

**AGENDA
PLANNING COMMISSION
FEBRUARY 6, 2020
LAKEWOOD CITY HALL**

**PRE-REVIEW MEETING
6:30 P.M.
AUDITORIUM**

Review docket items

**REGULAR MEETING
7:00 P.M.
AUDITORIUM**

- 1. Roll Call**
- 2. Approve the Minutes of the January 2, 2020 meeting**
- 3. Opening Remarks**

**OLD BUSINESS
PLANNED DEVELOPMENT**

- 4. Docket No. 12-33-19*
14503 Madison Avenue
St. Clement Church**

Dru Siley, Liberty Development Co., applicant requests approval of a portion of the St. Clement Church campus for the development of 16 for sale townhomes, pursuant to Chapter 1156 – Planned Development. The property is in a C2 – Commercial, Retail district and an R-2 – Single and Two-Family district. (Page 3)

***This item is deferred from the February meeting.**

**NEW BUSINESS
CONDITIONAL USE**

- 5. Docket No. 02-02-20
12501 Madison Avenue
The Nest on Madison**

Jim Miketo, Neighborhood Drummer, applicant requests review for a Conditional Use approval for the complete rehab of the building, will have 18 apartments over three floors, and three first floor retail spaces. Property is in a C2, Commercial, Retail district. Pursuant to section 1129.02 - principal and conditional permitted uses. (Page 7)

PARKING PLAN

- 6. Docket No. 02-03-20
13229 Madison Avenue
Lakewood Public Library**

James Shook, HBM Architects, applicant requests review parking plan review for renovation and expansion of existing library, reconfiguration of parking area, drive access, and landscaping improvements. Property is in a C2, Commercial, Retail district. Pursuant to section 1143.09 - parking plan review. (Page 30)

7. Docket No. 02-04-20
11714 / 11716 Nelson Court
Emerald Development & Economic Network, Inc.

Richard Carr, Emerald Development & Economic Network, Inc., applicant requests parking plan review for an apartment complex. Property is in an R2, Single and Two-Family district. Pursuant to sections 1143.09 - parking plan review and 1143.10 - exceptions to required minimums. (Page 41)

CONDITIONAL USE

8. Docket No. 02-05-20
11714 / 11716 Nelson Court
Emerald Development & Economic Network, Inc.

Richard Carr, Emerald Development & Economic Network, Inc., applicant requests review of rehabilitation of two existing buildings. Reconfigure of existing one-bedroom units and one new ADA unit, addition of two new two-bedroom units on third floor of each building. Property is located in an R-2, Single and Two-Family district. Pursuant to section 1149.03 - non-conforming use of structures o structures and land in combination. (Page 49)

COMMUNICATION

9. Docket No. 02-06-20
Accessory Dwelling Units (ADUs)

Communication from City Staff on the proposed process to study accessory dwelling units (ADUs) in Lakewood, as requested by the Planning Commission members at their meeting on December 5, 2019. ADUs were also recommended by the Resiliency Task Force in the Action Guide. (Page 57)

ADJOURN

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL19-000021
DOCKET No. 12-33-19
FEE PAID \$500.00 in check
n/a -

APPLICATION
LAKEWOOD PLANNING COMMISSION

Property Address 14503 Madison Avenue Business/Tenant Name St. Clement Church
Property Owner Name Diocese of Cleveland Owner Phone (216) 226-5116
Owner E-mail jworkman@dioceseofcleveland.org Zoning C-2/R-2 Parcel Number See Exhibit
Project Summary PD request for a portion of the St. Clement campus currently zoned C-2 and R-2 to allow for the development of townhomes


Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)
- Parking Plan Review - (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Dru Siley Company Liberty Development Co.
Applicant Address: 28045 Ranney Pkwy. Suite E. Westlake, Ohio 44145
Phone: 216-892-1800 Fax: _____ E-mail: ds@liberty-development.com
Signature:  Date: 010-22-2019

OFFICE USE ONLY: Application Reviewed and Accepted by: K. Milius Date: 10/23/19

File History: _____

Bldg. Dept. Remarks: _____

ORD. 17-17 SECTION 1156

3

Johanna Schwarz

From: Dru Siley <DS@liberty-development.com>
Sent: Monday, January 27, 2020 2:03 PM
To: Katelyn Milius
Cc: Johanna Schwarz
Subject: Re: St. Clement Planning Commission

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Confirmed deferral for February. We will attend in March and April. Thanks.

Dru Siley

Liberty Development Company

28045 Ranney Parkway - Suite E

Westlake, Ohio 44145

Phone: (440) 892-1800

Fax: (440) 892-1801

Cell: (216) 258-3113

Email: ds@liberty-development.com

On Jan 27, 2020, at 1:38 PM, Katelyn Milius <Katelyn.Milius@lakewoodoh.net> wrote:

Hi Dru,

Please confirm the St. Clement will be deferred from the February PC meeting. Do you expect it to come in March or April?

Thank you!

Katelyn

Katelyn Milius, PE

City Planner

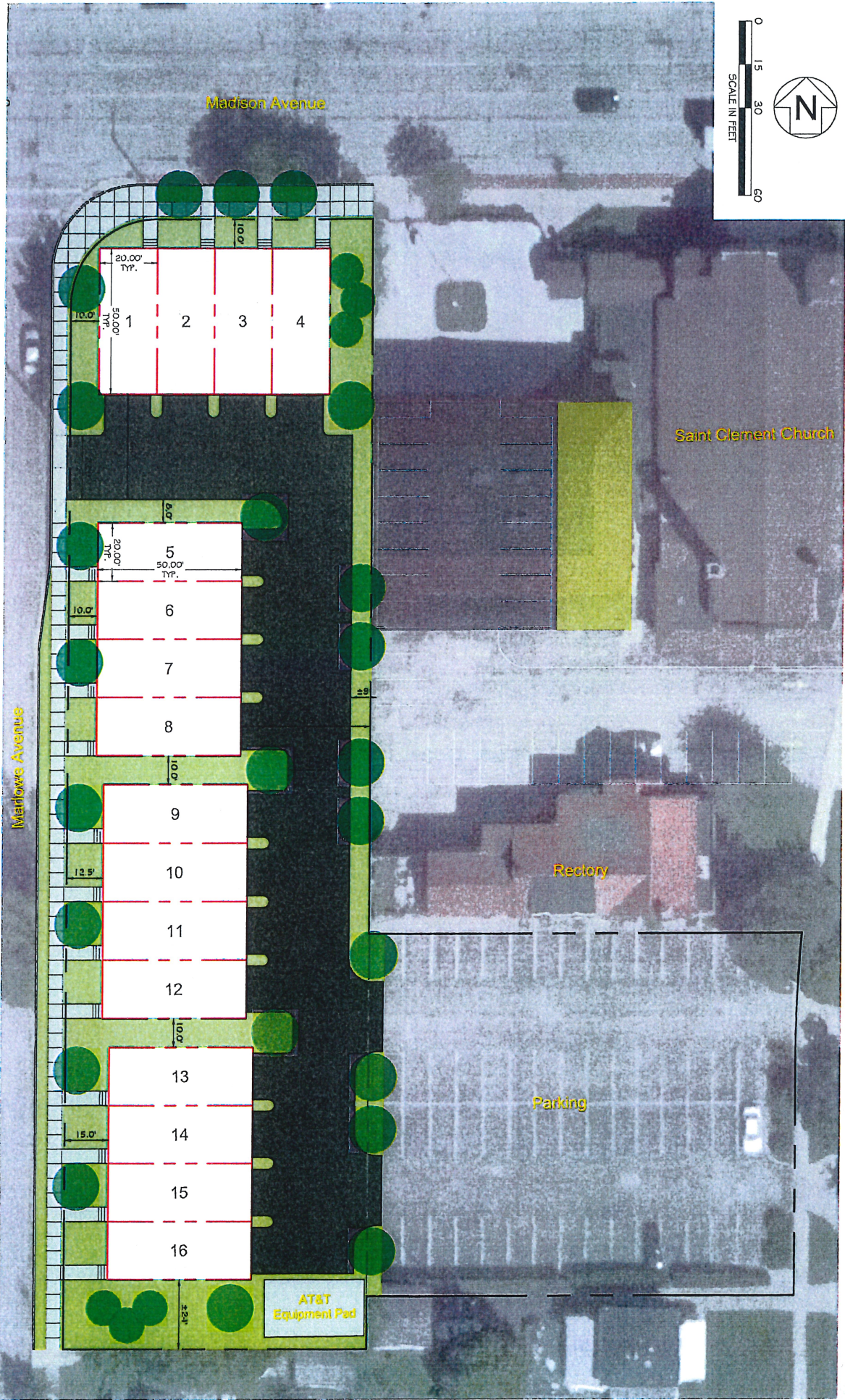
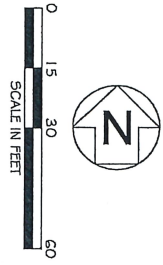
Department of Planning & Development

City of Lakewood

12650 Detroit Avenue

Lakewood, OH 44107

216-529-6634



Townhome Concept
Lakewood, Ohio



SP-02
DRAWN BY: CBF
DATE: 10-NOV-2019

6

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PC 20-000003
DOCKET No. 02-02-20
FEE PAID _____

APPLICATION
LAKWOOD PLANNING COMMISSION

Property Address 12501 Madison Ave Business/Tenant Name The Nest on Madison
Property Owner Name Little Jemmy Owner Phone 4406665836
Owner E-mail jim@cledrummer.com Zoning Local Retail Parcel Number 315-23-028

Project Summary Complete rehab of the building. Once completed, will have 18 apartments over 3 floors and three retail spaces on the first floor along Madison Ave. The building will have an elevator and rooftop deck for the tenants.

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division** – (Commercial \$200, Residential \$200, Planned Development \$500)
 Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
 Planned Development – (\$500)
 Similar Use – (Commercial \$50, Residential \$25)
 Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
 Variance – (Commercial \$50, Residential \$25)
 Parking Plan Review – (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Jim Miketo Company Neighborhood Drummer

Applicant Address: 18155 Clifton Rd Lakewood OH 44107

Phone: 4406665836 Fax: _____ E-mail: jim@cledrummer.com

Signature: _____ Date: _____

OFFICE USE ONLY: Application Reviewed and Accepted by: K. Milius Date: 1/24/2020

File History: _____

Bldg. Dept. Remarks: _____

ORD. 31-17 SECTION 1129.02

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes No

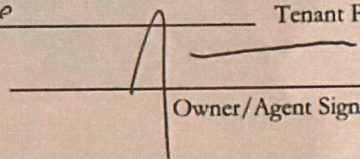
Please Print or Type:

Owner/Agent Name: Jim Mikoto

Property Address: 12501 Madison Ave

Owner/Agent Phone: 440-666-5836

Tenant Name same Tenant Phone same



 Owner/Agent Signature

2020 Calendar Planning Commission

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-19-19	Thursday	01-02-20	Thursday	01-02-20
February	Wednesday	01-22-20	Thursday	02-06-20	Thursday	02-06-20
March	Wednesday	02-19-20	Thursday	03-05-20	Thursday	03-05-20
April	Wednesday	03-18-20	Thursday	04-02-20	Thursday	04-02-20
May	Wednesday	04-22-20	Thursday	05-07-20	Thursday	05-07-20
June	Wednesday	05-20-20	Thursday	06-04-20	Thursday	06-04-20
July	Wednesday	06-17-20	Thursday	07-02-20	Thursday	07-02-20
August	Wednesday	07-22-20	Thursday	08-06-20	Thursday	08-06-20
September	Wednesday	08-19-20	Thursday	09-03-20	Thursday	09-03-20
October	Wednesday	09-16-20	Thursday	10-01-20	Thursday	10-01-20
November	Wednesday	10-21-20	Thursday	11-05-20	Thursday	11-05-20
December	Wednesday	11-18-20	Thursday	12-03-20	Thursday	12-03-20
January	Wednesday	12-23-20	Thursday	01-07-21	Thursday	01-07-21

PLEASE NOTE: Applications are submitted to the Building Department and are due before noon on the above indicated dates. It is recommended to submit them prior to the application deadline for review of completeness. Late or incomplete applications cannot be accepted.

Pre-Review Meetings for the Commission start at 6:30 P.M. in the Auditorium unless otherwise indicated. Use the rear northeast entrance to the Auditorium.

Review Meetings start at 7:00 P.M. in the Auditorium at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review. Use the rear northeast entrance to the Auditorium.

DRAWING TITLE:
Life Safety Plan

MARK: ISSUE: DA: 12
 DD: REVIEW

PROJECT # 1008.01
 DRAWN BY: **
 CHECKED BY: **

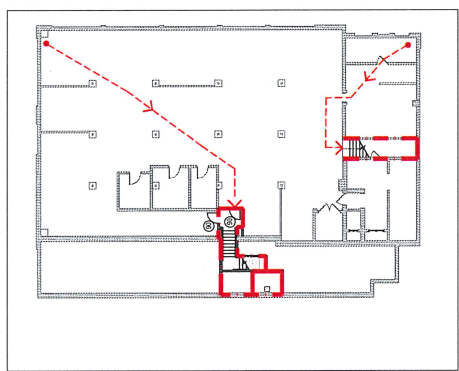
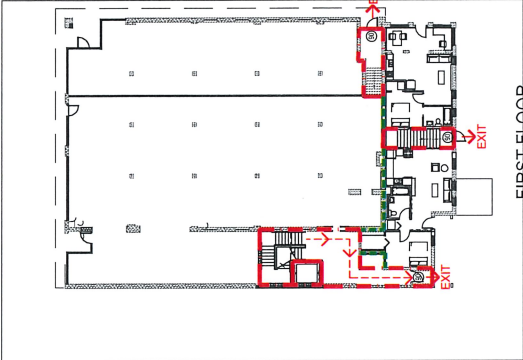
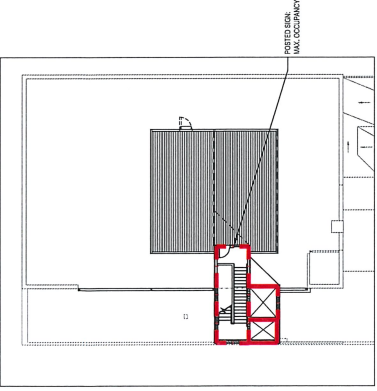
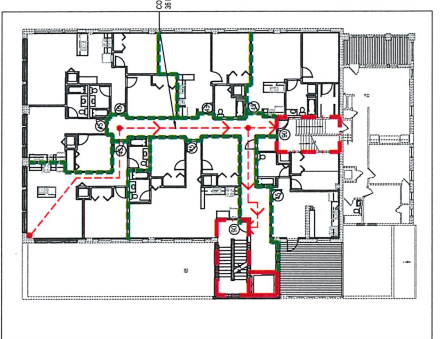
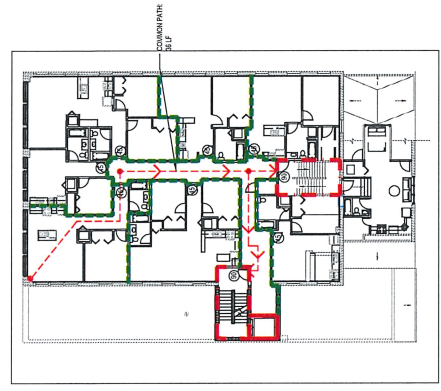
DESCRIPTION OF WORK FOR:
RENOVATION
 12501 MADISON
 LAKEWOOD, OH

PROJECT:
 Architects + Urbanists
 Architecture + Planning + Interiors + Preservation + Urban Design
 www.arkitects.com
 Cleveland Office
 3122 Main Road
 Cleveland, OH 44119
 P 216.749.7800
 F 216.749.1300

PRELIMINARY
 NOT FOR
 CONSTRUCTION

LIFE SAFETY PLAN SYMBOL LEGEND

	EXISTING WALL UPRIM
	NEW WALL - COORDINATE WITH WALL SECTIONS ON WALL TYPES
	EXISTING EGRESS DOOR AND FRAME TO REMAIN
	NEW EGRESS DOOR AND FRAME
	PATH OF EGRESS
	2 HOUR RATED WALL
	1 HOUR RATED WALL
	DOOR RATING



LIFE SAFETY PLAN
 1/16" = 1'-0"
 PLAN NORTH

PRELIMINARY
NOT FOR CONSTRUCTION

arknetics
Architects + Urbanists
www.arknetics.com
F: 216.749.7800
P: 216.749.1300
Cleveland Office
1225 Franklin Road
Cleveland, OH 44109

DESCRIPTION OF WORK FOR:
RENOVATION
12501 MADISON
LAKEWOOD, OH

- GENERAL DEMOLITION NOTES:**
1. FIELD VERIFY EXISTING CONDITIONS AND REVISIONS REFER TO CLARIFY WORK.
 2. PROVIDE DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK SHOWN.
 3. VERIFY ALL DEMOLITION WORK IS FIELD VERIFIED AND COORDINATED WITH ALL TRADES AND CONTRACTORS.
 4. REMOVE CEILING AND PARTS OF EXISTING WALLS, FLOORS AND CEILING AS REQUIRED TO ACCOMMODATE NEW WORK. PATCH TO MATCH EXISTING FINISHES. PROVIDE FINISHES TO MATCH EXISTING FINISHES UNLESS OTHERWISE NOTED. PROVIDE SCHEDULING AS REQUIRED AT AREAS OF DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 5. PROVIDE SCHEDULING AS REQUIRED AT AREAS OF DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 6. COORDINATE EXISTING AND DEMOLITION OF ALL RELOCATED/UNAVAILABLE FEASIBILITY OWNER.
 7. COORDINATE ASPECTS OF DEMOLITION WITH ALL TRADES, CONTRACTORS, ELECTRICAL, AND PLUMBING CONTRACTORS.
 8. REQUIRED SPACES OF EXISTING SHALL BE MAINTAINED DURING CONSTRUCTION AND RENOVATION TO THE BUILDING.
 9. EXISTING FIRE DEPARTMENT VEHICLE ACCESS SHALL BE MAINTAINED DURING CONSTRUCTION.

