

**AGENDA
PLANNING COMMISSION
CITY OF LAKEWOOD
MARCH 4, 2021
REMOTE MEETING**

**PRE-REVIEW MEETING
6:30 P.M.**

Review docket items

**REGULAR MEETING
7:00 P.M.**

Under the orders of the Governor and Director of Health of Ohio, the Planning Commission will meet remotely until further notice.

The remote meeting information will be posted by 5 PM the day of the meeting at www.onelakewood.com/accordions/planning-commission/

- 1. Roll Call**
- 2. Approve the Minutes of the February 4, 2020**
- 3. Opening Remarks**

**NEW BUSINESS
CONDITIONAL USE**

- 4. Docket No. 03-07-21
2035 Quail Street
Birdtown Brewery**

Sean Fairbairn, Barrio requests approval for renewal of a mixed use overly conditional use granted at the June 5, 2014 Planning Commission meeting. Pursuant to Chapter 1135 – Mixed Use Overlay District. The property is in an R2 – Single, Two-Family district. (Page 3)

CONDITIONAL USE

- 5. Docket No. 03-08-21
11801 Detroit Avenue
Caliber Collision**

Melissa Hernandez, Cross Architects, PLLC requests approval of a conditional use permit for the remodel of an existing building to an automobile paint and repair shop. Pursuant to Chapter 1161.03 (j) – Motor Vehicle Repair/Body Shop. The property is in a C3 - Commercial, General Business district. (Page 9)

PARKING PLAN

- 6. Docket No. 03-09-21
1516 W. 117th Street
Rockport Enterprise**

Allen Chen, Rockport Enterprise LLC requests approval of a parking plan. Pursuant to Chapter 1143.09 – Parking Plan Review. The property is in a C3 - Commercial, General Business district. (Page 19)

ADJOURN



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

Application Cover Page

Docket No.: 03-07-21

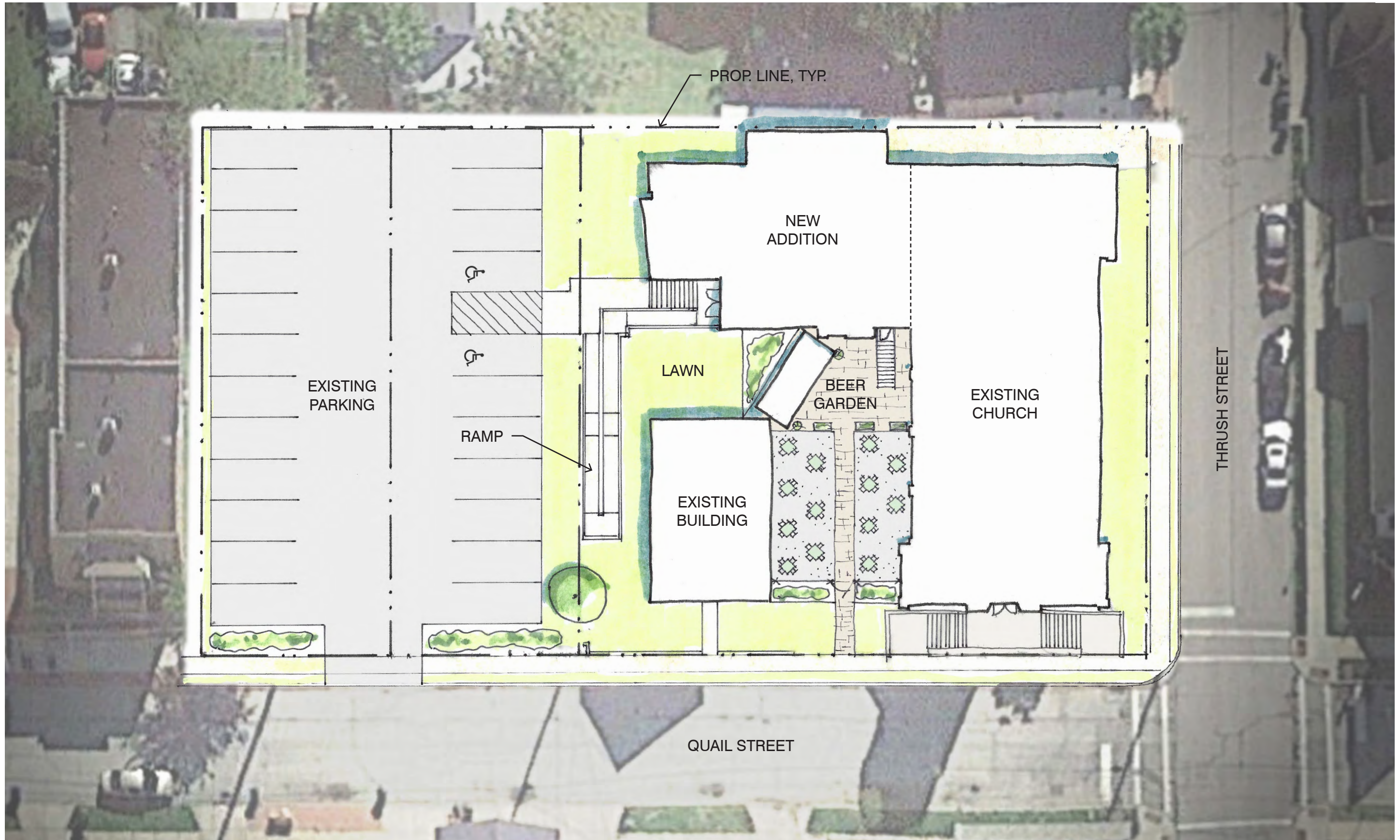
Permit No.: PC21-000006

Applicant Name: Sean Fairbairn, Barrio

Project Address: 2035 Quail Street

Project Name: Birdtown Brewery

Proposal: Renewal of a mixed use overly conditional use granted at the June 5, 2014 Planning Commission meeting.



Site Plan

QUAIL STREET

EXISTING SIDEWALK

EXISTING BUILDING

BEER GARDEN

FENCE AND GATE

SHIPPING CONTAINER FOR LOCAL RESTAURANTS

FUTURE KITCHEN

RESTROOMS AS PER PERMIT SET

HOST AND WAITING AREA

BAR

MEZZANINE ABOVE

ALTER

Floor Plan

embark'd

Scale: 1"=10'
0' 5' 10' 20'



Birdtown Brewery
1.19.2020



Perspective Rendering

embark'd

Birdtown Brewery
1.19.2020





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www.onelakewood.com

6/11/2014

Tom Leneghan
15527 Madison Avenue
Lakewood, Ohio 44107

Re: **05-10-14**
2035 QUAIL ST
Birdtown Brewery

Dear Tom Leneghan:

At the meeting on 06/05/2014, the Lakewood Planning Commission considered the review and approval of a Conditional Use Permit to convert St. Gregory's Church into a brewery/restaurant; the parish house would be renovated for residential use.

The Board decided to **CONDITIONALLY APPROVE** the application with the following stipulations:

- There is accommodation for additional off-street parking,
- The house is renovated and occupied prior to issuance of the Certificate of Occupancy for the commercial component
- Deliveries are to be conducted in a way to minimize impact to adjacent residents and Harrison Elementary.
- There is approval from the Architectural Board of Review for exterior modifications, signage, and parking lot design.

Please contact the Division of Housing and Building with any comments or concerns you may have at (216) 529-6270.

Sincerely,

Jason M. Russell, Board Secretary
Project Specialist II, Planning and Development



PLANNING COMMISSION

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www.onelakewood.com

Application Cover Page

Docket No.: 03-08-21

Permit No.: PC21-000007

Applicant Name: Melissa Hernandez, Cross Architects, PLLC

Project Address: 11801 Detroit Avenue

Project Name: Caliber Collision

Proposal: Approval of a conditional use permit for the remodel of an existing building to an automobile paint and repair shop.



TO: Lakewood City Hall
Department of Planning & Development
12650 Detroit Ave.
Lakewood, OH 44107
(216) 529-6630

FROM: Bret Flory – Brian Rumsey Architects

RE: Description of Business and Proposed Use –11801 Detroit Ave. CUP application

DATE: February 16, 2021

In anticipation of our upcoming arrival to the City of Lakewood, please allow this letter to serve as a description of this project and Caliber Collision.

I. PROJECT NARRATIVE:

Site consists of platted 1.087-acres of developed land, which is part of general plan zoned General Business District (C3). The parcel is located at the corner of Detroit Ave and Coutant Street. The Site has three access point along Coutant Street. We are requesting a Special Exception to remodel an existing building to become a Caliber Collision Auto Body Repair and Paint Shop at this location. It is the intent of the owner and all consultants to construct a quality project within the standards set by the City of Lakewood for Building and Engineering Design.

a. Details about the type of proposed operation (including hours of operation)

All repair activities will be conducted in-doors and completely screened from public view. Public parking will located in the front drive/parking field. All vehicles received for repair will remain behind the screened wall. Vehicles that are taken in for repairs are typically admitted by tow truck which limits our customers coming to this location.

b. Facility Information:

- Site Area: 1.087 Acres Lot
- Bldg SF: 15,184 SF (proposed)
- Hours of Operation. 7:30 a.m. – 5:30 p.m. Monday through Friday
- Total Full-Time Employees on-site: approximately 19 to 22
- Yearly Salary Ranges: o Site Manager = \$90K Base (+ incentive bonuses/commissions)
- Support/Office Admin Staff: 4-5 Count @ \$25K average = \$100K to \$125K
- Junior Shop Techs = 10-12 Count @ \$50K average = \$500K to \$600K
- Senior Shop Painters = 4 Count @ \$110K average = \$440K
- Anticipated Employee Base Payout = \$1,220,000 to \$1,445,000

c. Damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination.

- **Noise** – The type of facility proposed shall be limited to vehicle body “prep”, parts replacement and finishing work room. Typical repairs include hood replacement, fender repair, hail damage, light interior, molding and windshield replacement. Inherently, these types of repairs are not loud enough to project recognizable sound beyond the proposed property lines. Furthermore, this facility shall operate with all exterior doors closed. The shop contains a full HVAC System that shall provide climate control year-round. With all doors closed, there should be no nuisance to neighboring properties in the way of noise.
- **Dust** – Within the facility, light dust is to be expected. The amount of dust is akin to a classroom chalkboard. Regularly scheduled cleaning ensures control. All sanding performed with a filtered vacuum assist sanding machine.
- **Exterior** – the only dust that would be on this facility would be that which blew in from adjacent properties. This facility has adequate paving, perimeter landscaping and screening walls. Nothing that occurs within the premises this site generates dust. Any dust that enters the site would likely attach to perimeter landscaping and not pass through to the adjacent properties.

2. GENERAL NOTES ABOUT THE OPERATOR:

As a multi-state/multi-operator of Body Shops, Caliber Collision is well versed in the procedures and requirements to divert any operational hazards. Prior to opening for business, Caliber Collision will secure a Business License to operate said facility. Any hazardous material shall be documented, handled and/or stored per local, state and federal requirements

The proposed facility (site and building) will be designed by licensed Architects/Engineers who are thoroughly versed in Body Shop Designs. Final interior designs shall be designed by same Architects/Engineers. Interior Lighting, HVAC Ventilation, and Storm Sewer oil/sand interceptors shall be properly placed to facility safe conditions within and outside the entire property. These designs shall receive City of Lakewood a Plans Review/Permit Approval to ensure structural, life safety, ADA and Building Code compliance for the proposed operations.

