bmeng@bialosky.com](mailto:bmeng@bialosky.com)>; Amanda L. Cramer <[Amanda.Cramer@lakewoodoh.gov](mailto:Amanda.Cramer@lakewoodoh.gov)>; [shammer@chnhousingpartners.org](mailto:shammer@chnhousingpartners.org) <[shammer@chnhousingpartners.org](mailto:shammer@chnhousingpartners.org)>; Rob Donaldson <[rob.donaldson@gmail.com](mailto:rob.donaldson@gmail.com)>; Diana Menser <[diana.menser1@gmail.com](mailto:diana.menser1@gmail.com)>; Carl DeScott <[carlc2942@gmail.com](mailto:carlc2942@gmail.com)>; Josh Mottor <[josh.mottor@gmail.com](mailto:josh.mottor@gmail.com)>; Heather Rudge <[heather@hpgroup-llc.com](mailto:heather@hpgroup-llc.com)>; Kyle G. Baker <[Kyle.Baker@lakewoodoh.gov](mailto:Kyle.Baker@lakewoodoh.gov)>; [adamb\\_40@yahoo.com](mailto:adamb_40@yahoo.com) <[adamb\\_40@yahoo.com](mailto:adamb_40@yahoo.com)>

**Cc:** Amanda Santa <[amandaesanta@gmail.com](mailto:amandaesanta@gmail.com)>

**Subject:** ABR Sign Review and Walk with LakewoodAlive in the Fourth of July Parade

Good morning,

Sending along the latest ABR docket for your review and thoughts. While I noted in the past to send replies just to Amy, Brian and me, please feel free to reply all as it might help foster more dialogue or consideration about the projects. I wouldn't get too hung up on the residential projects but if you have thoughts, please feel free to share.

Items to consider:

1. Item #5: 13345 Madison: mural
2. Item #6 16024 Madison: exterior renovation
3. Item #8: 18206 Detroit: sign (LakewoodAlive is helping this owner through the sign grant process)
4. Item #9: 15709 Detroit: awning recover and door window graphics
5. Item #10: 15422 Detroit: multiple signs, monument sign, wayfinding, graphics
6. Item #11: 15719 Detroit: window graphics
7. Item #15: 1382 Arthur: painting brick to match adjacent painted brick

Please provide any comments by Friday afternoon so we can submit by Monday morning for consideration at the Tuesday, July 1 pre-meeting.

[https://www.lakewoodoh.gov/wp-content/uploads/2025/06/BBSARBAgenda\\_071025.pdf](https://www.lakewoodoh.gov/wp-content/uploads/2025/06/BBSARBAgenda_071025.pdf)

Lastly, we'd love to add a few more folks to the LakewoodAlive Fourth of July parade group. Let us know if you'd like to walk with us and feel free to bring your family too! Meet at Kenneth and Lake @ 9:45, step off at 10. We tend to be near the front and will send out specifics next week to those who can join us. Let me know and thank you for considering.

Sincerely,

Ian

**Ian Andrews**

Executive Director  
LakewoodAlive  
12815 Detroit Avenue  
Lakewood, OH 44107  
216-521-0655



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**Upcoming Events:**

6/27 – [Front Porch Concert Series: Moises Borges Brazilian Jazz Quartet](#)

7/8 – [Western Reserve Distillers Dine to Donate](#)

7/11 – [Front Porch Concert Series: Apostle Jones](#)

7/18 – [Front Porch Concert Series: The Baker's Basement](#)

7/19 – [The 17<sup>th</sup> Annual Lakewood Summer Meltdown](#)

7/25 – [Front Porch Concert Series: Grumpy Plum](#)

7/31 – [Sauced Taproom & Kitchen Dine to Donate](#)



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**From:** Johanna Schwarz <[Johanna.Schwarz@lakewoodoh.gov](mailto:Johanna.Schwarz@lakewoodoh.gov)>

**Sent:** Tuesday, June 24, 2025 3:45 PM

**To:** Johanna Schwarz <[Johanna.Schwarz@lakewoodoh.gov](mailto:Johanna.Schwarz@lakewoodoh.gov)>

**Subject:** Agenda: BBS/ABR/Sign Review

[https://www.lakewoodoh.gov/wp-content/uploads/2025/06/BBSARBAgenda\\_071025.pdf](https://www.lakewoodoh.gov/wp-content/uploads/2025/06/BBSARBAgenda_071025.pdf)

Good afternoon,

Please click on the link to view the agenda for the July 10, 2025 BBS/ABR/Sign Review meeting that begins at 5:30 p.m. in the auditorium. Because of the July 4<sup>th</sup> holiday, the pre-review meeting will be in the East Conference room at 4:00 p.m. on Tuesday, July 1, 2025.

Thank you and have a good evening.

Sincerely,

Johanna



**Johanna Schwarz**

Administrative Assistant II

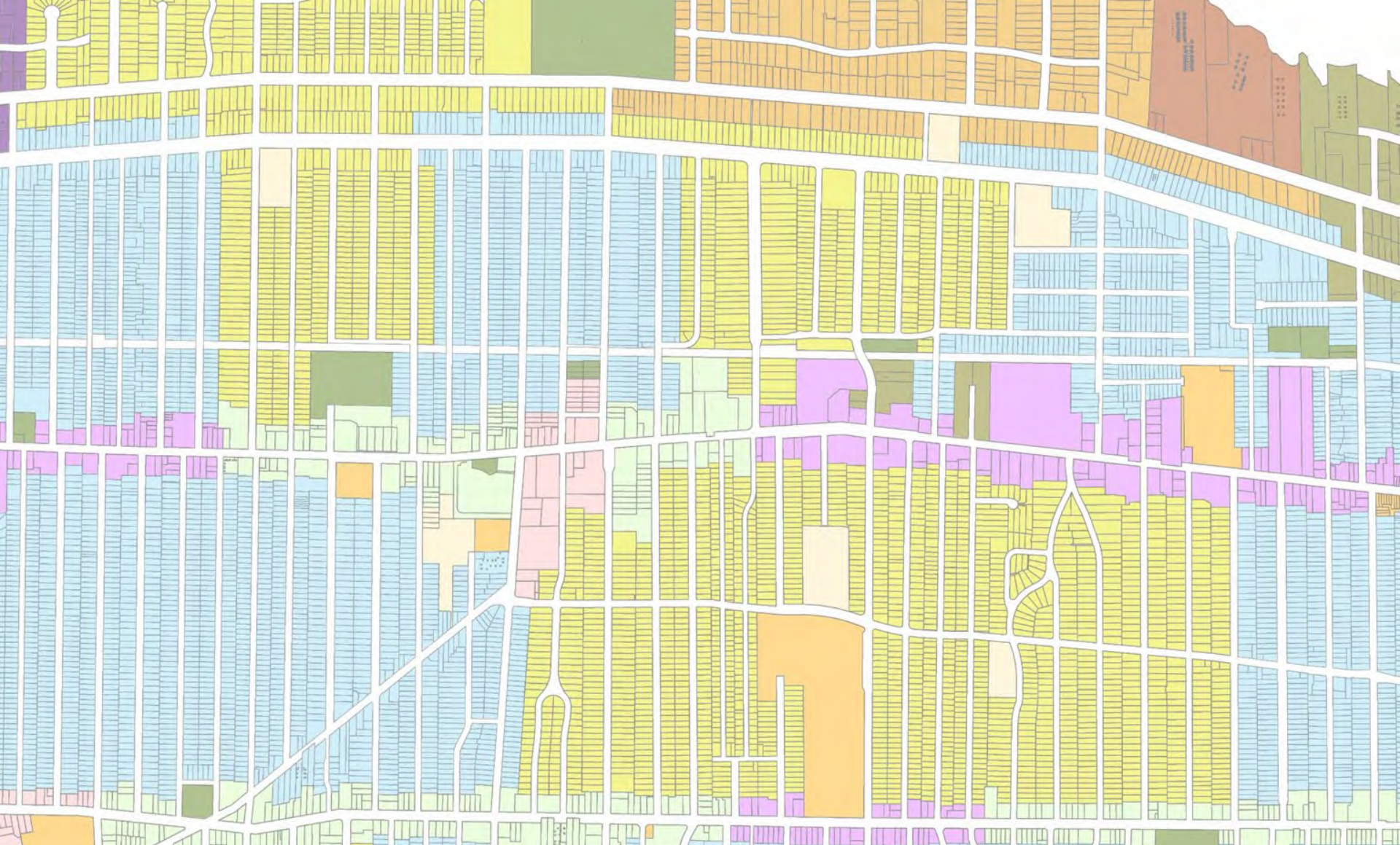
**City of Lakewood, Ohio**

12650 Detroit Ave.

Lakewood, OH 44107

(216) 529-6631

[johanna.schwarz@lakewoodoh.gov](mailto:johanna.schwarz@lakewoodoh.gov)



# Architectural Board of Review

August 2025



## **Architectural Board of Review**

Pre-Review Meeting: August 7th, 4 pm (East Conf Rm)

Regular Meeting: August 14th , 5:30 pm (Auditorium)

### **Members**

Hanna Cohan Plessner (2025 Chair)

Jeremy Smith (2025 Vice-Chair)

Chris Egervary

Nick Slaughterbeck

Matt Stevenson

### **Staff**

*Board Secretary:* Amanda Cramer, Sophia Szeles

*Assistant Building Commissioner:* William Wagner



**Architectural Board of Review**  
**August Agenda**

1. Roll call
2. Approve minutes – July 2025 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn

## Applicant proposes new signage.

### City Notes:

- Applicant proposes 1 wall sign (28 sq ft)
- Max allowed square footage: 43.5 sq ft
- Total proposed square footage: 28 sq ft

### Summary Approved with conditions:

- Any window signage must come to the board before installation.
- 30 inches of clearance for the sign band.



**Docket No. 08-61-25 (12118 Madison)**

New Signage – Aura Beauty  
Shadi Almikdad

**Applicant proposes new signage.**

**City Notes:**

- Applicant proposes 2 wall signs (58 sq ft; 14 sq ft)
- Max allowed square footage: 100 sq ft
- Total proposed square footage: 72 sq ft + existing sq ft monument sign (need measurements)

Summary Approved with no conditions



**Docket No. 08-63-25 (1616 W 117)**

**New Signage – Fifth Third Bank  
John Benedict**

## Applicant proposes new signage.

### City Notes:

- Applicant proposes 1 blade sign (7 sq ft) OR 1 vinyl window sign (12.5 sq ft; 15% window coverage)
- Max allowed square footage: need storefront measurement**
- Total proposed square footage: 7 sq ft OR 12.5 sq ft

15620 Detroit Ave

### Summary Approved with conditions:

- Only window signage is approved.



**Docket No. 08-65-25 (15620 Detroit)**

New Signage – Woven Smart  
Shawn Warren

## Applicant proposes new signage.

### City Notes:

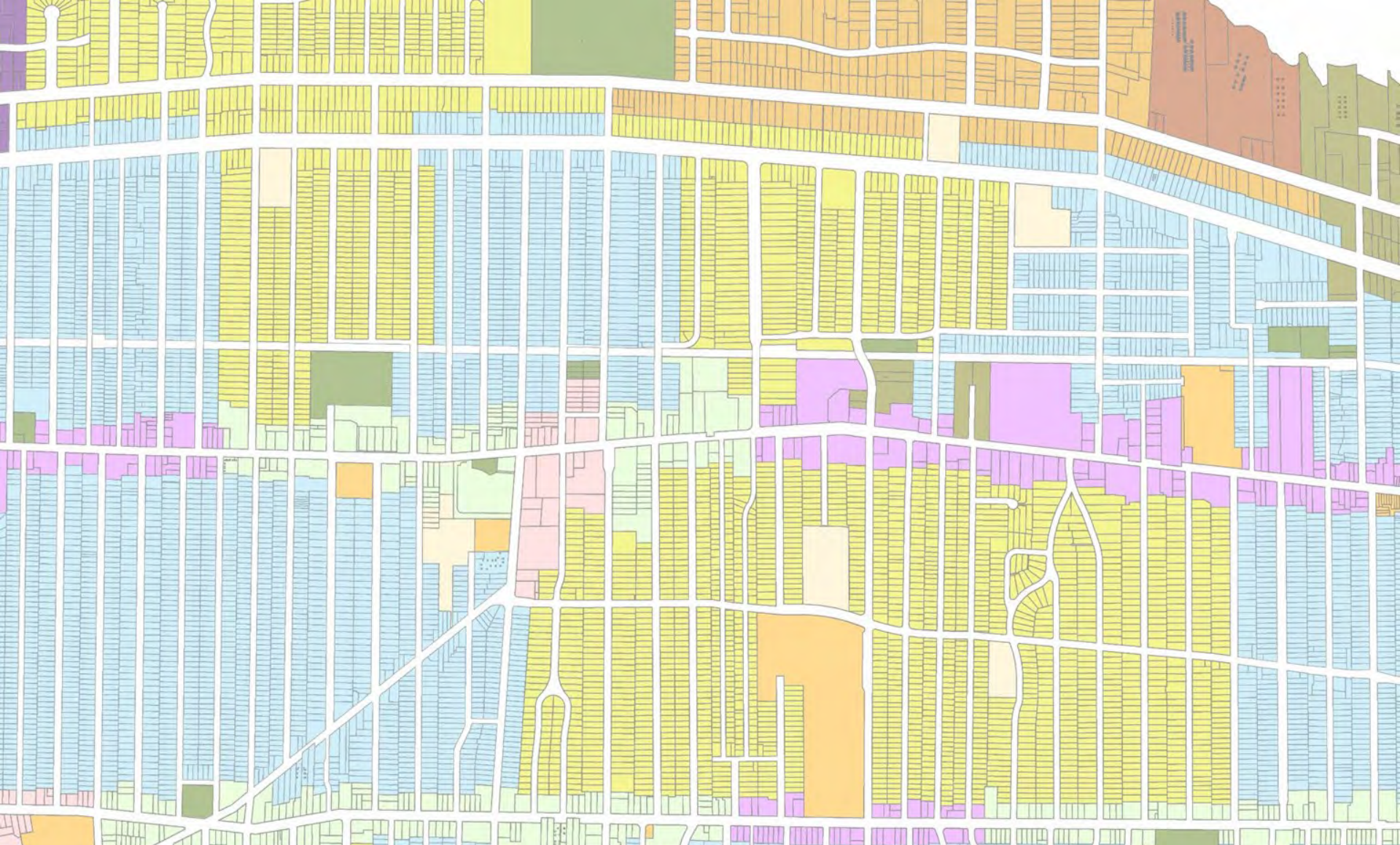
- Applicant proposes 1 blade sign (3.7 sq ft)
- Max allowed square footage: 21 sq ft
- Total proposed square footage: 3.7 sq ft

Summary Approved with no conditions



**Docket No. 08-66-25 (13705 Madison)**

New Signage – Be & Blossom  
Steven Foster



# Architectural Board of Review

Old Business – August 2025

**Applicant proposes relocating previously approved signage.**

**City Notes:**

- Applicant proposes moving existing signage 30 ft

Withdrawn by applicant

Ethlete Lab Academy



**Docket No. 07--25 (14414 Detroit)**

Sign Relocation – Ethlete Lab Academy  
Abby Ayers

**Applicant proposes a residential addition.**

**City Notes:**

N/A

**Applicant requests table**

1070 Rosalie Ave



**Docket No. 06-51-25 (1070 Rosalie)**

**Residence – Addition  
Lee Pozek**

**Applicant proposes adding new dormers and front stoop to residence.**

**City Notes:**

N/A



15431 Edgewater Dr



**Docket No. 03-21-25 (15431 Edgewater)**

Residence – Dormers and Front Stoop  
Mark Reinhold



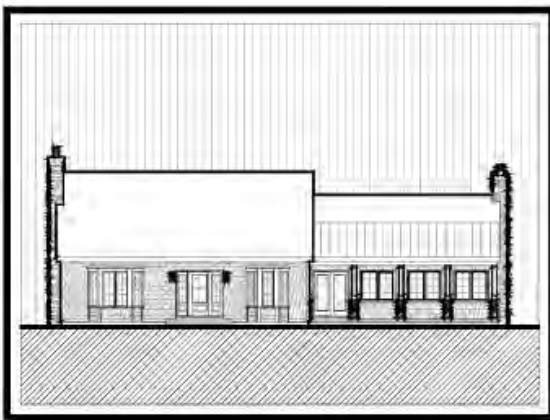
**Docket No. 03-21-25 (15431 Edgewater)**



**Docket No. 03-21-25 (15431 Edgewater)**



**Docket No. 03-21-25 (15431 Edgewater)**

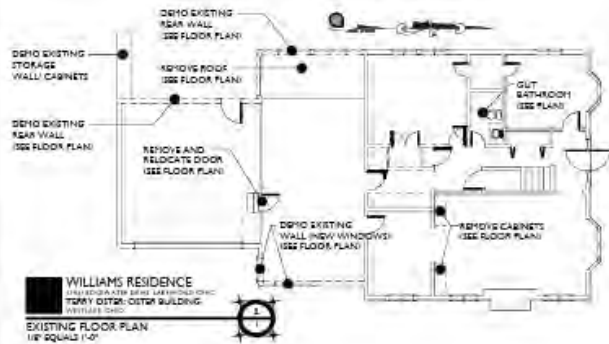


**DAVID and MAE WILLIAMS RESIDENCE**  
15431 EDGEWATER DRIVE, LAKEWOOD, OHIO 44107

# WILLIAMS ABR REVIEW DRAWINGS

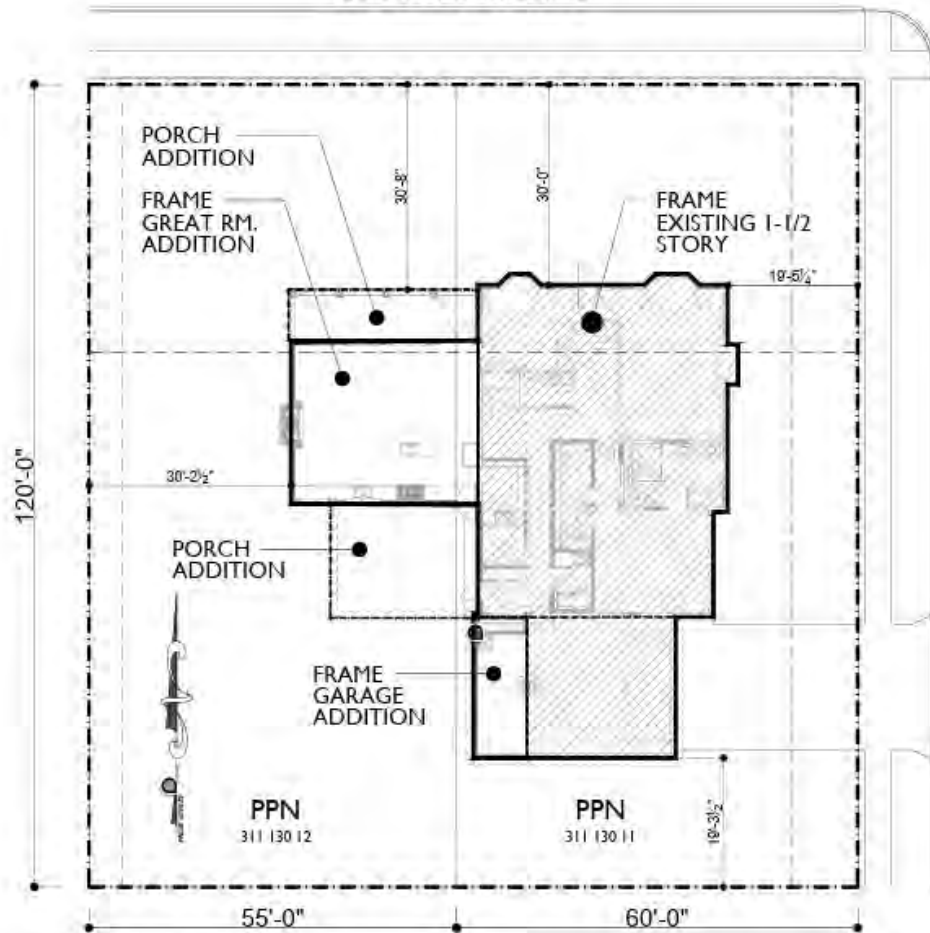
## LIST OF DRAWINGS

- |                             |   |
|-----------------------------|---|
| TITLE SHEET, SITE PLAN      | 1 |
| FLOOR PLAN, FRONT ELEVATION | 2 |
| EXTERIOR ELEVATIONS         | 3 |



REMOVE ALL WINDOW COR  
REPLACE WITH WINDOWS

EDGEWATER DRIVE



**WILLIAMS RESIDENCE**  
15431 EDGEWATER DRIVE, LAKEWOOD, OHIO  
TERRY OSTEN-OSTER BUILDING  
REMOVED 2002  
NORTH ELEVATION (FRONT)  
1/8" SQUARE 1/8"

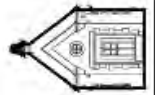
Previous Approval

CLIFFDALE AVENUE



MARK REINHOLD architect  
1120 FOREST ROAD, LAKEWOOD, OHIO 44107 (216) 864-1297  
05-17-2022  
3.28.2022  
DAVID and MAE WILLIAMS RESIDENCE 15431 EDGEWATER DRIVE, LAKEWOOD, OHIO 44107

SCHEMATIC 1



Docket No. 03-21-25 (15431 Edgewater)



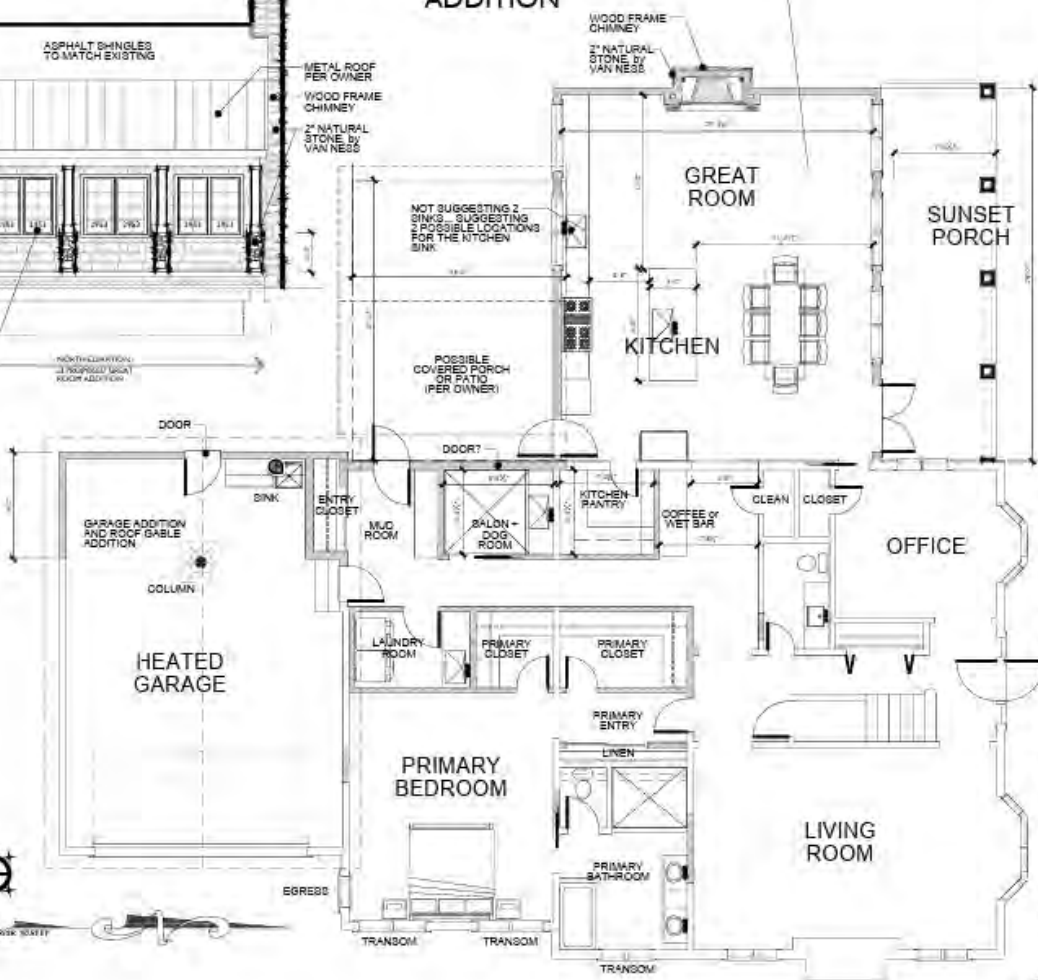
FRAME GREAT RM. ADDITION



WILLIAMS RESIDENCE  
 15431 EDGEMATER DRIVE, LAKEWOOD, OHIO 44107  
 12871 CENTER CIRCLE BUILDING  
 MULTILANE DRIVE

NORTH ELEVATION (FRONT)  
 1/4" = 1'-0"