- DEMOLITION KEY NOTES:**
- CE2D REMOVE EXISTING DAMAGED PLASTER WALL FINISH TO LAINE AND EXPOSE FRAMING.
 - CE2D REMOVE EXISTING WINDOW & STRUCTURE. PREPARE FOR NEW WINDOW.
 - CE2D REMOVE EXISTING DOOR. PREPARE FOR EXISTING WALL IN PLACE & FINISH FLOOR FINISH.
 - CE2D REMOVE EXISTING WINDOW & PREPARE WALL FINISH AT INTERIOR WALL. (REMOVE IN FLOOR FINISH).
 - CE2D REMOVE EXISTING WALL. PREPARE FOR NEW WINDOW INSTALLATION.
 - CE2D REMOVE EXISTING HVAC UNIT AND ALL ASSOCIATED PIPING AND DUCTWORK.
 - CE2D REMOVE EXISTING WINDOW, DOOR, FINISH, AND WOOD STUD WALLS BACK TO WOODWORK STRUCTURE.
 - CE2D REMOVE EXISTING TOILET PARTITIONS & PLUMBING FIXTURES.
 - CE2D REMOVE EXISTING ACCELY TILE & CEILING GRID.
 - CE2D REMOVE EXISTING PLASTER CEILING TO LAINE. PREP FOR NEW FINISH.
 - CE2D REMOVE EXISTING PARTITION. PREPARE FOR DOUBLE FRAME WINDOW.
 - CE2D REMOVE EXISTING STAINING SEAL COAT MATERIAL, TRIM AND FINISHES. PATCH PLASTER MASONRY SUBSTRATE FOR FINISHING.
 - CE2D REMOVE EXISTING PARTITION AND FINISH. PATCH & FINISH.
 - CE2D REMOVE EXISTING PARTITION AND FINISH. PATCH & FINISH.
 - CE2D REMOVE EXISTING MASONRY WALL RECESSED MASONRY WALL.
 - CE2D REMOVE EXISTING PARTITION TO FINISH.
 - CE2D REMOVE AND PREP FOR NEW SUBFLOOR.
 - CE2D REMOVE EXISTING MASONRY WALL. PREPARE FOR NEW RECESSED MASONRY WALL.
 - CE2D REMOVE EXISTING PLASTER.

DEMOLITION SYMBOLS

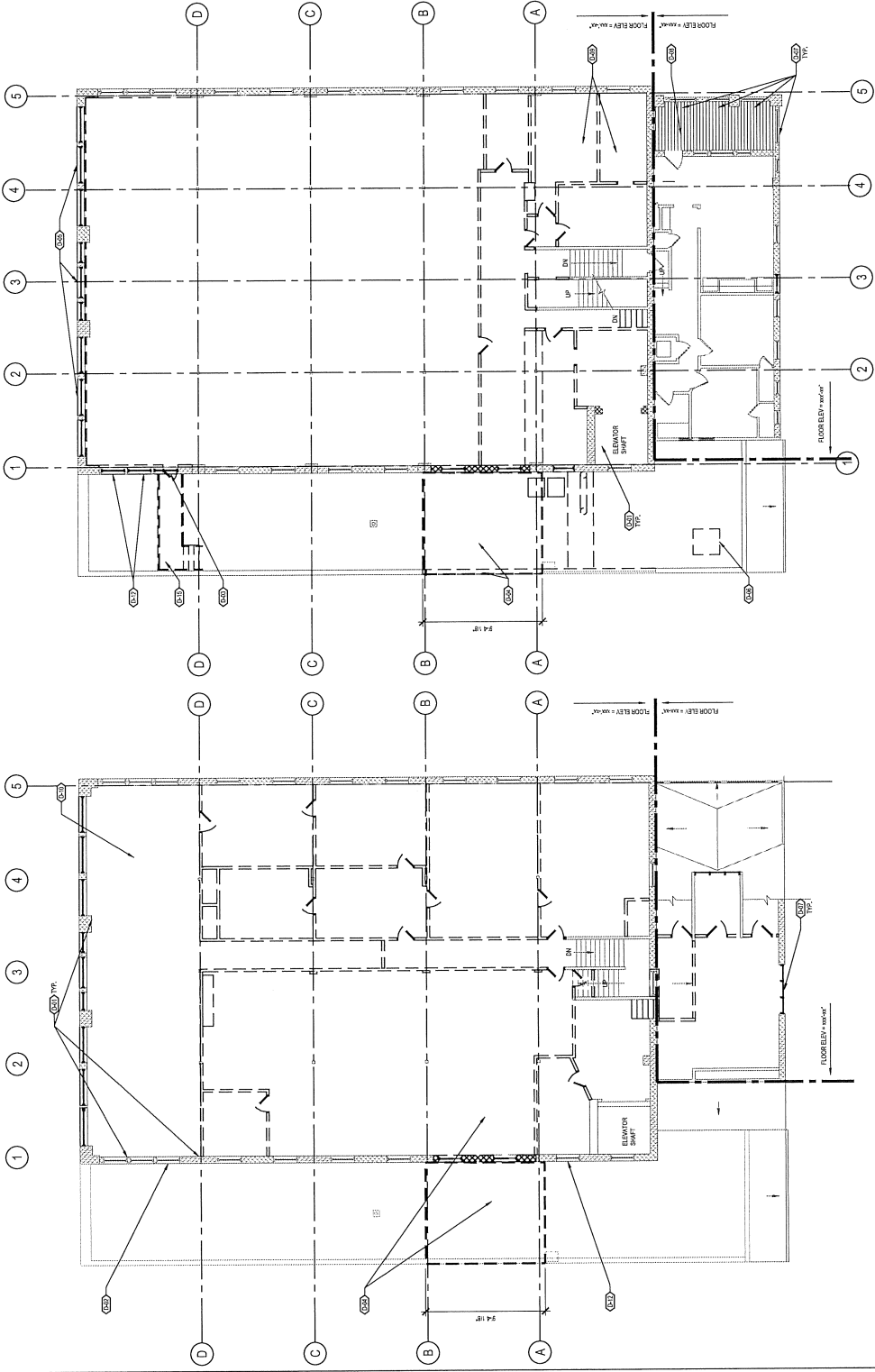
---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO BE DEMOLISHED
---	EXISTING WINDOW AND FRAME TO REMAIN
---	EXISTING WINDOW AND FRAME TO BE DEMOLISHED

PROJECT # _____ CHECKED BY: JP
DRAWN BY: CJ
DATE: _____

MARK, ISSUE, REVIEW, REVISION

DRAWING TITLE
DEMOLITION PLANS
SECOND AND
THIRD FLOORS

SHEET #
A0.02



SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

THIRD FLOOR DEMOLITION PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK.
2. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED DURING CONSTRUCTION AND RESTORATION TO THE BUILDING.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
4. REFER TO ALL DRAWINGS FOR SEE ELEVATIONS INCLUDING, BUT NOT LIMITED TO BRONZE, SOUTHWEST, CORNER, SITE BRONZE, BRONZE AND DOWN WITH HANDRAILS.
5. VERIFY ALL FLOOR FINISHES WITH THE ARCHITECT.
6. VERIFY ALL ROOM OPERATIONS FOR NEW DOORS AND WINDOWS WITH MANUFACTURER'S REQUIREMENTS.
7. COORDINATE LOCATIONS OF FIRE EXTINGUISHERS AND EXTINGUISHER CABINETS WITH THE ARCHITECT AND THE LOCAL FIRE DEPARTMENT.
8. COORDINATE ALL FLOOR BRAN LOCATIONS WITH THE PROJECT ARCHITECT AND THE LOCAL ELECTRICAL CONTRACTOR.

FLOOR PLAN SYMBOL LEGEND

USE FOR LARGER AREA INDICATIONS SEE REFERENCE TO SHEET.

- EXISTING WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- NEW WALL - COORDINATE WITH WALL SECTIONS OR WALL TYPES
- NEW MASONRY WALL
- EXISTING SWING DOOR AND FRAME TO REMAIN
- NEW SWING DOOR AND FRAME
- NEW WALL WITH CONTROL PANEL LOCATION WALL 3/4" x 1/2" SEE DETAIL
- DOOR TO BE COORDINATE WITH DOOR SCHEDULE
- WINDOW TO BE COORDINATE WITH WINDOW TYPES ON SHEET 101
- WALL MOUNTED THE EXTINGUISHER AND EXTINGUISHER CABINET WITH THE ARCHITECT AND THE LOCAL FIRE DEPARTMENT.
- FIRE EXTINGUISHER CABINET (SEE DETAIL)
- FIRE EXTINGUISHER CABINET (SEE DETAIL)

FLOOR PLAN KEY NOTES

- (K25) SPECIFIC PLAN NOTATION
- (K26) SPECIFIC PLAN NOTATION
- (K27) SPECIFIC PLAN NOTATION



ROBERT J. POWELL, LICENSE #11599
 EXP. DATE: 12/1/21

arknetics
 Architects + urbanists
 Architecture + Planning + Preservation + Urban Design
 www.arknetics.com
 P: 216.749.7800
 F: 216.749.1300
 12501 MADISON
 LAKEWOOD, OH

DESCRIPTION OF WORK FOR:
RENOVATION

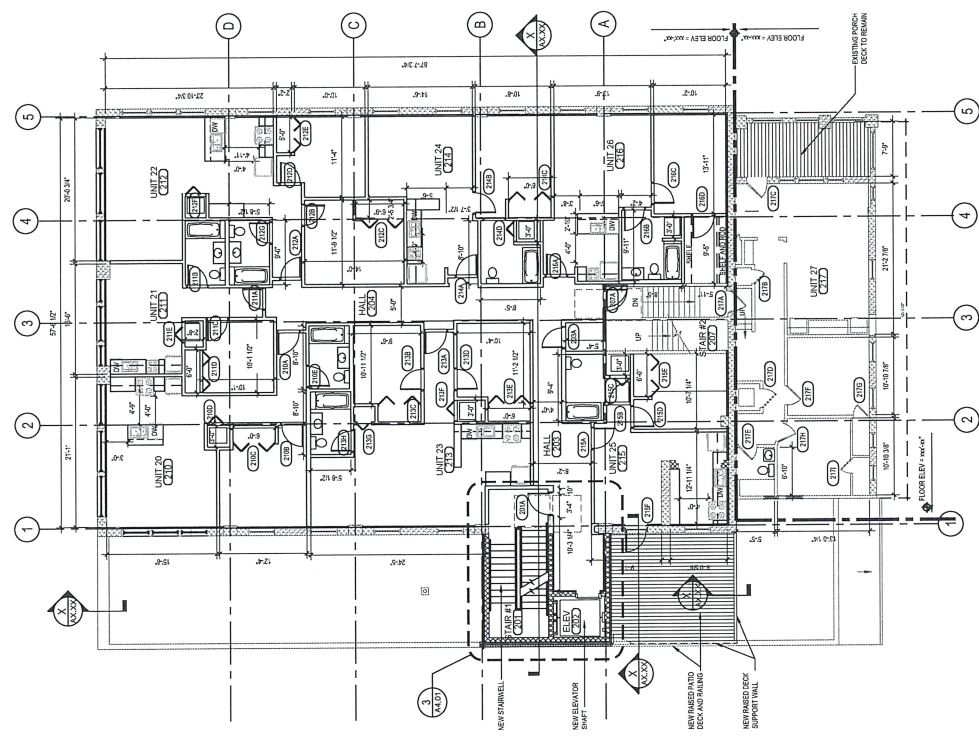
PROJECT # 190611
 DRAWN BY: CI
 CHECKED BY: BT
 DATE: 11/11/21
 REVIEW: PLANNING REVIEW

MARK: ISSUE
 DATE: 11/11/21
 REVIEW: PLANNING REVIEW

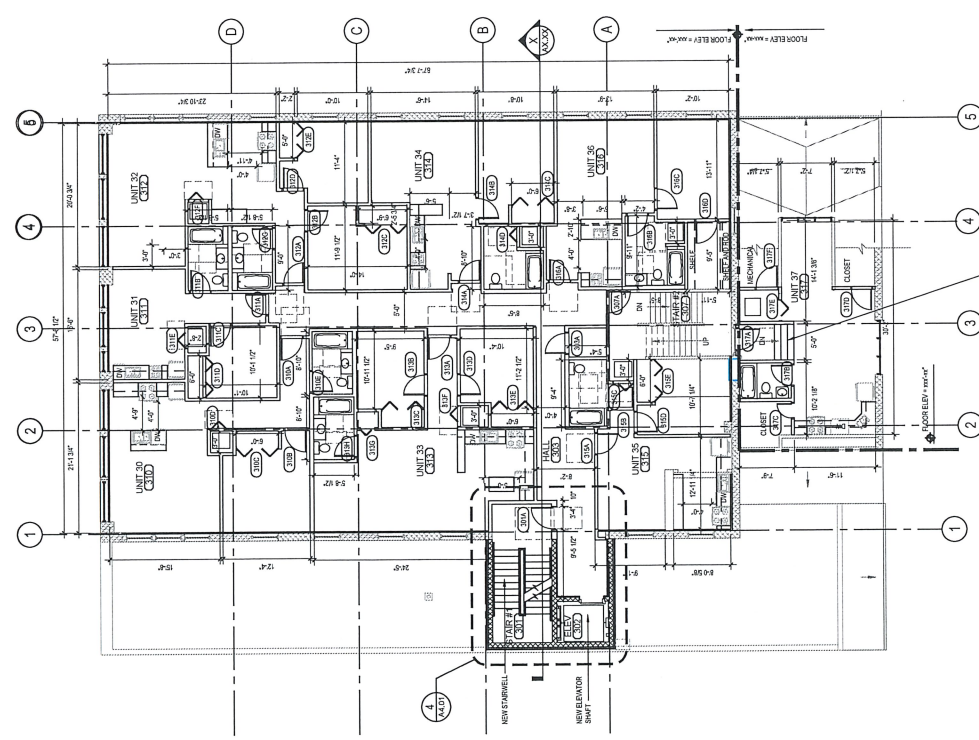
PROJECT # 190611
 DRAWN BY: CI
 CHECKED BY: BT
 DATE: 11/11/21
 REVIEW: PLANNING REVIEW

MARK: ISSUE
 DATE: 11/11/21
 REVIEW: PLANNING REVIEW

PROJECT # 190611
 DRAWN BY: CI
 CHECKED BY: BT
 DATE: 11/11/21
 REVIEW: PLANNING REVIEW



SECOND FLOOR PLAN
 1/8" = 1'-0"



THIRD FLOOR PLAN
 1/8" = 1'-0"



arknetics
 Architecture • Planning • Interiors • Preservation • Urban Design
 www.arknetics.com
 Cleveland Office
 12200 Lorain Road, Suite 100
 Cleveland, OH 44109
 Tel: 216.749.1300
 Fax: 216.749.7800

DESCRIPTION OF WORK FOR:
RENOVATION
 12501 MADISON
 LAKEWOOD, OH

MARK: ESSE
 DATE: 02/20/21
 DRAWN BY: DJ
 CHECKED BY: BT
 PROJECT # 1904P
 DRAWING # C1
 PLAN VIEW
 PLANNING REVIEW

PROJECT # 1904P
 DRAWING # C1
 CHECKED BY: BT
 DRAWN BY: DJ

ISSUED FOR PERMITS AND PROPOSED ROOF PLAN

SHEET #
A1.03

- FLOOR PLAN GENERAL NOTES**
1. RE-DRAW EXISTING CONDITIONS DIMENSIONS PRIOR TO START OF WORK.
 2. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED DURING CONSTRUCTION AND RENOVATION TO THE BUILDING.
 3. ALL EXISTING WALLS SHALL BE MAINTAINED UNLESS OTHERWISE INDICATED DURING ALL PHASES OF CONSTRUCTION.
 4. REFER TO COOL FRAMING FOR EXISTING SUBSTRUCTURES INCLUDING BUT NOT LIMITED TO STORAGE, BOOTWALKS, CURBS, SITE DRAINAGE, FOUNDATION AND STAIRS WITH ELEVATIONS.
 5. ALL NEW CONSTRUCTION SHALL BE CONFORMANT WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) UNLESS NOTED OTHERWISE.
 6. VERIFY ALL ROUGH OPENINGS FOR NEW DOORS AND WINDOWS WITH MANUFACTURER'S REQUIREMENTS.
 7. COORDINATE LOCATIONS OF FIRE EXTINGUISHERS AND FIRE ALARMS WITH THE LOCAL FIRE DEPARTMENT AND THE LOCAL FIRE MARSHAL.
 8. COORDINATE ALL FLOOR PLAN LOCATIONS WITH THE PROJECT CONSULTING ENGINEER.

