

**AGENDA  
PLANNING COMMISSION  
CITY OF LAKEWOOD  
JUNE 6, 2024  
PRE-REVIEW MEETING  
5:30 P.M.  
CITY HALL AUDITORIUM**

**REVIEW DOCKET ITEMS**

**REGULAR MEETING  
6:00 P.M.  
AUDITORIUM**

1. ROLL CALL
2. APPROVE THE MINUTES OF THE MAY 2, 2024 MEETING
3. OPENING REMARKS

**NEW BUSINESS**

**COMMUNICATION**

4. **Docket 06-18-24**  
**Communication from Planning and Development Staff**  
**Bunts Road Rehabilitation Project**

The Department of Planning and Development staff will present a communication for the 2026 plan to rehabilitate Bunts Road (CR-232) from Lakewood Heights Boulevard to Clifton Boulevard (US-6). The project will be funded by NOACA (Surface Transportation Block Grant Program {STBG}), the Ohio Department of Transportation (ODOT), and the City of Lakewood. (Page 4)

**MIXED-USE OVERLAY**

5. **Docket 06-19-24**  
**16000/15801 Detroit Ave.**  
**Barry Buick Development**

Michael Christoff, Vocon, applicant requests approval for a mixed-use development on the former Barry Buick sites, pursuant to Section 1135 – mixed-use overlay. The property is located in the C3, Commercial General Business district. (Page 28)

**CONDITIONAL USE**

6. **06-20-24**  
**16003 Detroit Ave.**  
**Huntington Bank**

Joshua Gonsalves, Vocon, applicant requests approval of a conditional use permit to allow for drive-through business, pursuant to section 1129.17 – supplemental regulations for drive-through facilities. The property is located in the C3, Commercial General Business district. (Page 67)

### **PLANNED DEVELOPMENT**

- 7. Docket 06-21-24**  
**Irene & Donald Ave.**  
**Residential Development**

Susan Broadwater, Beegan Architectural Design, applicant requests the conceptual review of a planned development consisting of seven townhouse units and three single-family houses, pursuant to section 1156 – planned development. The property is in an R2 Single- and Two-Family district. (Page 91)

### **LOT SPLIT/LOT CONSOLIDATION**

- 8. Docket No. 06-22-24**  
**12534 Lake Ave.**  
**Shady Cove Townhouses**

Tyler Brummett, Brookside Shady LLC, applicant requests approval for lot splits to accommodate 16 townhouses (PPN 31210017), pursuant to Section 1155.07 – lot splits. Property is located in the MH, Multi-Family, High Density district. (Page 99)

### **CONDITIONAL USE**

- 9. Docket 06-23-24**  
**12405 Detroit Ave.**  
**Peppers Restaurant**

Andy Lechman, Peppers Restaurant, applicant requests the review and approval for a conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in the C3, Commercial General Business district. (Page 172)

- 10. Docket 06-24-24**  
**15719 Madison Ave.**  
**The Blue Café**

Susan Broadwater, Beegan Architectural Design,, applicant requests the review and approval for a conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in a C2 – Commercial, Retail district. (Page 185)

### **PARKING PLAN**

- 11. Docket 06-25-24**  
**1562 and 1564 Winchester Ave.**

Hamza Abuhamdeh, Adeeb & Brothers, applicant requests the review and approval of a parking plan, pursuant to section 1143.09 – parking plan review: Planning Commission and section 1143.10 – exceptions to required minimum. The property is in an R2 Single- and Two-Family district. (Page 190)

### **CONDITIONAL USE**

**12. Docket 06-26-24**  
**18607 Detroit Ave.**  
**GTI Ohio LLC dba Rise**

Jennifer Milliken, Ice Miller LLP, applicant requests approval of an existing medical marijuana dispensary to allow adult use, pursuant to amended Schedule 1129.02 - permitted uses in commercial districts and Chapter 1165 Medical Marijuana Dispensaries, of the Codified Ordinances of the City of Lakewood and to permit Medical and Adult Use Marijuana Dispensaries in Commercial Districts. The property is in the C2, Commercial Retail district. (Page 197)

**13. Docket 06-27-24**  
**11818 Madison Ave.**  
**GTI Ohio LLC dba Rise**

Jennifer Milliken, Ice Miller LLP, applicant requests approval of an existing medical marijuana dispensary to allow adult use, pursuant to amended Schedule 1129.02 - permitted uses in commercial districts and Chapter 1165 Medical Marijuana Dispensaries, of the Codified Ordinances of the City of Lakewood and to permit Medical and Adult Use Marijuana Dispensaries in Commercial Districts. The property is in the C3, Commercial General Business. (Page 200)

**COMMUNICATION**

**14. Docket No. 06-28-24**  
**Communication from Planning and Development Staff**  
**Residential Architectural Design Guidelines**

The Department of Planning and Development staff will present a communication regarding proposed Residential Architectural Design Standards for Architectural Board of Review proposals. (Page 203)

**15. Docket No. 06-29-24**  
**Communication from Planning and Development Staff**  
**Mixed Use Overlay Amendment**

On May 20, 2024, City Council met to amend Chapter 1135, Mixed Use Overlay District, to allow for flexibility and inclusion of Industrial Zoning Districts. Ordinance No. 09-2024 was referred to the Planning Commission for its review. (Page 211)

**ADJOURN**

*“Individuals with disabilities, who require accommodations for participation in meetings, must request accommodations at least 3 business days ahead of the scheduled meeting. Contact [Michelle Nochta](mailto:michelle.nochta@lakewoodoh.gov) at (216) 529-5906 [michelle.nochta@lakewoodoh.gov](mailto:michelle.nochta@lakewoodoh.gov).”*



**PLANNING COMMISSION**

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## **Communication Cover Page**

**Docket No.: 06-18-24**

**Permit No.: PC24-000024**

**Project: Bunts Road Rehabilitation Project**



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.lakewoodOH.net

June 6, 2024

Planning Commission  
Lakewood City Hall  
12650 Detroit Avenue  
Lakewood, Ohio 44107

**Re: Docket No. 06-18-24  
Bunts Road Rehabilitation Project**

Dear Members of the Planning Commission:

The Department of Planning and Development staff will present a communication for the 2026 plan to rehabilitate Bunts Road (CR-232) from Lakewood Heights Boulevard to Clifton Boulevard (US-6). The project will be funded by NOACA (Surface Transportation Block Grant Program {STBG}), the Ohio Department of Transportation (ODOT), and the City of Lakewood.

Sincerely,

David Baas, Assistant Director





RML LINCOLNWOOD STADIUM

Jenny's Cottage



Athens

Bunts

NO TURN ON RED

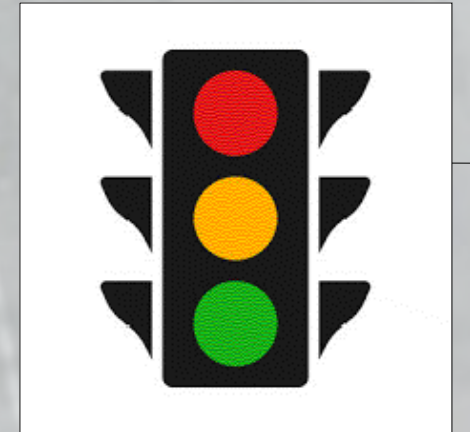
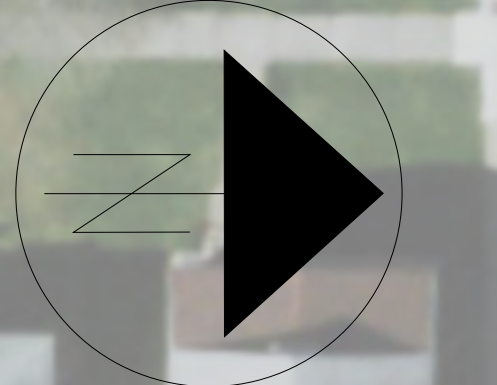
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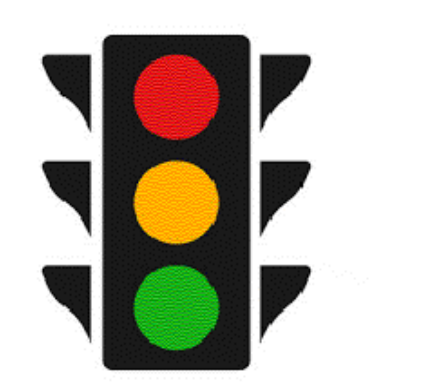
LAKELAND STADIUM

- LEGEND:
- PROPOSED PAVEMENT
  - 10' MULTIMODAL PATH
  - 5' SIDEWALK
  - GREEN SPACE
  - TRAFFIC SIGNAL
  - PEDESTRIAN CROSSING



LAKWOOD HEIGHTS BLVD.

TRAFFIC SIGNAL TO BE REPLACED



ATHENS AVE.







PARKING LANE  
SOUTHBOUND BUNTS ROAD  
NORTHBOUND BUNTS ROAD

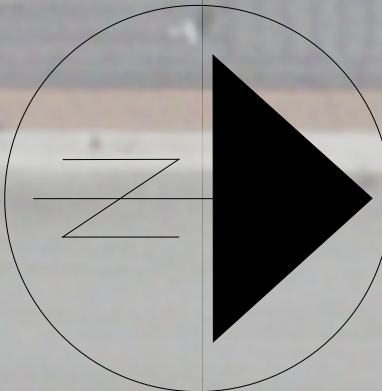
BUNTS ROAD

PARKING LANE  
SOUTHBOUND BUNTS ROAD  
NORTHBOUND BUNTS ROAD

BUNTS ROAD PRELIMINARY LAYOUT  
ALTERNATIVE 1  
SHARED USE PATH  
WEST SIDE BUNTS RD.  
LAKEWOOD HEIGHTS - ATHENS AVE.



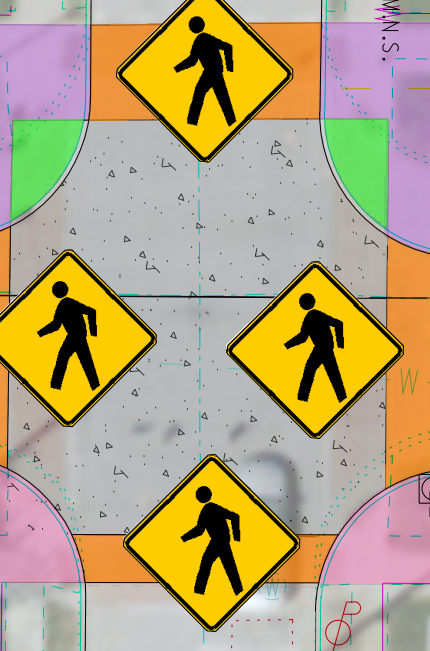
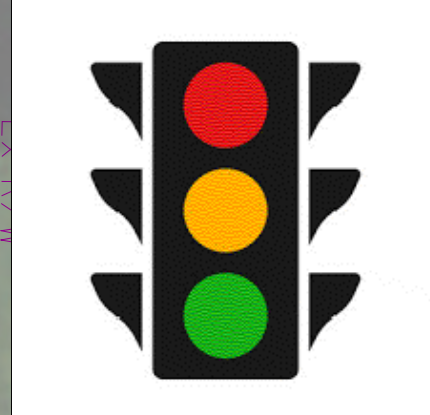
- LEGEND:**
-  PROPOSED PAVEMENT
  -  10' MULTIMODAL PATH
  -  5' SIDEWALK
  -  GREEN SPACE
  -  TRAFFIC SIGNAL
  -  PEDESTRIAN CROSSING



SUNOCO GAS STATION

14005

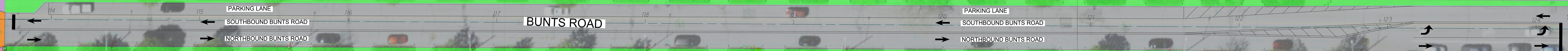
TRAFFIC SIGNAL TO BE REPLACED



ATHENS AVE.



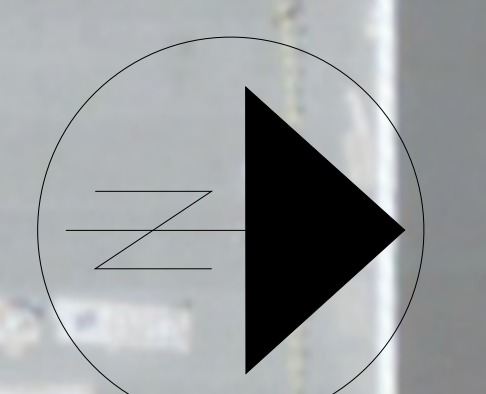
MADISON AVE.



**BUNTS ROAD PRELIMINARY LAYOUT**  
**ALTERNATIVE 1**  
 SHARED USE PATH  
 WEST SIDE BUNTS RD.  
 ATHENS AVE. - MADISON AVE.

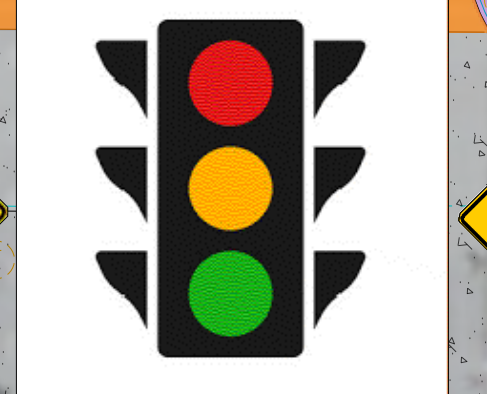
- LEGEND:**
- PROPOSED PAVEMENT
  - 10' MULTIMODAL PATH
  - 5' SIDEWALK
  - GREEN SPACE
  - TRAFFIC SIGNAL
  - PEDESTRIAN CROSSING

LAKWOOD  
HIGH SCHOOL



LAKWOOD HIGH SCHOOL  
FOOTBALL FIELD

LAKWOOD HIGH SCHOOL  
BASEBALL FIELD



MADISON AVE.

FRANKLIN BLVD.







BUNTS ROAD

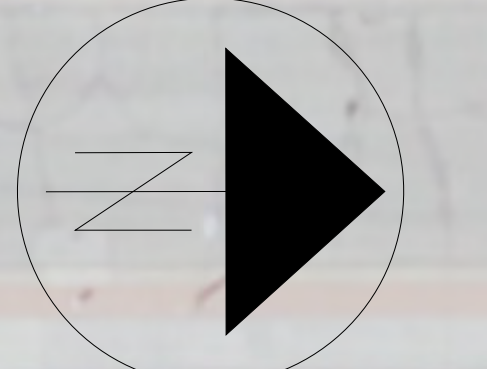
PARKING LANE  
SOUTHBOUND BUNTS ROAD  
NORTHBOUND BUNTS ROAD

**BUNTS ROAD PRELIMINARY LAYOUT  
ALTERNATIVE 1  
SHARED USE PATH  
WEST SIDE BUNTS RD.  
MADISON AVE. - FRANKLIN BLVD.**

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- LEGEND:
-  PROPOSED PAVEMENT
  -  10' MULTIMODAL PATH
  -  5' SIDEWALK
  -  GREEN SPACE
  -  TRAFFIC SIGNAL
  -  PEDESTRIAN CROSSING



GETGO GAS STATION

BUNTS ROAD

PARKING LANE  
SOUTHBOUND BUNTS ROAD  
NORTHBOUND BUNTS ROAD

PARKING LANE  
SOUTHBOUND BUNTS ROAD  
NORTHBOUND BUNTS ROAD

BUNTS ROAD PRELIMINARY LAYOUT  
ALTERNATIVE 1  
SHARED USE PATH  
WEST SIDE BUNTS RD.  
FRANKLIN BLVD. - DETROIT AVE.

FRANKLIN BLVD.

FRANKLIN BLVD.

DETROIT AVE.

14701

14013

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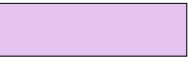

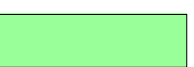


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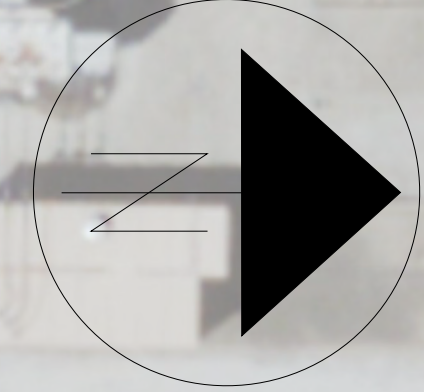
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**LEGEND:**

-  PROPOSED PAVEMENT
-  10' MULTIMODAL PATH
-  5' SIDEWALK
-  GREEN SPACE
-  TRAFFIC SIGNAL
-  PEDESTRIAN CROSSING



GIANT EAGLE

NORFOLK AND WESTERN  
RAILROAD

MERL AVE.

14013

14018

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01372

01375

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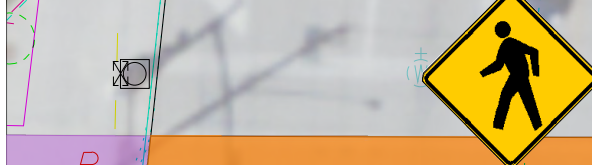
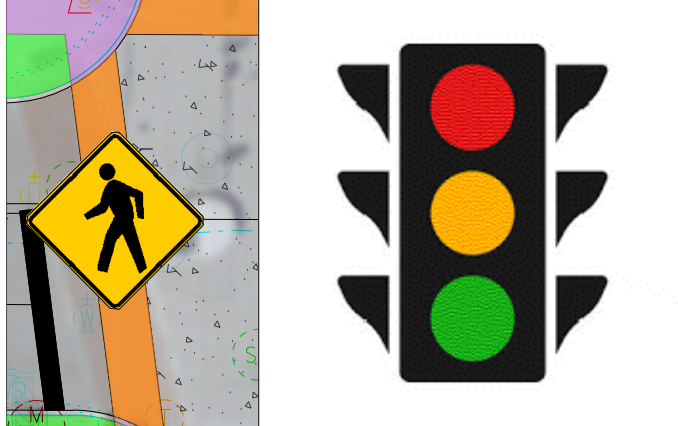
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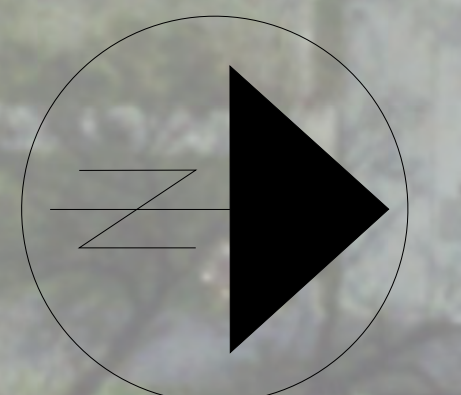
DETROIT AVE.

BUNTS ROAD

PARKING LANE  
SOUTHBOUND BUNTS ROAD  
NORTHBOUND BUNTS ROAD

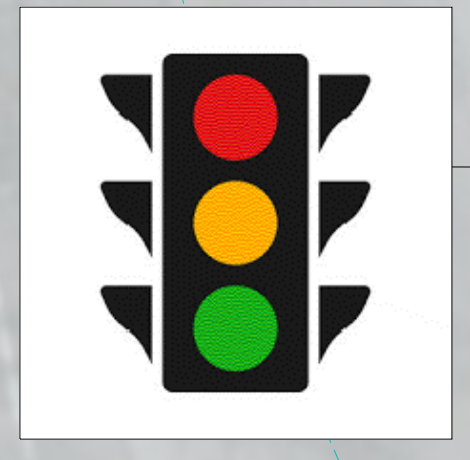
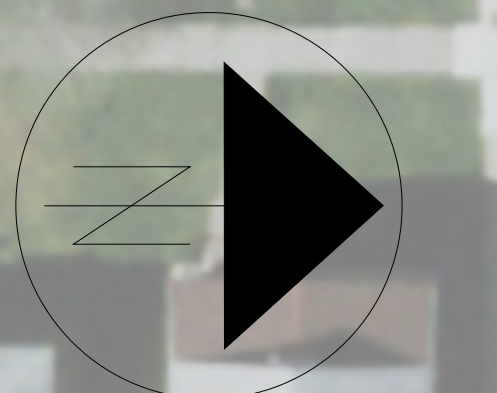
**BUNTS ROAD PRELIMINARY LAYOUT**  
**ALTERNATIVE 1**  
**SHARED USE PATH**  
**WEST SIDE BUNTS RD.**  
**DETROIT AVE. - MERL AVE.**

- LEGEND:
-  PROPOSED PAVEMENT
  -  10' MULTIMODAL PATH
  -  5' SIDEWALK
  -  GREEN SPACE
  -  TRAFFIC SIGNAL
  -  PEDESTRIAN CROSSING



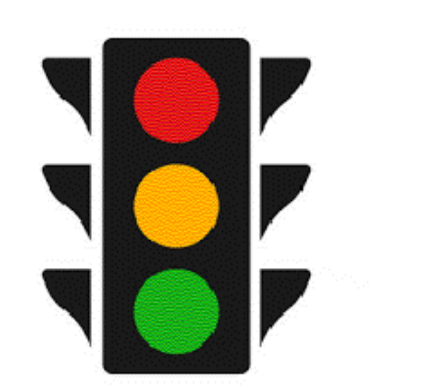
**BUNTS ROAD PRELIMINARY LAYOUT**  
 ALTERNATIVE 1  
 SHARED USE PATH  
 WEST SIDE BUNTS RD.  
 MERL AVE. - CLIFTON BLVD.

- LEGEND:
- PROPOSED PAVEMENT
  - 10' MULTIMODAL PATH
  - 5' SIDEWALK
  - GREEN SPACE
  - TRAFFIC SIGNAL
  - PEDESTRIAN CROSSING



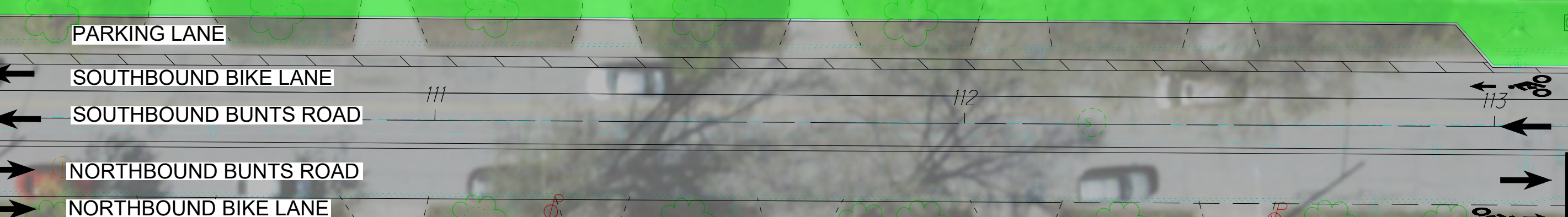
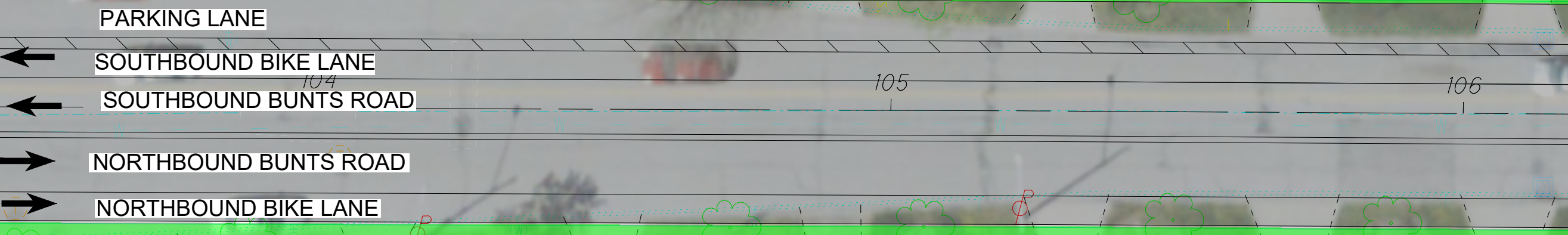
LAKWOOD HEIGHTS BLVD.

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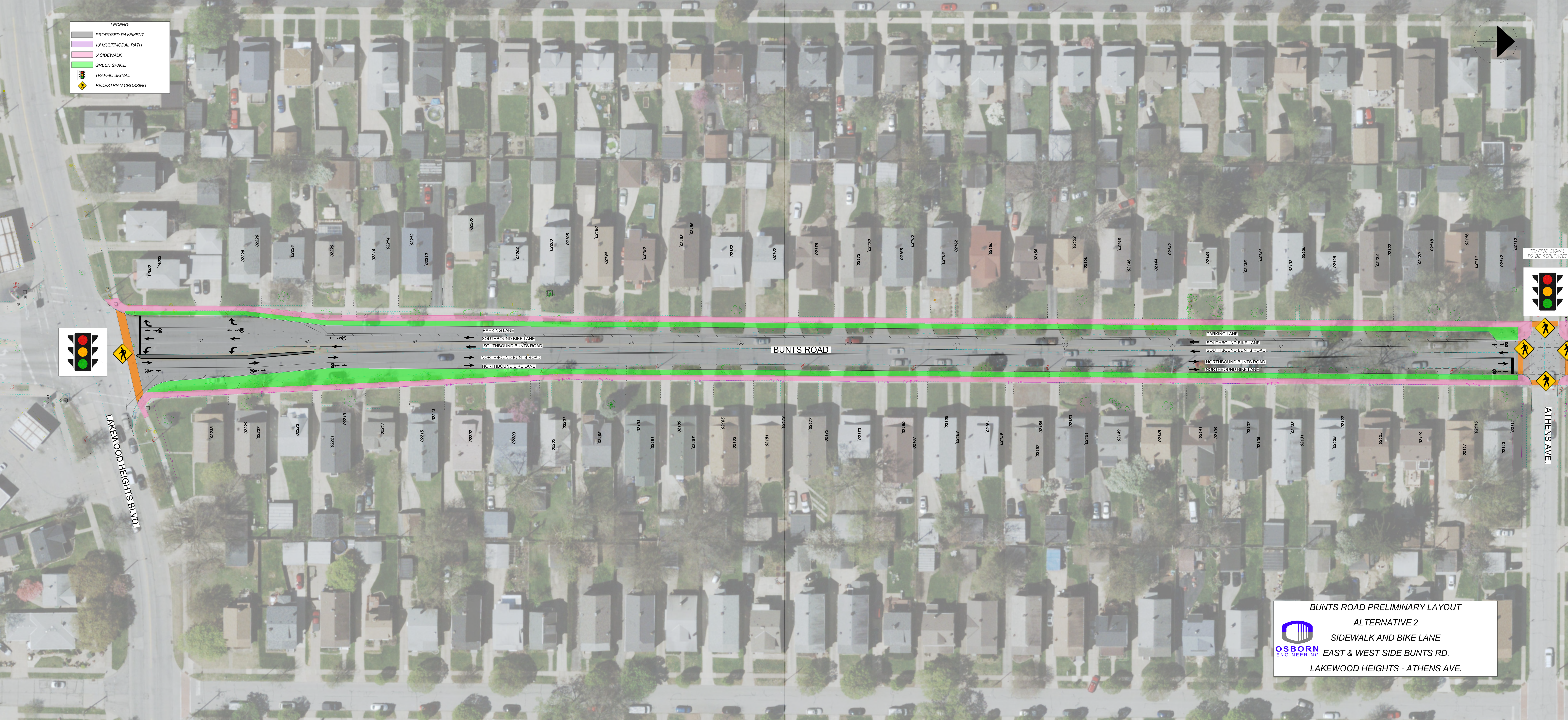


ATHENS AVE.







BUNTS ROAD

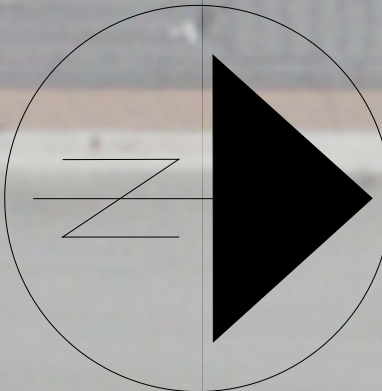


BUNTS ROAD PRELIMINARY LAYOUT  
 ALTERNATIVE 2  
 SIDEWALK AND BIKE LANE  
 OSBORN ENGINEERING EAST & WEST SIDE BUNTS RD.  
 LAKEWOOD HEIGHTS - ATHENS AVE.



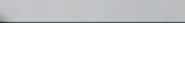
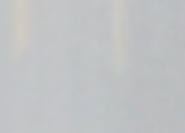
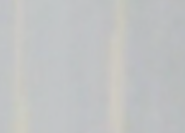
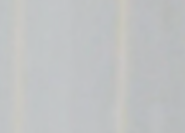
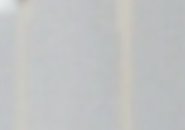
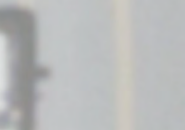
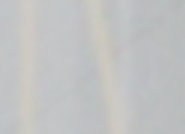
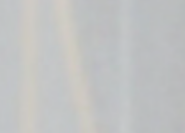
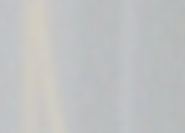
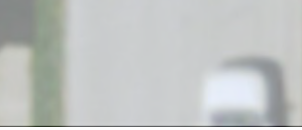
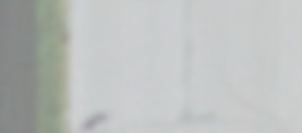
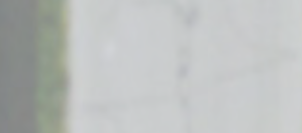
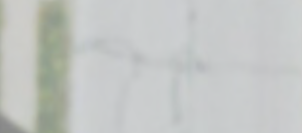
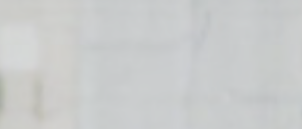
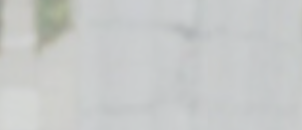
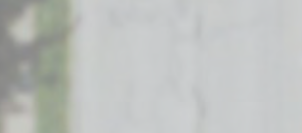
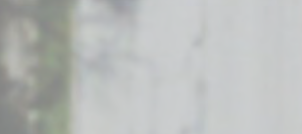
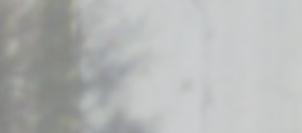
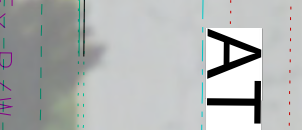
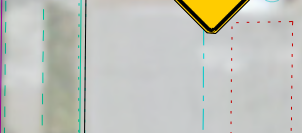
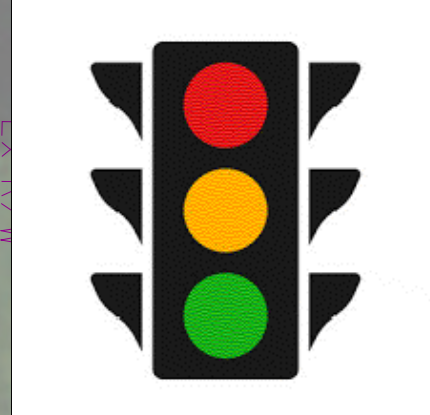
**LEGEND:**

-  PROPOSED PAVEMENT
-  10' MULTIMODAL PATH
-  5' SIDEWALK
-  GREEN SPACE
-  TRAFFIC SIGNAL
-  PEDESTRIAN CROSSING



SUNOCO GAS STATION

TRAFFIC SIGNAL TO BE REPLACED



ATHENS AVE.


MADISON AVE.

PARKING LANE  
 SOUTHBOUND BIKE LANE  
 SOUTHBOUND BUNTS ROAD  
 NORTHBOUND BUNTS ROAD  
 NORTHBOUND BIKE LANE

PARKING LANE  
 SOUTHBOUND BIKE LANE  
 SOUTHBOUND BUNTS ROAD  
 NORTHBOUND BUNTS ROAD  
 NORTHBOUND BIKE LANE

BUNTS ROAD

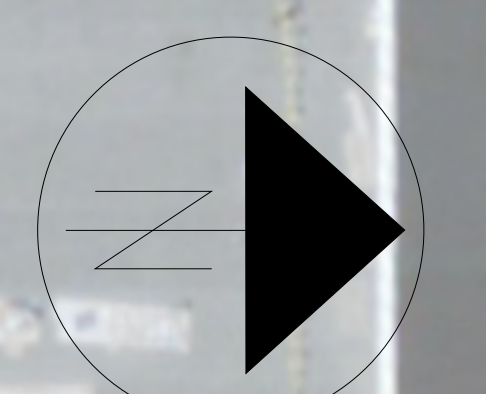
**BUNTS ROAD PRELIMINARY LAYOUT**  
**ALTERNATIVE 2**  
**SIDEWALK AND BIKE LANE**  
**EAST & WEST SIDE BUNTS RD.**  
**ATHENS AVE. - MADISON AVE.**



**LEGEND:**

- PROPOSED PAVEMENT
- 10' MULTIMODAL PATH
- 5' SIDEWALK
- GREEN SPACE
- TRAFFIC SIGNAL
- PEDESTRIAN CROSSING

LAKWOOD HIGH SCHOOL



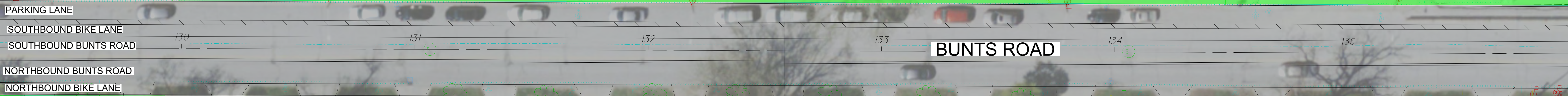
LAKWOOD HIGH SCHOOL FOOTBALL FIELD

LAKWOOD HIGH SCHOOL BASEBALL FIELD


BUNTS ROAD







MADISON AVE.

FRANKLIN BLVD.



**BUNTS ROAD PRELIMINARY LAYOUT**  
**ALTERNATIVE 2**  
**SIDEWALK AND BIKE LANE**  
**EAST & WEST SIDE BUNTS RD.**  
**MADISON AVE. - FRANKLIN BLVD.**



- LEGEND:
-  PROPOSED PAVEMENT
  -  10' MULTIMODAL PATH
  -  5' SIDEWALK
  -  GREEN SPACE
  -  TRAFFIC SIGNAL
  -  PEDESTRIAN CROSSING



GETGO GAS STATION

BUNTS ROAD

PARKING LANE  
 SOUTHBOUND BIKE LANE  
 SOUTHBOUND BUNTS ROAD  
 NORTHBOUND BUNTS ROAD  
 NORTHBOUND BIKE LANE

PARKING LANE  
 SOUTHBOUND BIKE LANE  
 SOUTHBOUND BUNTS ROAD  
 NORTHBOUND BUNTS ROAD  
 NORTHBOUND BIKE LANE

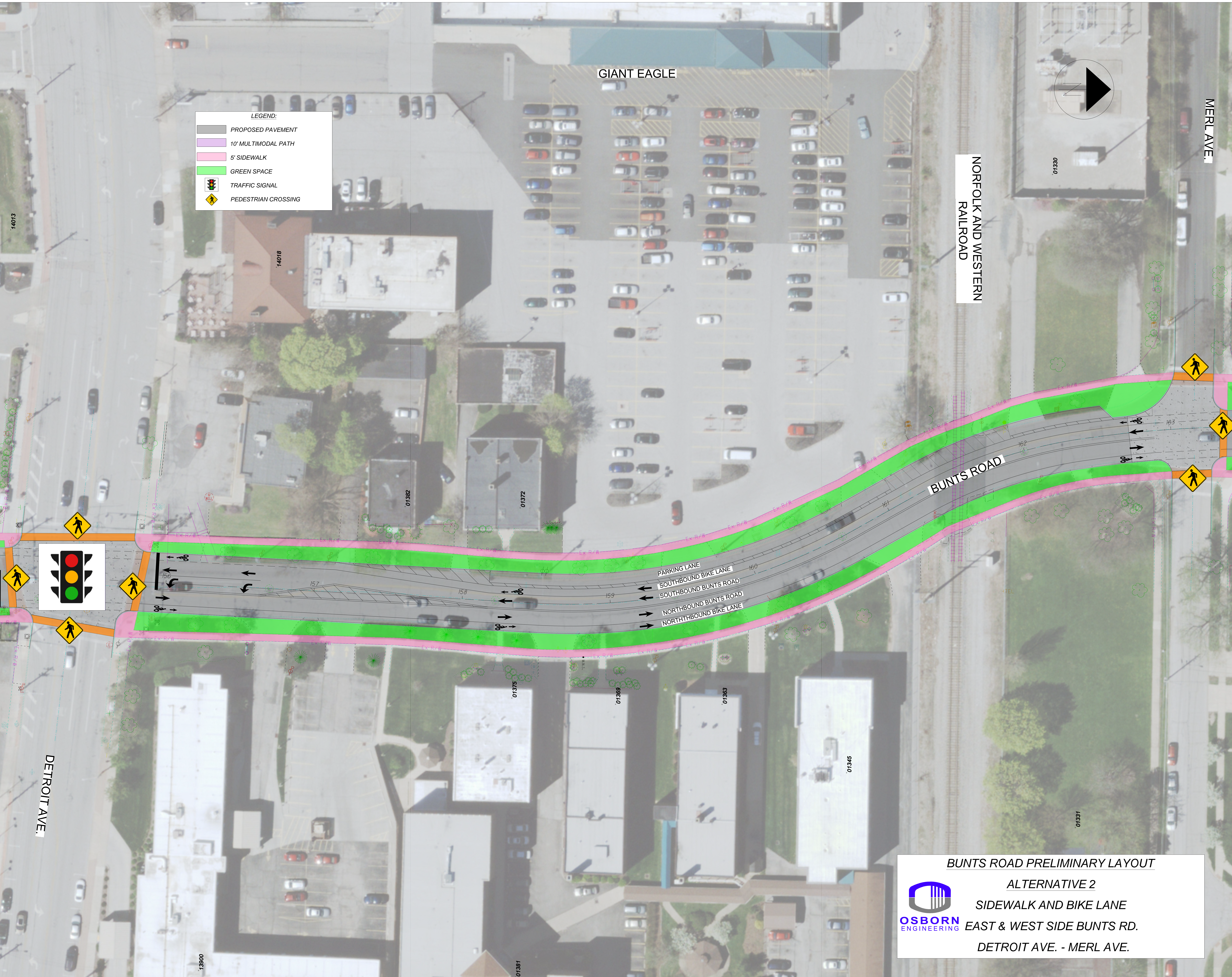
FRANKLIN BLVD.

FRANKLIN BLVD.

DETROIT AVE.

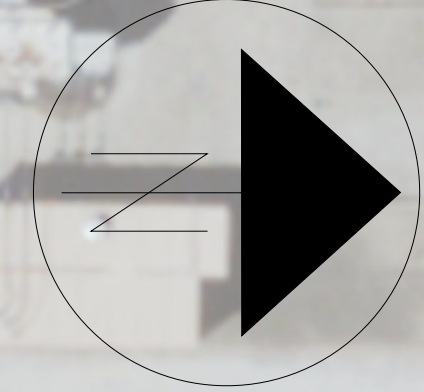
BUNTS ROAD PRELIMINARY LAYOUT  
 ALTERNATIVE 2  
 SIDEWALK AND BIKE LANE  
 OSBORN ENGINEERING EAST & WEST SIDE BUNTS RD.  
 FRANKLIN BLVD. - DETROIT AVE.





**LEGEND:**

- PROPOSED PAVEMENT
- 10' MULTIMODAL PATH
- 5' SIDEWALK
- GREEN SPACE
- TRAFFIC SIGNAL
- PEDESTRIAN CROSSING



NORFOLK AND WESTERN  
RAILROAD


MERL AVE.

BUNTS ROAD


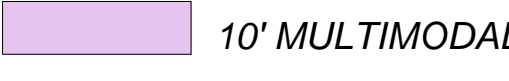
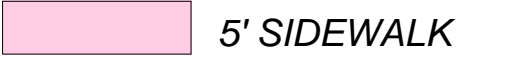



PARKING LANE  
 SOUTHBOUND BIKE LANE  
 SOUTHBOUND BUNTS ROAD  
 NORTHBOUND BUNTS ROAD  
 NORTHBOUND BIKE LANE

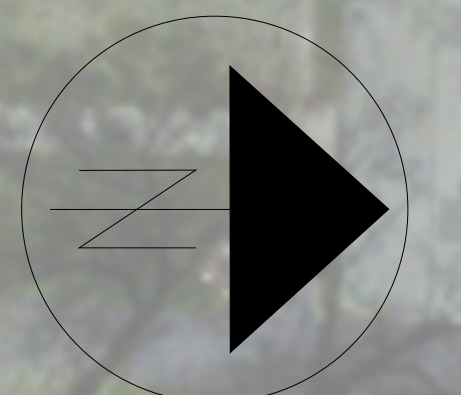
DETROIT AVE.

**BUNTS ROAD PRELIMINARY LAYOUT**  
**ALTERNATIVE 2**  
 SIDEWALK AND BIKE LANE  
 EAST & WEST SIDE BUNTS RD.  
 DETROIT AVE. - MERL AVE.



**OSBORN**  
ENGINEERING

- LEGEND:
-  PROPOSED PAVEMENT
  -  10' MULTIMODAL PATH
  -  5' SIDEWALK
  -  GREEN SPACE
  -  TRAFFIC SIGNAL
  -  PEDESTRIAN CROSSING



MERL AVE.

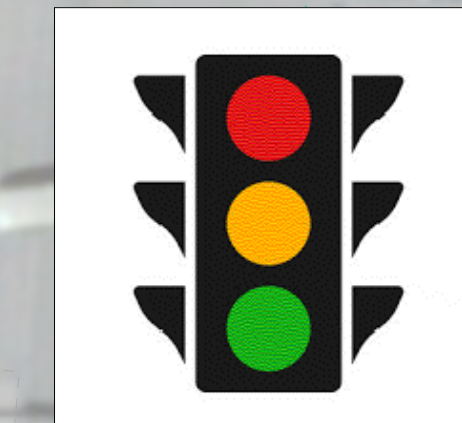
CLIFTON BLVD.

ST. LUKE CHURCH


BUNTS ROAD

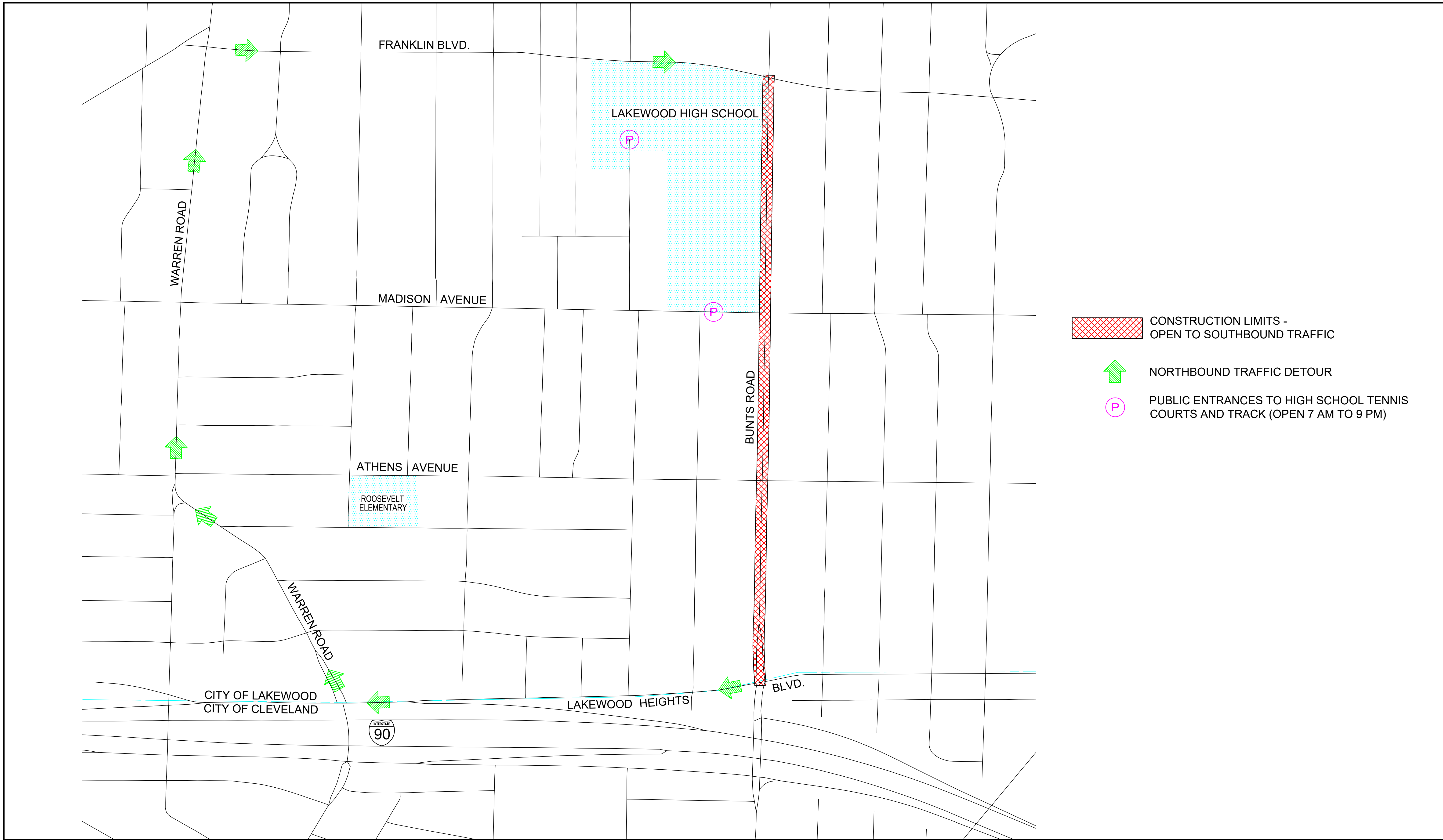
PARKING LANE  
 SOUTHBOUND BIKE LANE  
 SOUTHBOUND BUNTS ROAD  
 NORTHBOUND BUNTS ROAD  
 NORTHBOUND BIKE LANE

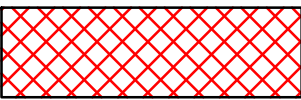


PARKING LANE  
 SOUTHBOUND BIKE LANE  
 SOUTHBOUND BUNTS ROAD  
 NORTHBOUND BUNTS ROAD  
 NORTHBOUND BIKE LANE



**BUNTS ROAD PRELIMINARY LAYOUT**  
 ALTERNATIVE 2  
 SIDEWALK AND BIKE LANE  
 EAST & WEST SIDE BUNTS RD.  
 MERL AVE. - CLIFTON BLVD.





-  CONSTRUCTION LIMITS - OPEN TO SOUTHBOUND TRAFFIC
-  NORTHBOUND TRAFFIC DETOUR
-  PUBLIC ENTRANCES TO HIGH SCHOOL TENNIS COURTS AND TRACK (OPEN 7 AM TO 9 PM)

X	X/X/XX	XXX	XXX
NO.	DATE	REVISIONS	BY

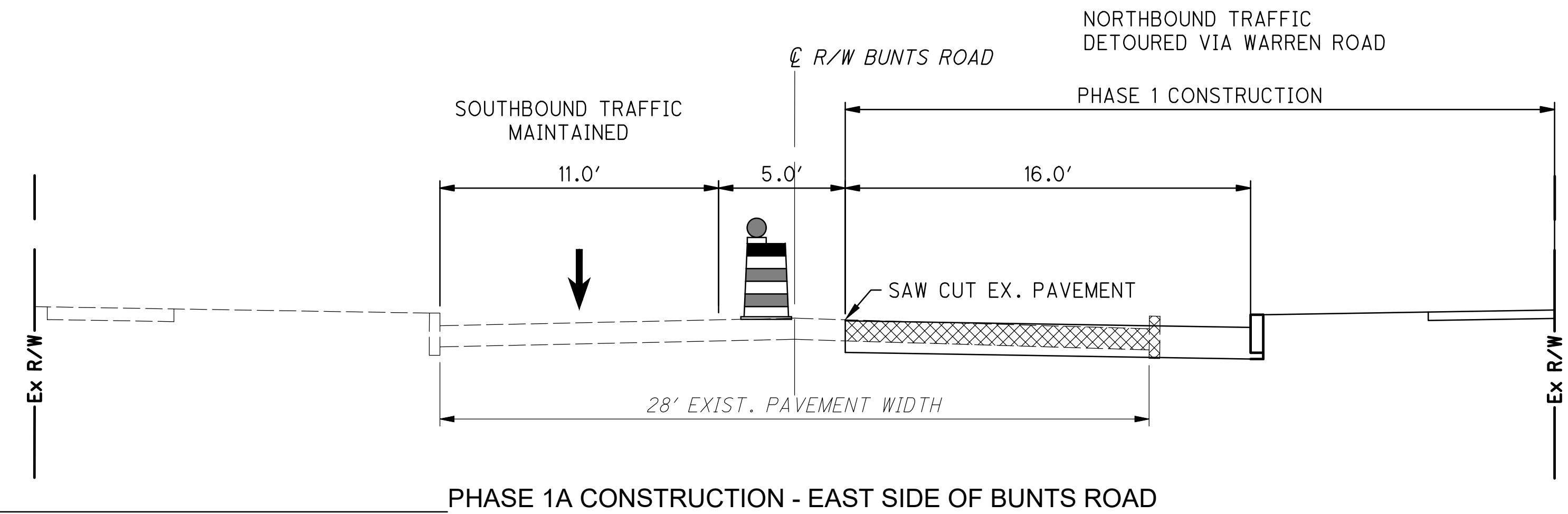
DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 DATE: 4/30/24  
**THE OSBORN ENGINEERING COMPANY**  
 1111 SUPERIOR AVENUE, STE 2100  
 CLEVELAND, OHIO 44114-2530  
 P. 216 861-2020 F. 216 861-3329

**CITY OF LAKEWOOD, OHIO**  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF ENGINEERING AND CONSTRUCTION

**CUY-BUNTS RD REHAB**  
**PID 120703**  
 LAKEWOOD HEIGHTS BOULEVARD  
 TO CLIFTON BOULEVARD

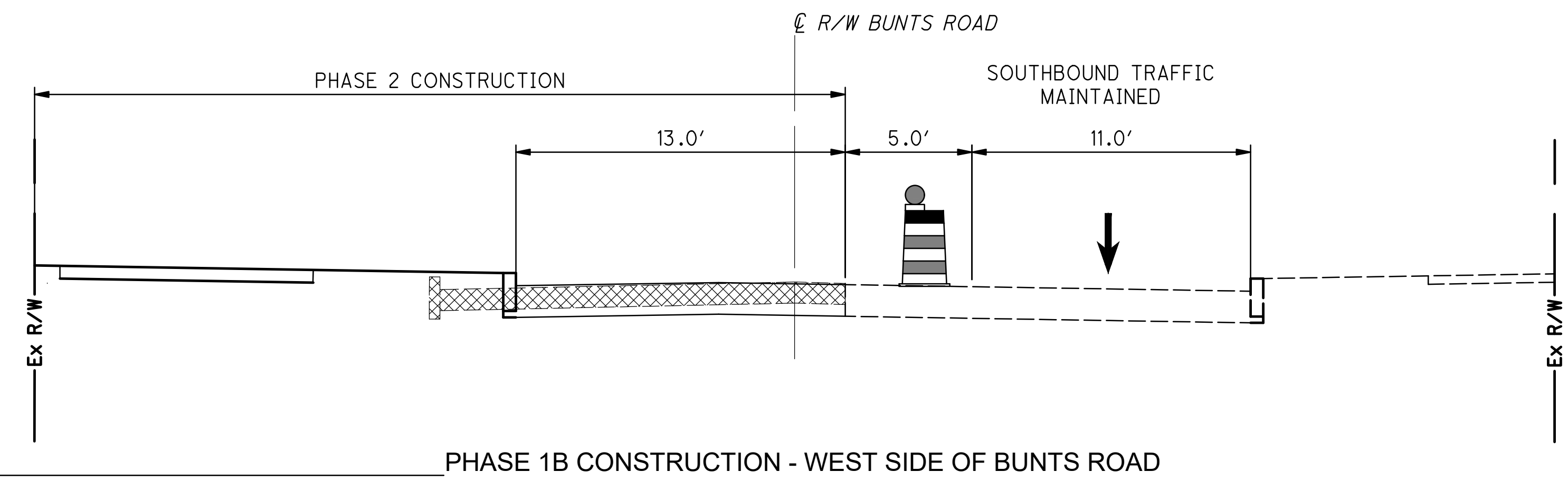
**DETOUR PLAN -**  
**CONSTRUCTION SECTION 1**

SCALE:  
 HORIZ: 1"=300'  
 VERT: NONE  
 PROJECT & FILE NAME:  
 SHEET NO.:  
 OF XX



PHASE 1A CONSTRUCTION - EAST SIDE OF BUNTS ROAD

ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES USING TRAFFIC COMPACTED STONE PLACED IN THE EXCAVATED AREA, EXCEPT FOR THE TIME NEEDED TO REMOVE AND INSTALL THE CONCRETE APRONS.



PHASE 1B CONSTRUCTION - WEST SIDE OF BUNTS ROAD

LAKWOOD HEIGHTS BLVD. TO FRANKLIN BLVD.

PROJECT IS EXPECTED TO BE CONSTRUCTED OVER TWO YEARS, BROKEN DOWN AS FOLLOWS (SEQUENCE OF SECTIONS ARE TENTATIVE AND MAY BE ADJUSTED):

- CONSTRUCTION SECTION 1 (2026), LAKEWOOD HEIGHTS BOULEVARD TO FRANKLIN BOULEVARD.
- CONSTRUCTION SECTION 2 (2027), FRANKLIN BOULEVARD TO CLIFTON BOULEVARD.

x	x/x/xx	xxx	xxx	DESIGNED BY:
				DRAWN BY:
				CHECKED BY:
				DATE: 4/30/24
				THE OSBORN ENGINEERING COMPANY
				1111 SUPERIOR AVENUE STE 2100
				CLEVELAND, OHIO 44114-2590
				P. 216 861-2020 F. 216 861-3329
NO.	DATE	REVISIONS	BY	

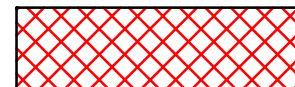

CITY OF LAKEWOOD, OHIO  
DEPARTMENT OF PUBLIC WORKS  
DIVISION OF ENGINEERING AND CONSTRUCTION

CUY-BUNTS RD REHAB  
PID 120703  
LAKEWOOD HEIGHTS BOULEVARD  
TO CLIFTON BOULEVARD

MAINTENANCE OF TRAFFIC  
TYPICAL SECTIONS

SCALE:
HORIZ:
VERT:
PROJECT & FILE NAME:
SHEET NO. OF XX



 CONSTRUCTION LIMITS - OPEN TO SOUTHBOUND TRAFFIC  
 NORTHBOUND TRAFFIC DETOUR

X	X/X/XX	XXX	XXX
NO.	DATE	REVISIONS	BY

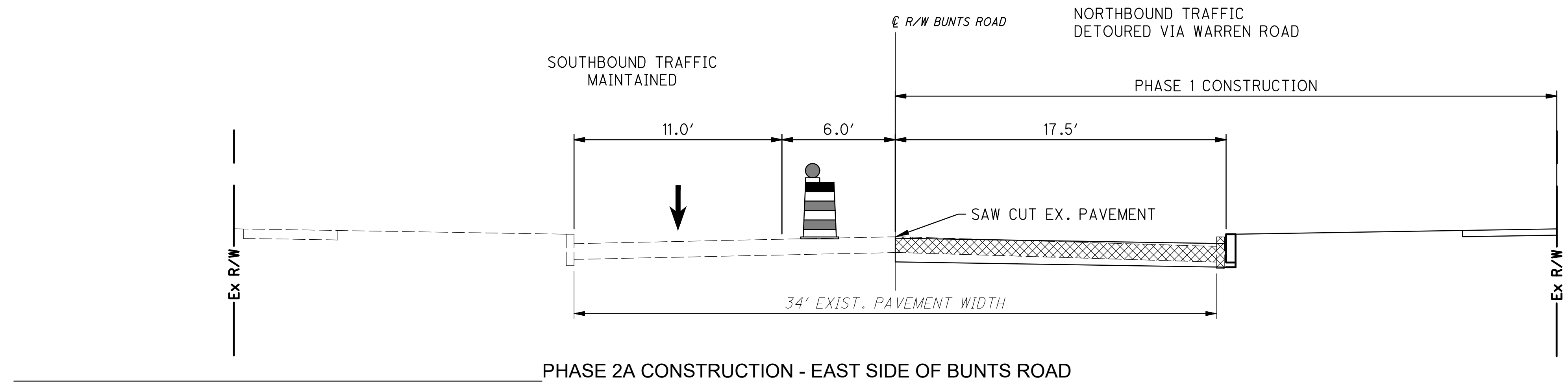
DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 4/30/24  
**THE OSBORN ENGINEERING COMPANY**  
 1111 SUPERIOR AVENUE STE 2100  
 CLEVELAND, OHIO 44114-2530  
 P. 216 861-2020 F. 216 861-3329

**CITY OF LAKEWOOD, OHIO**  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF ENGINEERING AND CONSTRUCTION

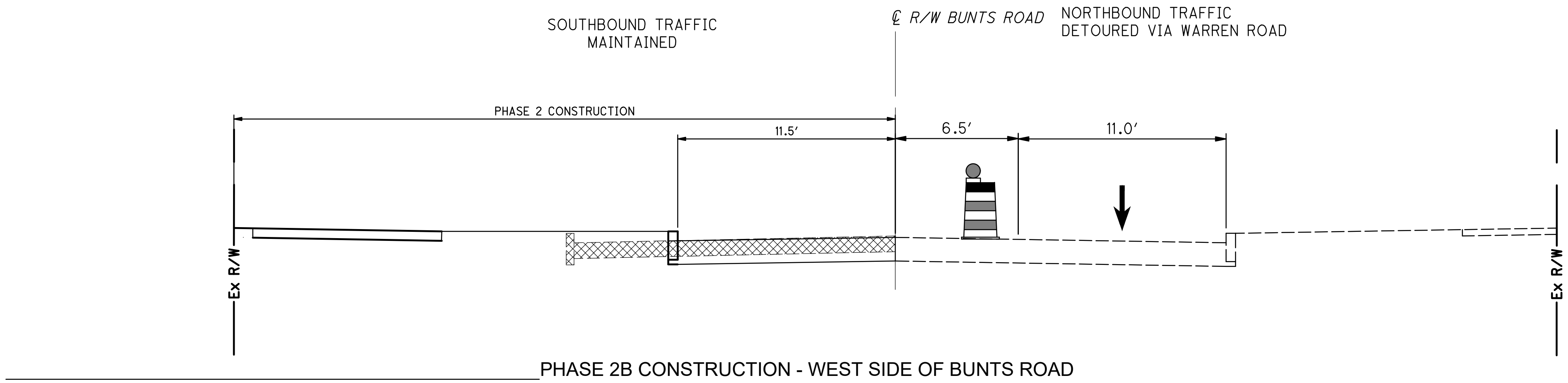
**CUY-BUNTS RD REHAB**  
**PID 120703**  
 LAKEWOOD HEIGHTS BOULEVARD  
 TO CLIFTON BOULEVARD

**DETOUR PLAN -**  
**CONSTRUCTION SECTION 2**

SCALE:  
 HORIZ: 1"=300'  
 VERT: NONE  
 PROJECT & FILE NAME:  
 SHEET NO.:  
 OF XX



ACCESS TO DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES USING TRAFFIC COMPACTED STONE PLACED IN THE EXCAVATED AREA, EXCEPT FOR THE TIME NEEDED TO REMOVE AND INSTALL THE CONCRETE APRONS.



FRANKLIN BLVD. TO CLIFTON BLVD.

