



City of Lakewood
Board of Building Standards •
Architectural Board of Review •
Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW
REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
SEPTEMBER 11, 2025
5:30 P.M.
MEETING RECORDED
<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Board Members

Hanna Cohan Plessner, Chair
Chris Egervary
Nick Slaughterbeck
Jeremy Smith, Vice Chair

Staff

Amanda Cramer, Co-Board Secretary, City Planner
Sophia Szeles, Co-Board Secretary, City Planner
William Wagner, Assistant Building Commissioner
Jeff Crossman, Law Department
Leslie Page, Zoning Inspector

Matthew Stevenson was absent from the meeting. No action was taken by the board.

2. APPROVE THE MINUTES OF THE AUGUST 14, 2025 MEETING

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE the August 14, 2025 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the Opening Remarks into record.

SUMMARY APPROVED

At the pre-review meeting, one item was Summary Approved (conditions are noted). A motion and a second is needed for approval of Docket No. 09-74-25.

NEW BUSINESS

SIGN REVIEW

4. Docket No. 09-74-25

15210 Madison Ave.
Leona's Custom Hats

- () Approve
- () Deny
- () Defer

Steven Foster
The Sign & Graphics Firm, LLC
14837 Detroit Ave., St. 195
Lakewood, OH 44107

Applicant proposes white vinyl window decal signage. (Page 78)

Conditions:

- No conditions.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 09-74-25 as proposed. All the members voted yea; the motion passed.

OLD BUSINESS

ARCHITECTURAL BOARD OF REVIEW

5.. Docket No. 08-72-25

(C)

13815/13901 Detroit Ave.
The View on Detroit East

- () Approve
- () Deny
- () Defer

Ron Tannenbaum
RDL Architects
21111 Chagrin Blvd., Ste. 110
Beachwood, OH 44122

Applicant proposes the review of a previously approved project for the construction of a mixed-use structure with parking to be evaluated under C3 zoning; ABR review under Chapter 1325. The project was approved at the May 13, 2021 meeting. (Page 5)

Ms. Cramer stated that the project was approved at the September 4, 2025 Planning Commission meeting. Matt Mendez, DiGeronimo Development, and Ron Tannenbaum, RDL Architects were present to explain the request. The members appreciated the revisions. Discussion began about EIFS colors, the verticals and returns between the windows, accent bay of the east building, planters were at a better scale, first floor residential window sills were raised, fiber cement color palette would match the EIFS, the members did not like the EIFS brick, reminded all of the Commercial Design Guidelines, members wanted a more robust landscaping for the parking lot buffer and more vertical plantings on the Bunts Road side,

suggested removing the planters mini fences and fill with brick or a single horizontal rail, planters needed to be integral to the buildings, suggested to focus on fiber cement (did not like EIFS). The members wanted to see four-sided elevations, a full scale site, accurate plans with updated landscaping, final materials and color options, a night rendering, and final material and colors selections for the façade. Administrative staff had no comments. Public comment was taken.

Public Comments

- The city's Bunts Road improvements were slated to be done and should share plans with developers to assist with landscaping plans along the road.
- Agreed with the members' suggestions regarding materials, plantings, etc.

Before approval was granted, the members wanted the following:

- Further details for the fiber cement trim, taller plantings on the side streets, final materials and colors for the entire buildings, depth of the window wells and materials, all elevations, connect the corner planter at the west building to the planter at the Detroit Avenue façade, updated landscaping, a night rendering, and wanted a full site plan that included the neighboring buildings.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to DEFER Docket No. 08-72-25. All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

6. Docket No. 09-73-25

15719 Madison Ave.
Black Sheep 216

- () Approve
- () Deny
- () Defer

Dale Drummon
Black Sheep 216
15719 Madison Ave.
Lakewood, OH 44107

Applicant proposes signage in the sign band. (Page 73)

Dale Drummon, Black Sheep 216, applicant was present to explain the request. The members asked about placement of the letters and numbers, color, additional signage. Administrative staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Egervary to **APPROVE** Docket No. 09-73-25 with the following conditions:

- The "Black Sheep 216" text is horizontal in the center of the existing sign band.
- The lettering will be black.
- There will be no window graphics or vinyl on the windows.
- A revised drawing will be submitted to city staff for administrative approval.

All the members voted yea; the motion passed.

7. Docket No. 09-75-25

18630 Detroit Ave.
Berkshire Hathaway / Barr, Jones & Assocs.

- () Approve
- () Deny
- () Defer

Jason Barr
Barr, Jones & Associates LLP
18630 Detroit Ave.
Lakewood, OH 44107

Applicant proposes front door and window signage. (Page 82)

Meghan Brooks, Esq., representative was present to explain the request. Administrative staff said they were over the allowable sign square footage. The members wanted to see dimensions. Administrative staff had no additional comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 09-75-25 with the following conditions:

- The existing door signage is to be removed.
- The new window graphic will be centered.
- The dimensions of all new graphics will be submitted to city staff for administrative approval.

All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

8. Docket No. 09-76-25

(C)

17710 Detroit Ave.
ADA Architects

- () Approve
- () Deny
- () Defer

Nicholas Pengel
ADA Architects
17710 Detroit Ave.
Lakewood, OH 44107

Applicant proposes installation of a generator in the rear side yard facing Webb Rd. (Page 86)

Brian Quinn and John Watson, ADA Architects, were present to explain the request. Discussion ensued about length of the screening fence, verified the dumpster was stored in the garage, liked the revisions. Administrative staff asked if the gate was used. Public comment was taken.

Public Comment

- Fence was damaged and encroached on the right-of-way.
 - Had obtained quotes to repair the fence already.
- The fence and gate were not needed and not used.
- The dumpster had been left visible for years.

- o Might have been stored outside while repairs were being done on the inside of the garage. Would ensure the dumpster was stored inside the garage except for refuse pickup days.

Asked about the chain link fence, the poles and framing would remain while a new fabric would be installed. Any leaning/damaged part of the structure would be straightened/repared. The members said it looked industrial and asked if a shorter black decorative fence could replace it. The applicant wanted to install the generator before winter and would consider all the comments regarding the fence issues. The members emphasized that how a fence was to be repaired was not their purview.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 09-76-25 with the following condition:

- Repair the damaged chain link gate.

All the members voted yea; the motion passed.

9. Docket No. 09-77-25	(C)	11730 Detroit Ave. North Coast Apartments
() Approve		Milan Milasinovic
() Deny		Virginia Marti Inc.
() Defer		11724 Detroit Ave Lakewood, OH 44107

Applicant proposes exterior facade renovations. (Page 96)

Ms. Cramer communicated that the applicant requested a deferral.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **DEFER** Docket No. 08-77-25. All the members voted yea; the motion passed.

10. Docket No. 09-78-25	(R)	1457 St. Charles Ave.
() Approve		Brandon Young
() Deny		Young Design Studio
() Defer		15614 Detroit Ave. Lakewood, OH 44107

Applicant proposes design approval for the construction of a new home on a vacant lot. (Page 117)

Fred Wolfe, Young Design representative, and Brandon Young, Young Design Studio, applicant, were present to explain the request. Discussion started about the site plan, exposed wood versus stained wood and colors, the members liked the design of the home. Administrative staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 09-78-25 with the following conditions:

- The house setback is changed for the updated drawing to match the house to the north.
- A painted solution for the porch columns and beam will be submitted for administrative approval.

All the members voted yea; the motion passed.

11. Docket No. 09-79-25	(R)	17814 Riverside Dr.
() Approve		Brandon Young
() Deny		Young Design Studio
() Defer		15614 Detroit Ave.
		Lakewood, OH 44107

Applicant proposes to modify an existing front dormer, replace windows, and add a one-story addition on the rear of an existing single-family home. (Page 133)

Brandon Young, Young Design Studio, applicant was present to explain the request. The members said it was a great plan, and the applicant confirmed the materials would match the existing home. Administrative staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 09-79-25 as presented. All the members voted yea; the motion passed.

12. Docket No. 09-80-25	(C)	14414 Detroit Ave. Commercial Building
() Approve		David J. Maniet AIA
() Deny		Maniet Architects
() Defer		1315 Bunts Rd.
		Lakewood, OH 44107

Applicant proposes construction of a rooftop deck. (Page 154)

David J. Maniet, Maniet Architects, architect was present to explain the request. Discussion began with the windows, roof color, the members like the proposal. Administrative staff had no comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to **APPROVE** Docket No. 09-80-25 as presented. All the members voted yea; the motion passed.

13. Docket No. 09-81-25	(R)	1664 Lauderdale Ave.
() Approve		Keyshawn Jones
() Deny		1664 Lauderdale Ave.

() Defer

Lakewood, OH 44107

Applicant proposes to enclose the sides of an upper porch and finish with vinyl siding.
(Page 171)

Keyshawn Jones, applicant was present to explain the request. The members did not approve of permanently enclosed or partially enclosed porches. The members offered solutions to the structural issues. Mr. Wagner told the applicant to submit plans to him for structural review. Administrative staff had no additional comments. Public comment was closed as no one addressed the item.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to DENY Docket No. 08-81-25. All the members voted yea; the motion passed.

Prior to adjournment, Ms. Cramer introduced a new staff member, Leslie Page, Zoning Inspector. Ms. Page would oversee compliance of signage and outdoor dining.

ADJOURN

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to ADJOURN at the meeting 7:27 p.m. All the members voted yea; the motion passed.



Signature

10/9/25

Date



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Math Mender
- 2. ROB TAMMENBAUM
- 3. David MANIET
- 4. Dale Anderson
- 5. Stephen Muck
- 6. Edwin
Thomas Mulready
- 7. FRED WOLF
- 8. Brandon Young
- 9. Keyshawn Jones
- 10. _____
- 11. _____

- 1. [Signature]
- 2. [Signature]
- 3. [Signature]
- 4. [Signature]
- 5. [Signature]
- 6. BRIDG GUNDS
[Signature]
- 7. [Signature]
- 8. [Signature]
- 9. [Signature]
- 10. [Signature]
- 11. _____

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure: ABR/BBS Citizens Advisory Civil Svc. Dangerous Dog Income Tax Appeals Loan Approval Nuisance Abatement Appeals Parking Planning Zoning Appeals Other:

Date of Proceeding: Thursday, September 11, 2025

Johanna Schwarz

From: Brian Meng <bmeng@bialosky.com>
Sent: Wednesday, September 3, 2025 6:11 PM
To: Johanna Schwarz; Amanda L. Cramer; David Baas
Cc: Ian Andrews; Amy Haney - Committee Chair
Subject: FW: Agenda: Planning Commission

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Johanna, Amanda, and Dave,

On behalf of LakewoodAlive we wanted to provide comments and observations to the projects on the current Lakewood Planning Commission agenda for the 09/04/2025 meeting:

4. Docket 08-28-25: The View on Detroit East
 - Similar to the comments we provided for the 8/7/2025 PC meeting:
 - It is exciting to see this project back on the agenda.
 - Is the use of CIFS consistent with the City's Commercial Design Principles? Section V notes stucco and EIFS as inappropriate building materials. If this is an allowable material, we would strongly suggest attention be paid by the development team in the detailing of the system.
 - Will the residential windows be operational?
 - We appreciate the summary of how this project meeting design principles. This is a complementary development that has taken many contradictory comments from Planning Commission and ABR, and has created a very contextual, attractive development that creates housing on an otherwise vacant and dilapidated property.
 - We appreciate the ground level commercial space on the East Building (however it does seem conducive to a wide variety of commercial uses) and locating the fitness area to help create an active ground level on Detroit Ave. On the east side of Bunts, the ground levels are a mix of residential and commercial uses, and the proposed plan doesn't seem out of context. However, in the future, if the market dictates, perhaps more commercial space can be considered.
5. Docket 08-29-25: Franklin School of Opportunity.
 - It is exciting to see the proposal for designating the Franklin School as a Historic Property.
6. Docket 09-30-25: 13465 Franklin Blvd. – Inner Peace
 - It is exciting to see this project on the agenda as a proposed reuse of the Franklin School of Opportunity.
 - What type of traffic and parking are anticipated for Inner Peace?
 - Will there be bus or passenger vehicle drop offs at certain times of day?
 - If so, will these be accessed via Lewis Dr.
 - Suggest striping a dedicated pedestrian path in the parking lot from the last row of parking to the rear entry plaza.
 - Will the building require future alternations for accessibility?
 - Please advise what will become of the playground and open space. It's become a defacto park for the neighborhood. Any sort of nod to this connection residents feel and ability for them to still be able to use this space would be ideal, and garner good will from the community.
7. Docket 09-31-25: 1205-07 Warren Road – Parking Plan
 - We acknowledge the current Lakewood Ordinance requires R2 zoned properties to provide 1 parking space within a garage.

- We also acknowledge this requirement has been discussed at prior ZPAC meetings regarding the requirements intent and if it warrants modification.
- We applaud the applicant’s creative proposal to provide a sustainable solution (porous pavement) as an alternate to a garage.

8. Docket 09-32-25: 1209-11 Warren Road – Parking Plan

- We acknowledge the current Lakewood Ordinance requires R2 zoned properties to provide 1 parking space within a garage.
- We also acknowledge this requirement has been discussed at prior ZPAC meetings regarding the requirements intent and if it warrants modification.
- We applaud the applicant’s creative proposal to provide a sustainable solution (porous pavement) as an alternate to a garage.

We truly appreciate the opportunity to share our thoughts with you on these applications. If you have any questions on our comments, please let us know and we would be happy to discuss further. It is exciting to see so many developments occurring in Lakewood.

Thank you,

BRIAN MENG RA, LEED AP
Principal | Architect

BIALOSKY Always By Design.

P 216-767-2023

From: Ian Andrews <iandrews@lakewoodalive.org>

Sent: Wednesday, August 27, 2025 1:34 PM

To: Amy Haney - Committee Chair <amyjhaney@gmail.com>; Brian Meng <bmeng@bialosky.com>

Subject: Fw: Agenda: Planning Commission

Ian Andrews

Executive Director

LakewoodAlive

12815 Detroit Avenue

Lakewood, OH 44107

216-521-0655



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Upcoming Events:

8/27 – Cilantro Taqueria Dine to Donate

9/9 – Western Reserve Distillers Dine to Donate

9/19 – Despina's Bakery Dine to Donate

10/11 – 18th Annual Spooky Pooch Parade

10/14 – Western Reserve Distillers Dine to Donate

10/23 – 16th Annual Lakewood Chocolate Walk



From: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Sent: Wednesday, August 27, 2025 1:20 PM

To: Johanna Schwarz <Johanna.Schwarz@lakewoodoh.gov>

Subject: Agenda: Planning Commission

Good afternoon, Everyone,

Please click on the link to view the agenda of the Planning Commission scheduled for Thursday, September 4, 2025.

https://www.lakewoodoh.gov/wp-content/uploads/2025/05/PCAgenda_090425.pdf

Thank you.

Sincerely,

Johanna Schwarz

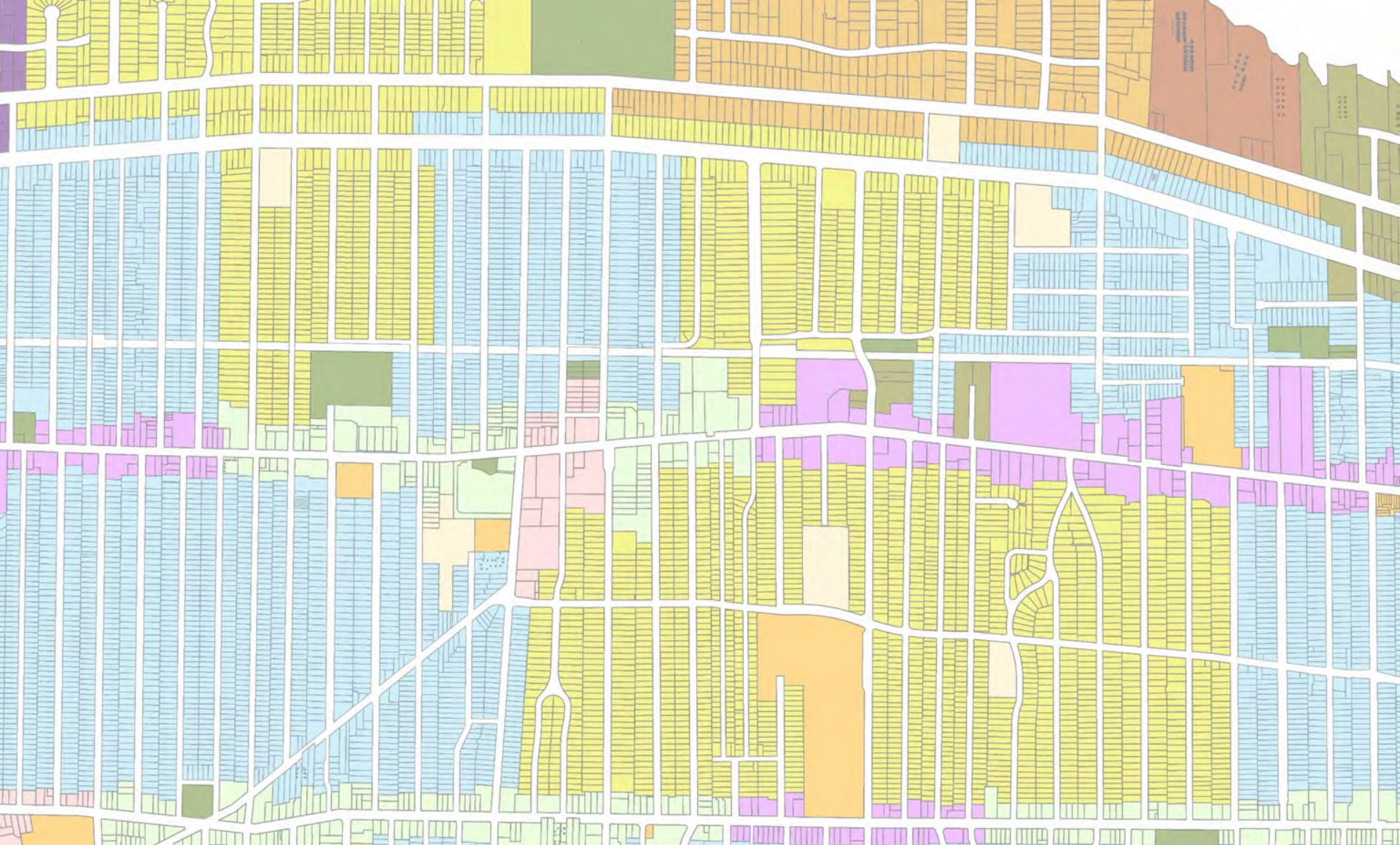
Administrative Assistant II

City of Lakewood
Department of Planning and Development
12650 Detroit Avenue
Lakewood, Ohio 44107

(216)529-6630 main
(216)529-6631 office

www.lakewoodoh.gov

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Architectural Board of Review

September 2025

1325.03 of the Lakewood Codified Ordinances: Purpose of ABR/BBS/Sign Review Board

- The purposes of the Architectural Board of Review are to protect the value, appearance and use of property on which buildings are constructed or altered, to maintain a high character of community development, to protect the public health, safety, convenience and welfare and to protect real estate within the City from impairment or destruction of value.
- Such purposes shall be accomplished by the Board by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all main and accessory buildings to be erected, moved, altered, remodeled or repaired, subject to the provisions of the Zoning and Building Codes and other applicable ordinances of the City, and shall take into consideration the Architectural Standards Workbook and any other design guidelines or standards, as recommended by the Administration or City Council and adopted by the Planning Commission pursuant to Part One, Title Five, Chapter [154](#) of the Codified Ordinances of the City of Lakewood, for use by the Board.
- In reviewing, regulating and approving building plans, the Board shall consider and take cognizance of the development of adjacent, contiguous and neighboring buildings and properties for the purpose of achieving safe, harmonious and integrated development of related properties.



Architectural Board of Review

Pre-Review Meeting: September 4th, 4 pm (East Conf Rm)

Regular Meeting: September 11th , 5:30 pm (Auditorium)

Members

Hanna Cohan Plessner (2025 Chair)

Jeremy Smith (2025 Vice-Chair)

Chris Egervary

Nick Slaughterbeck

Matt Stevenson

Staff

Board Secretary: Amanda Cramer, Sophia Szeles

Assistant Building Commissioner: William Wagner



Architectural Board of Review **September Agenda**

1. Roll call
2. Approve minutes – August 2025 meeting
3. Opening Remarks
4. Board Expectations
5. Old Business
6. Sign Review
7. New Business
8. Adjourn

Applicant proposes new signage.

