



City of Lakewood
Planning Commission

(216) 529-6630
planning@lakewoodoh.gov

AGENDA
PLANNING COMMISSION
CITY OF LAKEWOOD
12650 DETROIT AVENUE
APRIL 3, 2025

PRE-REVIEW MEETING
5:30 P.M.
AUDITORIUM

REVIEW DOCKET ITEMS

REGULAR MEETING
6:00 P.M.
AUDITORIUM

1. ROLL CALL
2. APPROVE THE MINUTES OF THE THURSDAY, MARCH 6, 2025 MEETING
3. OPENING REMARKS

NEW BUSINESS

RENEWAL OF CONDITIONAL USE

4. Docket No. 04-08-25
15319 Detroit Ave.
Ohio Tea House

At the March 6, 2025 Planning Commission meeting, the Commission members requested that Chris Nunnari, Ohio Tea House, business owner, appear before the Planning Commission at its at its April 3, 2025 meeting regarding renewal of the Conditional Use permit to operate seasonal outdoor sidewalk dining – pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. Property is located in the C2, Commercial and Retail district. (Page 4)

5. Docket No. 04-09-25
1384 Hird Ave.
Fieldhouse at Studio West

At the March 6, 2025 Planning Commission meeting, the Commission members requested that Daniel Budish, West 117 Development Phantasy LLC, business owner, appear before the Planning Commission at its at its April 3, 2025 meeting regarding renewal of the Conditional Use permit to operate seasonal outdoor dining – pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. Property is located in the C3, Commercial and General Business district. (Page 5)

6. Docket No. 04-10-25
12102 Madison Ave.
Hola Taco

At the March 6, 2025 Planning Commission meeting, the Commission members requested that Juan Vergara, Hola Taco, business owner, appear before the Planning Commission at its at its April 4, 2024 meeting regarding renewal of the Conditional Use permit to operate seasonal outdoor dining – pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. Property is located in the C2, Commercial and Retail district. (Page 6)

CONDITIONAL USE

7. Docket No. 04-11-25
2211 Chesterland Ave.
Michelle’s Busy Bees

Harbieh Hassan, Michelle’s Busy Bees, applicant requests the review and approval for a conditional use permit to operate a Type A Family Home Day Care – pursuant to Chapter 1161 – Conditional Use Regulations, section 1103.02(z) – definitions, and section 1161.03(e) – Regulations. The property is in the R2, Single- and Two-Family district. (Page 7)

CONDITIONAL USE

8. Docket No. 04-12-25
13601 Detroit Ave.
One Star Bar

Brian Taubman, One Star Bar, applicant requests the review and approval for a conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in the C3, Commercial General Business district. (Page 18)

CONDITIONAL USE

9. Docket No. 04-13-25
15607 Madison Ave.
Doc Lanky's

Mitchell Eyerman, Doc Lanky's, applicant requests the review and approval for a conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in a C2 – Commercial, Retail district. (Page 31)

PARKING PLAN

10. Docket No. 04-14-25
11810-18 Madison Ave.
RISE Dispensary

Jonathan Ziegan, Osborn Engineering, applicant requests the review and approval of a parking plan, pursuant to section 1143.09 – parking plan review: Planning Commission and section 1143.11 – exceptions to required maximum. Property is in a C3 – Commercial, General Business District. (Page 38)

ADJOURN

"Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact [Michelle Nochta at \(216\) 529-5906 michelle.nochta@lakewoodoh.gov](mailto:michelle.nochta@lakewoodoh.gov)."



City of Lakewood
Planning Commission

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Application Cover Page

Docket No.: 04-08-25

Permit No.: PC25-000013

Applicant Name: Chris Nunnari, Ohio Tea House

Project Address: 15319 Detroit Ave.

Project Name: Ohio Tea House

Proposal: At the March 6, 2025 Planning Commission meeting, the Commission members requested that Chris Nunnari, Ohio Tea House, business owner, appear before the Planning Commission at its April 3, 2025 meeting regarding renewal of the Conditional Use permit to operate seasonal outdoor sidewalk dining – pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. Property is located in the C2, Commercial and Retail district.



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Application Cover Page

Docket No.: 04-09-25

Permit No.: PC25-000012

Applicant Name: Daniel Budish, West 117 Development Phantasy LLC

Project Address: 1384 Hird Ave.

Project Name: Fieldhouse at Studio West

Proposal: At the March 6, 2025 Planning Commission meeting, the Commission members requested that Daniel Budish, West 117 Development Phantasy LLC business owner, appear before the Planning Commission at its at its April 3, 2025 meeting regarding renewal of the Conditional Use permit to operate seasonal outdoor sidewalk dining – pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. Property is located in the C2, Commercial and Retail district.



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Application Cover Page

Docket No.: 04-10-25

Permit No.: PC25-000011

Applicant Name: Juan Vergara, Hola Taco

Project Address: 12102 Madison Ave.

Project Name: Hola Taco

Proposal: At the March 6, 2025 Planning Commission meeting, the Commission members requested that Juan Vergara, Hola Taco, business owner, appear before the Planning Commission at its April 3, 2025 meeting regarding renewal of the Conditional Use permit to operate seasonal outdoor sidewalk dining – pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. Property is located in the C2, Commercial and Retail district.



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Application Cover Page

Docket No.: 04-11-25

Permit No.: PC25-000008

Applicant Name: Harbieh Hassan, Michelle's Busy Bees

Project Address: 2211 Chesterland Ave.

Project Name: Michelle's Busy Bees

Proposal: Harbieh Hassan, Michelle's Busy Bees, applicant requests the review and approval for a conditional use permit to operate a Type A Family Home Day Care – pursuant to Chapter 1161 – Conditional Use Regulations, section 1103.02(z) – definitions, and section 1161.03(e) – Regulations. The property is in the R2, Single- and Two-Family district.

MS

Hello, to whom it may concern, my name is Harbieh Hassan and I would love to open up my own at home daycare. The location where the at home daycare will be located is on 2211 Chesterland Ave, Lakewood, OH 44107. I have years of experience with children, in the past I worked as a teachers aid with disabled children and I am currently a director at a daycare center. I would have someone represent me at the meeting that is scheduled on 04/03/25.

Sincerely, Harbieh Hassan









S Now





LOW







City of Lakewood
Planning Commission

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planning@lakewoodoh.gov

Application Cover Page

Docket No.: 04-12-25

Permit No.: PC25-000009

Applicant Name: Brian Taubman, One Star Bar

Project Address: 13601 Detroit Ave.

Project Name: One Star Bar

Proposal: The review and approval for a conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in the C3, Commercial General Business district.

13601 DETROIT AVENUE, LAKEWOOD, OH 44107

ONE STAR BAR

March 19, 2025

To Whom It May Concern,

We would like to erect a seasonal outdoor dining space on the Detroit Ave sidewalk area in front of our business. The patio will consist of a black metal railing and four tables with 8 chairs. The railing will connect to the East and West sides of our storefronts. It will come off the building five feet and extend fifty feet. This will leave approximately five feet for pedestrian traffic in front of the railing. The railing will be anchored into the sidewalk with tap con screws.

Thank you for your consideration in this matter.

Regards,

Patrick McGinty

Tenant Consent

Patrick McGinty <pbmcginty3@gmail.com>
To: Patrick McGinty <pbmcginty3@gmail.com>

Tue, Mar 18 at 6:01PM

Tenant Consent

One Star Bar

13601 Detroit Ave

Lakewood, Oh 44107

To Whom It May Concern,

I authorize access to the City of Lakewood for the purpose of inspecting and discussing my seasonal patio space.

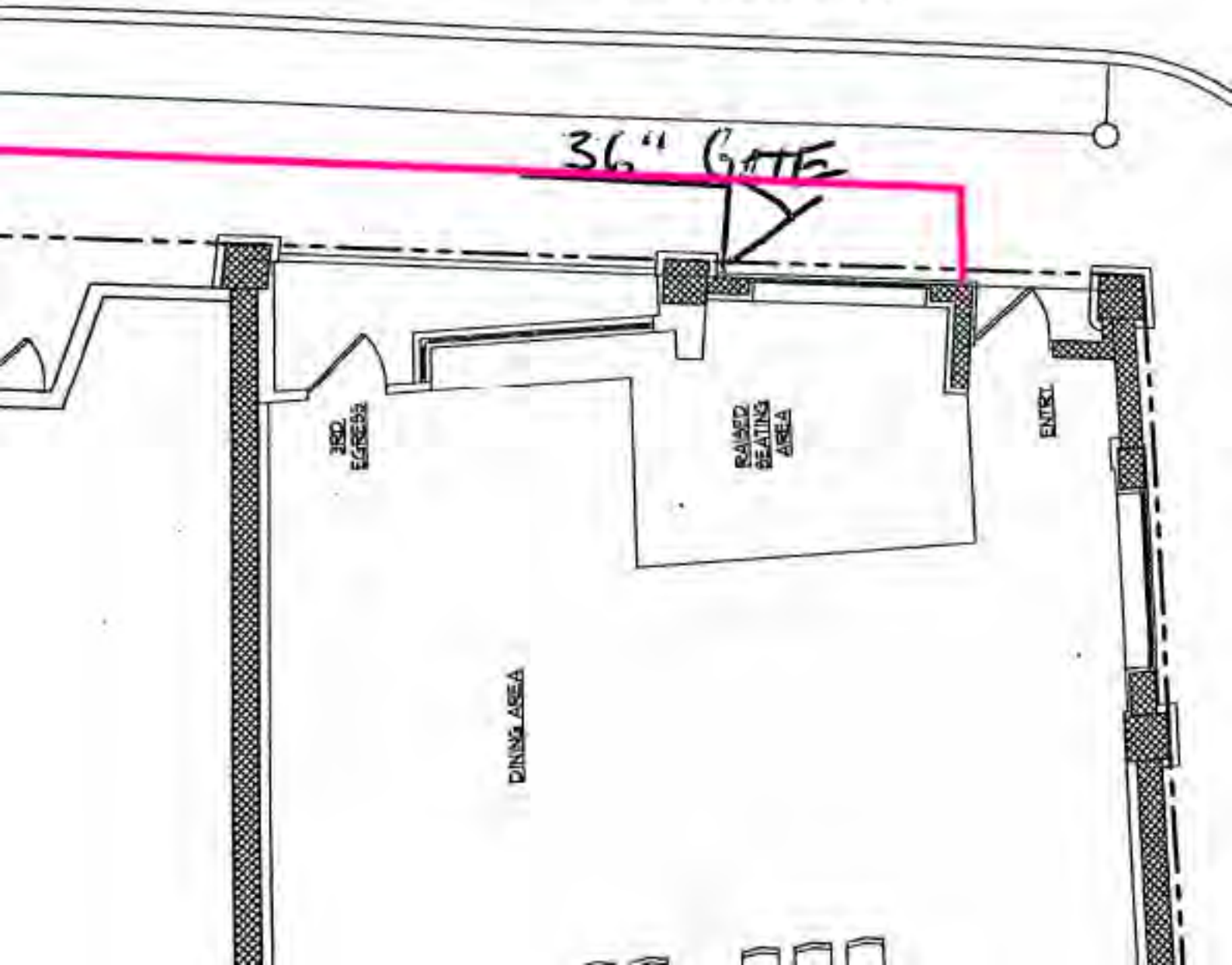
Regards,

Patrick McGinty



'DETROIT AVE'

36" Gate

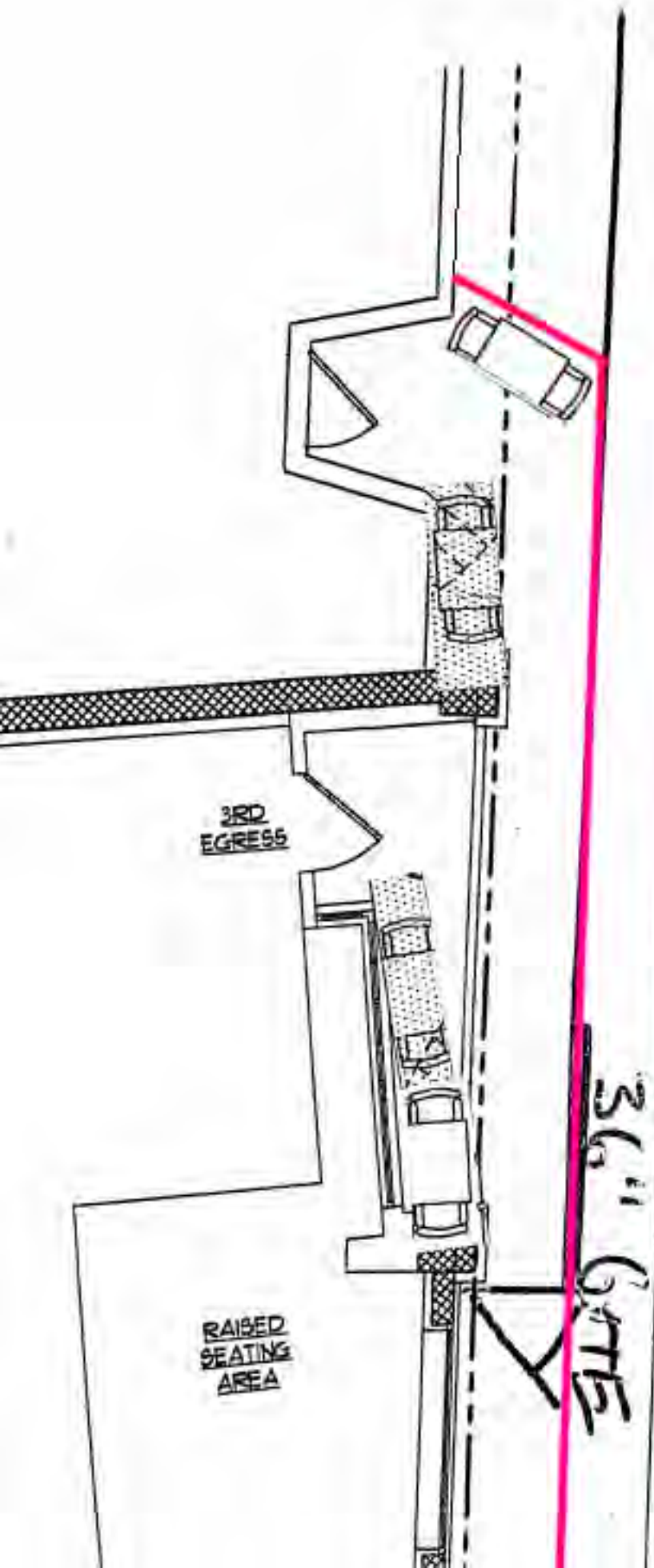


2ND
EGRESS

RAISED
SEATING
AREA

ENTRY

DINING AREA



One Star

BAR

13601 Detroit Ave.
Lakewood, Ohio 44107

"DETROIT AVE"



LEAVE ON
2009
↑



LAKEWOOD
www.lakewoodinfo.com

NO PARKING
ANY TIME





SCHOOL
SPEED
LIMIT
20

75
E



Red scribble in the window reflection.