WHITE VINYL TRIM (MATCH EXISTING)  
 BLACK WINDOW, BLACK MULLIONS, BLACK SASH



WILLIAMS RESIDENCE  
 15431 EDGEMATER DRIVE, LAKEWOOD, OHIO 44107  
 12871 CENTER CIRCLE BUILDING  
 MULTILANE DRIVE

FIRST FLOOR PLAN  
 1/4" = 1'-0"

Previous Approval



MARK REINHOLD ARCHITECT 15431 EDGEMATER DRIVE LAKEWOOD, OHIO 44107  
 216.956.7097

SCHEMATIC 2

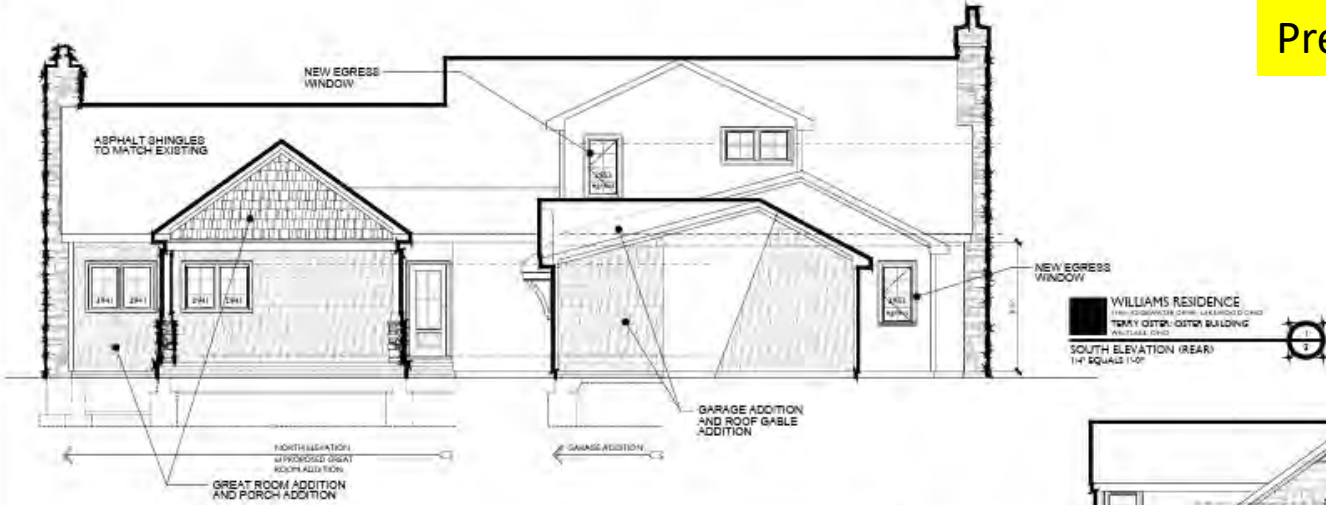


Docket No. 03-21-25 (15431 Edgewater)

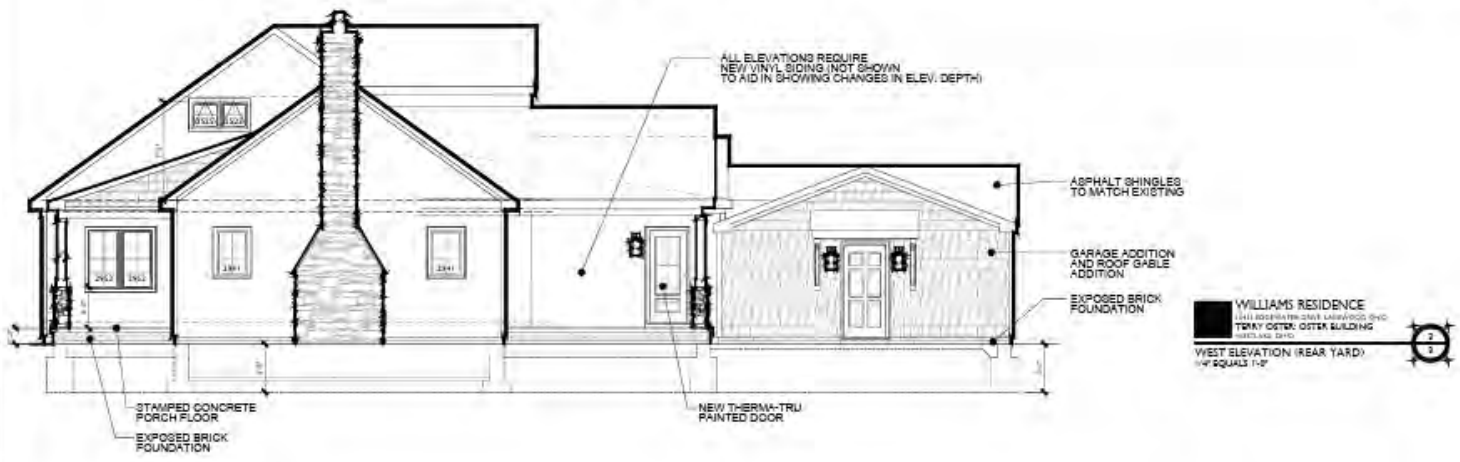
Previous Approval



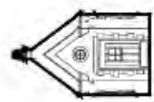
SCHEMATIC SK-2



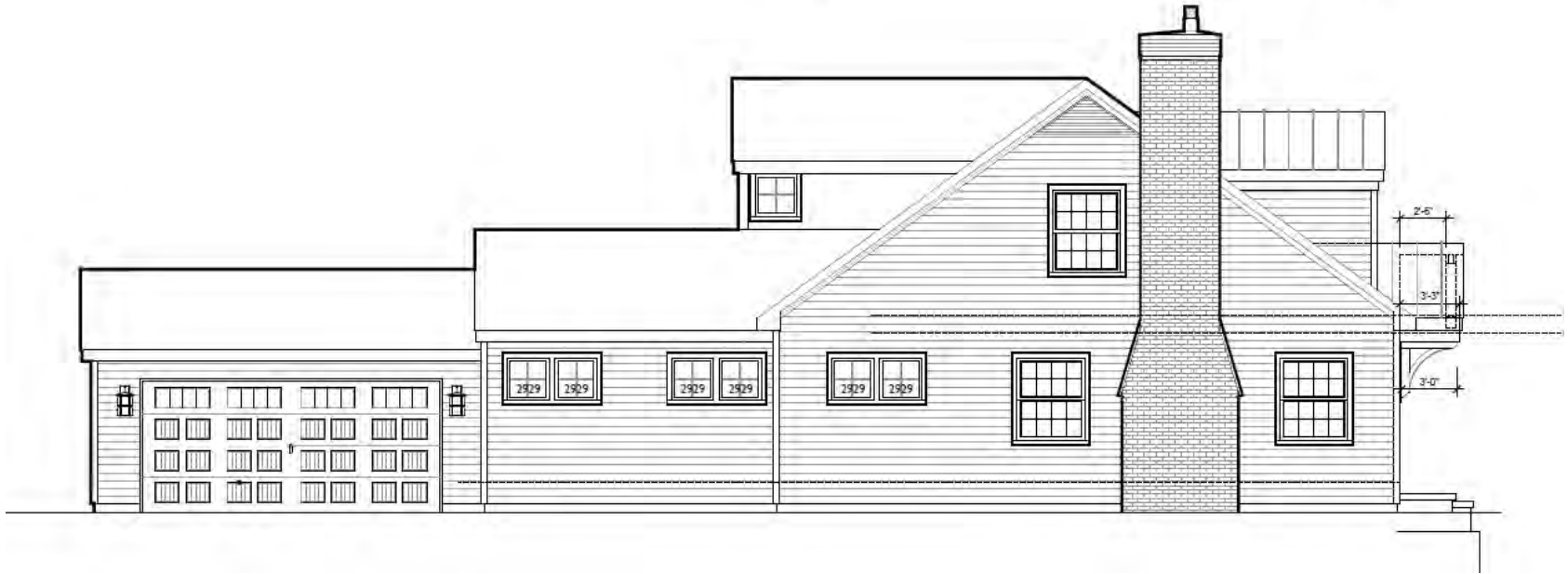
WILLIAMS RESIDENCE  
15431 EDGEWATER DRIVE, LAKEWOOD, OHIO  
TERRY OSTER, OSTER BUILDING  
WILLOUGHBY, OHIO  
EAST ELEVATION (SIDE CLIFFDALE)  
1/4" EQUALS 1'-0"



MARK REINHOLD architect 1100 FOREST ROAD, LAKEWOOD, OHIO 44107 (S.I.C.) TEL. 766-7477  
DAVID and MAE WILLIAMS RESIDENCE 15431 EDGEWATER DRIVE, LAKEWOOD, OHIO 44107



Docket No. 03-21-25 (15431 Edgewater)



**Docket No. 03-21-25 (15431 Edgewater)**





PRODUCTS / STONE / SHADOW ROCK



**Docket No. 03-21-25 (15431 Edgewater)**



Installing polymer siding is a smart investment, with **one of the highest returns** of any major home remodeling project when it's time to sell.

**94.7%**

Return on investment for polymer siding

Source: Remodeling magazine



**Docket No. 03-21-25 (15431 Edgewater)**



Light 20.9" H Outdoor Hanging Lantern

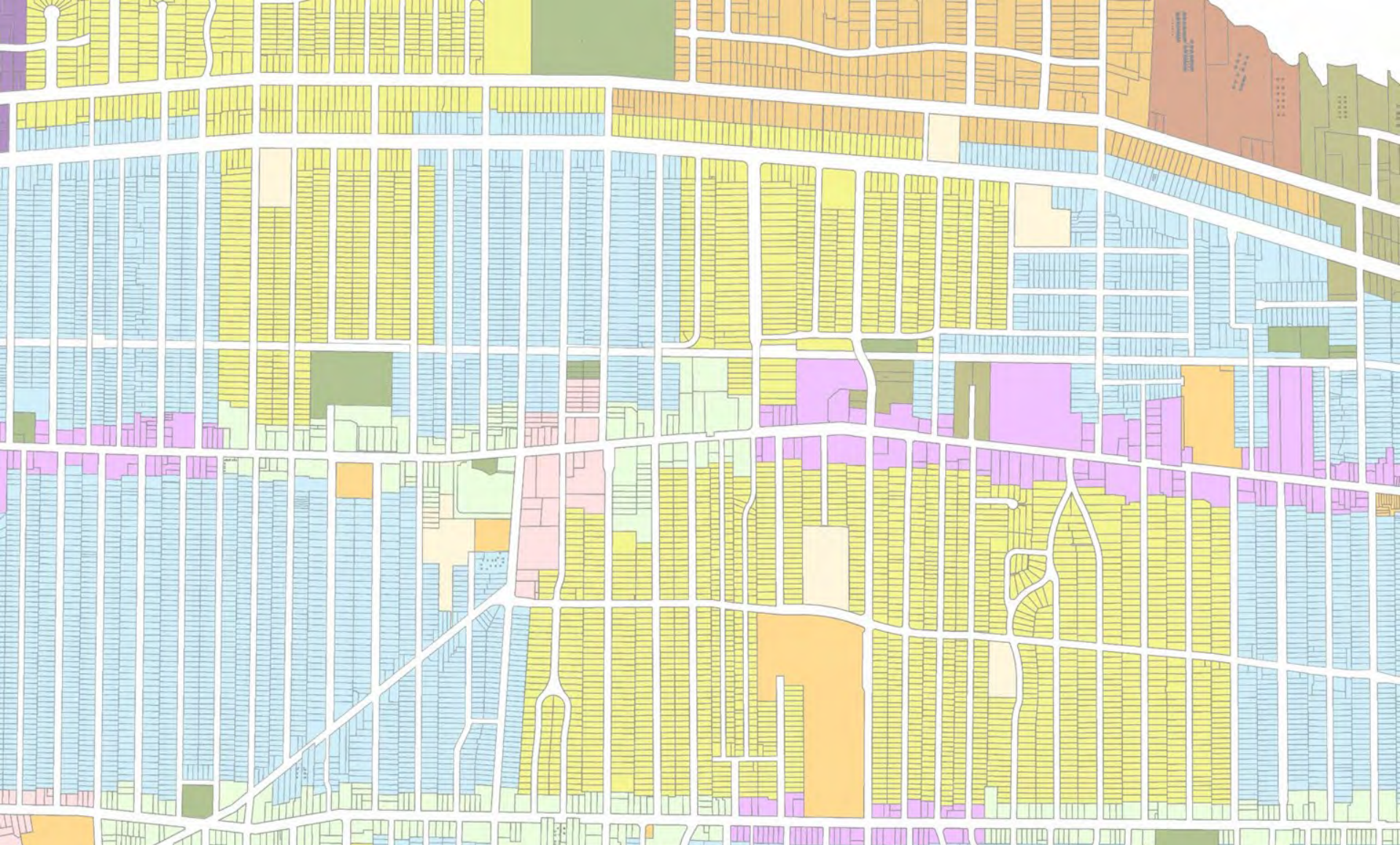
### Birten 3 - Light 20.9" H Outdoor Hanging Lantern

By [Gracie Oaks](#)

4.9 ★★★★★ 15 Reviews



**Docket No. 03-21-25 (15431 Edgewater)**



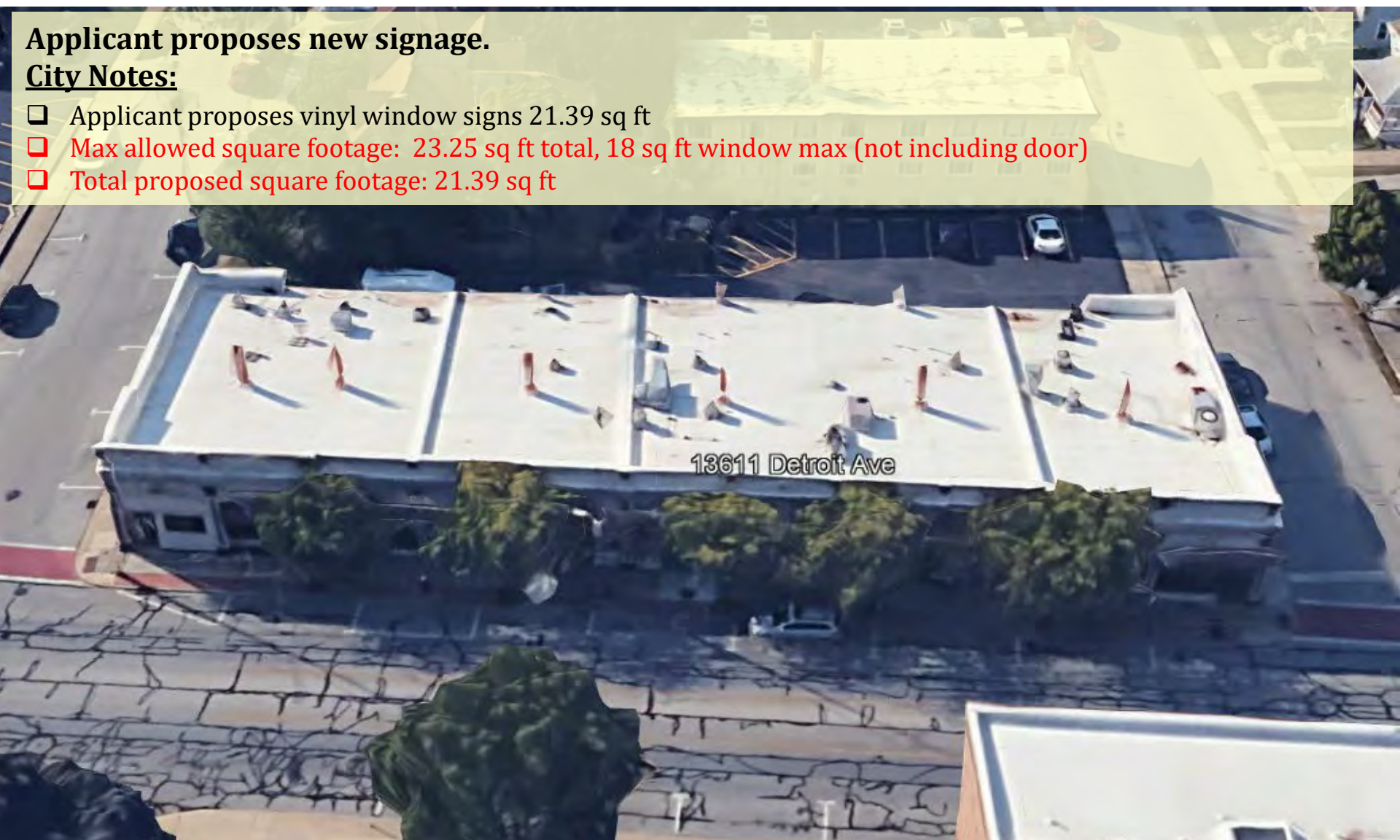
# Architectural Board of Review

Sign Review – August 2025

**Applicant proposes new signage.**

**City Notes:**

- Applicant proposes vinyl window signs 21.39 sq ft
- Max allowed square footage: 23.25 sq ft total, 18 sq ft window max (not including door)
- Total proposed square footage: 21.39 sq ft

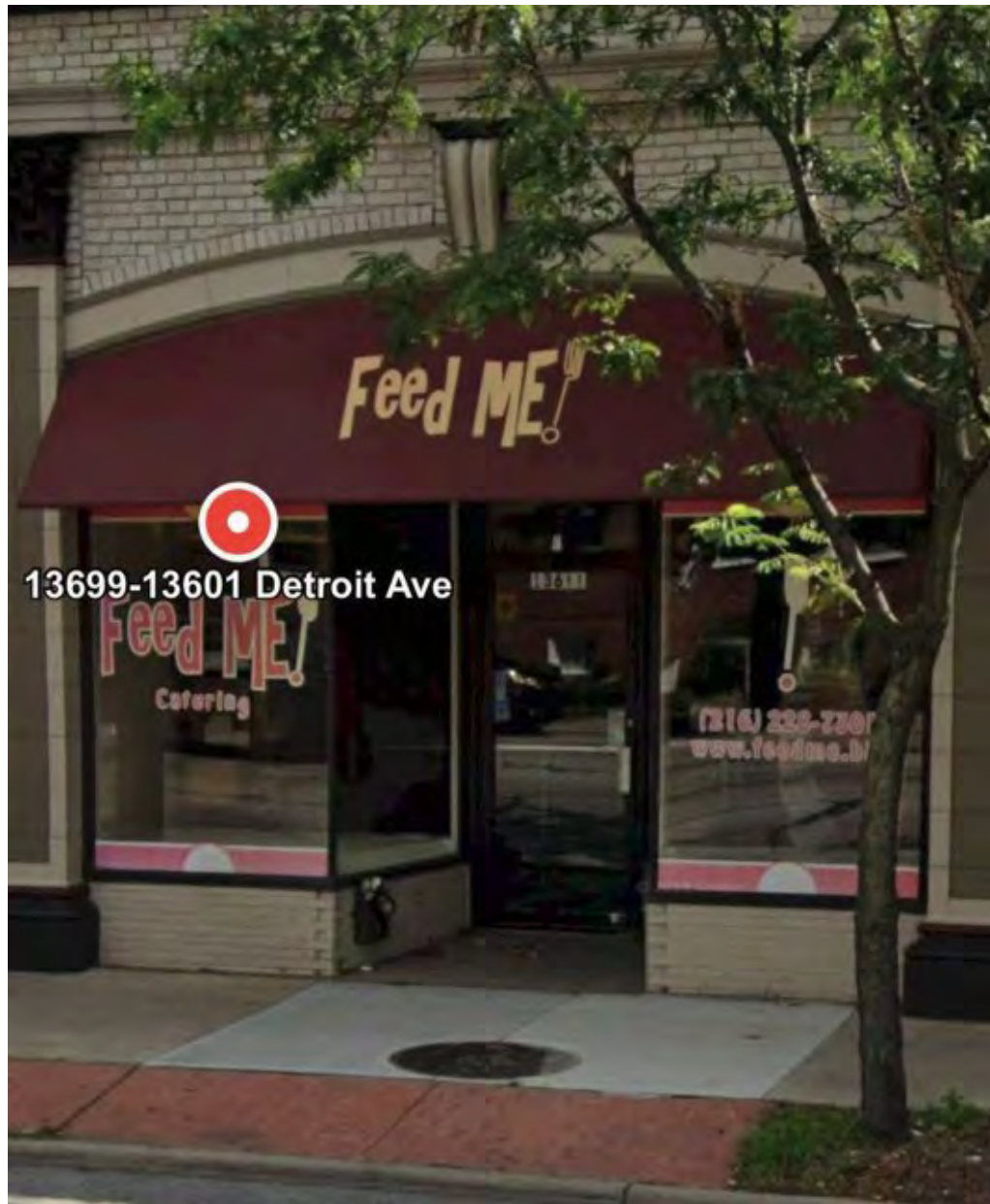


**Docket No. 08-62-25 (13611 Detroit)**

**New Signage – King Hibachi  
Lei Lin**



**Docket No. 08-62-25 (13611 Detroit)**



13699-13601 Detroit Ave

**Docket No. 08-62-25 (13611 Detroit)**



## Applicant proposes new signage.

### City Notes:

- ❑ Applicant proposes 1 blade sign (3 sq ft)
- ❑ Max allowed square footage: 52.5 sq ft
- ❑ Total proposed square footage: 3 sq ft + 21 sq ft existing = 24 total sq ft



**Docket No. 08-64-25 (11820 Detroit)**

**New Signage – Confidence Med Spa  
Shawn Warren**



33" 2 sided 12 sq. ft.

Location as is

Current logos 1) 2' x 6' -2) 1' x 4.5' = 21 sq



Building 35' w



|                   |                                    |                        |       |
|-------------------|------------------------------------|------------------------|-------|
| CLIENT            | Confidence Med Spa                 | JOB #:                 | DATE: |
| ADDRESS:          | 11820 Detroit ave.                 | SALESPERSON/ DESIGNER: | DATE: |
| REVISION HISTORY: | CHANGES MADE:                      |                        |       |
| DATE:             | CLIENT SIGNATURE OF APPROVAL DATE: |                        |       |



Docket No. 08-64-25 (11820 Detroit)

ALUMINUM FRAME

VACUUM FORMED  
(2) PLASTIC FACES  
(WHITE TRANSLUCENT)



33" 2 sided 12 sq. ft.