City Notes:

- Applicant proposes 1 vinyl window sign (8.3 sq ft)
- Max allowed square footage: 22.75 sq ft
- Total proposed square footage: 8.3 sq ft (14.6% window coverage)

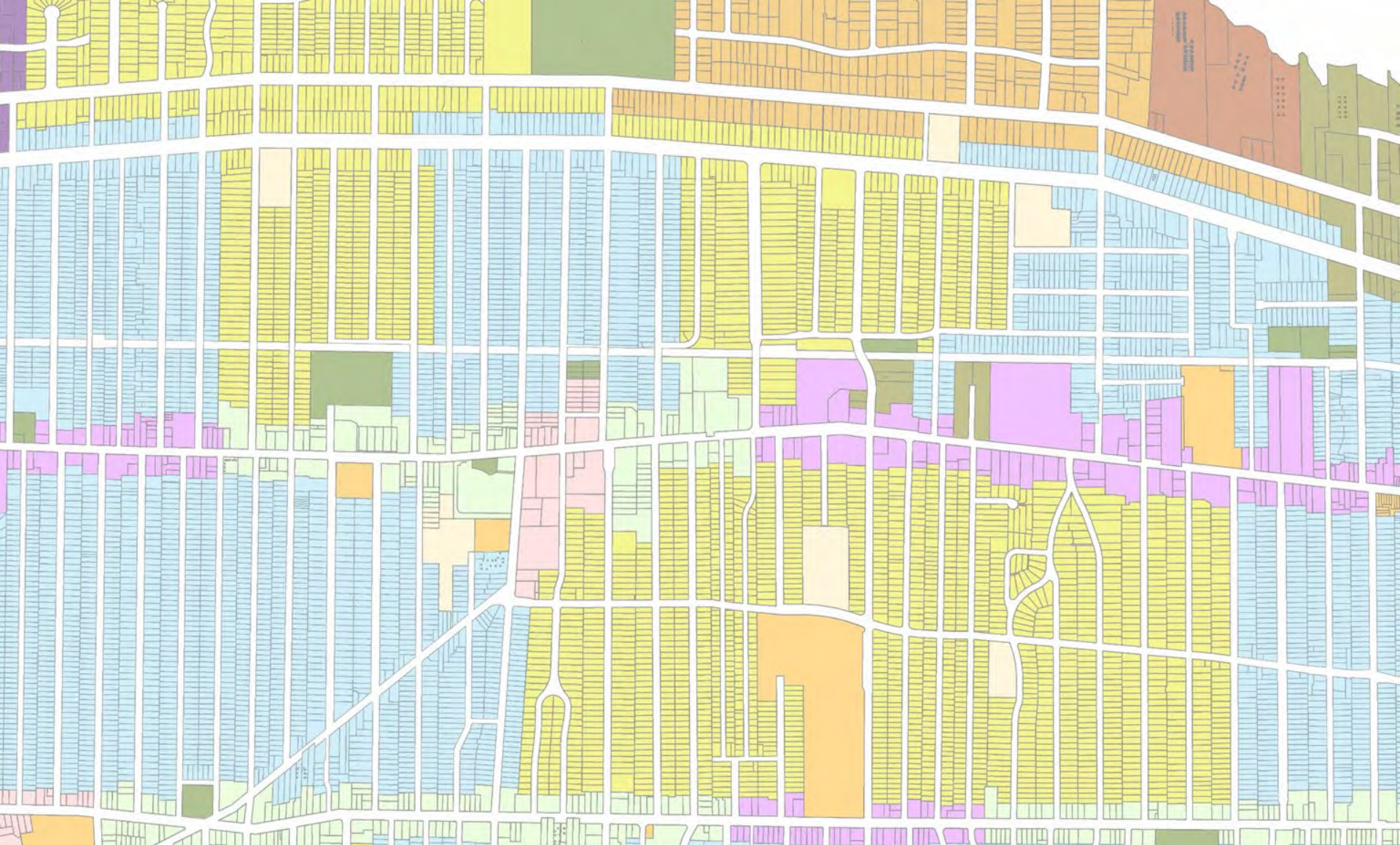
Summary approval, no conditions

15210 Madison Ave



Docket No. 09-74-25 (15210 Madison)

New Signage – Leona's Custom Hats
Steven Foster



Architectural Board of Review

Old Business – September 2025

Applicant proposes revisions to previously approved application.

City Notes:

- PC Approval with the following conditions:
 - Building is not to exceed four (4) stories in height, not including building mechanicals and their appurtenances.
 - Minimum of 1,500 ft² of commercial space available to non-residents on ground floor with Detroit Avenue frontage and supporting bicycle parking infrastructure.
 - Architectural Board of review (ABR) approval of Building and Parking Lot design.
 - Landscaping plan (to be approved by ABR) that supports appropriate buffers and transitions between commercial streetscape, development/parking lots, and adjacent residential properties.
 - Civil/Engineering approval of plans that include Stormwater Management Best Management Practices (BMP).

13901 Detroit Ave

Docket No. 08-72-25 (13815 & 13901 Detroit)

**The View – Approved Application Revisions
Ron Tannenbaum**





THE VIEW ON DETROIT EAST
LAKEWOOD, OHIO

MIXED USE COMMUNITY
DESIGN SUBMISSION

ABR PRESENTATION
AUGUST 29, 2025

08.29.2025 RDL25084R

THE VIEW ON DETROIT EAST | LAKEWOOD, OH

The drawings, specifications, ideas, design and arrangements, represented hereby are and shall remain the property of the architect. No part of shall be copied, duplicated or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual content with these drawings or specifications shall constitute conclusive evidence of acceptance of these specifications. Written consent on these drawings shall have precedence over verbal directions. Contractors shall strictly and be responsible for all dimensions and conditions on the job site, and this shall be evidence of any variations from the drawings and specifications shown by these drawings.

DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)

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PAGE 2D EXHIBIT D - ELEVATION DETAIL (INCLUDED WITH PREVIOUS PAGE)
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07.23.2025, FOLIO 25084F

THE VIEW | LAKEWOOD, OH

DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)

LAKEWOOD ABR CHECKLIST

<input checked="" type="checkbox"/>	Site Plan
<input checked="" type="checkbox"/>	Photographs as needed
<input checked="" type="checkbox"/>	Floor plans with north arrow and scale
<input checked="" type="checkbox"/>	Elevations to scale
<input checked="" type="checkbox"/>	Sketch or Rendering
<input checked="" type="checkbox"/>	Product brochures and specs for colors and materials
<input checked="" type="checkbox"/>	Sufficient Detail

RESPONSES

April 01, 2021 - Staff Comments

<input type="checkbox"/>	Provide material cut sheets/product specs for all proposed materials	Provided as Exhibit C
<input type="checkbox"/>	Provide additional wall sections through other areas of the building	Wall section is provided to describe floor to floor height and wall depth. No other wall sections are required or needed.
<input checked="" type="checkbox"/>	Consider breaking the horizontal band and continue the white brick down to grade	Provided as an option as Exhibit B
<input checked="" type="checkbox"/>	Provide photos of context inspiration	Provided previously submitted context images as Exhibit D
<input checked="" type="checkbox"/>	Provide a canopy on the entrance to the west building and recess the entrance doors	The entrance has been recessed +/-3'-0" from face of building. Canopy is not needed for shelter or visual queue
<input type="checkbox"/>	Consider signage relocation	We feel the signage is acceptable at its current location and is a place holder for further study during the completion of the design documentation.
<input type="checkbox"/>		
<input type="checkbox"/>	Building seems flat	We disagree

March 29, 2021 - Staff Comments

<input checked="" type="checkbox"/>	Extend brick pier detail from upper floors through the first floor	This is a minor detail. We have a sketch of what this looks like and can comply.
<input checked="" type="checkbox"/>	Provide brick / relief detailing on side and rear elevations	Currently in the design.
<input checked="" type="checkbox"/>	Provide stamped concrete at existing curb cut at east building	Will comply
<input checked="" type="checkbox"/>	Provide accent material at all access points to parking lots	Accented concrete will be provided at sidewalk crossing parking lot entries
<input checked="" type="checkbox"/>	Relocate bike racks on Detroit closer to the building	Will comply
<input checked="" type="checkbox"/>	Step down wood fence at building lines	Will comply
<input type="checkbox"/>	Remove 4 light fixtures in parking lot area abutting residential lots.	Cannot comply, this will create areas within the parking lot that are not properly illuminated.

March 11, 2021

<input checked="" type="checkbox"/>	Enlarge landscape / planting plans	provided
<input checked="" type="checkbox"/>	Provide planting schedule	provided
<input checked="" type="checkbox"/>	Provide brochures for site amenities	provided
<input checked="" type="checkbox"/>	Consider other sites context with light placement	same as above
<input checked="" type="checkbox"/>	Provide actual photos of the site context	provided
<input checked="" type="checkbox"/>	Provide elevations and renderings of secondary facades	provided
<input checked="" type="checkbox"/>	Provide buffer at residential first floor units at streets	Physical barriers or pavement variations are used to push pedestrian traffic away from the building at residential units at street
<input checked="" type="checkbox"/>	Consider carrying the vertical articulation to grade	same as above
<input checked="" type="checkbox"/>	Provide wall sections	provided
<input checked="" type="checkbox"/>	Provide enlarged bay elevations	provided
<input checked="" type="checkbox"/>	Provide parapet detail, adjust break points of parapet	refer to current design

March 5, 2021

<input checked="" type="checkbox"/>	How does project relate to Commercial District Design Guidelines?	Refer to the Commercial District Design Principles sheet
<input checked="" type="checkbox"/>	Return the end of the high parapets back into the roof	refer to current design
<input checked="" type="checkbox"/>	Provide ceiling heights at first floor	provided
<input checked="" type="checkbox"/>	Where will mechanical equipment be located?	condensers on roof
<input checked="" type="checkbox"/>	Will mechanical equipment be screened?	no, but will not be visible at street level

February 12, 2021

<input type="checkbox"/>	Address pedestrian crossing at Parkwood & Detroit	This is part of the city "right of way" and is a city issue to resolve
<input checked="" type="checkbox"/>	How will retail be accessed from parking lot?	Parking for commercial space is not provided in parking lots
<input checked="" type="checkbox"/>	How will retail be accessed from Detroit?	Park on street and enter commercial space
<input checked="" type="checkbox"/>	Provide landscape buffer along streetscapes	Provided along Parkwood & Bunts
<input checked="" type="checkbox"/>	How will 3' buffer be designed along Detroit?	
<input checked="" type="checkbox"/>	How will 3' buffer be designed along side streets?	
<input checked="" type="checkbox"/>	Recommend using city standards for bike racks	
<input type="checkbox"/>	Provide pedestrian circulation patterns for parking lot	Pedestrian circulation in parking lot will be similar to other Lakewood precedents. No defined path will be provided.
<input checked="" type="checkbox"/>	Show site context and on-street parking	provided
<input checked="" type="checkbox"/>	Denote visitor parking	provided
<input checked="" type="checkbox"/>	Address snow removal in parking lot	Snow will be pushed into landscape buffers throughout the parking lot
<input checked="" type="checkbox"/>	Provide a landscaping plan	provided
<input checked="" type="checkbox"/>	Verify parking dimensions meet required code	zoning code does not specify width and length of parking space
<input checked="" type="checkbox"/>	Confirm turning radius' in parking lot are adequate	confirmed



<input checked="" type="checkbox"/>	Define corners and how elevations change when approaching residential areas	Corners along Detroit are well defined
<input checked="" type="checkbox"/>	Study adjacent buildings for horizontal context lines	Refer to elevations and Commercial District Design Principles sheet
<input checked="" type="checkbox"/>	Better define residential vs commercial space	Building articulation clearly defines residential vs commercial
<input checked="" type="checkbox"/>	Consider increasing the floor height of the residential space as a buffer / privacy	Floor to ceiling height on first floor of East Building increased
<input checked="" type="checkbox"/>	Better define articulations	Articulations are more defined and provide depth to the elevations
<input type="checkbox"/>	Further explore material choices to influence massing	Material are as represented in the submittal
<input checked="" type="checkbox"/>	Recommend using full brick	Project is using full face brick
<input type="checkbox"/>	Explore different fence materials at residential borders	current design is per city zoning requirements
<input checked="" type="checkbox"/>	Consider additional landscaping buffer at fences	Refer to landscape plan and planting schedule
<input checked="" type="checkbox"/>	Cable railing may not be effective in creating differentiation	Refer to revised product brochure
<input checked="" type="checkbox"/>	How will first floor windows be treated for privacy	Window treatments will be provided
<input checked="" type="checkbox"/>	Consider additional details at parapet coping	Current design show parapet detailing
<input checked="" type="checkbox"/>	Remove proximity slide from submittal	deleted
<input checked="" type="checkbox"/>	Provide elevations showing neighborhood context	provided
<input checked="" type="checkbox"/>	Recommend creating hierarchy between the 2 buildings	East - Alpha, West - Beta
<input checked="" type="checkbox"/>	Provide provisions for delivery services	Current site plans show delivery access
February 5, 2021		
<input checked="" type="checkbox"/>	Consider context of building at 13605-21 Detroit	Inspiration has been derived from this area, refer to Commercial District Design Principles sheet
<input checked="" type="checkbox"/>	Provide unit breakdown for each building	West - 55, East 65
<input checked="" type="checkbox"/>	Locate trash enclosure	Trash is kept interior until pickup
<input checked="" type="checkbox"/>	Pedestrian safety when crossing between parking lots	Parking in the west lot, pedestrians will have to walk to the corner of Detroit & Parkwood, cross the street and access the other building
January 27, 2021		
<input checked="" type="checkbox"/>	Designs of VODE and VDDW should not be twins	Designs are different and independent



Commercial District Design Principles

Pedestrian First

- First floor level has a separate aesthetic from floors 2-4 to accentuate the pedestrian level
- Main entrances and retail entrances are recessed & articulated to for natural wayfinding
- Transparencies are greater for retail environment with respect to residential to augment the pedestrian / retail experience
- Physical barriers or pavement variations are used to push pedestrian traffic away from the building at residential units at street

Activity at the Street

- Minimum street setback are honored
- Retail defined by separate & isolated entrance
- Retail defined by larger viewing window systems
- Differentiation of window articulation at street with respect to Retail vs Residential

Minimize Parking

- Parking is at the rear of the building and not visible from Detroit Avenue
- Tenant access directly from rear parking lots
- Minimize parking lot light bleed onto adjacent lots
- Provide beautification of parking lots with ornamental fence and landscaping along streets and within lots

Compatible with Lakewood Commercial Fabric

- Current design borrows inspiration from local building for vertical articulation of window bays
- Current design embraces design hints of other Neo / Stripped Classicism buildings in Lakewood
- Developing horizontal articulation that blends to a mean elevation with that of adjacent urban fabric
- Using materials that have already been reviewed and approved by Lakewood ABR



The View on Detroit East

LAKEWOOD, OH
MBC Job No. 21014-11

**Lakewood Commercial District
Design Principles Checklist**



Docket No. 08-72-25 (13815 & 13901 Detroit)



14000 Detroit Ave 4



13900 Detroit Ave 5



13804 Detroit Ave 6



14018 Detroit Ave 3



13618 Detroit Ave 7



14013 Detroit Ave 2



13605-13621 Detroit Ave 9



13608 Detroit Ave 8

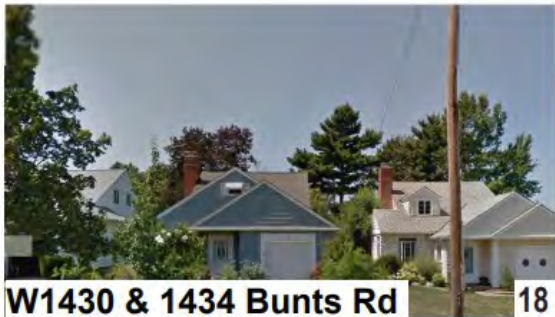
08.14.2025 RDL 25084R
THE VIEW | LAKEWOOD, OH | SITE CONTEXT IMAGERY

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Docket No. 08-72-25 (13815 & 13901 Detroit)



W1430 & 1434 Bunts Rd 18



1429 Bunts Rd 17



1428 & 1432 Parkwood Rd 16



1427 & 1431 Parkhaven Row 20



1418 & 1422 Wyandotte Ave 14



1435 & 1441 Parkhaven Row 19



1431 & 1437 Parkwood Rd 15



1415 Wyandotte Ave 13

10-14-2020 10:21:20AM
THE VIEW | LAKEWOOD, OH | SITE CONTEXT IMAGERY

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DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



1427 Wyandotte Ave 12



1420 & 1428 Elbur Ave 11



1414 Elbur Ave 10



13919 Detroit Ave 1

08.14.2025 RDL 25064R

THE VIEW | LAKEWOOD, OH | SITE CONTEXT IMAGERY

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Docket No. 08-72-25 (13815 & 13901 Detroit)



The View on Detroit East
 LAKEWOOD, OH
 MBC Job No. 21014-11

EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES

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 Master Builders Contractors

1C



Docket No. 08-72-25 (13815 & 13901 Detroit)



The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11

EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES

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Miron Proffers Construction

2C



Docket No. 08-72-25 (13815 & 13901 Detroit)



The View on Detroit East
 LAKEWOOD, OH
 MBC Job No. 21014-11

EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES

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 Most Inherently Conscious

3C



Docket No. 08-72-25 (13815 & 13901 Detroit)



The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11

EXHIBIT C – LOCAL CONTEXT INSPIRATION IMAGES

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Docket No. 08-72-25 (13815 & 13901 Detroit)



CONTEXT MAP
Not to Scale



GIS PARCEL MAP
Not to Scale

The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11

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Docket No. 08-72-25 (13815 & 13901 Detroit)



Site Plan
Not to Scale



The View on Detroit East
 LAKEWOOD, OH
 MBC Job No. 21014-11

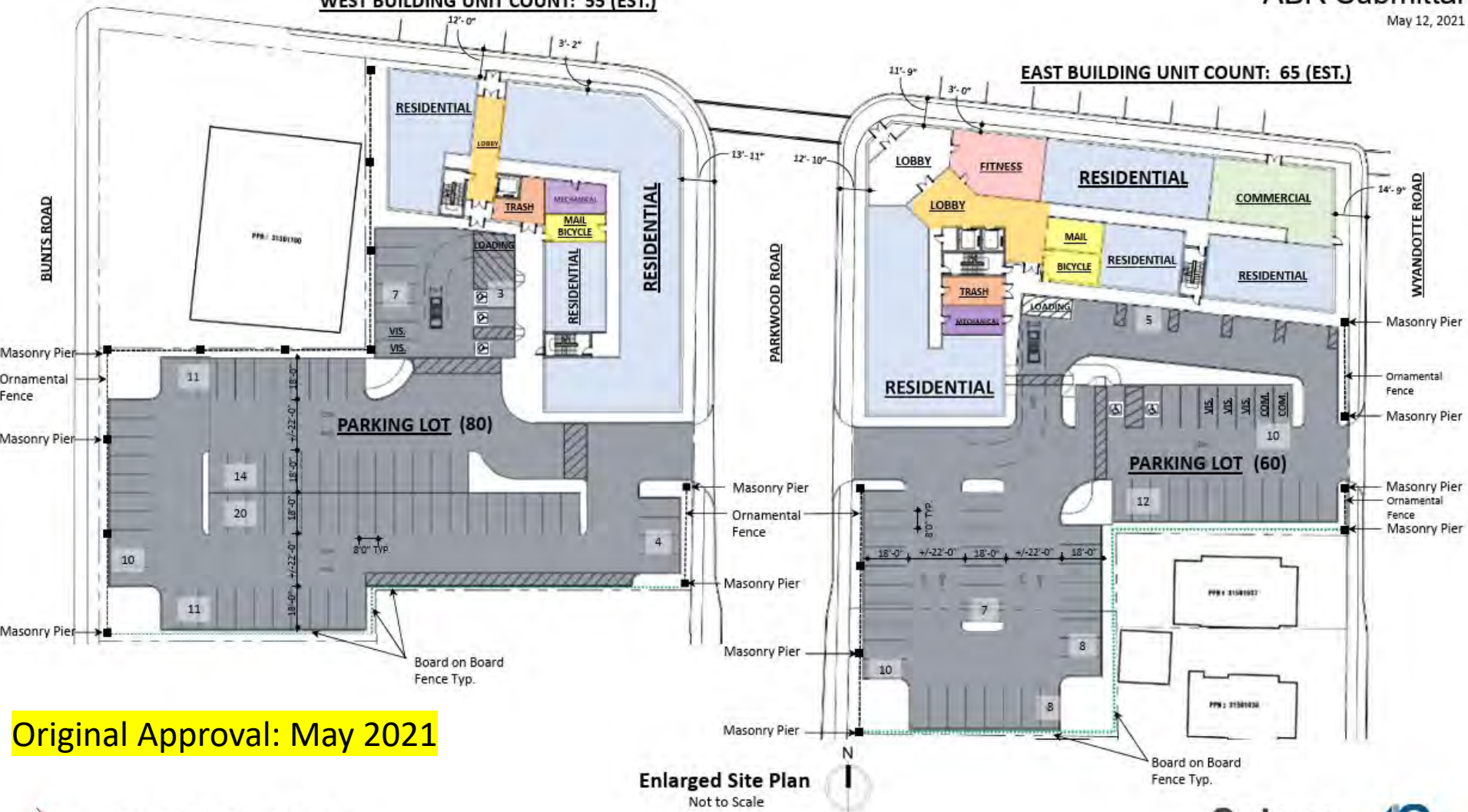
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Docket No. 08-72-25 (13815 & 13901 Detroit)



WEST BUILDING UNIT COUNT: 55 (EST.)

EAST BUILDING UNIT COUNT: 65 (EST.)



Enlarged Site Plan
Not to Scale

Original Approval: May 2021



Docket No. 08-72-25 (13815 & 13901 Detroit)

WEST BUILDING UNIT COUNT: 55 (EST.)

EAST BUILDING UNIT COUNT: 65 (EST.)