FLOOR PLAN SYMBOL LEGEND

USE FOR LARGE AREA INDICATIONS, E.G. NEW CONCRETE SLAB

[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	EXISTING MASONRY WALL TO REMAIN
[Symbol]	NEW WALL - COORDINATE WITH WALL SECTIONS PER WALL TYPES
[Symbol]	NEW MASONRY WALL
[Symbol]	EXISTING SWING DOOR AND FRAME TO REMAIN
[Symbol]	NEW SWING DOOR AND FRAME
[Symbol]	NEW WALLS AND CONTROL JANT LOCATION WALL 3/4" x 2" x 8" L.S. DETAIL
[Symbol]	DOOR TAG COORDINATE WITH DOOR SCHEDULE
[Symbol]	WINDOW TAG COORDINATE WITH WINDOW TYPES ON SHEET #AL
[Symbol]	WALL MOUNTED FIRE EXTINGUISHER AND FIRE ALARM
[Symbol]	FRESH AIR INTAKE (U.S. TILT OPPOSED) AND CABINET, SEE DETAIL

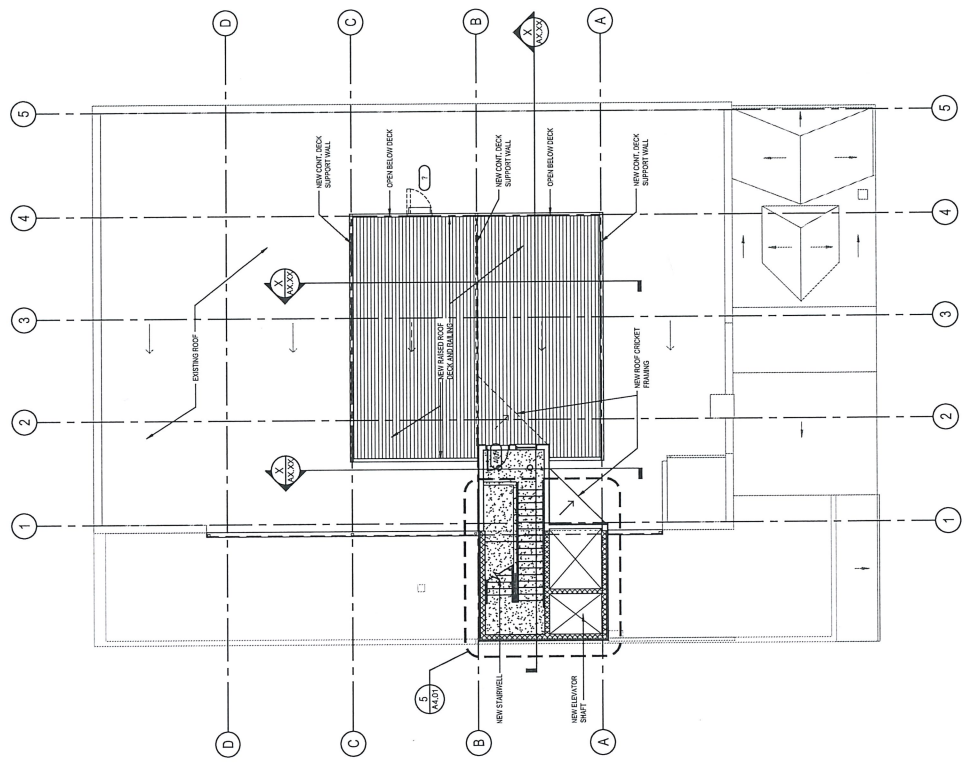
FLOOR PLAN KEY NOTES

REF: SPEC PLAN NOTATION

REF: SPEC PLAN NOTATION

REF: SPEC PLAN NOTATION

REF: SPEC PLAN NOTATION



PENTHOUSE FLOOR PLAN
 1/8" = 1'-0"
 PLAN NORTH

ROP GENERAL NOTES NOTES

- COORDINATE LOCATIONS OF LIGHT, SPILLS, OFFICERS, SPANNERS, ETC. TO THE ARCHITECT'S GENERAL NOTES.
- ALL LACES SHALL BE FULLY SPRINGED.
- COORDINATE WITH THE ELECTRICAL ENGINEER FOR THE LOCATION, SIZE, QUANTITY AND APPROVED FIRE PROTECTION STOP DRAWINGS FOR QUANTITY AND LOCATIONS OF SPRINKLER RISERS.

CEILING PLAN SYMBOL LEGEND	
	2' x 4' ACOUSTICAL CEILING TILE
	2' x 4' ACOUSTICAL CEILING TILE
	6" x 6" POP CEILING PAINTED
	2' x 4' LAP LIGHT FIXTURE
	2' x 4' LAP LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	RECESSED CAN LIGHT FIXTURE
	1' x 1' PENDANT MOUNTED STRIP LIGHT FIXTURE
	7' x 4' PENDANT WITH LINEAR LIGHT FIXTURE
	TRACK LIGHT FIXTURES (TRACK LOCATIONS INDICATED)
	NEW DECORATIVE WALL SCONCE LIGHT FIXTURE (L2, L3, L4)
	NEW DECORATIVE PENDANT LIGHT FIXTURE (SPL) (L2, L3, L4)
	HALL MOUNTED LIGHT FIXTURE
	EMERGENCY LIGHT FIXTURE WITH BATTERY BACKUP
	CEILING MOUNTED LIGHT FIXTURE
	ILLUMINATED EXIT SIGN FIXTURE
	EXHAUST FAN
	RADIANT HEATERS
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE

CEILING PLAN KEY NOTES

- DATE IN CEILING TO REMAIN - RFP FOR REFINISH
- SPECIFIC PLAN NOTATION
- SPECIFIC PLAN NOTATION

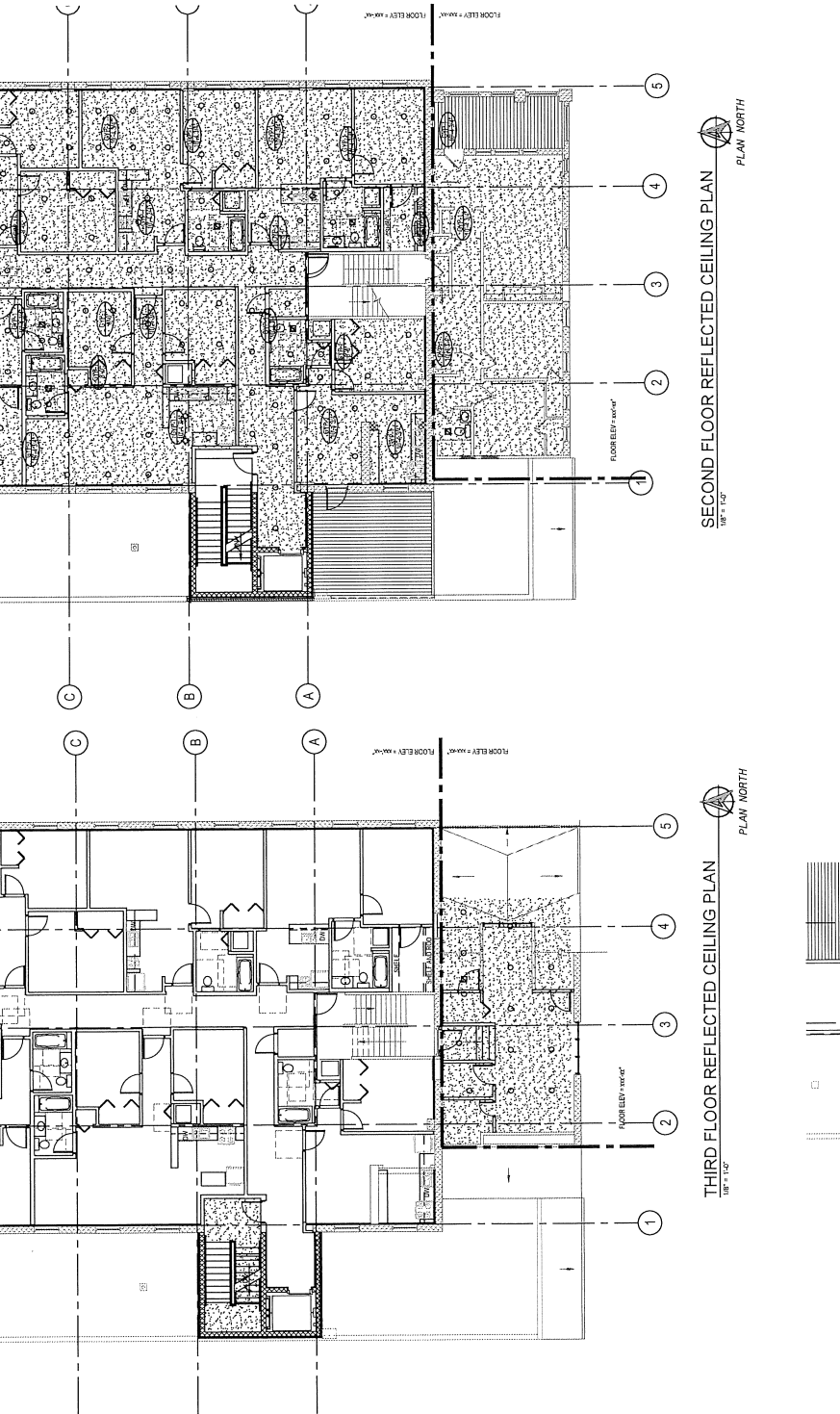
DESCRIPTION OF WORK FOR:
RENOVATION
 12501 MADISON
 LAKEWOOD, OH

PROJECT:
 Cleveland Office
 3728 KENNEDY
 CLEVELAND, OH 44119
 WWW.ARKINETICS.COM
 Architects + Urban Design
 arkinetics
 Architecture • Planning • Interiors • Preservation • Urban Design
 216.749.7800
 216.749.1300

MARK, ISSUE, DATE REVIEW, BY

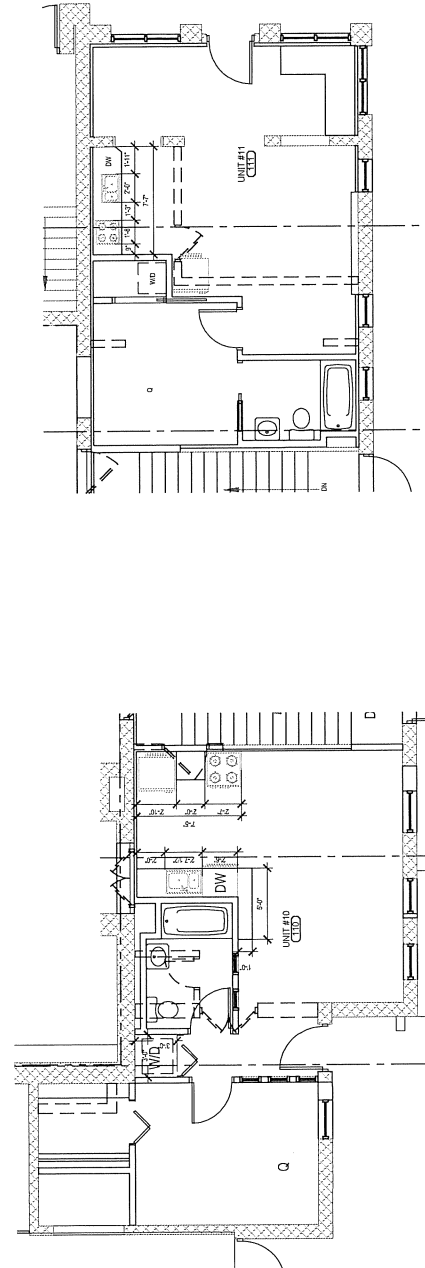
PROJECT #, REVISION, DRAWN BY, CHECKED BY, BT

DATE: 10/15/2019



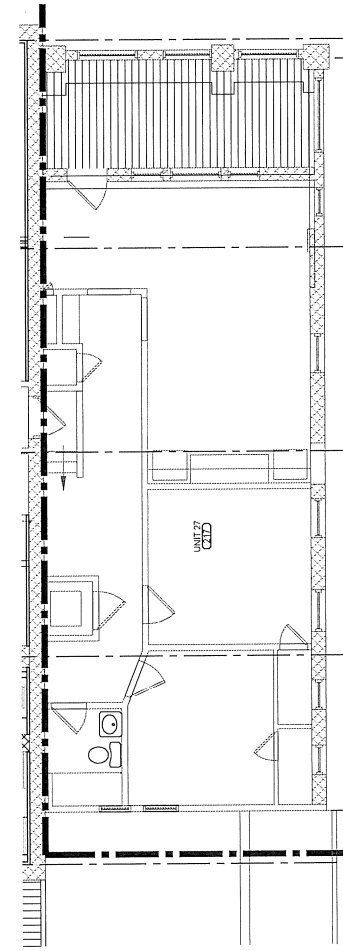
DRAWING TITLE:
 REFLECTED CEILING PLAN
 SECOND & THIRD FLOOR

SHEET #
A2.02

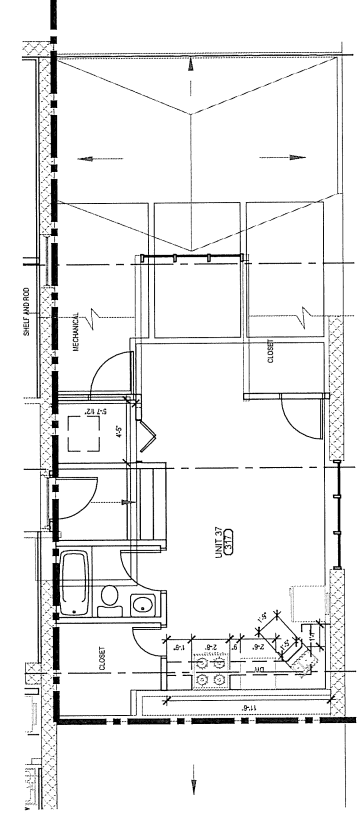


A ENLARGED APARTMENT PLAN - UNIT 11
FIRST FLOOR
1/4" = 1'-0"

B ENLARGED APARTMENT PLAN - UNIT 10
FIRST FLOOR
1/4" = 1'-0"



C ENLARGED APARTMENT PLAN UNIT 27
SECOND FLOOR MEZZANINE
1/4" = 1'-0"



D ENLARGED APARTMENT PLAN UNIT 37
THIRD FLOOR MEZZANINE
1/4" = 1'-0"

- TOILET ROOM GENERAL NOTES**
1. ALL DOOR SWINGS ARE TO BE INDICATED FROM THE INTERIOR CORNER OF THE WALL UNLESS INDICATED OTHERWISE.
 2. COORDINATE ALL DOORS WITH FLOOR PLAN AND DOOR SCHEDULE.
 3. PROVIDE FIRE RESISTANT TREATED WOOD BLOCKING IN WALLS AT TOILET PARTITIONS, CHIMNEYS, ETC. AS REQUIRED PER IFBC.
 4. COORDINATE ALL MIRROR TYPES, MIRROR LOCATIONS AND INSTALLATION PROCEDURES WITH APPROVED PLUMBING STANDARDS AND RECOMMENDATIONS.
 5. ALL TOILET PARTITIONS SHALL BE 1/2" MINIMUM THICKNESS WITH ALL TOILET PARTITION WALLS FINISHED WITH 1/2" THICK Gypsum Board.
 6. WALLS BEARING WEIGHT OR TO BE LOADED ON THE EDGE OF THE WALL SHALL RECEIVE A FEATURE WITH A WATER STOP.
 7. COMPLIANT TOILET FIXTURES AND INSTALLATION SHALL CONFORM TO LOCAL CODES AND ACCESSIBILITY GUIDELINES.
 8. TOILET PARTITIONS SHALL BE FINISHED WITH 1/2" THICK Gypsum Board AND SHALL BE FINISHED WITH 1/2" THICK Gypsum Board ACCESSIBILITY GUIDELINES.
 9. COMPLIANT TOILET PARTITIONS SHALL BE FINISHED WITH 1/2" THICK Gypsum Board AND SHALL BE FINISHED WITH 1/2" THICK Gypsum Board ACCESSIBILITY GUIDELINES.
 10. COORDINATE ALL WALL TYPES WITH SHEET 777.
 11. FINISHED TOILET ROOM FLOOR SHALL SLOPE TOWARDS DRAIN(S).
 12. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE 5/8" PER FOOT.

- TOILET ROOM ACCESSORIES**
- 1. 1/2" THICK Gypsum Board
 - 2. 1/2" THICK Gypsum Board
 - 3. 1/2" THICK Gypsum Board
 - 4. 1/2" THICK Gypsum Board
 - 5. 1/2" THICK Gypsum Board
 - 6. 1/2" THICK Gypsum Board
 - 7. 1/2" THICK Gypsum Board
 - 8. 1/2" THICK Gypsum Board
 - 9. 1/2" THICK Gypsum Board
 - 10. 1/2" THICK Gypsum Board
 - 11. 1/2" THICK Gypsum Board
 - 12. 1/2" THICK Gypsum Board
 - 13. 1/2" THICK Gypsum Board
 - 14. 1/2" THICK Gypsum Board
 - 15. 1/2" THICK Gypsum Board
 - 16. 1/2" THICK Gypsum Board
 - 17. 1/2" THICK Gypsum Board
 - 18. 1/2" THICK Gypsum Board
 - 19. 1/2" THICK Gypsum Board
 - 20. 1/2" THICK Gypsum Board
 - 21. 1/2" THICK Gypsum Board
 - 22. 1/2" THICK Gypsum Board
 - 23. 1/2" THICK Gypsum Board
 - 24. 1/2" THICK Gypsum Board
 - 25. 1/2" THICK Gypsum Board
 - 26. 1/2" THICK Gypsum Board
 - 27. 1/2" THICK Gypsum Board
 - 28. 1/2" THICK Gypsum Board
 - 29. 1/2" THICK Gypsum Board
 - 30. 1/2" THICK Gypsum Board
 - 31. 1/2" THICK Gypsum Board
 - 32. 1/2" THICK Gypsum Board
 - 33. 1/2" THICK Gypsum Board
 - 34. 1/2" THICK Gypsum Board
 - 35. 1/2" THICK Gypsum Board
 - 36. 1/2" THICK Gypsum Board
 - 37. 1/2" THICK Gypsum Board
 - 38. 1/2" THICK Gypsum Board
 - 39. 1/2" THICK Gypsum Board
 - 40. 1/2" THICK Gypsum Board
 - 41. 1/2" THICK Gypsum Board
 - 42. 1/2" THICK Gypsum Board
 - 43. 1/2" THICK Gypsum Board
 - 44. 1/2" THICK Gypsum Board
 - 45. 1/2" THICK Gypsum Board
 - 46. 1/2" THICK Gypsum Board
 - 47. 1/2" THICK Gypsum Board
 - 48. 1/2" THICK Gypsum Board
 - 49. 1/2" THICK Gypsum Board
 - 50. 1/2" THICK Gypsum Board
 - 51. 1/2" THICK Gypsum Board
 - 52. 1/2" THICK Gypsum Board
 - 53. 1/2" THICK Gypsum Board
 - 54. 1/2" THICK Gypsum Board
 - 55. 1/2" THICK Gypsum Board
 - 56. 1/2" THICK Gypsum Board
 - 57. 1/2" THICK Gypsum Board
 - 58. 1/2" THICK Gypsum Board
 - 59. 1/2" THICK Gypsum Board
 - 60. 1/2" THICK Gypsum Board
 - 61. 1/2" THICK Gypsum Board
 - 62. 1/2" THICK Gypsum Board
 - 63. 1/2" THICK Gypsum Board
 - 64. 1/2" THICK Gypsum Board
 - 65. 1/2" THICK Gypsum Board
 - 66. 1/2" THICK Gypsum Board
 - 67. 1/2" THICK Gypsum Board
 - 68. 1/2" THICK Gypsum Board
 - 69. 1/2" THICK Gypsum Board
 - 70. 1/2" THICK Gypsum Board
 - 71. 1/2" THICK Gypsum Board
 - 72. 1/2" THICK Gypsum Board
 - 73. 1/2" THICK Gypsum Board
 - 74. 1/2" THICK Gypsum Board
 - 75. 1/2" THICK Gypsum Board
 - 76. 1/2" THICK Gypsum Board
 - 77. 1/2" THICK Gypsum Board
 - 78. 1/2" THICK Gypsum Board
 - 79. 1/2" THICK Gypsum Board
 - 80. 1/2" THICK Gypsum Board
 - 81. 1/2" THICK Gypsum Board
 - 82. 1/2" THICK Gypsum Board
 - 83. 1/2" THICK Gypsum Board
 - 84. 1/2" THICK Gypsum Board
 - 85. 1/2" THICK Gypsum Board
 - 86. 1/2" THICK Gypsum Board
 - 87. 1/2" THICK Gypsum Board
 - 88. 1/2" THICK Gypsum Board
 - 89. 1/2" THICK Gypsum Board
 - 90. 1/2" THICK Gypsum Board
 - 91. 1/2" THICK Gypsum Board
 - 92. 1/2" THICK Gypsum Board
 - 93. 1/2" THICK Gypsum Board
 - 94. 1/2" THICK Gypsum Board
 - 95. 1/2" THICK Gypsum Board
 - 96. 1/2" THICK Gypsum Board
 - 97. 1/2" THICK Gypsum Board
 - 98. 1/2" THICK Gypsum Board
 - 99. 1/2" THICK Gypsum Board
 - 100. 1/2" THICK Gypsum Board