5"

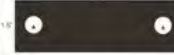
LEDs  
WITH LIGHT  
DIFFUSING LENS

STEEL BRACKET

30W POWER SUP

INSTALLATION  
BRACKETS

4.75"



Current logos 1) 2' x 6' -2) 1' x 4.5' = 21 sq



Building 35' w

**ERIE**  
deSign  
Signs, Banners & Graphics  
216-227-0043  
www.eriadesign.com

|                                |                                    |                 |
|--------------------------------|------------------------------------|-----------------|
| CLIENT:<br>Confidence Med Spa  | JOB #:                             | DATE:<br>5 3 25 |
| ADDRESS:<br>11820 Detroit ave. | SALESPERSON/ DESIGNER:             | DATE:           |
| REVISION HISTORY:<br>DATE:     | CHANGES MADE:                      |                 |
|                                | CLIENT SIGNATURE OF APPROVAL DATE: |                 |



Docket No. 08-64-25 (11820 Detroit)

## Applicant proposes new signage.

### City Notes:

- ❑ Applicant proposes 1 monument sign (30.33 sq ft), Rear wall signs (4.83 sq ft), Awning (1.5 sq ft), **Window (3.43, 0.83, 0.39, 6.33, 5.83, 3.61, 1.5, 0.39 = 22.31 sq ft)**
- ❑ Max allowed square footage: 101.25 sq ft, **14.57 sq ft allowed for windows**
- ❑ Total proposed square footage: 58.97 sq ft



**Docket No. 08-67-25 (15901 Hilliard)**

**New Signage – CLE Smiles  
Nicole Cochran**



**Docket No. 08-67-25 (15901 Hilliard)**

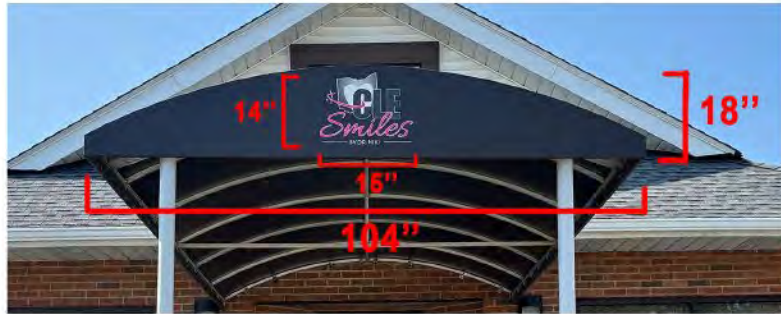


# Rendering

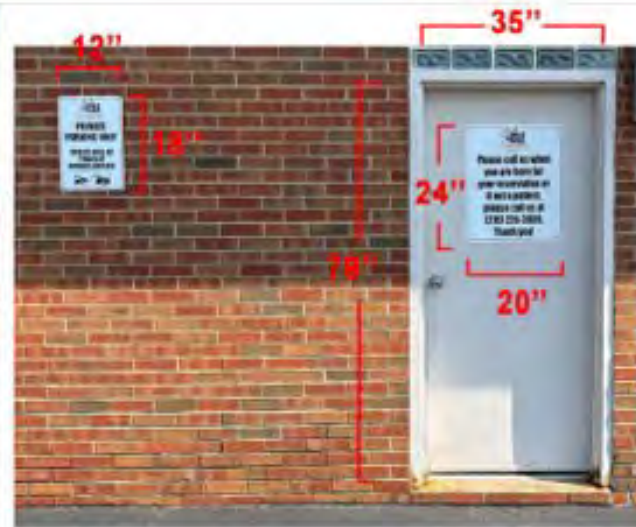




**Docket No. 08-67-25 (15901 Hilliard)**



**Docket No. 08-67-25 (15901 Hilliard)**



**Docket No. 08-67-25 (15901 Hilliard)**



Pink Perennials



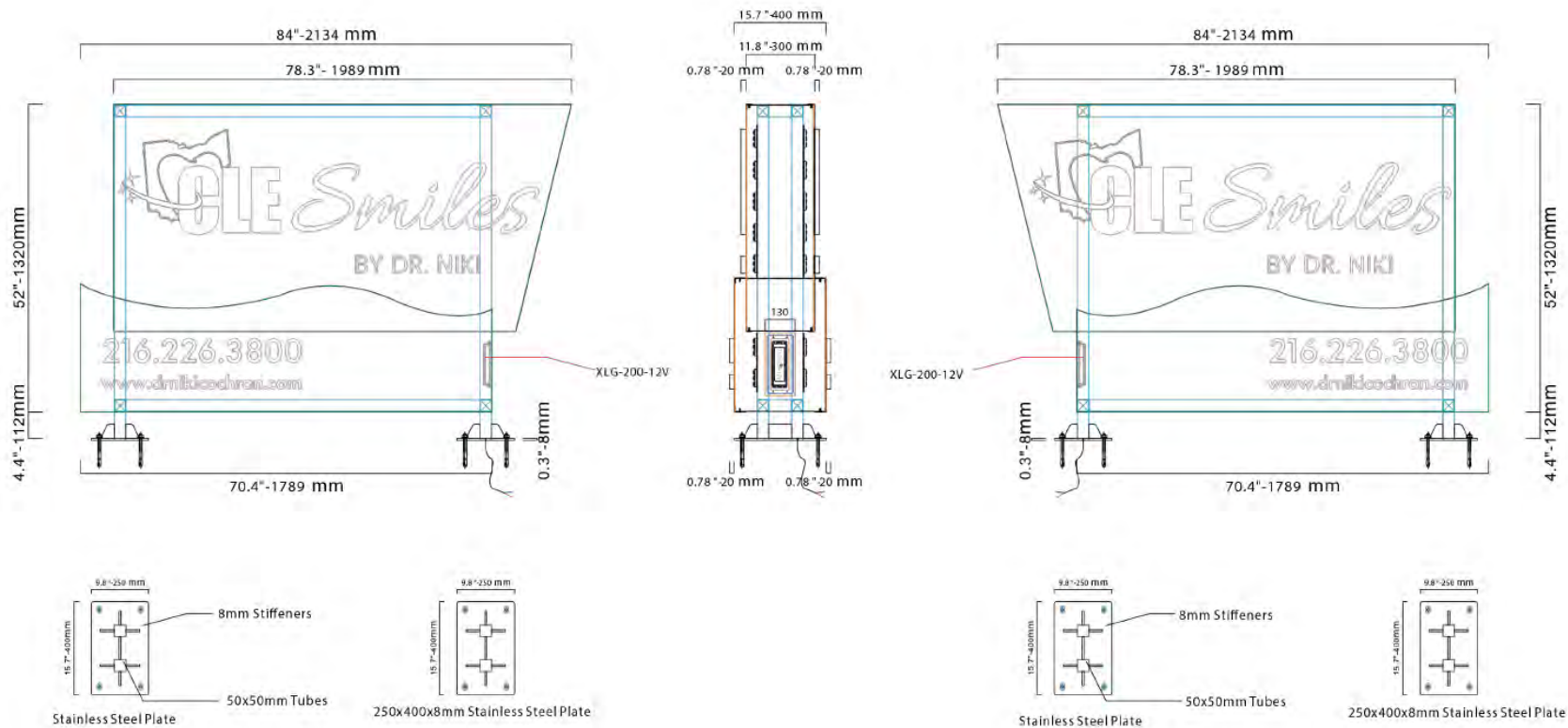
Elijah Blue Fescue Grass



Black Mulch



**Docket No. 08-67-25 (15901 Hilliard)**



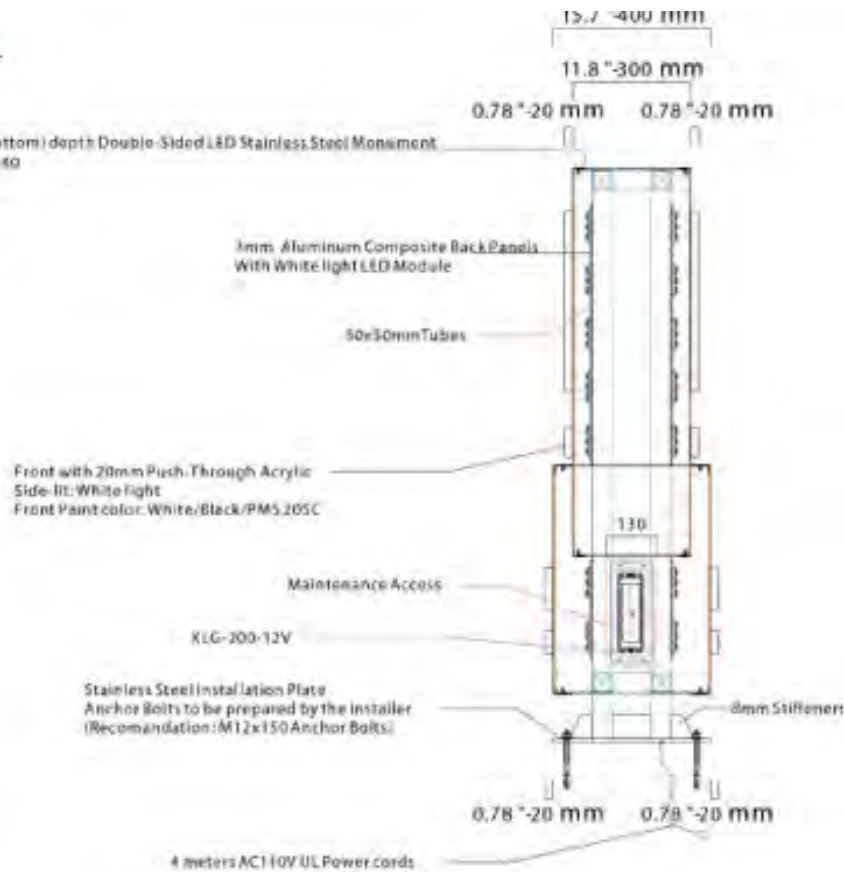
⊕: AC 110V Power Cords

**Docket No. 08-67-25 (15901 Hilliard)**



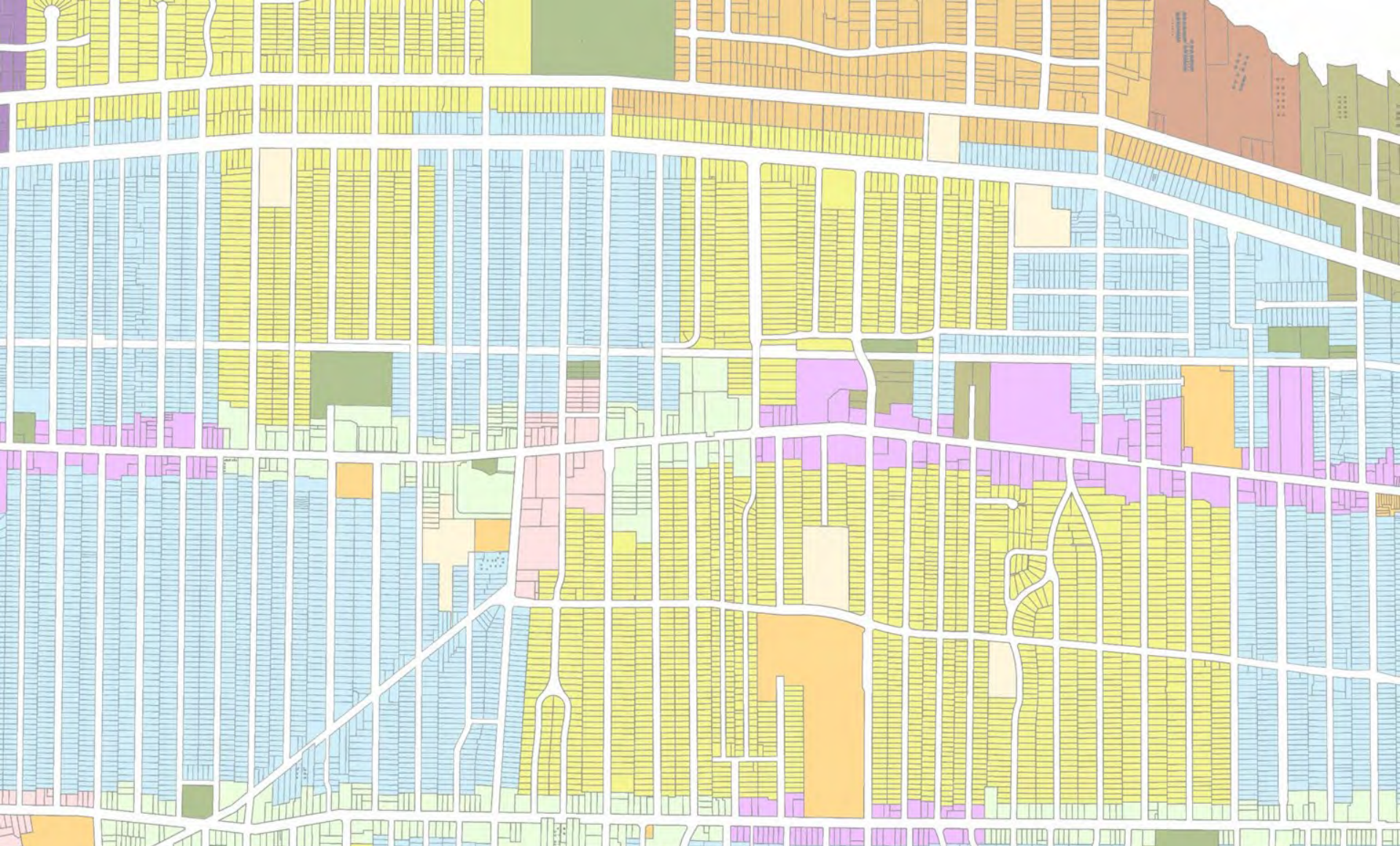
# Product Details

300l Top/(400mm(Bottom) depth) Double-Sided LED Stainless Steel Monument  
Painted Black/RAL 7040



Meanwell Power Supply  
KLG-200-12V





# Architectural Board of Review

August 2025

**Applicant proposes installation of flagpole.**

**City Notes:**

N/A



**Docket No. 08-68-25 (17510 Detroit)**

**St. James Church – Flagpole  
James McGinty**





**Docket No. 08-68-25 (17510 Detroit)**





CUYAHOGA COUNTY  
 OFFICE OF FISCAL OFFICERS - 1  
 LPLAT 1/6/2022 11:05:06 AM  
**202201060278**

**PLAT DATA SHEET**

Plat Title: Lot Split for  
17514 Detroit Road (Edward Hoban, Edward Malesic now the Bishop of Cleveland)

Plat Type: Lot Split

Municipality: Lakewood

Township: Original Rockport Township Section No. 23

Parent Parcel Numbers: 311-23-022, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_  
 \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_

Number of New parcels created: 3

Number of deeds filed with plat: 0

Plat Size: 24" x 36"

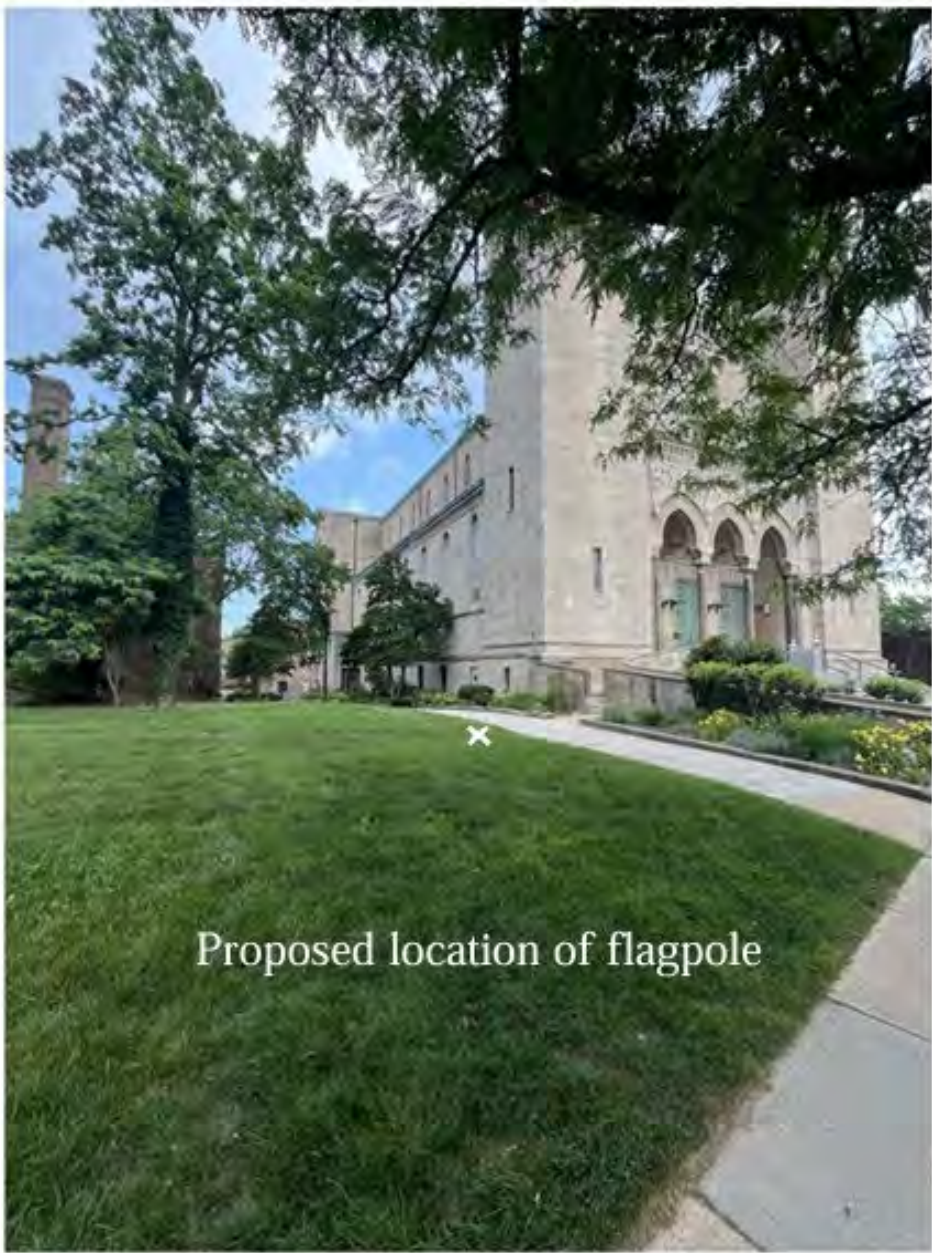
Date Filed: 1/6/2021

Recorder's Fee: \_\_\_\_\_

**New Parcels**  
 New Parcel Numbers are subject to change

CUYAHOGA COUNTY FISCAL OFFICER  
 311-23-022 *Mark Chandra* 1/6/2022 11  
 N-01062022-2  
 Hoban Edw F Bishop Of Cleve Tax Dist. 3180  
 Plat LUC: 6100 EX:  
 Sale Amt: \$ 0.00 LAND: 640,100  
 Conv. Fee: \$ 0.00 BLDG: 2,290,100  
 PUBLIC TOTAL: 2,930,200  
 \*1067041J\*

| Parcel Name/Sublot:     | Proposed Permanent Parcel Number: |
|-------------------------|-----------------------------------|
| <u>PARCEL 1 (Hoban)</u> | <u>311-23-106</u>                 |
| <u>PARCEL 2 (Hoban)</u> | <u>311-23-107</u>                 |
| <u>PARCEL 3 (Hoban)</u> | <u>311-23-108</u>                 |
| _____                   | _____                             |
| _____                   | _____                             |
| _____                   | _____                             |
| _____                   | _____                             |
| _____                   | _____                             |



Proposed location of flagpole



**Docket No. 08-68-25 (17510 Detroit)**



**Docket No. 08-68-25 (17510 Detroit)**

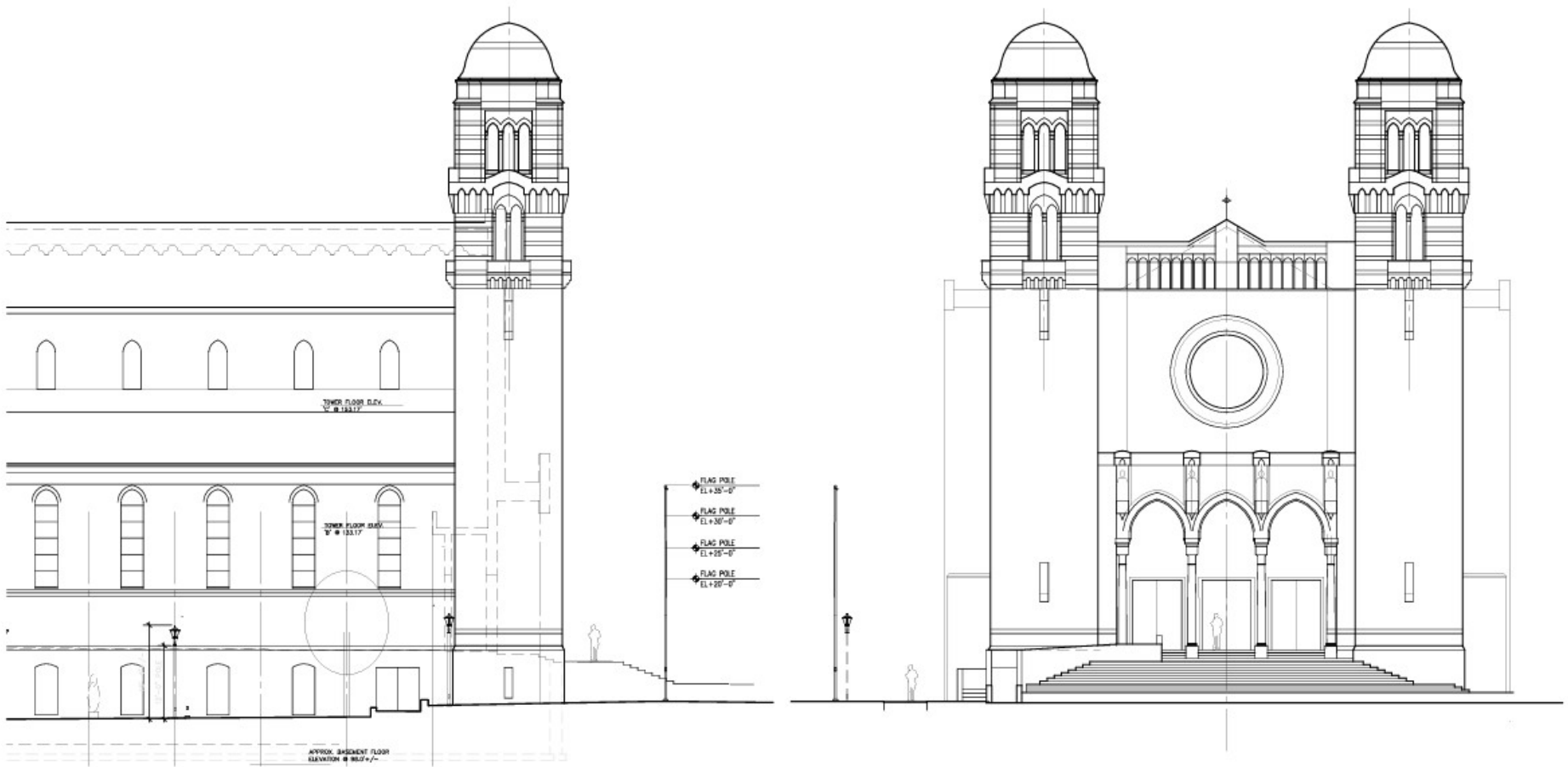


Site Plan  
 Saint James Church

Scale 1" = 16'-0"  
 July 10, 2024



**Docket No. 08-68-25 (17510 Detroit)**



## West and South Elevations

Saint James Church

Scale 1" = 16'-0"