Furthermore, the operator implements specific operational and safety guidelines that secure on-going daily assurance of employee, customer, property and surrounding area safety. These include:

- a) **Drug Testing** – Applicants are required to pass drug screening. Once employed, Caliber reserves the right to perform both random and/or employee-specific testing. Any failure results in immediate loss of employment.
- b) **Authorized Employment** – Applicants are required to provide proof of citizenship and/or verification that they are authorized to be lawfully employment in the US.
- c) **Background Checks** – Applicants are required to pass a background check. This includes but is not limited to any incidents involving sexual crime, child endangerment, and other acts of violent nature.
- d) **Facility Management** – Each facility is managed with adequate and competent staff to oversee and monitor the repair services and customer interface.
- e) **Safety Training** – Given the nature of using automated machinery and restoration supplies, each employee is required to complete and continue ongoing safety training. All equipment used is state of the art and properly maintained. This instruction safeguards the employees, the environment, the clients, their vehicles and all neighboring facilities.

- a. All training guidelines ensure prevention of the following: i. Loud noise, fumes, odors, dust, vibration, illumination
- ii. Fire, explosions, flooding,
- iii. Contamination of persons, property or nearby equipment

f) **Environmental Protection Agency and other Governmental Regulations** – All products used, services rendered, and disposals of waste are highly regulated to prevent unwanted affects. All products and equipment are designed to ensure compliance. Laws and limitations are monitored and enforced so that any employee, clientele and passerby may be assured of a safe environment.

3. COMPATIBILITY OF PROPOSED FACILITY WITH SURROUNDING:

Applicant suggests that this facility will serve as the single-most compatible site with the types of uses permitted in the surrounding area. As such, it will promote further success of an existing business, re-occupancy of an existing vacant facility, provide expanded job growth and assurance of good custodial care.

Finally, please note the contributions that Caliber Collision brings surrounding communities for all of their locations. Among their traditions of charity and community enrichment programs (<http://calibercollision.com/about-us/community-involvement/>), Caliber Collision actively supports:

- American Heart Association Heart Walk, American Heart Association Cotes Du Coeur, and Children’s Advocacy Center of Collin County
- Military personnel through Carry The Load, Wounded Warriors and 3M’s Hire Our Heroes program
- Supplied local food banks with more than 275,000 meals for needy families in 2013
- Gifted 13 fully-refurbished vehicles to needy families through the Caliber Collision Recycled Rides program in 2012. Plan on gifting 25 in 2013

To further endorse their commitment to excellence, USAA has identified Caliber Collision as having “an exceptionally high standard when it comes to service delivery.

4. SCOPE OF IMPROVEMENTS TO EXISTING SITE AND BUILDING:

Exterior work is:

- Repaint the entire building
- Patch, reseal, restripe the parking lot
- Install a new black vinyl chain link fence with black vision slats
- Replace older existing doors
- Update/Enhance Landscape

Interior work is:

- Demo office area and buildout new office and lobby
- Renovate/paint the existing Shop
- Add one detail bay and tie into the existing sand/oil interceptor
- Add two new paint booths

Respectfully,



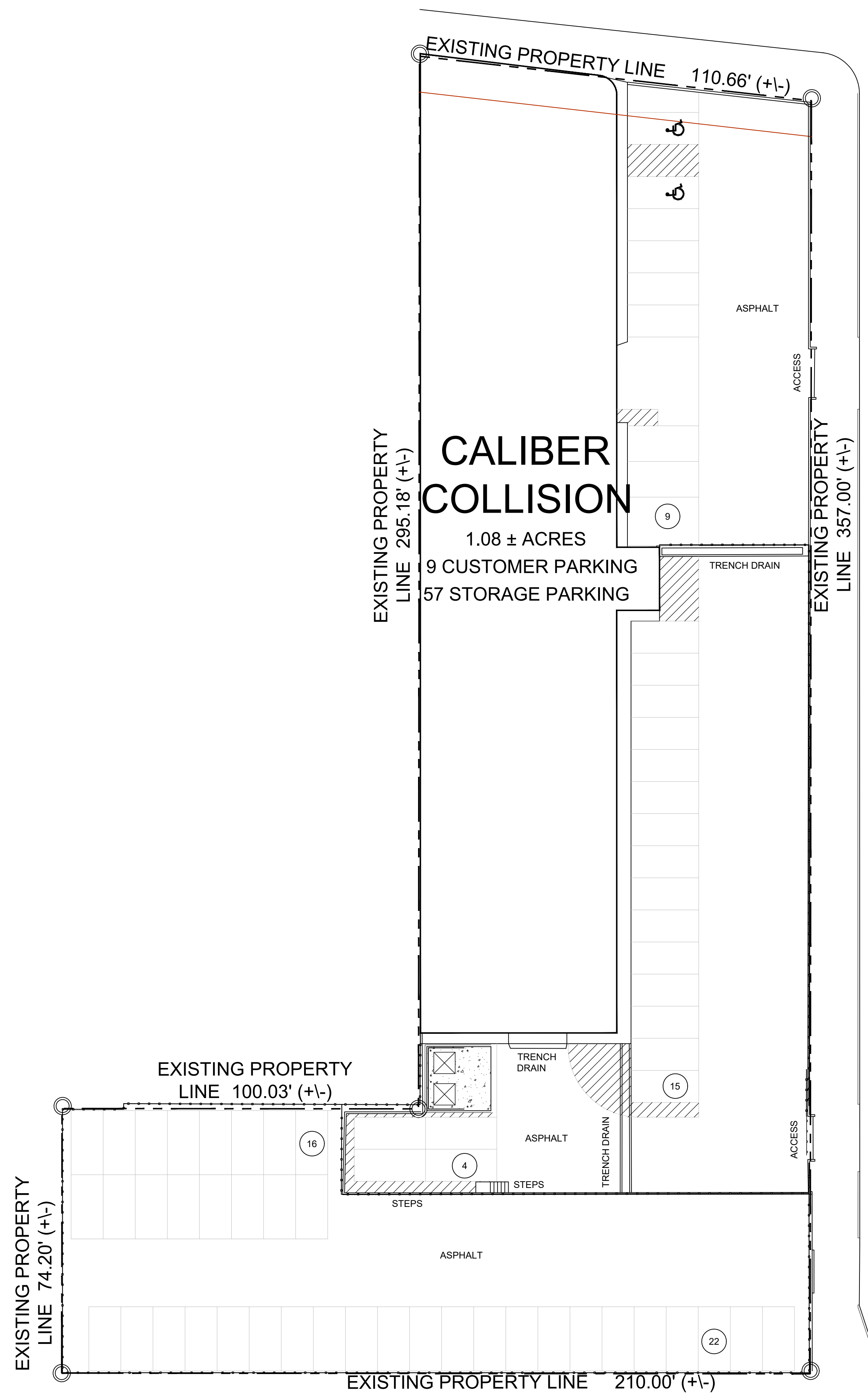
Bret Flory

Brian Rumsey Architects

blory@crossarchitects.com

972-398-6644 x 301

DETROIT AVE



COUTANT STREET

SITE DATA	
OFFICE SQ. FT.	= 1,997 SQ. FT. ±
SHOP FLOOR SQ.FT.	= 13,187 SQ. FT. ±
TOTAL BUILDING SQ.FT.	= 15,184 SQ. FT. ±
ACREAGE TOTAL	= 1.08

PARCEL CONTROL NUMBER:
N/A

FLOOD ZONE 'X' (OUTSIDE 500 YEAR PLAIN)

SETBACKS:
FRONT: TBD REAR: TBD SIDES: TBD

PROPOSED HEIGHT = 16'-0"

MAX. HEIGHT = 26'-2"

ZONING = TBD

USE = TBD

WATER = TBD

SEWER = TBD

PARKING CALCULATIONS

OFFICE @ 1:XXX REQ'D = TBD

SHOP @ 1:XXX REQ'D = TBD

CITY TOTAL REQUIRED = TBD

TOTAL PARKING SHOWN = 66

BICYCLE CALCULATIONS

OFFICE @ 5% OF 10 = TBD

SHOP @ 5% OF 47 = TBD

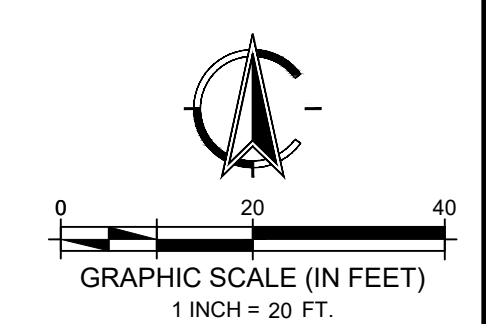
CITY TOTAL REQUIRED = TBD

TOTAL BICYCLE SHOWN = 0



BRIAN RUMSEY
879 JUNCTION DR.
ALLEN, TEXAS 75013
PH: 972.398.6644

1 SITE PLAN
1" = 20'-0"



CALIBER COLLISION

CONCEPTUAL SITE PLAN 01

LAKWOOD, OH

DRAWN: CVO	PROJECT #: SCHE	DATE: 21.01.25
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11801 Detroit Ave. Lakewood, OH – Existing Photos

1.) East (Along Coutant Street)





2. North (Along Detroit Ave.)



3. South





4. Along Coutant Street





PLANNING COMMISSION

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www.onelakewood.com

Application Cover Page

Docket No.: 03-09-21

Permit No.: PC21-000008

Applicant Name: Allen Chen, Rockport Enterprise LLC

Project Address: 1516 W. 117th Street

Project Name: Rockport Enterprise

Proposal: Approval of a parking plan.

SHEET INDEX

- C-01 TITLE SHEET
- C-02 GENERAL NOTES
- C-03 EXISTING & PROPOSED SITE PLAN
- C-04 UTILITY & GRADING PLAN
- C-05 STORM WATER POLLUTION PREVENTION PLAN (SW3P)
- C-06 DETAILS AND NOTES
- C-08 DRAINAGE MAP

- ATTACHED OHIO RAINWATER AND LAND DEVELOPMENT CHAPTER
- 2 NEW PROVISIONAL PRACTICES (4/15/19)
- UNDERGROUND STORM WATER MANAGEMENT SYSTEMS
 - 6.3 SILT FENCE
 - 6.4 STORM DRAIN INLET PROTECTION
 - 6.5 FILTER BERM
 - 6.6 FILTER SOCK
 - 7.1 MINIMIZED PHASED DISTURBANCE
 - 7.4 CONSTRUCTION ENTRANCE
 - 7.8 TEMPORARY SEEDING
 - 7.9 MULCHING
 - 7.10 PERMANENT SEEDING
 - 8.1 ADDITIONAL CONSTRUCTION SITE POLLUTION CONTROLS
 - 8.2 SMALL CONSTRUCTION SITE CONTROLS

THE CITY OF LAKEWOOD ENGINEERING STANDARD DRAWINGS

- Pavement – P
- P-1 Pavement Repairs Detail
 - P-2 Driveway Aprons
 - P-4 Sidewalk Details

- Sewer – S
- S-1 Catch Basin Detail
 - S-3 Sewer Service Connection Details
 - S-4 Inspection Tee

- Water – W
- W-1 Utility Trench Detail

INSPECTION AND MAINTENANCE AGREEMENT FOR STORMWATER CONTROL MEASURES

THE CITY OF LAKEWOOD

IMPROVEMENT PLANS

1516 W117TH STR.

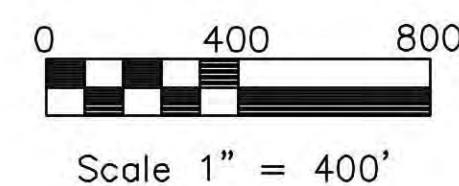
COUNTY OF CUYAHOGA, STATE OF OHIO

DECEMBER 2020

BENCH MARK:
TOP OF I. PIN FRONT
NE CORNER OF LOT
ELEV: 697.65



ESTIMATED CONSTRUCTION DATES
START DATE SEPT 9TH 2020
COMPLETION DATE NOVEMBER 23RD 2020



MUNICIPALITY

CITY OF LAKEWOOD
12650 DETROIT AVENUE
LAKEWOOD, OHIO 44107
PHONE: (216) 529-6692
FAX: (216) 521-1379

LAKEWOOD WATER/WASTEWATER COLLECTION (W/WC)
PHONE: (216) 529-1867

CITY OF LAKEWOOD ENGINEERING
MARK K. PAPKE, PE, CPESC - CITY ENGINEER
PHONE: (216) 529-6807
EMAIL: MARK.PAPKE@LAKEWOODOH.NET