HARBOR
STOP
OPEN
WALK-INS
WELCOME

Technical Data

Assembly Options	Assembly Required
Back	With Back
Chair Weight Capacity	300 lb.
Color	Black
Features	Umbrella Hole
Finish	Powder-Coated
Frame Material	Aluminum
Included Chairs	2 Chairs
Installation Type	Freestanding
Padded Seat	Without Padded Seat
Seat Material	Aluminum
Shape	Rectangle
Style	Arm Chair
Table Seating Capacity	2 Chairs
Tabletop Material	Aluminum
Type	Table / Chair Sets
Usage	Outdoor

Notes & Details

Allow your guests to enjoy the breezy summer weather with this Lancaster Table & Seating 24" x 32" black powder-coated aluminum standard height outdoor table with umbrella hole and 2 arm chairs! Designed specifically for outdoor use, this combo makes an excellent addition to restaurants, bar patios, and other outdoor entertainment areas such as banquets and luaus. Their lightweight construction allows you to easily move them around your outdoor setting for the best possible view. Your guests will love the opportunity to enjoy the temperate weather with the convenience and comfort of this table!

This table features a pedestal base that allows it to stand firm on your patio. Plus, it features a built-in umbrella hole so you can pair the table with a compatible umbrella (sold separately) to add shade at your restaurant or cafe. The table's standard height is perfect to let guests sit comfortably during their meal, while the chair's armrests create additional comfort. The slotted design allows for excellent airflow to keep guests cool while they dine. Its 300 lb. capacity brings strength and durability to the chair and your presentation.

Both this table and its chairs are made of powder-coated aluminum, which is durable enough to resist weather and corrosion. Their smooth surfaces feature a black color that's sure to induce a lively atmosphere and provide striking contrast against warm summer sky. Thanks to its UV-resistant finish, the color won't fade over time when left in the sun for longer periods. Additionally, the chairs are stackable for simple storage! them on your patio and let your guests enjoy!

⚠ WARNING: This product can expose you to chemicals including lead, which are known to the State of California to cause cancer and birth defects or other reproductive harm. For more information, go to www.p65warnings.ca.gov.



TREX SIGNATURE® ALUMINUM RAILING EXCEPTIONAL STRENGTH, TRADITIONAL STYLE

Trex Signature railing is comprised of premium aluminum and finished with top-tier powder coating over all exposed surfaces. Exploring a range from contemporary to industrial designs, Trex Signature railing is offered in elegant neutrals and various configurations. With long-lasting beauty and unmatched durability, allow Signature railing to frame your view.

RAILING COMPONENTS



Aluminum post with cap and skirt



Aluminum crossover post with skirt



Aluminum posts with premounted brackets, cap and skirt



Aluminum top and bottom rail



Square aluminum baluster



Round aluminum baluster



Mounting and support hardware

COMPONENT	ORIENTATION	HEIGHTS	WIDTHS	COLORS
Aluminum Post with Cap & Skirt	Horizontal	37" (939 mm) 43" (109 cm)	2.5" x 2.5" (63 mm x 63 mm)	WT, BZ, BK
	Stair	53" (134 cm)		
Aluminum Crossover Post with Skirt	Horizontal	36" (914 mm) 42" (106 cm)	2.5" x 2.5" (63 mm x 63 mm)	WT, BZ, BK
Aluminum Post with Premounted Brackets, Cap & Skirt	Line End Corner	37" (939 mm) 43" (109 cm)	2.5" x 2.5" (63 mm x 63 mm)	BK

RAIL KITS



Aluminum Rail & Square Baluster Kit



Aluminum Rail & Round Baluster Kit

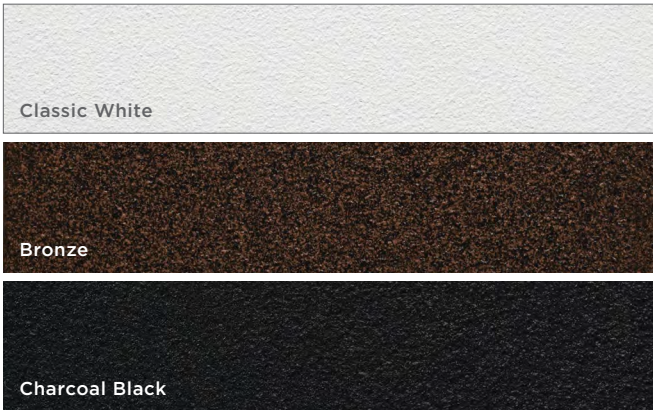


Aluminum Assembled Square Baluster Panel

COMPONENT	ORIENTATION	HEIGHTS	LENGTHS	COLORS
Aluminum Rail & Square Baluster Kit	Horizontal	36" (914 mm)	6' (182 cm)	WT, BZ, BK
	Stair	42" (106 cm)	8' (243 cm)	
Aluminum Rail & Round Baluster Kit	Horizontal	36" (914 mm)	6' (182 cm)	BK
	Stair	42" (106 cm)	8' (243 cm)	
Aluminum Assembled Square Baluster Panel	Horizontal	36" (914 mm)	4' (122 cm)	BK
		42" (106 cm)	6' (182 cm)	
			8' (243 cm)	

COLORS

Aluminum



CODE REQUIREMENTS

Trex Signature Railing meets both IRC and IBC designated requirements in accordance with ICC-ES AC174 and ASTM D7032. Refer to Code Compliance Report CCRR-0202 for specific details.

HARDWARE

Tabless Fixed Brackets

Brackets with tabs removed to work with assembled panels, glass railing and mesh railing.

Includes 2 top rail brackets with covers, 2 bottom rail brackets with covers, 1 fastener pack and (2) 3M VHB adhesive tabs.



Fixed Brackets

Supplementary brackets for horizontal and stair cut rail sections.

Includes 2 top rail brackets with covers, 2 bottom rail brackets with covers and 1 fastener pack.



QUESTIONS?

Connect with our pro services team at 1-800-BUY-TREX or customercare@trex.com



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Application Cover Page

Docket No.: 04-13-25

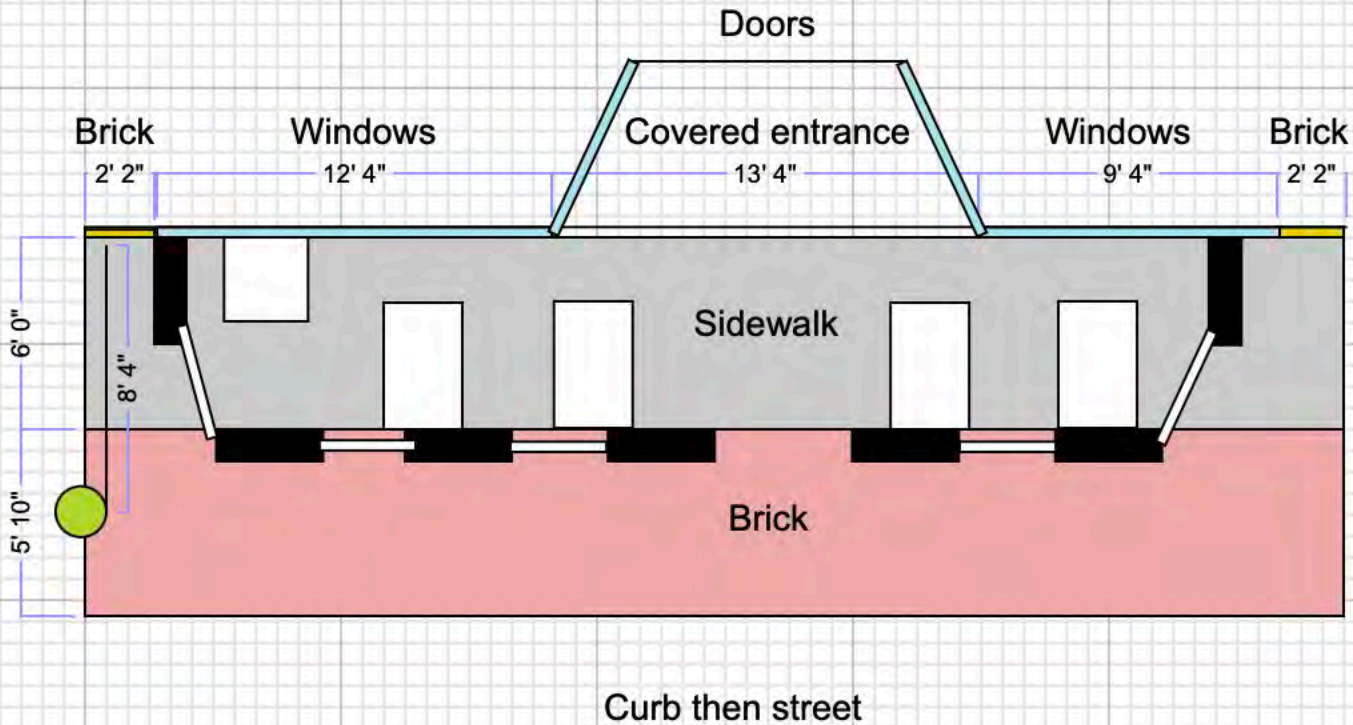
Permit No.: PC25-000014

Applicant Name: Mitchell Eyerman, Doc Lanky's

Project Address: 15607 Madison Ave.

Project Name: Doc Lanky's

Proposal: The review and approval for a conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in the C2 – Commercial, Retail district.



Black boxes are flower planters that will be connected by black plastic chain. On the patio itself there will be 4 4-top tables and one two-top table. Total of 18 seats. Tables and planters drawn to scale.



DOC LANKY'S

DOC LANKY'S

Food & Drinks

Quality Care

LANKY'S

FOOD & DRINKS

15607

OPEN

HMSOROS&C

come
Doc's

SEAT
YOUR
LF

PATIO



FOOD & DRINK

DOC LANKY'S

OPEN

NO
PARKING
ANY
TIME



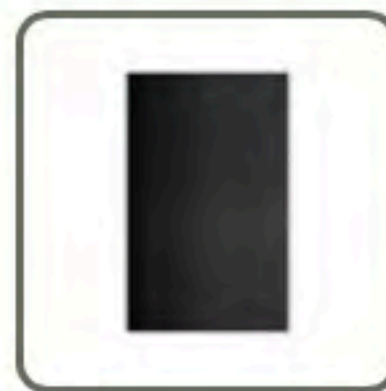
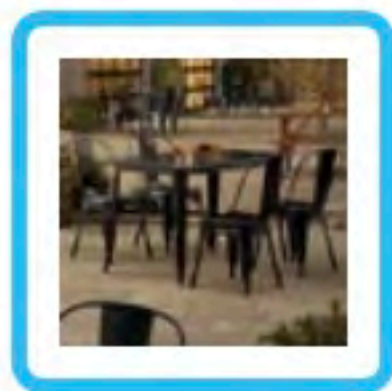
< Tables and Chair Sets

Lancaster Table & Seating Alloy Series 47 1/2" x 29 1/2" Onyx Black Standard Height Outdoor Table with 4 Cafe Chairs

Item #: 164D3048BLK

★★★★★ [Read 8 reviews](#)

[1 answered question](#)



See it in your space in 3D

×

40" x 36" x 12" Rolling Metal...





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Application Cover Page

Docket No.: 04-14-25

Permit No.: PC25-000010

Applicant Name: Jonathan Ziegan, Osborn Engineering

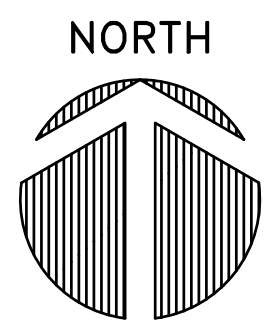
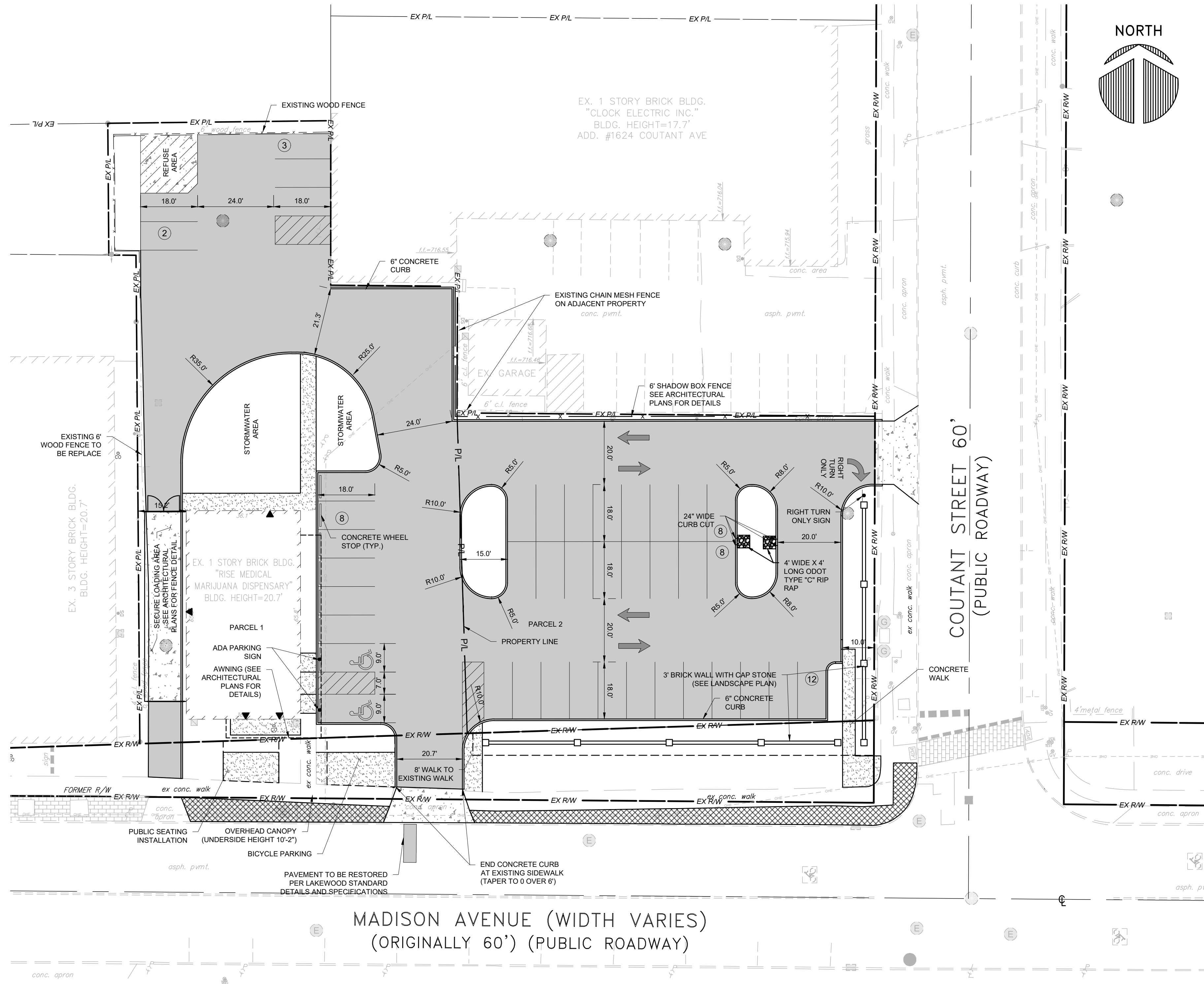
Project Address: 11810-18 Madison Ave.