July 10, 2025



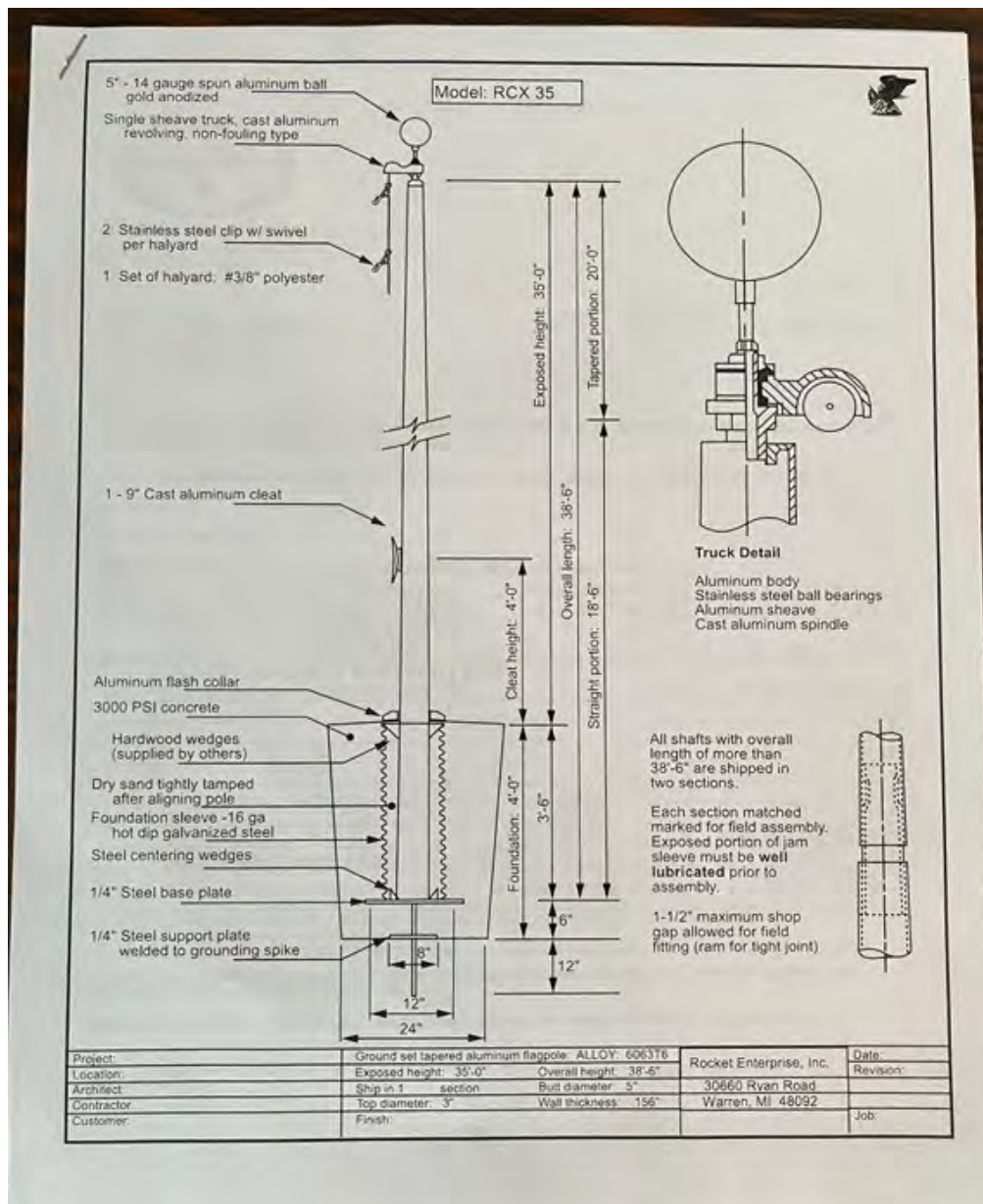
# Docket No. 08-68-25 (17510 Detroit)



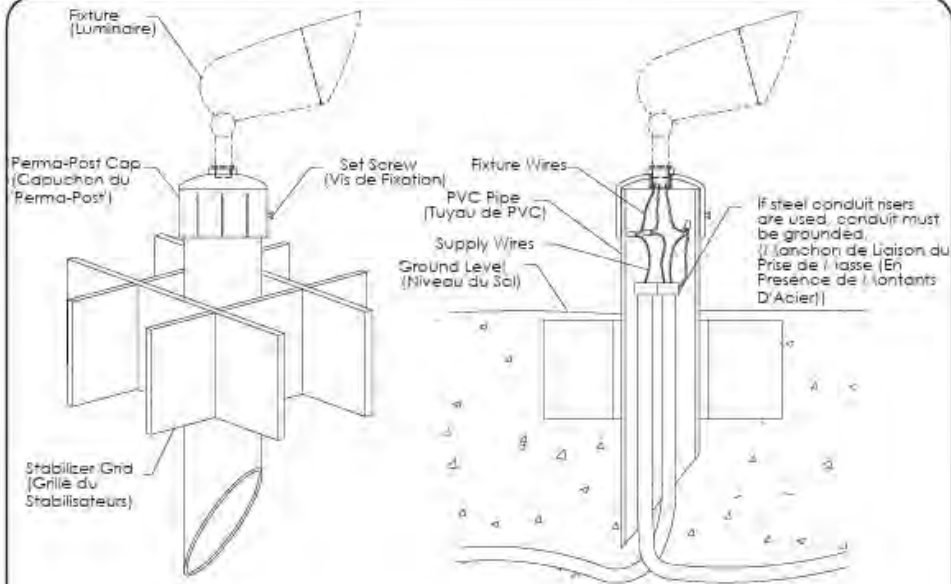
30', 35', 30'



**Docket No. 08-68-25 (17510 Detroit)**



**Docket No. 08-68-25 (17510 Detroit)**

**INSTALLATION INSTRUCTIONS:  
FOR S3 MOUNTING STAKE****READ THESE INSTRUCTIONS CAREFULLY BEFORE INSTALLING FIXTURE.**

This fixture is intended for installation in accordance with the National Electrical Code and local code specifications. Failure to adhere to these codes and instructions may result in serious injury and/or damage to the fixture and will void the warranty. These instructions cover most installation applications. For any special applications not covered, please contact your distributor for assistance.



This fixture is intended for installation in accordance with the National Electrical Code and local code specifications. Failure to adhere to these codes and instructions may result in serious injury and/or damage to the fixture and will void the warranty. These instructions do not purport to cover all details or variations in equipment, nor to provide for every possible contingency related to installation, operation, maintenance, or mounting situation. Should specific problems occur that are not addressed by these instructions, contact your Sales Representative or distributor for assistance. Retain these instructions for future reference.

Signify North America Corporation  
200 Franklin Square Drive  
Somerset, NJ 08873, USA  
Phone: 855-486-2216

Signify Canada Ltd. / Signify Canada Ltée  
281 Hillmount Road  
Markham ON, Canada L3C 2E3  
Phone: 800-968-9008

page 1 of 2

**HABCO**

by @ignify

**INSTALLATION INSTRUCTIONS:**

1. Excavate for the conduit runs and the Perma-post.
2. Install the conduit.
3. Slide the stabilizer grid onto the PVC pipe as shown in the illustration and secure with the two short screws supplied. Discard the long screw.
4. Place the post over the conduit as shown in the illustration.
5. Backfill against mounting post.
6. Install the fixture onto the cap. The fixture must be U.L. listed "Suitable for wet locations."
7. Pull the supply wires through the conduit.
8. Connect supply wires to fixture wires with wire nuts. (not supplied) Connect white wire to white wire, black wire to black wire, and all of the ground wires together. If rigid steel conduit risers are used, conduit must be grounded.
9. Install the fixture and cap onto the top of the post and tighten the set screw.
10. You are now ready to turn on the power.

32000609, revision K

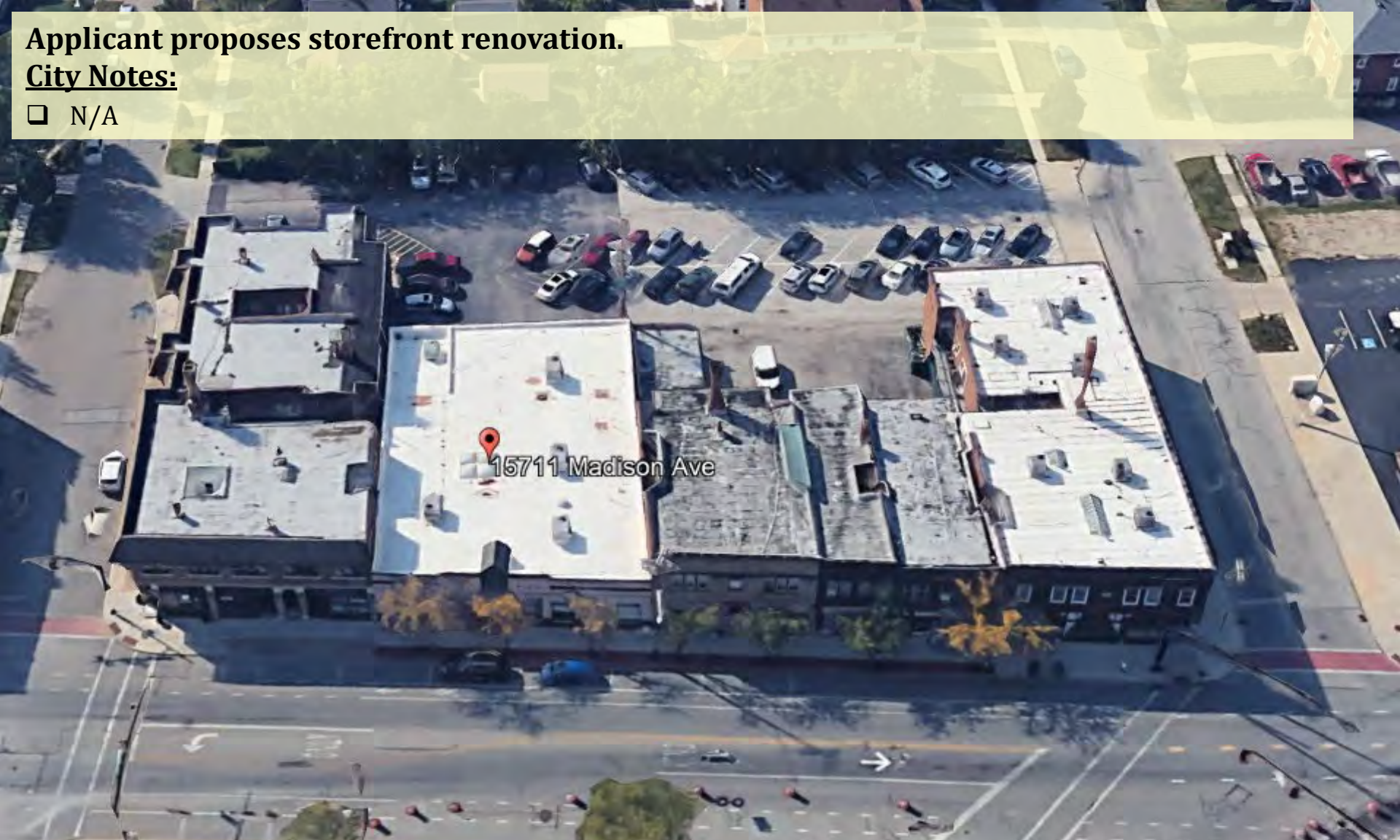
page 2 of 2

**Docket No. 08-68-25 (17510 Detroit)**

**Applicant proposes storefront renovation.**

**City Notes:**

N/A



**Docket No. 08-69-25 (15711 Madison)**

**Lakewood Dental Associates – Storefront Renovation**

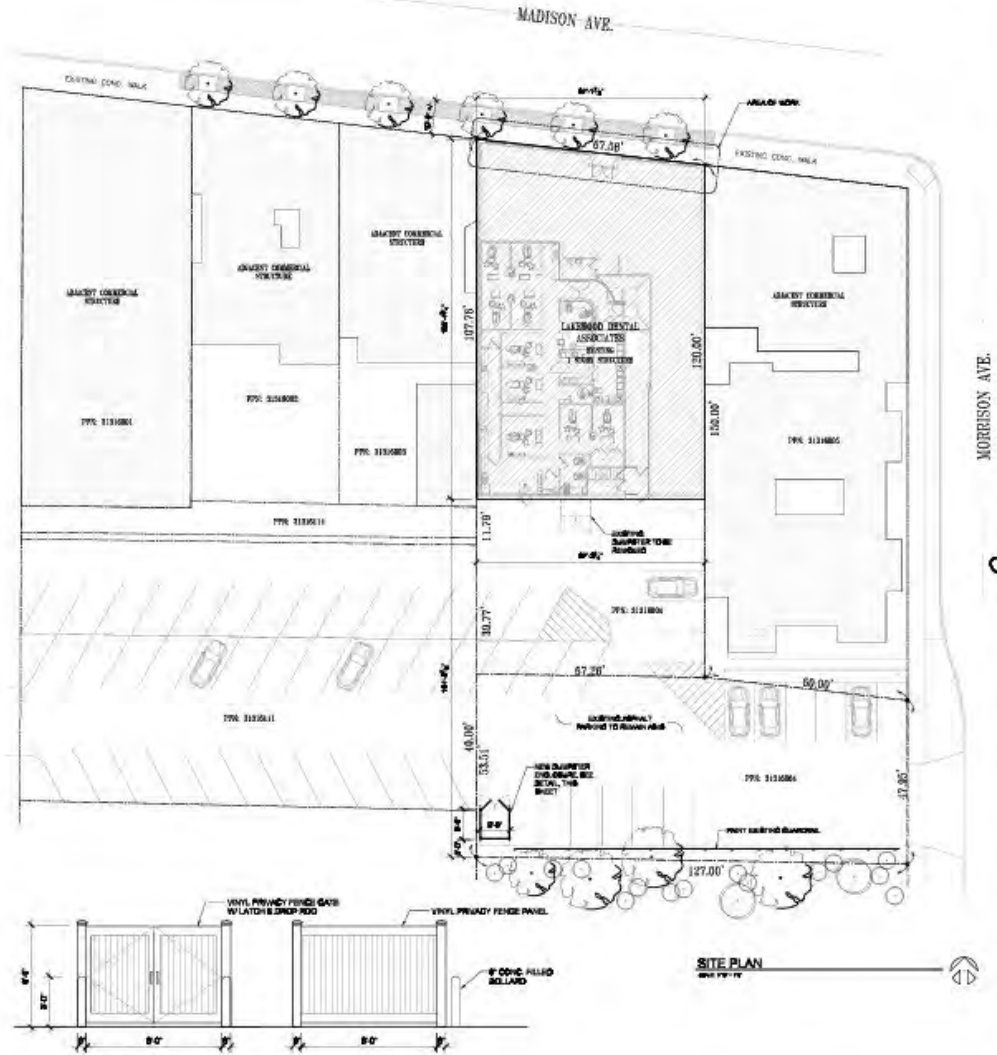
**Leon Sampat**



PROPOSED FRONT ELEVATION



EXISTING FRONT ELEVATION



1 VINYL TRASH ENCLOSURE DETAILS

REV. DATE

**ES ARCHITECTS**  
 8800E LORAIN ROAD  
 HAWTHORNE PARK, OH 44130  
 PHONE: 330-807-8801 FAX: 330-776-0877



EXTERIOR ALTERATIONS FOR  
**LAKESIDE DENTAL ASSOC.**  
 15711 MADISON AVE. SUITE 104  
 LAKEWOOD, OH

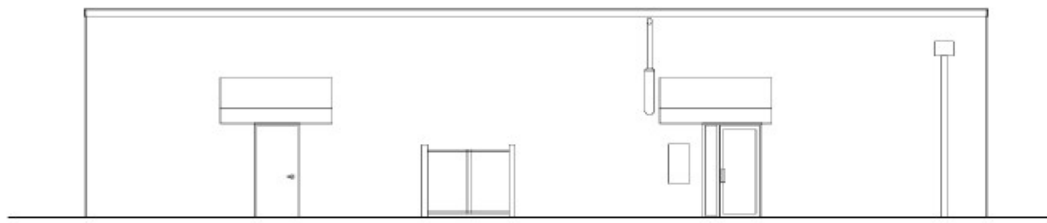
JOB NO: 25-112  
 DATE: 07-11-2008  
 SCALE: REVISED  
 SHEET:  
**SD1.1**



# Docket No. 08-69-25 (15711 Madison)



EXISTING FRONT ELEVATION  
SCALE 1/8"=1'-0"



EXISTING REAR ELEVATION  
SCALE 1/8"=1'-0"

| REV. | DATE |
|------|------|
|      |      |
|      |      |
|      |      |
|      |      |
|      |      |
|      |      |
|      |      |
|      |      |
|      |      |
|      |      |

**LS ARCHITECTS**  
 28088 LORAIN ROAD  
 FAIRVIEW PARK, OHIO 44130  
 PH: 440-238-1028 FAX: 440-778-0887



110-E South  
 Central Blvd  
 Lakewood, OH 44123

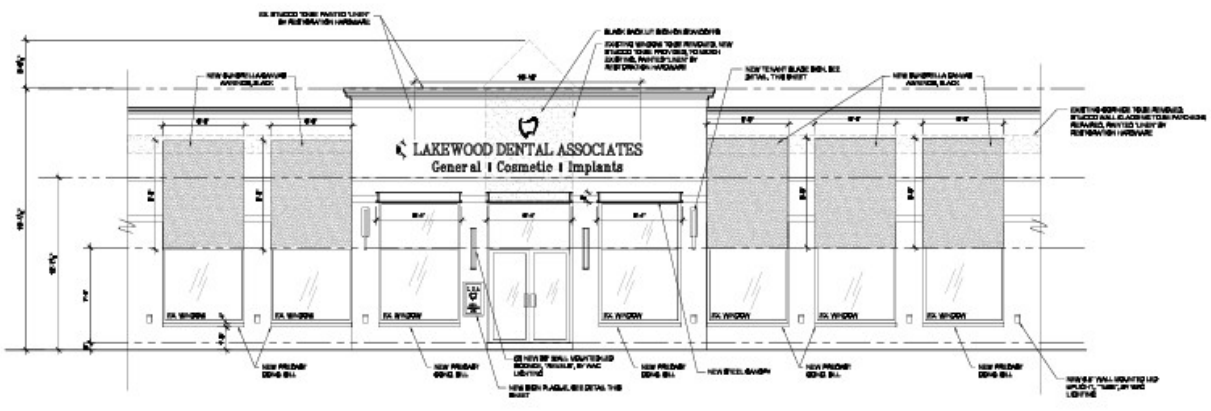
EXTERIOR ALTERATIONS FOR  
**LAKWOOD DENTAL ASSOC.**  
 15711 MADISON AVE. SUITE 104  
 LAKEWOOD, OH

JOB NO: 25-112  
 DATE: 07.11.2008  
 SCALE: REVIEW  
 SHEET:

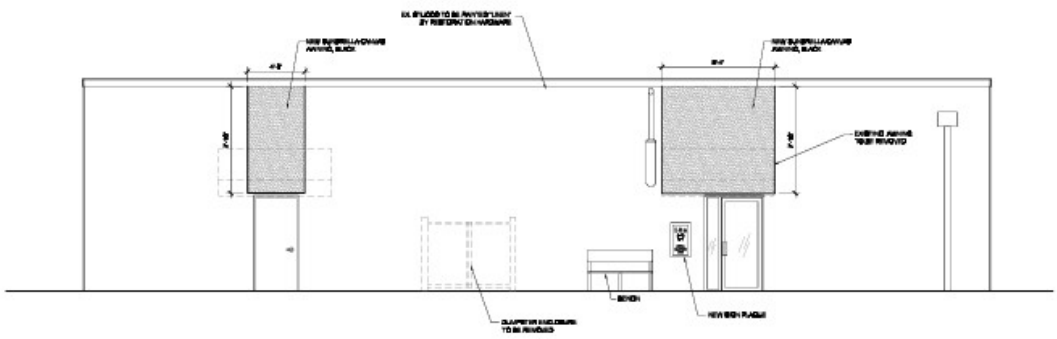
**A2.1**



# Docket No. 08-69-25 (15711 Madison)



PROPOSED FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED REAR ELEVATION  
SCALE: 1/8" = 1'-0"



BLACK SIGN DETAIL  
SCALE: 1/4" = 1'-0"



WALL PLaque DETAIL  
SCALE: 1/4" = 1'-0"



AIRING SIGN PROFILE  
SCALE: 1/4" = 1'-0"



AIRING SIGN PROFILE  
SCALE: 1/4" = 1'-0"





**PROPOSED FRONT ELEVATION**



EXISTING STUCCO WALL FINISH



PAINT: "LINEN" BY RESTORATION HARDWARE



SUNBRELLA CANVAS AWNING "BLACK"



36" WALL MOUNTED LED SCONCE, "REVELS" BY WAC LIGHTING



WALL MOUNTED LED UPLIGHT, "TUBE" BY WAC LIGHTING

| REV | DATE |
|-----|------|
|     |      |
|     |      |
|     |      |
|     |      |
|     |      |

**L.S. ARCHITECTS**  
 20086 LORAIN ROAD  
 FAIRVIEW, OH 44130  
 PHONE 888-408-8887 FAX 440-767-8887



EXTERIOR ALTERATIONS FOR:  
**LAKWOOD DENTAL ASSOC.**  
 15711 MADISON AVE. SUITE 104  
 LAKEWOOD, OH

JOB NO: 28-112  
 DATE: 07-11-2024  
 SCALE: REVISED  
 SHEET:

**M.1**



**Docket No. 08-69-25 (15711 Madison)**





|      |      |
|------|------|
| REV. | DATE |
|      |      |
|      |      |
|      |      |
|      |      |

**ES ARCHITECTURES**  
 6800 W. LORAIN ROAD, SUITE 100  
 PLEASANT HILLS, OH 44133  
 PH: 440-228-1000 FAX: 440-776-0887



15711 Madison  
 Lakewood, OH 44133

EXTERIOR ALTERATIONS FOR:  
**LAKEWOOD DENTAL ASSOC.**  
 15711 MADISON AVE, SUITE 104  
 LAKEWOOD, OH

JOB NO: 24-112  
 DATE: 07/11/2024  
 SHEET: 25/25  
 BY: [Signature]

R1.2



# Docket No. 08-69-25 (15711 Madison)



**ES ARCHITECTS**  
 28285 LORAIN ROAD  
 FAIRVIEW PLAZA, SUITE 104  
 FAIRVIEW, OH 44130  
 PH: 440-488-1000 FAX: 440-776-0887



L10-0-0001  
 L10-0-0002  
 L10-0-0003

EXTERIOR ALTERATIONS FOR:  
**LAKEWOOD DENTAL ASSOC.**  
 15711 MADISON AVE, SUITE 104  
 LAKEWOOD, OH

JOB NO: 20-112

DATE: 07/11/2020

SCALE: AS SHOWN

SHEET:

R1.3



**Docket No. 08-69-25 (15711 Madison)**



**PROPOSED FRONT ELEVATION**



REV DATE

**L.S. ARCHITECTS**  
 8308 LORAIN ROAD  
 FAIRVIEW PARK, OH 44126  
 PHONE: 440-408-9694 FAX: 440-790-8807



EXTERIOR ALTERATIONS FOR:  
**LAKEWOOD DENTAL ASSOC.**  
 15711 MADISON AVE., SUITE 104  
 LAKEWOOD, OH

JOB NO: 25-112  
 DATE: 11.11.2025  
 DRAWN: [blank]  
 CHECKED: [blank]