INSPECTOR: JOE SCHALLER, PE
PHONE: (440) 537-8945



JEFFERY A. SKOCZEN, P.E. # 72640

1-26-2021
DATE

APPROVALS

APPROVED _____
DATE _____ CITY OF LAKEWOOD ENGINEER



CONTACT INFO

Allen Chen- Owner
Rockport Enterprises LLC
1512 West 117th Street
Lakewood, Ohio 44126
Phone: 216 253-8592
Email: AllenChen99@yahoo.com

LEGEND:	
○	IRON PIN FOUND & USED.
▬	CATCH BASIN - CURB
⊕	HYDRANT
⊙	MANHOLE - SANITARY
●	MANHOLE - STORM
Ⓜ	MAILBOX
■	MONUMENT BOX
☆	POLE- LIGHT
⊗	POLE - UTILITY
⊙	SIGN
⊕	VALVE - WATER

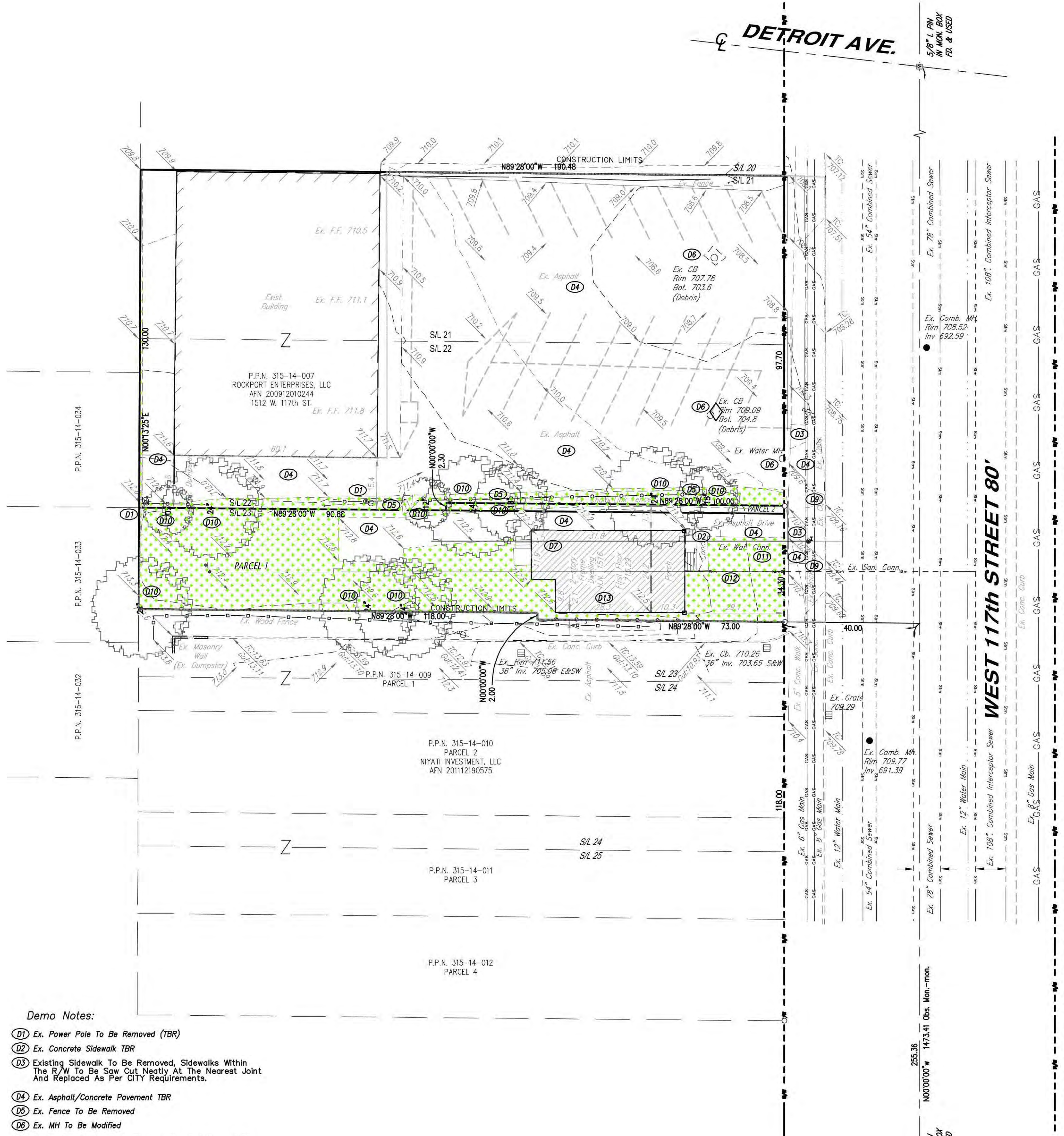
CREEKSIDE ENGINEERING LLC
13906 TINKERS CREEK RD.
VALLEY VIEW, OHIO 44125
(216) 496-7825
job no. 170502

C-1
DRAWN BY: JAS
CHECKED BY: JMS

IMPROVEMENT PLANS FOR 1516 W117TH STR.
TITLE SHEET
CITY OF LAKEWOOD, OHIO

REVISIONS	DATE
CITY REVIEW	11/04/2020
UPDATED SHEETS C-3, C-4 & C-6	12/07/2020
	01/26/2021

BENCHMARK:
TOP OF I. PIN FRONT
NE CORNER OF LOT
1516 ELEV. = 697.65



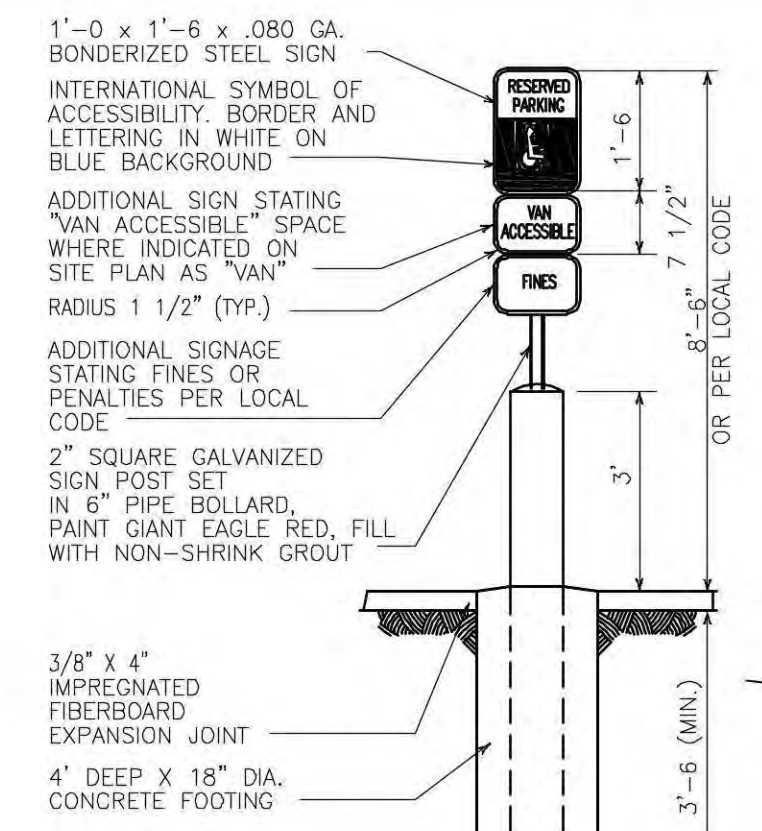
- Demo Notes:**
- (D1) Ex. Power Pole To Be Removed (TBR)
 - (D2) Ex. Concrete Sidewalk TBR
 - (D3) Existing Sidewalk To Be Removed, Sidewalks Within The R/W To Be Saw Cut Neatly At The Nearest Joint And Replaced As Per CITY Requirements.
 - (D4) Ex. Asphalt/Concrete Pavement TBR
 - (D5) Ex. Fence To Be Removed
 - (D6) Ex. MH To Be Modified
 - (D7) Contractor To Coordinate Disconnection And Removal Of Electric Service With Utility Company Existing Lines TBR
 - (D8) All Existing Underground Utilities Within The Area Of Work Shall Remain And Be Protected During Construction Operations, Unless Otherwise Designated To Be Removed, Contractor Shall Verify Exact Location And Depths Of All Existing Utilities Prior To Commencement Of Demolition Operations.
 - (D9) Existing Paving Brick To Be Removed And Replace As Per CITY Requirements.
 - (D10) Ex. Tree TBR Including All Root 18" Below Surface.
 - (D11) Ex. Water Conn. To Be Removed and Capped At R/W Per City Of Lakewood Water Department.
 - (D12) Ex. Sanitary Connection To Be Plugged Per City Requirements.
 - (D13) Ex. House To Be Raised

EXISTING

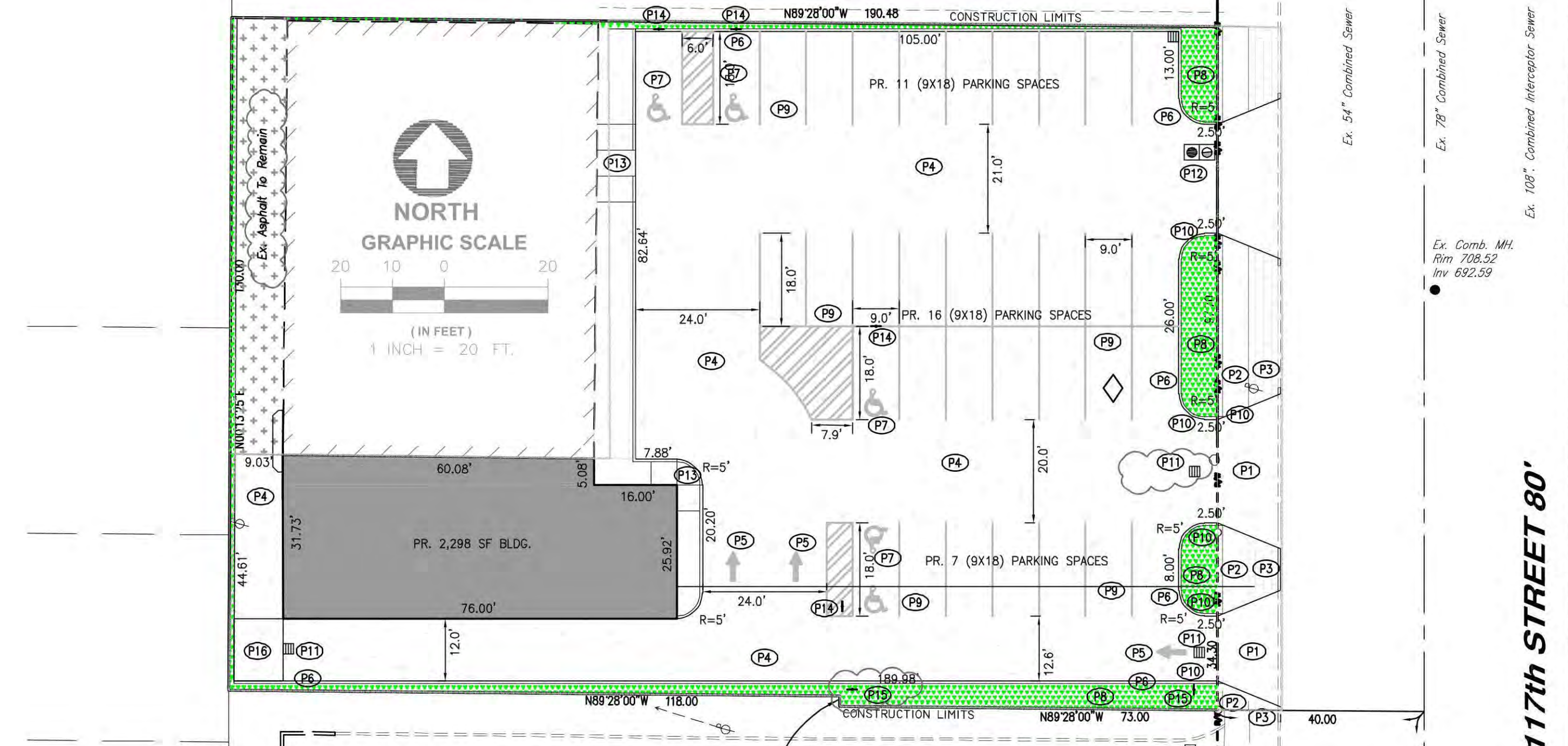
OHIO
Utilities Protection
SERVICE
Call Before You Dig
(800) 362-2764