PROJECT IS EXPECTED TO BE CONSTRUCTED OVER TWO YEARS, BROKEN DOWN AS FOLLOWS (SEQUENCE OF SECTIONS ARE TENTATIVE AND MAY BE ADJUSTED):

- CONSTRUCTION SECTION 1 (2026), LAKEWOOD HEIGHTS BOULEVARD TO FRANKLIN BOULEVARD.
- CONSTRUCTION SECTION 2 (2027), FRANKLIN BOULEVARD TO CLIFTON BOULEVARD.

x	x/x/xx	xxx	xxx	DESIGNED BY:
				DRAWN BY:
				CHECKED BY:
				DATE: 4/30/24
				THE OSBORN ENGINEERING COMPANY
				1111 SUPERIOR AVENUE STE 2100
				CLEVELAND, OHIO 44114-2590
				P. 216 861-2020 F. 216 861-3329
NO.	DATE	REVISIONS	BY	

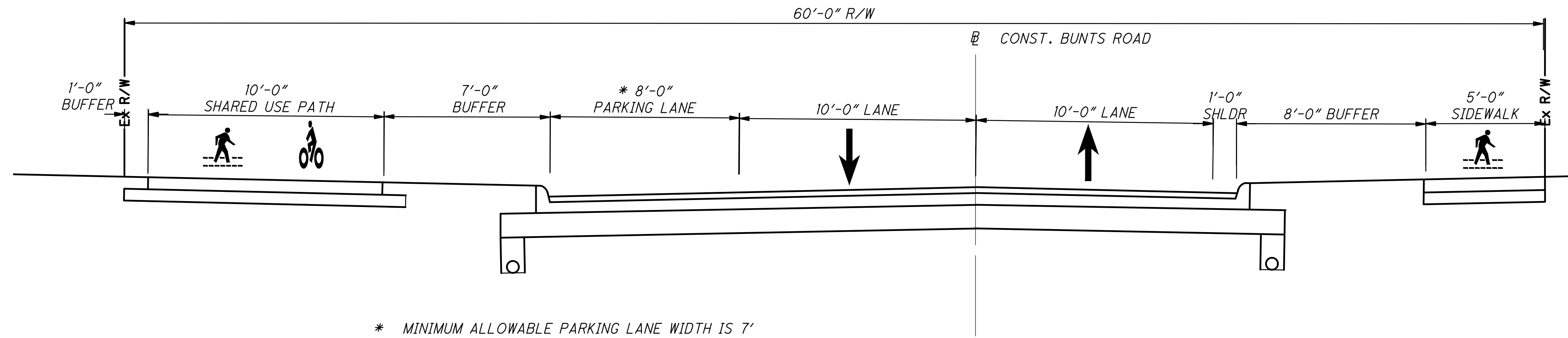
CITY OF LAKEWOOD, OHIO  
DEPARTMENT OF PUBLIC WORKS  
DIVISION OF ENGINEERING AND CONSTRUCTION

CUY-BUNTS RD REHAB  
PID 120703  
LAKEWOOD HEIGHTS BOULEVARD  
TO CLIFTON BOULEVARD

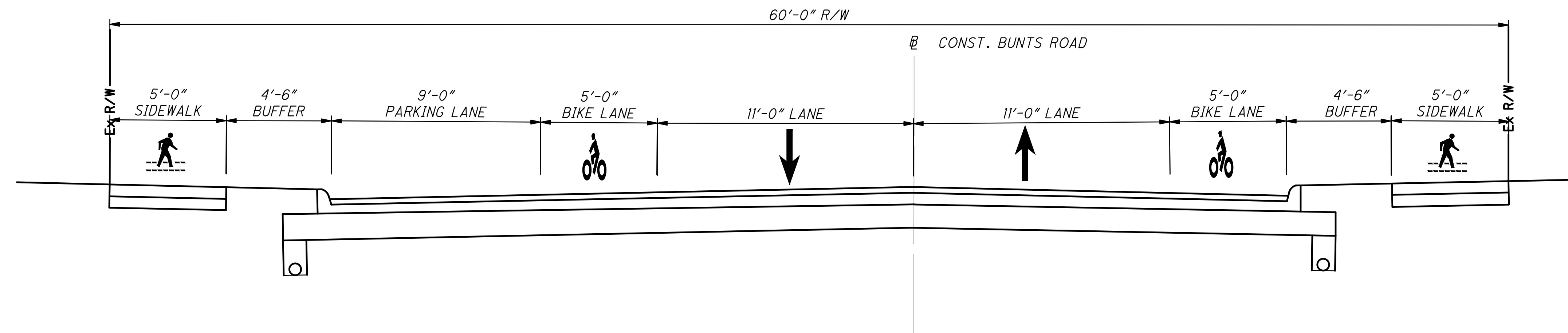
MAINTENANCE OF TRAFFIC  
TYPICAL SECTIONS

SCALE:
HORIZ:
VERT:
PROJECT & FILE NAME:
SHEET NO.:
OF XX

ALTERNATIVE #1



ALTERNATIVE #2



X	X/X/XX	XXX	XXX
NO.	DATE	REVISIONS	BY

DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 DATE: 5/3/24  
**THE OSBORN ENGINEERING COMPANY**  
 1111 SUPERIOR AVENUE STE 2100  
 CLEVELAND, OHIO 44114-2530  
 P. 216 861-2020 F. 216 861-3329

**CITY OF LAKEWOOD, OHIO**  
 DEPARTMENT OF PUBLIC WORKS  
 DIVISION OF ENGINEERING AND CONSTRUCTION

**CUY-BUNTS RD REHAB**  
 PID 120703  
 LAKEWOOD HEIGHTS BOULEVARD  
 TO CLIFTON BOULEVARD

SCALE:  
 HORIZ:  
 VERT:  
 PROJECT & FILE NAME:  
 SHEET NO.:  
 OF XX



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

## Application Cover Page

**Docket No.: 06-19-24**

**Permit No.: PC24-000030**

**Applicant Name: Michael Christoff, Vocon**

**Project Address: 16000/15801 Detroit Ave.**

**Project Name: Barry Buick Development**

**Proposal: Mixed-use development on the former Barry Buick sites, pursuant to Section 1135 – mixed-use overlay. The property is located in the C3, Commercial General Business district.**

May 22, 2024

City of Lakewood  
Architectural Board of Review / Planning Commission  
12650 Detroit Avenue  
Lakewood, Ohio 44107

To Whom it May Concern:

I am writing to authorize Vocon to submit plans and specifications for the Architectural Board of Review and Planning Commission for the Project located on Parcel 311-33-027 and Parcel 313-25-011 on behalf of Lakewood Detroit LLC.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark Conzelman', with a long horizontal flourish extending to the right.

Mark Conzelman  
NewBrook Partners

May 22, 2024

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**RE: Architectural Review Board / Planning Commission – Project Narrative**

**Project Name:** Lakewood Detroit LLC  
**Project Location:** 16000 Detroit Avenue & 15801 Detroit Avenue

**Vocon Project No.** 220508.00

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**16000 Detroit Avenue & 15801 Detroit Avenue Mixed-Use Development**

The new mixed-use development located at 16000 Detroit Avenue & 15801 Detroit Avenue is situated on two adjacent sites comprising a total of 2.15 acres +/- (93450.83 sf). The site is situated on both the north and south sides of Detroit Avenue, between Rosewood Avenue to the east and Cranford Avenue to the west. The total project is approximately 124,824 gross square feet and will replace the currently vacant Buick car dealership.

The new development's ground floor addresses the street with 1,575 square feet of new retail, lobby, amenity space, and elevated residential units designed to complement the adjacent commercial district. The typical upper levels of both buildings are a mix of one-bedroom and two-bedroom units varying in size and offerings, giving the community several options in unit scale and affordability.

**Design Approach: Enhancing Community Fabric in Lakewood, Ohio**

Within Lakewood, Ohio's Commercial District, there's an opportunity to integrate modern elements with historical context, aiming to create an urban environment that aligns with the community's values and aspirations. Our proposed development consists of multifamily and mixed-use buildings, intending to address this opportunity through a contextually sensitivity and design quality.

Lakewood's Commercial District thrives on pedestrian activity, underscoring the importance of designing spaces conducive to human-scale interactions. The buildings prioritize pedestrian access, site continuity, and safety for residents and neighbors alike. Retail, lobby and amenity spaces are strategically located, and ground floors are activated with engaging storefronts to foster vibrant pedestrian corridors.

**Contextual Integration and Adaptive Design:**

Lakewood's architectural heritage, characterized by a mix of historic and modern structures, presents an opportunity for our development. Extensive site analysis and contextual research guided us to respect the scale, materials, and character of the surrounding built environment while meeting contemporary urban needs. Our design approach integrates traditional materials like brick and metal panels, blending into the district's historic fabric, while introducing modern elements to enhance the urban experience.

**Parking and Mobility Solutions:**

Our design incorporates discreet parking solutions at the rear of each building, internal parking opportunities, and dedicated bicycle parking facilities strategically located for accessibility and connectivity.

**Quality of Design and Materiality:**

Our design framework prioritizes design excellence and material integrity. Through evaluation of proportions, material properties, construction techniques, and environmental performance, we selected high-quality materials that enhance the buildings' aesthetic appeal, durability, sustainability, and resilience. Well-crafted masonry facades with depth of materiality and details, accents, and first-floor detail elements showcase a richness in building form and texture, elevating the architectural expression, and enriching the urban fabric of Lakewood's Commercial District.

**Conclusion:**

The design for the proposed multifamily and mixed-use buildings in Lakewood reflects a thoughtful and strategic approach to urban design and placemaking. By leveraging design rigor, contextual understanding, and a commitment to excellence, our aim is to create a development that enhances the community fabric.

**Building Information Summary:**

**Building North: 16000 Detroit Avenue**

Gross Area: 124,824 sf +/-

Retail Area: 1,573 sf +/-

1<sup>st</sup> Floor Lobby & Amenities: 3,879 sf +/-

Height: 48'-0"

Units: 66

Parking: 76

**Building South: 15801 Detroit Avenue**

Gross Area: 55,875 sf +/-

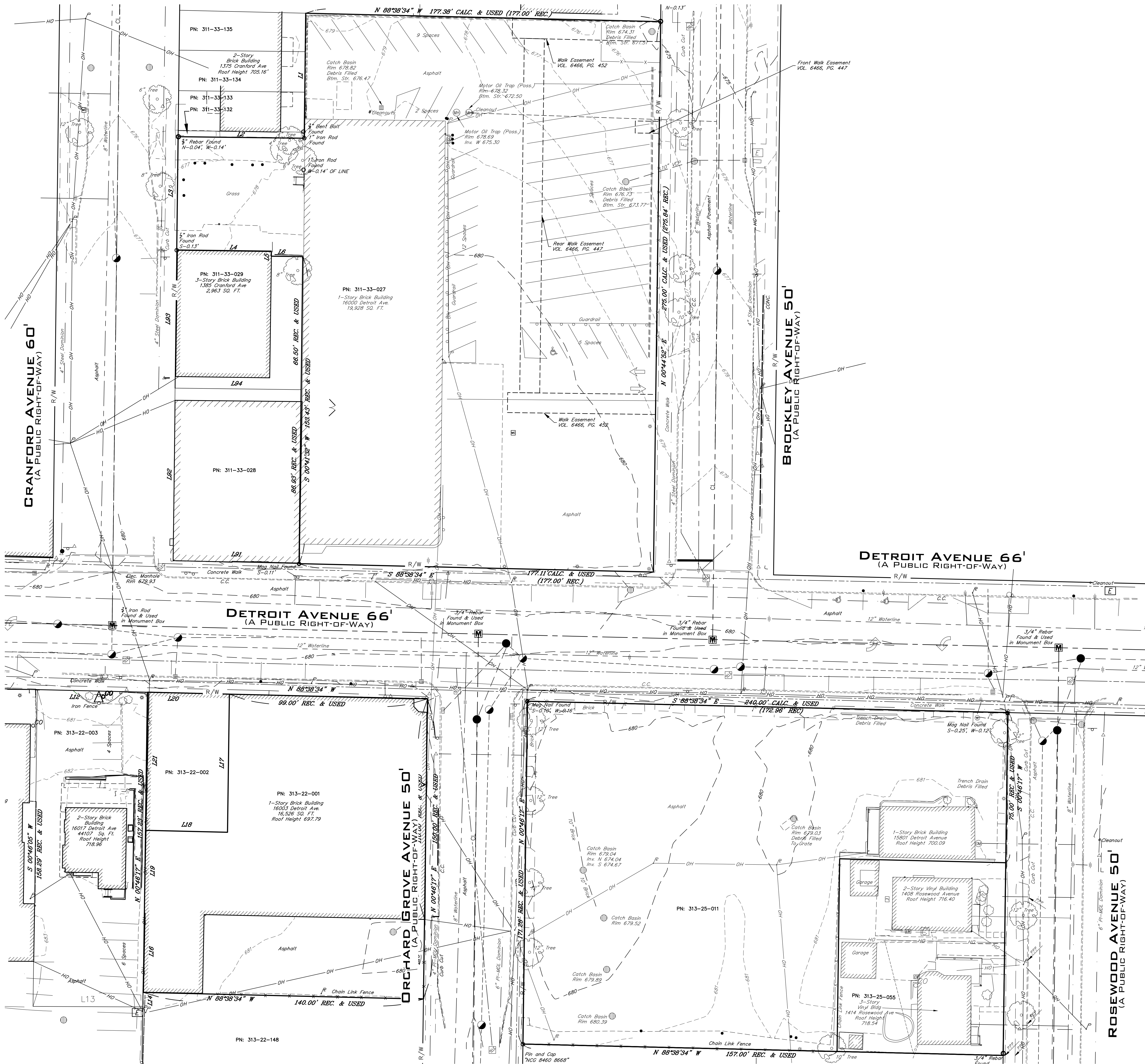
Retail Area: none

1<sup>st</sup> Floor Lobby & Amenities: 770 sf +/-

Height: 48'-0"

Units: 58

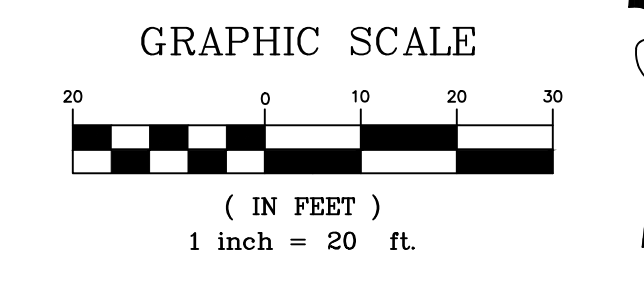
Parking: 77



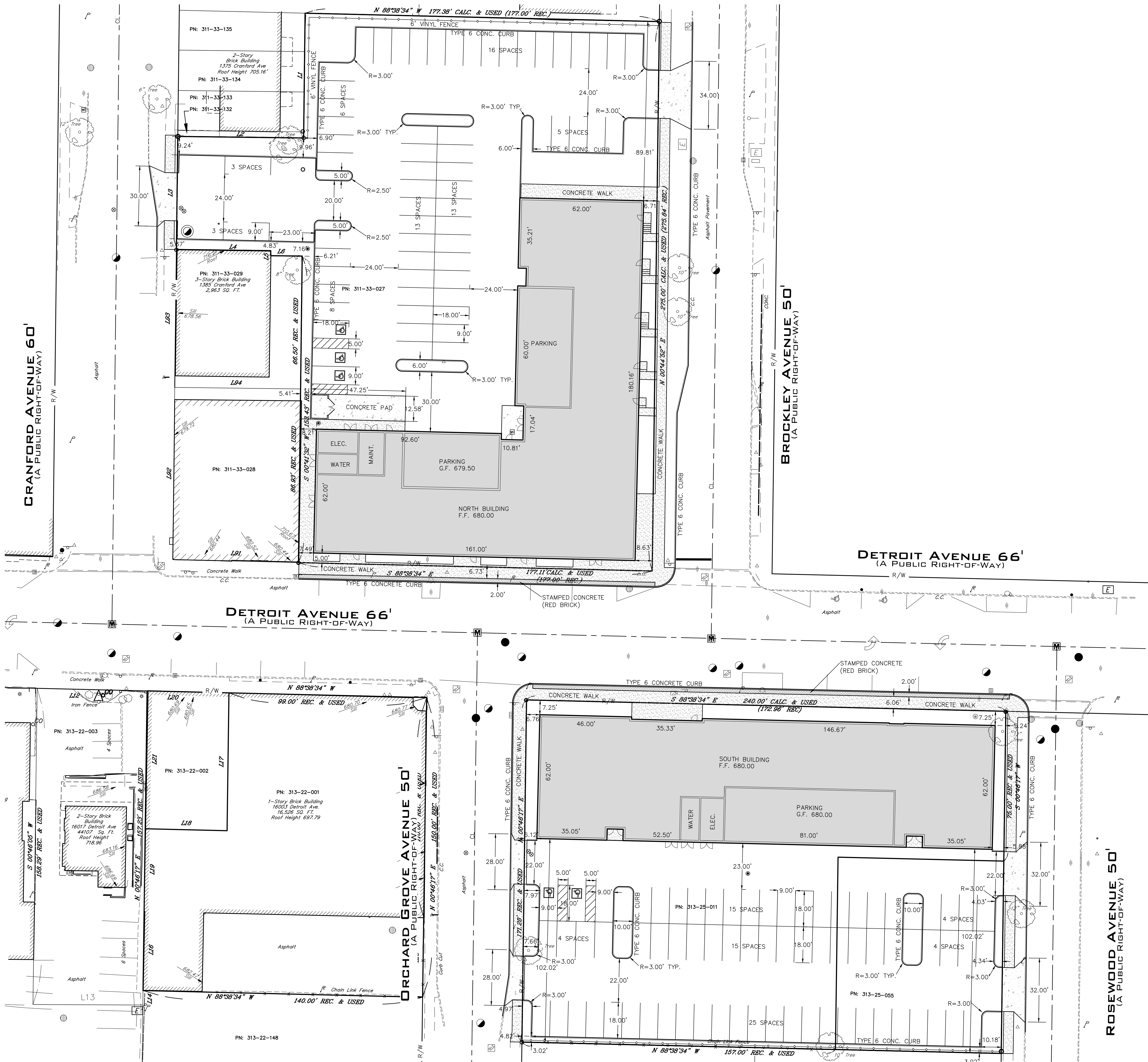
**LEGEND**

<ul style="list-style-type: none"> <li>⊠ = Monument Box Found</li> <li>○ = Iron Pin or Pipe Found</li> <li>⊕ = 5/8" Iron Pin Set and Capped Riverstone Company</li> <li>⊕ = Gas Meter</li> <li>⊕ = Gas Valve</li> <li>⊕ = Utility Pole</li> <li>⊕ = Light Pole</li> <li>⊕ = Guy Anchor &amp; Line</li> <li>⊕ = Telephone Box</li> <li>⊕ = Electric Box</li> <li>⊕ = Cable Box</li> <li>⊕ = Ballast</li> <li>⊕ = Cleanout / Test Tee</li> </ul>	<ul style="list-style-type: none"> <li>○ = Spot Elevation Tag</li> <li>⊕ = Hydrant</li> <li>⊕ = Water Service Valve</li> <li>⊕ = Water Meter</li> <li>⊕ = Reducer</li> <li>⊕ = Storm Manhole</li> <li>⊕ = Sanitary Manhole</li> <li>⊕ = Curb Inlet</li> <li>⊕ = Catch Basin</li> <li>⊕ = Property Line</li> <li>⊕ = Centerline</li> </ul>
<ul style="list-style-type: none"> <li>— = Ex. Parcel line</li> <li>— = Original Sublot Line</li> <li>— = Original Lot Line</li> <li>— = Centerline</li> <li>— = Property Line</li> <li>— = Right-of-way Line</li> <li>— = Easement Line</li> <li>— = Railroad Tracks</li> </ul>	<ul style="list-style-type: none"> <li>— = Existing</li> <li>— = PROPOSED</li> </ul>
<ul style="list-style-type: none"> <li>— = Electric Line</li> <li>— = Gas Line</li> <li>— = Sanitary/Combination Sewer</li> <li>— = Storm Sewer</li> <li>— = Waterline</li> <li>— = Fence Line (Wooden)</li> <li>— = Fence Line (Chain-Link)</li> <li>— = Guardrail</li> </ul>	<ul style="list-style-type: none"> <li>— = Prop. Record</li> <li>— = Rec./R.</li> <li>— = R/W</li> <li>— = Right-of-way</li> <li>— = Sublot</li> <li>— = S.F.</li> <li>— = S/L</li> <li>— = S.M.</li> <li>— = S.T.</li> <li>— = T.C.</li> <li>— = T/F</li> <li>— = T.T.</li> <li>— = T.W.</li> <li>— = T.P.</li> <li>— = T.V.</li> <li>— = T.W.</li> </ul>
<ul style="list-style-type: none"> <li>Ac. = Acres</li> <li>Adj. = Adjacent</li> <li>A.F.N. = Auditor's File Number</li> <li>Asp. = Asphalt</li> <li>B.F. = Basement Floor</li> <li>B.W. = Bottom of Wall</li> <li>Calc./C. = Calculated</li> <li>CB = Catch Basin</li> <li>C.C.M.R. = Cuyahoga County Map Records</li> <li>C.L.F. = Chain-Link Fence</li> <li>Clr. = Clears</li> <li>C.O. = Clean Out</li> <li>Comb. = Combination</li> <li>Conc. = Concrete</li> <li>Conn. = Connection</li> <li>D.H. = Drill Hole</li> <li>D.I.W.M. = Ductile Iron Water Main</li> <li>Elec. = Electric</li> <li>Elev. = Elevation</li> <li>Encl. = Encroaches</li> <li>Ex. = Existing</li> <li>F.F. = Finished Floor</li> <li>Gutter = Gutter</li> <li>Inv. = Invert</li> </ul>	<ul style="list-style-type: none"> <li>L.C.A. = Limited Common Area</li> <li>L.F. = Linear Feet</li> <li>M.E. = Match Existing</li> <li>Meas./M. = Measured</li> <li>MH = Manhole</li> <li>Obs. = Observed</li> <li>Pg. = Page</li> <li>P.F.N. = Permanent Parcel Number</li> <li>Prop. = Proposed</li> <li>Rec./R. = Record</li> <li>R/W = Right-of-way</li> <li>S.F. = Square Feet</li> <li>S/L = Sublot</li> <li>S.M. = Storm</li> <li>S.T. = Storm</li> <li>T.B.M. = Temporary Bench Mark To Be Removed</li> <li>T/C = Top of Curb</li> <li>Tele. = Telephone</li> <li>T.F. = Top of Footer</li> <li>T.T. = Test Tee</li> <li>T.W. = Top of Wall</li> <li>T.P. = Typical</li> <li>Vol. = Volume</li> <li>Wat. = Water</li> </ul>

**SURVEY NOTE:**  
 SURVEY, BOUNDARY AND UTILITY INFORMATION WAS COMPLETED BY LANGAN AND PROVIDED TO THE RIVERSTONE COMPANY. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



**RIVERSTONE**  
 LAND SURVEYING - ENGINEERING - DESIGN  
 3800 LAKESIDE AVENUE - SUITE 100  
 CLEVELAND - OHIO - 44114  
 PHONE: (216) 491-2000 FAX: (216) 491-9640  
 WWW.RIVERSTONE.SURVEY.COM



**LEGEND**

⊠	Monument Box Found	⊙	Spot Elevation Tag
○	Iron Pin or Pipe Found	⊕	Hydrant
⊕	5/8" Iron Pin Set and Capped Riverstone Company	⊕	Water Service Valve
⊕	P.K. Nail	⊕	Water Valve
⊕	Gas Meter	⊕	Reducer
⊕	Utility Pole	⊕	Storm Manhole
⊕	Light Pole	⊕	Sanitary Manhole
⊕	Guy Anchor & Line	⊕	Curb Inlet
⊕	Telephone Box	⊕	Catch Basin
⊕	Electric Box	⊕	Property Line
⊕	Cable Box	⊕	Centerline
⊕	Ballard		
⊕	Cleanout / Test Tee		

---	Ex. Parcel Line	---	Proposed
---	Original Sublot Line	---	Proposed
---	Original Lot Line	---	Proposed
---	Centerline	---	Proposed
---	Property Line	---	Proposed
---	Right-of-way Line	---	Proposed
---	Easement Line	---	Proposed
---	Railroad Tracks	---	Proposed

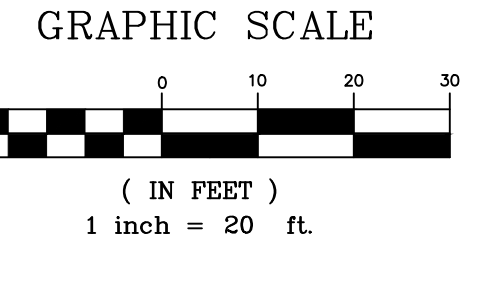
  

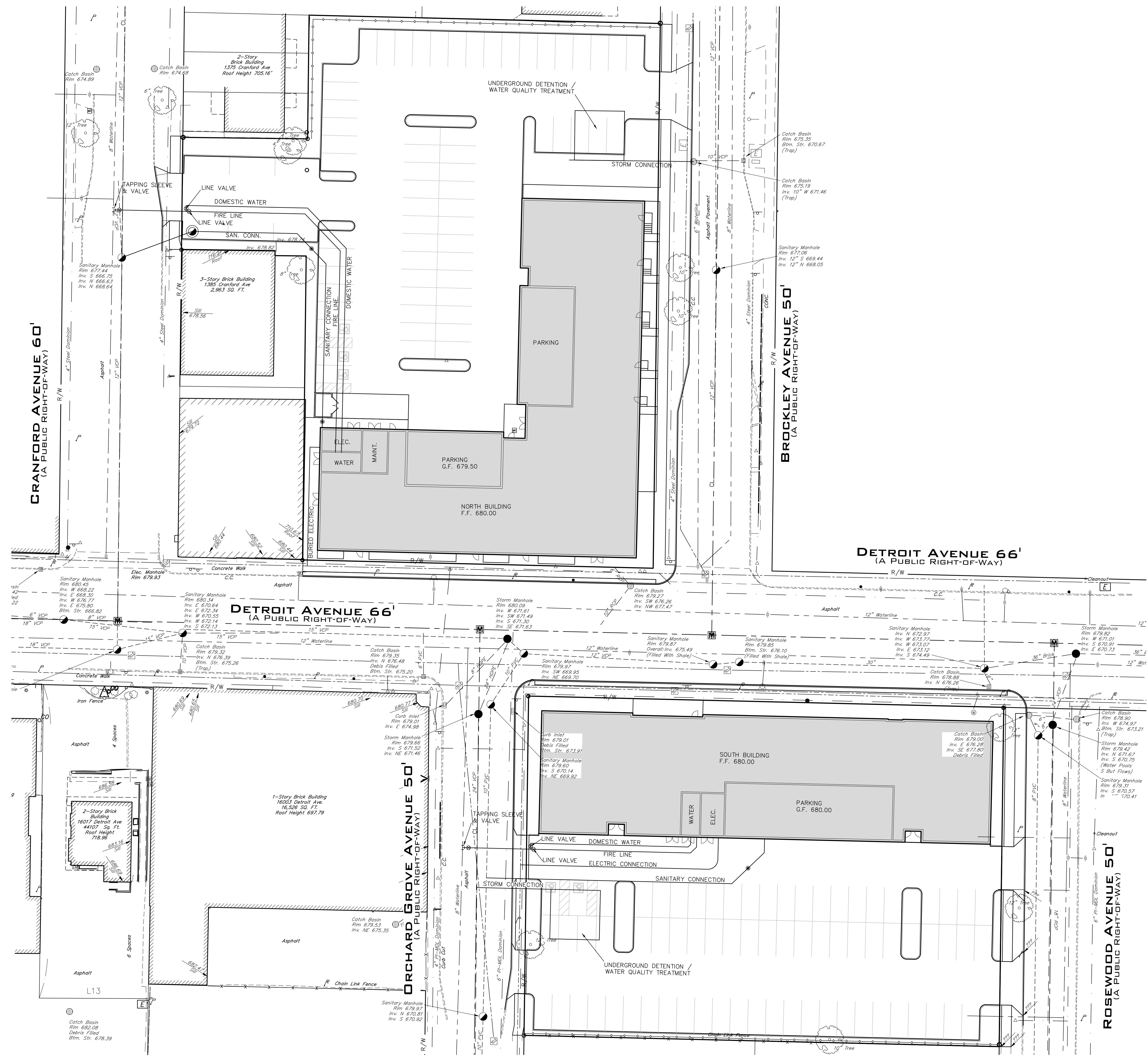
---	Electric Line	---	Proposed
---	Gas Line	---	Proposed
---	Sanitary/Combination Sewer	---	Proposed
---	Storm Sewer	---	Proposed
---	Waterline	---	Proposed
---	Fence Line (Wooden)	---	Proposed
---	Fence Line (Chain-Link)	---	Proposed
---	Guardrail	---	Proposed

Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
Bot.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CS	Catch Basin	P.F.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map Records	Prop.	Proposed
C.L.F.	Chain-Link Fence	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elec.	Electric	T/C	Top of Curb
Elev.	Elevation	Tele	Telephone
Encl.	Encroaches	T.F.	Top Of Footer
Ex.	Existing	T.W.	Top of Wall
F.F.	Finished Floor	Typ.	Typical
G.U.T.	Gutter	Vol.	Volume
Invt.	Invert	Wat.	Water

**SURVEY NOTE:**  
 SURVEY, BOUNDARY AND UTILITY INFORMATION WAS COMPLETED BY LANGAN AND PROVIDED TO THE RIVERSTONE COMPANY. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.





**LEGEND**

■	Monument Box Found	○	Spot Elevation Tag
●	Iron Pin or Pipe Found	○	Hydrant
○	5/8" Iron Pin Set and Capped Riverstone Company	○	Water Service Valve
+	P.K. Nail	○	Water Valve
+	Gas Meter	○	Reducer
+	Gas Valve	○	Storm Manhole
+	Utility Pole	○	Sanitary Manhole
+	Light Pole	○	Curb Inlet
+	Guy Anchor & Line	○	Catch Basin
+	Telephone Box	○	Property Line
+	Electric Box	○	Centerline
+	Cable Box		
+	Ballard		
+	Cleanout / Test Tee		

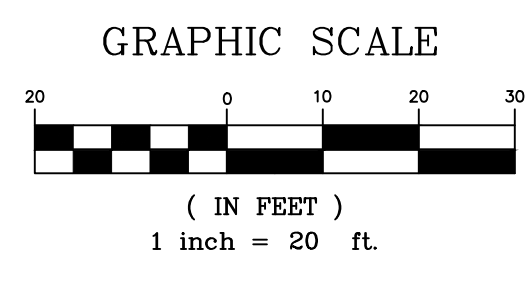
---	Ex. Parcel Line	---	Proposed
---	Original Sublot Line	---	Proposed
---	Original Lot Line	---	Proposed
---	Centerline	---	Proposed
---	Property Line	---	Proposed
---	Right-of-way Line	---	Proposed
---	Easement Line	---	Proposed
---	Railroad Tracks	---	Proposed

---	Electric Line	---	Existing	---	Proposed
---	Gas Line	---	Existing	---	Proposed
---	Sanitary/Combination Sewer	---	Existing	---	Proposed
---	Storm Sewer	---	Existing	---	Proposed
---	Waterline	---	Existing	---	Proposed
---	Fence Line (Wooden)	---	Existing	---	Proposed
---	Fence Line (Chain-Link)	---	Existing	---	Proposed
---	Guardrail	---	Existing	---	Proposed

Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	LF	Lineal Feet
A.F.N.	Auditor's File Number	ME	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.F.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map	Prop	Proposed
C.L.F.	Records	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	Sq.	Sq.
Comb.	Combination	S.F.	Square Feet
Conn.	Concrete Connection	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	T.R.	To Be Removed
Elev.	Elevation	T/C	Top of Curb
Encl.	Encroaches	Tele	Telephone
Ex.	Existing	T.F.	Top Of Footer
Encl.	Encroaches	T.T.	Test Tee
Ex.	Existing	T.W.	Top of Wall
F.F.	Finished Floor	Typ.	Typical
GUT	Gutter	Vol.	Volume
Invt.	Invert	Wat	Water



**RIVERSTONE**  
LAND SURVEYING - ENGINEERING - DESIGN  
3800 LAKEVIEW AVENUE - SUITE 100  
CLEVELAND - OHIO - 44114  
PHONE: (216) 491-2000 FAX: (216) 491-9640  
WWW.RIVERSTONE-SURVEY.COM

**vocon.**

CITY OF LAKEWOOD ARB PLANNING SUBMISSION

**newbrook**  
PARTNERS

**TKG**  
THE KRUEGER GROUP



**LAKWOOD DETROIT LLC**

**16000 & 15801 DETROIT AVENUE | LAKEWOOD, OH**

# AGENDA

- 01 Site Context
- 02 Landscape Plan & Site Lighting
- 03 Master Plan
- 04 Floor Plans
- 05 Building Elevations
- 06 Wall Sections & Details
- 07 Renderings

# LAKWOOD- SITE CONTEXT



1. Brockley Avenue Looking South



2. Brockley Avenue & Detroit Avenue Intersection



3. Rosewood Avenue Looking North



4. Rosewood Avenue & Detroit Avenue Looking West on Detroit Avenue



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 12" = 1'-0"



# LAKWOOD- SITE CONTEXT



5. Cranford Avenue Looking South



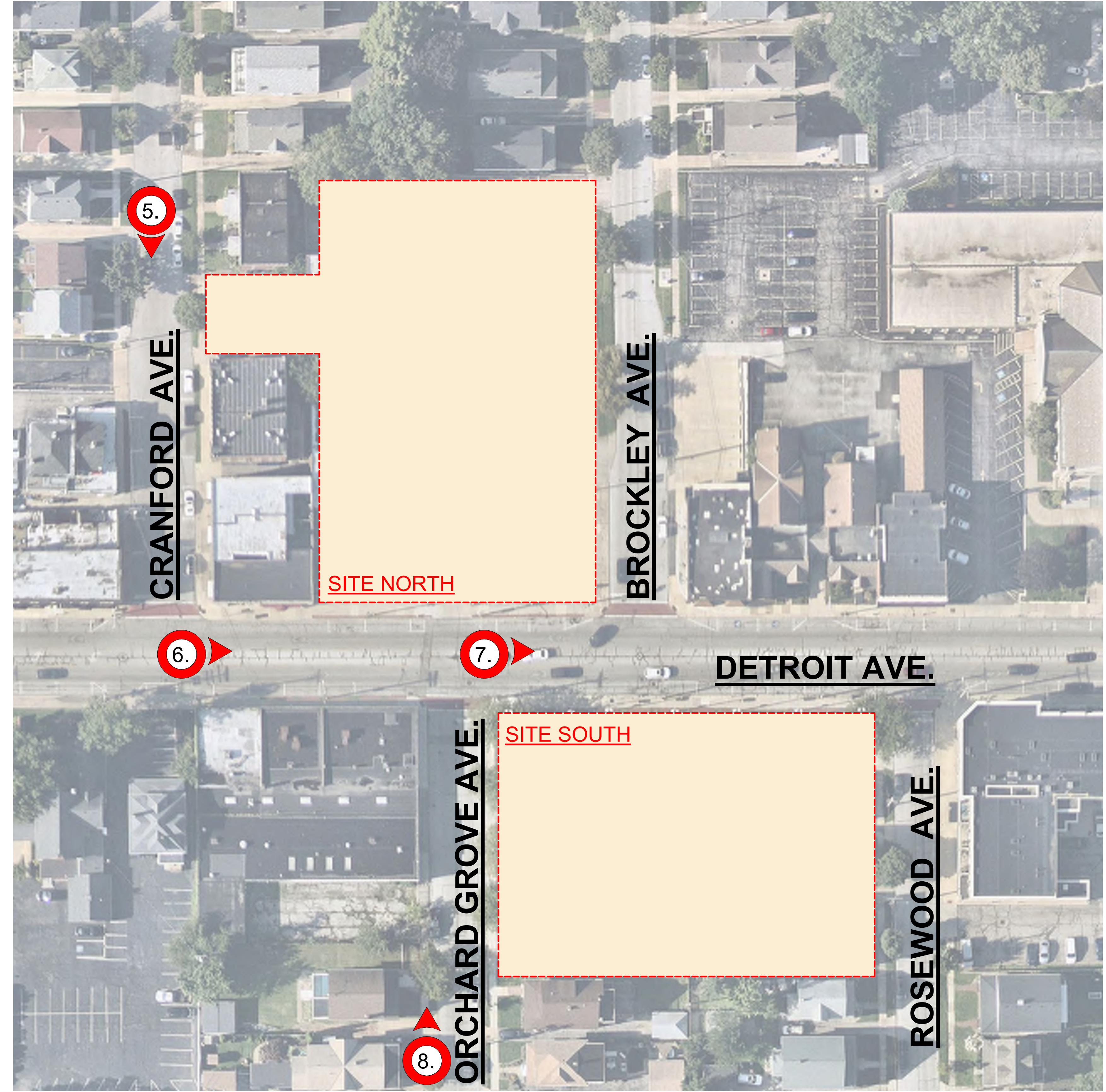
6. Cranford Avenue & Detroit Avenue Intersection Looking East on Detroit Avenue



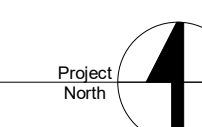
7. Orchard Grove Avenue & Detroit Avenue Looking East



8. Orchard Grove Avenue Looking North



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 12" = 1'-0"

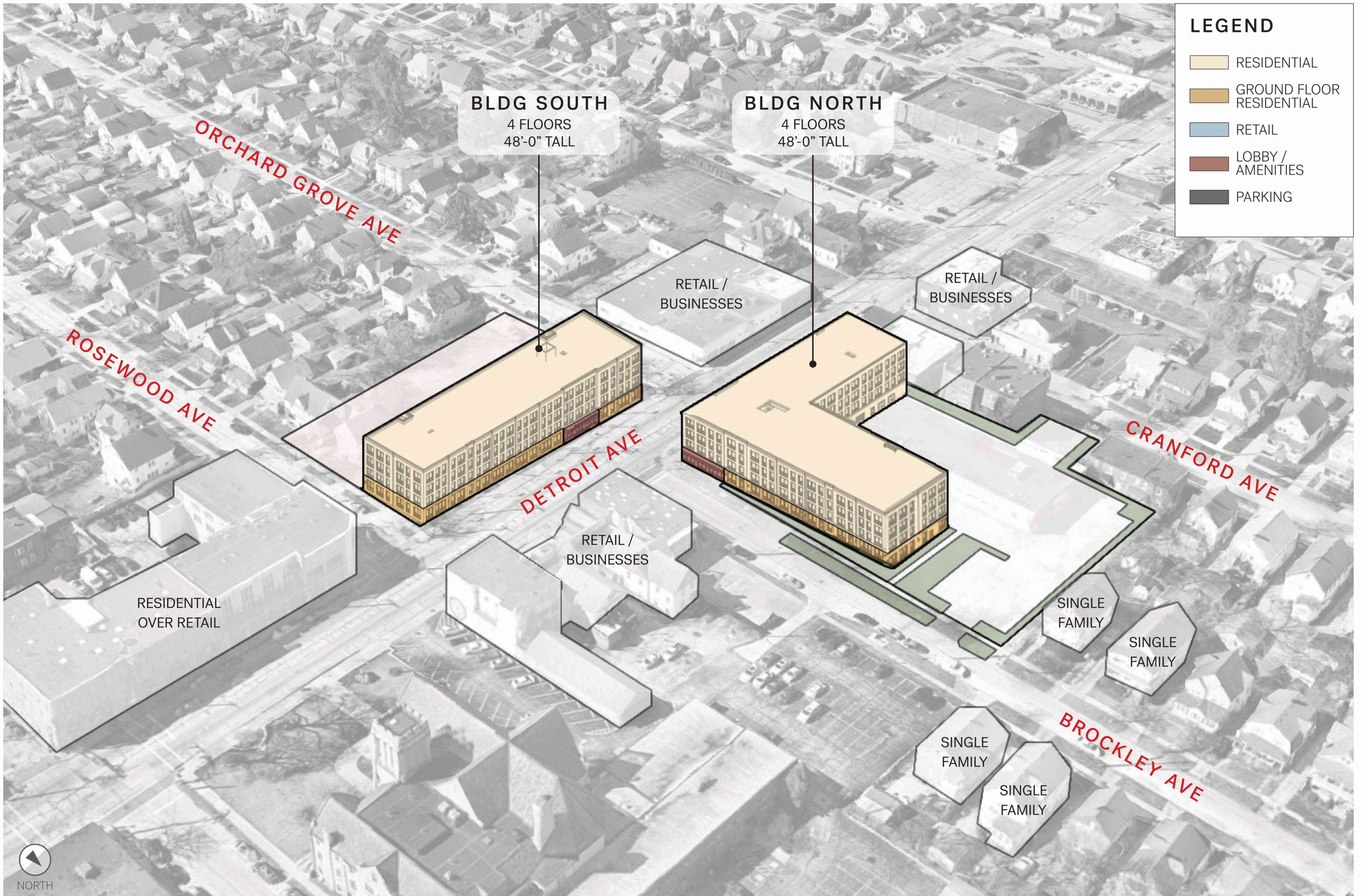




1 EXISTING CONTEXT MAP  
SCALE: 1/2" = 1'-0"







**LEGEND**

<span style="display:inline-block; width:15px; height:10px; background-color:#f9e79f; border:1px solid black;"></span>	RESIDENTIAL
<span style="display:inline-block; width:15px; height:10px; background-color:#e6c06b; border:1px solid black;"></span>	GROUND FLOOR RESIDENTIAL
<span style="display:inline-block; width:15px; height:10px; background-color:#8eb9e2; border:1px solid black;"></span>	RETAIL
<span style="display:inline-block; width:15px; height:10px; background-color:#a67c52; border:1px solid black;"></span>	LOBBY / AMENITIES
<span style="display:inline-block; width:15px; height:10px; background-color:#808080; border:1px solid black;"></span>	PARKING

**BLDG SOUTH**  
4 FLOORS  
48'-0" TALL

**BLDG NORTH**  
4 FLOORS  
48'-0" TALL

RETAIL /  
BUSINESSES

RETAIL /  
BUSINESSES

RETAIL /  
BUSINESSES

SINGLE  
FAMILY

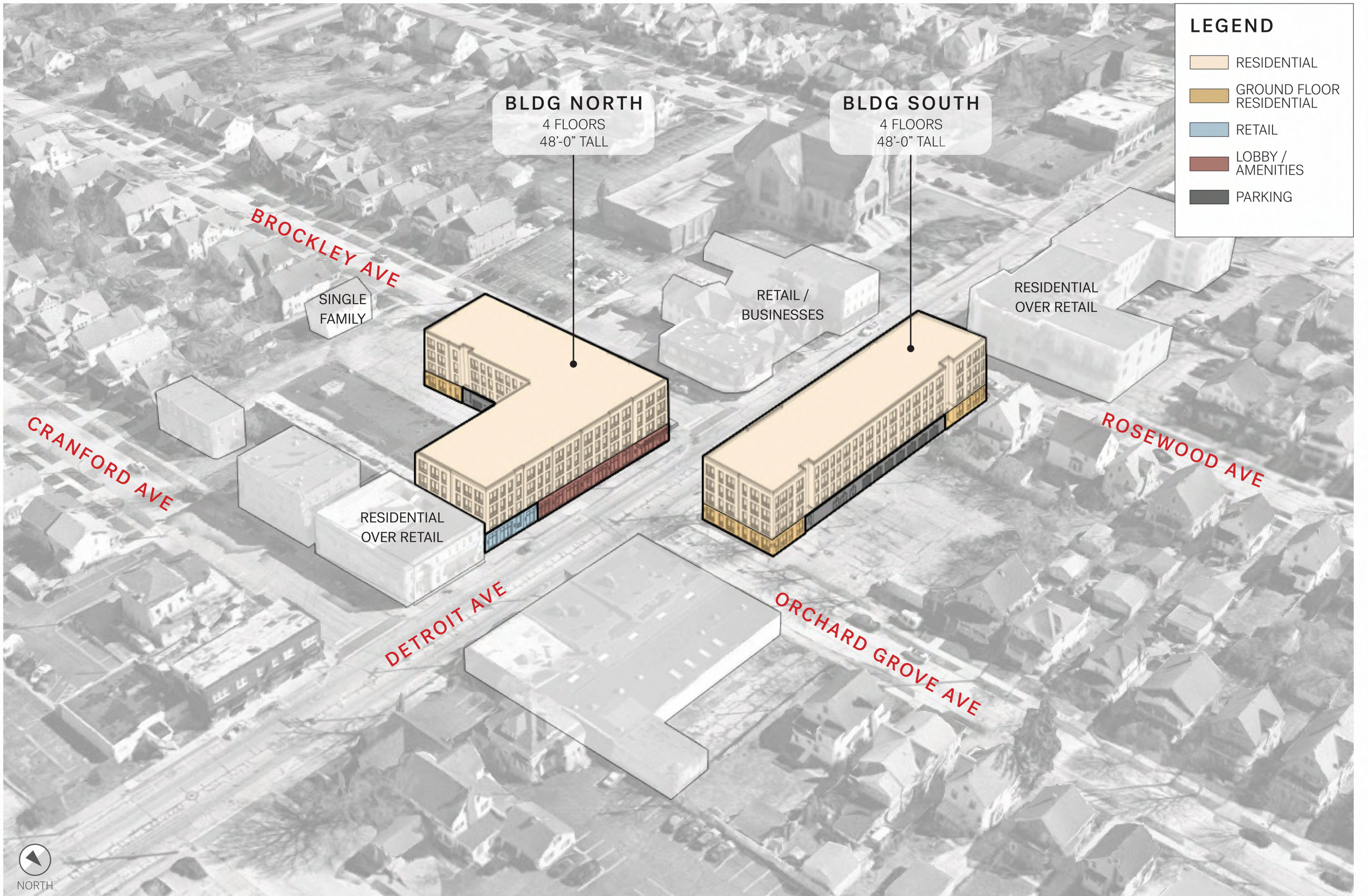
SINGLE  
FAMILY

SINGLE  
FAMILY

SINGLE  
FAMILY

RESIDENTIAL  
OVER RETAIL





**LEGEND**

- RESIDENTIAL
- GROUND FLOOR RESIDENTIAL
- RETAIL
- LOBBY / AMENITIES
- PARKING

**BLDG NORTH**  
4 FLOORS  
48'-0" TALL

**BLDG SOUTH**  
4 FLOORS  
48'-0" TALL

**BROCKLEY AVE**

SINGLE FAMILY

**CRANFORD AVE**

RESIDENTIAL OVER RETAIL

**DETROIT AVE**

**ORCHARD GROVE AVE**

RETAIL / BUSINESSES

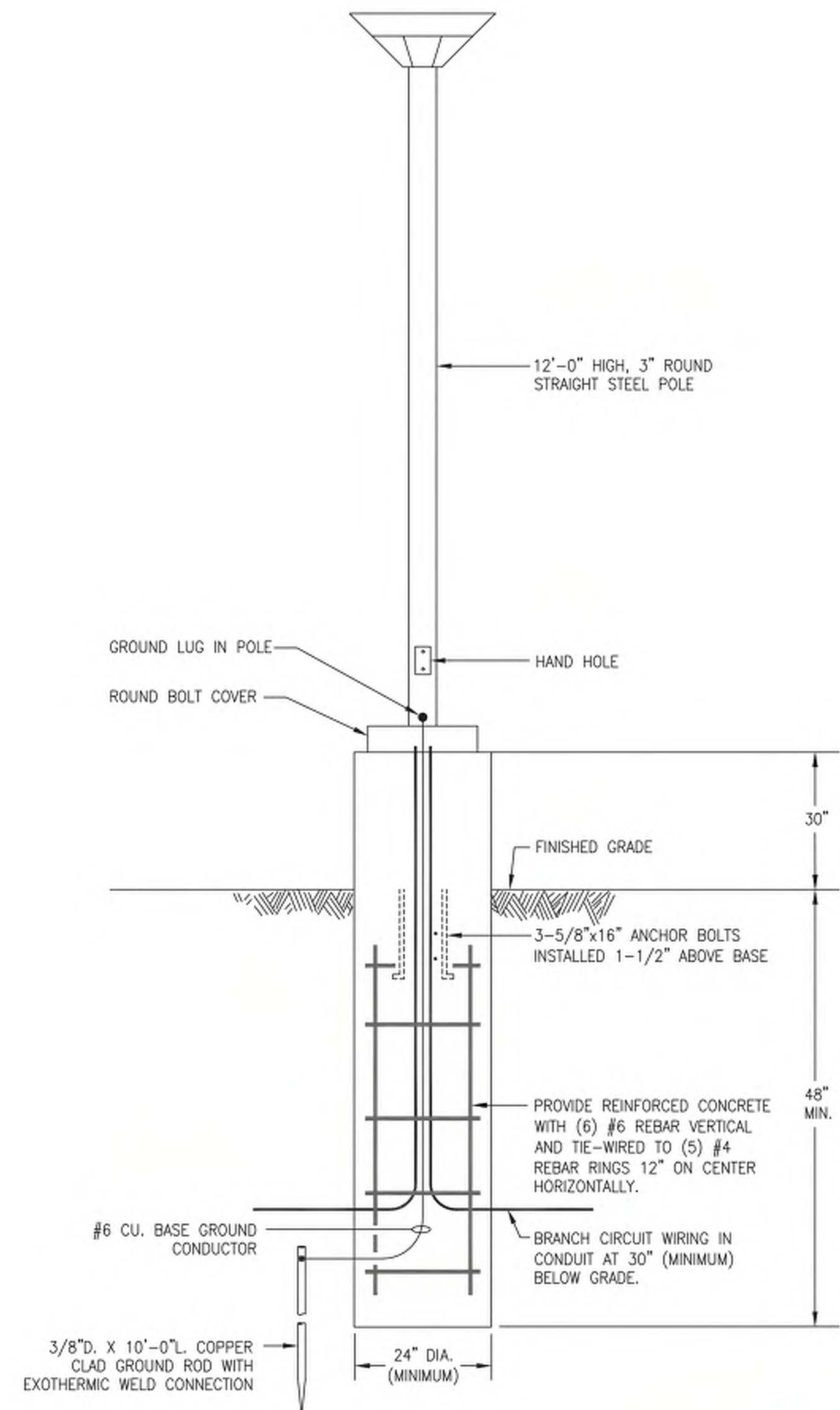
RESIDENTIAL OVER RETAIL

**ROSEWOOD AVE**









POLE BASE DETAIL  
NO SCALE

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	SL-1	10	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	PMM-SA1C-840-U-5MQ	MESA POST TOP DECORATIVE LUMINAIRE. (1) LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V MEDIUM OPTICS.	16	355	0.9	59	
	SL-2	5	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	PMM-SA1C-840-U-SL4-HSS	MESA POST TOP DECORATIVE LUMINAIRE. (1) LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	16	273	0.9	59	
	SL-3	1	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	PMM-SA1C-840-U-SL2-HSS	MESA POST TOP DECORATIVE LUMINAIRE. (1) LIGHTSQUARES WITH 16 LEDS EACH AND TYPE II SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	16	270	0.9	59	
	SL-4	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	ASWPLED1S-30W-4000K	SLIM WALL PACK, WATTAGE AND CCT SELECTABLE	98	40	0.9	30.4	
	SL-5	6	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA1A-740-U-SL4-HSS	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 615mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	16	253	0.9	34	

Statistics			
Description	Avg	Min	Max
North Lot Off Site	0.0 fc	0.0 fc	0.8 fc
South Building Parking Lot	2.1 fc	0.1 fc	12.0 fc
South Lot Off Site	0.0 fc	0.0 fc	0.5 fc
North Building Parking Lot	1.4 fc	0.0 fc	3.3 fc

Project	Catalog #	Type
Prepared by	Notes	Date

Project	Catalog #	Type
Prepared by	Notes	Date

Project	Catalog #	Type
Prepared by	Notes	Date



### McGraw-Edison GWC Galleon Wall

Wall Mount Luminaire

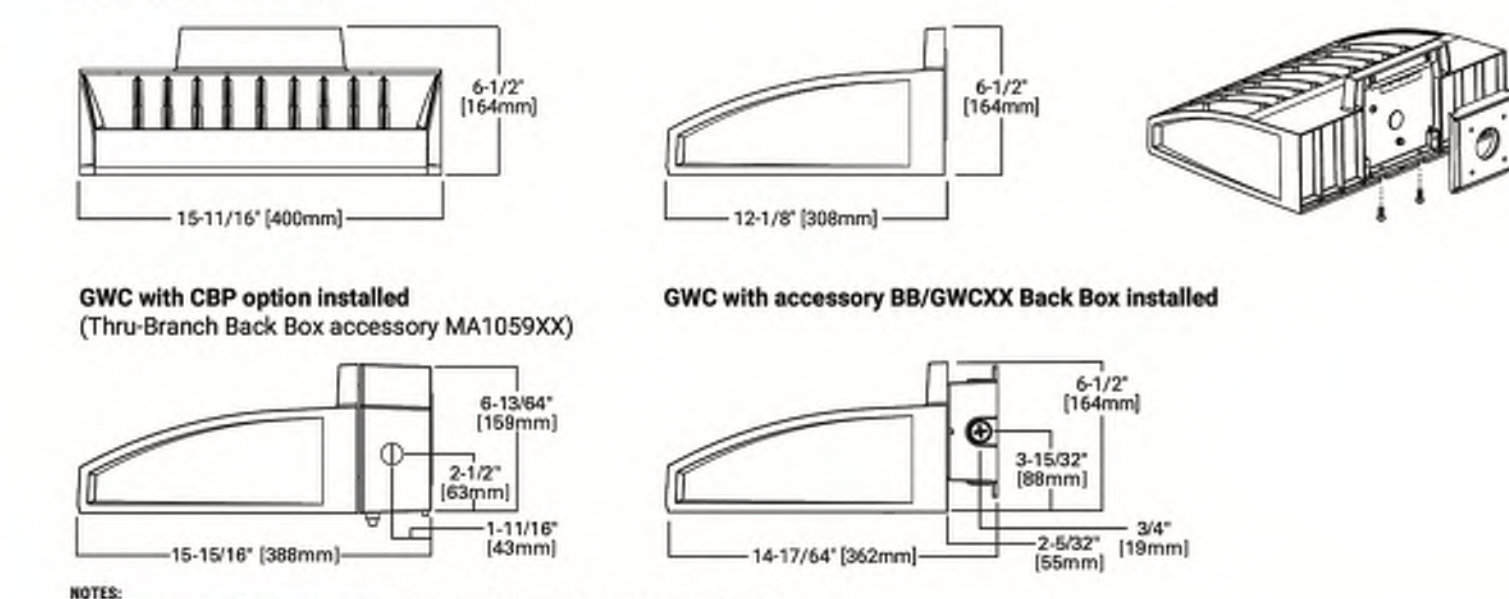


- Interactive Menu**
- Ordering Information page 2
  - Product Specifications page 2
  - Optical Configurations page 3
  - Energy and Performance Data page 4
  - Control Options page 6

- Quick Facts**
- Choice of thirteen high-efficiency, patented AccuLED Optics
  - Downward and inverted wall mounting configurations
  - Eight lumen packages from 3,215 up to 17,056
  - Efficacies up to 154 lumens per watt

#### Dimensional Details

Net Weight: 17.0 lbs (7.7 kg)



NOTES:  
1. Wall Mount 2-arm configurations and accessories to confirm qualification. Not all product variations are DLC qualified.  
2. See certified for 300K CCT and warmer only.



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February 26, 2024 6:14 PM



### Lumark AP ASWP Adjustable Slim Wall Pack Series

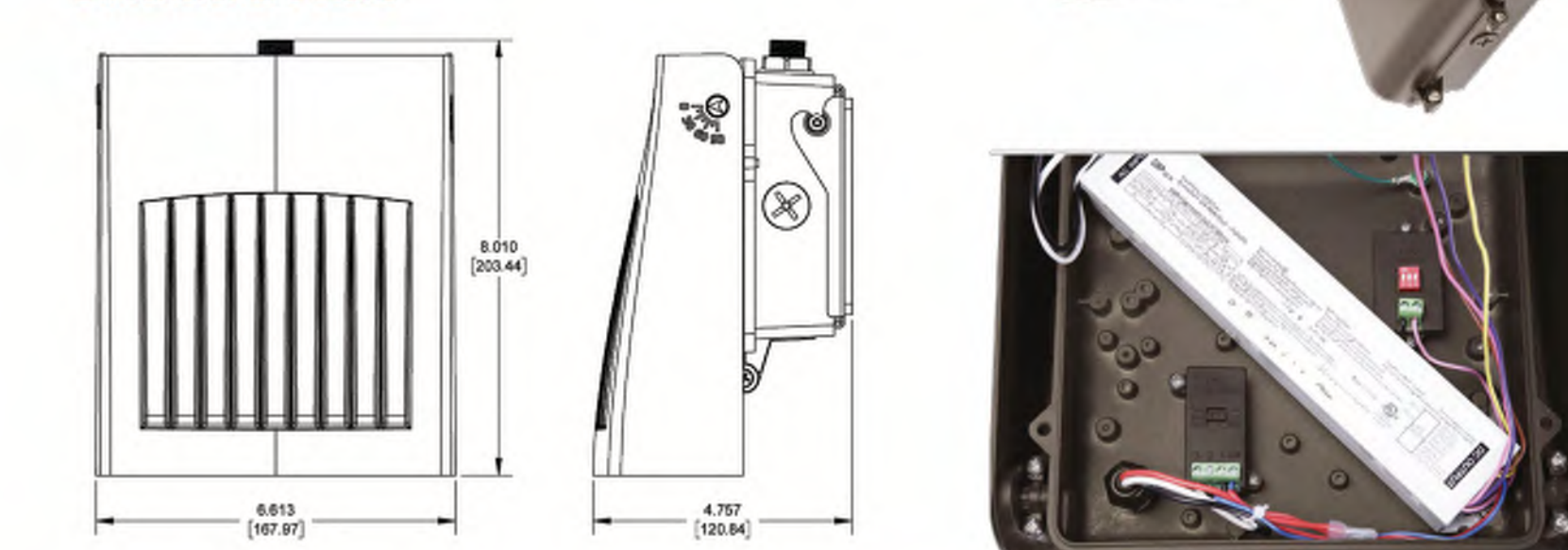
Wall Mount Luminaire



- Interactive Menu**
- Ordering Information page 2
  - Product Specifications page 2
  - Energy and Performance Data page 3

- Quick Facts**
- Selectable configurations available
  - Lumen packages range from 2,100-10,200 lumens
  - Replaces 155W-375W HID equivalent
  - Efficacies up to 130 lumens per watt
  - Energy and maintenance savings up to 89%
  - Heat and impact resistant borosilicate glass lens

#### Dimensional Details



PS180223EN page 1  
March 23, 2022



### Streetworks PMM MESA

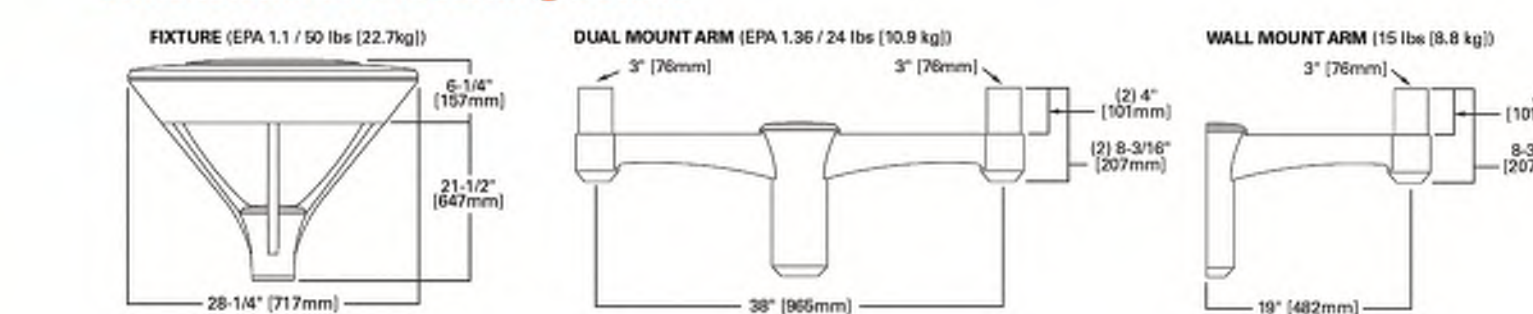
Decorative Area Luminaire



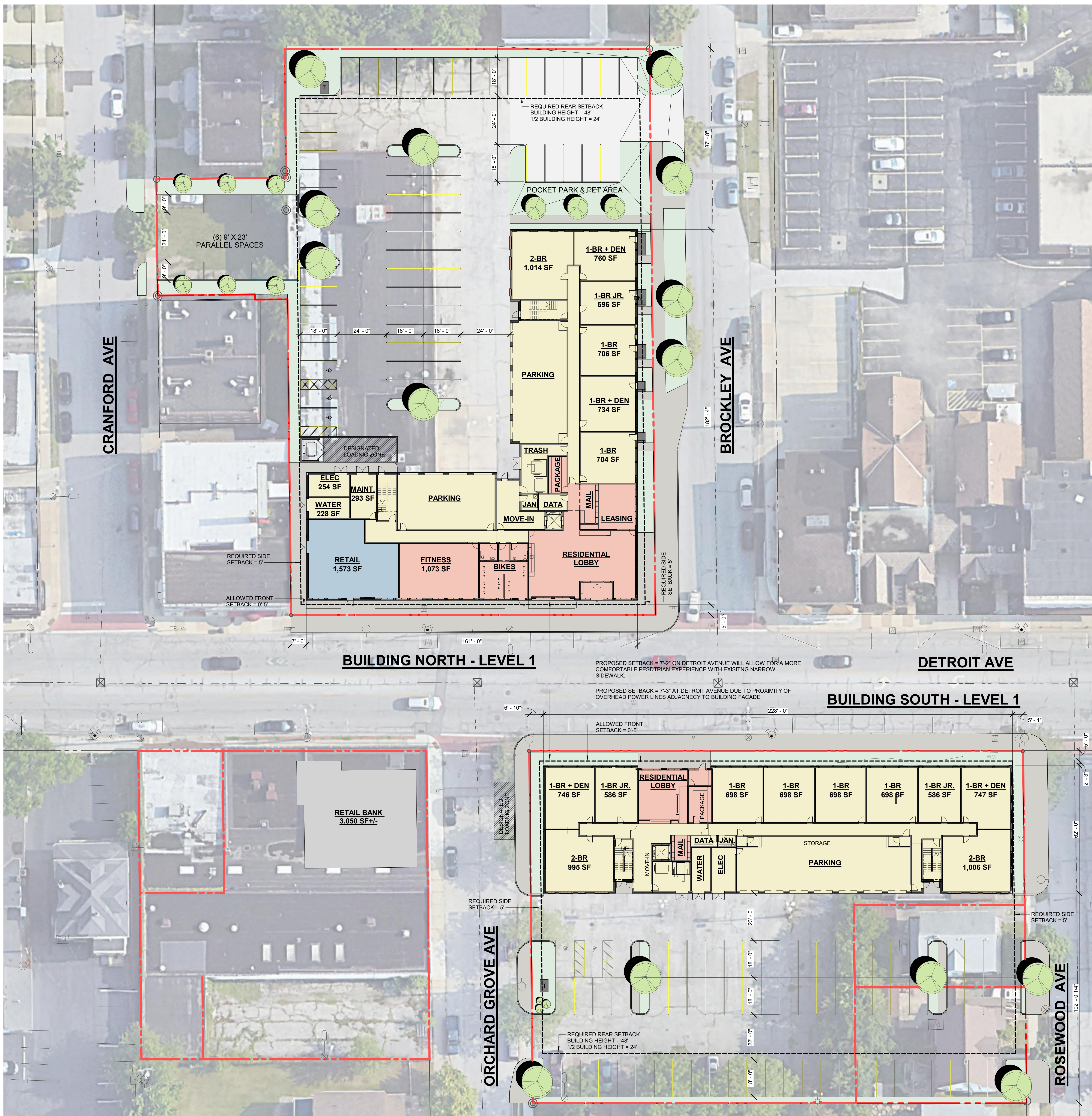
- Interactive Menu**
- Order Information page 2
  - Optical Distributions page 3
  - Product Specifications page 4
  - Energy & Performance data page 5
  - Control Options page 13

- Quick Facts**
- Die-cast aluminum housing and door
  - Lumens packages ranging from 3,000 - 29,000 lumens
  - Choice of 13 high-efficiency, patented AccuLED Optics™
  - Base casting slip fits over a standard 3" O.D. tenon
  - Wall, single and dual-mount configurations available
  - 10kV/10kA surge protection standard
  - LED fixture features a five-year warranty

#### Dimensional and Mounting Details



PS506052EN page 1  
May 8, 2024 6:47 PM



**GROSS BUILDING AREA**

BUILDING - NORTH	
LEVEL 01 +680	17,148 SF
LEVEL 02	17,267 SF
LEVEL 03	17,267 SF
LEVEL 04	17,267 SF
<b>TOTAL</b>	<b>68,949 SF</b>

BUILDING - SOUTH	
LEVEL 01 +680	13,911 SF
LEVEL 02	13,988 SF
LEVEL 03	13,988 SF
LEVEL 04	13,988 SF
<b>TOTAL</b>	<b>55,875 SF</b>

**BUILDING UNIT MIX**

UNIT TYPE	UNIT SIZE	COUNT
<b>BUILDING - NORTH</b>		
1 BR	665-700 sf +/-	29
1 BR - DEN	760 sf +/-	8
1 BR - JR	600 sf +/-	16
2 BR - #1	1,000 -1,100sf +/-	13
<b>TOTAL</b>		<b>66</b>
<b>BUILDING - SOUTH</b>		
1 BR	665-700 sf +/-	28
1 BR - DEN	760 sf +/-	11
1 BR - JR	<varies>	8
2 BR - #1	1,000 -1,100sf +/-	11
<b>TOTAL</b>		<b>58</b>
<b>TOTAL # OF UNITS</b>		<b>124</b>

**RESIDENTIAL LEASEABLE**

BUILDING - NORTH	
LEVEL 01 +680	4,513 SF
LEVEL 02	14,954 SF
LEVEL 03	14,954 SF
LEVEL 04	14,954 SF
<b>TOTAL</b>	<b>49,374 SF</b>

BUILDING - SOUTH	
LEVEL 01 +680	7,458 SF
LEVEL 02	12,232 SF
LEVEL 03	12,232 SF
LEVEL 04	12,232 SF
<b>TOTAL</b>	<b>44,154 SF</b>

**UNIT MIX BY PERCENTAGE**

UNIT TYPE	UNIT SIZE	PERCENTAGE	COUNT
1 BR	665-700 sf +/-	46%	57
1 BR - DEN	760 sf +/-	15%	19
1 BR - JR	<varies>	19%	24
2 BR - #1	1,000 -1,100sf +/-	19%	24
<b>TOTAL # OF UNITS</b>			<b>124</b>

**AMENITIES & BLDG SERVICES**

BUILDING - NORTH	
AMENITIES	2,116 SF
BUILDING SERVICES	1,387 SF
LOBBY	2,390 SF
PARKING	3,061 SF
RETAIL	1,573 SF
<b>TOTAL</b>	<b>10,527 SF</b>

BUILDING - SOUTH	
BUILDING SERVICES	1,240 SF
LOBBY	770 SF
PARKING	2,400 SF
<b>TOTAL</b>	<b>4,410 SF</b>

**PARKING COUNTS**

BUILDING - NORTH PARKING	
Accessible Parking - 9'x18'	3
Covered Parking - 12'x20'	9
Parallel Parking - 23'x9'	6
Standard Parking - 9'x18'	58
<b>Building - North Total</b>	<b>76</b>

BUILDING - SOUTH PARKING	
Accessible Parking - 9'x18'	2
Covered Parking - 12'x20'	7
Standard Parking - 9'x18'	68
<b>Building - South Total</b>	<b>77</b>
<b>TOTAL PARKING PROVIDED</b>	<b>153</b>

**ZONING NOTES:**

The C3 General Business District is established to provide for commercial uses that generally require independent, freestanding buildings, larger parking areas, and may have unique traffic patterns because of such factors as drive-in facilities.