Enlarged Typical Upper Floor Plan
Not to Scale





KEY

- PROPOSED DECIDUOUS TREE
- PROPOSED FLOWERING TREE
- PROPOSED SHRUB
- PROPOSED EVERGREEN SHRUB
- PROPOSED PERENNIALS & ORNAMENTAL GRASSES

SCALE: 1" = 30'-0"

DERUlandscape architecture
 10115 Oakwood Blvd E., #10115 Oakwood, OH 44025 | 216.465.4275

Overall Landscape Plan

Overall Landscape Plan
Not to Scale



The View on Detroit East
 LAKEWOOD, OH
 MBC Job No. 21014-11

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 Manzo Brothers Construction



Docket No. 08-72-25 (13815 & 13901 Detroit)

Steel Courtyard Park Bench



Bike Rack



DERU landscape architecture
812 Huron Road E. #411 Cleveland OH 44115 / 216-488-4355



West Building Landscape Plan

West Building Landscape Plan

Not to Scale



The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11

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Trees



AC - Serviceberry



NS - Blackgum

Groundcover



CSL - Scarlet Leader Cotoneaster

Grasses



CAL - Karl Foerster Reed Grass



PAN - Red Rays Switch Grass

Shrubs



AM - Low Scape Hedger



HH - Hidcote St. Johnswort



HYP - Dwarf St. Johnswort



IGS - Shamrock Inkberry



IVJ & IVS - Winterberry



PF - Abbotswood Potentilla



RR - White Rugosa Rose



TME - Everlow Yew



TPG - Gelderland Arborvitae



VB - Newport Viburnum

Perennials



HEL - Lenten Rose



RUD - Black-eyed Susans

DERU landscape architecture
195 Hudson Road, E. #101 Cleveland, OH 44115-1278, deru@deru.com

Plant Palette

Plant Palette for Landscape Plans

Not to Scale



The View on Detroit East

LAKEWOOD, OH

MBC Job No. 21014-11

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Metropolitan Council

Docket No. 08-72-25 (13815 & 13901 Detroit)





6' horizontal wood fence

HORIZONTAL WOOD FENCE ALONG BORDERS TO RESIDENTIAL LOTS



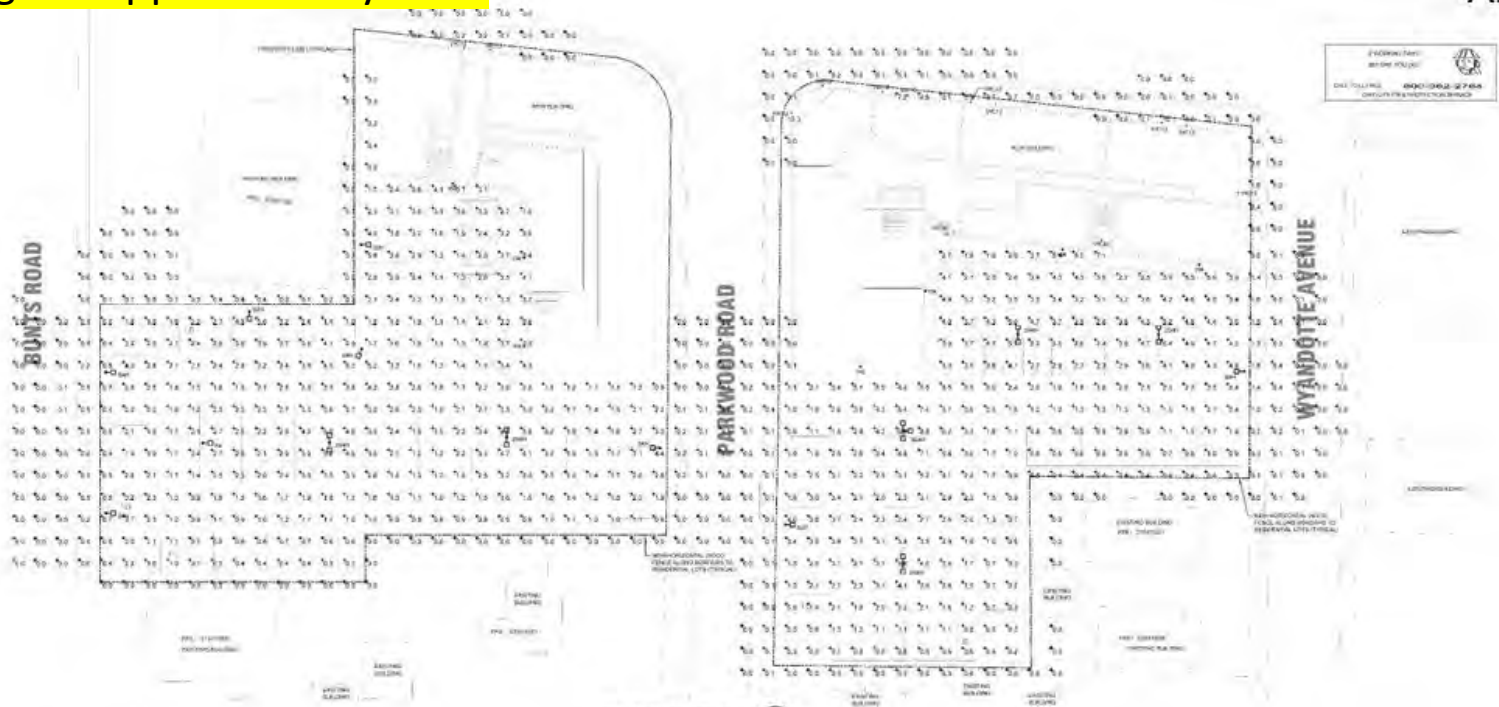
UAF-200 FLAT-TOP Residential & Commercial (res/commercial.html) UAF-200 Flat Top



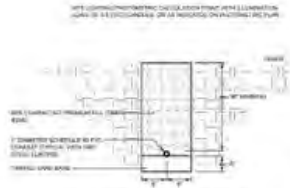
ORNAMENTAL FENCE ALONG STREETScape

GETGO TO THE WEST



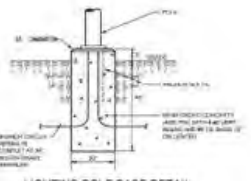


ELECTRICAL SYMBOLS



UNDERGROUND CONDUIT DETAIL

SCALE: 3/8" = 1'-0" CONCRETE COVER: 6" MIN. SEE ELECTRICAL SYMBOLS FOR DETAILS.



LIGHTING POLE BASE DETAIL

SCALE: 3/8" = 1'-0" MINIMUM 6" CONCRETE COVER. SEE ELECTRICAL SYMBOLS FOR DETAILS.

SITE PHOTOMETRIC PLAN

- GENERAL NOTES**
- SEE THE NOTES AND SPECIFICATIONS FOR THE LUMINAIRE SCHEDULE AND THE LAYOUT OF THE LUMINAIRE SCHEDULES AND THE APPLICATION OF THE LUMINAIRE SCHEDULES TO THE LUMINAIRE SCHEDULES.
 - ALL POLE BASE LOCATIONS AND UNDERGROUND CONDUIT LOCATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF DETROIT'S STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES.
 - PROVIDE THE LUMINAIRE SCHEDULES, WHICH IS INDICATED BY THE LUMINAIRE SCHEDULES, TO THE LUMINAIRE SCHEDULES.
 - SEE THE CITY OF DETROIT'S STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES FOR THE LUMINAIRE SCHEDULES.
 - ALL LUMINAIRE SCHEDULES SHALL BE IN ACCORDANCE WITH THE CITY OF DETROIT'S STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES.
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TYPE	MODEL	MANUFACTURER	DESCRIPTION	WATTAGE	BEAM ANGLE	INSTALLATION	REMARKS	NOTES
1	100	100	100	100	100	100	100	100
2	200	200	200	200	200	200	200	200
3	300	300	300	300	300	300	300	300
4	400	400	400	400	400	400	400	400
5	500	500	500	500	500	500	500	500
6	600	600	600	600	600	600	600	600
7	700	700	700	700	700	700	700	700
8	800	800	800	800	800	800	800	800
9	900	900	900	900	900	900	900	900
10	1000	1000	1000	1000	1000	1000	1000	1000

LUMINAIRE SCHEDULE NOTES
 1. SEE THE CITY OF DETROIT'S STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES.
 2. ALL LUMINAIRE SCHEDULES SHALL BE IN ACCORDANCE WITH THE CITY OF DETROIT'S STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES.

Site Photometric Plan
Not to Scale



16

The View on Detroit East
LAKEWOOD, OH
MBC Job No. 21014-11

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Docket No. 08-72-25 (13815 & 13901 Detroit)

① PLANTING BED

Integrates into building, creates height and depth

③ RAILINGS SEE THROUGH

⑤ TALL EVERGREEN

Visually obstructs view into the unit, provides screening

⑦ SHEER DRAPS

Obscures view while allowing light transmittance. tenant operated

⑩ CONCRETE PLANTER BOX

Visually obstructs view into the unit, provides screening

② RAISED PLANTER

Integrates into building, creates height and depth

④ PLANTER BOX

Allow elevated boarder create height and depth from residential unit

⑥ OPAQUE ROLLER SHADES

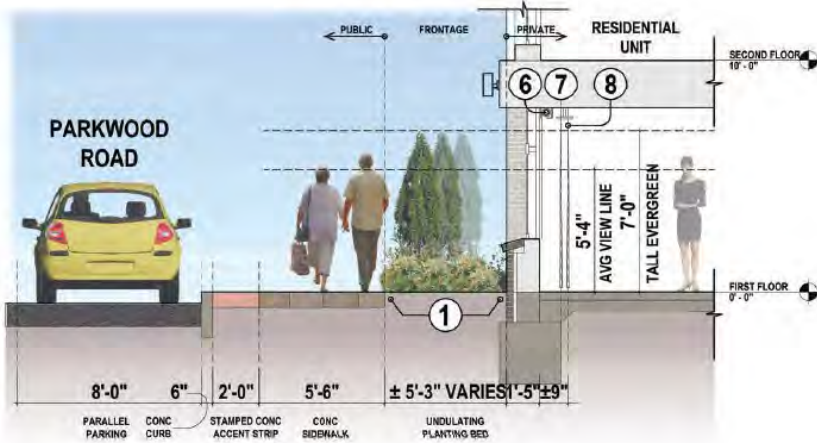
⑧ OPAQUE DRAPS

Tenant operated shades which always control the level of light and sight to the unit

⑪ PRE FINISHED ALUMINUM STOREFRONT SYSTEM

Obscures view while allowing light transmittance. tenant operated

⑨ PRE FINISHED STEEL BENCH



A PLANTING ALONG PARKWOOD ROAD
UNDULATED PLANTING BEDS



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | DIAGRAM | STREET SECTIONS

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DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)

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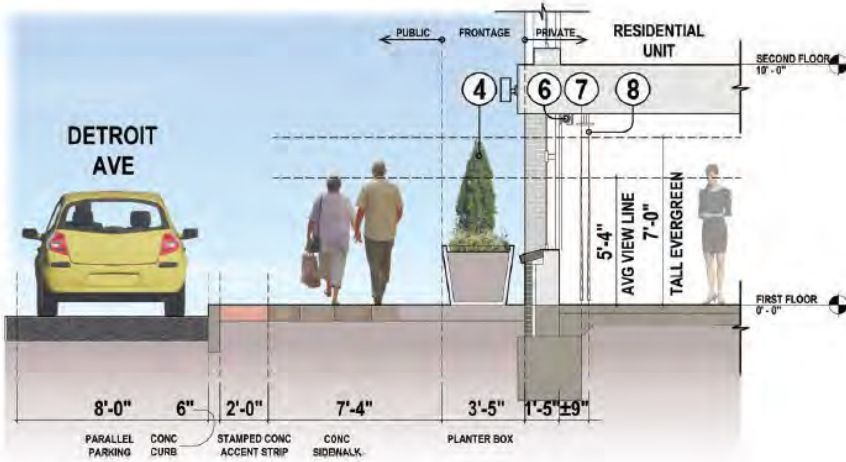
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Obscures view while allowing light transmittance. tenant operated

⑨ PRE FINISHED STEEL BENCH



C PLANTING AT DETROIT AVE
MATEL PLANTER BOXES



D PLANTING AT INTERSECTION CORNER
CONC PLANTER BOXES WITH BENCHES AND BIKERACK



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | DIAGRAM | STREET SECTIONS

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Docket No. 08-72-25 (13815 & 13901 Detroit)



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | DETROIT AVE OVERALL VIEW

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Docket No. 08-72-25 (13815 & 13901 Detroit)



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | EAST BUILDING RESIDENTIAL ENTRY

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Docket No. 08-72-25 (13815 & 13901 Detroit)



08.29.2025 RDL 25084R
THE VIEW | LAKEWOOD, OH | RENDERING | DETROIT AVE OVERALL VIEW | ALT. PLANTING

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Docket No. 08-72-25 (13815 & 13901 Detroit)



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | EAST BUILDING RESIDENTIAL ENTRY | ALT. PLANTING

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Docket No. 08-72-25 (13815 & 13901 Detroit)

PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

DIGERONIMO
DEVELOPMENT

DIGERONIMO
ARCHITECTS

THE VIEW ON
DETROIT EAST
- EAST
BUILDING



EAST ELEVATION - COLOR



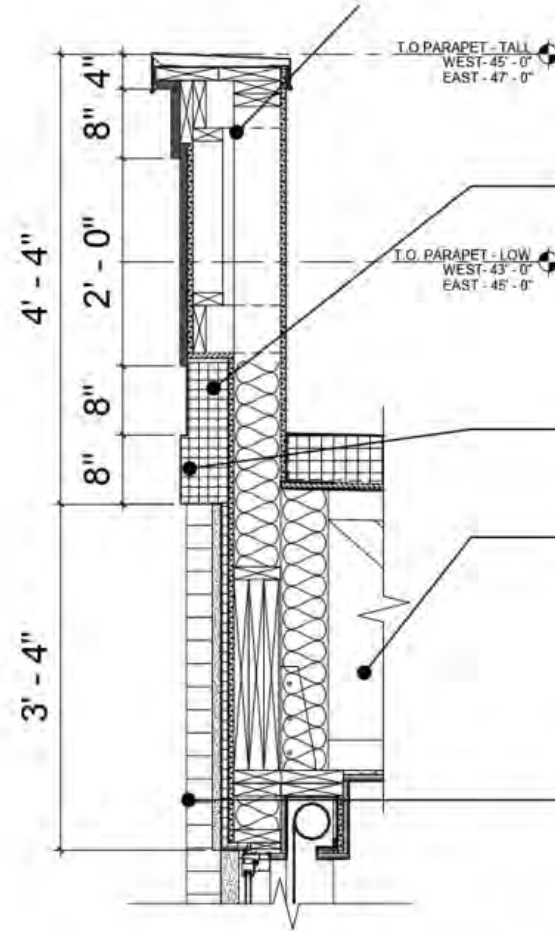
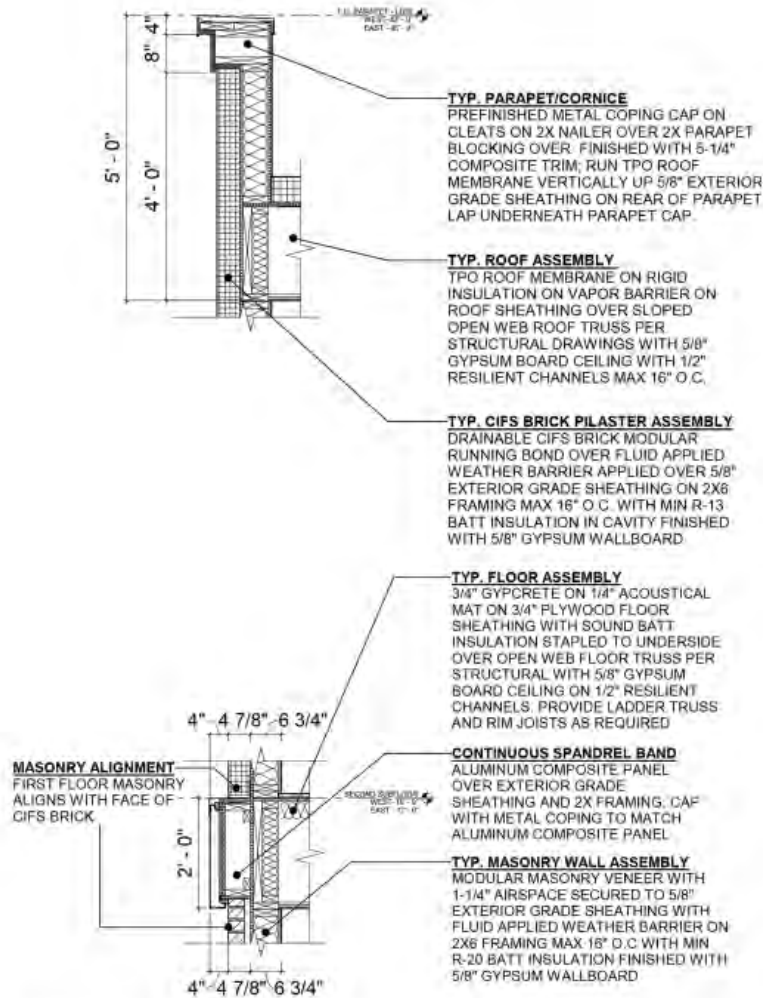
SOUTH ELEVATION - COLOR

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Docket No. 08-72-25 (13815 & 13901 Detroit)



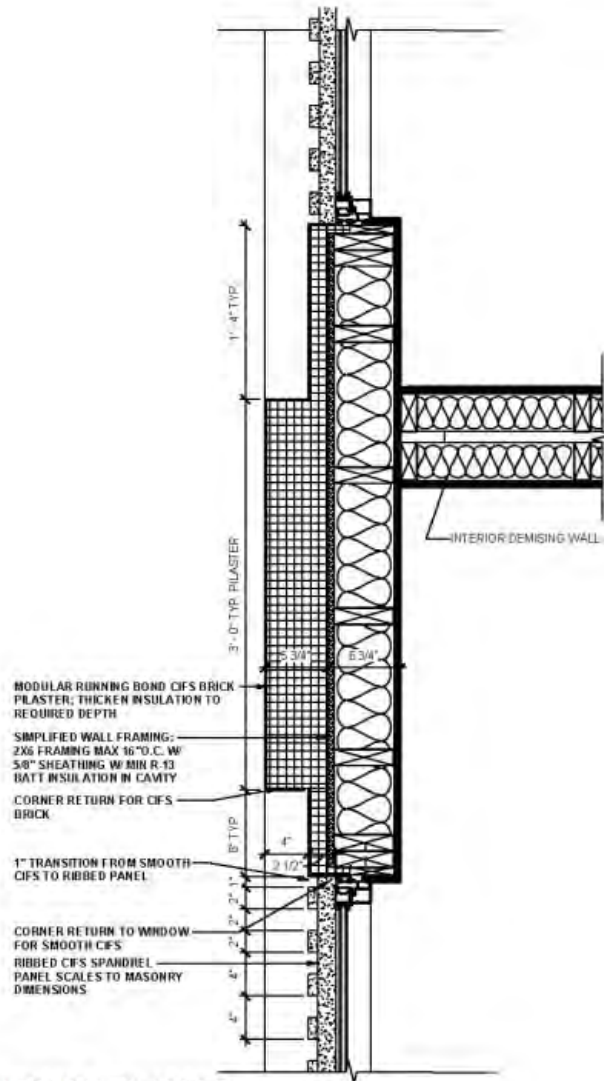
07-23-2025 (R/L-298347)

THE VIEW | LAKEWOOD, OH | ELEVATION DETAILS

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 DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



- MODULAR RUNNING BOND CFS BRICK
PLASTER; THICKEN INSULATION TO
REQUIRED DEPTH
- SIMPLIFIED WALL FRAMING:
2X6 FRAMING MAX 16" O.C. W/
5/8" SHEATHING W/ MIN R-13
BATT INSULATION IN CAVITY
- CORNER RETURN FOR CFS
BRICK
- 1" TRANSITION FROM SMOOTH
CFS TO RIBBED PANEL
- CORNER RETURN TO WINDOW
FOR SMOOTH CFS
- RIBBED CFS SPANDREL
PANEL SCALES TO MASONRY
DIMENSIONS

07-23-2025 RDL 25084R
 THE VIEW | LAKEWOOD, OH | PLAN DETAIL THROUGH PILASTER

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Docket No. 08-72-25 (13815 & 13901 Detroit)

Specification

Heavy gauge 5052 aluminum marine grade alloy
Fully welded on all seams
Powder coated finish inside and out
Includes movable rubber base feet

Available Options

Lift-n-level rubber shims
Custom sizes and colors
Outdoor and Indoor applications
Self-watering inserts and tanks
EZ FILL-TER™ bag system

Location

Interior Exterior

Finish

Pewter Suede Bronze Matte Black
 Metallic Silver Gloss White Smoky Beige
 Custom Finish/Paint Name and Code # _____

Dimensions

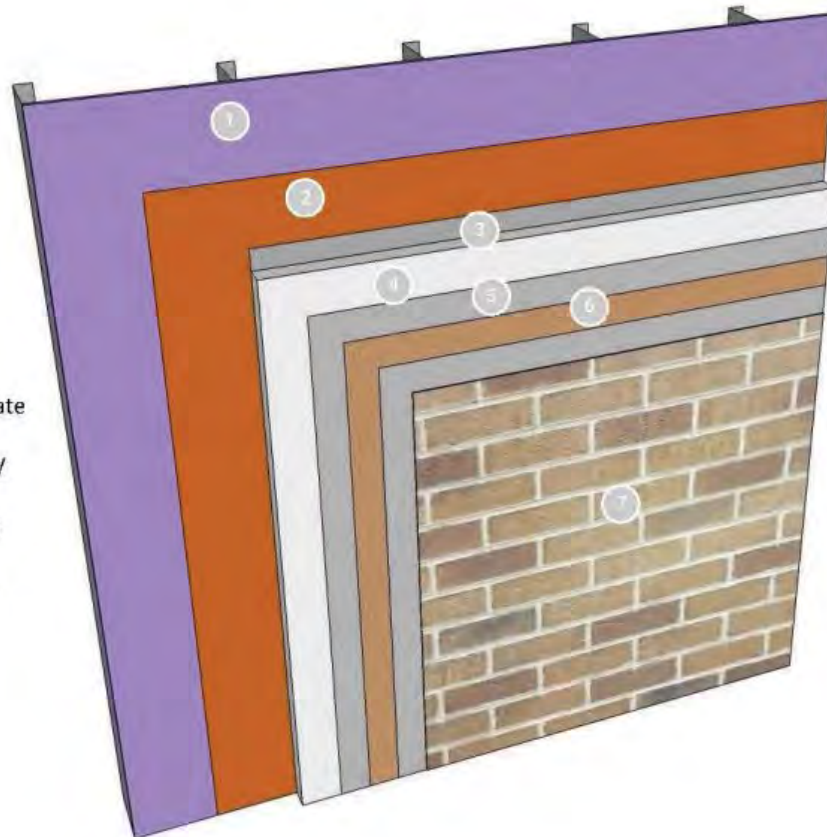
Qty__ Small - 16L x 16W x 16H inches / 16 lbs
 Qty__ Medium - 20L x 20W x 20H inches / 22 lbs
 Qty__ Large - 24L x 24W x 24H inches / 28 lbs
 Qty__ XL - 28L x 28W x 28H inches / 35 lbs
 Qty__ *XXL - *36L x 36W x 36H inches / 60 lbs
*Fabricated with 1" single return top lip rim

 Qty__ Custom ___"L x ___"W x ___"H
 Qty__ Custom ___"L x ___"W x ___"H
 Qty__ Custom ___"L x ___"W x ___"H
 Qty__ Custom ___"L x ___"W x ___"H

1/2" Dia. Drainage Holes

Yes No TBD





1. Framing and Approved Substrate (by others)
2. Rollershield Liquid-applied Air/Water Barrier (LAB)
3. Vertical notched adhesive and drainage channel
4. Master Wall Insulation Board
5. Master Wall Base Coat
6. Master Wall Mesh
7. CIFS® Brick Finish

07.23.2025 RDL 25084R
 THE VIEW | LAKEWOOD, OH | EIFS

This drawing, specification, detail, design and arrangement is prepared solely for the use of the architect. It shall remain the property of the architect. No part of this drawing, specification or detail may be copied, reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be responsible for any errors or omissions in this drawing, specification or detail. The architect shall not be responsible for any construction or installation of any system or equipment shown on this drawing, specification or detail.