- NOTES:**
- (P1) PR 8" CONCRETE DRIVE AND CURB CUT.
 - (P2) PR 4" CONCRETE SIDEWALK
 - (P3) PR STAMPED COLORED CONCRETE AS PER CITY REQUIREMENTS
 - (P4) PR 6" CONCRETE PAVEMENT
 - (P5) PR ONE WAY ARROW
 - (P6) PR 6" CONCRETE CURB
 - (P7) PR HANDICAP PARKING SPACE
 - (P8) PR LANDSCAPE AREA
 - (P9) PR PARKING STRIPING, 4-INCH WIDE, WHITE IN COLOR
 - (P10) PR TAPER 6" CURB TO 0" REVEAL OVER 5 FEET
 - (P11) PR CATCH BASIN SEE UTILITY PLAN FOR DETAILS
 - (P12) PR OUTLET SEE UTILITY PLAN FOR DETAILS
 - (P13) PR HANDICAP RAMP
 - (P14) PR HANDICAP SIGN
 - (P15) PR SIGN TWO SIDED WEST SIDE NOT LEFT TURN EAST SIDE DO NOT ENTER ONE WAY
 - (P16) PR CONCRETE DUMPSTER PAD

- NOTES:**
- A. SPECIFIC CODE SHOULD BE REFERENCED FOR LOCAL AND STATE REQUIREMENTS
 - B. PROVIDE (1) SIGN PER HANDICAP SPACES. SEE SITE PLAN FOR EXACT LOCATION



HANDICAP PARKING SIGN
NTS



LEGEND

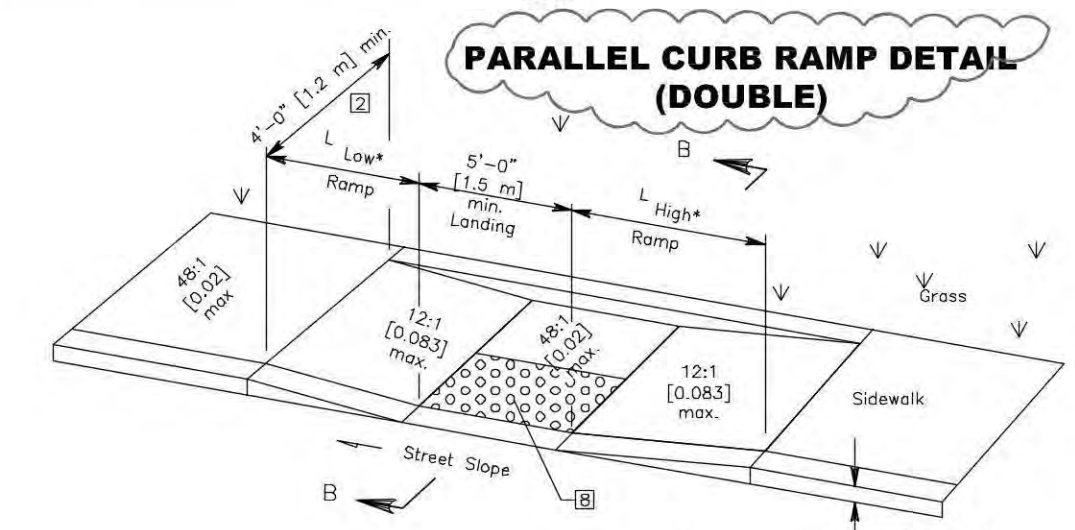
- 1 May be reduced to 3'-0" [915] in existing sidewalks if the landing is unconstrained along the back edge.
- 2 May be reduced to 3'-4" [1.02 m] in existing sidewalks to better fit the work configuration or where site conditions are restricted by narrow walks, pole foundations, drainage inlets, etc. The width may be tapered.
- 3 Where landing width (D) has been reduced to 3'-0" [915] the flared sides shall have a maximum slope of 12:1 [0.083].
- 4 Flared sides are not required where the edges of a curb ramp are protected by landscaping or other barriers to travel by wheel chair users or pedestrians across the edge of the curb ramp. However, if the flared sides are used in these areas, they may be of any slope. The slope of the ramp toward the curb is preferred to be 12:1 [0.083] or flatter related to the horizontal, but the maximum slope shall be 12:1 [0.083] relative to the existing or proposed walk slope. In existing sidewalks, where the maximum ramp slope (S⁵) is not feasible, it may be reduced as follows:
 A) 10:1 [0.10] for a max. rise of 6" [150],
 B) 8:1 [0.125] for a max. rise of 3" [75],
 C) 6:1 [0.167] over a max. run of 2'-0" [610] for historic areas where a flatter slope is not feasible.
- 5 The minimum length of a perpendicular ramp is 6' [2.0 m] from the back of a 6" [150] curb and may be increased where feasible to obtain a flatter ramp slope or to better blend with the walk configuration.
- 6 Gutter counter slopes at the foot of perpendicular curb ramps should not exceed 20:1 [0.05] within a distance of 2'-0" [610] from the curb.
- 7 Dimensions derived by equation are nominal. Construct ramps to meet required slopes and existing conditions.
- 8 Detectable Warnings (truncated domes) are to be installed in the location shown. Dimensions of the domes are 24" [610] from the back of the curb by the width of the ramp.

Street Slope	Ramp Length @ 17'/ft [0.083]	
	L-LOW SIDE *	L-HIGH SIDE *
0.01 3'-0" [1.8 m]	8'-10" [2.1 m]	8'-10" [2.1 m]
0.02 4'-10" [1.5 m]	7'-11" [2.4 m]	7'-11" [2.4 m]
0.03 4'-5" [1.3 m]	9'-5" [2.9 m]	9'-5" [2.9 m]
0.04 4'-1" [1.2 m]	11'-8" [3.6 m]	11'-8" [3.6 m]
0.05 3'-9" [1.1 m]	15'-2" [4.6 m]	15'-2" [4.6 m]

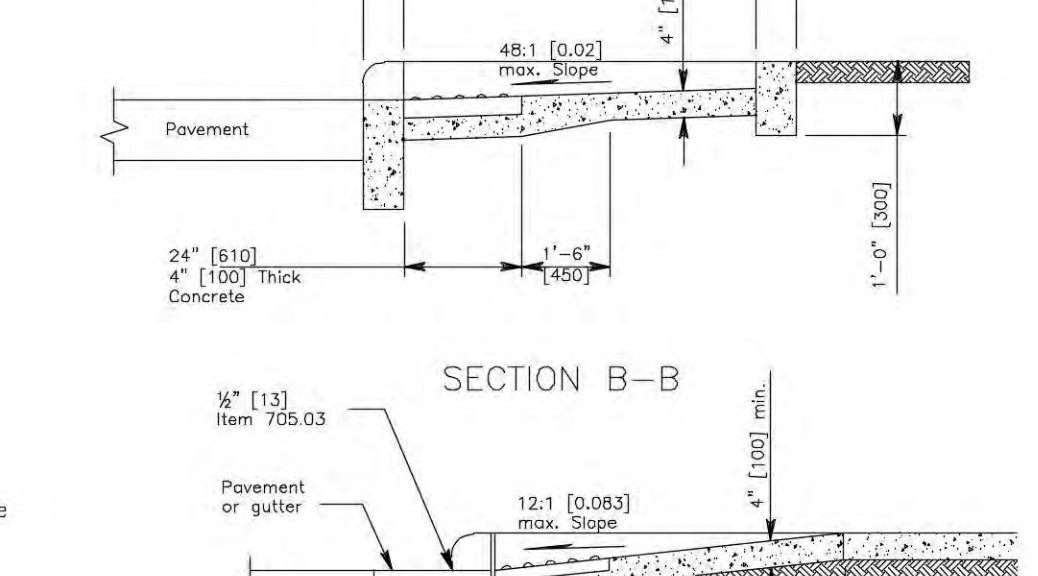
* Measured along the back of a 6" [150] high curb.

L-HIGH = $\frac{\text{Curb ht.}}{0.083} - \text{Street Slope}$

L-LOW = $\frac{\text{Curb ht.}}{0.083} + \text{Street Slope}$



SECTION B-B



SECTION A-A
NORMAL DETAIL

PROPOSED SITE PLAN

FRANKLIN BLVD.

NOTES

SURFACE TEXTURE: Texture shall be obtained by coarse brooming transverse to the ramp slopes and shall be rougher than adjacent walks.
 TRUNCATED DOMES: Install detectable warnings (truncated domes) for a distance of 24" [610] from the back of the curb for the entire width of the ramp opening as shown on details.
 Pavers will meet ASTM C 902 Class SX, Type 1, or C 936, or C 1272 Type R