**SCHEDULE 1129.05: LOT AREA AND FRONTAGE REGULATIONS**

**RETAIL C3 GENERAL BUSINESS**

Minimum Lot Area: 10,000 SF  
Minimum Lot Frontage: 80 FT.

**SCHEDULE 1129.06: YARD REQUIREMENTS: RETAIL C3 GENERAL BUSINESS**

Front Yard Depth: MAX. 5 feet  
Rear Yard Depth: One-half (1/2) the height of the building, but in no case less than five (5) feet 3  
Side Yard Width: 5 feet 1,3  
1 On a corner lot the side street yard shall be five (5) feet.  
3 Roof exhausts must be ten (10) feet from property line.

**1129.07 HEIGHT REGULATIONS.**

IN THE C1 OFFICE, C2 RETAIL, C3 GENERAL BUSINESS, AND C4 PUBLIC SCHOOL DISTRICT THE HEIGHT OF A PRINCIPAL STRUCTURE SHALL NOT EXCEED 120 FEET; THE HEIGHT OF AN ACCESSORY STRUCTURE SHALL NOT EXCEED TWENTY (20) FEET, UNLESS OTHERWISE SPECIFIED IN THIS CODE.

**1129.12 SUPPLEMENTAL REGULATIONS FOR MIXED-USE STRUCTURES.**

- (a) No dwelling units shall be on the ground floor.
- (b) No dwelling units shall be on the same floor as another permitted use.
- (c) In a building having dwelling units and other permitted uses, the other permitted uses shall be limited to the ground floor and consecutive floors.

**PARKING SUMMARY:**

**RETAIL \***  
\*NO OFF-STREET PARKING IS REQUIRED FOR RETAIL SPACES UNDER 2,500SF (LAKEWOOD ZONING 1143.05)

**RESIDENTIAL: MINIMUM 1 SPACE PER DWELLING UNIT (124).**

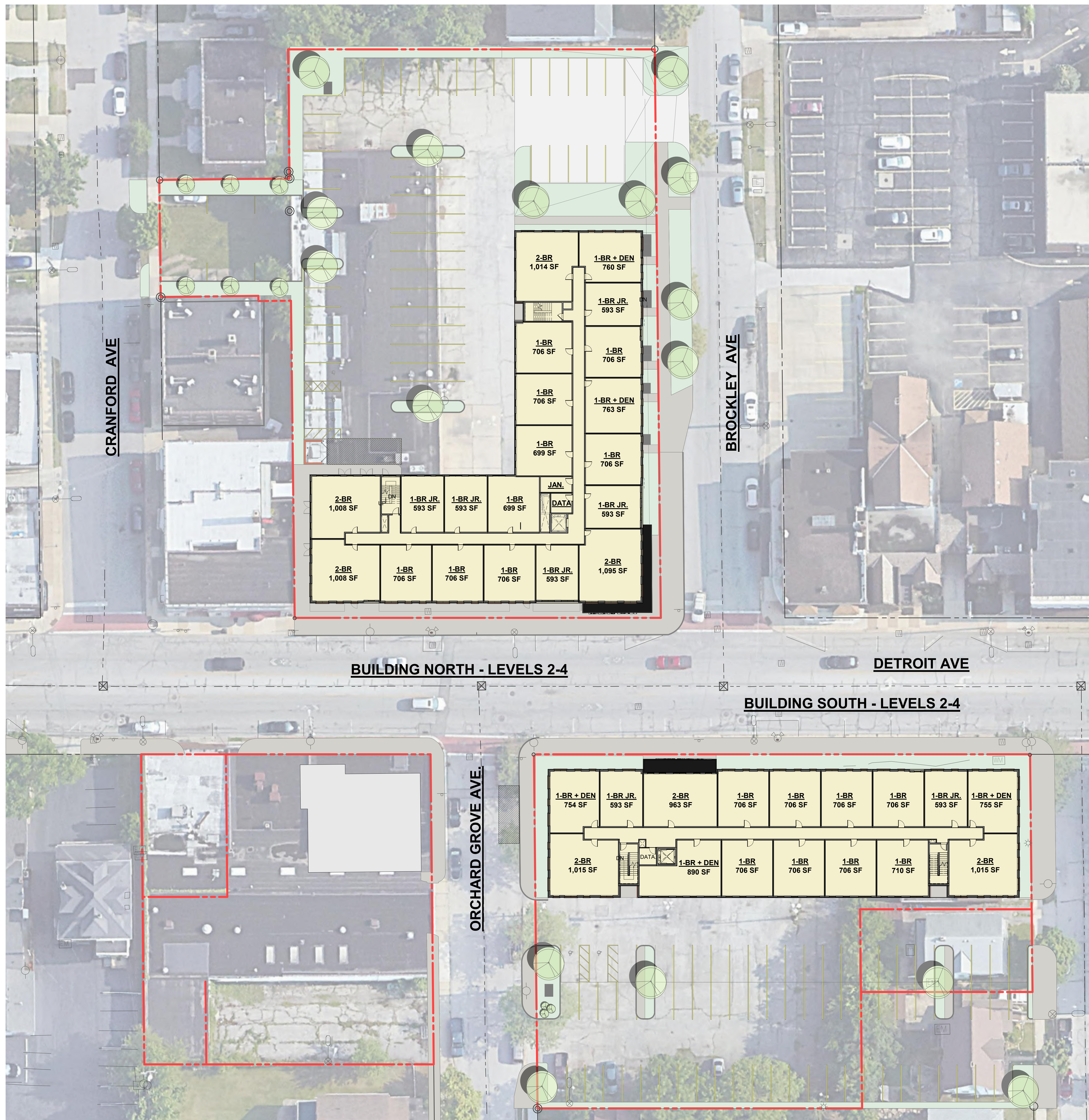
**ZONING REQUIRED 124 SPACES**

**LANDSCAPE NOTES:**

**1141.02 REQUIRED LOCATIONS AND EXCEPTIONS.**  
(a) Any multi-family, commercial, or industrial use located on a lot having a rear or side lot line abutting a residential use, or a rear or side lot line abutting a public right-of-way, shall install landscaping and screening along such lot line(s), consistent with this Chapter.

**1141.04 LANDSCAPING AND SCREENING MATERIALS.**

- (a) Screening, approved by the Architectural Board of Review, may take the form of:
  - (1) A landscaped earthen berm a minimum of two (2) feet high plus plantings a minimum of two (2) feet high (a total of four [4] feet high) at all points



**GROSS BUILDING AREA**

BUILDING - NORTH	
LEVEL 01 +680	17,148 SF
LEVEL 02	17,267 SF
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<b>TOTAL</b>	<b>68,949 SF</b>
BUILDING - SOUTH	
LEVEL 01 +680	13,911 SF
LEVEL 02	13,988 SF
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<b>TOTAL</b>	<b>55,875 SF</b>
<b>TOTAL GROSS AREA</b>	<b>124,824 SF</b>

**BUILDING UNIT MIX**

UNIT TYPE	UNIT SIZE	COUNT
BUILDING - NORTH		
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<b>TOTAL # OF UNITS</b>		<b>124</b>

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<b>TOTAL</b>	<b>44,154 SF</b>
<b>TOTAL LEASEABLE AREA</b>	<b>93,529 SF</b>

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BUILDING - SOUTH PARKING	
Accessible Parking - 9'x18'	2
Covered Parking - 12'x20'	7
Standard Parking - 9'x18'	68
<b>Building - South Total</b>	<b>77</b>
<b>TOTAL PARKING PROVIDED</b>	<b>153</b>

**AMENITIES & BLDG SERVICES**

BUILDING - NORTH	
AMENITIES	2,116 SF
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RETAIL	1,573 SF
BUILDING - SOUTH	
BUILDING SERVICES	1,240 SF
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RETAIL\*  
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RESIDENTIAL: MINIMUM 1 SPACE PER DWELLING UNIT (124).

**ZONING REQUIRED 124 SPACES**

**LANDSCAPE NOTES:**

**1141.02 REQUIRED LOCATIONS AND EXCEPTIONS.**

(a) Any multi-family, commercial, or industrial use located on a lot having a rear or side lot line abutting a residential use, or a rear or side lot line abutting a public right-of-way, shall install landscaping and screening along such lot line(s), consistent with this Chapter.

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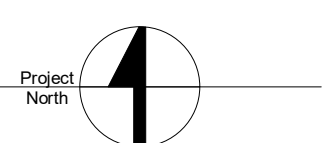
2 BUILDING SOUTH - TYPICAL UPPER FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1 BUILDING SOUTH - FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1 BUILDING NORTH - FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"





1 BUILDING NORTH - TYPICAL UPPER FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



4 BUILDING SOUTH - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 BUILDING SOUTH - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 BUILDING SOUTH - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1 BUILDING SOUTH - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
	<b>EXTERIOR MASONRY</b> FACE BRICK, TYPICAL RUNNING BOND, EXTRUDED YANKEE HILL, OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR MASONRY</b> FACE BRICK, SOLDIER COURSE, EXTRUDED YANKEE HILL, OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR CLADDING</b> PACCLAD CONCEALED FASTENER METAL PANEL SYSTEM PROFILE: BOX RIB COLOR: GRAPHITE
	<b>EXTERIOR CLADDING</b> PACCLAD EXPOSED FASTENER METAL PANEL SYSTEM PROFILE: M-36 PANEL COLOR: GRAPHITE
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT TEXTURE: FLAT COLOR: CHARCOAL
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT, DETAIL TRIM TEXTURE: FLAT COLOR: CHARCOAL
	<b>CANOPY</b> METAL COMPOSITE MATERIAL (MCM) COLOR: BLACK
	<b>COPING</b> ALUMINUM COPING COLOR TO MATCH FC-1
	<b>ALUMINUM STOREFRONT</b> COLOR: BLACK GLAZING: TBD
	<b>VINYL WINDOWS</b> COLOR: BLACK GLAZING: TBD

**NOTE:** EXTERIOR LIGHT SHOWN IN ELEVATIONS: KITCHLER CYLINDER  
2 LIGHT 12" TALL OUTDOOR WALL SCONCE

EXTERIOR MATERIALS LEGEND	
	<b>EXTERIOR MASONRY</b> FACE BRICK, TYPICAL RUNNING BOND, EXTRUDED YANKEE HILL, OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR MASONRY</b> FACE BRICK, SOLDIER COURSE, EXTRUDED YANKEE HILL, OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR CLADDING</b> PACCLAD CONCEALED FASTENER METAL PANEL SYSTEM PROFILE: BOX RIB 1 COLOR: GRAPHITE
	<b>EXTERIOR CLADDING</b> PACCLAD EXPOSED FASTENER METAL PANEL SYSTEM PROFILE: M-36 PANEL COLOR: GRAPHITE
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT TEXTURE: FLAT COLOR: CHARCOAL
	<b>EXTERIOR DETAIL</b> SMOOTH FIBER CEMENT, DETAIL TRIM TEXTURE: FLAT COLOR: CHARCOAL
	<b>CANOPY</b> METAL COMPOSITE MATERIAL (MCM) COLOR: BLACK
	<b>COPING</b> ALUMINUM COPING COLOR TO MATCH FC-1
	<b>ALUMINUM STOREFRONT</b> COLOR: BLACK GLAZING: TBD
	<b>VINYL WINDOWS</b> COLOR: BLACK GLAZING: TBD

**NOTE:** EXTERIOR LIGHT SHOWN IN ELEVATIONS: KITCHLER CYLINDER  
2 LIGHT 12" TALL OUTDOOR WALL SCONCE



6 BUILDING NORTH - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



5 BUILDING NORTH - WEST ELEVATION 1  
SCALE: 1/8" = 1'-0"



4 BUILDING NORTH - WEST ELEVATION 2  
SCALE: 1/8" = 1'-0"



3 BUILDING NORTH - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 BUILDING NORTH - NORTH ELEVATION 2  
SCALE: 1/8" = 1'-0"



1 BUILDING NORTH - EAST ELEVATION 1  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
	<b>EXTERIOR MASONRY</b> FACE BRICK, TYPICAL RUNNING BOND, EXTRUDED YANKEE HILL - OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
	<b>EXTERIOR MASONRY</b> FACE BRICK, SOLDIER COURSE, EXTRUDED YANKEE HILL - OLD FORT COLOR: RED BRICK SIZE: MODULAR MORTAR: TBD
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	<b>CANOPY</b> METAL COMPOSITE MATERIAL (MCM) COLOR: BLACK
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	<b>ALUMINUM STOREFRONT</b> COLOR: BLACK GLAZING: TBD
	<b>VINYL WINDOWS</b> COLOR: BLACK GLAZING: TBD

**NOTE:** EXTERIOR LIGHT SHOWN IN ELEVATIONS: KITCHLER CYLINDER  
2 LIGHT 12" TALL OUTDOOR WALL SCONCE



3 TYPICAL RESIDENTIAL WINDOW DESIGN - DETROIT AVE.  
SCALE: 1/4" = 1'-0"

24" TALL X 3" DEEP REVERSE CHANNEL LETTERS .090 ALUMINUM CONSTRUCTION

LETTERS ARE TO BE SECURED USING A STRUCTURE OF FABRICATED BRACKETS AND BACKING RAIL WHICH WILL MOUNT TO THE CANOPY DECKING AND ALSO PERMIT FOR THE BASE OF THE LETTERS TO BE ELEVATED TO CLEAR THE PARAPET.

FINISH TBD OR MATCH THE CANOPY COLOR

8" TALL X 5" DEEP CHARACTERS MACHINED FROM SOLID ALUMINUM ATTACHMENT WILL BE USING PIN-MOUNTED LEGS AND STAND-OFFS FINISH TBD OR MATCH THE CANOPY COLOR

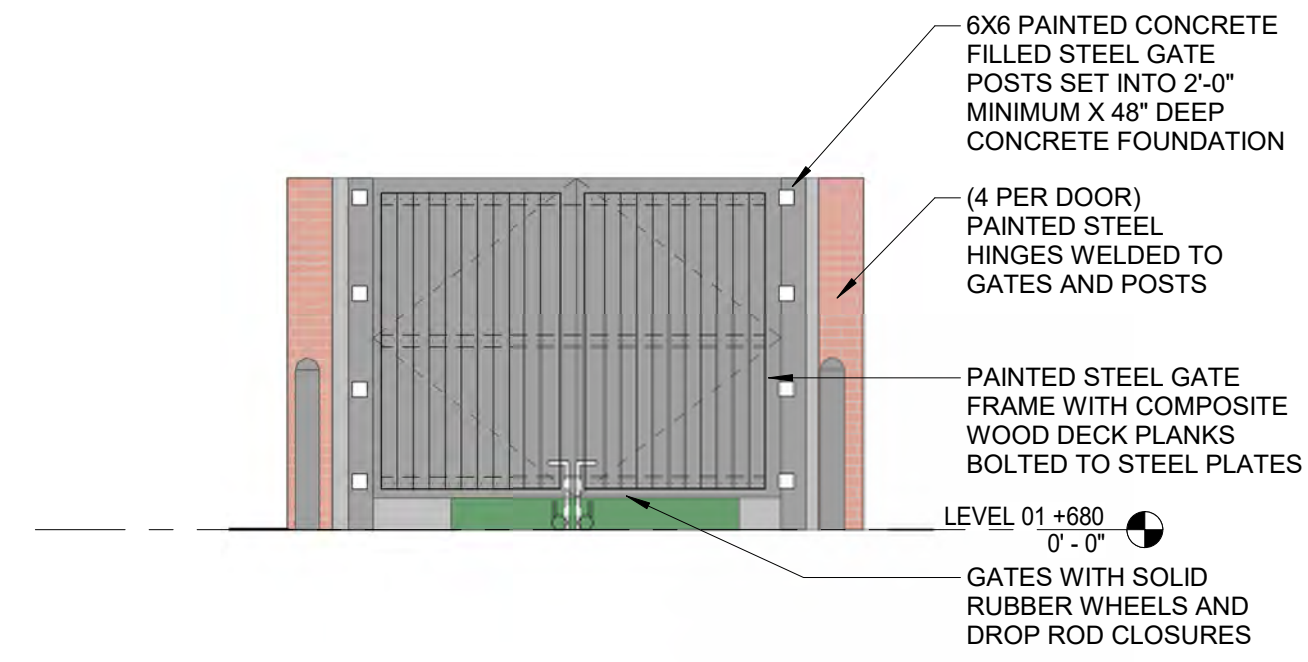


2 BUILDING NORTH - SIGNAGE  
SCALE: 1/4" = 1'-0"

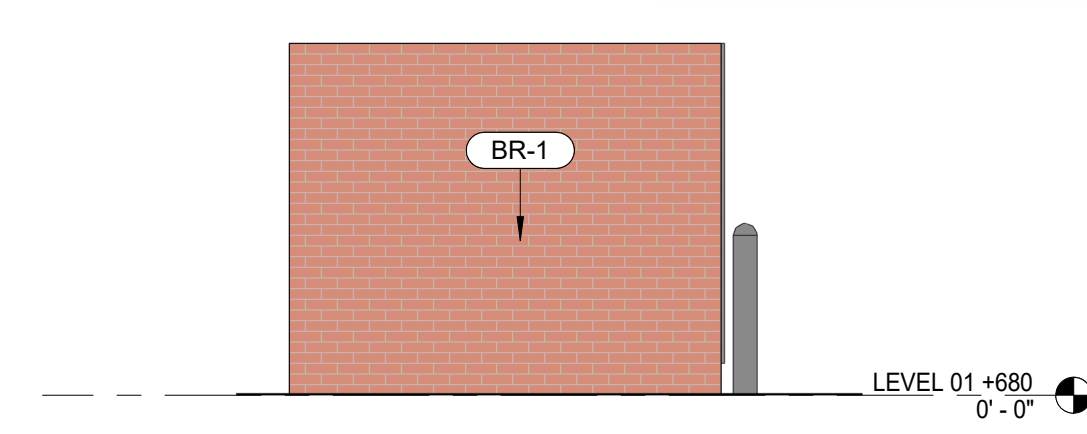
8" TALL X 5" DEEP CHARACTERS MACHINED FROM SOLID ALUMINUM ATTACHMENT WILL BE USING PIN-MOUNTED LEGS AND STAND-OFFS FINISH TBD OR MATCH THE CANOPY COLOR



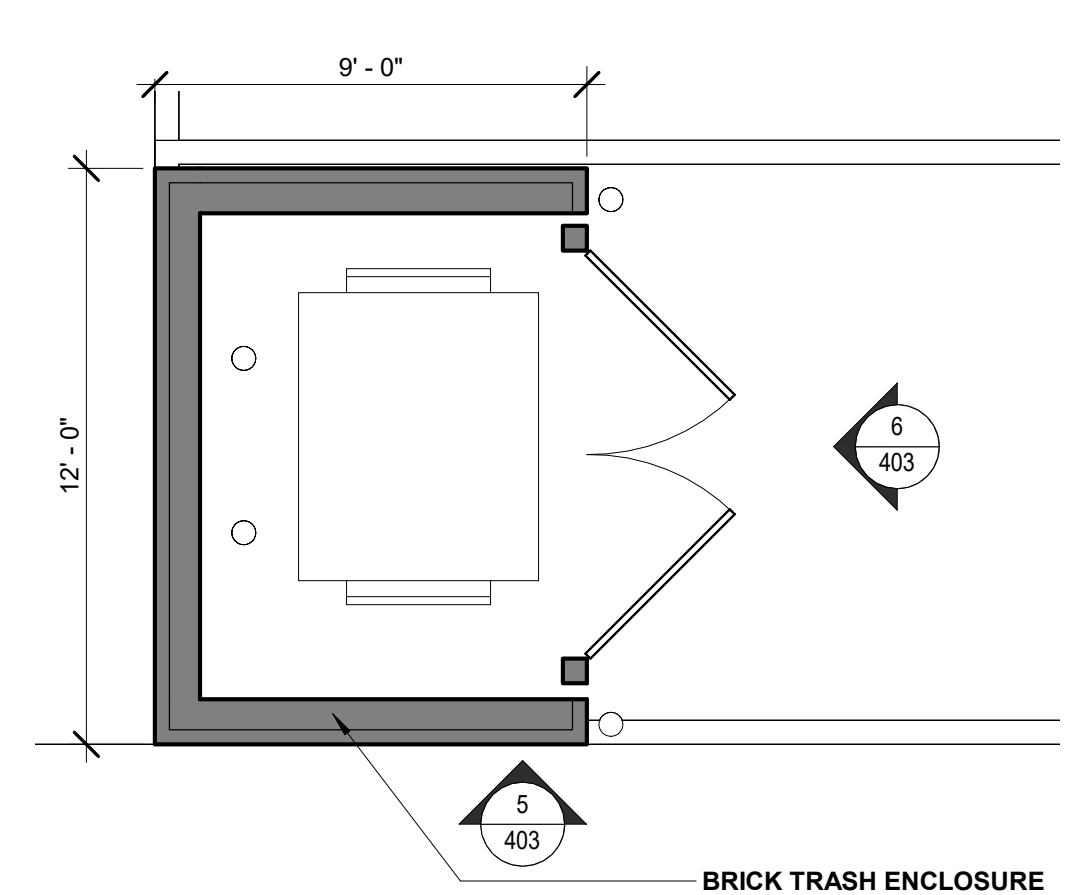
1 BUILDING SOUTH - SIGNAGE  
SCALE: 1/4" = 1'-0"



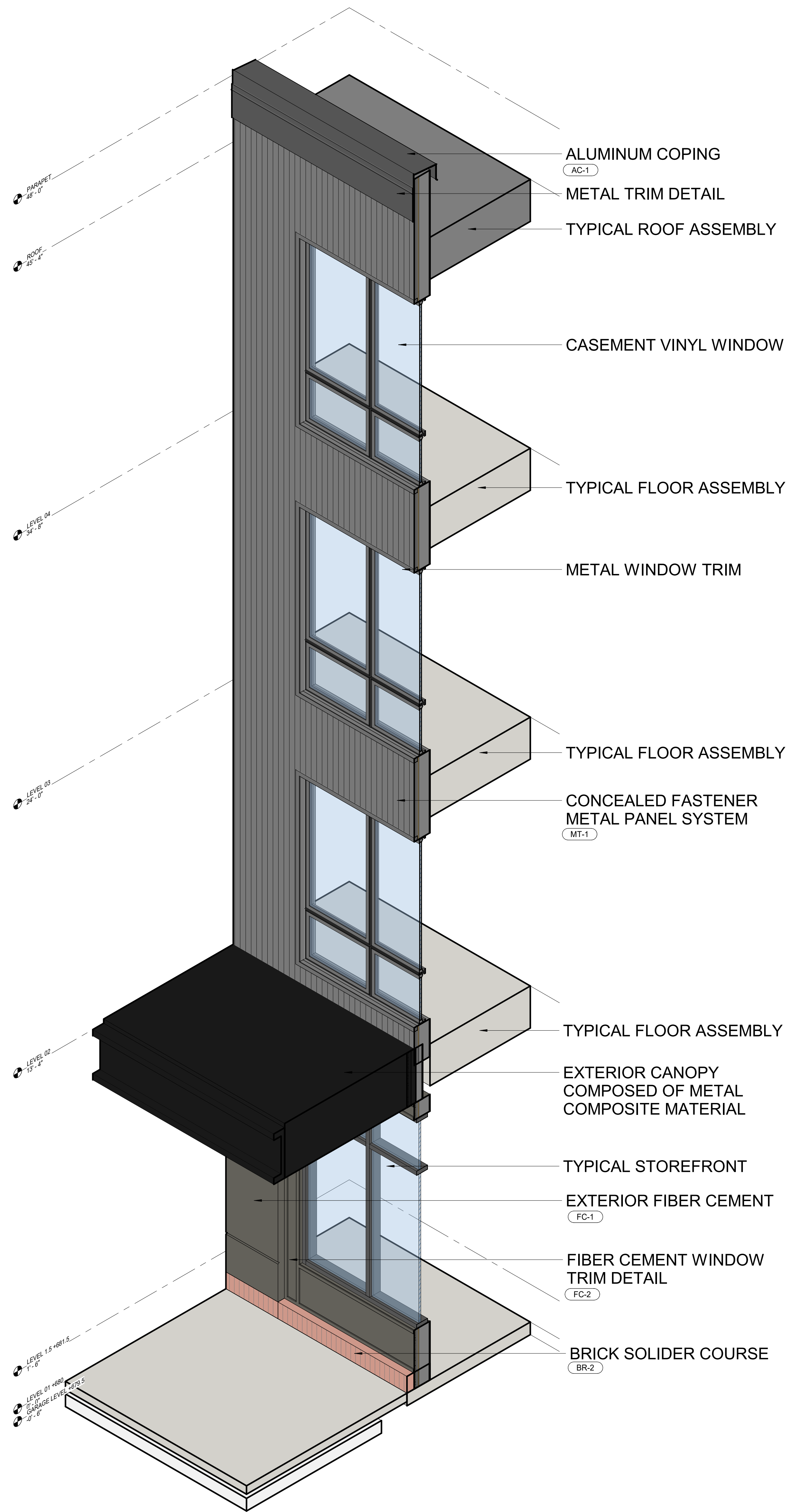
6 BUILDING NORTH - TRASH ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"



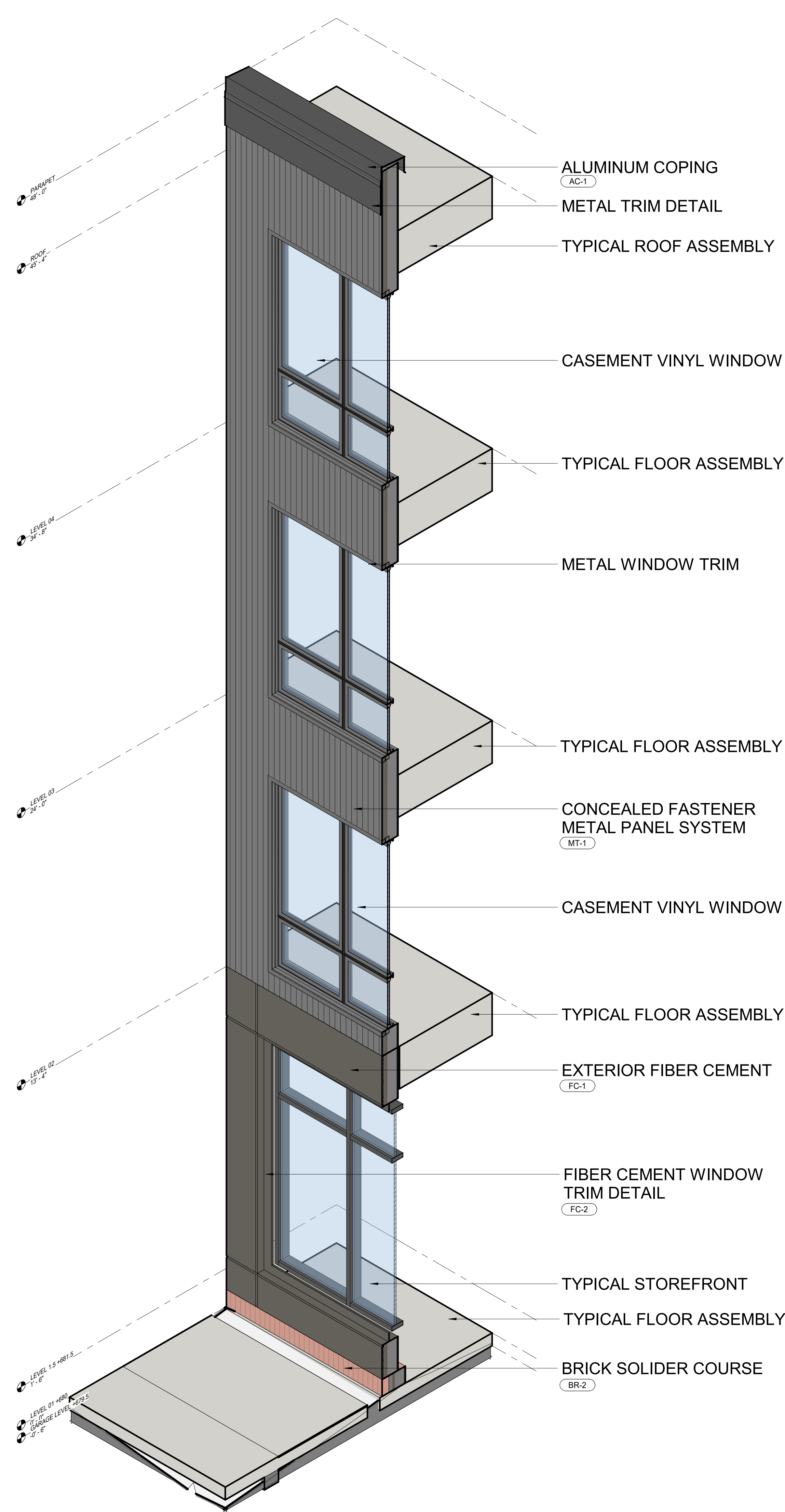
5 BUILDING NORTH - TRASH ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"



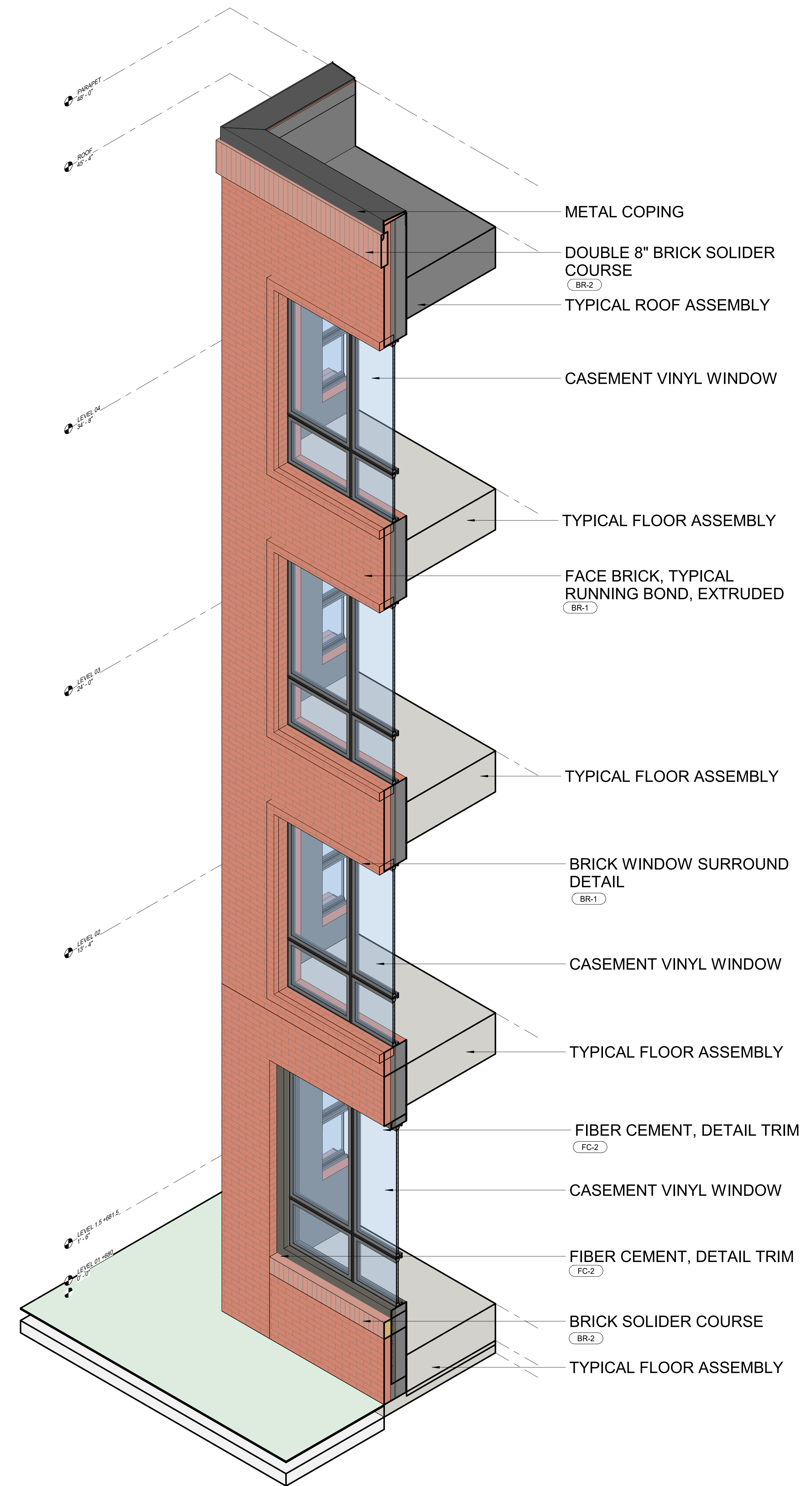
4 BUILDING NORTH - TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



1 TYPICAL STOREFRONT CANOPY - METAL PANEL WALL AXON  
SCALE:



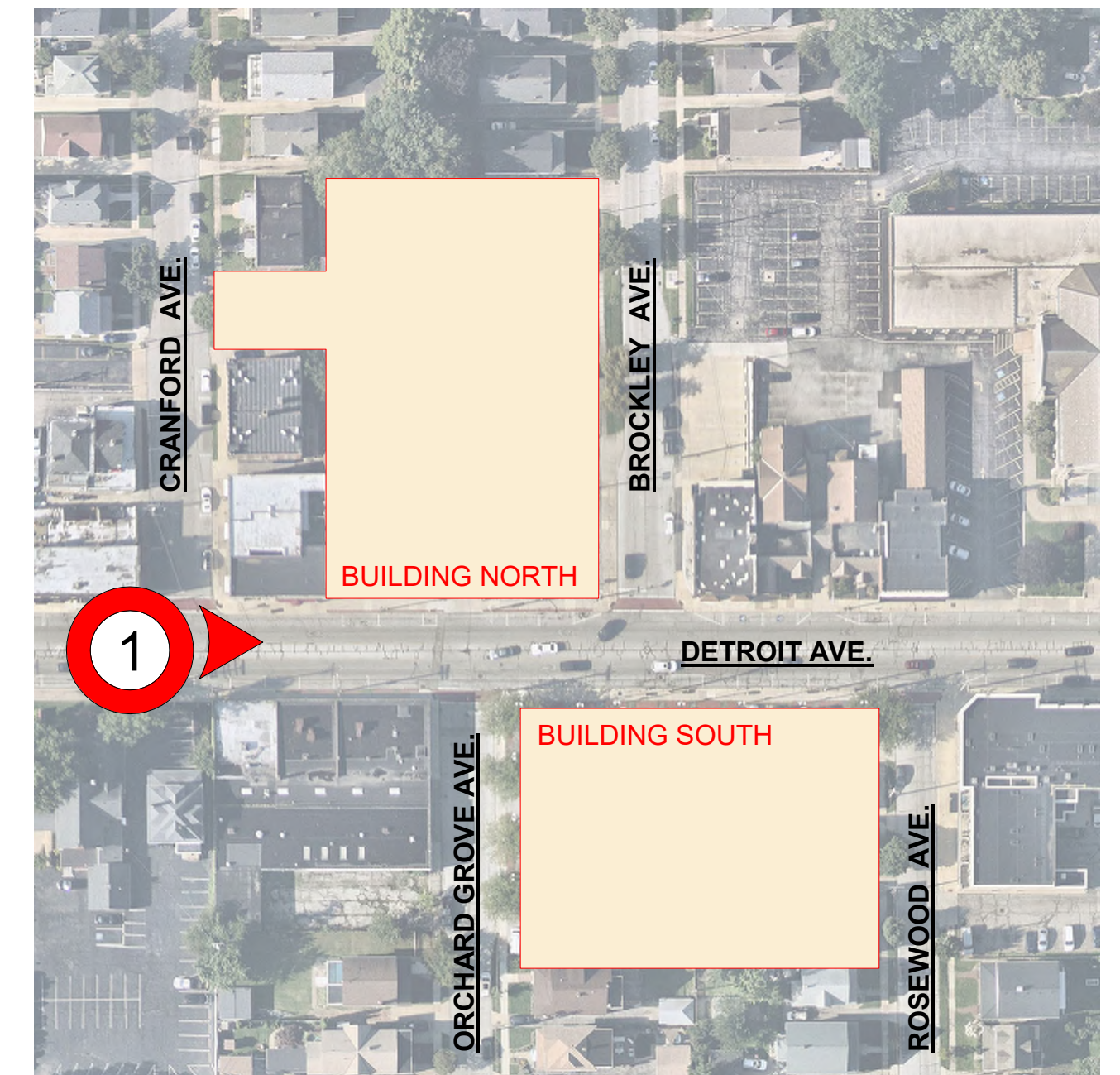
2 TYPICAL METAL PANEL FENESTRATION - WALL AXON  
SCALE:



3 TYPICAL BRICK FENESTRATION - WALL AXON  
SCALE:



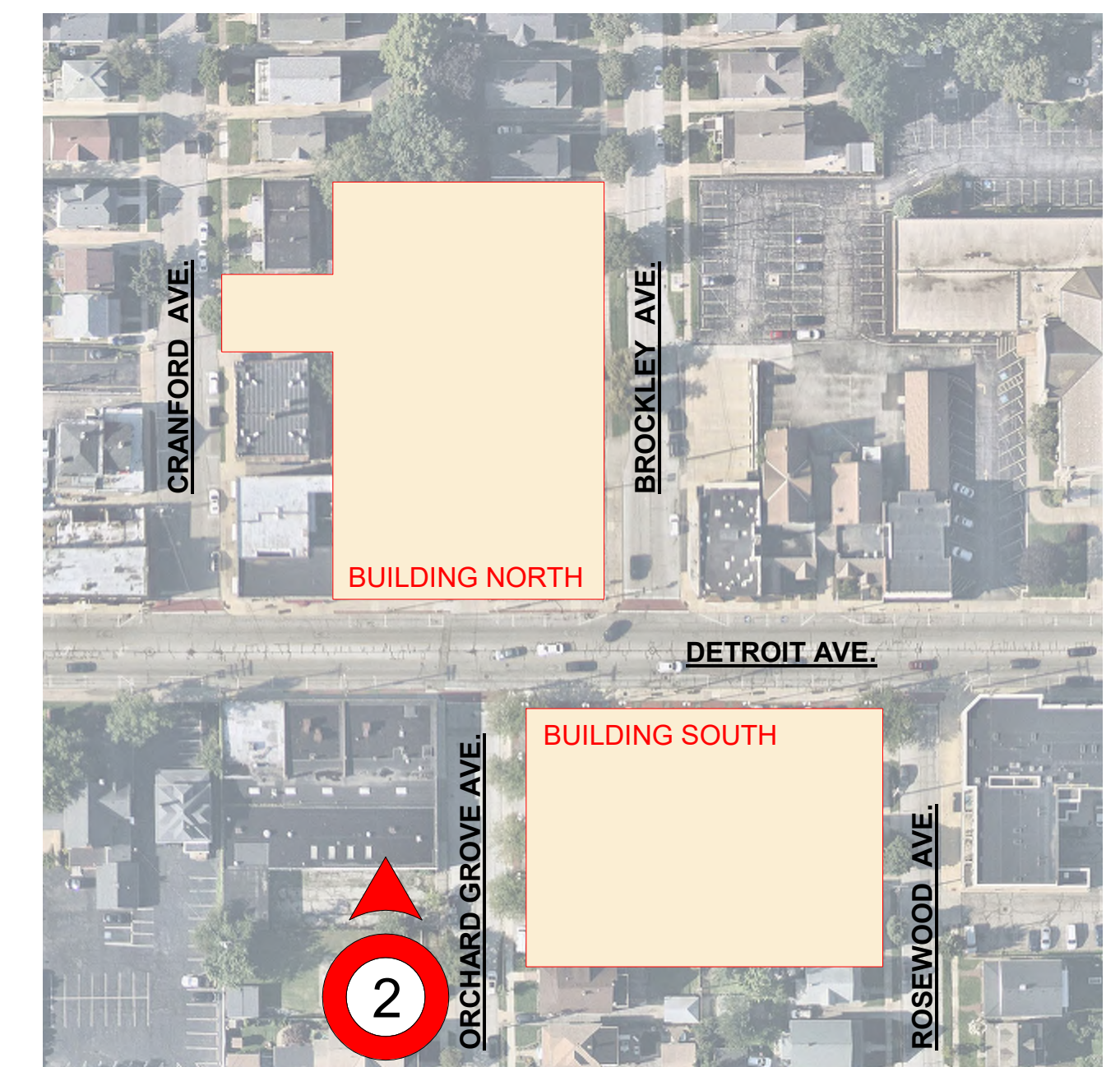
1. BUILDING NORTH & SOUTH - CORNER OF DETROIT AVENUE & CRANFORD AVENUE



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



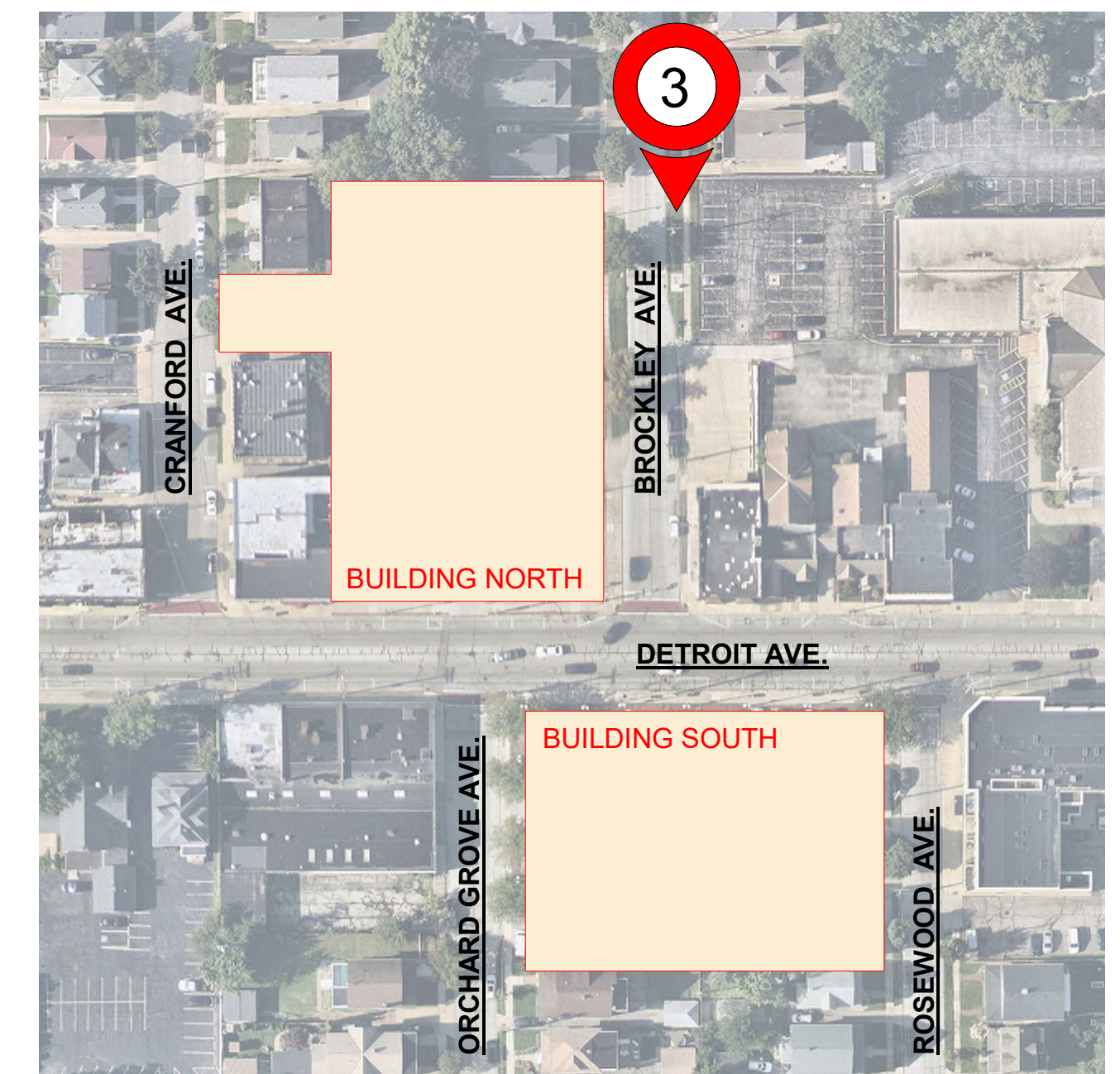
2. BUILDING NORTH & SOUTH - ORCHARD GROVE AVENUE LOOKING NORTH



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



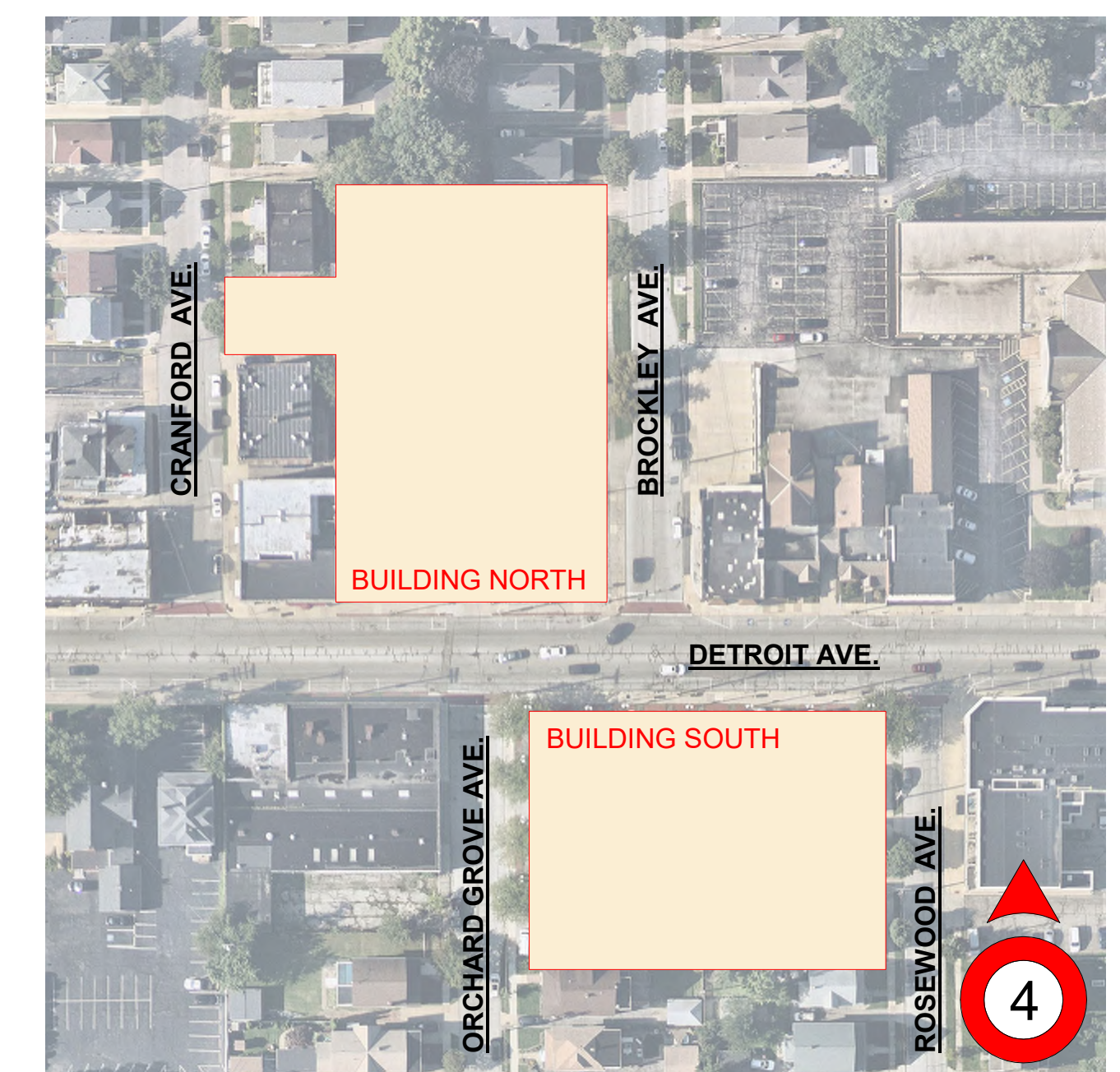
3. BUILDING NORTH & SOUTH - BROCKLEY AVENUE LOOKING NORTH



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



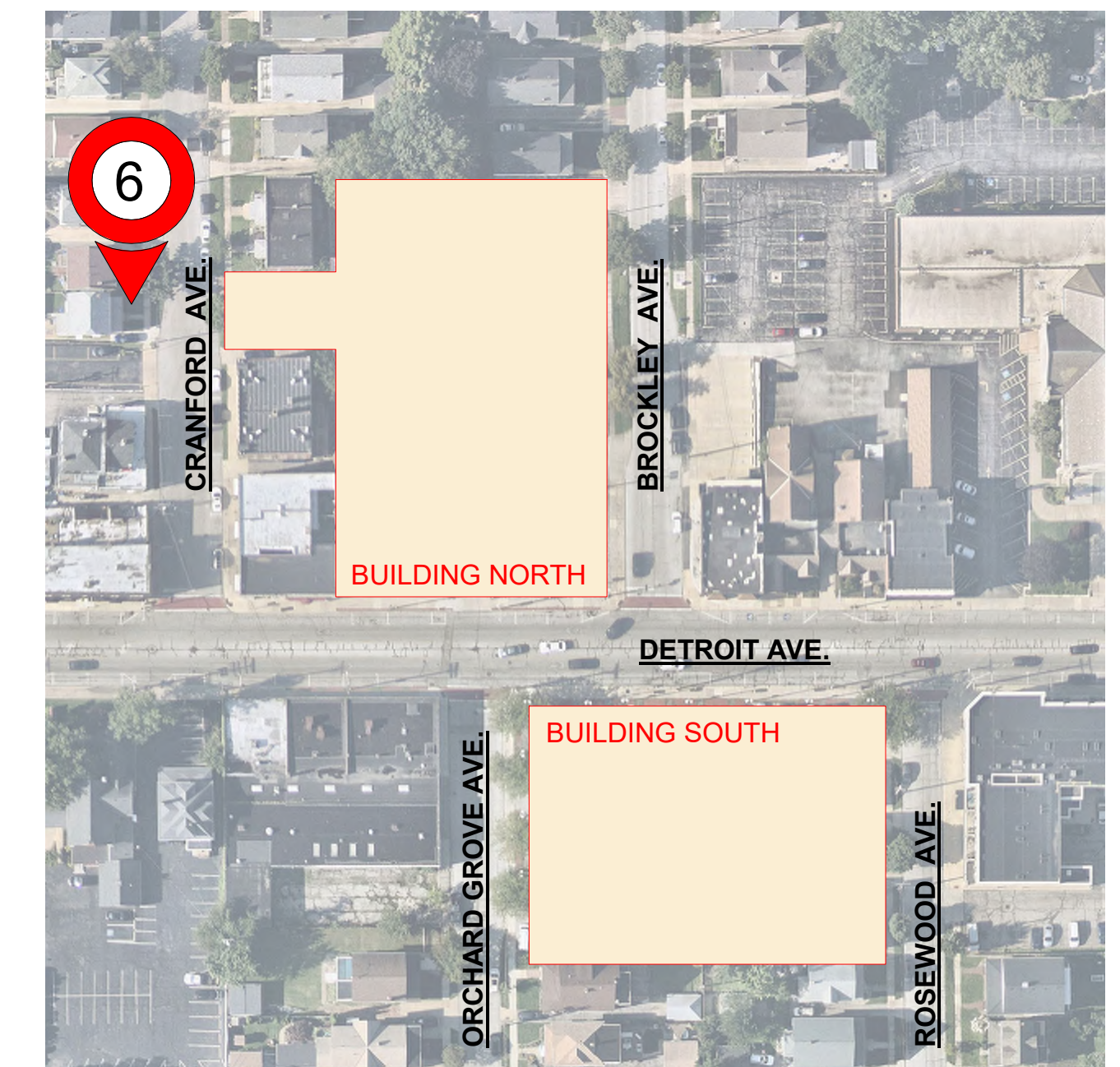
4. BUILDING SOUTH - ROSEWOOD AVENUE LOOKING NORTH



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



6. BUILDING NORTH - CRANFORD AVENUE LOOKING SOUTH

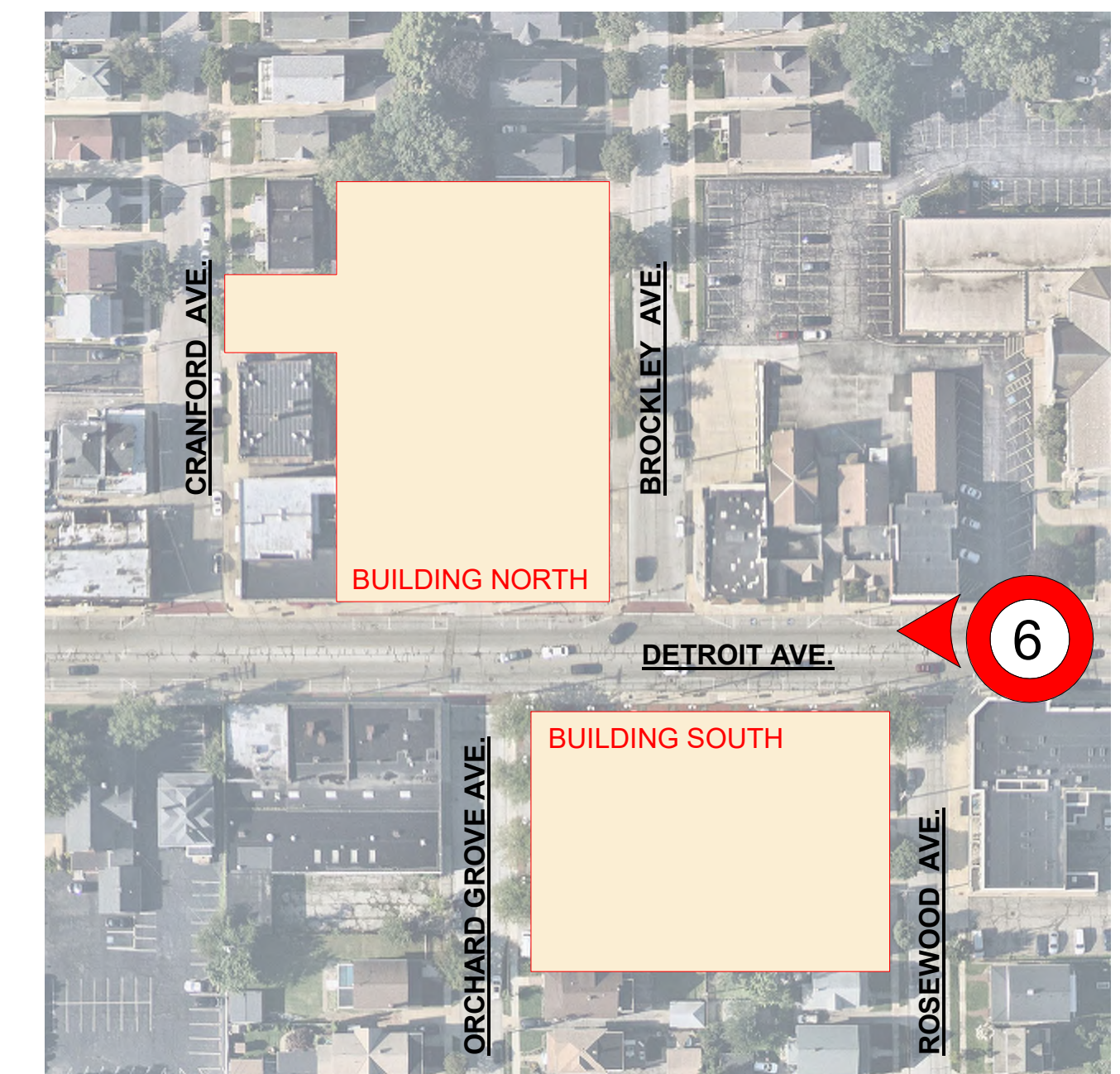


1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"





5. BUILDING NORTH & SOUTH - INTERSECTION OF ROSEWOOD AVENUE & DETROIT AVENUE



1 EXISTING CONTEXT LOCATION MAP  
SCALE: 1/2" = 1'-0"



BUILDING SOUTH - WEST PERSPECTIVE



BUILDING SOUTH - SOUTH PERSPECTIVE



BUILDING NORTH - SOUTH ELEVATION



BUILDING NORTH - CORNER OF DETROIT AVENUE AND BROCKLEY AVENUE



BUILDING NORTH - VIEW LOOKING SOUTH ON BROCKLEY AVENUE



BUILDING NORTH - NORTHWEST PERSPECTIVE



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

## Application Cover Page

**Docket No.: 06-20-24**

**Permit No.: PC24-000032**

**Applicant Name: Joshua Gonsalves, Vocon**

**Project Address: 16003 Detroit Ave.**

**Project Name: Huntington Bank**

**Proposal: Conditional use permit to allow for drive-through business, pursuant to section 1129.17 – supplemental regulations for drive-through facilities. The property is located in the C3, Commercial General Business district.**

May 22, 2024

City of Lakewood  
Architectural Board of Review / Planning Commission  
12650 Detroit Avenue  
Lakewood, Ohio 44107

To Whom it May Concern:

I am writing to authorize Vocon to submit plans and specifications for the Architectural Board of Review and Planning Commission for the Project located on Parcel 311-33-001 and Parcel 313-25-002 on behalf of Lakewood Detroit LLC.

Sincerely,

Mark Conzelman  
NewBrook Partners

**newbrook**  
PARTNERS

  
THE KRUEGER GROUP

May 22, 2024

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**RE: Architectural Review Board / Planning Commission – Project Narrative**

**Project Name:** Huntington National Bank – Lakewood, OH

**Project Location:** 16003 Detroit Avenue

**Vocon Project No.** 230829.00

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**16003 Detroit Avenue Retail Bank Development**

The new retail development located at 16003 Detroit Avenue is situated on a single site of 0.482 acres +/- (20,999 sf). The site is situated on the corner of Detroit Avenue and Orchard Grove Avenue to the east. The total project is approximately 2,900 gross square feet and will replace the currently vacant Buick Body Shop.

The new development's ground floor addresses the street and corner with a new retail bank designed to complement the adjacent commercial district.

**Design Approach: Enhancing Community Fabric in Lakewood, Ohio**

Within Lakewood, Ohio's Commercial District, there's an opportunity to integrate modern elements with historical context, aiming to create an urban environment that aligns with the community's values and aspirations. Our proposed development consists of a retail bank, intending to address this opportunity through a contextually sensitive and design quality.

Lakewood's Commercial District thrives on pedestrian activity, underscoring the importance of designing spaces conducive to human-scale interactions. The building prioritize pedestrian access, site continuity, and safety for customers and neighbors alike. The project prioritizes that ground floors are activated with engaging storefronts to foster vibrant pedestrian corridors.

**Contextual Integration and Adaptive Design:**

Lakewood's architectural heritage, characterized by a mix of historic and modern structures, presents an opportunity for our development. Extensive site analysis and contextual research guided us to respect the scale, materials, and character of the surrounding built environment while meeting contemporary urban needs. Our design approach integrates traditional materials like brick and metal panels, blending into the district's historic fabric, while introducing modern elements to enhance the urban experience.

**Parking and Mobility Solutions:**

Our design incorporates discreet parking solutions at the building and dedicated bicycle parking strategically located for accessibility and connectivity.

**Quality of Design and Materiality:**

Our design framework prioritizes design excellence and material integrity. Through evaluation of proportions, material properties, construction techniques, and environmental performance, we selected high-quality materials that enhance the building's aesthetic appeal, durability, sustainability, and resilience. Well-crafted masonry facades with depth of materiality and details, accents, and detail elements showcase a richness in building form and texture, elevating the architectural expression, and enriching the urban fabric of Lakewood's Commercial District.

**Conclusion:**

The design for the proposed retail building in Lakewood reflects a thoughtful and strategic approach to urban design and placemaking. By leveraging design rigor, contextual understanding, and a commitment to excellence, our aim is to create a development that enhances the community fabric.