- ACCESSORY NOTES**
1. CONNECTIONS TO PROVIDE AND SHALL BE AS INDICATED.
 2. ALL ACCESSORIES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND PER LVA REQUIREMENTS.
 3. 1" THICK FLOOR MOUNTED WALL FINISHED BASED DRAINER TOILET PARTITION WITH COIL HOOK AND RUBBER STOP ON ALL SIZES OF COIL HOOK WITH COILS TO MATCH.
 4. UNIVERSAL SCREEN TO MATCH TOILET PARTITION - 1" THICK 4" HIGH X 1/2" DEEP WALL HANG IS SUBMIT AT 17 AFF.
 5. FLOOR FINISH COORD WITH FINISH DIVISION.
 6. PLASTIC LAMINATE CORNER IN THIS LAVATORY - SEE SHEET 777 FOR FINISH COORD WITH FINISH DIVISION.
 7. FLOOR FINISH COORD WITH FINISH DIVISION.
 8. WATER HEATER - COORD WITH MECH. DIVISION.
 9. 4" DEEP FLOOR FINISH PACKING (WHERE INDICATED).

PRELIMINARY
NOT FOR CONSTRUCTION

arknetics
Architecture + Interiors + Urbanists
www.arknetics.com
T: 216 742 7900
F: 216 742 1300
Cleveland Office
1205 Madison
Cleveland, OH 44109

DESCRIPTION OF WORK FOR:
RENOVATION
12501 MADISON
LAKEWOOD, OH

MARK: ISSUE
ISSUED AS:
BY:
PROJECT #:
DRAWN BY:
CHECKED BY:
DATE:

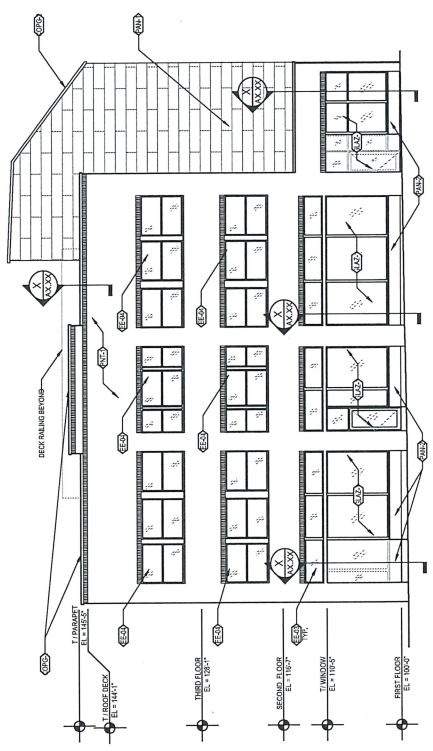
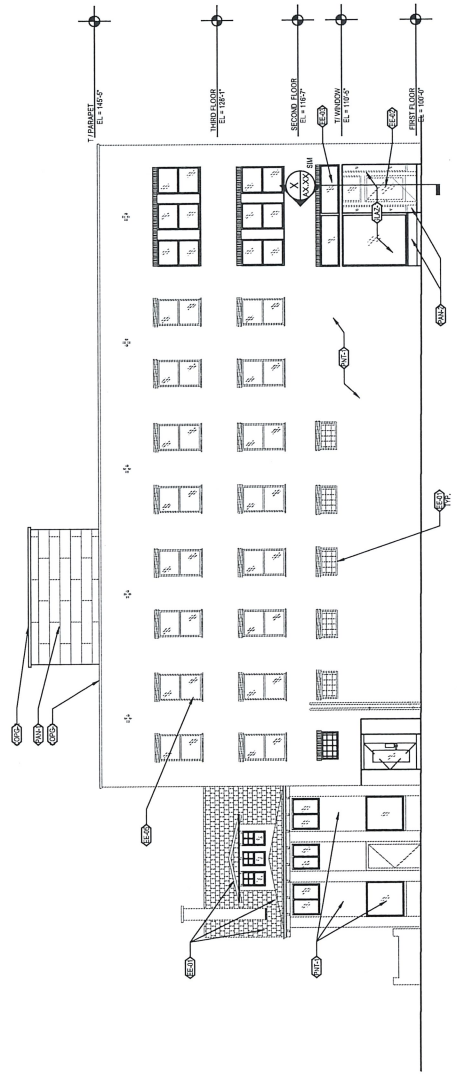
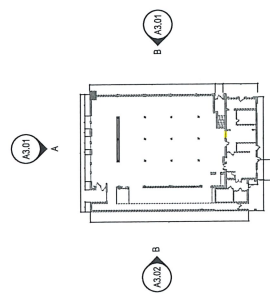
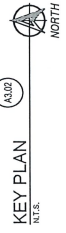
SHEET #
A4.21

SHEET # **A3.01**

DRAWING TITLE
EXTERIOR ELEVATIONS

PROJECT # 1908.01
DRAWN BY CI
CHECKED BY BT

MARK ISSUE DATE
 01 REVIEW
 02 REVISION REVIEW



- EXTERIOR ELEVATION KEY NOTES**
- 1. MATCH EXISTING WINDOWS TO MATCH EXISTING WOOD FRAMED ADJACENT WINDOWS.
 - 2. RECESSED ENTRY STOREFRONT SYSTEM.
 - 3. RECESSED ENTRY STOREFRONT SYSTEM.
 - 4. SET TRANSOM WINDOWS IN HISTORIC LOCATION. STOREFRONT SYSTEM.
 - 5. SET WOOD FRAMED DOUBLE HUNG WINDOWS TO MATCH HISTORIC WINDOW DETAIL IN EXISTING LOCATIONS.
 - 6. EXISTING DOUBLE HUNG WINDOWS TO REMAIN UNCHANGED.

SCHEDULE NOTES

NO.	MATERIAL	NOTES
001	WOOD FRAMED DOUBLE HUNG WINDOW	
002	WOOD FRAMED DOUBLE HUNG WINDOW	
003	WOOD FRAMED DOUBLE HUNG WINDOW	
004	WOOD FRAMED DOUBLE HUNG WINDOW	
005	WOOD FRAMED DOUBLE HUNG WINDOW	
006	WOOD FRAMED DOUBLE HUNG WINDOW	
007	WOOD FRAMED DOUBLE HUNG WINDOW	
008	WOOD FRAMED DOUBLE HUNG WINDOW	
009	WOOD FRAMED DOUBLE HUNG WINDOW	
010	WOOD FRAMED DOUBLE HUNG WINDOW	
011	WOOD FRAMED DOUBLE HUNG WINDOW	
012	WOOD FRAMED DOUBLE HUNG WINDOW	
013	WOOD FRAMED DOUBLE HUNG WINDOW	
014	WOOD FRAMED DOUBLE HUNG WINDOW	
015	WOOD FRAMED DOUBLE HUNG WINDOW	
016	WOOD FRAMED DOUBLE HUNG WINDOW	
017	WOOD FRAMED DOUBLE HUNG WINDOW	
018	WOOD FRAMED DOUBLE HUNG WINDOW	
019	WOOD FRAMED DOUBLE HUNG WINDOW	
020	WOOD FRAMED DOUBLE HUNG WINDOW	
021	WOOD FRAMED DOUBLE HUNG WINDOW	
022	WOOD FRAMED DOUBLE HUNG WINDOW	
023	WOOD FRAMED DOUBLE HUNG WINDOW	
024	WOOD FRAMED DOUBLE HUNG WINDOW	
025	WOOD FRAMED DOUBLE HUNG WINDOW	
026	WOOD FRAMED DOUBLE HUNG WINDOW	
027	WOOD FRAMED DOUBLE HUNG WINDOW	
028	WOOD FRAMED DOUBLE HUNG WINDOW	
029	WOOD FRAMED DOUBLE HUNG WINDOW	
030	WOOD FRAMED DOUBLE HUNG WINDOW	
031	WOOD FRAMED DOUBLE HUNG WINDOW	
032	WOOD FRAMED DOUBLE HUNG WINDOW	
033	WOOD FRAMED DOUBLE HUNG WINDOW	
034	WOOD FRAMED DOUBLE HUNG WINDOW	
035	WOOD FRAMED DOUBLE HUNG WINDOW	
036	WOOD FRAMED DOUBLE HUNG WINDOW	
037	WOOD FRAMED DOUBLE HUNG WINDOW	
038	WOOD FRAMED DOUBLE HUNG WINDOW	
039	WOOD FRAMED DOUBLE HUNG WINDOW	
040	WOOD FRAMED DOUBLE HUNG WINDOW	
041	WOOD FRAMED DOUBLE HUNG WINDOW	
042	WOOD FRAMED DOUBLE HUNG WINDOW	
043	WOOD FRAMED DOUBLE HUNG WINDOW	
044	WOOD FRAMED DOUBLE HUNG WINDOW	
045	WOOD FRAMED DOUBLE HUNG WINDOW	
046	WOOD FRAMED DOUBLE HUNG WINDOW	
047	WOOD FRAMED DOUBLE HUNG WINDOW	
048	WOOD FRAMED DOUBLE HUNG WINDOW	
049	WOOD FRAMED DOUBLE HUNG WINDOW	
050	WOOD FRAMED DOUBLE HUNG WINDOW	
051	WOOD FRAMED DOUBLE HUNG WINDOW	
052	WOOD FRAMED DOUBLE HUNG WINDOW	
053	WOOD FRAMED DOUBLE HUNG WINDOW	
054	WOOD FRAMED DOUBLE HUNG WINDOW	
055	WOOD FRAMED DOUBLE HUNG WINDOW	
056	WOOD FRAMED DOUBLE HUNG WINDOW	
057	WOOD FRAMED DOUBLE HUNG WINDOW	
058	WOOD FRAMED DOUBLE HUNG WINDOW	
059	WOOD FRAMED DOUBLE HUNG WINDOW	
060	WOOD FRAMED DOUBLE HUNG WINDOW	
061	WOOD FRAMED DOUBLE HUNG WINDOW	
062	WOOD FRAMED DOUBLE HUNG WINDOW	
063	WOOD FRAMED DOUBLE HUNG WINDOW	
064	WOOD FRAMED DOUBLE HUNG WINDOW	
065	WOOD FRAMED DOUBLE HUNG WINDOW	
066	WOOD FRAMED DOUBLE HUNG WINDOW	
067	WOOD FRAMED DOUBLE HUNG WINDOW	
068	WOOD FRAMED DOUBLE HUNG WINDOW	
069	WOOD FRAMED DOUBLE HUNG WINDOW	
070	WOOD FRAMED DOUBLE HUNG WINDOW	
071	WOOD FRAMED DOUBLE HUNG WINDOW	
072	WOOD FRAMED DOUBLE HUNG WINDOW	
073	WOOD FRAMED DOUBLE HUNG WINDOW	
074	WOOD FRAMED DOUBLE HUNG WINDOW	
075	WOOD FRAMED DOUBLE HUNG WINDOW	
076	WOOD FRAMED DOUBLE HUNG WINDOW	
077	WOOD FRAMED DOUBLE HUNG WINDOW	
078	WOOD FRAMED DOUBLE HUNG WINDOW	
079	WOOD FRAMED DOUBLE HUNG WINDOW	
080	WOOD FRAMED DOUBLE HUNG WINDOW	
081	WOOD FRAMED DOUBLE HUNG WINDOW	
082	WOOD FRAMED DOUBLE HUNG WINDOW	
083	WOOD FRAMED DOUBLE HUNG WINDOW	
084	WOOD FRAMED DOUBLE HUNG WINDOW	
085	WOOD FRAMED DOUBLE HUNG WINDOW	
086	WOOD FRAMED DOUBLE HUNG WINDOW	
087	WOOD FRAMED DOUBLE HUNG WINDOW	
088	WOOD FRAMED DOUBLE HUNG WINDOW	
089	WOOD FRAMED DOUBLE HUNG WINDOW	
090	WOOD FRAMED DOUBLE HUNG WINDOW	
091	WOOD FRAMED DOUBLE HUNG WINDOW	
092	WOOD FRAMED DOUBLE HUNG WINDOW	
093	WOOD FRAMED DOUBLE HUNG WINDOW	
094	WOOD FRAMED DOUBLE HUNG WINDOW	
095	WOOD FRAMED DOUBLE HUNG WINDOW	
096	WOOD FRAMED DOUBLE HUNG WINDOW	
097	WOOD FRAMED DOUBLE HUNG WINDOW	
098	WOOD FRAMED DOUBLE HUNG WINDOW	
099	WOOD FRAMED DOUBLE HUNG WINDOW	
100	WOOD FRAMED DOUBLE HUNG WINDOW	

DESCRIPTION OF WORK FOR:
RENOVATION
12501 MADISON
LAKEWOOD, OH

architects + urbanists
Architecture + Planning + Interiors + Preservation + Urban Design
www.a3rkinetics.com
Creative Office
30300
Cheerline, OH 44109
714
216.749.1900
002

ROBERT J. POWELL LICENSE #1908
STATE OF OHIO
EXPIRATION DATE 12/31/21



ROBERT J. POWELL LICENSE #196
EXPIRATION DATE 12/31/21

architects + urbanists
Architecture + Planning + Interiors + Preservation + Urban Design
www.architects.com

Cleveland Office
3723 Main Road
Cleveland, OH 44109
T: 216.749.1300
F: 216.749.7800

DESCRIPTION OF WORK FOR:
RENOVATION
12501 MADISON
LAKEWOOD, OH

PROJECT:

ELEVATION MATERIAL SCHEDULE		NOTES
NO	MATERIAL	
01	MANUFACTURER ???	
02	MANUFACTURER ???	
03	MANUFACTURER ???	
04	MANUFACTURER ???	
05	MANUFACTURER ???	
06	MANUFACTURER ???	
07	MANUFACTURER ???	
08	MANUFACTURER ???	
09	MANUFACTURER ???	
10	MANUFACTURER ???	
11	MANUFACTURER ???	
12	MANUFACTURER ???	
13	MANUFACTURER ???	
14	MANUFACTURER ???	
15	MANUFACTURER ???	
16	MANUFACTURER ???	
17	MANUFACTURER ???	
18	MANUFACTURER ???	
19	MANUFACTURER ???	
20	MANUFACTURER ???	
21	MANUFACTURER ???	
22	MANUFACTURER ???	
23	MANUFACTURER ???	
24	MANUFACTURER ???	
25	MANUFACTURER ???	
26	MANUFACTURER ???	
27	MANUFACTURER ???	
28	MANUFACTURER ???	
29	MANUFACTURER ???	
30	MANUFACTURER ???	
31	MANUFACTURER ???	
32	MANUFACTURER ???	
33	MANUFACTURER ???	
34	MANUFACTURER ???	
35	MANUFACTURER ???	
36	MANUFACTURER ???	
37	MANUFACTURER ???	
38	MANUFACTURER ???	
39	MANUFACTURER ???	
40	MANUFACTURER ???	
41	MANUFACTURER ???	
42	MANUFACTURER ???	
43	MANUFACTURER ???	
44	MANUFACTURER ???	
45	MANUFACTURER ???	
46	MANUFACTURER ???	
47	MANUFACTURER ???	
48	MANUFACTURER ???	
49	MANUFACTURER ???	
50	MANUFACTURER ???	
51	MANUFACTURER ???	
52	MANUFACTURER ???	
53	MANUFACTURER ???	
54	MANUFACTURER ???	
55	MANUFACTURER ???	
56	MANUFACTURER ???	
57	MANUFACTURER ???	
58	MANUFACTURER ???	
59	MANUFACTURER ???	
60	MANUFACTURER ???	
61	MANUFACTURER ???	
62	MANUFACTURER ???	
63	MANUFACTURER ???	
64	MANUFACTURER ???	
65	MANUFACTURER ???	
66	MANUFACTURER ???	
67	MANUFACTURER ???	
68	MANUFACTURER ???	
69	MANUFACTURER ???	
70	MANUFACTURER ???	
71	MANUFACTURER ???	
72	MANUFACTURER ???	
73	MANUFACTURER ???	
74	MANUFACTURER ???	
75	MANUFACTURER ???	
76	MANUFACTURER ???	
77	MANUFACTURER ???	
78	MANUFACTURER ???	
79	MANUFACTURER ???	
80	MANUFACTURER ???	
81	MANUFACTURER ???	
82	MANUFACTURER ???	
83	MANUFACTURER ???	
84	MANUFACTURER ???	
85	MANUFACTURER ???	
86	MANUFACTURER ???	
87	MANUFACTURER ???	
88	MANUFACTURER ???	
89	MANUFACTURER ???	
90	MANUFACTURER ???	
91	MANUFACTURER ???	
92	MANUFACTURER ???	
93	MANUFACTURER ???	
94	MANUFACTURER ???	
95	MANUFACTURER ???	
96	MANUFACTURER ???	
97	MANUFACTURER ???	
98	MANUFACTURER ???	
99	MANUFACTURER ???	
100	MANUFACTURER ???	