M.1

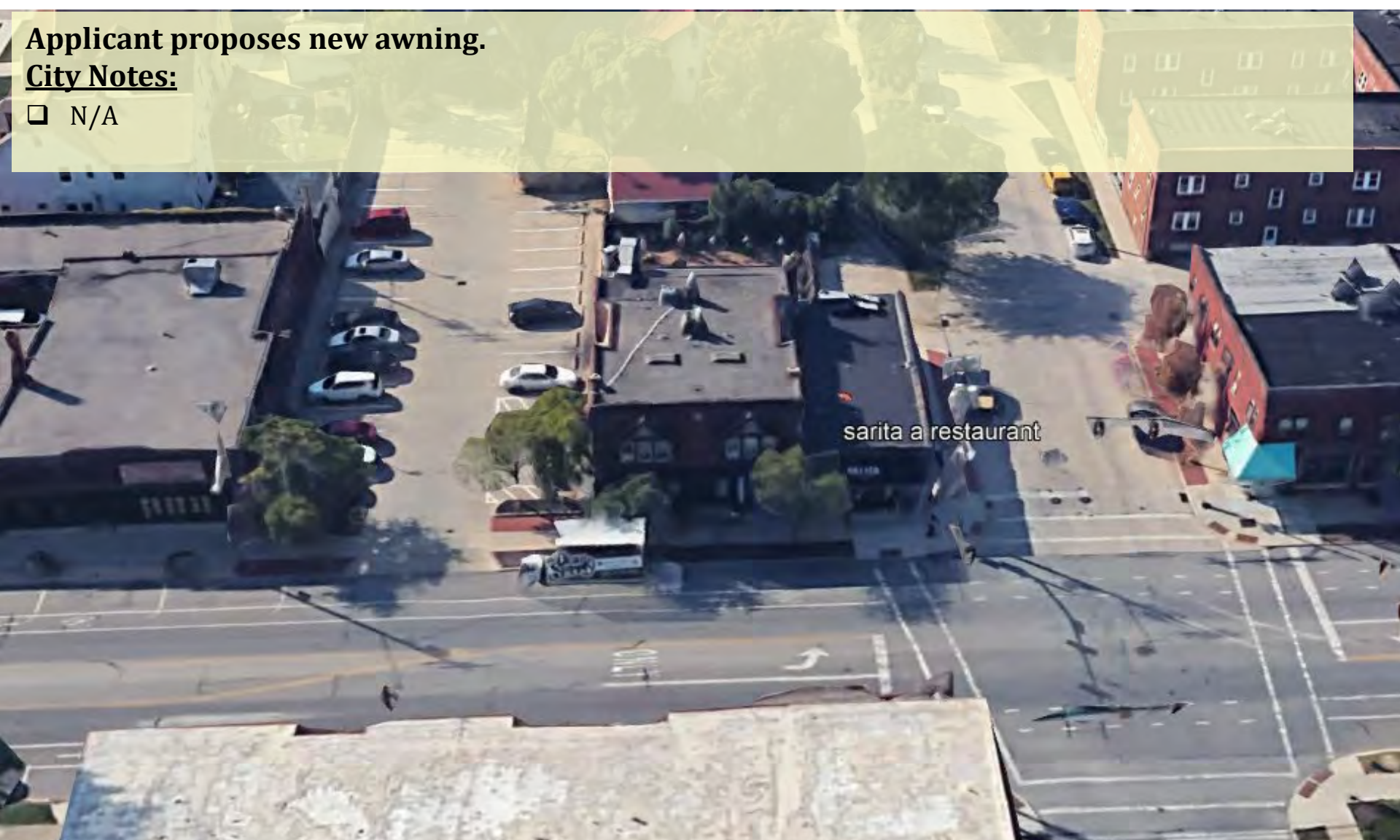


**Docket No. 08-69-25 (15711 Madison)**

**Applicant proposes new awning.**

**City Notes:**

N/A



sarita a restaurant



**Docket No. 08-70-25 (14523-27 Madison)**

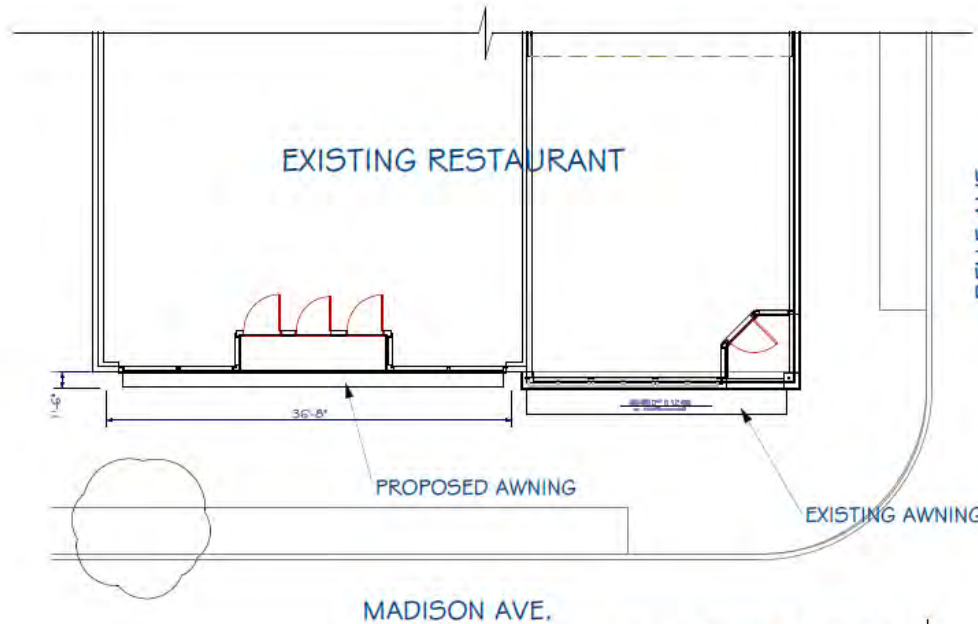
**Sarita – New Awning  
Daniel Margulies**

PROPOSED AWNING (ALL MATERIALS TO MATCH EXISTING AWNING)

EXISTING AWNING



NORTH ELEVATION  
1/8" = 1'-0"



PARTIAL FLOOR PLAN  
3/32" = 1'-0"

PROPOSED AWNING for:

**SARITA A RESTAURANT**

14523 MADISON AVENUE  
LAKEWOOD, OHIO

DRAWING INDEX

| # | DESCRIPTION  |
|---|--|
| 1 | COVER SHEET • DRAWING INDEX • PARTIAL FLOOR PLAN • NORTH ELEVATION |
| 2 | PERSPECTIVE VIEWING SOUTHWEST                                      |
| 3 | PERSPECTIVE VIEWING SOUTHEAST                                      |
| 4 | EXISTING CONDITIONS PHOTOGRAPHS                                    |
|   |  |
|   |  |
|   |  |
|   |  |



**Docket No. 08-70-25 (14523-27 Madison)**



REV.  
06.09.25 - REV.  
AWNING WIDTH

DESIGN: DANIEL MARGULIES COMPANY INC.  
1210 CHASE AVENUE  
LAKEWOOD, OHIO 44107  
TEL: 216.978.9237  
EMAIL: daniel@dmc.ohioonline.com



PROPOSED AWNING FOR:  
**SARITA A RESTAURANT**  
14523 MADISON AVENUE  
LAKEWOOD, OHIO

ISSUE DATE  
07.23.25: FOR  
LAKEWOOD: FOR  
ARCHITECTURAL  
REVIEW BOARD  
SHEET NO.  
2 of 4

PERSPECTIVE VIEWING SOUTHWEST  
N.T.S.



# Docket No. 08-70-25 (14523-27 Madison)



PROPOSE NEW AWNING

*sarita*  
a restaurant

PERSPECTIVE VIEWING, SOUTHEAST  
N.T.S.

08.09.25; REV.  
AWNING WIDTH

DESIGN: DANIEL MARGULIES COMPANY, INC.  
1210 CHASE AVENUE  
LAKEWOOD, OHIO 44107  
TEL: 216.978.9237  
EMAIL: daniel@dmc-ohio.com



PROPOSED AWNING FOR:  
SARITA A RESTAURANT  
14523 MADISON AVENUE  
LAKEWOOD, OHIO

ISSUE DATE  
07.23.25; FOR  
LAKEWOOD  
ARCHITECTURAL  
REVIEW BOARD

SHEET NO.  
2 of 4



**Docket No. 08-70-25 (14523-27 Madison)**



EXISTING CONDITIONS PHOTO VIEWING SOUTH  
N.T.S.



EXISTING CONDITIONS PHOTO VIEWING SOUTHEAST  
N.T.S.

DESIGN: DANIEL MARCUS JONES COMPANY, INC.  
1210 CHASE AVENUE  
LAKEWOOD, OHIO 44107  
TEL: 216.978.9237  
EMAIL: damj@dmc.ohio.com



PROPOSED AWNING FOR:  
SARITA A RESTAURANT  
14523 MADISON AVENUE  
LAKEWOOD, OHIO

ISSUE DATE  
07-23-20 FOR  
LAKEWOOD  
ARCHITECTURAL  
REVIEW BOARD

SHEET NO.  
4 of 4



**Docket No. 08-70-25 (14523-27 Madison)**

**Applicant proposes rebuilding 2-story front porch.**

**City Notes:**

N/A



1586 Lakeland Ave



**Docket No. 08-71-25 (1586 Lakeland)**

**Residence – Front Porch Rebuild  
Samuel Diaquila**

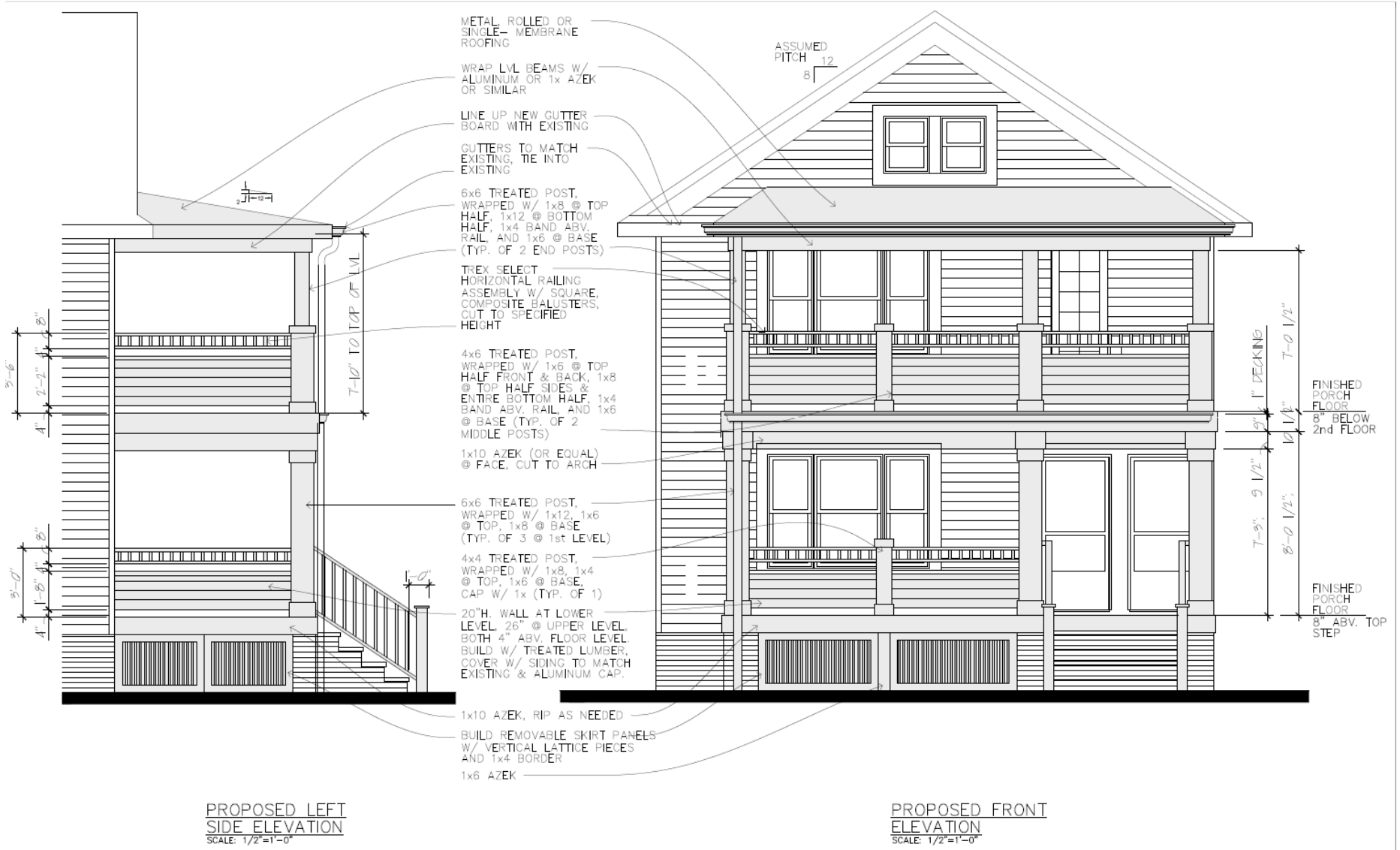


**Docket No. 08-71-25 (1586 Lakeland)**

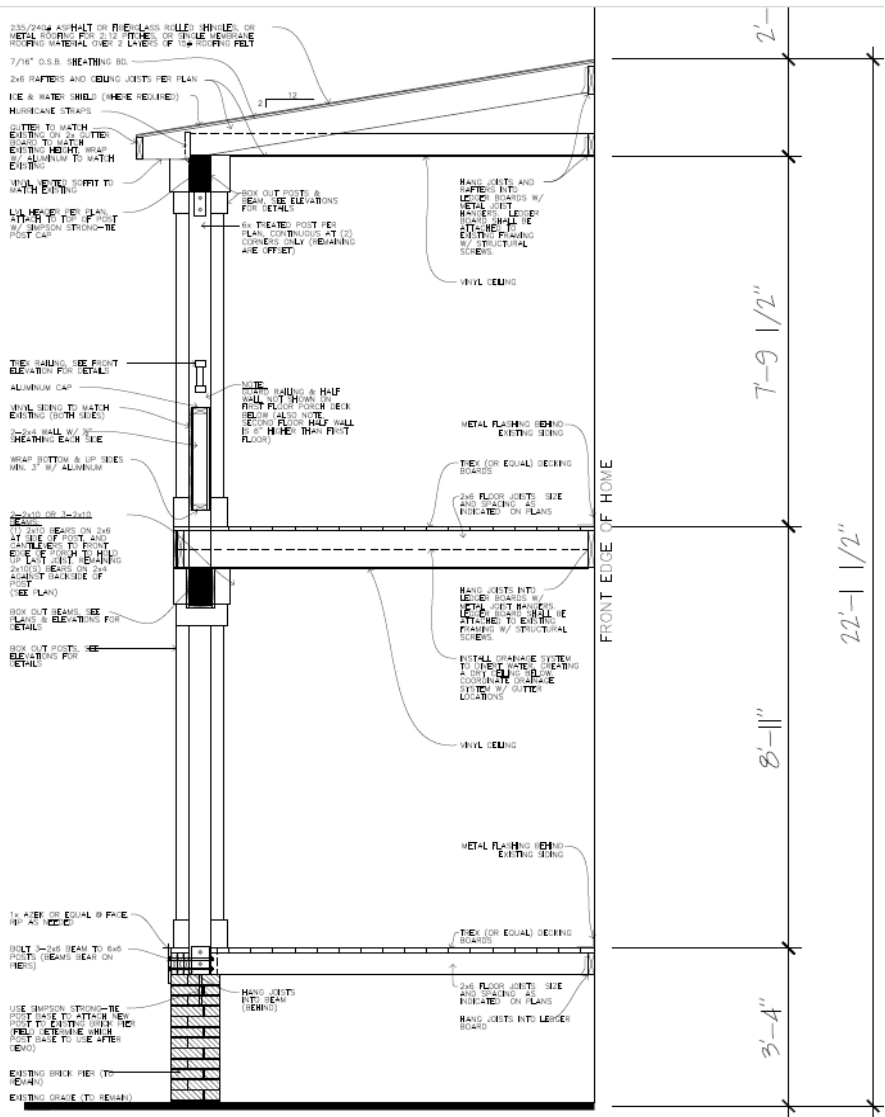


**Docket No. 08-71-25 (1586 Lakeland)**





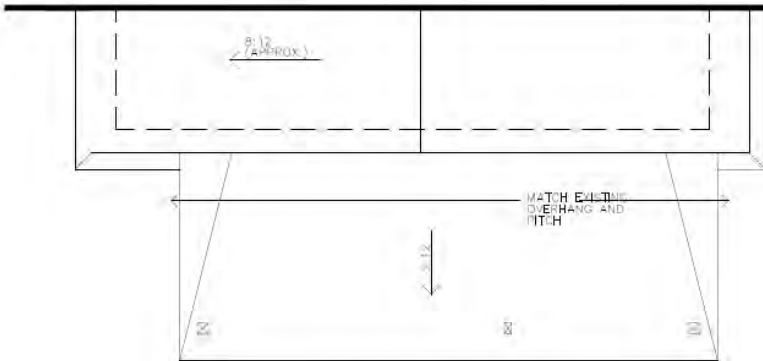
# Docket No. 08-71-25 (1586 Lakeland)



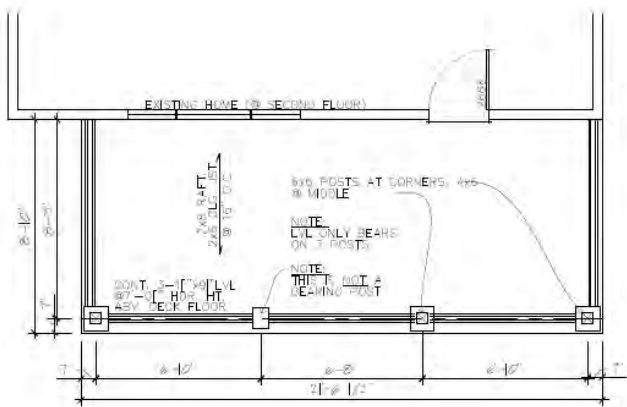
SECTION  
SCALE: 3/4"=1'-0"



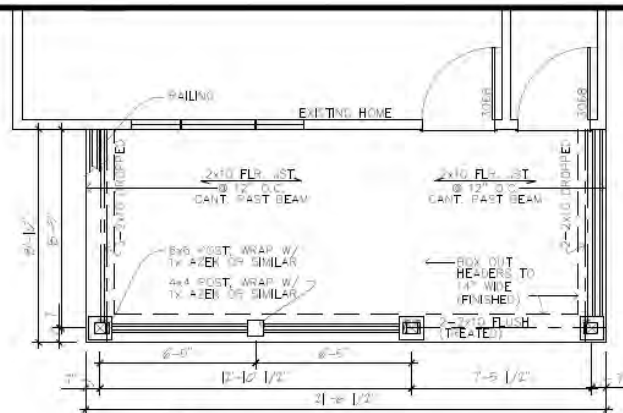
# Docket No. 08-71-25 (1586 Lakeland)



SECTION H - FRONT ELEVATION  
 ADJUST RAILING'S MOUTH AS NEEDED TO LINE UP GUTTER BOARD WITH EXISTING.

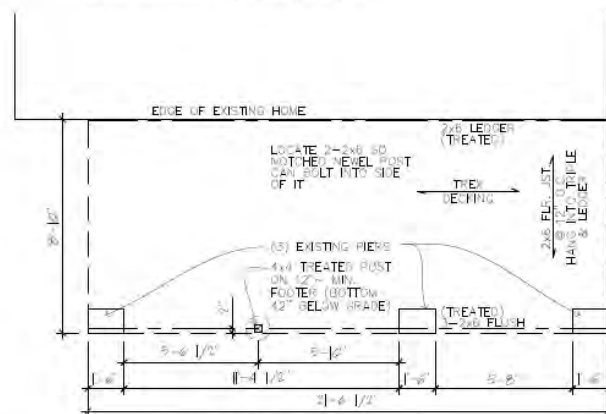


SECTION H - FRONT ELEVATION  
 THIS FLOOR TO FINISH AT 8" ABOVE TOP STEP (SHOULD BE APPROX. 1 1/2" BELOW FIRST FLOOR)



NOTE  
 ROUTE EDGE 2x10s AT EACH POST TO CANTILEVER PAST POST (TO CARRY FLOOR JOIST AT FRONT EDGE OF PORCH). THEY WILL BEAR ON 2x6s AT SIDES OF POST. THE REMAINING 2x10s TO BEAR ON 2x6s AT BACK SIDE OF POSTS.

SECTION H - FRONT ELEVATION  
 THIS FLOOR TO FINISH AT 8" ABOVE TOP STEP (SHOULD BE APPROX. 1 1/2" BELOW FIRST FLOOR)



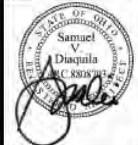
(2) 1x4 TREATED POSTS ON 12" MIN. FOOTER. FIELD. LOCATE AS CLOSE TO END OF LAST STEP AS POSSIBLE (BOTTOM 42" BELOW GRADE)

SECTION H - FRONT ELEVATION  
 THIS FLOOR TO FINISH AT 8" ABOVE TOP STEP (SHOULD BE APPROX. 1 1/2" BELOW FIRST FLOOR)

**Storh Residence Front Porch**  
 1586 Lakeland Ave.  
 Lakewood, Ohio 44107

**Samuel V. Diaquilia, AIA CSI**  
 OHIO REG ARCH #6808703  
 1039 Forest Crest Drive, Lakewood, OH 44107  
 T: 440.493.3500  
 E: sam@diaquilia.com

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |



**A-1**



**Docket No. 08-71-25 (1586 Lakeland)**

**Applicant proposes revisions to previously approved application.**

**City Notes:**

N/A



**Docket No. 08-72-25 (13815 & 13901 Detroit)**

**The View – Approved Application Revisions  
Ron Tannenbaum**





**THE VIEW ON DETROIT EAST**

LAKWOOD, OHIO

MIXED USE COMMUNITY  
DESIGN SUBMISSION

ABR SUBMITTAL  
JULY 23, 2025

07.23.2025 RDL 25084F

THE VIEW ON DETROIT EAST | LAKWOOD, OH

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**

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PAGE 04 ABR SUBMITTAL REQUIREMENTS & COMMENTS CHECKLIST  
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PAGE 07 TRAFFIC ANALYSIS  
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~~EXHIBIT B - ALTERNATE ELEVATIONS WITH CONTINUOUS  
CAST STONE BAND~~  
PAGE 1C EXHIBIT C - LOCAL CONTEXT INSPIRATION IMAGES  
PAGE 2C EXHIBIT C - LOCAL CONTEXT INSPIRATION IMAGES  
PAGE 3C EXHIBIT C - LOCAL CONTEXT INSPIRATION IMAGES  
PAGE 4C EXHIBIT C - LOCAL CONTEXT INSPIRATION IMAGES  
PAGE 1D EXHIBIT D - FAÇADE DEPTH STUDY ELEVATION (UPDATED)  
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07.23.2025, RDL025084P

THE VIEW | LAKEWOOD, OH

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**

**LAKWOOD ABR CHECKLIST**

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Site Plan  |
| <input checked="" type="checkbox"/> | Photographs as needed                                |
| <input checked="" type="checkbox"/> | Floor plans with north arrow and scale               |
| <input checked="" type="checkbox"/> | Elevations to scale                                  |
| <input checked="" type="checkbox"/> | Sketch or Rendering                                  |
| <input checked="" type="checkbox"/> | Product brochures and specs for colors and materials |
| <input checked="" type="checkbox"/> | Sufficient Detail                                    |

**April 01, 2021 - Staff Comments**

|                                     |   |
|-------------------------------------|---|
| <input type="checkbox"/>            | Provide material cut sheets/product specs for all proposed materials                |
| <input type="checkbox"/>            | Provide additional wall sections through other areas of the building                |
| <input checked="" type="checkbox"/> | Consider breaking the horizontal band and continue the white brick down to grade    |
| <input checked="" type="checkbox"/> | Provide photos of context inspiration   |
| <input checked="" type="checkbox"/> | Provide a canopy on the entrance to the west building and recess the entrance doors |
| <input type="checkbox"/>            | Consider signage relocation   |
| <input type="checkbox"/>            |   |
| <input type="checkbox"/>            | Building seems flat   |

**March 29, 2021 - Staff Comments**

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Extend brick pier detail from upper floors through the first floor     |
| <input checked="" type="checkbox"/> | Provide brick / relief detailing on side and rear elevations           |
| <input checked="" type="checkbox"/> | Provide stamped concrete at existing curv cut at east building         |
| <input checked="" type="checkbox"/> | Provide accent material at all access points to parking lots           |
| <input checked="" type="checkbox"/> | Relocate bike racks on Detroit closer the the building                 |
| <input checked="" type="checkbox"/> | Step down wood fence at building lines                                 |
| <input type="checkbox"/>            | Remove 4 light fixtures in parking lot area abutting residential lots. |

**RESPONSES**

|  |
|--|
| Provided as Exhibit C  |
| Wall section is provided to describe floor to floor height and wall depth. No other wall sections are required or needed.                            |
| Provided as an option as Exhibit B   |
| Provided previously submitted context images as Exhibit D  |
| The entrance has been recessed +/-3'-0" from face of building. Canopy is not needed for shelter or visual queue                                      |
| We feel the signage is acceptable at its current location and is a place holder for further study during the completion of the design documentation. |
| We disagree  |

|   |
|---|
| This is a minor detail. We have a sketch of what this looks like and can comply.                |
| Currently in the design.  |
| Will comply   |
| Accented concrete will be provided at sidewalk crossing parking lot entries                     |
| Will comply   |
| Will comply   |
| Cannot comply, this will create areas within the parking lot that are not properly illuminated. |