Project Name: RISE Dispensary

Proposal: The review and approval of a parking plan, pursuant to section 1143.09 – parking plan review: Planning Commission and section 1143.11 – exceptions to required maximum. Property is in a C3 – Commercial, General Business District.



P:\GTI\2023\1022\000_RISE_Dispensary_Lakewood_OH\Drawings\Civil\C-400_Site_Plan.dwg
3/19/2023 10:19 AM Hinch, Jake



PARCEL 1 SUMMARY

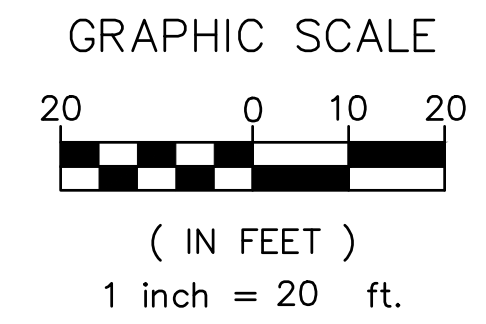
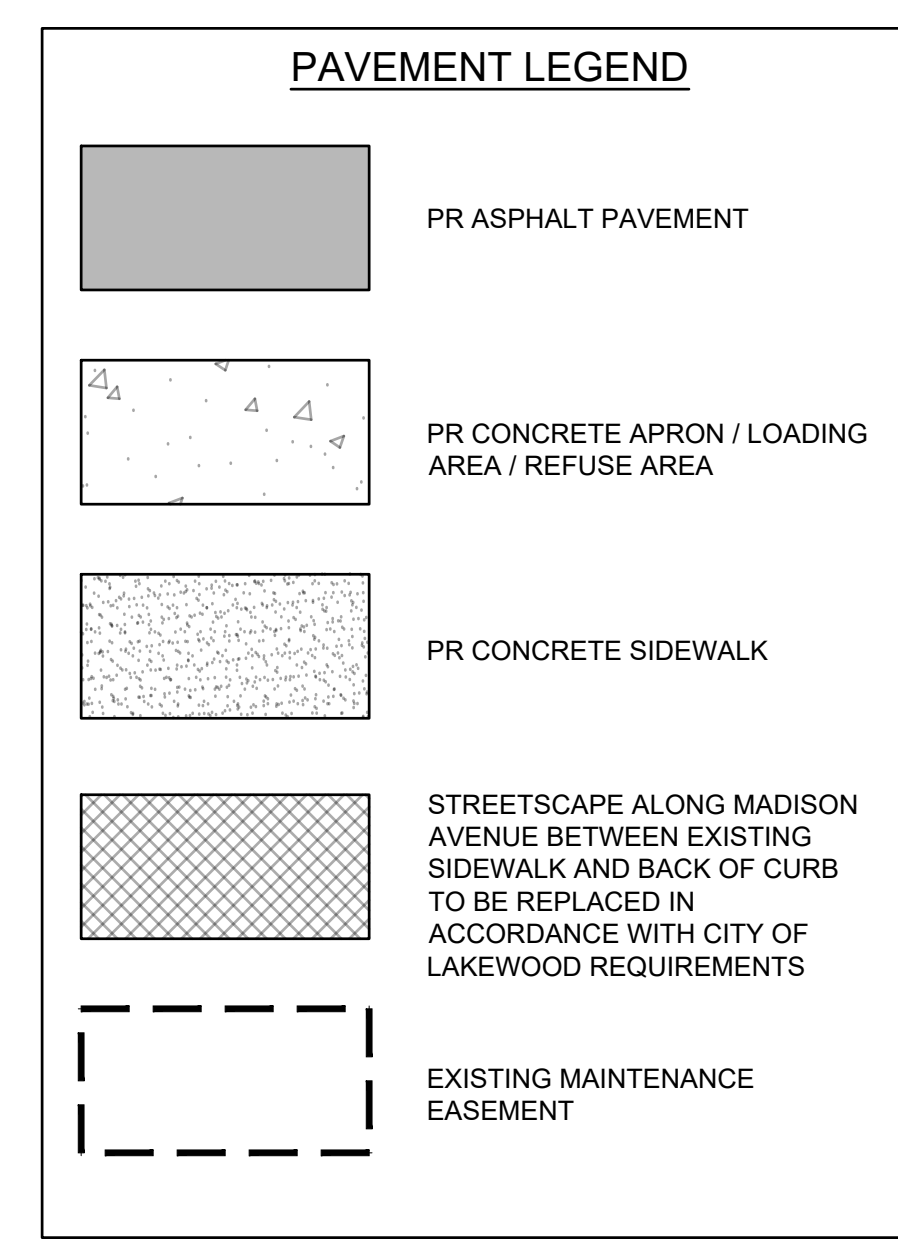
FEATURE	CURRENT	REQUIRED	PROPOSED
ZONE	C3-COMMERCIAL, GENERAL		C3-COMMERCIAL, GENERAL
USE	MEDICAL MARIJUANA DISPENSARY		MEDICAL MARIJUANA DISPENSARY
USE CATEGORY	CONDITIONAL USE	CONDITIONAL USE	CONDITIONAL USE
PARCEL AREA	20,222 GSF	10,000 GSF	18,169 GSF
PARKING COUNT	28	1 TO 2.5 SPACE / 1000 GSF; 5 TO 11	13
ACCESSIBLE PARKING COUNT	1	1	2
BICYCLE PARKING COUNT	0	2	5

PARCEL 2 SUMMARY (EXISTING BUILDING DEMOLISHED WITH NO PROPOSED BUILDINGS)

FEATURE	CURRENT	REQUIRED	PROPOSED
ZONE	C3-COMMERCIAL, GENERAL		C3-COMMERCIAL, GENERAL
USE	MOTOR VEHICLE RENTAL		ACCESSORY PARKING
USE CATEGORY	CONDITIONAL USE		PERMITTED
PARCEL AREA	10,705 GSF		12,776 GSF
BUILDING AREA	6,690 USEABLE SPACE (AS PER COUNTY)		
PARKING COUNT	39		28
ACCESSIBLE PARKING COUNT	0	0	0
BICYCLE PARKING COUNT	0	0	0
FRONT SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
REAR SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE
SIDE SETBACK	NOT APPLICABLE	NOT APPLICABLE	NOT APPLICABLE

MADISON AVENUE PARKING
NINE POSSIBLE EMPLOYEE ONLY PARKING ON MADISON AVENUE.

LANDSCAPE PLAN NOTE:
SEE THE LANDSCAPE PLAN BY DERU LANDSCAPE ARCHITECTURE FOR DETAILS OF THE LANDSCAPING, FENCING, AND SITE FURNISHINGS.



GTI - LAKEWOOD

GREEN THUMB INDUSTRIES

11818 MADISON AVE
LAKEWOOD, OH 44107

TAG	ISSUED	DATE
	LAKEWOOD	11/22/23
	PERMIT DRAWINGS	02/02/24
	PLAN UPDATES	02/13/24
▲	REVISED PER CITY COMMENTS	04/10/24
	REVISED PER CITY COMMENTS	04/19/24
	LAKEWOOD	03/19/25

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DRAWN BY RJH
CHECKED BY JAZ
CLIENT PROJ NO.
OSBORN PROJ NO. J20231022.000

SITE PLAN

DRAWING NO.

C400

Existing Photos for 11818 & 11810 Madison Avenue – 11/22/2023



View of 11810 Madison from Coutant Ave (#1)



View of 11810 Madison from Coutant Ave (#2)

Existing Photos for 11818 & 11810 Madison Avenue – 11/22/2023



View of 11810 & 11818 Madison from intersection of Madison Ave and Coutant Ave



View of 11810 Madison from Madison Ave



View of 11818 Madison from Madison Ave

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION

11818 MADISON AVE., LAKEWOOD, OHIO 44107



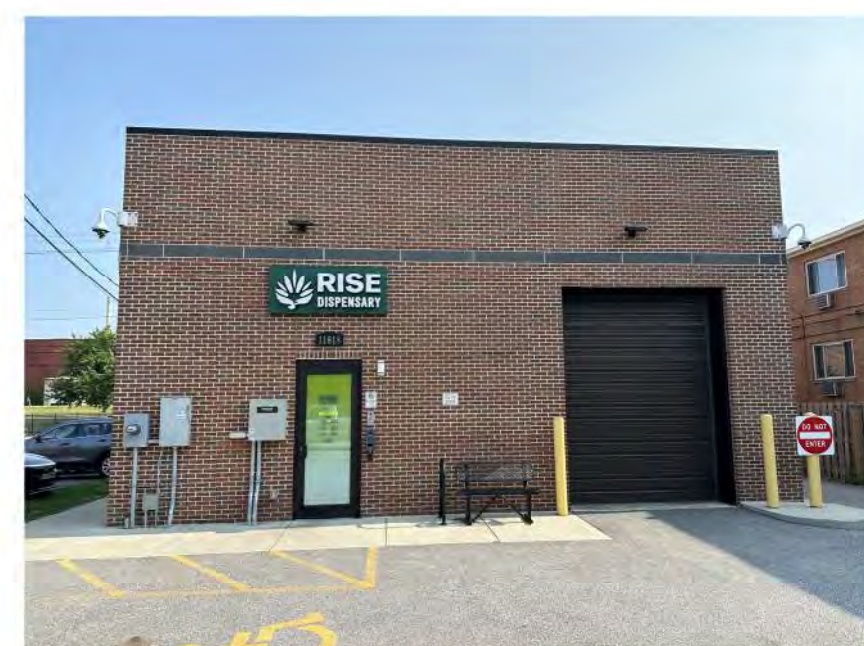
300 North 2nd Street, Suite 701
Harrisburg, PA 17101
717-805-5090
chris@chrisdawsonarchitect.com
www.chrisdawsonarchitect.com



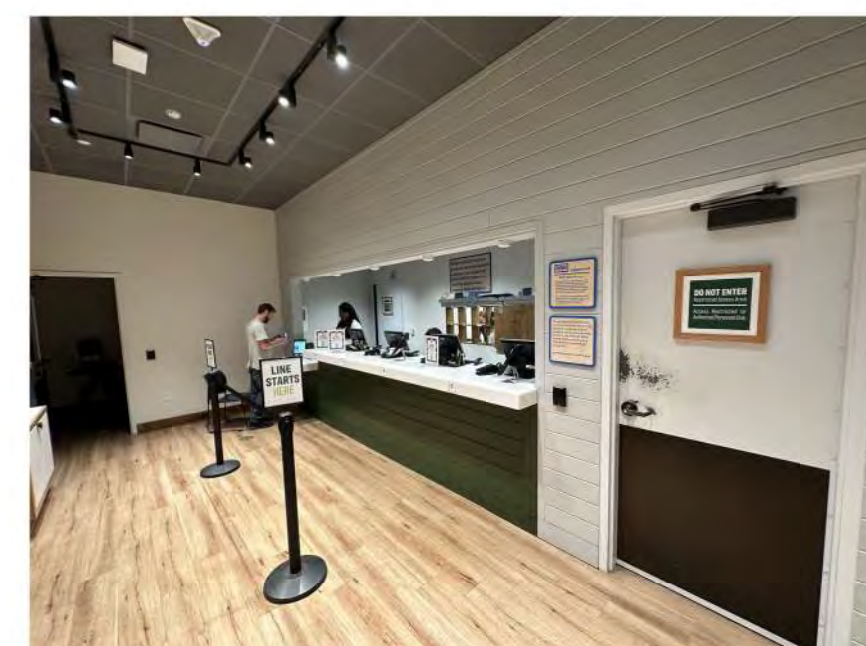
PROPOSED EXTERIOR RENDERING



EXISTING EXTERIOR PHOTO FROM THE SOUTH



EXISTING EXTERIOR PHOTO FROM THE NORTH



EXISTING INTERIOR PHOTO OF RETAIL AREA

DRAWING INDEX	
SHEET #	SHEET NAME
GENERAL	
CS1	COVER SHEET
CS2	GENERAL NOTES, SYMBOL LEGEND, ABBREVIATIONS
LS101	CODE REVIEW PLAN
ARCHITECTURAL DEMOLITION	
AD101	DEMOLITION - FLOOR PLAN
AD200	DEMOLITION - ELEVATIONS
ARCHITECTURE	
A101	FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A803	DIGITAL FINISH BOARD
A804	PARTIAL AXON
A805	OVERALL AXON
A901	EXTERIOR RENDERING
A902	EXTERIOR RENDERING
A903	EXTERIOR RENDERING

PROJECT DESCRIPTION

CDA has been engaged to renovate the existing Rise dispensary located at 11818 Madison Avenue. The renovation will consist of expanding both the sales floor and back of house cannabis storage space. The existing building square footage is approximately 2,380 square feet. The project also includes the construction of a new entrance canopy for relocated entry lobby and the construction of a sally port for secure deliveries. The interior of the existing space will be fully renovated with minor upgrades to the exterior of the existing building. Signage will be submitted under a signage permit package.