DiGERONIMO RDL
 DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



Caramel EIFS[®] Brick and Light Smoke EIFS[®] Brick Mortar



Caramel EIFS[®] Brick with Missionside Accent and Light Smoke EIFS[®] Brick Mortar



Greystone EIFS[®] Brick and Light Smoke EIFS[®] Brick Mortar



Lockhart EIFS[®] Brick and Light Pewter EIFS[®] Brick Mortar



Carbon EIFS[®] Brick and Light Smoke EIFS[®] Brick Mortar



Cordova EIFS[®] Brick with Covington and Smoky Tan Accents and Mist EIFS[®] Brick Mortar



Lockhart EIFS[®] Brick with North Hampton Accent and Light Smoke EIFS[®] Brick Mortar



Maple Ridge EIFS[®] Brick with Black Accent and Mist EIFS[®] Brick Mortar



Cordova EIFS[®] Brick with Earthtone Accent and Light Pewter EIFS[®] Brick Mortar



Cordova EIFS[®] Brick and Light Smoke EIFS[®] Brick Mortar



Maple Ridge EIFS[®] Brick with Carbon Accent and Light Smoke EIFS[®] Brick Mortar



Maple Ridge EIFS[®] Brick with Cordova Accent and Light Pewter EIFS[®] Brick Mortar

07.23.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | EIFS BRICK

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



Maple Ridge CIFS[®] Brick and Light Smoke CIFS[®] Brick Mortar



Maple Ridge CIFS[®] Brick with Lockhart Accent and Light Smoke CIFS[®] Brick Mortar



North Hampton CIFS[®] Brick with Black and Almond Accents and Light Pewter CIFS[®] Brick Mortar



North Hampton CIFS[®] Brick and Light Pewter CIFS[®] Brick Mortar



Mineral Grey CIFS[®] Brick with Greystone and Almond Accents and Light Pewter CIFS[®] Brick Mortar



Mineral Grey CIFS[®] Brick and Light Smoke CIFS[®] Brick Mortar



Sierra CIFS[®] Brick with Black Accent and Mist CIFS[®] Brick Mortar



Sierra CIFS[®] Brick and Light Smoke CIFS[®] Brick Mortar



Mission Suede CIFS[®] Brick with Cajun Mist Accent and Mist CIFS[®] Brick Mortar



Mission Suede CIFS[®] Brick and Mist CIFS[®] Brick Mortar



Smoky Tan CIFS[®] Brick and Light Smoke CIFS[®] Brick Mortar



Vintage Tan CIFS[®] Brick with Cordova and Black Accents and Light Smoke CIFS[®] Brick Mortar

07.23.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | EIFS BRICK

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



Vintage Tan CIFS[®] Brick with Earthtone Accent and Light Smoke CIFS[®] Brick Mortar



Vintage Tan CIFS[®] Brick and Light Smoke CIFS[®] Brick Mortar

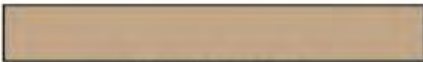


Woodruff CIFS[®] Brick and Light Smoke CIFS[®] Brick Mortar



Woodruff CIFS[®] Brick with Smoky Tan Accent and Mist CIFS[®] Brick Mortar

CIFS[®] Brick Mortar Colors



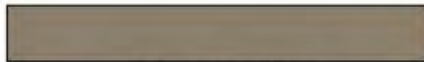
Light Buff CIFS[®] Brick Mortar



Light Smoke CIFS[®] Brick Mortar



Mist CIFS[®] Brick Mortar



Light Pewter CIFS[®] Brick Mortar

07.23.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | EIFS BRICK

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DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)

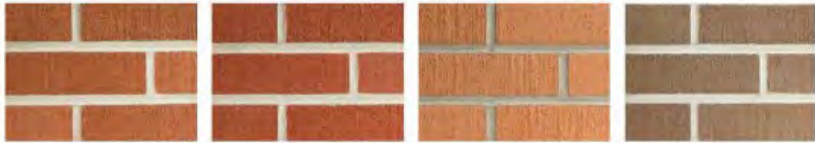
COLORS



CANNON DAWN | 985BST CASTLE WALL | 930BST CITADEL | 940BST COUNTRY COTTAGE | 915BST



EARTHEN VESSEL | 935BST GATEHOUSE | 910BST HARBOR SIDE | 920BST HERITAGE HOUSE | 965BST

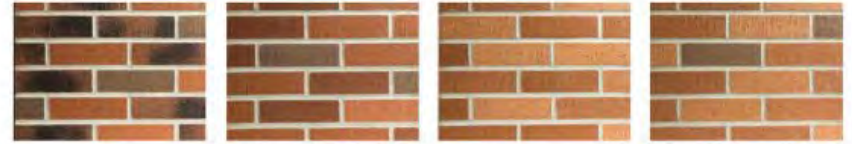


HOMELAND | 950BST PATRIOT RED | 970BST PROVINCIAL PARK | 960BST RIVERBANK | 900BST



RUSTIC VILLA | 845BST SCHOOLYARD | 925BST TOWN SQUARE | 980BST VALLEY FIELD | 975BST

BLENDS



CORINTH
99% HERITAGE HOUSE FLASHED, 3% HERITAGE HOUSE, 10% RIVERBANK

GEORGETOWN
95% HERITAGE HOUSE, 30% VALLEY FIELD, 3% RIVERBANK

LITTLETON
100% PROVINCIAL PARK, 5% COUNTRY COTTAGE

ROCKLAND
95% PROVINCIAL PARK, 30% COUNTRY COTTAGE, 10% RIVERBANK

TEXTURES



SMOOTH VELOUR WIRE CUT COARSE CUT

EFFECTS



IRON SPOT FLASHED FLASHED WITH IRON SPOT

07.23.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | EIFS BRICK

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



07.23.2025 RDL 25084R
 THE VIEW | LAKEWOOD, OH | EIFS BRICK POORLY DONE

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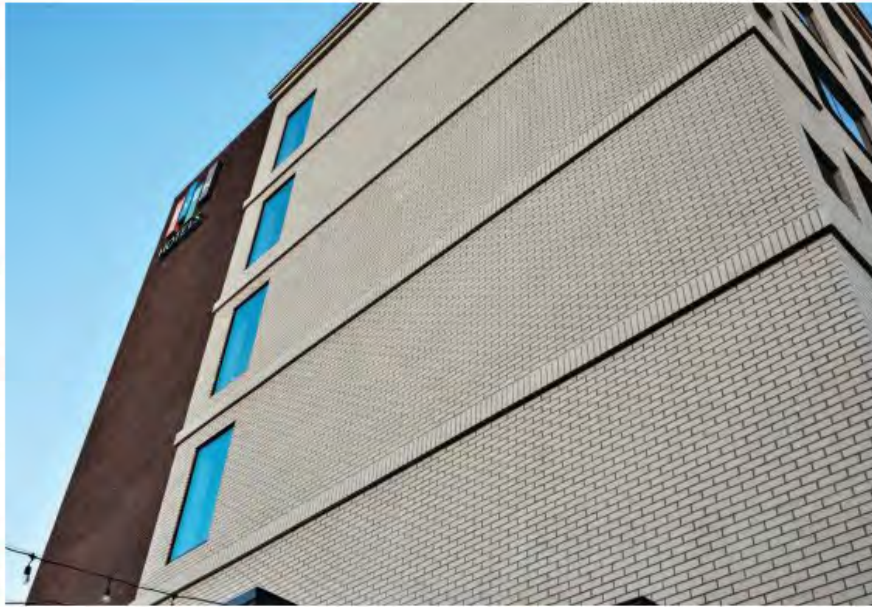
07.23.2025 RDL 25084R
 THE VIEW | LAKEWOOD, OH | EIFS BRICK SAMPLE TO MATCH

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DiGERONIMO RDL
 DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



07.23.2025 RDL 25084R
THE VIEW | LAKEWOOD, OH | BUILT EXAMPLES

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



07.23.2025 RD.L 25084R

THE VIEW | LAKEWOOD, OH | BUILT EXAMPLES

The drawings, specifications, notes, schedules and/or associated information herein are not and cannot be construed as a contract. All drawings are subject to change without notice.

DiGERONIMO RDL
DEVELOPMENT



Docket No. 08-72-25 (13815 & 13901 Detroit)



07.23.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | BUILT EXAMPLES

DiGERONIMO RDL
DEVELOPMENT



Docket No. 08-72-25 (13815 & 13901 Detroit)

Alternate 1



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | DETROIT AVE OVERALL VIEW | ALTERNATE 1

The drawings, specifications, lines, design and arrangements represented herein are and shall remain the property of the architect. No part of shall be copied, distributed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these conditions. Further discussion or these drawings shall have precedence over paper dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office shall be notified of any variances from the dimensions and conditions shown by these drawings.

DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | EAST BUILDING RESIDENTIAL ENTRY | ALTERNATE 1

DiGERONIMO RDL
DEVELOPMENT ARCHITECTS

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Docket No. 08-72-25 (13815 & 13901 Detroit)



EAST ELEVATION



WEST ELEVATION



NORTHWEST ELEVATION



NORTH ELEVATION

- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

08.28.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | ELEVATIONS | EAST BUILDING | ALTERNATE 1

The drawings, specifications, lists, legends and arrangements represented hereby are and shall remain the property of the architect. No part of shall be copied, displayed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and delivered without the written consent of the architect. Users contract with these drawings or specifications shall constitute evidence of acceptance of these conditions. Further reproduction or these drawings shall be prohibited under various circumstances. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office shall be notified of any acceptance from the dimensional and conditions shown by these drawings.

DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



EAST ELEVATION
08-10



SOUTH ELEVATION
08-11



NORTH ELEVATION
08-12

- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

08.29.2025 RDL 25084R
 THE VIEW | LAKEWOOD, OH | ELEVATIONS | EAST BUILDING | ALTERNATE 1

The drawings, specifications, ideas, design and arrangements represented hereby are and shall remain the property of the architect. No part of them shall be copied, disseminated to others or used in conjunction with any work or project other than the specific project for which they have been prepared and approved without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these conditions. Without alteration or these drawings shall have precedence over former drawings. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this shall not be voided of any variance from the dimensions and conditions shown by these drawings.

DiGERONIMO RDL
 DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | ELEVATIONS | WEST BUILDING | ALTERNATE 1

The drawings, specifications, ideas, design and arrangements represented hereby are and shall remain the property of the architect. No part shall be copied, distributed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the express consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these conditions. Further, compliance with these drawings shall have precedence over spoken dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and the office need be notified of any variations from the dimensions and conditions shown by these drawings.

DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



WEST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

3.29.2025 RDL 25084R
 THE VIEW | LAKEWOOD, OH | ELEVATIONS | WEST BUILDING | ALTERNATE 1

DiGERONIMO RDL
 DEVELOPMENT ARCHITECTS

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Docket No. 08-72-25 (13815 & 13901 Detroit)

Alternate 2



08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | RENDERING | DETROIT AVE OVERALL VIEW | ALTERNATE 2

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



08.29.2025 RDL 25084R
 THE VIEW | LAKEWOOD, OH | RENDERING | EAST BUILDING RESIDENTIAL ENTRY | ALTERNATE 2

DiGERONIMO RDL
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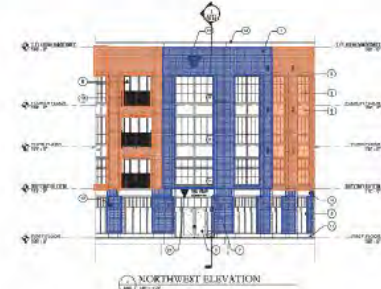
Docket No. 08-72-25 (13815 & 13901 Detroit)



EAST ELEVATION



WEST ELEVATION



NORTHWEST ELEVATION



NORTH ELEVATION

- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | ELEVATIONS | EAST BUILDING | ALTERNATE 2

The drawings, specifications, plans, design and arrangements represented hereby are and shall remain the property of the architect. No part of shall be copied, distributed or used in conjunction with any work or project other than the specific project for which they have been prepared and approved without the written consent of the architect. Work ordered with these drawings or specifications shall conform to the conditions and provisions of these conditions. Within dimensions or those drawings shall have precedence over stated dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office will be notified of any variations from the dimensions and conditions shown on these drawings.

DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



EAST ELEVATION
8'-11"



SOUTH ELEVATION
8'-11"



SOUTH ELEVATION
8'-11"

- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

08.29.2025 RDL 25084R

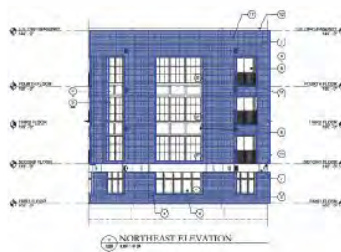
THE VIEW | LAKEWOOD, OH | ELEVATIONS | EAST BUILDING | ALTERNATE 2

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

08.29.2025 RDL 25084R

THE VIEW | LAKEWOOD, OH | ELEVATIONS | WEST BUILDING | ALTERNATE 2

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



WEST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

- 1 - Masonry Veneer
- 2 - Fiber Cement Siding
- 3 - EIFS
- 4 - Vinyl Siding

08.29.2025 RDL 25084R

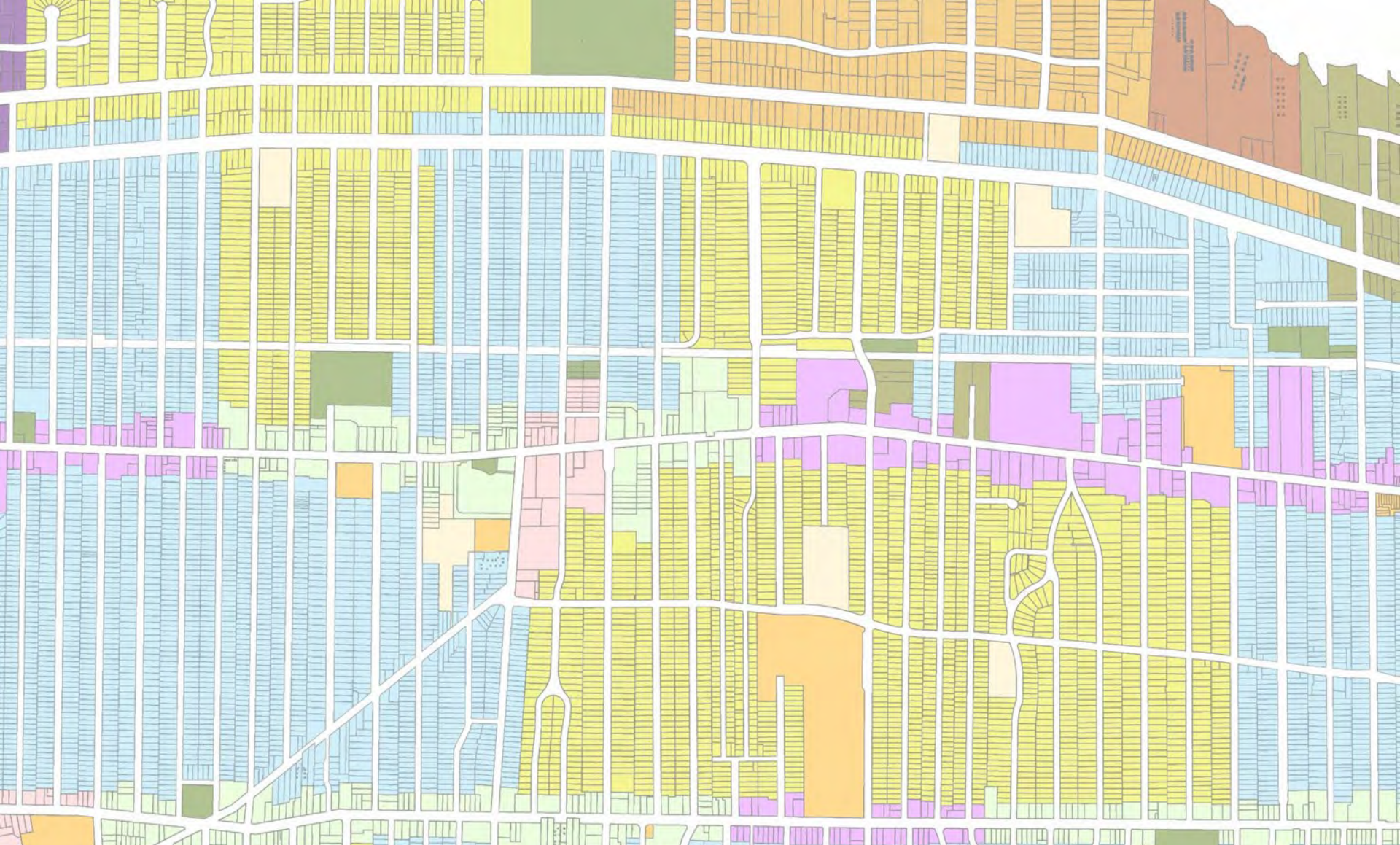
THE VIEW | LAKEWOOD, OH | ELEVATIONS | WEST BUILDING | ALTERNATE 2

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DiGERONIMO RDL
DEVELOPMENT ARCHITECTS



Docket No. 08-72-25 (13815 & 13901 Detroit)



Architectural Board of Review

Sign Review – September 2025

Applicant proposes new signage.

City Notes:

- Applicant proposes signage: 20 sq ft lower wall, 2.5 sq ft (letters, if 6" x 6")
- Max allowed square footage: 22.5 sq ft total, **unclear what window measurements are**
- Total proposed square footage: 22.5 sq ft
- We will need to know how letters and numbers are going to be installed.
- Need to know length and width of each letter or of group of letters
- What is the material of the lettering? If it is to be affixed to the window, is that just a window sign?

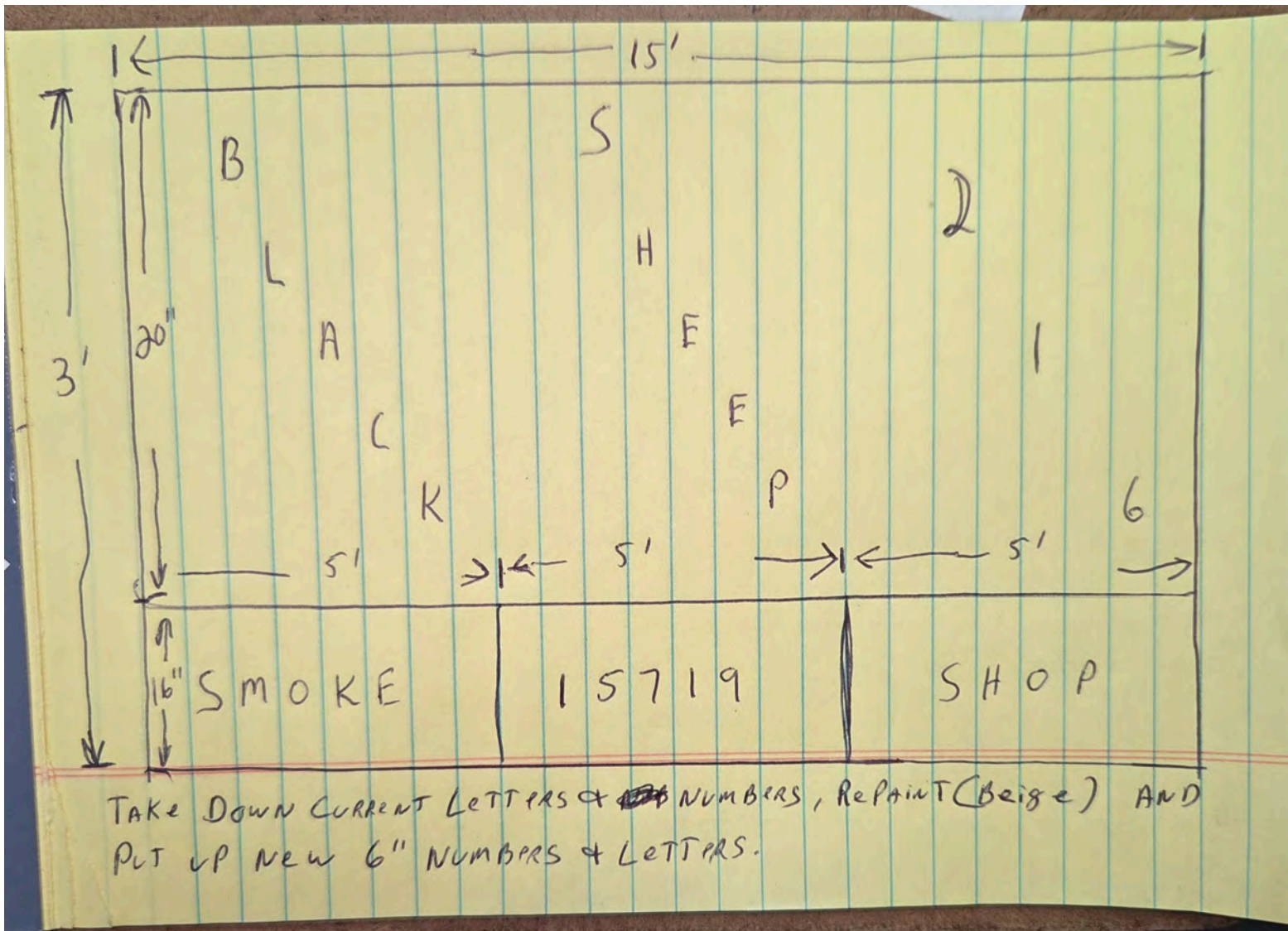


Docket No. 09-73-25 (15719 Madison)

**New Signage – Black Sheep 216 Smoke Shop
Dale Drummon**



Docket No. 09-73-25 (15719 Madison)



Docket No. 09-73-25 (15719 Madison)

Applicant proposes new signage.