**Building Information Summary:**

**Building North: 16000 Detroit Avenue**

Gross Retail Area: 2,900 sf +/-

Height: 20'-0"

Parking: 15

**vocon.**

DESIGN DEVELOPMENT

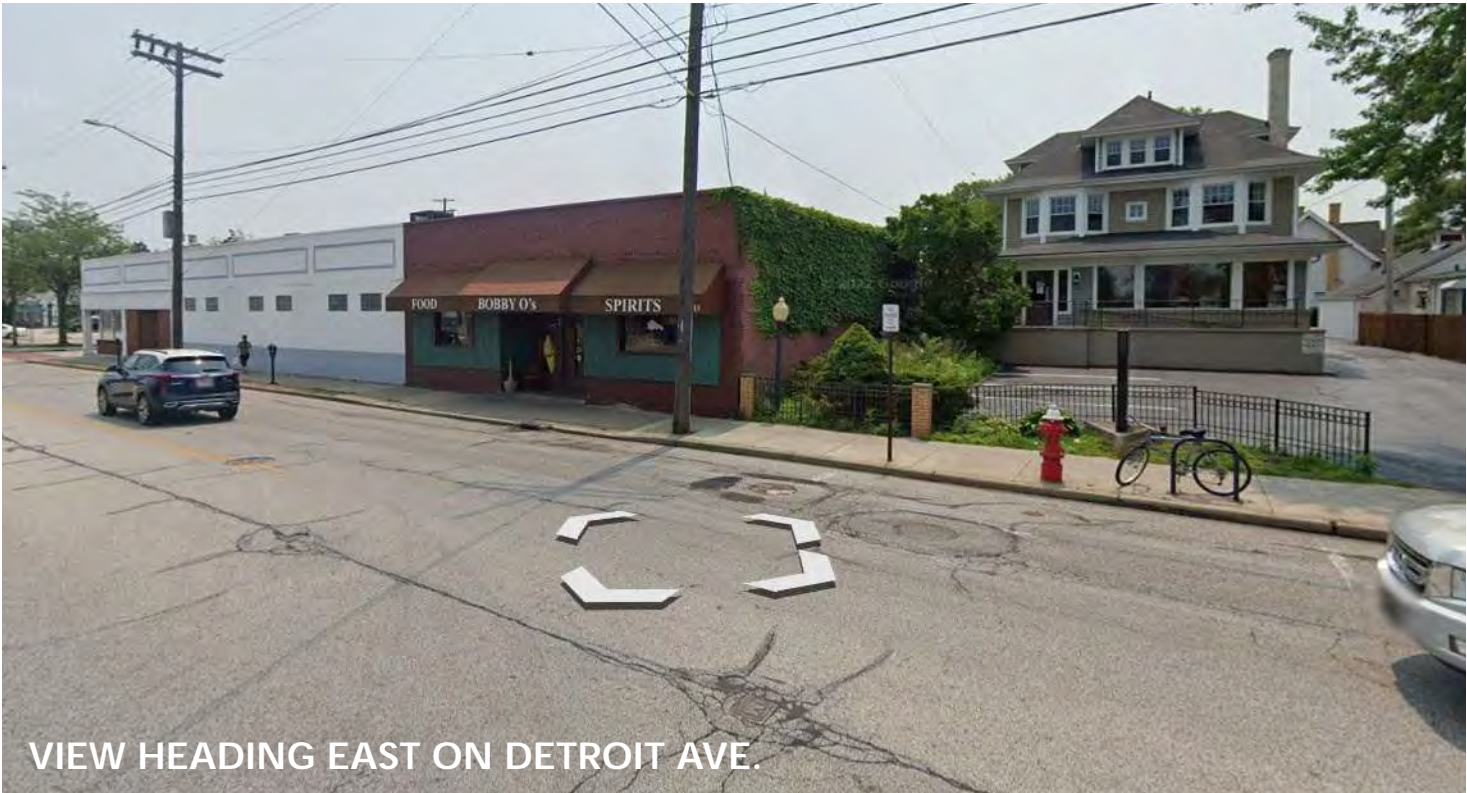
MAY 22 2024

**HUNTINGTON NATIONAL BANK  
LAKEWOOD, OHIO**





VIEW HEADING WEST ON DETROIT AVE.



VIEW HEADING EAST ON DETROIT AVE.



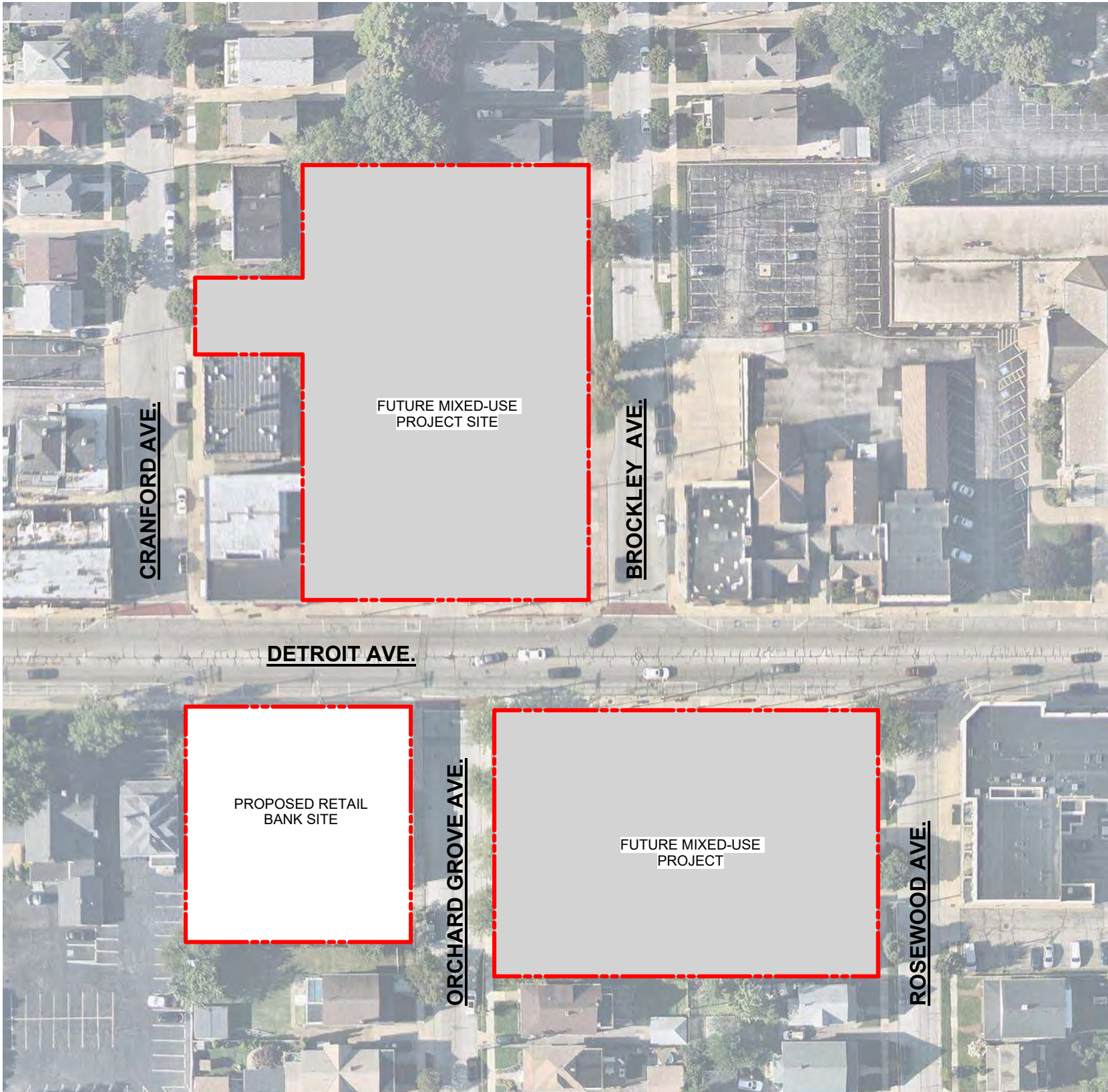
VIEW ALONG ORCHARD GROVE AVE.

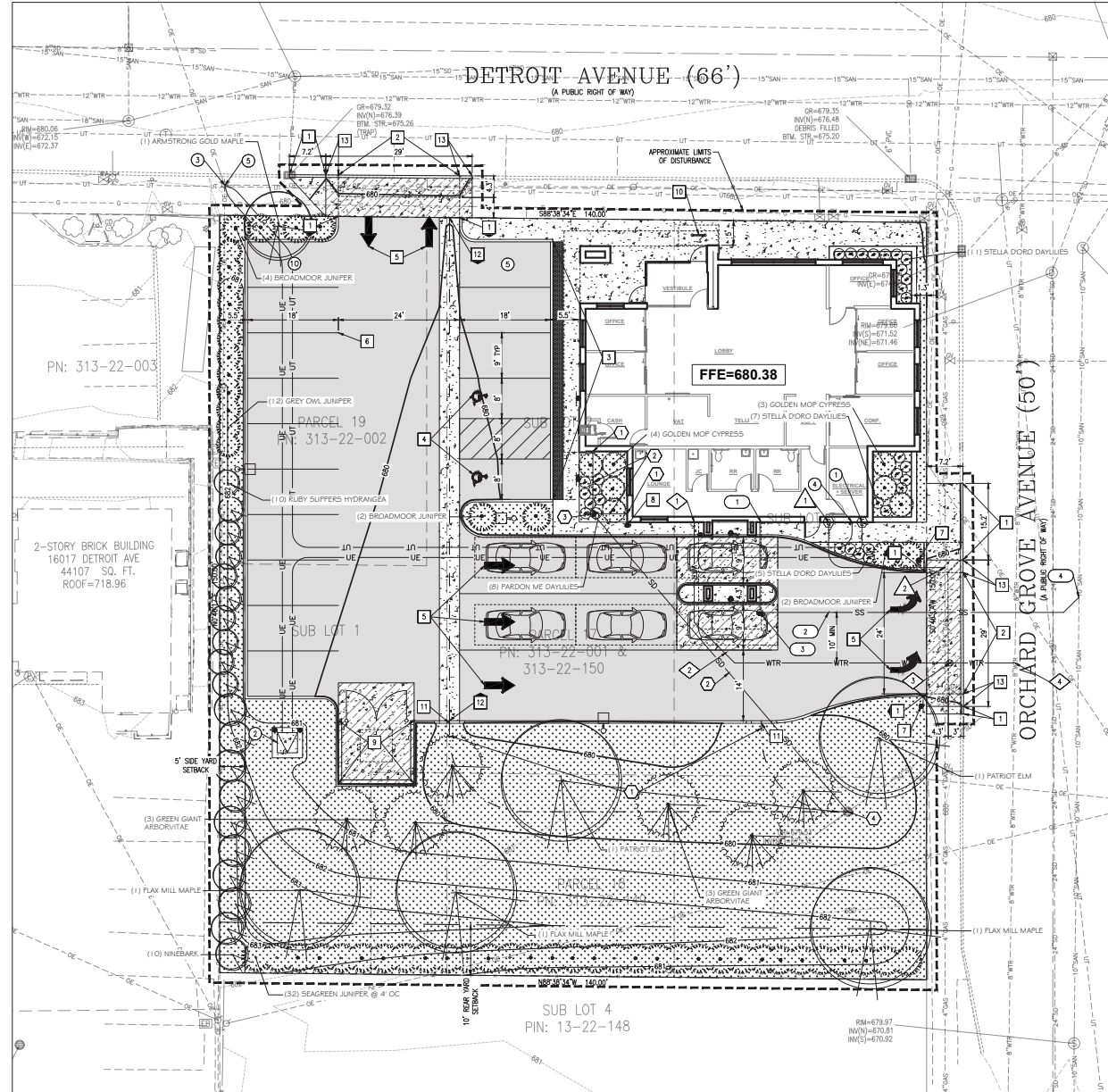


VIEW HEADING NORTH ON ORCHARD GROVE AVE.

DESIGN DEVELOPMENT | Existing Conditions | Precedents Along Detroit Ave.







**SURVEY NOTES:**

1. TOPOGRAPHIC/BOUNDARY SURVEY PROVIDED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DATED JUNE 22, 2023.
2. BASIS OF BEARINGS: TSD.
3. DATUM: TED.
4. BENCHMARK: TSD.
5. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LAKEWOOD, OHIO AND OHIO STANDARDS AND SPECIFICATIONS.
2. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
3. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
4. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE COVERED BY LOCAL CODES.
5. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**ACCESSIBILITY NOTES:**

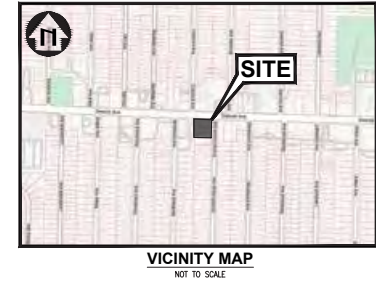
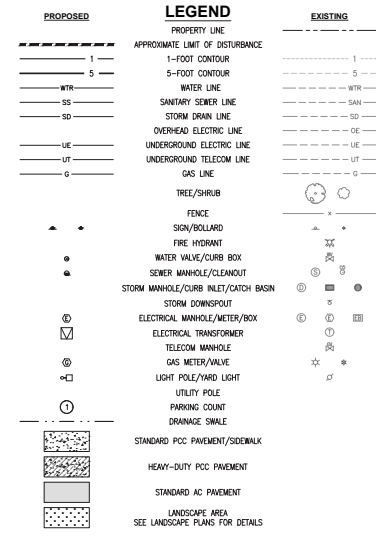
1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE LATEST OHIO ACCESSIBILITY CODE, AND WITH THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITION.
2. RAMP SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
3. RAMP ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:25 (4%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 4 FEET AND A MINIMUM CROSS-SLOPE OF 2%. RAMP EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (OR MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES. BOTTOM LANDINGS AT CHANGES IN RAMP DIRECTION SHALL HAVE A MINIMUM LENGTH OF 72 INCHES.
4. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
5. ALL WALKS SHALL HAVE A MINIMUM 4 FOOT CLEAR WIDTH FOR ACCESSIBLE CONSTRUCTION.

**UTILITY NOTES:**

1. EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
2. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
3. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
4. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
5. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**SITE PLAN KEY NOTES**

1. PROPOSED "TYPE 6" PCC 6" TALL BARRIER CURB, PER CITY OF LAKEWOOD DETAIL P-8
2. PROPOSED COMMERCIAL DRIVEWAY ENTRANCE, PER CITY OF LAKEWOOD DETAIL P-2
3. PROPOSED FLUSH CURB WITH DETECTABLE WARNING TRUNCATED DOWNS
4. PROPOSED ACCESSIBLE PARKING STALL WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA WITH PAVEMENT MARKINGS, AND SIGNAGE
5. PROPOSED PAVEMENT DIRECTIONAL ARROW AND/OR TEXT, TRAFFIC WHITE PAINT, MINIMUM TWO COATS, DIMENSIONS PER MUTCD STANDARDS (DTP)
6. PROPOSED 4" WIDE PARKING STALL STRIPING, TRAFFIC WHITE PAINT, MINIMUM 2 COATS
7. PROPOSED "DO NOT ENTER" RS-1 SIGN
8. PROPOSED BOLLARD
9. PROPOSED WALLED TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS.
10. PROPOSED BIKE RACK, SEE ARCHITECTURAL PLANS.
11. PROPOSED CURB CUT FOR STORMWATER CONVEYANCE
12. PROPOSED 4" WIDE PCC VALLEY GUTTER
13. PROPOSED TRANSITIONAL (6" TO 0" HEIGHT) CURB



**SITE INFORMATION:**

APN: 313-22-001, 313-22-002, 313-22-149 and 313-22-150  
 ZONING: C-3 (GENERAL BUSINESS DISTRICT)  
 FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "X (UNSHADED)" PER FIRM MAP NO. 380302046F WITH AN EFFECTIVE DATE OF AUGUST 15, 2019. ZONE X IS DEFINED AS "AREA SUBJECT TO MINIMAL FLOODING"

SUMMARY:	
TOTAL PARCEL AREA	220,999 SF (40.482 ACRES)
TOTAL DISTURBED AREA	241,602 SF (44.488 ACRES)
PROPOSED BUILDING FOOTPRINT	82,875 SF

DISTURBED AREA SUMMARY:	
IMPERVIOUS AREA	211,521 SF
PERVIOUS AREA	281 SF
CHANGE IN IMPERVIOUS AREA	18,311 SF DECREASE

YARD SETBACKS:	
FRONT (NORTH/EAST)	0'-5'
SIDE (WEST)	5' (10' ABUTS RESIDENTIAL)
REAR (SOUTH)	HAZ BUILDING HT. OR 5' MIN. (10' ABUTS RESIDENTIAL)

PARKING SUMMARY:	
STANDARD STALLS (8'x18')	13
ADA STALLS (8'x18')	2
TOTAL	15
BIKE RACK	1

\* MIN. 1 EACH FOR 1,000 SF. GFA. MAX. 2.5 FOR EACH 1,000 SF. GFA. (MIN 3 SPACES. MAX 8 SPACES FOR 2,875 SF.)  
 \*\* ONE BIKECYCLE PARKING SPACE PER 2,500 SF. SHALL BE PROVIDED FOR USES DEFINED AS RETAIL OR OFFICE.



**SANITARY SEWER KEY NOTES**

1. BUILDING POINT OF CONNECTION (SEWER). SEE MEP PLANS FOR CONTINUATION.
2. PROPOSED SANITARY SDR 35 PVC SEWER SERVICE PIPE, TRENCH AND BACKFILL PER CITY OF LAKEWOOD DETAIL W-1.
3. PROPOSED TWO-WAY CLEANOUT, PER CITY OF LAKEWOOD DETAIL S-4.
4. PROPOSED SANITARY SEWER LATERAL CONNECTION TO EXISTING 10" SANITARY SEWER MAIN, PER CITY OF LAKEWOOD DETAIL S-8.

**WATER KEY NOTES**

1. BUILDING POINT OF CONNECTION (WATER). SEE MEP PLANS FOR CONTINUATION.
2. PROPOSED WATER SERVICE, TRENCH AND BACKFILL PER CITY OF LAKEWOOD DETAIL W-1.
3. PROPOSED CURB BOX, PER CITY OF LAKEWOOD DETAIL W-3.
4. PROPOSED WATER LINE CONNECTION TO EXISTING 8" WATER MAIN, PER CITY OF LAKEWOOD DETAIL W-3.

**GAS SERVICE KEY NOTES**

1. BUILDING POINT OF CONNECTION (GAS). GAS METER MOUNTED TO SIDE OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
2. CONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE.

**STORM DRAIN KEY NOTES**

1. PROPOSED BUILDING DOWNSPOUTS
2. PROPOSED STORM DRAIN LINE, TRENCH AND BACKFILL PER CITY OF LAKEWOOD DETAIL W-1.
3. PROPOSED TWO-WAY CLEANOUT
4. CONNECT TO EXISTING STRUCTURE, ADJUST RM TO FINISHED GRADE, LOWER BY 24".
5. PROPOSED VEGETATIVE SWALE/BMP, LONGITUDINAL SLOPE = 0.5%

**DRY UTILITY KEY NOTES**

1. BUILDING POINT OF CONNECTION (ELECTRIC). ELECTRICAL METER MOUNTED TO SIDE OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
2. PROPOSED ELECTRICAL TRANSFORMER ON PCC PAD WITH PROTECTIVE BOLLARDS.
3. PROPOSED CONNECTION POINT OF PRIMARY ELECTRICAL CONDUITS TO EXISTING UTILITY POLE. COORDINATE ROUTING AND POINT OF CONNECTION WITH POWER COMPANY PRIOR TO CONSTRUCTION.
4. BUILDING POINT OF CONNECTION (TELECOM).
5. CONNECT PROPOSED TELECOM LINE TO EXISTING UTILITY POLE. COORDINATE WITH UTILITY COMPANY PRIOR TO CONNECTION.

**PLANT MATERIALS LIST**

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE	MATURE HT. (F.T.)
<b>LARGE DECIDUOUS TREES</b>			
1	ARMSTRONG GOLD MAPLE - Acer glabrum '30' Tall Tree	2-1/2" cal. DB	40' / 2'
2	PATRIOT ELM - Ulmus x 'Patriot'	2-1/2" cal. DB	50' / 40'
3	FLAX MILL MAPLE - Acer saccharum 'Nimbus'	2-1/2" cal. DB	50' / 40'
<b>EVERGREEN TREES</b>			
5	GREEN GIANT ARBORIZVITAE - Thuja plicata x stansfordii Green Giant	2-1/2" DB	40' / 15'
<b>SHRUBS</b>			
7	GOLDEN MOP CYPRESS - Chamaecyparis platensis 'Golden Mop'	2-4" DB or Cal.	3' / 4'
10	RUBY SLIPPERS HYDRANGEA - Hydrangea sp. 'Ruby Slippers'	2-4" DB or Cal.	4' / 3'
32	SEAGREEN JUNIPER - Juniperus chinensis 'Sea Green'	2-4" DB or Cal.	5' / 5'
8	BROADMOOR JUNIPER - Juniperus subnana 'Broadmoor'	2-4" DB or Cal.	3' / 3'
12	GREY OWL JUNIPER - Juniperus virginiana Gray Owl	2-4" DB or Cal.	3' / 2'
10	NINEBARK - Physocarpus opulifolius 'Diplomat'	# 5 cont. 24-30"	6' / 6'
<b>PERENNIALS</b>			
8	PARSON ME DAVIDILES - Hemerocallis x Parson Me	# 1 cont.	12' / 2'
23	STELLA DORO DAVIDILES - Hemerocallis x Stella d'Oro	# 1 cont.	12' / 2'



PROFESSIONAL SEAL:

PROPOSED COMMON IMPROVEMENTS FOR:

HUNTINGTON NATIONAL BANK LAKEWOOD OH  
 16003 DETROIT AVE. LAKEWOOD, OH 44107

JOB NUMBER: 2024-007-002

**DRAWING RELEASE:**

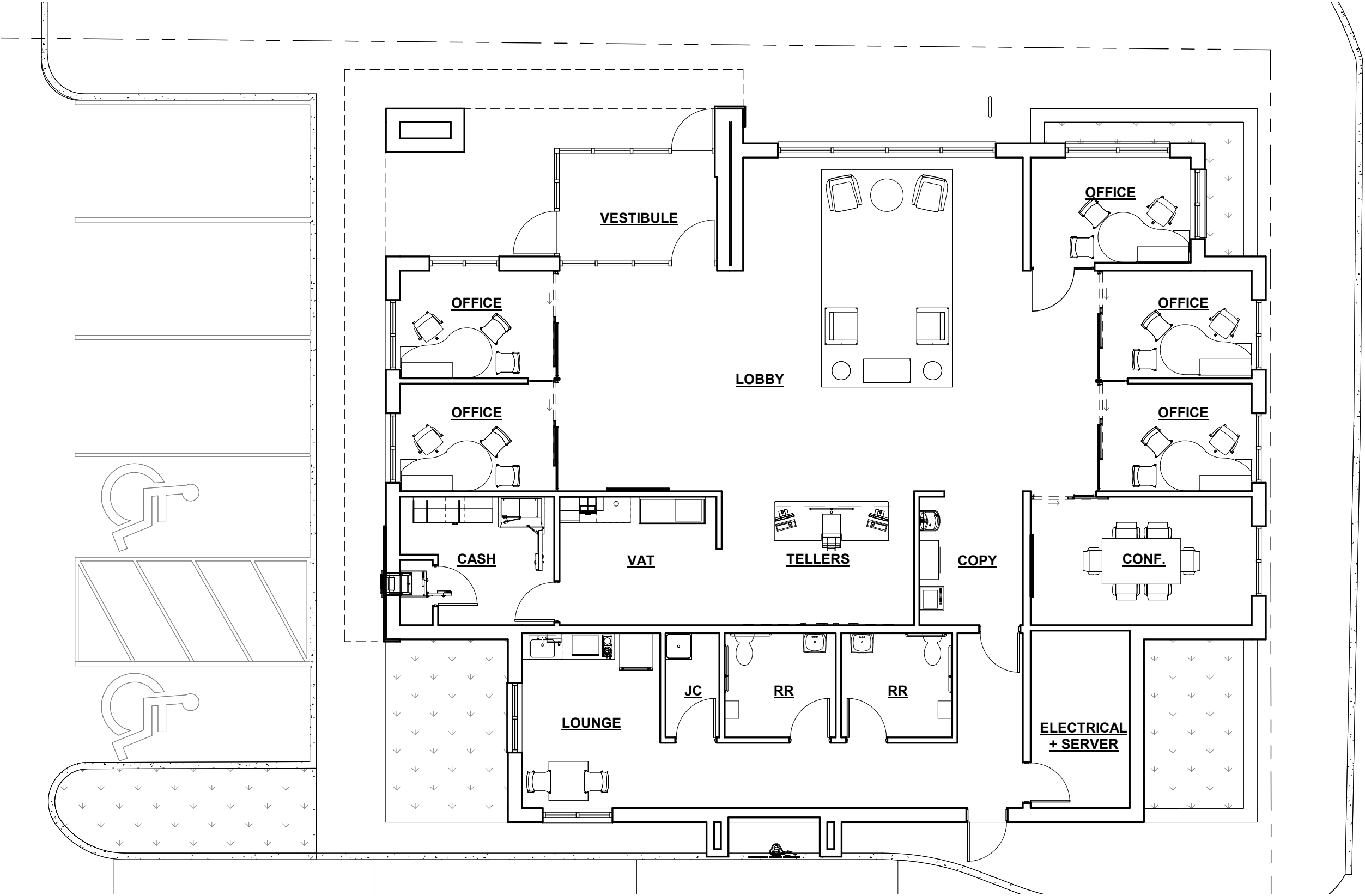
No.	Date	Description
01	05.21.2024	ISSUE FOR ABR REVIEW

SHEET TITLE:  
 SITE AND LANDSCAPE PLAN

SHEET NUMBER:

C1.0





EAST ELEVATION - ORCHARD GROVE AVE.



NORTH ELEVATION - DETROIT AVE.



WEST ELEVATION - PARKING LOT



SOUTH ELEVATION - DRIVE-UP



NORTH ELEVATION - DETROIT AVE.



1 ENDICOTT BRICK  
 COLOR: MANGANESE IRONSPOT VELOUR  
 GROUT: DARK GRAY  
 STYLE: RUNNING BOND



2 PALMETTO BRICK  
 COLOR: WHITESTONE  
 GROUT: TO MATCH BRICK  
 STYLE: RUNNING BOND



3 MAPES FLAT FASCIA CANOPY  
 COLOR: CUSTOM  
 OUTRAGEOUS GREEN  
 DIMENSIONS: 8" J PROFILE



4 KAWNEER  
 STOREFRONT SYSTEM  
 COLOR: CHARCOAL



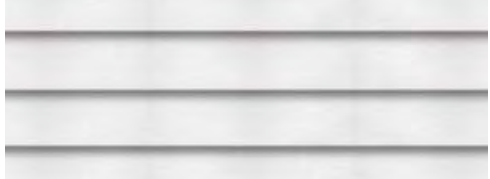
5 ROCKCAST SILLS  
 COLOR: CHARLOTTE TAN



6 ALUCOBOND METAL PANEL SYSTEM  
 COLOR: CUSTOM  
 OUTRAGEOUS GREEN



7 ALUCOBOND METAL PANEL SYSTEM  
 COLOR: CUSTOM  
 GREYMOOR RGB



8 NU-VUE CURBSPLUS  
 MECHANICAL SCREEN  
 COLOR: WARM WHITE  
 GREYMOOR RGB  
 \*NOT VISIBLE FROM GROUND

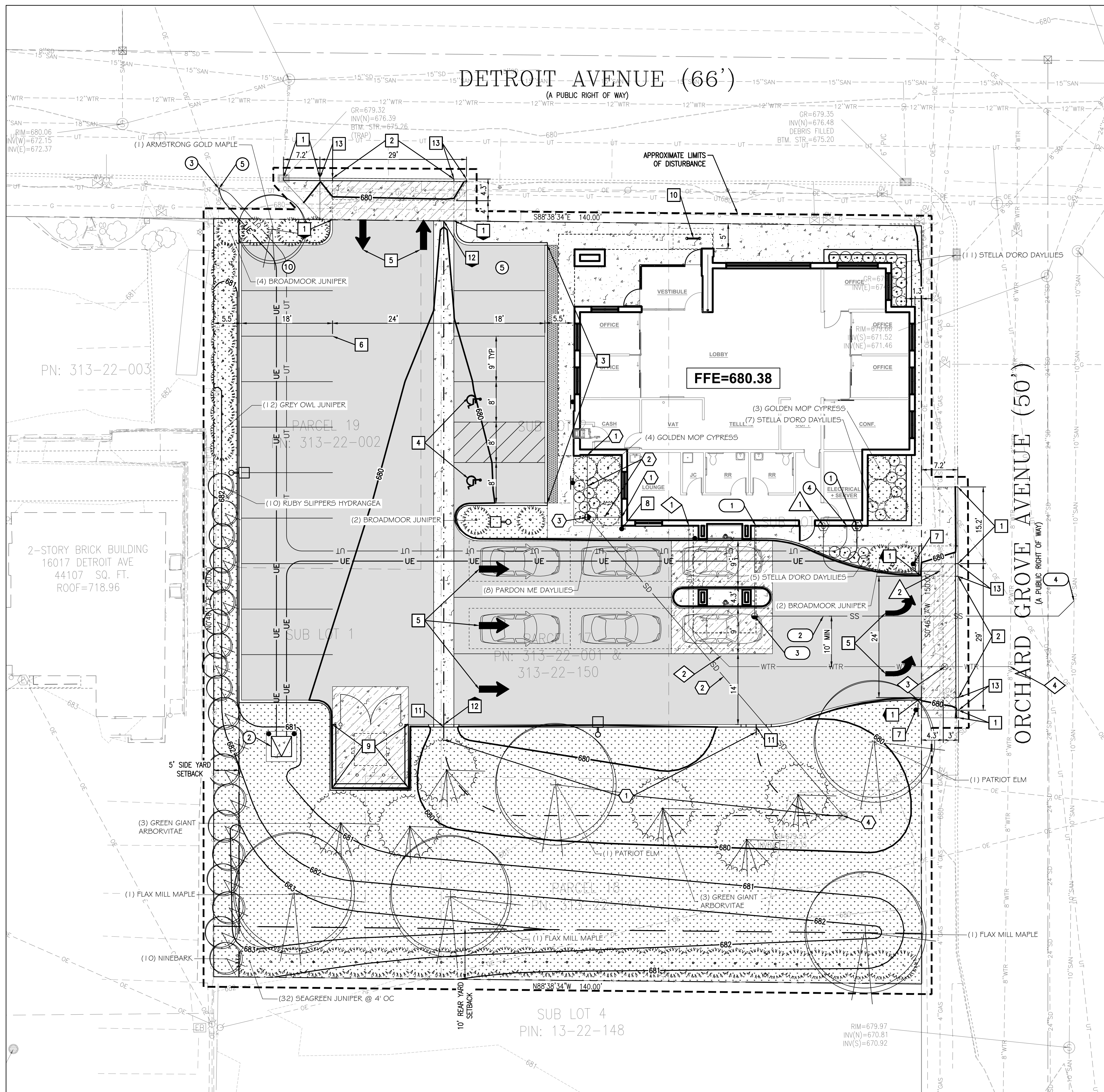






vocon.

LET YOUR  
SPACES SPEAK.



**SURVEY NOTES:**

1. TOPOGRAPHIC/BOUNDARY SURVEY PROVIDED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DATED JUNE 22, 2023.
2. BASIS OF BEARINGS: TBD.
3. DATUM: TBD.
4. BENCHMARK: TBD.
5. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LAKEWOOD, OHIO STANDARDS AND SPECIFICATIONS.
2. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
3. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
4. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
5. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**ACCESSIBILITY NOTES:**

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE LATEST OHIO ACCESSIBILITY CODE, AND WITH THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITION.
2. RAMP SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
3. RAMP ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 4 FEET AND A MAXIMUM CROSS-SLOPE OF 2%.
4. EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES. BOTTOM LANDINGS AT CHANGES IN RAMP DIRECTION SHALL HAVE A MINIMUM LENGTH OF 72 INCHES.
5. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
6. ALL WALKS SHALL HAVE A MINIMUM 4 FOOT CLEAR WIDTH FOR ACCESSIBLE CONFORMANCE.

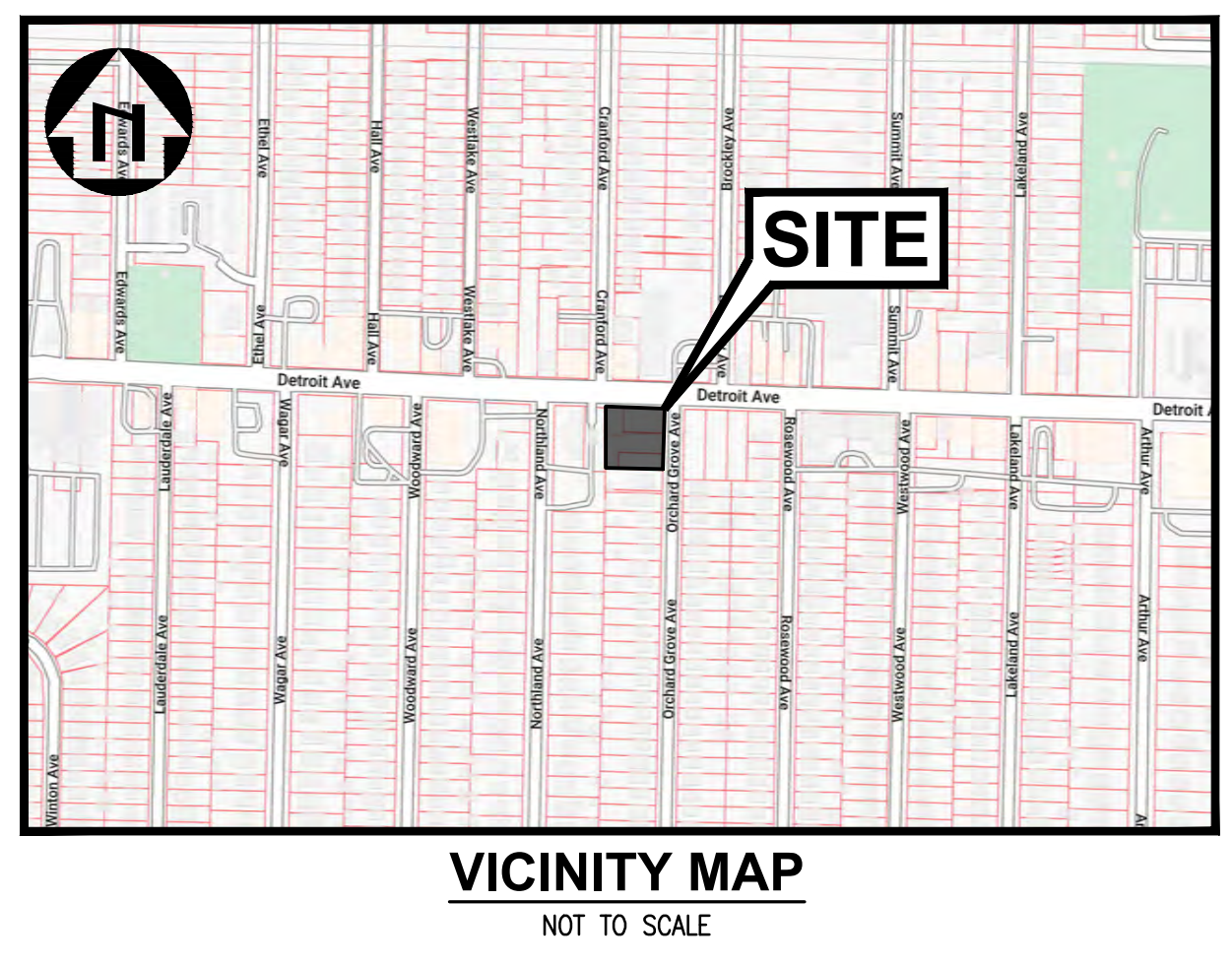
**UTILITY NOTES:**

1. EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
2. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
3. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
4. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
5. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

**SITE PLAN KEY NOTES**

- 1 PROPOSED "TYPE 6" PCC 6" TALL BARRIER CURB, PER CITY OF LAKEWOOD DETAIL P-8
- 2 PROPOSED COMMERCIAL DRIVEWAY ENTRANCE, PER CITY OF LAKEWOOD DETAIL P-2
- 3 PROPOSED FLUSH CURB WITH DETECTABLE WARNING TRUNCATED DOMES
- 4 PROPOSED ACCESSIBLE PARKING STALL WITH PCC WHEELSTOP, ACCESSIBLE LOADING AREA WITH PAVEMENT MARKINGS, AND SIGNAGE
- 5 PROPOSED PAVEMENT DIRECTIONAL ARROW AND/OR TEXT, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS (TYP)
- 6 PROPOSED 4" WIDE PARKING STALL STRIPING, TRAFFIC WHITE PAINT, MINIMUM 2 COATS
- 7 PROPOSED "DO NOT ENTER" R5-1 SIGN.
- 8 PROPOSED BOLLARD
- 9 PROPOSED WALLED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
- 10 PROPOSED BIKE RACK. SEE ARCHITECTURAL PLANS.
- 11 PROPOSED CURB CUT FOR STORMWATER CONVEYANCE
- 12 PROPOSED 4" WIDE PCC VALLEY GUTTER
- 13 PROPOSED TRANSITIONAL (6" TO 0" HEIGHT) CURB

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	WATER LINE	---
---	SANITARY SEWER LINE	---
---	STORM DRAIN LINE	---
---	OVERHEAD ELECTRIC LINE	---
---	UNDERGROUND ELECTRIC LINE	---
---	UNDERGROUND TELECOM LINE	---
---	GAS LINE	---
---	TREE/SHRUB	---
---	FENCE	---
---	SIGN/BOLLARD	---
---	FIRE HYDRANT	---
---	WATER VALVE/CURB BOX	---
---	SEWER MANHOLE/CLEANOUT	---
---	STORM MANHOLE/CURB INLET/CATCH BASIN	---
---	STORM DOWNSPOUT	---
---	ELECTRICAL MANHOLE/METER/BOX	---
---	ELECTRICAL TRANSFORMER	---
---	TELECOM MANHOLE	---
---	GAS METER/VALVE	---
---	LIGHT POLE/YARD LIGHT	---
---	UTILITY POLE	---
---	PARKING COUNTER	---
---	DRAINAGE SWALE	---
---	STANDARD PCC PAVEMENT/SIDEWALK	---
---	HEAVY-DUTY PCC PAVEMENT	---
---	STANDARD AC PAVEMENT	---
---	LANDSCAPE AREA	---
---	SEE LANDSCAPE PLANS FOR DETAILS	---



**SITE INFORMATION:**

APN: 313-22-001, 313-22-002, 313-22-149 AND 313-22-150  
 ZONING: C-3 (GENERAL BUSINESS DISTRICT)  
 FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE 'X' (UNSHADED) PER FIRM MAP NO. 3903501567, WITH AN EFFECTIVE DATE OF AUGUST 15, 2019. ZONE X IS DEFINED AS "AREA SUBJECT TO MINIMAL FLOODING"

SUMMARY:		
TOTAL PARCEL AREA	±20,999 SF (±0.482 ACRES)	
TOTAL DISTURBED AREA	±21,602 SF (±0.496 ACRES)	
PROPOSED BUILDING FOOTPRINT	±2,875 SF	

DISTURBED AREA SUMMARY:	EXISTING	PROPOSED
IMPERVIOUS AREA	±21,521 SF	±13,210 SF
PERVIOUS AREA	±81 SF	±8,392 SF
CHANGE IN IMPERVIOUS AREA		±8,311 SF DECREASE

YARD SETBACKS:		
FRONT (NORTH/EAST)	0'-5'	
SIDE (WEST)	5' (10' ABUTS RESIDENTIAL)	
REAR (SOUTH)	HALF BUILDING HT, OR 5' MIN. (10' ABUTS RESIDENTIAL)	

PARKING SUMMARY:	PROVIDED	REQUIRED
STANDARD STALLS (9'x18')	13	3 (MAX 8)*
ADA STALLS (6'x18')	2	1
TOTAL	15	4

BICYCLE RACK: 1 PROVIDED, 1\*\* REQUIRED

**vocon.**  
 Cleveland, OH 44115  
 3142 Prospack Avenue  
 Cleveland, OH 44115  
 New York, NY 10036  
 530 5th Avenue, 16th Floor  
 New York City, NY 10036  
 Los Angeles, CA 90013  
 555 West 5th Street, 35th Floor  
 Los Angeles, CA 90013  
 vocon.partners llc

PROVIDED BY:  
  
 ALLEGRO CIVIL ENGINEERS  
 4322 N. LINCOLN AVE. SUITE A  
 CHICAGO, IL 60625  
 872.270.2882  
 a@allegroeng.com

PROFESSIONAL SEAL:

PROPOSED COMMON IMPROVEMENTS FOR:

HUNTINGTON NATIONAL BANK  
 LAKEWOOD OH

16003 DETROIT AVE.  
 LAKEWOOD, OH 44107

JOB NUMBER: 2024-007-002

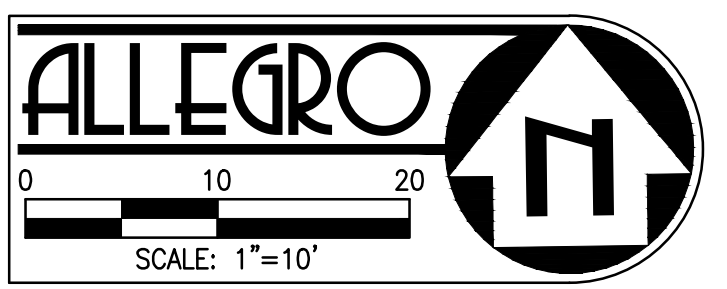
**DRAWING RELEASE:**

No.	Date	Description
05	21/2024	ISSUE FOR ABR REVIEW

SHEET TITLE:  
 SITE AND LANDSCAPE PLAN

SHEET NUMBER:

C1.0



**SANITARY SEWER KEY NOTES**

- 1 BUILDING POINT OF CONNECTION (SEWER). SEE MEP PLANS FOR CONTINUATION.
- 2 PROPOSED SANITARY SDR 35 PVC SEWER SERVICE PIPE. TRENCH AND BACKFILL PER CITY OF LAKEWOOD DETAIL W-1.
- 3 PROPOSED TWO-WAY CLEANOUT, PER CITY OF LAKEWOOD DETAIL S-4.
- 4 PROPOSED SANITARY SEWER LATERAL CONNECTION TO EXISTING 10" SANITARY SEWER MAIN, PER CITY OF LAKEWOOD DETAIL S-6.

**WATER KEY NOTES**

- 1 BUILDING POINT OF CONNECTION (WATER). SEE MEP PLANS FOR CONTINUATION.
- 2 PROPOSED WATER SERVICE. TRENCH AND BACKFILL PER CITY OF LAKEWOOD DETAIL W-1.
- 3 PROPOSED CURB BOX, PER CITY OF LAKEWOOD DETAIL W-3.
- 4 PROPOSED WATER LINE CONNECTION TO EXISTING 8" WATER MAIN, PER CITY OF LAKEWOOD DETAIL W-3.

**GAS SERVICE KEY NOTES**

- 1 BUILDING POINT OF CONNECTION (GAS). GAS METER MOUNTED TO SIDE OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
- 2 CONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE.

**STORM DRAIN KEY NOTES**

- 1 PROPOSED BUILDING DOWNSPOUTS
- 2 PROPOSED STORM DRAIN LINE. TRENCH AND BACKFILL PER CITY OF LAKEWOOD DETAIL W-1.
- 3 PROPOSED TWO-WAY CLEANOUT
- 4 CONNECT TO EXISTING STRUCTURE. ADJUST RIM TO FINISHED GRADE. LOWER BY ±6".
- 5 PROPOSED VEGETATIVE SWALE/BMP. LONGITUDINAL SLOPE = 0.5%

**DRY UTILITY KEY NOTES**

- 1 BUILDING POINT OF CONNECTION (ELECTRIC). ELECTRICAL METER MOUNTED TO SIDE OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
- 2 PROPOSED ELECTRICAL TRANSFORMER ON PCC PAD WITH PROTECTIVE BOLLARDS.
- 3 PROPOSED CONNECTION POINT OF PRIMARY ELECTRICAL CONDUITS TO EXISTING UTILITY POLE. COORDINATE ROUTING AND POINT OF CONNECTION WITH POWER COMPANY PRIOR TO CONSTRUCTION.
- 4 BUILDING POINT OF CONNECTION (TELECOM).
- 5 CONNECT PROPOSED TELECOM LINE TO EXISTING UTILITY POLE. COORDINATE WITH UTILITY COMPANY PRIOR TO CONNECTION.

**PLANT MATERIALS LIST**

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE	MATURE HT./SPD.
<b>LARGE DECIDUOUS TREES</b>			
1	ARMSTRONG GOLD MAPLE - <i>Acer rubrum</i> 'SP5-KV78'	2-1/2" cal. B/B	40' / 12'
2	PATRIOT ELM - <i>Ulmus</i> x 'Patriot'	2-1/2" cal. B/B	50' / 40'
3	FLAX MILL MAPLE - <i>Acer saccharum</i> 'Majesty'	2-1/2" cal. B/B	50' / 40'
<b>EVERGREEN TREES</b>			
6	GREEN GIANT ARBORVITAE - <i>Thuja plicata</i> x 'standishii' 'Green Giant'	6" ht. B/B	40' / 15'
<b>SHRUBS</b>			
7	GOLDEN MOP CYPRESS - <i>Chamaecyparis pisifera</i> 'Golden Mop'	24" B/B or Cont.	3' / 4'
10	RUBY SLIPPERS HYDRANGEA - <i>Hydrangea querc.</i> 'Ruby Slippers'	24" B/B or Cont.	4' / 5'
32	SEAGREEN JUNIPER - <i>Juniperus chinensis</i> 'Sea Green'	24" B/B or Cont.	5' / 8'
8	BROADMOOR JUNIPER - <i>Juniperus sabina</i> 'Broadmoor'	24" B/B or Cont.	3' / 5'
12	GREY OWL JUNIPER - <i>Juniperus virginiana</i> 'Grey Owl'	24" B/B or Cont.	3' / 4'
10	NINEBARK - <i>Physocarpus opulifolius</i> 'Seward'	# 5 cont. 24-30"	6' / 6'
<b>PERENNIALS</b>			
8	PARDON ME DAYLILIES - <i>Hemerocallis</i> x 'Pardon Me'	# 1 cont.	12" / 2'
23	STELLA D'ORO DAYLILIES - <i>Hemerocallis</i> x 'Stella d'Oro'	# 1 cont.	12" / 2'



PROVIDED BY:



ALLEGRO CIVIL ENGINEERS  
4322 N. LINCOLN AVE. SUITE A  
CHICAGO, IL 60625  
872.270.3682  
aj@allegroeng.com

PROFESSIONAL SEAL:

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**HUNTINGTON NATIONAL BANK  
LAKEWOOD OH**

16003 DETROIT AVE.  
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JOB NUMBER: 2024-007-002

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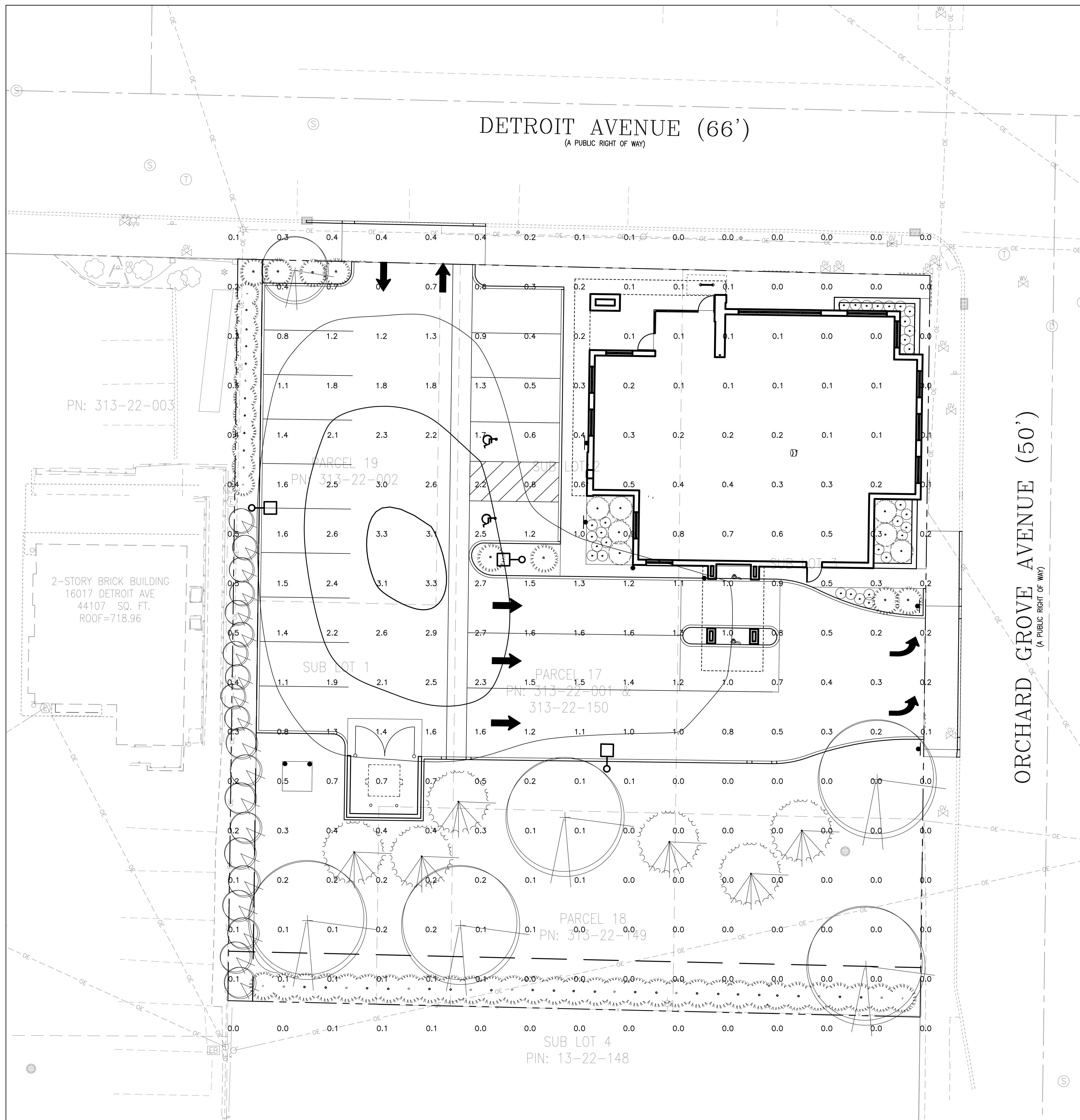
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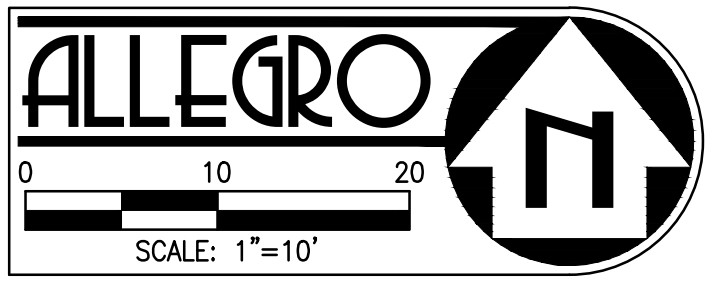
PHOTOMETRICS PLAN

SHEET NUMBER:

**C2.0**



PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
1	1-FOOT CONTOUR	1
5	5-FOOT CONTOUR	5
WTR	WATER LINE	WTR
SS	SANITARY SEWER LINE	SAN
SD	STORM DRAIN LINE	SD
UE	OVERHEAD ELECTRIC LINE	OE
UT	UNDERGROUND ELECTRIC LINE	UE
G	UNDERGROUND TELECOM LINE	UT
	GAS LINE	G
	TREE/SHRUB	(Symbol)
	FENCE	(Symbol)
	SIGN/BOLLARD	(Symbol)
	FIRE HYDRANT	(Symbol)
	WATER VALVE/CURB BOX	(Symbol)
	SEWER MANHOLE/CLEANOUT	(Symbol)
	STORM MANHOLE/CURB INLET/CATCH BASIN	(Symbol)
	STORM DOWNSPOUT	(Symbol)
	ELECTRICAL MANHOLE/METER/BOX	(Symbol)
	ELECTRICAL TRANSFORMER	(Symbol)
	TELECOM MANHOLE	(Symbol)
	GAS METER/VALVE	(Symbol)
	LIGHT POLE/YARD LIGHT	(Symbol)
	UTILITY POLE	(Symbol)
	PARKING COUNT	(Symbol)
	DRAINAGE SWALE	(Symbol)
(Symbol)	STANDARD PCC PAVEMENT/SIDEWALK	
(Symbol)	HEAVY-DUTY PCC PAVEMENT	
(Symbol)	STANDARD AC PAVEMENT	
(Symbol)	LANDSCAPE AREA SEE LANDSCAPE PLANS FOR DETAILS	



**GENERAL PHOTOMETRIC SCHEDULE**

AVERAGE FOOT-CANDLES	0.61
MAXIMUM FOOT-CANDLES	3.3
MINIMUM FOOT-CANDLES	0
MINIMUM TO MAXIMUM FC RATIO	0
MINIMUM TO AVERAGE FC RATIO	0
MAXIMUM TO MINIMUM FC RATIO	3610.65
MAXIMUM TO AVERAGE FC RATIO	5.52
AVERAGE TO MINIMUM FC RATIO	654.08
AVERAGE TO MAXIMUM FC RATIO	0.18

**LUMINAIRE SCHEDULE**

SYMBOL	QUANTITY	DESCRIPTION	WATTS	LUMENS	MOUNTING
(Symbol)	3	LITHONIA LIGHTING, DSX1 LED P1 40K 70CRI BLC3	50.9	0	POLE





STEVE HARRY BUCK





FOOD

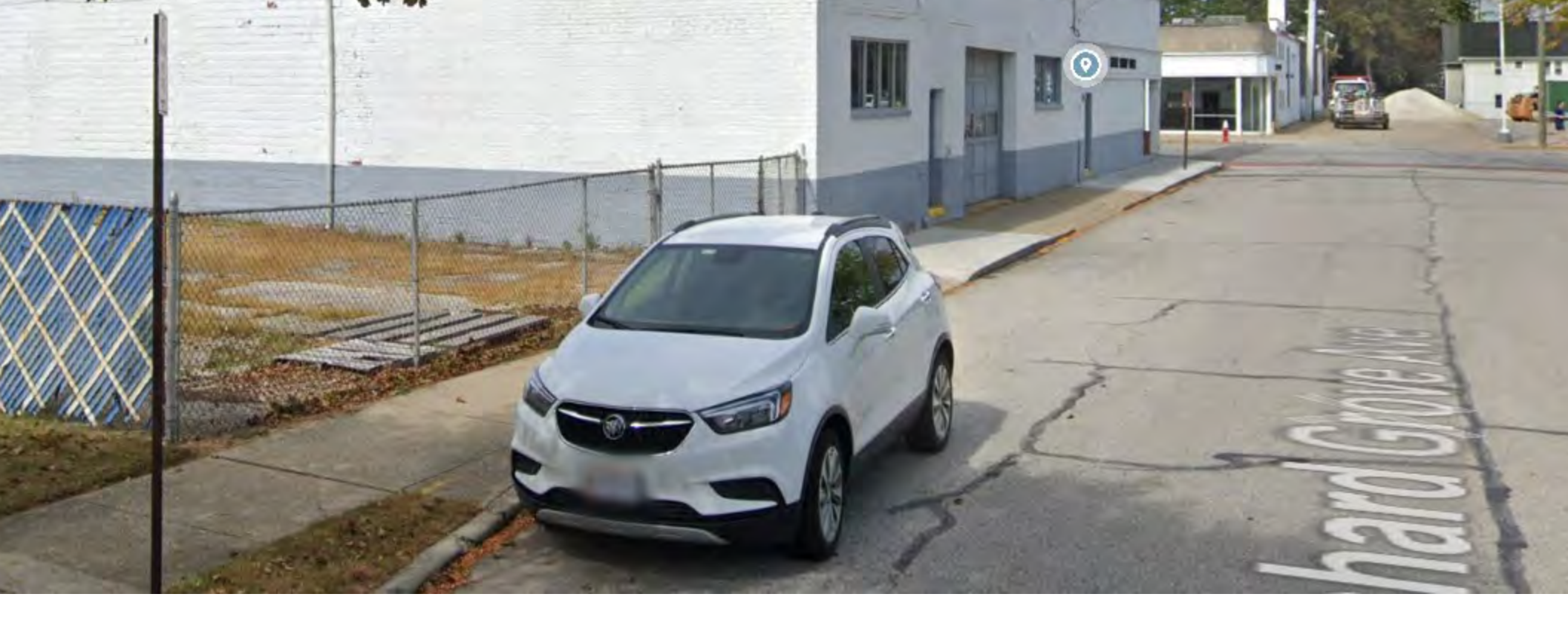
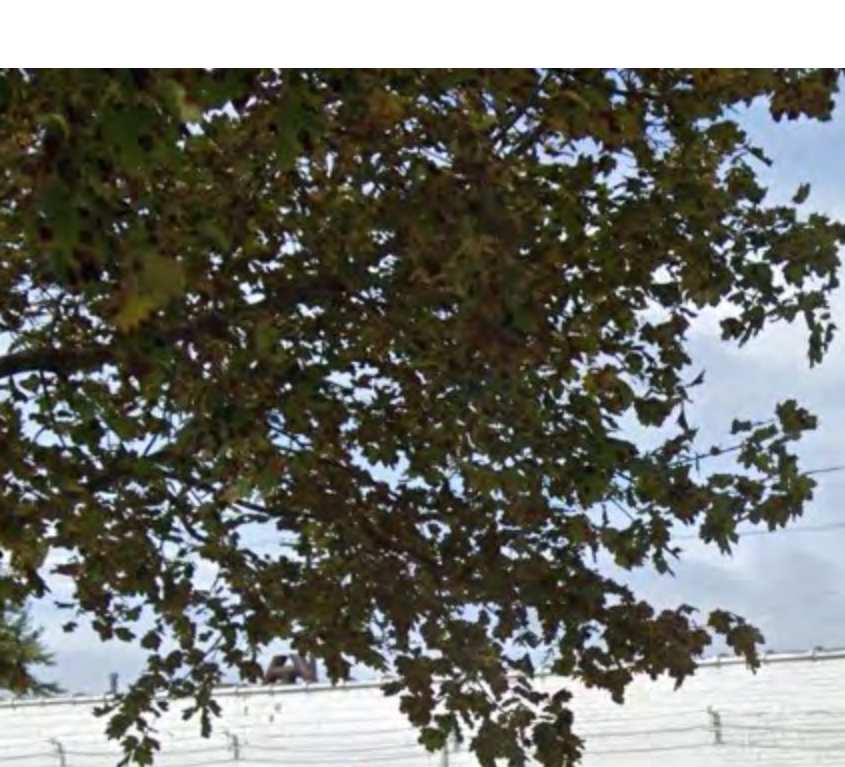
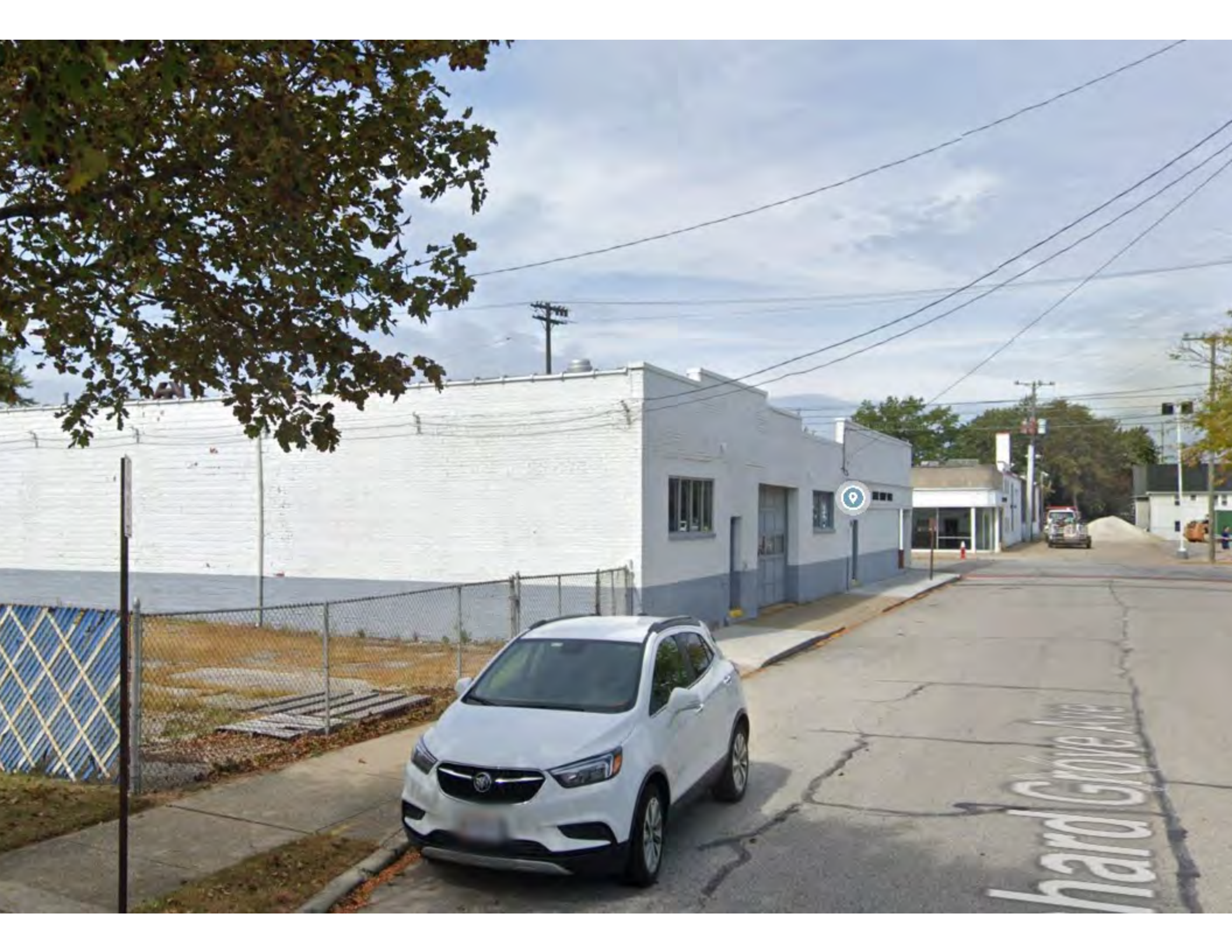


BOBBY O's

SPIRITS

160







16001

**BODY  
SHOP**



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

## Application Cover Page

**Docket No.: 06-21-24**

**Permit No.: PC24-000031**

**Applicant Name: Susan Broadwater, Beegan Architectural Design**

**Project Address: Irene & Donald Ave.**

**Project Name: Residential Development**

**Proposal: Conceptual review of a planned development consisting of seven townhouse units and three single-family houses, pursuant to section 1156 – planned development. The property is in an R2 Single- and Two-Family district.**

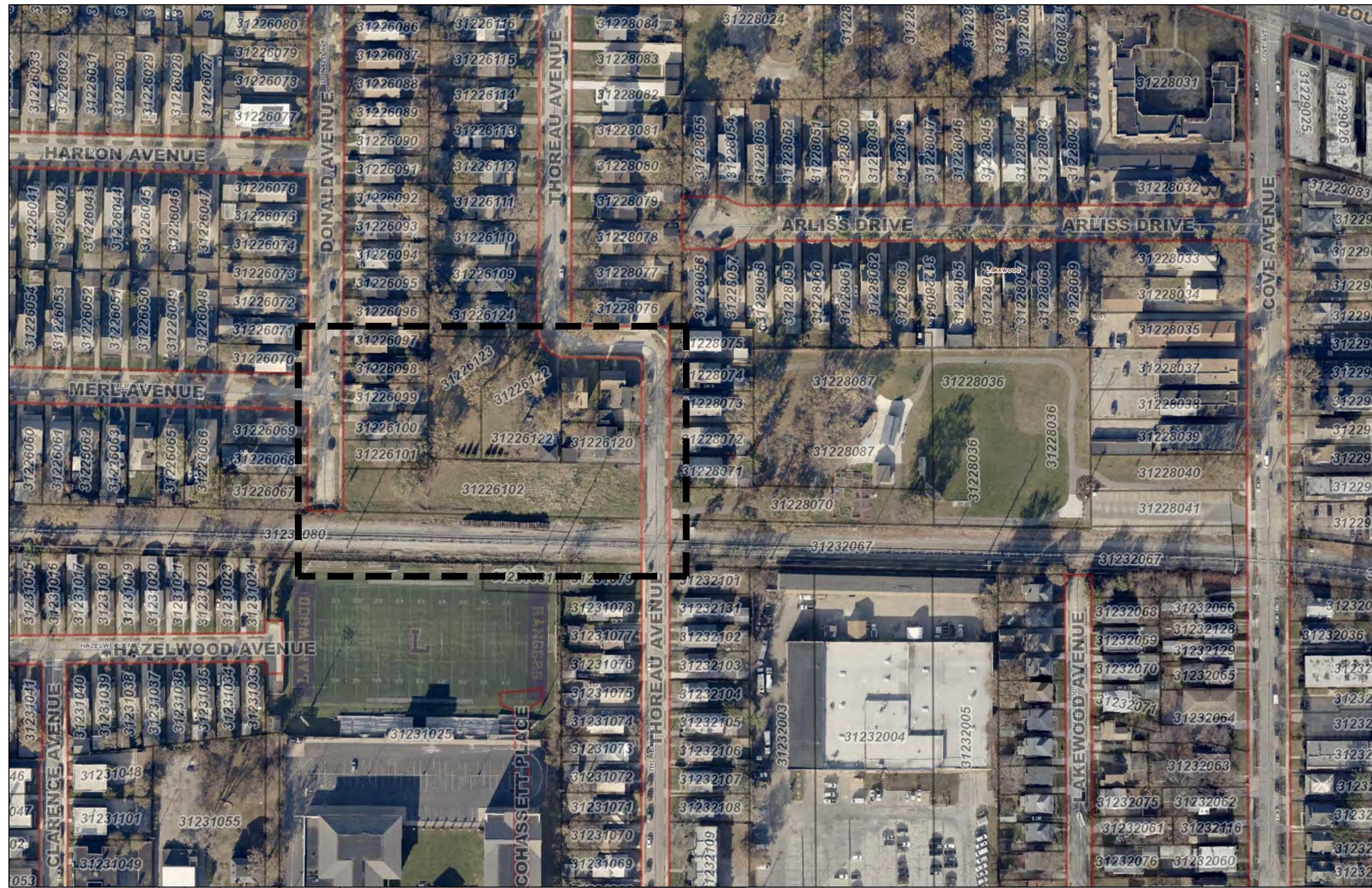
**From:** [Adam Conen](#)  
**To:** [susan.beegan-ad.com](mailto:susan.beegan-ad.com)  
**Subject:** Donald and Thoreau Development  
**Date:** Wednesday, May 22, 2024 11:52:06 AM

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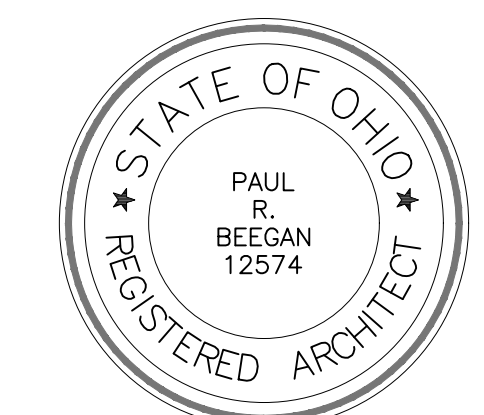
Hi Susan – Please use this email as authorization for the City of Lakewood to access the property.