**March 11, 2021**

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Enlarge landscape / planting plans                         |
| <input checked="" type="checkbox"/> | Provide planting schedule                                  |
| <input checked="" type="checkbox"/> | Provide brochures for site amenities                       |
| <input checked="" type="checkbox"/> | Consider other sites context with light placement          |
| <input type="checkbox"/>            |  |
| <input checked="" type="checkbox"/> | Provide actual photos of the site context                  |
| <input checked="" type="checkbox"/> | Provide elevations and renderings of secondary facades     |
| <input checked="" type="checkbox"/> | Provide buffer at residential first floor units at streets |
| <input type="checkbox"/>            |  |
| <input checked="" type="checkbox"/> | Consider carrying the vertical articulation to grade       |
| <input checked="" type="checkbox"/> | Provide wall sections                                      |
| <input checked="" type="checkbox"/> | Provide enlarged bay elevations                            |
| <input checked="" type="checkbox"/> | Provide parapet detail, adjust break points of parapet     |

|  |
|--|
| provided   |
| provided   |
| provided   |
| same as above  |
| provided   |
| provided   |
| Physical barriers or pavement variations are used to push pedestrian traffic away from the building at residential units at street |
| same as above  |
| provided   |
| provided   |
| refer to current design  |

**March 5, 2021**

|                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | How does project relate to Commercial District Design Guidelines? |
| <input checked="" type="checkbox"/> | Return the end of the high parapets back into the roof            |
| <input checked="" type="checkbox"/> | Provide ceiling heights at first floor                            |
| <input checked="" type="checkbox"/> | Where will mechanical equipment be located?                       |
| <input checked="" type="checkbox"/> | Will mechanical equipment be screened?                            |

|  |
|--|
| Refer to the Commercial District Design Principles sheet |
| refer to current design                                  |
| provided   |
| condensers on roof                                       |
| no, but will not be visible at street level              |

**February 12, 2021**

|                                     |   |
|-------------------------------------|---|
| <input type="checkbox"/>            | Address pedestrian crossing at Parkwood & Detroit       |
| <input checked="" type="checkbox"/> | How will retail be accessed from parking lot?           |
| <input checked="" type="checkbox"/> | How will retail be accessed from Detroit?               |
| <input checked="" type="checkbox"/> | Provide landscape buffer along streetscapes             |
| <input checked="" type="checkbox"/> | How will 3' buffer be designed along detroit?           |
| <input checked="" type="checkbox"/> | How will 3' buffer be designed along side streets?      |
| <input checked="" type="checkbox"/> | Recommend using city standards for bike racks           |
| <input type="checkbox"/>            | Provide pedestrian circulation patterns for parking lot |
| <input checked="" type="checkbox"/> | Show site context and on-street parking                 |
| <input checked="" type="checkbox"/> | Denote visitor parking                                  |
| <input checked="" type="checkbox"/> | Address snow removal in parking lot                     |
| <input type="checkbox"/>            |   |
| <input checked="" type="checkbox"/> | Provide a landscaping plan                              |
| <input checked="" type="checkbox"/> | Verify parking dimensions meet required code            |
| <input checked="" type="checkbox"/> | Confirm turning radius' in parking lot are adequate     |

|   |
|---|
| This is part of the city "right of way" and is a city issue to resolve  |
| Parking for commercial space is not provided in parking lots  |
| Park on street and enter commercial space   |
| Provided along Parkwood & Bunts   |
|   |
|   |
| Pedestrian circulation in parking lot will be similar to other Lakewood precedents. No defined path will be provided. |
| provided  |
| provided  |
| Snow will be pushed into landscape buffers throughout the parking lot   |
| provided  |
| zoning code does not specify width and length of parking space  |
| confirmed   |



|                                     |   |  |
|-------------------------------------|---|--|
| <input checked="" type="checkbox"/> | Define corners and how elevations change when approaching residential areas         | Corners along Detroit are well defined   |
| <input checked="" type="checkbox"/> | Study adjacent buildings for horizontal context lines                               | Refer to elevations and Commercial District Design Principles sheet  |
| <input checked="" type="checkbox"/> | Better define residential vs commercial space                                       | Building articulation clearly defines residential vs commercial  |
| <input checked="" type="checkbox"/> | Consider increasing the floor height of the residential space as a buffer / privacy | Floor to ceiling height on first floor of East Building increased  |
| <input checked="" type="checkbox"/> | Better define articulations   | Articulations are more defined and provide depth to the elevations   |
| <input type="checkbox"/>            | Further explore material choices to influence massing                               | Material are as represented in the submittal   |
| <input checked="" type="checkbox"/> | Recommend using full brick  | Project is using full face brick   |
| <input type="checkbox"/>            | Explore different fence materials at residential borders                            | current design is per city zoning requirements   |
| <input checked="" type="checkbox"/> | Consider additional landscaping buffer at fences                                    | Refer to landscape plan and planting schedule  |
| <input checked="" type="checkbox"/> | Cable railing may not be effective in creating differentiation                      | Refer to revised product brochure  |
| <input checked="" type="checkbox"/> | How will first floor windows be treated for privacy                                 | Window treatments will be provided   |
| <input checked="" type="checkbox"/> | Consider additional details at parapet coping                                       | Current design show parapet detailing  |
| <input checked="" type="checkbox"/> | Remove proximity slide from submittal   | deleted  |
| <input checked="" type="checkbox"/> | Provide elevations showing neighborhood context                                     | provided   |
| <input checked="" type="checkbox"/> | Recommend creating hierarchy between the 2 buildings                                | East - Alpha, West - Beta  |
| <input checked="" type="checkbox"/> | Provide provisions for delivery services  | Current site plans show delivery access  |
| February 5, 2021                    |   |  |
| <input checked="" type="checkbox"/> | Consider context of building at 13605-21 Detroit                                    | Inspiration has been derived from this area, refer to Commercial District Design Principles sheet  |
| <input checked="" type="checkbox"/> | Provide unit breakdown for each building  | West - 55, East 65   |
| <input checked="" type="checkbox"/> | Locate trash enclosure  | Trash is kept interior until pickup  |
| <input checked="" type="checkbox"/> | Pedestrian safety when crossing between parking lots                                | Parking in the west lot, pedestrians will have to walk to the corner of Detroit & Parkwood, cross the street and access the other building |
| January 27, 2021                    |   |  |
| <input checked="" type="checkbox"/> | Designs of VODE and VDDW should not be twins  | Designs are different and independent  |



**Commercial District Design Principles**

**Pedestrian First**

- First floor level has a separate aesthetic from floors 2-4 to accentuate the pedestrian level
- Main entrances and retail entrances are recessed & articulated to for natural wayfinding
- Transparencies are greater for retail environment with respect to residential to augment the pedestrian / retail experience
- Physical barriers or pavement variations are used to push pedestrian traffic away from the building at residential units at street

**Activity at the Street**

- Minimum street setback are honored
- Retail defined by separate & isolated entrance
- Retail defined by larger viewing window systems
- Differentiation of window articulation at street with respect to Retail vs Residential

**Minimize Parking**

- Parking is at the rear of the building and not visible from Detroit Avenue
- Tenant access directly from rear parking lots
- Minimize parking lot light bleed onto adjacent lots
- Provide beautification of parking lots with ornamental fence and landscaping along streets and within lots

**Compatible with Lakewood Commercial Fabric**

- Current design borrows inspiration from local building for vertical articulation of window bays
- Current design embraces design hints of other Neo / Stripped Classicism buildings in Lakewood
- Developing horizontal articulation that blends to a mean elevation with that of adjacent urban fabric
- Using materials that have already been reviewed and approved by Lakewood ABR



**The View on Detroit East**

LAKEWOOD, OH  
MBC Job No. 21014-11

**Lakewood Commercial District  
Design Principles Checklist**



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



14000 Detroit Ave 4



13900 Detroit Ave 5



13804 Detroit Ave 6



14018 Detroit Ave 3



13618 Detroit Ave 7



14013 Detroit Ave 2



13605-13621 Detroit Ave 9



13608 Detroit Ave 8

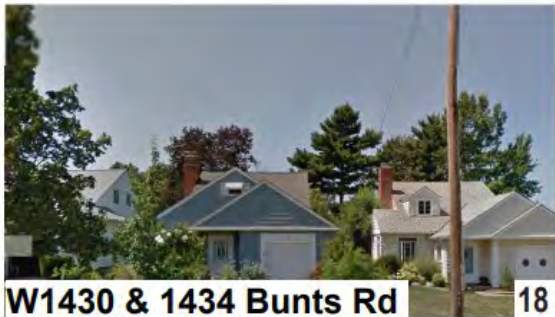
08.14.2025 RDL 25084R  
THE VIEW | LAKEWOOD, OH | SITE CONTEXT IMAGERY

The bearings, measurements, areas, images and environmental information hereby are and shall remain the property of the architect. No part of these drawings shall be used or reproduced in any form without the written consent of the architect. These drawings are not to be used for any other purpose without the written consent of the architect. These drawings are not to be used for any other purpose without the written consent of the architect. These drawings are not to be used for any other purpose without the written consent of the architect.

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



# Docket No. 08-72-25 (13815 & 13901 Detroit)



W1430 & 1434 Bunts Rd 18



1429 Bunts Rd 17



1428 & 1432 Parkwood Rd 16



1427 & 1431 Parkhaven Row 20



1418 & 1422 Wyandotte Ave 14



1435 & 1441 Parkhaven Row 19



1431 & 1437 Parkwood Rd 15



1415 Wyandotte Ave 13

THE VIEW | LAKEWOOD, OH | SITE CONTEXT IMAGERY

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



# Docket No. 08-72-25 (13815 & 13901 Detroit)



1427 Wyandotte Ave 12



1420 & 1428 Elbur Ave 11



1414 Elbur Ave 10



13919 Detroit Ave 1

08.14.2025 RDL 25064R

THE VIEW | LAKEWOOD, OH | SITE CONTEXT IMAGERY

The design, identification, name, address and all other information represented hereby are and shall remain the property of the applicant. No part shall be used, disclosed or otherwise used in any way without the written consent of the applicant. All other information is for informational purposes only and does not constitute a commitment or guarantee of any kind. The applicant shall be responsible for all information and conditions in this plan, and for all other matters related thereto.

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



# Docket No. 08-72-25 (13815 & 13901 Detroit)



**The View on Detroit East**  
 LAKEWOOD, OH  
 MBC Job No. 21014-11

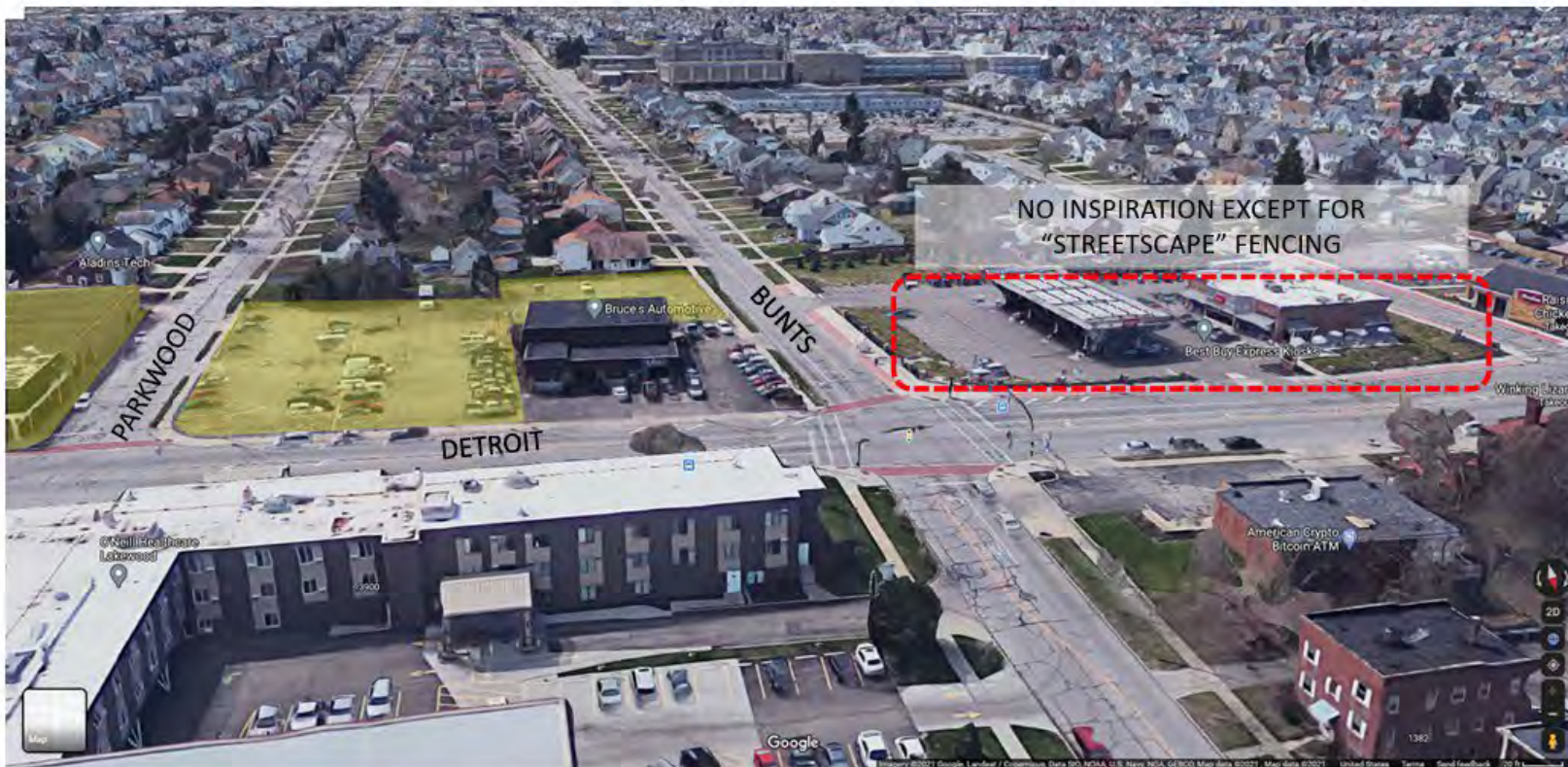
**EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES**

**Solove** **40**  
 Real Estate  
CELEBRATING 40 YEARS OF BUILDING EXCELLENCE  
 Master Builders Contractors

1C



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



**The View on Detroit East**  
LAKEWOOD, OH  
MBC Job No. 21014-11

**EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES**

**Solove** **40**  
Real Estate  
CELEBRATING 40 YEARS  
OF BUILDING EXCELLENCE  
Miron Proffers Construction

2C



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



**The View on Detroit East**  
 LAKEWOOD, OH  
 MBC Job No. 21014-11

**EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES**

**Solove** **40**  
 Real Estate  
 CELEBRATING 40 YEARS  
 OF BUILDING EXCELLENCE  
 Most Inherently Conscious

3C



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



**The View on Detroit East**  
LAKEWOOD, OH  
MBC Job No. 21014-11

**EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES**

**Solove** **40**  
Real Estate  
CELEBRATING 40 YEARS  
OF BUILDING EXCELLENCE  
Merely Brilliant Constructors



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



CONTEXT MAP  
Not to Scale



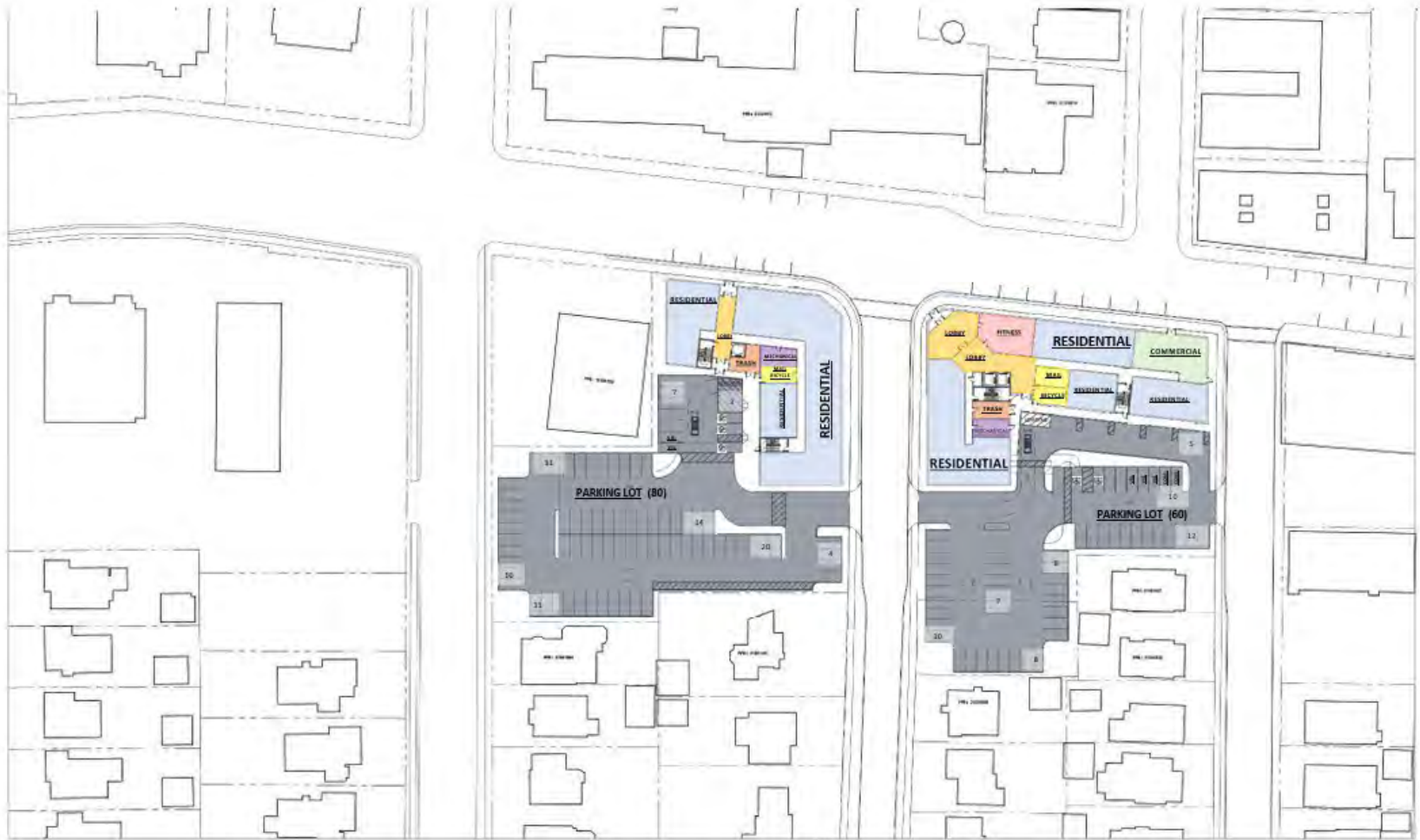
GIS PARCEL MAP  
Not to Scale



The View on Detroit East  
LAKEWOOD, OH  
MBC Job No. 21014-11

Solove  
Real Estate  
CELEBRATING 40 YEARS  
OF BUILDING EXCELLENCE  
Manus Builders Constructors



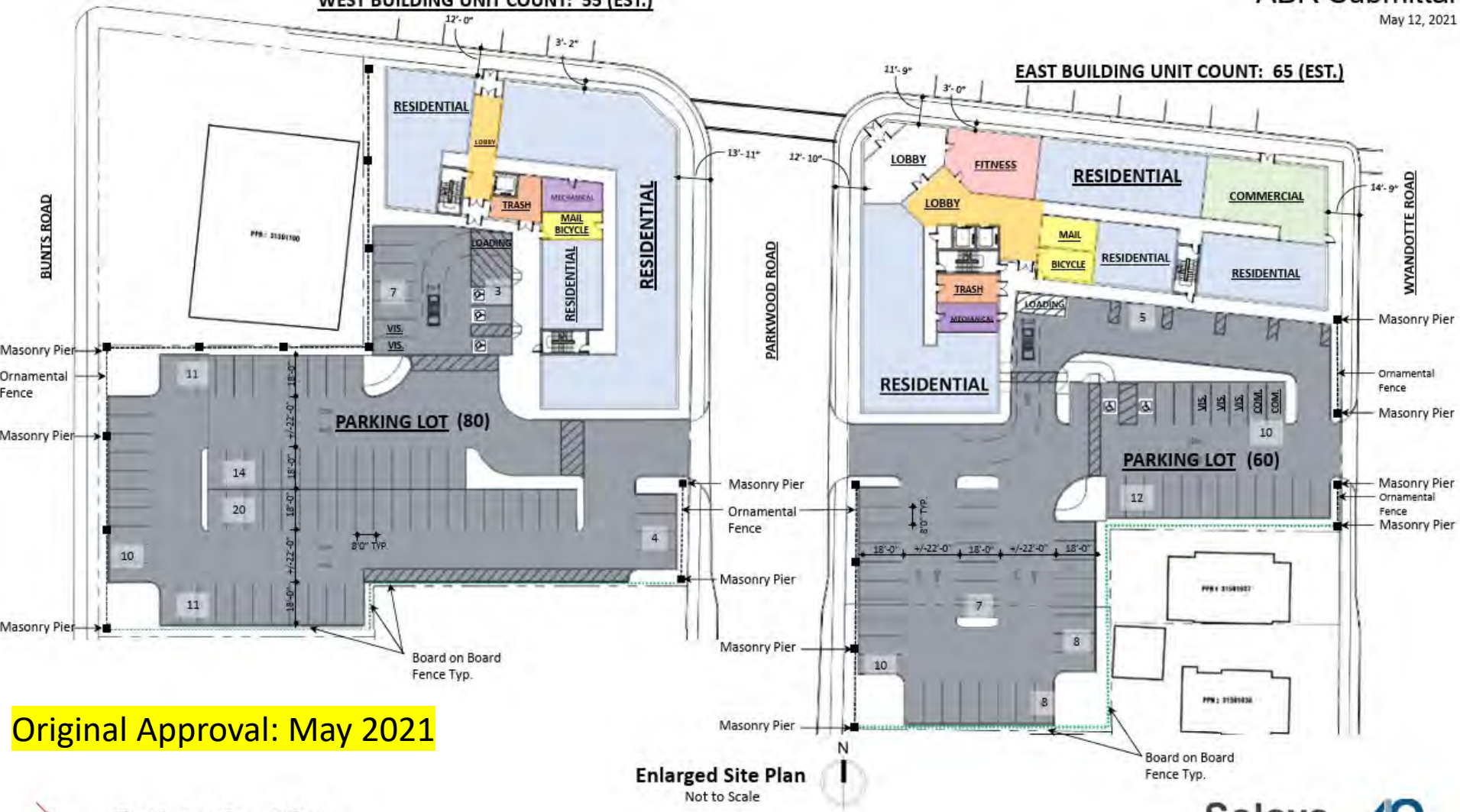


Site Plan  
Not to Scale



**WEST BUILDING UNIT COUNT: 55 (EST.)**

**EAST BUILDING UNIT COUNT: 65 (EST.)**



Original Approval: May 2021



**WEST BUILDING UNIT COUNT: 55 (EST.)**

**EAST BUILDING UNIT COUNT: 65 (EST.)**



Enlarged Typical Upper Floor Plan  
Not to Scale





DERU landscape architecture  
 10110A Road E. #111 Cleveland, OH 44125 | 216.465.4215

Overall Landscape Plan

Overall Landscape Plan

Not to Scale



The View on Detroit East

LAKEWOOD, OH

MBC Job No. 21014-11



Steel Courtyard Park Bench



Bike Rack



DERU landscape architecture  
812 Huron Road E. #411 Cleveland OH 44115 / 216-488-4355



West Building Landscape Plan

West Building Landscape Plan

Not to Scale



The View on Detroit East

LAKEWOOD, OH  
MBC Job No. 21014-11

Solove  
Real Estate

40  
CELEBRATING 40 YEARS  
OF BUILDING EXCELLENCE  
Munira Brothers Construction



Tournefol Planters - Urban Collection Color TBD



DERUlandscape architecture  
 812 Huron Road | #411 Cleveland, OH 44115 | (314) 461-4397