City Notes:

- ❑ Applicant proposes 1 vinyl door sign (8.33 sq ft) and 1 vinyl window sign (12 sq ft)
- ❑ Max allowed square footage: 22.5 sq ft overall, 13.15 sq ft for windows, not including door measurement
- ❑ Existing signage: 30 sq ft wall sign
- ❑ Total proposed square footage: **50 sq ft overall**



Docket No. 09-75-25 (18630 Detroit)

New Signage – Barr Jones & Associates
Jason Barr

**BERKSHIRE
HATHAWAY**
HOMESERVICES

LUCIEN REALTY

18630

 **Barr, Jones & Associates** LLP
Attorneys at Law

www.barrjoneslegal.com

FAMILY LAW | DOMESTIC RELATIONS



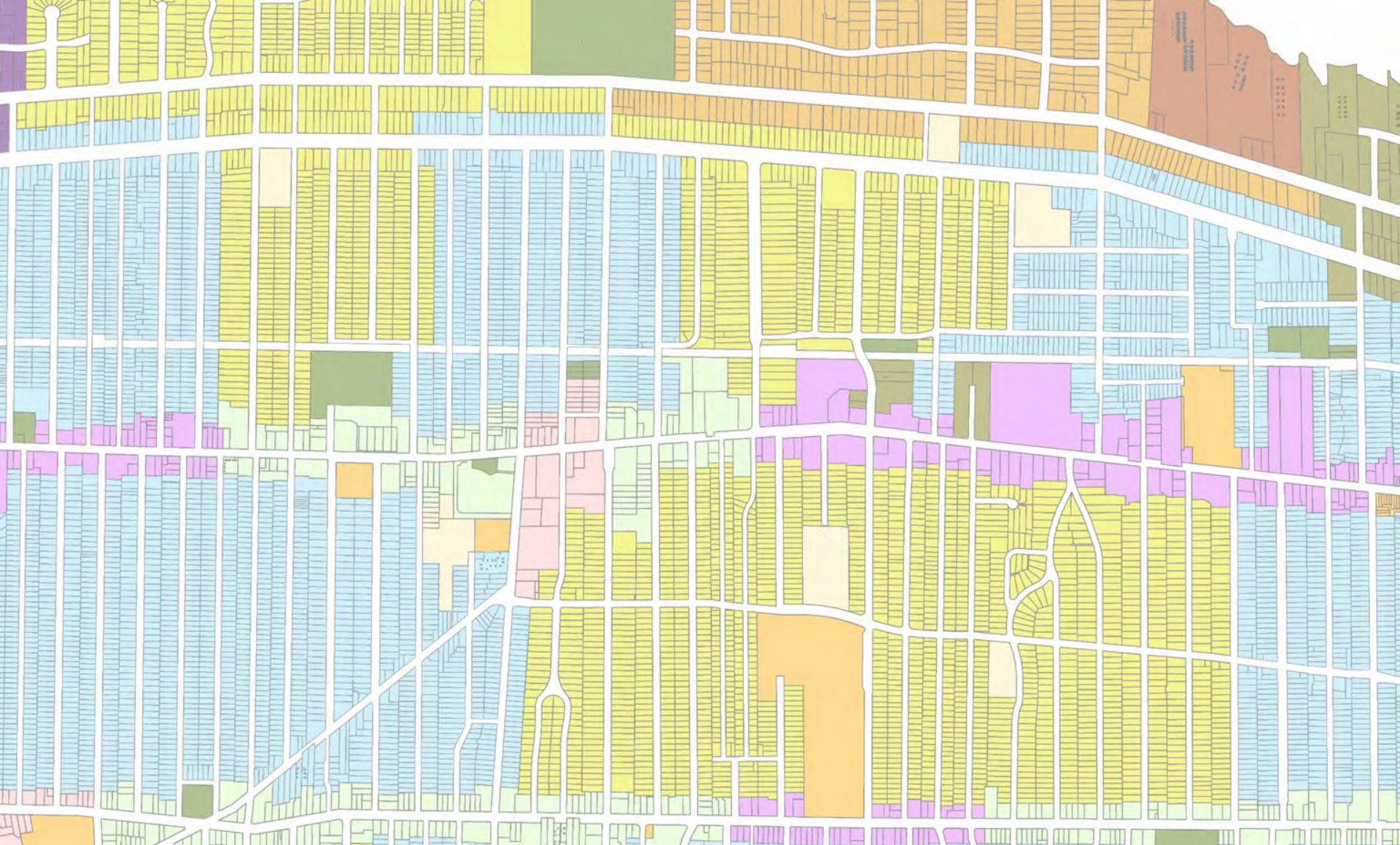
Docket No. 09-75-25 (18630 Detroit)



 **Barr, Jones & Associates** LLP
Attorneys at Law
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Docket No. 09-75-25 (18630 Detroit)



Architectural Board of Review

September 2025

Applicant proposes installation of gas generator.

City Notes:

- materials



Docket No. 09-76-25 (17710 Detroit)

ADA Architects – Natural Gas Generator
Nicholas Pengel



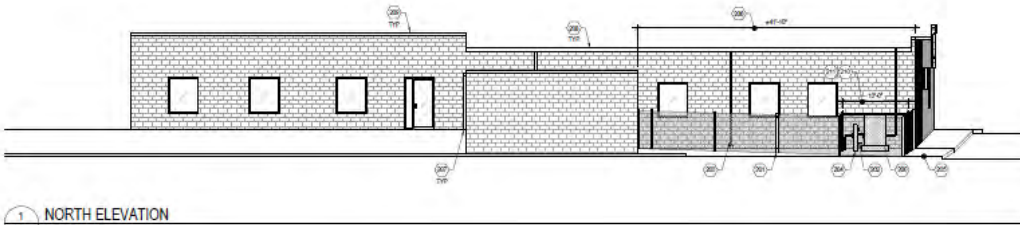
Docket No. 09-76-25 (17710 Detroit)

200 SERIES ELEVATION KEY NOTES

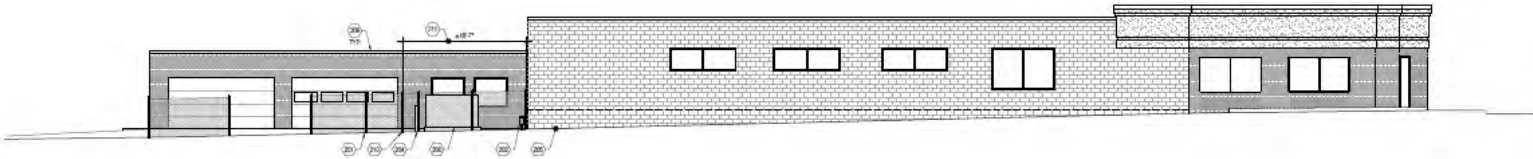
- 200. LOCATION OF NEW GENERATOR.
- 201. LOCATION OF EXISTING CHAIN LINK FENCE TO REMAIN.
- 202. LOCATION OF EXISTING GAS METERS.
- 203. LOCATION OF NEW DOWNPOUT.
- 204. LOCATION OF NEW 6" RISE/6" SLOPE.
- 205. EXISTING CONCRETE PAVEMENT.
- 206. G.C. TO MATCH EXISTING AND RELEVANT ELEVATION TO MATCH EXISTING (N.D.S. TYPICAL FOR EXTENTS OF HWT SPACE AS SHOWN).
- 207. LOCATION OF EXISTING DOWNPOUT. G.C. TO CLEAN DOWNPOUT OF ALL SERIES TO ENSURE PROPER DRAINAGE.
- 208. LOCATION OF EXISTING GUTTER. G.C. TO CLEAN OUTLET OF ALL SERIES TO ENSURE PROPER DRAINAGE.
- 209. EXISTING CURB TO REMAIN.
- 210. NEW PORTION OF CHAIN LINK FENCE.
- 211. NEW BLACK VINYL SLATS INTERLOCK INTO THE FENCE. DIMENSIONED AREA ONLY. (SLATS NOT SHOWN FOR CLARITY)



PHOTO OF EXISTING WEST ELEVATION



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



GENERATOR ADDITION
1770 DETROIT AVENUE
LAKEMOOD, OH 44140

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DO NOT SCALE THESE DRAWINGS

REVISIONS	
NO.	DATE

EXTERIOR ELEVATIONS	
DATE	08/15/25
JOB NO.	25231
A1.1	
SHEET NO.	



Docket No. 09-76-25 (17710 Detroit)

DEMAND RESPONSE READY

Standby Power Rating
 35 kW, 44 kVA, 60 Hz

Demand Response Rating
 35 kW, 44 kVA, 60 Hz

Prime Power Rating
 32 kW, 39 kVA, 60 Hz



Image used for reference purposes only.

BTUL12 [http://www.generac.com] 1000L 360,000HR 48 9000 3 250,000HR



Codes and Standards

Not all codes and standards apply to all configurations. Contact factory for details.

UL2200, UL6200, UL1236, UL489

CSA C22.2

BS5514 and DIN 6271

SAE J1349

NFPA 37, 70, 99, 110

NEC700, 701, 702, 708

ISO 3046, 7637, 8528, 9001

NEMA ICS10, MG1, 250, ICS6, AB1

ANSI C82.41

IBC 2009, CBC 2010, IBC 2012,
 ASCE 7-05, ASCE 7-10,
 ICC-ES AC-156 (2012)

Powering Ahead

Generac ensures superior quality by designing and manufacturing most of its generator components, such as alternators, enclosures, control systems and communications software. Generac also makes its own spark-ignited engines, and you'll find them on every Generac gaseous-fueled generator. We engineer and manufacture them from the block up — all at our facilities throughout Wisconsin. Applying natural gas and LP-fueled engines to generators requires advanced engineering expertise to ensure reliability, durability and necessary performance. By designing specifically for these dry, hotter-burning fuels, the engines last longer and require less maintenance. Building our own engines also means we control every step of the supply chain and delivery process, so you benefit from single-source responsibility.

Plus, Generac Industrial Power's distribution network provides all parts and service so you don't have to deal with third-party suppliers. It all leads to a positive owner experience and higher confidence level. Generac spark-ignited engines give you more options in commercial and industrial generator applications as well as extended run time from utility-supplied natural gas.

DEMAND RESPONSE READY

STANDARD FEATURES

ENGINE SYSTEM

- Oil Drain Extension
- Air Cleaner
- Level 1 Fan and Belt Guards (Open Set Only)
- Stainless Steel Flexible Exhaust Connection
- Factory Filled Oil and Coolant
- Critical Sencor
- Oil Temperature Sender with Alarm
- Air Filter Restriction Indicator

Fuel System

- Fuel Line - NPT Connection
- Primary and Secondary Fuel Shutoff

Cooling System

- Closed Coolant Recovery System
- UV/Zone Resistant Hoses
- Factory-Installed Radiator
- 50/50 Ethylene Glycol Antifreeze
- Radiator Drain Extension

Electrical System

- Battery Charging Alternator
- Battery Cables
- Battery Tray
- Rubber-Booted Engine Electrical Connections
- Solenoid Activated Starter Motor

ALTERNATOR SYSTEM

- UL2200 GEI/Protect™
- Class H Insulation Material
- 2/3 Pitch
- Skewed Stator
- Brushless Excitation
- Sealed Bearing
- Full Load Capacity Alternator

GENERATOR SET

- Internal Genset Vibration Isolation
- Separation of Circuits - High/Low Voltage
- Separation of Circuits - Multiple Breakers
- Wrapped Exhaust Piping
- Standard Factory Testing
- 2 Year Limited Warranty (Standby and Demand Response Rated Units)
- 1 Year Limited Warranty (Prime Rated Units)

ENCLOSURE (If Selected)

- Rust-Proof Fasteners with Nylon Washers to Protect Finish
- High Performance Sound-Absorbing Material (Sound Attenuated Enclosures)
- Gasketed Doors
- Upward Facing Discharge Hoods (Radiator and Exhaust)
- Stainless Steel Lift Off Door Hinges
- Stainless Steel Lockable Handles
- FlannoCoat™ - Textured Polyester Powder Coat Paint

CONTROL SYSTEM



Power Zone® Pro Controller

- NFPA 110 Level 1 Compliant
- Engine Protective Functions
- Alternator Protective Functions
- Digital Engine Governor Control
- Digital Voltage Regulator
- Multiple Programmable Inputs and Outputs
- Remote Display Capability

- Remote Communication via Modbus® RTU, Modbus TCP/IP, and Ethernet 10/100
- Alarm and Event Logging with Real Time Stamping
- Expandable Analog and Digital Inputs and Outputs
- Remote Wireless Software Update Capable
- Wi-Fi®, Bluetooth®, BMS, and Remote Telemetry
- Built-in Programmable Logic Eliminates the Need for External Controllers Under Most Conditions
- Programmable I/O Channel Properties
- Built-in Diagnostics

Alarms and Warnings

- High/Low Oil Pressure
- High/Low Coolant Level
- High/Low Coolant Temperature
- Sender/Sensor Failure
- High/Low Oil Temperature
- Over Total kW
- Over/Under Speed
- Over/Under Voltage
- Over/Under Frequency
- Over Current
- High/Low Battery Voltage

- Battery Charger Current
- Phase to Phase and Phase to Neutral Short Circuits (P-F Algorithm)

4.3 inch Color Touch Screen Display

- Resistive Color Touch Screen
- Easily Identifiable Icons
- Multi-Lingual
- On Screen Editable Parameters
- Key Function Monitoring
- Three Phase Voltage, Amperage, kW, kVA, and kWd
- Selectable Line to Line or Line to Neutral Measurements
- Frequency
- Engine Speed
- Engine Coolant Temperature
- Engine Oil Pressure
- Engine Oil Temperature
- Battery Voltage
- Hourmeter
- Warning and Alarm Indication
- Diagnostics
- Maintenance Events/Information



Docket No. 09-76-25 (17710 Detroit)

Applicant proposes new development.

City Notes:

N/A

Request to Defer

N The North Coast College

11730 Detroit Ave



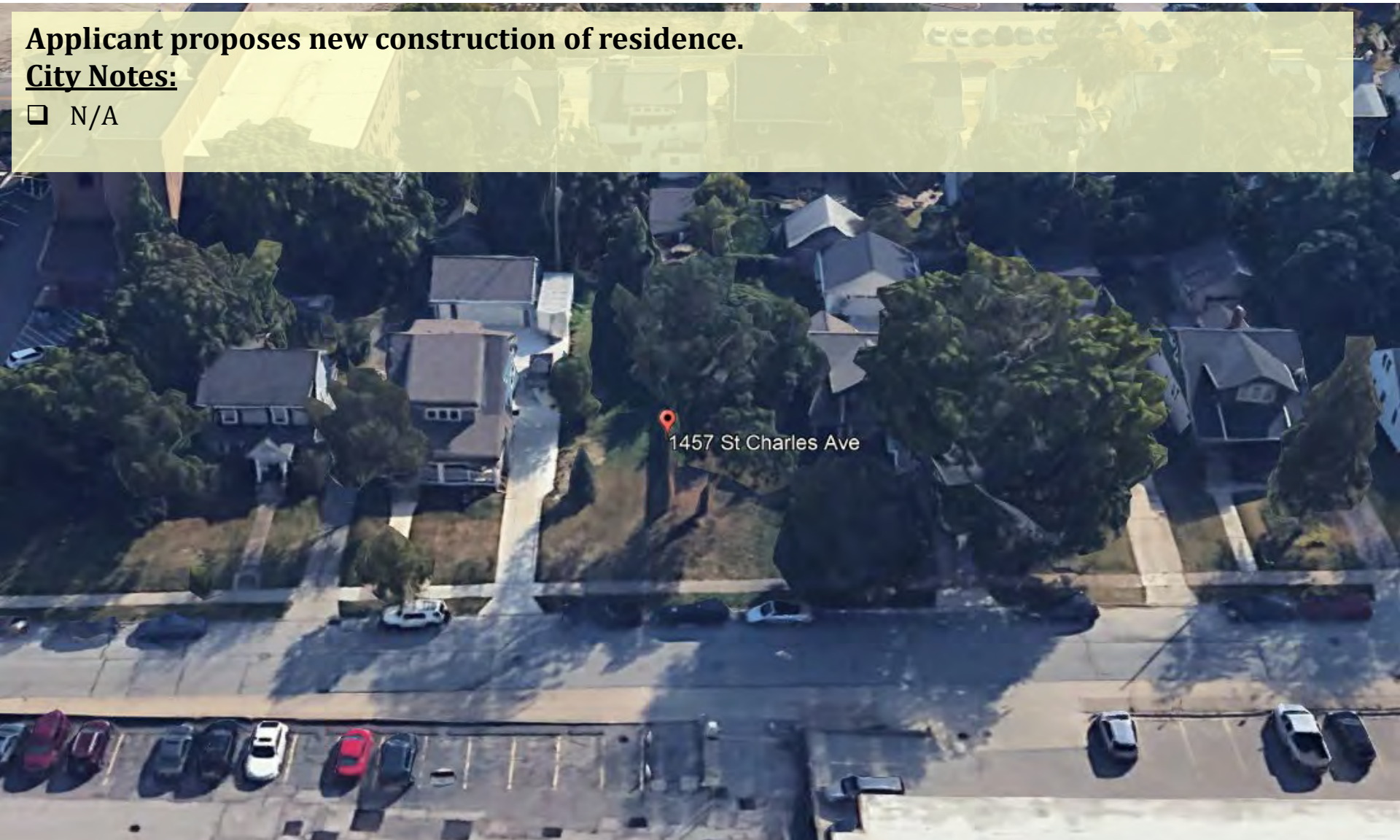
Docket No. 09-77-25 (11730 Detroit)

**The North Coast Apartments – New Development
Milan Milasinovic**

Applicant proposes new construction of residence.

City Notes:

N/A



1457 St Charles Ave



Docket No. 09-78-25 (1457 St. Charles)

**Residence – New Construction
Brandon Young**



Existing Site Photos

Morse Residence

1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



Adjacent North
1451 St. Charles Ave. Lakewood, Oh 44107

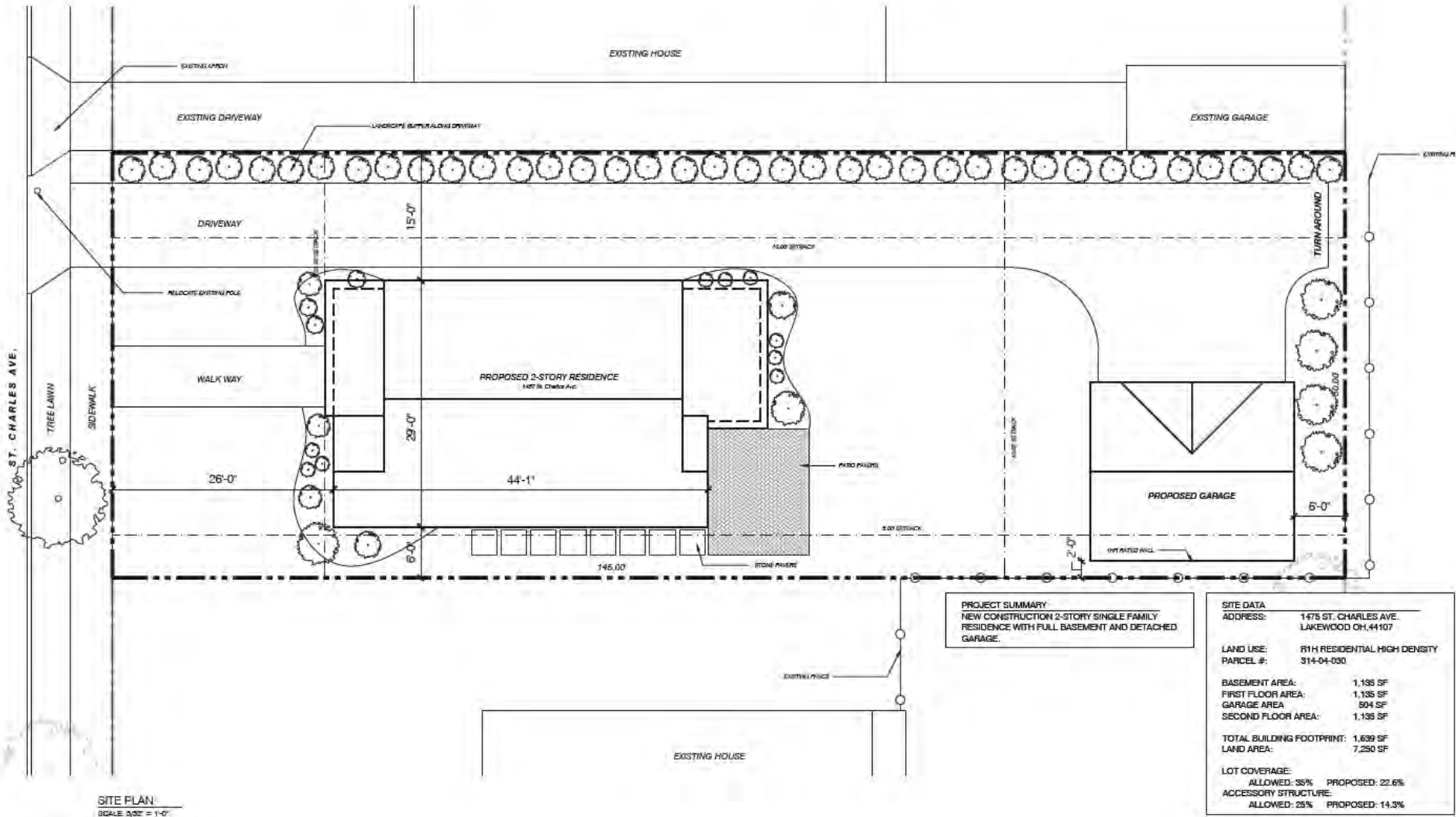
Adjacent Residence
Morse Residence
1457 St. Charles Ave. Lakewood, Oh 44107