CREEKSIDE ENGINEERING LLC
13906 TINKERS CREEK RD.
VALLEY VIEW, OHIO 44125
(216) 496-7825
job no. 170502

C-3
DRAWN BY: JAS
CHECKED BY: JMS

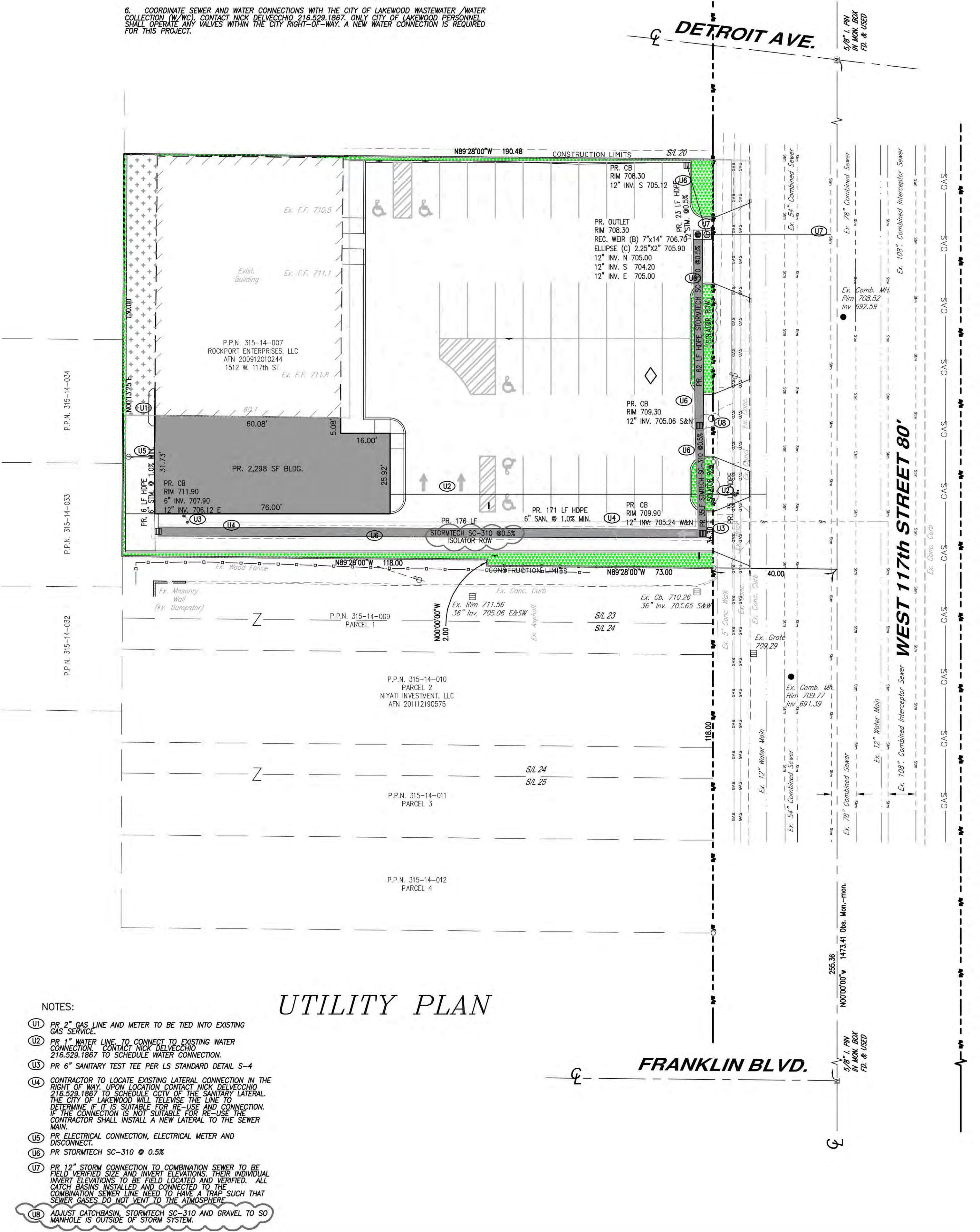
IMPROVEMENT PLANS FOR 1516 W 117TH STR.
EXISTING & PROPOSED
SITE PLAN
CITY OF LAKEWOOD, OHIO

REVISIONS	DATE	DESCRIPTION
11/04/2020	12/07/2020	1/26/2021
CITY REVIEW	ADDED Ex. No. 6, SIGN, MOVED DETAIL & CB	

BENCHMARK:
TOP OF I. PIN FRONT
NE CORNER OF LOT
1516 ELEV. = 697.65
DATE 01/26/2021

LAKESIDE UTILITY PLAN NOTES:

- CONTRACTOR SHALL PERFORM DYE TESTS IN THE PRESENCE OF THE CITY REPRESENTATIVE TO CONFIRM ALL STORM AND SANITARY LINES ARE PROPERLY CONNECTED TO EACH SEWER.
- RIGHT-OF-WAY WORK SHALL BE INSTALLED PER THE CITY OF LAKESIDE STANDARD DETAILS AND THE CITY'S SPECIFICATIONS. ALL WORK PERFORMED IN THE RIGHT-OF-WAY SHALL BE OBSERVED BY THE CITY OF LAKESIDE ENGINEER'S REPRESENTATIVE JOE SCHALLER, P.E. SCHEDULE 24 HOURS IN ADVANCE 440.537.8945.
- CONTRACTOR SHALL TEMPORARILY USE STEEL PLATES OVER TRENCHES IN THE RIGHT-OF-WAY FOR ALL UTILITY UNDERGROUND WORK. PAVEMENT TRENCHES SHALL BE PLATED FOR NO MORE THAN 7 DAYS. TRENCHES SHALL BE TO THE SURFACE WITH EITHER TEMPORARY ASPHALT OR CONCRETE UNTIL THE FINAL RESTORATION IS MADE. PLACEMENT OF STONE AT THE SURFACE IS PROHIBITED.
- TWO WEEKS PRIOR TO INSTALLATION, PROVIDE MATERIAL SUBMITTALS FOR USE IN THE RIGHT-OF-WAY TO THE CITY ENGINEER FOR APPROVAL ALONG WITH THE MAINTENANCE OF TRAFFIC PLAN.
- PROVIDE AS-BUILT DRAWINGS TO THE CITY ENGINEER AT THE COMPLETION OF THE WORK.
- COORDINATE SEWER AND WATER CONNECTIONS WITH THE CITY OF LAKESIDE WASTEWATER / WATER COLLECTION (WWC). CONTACT NICK DELVECCHIO 216.529.1887. ONLY CITY OF LAKESIDE PERSONNEL SHALL OPERATE ANY VALVES WITHIN THE CITY RIGHT-OF-WAY. A NEW WATER CONNECTION IS REQUIRED FOR THIS PROJECT.



- NOTES:
- U1 PR 2" GAS LINE AND METER TO BE TIED INTO EXISTING GAS SERVICE.
 - U2 PR 1" WATER LINE TO CONNECT TO EXISTING WATER CONNECTION. CONTACT NICK DELVECCHIO 216.529.1887 TO SCHEDULE CITY OF THE SANITARY LATERAL.
 - U3 PR 6" SANITARY TEST TEE PER LS STANDARD DETAIL S-4
 - U4 CONTRACTOR TO LOCATE EXISTING LATERAL CONNECTION IN THE RIGHT OF WAY. UPON LOCATION CONTACT NICK DELVECCHIO 216.529.1887 TO SCHEDULE CITY OF THE SANITARY LATERAL. THE CITY OF LAKESIDE WILL REVERSE THE LINE TO DETERMINE IF IT IS SUITABLE FOR RE-USE AND CONNECTION. IF THE CONNECTION IS NOT SUITABLE FOR RE-USE THE CONTRACTOR SHALL INSTALL A NEW LATERAL TO THE SEWER MAIN.
 - U5 PR ELECTRICAL CONNECTION, ELECTRICAL METER AND DISCONNECT.
 - U6 PR STORMTECH SC-310 @ 0.5%
 - U7 PR 12" STORM CONNECTION TO COMBINATION SEWER TO BE FIELD VERIFIED SIZE AND INVERT ELEVATIONS. THEIR INDIVIDUAL INVERT ELEVATIONS TO BE FIELD LOCATED AND VERIFIED. ALL CATCH BASINS INSTALLED AND CONNECTED TO THE COMBINATION SEWER LINE NEED TO HAVE A TRAP SUCH THAT SEWER GASES DO NOT VENT TO THE ATMOSPHERE.
 - U8 MUST CATCH BASIN STORMTECH SC-310 AND GRAVEL TO SO MANHOLE IS OUTSIDE OF STORM SYSTEM.

UTILITY PLAN



GRADING PLAN

CREEKSIDE ENGINEERING LLC
13906 TINKERS CREEK RD.
VALLEY VIEW, OHIO 44125
(216) 496-7825

C-4
DRAWN BY: JAS
CHECKED BY: JMS

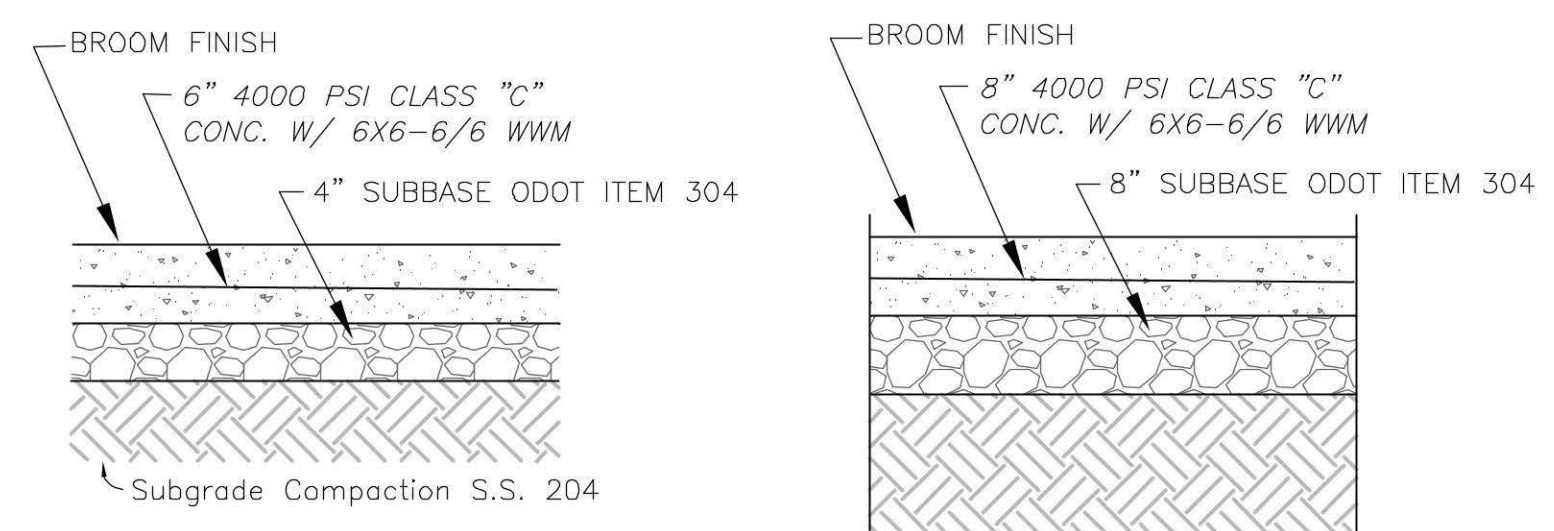
IMPROVEMENT PLANS FOR 1516 W117TH STR.
UTILITY & GRADING PLAN
CITY OF LAKESIDE, OHIO

REVISIONS	DATE	DESCRIPTION
CITY REVIEW	11/04/2020	
CITY REVIEW	12/17/2020	
ADDED ISOLATOR ROW, ADJUSTED CB LOCATION	01/29/2021	