EXTERIOR ELEVATION KEY NOTES

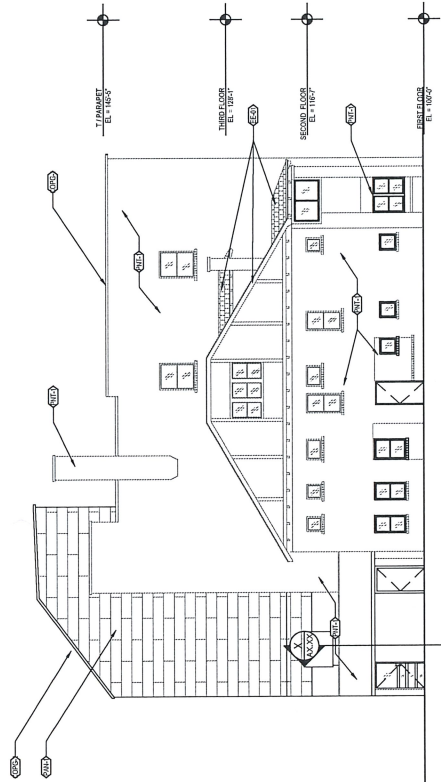
(E20) NEW TRANSOM WINDOWS TO MATCH EXISTING WOOD FRAMED DIVIDED LITE WINDOWS.

(E21) RECESSED ENTRY EGRESSMENT SYSTEM.

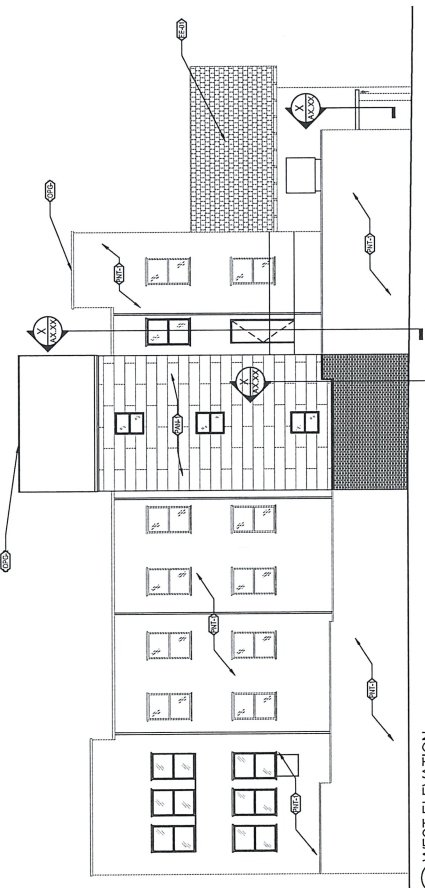
(E22) NEW TRANSOM WINDOWS IN HISTORIC LOCALITY EGRESSMENT SYSTEM.

(E23) NEW WOOD FRAMED DOUBLE HUNG WINDOWS TO MATCH EXISTING WINDOW DETAIL IN EXISTING LOCATIONS.

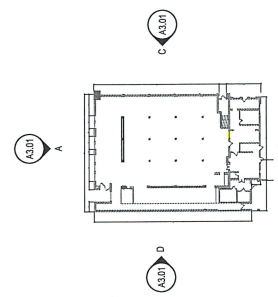
(E24) EXISTING DOUBLE HUNG WINDOWS TO REMAIN UNCHANGED.



B SOUTH ELEVATION
1/8" = 1'-0"



D WEST ELEVATION
1/8" = 1'-0"

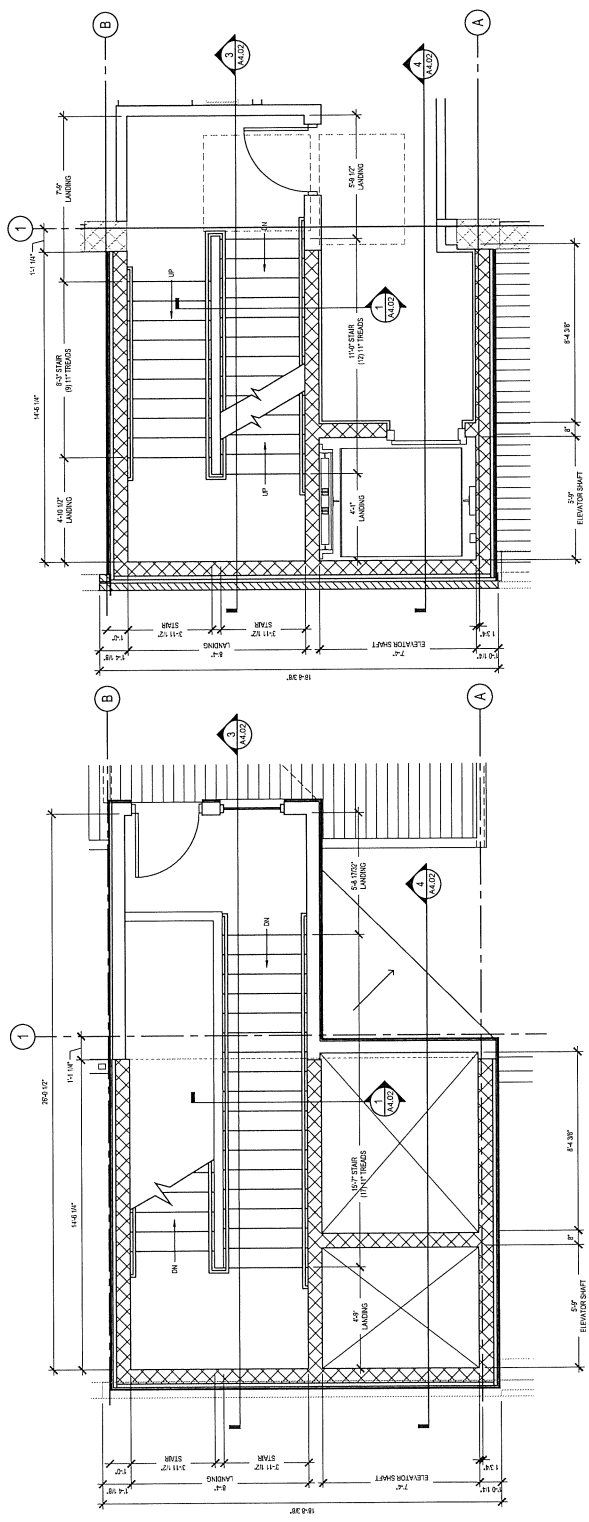


KEY PLAN
1/8" = 1'-0"



SHEET #
A3.02

5 ENLARGED STAIR PLAN
PENHOUSE
3/8" = 1'-0"

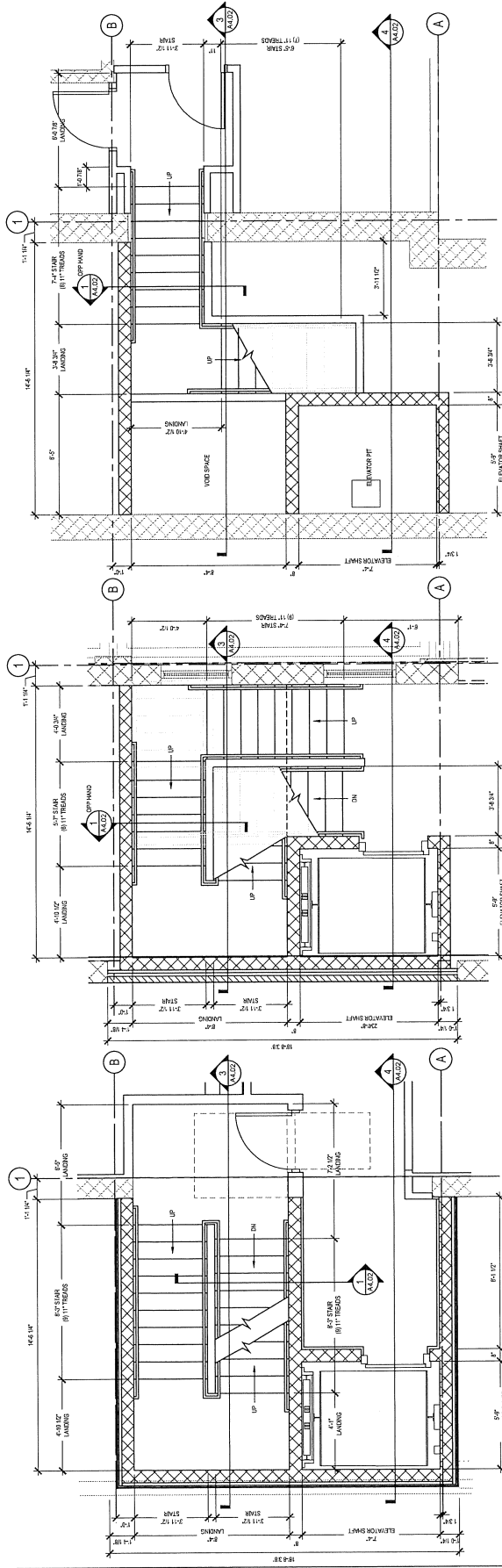


4 ENLARGED STAIR PLAN
THIRDFLOOR
3/8" = 1'-0"

1 ENLARGED STAIR PLAN
FIRST FLOOR
3/8" = 1'-0"

2 ENLARGED STAIR PLAN
SECOND FLOOR
3/8" = 1'-0"

3 ENLARGED STAIR PLAN
SECOND FLOOR
3/8" = 1'-0"



NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.

PROJECT # : 180101

DRAWN BY : J.P.

CHECKED BY : BT

DATE: 11/11/2011

DATE: 11/11/2011

DATE: 11/11/2011

DATE: 11/11/2011

DATE: 11/11/2011

DATE: 11/11/2011

DESCRIPTION OF WORK FOR:
RENOVATION

12501 MADISON
LAKEWOOD, OH

arknetics
Architects + Planners + Interiors + Preservation + Urban Design
www.arknetics.com

Cleveland Office
3723 Pearl Road
Cleveland, OH 44109
P: 216.749.7800
F: 216.749.1300

CONSTRUCTION
NOT FOR
PRELIMINARY

SEAL

arknetics
architects + urbanists
Architecture • Planning • Interiors • Preservation • Urban Design
www.arknetics.com
Cleveland Office
3725 Main Road
Cleveland, OH 44109
F 216 749 7800
P 216 749 1300

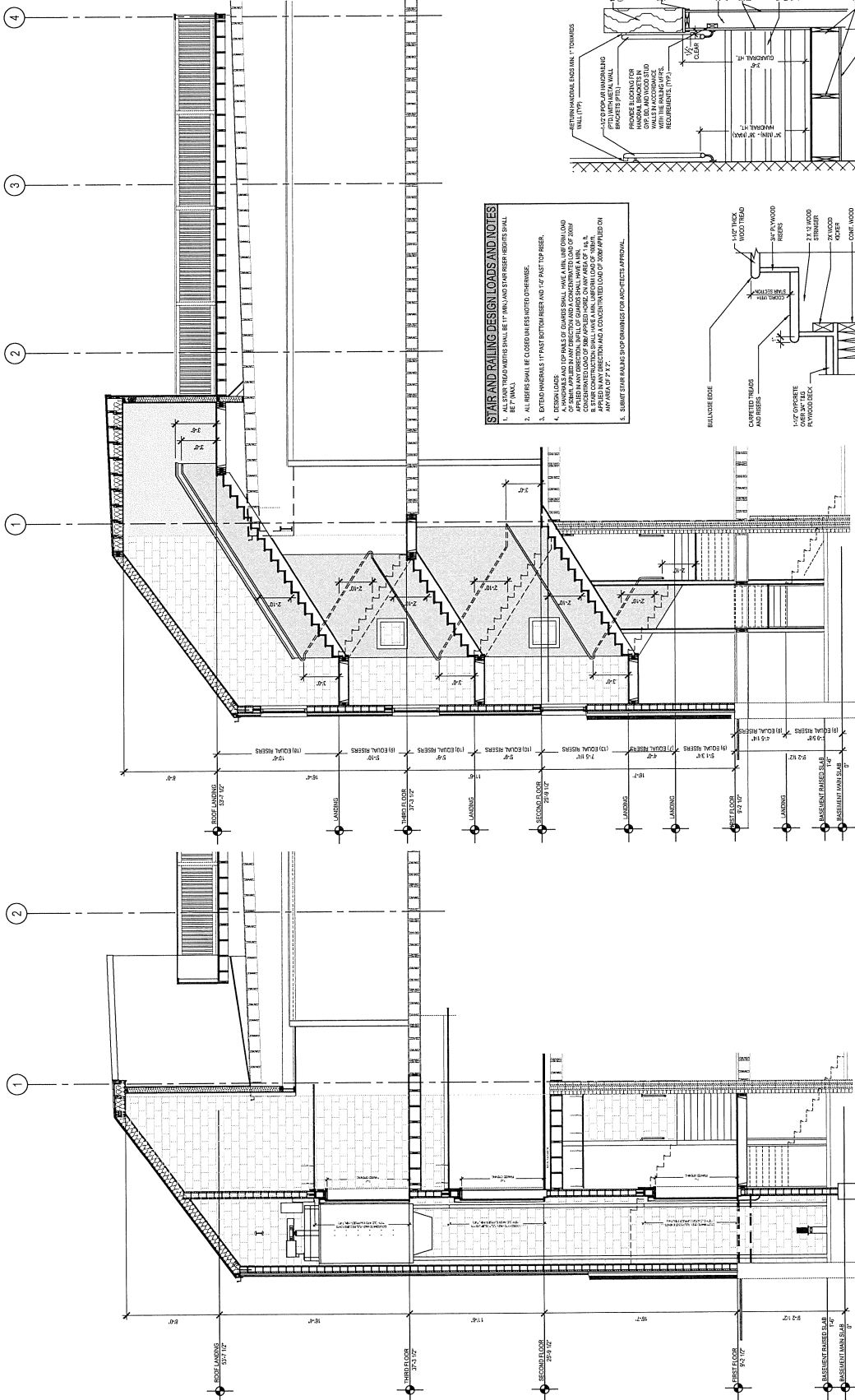
PROJECT:

DESCRIPTION OF WORK FOR:
RENOVATION
12501 MADISON
LAKEWOOD, OH

MARK, ISSUE	DATE/REVIEW	BY	
PROJECT #	108081		
DRAWN BY	J.P.	CHECKED BY	BT
<small>THIS DRAWING IS THE PROPERTY OF ARKNETICS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARKNETICS.</small>			

DRAWING TITLE:
**STAIR AND ELEVATOR
SECTIONS AND DETAIL**

SHEET
A4.02



STAIR AND RAILING DESIGN LOADS AND NOTES

1. ALL STAIR TREAD WIDTHS SHALL BE 11" MIN. AND 4" MIN. RISER HEIGHTS SHALL BE 7" MAX.
2. ALL RISERS SHALL BE CLOSED UNLESS NOTED OTHERWISE.
3. EXTERIOR RISERS 1" PAST BOTTOM RISE AND 1/2" PAST TOP RISE.
4. DESIGN LOADS: TOP RAILS OF GATES SHALL HAVE A MIN. LATERAL LOAD OF 200 LB. APPLIED IN ANY DIRECTION AND A CONCENTRATED LOAD OF 300 LB. CONCENTRATED LOAD OF 300 LB. APPLIED TO THE CENTER OF ANY AREA OF 14.4 SQ. FT. SHALL BE APPLIED IN ANY DIRECTION AND A CONCENTRATED LOAD OF 300 LB. APPLIED ON ANY AREA OF 7.2 SQ. FT.
5. SUBMIT STAIR RAILING SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.

1 TYPICAL CONDITION AT WALL
TYPICAL CONDITION AT STAIRWALL
1 3/4" x 1/4"

2 STAIR LANDING DETAIL
3/4" x 1/4"

3 STAIR SECTION
3/4" x 1/4"

4 ELEVATOR SECTION
3/4" x 1/4"

PRELIMINARY
NOT FOR CONSTRUCTION

architects
Architecture • Planning • Interiors • Preservation • Urban Design
www.architects.com
216.749.7800
3723 Pearl Road
Cleveland, OH 44109

DESCRIPTION OF WORK FOR:
RENOVATION
12501 MADISON
LAKEWOOD, OH

MARK, ISSUE
"ISSUED AS"
BY
DATE

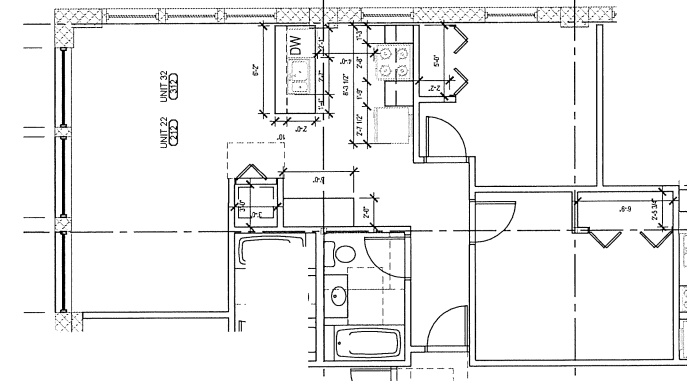
DRAWN BY: ***
CHECKED BY: ***
PROJECT # 1004017

- TOILET ROOM GENERAL NOTES**
1. COORDINATE ALL DOORS WITH FLOOR PLAN AND DOOR SCHEDULE.
 2. PROVIDE FIRE RATED TREATED WOOD BLOCKING IN WALL AT TOILET PARTITION, GYM BAR, ETC. AS REQUIRED PER FRP REQUIREMENTS.
 3. PROVIDE FIRE RATED TREATED WOOD BLOCKING IN WALL AT TOILET PARTITION, GYM BAR, ETC. AS REQUIRED PER FRP REQUIREMENTS.
 4. INSTALLATION PROCEDURES WITH APPROVED PLUMBING DIVISION AND WITH RECOMMENDATIONS.
 5. INSTALL BATH TUB/SHOWER WITH THERMOSTATIC MIXING VALVE (TMV) WITH SHEET PILE.
 6. WATER-RESISTANT BOARD (WRB) TO BE USED ON THE SIDE OF THE WALL TMV PREVENTS A LEAKAGE WITH A WATER HEADCAP.
 7. COMPLIANT TOILET FIXTURES AND INSTALLATION SHALL CONFORM TO LOCAL CODE AND ACCESSIBILITY GUIDELINES.
 8. COMPLIANT LAVATORY WITH DISPENSING SHALL HAVE ACCESSIBILITY GUIDELINES.
 9. COMPLIANT HANDED FACETS SHALL BE OPERABLE WITH HAND ACCESSIBILITY GUIDELINES.
 10. COMPLIANT HANDED FACETS PER LOCAL ACCESSIBILITY GUIDELINES.
 11. COORDINATE ALL WALL TYPES.
 12. FINISH TOILET ROOM FLOOR SHALL LEAD TOWARDS DRAINAGE.
 13. FINISH TOILET ROOM FLOOR SHALL LEAD TOWARDS DRAINAGE.
 14. FINISH TOILET ROOM FLOOR SHALL LEAD TOWARDS DRAINAGE.