ARCHITECT	OWNER
Chris Dawson Architect 300 North 2nd Street, Suite 701 Harrisburg, PA 17101 717-805-5090 chris@chrisdawsonarchitect.com	Green Thumb Industries 325 W Huron St, No 700 Chicago, IL 60654
PROJECT MANAGER	MEP ENGINEER
Pure Project Management 2926 Richmond Street Philadelphia, PA 19134 267-300-4821 dave.lamontagne@purepm.com	Green Building Engineers 2548 Brandywine Lane York, PA 17404 717-554-0153 e_huth@gb-engineers.com
STRUCTURAL ENGINEER	
WBCM 100 Sterling Parkway Suite 108 Mechanicsburg, PA 17050 717-691-4708 sweber@transystems.com	
CIVIL ENGINEER	
Osborn Engineering 1111 Superior Ave Ste 2100 Cleveland, OH 44114 216-861-2020 jziegan@osborn-eng.com	
LANDSCAPE ARCHITECT	
DERU Landscape Architecture 216-466-4355 jayme@deru-la.com	

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

COVER SHEET

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

CS1

Scale

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET

CONFIDENTIAL

GENERAL NOTES

1. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO THE COMPLETION IN PLACE OF ALL WORK AS ILLUSTRATED AND DESCRIBED ON THE DRAWINGS AS PREPARED BY CHRIS DAWSON ARCHITECT. ALL SUCH WORK IS TO BE DONE BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS PRIOR TO CONSTRUCTION/INSTALLATION. INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM WALLBOARD, FACE OF CMU OR FACE OF EXISTING FINISH WHERE APPLICABLE.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE THIS PROJECT IN COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT AND ALL CITY, STATE AND LOCAL CODES, INCLUDING THE PREPARATION AND APPROVAL BY LOCAL AUTHORITIES OF ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM SYSTEM, SPRINKLER PLANS AND SPECIFICATIONS.
4. GENERAL CONTRACTOR SHALL OBTAIN FULL AND COMPLETE WARRANTIES FOR ALL HVAC, ELECTRICAL AND PLUMBING EQUIPMENT FROM THE CONTRACTOR PROVIDING SAID SERVICES. WARRANTIES WILL REMAIN IN EFFECT A MINIMUM OF ONE (1) YEAR FROM SUBSTANTIAL COMPLETION DATE.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL SHOP DRAWINGS AND/OR STRUCTURAL ERECTION DRAWINGS BEFORE SUBMISSION TO THE ARCHITECT/STRUCTURAL ENGINEER.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BUILDING PERMITS AND OBTAINING A CERTIFICATE OF OCCUPANCY FROM THE GOVERNING AUTHORITY.
7. WHERE COLOR AND DESIGN SELECTIONS ARE REQUIRED, THE GENERAL CONTRACTOR SHALL SUBMIT SAMPLES TO THE OWNER FOR SELECTION AND APPROVAL. AFTER COMPLETION OF THE PROJECT, A MINIMUM OF 2 CASES, OR 5% OF PRODUCT FINISHES TO BE LEFT AT THE JOB SITE.
8. GENERAL CONTRACTOR SHALL HAVE DIRECT CONTROL AND MANAGEMENT OF ALL CONSTRUCTION OPERATIONS AND BE RESPONSIBLE FOR THE SATISFACTORY OVERALL PERFORMANCE OF HIS SUPPLIERS AND SUBCONTRACTORS AS WELL AS ALL ASSIGNED CONTRACTORS.
9. GENERAL CONTRACTOR IS TO RECEIVE, HANDLE, STORE (IF NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS
10. ALL MATERIALS USED IN CONSTRUCTION SHALL BE NEW AND OF FIRST QUALITY UNLESS OTHERWISE NOTED
11. GYPSUM WALLBOARD SHALL BE INSTALLED WITH ALL CORNER BEADS, TRIM ACCESSORIES AND MOLDING, ETC. FOR A COMPLETE INSTALLATION. GYPSUM WALLBOARD TO BE TAPED AND SANDED (READY FOR PAINT). DRYWALL CONTRACTOR TO INSTALL CONTROL JOINTS ACCORDING TO INDUSTRY STANDARDS. ALL FULL HEIGHT STEEL STUD PARTITIONS MUST INCLUDE A TOP SLIP TRACK IF WALL IS SECURED TO ROOF STRUCTURE.
12. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
13. GENERAL CONTRACTOR SHALL COORDINATE THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND REPORT TO THE ARCHITECT ANY UNFORESEEN CONFLICTS BETWEEN THE SUB TRADES.
14. ITEMS AND CONDITIONS NOTED ON DETAILS ARE APPLICABLE AND BINDING TO SIMILAR CONDITIONS ON ALL THE DRAWINGS. FOR CONDITIONS NOT NOTED OR DETAILS, CONTRACTOR SHALL PROVIDE MATERIALS OF EQUAL QUALITY AND PERFORMANCES TO OTHER SIMILAR CONDITIONS ON THE JOB.
15. WALL AND CEILING FINISHES SHALL INCLUDE PROJECTIONS, BEAM ENCLOSURES, RECESSES, BULKHEADS, PILASTERS OR OTHER ENCLOSURES.
16. ALL APPURTENANCES BUILT INTO OR THROUGH WALLS, INCLUDING DOORS, DUCTS, WINDOWS, LOUVERS, GRILLES, MECHANICAL WORKS, ETC. SHALL FIT SNUGLY AND BE THOROUGHLY SEALED AROUND PERIMETERS. WORK AT EXTERIOR WALLS SHALL BE FLASHED OR OTHERWISE WATERPROOF SEALED.
17. FIELD CHECK ROUGH AND/OR FINISHED DIMENSIONS FOR ACCURATE FITTING OF CABINETS, COUNTERS, LOCKERS, DOORS, WINDOWS, FIXTURES, SHELVING, GATES AND OTHER INSTALLATIONS PRIOR TO SHOP OR FACTORY FABRICATIONS. PROVIDE AND INSTALL NECESSARY FILLER STRIPS, SCRIBE STRIPS, BASES, CLOSURES, FINISHES AND TRIM TO COMPLETE SUCH INSTALLATIONS. PROVIDE AND INSTALL ALL NECESSARY CONCEALED BLOCKING TO SECURELY ANCHOR WALL MOUNTED FIXTURES, CABINETS, EQUIPMENT, ETC.
18. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSING-IN, SEALING AND PROTECTION OF EXISTING OR PUBLIC SPACES FROM THE WORK AREA INCLUDING NOISE, DUST AND POLLUTION CONTROL. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ADEQUATE SAFETY BARRIERS AND CLEAR ACCESS IN AND OUT OF THE SITE AND FACILITY SO AS TO FACILITATE DAILY TRAFFIC MOVEMENT, DELIVERIES AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN FROM DEBRIS DURING CONSTRUCTION.
19. GENERAL CONTRACTOR SHALL CONSULT WITH THE OWNER TO VERIFY THE SCOPE OF WORK; TO VERIFY OWNER FURNISHED ITEMS AND COORDINATE THOSE ITEMS INTO THE WORK; TO VERIFY ANY ITEMS TO BE RELOCATED; TO VERIFY ANY WORK TO BE PROVIDED BY THE OWNER AND COORDINATE THAT WORK INTO THE PROGRESS OF THE SCHEDULED WORK.
20. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING (FIRE RATED AS REQUIRED) WITHIN WALLS FOR ALL ACCESSORIES
21. SECTIONS SHOWN ARE INTENDED TO SHOW THE SPECIFIC CONSTRUCTION WHERE INDEXED AS WELL AS ESTABLISH THE GENERAL CONSTRUCTION DETAILS FOR SECTIONS THROUGHOUT THE PROJECT WHICH DO NOT HAVE SPECIFIC SECTIONS DRAWN. THE MOST SIMILAR SECTION SHALL BE ADAPTED TO ANY SECTION NOT DETAILED. ANY SPECIFIC QUESTION CONCERNING CONSTRUCTION NOT ADEQUATELY COVERED BY THE ABOVE SHOULD BE DIRECTED TO THE ARCHITECT.
22. DECKS WITH OPENING FOR PIPES, DUCTS, CONDUIT, SLEEVES, ETC. SHALL BE SEALED AROUND THE COMPONENTS FULL THICKNESS OF THE DECK. (FIRE RATED SEALANT WHERE REQUIRED.)
23. ARCHITECTURAL DRAWINGS INDICATE BEARING ELEVATION FOR INFORMATION PURPOSES ONLY. SEE STRUCTURAL DRAWINGS FOR ACTUAL STRUCTURAL STEEL AND BEARING ELEVATIONS.
24. CONSULT PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR LOCATIONS AND DESCRIPTIONS OF ACCESS PANELS, LOUVER OPENINGS, VENTILATORS, GRILLES, VALVE CABINETS, FIRE DAMPERS OR OTHER APPURTENANCES AFFECTING WALLS, CEILING OR FLOORS AND PROVIDE NECESSARY LINTELS, SUPPORT OR ANCHORING. SEE STRUCTURAL NOTES FOR LINTEL REQUIREMENTS.
25. SEAL ALL SIDES OF FRAMES ABUTTING DISSIMILAR MATERIALS: TYPICAL, CONTINUOUSLY AT HEADS, JAMBS AND SILLS (EXCEPT AT DOOR SILLS UNLESS NOTED OTHERWISE).
26. FILL ALL HOLLOW METAL (HM) FRAMES ABUTTING MASONRY WITH GROUT. FILL INTERMEDIATE MEMBERS AS SHOWN IN DETAILS (TYPICAL).
27. GENERAL CONTRACTOR SHALL VERIFY ALL PENETRATIONS THROUGH CONCRETE FLOORS AND FORM ACCORDINGLY. (PRIOR TO POURING SLAB).
28. TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF ICC/ANSI A117.1-2009. AS SHOWN ON RESTROOM DRAWINGS.
29. FLASHING AT HEADS OF WALL OPENINGS SHALL INCLUDE END DAMS
30. ALL MASONRY WALL PENETRATIONS TO BE SLEEVED OR CORE DRILLED. SUBCONTRACTORS ARE RESPONSIBLE FOR SEALING ALL OF THEIR PENETRATIONS IN MASONRY WALLS.

LOCATION MAP



SYMBOL LEGEND

	SECTION		MEANS OF EGRESS		EXISTING
	SHT. #		SPOT ELEVATION		NEW
	ELEVATION		EXISTING DOOR		BRICK
	DETAIL		DOOR TO BE DEMOLISHED		RIGID INSULATION
	INTERIOR ELEVATION		NEW DOOR		COMPACTED SUBGRADE
	STATION POINT		WALLS		CONCRETE
	WALL TYPE		WALLS TO BE DEMOLISHED		C.M.U.
	WINDOW TYPE		ACCESSORY TAG		ROUGH WOOD
	ROOM NUMBER		DOOR NUMBER		PLYWOOD
	DEMOLITION KEY NOTE				FINISHED WOOD

ABBREVIATIONS

A/C	AIR CONDITIONING	F.V.W.A	FIELD VERIFY W/ ARCHITECT	ST. STL	STAINLESS STEEL
A.H.U.	AIR HANDLING UNIT	GP. BD.	GYPSUM BOARD	STOR.	STORAGE
ALUM.	ALUMINUM	HDCP.	HANDICAPPED	SUSP.	SUSPENDED
@	AT	HVAC.	HEATING/VENTILATION, AIR CONDITIONING	T.O.S.	TOP OF SLAB/STEEL
B.SMT.	BASEMENT	HT. OR	HEIGHT	TH. OR	THICK
B.C.	BASE CABINET	H.	HOLLOW METAL	T.O.J.	TOP OF JOIST
BITUM.	BITUMINOUS	H.M.	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
BD.	BOARD	HORIZ.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
BLK.	BLOCK	INT.	INTERIOR	V.I.F.W.A	VERIFY IN FIELD W/ ARCHITECT
BLDG.	BUILDING	LAV.	LAVATORY	W.B.	WALLBOARD
BLKD.	BULKHEAD	L.H.	LEFT HAND	W.C.	WATER CLOSET
B.P.-X	BID PACKAGE #	MACH.	MACHINE	W/	WITH
CLG.	CENTER LINE	M.O.	MASONRY OPENING	W/O	WITHOUT
C.B.	CHALKBOARD	MAX.	MAXIMUM	WD.	WOOD
CL.	CLOSET	MECH.	MECHANICAL	W.	WIDE
C.M.U.	CONCRETE MASONRY UNIT	MIN.	MINIMUM		
CONC.	CONCRETE	MISC.	MISCELLANEOUS		
C.J.	CONTROL JOINT	M.E.	MATCH EXISTING		
CONC.	CONCRETE	N.I.C.	NOT IN CONTRACT		
CONC.	CONCRETE	NO. OR #	NUMBER		
C.J.	CONTROL JOINT	N.T.S.	NOT TO SCALE		
CONC.	CONCRETE	O.C.	ON CENTER		
CONC.	CONCRETE	OPNG.	OPENING		
CONC.	CONCRETE	PLAS. LAM.	PLASTIC LAMINATE		
CONC.	CONCRETE	PTD	PAINTED		
CONC.	CONCRETE	REFRIG.	REFRIGERATOR		
CONC.	CONCRETE	REINF.	REINFORCED		
CONC.	CONCRETE	R.H.	RIGHT HAND		
CONC.	CONCRETE	RM.	ROOM		
CONC.	CONCRETE	S.G.T.	STRUCTURAL GLAZED TILE		
CONC.	CONCRETE	SHT.	SHEET		
CONC.	CONCRETE	SIM	SIMILAR		
CONC.	CONCRETE	SPEC.	SPECIFICATION		
CONC.	CONCRETE	STD.	STANDARD		
CONC.	CONCRETE	STL.	STEEL		

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No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

GENERAL NOTES, SYMBOL LEGEND, ABBREVIATIONS

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

CS2

Scale

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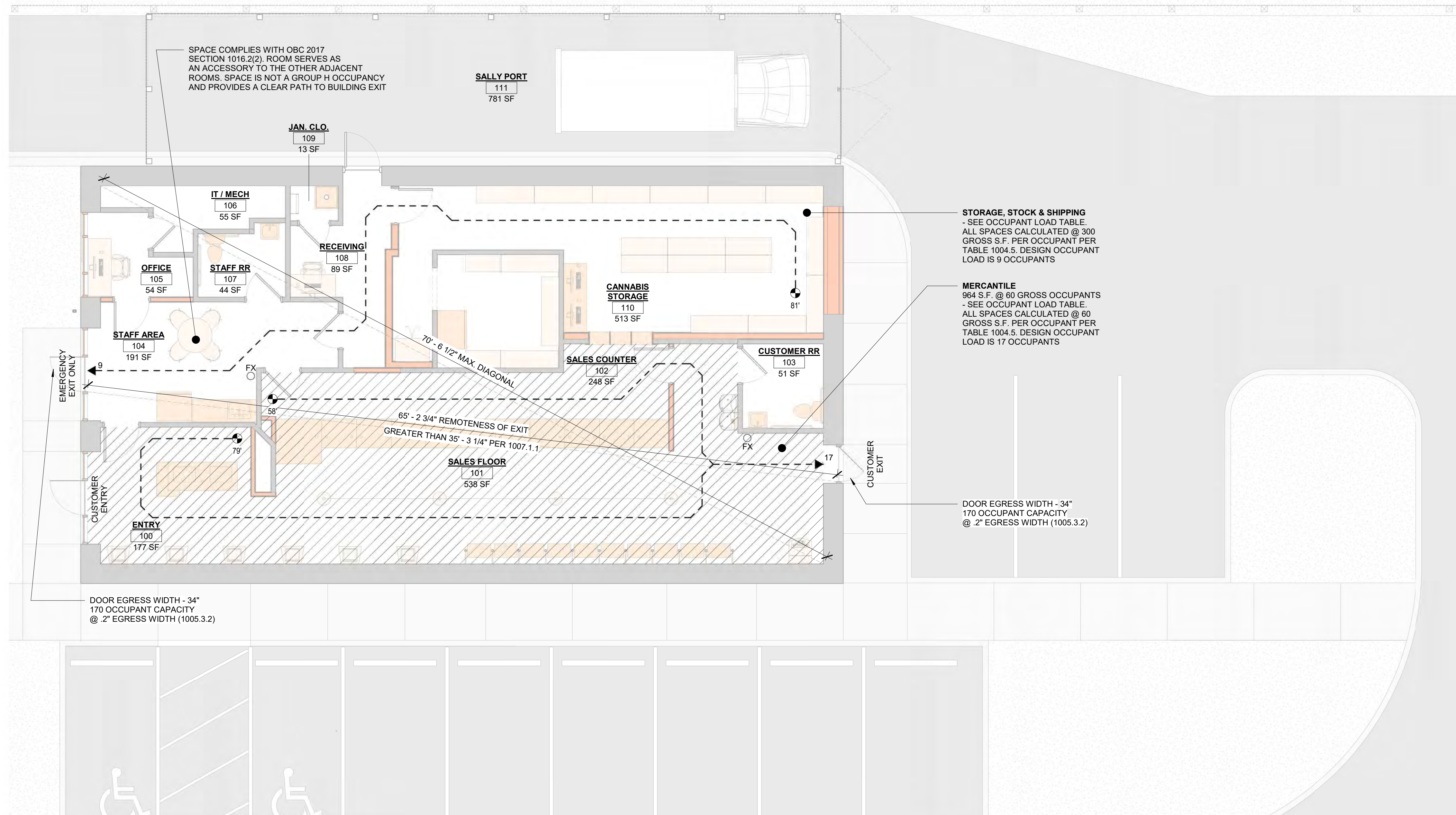
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1 LIFE SAFETY PLAN
LS101 / SCALE: 3/16" = 1'-0"