BENCHMARK:
TOP OF I. PIN FRONT
NE CORNER OF LOT
1516 ELEV. = 697.65

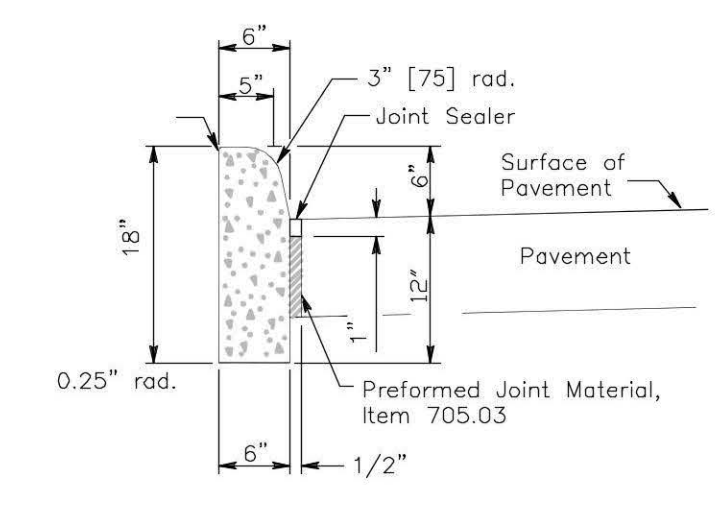
DATE 01/26/2021



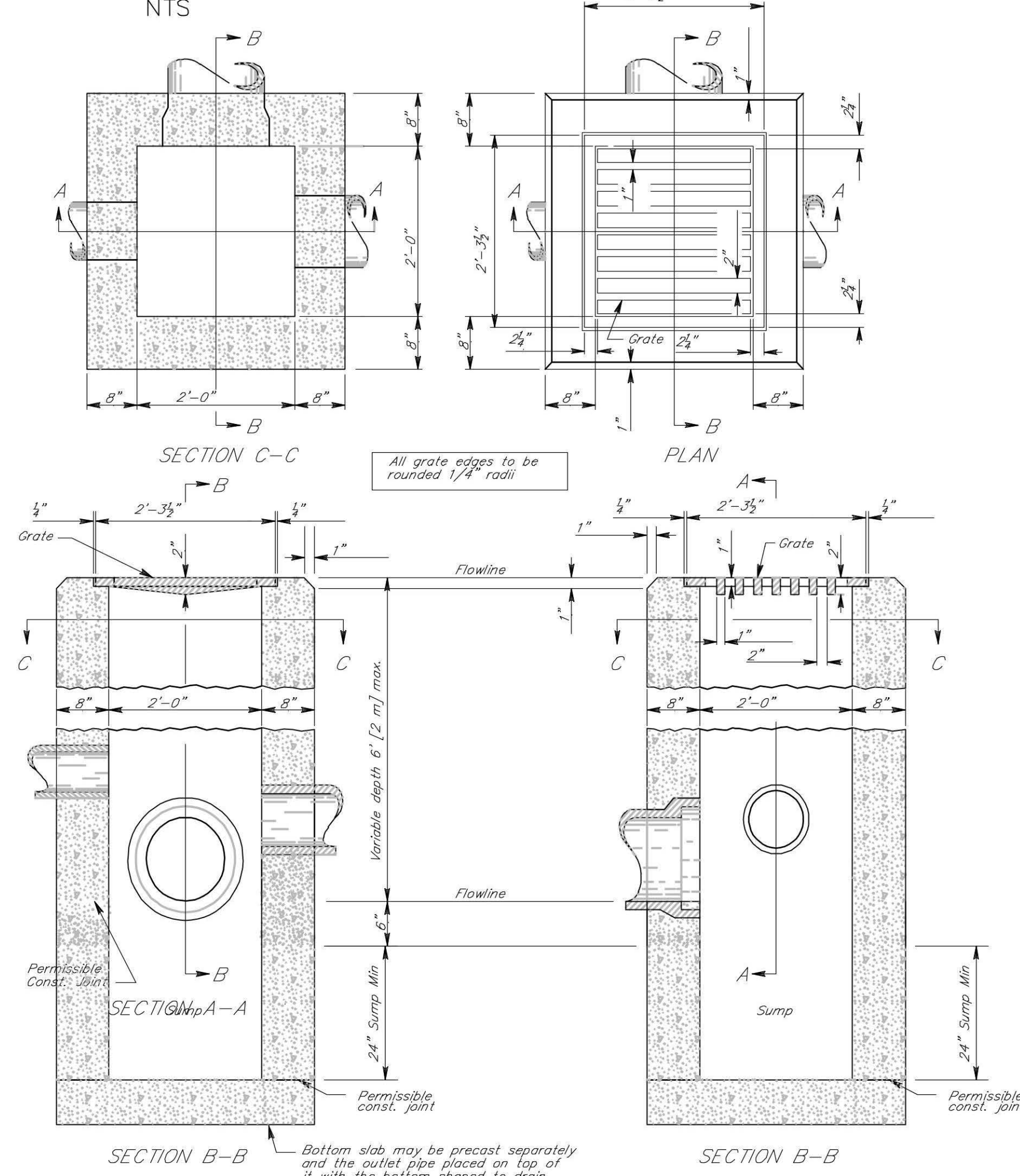


TYPICAL CONCRETE
N.T.S. FOR REFERENCE ONLY

CONCRETE DUMPSTER PAD
N.T.S. FOR REFERENCE ONLY



TYPE 6 CURB
NTS



CATCH BASIN
NTS

NOTES

GRATE: The design shall be essentially the same and equally as strong as the one shown (see construction information table), or meet the requirements of CMS 711.14. Grate openings and dimensions shall not differ from those shown unless otherwise shown in the plans.

If necessary, bicycle safe grates shall be specified in the plans. Bicycle safe grates shall be Neenah No. R-4559-C or East Jordan No. 5110 Type M3 or approved equals.

The following text shall be cast into the top of the grate:

"DUMP NO WASTE" and "DRAINS TO WATERWAY"

Text shall be printed in bold, capital letters with a minimum height of 1/4". "WATERWAY" may be substituted with "STREAM", "RIVER", "LAKE", etc. Actual placement and logo may vary per manufacturer.

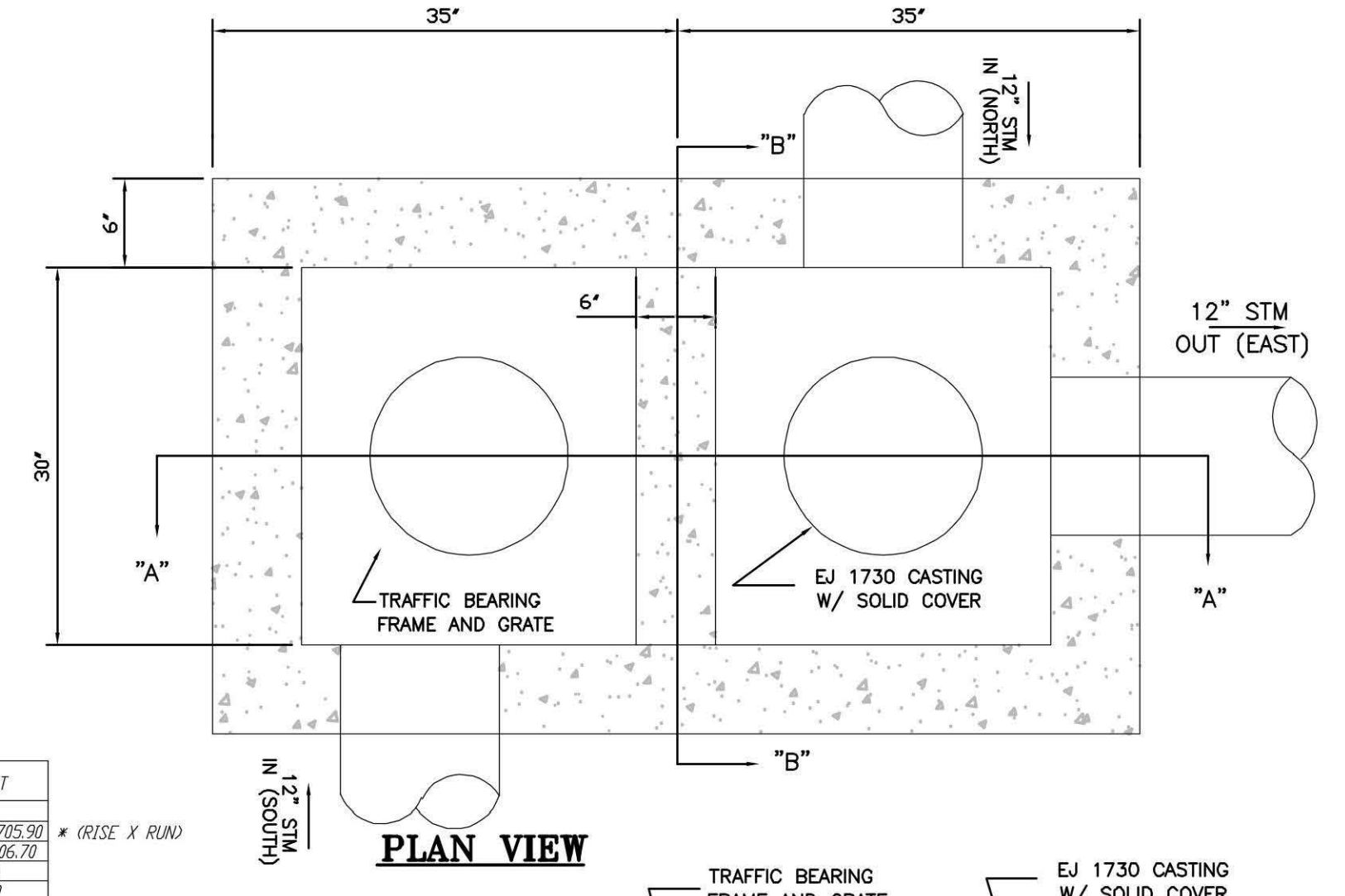
WALLS: Brick or cast-in-place walls have a nominal thickness of 8". Precast walls shall have a minimum thickness of 6" and be reinforced sufficiently to permit shipping and handling without damage.

CONCRETE: Cast-in-place concrete is to be Class C. All precast concrete shall meet the requirements of CMS 706.13 and be marked with the catch basin number.

PRECAST BASE: If a precast base is used, it shall be set deep enough so that the top can be placed on the base to provide the grate elevation specified in the plans. Layers of brick shall not be used to adjust the top elevation.

LOCATION AND ELEVATION: When given on the plans, location and elevation are at the top center of the grate. When side openings are provided, the elevation shall be at the flow line of the side inlet.

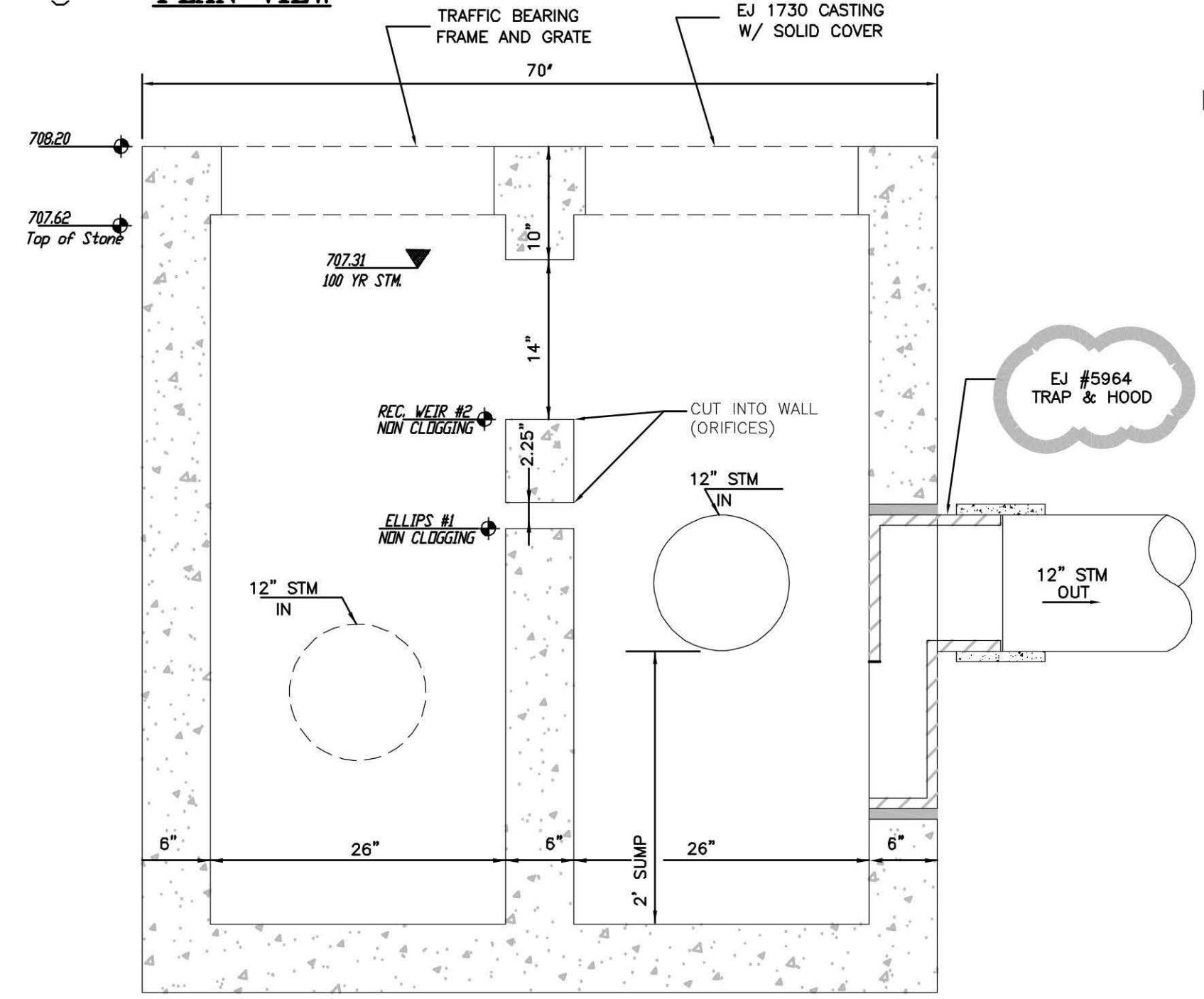
OPENINGS: Pipe openings shall be the O.D. of the pipe being supplied plus 2". When fabricated or field cut, the interstitial space shall be filled with grout per CMS 601.