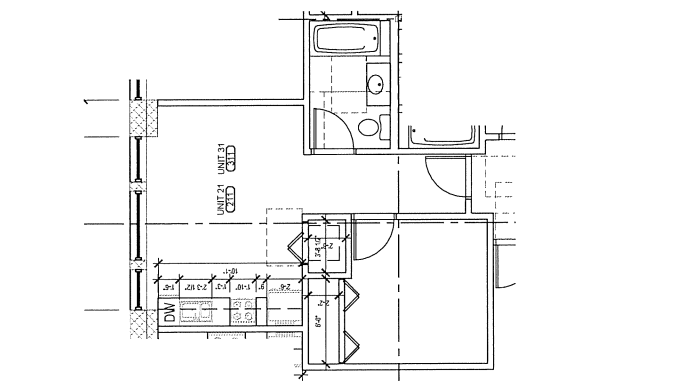
- TOILET ROOM ACCESSORIES**
- 15. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 16. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 17. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 18. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 19. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 20. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 21. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 22. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 23. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 24. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 25. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 26. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 27. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 28. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 29. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 30. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 31. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 32. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 33. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 34. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 35. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 36. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 37. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 38. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 39. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 40. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 41. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 42. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 43. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 44. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 45. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 46. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 47. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 48. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 49. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 50. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 51. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 52. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 53. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 54. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 55. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 56. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 57. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 58. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 59. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 60. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 61. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 62. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 63. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 64. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 65. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 66. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 67. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 68. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 69. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 70. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 71. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 72. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 73. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 74. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 75. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 76. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 77. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 78. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 79. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 80. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 81. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 82. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 83. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 84. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 85. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 86. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 87. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 88. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 89. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 90. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 91. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 92. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 93. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 94. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 95. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 96. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 97. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 98. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 99. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 100. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.

- ACCESSORY NOTES**
1. TREATED WOOD BLOCKING IN WALL FOR THE ATTACHMENT OF ACCESSORIES AS REQUIRED.
 2. ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND PER ADA REQUIREMENTS.

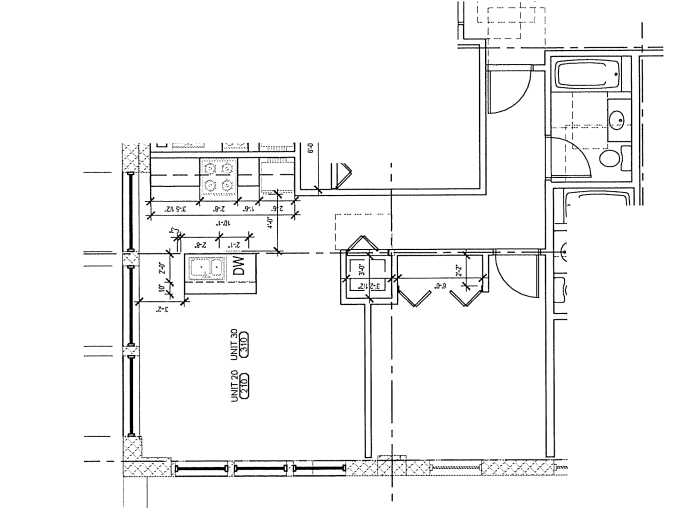
- ENLARGED PLAN KEY NOTES**
- 1. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 2. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 3. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 4. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 5. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 6. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 7. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 8. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 9. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 10. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 11. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 12. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 13. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 14. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 15. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 16. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 17. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 18. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 19. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 20. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 21. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 22. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 23. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 24. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 25. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 26. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 27. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 28. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 29. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 30. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 31. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 32. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 33. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 34. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 35. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 36. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 37. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 38. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 39. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 40. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 41. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 42. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 43. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 44. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 45. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 46. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 47. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 48. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 49. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 50. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 51. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 52. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 53. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 54. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 55. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 56. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 57. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 58. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 59. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 60. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 61. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 62. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 63. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 64. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 65. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 66. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 67. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 68. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 69. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 70. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 71. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 72. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 73. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 74. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 75. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 76. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 77. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 78. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 79. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 80. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 81. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 82. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 83. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 84. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 85. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 86. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 87. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 88. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 89. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 90. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 91. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 92. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 93. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 94. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 95. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 96. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 97. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 98. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 99. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.
 - 100. 1" THICK FLOOR MOUNTED WALL MOUNTED BATH TUB.



A ENLARGED APARTMENT PLAN UNIT 22 and 32
1/8" = 1'-0"



B ENLARGED APARTMENT PLAN UNIT 21 and 31
1/8" = 1'-0"



C ENLARGED APARTMENT PLAN UNIT 20 and 30
1/8" = 1'-0"

DRAWING TITLE
ENLARGED FLOOR
PLANS
AND ELEVATIONS

SHEET #
A4.22

SCALE

arknetics
Architects + urbanists
www.arknetics.com
Architectural Office
P 216.749.7800
F 216.749.1300
3725 Peart Road
Cleveland, OH 44109

DESCRIPTION OF WORK FOR:
RENOVATION
12501 MADISON
LAKEWOOD, OH

MARK ISSUE: "ISSUED AS"
DATE: 01

PROJECT # 100811
DRAWING # 44
CHECKED BY: ***
PROJECT # 100811

REVISIONS
DATE: 01/11/2011
BY: [Signature]
DESCRIPTION: [Text]

DOOR FRAME
AND WINDOW SCHEDULE
SHEET #
A6.01

DOOR AND FRAME SCHEDULE

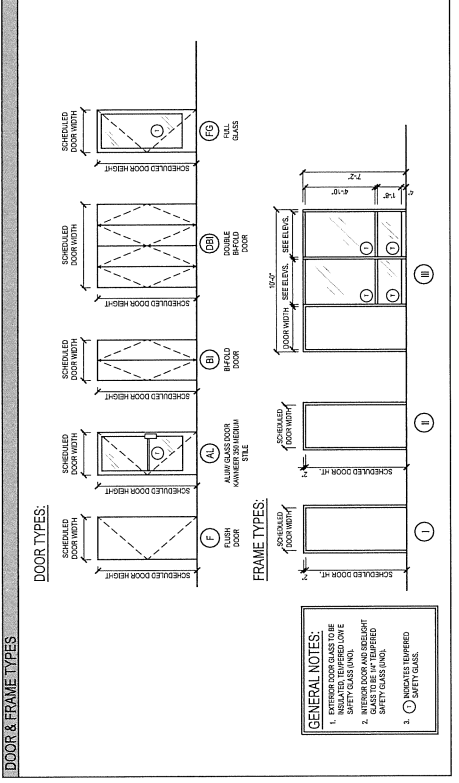
DOOR NO.	TYPE	LOCATION	SIZE	MATERIAL	INSULATED	FINISH	FRAME TYPE	FINISH	REMARKS	DOOR NO.
200A	F	UNIT #31	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200A
200B	F	UNIT #32	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200B
200C	F	UNIT #33	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200C
200D	F	UNIT #34	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200D
200E	F	UNIT #35	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200E
200F	F	UNIT #36	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200F
200G	F	UNIT #37	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200G
200H	F	UNIT #38	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200H
200I	F	UNIT #39	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200I
200J	F	UNIT #40	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200J
200K	F	UNIT #41	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200K
200L	F	UNIT #42	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200L
200M	F	UNIT #43	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200M
200N	F	UNIT #44	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200N
200O	F	UNIT #45	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200O
200P	F	UNIT #46	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200P
200Q	F	UNIT #47	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200Q
200R	F	UNIT #48	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200R
200S	F	UNIT #49	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200S
200T	F	UNIT #50	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200T
200U	F	UNIT #51	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200U
200V	F	UNIT #52	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200V
200W	F	UNIT #53	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200W
200X	F	UNIT #54	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200X
200Y	F	UNIT #55	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200Y
200Z	F	UNIT #56	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		200Z
201A	F	UNIT #57	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201A
201B	F	UNIT #58	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201B
201C	F	UNIT #59	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201C
201D	F	UNIT #60	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201D
201E	F	UNIT #61	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201E
201F	F	UNIT #62	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201F
201G	F	UNIT #63	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201G
201H	F	UNIT #64	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201H
201I	F	UNIT #65	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201I
201J	F	UNIT #66	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201J
201K	F	UNIT #67	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201K
201L	F	UNIT #68	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201L
201M	F	UNIT #69	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201M
201N	F	UNIT #70	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201N
201O	F	UNIT #71	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201O
201P	F	UNIT #72	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201P
201Q	F	UNIT #73	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201Q
201R	F	UNIT #74	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201R
201S	F	UNIT #75	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201S
201T	F	UNIT #76	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201T
201U	F	UNIT #77	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201U
201V	F	UNIT #78	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201V
201W	F	UNIT #79	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201W
201X	F	UNIT #80	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201X
201Y	F	UNIT #81	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201Y
201Z	F	UNIT #82	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		201Z
202A	F	UNIT #83	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202A
202B	F	UNIT #84	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202B
202C	F	UNIT #85	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202C
202D	F	UNIT #86	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202D
202E	F	UNIT #87	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202E
202F	F	UNIT #88	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202F
202G	F	UNIT #89	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202G
202H	F	UNIT #90	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202H
202I	F	UNIT #91	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202I
202J	F	UNIT #92	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202J
202K	F	UNIT #93	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202K
202L	F	UNIT #94	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202L
202M	F	UNIT #95	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202M
202N	F	UNIT #96	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202N
202O	F	UNIT #97	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202O
202P	F	UNIT #98	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202P
202Q	F	UNIT #99	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202Q
202R	F	UNIT #100	2'-0" x 7'-2"	SOLID WOOD	YES	NO	NO	NO		202R

DOOR SCHEDULE REMARKS

1. REFER TO THE ARCHITECT'S NOTES FOR THE LOCATION OF THE DOORS AND WINDOWS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS.

2. REFER TO THE ARCHITECT'S NOTES FOR THE LOCATION OF THE DOORS AND WINDOWS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS.

3. REFER TO THE ARCHITECT'S NOTES FOR THE LOCATION OF THE DOORS AND WINDOWS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS. THE DOORS AND WINDOWS ARE TO BE INSTALLED IN THE LOCATION SHOWN ON THE ARCHITECT'S DRAWINGS.



Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PC 20-000001
DOCKET No. 02-03-20
FEE PAID _____ CC

APPLICATION
LAKWOOD PLANNING COMMISSION

Property Address 13229 Madison Ave Business/Tenant Name Lakewood Public Library
Property Owner Name Lakewood Public Library Owner Phone 216-226-8275 ext.101
Owner E-mail jcrawford@lakewoodpubliclibrary.org Zoning C2 Parcel Number 31520002
Project Summary Renovation & expansion of existing library, reconfiguration of parking area and drive access, and landscaping improvements.

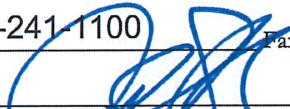
Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division** – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split** – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development** – (\$500)
- Similar Use** – (Commercial \$50, Residential \$25)
- Conditional Use** – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance** – (Commercial \$50, Residential \$25)
- Parking Plan Review** – (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): James Shook Company HBM Architects
Applicant Address: 1382 West Ninth St. Suite 300
Phone: 216-241-1100 Fax: 216-241-1101 E-mail: jshook@HBMArchitects.com
Signature:  Date: 01/21/2020

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. 36-17 SECTION 1143.09

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes X No

Please Print or Type:

Owner/Agent Name: James Shook
 Property Address: 13229 Madison Ave
 Owner/Agent Phone: 216-241-1100
 Tenant Name Lakewood Library Tenant Phone 216-226-8275 ext.101



 Owner/Agent Signature

**2020 Calendar
 Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-19-19	Thursday	01-02-20	Thursday	01-02-20
February	Wednesday	01-22-20	Thursday	02-06-20	Thursday	02-06-20
March	Wednesday	02-19-20	Thursday	03-05-20	Thursday	03-05-20
April	Wednesday	03-18-20	Thursday	04-02-20	Thursday	04-02-20
May	Wednesday	04-22-20	Thursday	05-07-20	Thursday	05-07-20
June	Wednesday	05-20-20	Thursday	06-04-20	Thursday	06-04-20
July	Wednesday	06-17-20	Thursday	07-02-20	Thursday	07-02-20
August	Wednesday	07-22-20	Thursday	08-06-20	Thursday	08-06-20
September	Wednesday	08-19-20	Thursday	09-03-20	Thursday	09-03-20
October	Wednesday	09-16-20	Thursday	10-01-20	Thursday	10-01-20
November	Wednesday	10-21-20	Thursday	11-05-20	Thursday	11-05-20
December	Wednesday	11-18-20	Thursday	12-03-20	Thursday	12-03-20
January	Wednesday	12-23-20	Thursday	01-07-21	Thursday	01-07-21

PLEASE NOTE: Applications are submitted to the Building Department and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings for the Commission start at **6:30 P.M.** in the **Auditorium** unless otherwise indicated. Use the rear northeast entrance to the Auditorium.

Review Meetings start at **7:00 P.M.** in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review. Use the rear northeast entrance to the Auditorium.



January 21, 2020

Katelyn Milius, PE
City Planner
Department of Planning & Development
City of Lakewood
12650 Detroit Avenue
Lakewood, OH 44107

Re: Lakewood Public Library, Madison Branch
Expansion & Renovation

Ms. Milius:

Please find attached a submittal to appear before the Planning Commission on February 6, 2020.

The Madison Branch Library is a 9,134 square foot building located in the historic Birdtown district. It was designed by Walker & Weeks and constructed in 1929. The proposed renovation and addition will revitalize the branch by updating finishes to reflect the original character of the building and optimize the existing floor space to expand programming to include additional meeting space. The 355 square addition will encapsulate the south end of the building and relocate the entry to the west side. This arrangement will allow the addition of two ADA compliant restrooms as well as provide complete oversight of the space from the main service desk.

The proposed reconfiguration of the parking lot changes the flow of traffic to a one-direction loop drive that will enter the site at the current location on Madison Ave. and exit back to Madison Ave. to the east of the library. Pedestrian connections to the adjacent park will be created and landscape buffers will be added to the east and south edges of the library site. The renovations to the site will require a land use agreement with the City of Lakewood along the east and south property lines.

Thank you for your time and attention in this matter. Should you have any questions or need additional information do not hesitate to contact the undersigned at your earliest convenience.

Sincerely,

A handwritten signature in blue ink, appearing to read 'James Shook'.

James Shook, Principal



15425 Detroit Avenue | Lakewood, Ohio 44107

January 21, 2020


City of Lakewood
Lakewood City Hall
12650 Detroit Avenue
Lakewood, OH 44107

Re: Letter of Authorization

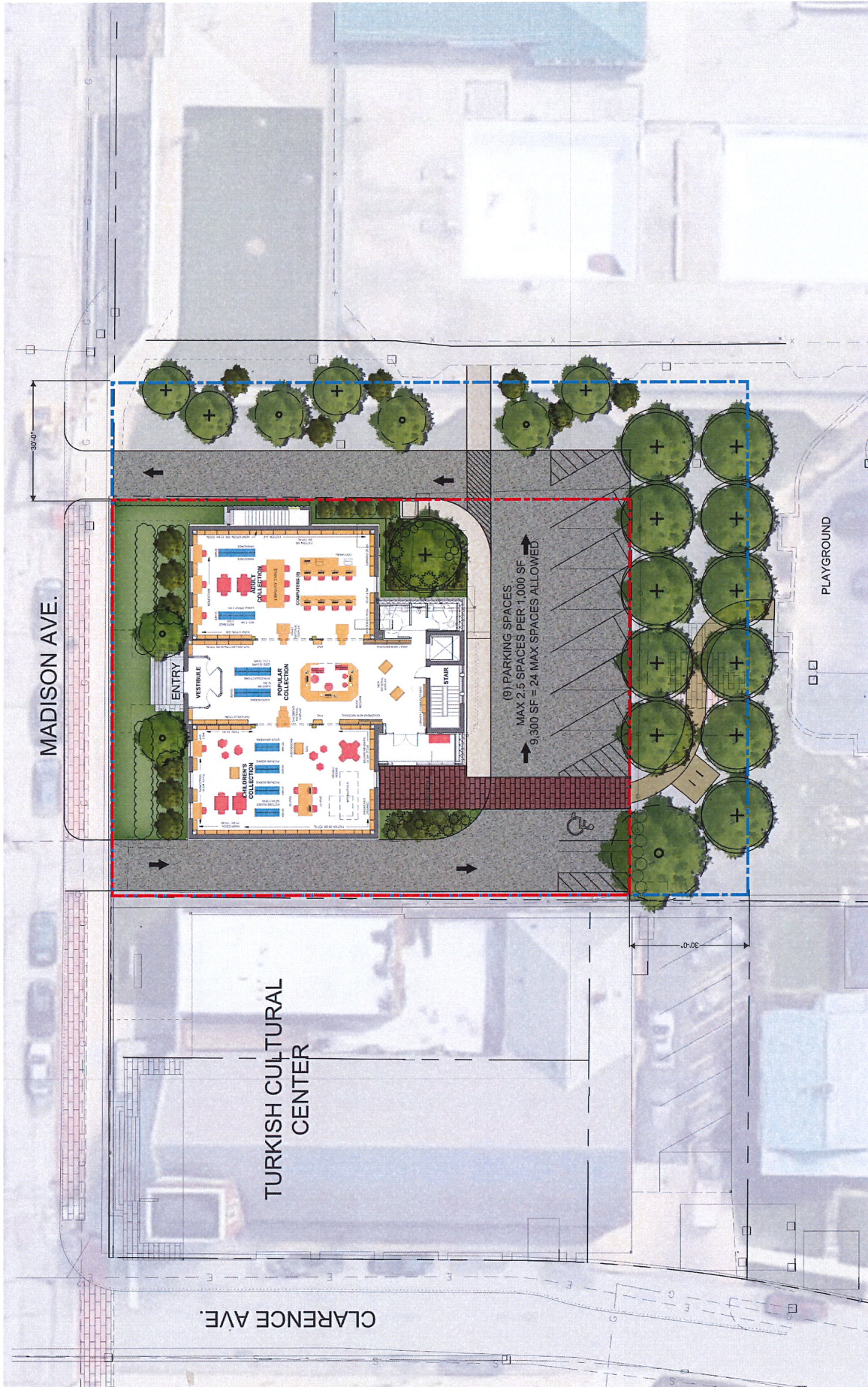
Dear Sir/Madam,

This shall confirm that Mr. James Shook, RA and the employees of HBM Architects are authorized to act on the Lakewood Public Library's behalf in all matters that may come before the City of Lakewood and the Public Works, Housing and Building, and Planning and Development Departments.