CODE SUMMARY NOTES - 2024 OBC

PROJECT TYPE:	RENOVATION / ADDITION AND TENANT FIT-OUT (LEVEL 3 ALTERATION)
LOCATION:	LAKEWOOD, OH
OCCUPANCIES:	MERCANTILE (M)
MAX. OCCUPANT LOAD:	49
CONSTRUCTION:	TYPE VB CONSTRUCTION (UNPROTECTED WOOD FRAME)
EXISTING FIRE PROTECTION:	NON-SPRINKLERED
MAX. TRAVEL DISTANCE:	200'-0" AS PER TABLE 1017.2
EXISTING SF:	2,380 SF (GROSS S.F.) (MAX. 9,000 SF PER TABLE 506.2)
NUMBER OF STORIES:	1 STORY (MAX. 1 STORY PER TABLE 504.4)
HEIGHT:	+/- 20'-8" (MAX. 40'-0" PER TABLE 504.3)

CODE SHEET LEGEND

XX XX	USE GROUP / CONSTRUCTION TYPE	---	EXIT PATH
###	NUMBER OF OCCUPANTS TABLE 1004.1.1 CRITERIA	— • —	ONE HOUR PARTITION/ WALL
0'	TRAVEL DISTANCE TO EXIT	— • • —	TWO HOUR PARTITION/ WALL
FX	FIRE EXTINGUISHER, PROVIDE # 2A-10BC PER CODE WITH CERT. TAG.	— • • • —	THREE HOUR PARTITION/ WALL
▲	EXIT / EXIT ACCESS		

PLUMBING

PLUMBING PER IBC TABLE 2902.1

1 WATER CLOSET PER 500 OCC.	1 REQ'D / 2 PROVIDED
1 LAVATORY PER 750 OCC.	1 REQ'D / 2 PROVIDED
1 WATER FOUNTAIN PER 1000 OCC.	1 REQ'D / 1 PROVIDED
1 JANITOR CLOSET	1 REQ'D / 1 PROVIDED

OHIO CODES IN FORCE

OHIO BUILDING CODE 2024
OHIO EXISTING BUILDING CODE 2024
OHIO FIRE CODE 2017
OHIO PLUMBING CODE 2024
OHIO MECHANICAL CODE 2024
OHIO FUEL GAS CODE 2021
OHIO ENERGY CODE 2021
OHIO ACCESSIBILITY CODE 2017
ADA STANDARDS 2010
OHIO ELECTRICAL CODE 2023
LIFE SAFETY CODE OF CMS
OHIO FIRE ALARM CODE 2022

OCCUPANT LOAD SCHEDULE

NO.	ROOM	FLOOR AREA	TABLE	OCCUPANT LOAD
100	ENTRY	177 SF	1004.5 OCC. LOAD @ 60 SF PER OCCUPANT	3
101	SALES FLOOR	538 SF	1004.5 OCC. LOAD @ 60 SF PER OCCUPANT	9
102	SALES COUNTER	248 SF	1004.5 OCC. LOAD @ 60 SF PER OCCUPANT	5
104	STAFF AREA	191 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
105	OFFICE	54 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
106	IT / MECH	55 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
108	RECEIVING	89 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	1
110	CANNABIS STORAGE	513 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	2
111	SALLY PORT	781 SF	1004.5 OCC. LOAD @ 300 SF PER OCCUPANT	3
		2647 SF		26

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

CODE REVIEW PLAN

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

LS101

Scale As indicated

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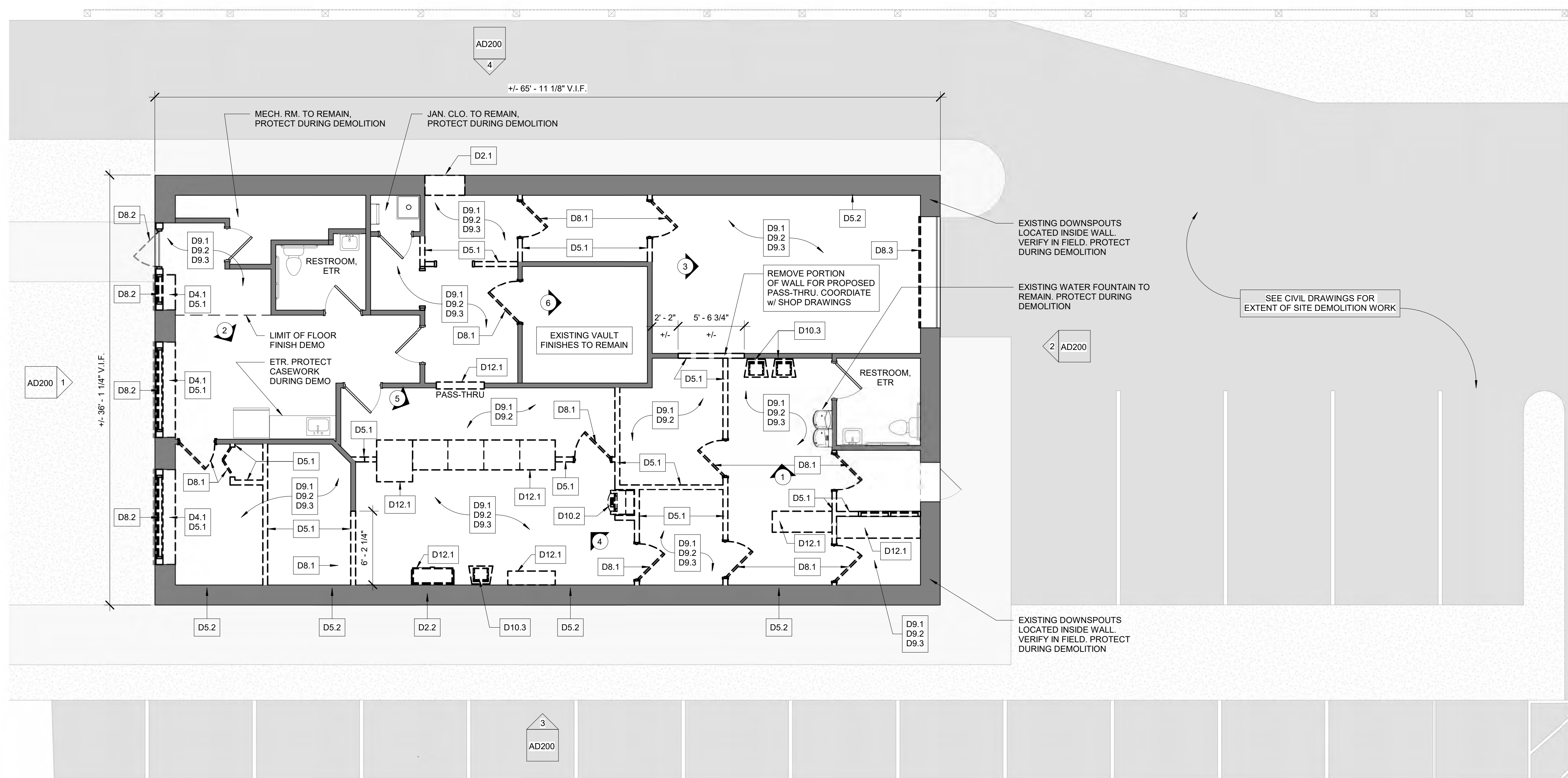
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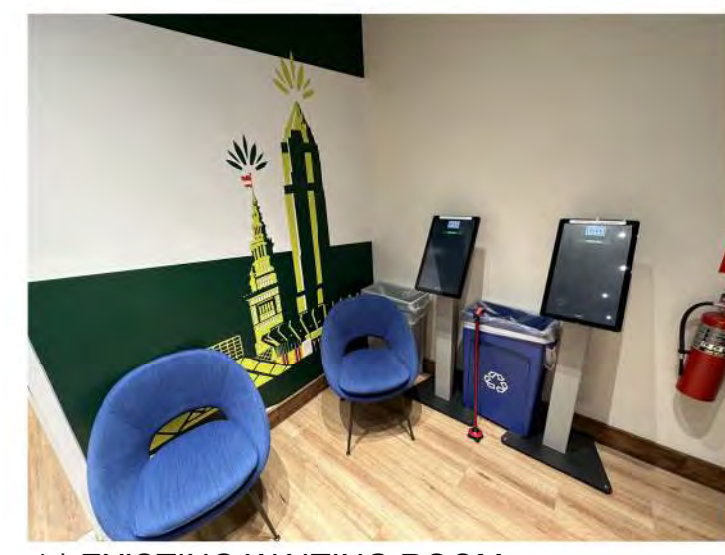
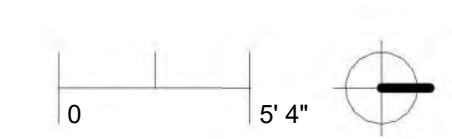
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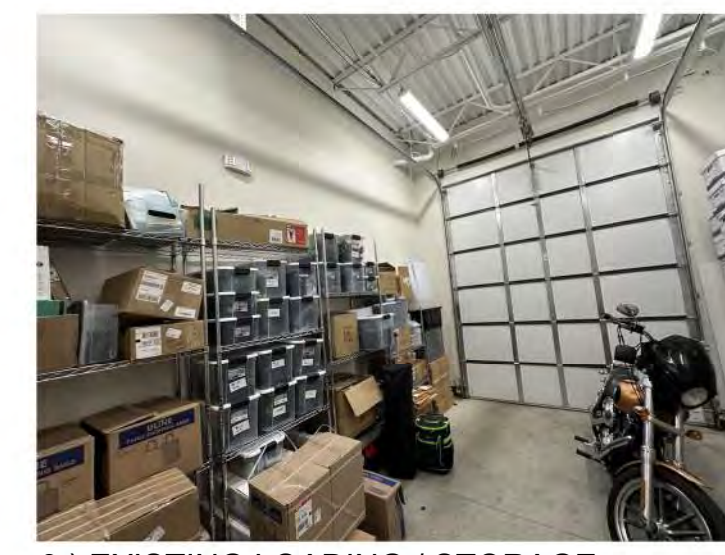
1) DEMOLITION PLAN
AD101/ SCALE: 3/16" = 1'-0"



1.) EXISTING WAITING ROOM



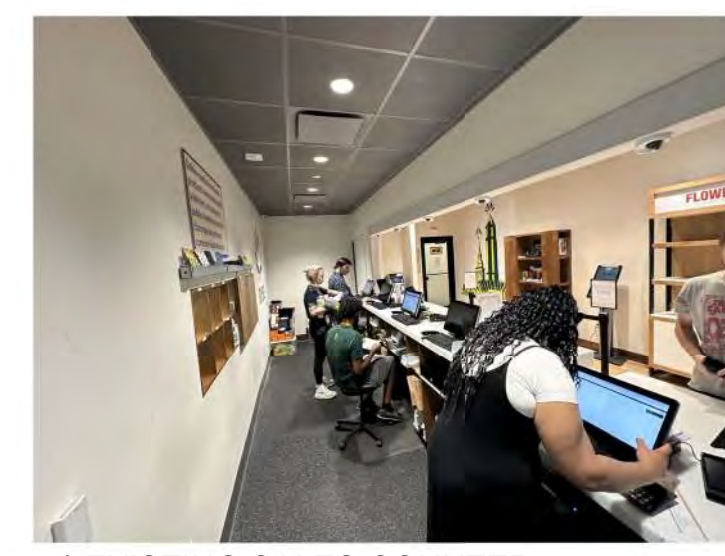
2.) EXISTING BREAK ROOM



3.) EXISTING LOADING / STORAGE



4.) EXISTING RETAIL AREA



5.) EXISTING SALES COUNTER



6.) EXISTING CANNABIS STORAGE

DEMO NOTE KEY

DIV 2: GENERAL SELECTIVE DEMOLITION

- D2.1 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW DOOR OPENING
- D2.2 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW STOREFRONT OPENING

DIV 4: MASONRY

- D4.1 REMOVE EXISTING WALL

DIV 5: METALS

- D5.1 REMOVE EXISTING WALL AND PREPARE ADJACENT SURFACES FOR NEW CONSTRUCTION

DIV 8: OPENINGS

- D8.1 REMOVE EXISTING DOOR AND FRAME
- D8.2 REMOVE EXISTING ALUMINUM STOREFRONT / DOOR / GLAZING
- D8.3 REMOVE EXISTING OVERHEAD DOOR, INCLUDING FRAME & HARDWARE

DIV 9: FINISHES

- D9.1 REMOVE EXISTING FLOORING SYSTEM & PREPARE FOR NEW
- D9.2 REMOVE EXISTING CEILING SYSTEM
- D9.3 REMOVE EXISTING WALL FINISHES & PREPARE FOR NEW

DIV 10: SPECIALTIES

- D10.1 REMOVE EXISTING RESTROOM ACCESSORIES
- D10.2 REMOVE EXISTING ATM. COORDINATE STORAGE AND REUSE w/ OWNER
- D10.3 REMOVE EXISTING KIOSK. COORDINATE STORAGE AND REUSE w/ OWNER
- D10.4 REMOVE EXISTING REFRIGERATOR. COORDINATE STORAGE AND REUSE w/ OWNER

DIV 12: FURNISHINGS

- D12.1 REMOVE EXISTING CASEWORK / CABINETRY

DIV 22: PLUMBING

- D22.1 REMOVE EXISTING PLUMBING FIXTURES & PIPING, SEE MEP DRAWINGS

GENERAL DEMOLITION NOTES

1. SELECTIVE DEMOLITION WORK SHALL INCLUDE, BUT IS NOT LIMITED TO THE ITEMS LISTED ON THESE DRAWINGS. INCLUDE ALL THAT IS NECESSARY TO COMPLETE THE SCOPE OF WORK AS INDICATED ON THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. SEE ALL DRAWINGS TO COORDINATE ANY ADDITIONAL WALL OR FLOOR DEMOLITION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING SURFACES/FINISHES TO ORIGINAL CONDITIONS AT AREAS OF CUTTING & PATCHING.
3. NOTES ARE ORGANIZED UNDER THE MOST APPLICABLE SPECIFICATION SECTION.
4. COORDINATE DEMOLITION WITH DIMENSIONS OF NEW CONSTRUCTION.
5. CONTRACTOR TO INFORM ARCHITECT OF CONDITIONS INCONSISTENT WITH WHAT IS SHOWN ON DRAWINGS.
6. ===== INDICATES CONCRETE, MASONRY, OR STUD WALLS WITH FINISHES TO BE DEMOLISHED. PATCH ADJACENT SURFACES WITH MATERIALS TO MATCH EXISTING AND MINIMIZE INCONSISTENCIES.
7. REMOVE ALL EXISTING DOORS AND FRAMES WHERE INDICATED BY SYMBOL. COORDINATE WITH DOOR SCHEDULE.
8. THE OWNER WILL REMOVE LOOSE FURNISHINGS, EQUIPMENT AND WALL HUNG PICTURES OR OTHER LOOSE ITEMS PRIOR TO DEMOLITION ACTIVITIES IN AREAS OF WORK. REMOVE ALL REMAINING FURNITURE, EQUIPMENT & REMAINING LOOSE ITEMS, AS COORDINATED WITH OWNER.
9. COORDINATE CHANGES TO I.T. SYSTEM COMPONENTS WITH OWNER & PROTECT ALL COMPONENTS TO REMAIN DURING CONSTRUCTION.
10. REMOVE ALL CONSTRUCTION AS REQUIRED TO EXECUTE NEW WORK EVEN IF NOT SPECIFICALLY NOTED.
11. PATCH AND REPAIR ALL AREAS AFFECTED BY DEMOLITION. PREPARE THESE AREAS FOR NEW FINISH - SEE FINISH SCHEDULE.
12. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN BUILDING DRAWINGS FOR DEMOLITION ASSOCIATED WITH MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
13. REMOVE ALL FASTENERS, SUPPORTS, ETC. ASSOCIATED WITH DEMOLISHED ITEMS.
14. REMOVE ALL EXISTING BASE BOARDS AT AREAS NOTED TO RECEIVE NEW BASEBOARDS IN FINISH SCHEDULE.
16. DEMOLITION NOTES IN A ROOM SHALL EXTEND INTO ADJOINING CLOSETS AND STORAGE SPACES UNLESS NOTED OTHERWISE.