Adjacent South
1461 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



SITE PLAN
 SCALE 1/32" = 1'-0"

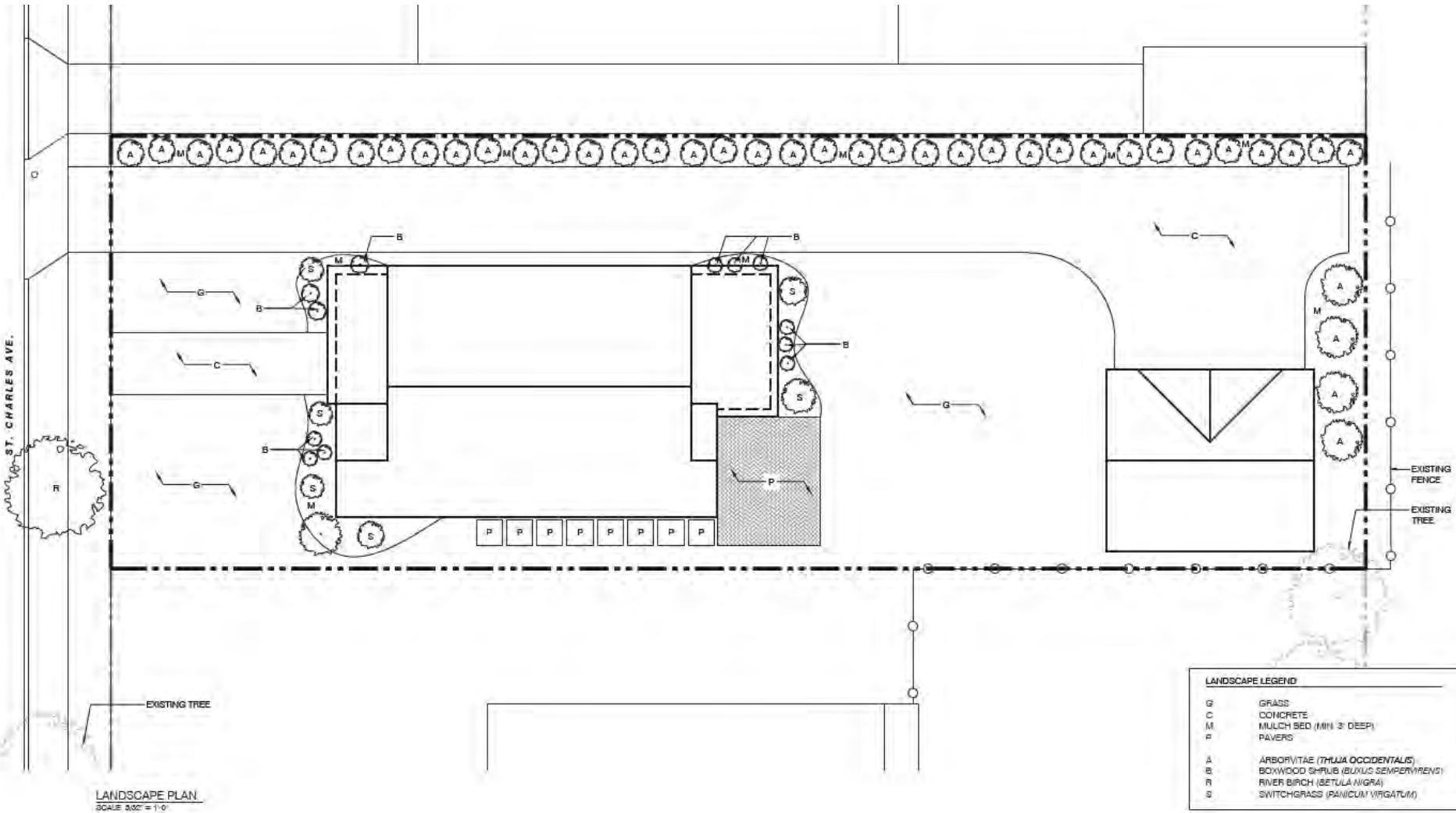
Proposed Site Plan

Morse Residence
 1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)





LANDSCAPE PLAN
SCALE 3/32" = 1'-0"

LANDSCAPE LEGEND	
G	GRASS
C	CONCRETE
M	MULCH BED (MIN 3" DEEP)
P	PAVERS
A	ARBORVITAE (<i>THUJA OCCIDENTALIS</i>)
B	BOXWOOD SHRUB (<i>BUXUS SEMPERVIRENS</i>)
R	RIVER BIRCH (<i>BETULA NIGRA</i>)
S	SWITCHGRASS (<i>PANICUM VIRGATUM</i>)

Proposed Landscape Plan
Morse Residence
 1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



Front View 1

Morse Residence

1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



Front View 2

Morse Residence

1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



Front View 3

Morse Residence

1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



Rear View 1
Morse Residence
1457 St. Charles Ave. Lakewood, Oh 44107



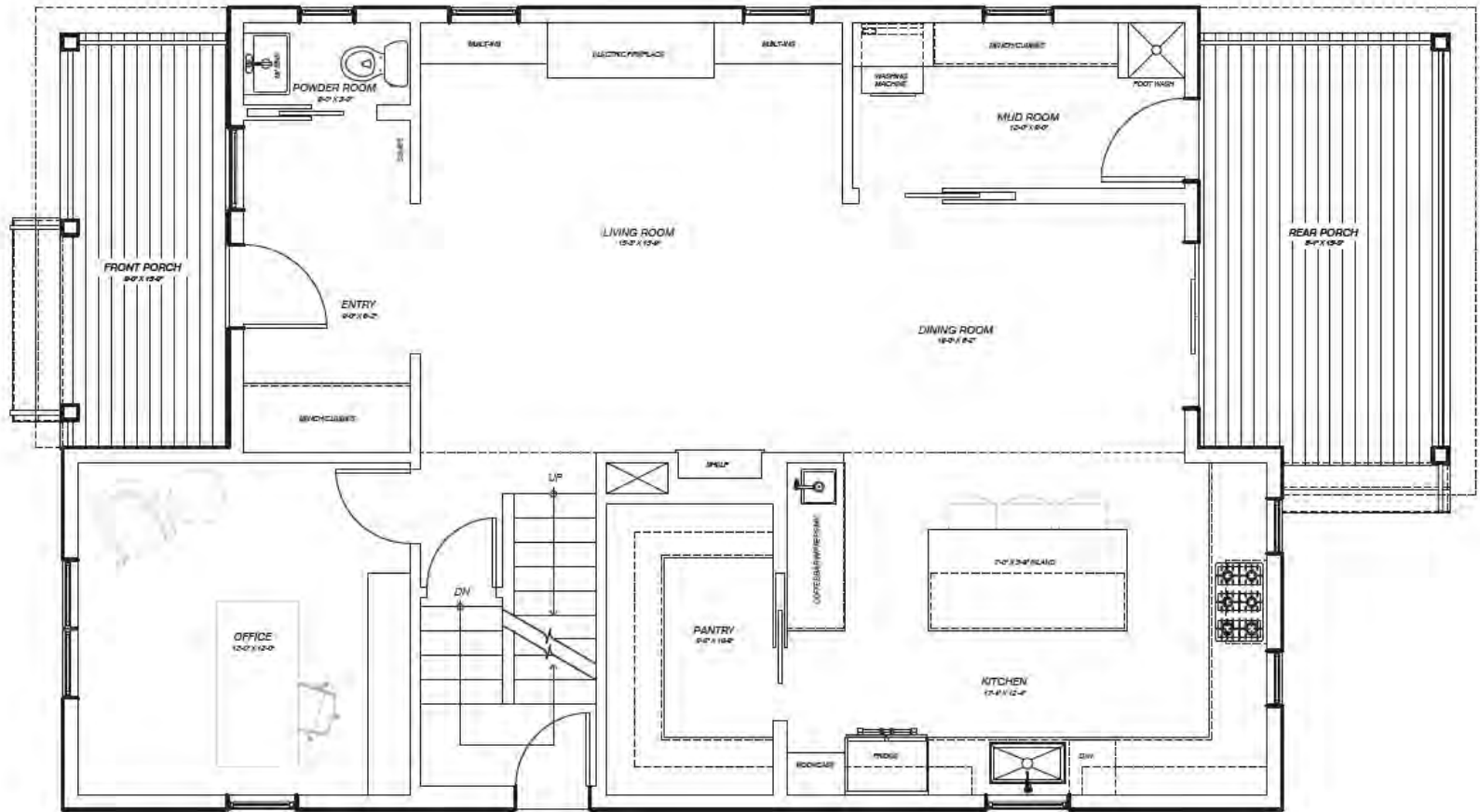
Docket No. 09-78-25 (1457 St. Charles)



Rear View 2
Morse Residence
1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

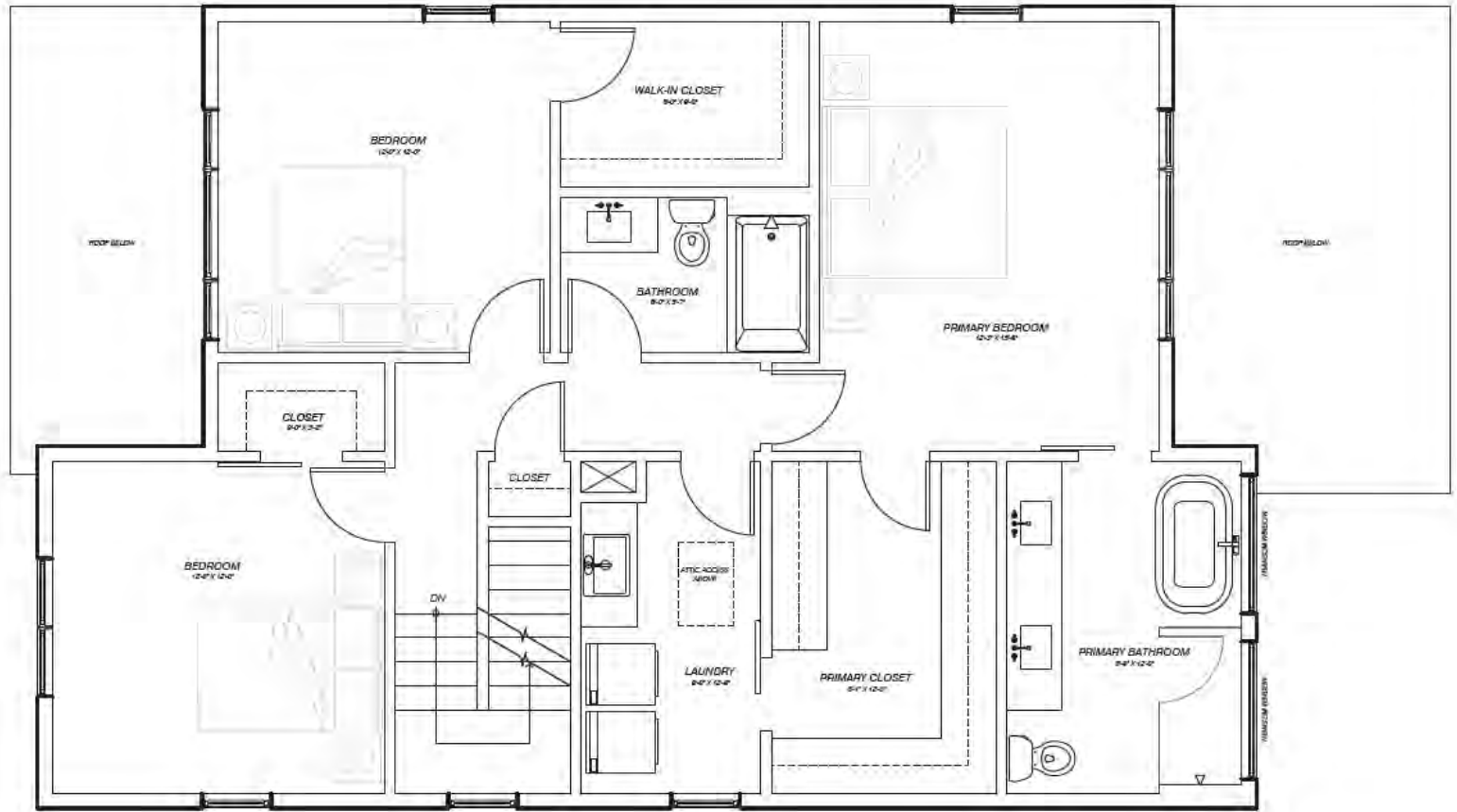
Proposed 1st Floor

Morse Residence

1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Proposed 2nd Floor

Morse Residence
1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



Proposed Elevations

Morse Residence

1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)





Proposed Elevations

Morse Residence

1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)





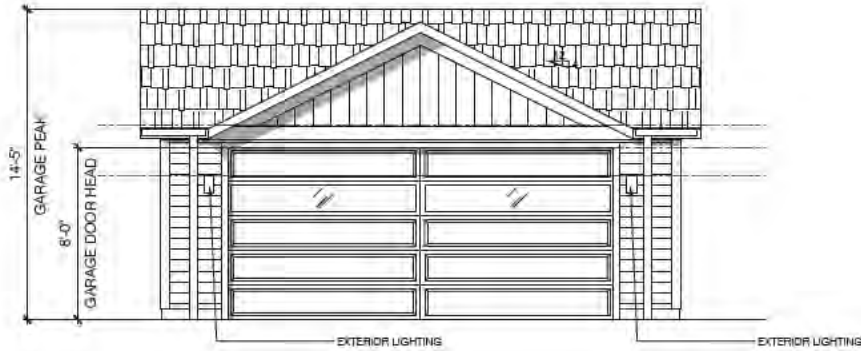
Proposed Elevations

Morse Residence

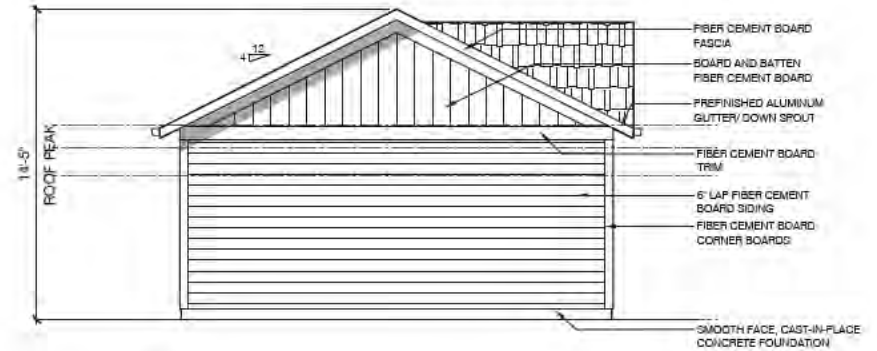
1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



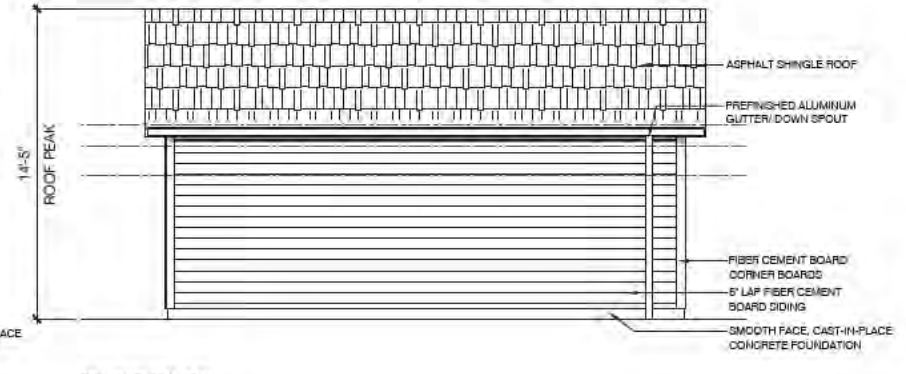
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

Proposed Elevations

Morse Residence
1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)



Light Blue Color



Wood Post and Metal Roof



Front Door



Metal Rail



Dark Blue Color



Lap/Board + Batten Cladding



Contemporary Exterior Lighting

Materials

Morse Residence
1457 St. Charles Ave. Lakewood, Oh 44107



Docket No. 09-78-25 (1457 St. Charles)

Applicant proposes modification of existing front dormer, window replacement, and rear addition to single family home.

City Notes:

N/A



Docket No. 09-79-25 (17814 Riverside)
Residence – Exterior Alterations and Rear Addition
Brandon Young





LOCATION OF PROPOSED MUDROOM



NORTH FACE OF EXISTING HOUSE



EXISTING HOUSE DORMER



SOUTH FACE OF EXISTING HOUSE



General Notes:

ISSUE:	DATE:
ADD SUBMISSION	08-19-25

YOUNG DESIGN STUDIO
 15614 Central Ave.
 Lakewood, OH 44107
www.youngdesignstudio.com
 p 714.448.9212
 Architecture | Interiors | Urban Strategy

Weisel Residence

17814 Riverside Dr.
 Lakewood, OH, 44107

Drawing Title
EXISTING PHOTOS

NO. 01	08-19-2025

A0-02



Docket No. 09-79-25 (17814 Riverside)

Home Addition for the
Weisel Residence

17814 Riverside Dr.
Lakewood, OH 44107



Owner:
Chris & Anne Weisel
17814 Riverside Dr.
Lakewood, OH 44107

Architect:
Young Design Studio LLC
15814 Denon Ave
Lakewood, OH 44107
330-620-3536

Contractor:
Ohio North Construction
3535 N. Woods Lane Rd
Richfield, OH 44126
330-551-0136

Structural Engineer:
Cramer Engineering LLC
200 N. Cole Richardson
PO Box 5419
Fairport, OH 44334
330-962-0333

DRAWING INDEX

- T1-01 COVER SHEET
- 40-01 GENERAL NOTES
- 40-02 EXISTING CONDITION PHOTOS
- 45-01 ARCHITECTURAL SITE PLAN
- 41-00 FOUNDATION PLAN
- 41-01 CONSTRUCTION PLANS
- 41-02 CONSTRUCTION PLANS
- 41-03 ROOF PLAN
- 43-01 DOOR/Window DETAILS

ABBREVIATIONS

1/4" = 1'-0"	1/8" = 1'-0"	1/16" = 1'-0"	1/32" = 1'-0"	1/64" = 1'-0"	1/128" = 1'-0"
1/16" = 1'-0"	1/32" = 1'-0"	1/64" = 1'-0"	1/128" = 1'-0"	1/256" = 1'-0"	1/512" = 1'-0"
1/512" = 1'-0"	1/1024" = 1'-0"	1/2048" = 1'-0"	1/4096" = 1'-0"	1/8192" = 1'-0"	1/16384" = 1'-0"
1/16384" = 1'-0"	1/32768" = 1'-0"	1/65536" = 1'-0"	1/131072" = 1'-0"	1/262144" = 1'-0"	1/524288" = 1'-0"
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LOCATION OF PROPOSED MUDROOM



NORTH FACE OF EXISTING HOUSE



EXISTING HOUSE DORMER



SOUTH FACE OF EXISTING HOUSE



General Notes:

ISSUE	DATE
APP SUBMISSION	08-18-23



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Weisel Residence

17814 Riverside Dr.
 Lakewood, OH, 44107

Drawing Title:

EXISTING PHOTOS

Project	Date
17814	08-19-2023
Revision	Revision
Sheet	A0-02
Architect	
Project	



Docket No. 09-79-25 (17814 Riverside)



General Notes:

ISSUES	DATE
ASB SUBMISSION	08-19-25

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Drawing Title:
SITE PLAN

Project:	17814	Date:	08-19-2025
Revision:		Author:	
Scale:		Checker:	
Sheet:	AS-01	Plotter:	



SITE PLAN
Scale: 1/8" = 1'-0"



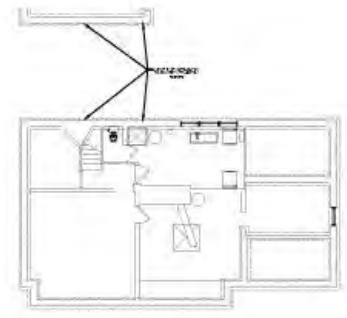
Docket No. 09-79-25 (17814 Riverside)



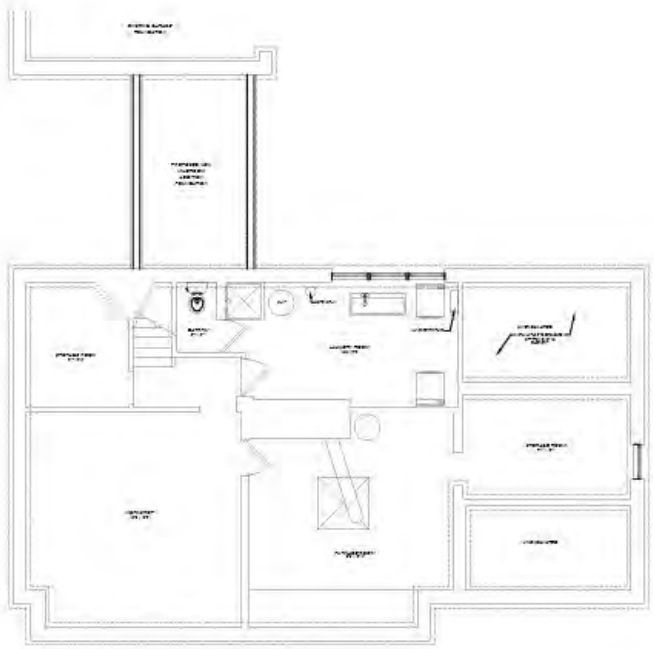
General Notes:

ISSUES	DATE
ASB SUBMISSION	08-18-25

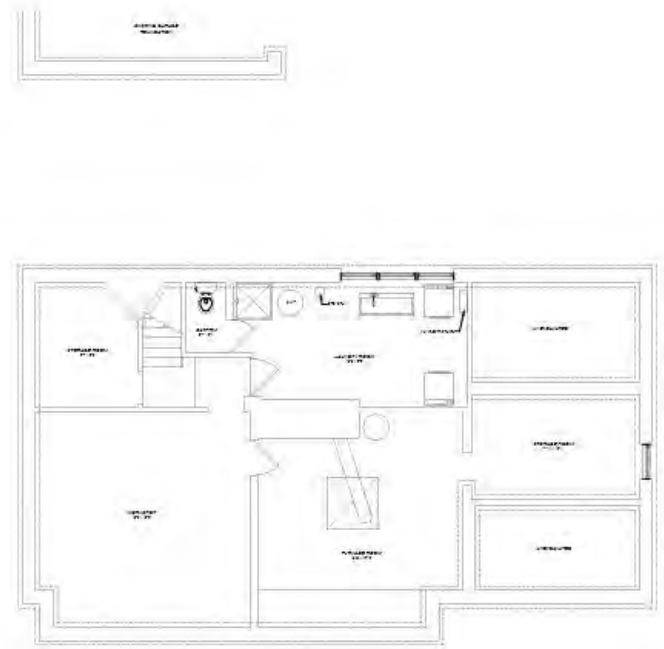
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 414-484-8877
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2 BASEMENT FLOOR DEMO PLAN
 SCALE: 1/2" = 1'-0"



2 PROPOSED BASEMENT PLAN
 SCALE: 1/2" = 1'-0"



1 EXISTING BASEMENT FLOOR PLAN
 SCALE: 1/2" = 1'-0"

Weisel Residence

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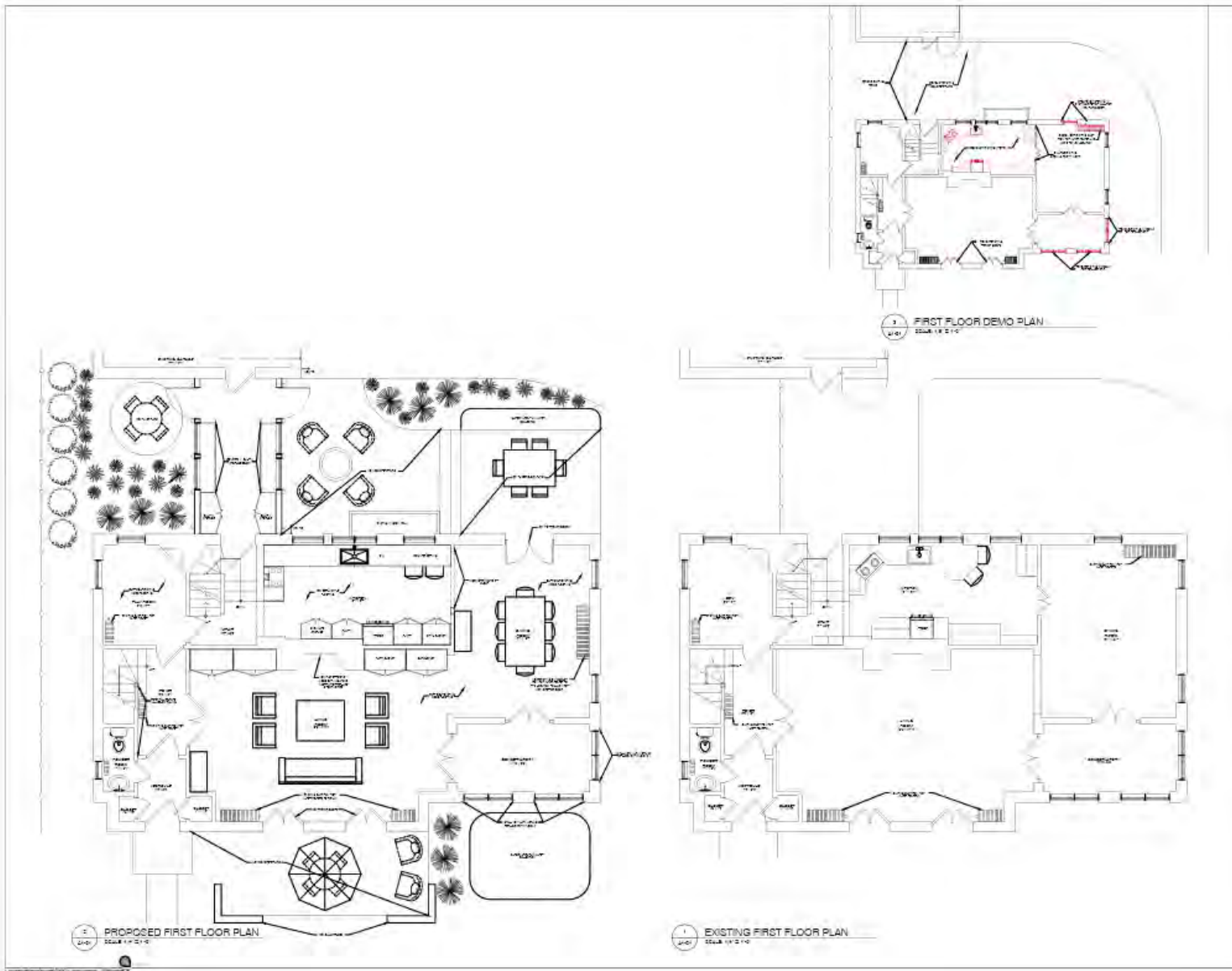
Drawing Title:
BASEMENT FLOOR PLAN

Project: 17814
 Date: 08-18-2025

Sheet:
A1-00



Docket No. 09-79-25 (17814 Riverside)



General Notes:

ISSUE	DATE
APP SUBMISSION	08-18-23

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Drawing Title:
FIRST FLOOR PLAN

Project No: N04
 Date: 08-18-2023

Sheet No: **A1-01**



Docket No. 09-79-25 (17814 Riverside)



Scale 1/8" = 1'-0"

ISSUE	DATE
1st SUBMISSION	06-16-23



Weisel Residence

17814 Riverside Dr.
Lakewood, OH 44107

Drawing Title
SECOND FLOOR PLAN

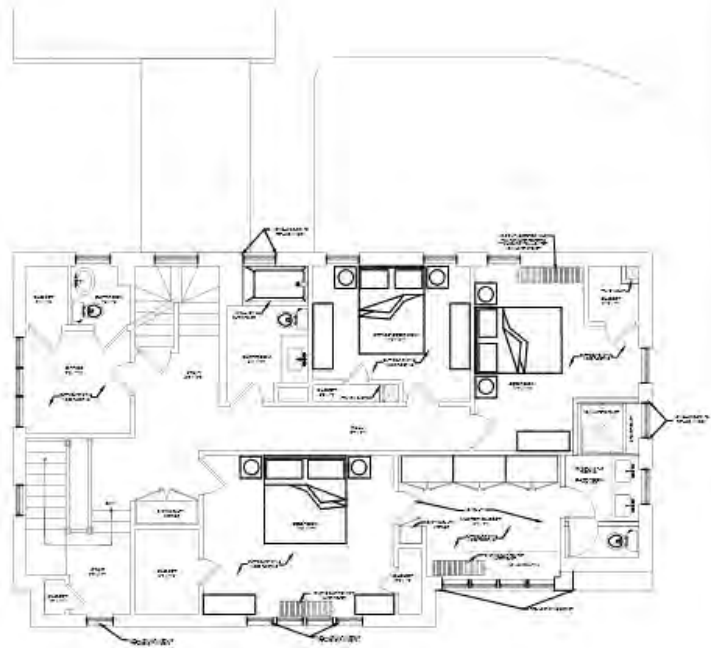
DATE	05-19-2023
PROJECT	
NO.	A1-02



2 SECOND FLOOR DEMO PLAN
SCALE 1/8" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



3 EXISTING SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



Docket No. 09-79-25 (17814 Riverside)

GENERAL NOTES:

1. ALL EXISTING FRAMING AND STRUCTURAL CONDITIONS MUST BE VERIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. THIS DETAIL WAS DEVELOPED PRIOR TO ANY DEMOLITION AND ASSUMES EXISTING CONDITIONS THAT ARE TYPICAL OF THIS TYPE OF CONSTRUCTION FROM THIS TIME PERIOD. IT IS EXPECTED THAT FRAMING CONDITIONS AROUND THE EAVES AND RAKES WILL DIFFER FROM THIS PRELIMINARY DRAWING.
2. IF ROTTED WOODEN STRUCTURAL COMPONENTS ARE DISCOVERED DURING DEMOLITION, THE ROTTED COMPONENTS MUST BE REPLACED.
3. GUTTERS, DOWNSPOUTS, AND LEADERS MUST BE ADEQUATELY SIZED TO MANAGE STORMWATER RUNOFF FROM THE ROOF'S SURFACE BASED ON THE ROOF'S SLOPE, LOCAL RAINFALL INTENSITY, AND RUNOFF COEFFICIENT OF THE ROOF COVERING MATERIAL.
4. DO NOT INSULATE THE WALL ASSEMBLIES WITHOUT FURTHER INVESTIGATION OF THE EXISTING CONDITIONS.
5. A MINIMUM OF 40% OF THE TOTAL R-VALUE OF THE ROOF ASSEMBLY MUST BE INSTALLED OUTBOARD AS EXTERIOR ROOF INSULATION FOR CONDENSATION CONTROL IN CLIMATE ZONE 3A. THIS IS ASSUMING THAT THE INDOOR ENVIRONMENT IS OPERATING AT 75°F AT 35% RELATIVE HUMIDITY. IF THE INTERIOR SPACE IS TO OPERATE BEYOND 40% RELATIVE HUMIDITY DURING THE WINTER TIME, THE AMOUNT OF EXTERIOR INSULATION MUST BE INCREASED.
6. NO INTERIOR CLASS I VAPOR RETARDERS SHOULD BE INSTALLED FROM THE RAFTER CAVITIES INWARDS.
7. LIGHT COLORED SHINGLES ARE RECOMMENDED TO REDUCE ROOF SURFACE TEMPERATURES TO PREVENT PREMATURE DEGRADATION.
8. ATMOSPHERICALLY VENTED COMBUSTION EQUIPMENT AND APPLIANCES, SUCH AS HOT WATER HEATERS, FURNACES, BOILERS, AND STOVES MUST BE REPLACED PRIOR TO AIR SEALING THE ROOF ASSEMBLY WITH DIRECT VENTED SYSTEMS OR SUPPLIED WITH ADEQUATE MAKE-UP AIR TO AVOID BACKDRAFTING CARBON MONOXIDE.

NOTE: LAP ICE AND WATERSHIELD OVER GUTTER FLANGE

- (NEW) STRIP OF SELF-ADHERED UNDERLAYMENT (GRADE ICE & WATERSHIELD) BENEATH GUTTER FLANGE
- (NEW) 2x NAILER

NOTE: LAP ICE AND WATERSHIELD OVER SUBFASCIA

- (NEW) HALF ROUND HIGHBACK GUTTER SYSTEM W/ TOP FLANGE

NOTE: DRIP EDGE OR APRON IS NOT REQUIRED WITH HIGHBACK GUTTER SYSTEMS SINCE FLASHING IS INTEGRATED. PROVIDE A DRIP EDGE IF A TRADITIONALLY HUNG GUTTER IS PROVIDED, AND LAP ICE & WATERSHIELD OVER DRIP EDGE.

- (NEW) ASPHALT OR COMPOSITE SHINGLES
- (NEW) SELF-ADHERED UNDERLAYMENT (GRADE ICE & WATERSHIELD)
- (NEW) HURTLER PANEL 1/8" x 10" FASTENERS (REFER TO MANUFACTURER'S FASTENING SCHEDULE)
- MIN. 3/4" PENETRATION BEYOND LEADS EDGE OF OSB SHEATHING
- (NEW) 2 1/2" HURTLER PANEL 1/8" SHIELD (REF. R-12 INSULATED SHEATHING W/ STAGGERED JOINTS INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS)
- (NEW) SELF-ADHERED AIR BARRIER + VAPOR RETARDER (GRADE ICE & WATERSHIELD)
- (NEW) 1/2" OSB SHEATHING

- (NEW) 2x RIDGE NAILER
- (NEW) CORNICE MOLDING TO BE DETERMINED COORDINATE PROFILE + MATERIAL W/ CLIENT
- (NEW) 2x SUBFASCIA
- (NEW) 1/2" x 1/2" SILICONE PENETRATING SEALER (PROGOLD SILICONE PD)
- CONTRACTOR'S VENT

CONDITIONED ATTIC

- (NEW) R-19 BATT INSULATION OF CHOICE (UNFACED OR RAFT FACED) (SILV. FLEECED BATT)
- (NEW) SPRAY APPLIED MEMBRANE (ROUND FOAM BLOCKING) (PROCLAM VEDORA)
- (NEW) RIGID FOAM BLOCKING (XPS, EPS, GRS, POLYISO)
- (NEW) BEAD OF COMPATIBLE CONSTRUCTION ADHESIVE AROUND BLOCKING

1.0 STANDARD ROOF TO WALL DETAIL

	PROJECT ADDRESS:
	17814 RIVERSIDE DRIVE LAKELAND, ONTARIO
PROJECT NAME: 17814 RIVERSIDE	ISSUED: 07-11-20
TITLE: STANDARD ROOF TO WALL DETAIL (ROOF ASSEMBLY CONVERSION)	DATE: 08/02/2020
	REV. # / REVISIONS:





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Stonegate Gray



Weathered Wood

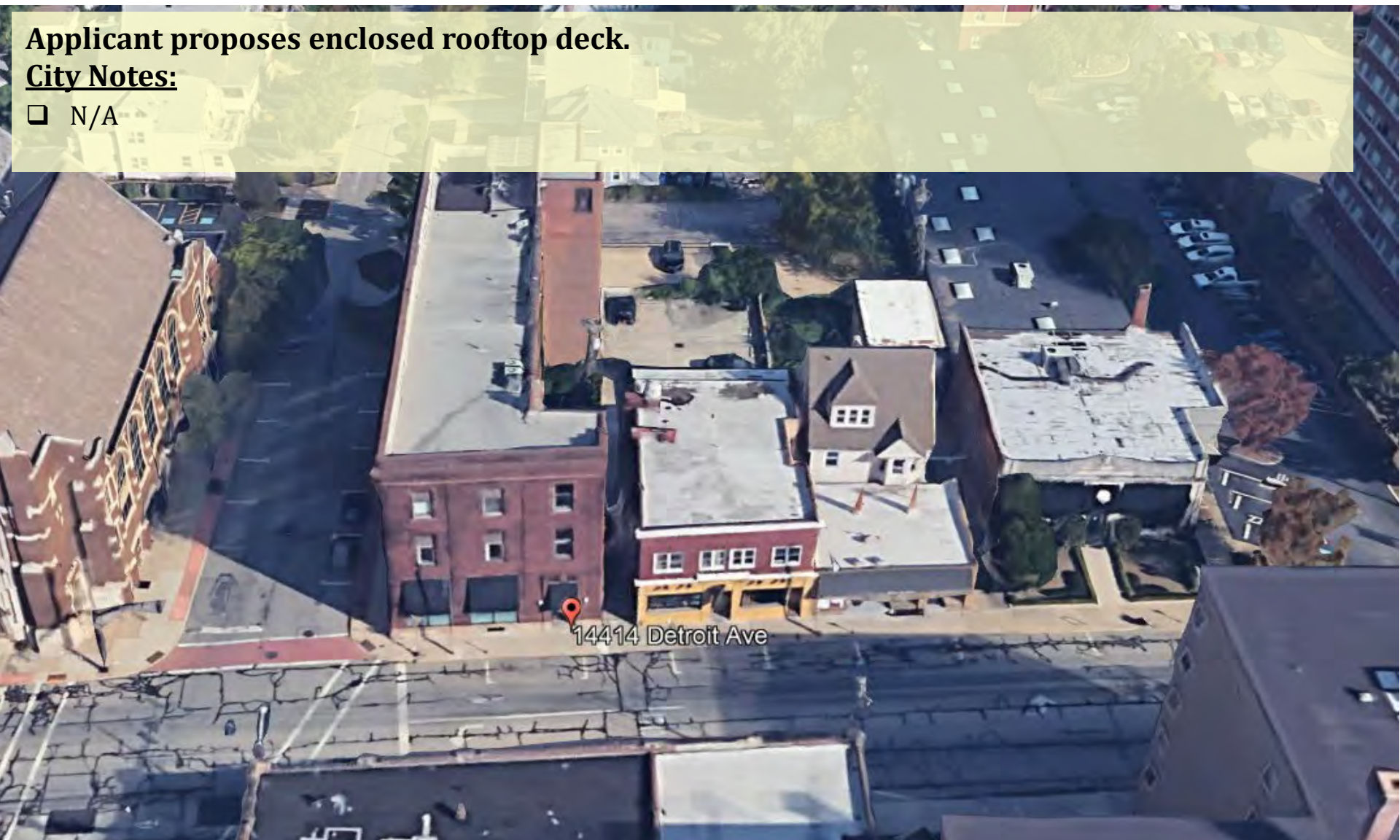


Docket No. 09-79-25 (17814 Riverside)

Applicant proposes enclosed rooftop deck.

City Notes:

N/A



14414 Detroit Ave



Docket No. 09-80-25 (14414 Detroit)

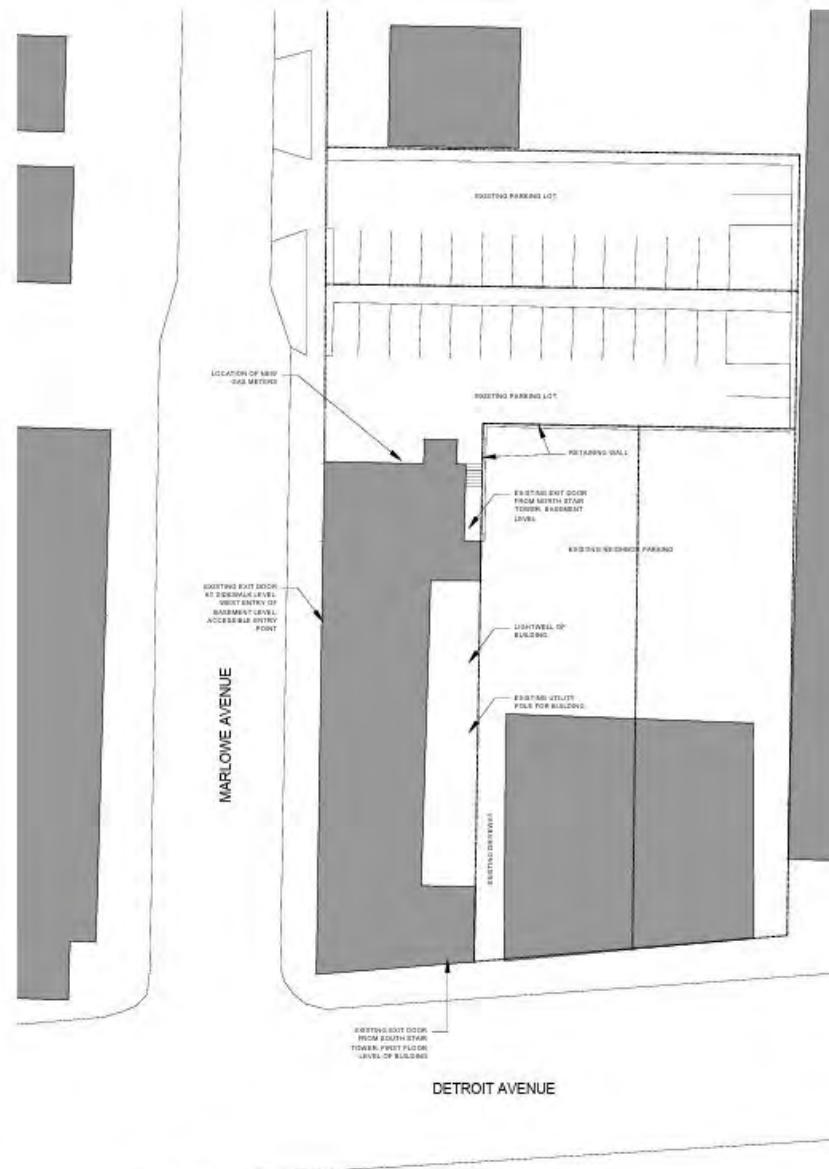
**Marlowe Building – Enclosed Rooftop Deck
David Maniet**



Marlowe Elevation



Existing Accessible Roof



Site Plan

SITE PLAN NOTES
PROPERTY LINES LOCATED FROM CLIENT PROVIDED SURVEY AND CUYAHOGA COUNTY DEEDS DATA.
NO CHANGE TO BUILDING FOOTPRINT. SITE PLAN FOR INFORMATIONAL PURPOSES ONLY.