Sincerely,


James Crawford
Director

JC/jw



MADISON AVE.

CLARENCE AVE.

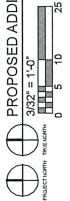
TURKISH CULTURAL CENTER

(9) PARKING SPACES
 MAX 2.5 SPACES PER 1,000 SF
 9,300 SF = 24 MAX SPACES ALLOWED

PLAYGROUND

LAKWOOD PUBLIC LIBRARY
MADISON BRANCH

PROPOSED ADDITION PLAN





35



36



37







40

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PC 20-00000 4
DOCKET No. 02-04-20
FEE PAID _____

APPLICATION
LAKWOOD PLANNING COMMISSION

Property Address 11714/11716 Nelson Court Business/Tenant Name _____

Property Owner Name Emerald Development & Economic Network, Inc. Owner Phone (216)961-9690

Owner E-mail rcarr@edeninc.org Zoning R2 Parcel Number 315-14-136

Project Summary Gut rehab of 2 existing buildings. Reconfigure 7 existing 1-bedroom units and 1 new ADA unit; Add one new 2-bedroom unit on the third floor of each building.

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)
- Parking Plan Review - (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Richard Carr Company Emerald Development and Economic Network Inc.

Applicant Address: 7812 Madison Avenue, Cleveland, Ohio 44102

Phone: 216-961-9690 Fax: 216-651-4066 E-mail: rcarr@edeninc.org

Signature:  Date: January 15, 2020

OFFICE USE ONLY: Application Reviewed and Accepted by: R. Milius Date: 1/24/2020

File History: _____

Bldg. Dept. Remarks: _____

ORD. 36-17 SECTION 1143.09
36-14 1143.10

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes No

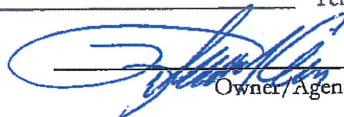
Please Print or Type:

Owner/Agent Name: Richard Carr-Emerald Development and Economic Network Inc.

Property Address: 11714/11716 Nelson Court, Lakewood, Ohio

Owner/Agent Phone: 216-961-9690

Tenant Name _____ Tenant Phone _____


Owner/Agent Signature

**2020 Calendar
Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-19-19	Thursday	01-02-20	Thursday	01-02-20
February	Wednesday	01-22-20	Thursday	02-06-20	Thursday	02-06-20
March	Wednesday	02-19-20	Thursday	03-05-20	Thursday	03-05-20
April	Wednesday	03-18-20	Thursday	04-02-20	Thursday	04-02-20
May	Wednesday	04-22-20	Thursday	05-07-20	Thursday	05-07-20
June	Wednesday	05-20-20	Thursday	06-04-20	Thursday	06-04-20
July	Wednesday	06-17-20	Thursday	07-02-20	Thursday	07-02-20
August	Wednesday	07-22-20	Thursday	08-06-20	Thursday	08-06-20
September	Wednesday	08-19-20	Thursday	09-03-20	Thursday	09-03-20
October	Wednesday	09-16-20	Thursday	10-01-20	Thursday	10-01-20
November	Wednesday	10-21-20	Thursday	11-05-20	Thursday	11-05-20
December	Wednesday	11-18-20	Thursday	12-03-20	Thursday	12-03-20
January	Wednesday	12-23-20	Thursday	01-07-21	Thursday	01-07-21

PLEASE NOTE: Applications are submitted to the Building Department and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings for the Commission start at **6:30 P.M.** in the **Auditorium** unless otherwise indicated. Use the rear northeast entrance to the Auditorium.

Review Meetings start at **7:00 P.M.** in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review. Use the rear northeast entrance to the Auditorium.



December 16, 2019

City of Lakewood Planning Commission
Lakewood, Ohio 44107

**Re: 11714 Nelson Court
Lakewood, Ohio 44107**

Following is a detailed description of the requested review of the above mentioned project.

This letter requests a zoning review of the 11714 Nelson Court renovation/addition project. This project is a gut renovation to two existing 4 unit, 2-story, supportive housing apartment buildings located on the North side of Nelson Court in Lakewood, Ohio. The proposed renovation will completely reconfigure 8 existing one-bedroom apartments including 1 apartment that will become fully accessible to the greatest extent feasible. This project also proposes to add 1 two-bedroom unit as a third floor to each building, increasing the total unit count from 8 to 10.

The project will be funded using a combination of HOME funds, National Housing Trust Funds administered through the Ohio Housing Finance Agency HDGF program, and AHP funds from Federal Home Loan Bank. . The project is designed and shall be constructed to comply with the Fair Housing Accessibility Guidelines (FHAG), Uniform Federal Accessibility Standards (UFAS), 2017 Ohio Building Code (OBC), Ohio Housing Finance Agency (OHFA) QAP 2020-2021, and 2015 Enterprise Green Communities requirements.

Should you require further information please do not hesitate to contact me at 216-961-9690.

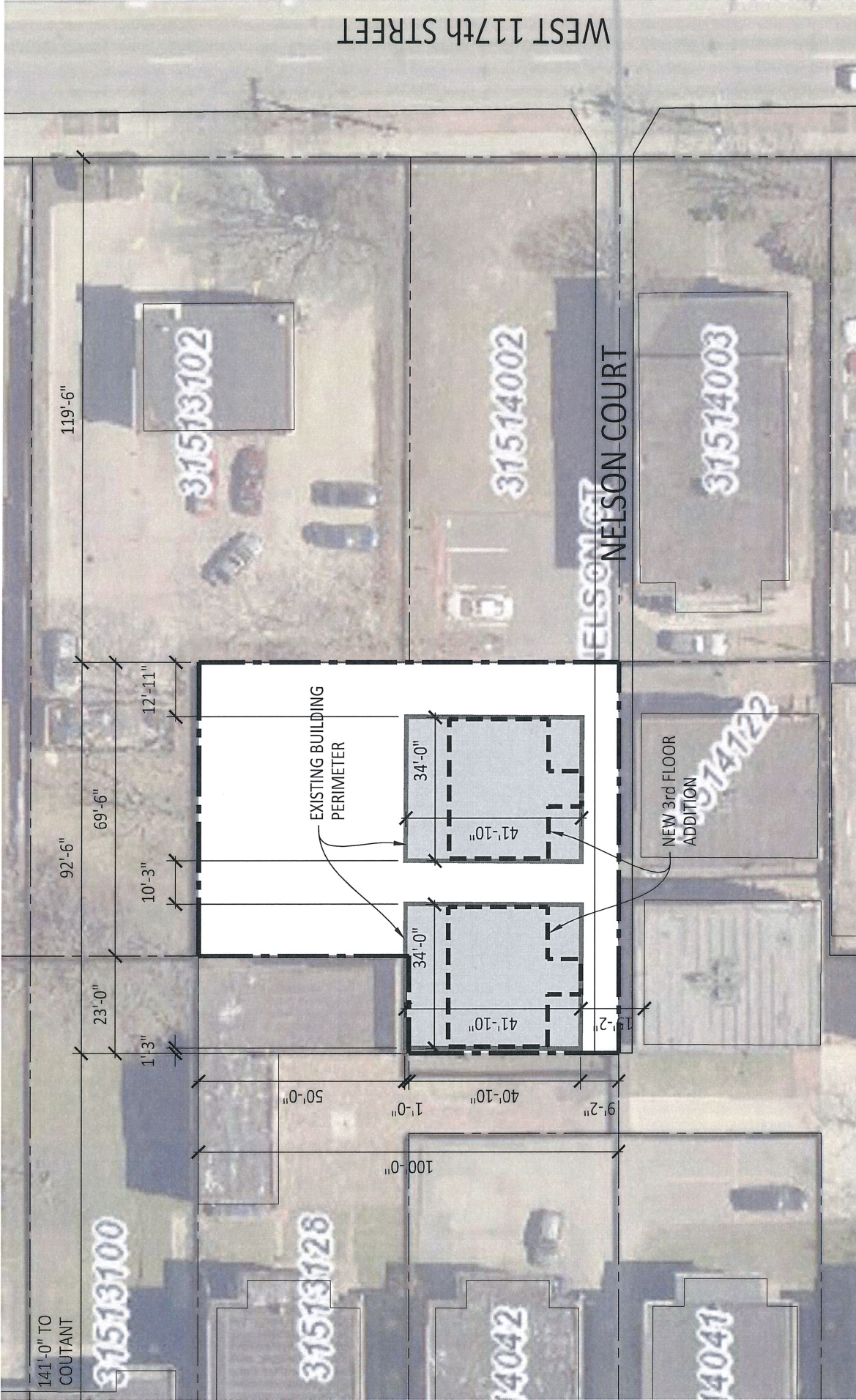
Sincerely,

Richard Carr
Director of Construction and Facilities

HOUSING RESOURCE & DEVELOPMENT AGENCY
7812 Madison Avenue, Cleveland, OH 44102 (216)961-9690 FAX (216)651-4066
Shelter Plus Care FAX (216) 651-6692 www.edeninc.org info@edeninc.org
TDD/TTY: 1-800-545-1833, ext. 873

A Contract Agency of the Alcohol, Drug and Mental Health Services Board of Cuyahoga County





AS 1 EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

Emerald Development &
Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
January 17, 2020

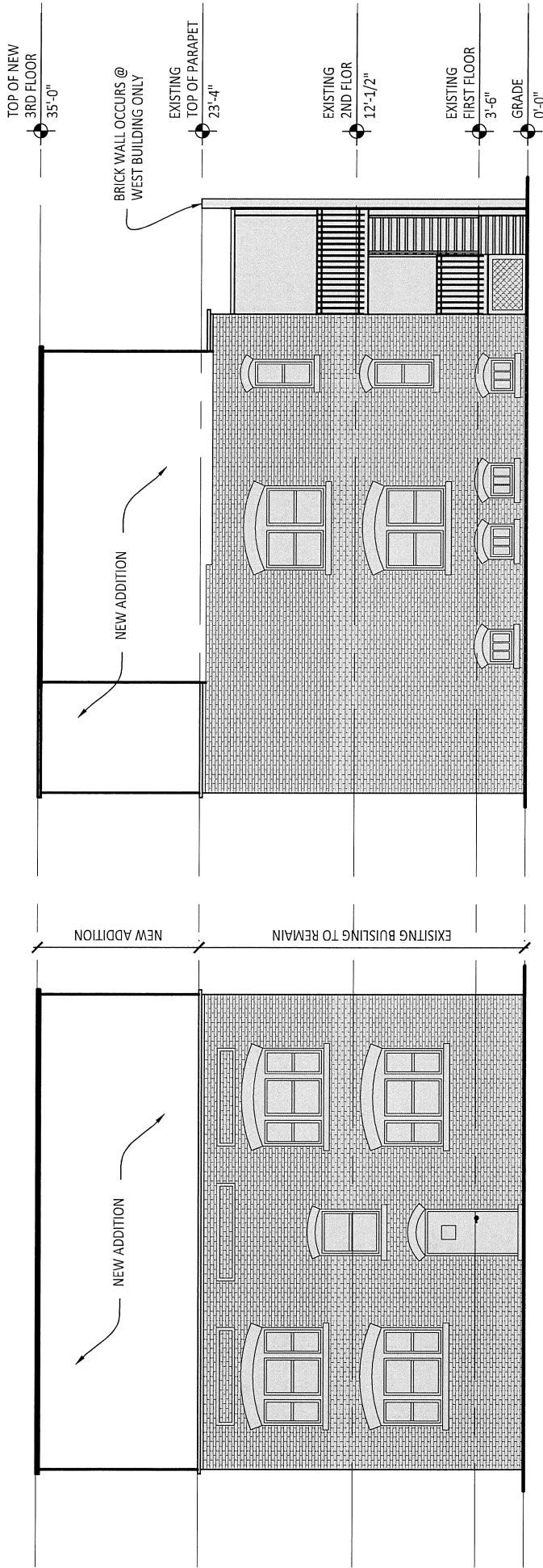
© 2020 Hiti, DiFrancesco & Siebold, Inc.



PROPOSED SITE PLAN



44



TYPICAL FRONT ELEVATION

$\frac{3}{32}'' = 1'-0''$

TYPICAL SIDE ELEVATION

$\frac{3}{32}'' = 1'-0''$

A
1

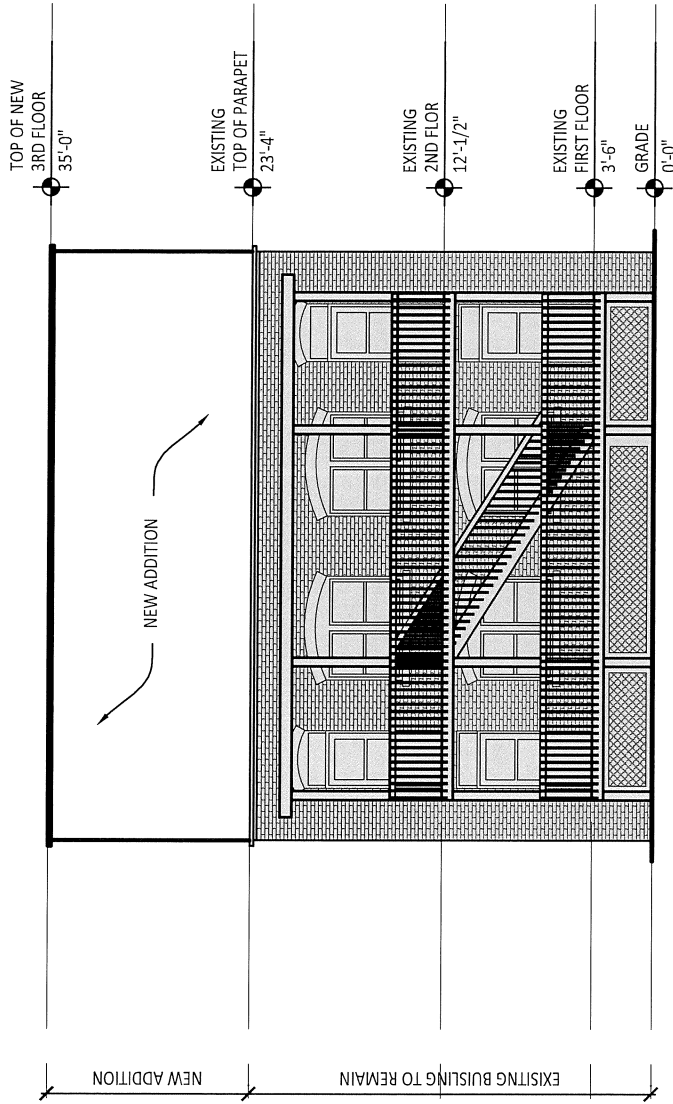
EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

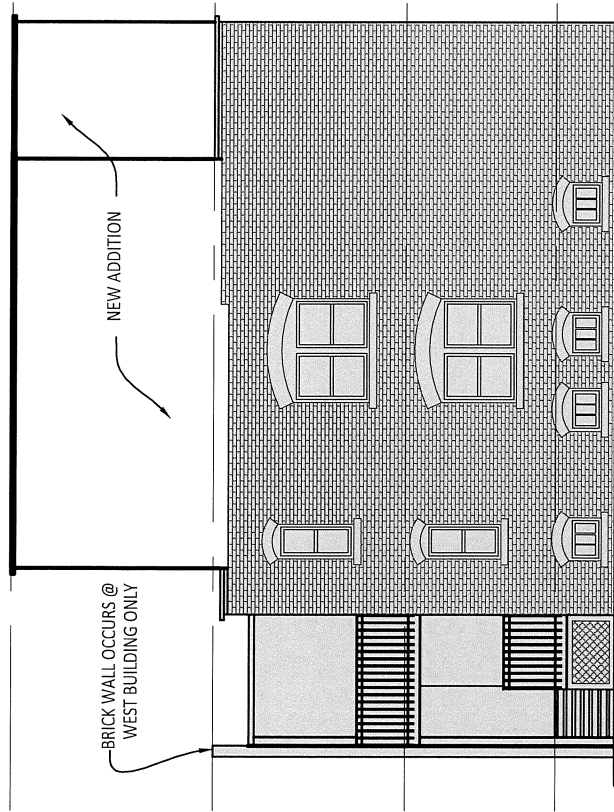
Emerald Development & Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
January 17, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.



TYPICAL REAR ELEVATION
 1/8" = 1'-0"



TYPICAL SIDE ELEVATION
 1/8" = 1'-0"

A
2

EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

Emerald Development & Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.