CONFIDENTIAL

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

DEMOLITION - FLOOR PLAN

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	WE

AD101

Scale As indicated

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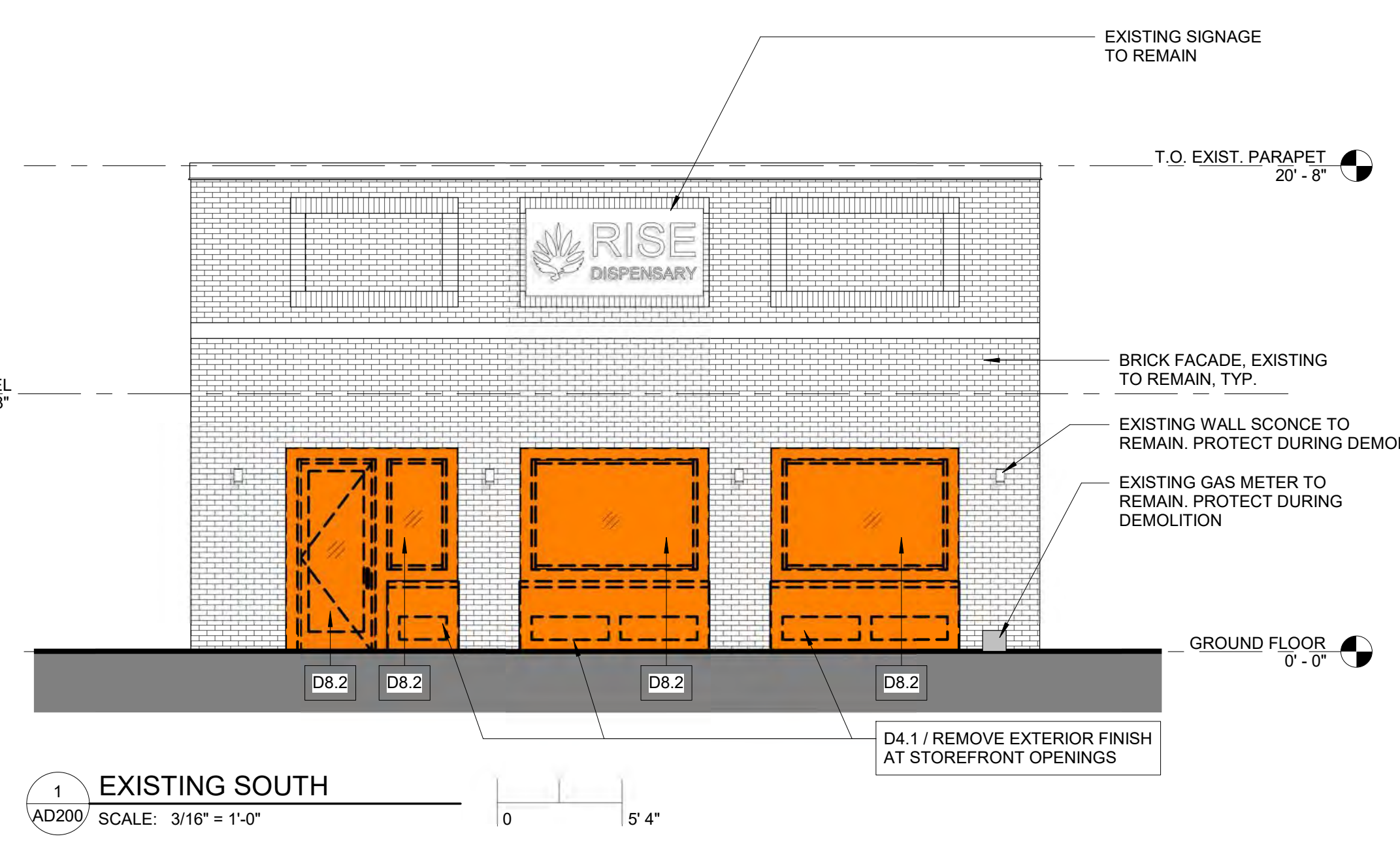
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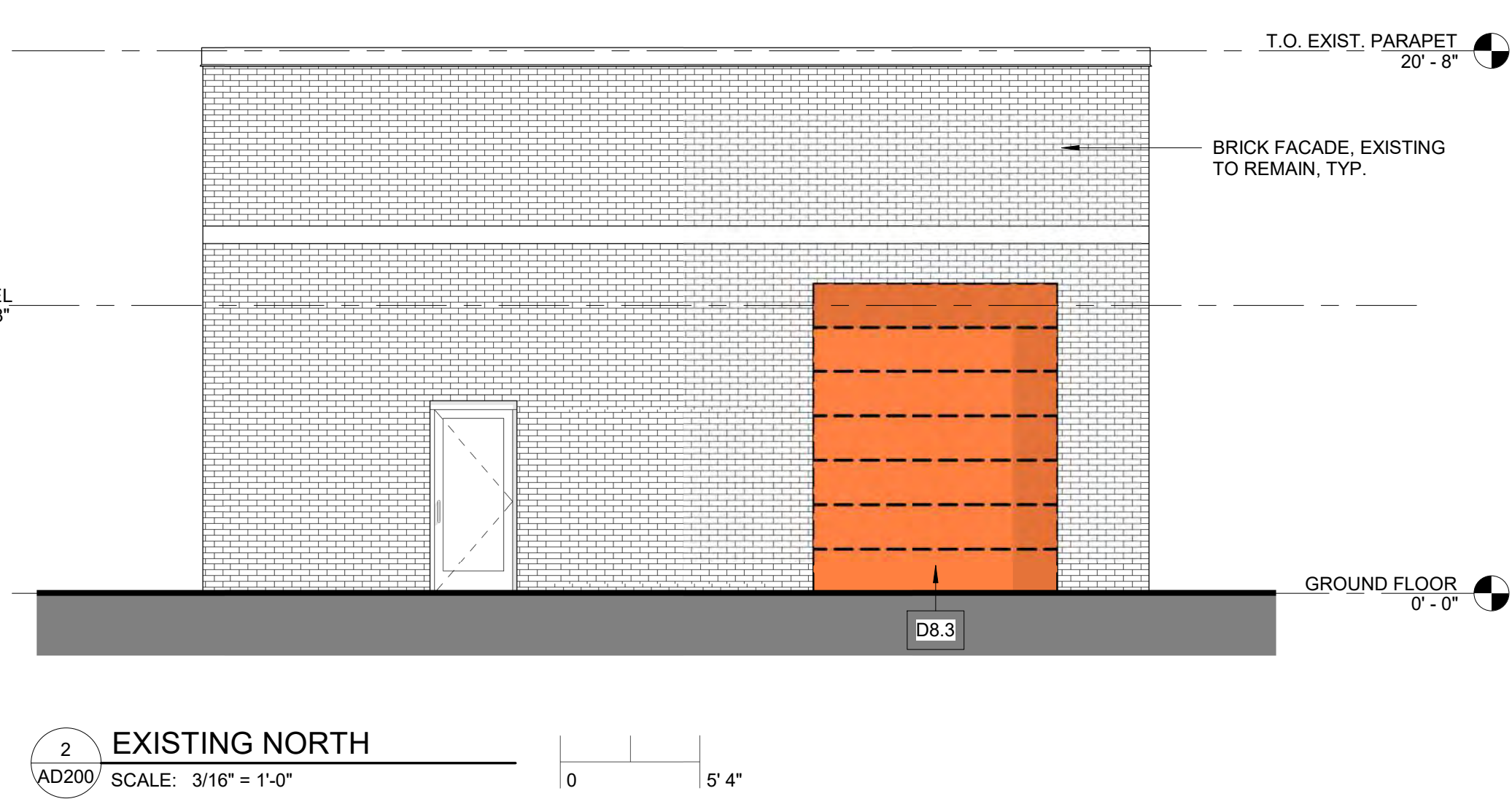
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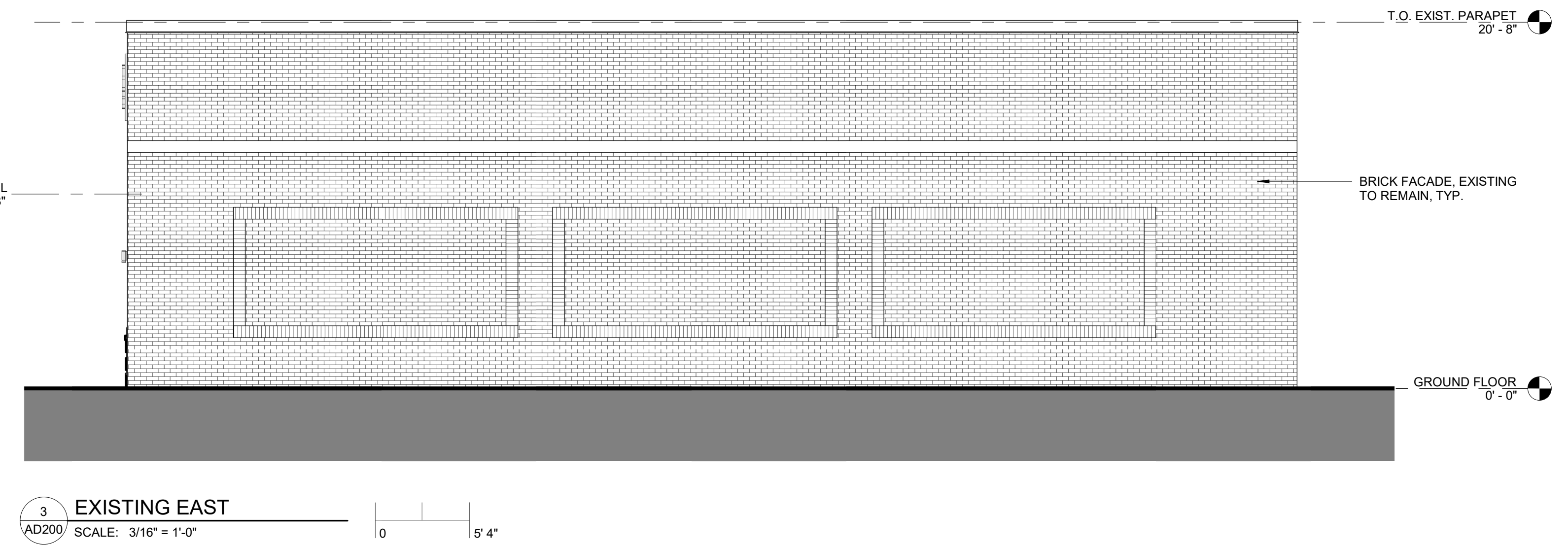
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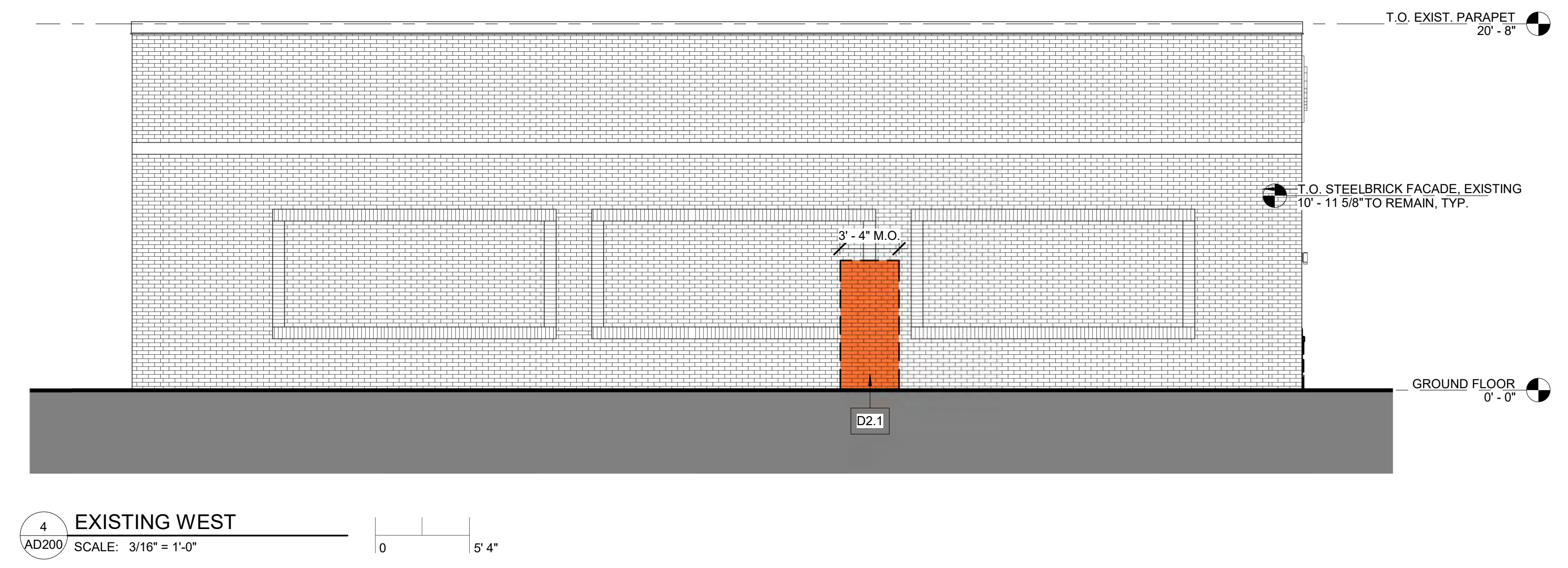
1 EXISTING SOUTH
AD200 SCALE: 3/16" = 1'-0"
0 5' 4"