Thanks,

**Adam Conen**  
**Hilane Realty**  
(847) 942-1762



ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



PAUL R. BEEGAN, LICENSE #12574  
EXPIRATION DATE: 12.31.2025

# BEEGAN

ARCHITECTURAL DESIGN

15703 MADISON AVENUE  
LAKEWOOD, OHIO 44107  
WWW.BEEGAN-AD.COM

216.521.9000 PHONE  
216.916.4591 FAX  
PAUL@BEEGAN-AD.COM

project no. 23-075

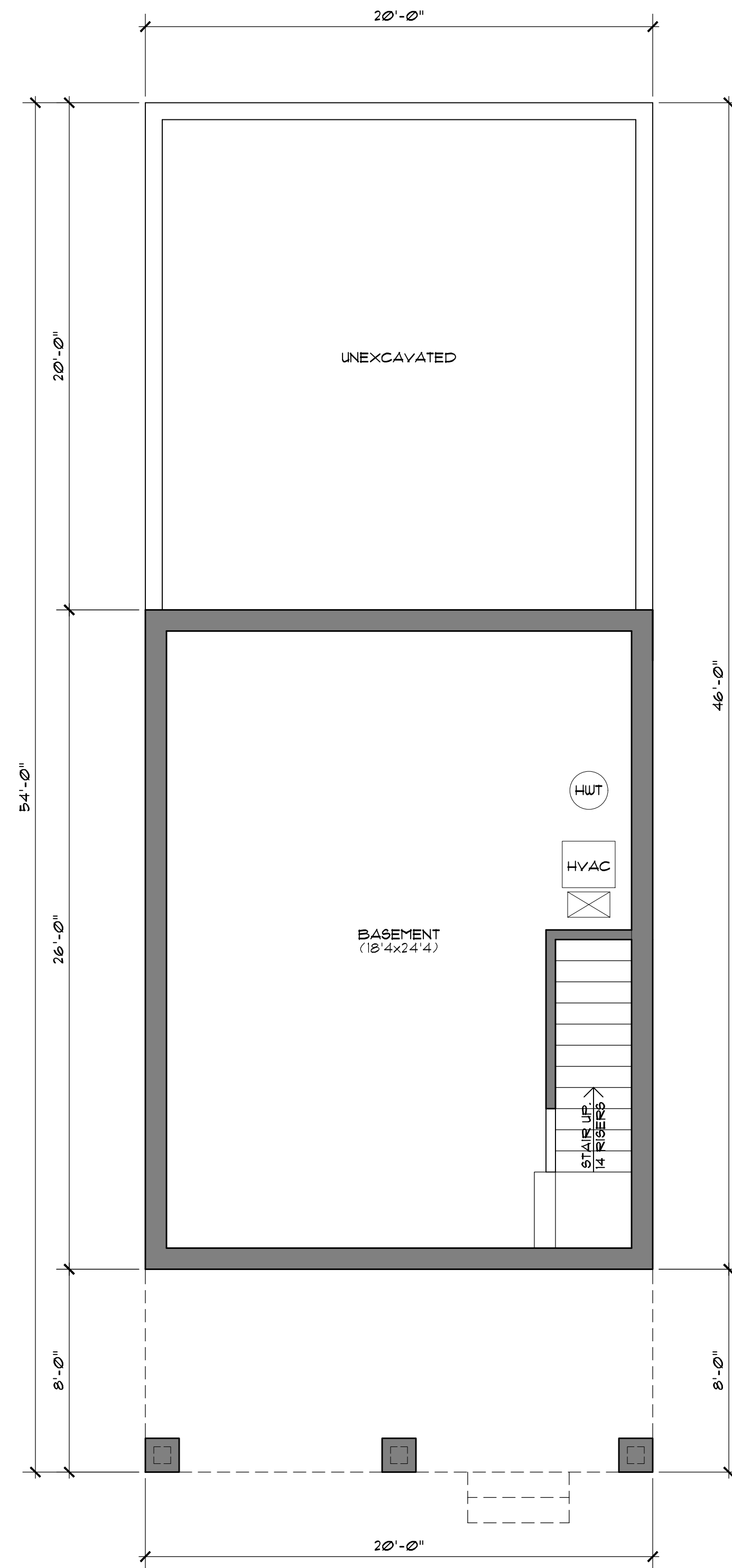
**Hilane Realty**  
**Donald & Thoreau**  
**Development**

ppn 312-26-102  
lakewood, oh 44107

## Architectural Site Plan

# A0

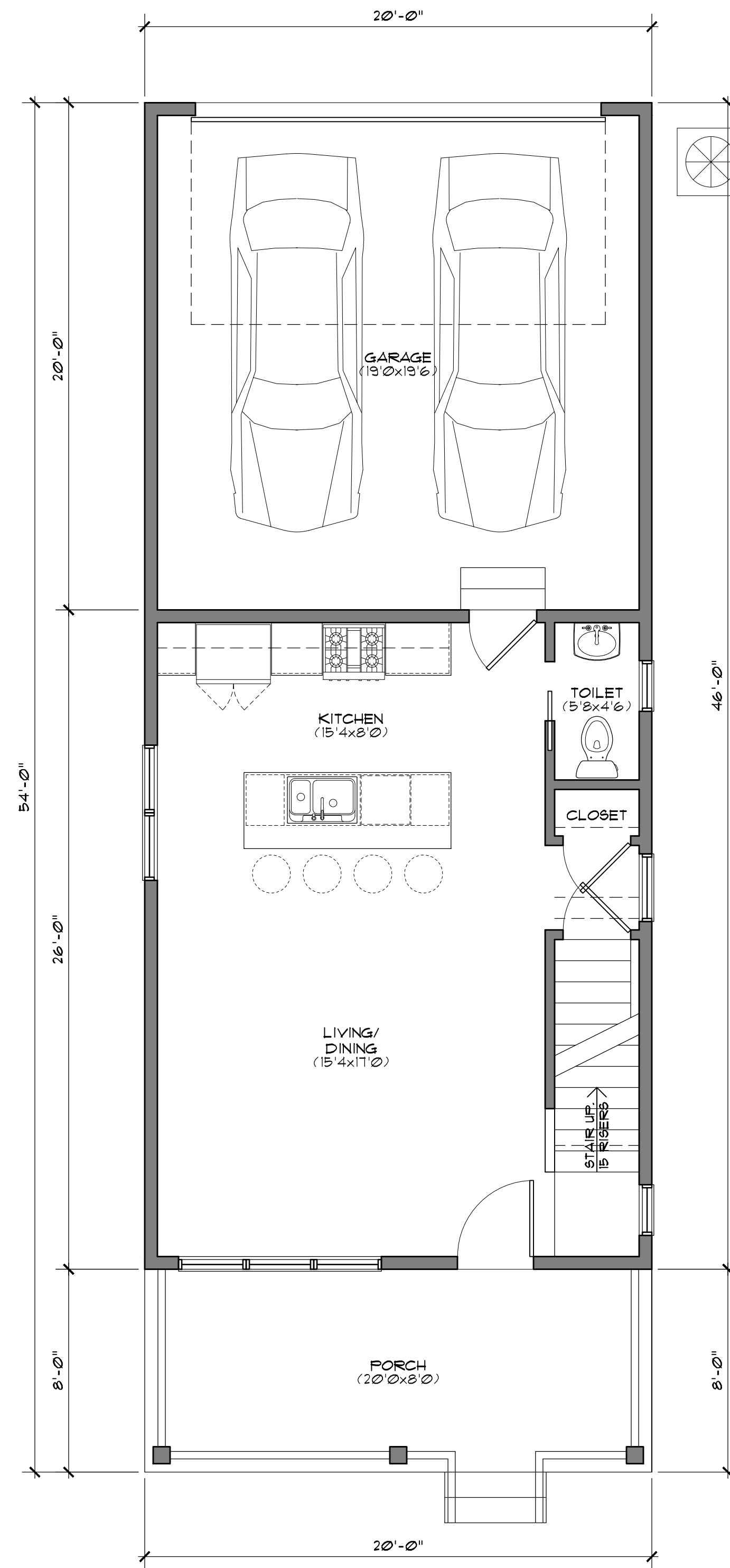
ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



AREA SUMMARY:  
BASEMENT 446 NSF

**BASEMENT PLAN**

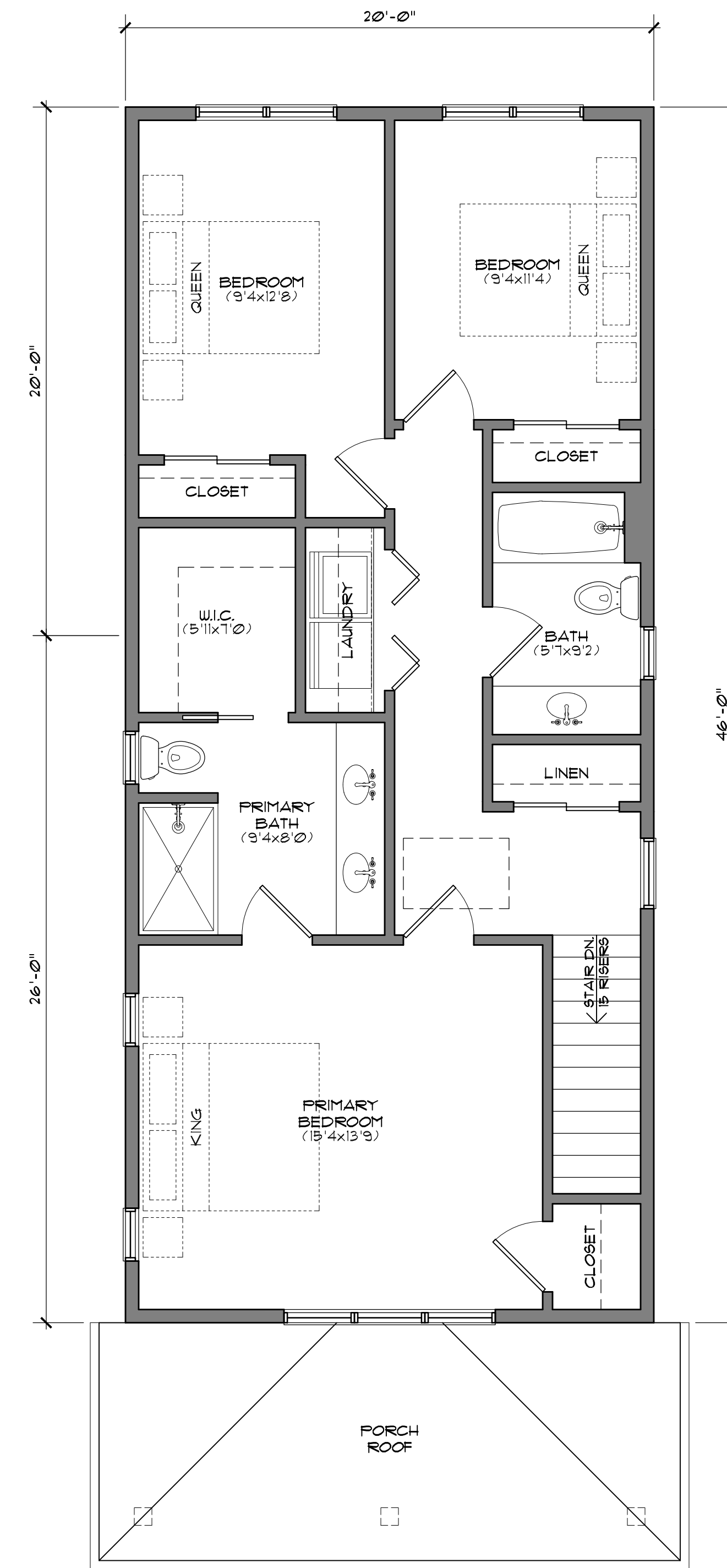
1/4" = 1'-0"



AREA SUMMARY:  
1ST FLOOR 520 GSF / 415 NSF  
GARAGE 400 GSF

**1ST FLOOR PLAN**

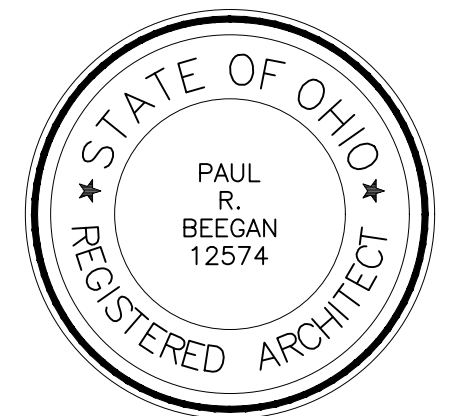
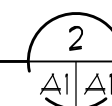
1/4" = 1'-0"



AREA SUMMARY:  
2ND FLOOR 920 GSF / 855 NSF

**2ND FLOOR PLAN**

1/4" = 1'-0"



PAUL R. BEGAN, LICENSE #12574  
EXPIRATION DATE: 12.31.2025

# BEEGAN

ARCHITECTURAL DESIGN

15703 MADISON AVENUE  
LAKEWOOD, OHIO 44107  
WWW.BEEGAN-AD.COM

216.521.9000 PHONE  
216.916.4591 FAX  
PAUL@BEEGAN-AD.COM

project no. 23-075

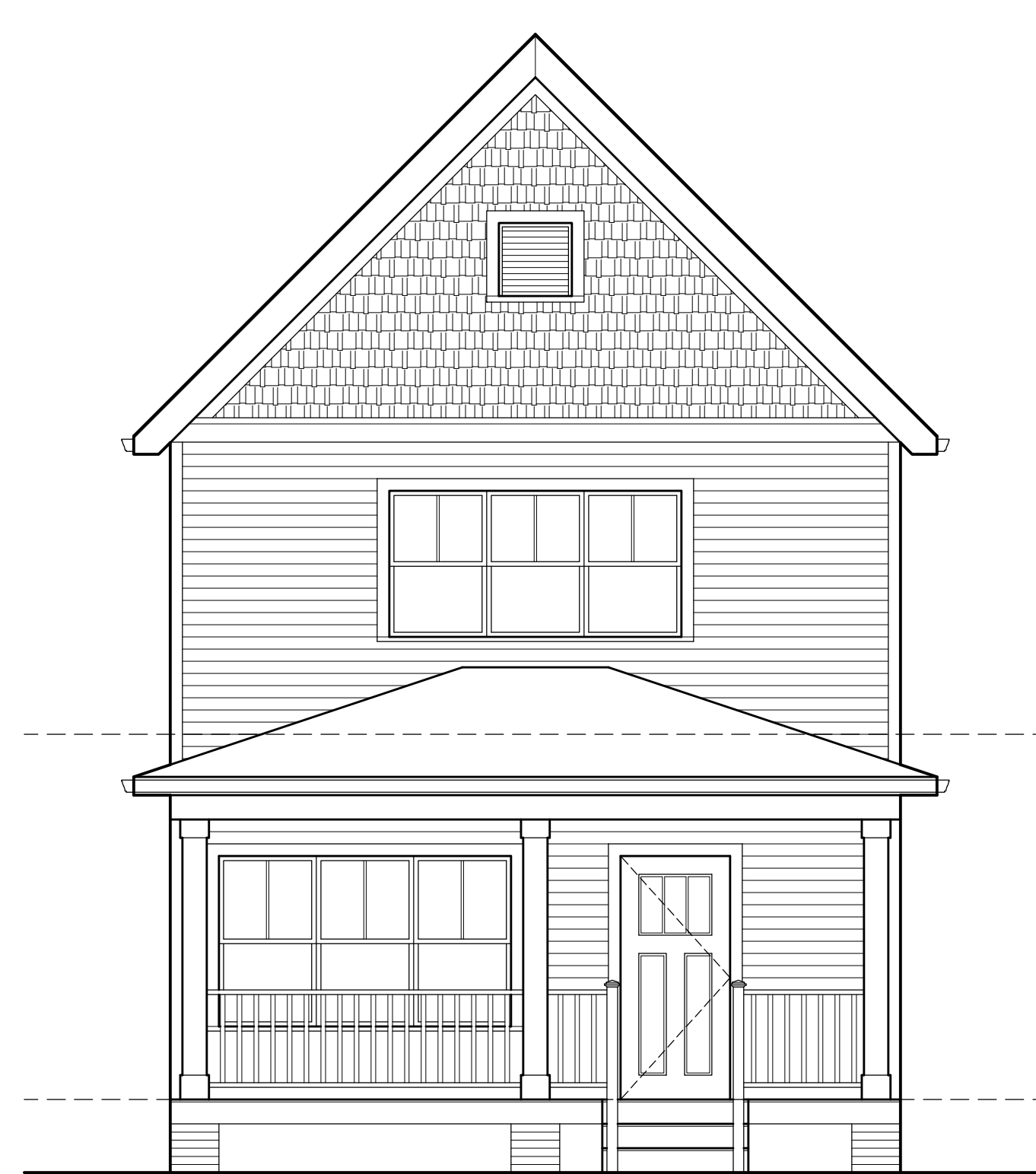
Hilane Realty  
**Donald & Thoreau  
Development**

ppn 312-26-102  
lakewood, oh 44107

Single-Family Houses  
Floor Plans

# A1

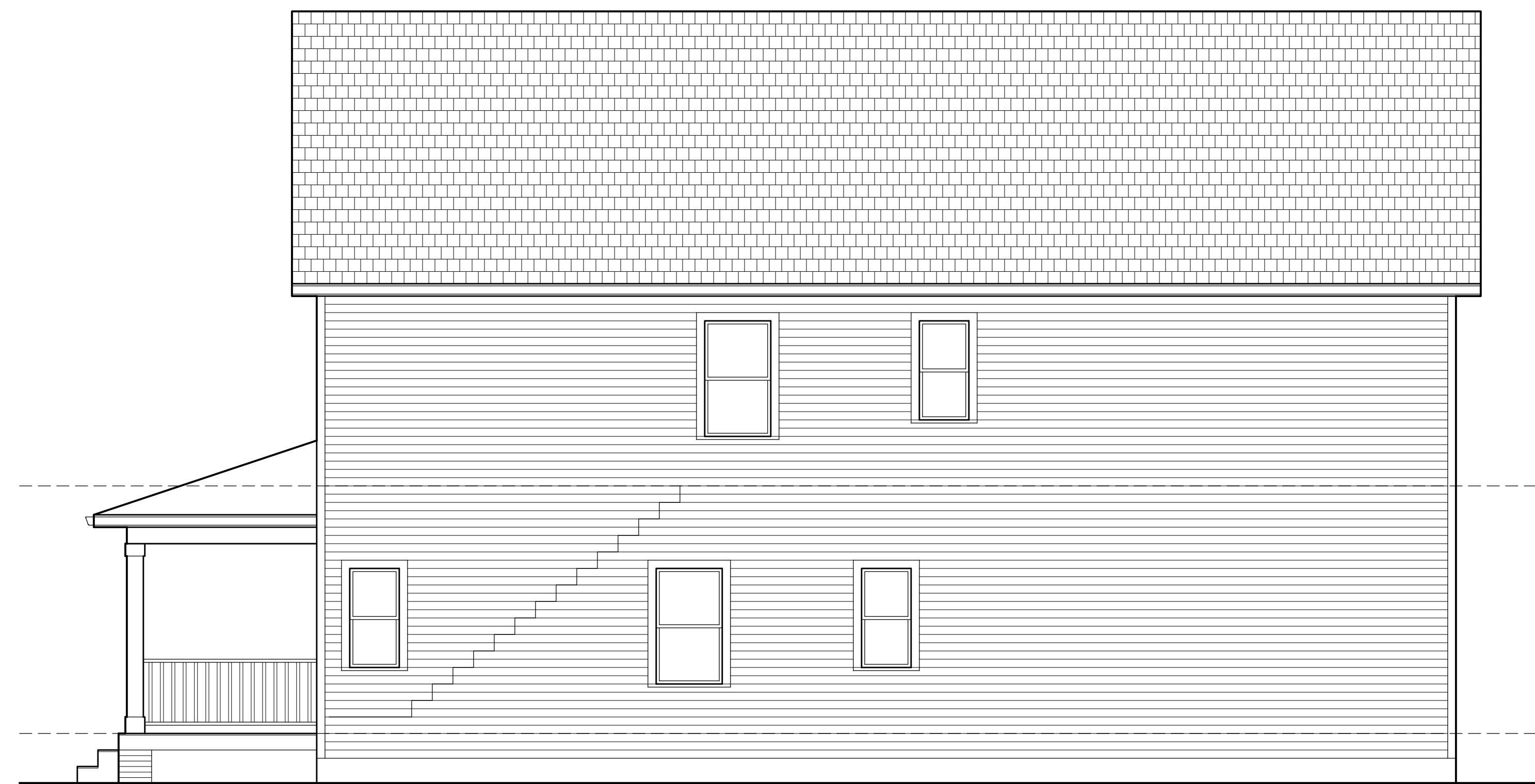
ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



- TOP OF ROOF  
ELEV. 31'-2"
- MEDIAN ROOF  
ELEV. 25'-8"
- ROOF EAVE  
ELEV. 20'-2"
- 2ND FLOOR  
ELEV. 12'-0"
- 1ST FLOOR  
ELEV. 2'-8"
- GRADE  
ELEV. 0'-0"

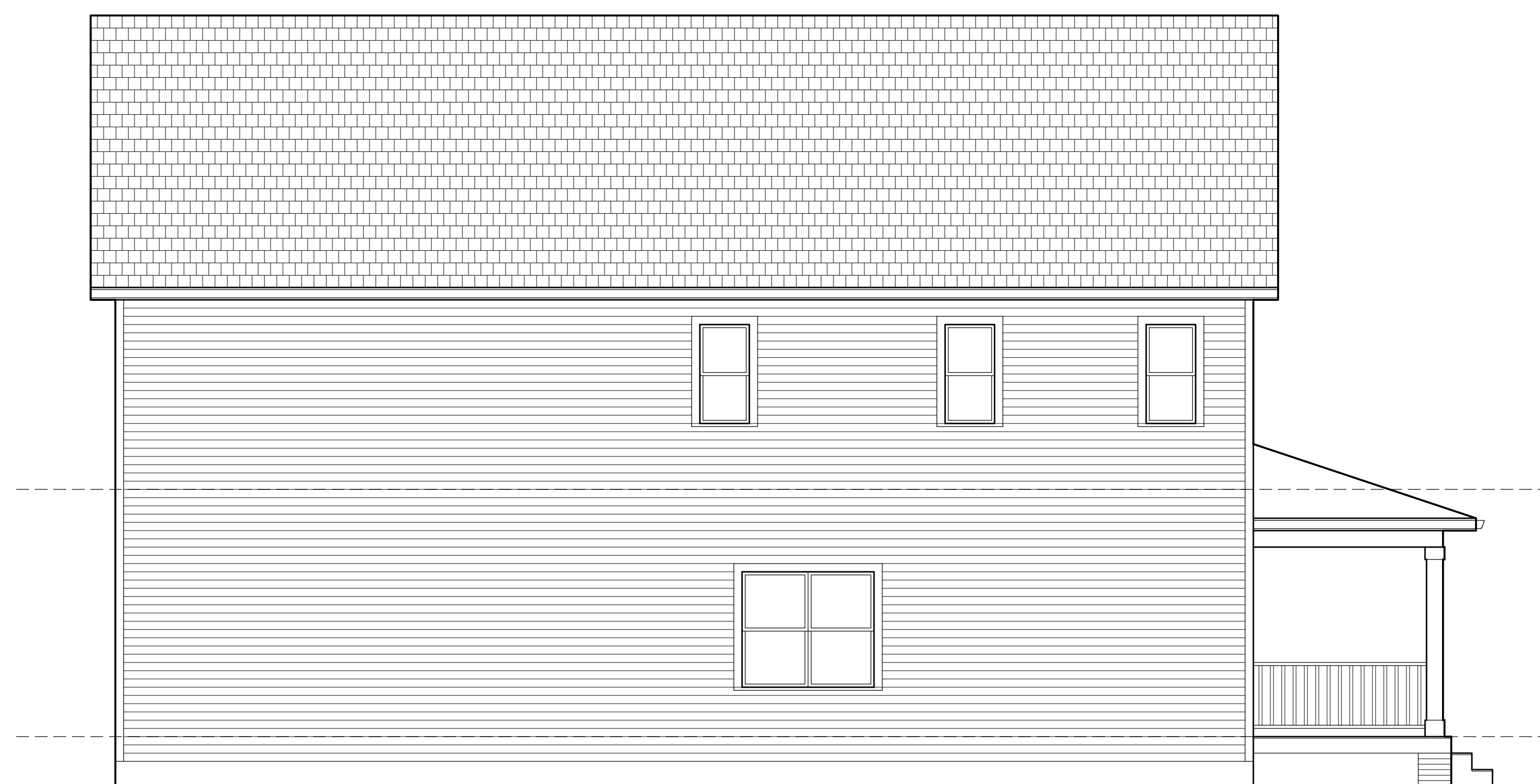
FRONT ELEVATION

1/4" = 1'-0"



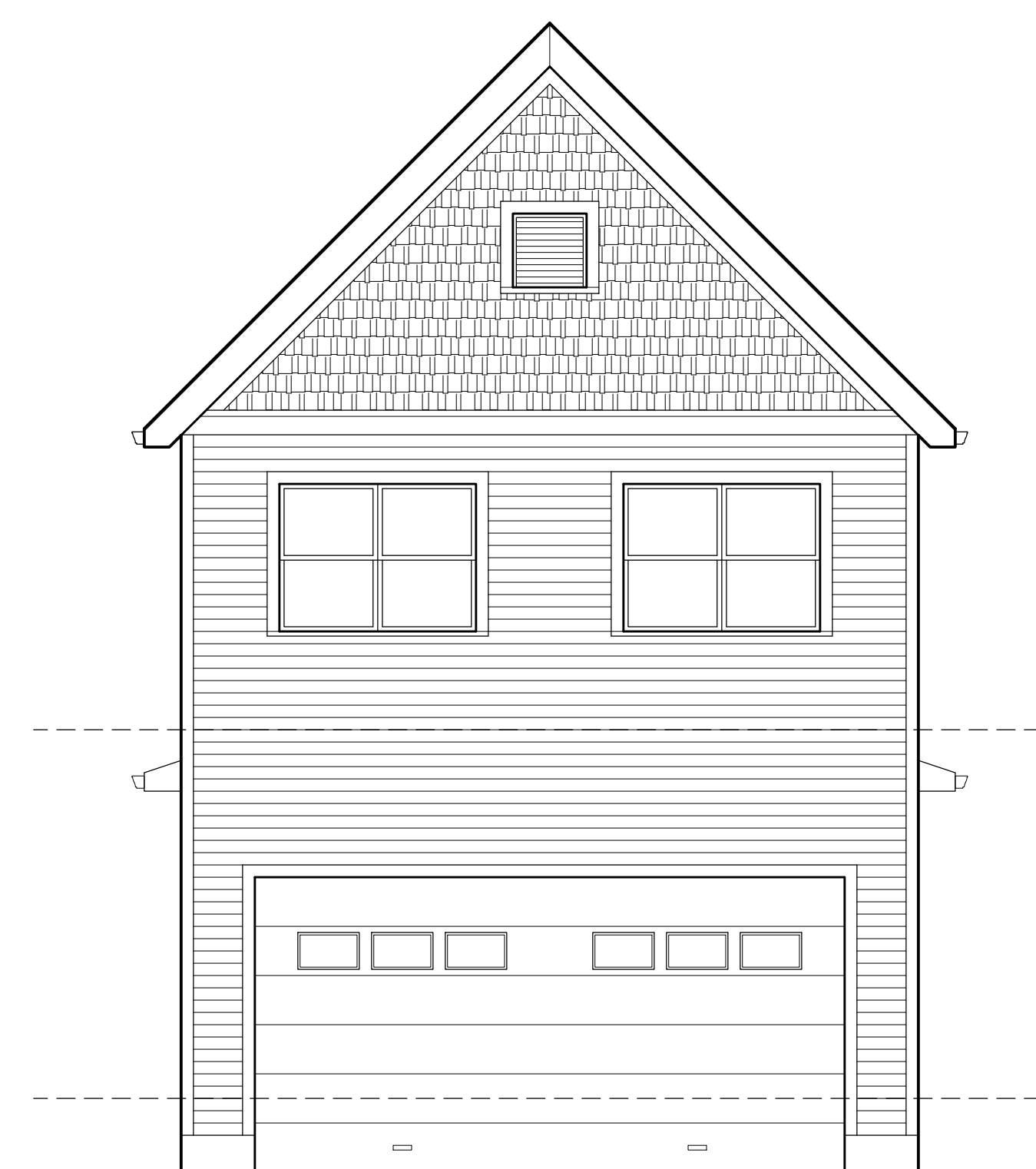
RIGHT SIDE ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

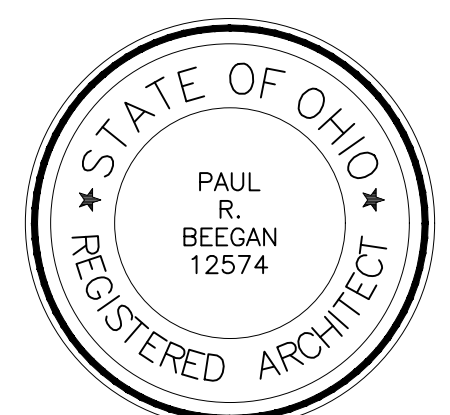


REAR ELEVATION

1/4" = 1'-0"



- TOP OF ROOF  
ELEV. 31'-2"
- MEDIAN ROOF  
ELEV. 25'-8"
- ROOF EAVE  
ELEV. 20'-2"
- 2ND FLOOR  
ELEV. 12'-0"
- 1ST FLOOR  
ELEV. 2'-8"
- GRADE  
ELEV. 0'-0"



PAUL R. BEEGAN, LICENSE #12574  
EXPIRATION DATE: 12.31.2025

**BEEGAN**  
ARCHITECTURAL DESIGN

15703 MADISON AVENUE  
LAKEWOOD, OHIO 44107  
WWW.BEEGAN-AD.COM

216.521.9000 PHONE  
216.916.4591 FAX  
PAUL@BEEGAN-AD.COM

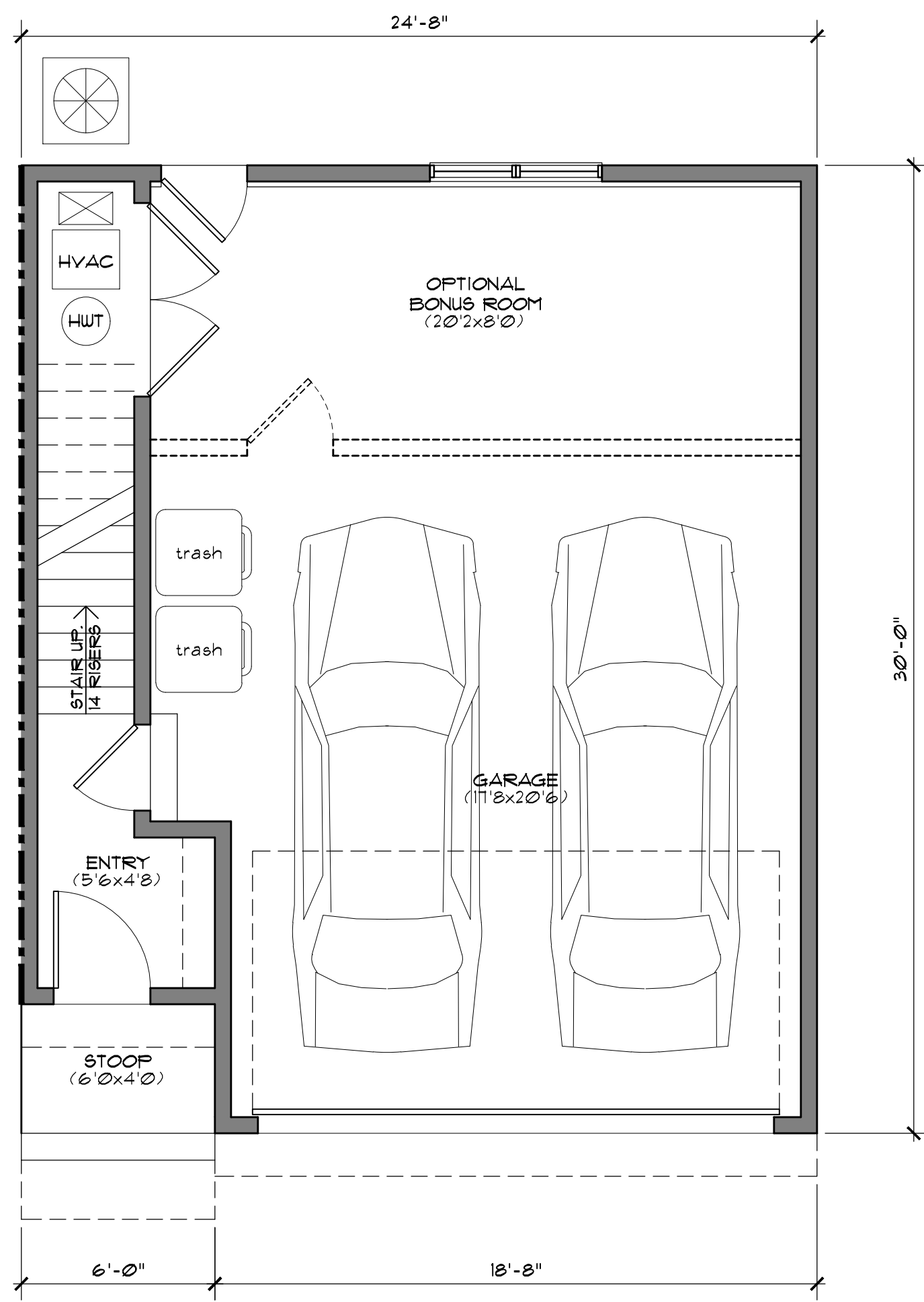
project no. 23-075

Hilane Realty  
**Donald & Thoreau  
Development**

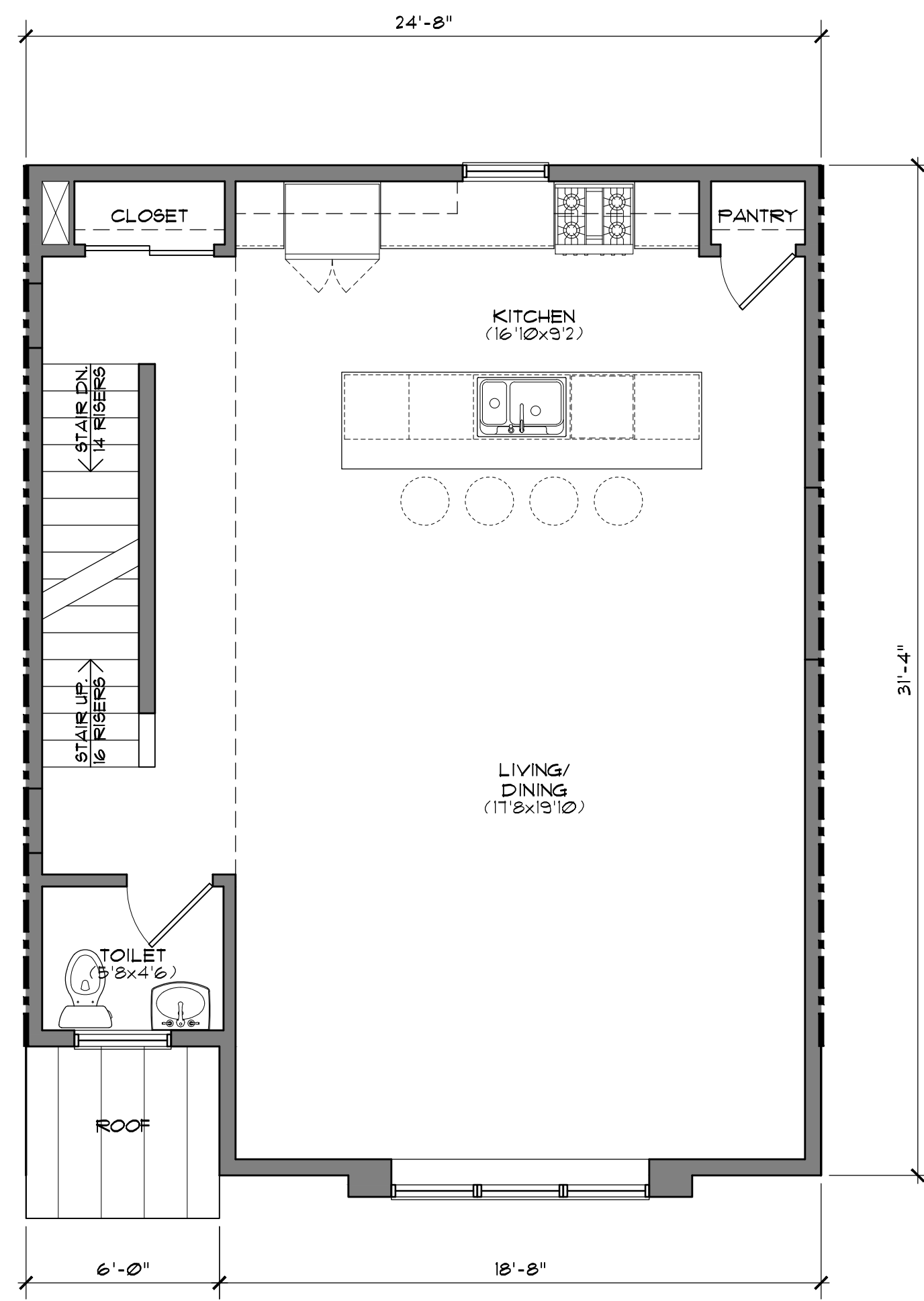
ppn 312-26-102  
lakewood, oh 44107

Single-Family Houses  
Exterior Elevations

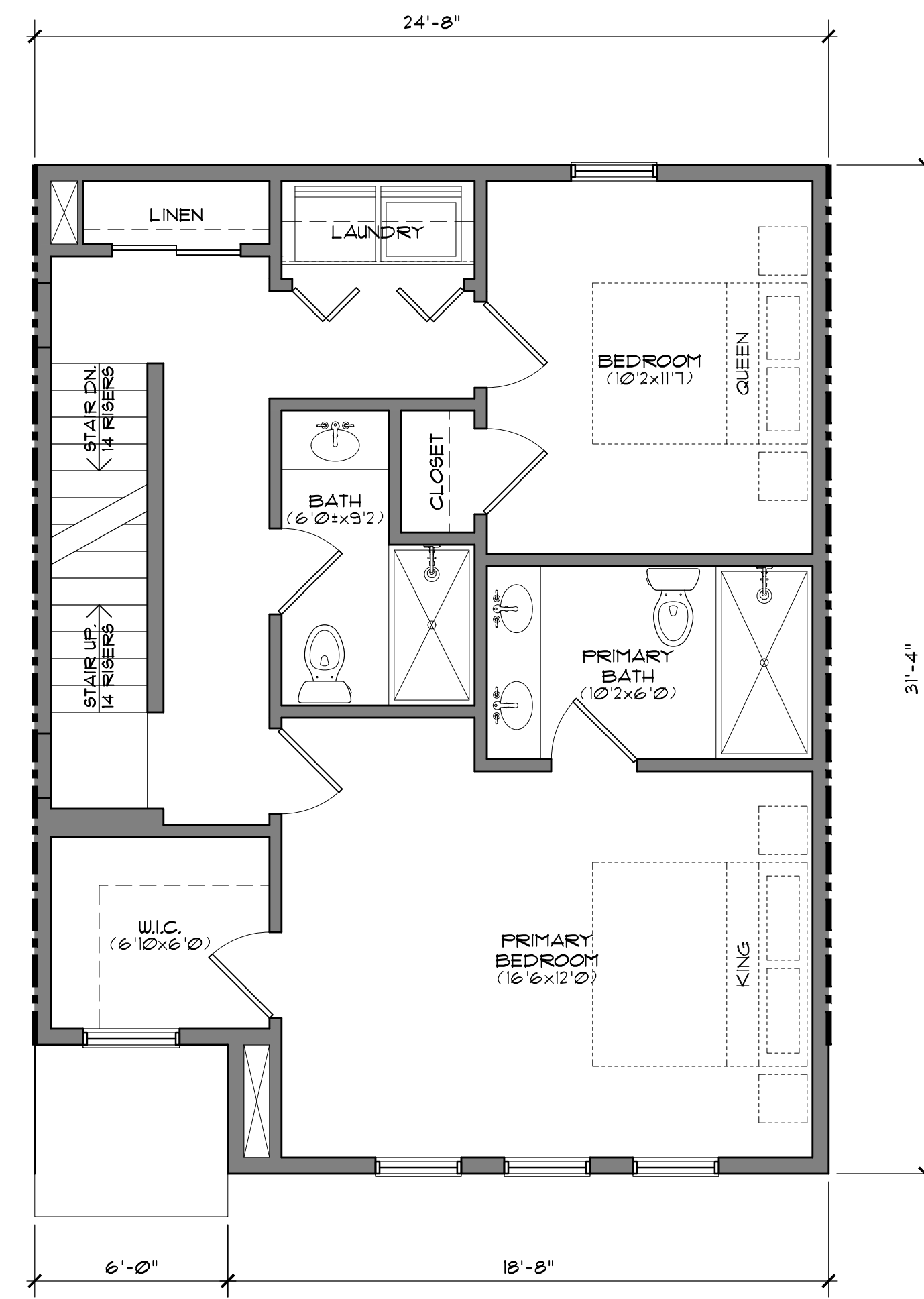
**A2**



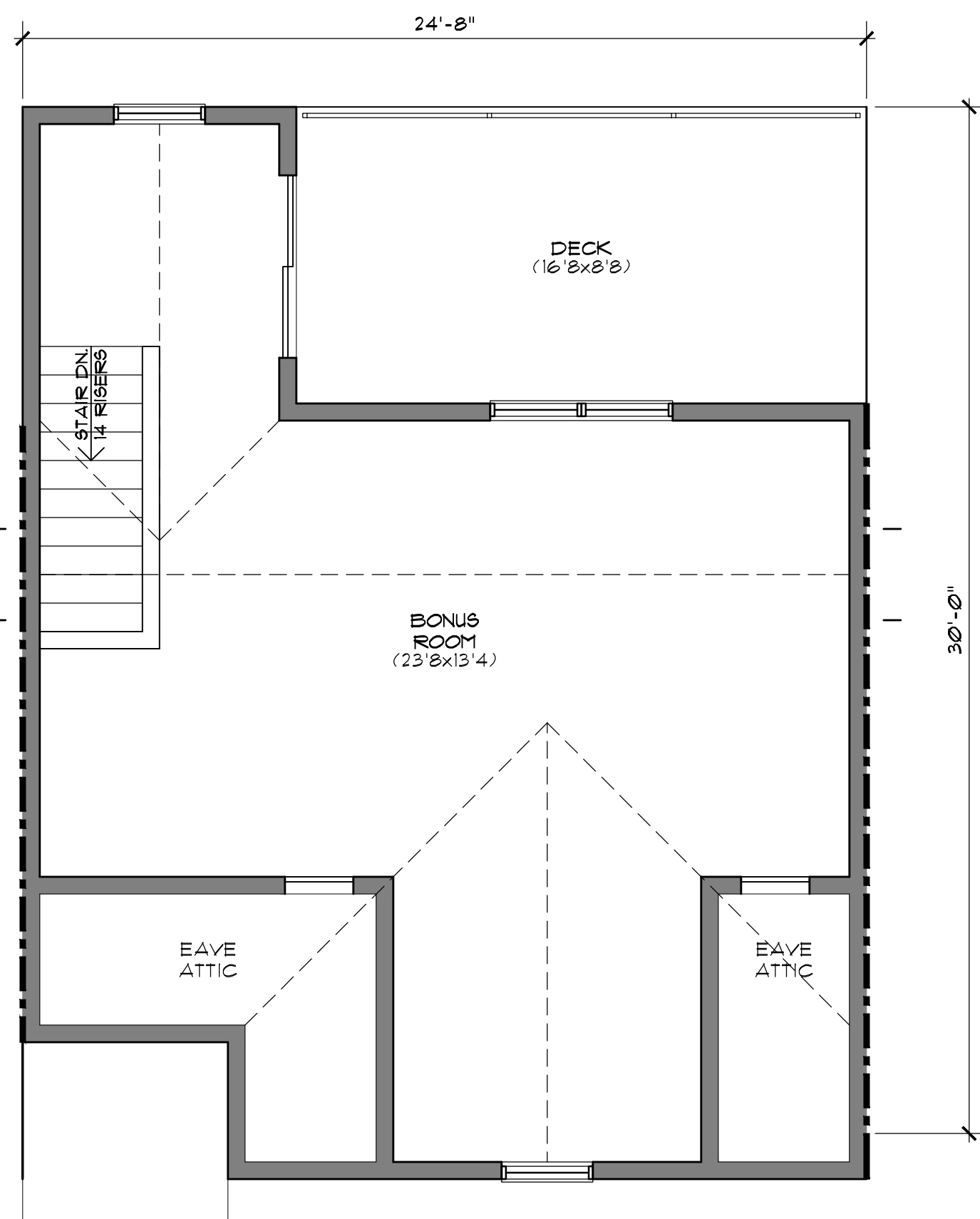
UNIT #2 AREA SUMMARY:  
 1ST FLOOR (NO BONUS ROOM) 120 GSF / 07 N9F  
 1ST FLOOR (WITH BONUS ROOM) 306 GSF / 253 N9F  
**1ST FLOOR PLAN**  
 1/4" = 1'-0"



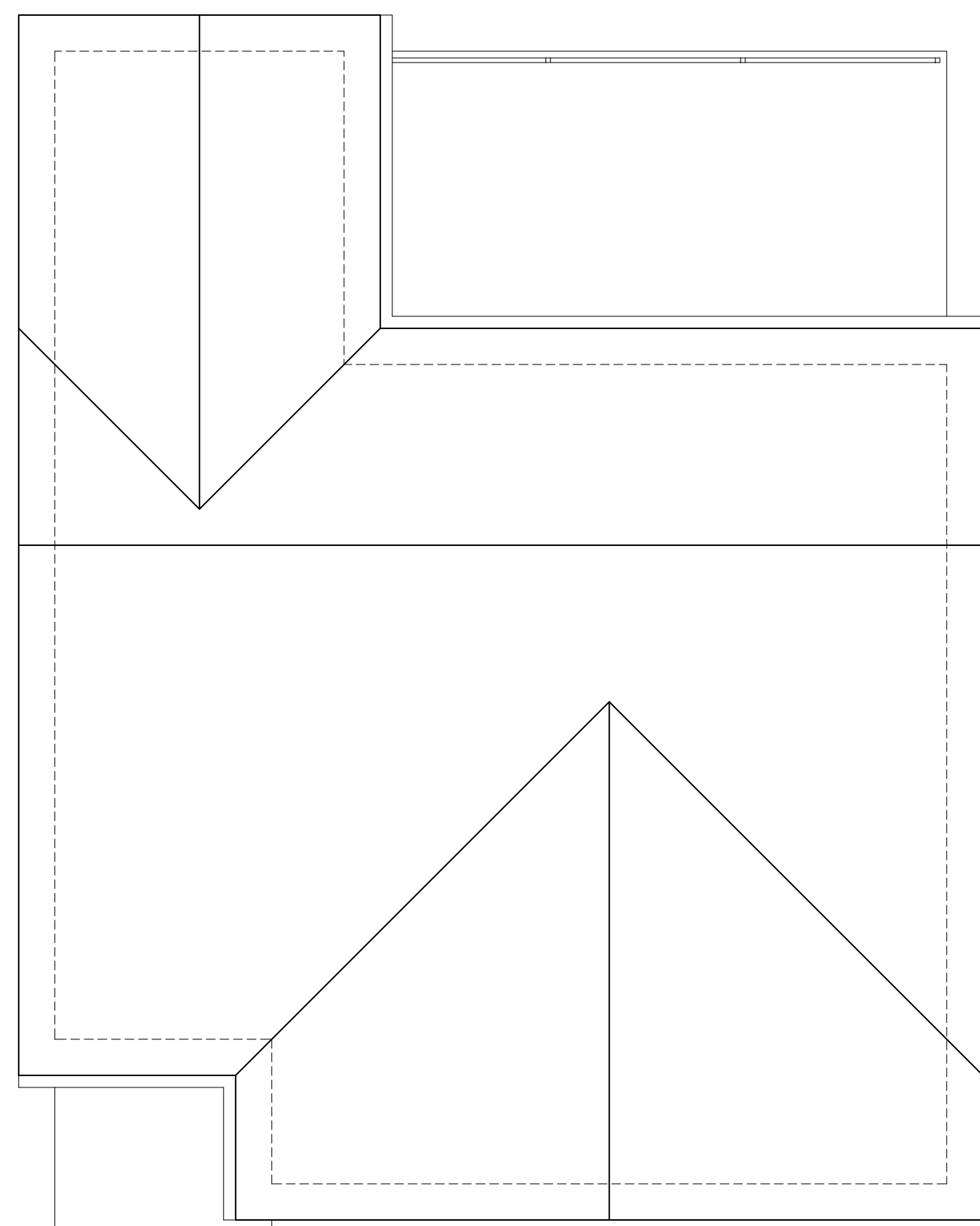
UNIT #2 AREA SUMMARY:  
 2ND FLOOR 123 GSF / 666 N9F  
**2ND FLOOR PLAN**  
 1/4" = 1'-0"



UNIT #2 AREA SUMMARY:  
 3RD FLOOR 123 GSF / 666 N9F  
**3RD FLOOR PLAN**  
 1/4" = 1'-0"

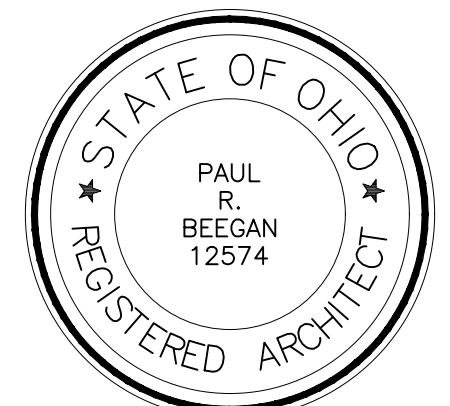


UNIT #2 AREA SUMMARY:  
 4TH FLOOR 412 GSF / 422 N9F  
**ATTIC PLAN**  
 1/4" = 1'-0"



**ROOF PLAN**  
 1/4" = 1'-0"

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



PAUL R. BEGAN, LICENSE #12574  
 EXPIRATION DATE: 12.31.2025

# BEEGAN

ARCHITECTURAL DESIGN

15703 MADISON AVENUE LAKEWOOD, OHIO 44107  
 WWW.BEEGAN-AD.COM 216.521.9000 PHONE 216.916.4591 FAX PAUL@BEEGAN-AD.COM

project no. 23-075

Hilane Realty  
**Donald & Thoreau  
 Development**

ppn 312-26-102  
 lakewood, oh 44107

Townhouses  
 Floor Plans

# A3

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



FRONT ELEVATION

3/16" = 1'-0"



TOP OF ROOF  
ELEV. 45'-0"

MEDIAN ROOF  
ELEV. 37'-8"

MEDIAN ROOF  
ELEV. 35'-6"

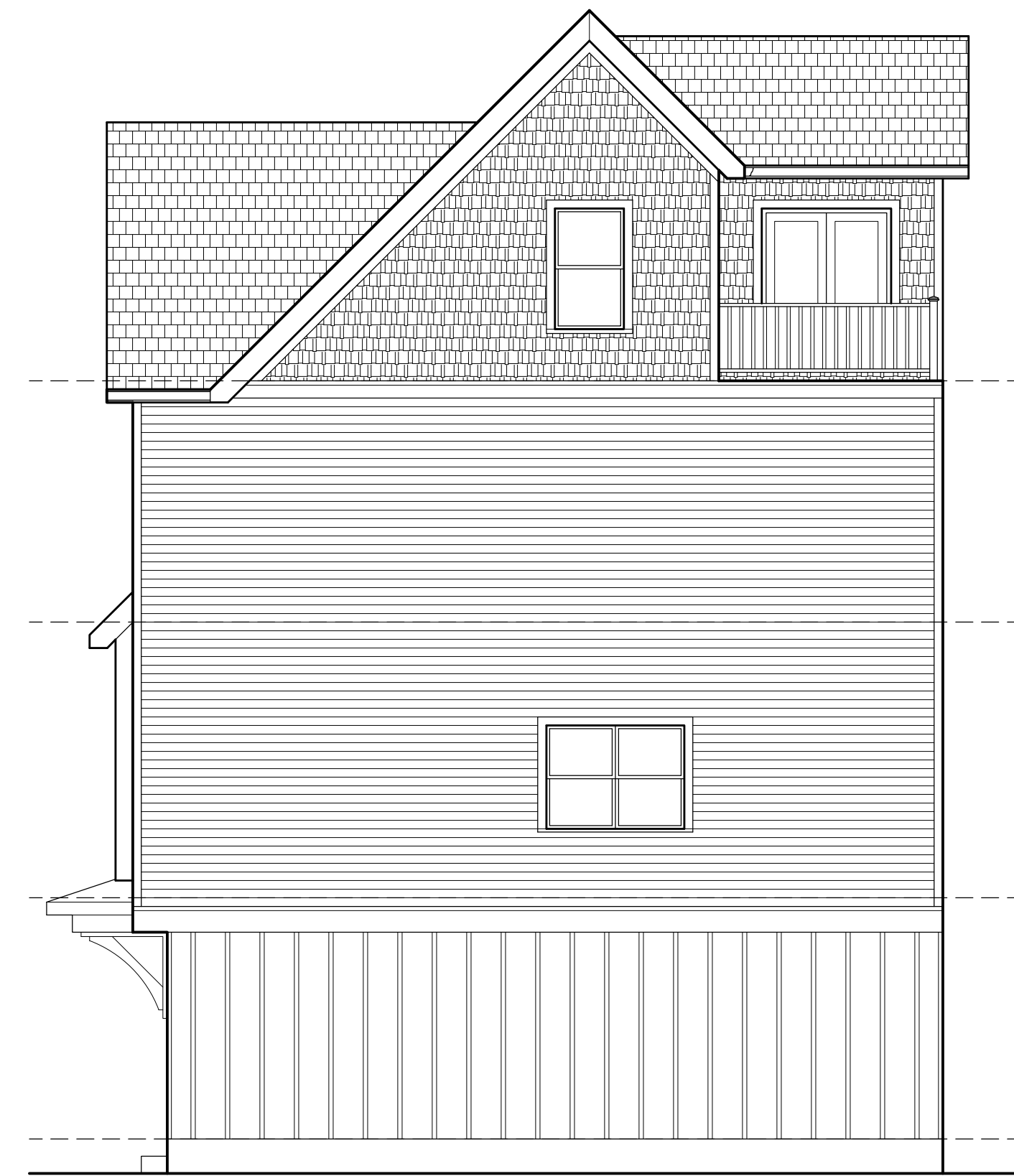
ATTIC LEVEL  
ELEV. 30'-8"

3RD FLOOR  
ELEV. 27'-4"

2ND FLOOR  
ELEV. 10'-8"

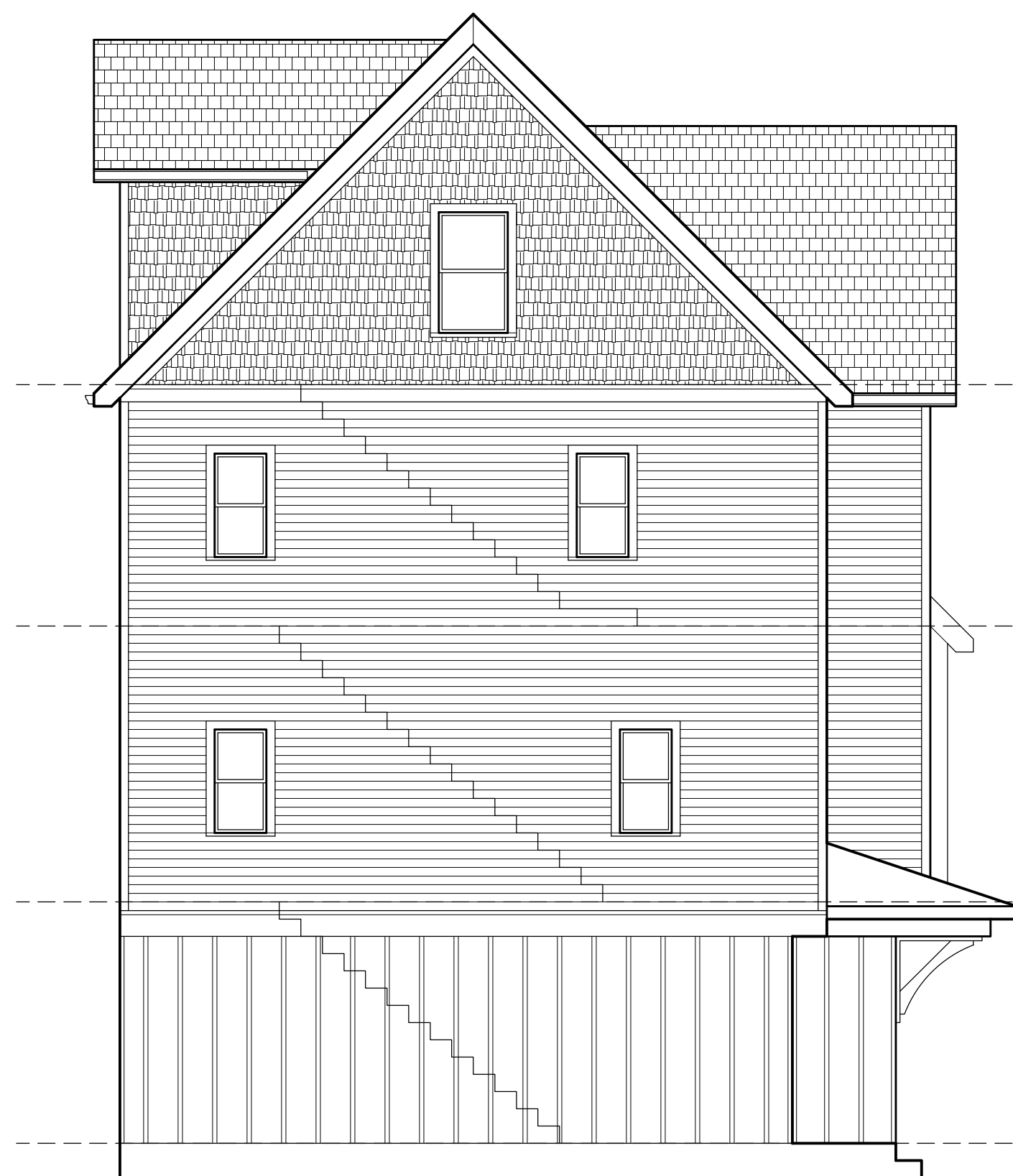
1ST FLOOR  
ELEV. 7'-4"

GRADE  
ELEV. 0'-0"



RIGHT SIDE ELEVATION

3/16" = 1'-0"



LEFT SIDE ELEVATION

3/16" = 1'-0"



TOP OF ROOF  
ELEV. 45'-0"

MEDIAN ROOF  
ELEV. 37'-8"

MEDIAN ROOF  
ELEV. 35'-6"

ATTIC LEVEL  
ELEV. 30'-8"

3RD FLOOR  
ELEV. 27'-4"

2ND FLOOR  
ELEV. 10'-8"

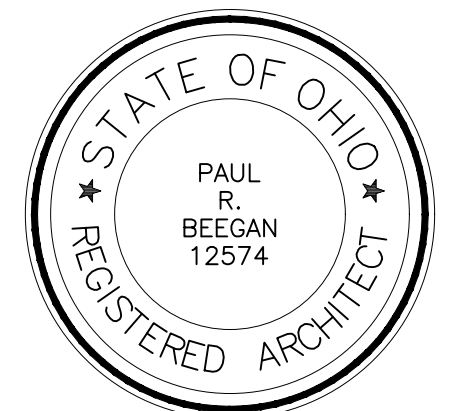
1ST FLOOR  
ELEV. 7'-4"

GRADE  
ELEV. 0'-0"



REAR ELEVATION

3/16" = 1'-0"



PAUL R. BEEGAN, LICENSE #12574  
EXPIRATION DATE: 12.31.2025

**BEEGAN**  
ARCHITECTURAL DESIGN

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LAKEWOOD, OHIO 44107  
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216.916.4591 FAX  
PAUL@BEEGAN-AD.COM

project no. 23-075

Hilane Realty  
Donald & Thoreau  
Development

ppn 312-26-102  
lakewood, oh 44107

Townhouses  
Exterior Elevations

**A4**



RENDERING FROM WEST  
N.T.S.