East Building Landscape Plan

East Building Landscape Plan

Not to Scale



The View on Detroit East

LAKEWOOD, OH

MBC Job No. 21014-11



Trees



AC - Serviceberry



NS - Blackgum

Groundcover



CSL - Scarlet Leader Cotoneaster

Grasses



CAL - Karl Foerster Reed Grass



PAN - Red Rays Switch Grass

Shrubs



AM - Low Scape Hedger



HH - Hidcote St. Johnswort



HYP - Dwarf St. Johnswort



IGS - Shamrock Inkberry



IVJ & IVS - Winterberry



PF - Abbotswood Potentilla



RR - White Rugosa Rose



TME - Everlow Yew



TPG - Gelderland Arborvitae



VB - Newport Viburnum

Perennials



HEL - Lenten Rose



RUD - Black-eyed Susans

DERUlandscape architecture  
195 Hudson Road, E. #101 Cleveland, Oh 44115-1278, Ohio

Plant Palette

Plant Palette for Landscape Plans

Not to Scale



The View on Detroit East  
LAKEWOOD, OH  
MBC Job No. 21014-11

Solove  
Real Estate

40  
CELEBRATING 40 YEARS  
OF BUILDING EXCELLENCE  
Member: Builders' Commission





6' horizontal wood fence

HORIZONTAL WOOD FENCE ALONG BORDERS TO RESIDENTIAL LOTS



UAF-200 FLAT-TOP Residential & Commercial (res/commercial.html) UAF-200 Flat Top

GETGO TO THE WEST



ORNAMENTAL FENCE ALONG STREETScape

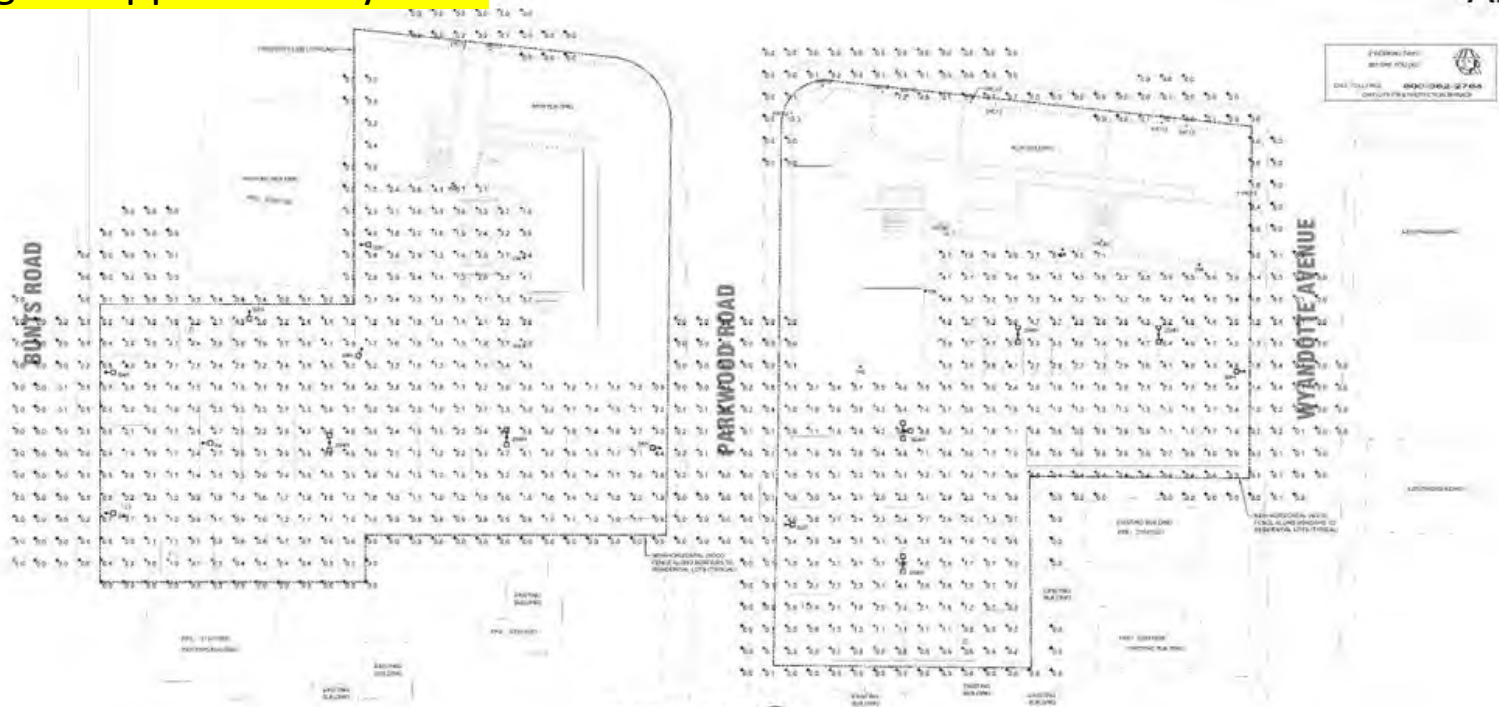
SITE FENCING

The View on Detroit East  
LAKEWOOD, OH  
MBC Job No. 21014-11

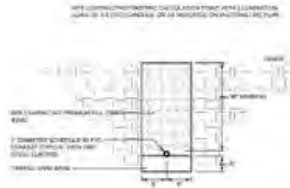
Solove **40**  
Real Estate  
CELEBRATING 40 YEARS  
OF BUILDING EXCELLENCE  
Marshall Builders Construction



Docket No. 08--25 (13901 Detroit)

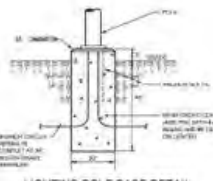


**ELECTRICAL SYMBOLS**



**UNDERGROUND CONDUIT DETAIL**

SCALE: 1"=10'-0" (CONCRETE COVER: 6" MIN.)



**LIGHTING POLE BASE DETAIL**

SCALE: 1"=10'-0" (CONCRETE COVER: 6" MIN.)

**SITE PHOTOMETRIC PLAN**

- GENERAL NOTES**
- SEE PLAN NOTES FOR ALL INFORMATION OF THE LAYOUT, DIMENSIONS, AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THIS PROJECT.
  - ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE ILLUMINANCE REQUIREMENTS SPECIFIED IN THE LUMINAIRE SCHEDULE.
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| TYPE | MODEL | MANUFACTURER | DESCRIPTION | BEAM ANGLE | FOOT CANDLE | REMARKS | NOTES |
|------|-------|--------------|-------------|------------|-------------|---------|-------|
| 1    | 1000  | 1000         | 1000        | 1000       | 1000        | 1000    | 1000  |
| 2    | 2000  | 2000         | 2000        | 2000       | 2000        | 2000    | 2000  |
| 3    | 3000  | 3000         | 3000        | 3000       | 3000        | 3000    | 3000  |
| 4    | 4000  | 4000         | 4000        | 4000       | 4000        | 4000    | 4000  |
| 5    | 5000  | 5000         | 5000        | 5000       | 5000        | 5000    | 5000  |
| 6    | 6000  | 6000         | 6000        | 6000       | 6000        | 6000    | 6000  |
| 7    | 7000  | 7000         | 7000        | 7000       | 7000        | 7000    | 7000  |
| 8    | 8000  | 8000         | 8000        | 8000       | 8000        | 8000    | 8000  |
| 9    | 9000  | 9000         | 9000        | 9000       | 9000        | 9000    | 9000  |
| 10   | 10000 | 10000        | 10000       | 10000      | 10000       | 10000   | 10000 |

**LUMINAIRE SCHEDULE NOTES**

- ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE ILLUMINANCE REQUIREMENTS SPECIFIED IN THE LUMINAIRE SCHEDULE.
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**Site Photometric Plan**  
Not to Scale



16

**The View on Detroit East**  
LAKEWOOD, OH  
MBC Job No. 21014-11

**Solove** **40**  
Real Estate  
CELEBRATING 40 YEARS OF REAL ESTATE EXCELLENCE  
Member of the Coldwell Banker Group





**① PLANTING BED**

Integrates into building, creates height and depth

**③ RAILINGS SEE THROUGH**

**⑤ TALL EVERGREEN**

Visually obstructs view into the unit, provides screening

**⑦ SHEER DRAPS**

Obscures view while allowing light transmittance. tenant operated

**⑩ CONCRETE PLANTER BOX**

Visually obstructs view into the unit, provides screening

**② RAISED PLANTER**

Integrates into building, creates height and depth

**④ PLANTER BOX**

Allow elevated boarder create height and depth from residential unit

**⑥ OPAQUE ROLLER SHADES**

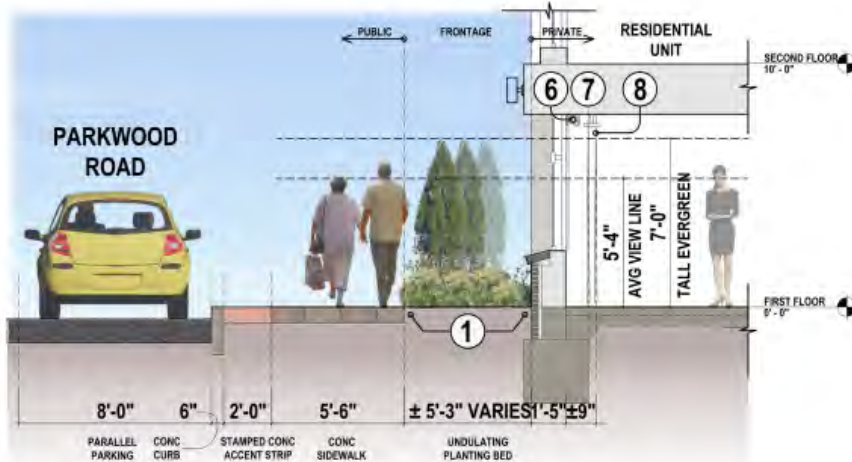
**⑧ OPAQUE DRAPS**

Tenant operated shades which always control the level of light and sight to the unit

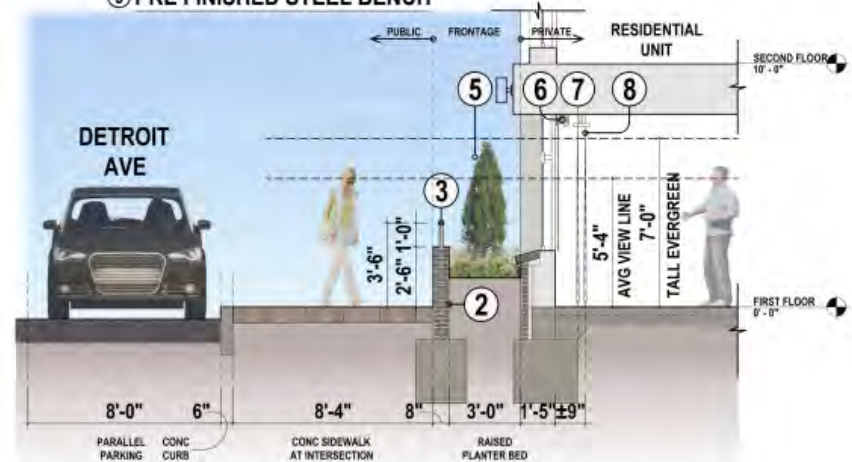
**⑪ PRE FINISHED ALUMINUM STOREFRONT SYSTEM**

Obscures view while allowing light transmittance. tenant operated

**⑨ PRE FINISHED STEEL BENCH**



**(A) PLANTING ALONG PARKWOOD ROAD**  
UNDULATING PLANTING BEDS



**(B) PLANTING AT INTERSECTION CORNER**  
MASONRY RAISED PLANTING BED



08-14-2025 RDL 25084R  
THE VIEW | LAKEWOOD, OH | STREET SECTIONS

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**

**① PLANTING BED**  
Integrates into building, creates height and depth

**② RAISED PLANTER**  
Integrates into building, creates height and depth

**③ RAILINGS SEE THROUGH**

**④ PLANTER BOX**  
Allow elevated boarder create height and depth from residential unit

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Visually obstructs view into the unit, provides screening

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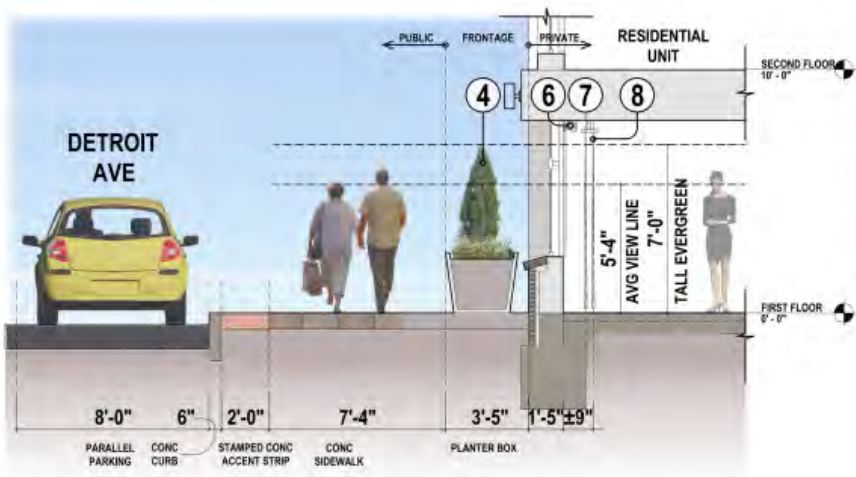
**⑦ SHEER DRAPS**  
Obscures view while allowing light transmittance. tenant operated

**⑧ OPAQUE DRAPS**  
Tenant operated shades which always control the level of light and sight to the unit

**⑩ CONCRETE PLANTER BOX**  
Visually obstructs view into the unit, provides screening

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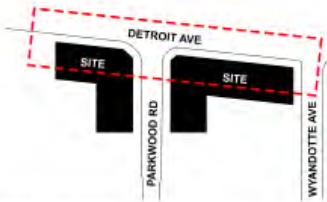
**⑨ PRE FINISHED STEEL BENCH**



**C PLANTING AT DETROIT AVE**  
MATEL PLANTER BOXES



**D PLANTING AT INTERSECTION CORNER**  
CONC PLANTER BOXES WITH BENCHES AND BIKERACK



08.14.2025 RDL 25084R  
THE VIEW | LAKEWOOD, OH | STREET SECTIONS

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



08.14.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | RETAIL CORNER OF EAST BUILDING

This drawing, specifications, design and all measurements represented hereby are and shall remain the property of the architect. No part of it shall be copied, reprinted or used in connection with any project other than the specific project for which they have been prepared and prepared without the written consent of the architect. The architect shall not be responsible for any errors or omissions of third parties. Other dimensions of these drawings shall have precedence over these dimensions. The architect shall not be responsible for all dimensions and conditions on the job site, and the owner shall be responsible for all dimensions and conditions on the job site.

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



08.14.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | RESIDENTIAL ENTRY OF EAST BUILDING

This drawing, specifications, plans, notes and arrangements are intended to be used as a guide only. No part of it shall be copied, reprinted or used in any way without the express written consent of the architect.

**DiGERONIMO RDL**  
DEVELOPMENT



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



08.14.2025 RDL 25084R  
THE VIEW | LAKEWOOD, OH | RENDERING | CORNER OF WEST BUILDING

This rendering, specifications, plans, designs and arrangements represented hereby are not intended to constitute any part of the contract. The goal of this rendering is to provide a visual representation of the proposed project. It is not intended to be used in conjunction with any other documents. The design is subject to change without notice. All dimensions and materials are approximate. Construction shall be in accordance with the approved plans and specifications. The design is not intended to be used for construction purposes. Construction shall be the responsibility of the contractor and shall be subject to the applicable laws and regulations. The design is not intended to be used for construction purposes. Construction shall be the responsibility of the contractor and shall be subject to the applicable laws and regulations.

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



08.14.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | OVERALL VIEW FROM DETROIT AVE

This drawing, specifications, plans, images and/or engineering information hereby are and shall remain the property of the architect. No part of this work shall be used in conjunction with any work or project other than the specific project for which they have been prepared and approved without the written consent of the architect. Actual construction shall conform to all applicable codes and regulations of the jurisdiction. Without limitation, these drawings shall not be construed as a contract. The contractor shall verify the dimensions and conditions on the site, and the architect shall not be responsible for any errors or omissions in the drawings and specifications. The architect shall not be responsible for any errors or omissions in the drawings and specifications. The architect shall not be responsible for any errors or omissions in the drawings and specifications.

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



08.14.2025 RDL 25084R  
THE VIEW | LAKEWOOD, OH | RENDERING | SIDEWALK VIEW OF WEST BUILDING

This rendering, architectural plans, design and engineering represented herein and text herein are the property of the architect. The user of said drawings is hereby notified to use the same only for the project and for the specific project for which they have been prepared and to refrain from any other use without the written consent of the architect. The user of said drawings is hereby notified to use the same only for the project and for the specific project for which they have been prepared and to refrain from any other use without the written consent of the architect. The user of said drawings is hereby notified to use the same only for the project and for the specific project for which they have been prepared and to refrain from any other use without the written consent of the architect.

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



08.14.2025 RDL 25084R

### THE VIEW | LAKWOOD, OH | WEST BUILDING CORNER PLANTER

The drawings, specifications, items, images and arrangements presented herein are and shall remain the property of the architect. No part of them shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they were prepared and developed unless the written consent of the architect. No guarantee shall be made regarding the accuracy of the information contained in these drawings. The architect assumes no responsibility for any construction cost overruns or other problems that may arise from the use of these drawings. Construction shall verify all measurements and conditions on the job site, and the architect shall not be held liable for any errors or omissions on the drawings or specifications.

**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



# Docket No. 08-72-25 (13815 & 13901 Detroit)





CONTRACT NO. 13815 & 13901

D/GERONIMO

THE VIEW ON  
DETROIT EAST - EAST  
BUILDING



EAST ELEVATION - COLOR



SOUTH ELEVATION - COLOR

EXTERIOR ELEVATIONS COLOR

| NO. | DESCRIPTION |
|-----|-------------|
| 1   | BRICK       |
| 2   | CONCRETE    |
| 3   | GLASS       |
| 4   | WOOD        |
| 5   | STEEL       |
| 6   | ALUMINUM    |
| 7   | PAINT       |
| 8   | ROOFING     |
| 9   | LANDSCAPE   |
| 10  | MECHANICAL  |
| 11  | ELECTRICAL  |
| 12  | PLUMBING    |
| 13  | HEATING     |
| 14  | Cooling     |
| 15  | Interior    |
| 16  | Site        |
| 17  | Other       |

A601A



Docket No. 08-72-25 (13815 & 13901 Detroit)



DI GERONIMO DEVELOPMENT

DiGERONIMO

THE VIEW ON  
DETROIT EAST -  
EAST  
BUILDING  
13815 & 13901 DETROIT



SOUTH ELEVATION - PARTIAL - COLOR



WEST ELEVATION - PARTIAL - COLOR



EAST ELEVATION - PARTIAL - COLOR

REVISIONS

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EXTERIOR  
ELEVATIONS  
COLOR Copy 1