2 EXISTING NORTH
AD200 SCALE: 3/16" = 1'-0"
0 5' 4"



3 EXISTING EAST
AD200 SCALE: 3/16" = 1'-0"
0 5' 4"



4 EXISTING WEST
AD200 SCALE: 3/16" = 1'-0"
0 5' 4"

DEMO NOTE KEY

- DIV 2: GENERAL SELECTIVE DEMOLITION**
- D2.1 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW DOOR OPENING
 - D2.2 REMOVE EXISTING WALL AREA AS REQUIRED FOR NEW STOREFRONT OPENING
- DIV 4: MASONRY**
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- D22.1 REMOVE EXISTING PLUMBING FIXTURES & PIPING. SEE MEP DRAWINGS

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

DEMOLITION - ELEVATIONS

Project Number	2023.0440.01
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Drawn By	JW
Checked By	WE

AD200

Scale As indicated

NOT FOR CONSTRUCTION
2025.03.19 SUBMISSION SET

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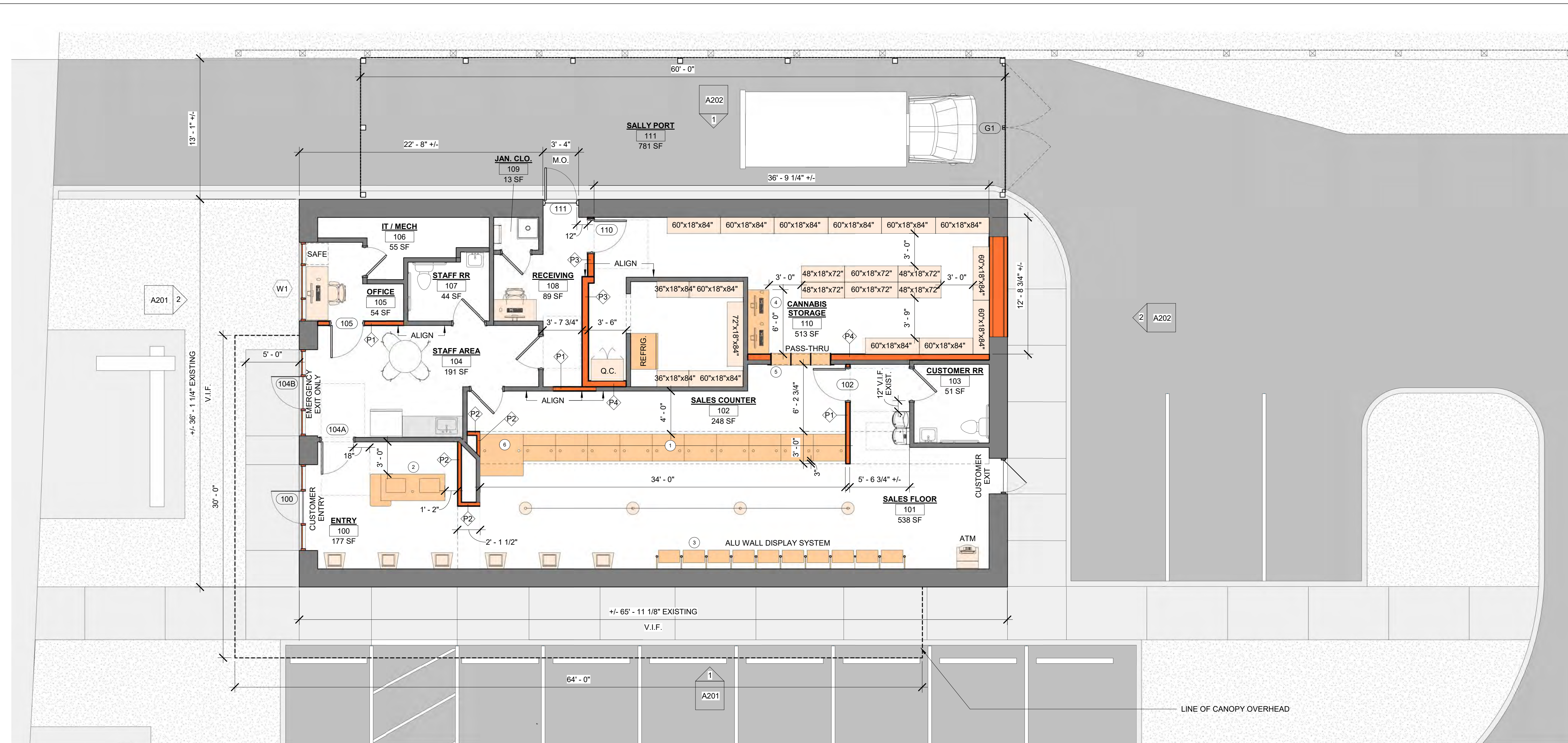
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1 FLOOR PLAN
A101 SCALE: 3/16" = 1'-0"

GENERAL PLAN NOTES

- DIMENSIONS ARE FROM FACE OF FINISH, FACE OF MASONRY, OR CENTERLINE OF COLUMN
- INTERIOR WALL STUDS TO BE 3-5/8" THICK UNLESS NOTED OTHERWISE. THE 3-5/8" DIMENSION HAS BEEN OMITTED FROM INTERIOR DIMENSION STRINGS FOR CLARITY. BRACE AS REQUIRED.
- SET DOOR JAMB ON HINGE SIDE 4" FROM FINISHED FACE OF ADJACENT WALL UNLESS NOTED OTHERWISE
- PROVIDE WATER RESISTANT GYPSUM WALLBOARD (GWB) IN ALL BATHROOMS WITH GLASS MESH MORTAR UNITS BEHIND CERAMIC TILE
- PROVIDE GWB CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. OBTAIN ARCHITECT'S APPROVAL OF LOCATIONS PRIOR TO CONSTRUCTION
- RUN ALL PARTITIONS TO UNDERSIDE OF FLOOR/CEILING FRAMING OR ROOF DECKING & INCLUDE ACOUSTIC BATT UNLESS NOTED OTHERWISE

PARTITION KEY

SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR FINAL WALL FINISH MATERIAL

- NEW WALL CONSTRUCTION
 - EXISTING WALL CONSTRUCTION
 - P1 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD BOTH SIDES, FLOOR TO DECK & 3 1/2" ACOUSTIC BATT INSULATION
 - P2 3 5/8" 24 GAUGE METAL STUDS @ 16" O.C. w/ 5/8" GYPSUM WALL BOARD ONE SIDE FLOOR TO DECK
 - P3 (CANNABIS STORAGE WALL) 6" METAL STUDS, MIN. 20 GAUGE (33 MIL) @ 16" O.C. w/ FRP & 5/8" GYPSUM WALL BOARD & 9 GAUGE WIRE MESH ONE SIDE AND FRP & 5/8" GYPSUM WALL BOARD OTHER SIDE, EXTEND TO UNDERSIDE OF CANNABIS STORAGE CEILING. 6" ACOUSTIC INSULATION. PROVIDE SOLID BRIDGING AT MIDPOINT OF WALL. FRP MAX. HEIGHT TO BE 8'-0" TALL.
 - P4 (CANNABIS STORAGE WALL) 6" METAL STUDS, MIN. 20 GAUGE (33 MIL) @ 16" O.C. w/ FRP & 5/8" GYPSUM WALL BOARD & 9 GAUGE WIRE MESH ONE SIDE, EXTEND TO UNDERSIDE OF CANNABIS STORAGE CEILING. 6" ACOUSTIC INSULATION. PROVIDE SOLID BRIDGING AT MIDPOINT OF WALL. FRP MAX. HEIGHT TO BE 8'-0" TALL.
- STUD WALLS SHALL SUPPORT A LATERAL FORCE OF 45 PSF OR A LINEAR LOAD OF 300 LBS/FT AT 3'-6" ABOVE THE FLOOR

CASEWORK KEY

- CASEWORK (BUILT IN)
- FF&E (N.I.C.)
- EXISTING FURNITURE & CASEWORKS TO REMAIN
- 1 POINT OF SALE STATION SUPPLIED BY CASEWORK VENDOR
- 2 ARRIVAL DESK w/ TRANSACTION LEDGE SUPPLIED BY CASEWORK VENDOR
- 3 DISPLAY FIXTURE SUPPLIED BY FIXTURE VENDOR
- 4 B.O.H. COUNTER & SHELVING SUPPLIED BY CASEWORK VENDOR
- 5 PASS-THRU CUBBIE CASEWORK FIXTURES SUPPLIED BY CASEWORK VENDOR
- 6 ACCESSIBLE POINT OF SALE STATION SUPPLIED BY CASEWORK VENDOR

No.	Description	Date

GREEN THUMB INDUSTRIES
RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

FLOOR PLAN

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A101

Scale As indicated

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No.	Description	Date

GREEN THUMB INDUSTRIES

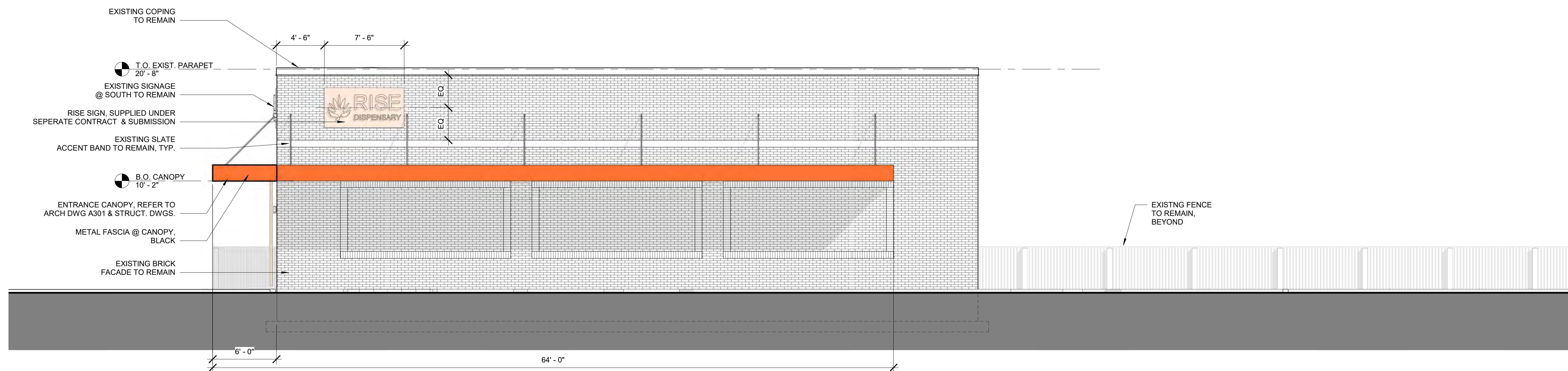
RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

EXTERIOR ELEVATIONS

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

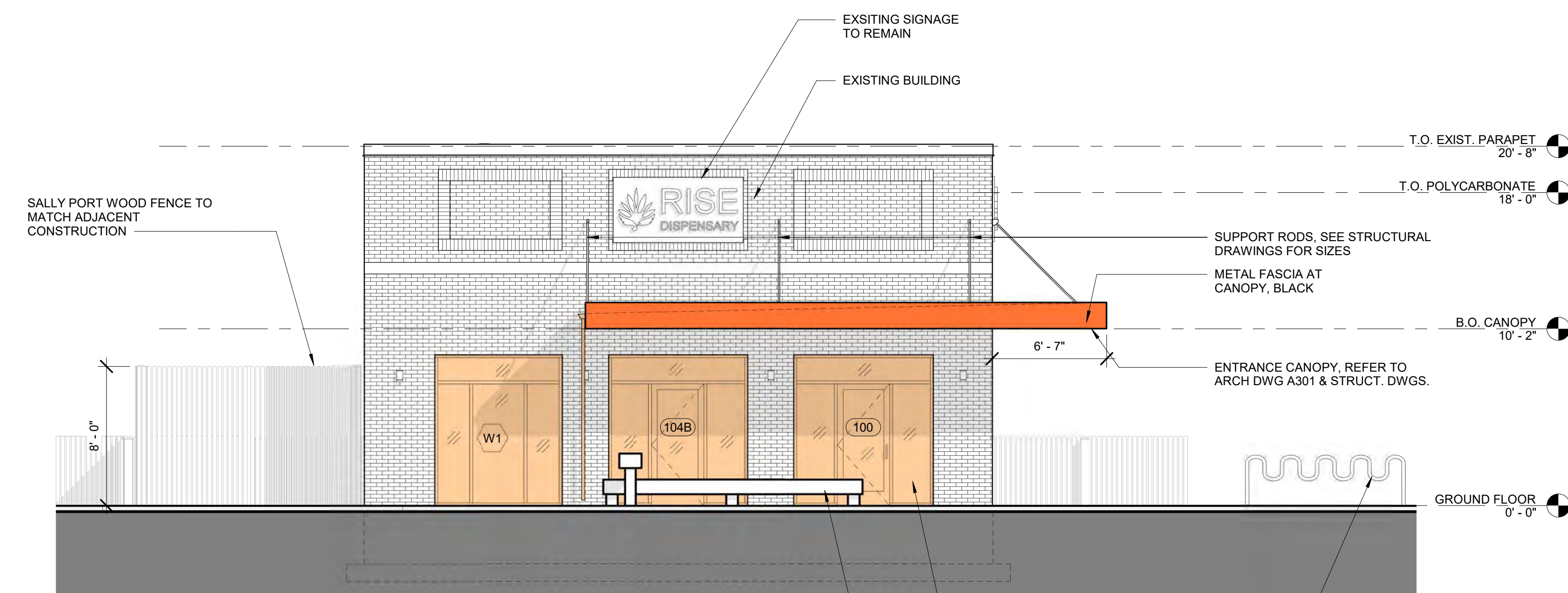
A201

Scale 3/16" = 1'-0"