RENDERING TO EAST  
N.T.S.

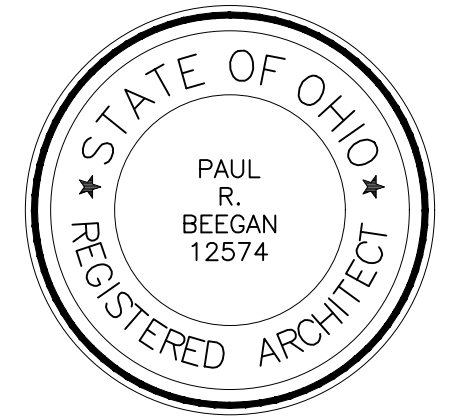


RENDERING TO WEST  
N.T.S.



RENDERING FROM EAST  
N.T.S.

ISSUE	DATE	DESCRIPTION
1	05.20.24	schematic design



PAUL R. BEGAN, LICENSE #12574  
EXPIRATION DATE: 12.31.2025

# BEEGAN

ARCHITECTURAL DESIGN

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LAKEWOOD, OHIO 44107  
WWW.BEEGAN-AD.COM

216.521.9000 PHONE  
216.916.4591 FAX  
PAUL@BEEGAN-AD.COM

project no. 23-075

Hilane Realty  
**Donald & Thoreau  
Development**

ppn 312-26-102  
lakewood, oh 44105

Townhouses  
Project Renderings

# A5



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

## Application Cover Page

**Docket No.: 06-22-24**

**Permit No.: PC24-000019**

**Applicant Name: Tyler Brummett, Brookside Shady LLC**

**Project Address: 12534 Lake Ave.**

**Project Name: Shady Cove Townhouses**

**Proposal: Lot splits to accommodate 16 townhouses (PPN 31210017), pursuant to Section 1155.07 – lot splits. Property is located in the MH, Multi-Family, High Density district.**



# LAKEWOOD TOWNHOMES

ADDRESS: 12534 LAKE AVE, LAKEWOOD, OH

The Lakewood Townhome project proposes for sale residential urban living on Lakewood's Gold Coast. The site is the nexus of three urban conditions:

1. Lakewood's famous mid-century high-rises,
2. Nearby historic colonial revival, art deco, and mid-century mid-rises,
3. And the beautiful historic homes that line Lake Avenue as it moves west.

The townhouse concept brings together elements of all three urban conditions with a new element that melds the other three. The townhouses together relate to the massing and site placement of the mid-rises to the east, they reflect the architectural styling of the high-rises to the north that serve as a backdrop when viewed from Lake Avenue, and in use they match the single-family private ownership of the houses to the south.

The site and urban design proposed will increase the walkability and livability of the Gold Coast by creating context that is human scaled, friendly to the street, and fills the existing void between Lake Avenue and Edgewater Drive.

23138S 01.11.24

LAKEWOOD TOWNHOMES | LAKEWOOD OHIO |

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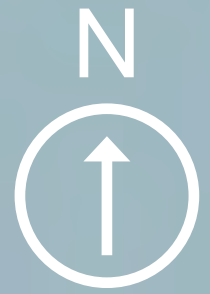


23138S 01.11.24

# LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE LOCATION MAP

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MID-CENTURY  
HIGH-RISE  
CONTEXT



23138S 01.11.24

## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT

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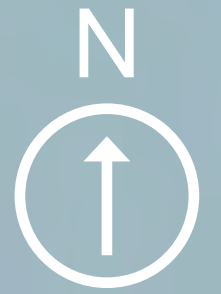


23138S 01.11.24

# LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT HIGH-RISE

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MID-CENTURY  
HIGH-RISE  
CONTEXT

HISTORIC  
COLONIAL REVIVAL  
ART DECO  
MID-RISE  
CONTEXT

LAKE AVE

EDGEWATER DR

COVE AVE

COVE AVE

CLIFTON BLVD

W 117TH ST

23138S 01.11.24

## LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE CONTEXT

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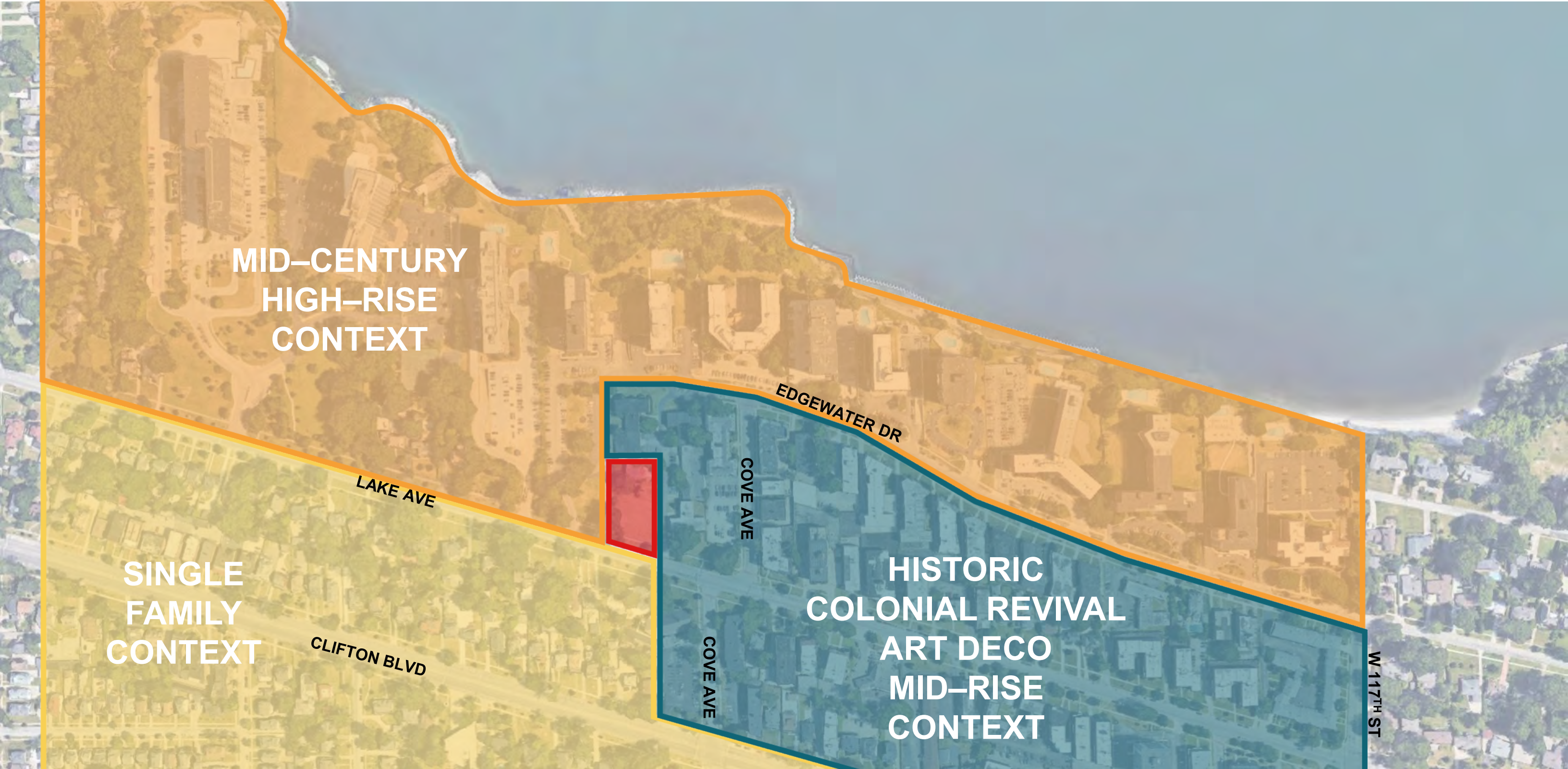


23138S 01.11.24

# LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT MID-RISE

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MID-CENTURY  
HIGH-RISE  
CONTEXT

SINGLE  
FAMILY  
CONTEXT

HISTORIC  
COLONIAL REVIVAL  
ART DECO  
MID-RISE  
CONTEXT

LAKE AVE

CLIFTON BLVD

EDGEWATER DR

COVE AVE

COVE AVE

W 117TH ST

23138S 12.14.23

# LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE CONTEXT PLAN

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23138S 01.11.24

## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE CONTEXT MID-RISE

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## 1920-1950s

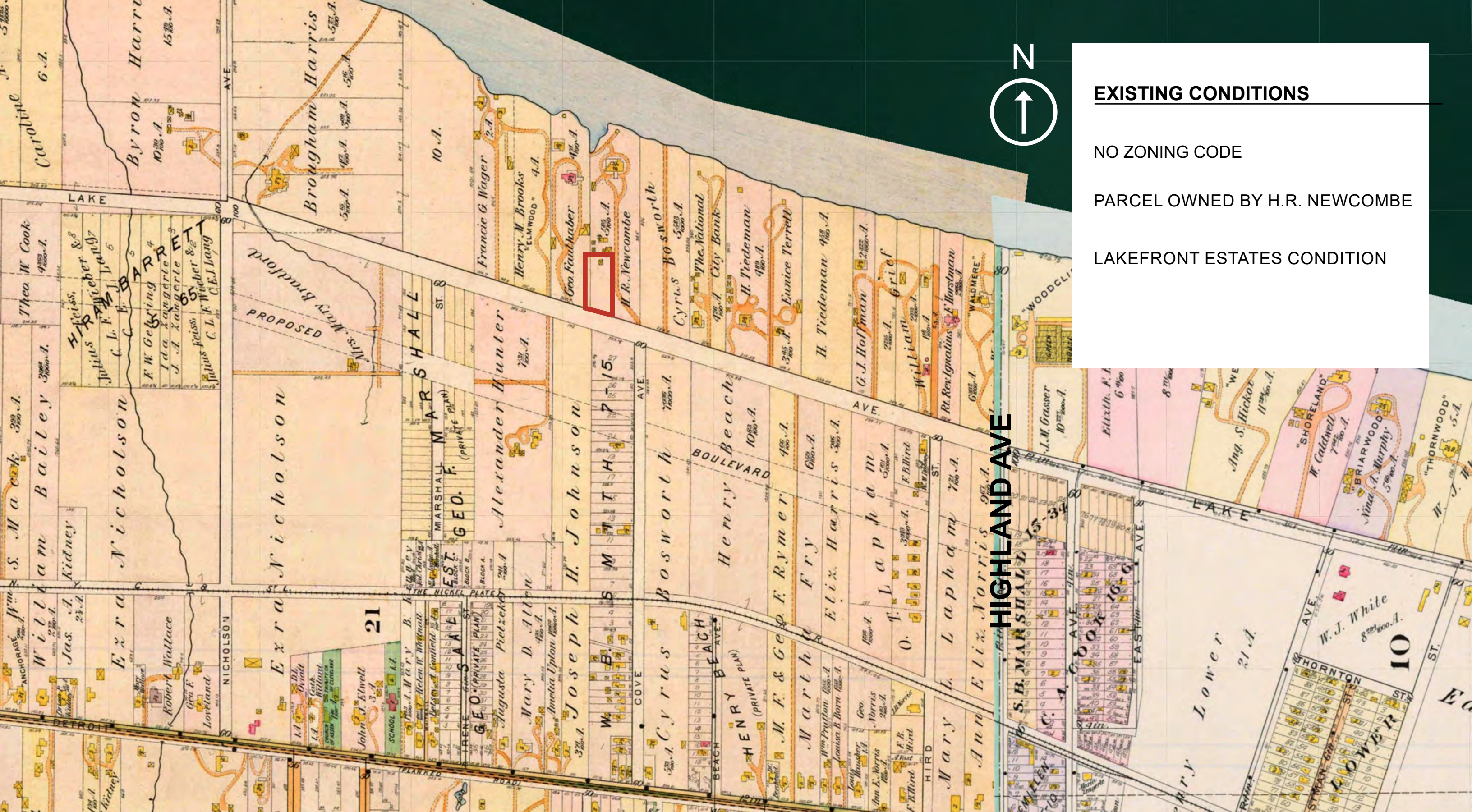
### 1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(a) “Lakewood consists of very distinctive neighborhoods that were settled at **different times during its development each with its own distinctive housing patterns, which are reflective of the time period during which these neighborhoods were nurtured during the growth of the City.**

**Many of these residential neighborhoods are easily recognizable by their consistency of characteristics** such as height, setbacks and side yards as well as their distinctive exterior facade design elements including, but not limited to, porches and steps, masonry, stoops, cornices and trims, doors and windows and other architectural styles and features, which over the years created a neighborhood environment and streetscape that brought neighbors together. “

“In a correspondence from the Ohio Historic Preservation Office dated May 5, 1992, their opinion is that the entire City constitutes a single historic district, eligible for listing in the National Register of Historic Places. As stated in their letter, “The City is **significant as a late nineteenth and early twentieth century** streetcar suburb. The City is also unique in that for a community of its size and density it retains remarkable integrity to convey both its historic and architectural significance.”

As a result of the Ohio Historic Preservation findings, **the City encourages conservation, preservation, redevelopment, and revitalization of residential neighborhoods to preserve their unique environments and for the public welfare of the City.** The City acknowledges as a matter of public policy that the preservation and protection of residential neighborhoods is required for the health, safety and welfare of the people.”



**EXISTING CONDITIONS**

- NO ZONING CODE
- PARCEL OWNED BY H.R. NEWCOMBE
- LAKEFRONT ESTATES CONDITION

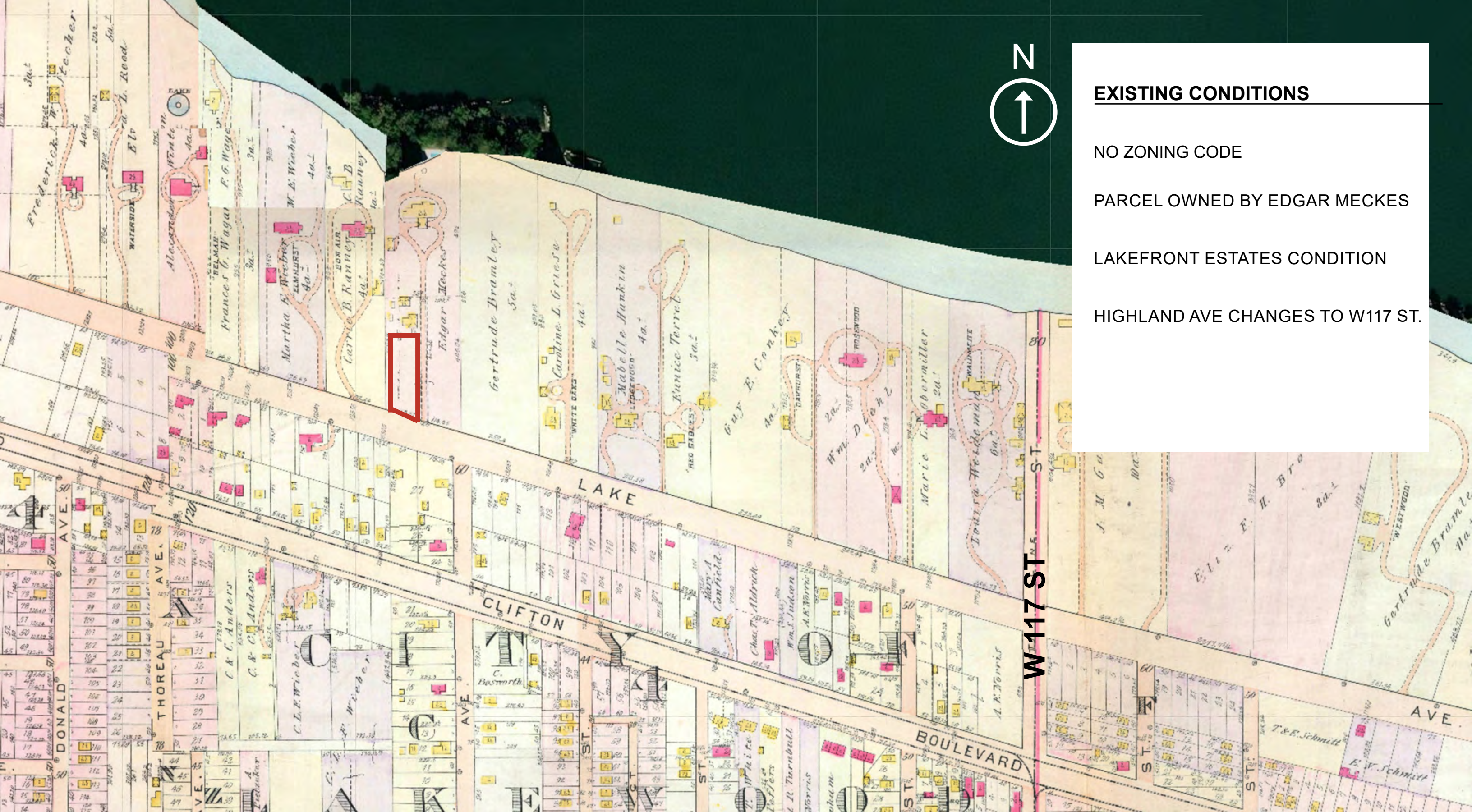
HIGHLAND AVE

23138S 01.11.24

**LAKWOOD TOWNHOMES | LAKWOOD OHIO | 1898 EXISTING CONDITIONS**

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**EXISTING CONDITIONS**

NO ZONING CODE

PARCEL OWNED BY EDGAR MECKES

LAKEFRONT ESTATES CONDITION

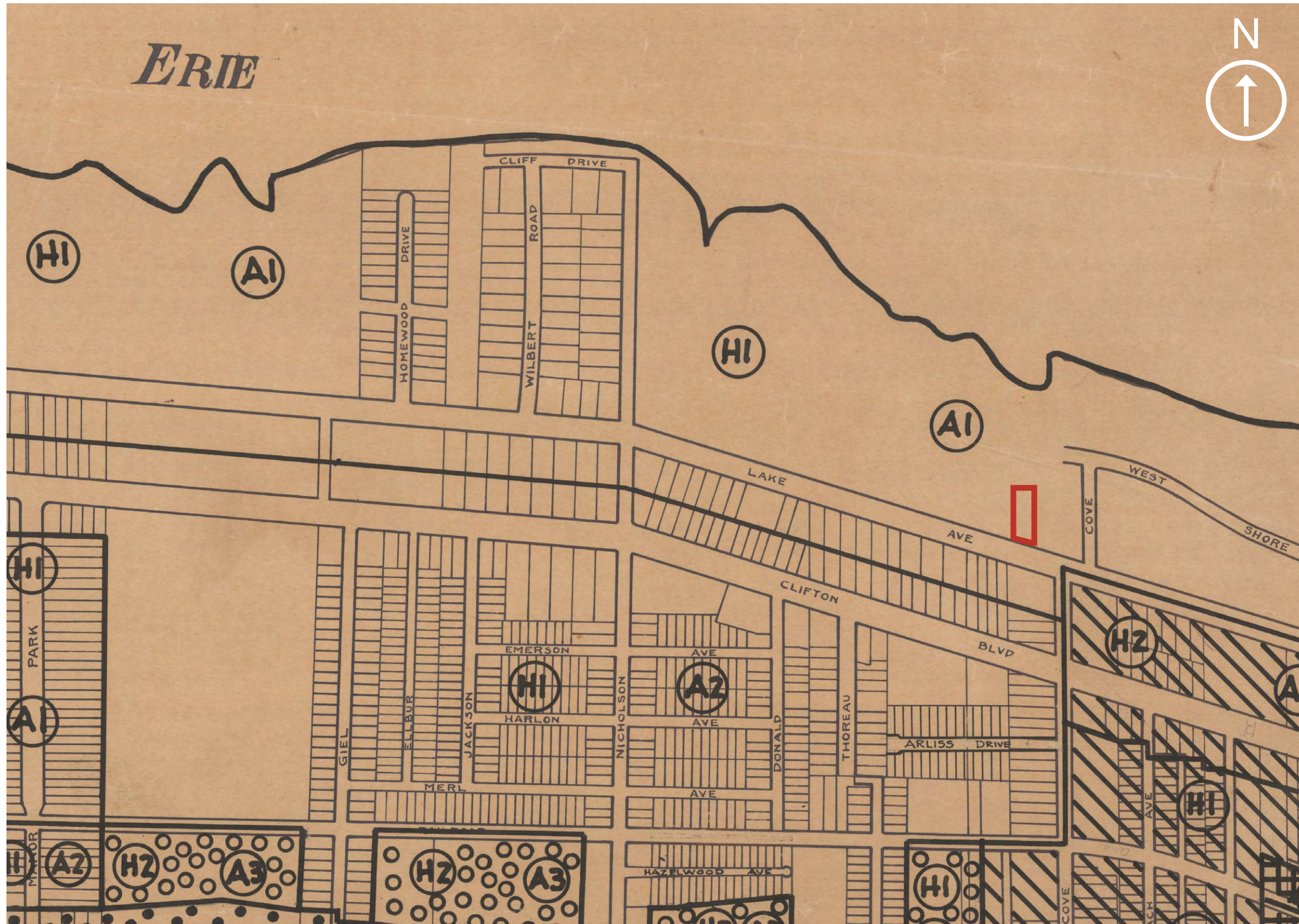
HIGHLAND AVE CHANGES TO W117 ST.

23138S 01.11.24

**LAKWOOD TOWNHOMES | LAKWOOD OHIO | 1912 EXISTING CONDITIONS**

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## ZONING

ZONING CODE ESTABLISHED.  
 NEW STREETS ADDED.  
 W. NEIGHBORHOOD REPLATTED  
 FOR GREATER DENSITY.

### ZONE:

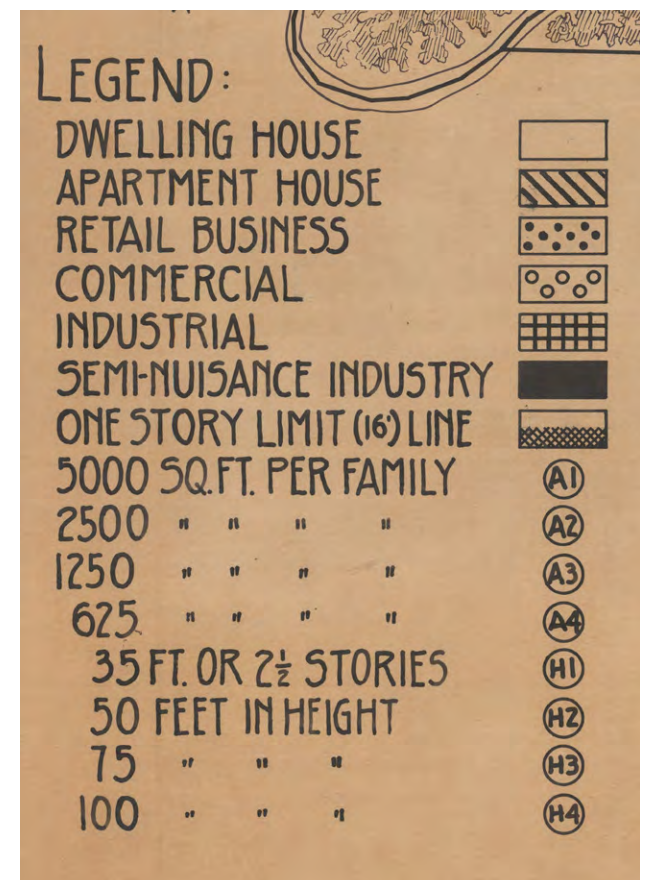
DWELLING HOUSE

### DENSITY:

A1 - 5,000 SQ. FT. PER FAMILY

### HEIGHT:

H1 - 35' OR 2.5 STORIES

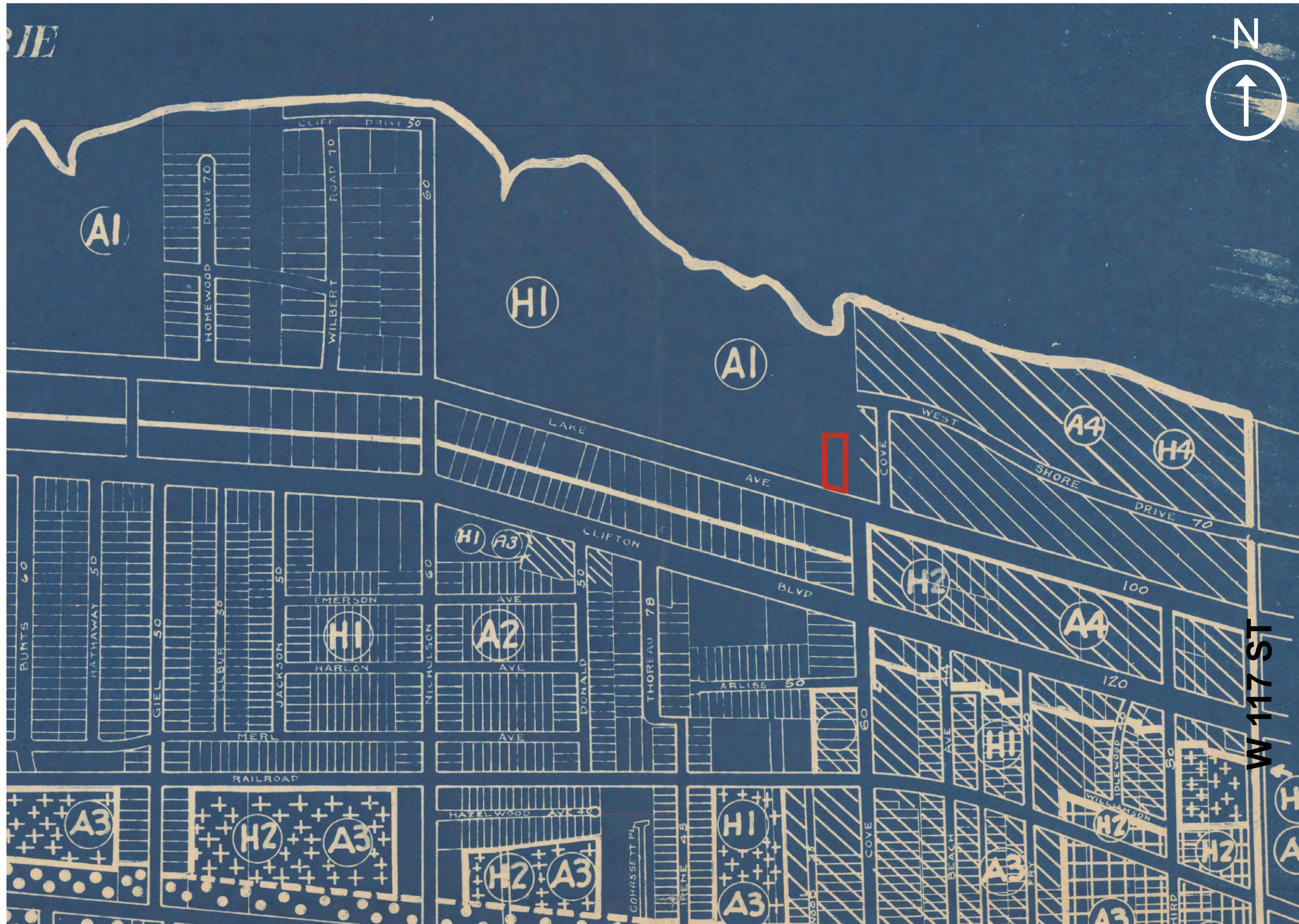


23138S 01.11.24

## LAKWOOD TOWNHOMES | LAKWOOD OHIO | 1920 ZONING

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**ZONING:**

E. NEIGHBORHOOD REZONED FOR GREATER DENSITY.

**ZONE:**

DWELLING HOUSE

**DENSITY:**

A1 - 5,000 SQ. FT. PER FAMILY

**HEIGHT:**

H1 - 35' OR 2.5 STORIES

**LEGEND:**

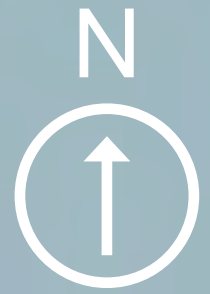
[Symbol]	DWELLING HOUSE	1a
[Symbol]	APARTMENT HOUSE	1b
[Symbol]	RETAIL STORE	2a
[Symbol]	COMMERCIAL	2b
[Symbol]	INDUSTRIAL	3a
[Symbol]	SEMI-NUISANCE INDUSTRY	3b
(A1)	5000 SQ.-FT. PER FAMILY	
(A2)	2500 " " " "	
(A3)	1250 " " " "	
(A4)	625 " " " "	
(H1)	35 FT. OR 2½ STORIES	
(H2)	50 FEET IN HEIGHT	
(H3)	75 " " " "	
(H4)	100 " " " "	

23138S 01.11.24

**LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | 1925 ZONING**

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MID-CENTURY  
HIGH-RISE  
CONTEXT

SINGLE  
FAMILY  
CONTEXT

HISTORIC  
COLONIAL REVIVAL  
ART DECO  
MID-RISE  
CONTEXT

LAKE AVE

CLIFTON BLVD

EDGEWATER DR

COVE AVE

COVE AVE

W 117TH ST

## LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE CONTEXT

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**EXISTING CONDITIONS**

PARCEL OWNED BY AMANDA MECKES

1. LAKE SHORE HOTEL APPEARS
2. WEST SHORE DRIVE & COVE AVE.
3. P. MARQUARO SUB DIVISION

23138S 01.11.24

**LAKWOOD TOWNHOMES | LAKEWOOD OHIO | 1927 EXISTING COND.**

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**ZONING:**

ACCESS DRIVE WITH TURNAROUND APPEARS

**ZONE:** (TRANSITIONAL ZONING CONDITION)

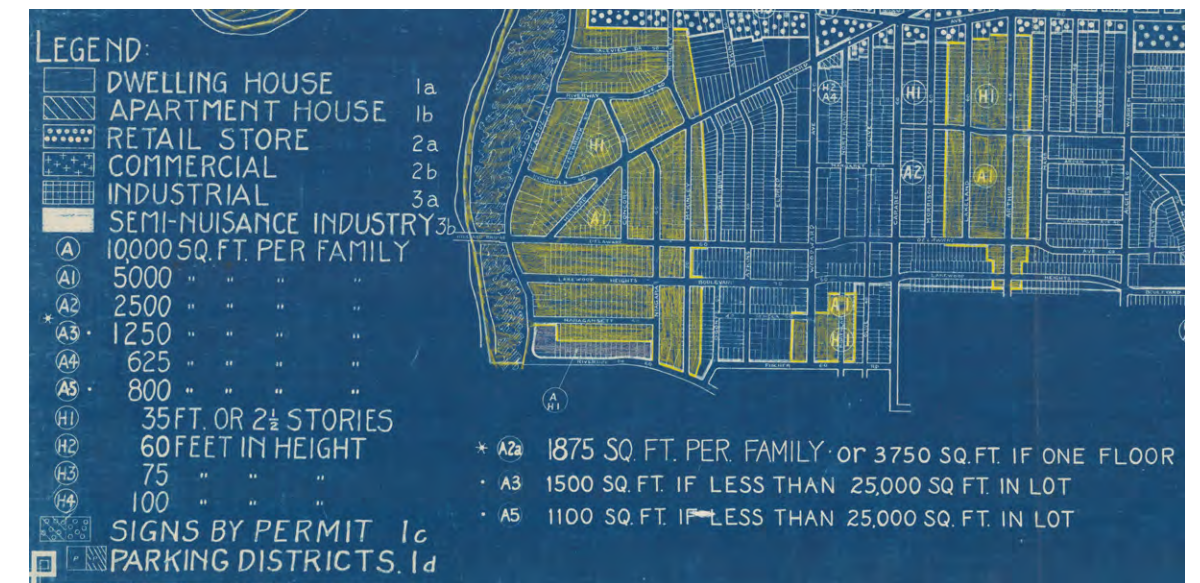
DWELLING HOUSE  
& APARTMENT HOUSE

**DENSITY:**

**A** - 10,000 SQ. FT. PER FAMILY  
**A2a** - 1,875 SQ. FT. PER FAMILY OR 3,750 SQ. FT. IF ONE FLOOR

**HEIGHT:**

**H1** - 35' OR 2.5 STORIES

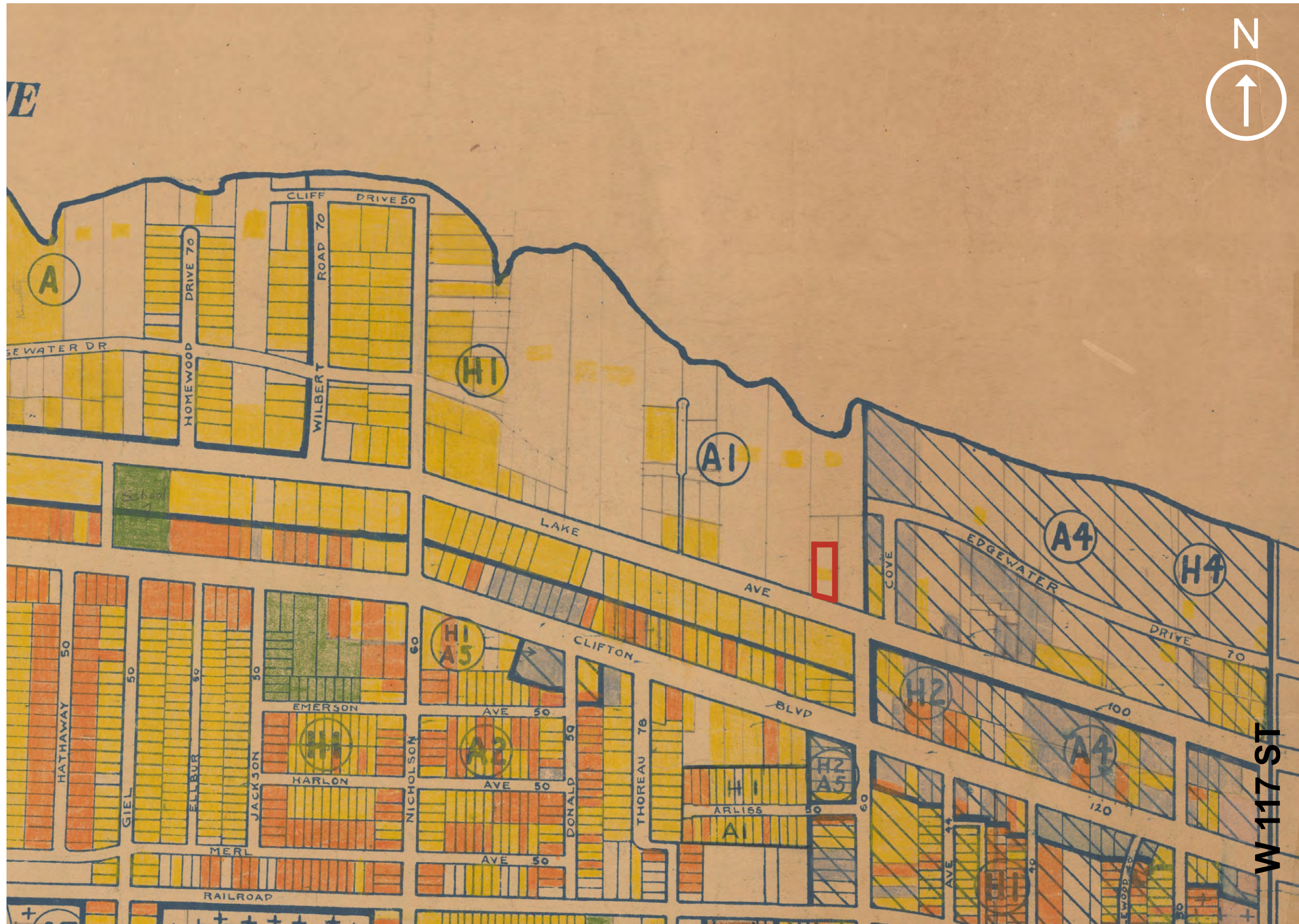


23138S 01.11.24

**LAKWOOD TOWNHOMES | LAKWOOD OHIO | 1930 ZONING**

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**ZONING:**

**ZONE:**

DWELLING HOUSE

**DENSITY:**

A1 - 5,000 SQ. FT. PER FAMILY

**HEIGHT:**

H1 - 35' OR 2.5 STORIES

**LEGEND:**

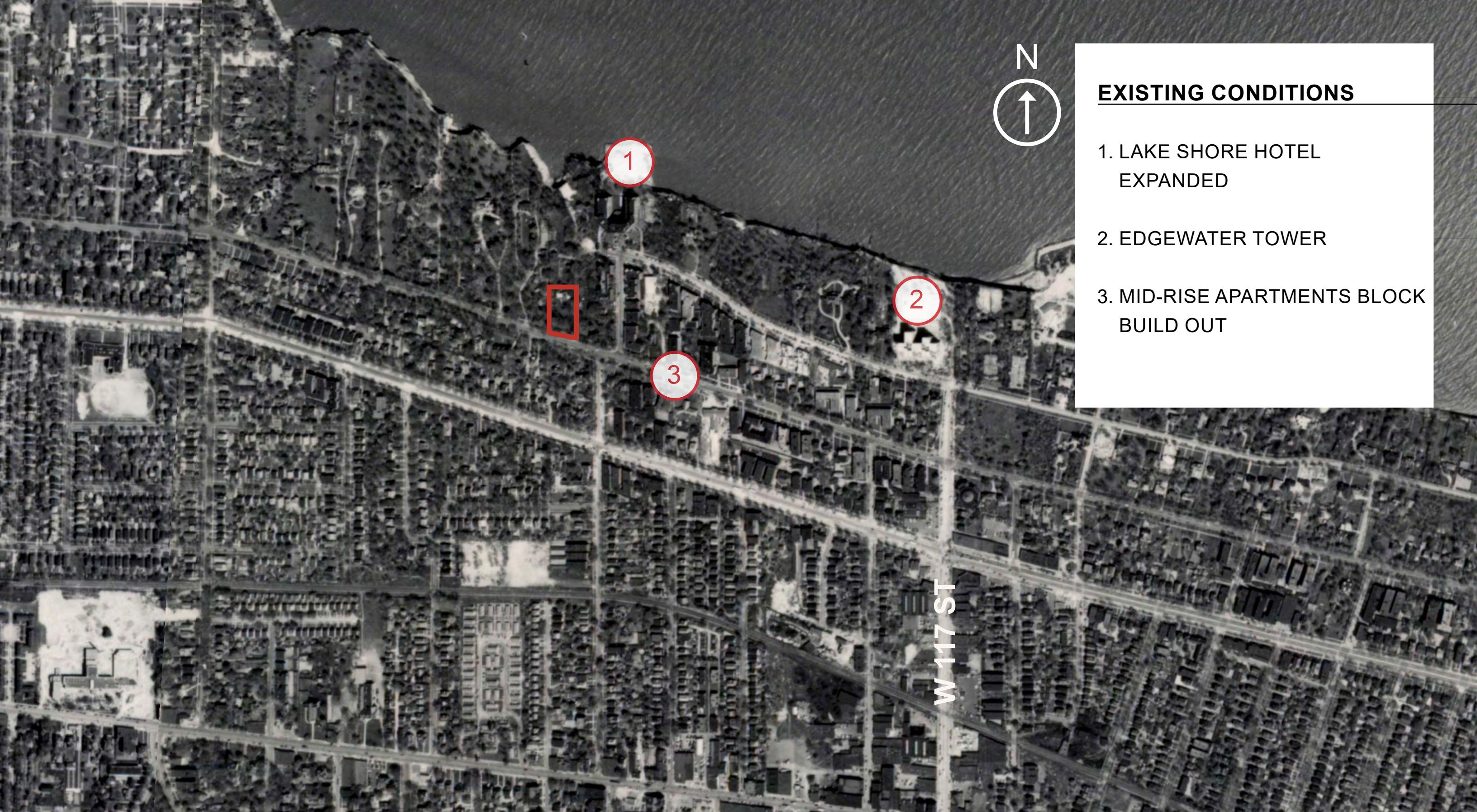
[Yellow Box]	DWELLING HOUSE	1a
[Blue Hatched Box]	APARTMENT HOUSE	1b
[Red Dotted Box]	RETAIL STORE	2a
[Green Dotted Box]	COMMERCIAL	2b
[Orange Dotted Box]	INDUSTRIAL	3a
[Dark Blue Dotted Box]	SEMI-NUISANCE INDUSTRY	3b
(A)	10000 SQ. FT. PER FAMILY	
(A1)	5000 " " " "	
(A2)	2500 " " " "	
(A3)	1250 " " " "	
(A4)	625 " " " "	
(A5)	800 " " " "	
(H1)	35 FT. OR 2½ STORIES	
(H2)	50 FEET IN HEIGHT	
(H3)	75 " " " "	
(H4)	100 " " " "	

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**LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | 1942 ZONING**

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## EXISTING CONDITIONS

1. LAKE SHORE HOTEL EXPANDED
2. EDGEWATER TOWER
3. MID-RISE APARTMENTS BLOCK BUILD OUT

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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | 1951 EXISTING CONDITIONS

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**ZONING:**

**ZONE:** (TRANSITIONAL ZONING CONDITION REISSUED)

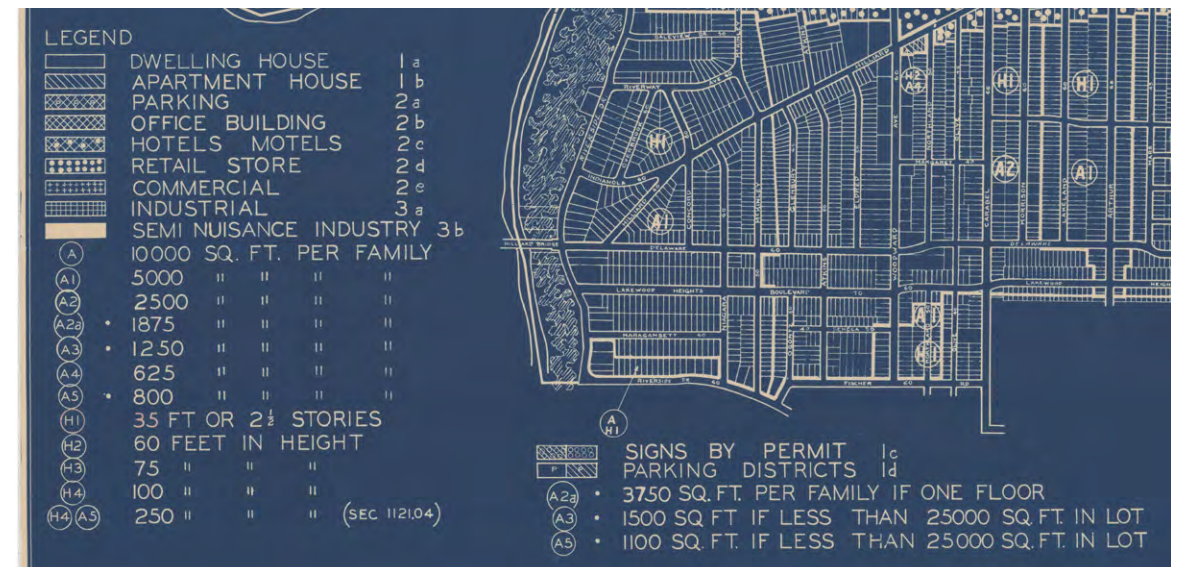
DWELLING HOUSE  
& APARTMENT HOUSE

**DENSITY:**

A - 10,000 SQ. FT. PER FAMILY  
A2a - 3,750 SQ. FT. IF ONE FLOOR

**HEIGHT:**

H1 - 35' OR 2.5 STORIES

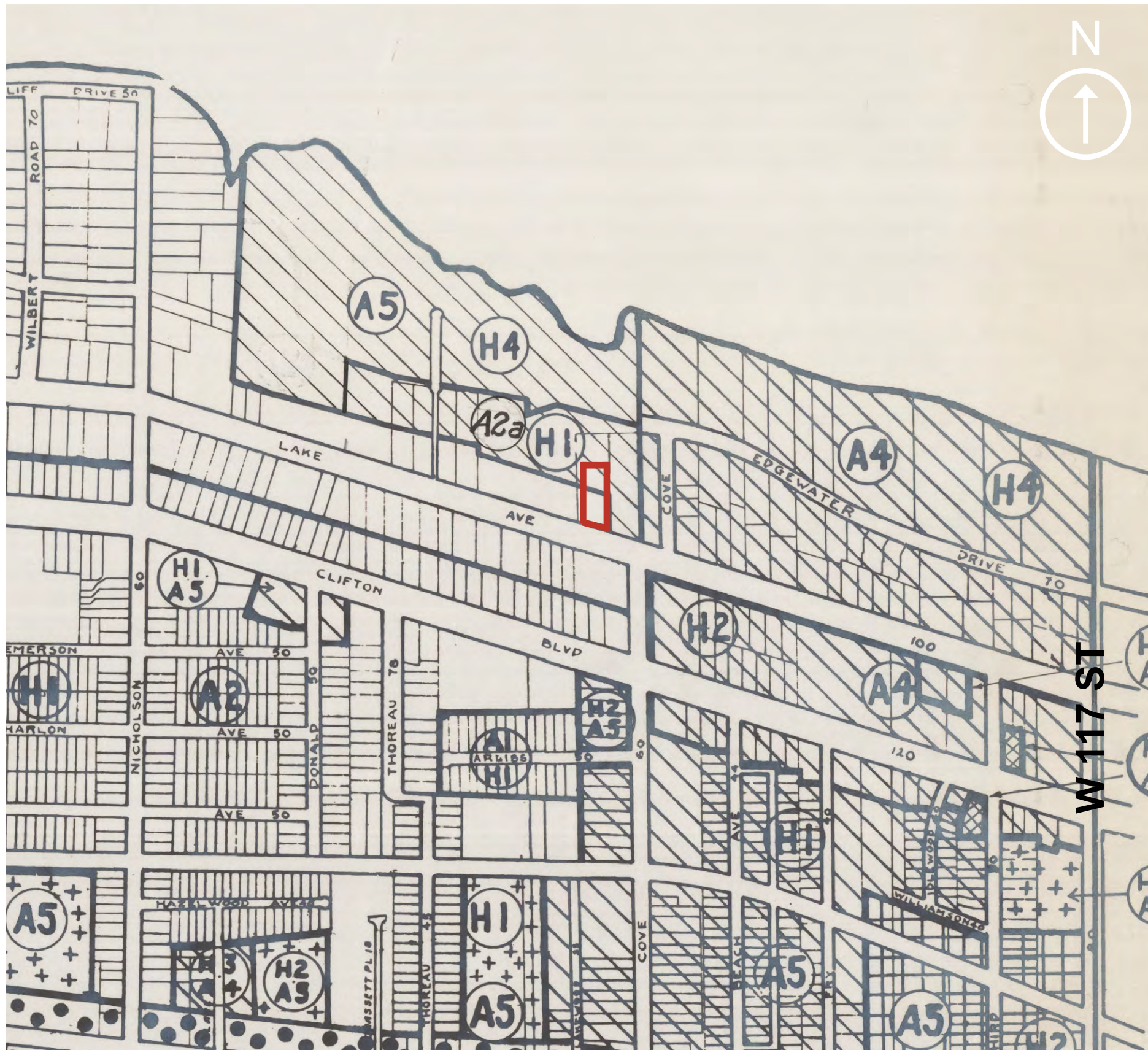


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**LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | 1963 ZONING**

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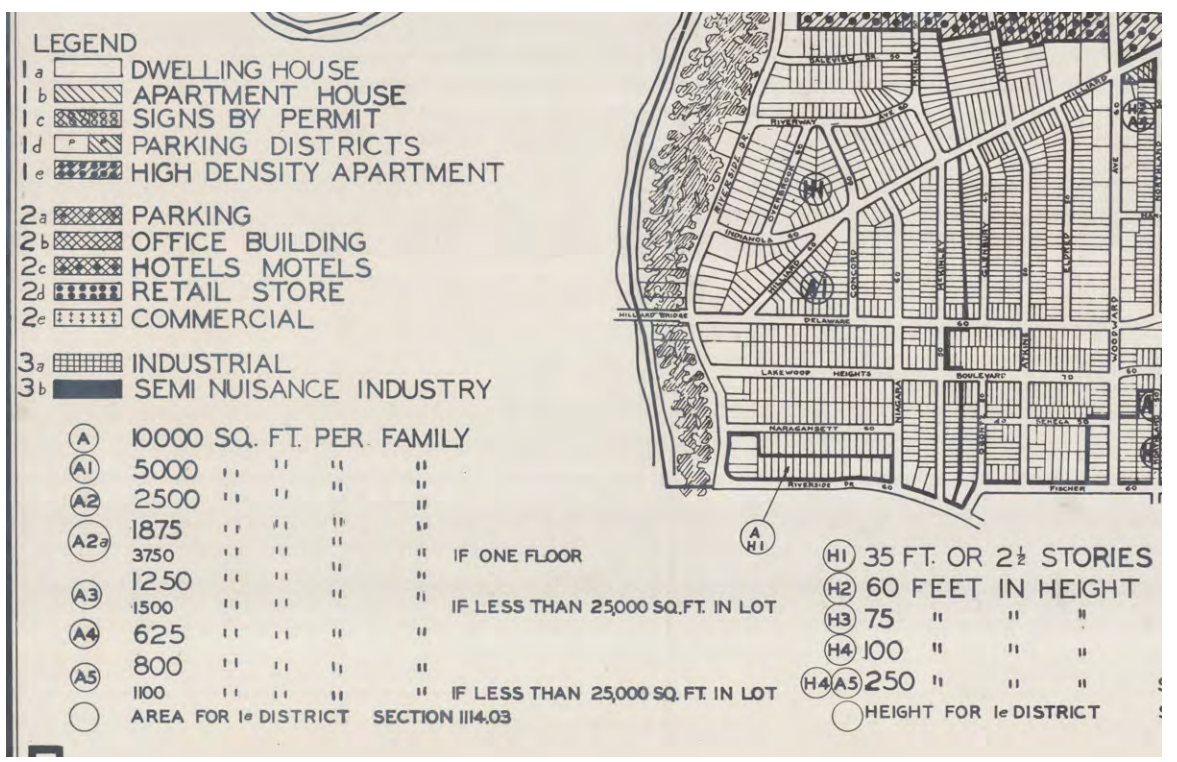


**ZONING:**  
A5/H4 ZONE EXPANDS

**ZONE:**  
DWELLING HOUSE  
& APARTMENT HOUSE

**DENSITY:**  
A - 10,000 SQ. FT. PER FAMILY  
A2a - 3,750 SQ. FT. IF ONE FLOOR

**HEIGHT:**  
H1 - 35' OR 2.5 STORIES



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**LAKWOOD TOWNHOMES | LAKEWOOD OHIO | 1967 ZONING**

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## **EXISTING CONDITIONS**

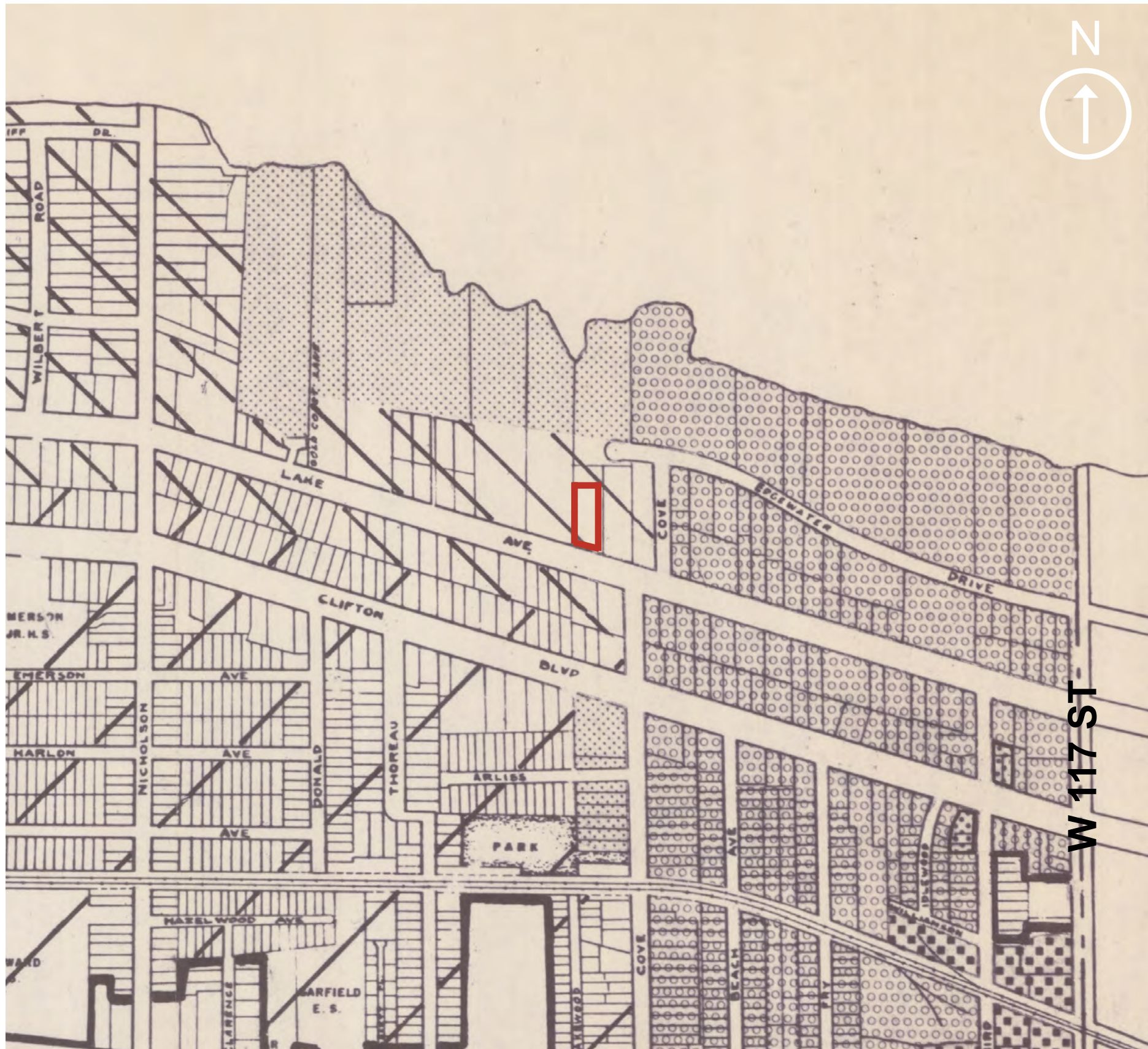
- 1. TALLEST TOWERS ON EAST SIDE COMPLETE
- 2. COMPLETE BUILD OUT OF SHORELINE WITH MID CENTURY HIGHRISES

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## **LAKWOOD TOWNHOMES | LAKEWOOD OHIO | 1979 EXISTING CONDITIONS**

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**ZONING:**

**ZONE:**

R1 - SINGLE FAMILY (R1)

**DENSITY:**

R1 - 15,000 SQ. FT. (LOT AREA)

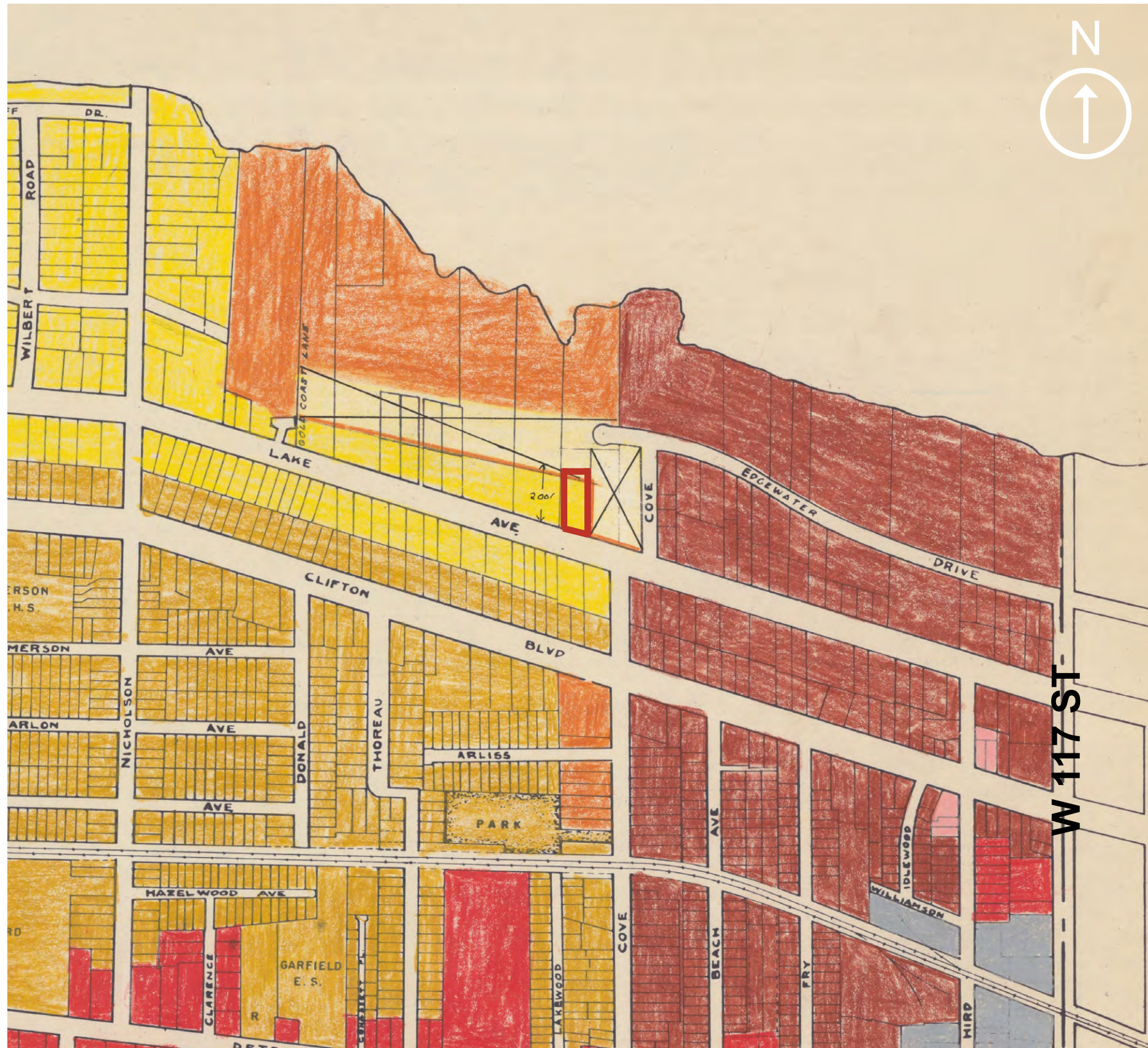
CLASSIFICATION OF DISTRICTS			
1 FAMILY	R1		15,000 sq.ft.
1 & 2 FAMILY	R2		5,000 sq.ft.
MULTIPLE FAMILY	M1		Minimum lot area 15,000 sq.ft. lot area per suite 800 sq.ft.
MULTIPLE FAMILY	M2		Minimum lot area 10,000 sq.ft. lot area per suite 800 sq.ft. 1 to 4 floor; 5 or more floors, 600 sq.ft.
BUSINESS RESIDENTIAL	BR		Minimum lot size 5,000 sq.ft. area per dwelling unit 500 sq.ft.
OFFICE	B1		6,000 sq.ft.
INDUSTRIAL	X		

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**LAKWOOD TOWNHOMES | LAKWOOD OHIO | 1980 ZONING**