A602A



# Docket No. 08-72-25 (13815 & 13901 Detroit)









DESIGNING DEVELOPING

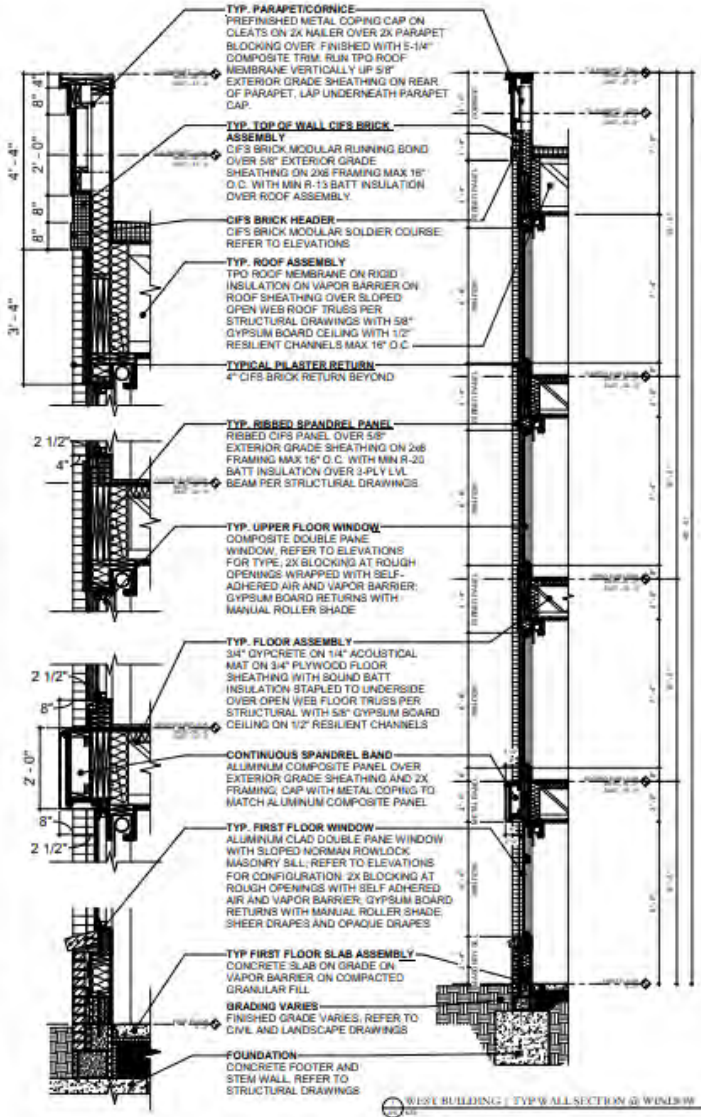
**DIGERONIMO**

THE VIEW ON  
DETROIT EAST  
- WEST  
BUILDING

ISSUE

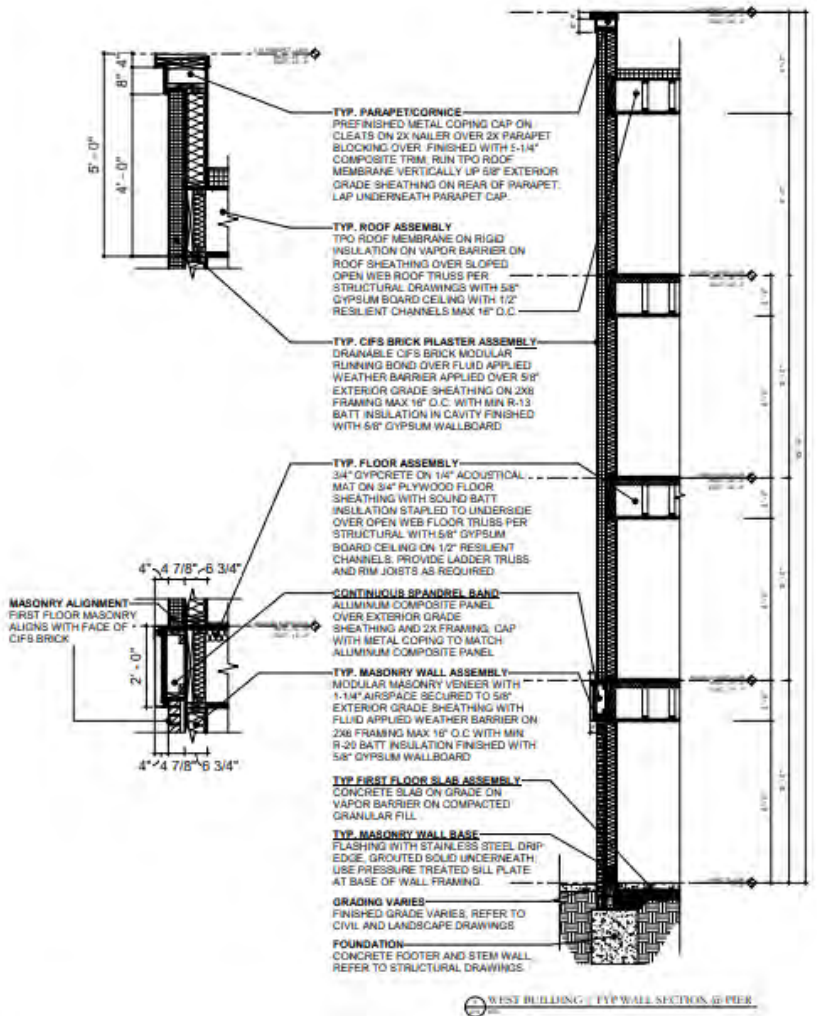
WALL SECTIONS

**A710**



WEST BUILDING / TYP WALL SECTION @ PER

WEST BUILDING / TYP WALL SECTION @ WINDOW

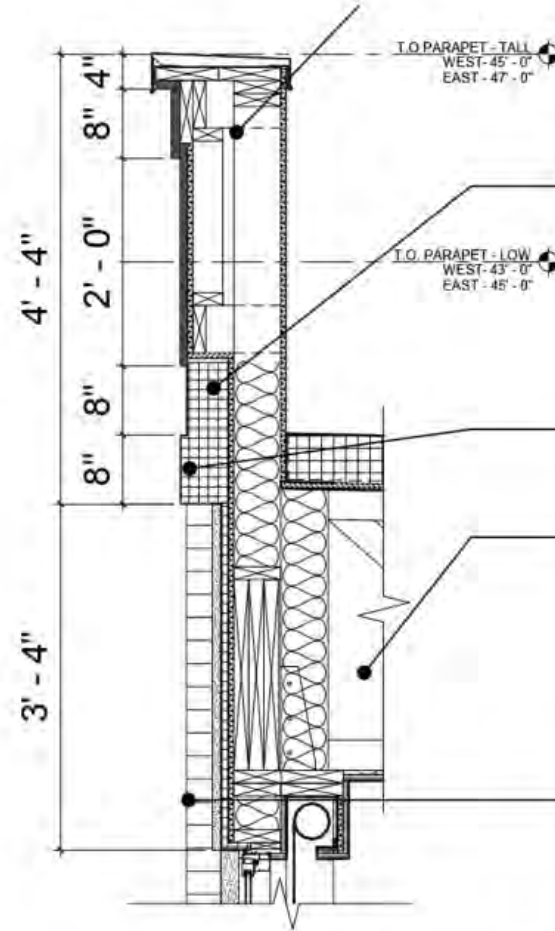
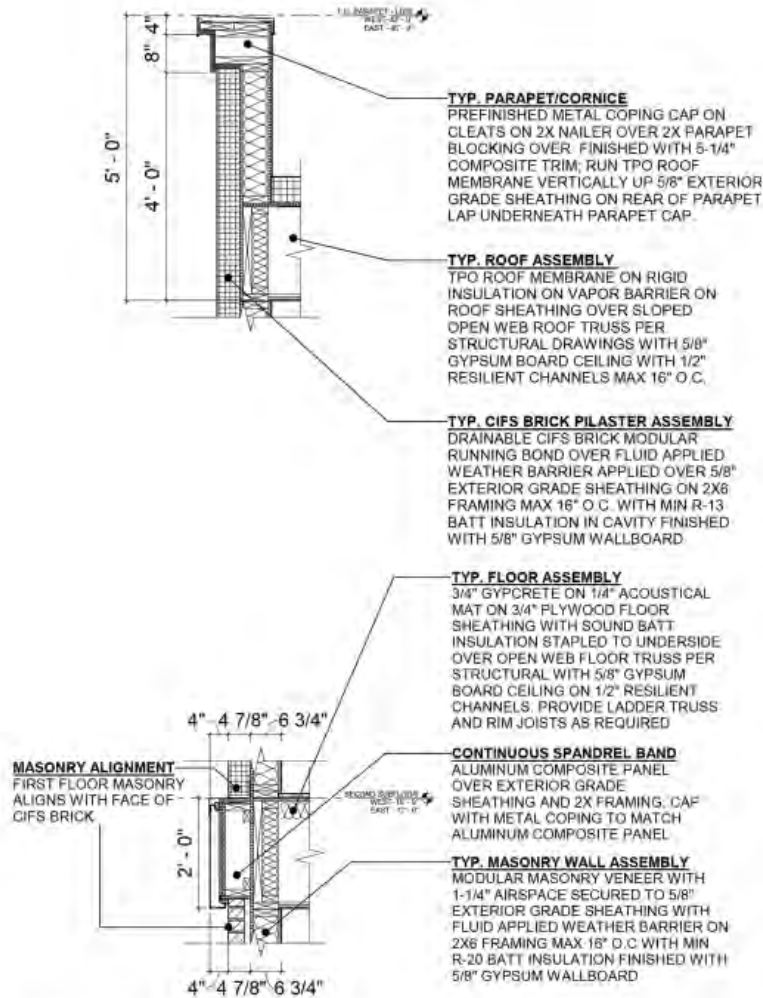


WEST BUILDING / TYP WALL SECTION @ PER



**Docket No. 08-72-25 (13815 & 13901 Detroit)**





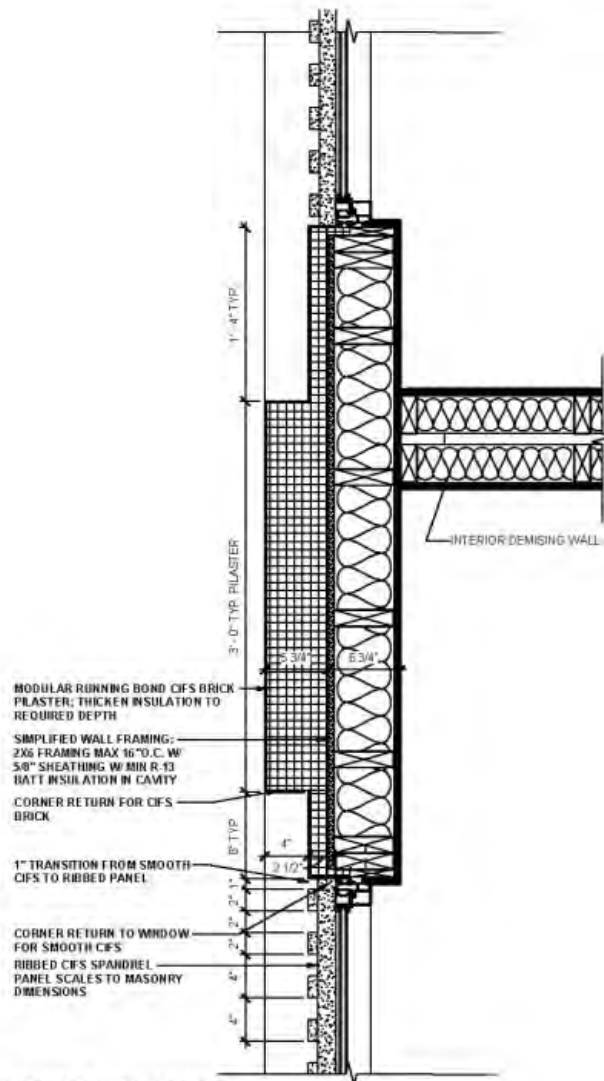
07-23-2025 (RDL-298347)

THE VIEW | LAKEWOOD, OH | ELEVATION DETAILS

**DiGERONIMO RDL**  
 DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**



07-23-2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | PLAN DETAIL THROUGH PILASTER

**GERONIMO RDL**  
DEVELOPMENT ARCHITECTS

**Docket No. 08-72-25 (13815 & 13901 Detroit)**



**Specification**

Heavy gauge 5052 aluminum marine grade alloy  
Fully welded on all seams  
Powder coated finish inside and out  
Includes movable rubber base feet

**Available Options**

Lift-n-level rubber shims  
Custom sizes and colors  
Outdoor and Indoor applications  
Self-watering inserts and tanks  
EZ FILL-TER™ bag system

**Location**

Interior  Exterior

**Finish**

Pewter  Suede Bronze  Matte Black  
 Metallic Silver  Gloss White  Smoky Beige

Custom Finish/Paint Name and Code # \_\_\_\_\_

**Dimensions**

Qty\_\_ Small - 16L x 16W x 16H inches / 16 lbs  
 Qty\_\_ Medium - 20L x 20W x 20H inches / 22 lbs  
 Qty\_\_ Large - 24L x 24W x 24H inches / 28 lbs  
 Qty\_\_ XL - 28L x 28W x 28H inches / 35 lbs  
 Qty\_\_ \*XXL - \*36L x 36W x 36H inches / 60 lbs  
\*Fabricated with 1" single return top lip rim

Qty\_\_ Custom \_\_\_"L x \_\_\_"W x \_\_\_"H  
 Qty\_\_ Custom \_\_\_"L x \_\_\_"W x \_\_\_"H  
 Qty\_\_ Custom \_\_\_"L x \_\_\_"W x \_\_\_"H  
 Qty\_\_ Custom \_\_\_"L x \_\_\_"W x \_\_\_"H

**1/2" Dia. Drainage Holes**

Yes  No  TBD



# Barry Buick Development Material Study



4 BUILDING SOUTH - EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 BUILDING SOUTH - WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 BUILDING SOUTH - SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 BUILDING SOUTH - NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

| EXTERIOR MATERIALS LEGEND |  |
|---------------------------|--|
|                           | <b>EXTERIOR BRICKWORK</b><br>FACED BRICK, STRONG, SEAWALL, EXTENDED<br>PAINTED HLL, OLD POINT<br>COLOR: RED BRICK<br>MATERIAL: M-36<br>MORTAR: T81 |
|                           | <b>EXTERIOR BRICKWORK</b><br>FACED BRICK, SOLID, COURSE, EXTENDED<br>PAINTED HLL, OLD POINT<br>COLOR: RED BRICK<br>MATERIAL: M-36<br>MORTAR: T81   |
|                           | <b>EXTERIOR GLAZING</b><br>FACED<br>CONCRETE/POLYMER METAL PANEL SYSTEM<br>MATERIAL: M-36<br>COLOR: GRAPHITE                                       |
|                           | <b>EXTERIOR GLAZING</b><br>FACED<br>EXTENDED POLYMER METAL PANEL SYSTEM<br>MATERIAL: M-36<br>COLOR: GRAPHITE                                       |
|                           | <b>EXTERIOR DETAIL</b><br>SMOOTH/TEXTURED<br>TEXTURE: FLAT<br>COLOR: GRAPHITE  |
|                           | <b>EXTERIOR DETAIL</b><br>SMOOTH/TEXTURED<br>TEXTURE: FLAT<br>COLOR: GRAPHITE  |
|                           | <b>EXTERIOR DETAIL</b><br>SMOOTH/TEXTURED<br>TEXTURE: FLAT<br>COLOR: GRAPHITE  |
|                           | <b>CONCRETE</b><br>TEXTURED<br>COLOR: BLACK  |
|                           | <b>CONCRETE</b><br>TEXTURED<br>COLOR: TO MATCH FF1   |
|                           | <b>ALUMINUM ATTACHMENT</b><br>COLOR: BLACK<br>GLAZING: T81   |
|                           | <b>BRICK ANCHORS</b><br>COLOR: BLACK<br>GLAZING: T81   |



**Docket No. 08-72-25 (13815 & 13901 Detroit)**

# Downtown Development Material Study



Lakewood Downtown Redevelopment Site  
Lakewood, Ohio

Building 4 - Enlarged Elevations

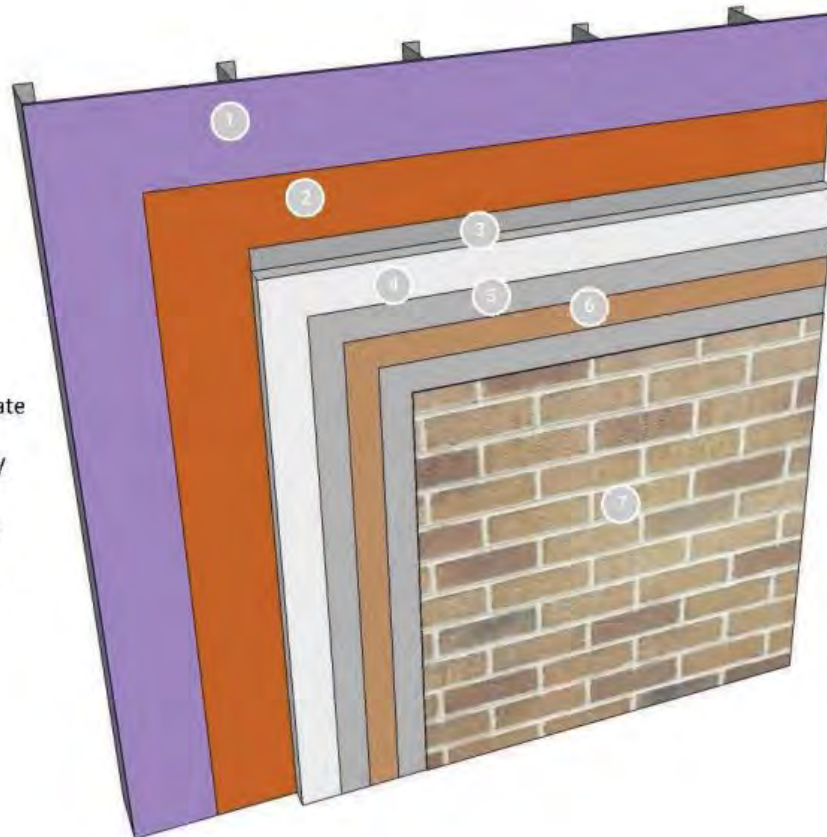


**CASTO**  
**DIMIT ARCHITECTS**  
ARCHITECTS • INTERIORS • DESIGN GROUP  
**EDGE** CONSULTANTS  
October 2024



# Docket No. 08-72-25 (13815 & 13901 Detroit)





1. Framing and Approved Substrate (by others)
2. Rollershield Liquid-applied Air/Water Barrier (LAB)
3. Vertical notched adhesive and drainage channel
4. Master Wall Insulation Board
5. Master Wall Base Coat
6. Master Wall Mesh
7. CIFS® Brick Finish

07.23.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | EIFS

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**DiGERONIMO RDL**  
DEVELOPMENT ARCHITECTS



**Docket No. 08-72-25 (13815 & 13901 Detroit)**





Maple Ridge CIFS<sup>®</sup> Brick and Light Smoke CIFS<sup>®</sup> Brick Mortar



Maple Ridge CIFS<sup>®</sup> Brick with Lockhart Accent and Light Smoke CIFS<sup>®</sup> Brick Mortar



North Hampton CIFS<sup>®</sup> Brick with Black and Almond Accents and Light Pewter CIFS<sup>®</sup> Brick Mortar



North Hampton CIFS<sup>®</sup> Brick and Light Pewter CIFS<sup>®</sup> Brick Mortar



Mineral Grey CIFS<sup>®</sup> Brick with Greystone and Almond Accents and Light Pewter CIFS<sup>®</sup> Brick Mortar



Mineral Grey CIFS<sup>®</sup> Brick and Light Smoke CIFS<sup>®</sup> Brick Mortar



Sierra CIFS<sup>®</sup> Brick with Black Accent and Mist CIFS<sup>®</sup> Brick Mortar



Sierra CIFS<sup>®</sup> Brick and Light Smoke CIFS<sup>®</sup> Brick Mortar



Mission Suede CIFS<sup>®</sup> Brick with Cajun Mist Accent and Mist CIFS<sup>®</sup> Brick Mortar



Mission Suede CIFS<sup>®</sup> Brick and Mist CIFS<sup>®</sup> Brick Mortar



Smoky Tan CIFS<sup>®</sup> Brick and Light Smoke CIFS<sup>®</sup> Brick Mortar



Vintage Tan CIFS<sup>®</sup> Brick with Cordova and Black Accents and Light Smoke CIFS<sup>®</sup> Brick Mortar

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Vintage Tan CIFS<sup>®</sup> Brick with Earthtone Accent and Light Smoke CIFS<sup>®</sup> Brick Mortar



Vintage Tan CIFS<sup>®</sup> Brick and Light Smoke CIFS<sup>®</sup> Brick Mortar

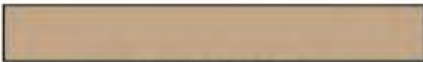


Woodruff CIFS<sup>®</sup> Brick and Light Smoke CIFS<sup>®</sup> Brick Mortar



Woodruff CIFS<sup>®</sup> Brick with Smoky Tan Accent and Mist CIFS<sup>®</sup> Brick Mortar

CIFS<sup>®</sup> Brick Mortar Colors



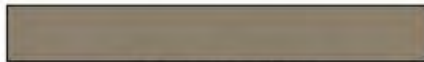
Light Buff CIFS<sup>®</sup> Brick Mortar



Light Smoke CIFS<sup>®</sup> Brick Mortar



Mist CIFS<sup>®</sup> Brick Mortar



Light Pewter CIFS<sup>®</sup> Brick Mortar

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## COLORS



CANNON DAWN | 985BST    CASTLE WALL | 930BST    CITADEL | 940BST    COUNTRY COTTAGE | 915BST



EARTHEN VESSEL | 935BST    GATEHOUSE | 910BST    HARBOR SIDE | 920BST    HERITAGE HOUSE | 965BST

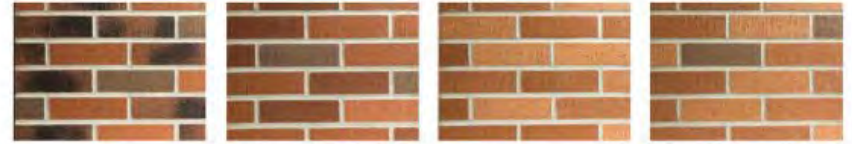


HOMELAND | 950BST    PATRIOT RED | 970BST    PROVINCIAL PARK | 960BST    RIVERBANK | 900BST



RUSTIC VILLA | 845BST    SCHOOLYARD | 925BST    TOWN SQUARE | 980BST    VALLEY FIELD | 975BST

## BLENDS



CORINTH  
99% HERITAGE HOUSE FLASHED, 3% HERITAGE HOUSE, 10% RIVERBANK

GEORGETOWN  
95% HERITAGE HOUSE, 30% VALLEY FIELD, 3% RIVERBANK

LITTLETON  
100% PROVINCIAL PARK, 5% COUNTRY COTTAGE

ROCKLAND  
95% PROVINCIAL PARK, 30% COUNTRY COTTAGE, 10% RIVERBANK

## TEXTURES



SMOOTH    VELOUR    WIRE CUT    COARSE CUT

## EFFECTS



IRON SPOT    FLASHED    FLASHED WITH IRON SPOT

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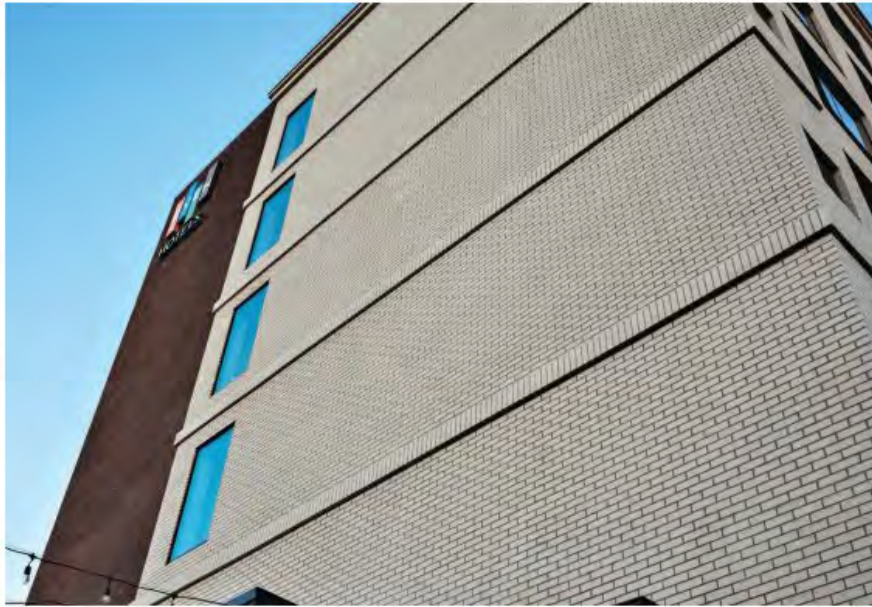
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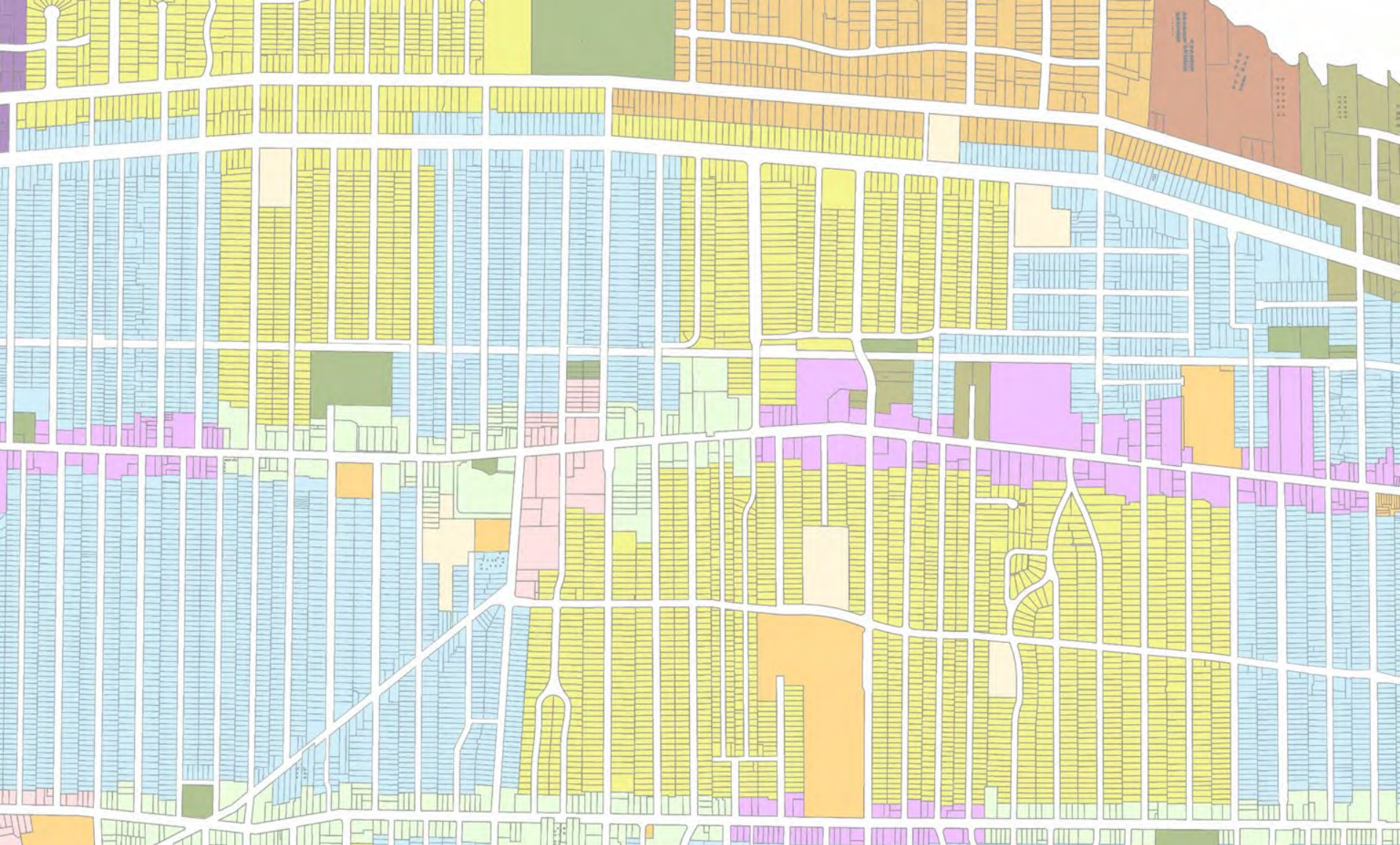
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# Architectural Board of Review

August 2025

To whom it may concern:

I am writing to support James McGinty's efforts to raise a flagpole at Saint James Church in Lakewood. As a long-time parishioner, I feel that Saint James is the most beautiful and prominent building in Lakewood, and we should be proudly flying our American and Vatican flags high. This church is truly a landmark and deserves to be sharing public patriotism like our two other parishes which each fly flags.

As for James, he is a dedicated Scout who is well-known to our Saint James community for his countless hours volunteering at our events, and sharing his fun and joyous personality. I couldn't think of a better young man to move this project forward.

-Mrs. Mary Ramsak, Parishioner

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"I think it is a wonderful idea! We need it as a parish not just to show our national pride but especially to show our support for our troops at home and abroad. I pray for our troops every Sunday."

-Kris King, Parishioner