January 17, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.



A 3 EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

Emerald Development & Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
 January 17, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.

EXISTING SITE AERIAL



VIEW FROM WEST



VIEW FROM NORTH

A
4

EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

**Emerald Development &
Economic Network, Inc.**

**Hiti, DiFrancesco and Siebold, Inc.
January 17, 2020**

© 2020 Hiti, DiFrancesco & Siebold, Inc.

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PC 20-000002
DOCKET No. 02-05-20
FEE PAID _____

APPLICATION
LAKWOOD PLANNING COMMISSION

Property Address 11714/11716 Nelson Court Business/Tenant Name _____

Property Owner Name Emerald Development & Economic Network, Inc. Owner Phone (216)961-9690

Owner E-mail rcarr@edeninc.org Zoning R2 Parcel Number 315-14-136

Project Summary Gut rehab of 2 existing buildings. Reconfigure 7 existing 1-bedroom units and 1 new ADA unit; Add one new 2-bedroom unit on the third floor of each building.

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)

Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)

Planned Development - (\$500)

Similar Use - (Commercial \$50, Residential \$25) Non-Conformity

Conditional Use - (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)

Variance - (Commercial \$50, Residential \$25)

Parking Plan Review - (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Richard Carr Company Emerald Development and Economic Network Inc.

Applicant Address: 7812 Madison Avenue, Cleveland, Ohio 44102

Phone: 216-961-9690 Fax: 216-651-4066 E-mail: rcarr@edeninc.org

Signature: [Signature] Date: January 15, 2020

OFFICE USE ONLY: Application Reviewed and Accepted by: K. Milius Date: 1/24/2020

File History: _____

Bldg. Dept. Remarks: _____

ORD. 91-95 SECTION 1149.03

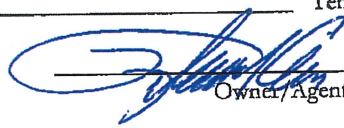
AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes _____ No

Please Print or Type:

Owner/Agent Name: Richard Carr-Emerald Development and Economic Network Inc.
 Property Address: 11714/11716 Nelson Court, Lakewood, Ohio
 Owner/Agent Phone: 216-961-9690
 Tenant Name _____ Tenant Phone _____



 Owner/Agent Signature

**2020 Calendar
 Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
	Day	Date	Day	Date	Day	Date
January	Wednesday	12-19-19	Thursday	01-02-20	Thursday	01-02-20
February	Wednesday	01-22-20	Thursday	02-06-20	Thursday	02-06-20
March	Wednesday	02-19-20	Thursday	03-05-20	Thursday	03-05-20
April	Wednesday	03-18-20	Thursday	04-02-20	Thursday	04-02-20
May	Wednesday	04-22-20	Thursday	05-07-20	Thursday	05-07-20
June	Wednesday	05-20-20	Thursday	06-04-20	Thursday	06-04-20
July	Wednesday	06-17-20	Thursday	07-02-20	Thursday	07-02-20
August	Wednesday	07-22-20	Thursday	08-06-20	Thursday	08-06-20
September	Wednesday	08-19-20	Thursday	09-03-20	Thursday	09-03-20
October	Wednesday	09-16-20	Thursday	10-01-20	Thursday	10-01-20
November	Wednesday	10-21-20	Thursday	11-05-20	Thursday	11-05-20
December	Wednesday	11-18-20	Thursday	12-03-20	Thursday	12-03-20
January	Wednesday	12-23-20	Thursday	01-07-21	Thursday	01-07-21

PLEASE NOTE: Applications are submitted to the Building Department and are due before noon on the above indicated dates. It is recommended to submit them prior to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings for the Commission start at 6:30 P.M. in the Auditorium unless otherwise indicated. Use the rear northeast entrance to the Auditorium.

Review Meetings start at 7:00 P.M. in the Auditorium at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review. Use the rear northeast entrance to the Auditorium.



December 16, 2019

City of Lakewood Planning Commission
Lakewood, Ohio 44107

**Re: 11714 Nelson Court
Lakewood, Ohio 44107**

Following is a detailed description of the requested review of the above mentioned project.

This letter requests a zoning review of the 11714 Nelson Court renovation/addition project. This project is a gut renovation to two existing 4 unit, 2-story, supportive housing apartment buildings located on the North side of Nelson Court in Lakewood, Ohio. The proposed renovation will completely reconfigure 8 existing one-bedroom apartments including 1 apartment that will become fully accessible to the greatest extent feasible. This project also proposes to add 1 two-bedroom unit as a third floor to each building, increasing the total unit count from 8 to 10.

The project will be funded using a combination of HOME funds, National Housing Trust Funds administered through the Ohio Housing Finance Agency HDGF program, and AHP funds from Federal Home Loan Bank. . The project is designed and shall be constructed to comply with the Fair Housing Accessibility Guidelines (FHAG), Uniform Federal Accessibility Standards (UFAS), 2017 Ohio Building Code (OBC), Ohio Housing Finance Agency (OHFA) QAP 2020-2021, and 2015 Enterprise Green Communities requirements.

Should you require further information please do not hesitate to contact me at 216-961-9690.

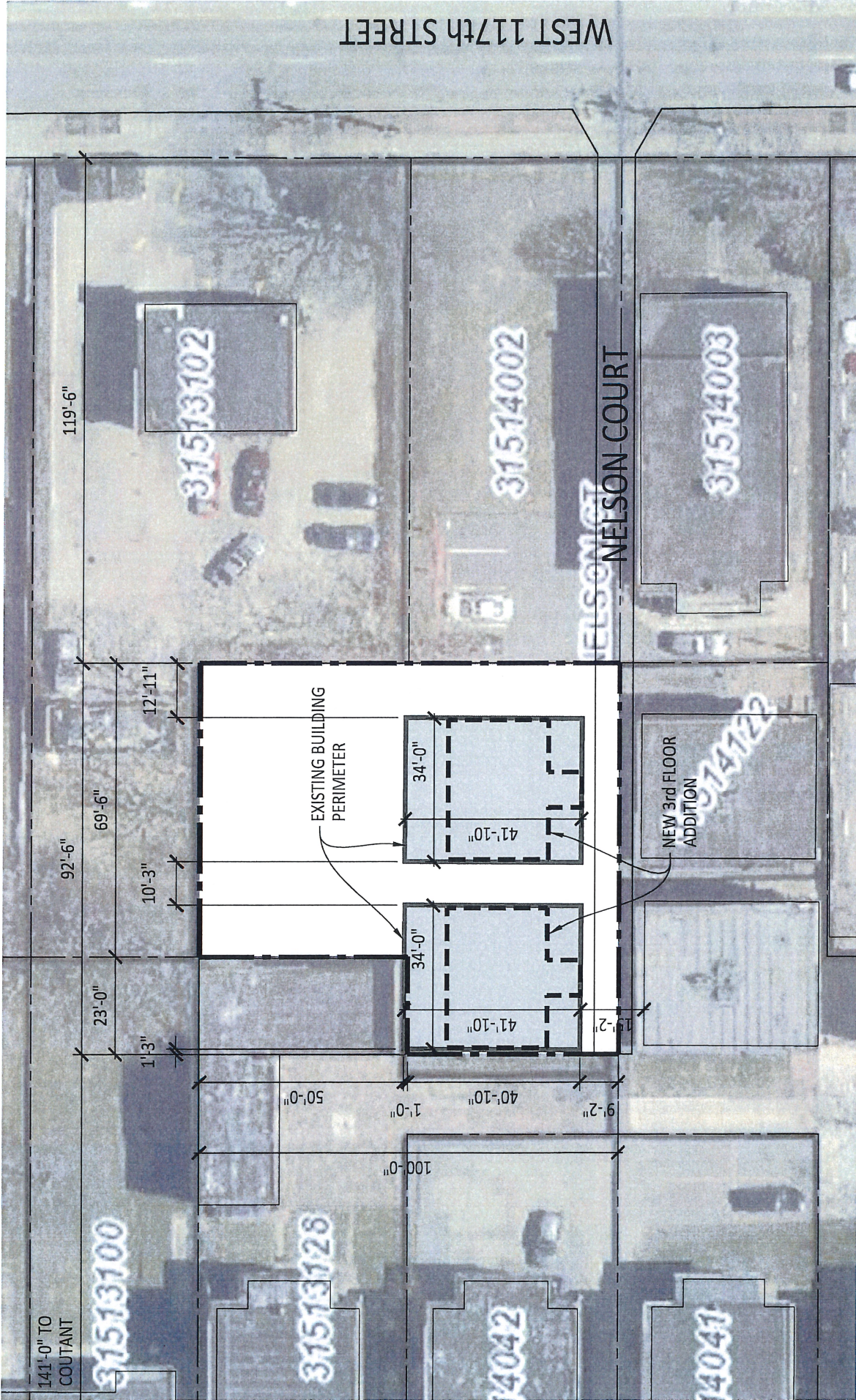
Sincerely,

Richard Carr
Director of Construction and Facilities

HOUSING RESOURCE & DEVELOPMENT AGENCY
7812 Madison Avenue, Cleveland, OH 44102 (216)961-9690 FAX (216)651-4066
Shelter Plus Care FAX (216) 651-6692 www.edeninc.org info@edeninc.org
TDD/TTY: 1-800-545-1833, ext. 873

A Contract Agency of the Alcohol, Drug and Mental Health Services Board of Cuyahoga County





AS 1 EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

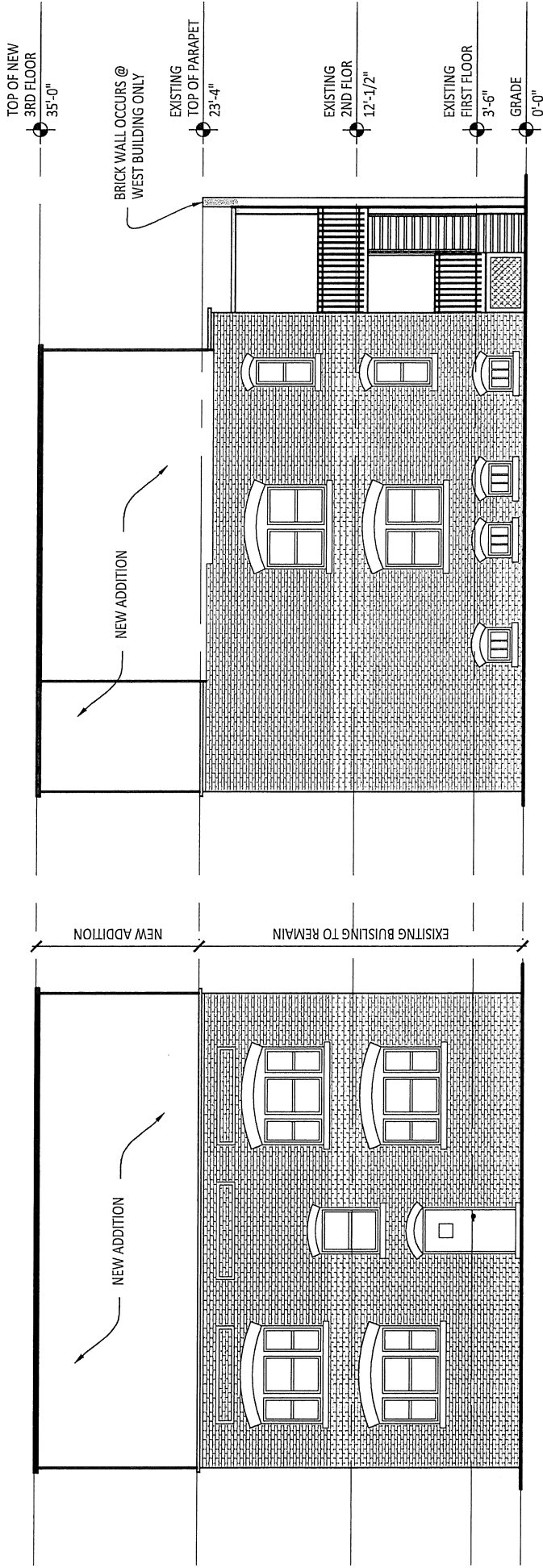
Emerald Development & Economic Network, Inc.

Hiti, DiFrancesco and Siebold, Inc.
 January 17, 2020
 © 2020 Hiti, DiFrancesco & Siebold, Inc.



PROPOSED SITE PLAN





TYPICAL FRONT ELEVATION
 $\frac{3}{32}'' = 1'-0''$

TYPICAL SIDE ELEVATION
 $\frac{3}{32}'' = 1'-0''$

A
1

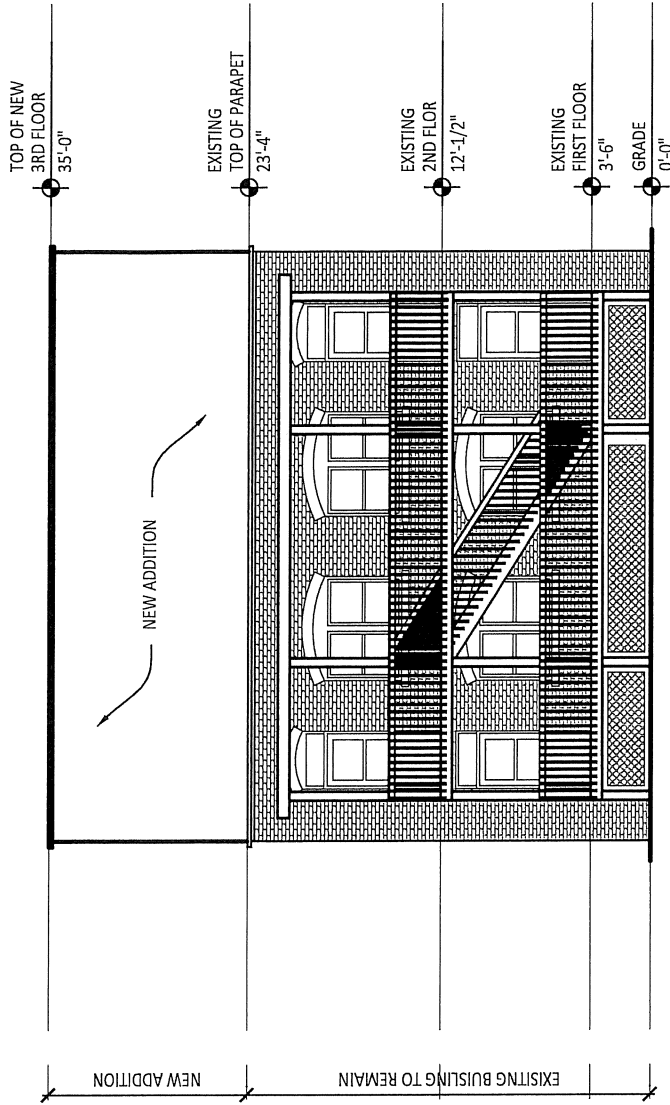
EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

Emerald Development & Economic Network, Inc.

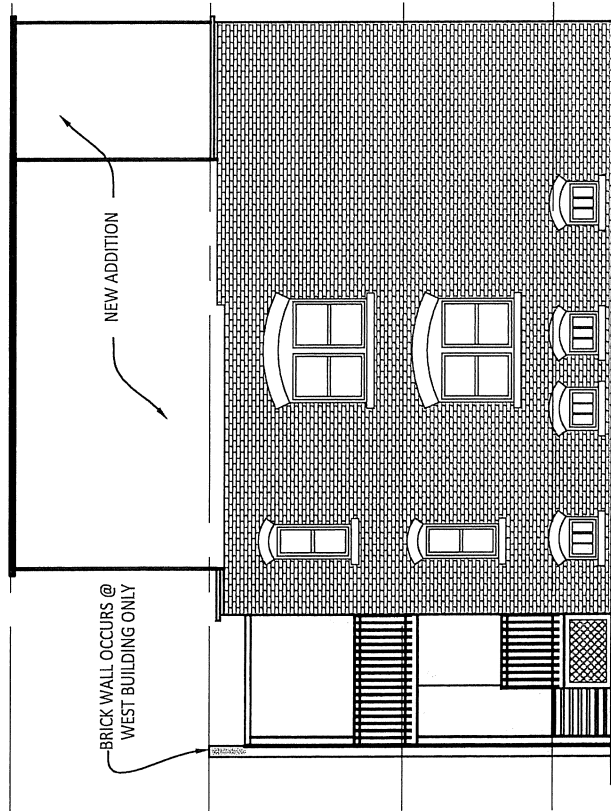
Hiti, DiFrancesco and Siebold, Inc.
 January 17, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.



TYPICAL REAR ELEVATION

1/8" = 1'-0"



TYPICAL SIDE ELEVATION

1/8" = 1'-0"

A
2

EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

**Emerald Development &
Economic Network, Inc.**

Hiti, DiFrancesco and Siebold, Inc.
January 17, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.



A
3

EXISTING SITE AERIAL

EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

**Emerald Development &
Economic Network, Inc.**

Hiti, DiFrancesco and Siebold, Inc.
January 17, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.



VIEW FROM WEST



VIEW FROM NORTH

A
4

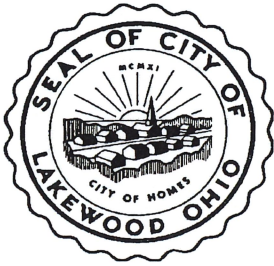
EDEN - NELSON COURT

11714 NELSON COURT, LAKEWOOD, OHIO 44107

**Emerald Development &
Economic Network, Inc.**

Hiti, DiFrancesco and Siebold, Inc.
January 17, 2020

© 2020 Hiti, DiFrancesco & Siebold, Inc.



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

February 6, 2020

Planning Commission
Lakewood City Hall
12650 Detroit Avenue
Lakewood, Ohio 44107

**Re: Communication from City Staff
Accessory Dwelling Units (ADUs)**

Dear Members of the Planning Commission:

Communication from City Staff on the proposed process to study Accessory Dwelling Units (ADUs) in Lakewood, as requested by the Planning Commission members at their meeting on December 5, 2019. ADUs were also recommended by the Resiliency Task Force in the Action Guide.

Sincerely,

Katelyn Z. Milius

Katelyn Milius, Planner
Commission Secretary