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**ZONING:**

**ZONE:**

R1 - SINGLE FAMILY (R1)

**DENSITY:**

R1 - 14,000 SQ. FT. (LOT AREA)

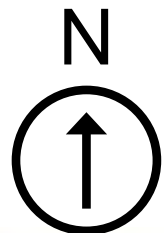
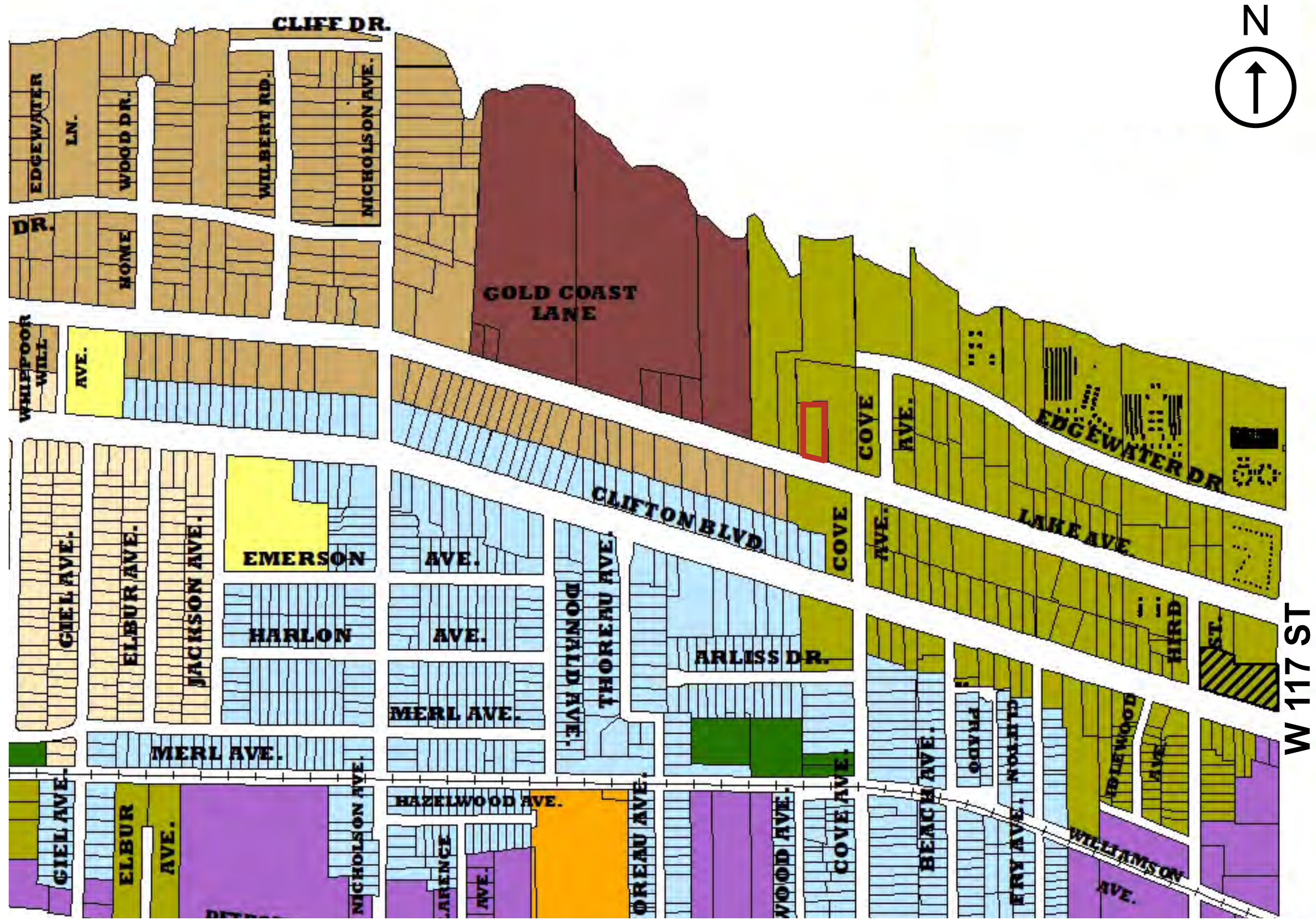
CLASSIFICATION OF DISTRICTS		
SINGLE FAMILY	R1	14,000 sq. ft.
MULTIPLE FAMILY	R2	5,000 sq. ft.
MULTIPLE FAMILY	M1	MINIMUM LOT AREA 15,000 sq. ft. LOT AREA PER SUITE 800 sq. ft.
MULTIPLE FAMILY	M2	MINIMUM LOT AREA 10,000 sq. ft. LOT AREA PER SUITE: 1 TO 4 FLOORS, 800 sq. ft. 5 OR MORE FLOORS, 600 sq. ft.
BUSINESS RESIDENTIAL	BR	MINIMUM LOT SIZE 5,000 sq. ft. AREA PER DWELLING UNIT 500 sq. ft.
OFFICE	B1	6,000 sq. ft.
INDUSTRIAL	X	5,000 sq. ft.
FLOOD PLAIN	FP	

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**LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | 1982 ZONING**

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**ZONING:**

**ZONE:**

MH - RESIDENTIAL, MULTI-FAMILY

**DENSITY:**

MH - HIGH

- Mixed Use Overlay
- Historic Designation - National
- Historic Designation - Local
- C1 - Commercial, Office
- C2 - Commercial, Retail
- C3 - Commercial, General
- C4 - Commercial, Public School
- I - Industrial
- L - Lagoon
- MH - Residential, Multi-Family (High Density)
- ML - Residential, Multi-Family (Low Density)
- PD - Planned Development
- PARK
- R1H - Residential, Single Family (High Density)
- R1M - Residential, Single Family (Medium Density)
- R1L - Residential, Single Family (Low Density)
- R2 - Residential, Single and Two Family

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**LAKWOOD TOWNHOMES | LAKEWOOD OHIO | 1996 ZONING**

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## 1920-1950s

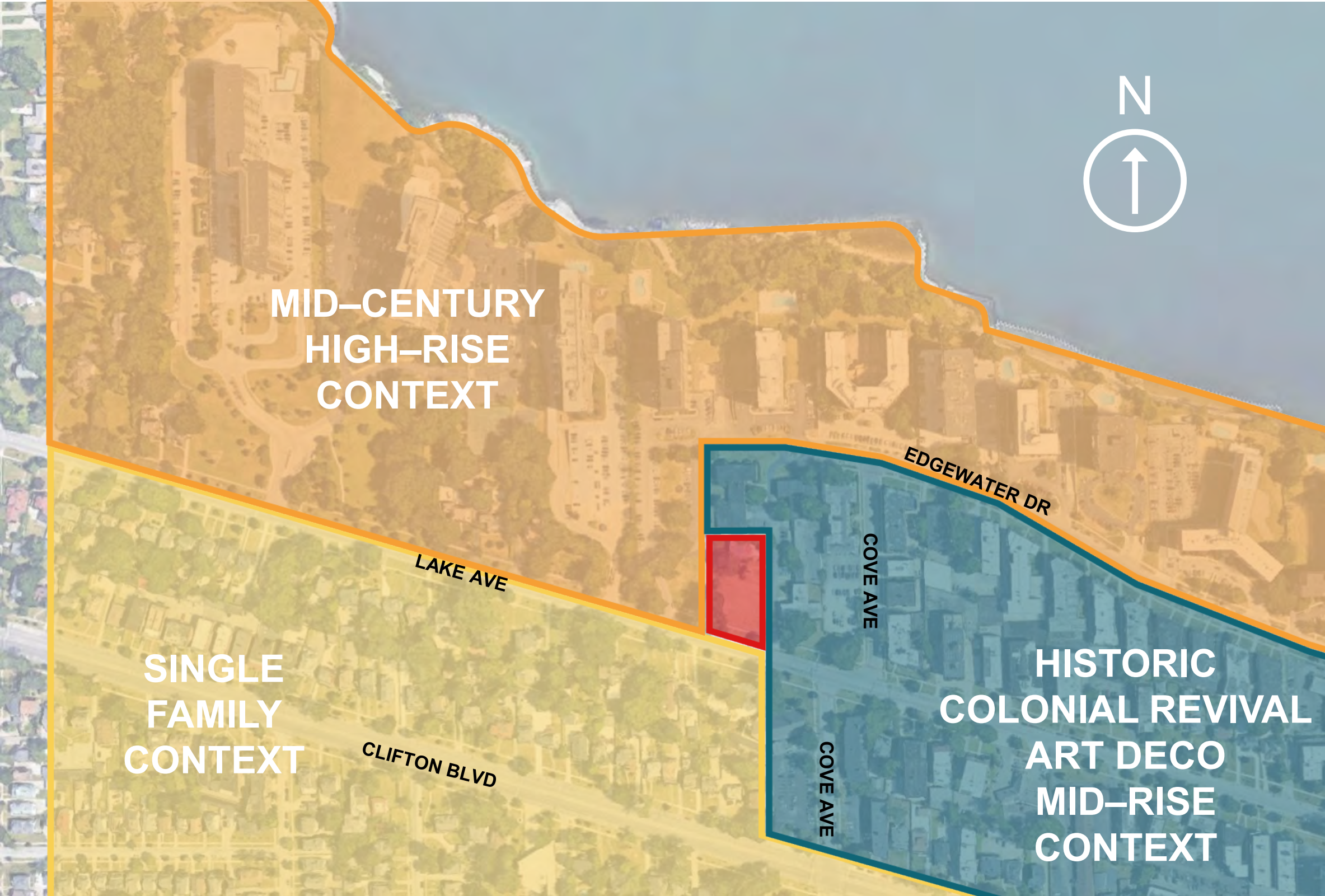
### 1133.09 DEMOLITION OR REMOVAL OF RESIDENTIAL STRUCTURES.

(3) The proposed principal structure at the location of such property conforms to the design requirements set forth in Chapter 1325 of the Building Code and has been approved by the Architectural Board of Review, and by any other required boards and commissions of the City, in order to proceed with the new principal structure. In addition, notwithstanding any other requirements, all approvals for such proposed principal structure shall be based on the following factors:

A. The proposed principal structure is consistent with the Code, the Vision and the “Standards for Rehabilitation” adopted by the U.S. Secretary of the Interior, as stated in Title 36 of the Code of Federal Regulations, Part 1208 (Formerly of Part 67); and

**B. The proposed principal structure is consistent with any historic or aesthetic features of the residential property being replaced and/or the nature and appearance of the surrounding neighborhood.**

C. The Secretary of all such required boards and commissions of the City shall immediately notify the Commissioner of compliance with the provisions of this section by any applicant that would allow and provide for the issuance of a demolition permit or a removal permit by the Commissioner.



## CURRENT CONTEXT

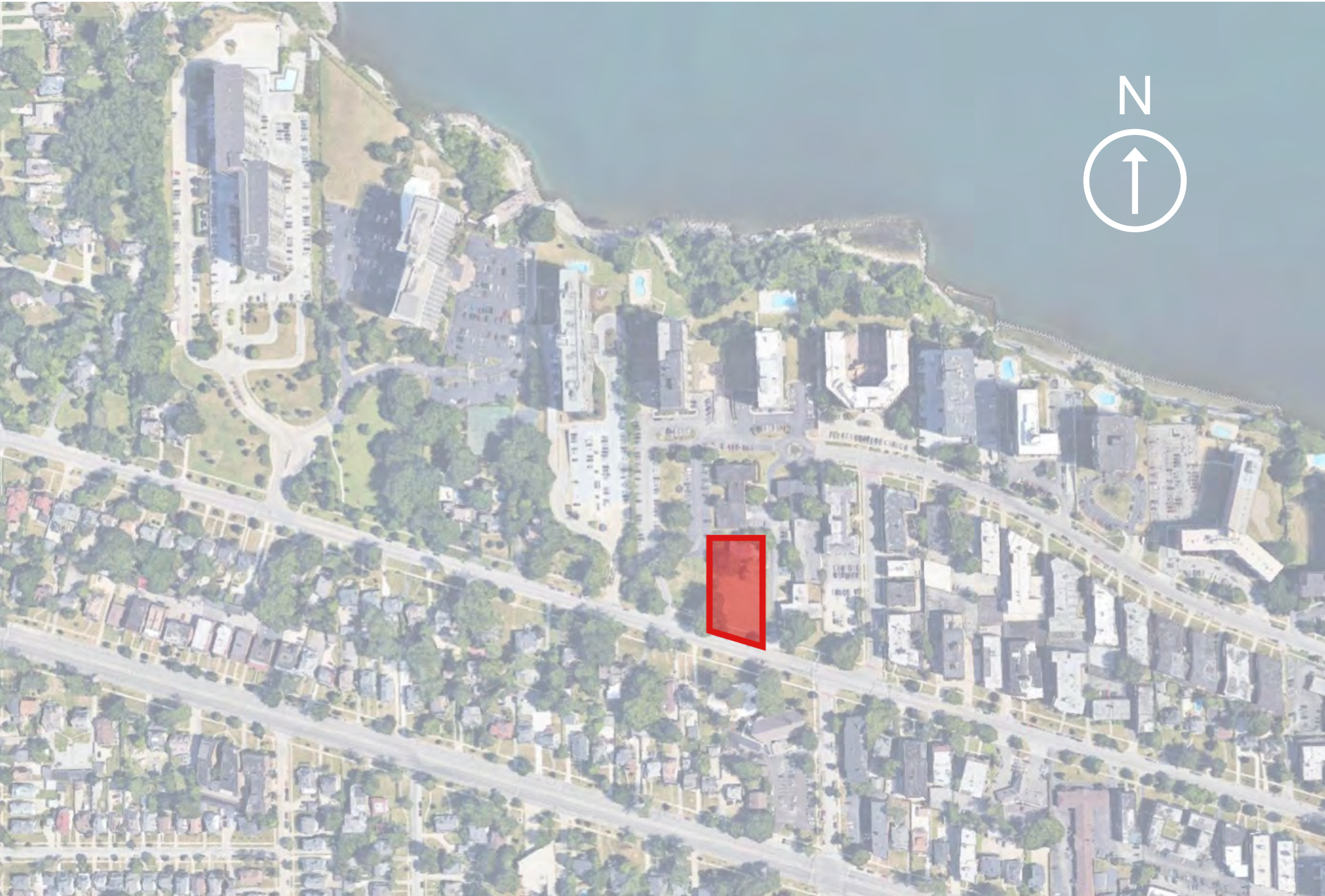
WHAT WE NOW CALL THE GOLD COAST EXPRESSES SETTLEMENT PATTERNS AND BUILDING TYPES THAT EVOLVED AND CHANGED DURING DIFFERENT BUT OVERLAPPING TIME PERIODS. THE ORIGINAL PATTERNS OF DEVELOPMENT HAVE BEEN REPLACED BY NEWER PATTERNS THAT REPRESENT THEIR OWN PERIODS OF SIGNIFICANCE THAT CAN BE FRAMED IN DISTINCT HISTORIC CONTEXTS.

THE EVOLUTION OF THE NEIGHBORHOOD SHOWS CHANGES THAT MOVED IT FROM A NEIGHBORHOOD CONSISTING EXCLUSIVELY OF LARGE SINGLE FAMILY HOME LAKE-FRONT ESTATES TO ONE THAT IS OVERWHELMINGLY MULTIFAMILY IN NATURE. THE MULTIFAMILY DEVELOPMENT CAME IN TWO OVERALL HISTORIC PERIODS OF SIGNIFICANCE THAT OVERLAP:

## LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE CONTEXT

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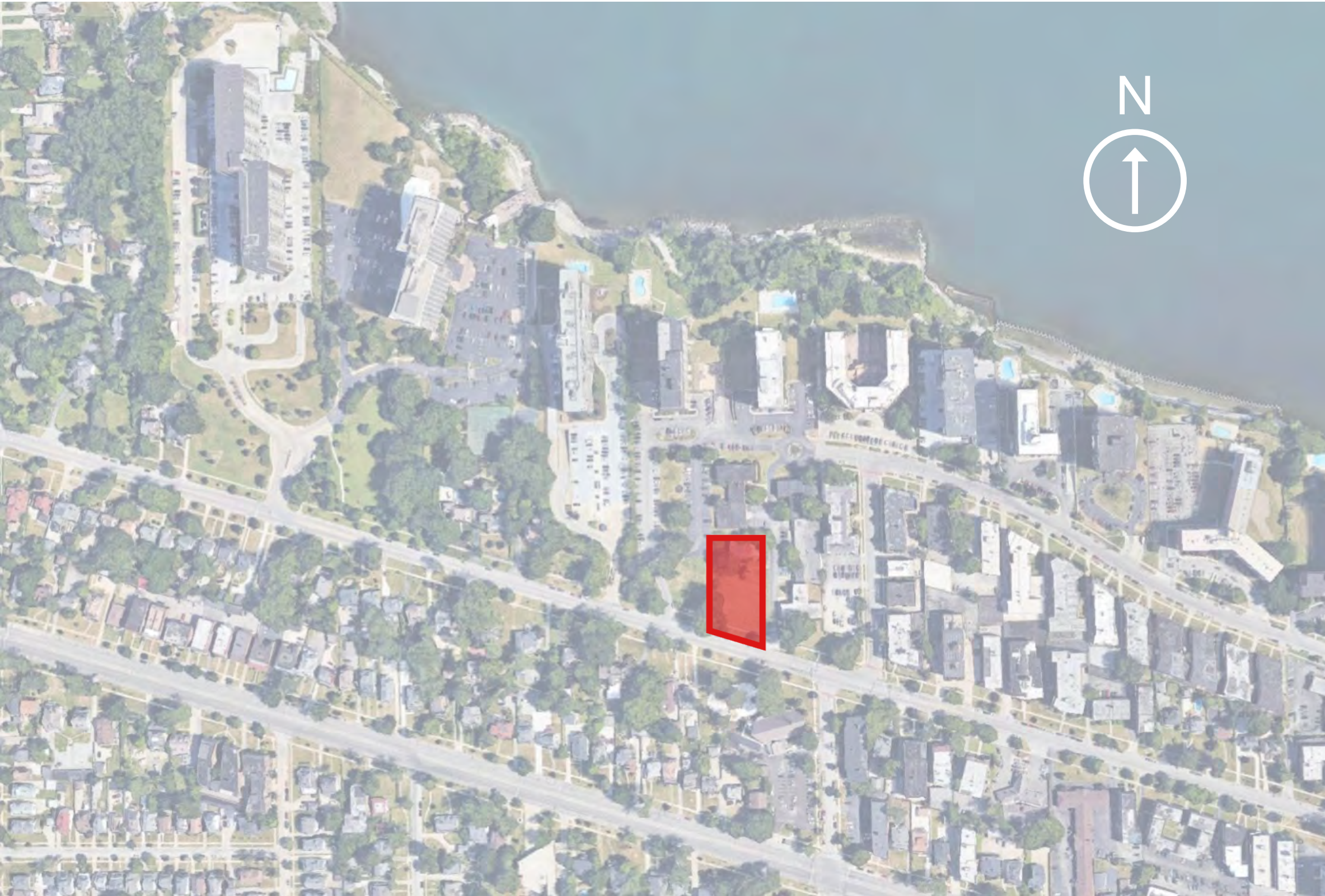
### 1920-1950s

FIVE SINGLE FAMILY HOMES BUILT FROM 1921 TO 1927 (PARCELS 31211011, 31211012, 31211013, 31211014, & 31211030) BEGAN THE CONVERSION OF THE AREA FROM LAKE-FRONT ESTATES TO GREATER DENSITY. AT THIS TIME, WHAT IS NOW KNOWN AS EDGEWATER DRIVE AND COVE AVENUE WERE NEWLY CREATED STREETS THAT SHOW UP BY 1920. MID-RISE AND TOWNHOUSE MULTIFAMILY DEVELOPMENT CONTINUED ON THE REMAINDER OF THE BLOCK EAST OF COVE AVENUE, (BUT INCLUDING THE PARCEL WEST OF COVE AVENUE), SOUTH OF EDGEWATER DRIVE, WEST OF WEST 117TH STREET AND NORTH OF LAKE AVENUE IN THE 1920S WITH FULL BUILD OUT BY THE 1950S. TOWNHOMES OF A SCALE, SETBACK AND DENSITY MATCHING THE CONTEXT OF THE BLOCK WERE ADDED IN THE LATE 1970S.

## LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | SITE CONTEXT

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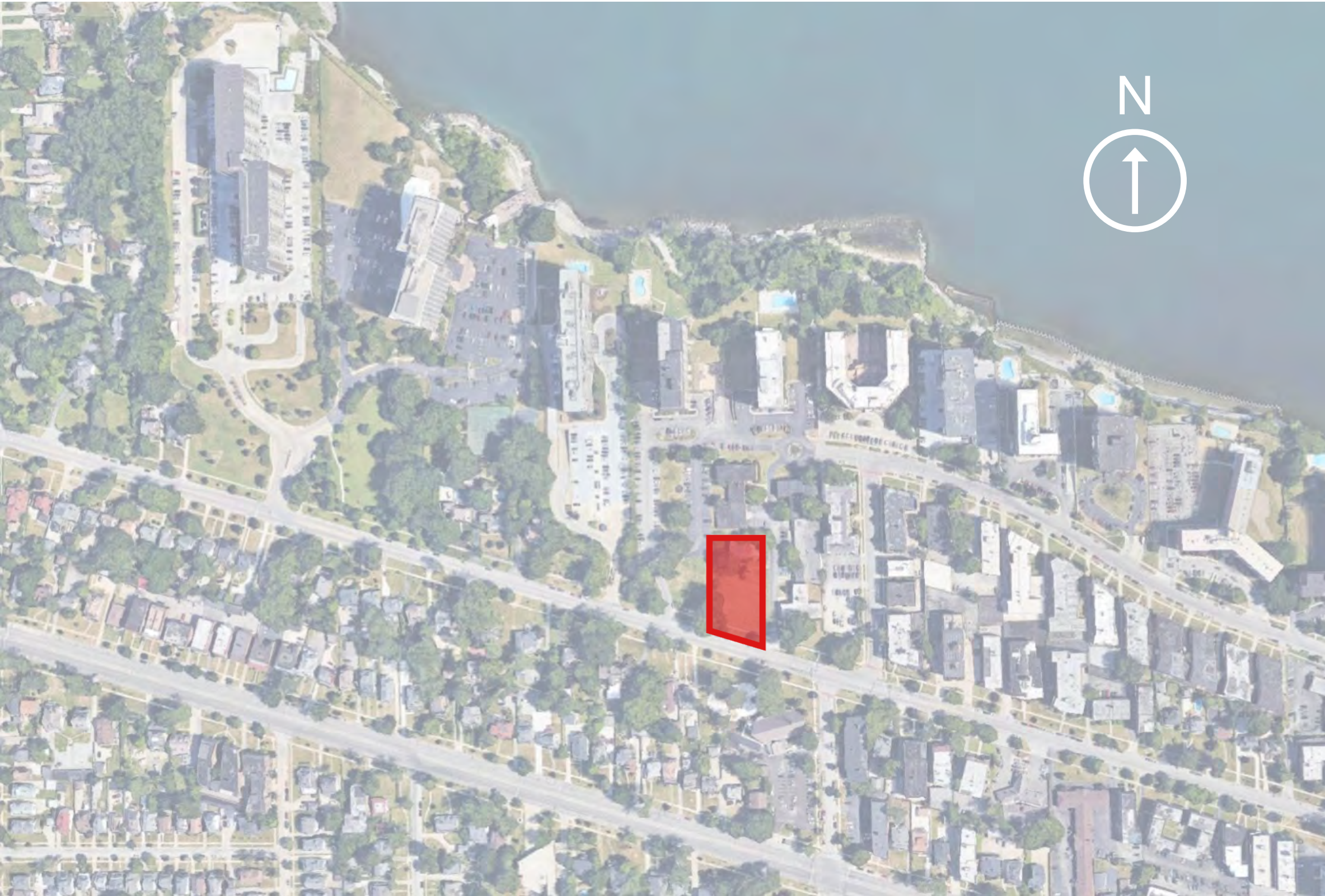
### 1920-1950s

THE AREAS WEST OF THE GOLD COAST BEGINNING IMMEDIATELY ADJACENT ALONG THE NEWLY CREATED NICKLESON AVENUE AND OTHER NEW STREETS BEGIN BEING SUBDIVIDED INTO SINGLE-FAMILY HOMES ON SMALLER LOTS WITH SMALLER HOUSES. THE AREA IS TRANSFORMED FROM A LAKE-FRONT ESTATE CONDITION TO A NEIGHBORHOOD OF SINGLE-FAMILY HOMES OF A MUCH SMALLER SCALE.

## LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | SITE CONTEXT

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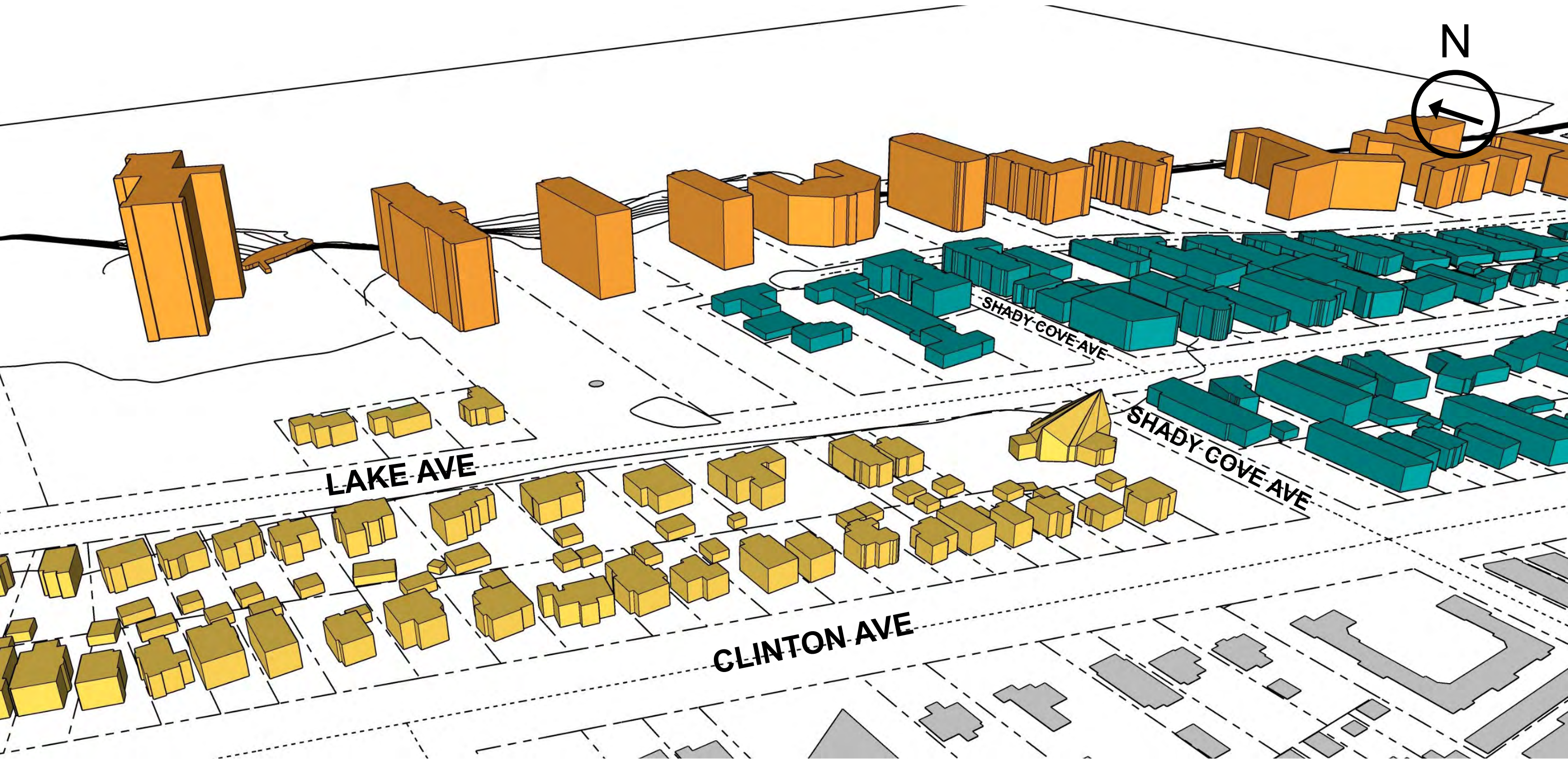
**1950s - 1970s**

HIGH RISE DEVELOPMENT IN WHAT WE NOW CALL THE GOLD COAST NEIGHBORHOOD IS SEEDED IN 1929 WITH THE CONSTRUCTION OF THE LAKE SHORE HOTEL, NOW KNOWN AS THE LAKE SHORE TOWERS AT THE TERMINUS OF THE NEWLY CREATED COVE AVENUE AND EDGEWATER DRIVE, FORMERLY KNOWN AS WEST SHORE DRIVE. THE REST OF THE SHORELINE REMAINED RELATIVELY UNCHANGED THROUGH THE GREAT DEPRESSION, BUT BY 1950 CONSTRUCTION OF WHAT ARE NOW KNOWN AS EDGEWATER TOWER CONDOMINIUMS IS UNDERWAY. BY 1979 THE ENTIRE SHORELINE OF THE GOLD COAST HAS BEEN TRANSFORMED BY MID-CENTURY STYLED HIGH RISE MULTIFAMILY BUILDINGS.

**LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE CONTEXT**

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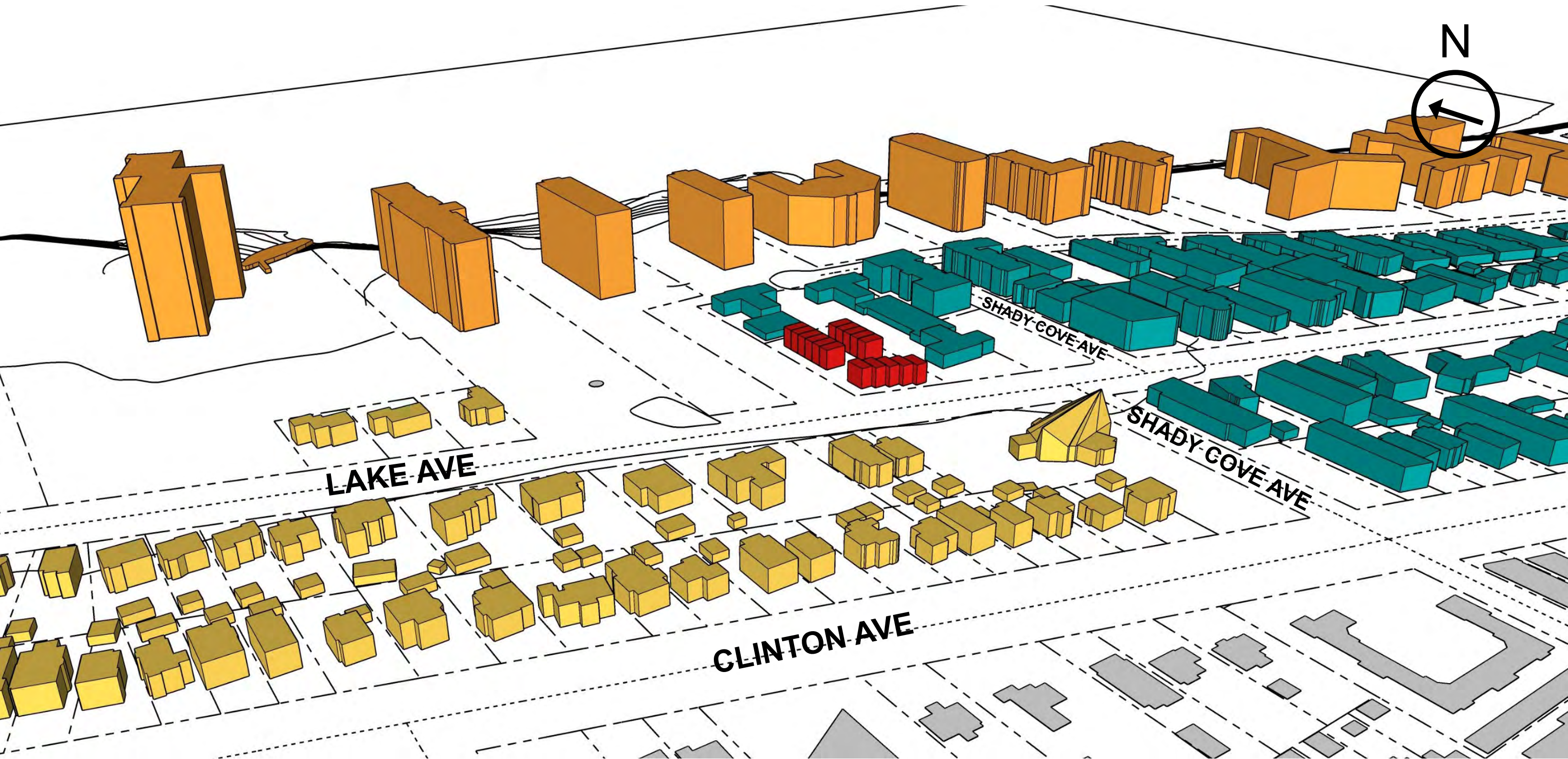


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# LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | CONTEXT VOLUME STUDY

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# LAKESIDE TOWNHOMES | LAKESIDE OHIO | CONTEXT VOLUME STUDY

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## CHAPTER 11274 MULTIPLE-FAMILY RESIDENTIAL DISTRICTS

### 1127.02 PERMITTED PRINCIPAL USES.

(a) In the ML District no building or premises shall be used or established which is designed, arranged, or intended for other than a low density multiple-family residential building, a single- or two-family dwelling, adult family home, adult group home, or cluster house development.

(b) **In the MH District no building or premises shall be used or established which is designed, arranged, or intended for other than a medium density multiple-family residential building, a low density multiple-family residential building, a single- or two-family dwelling, adult family home, adult group home, or cluster house development.**

(Ord. 91-95. Passed 10-7-1996.)

(c) A single- or two-family dwelling in the ML and MH Districts shall meet all the requirements of the R2 District. Cluster house developments in the ML and MH Districts shall meet all the requirements of Section 1121.12.



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## LAKWOOD TOWNHOMES | LAKWOOD OHIO | IMMEDIATE CONTEXT

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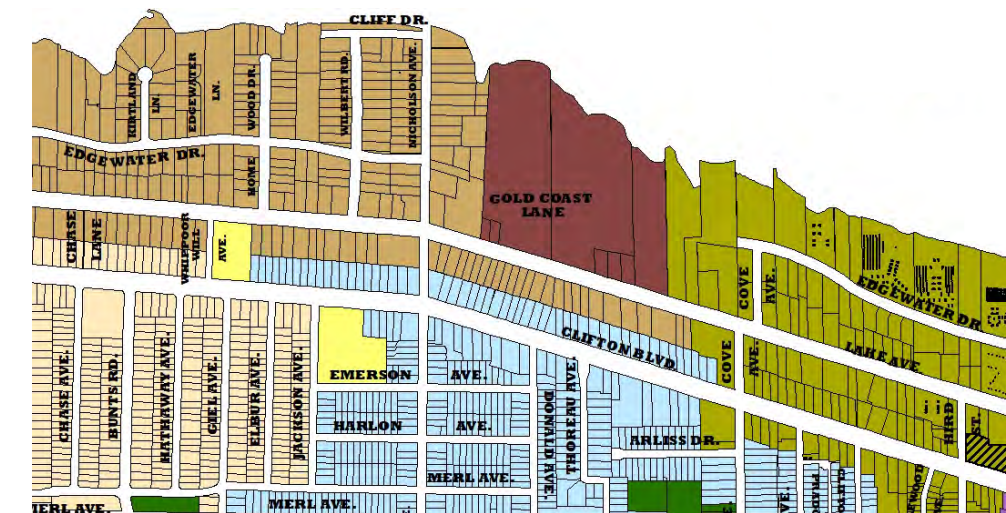




## SITE DATA

ZONING	MH –RESIDENTIAL, MULTI-FAMILY (HIGH DENSITY)
ACREAGE	+/- 0.70-AC (30,315-SF)
PROPOSED USE	SINGLE-FAMILY RESIDENTIAL
BUILDING FOOTPRINT	+/- 800 SF
BUILDING TOTAL SF	+/- 2,000 SF
BUILDING HEIGHT	36' (3 STORIES) 43' (ROOF ACCESS)
PARKING	2 SPACES / DU
FRONT YARD SETBACK	R. 50'-0" P. 20'-0"
SIDE YARD SETBACK	R. 20'-0" P. 13'-2"W, 11'-6" E
REAR YARD SETBACK	R. 50'-0" P. 7'-6"

- Mixed Use Overlay
- MH - Residential, Multi-Family (High Density)
- ML - Residential, Multi-Family (Low Density)
- R1H - Residential, Single Family (High Density)
- R1M - Residential, Single Family (Medium Density)
- R1L - Residential, Single Family (Low Density)
- R2 - Residential, Single and Two Family



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## LAKWOOD TOWNHOMES | LAKWOOD OHIO | PR. SITE PLAN & DATA

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- ①. LAWN
- ②. COMMUNITY SEATING AREA
- ③. SIDEWALK CONNECTIONS
- ④. GARDEN TERRACES

23138S 01.11.24

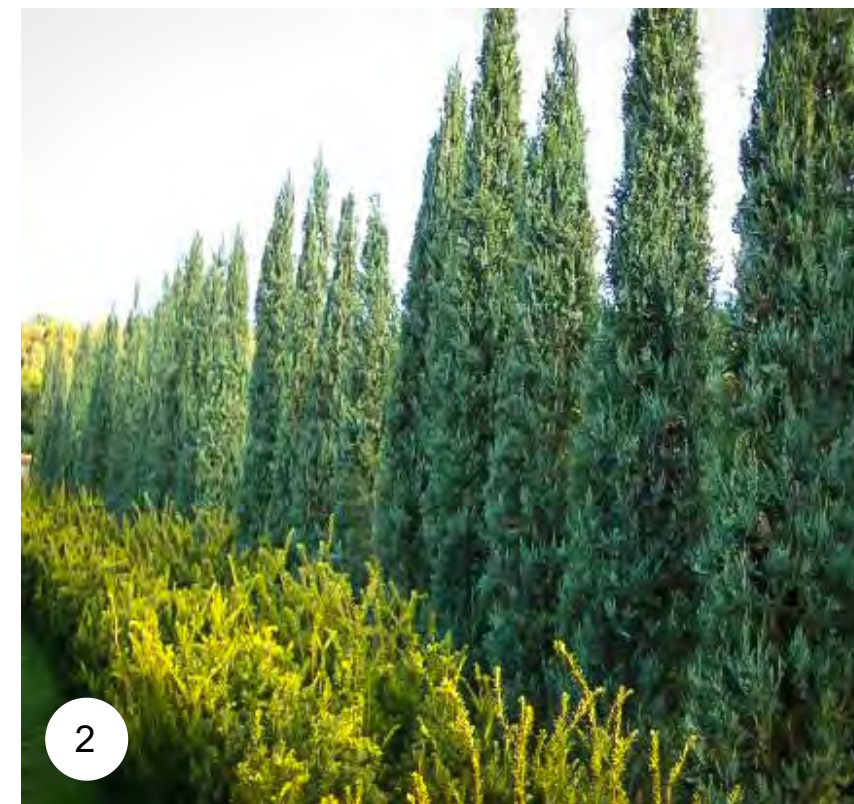
## LAKWOOD TOWNHOMES | LAKWOOD OHIO | SITE PLAN CONCEPT

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WHITE SPIRE BIRCH



SKY ROCKET JUNIPER



ANGELINA SEDUM



IVORY HALO RED TWIG DOGWOOD



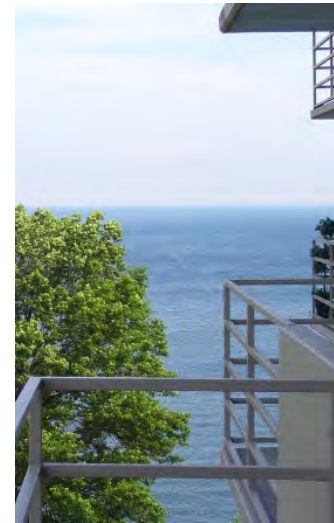
GREEN MOUNTAIN BOXWOOD

23138S 01.11.24

LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | LANDSCAPE DESIGN

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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | ARCH. INSPIRATION

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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SOUTH ELEVATION

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**FREELAND**  
VENTURES 

**RDL**  
ARCHITECTS



23138S 01.11.24

## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | WEST ELEVATION

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.





23138S 01.11.24

## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | NORTH ELEVATION

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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | EAST ELEVATION

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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE EAST ELEVATION

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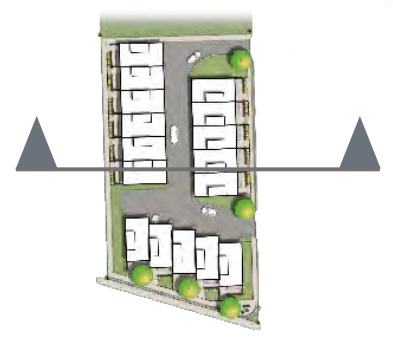
## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | SITE NORTH ELEVATION

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Adjacent Property Parking / Greenspace    Private Sidewalk 5'    Garden Terrace 8'    Townhouse 40'    Alley 24'    Townhouse 40'    Garden Terrace 8'    Private Sidewalk 6'    Private Drive 18'    Private Sidewalk 7'    Adjacent Bldg.

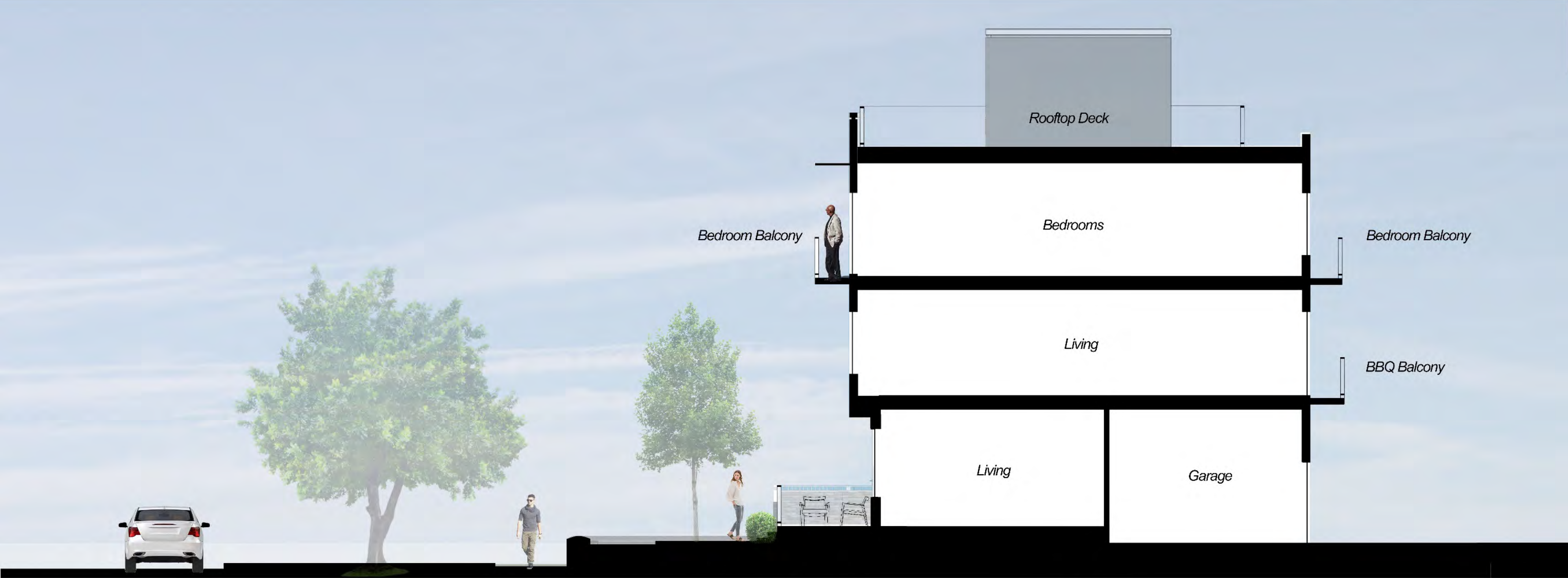


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# LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | CROSS SITE SECTION

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Lake Avenue

Public  
Tree Lawn  
~ 24'

Public  
Sidewalk  
~ 6'

Private  
Sidewalk  
5'

Private  
Tree-  
Lawn  
~ 10'  
(varies)

Garden  
Terrace  
8'

Townhouse  
40'



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**LAKESWOOD TOWNHOMES | LAKESWOOD OHIO | LAKE AVE. SECTION**

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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | RENDER VIEW

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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | RENDER VIEW

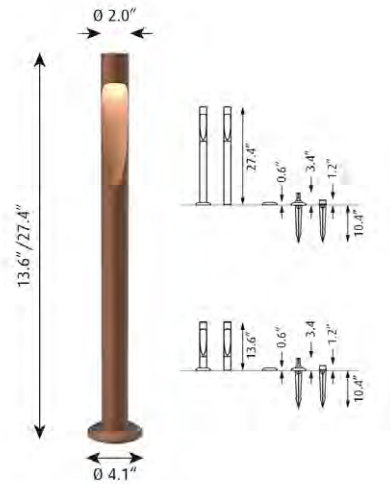
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**louis poulsen**

## FLINDT GARDEN BOLLARD

Designed by Christian Flindt



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### Key Features

-  Dimmable
-  OK For Outdoor Use
-  Contract Grade

Whether inside or outside, the Vue LED Indoor/Outdoor Wall Sconce by Hinkley Lighting provides a versatile, minimalist solution for your lighting needs. Its design is tall and slim, made out of finished Aluminum and Acrylic, and contains an integrated LED light source which elicits a warm, encompassing spill once lit. Can be installed horizontally or vertically depending on need.

Cleveland-based Hinkley is driven by a passion to combine design and function to create exceptional lighting solutions. Family-owned Hinkley began as a traditional lantern company in 1922, and, still today, they produce top quality outdoor lighting. Hinkley has also expanded to include a full range of interior lighting solutions, including chandeliers, sconces, pendants and vanity lights.

### Details:

- Versatile, minimalist design
- Integrated LED light source
- Can be installed horizontally or vertically
- Material: Aluminum
- Dimmable: Yes
- Location Rating: ETL Listed Wet
- ADA Compliant: This design satisfies the requirements of the Americans with Disabilities Act.
- Title 24 Compliant: This design is compliant with California's expansive Title 24 energy use regulations.
- OK for Outdoor Use
- Made In China

<b>Lamp Type</b>	LED Built-in	<b>Color Temp</b>	2700 (Warm)
<b>Total Lumens</b>	1200	<b>CRI</b>	90
<b>Total Watts</b>	15.00	<b>Equivalent Halogen, CFL or LED Bulb Can Be Used</b>	No
<b>Volts</b>	120		

### Dimensions:

**Small Option Backplate:** Width 5", Height 6"

**Small Option Fixture:** Width 5", Height 14.75", Depth 3", Weight 2Lbs

**Large Option Backplate:** Width 5", Height 6"

**Large Option Fixture:** Width 5", Height 26", Depth 3", Weight 3.5Lbs

### Compare Brightness:



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# JONI 13 WALL

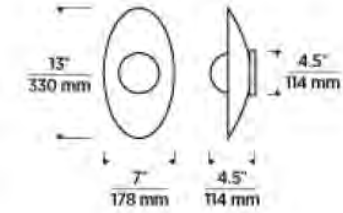
## PRODUCT FEATURES

- A glowing integrated LED lamp sits against an elliptical reflector. installation options for indoors and outdoor
- Available in modern finishes
- Complete the look with other fixtures in the Joni family, such as the Flush Mount, Wall Sconces and Pendants
- Mounts vertically or horizontally
- The LED Driver is housed within the junction box. (L. 3.3" | W. 1.6" | H. 1")
- Protected by a 5-year warranty, please visit the "About Us" Page on [techlighting.com](http://techlighting.com) for more for warranty details



## SPECIFICATIONS

PRIMARY MATERIAL	Aluminum
SHADE MATERIAL	Glass
NET WEIGHT	2 lbs
HEIGHT	13in
WIDTH	4.5in
LENGTH	7in
MIN. EXTENSION FROM WALL	4.5in
UP LIGHT / DOWN LIGHT / BOTH?	
WET LISTED	
DAMP LISTED	
DRY LISTED	
UP / DOWN	
HORIZONTAL / VERTICAL	
WALL / CEILING MOUNT	
GENERAL LISTING	ETL Listed
ADA COMPLIANT	
INCLUDES	



## LAMPING SPECIFICATIONS

	LED LAMP	INTEGRATED LED	NON LED	NO LAMP
DELIVERED LUMENS		737		
WATTS		12.2		
MAX WATTAGE PER BULB		12.2W		
		Universal 120V-277V 0-10, ELV, TRIAC		
CCT		3000K		
CRI		90 CRI		
LED LIFETIME				
L70		>50000		
AVERAGE BULB HOURS				
FIELD SERVICEABLE LED				
LAMP BASE		Integrated LED		
LAMP SHAPE		Integrated LED		
LAMP INCLUDED?		True		
WARRANTY**		5 Years		

\* Dimming information available at [www.techlighting.com/Downloads#dimming](http://www.techlighting.com/Downloads#dimming)  
 \*\* Visit [techlighting.com](http://techlighting.com) for specific warranty limitations and details.

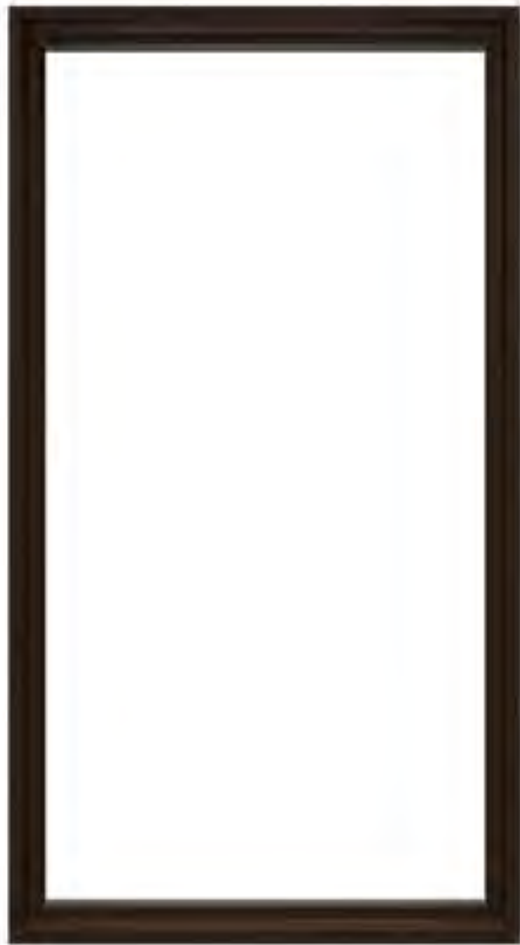
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LAKWOOD TOWNHOMES | LAKWOOD OHIO | FF&E

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# PELLA® RESERVE™ – CONTEMPORARY Wood Picture Window

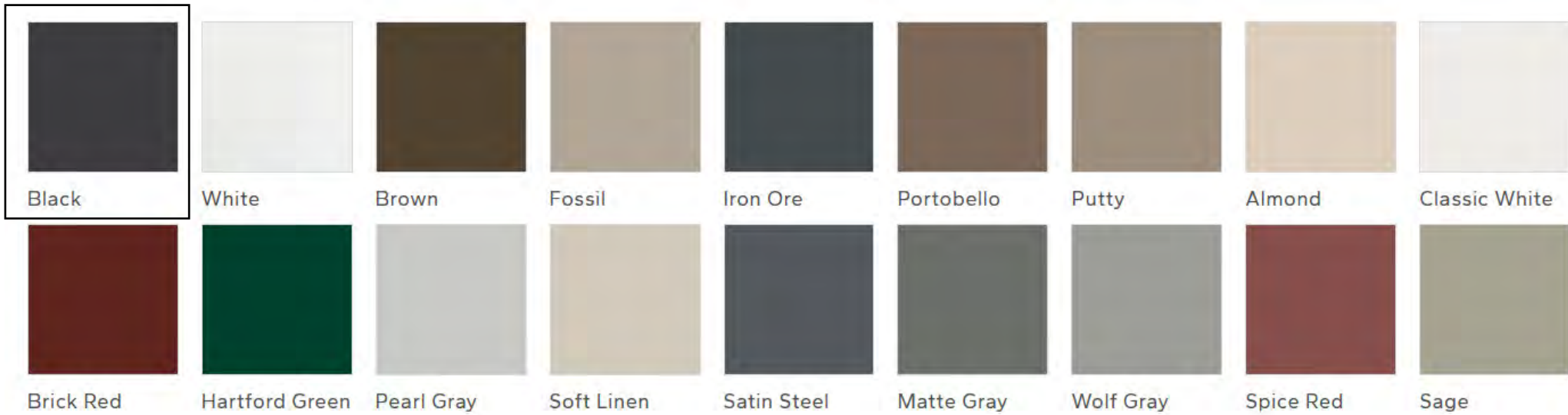


For more visible glass, Pella Reserve – Contemporary aluminum-clad wood picture windows feature glass glazed directly into the frame. Designed not to open, picture windows are exceptionally energy efficient. With a clear sash joint and pure, 90-degree corners, these windows deliver exacting contemporary design tenets.

- Optional triple-pane glass helps make your home more comfortable. Trusted and registered by Passive House Institute US.
- Advanced wood protection and durable extruded aluminum-clad exteriors provide long-lasting beauty and help protect your home from the elements.
- Available in rectangles, shapes and with custom colors.

### Exterior Finishes

Our low-maintenance, aluminum-clad exteriors with EnduraClad® resist chalking and fading and are available in a wide variety of colors plus virtually unlimited custom options. Take durability further with EnduraClad Plus protective finish, which meets the industry’s highest exterior coating standard to defend against chalking and fading.<sup>26</sup>



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LAKWOOD TOWNHOMES | LAKWOOD OHIO | FF&E

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# PELLA® RESERVE™ – CONTEMPORARY Wood Hinged Patio Door

3.54 ★★★★★ 339 Reviews

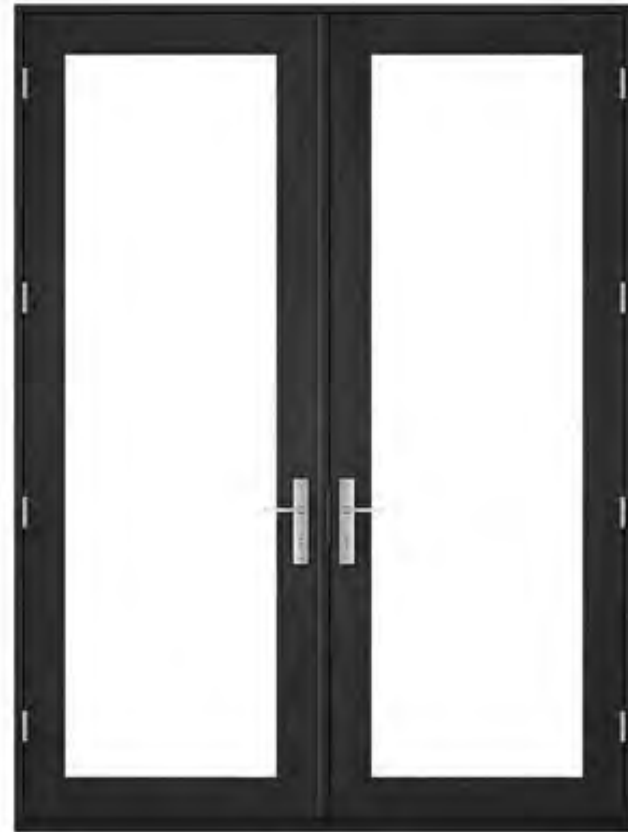
Embodying the tenets of pure contemporary design, Pella Reserve – Contemporary aluminum-clad wood hinged patio doors make a statement in any room. Featuring expansive glass and through-stile construction, our industry-leading modern designs deliver uncompromised attention to detail – all the way down to the premium hardware from Baldwin®.

- Available in single and double door designs up to 10' tall to perfectly complement your home.
- In-swing and out-swing patio doors are available with optional upgrades including triple-pane glass and innovative grilles provide energy efficiency and style.
- Integrated security sensors preserve the beautiful sightlines and warranty and give you added peace of mind.