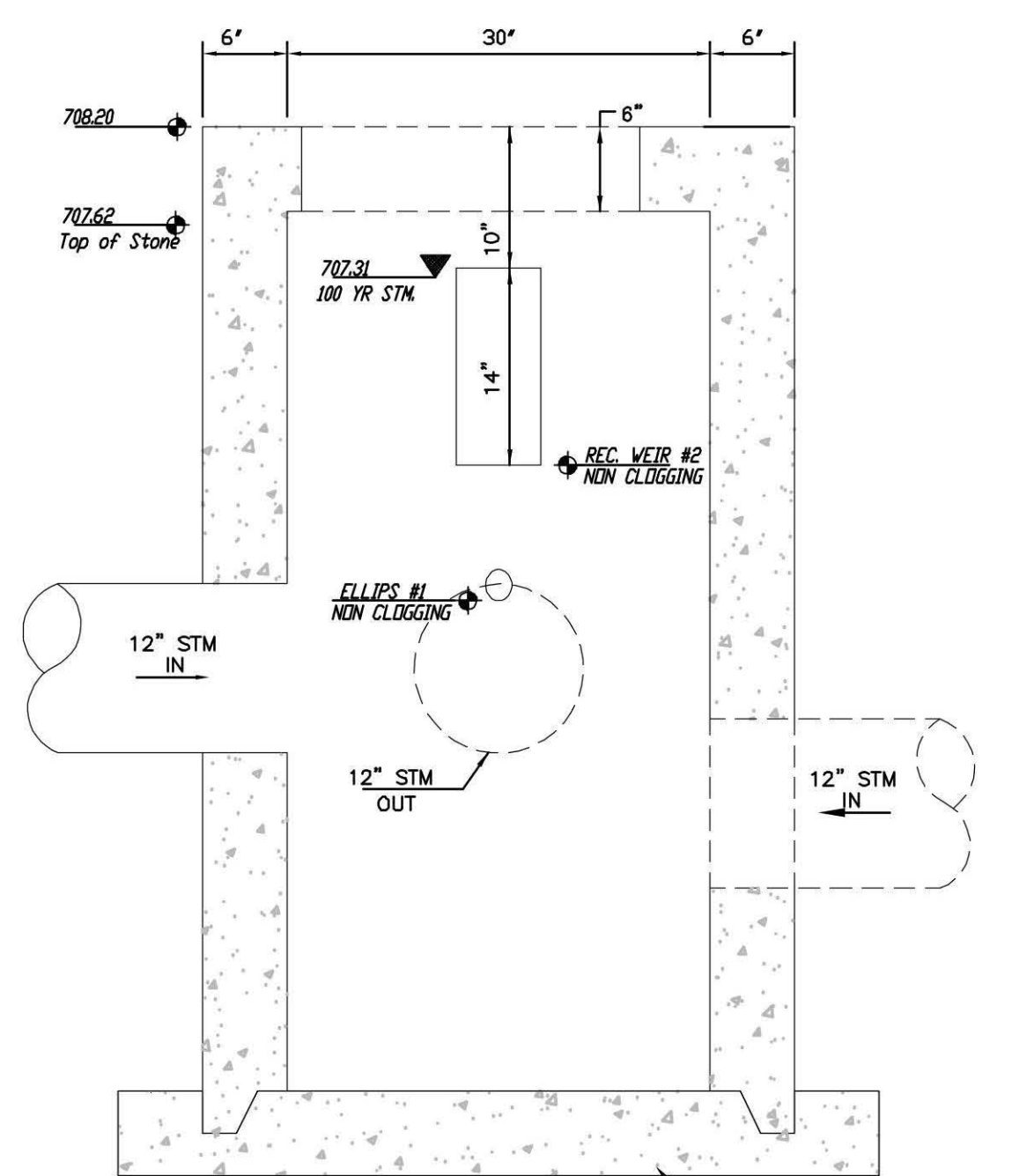
PLAN VIEW

GRATE	STORM OUTLET
ELLIPS #1	707.20
REC. WEIR #2	2.25' x 2.25' 705.90
INV.-IN	12" W 705.00
INV.-IN	12" S 704.90
INV.-OUT	12" E 705.00

(RISE X RUN)

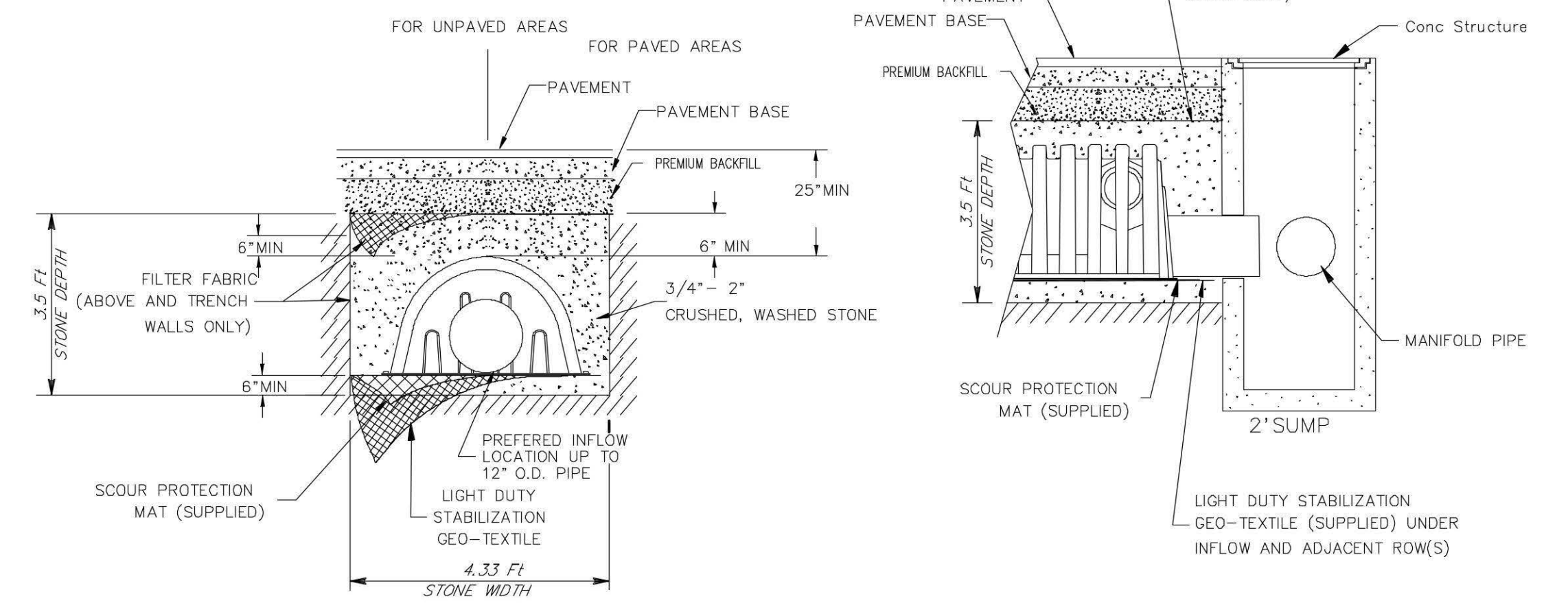


SECTION "A - A"
N.T.S.

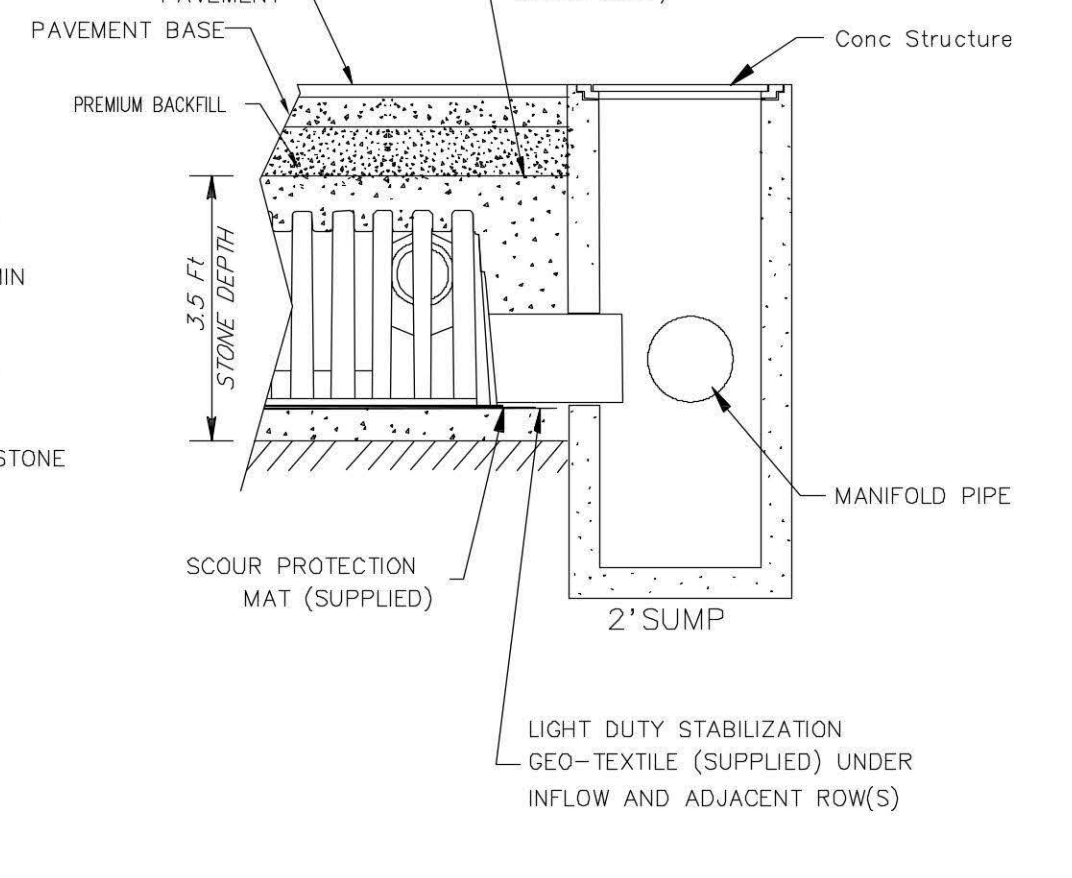


SECTION "B - B"
N.T.S.