MA
MANIET
ARCHITECTS

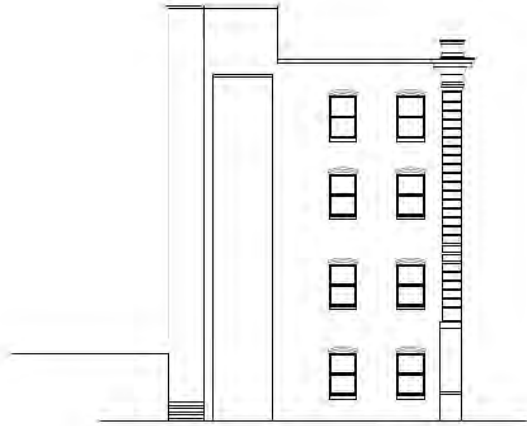
412.720.0424
DavidJManiet@gmail.com

Project/Proposal Address:
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

Drawn By Submittal Design	Sheet R1
Date 02/02/18	
Drawn By GJM	



Docket No. 09-80-25 (14414 Riverside)



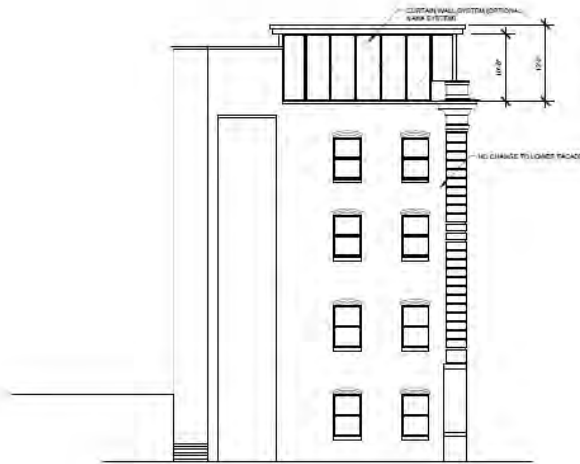
Existing North Elevation

3/4" = 1'-0"



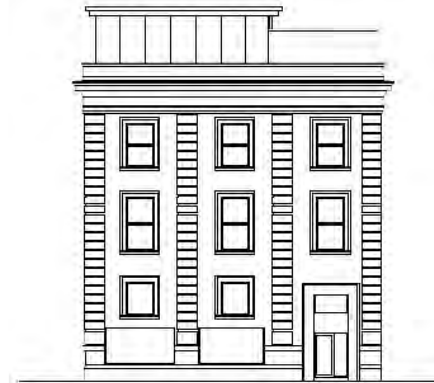
Existing South Elevation (Detroit)

3/4" = 1'-0"



Proposed North Elevation

3/4" = 1'-0"



Proposed South Elevation (Detroit)

3/4" = 1'-0"

MA
MANIET
ARCHITECTS

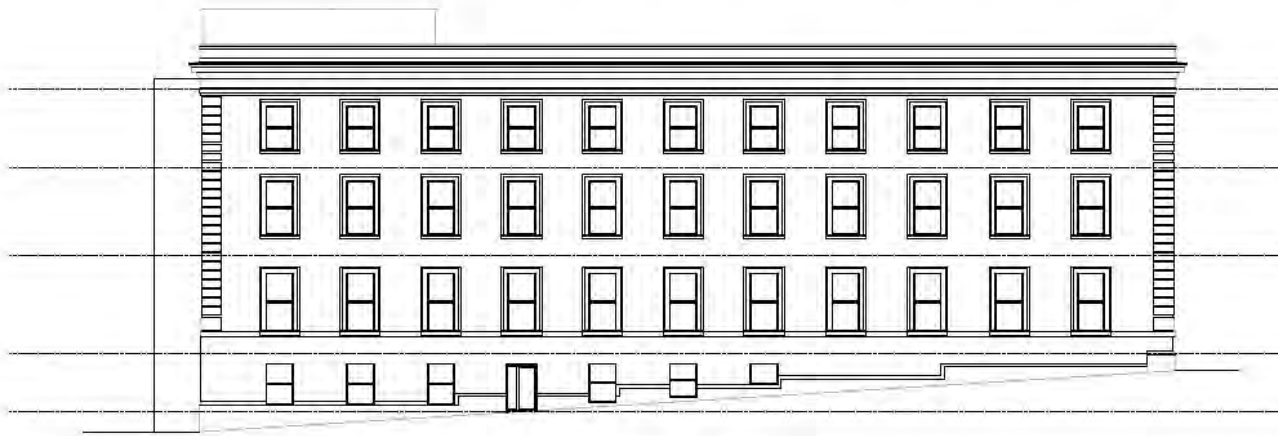
412.720.0424
David.Maniet@gmail.com

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The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

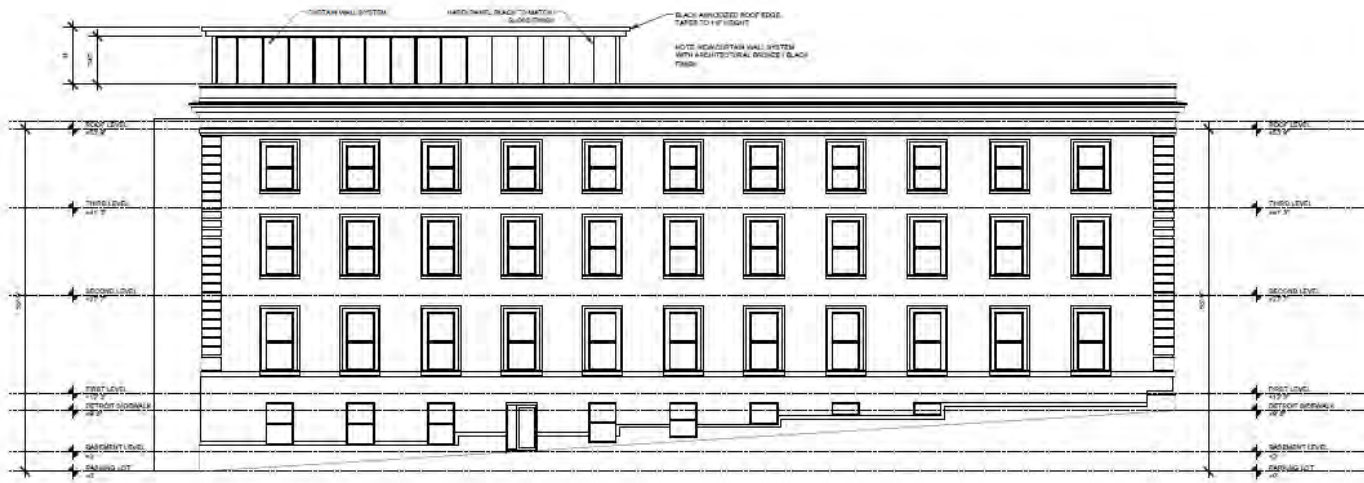
Scale for Architectural Design	Sheet
Date: 10/03/12	R3
Drawn by: DM	



Docket No. 09-80-25 (14414 Detroit)



Existing Marlowe Avenue Elevation



Proposed Marlowe Avenue Elevation

MA
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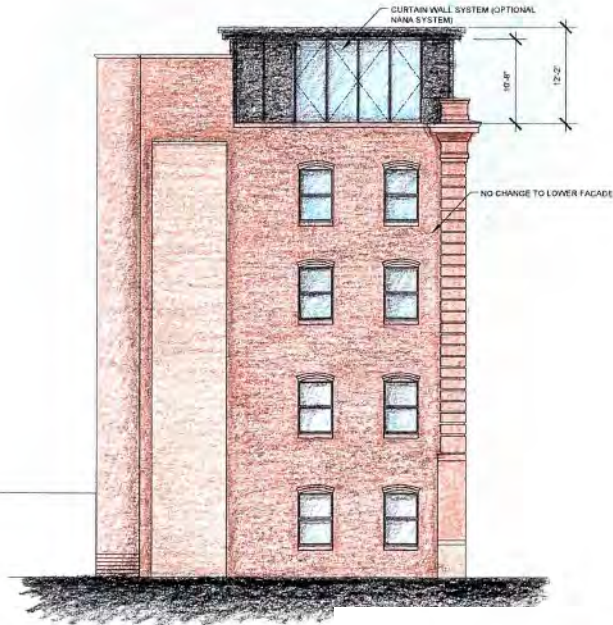
412-720-0424
DavidJManiet@gmail.com

Work Order Number:
The Marlowe Building
14414 Detroit Avenue
Lakewood, Ohio 44107

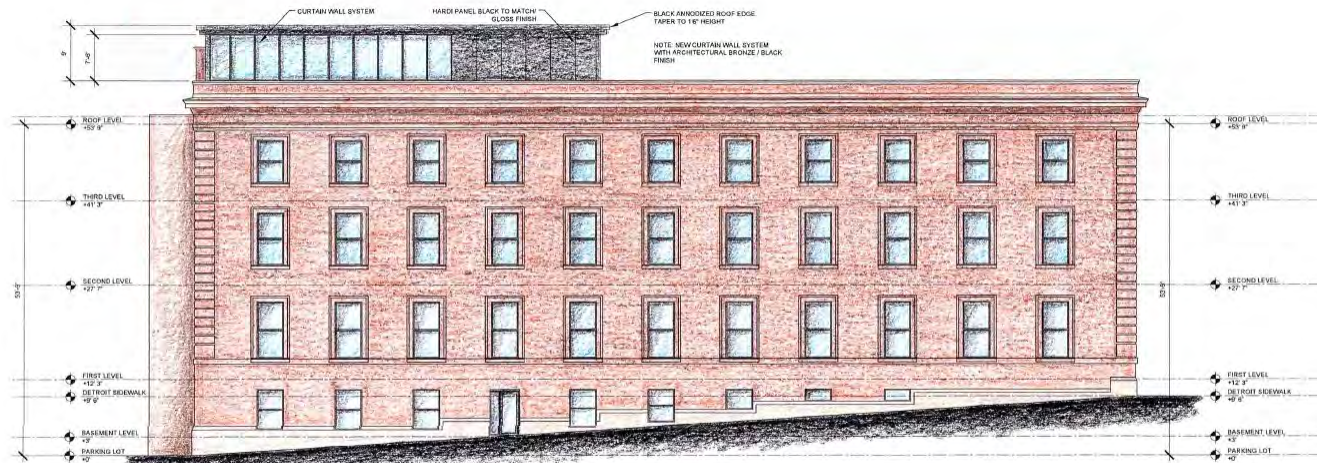
Scale for Schematic Design	Sheet
DATE	REVISED
Scale 1/8"	R4
DATE	DATE



Docket No. 09-80-25 (14414 Detroit)



Proposed North Elevation
 1/8" = 1'-0"



Proposed Marlowe Avenue Elevation
 1/8" = 1'-0"



Docket No. 09-80-25 (14414 Detroit)

NanaWall

100 Meadowcreek Drive #250
Corie Madera, CA 94925
quotes@nanawall.com

800 873 5673
415 383 0312
Fax 415 383 0312

Quote # Q-54177
Date: 4/8/2025



Performance

NanaWall opening glass walls meet or exceed applicable industry standards for air infiltration, water penetration, structural performance, forced entry, and extreme weather protection.

A NanaWall system protects from water and air infiltration, provides sound attenuation, and is energy efficient when closed.

Aesthetics

NanaWall opening glass walls are available in over 25 different configurations with many choices of finishes.

All panels of the NanaWall opening glass walls are on the same plane with a single track and feature narrow stiles and rails. The concealed engineering hardware adds to the clean lines of the sophisticated and refined aesthetics.

Support

Your NanaWall system is covered by a 10 year warranty on the rollers and on seal failure of the insulated glass. 5 years on all other aspects of the product and 10 years if installed by a NanaWall Certified Installer (except screens which always have a 1 year warranty. See Limited Warranty for full details).

NanaWall Certified installers ensure your custom-made NanaWall is properly installed. Our customer service representatives and technical design team will help guide and provide you with the answers you need. Call (800) 873-5673.

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The NanaWall team has over 30 years of experience solving challenging architectural and engineering issues in a wide variety of projects.

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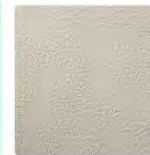
Select your texture



Select Cedarmill®



Smooth



Stucco



Sierra 8

Select your color collection

Statement
Primer for
Did not find the color you're looking for? [Click here.](#)

Arctic White

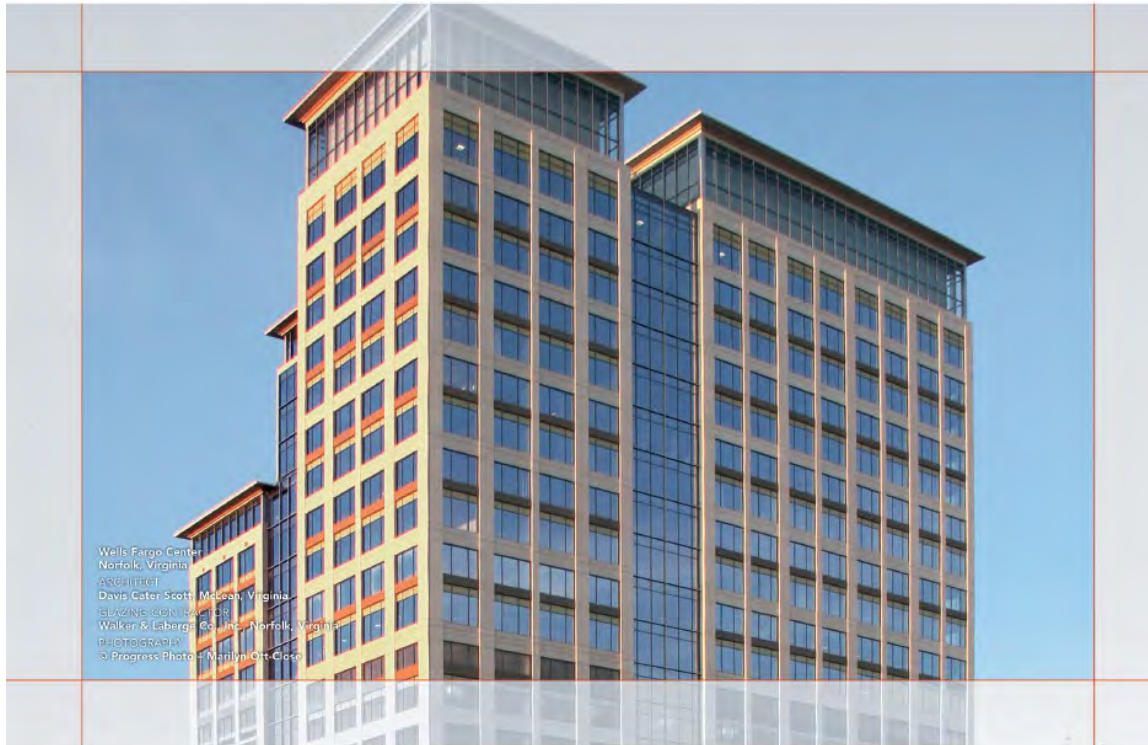


Docket No. 09-80-25 (14414 Detroit)

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Norfolk, Virginia
ARCHITECT
Davis Gater Scott, Malibu, Virginia
GLAZING CONTRACTOR
Walker & LaBerge Co., Inc., Norfolk, Virginia
PHOTOGRAPHY
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Today's construction requires that architects balance desired

ECONOMY

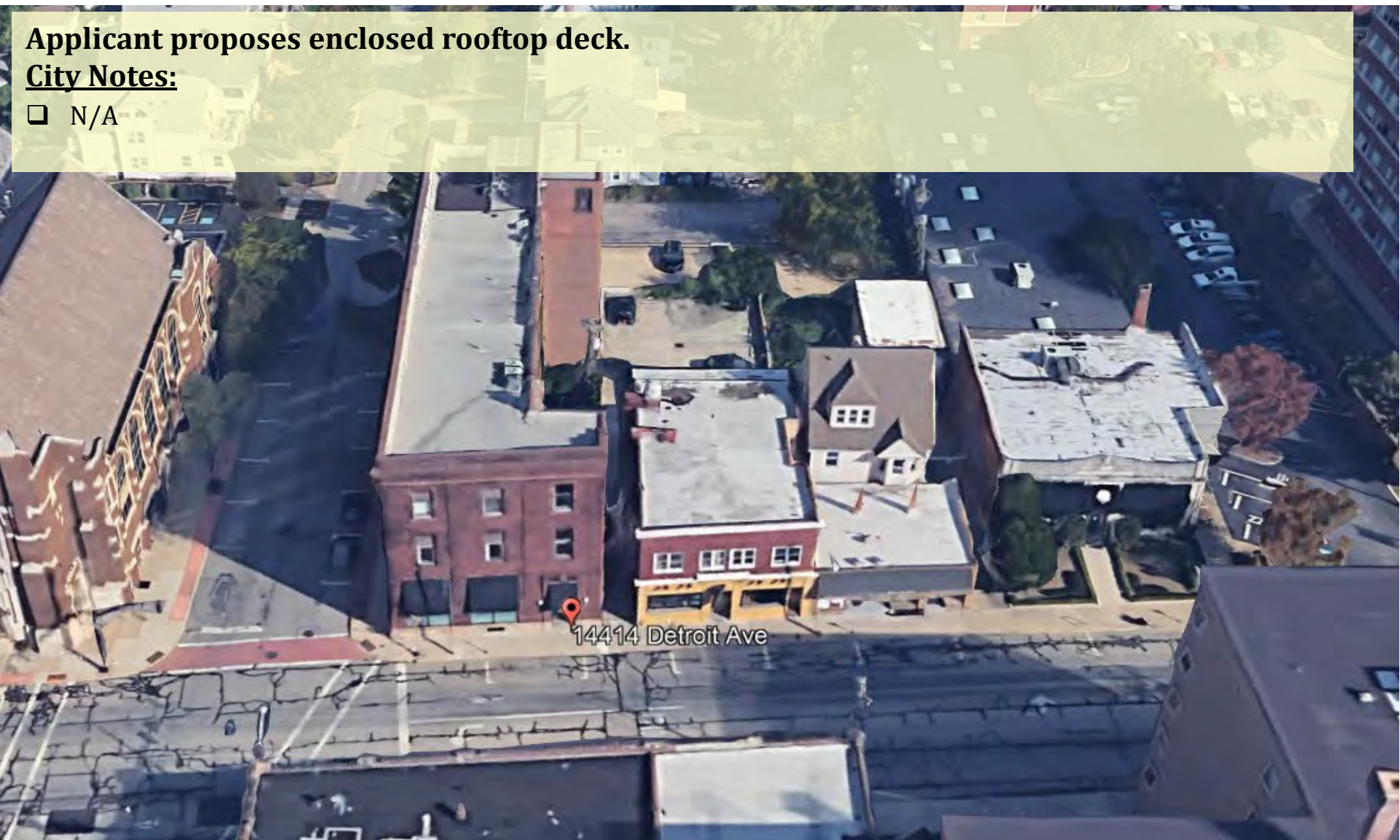
Docket No. 09-80-25 (14414 Detroit)



Applicant proposes enclosed rooftop deck.

City Notes:

N/A



14414 Detroit Ave



Docket No. 09-81-25 (1664 Lauderdale)

**Residence– Enclosed Second Floor Porch
Keyshawn Jones David Maniet**



Docket No. 09-80-25 (17814 Riverside)

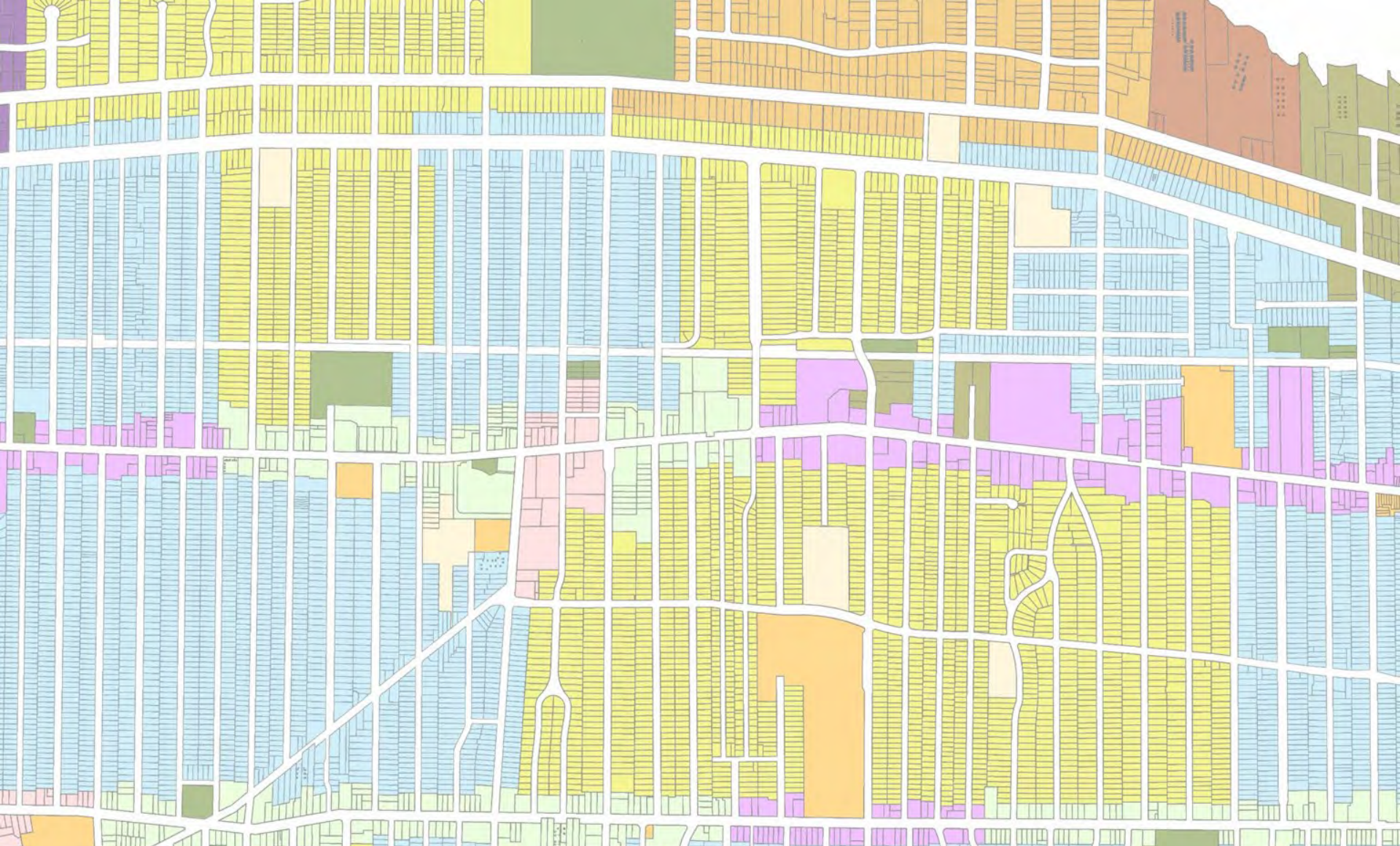


Double 4 in. x 24 in. Vinyl Siding in Wicker

★★★★★ (17) Questions & Answers (20)



Docket No. 09-80-25 (17814 Riverside)



Architectural Board of Review

September 2025