1 EAST ELEVATION
A201 SCALE: 3/16" = 1'-0"
0 5' 4"

NOTE: ALL SIGNAGE SUPPLIED UNDER SEPERATE CONTRACT, AND SUBMITTED UNDER SEPERATE SUBMISSION



2 SOUTH ELEVATION
A201 SCALE: 3/16" = 1'-0"
0 5' 4"

REFER TO LANDSCAPE DRAWINGS FOR BIKE RACK AND BENCH SPEC

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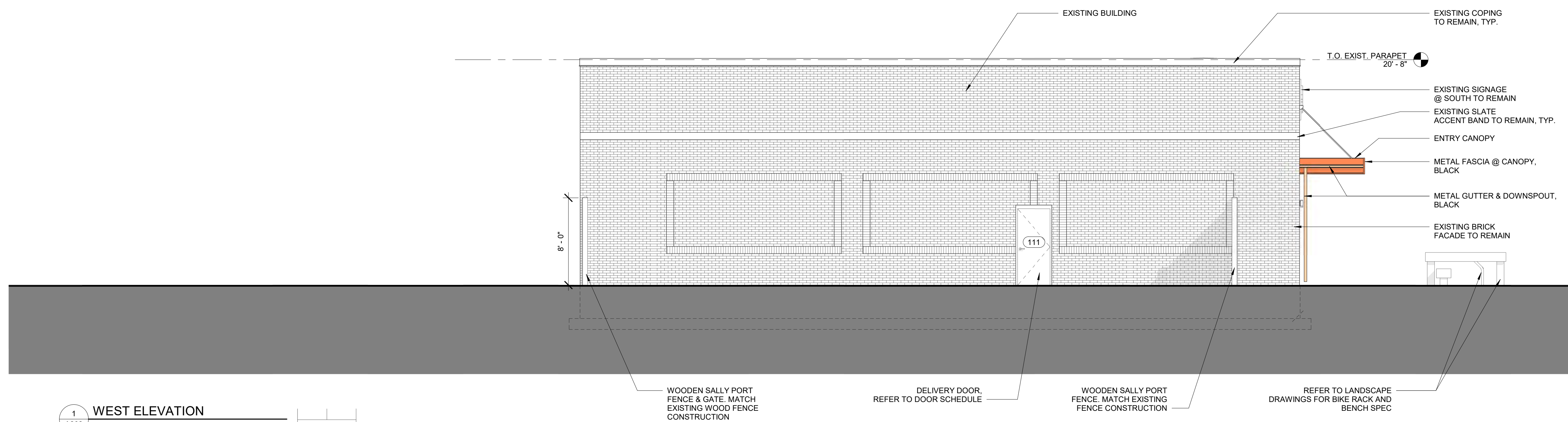
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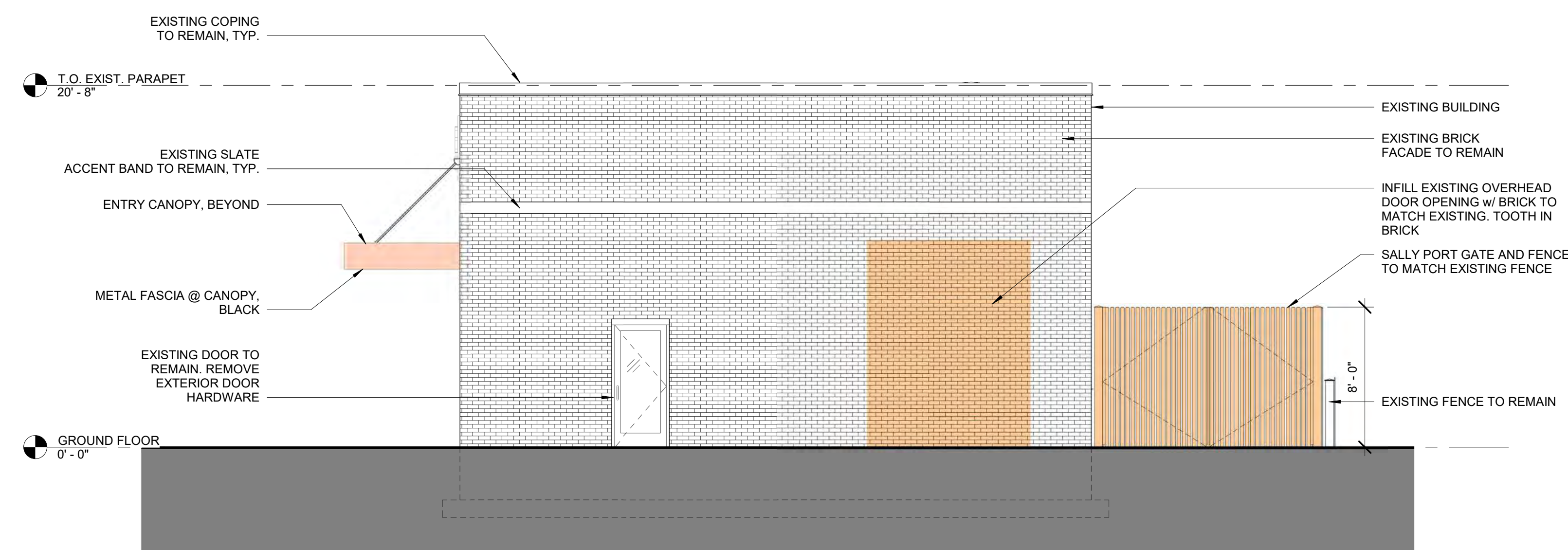
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1 WEST ELEVATION
A202 SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
A202 SCALE: 3/16" = 1'-0"

No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

EXTERIOR ELEVATIONS

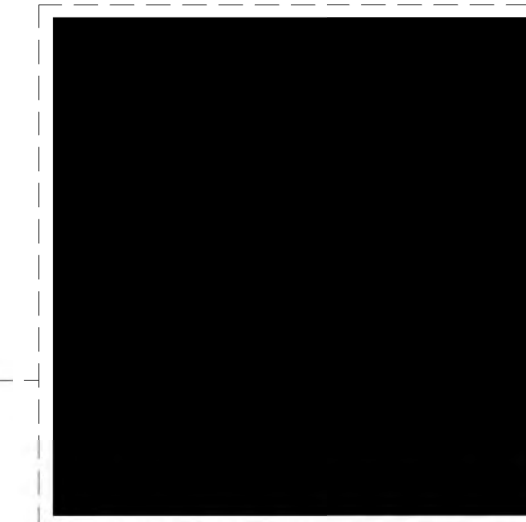
Project Number	2023.0440.01
Date	NFC
Drawn By	JW
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A202

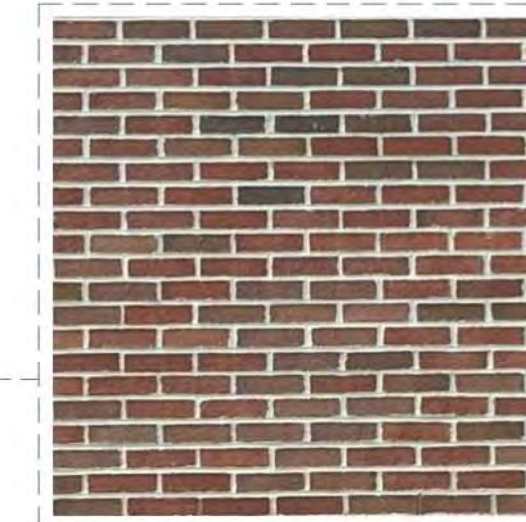
Scale 3/16" = 1'-0"



PAINTED WOOD SOFFIT
COLOR TO MATCH ACCENT GREEN



PAINTED BLACK TO MATCH STOREFRONT



EXISTING BRICK
FACADE



NEW STOREFRONT
"FILM BY OWNER"



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No.	Description	Date

**GREEN THUMB
INDUSTRIES**

**RISE LAKEWOOD - MADISON
DISPENSARY RENOVATION &
EXPANSION**

**DIGITAL FINISH
BOARD**

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
Checked By	CD

A803

Scale

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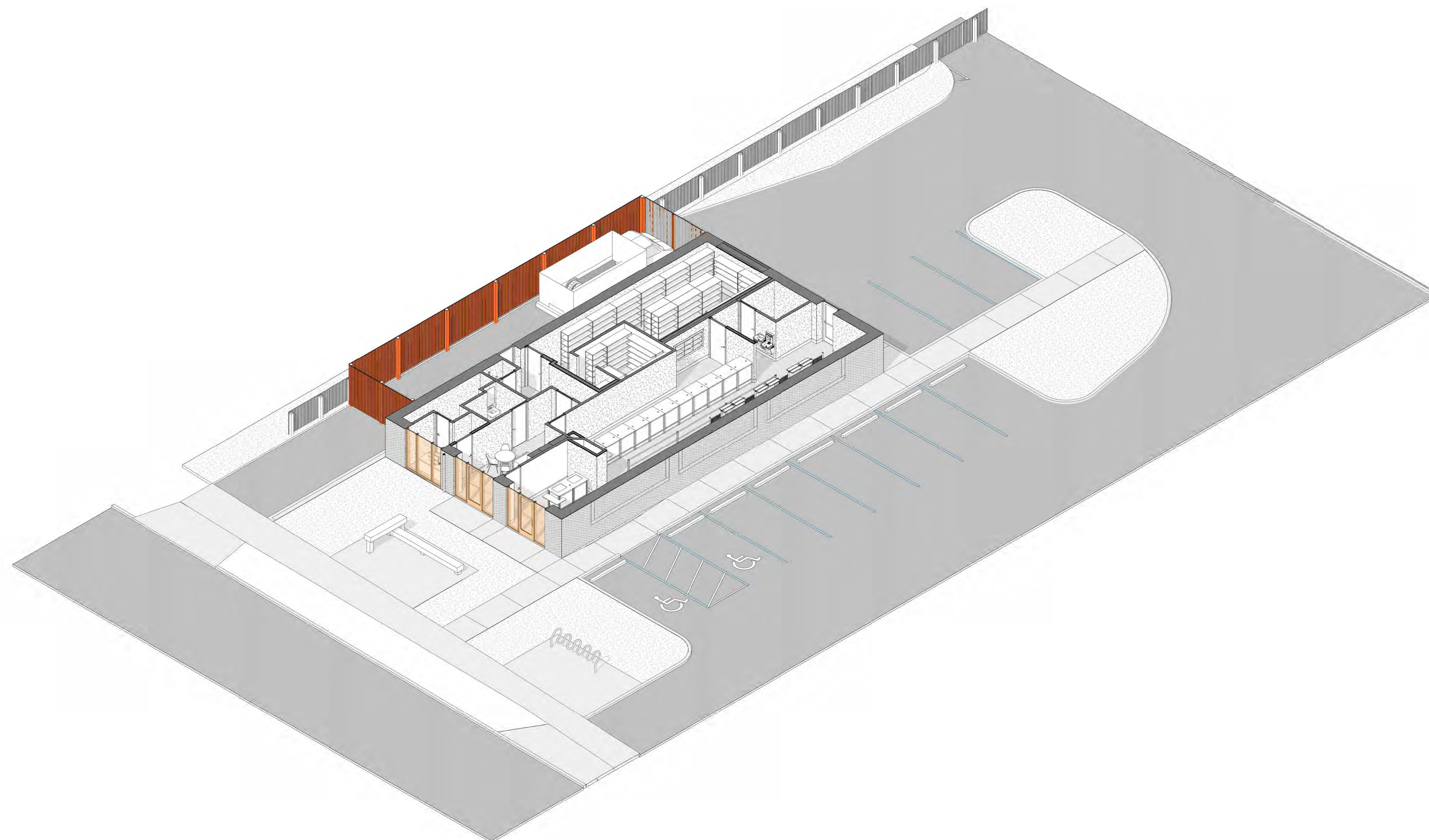
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No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

PARTIAL AXON

Project Number	2023.0440.01
Date	NFC
Drawn By	JW
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A804

Scale

1 PARTIAL AXON NEW
A804

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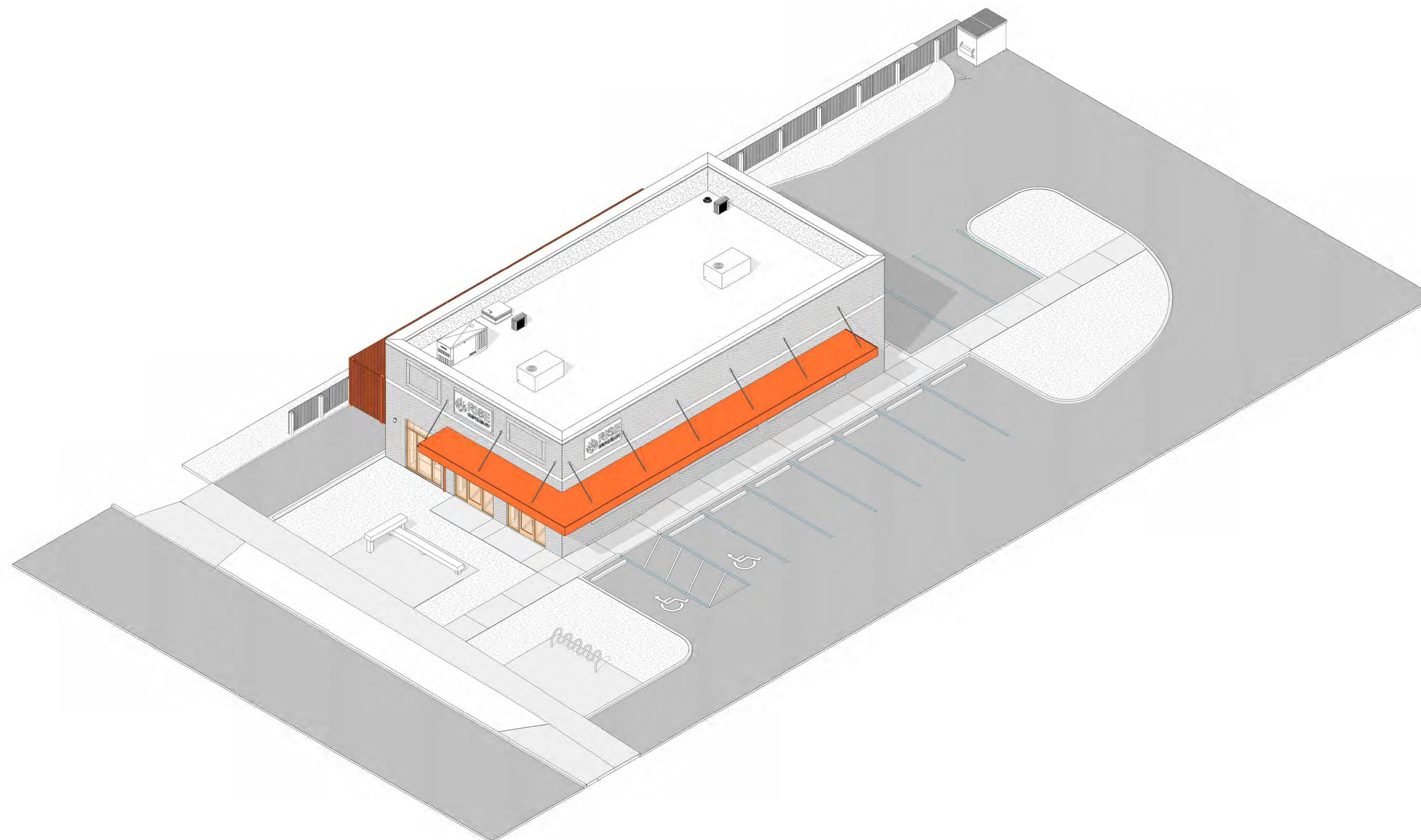
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No.	Description	Date

GREEN THUMB INDUSTRIES

RISE LAKEWOOD - MADISON DISPENSARY RENOVATION & EXPANSION

OVERALL AXON

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Scale

1 OVERALL AXON NEW
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