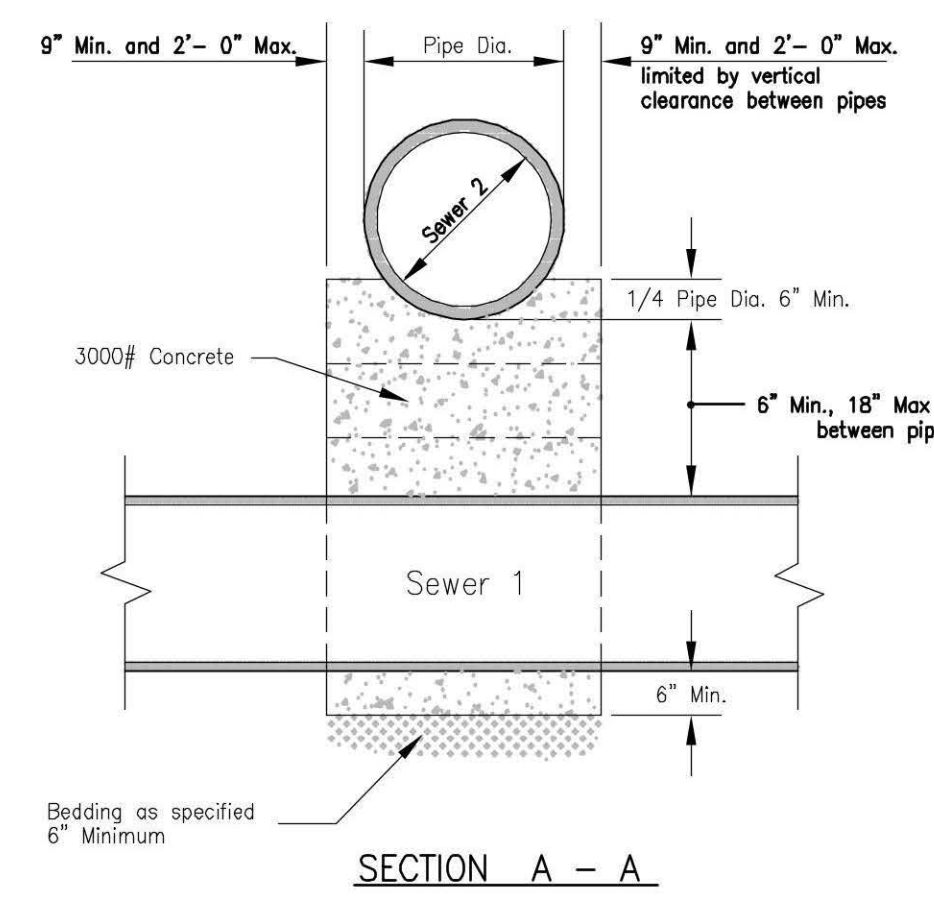
OUTLET STRUCTURE DETAIL
N.T.S.



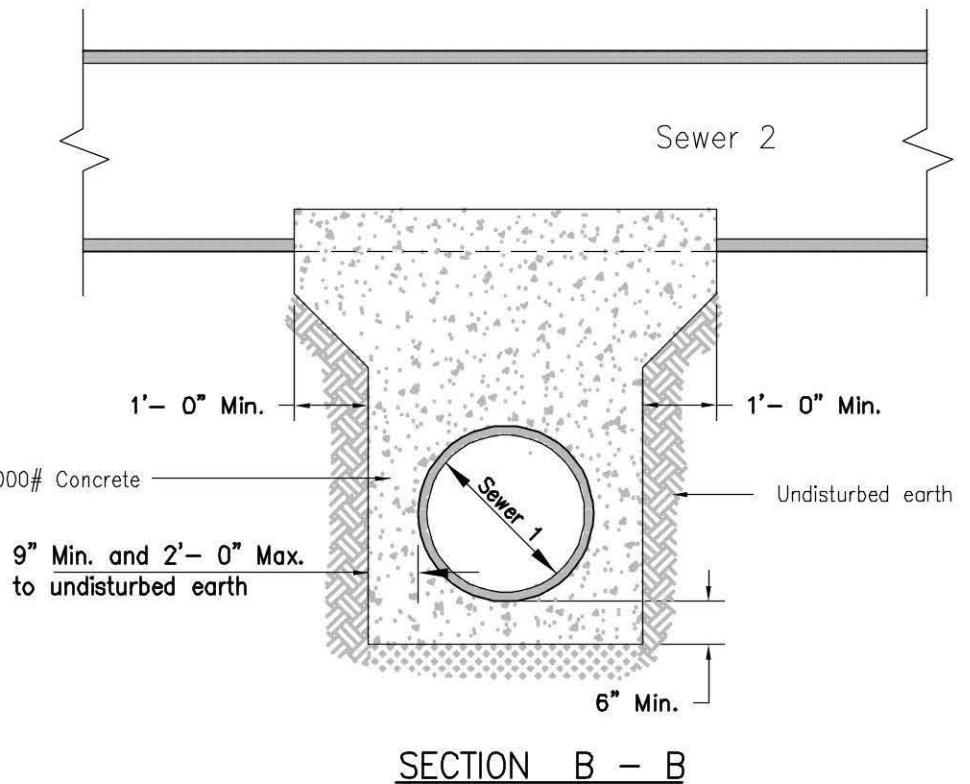
STORMCHAMBER SC-310
NTS CROSS-SECTION INSTALLATION



STORMTECH SC-310
NTS SECTION

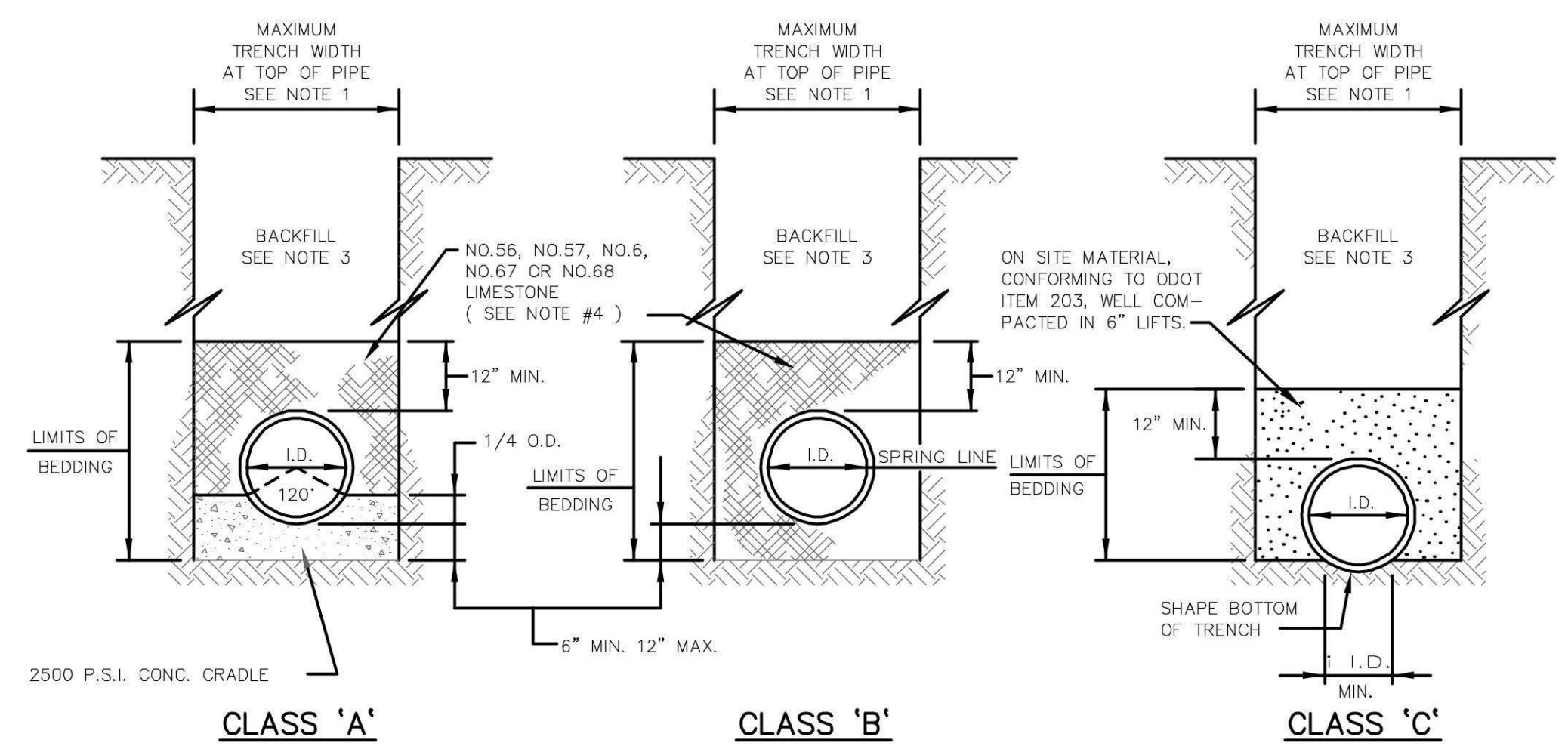


SECTION A - A



SECTION B - B

CONCRETE ENCASEMENT
NTS



CLASS 'A'

CLASS 'B'

CLASS 'C'

NOTES:

- MAXIMUM TRENCH WIDTH AT TOP OF PIPE SHALL BE O.D.+18" MIN., 24" MAX. FOR ALL PIPES UP TO AND INCLUDING 24" I.D.; O.D.+30" FOR PIPE LARGER THAN 24" I.D. TO 66" I.D.; AND O.D.+48" FOR PIPE SIZES 66" AND OVER.
- ALL TRENCH EXCAVATION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OHIO STATE INDUSTRIAL COMMISSION (OSIC) AND THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- ALL BACKFILL SHALL BE TAMPED WITH MACHINE MOUNTED TAMPING EQUIPMENT. NO FLOODING, SETTING OR PUDDLING OF BACKFILL WILL BE PERMITTED. BACKFILL SHALL BE COMPACTED TO 100% OF MAXIMUM LABORATORY DRY DENSITY PER ASTM D 698.
- ALL BEDDING SHALL BE CLASS "B" EXCEPT AS STATED IN NOTE 6 OR OTHERWISE NOTED ON THE PLANS. BEDDING LIMITS FOR R.C.P. AND D.I.P. SHALL BE TO THE PIPE SPRINGLINE.
- SLAG BEDDING SHALL NOT BE USED.
- BEDDING FOR DUCTILE IRON PIPE USED FOR WATERLINE OR FORCE MAIN SHALL BE CLASS "C" EXCEPT WHEN INSTALLED IN ROCK AND UNDER PAVEMENT OR STRUCTURES, IN WHICH CASE, BEDDING SHALL BE CLASS "B" OR AS NOTED ON THE PLANS.
- INSTALL A MAGNETIC DETECTOR TAPE 12" ABOVE THE CENTERLINE OF NON-METALLIC WATERLINES OR SANITARY FORCE MAINS.
- IN THE RIGHT OF WAY, ABOVE THE PIPE BEDDING AND COVER THE BACKFILL SHALL BE LSM PER 613 LOW STRENGTH MORTAR (LSM) UP TO THE PAVEMENT SUBGRADE ELEVATION.

TRENCH & BEDDING DETAILS

CREEKSIDE ENGINEERING LLC
13906 TINKERS CREEK RD.
VALLEY VIEW, OHIO 44125
(216) 496-7825

C-6
DRAWN BY: JAS
CHECKED BY: JMS

IMPROVEMENT PLANS FOR W117TH STR.
DETAILS AND NOTES
CITY OF LAKEWOOD, OHIO

REVISIONS	DATE	DESCRIPTION
CITY REVIEW	11/04/2020	
CASTING CALLOUT	12/11/2020	
TRAP	12/11/2020	

BENCHMARK:
TOP OF I. PIN FRONT
NE CORNER OF LOT
1516 ELEV. = 697.65