Talk to a Pella Rep for Pricing

## Exterior Finishes

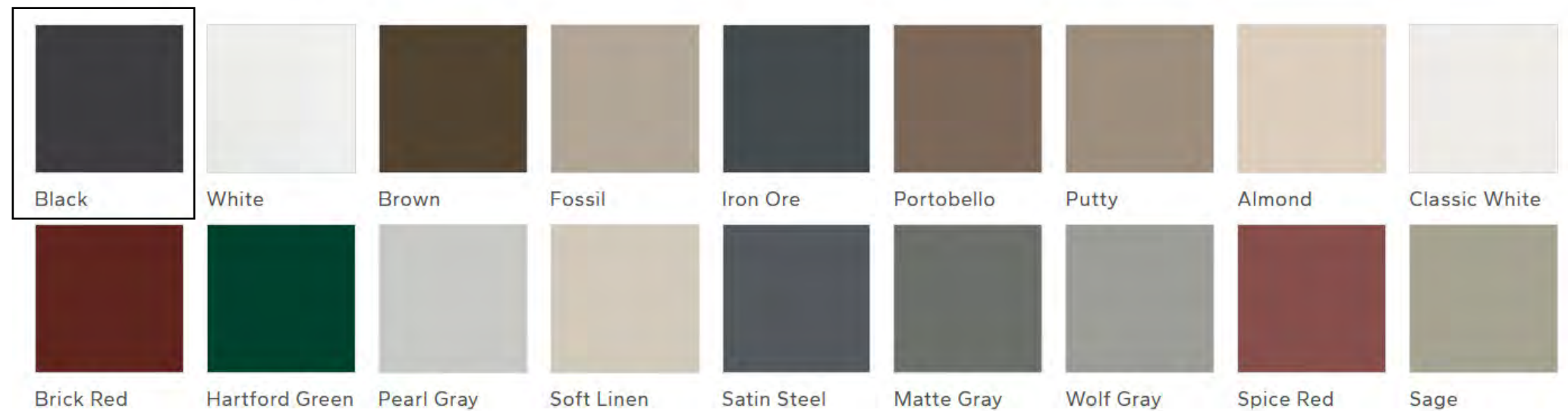
Our low-maintenance, aluminum-clad exteriors with EnduraClad® resist chalking and fading and are available in a wide variety of colors plus virtually unlimited custom options. Take durability further with EnduraClad Plus protective finish, which meets the industry's highest exterior coating standard to defend against chalking and fading.<sup>26</sup>



## Baldwin Modern Collection



Spiere - Matte Black



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LAKWOOD TOWNHOMES | LAKWOOD OHIO | FF&E

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EXISTING WALL

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**LAKWOOD TOWNHOMES | LAKEWOOD OHIO | ELEVATION W MATERIALS**

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**METAL CANOPY**  
NIGHT HORIZON BLUE



**FIBER CEMENT SIDING**  
COBBLESTONE



**BRICK**  
GLEN GERY  
SILVER CITY SMOOTH

# SAND



**RAILING**  
GRECO  
BLACK



**FIBER CEMENT SIDING**  
KHAKI BROWN

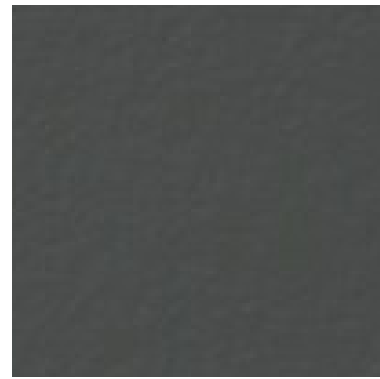


**BRICK**  
GLEN GERY  
WHITE PLAINS VELOUR

# EARTH



**LAP PLANK**  
PECAN



**FIBER CEMENT SIDING**  
IRON GREY



**BRICK**  
ARRISCRAFT  
FORCED STEEL

# STEEL



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## LAKWOOD TOWNHOMES | LAKEWOOD OHIO | PANEL SIZES

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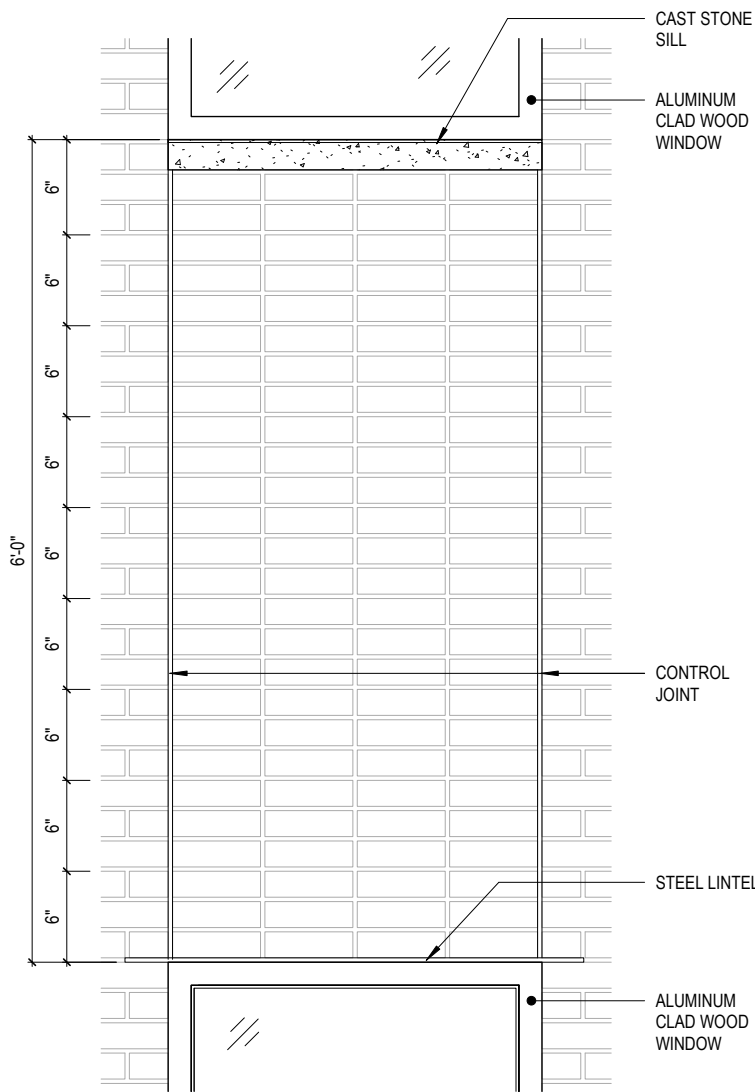


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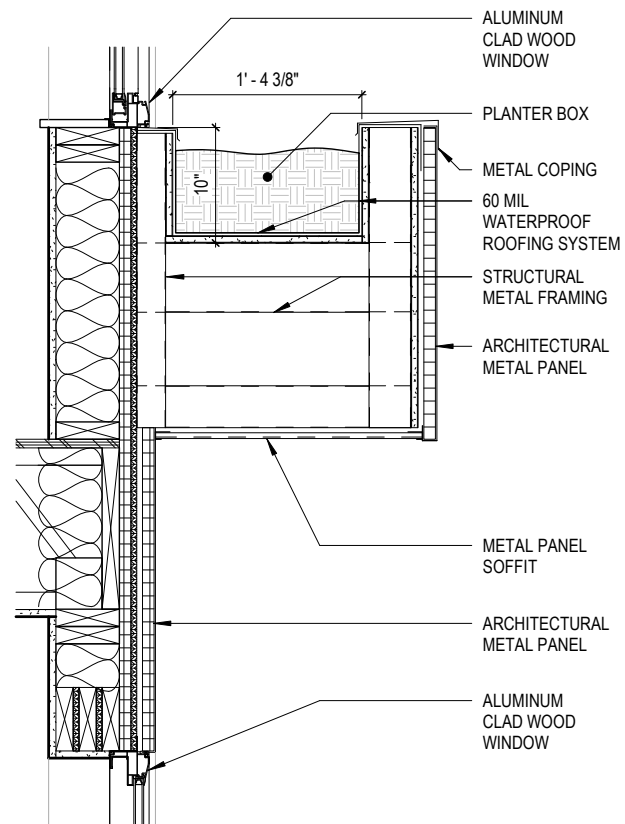
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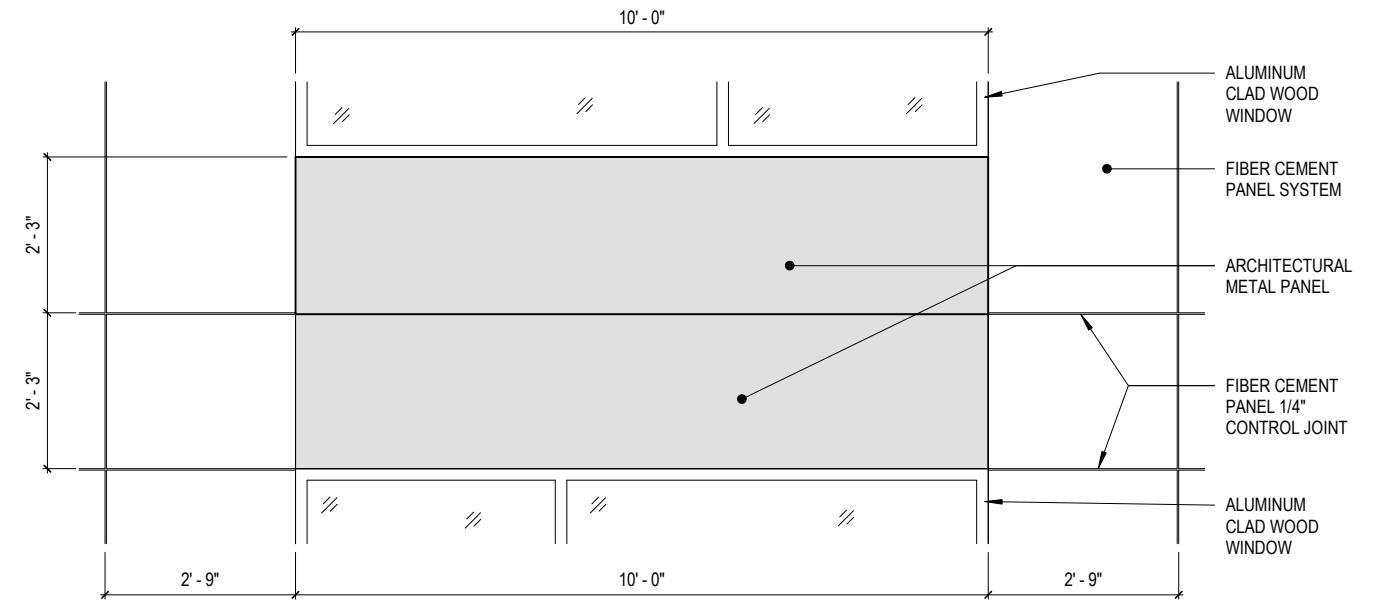




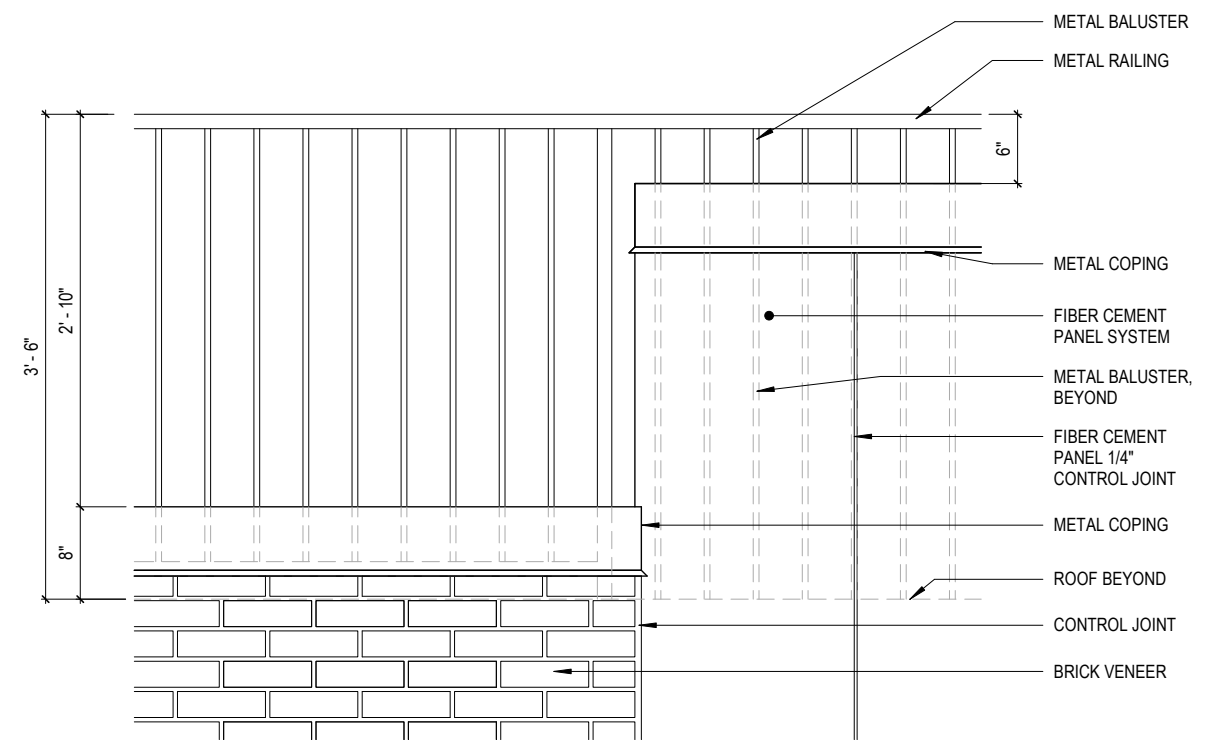
1 WINDOW HEAD/SILL DETAIL



2 PLANTER BOX DETAIL



3 PLANTER BOX ELEVATION DETAIL



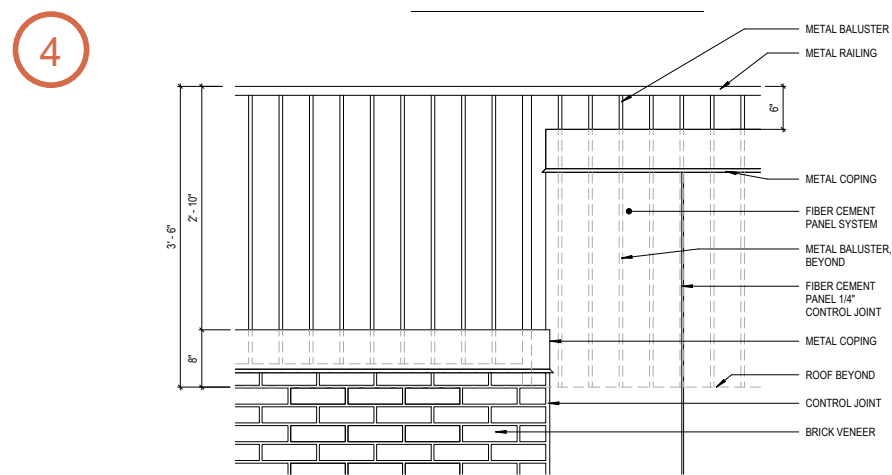
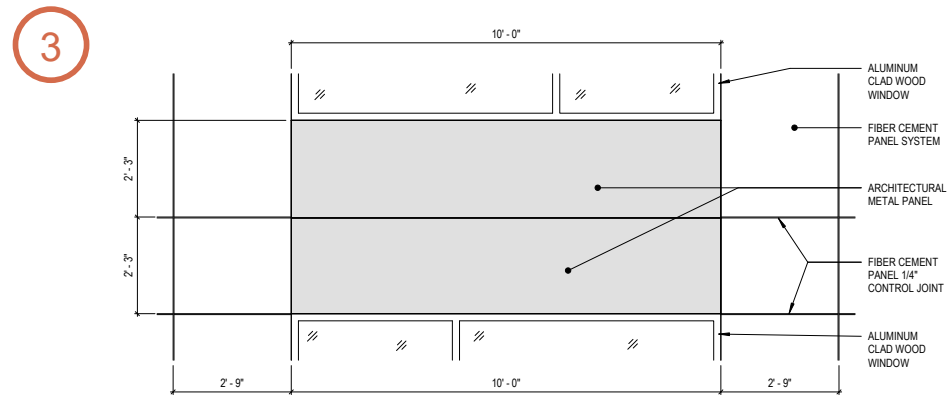
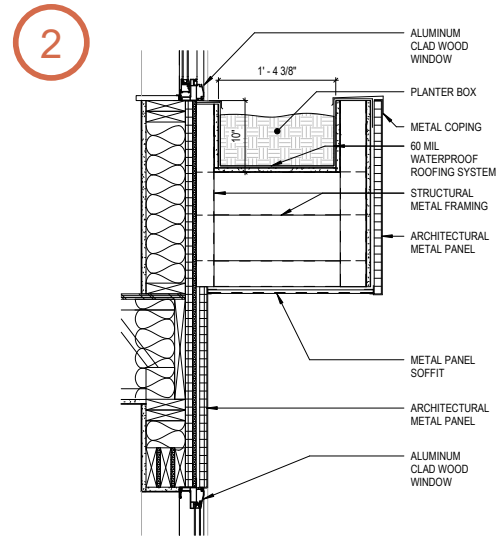
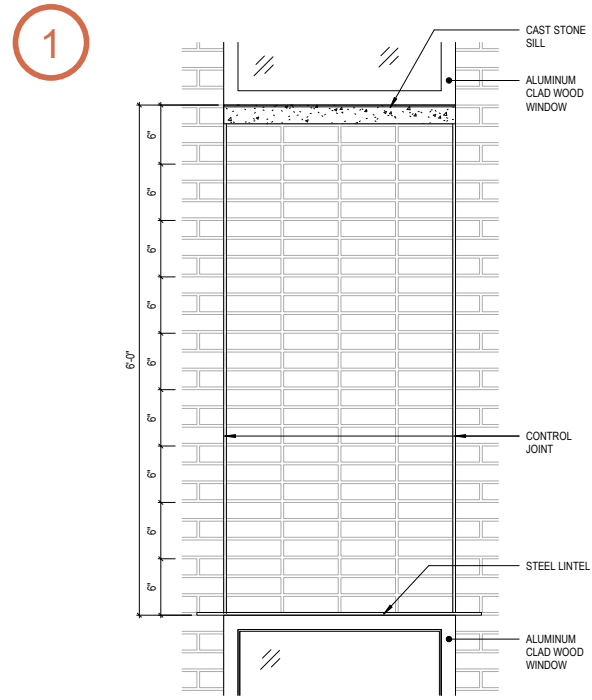
4 GUARD RAIL ELEVATION DETAIL

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LAKWOOD TOWNHOMES | LAKWOOD OHIO | GRAPHIC DETAIL

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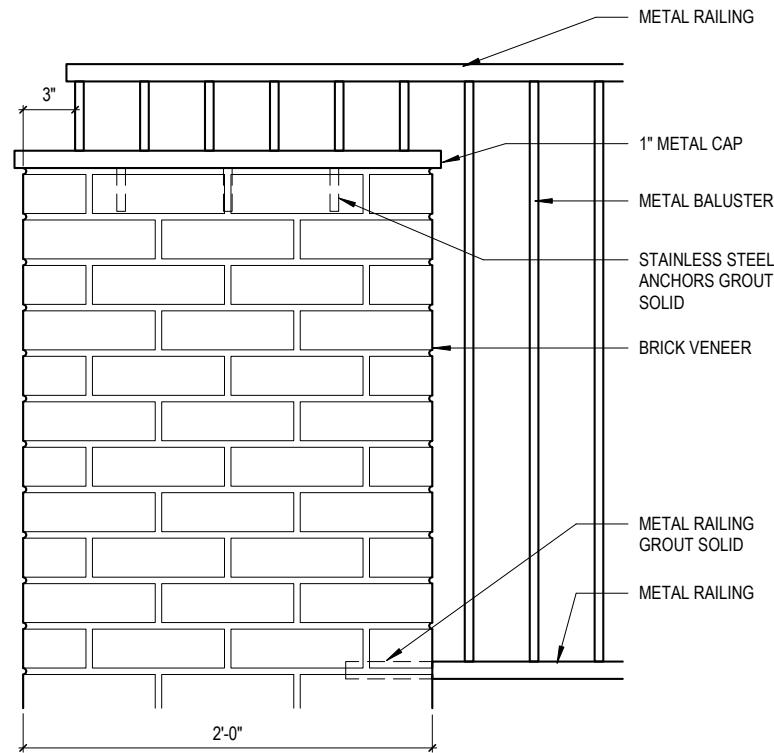


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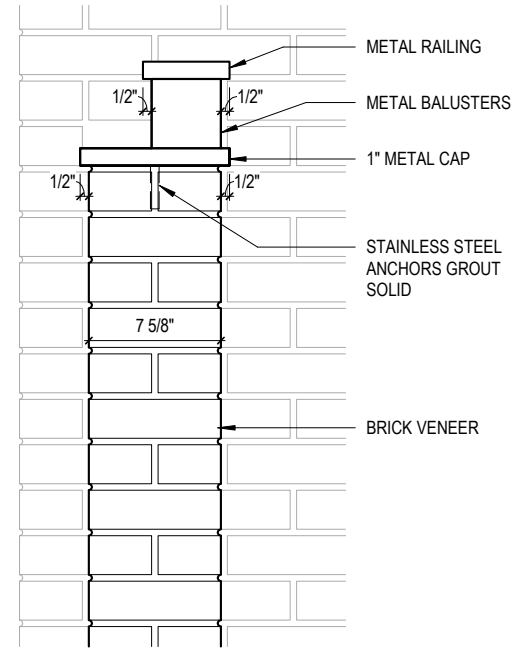
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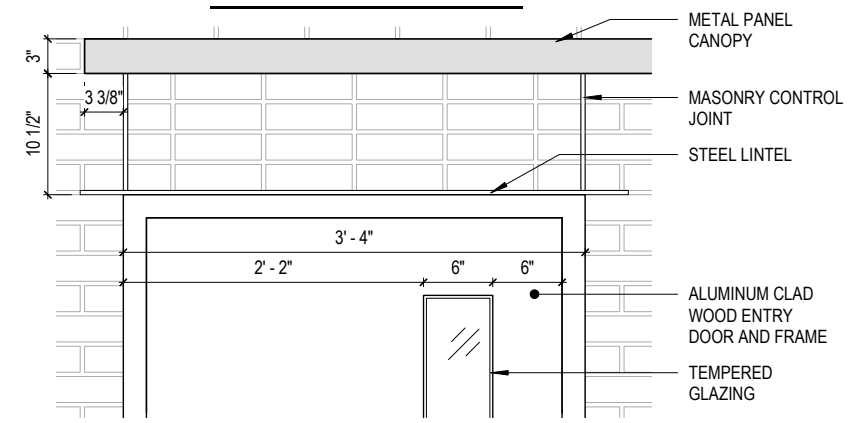




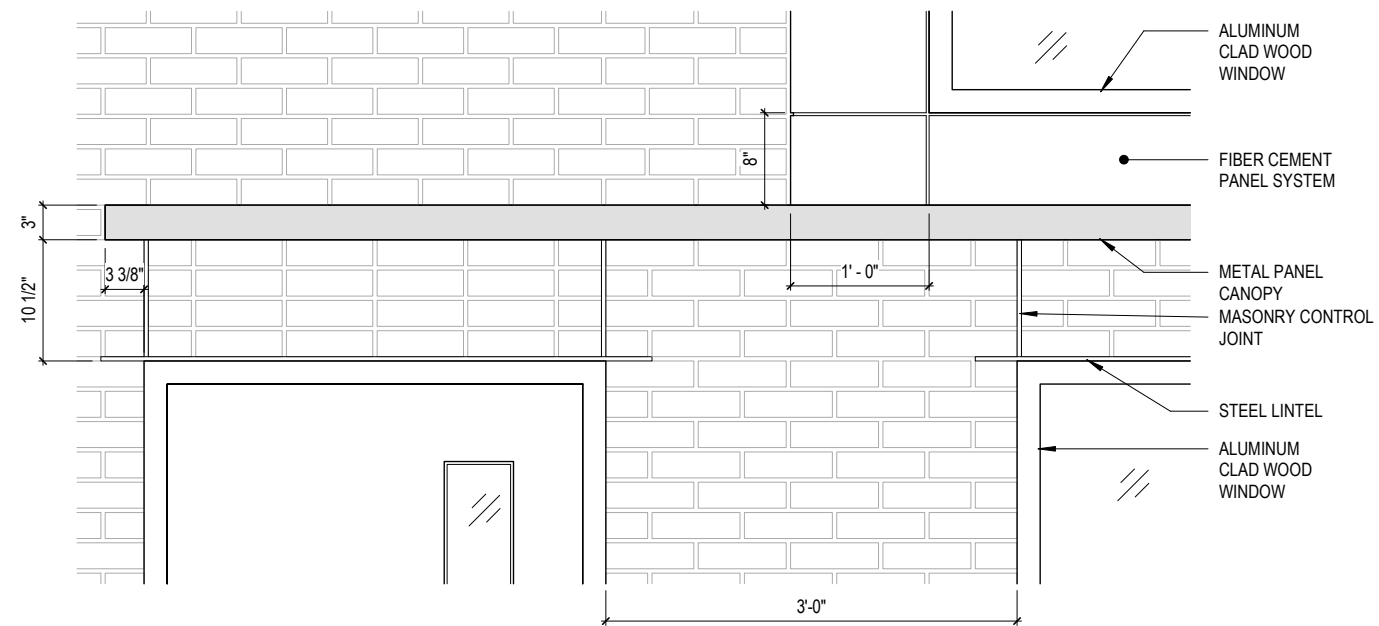
1 ENTRY RAILING DETAIL



2 MASONRY KNEE WALL DETAIL



3 ENTRY DOOR DETAIL



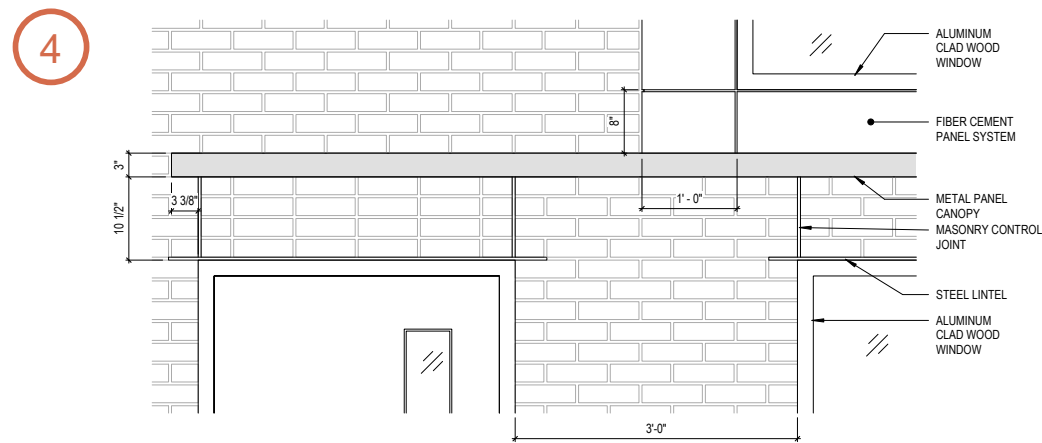
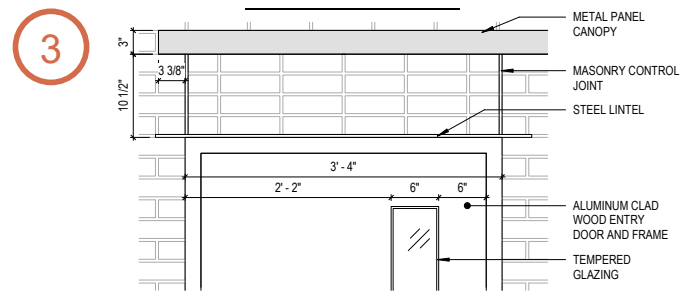
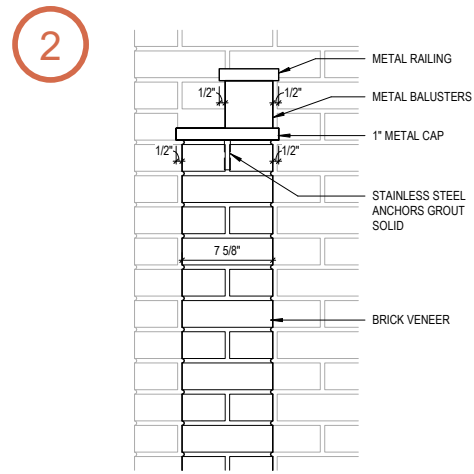
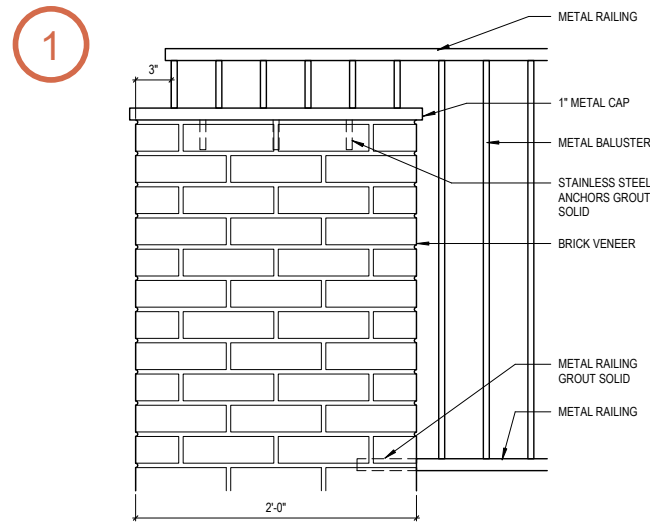
4 ENTRY ELEVATION DETAIL

23138S 01.11.24

# LAKWOOD TOWNHOMES | LAKWOOD OHIO | GRAPHIC DETAIL

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



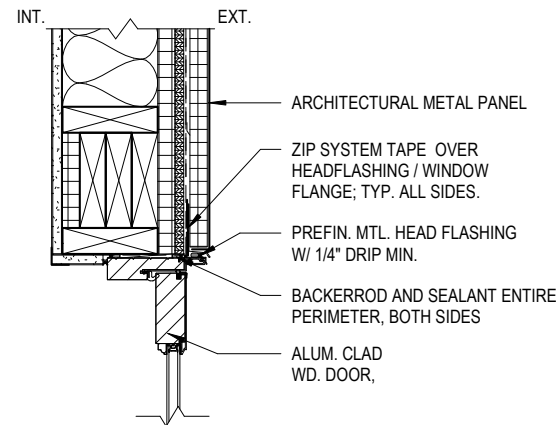


23138S 01.11.24

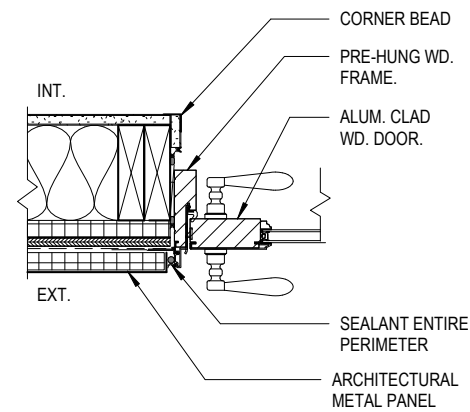
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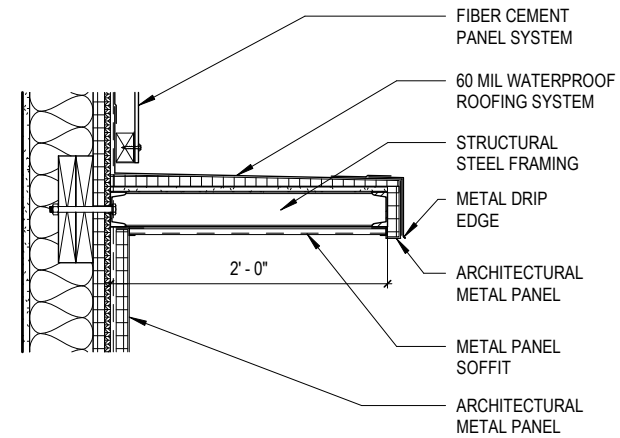




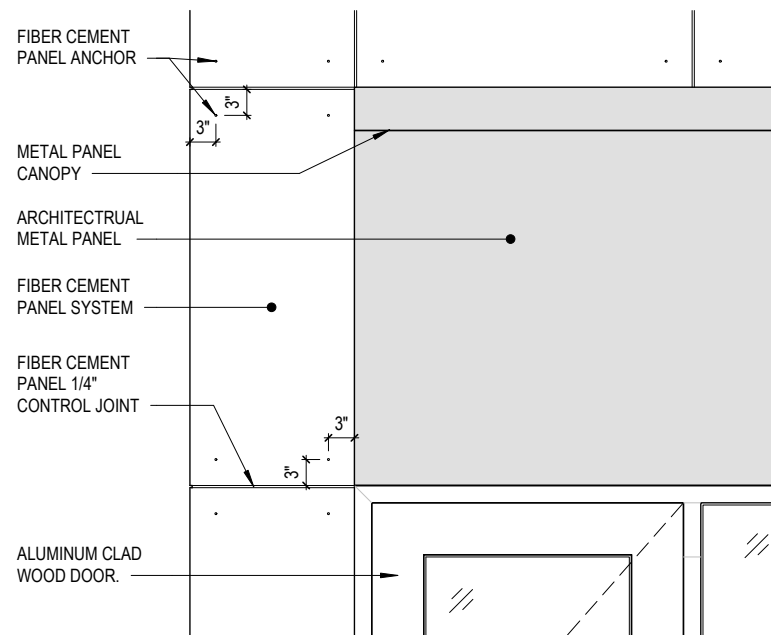
1 ALUM. CLAD WOOD DOOR HEAD DETAIL SECTION VIEW



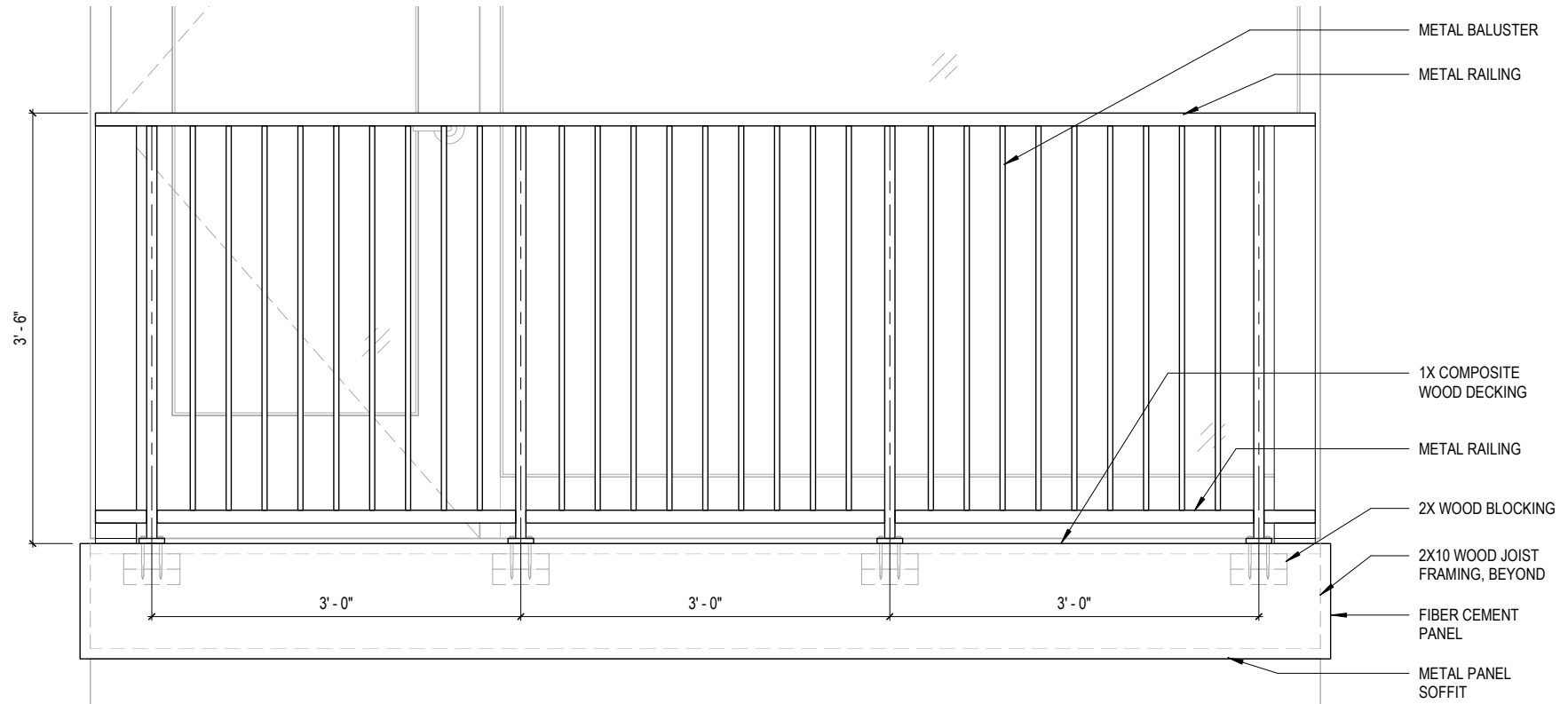
1 ALUM. CLAD WOOD DOOR JAMB DETAIL PLAN VIEW



2 CANOPY DETAIL



3 FIBER CEMENT ELEVATION DETAIL



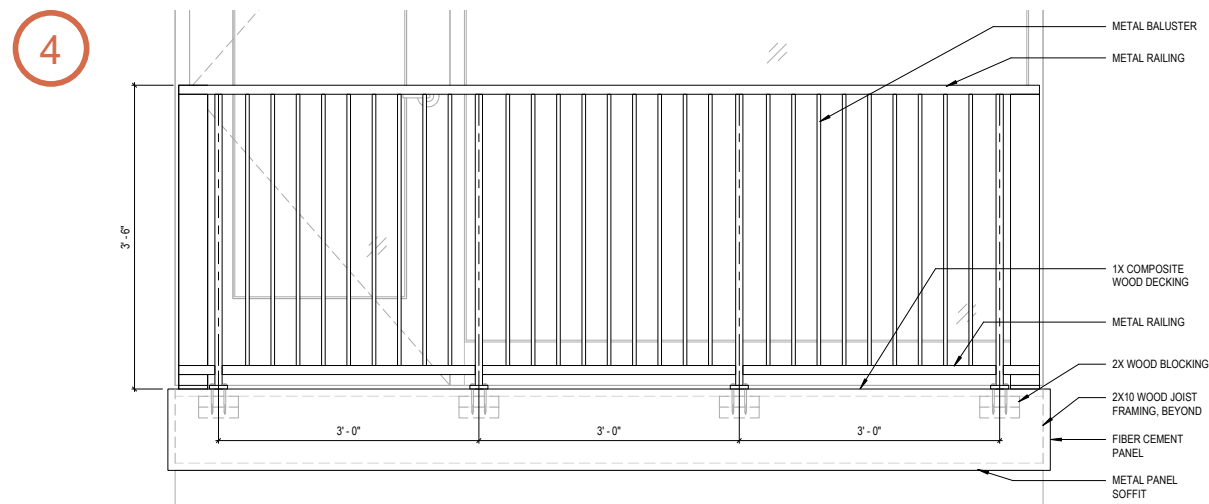
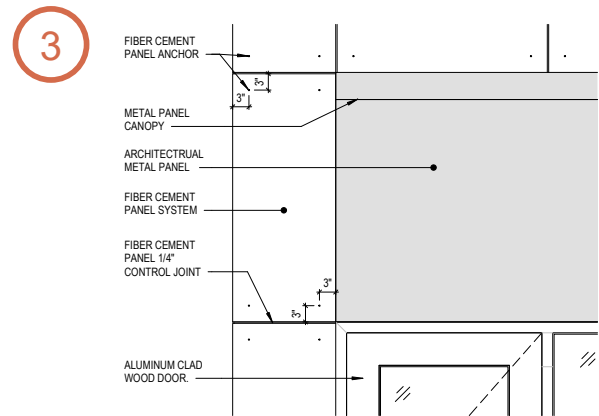
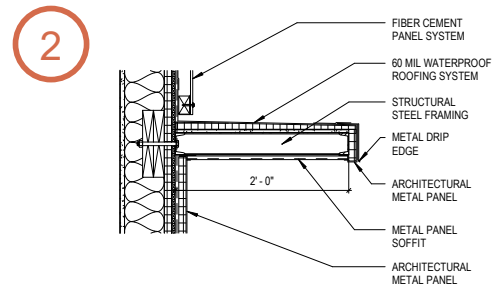
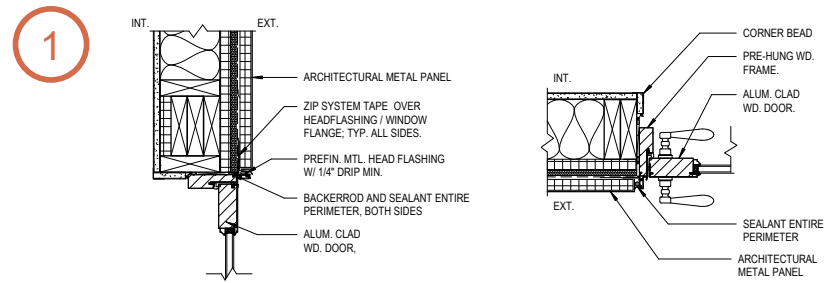
4 BALCONY RAILING ELEVATION DETAIL

23138S 01.11.24

# LAKWOOD TOWNHOMES | LAKWOOD OHIO | GRAPHIC DETAIL

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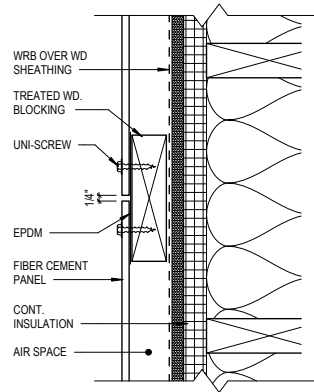
23138S 01.11.24

## LAKWOOD TOWNHOMES | LAKWOOD OHIO | GRAPHIC DETAIL

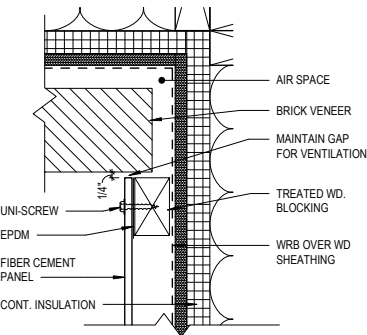
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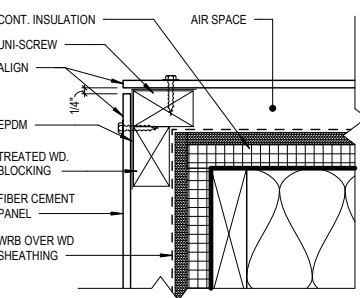
1 VERTICAL JOINT - PLAN VIEW



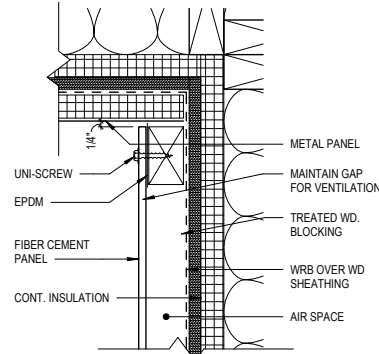
2 INSIDE CORNER AT BRICK/FIBER CEMENT - PLAN VIEW



3 OUTSIDE CORNER - PLAN VIEW



4 INSIDE CORNER AT METAL PANEL/FIBER CEMENT- PLAN VIEW



23138S 01.11.24

LAKWOOD TOWNHOMES | LAKWOOD OHIO | PANEL JOINING

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PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

## Application Cover Page

**Docket No.: 06-23-24**

**Permit No.: PC24-000022**

**Applicant Name: Andy Lechman, Peppers Restaurant**

**Project Address: 12405 Detroit Ave.**

**Project Name: Peppers Restaurant**

**Proposal: Conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in the C3, Commercial General Business district.**

Detroit Ave.

Side Walk

column

Door

6' railing

curb

Street sign

Side walk

35' railing

Window Brick Pier

6'

7'

41"

4'

curb

4'

Street meter

railing

curb

Ridgewood

Peppers

12401 Detroit Ave.

Seating Plan  
Temp outdoor dining

24" x 32"  
30" High

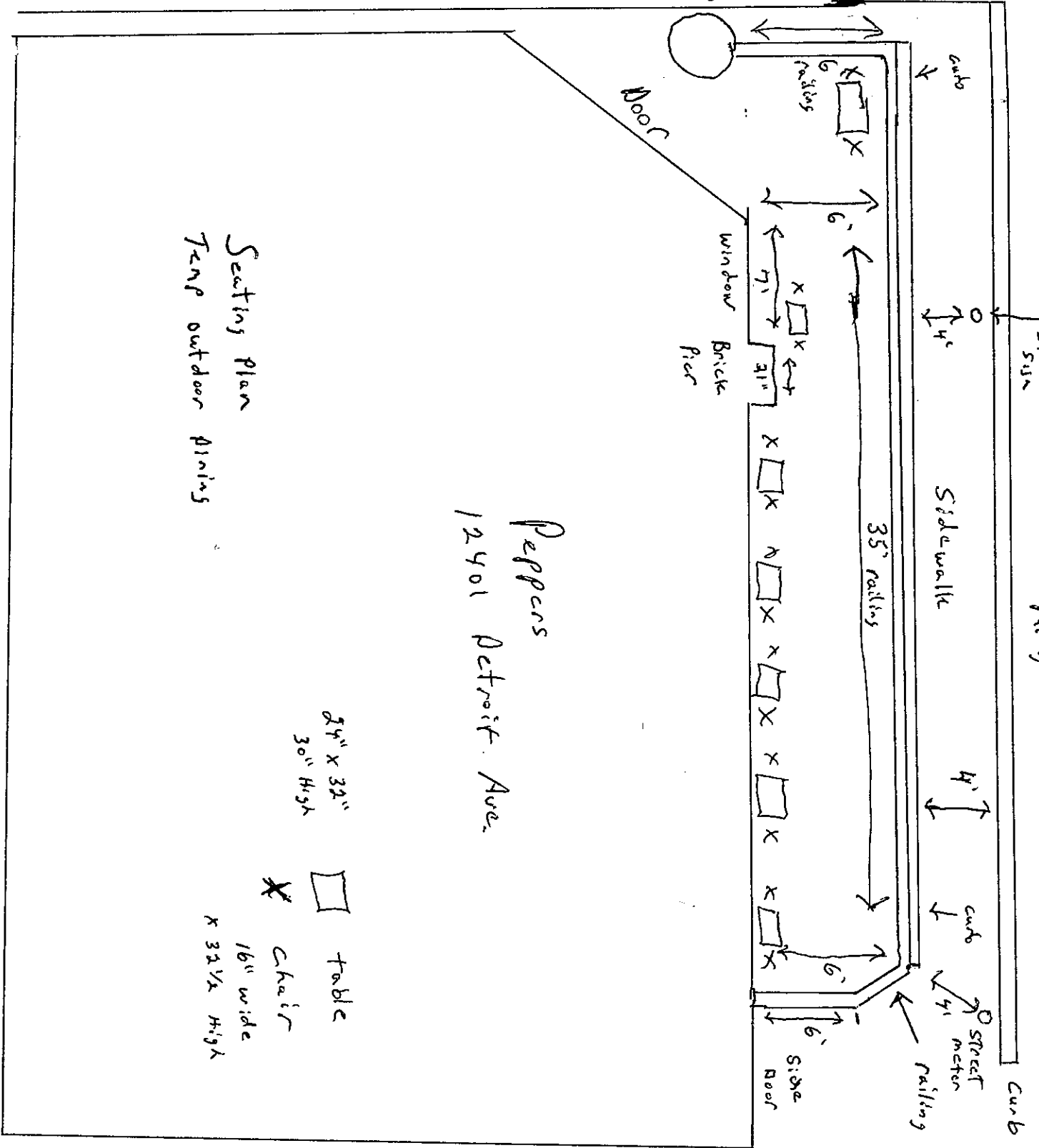


table



Chair

16" wide  
x 32 1/2 High





# CERTIFICATE OF INSURANCE

— THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY —

DATE ISSUED (MM/DD/YY) 4/26/24
-----------------------------------

Home Office • 100 Erie Insurance Place • Erie, Pennsylvania 16530 • 814.870.2000  
Toll free 1.800.458.0811 • Fax 814.870.3126 • www.erieinsurance.com

<b>NAME AND ADDRESS OF AGENCY</b> BOSU INSURANCE GROUP 34715 VINE ST EASTLAKE, OH 44095	<b>AGENT'S NO.</b> GG1234	<b>COMPANY(IES) AFFORDING COVERAGE</b> Co.: C ERIE INSURANCE COMPANY Co.: D ERIE INSURANCE PROPERTY & CASUALTY COMPANY Co.: E ERIE INSURANCE EXCHANGE Erie Indemnity Co., Attorney-In-Fact (Not Applicable) in NY Co.: F ERIE INSURANCE COMPANY OF NEW YORK Co.: G FLAGSHIP CITY INSURANCE COMPANY
--	------------------------------	--

<b>NAME AND ADDRESS OF NAMED INSURED</b>  Pinzone Hospitality Group LLC DBA Peppers Italian Restaurant 12401 Detroit Ave Lakewood, OH 44107	This certificate is issued for information purposes only and confers no rights on the certificate holder. It does not affirmatively or negatively amend, extend, or otherwise alter the terms, exclusions and conditions of insurance coverage contained in the policy(ies) indicated below. The terms and conditions of the policy(ies) govern the insurance coverage as applied to any given situation. Limits shown may have been reduced by claims paid. This certificate of insurance does not constitute a contract between the issuing insurer(s), authorized representative or producer and the certificate holder.
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This is to certify that policies, as indicated by the Policy Number below, are in force for the Named Insured at the time that the Certificate is being issued.

CO Add'l TR Ins'd	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS												
C	<input checked="" type="checkbox"/> <b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR  <input type="checkbox"/> <input type="checkbox"/> GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	Q61 0121401	7/15/23	7/15/24	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td style="text-align: right;">\$ 2,000,000</td></tr> <tr><td>FIRE DAMAGE (Any One Fire)</td><td style="text-align: right;">\$ 2,000,000</td></tr> <tr><td>MED EXP (Any One Person)</td><td style="text-align: right;">\$ 5,000</td></tr> <tr><td>PERSONAL &amp; ADV. INJURY</td><td style="text-align: right;">\$ 2,000,000</td></tr> <tr><td>GENERAL AGGREGATE</td><td style="text-align: right;">\$ 2,000,000</td></tr> <tr><td>PRODUCTS-COMP/OP AGG</td><td style="text-align: right;">\$ 2,000,000</td></tr> </table>	EACH OCCURRENCE	\$ 2,000,000	FIRE DAMAGE (Any One Fire)	\$ 2,000,000	MED EXP (Any One Person)	\$ 5,000	PERSONAL & ADV. INJURY	\$ 2,000,000	GENERAL AGGREGATE	\$ 2,000,000	PRODUCTS-COMP/OP AGG	\$ 2,000,000
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PRODUCTS-COMP/OP AGG	\$ 2,000,000																
E	<input type="checkbox"/> <b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> "ANY AUTO" (OWNED, HIRED, NON-OWNED) <input type="checkbox"/> OWNED <input type="checkbox"/> HIRED <input type="checkbox"/> NON-OWNED <input type="checkbox"/> GARAGE				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>BODILY INJURY (EACH PERSON)</td><td style="text-align: right;">\$</td></tr> <tr><td>BODILY INJURY (EACH ACCIDENT)</td><td style="text-align: right;">\$</td></tr> <tr><td>PROPERTY DAMAGE</td><td style="text-align: right;">\$</td></tr> <tr><td>BODILY INJURY AND PROPERTY DAMAGE COMBINED</td><td style="text-align: right;">\$</td></tr> </table>	BODILY INJURY (EACH PERSON)	\$	BODILY INJURY (EACH ACCIDENT)	\$	PROPERTY DAMAGE	\$	BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$				
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BODILY INJURY AND PROPERTY DAMAGE COMBINED	\$																
E	<input checked="" type="checkbox"/> <b>EXCESS LIABILITY</b> <input type="checkbox"/> OCCURRENCE  <input type="checkbox"/> RETENTION \$ 0	Q28 2670521	4/26/24	4/26/25	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>EACH OCCURRENCE</td><td style="text-align: right;">\$ 1,000,000</td></tr> <tr><td>AGGREGATE</td><td style="text-align: right;">\$ 1,000,000</td></tr> <tr><td></td><td style="text-align: right;">\$</td></tr> <tr><td></td><td style="text-align: right;">\$</td></tr> </table>	EACH OCCURRENCE	\$ 1,000,000	AGGREGATE	\$ 1,000,000		\$		\$				
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	\$																
	<b>WORKERS COMPENSATION &amp; EMPLOYERS LIABILITY</b>				<b>STATUTORY</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td rowspan="3" style="text-align: center; vertical-align: middle;">BODILY INJURY BY</td> <td>ACCIDENT</td><td style="text-align: right;">\$</td><td>EACH ACCIDENT</td> </tr> <tr> <td>DISEASE</td><td style="text-align: right;">\$</td><td>POLICY LIMIT</td> </tr> <tr> <td>DISEASE</td><td style="text-align: right;">\$</td><td>EACH EMPLOYEE</td> </tr> </table>	BODILY INJURY BY	ACCIDENT	\$	EACH ACCIDENT	DISEASE	\$	POLICY LIMIT	DISEASE	\$	EACH EMPLOYEE		
BODILY INJURY BY	ACCIDENT	\$	EACH ACCIDENT														
	DISEASE	\$	POLICY LIMIT														
	DISEASE	\$	EACH EMPLOYEE														
C	<b>OTHER</b> Liquor Liability	Q61 0121401	7/15/23	7/15/24	2 mil occ / 4 mil agg												

**DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS**  
 Please note the City of Lakewood is listed as an additional insured.

**CANCELLATION:** SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>NAME AND ADDRESS OF CERTIFICATE HOLDER</b> City of Lakewood 12650 Detroit Ave Lakewood, OH 44107	AUTHORIZED REPRESENTATIVE 
--	-------------------------------

Peppers Rest.  
12401 Detroit Rd.

- 1) Install Trax Railing Black
- 2) Install Sun shades Red
- 3) Install LED String Lights
- 4) Install table & chairs gray
- 5) Certificate of Insurance
- c) Site Drawings

# THE SIMPLE WAY TO BUILD YOUR DUO

**THE BASICS**  
Start with a 6-ft railing section  
*Black*

STEP **1** Post Sleeve  
STEP **2a** Post Sleeve Cap  
STEP **2b** Post Sleeve Skirt  
STEP **3** Rail & Baluster Kit

\*One of each component required per 6-ft section

Trex Enhance® Naturals in Rocky Harbor with Enhance Railing in Charcoal Black

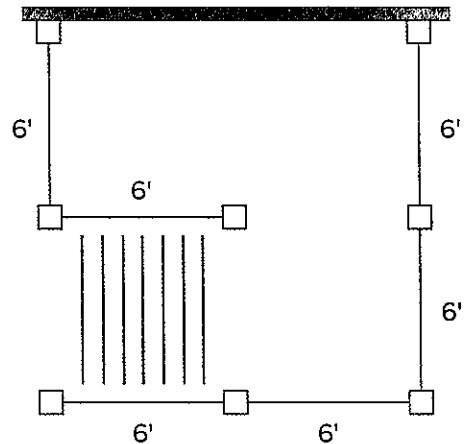
## HOW MUCH RAILING WILL YOU NEED?

- Divide a deck's perimeter by 6 feet to determine how many sections are needed
- Posts fit between sections and on each end of the deck
- Stair kits are available, so be sure to consider stairways when calculating

## SOPHISTICATION, SIMPLIFIED

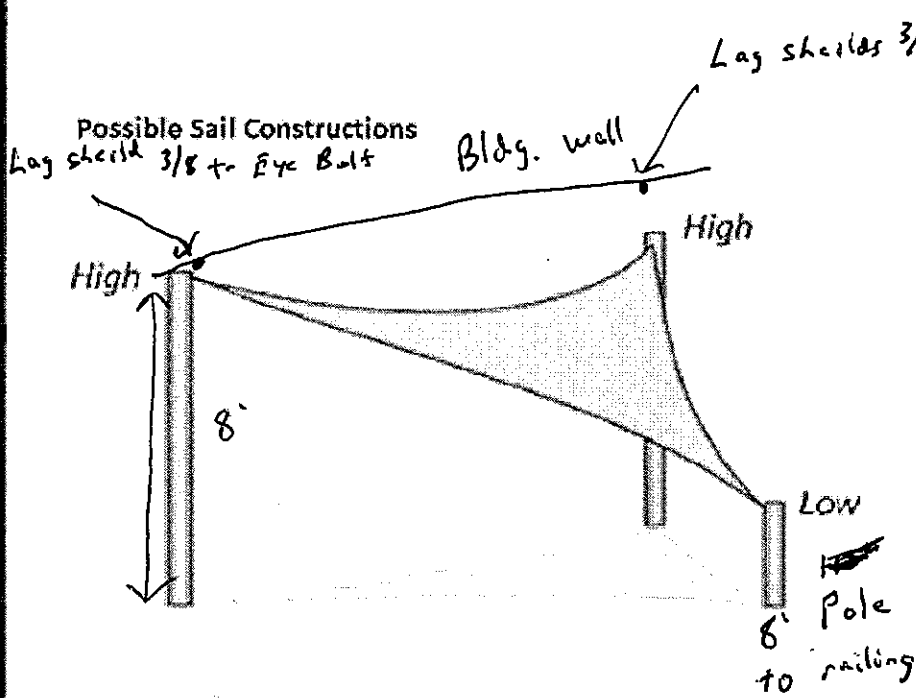
Trex Enhance® Rail & Baluster Kits offer easy installation. They contain a top rail, bottom rail, balusters, adjustable foot block and hardware pack.

**12' x 12' sample deck with stairs**  
8 posts, 6 railing sections



Visit [homedepot.trex.com](http://homedepot.trex.com)

Close X



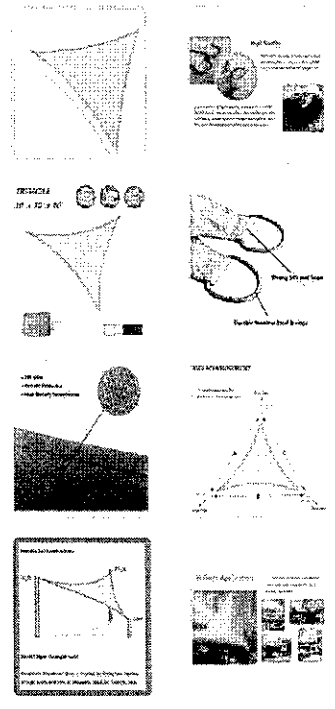
6' ft. x 6' ft. x 6' ft. Red Sun Shade Sail Triangle UV Block Canopy for Patio Backyard Lawn Garden by Unbranded

**Resort Style (Triangle Sails)**

As shown, the Resort style is created by fixing two corners at high posts and one at low posts. Ideal for Triangle Sails.

Tap and Hold to Zoom

**Product Images**

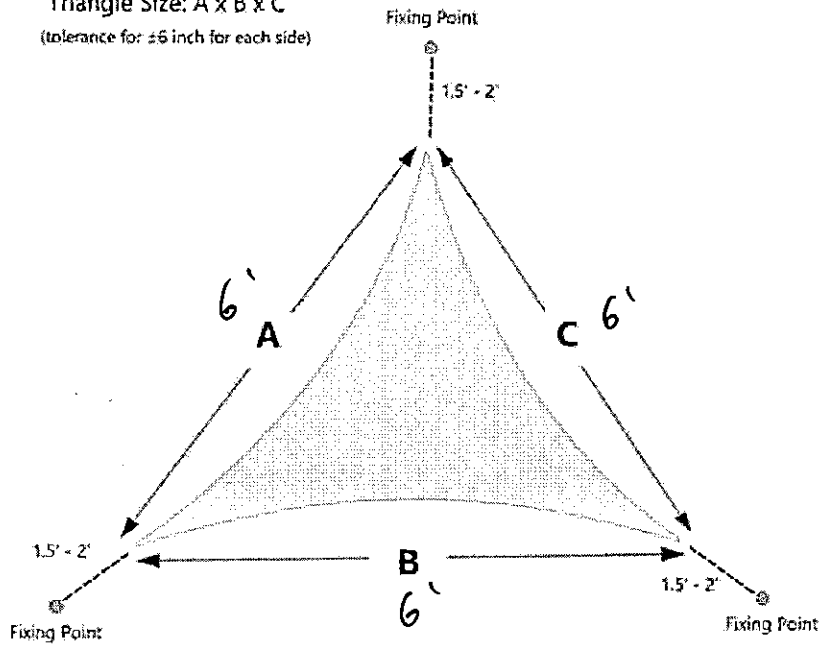


Feedback

Chat

## SIZE MEASUREMENT

Triangle Size: A x B x C  
(tolerance for  $\pm 6$  inch for each side)



Tap and Hold to Zoom

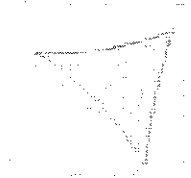
6 ft. x 6 ft. x 6 ft. Red  
Sun Shade Sail Triangle  
UV Block Canopy for  
Patio Backyard Lawn  
Garden

by Unbranded

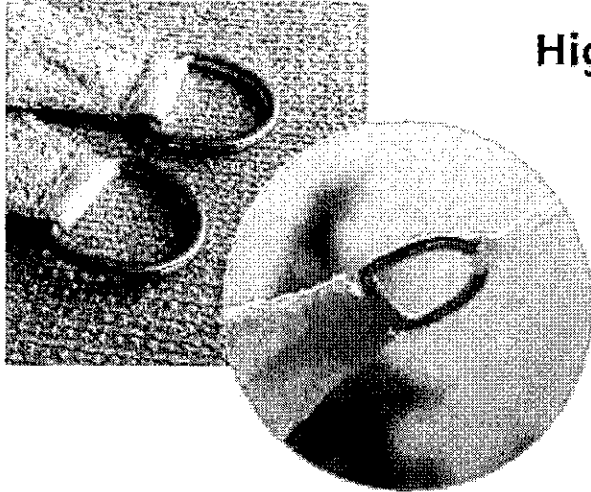
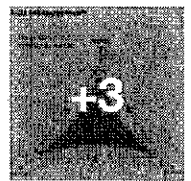
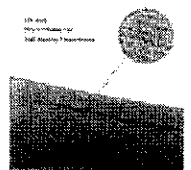
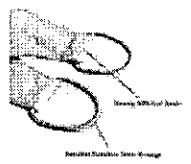
Product Images

Feedback

Chat



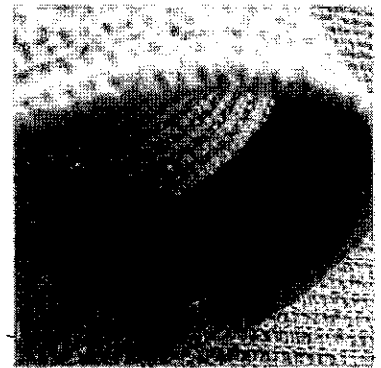
75x40x12  
25' x 35' x 12'



## High Quality

*With with durable stitched seam and stainless steel D-rings in each corner, your shade sail will serve longer life*

*Constructed of high-density permeable 185GSM HDPE fabric, the shade sail is breathable and 95% UV block, allows cooling breezes and light to pass through for better airy and comfortable space*



 Feedback

Color: Red



Andy Lechman

---

From: Andy Lechman <alechman38@gmail.com>  
Sent: Friday, June 23, 2023 9:41 AM  
To: Andy Lechman

*Installed under  
the shade sails*



Sent from my iPhone



## Lancaster Table & Seating Black Powder Coated Aluminum Outdoor Side Chair

#427CALUSDBK

Item #: 427CALUSDBK Qty: \_\_\_\_\_

Project: \_\_\_\_\_

Approval: \_\_\_\_\_ Date: \_\_\_\_\_



### Features

- Made for use on outdoor patios and bar areas
- Powder-coated aluminum construction is lightweight, durable, and resistant to corrosion
- Smooth, black surface that's sure to match any decor
- UV-resistant finished so that color will not fade over time
- Has a seating capacity of up to 300 lb.

### Certifications



### Technical Data

Length	17 Inches
Width	16 Inches
Height	32 1/2 Inches
Seat Height	19 Inches
Arms	Without Arms
Back	With Back
Back Color	Black
Capacity	300 lb.
Features	Stackable UV Fade-Resistant

## Technical Data

Frame Color	Black
Frame Material	Aluminum
Padded Seat	Without Padded Seat
Seat Color	Black
Seat Material	Aluminum
Seat Type	Slat
Type	Chairs
Usage	Indoor Outdoor

## Notes & Details

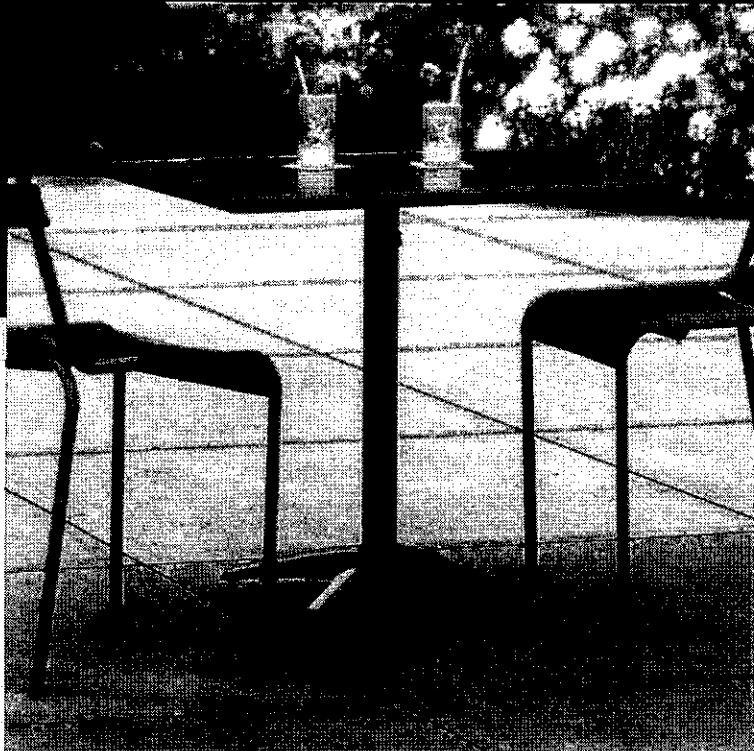
Allow your guests to enjoy the breezy summer weather with this Lancaster Table & Seating black powder coated aluminum outdoor side chair. Designed specifically for outdoor use, this chair makes an excellent addition to restaurant and bar patios and other outdoor entertainment areas such as banquets and luaus. It's also lightweight so that you can easily move it around your outdoor setting for the best possible view. Your guests will love the opportunity to enjoy the temperate weather with the convenience and comfort of this chair!

This chair is made of powder-coated aluminum that's durable enough to resist weather and corrosion. Its smooth surface features a sleek black color that's sure to match any decor and complement the natural glow of the sun! Thanks to its UV-resistant finish, the color won't fade over time even when left in the sun for longer periods. For your convenience, this chair has a weight capacity of up to 300 lb. It is also stackable for easy storage. Place it on your patio and let your guests enjoy!

**⚠ WARNING:** This product can expose you to chemicals including lead, which are known to the State of California to cause cancer, birth defects, or other reproductive harm. For more information, go to [www.p65warnings.ca.gov](http://www.p65warnings.ca.gov).

# Lancaster Table & Seating 24" x 32" Gray Powder-Coated Aluminum Dining Height Outdoor Table with Umbrella Hole

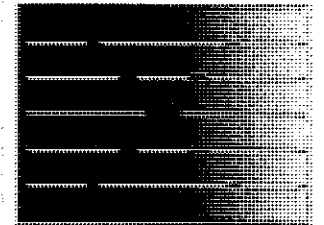
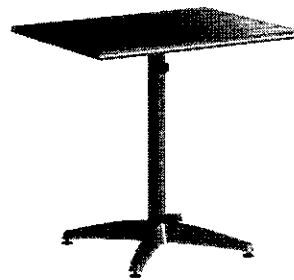
#427CAU2432GY



Item #: 427CAU2432GY Qty: \_\_\_\_\_

Project: \_\_\_\_\_


Approval: \_\_\_\_\_ Date: \_\_\_\_\_



## Features

- Made for use on outdoor patios and bar areas
- Powder-coated aluminum construction is lightweight, durable, and resistant to corrosion
- Smooth surface with matte gray color creates a neutral atmosphere sure to match outdoor decor
- UV-resistant finished so that color will not fade over time
- Entire table is easy to assemble for convenience

## Certifications

 Seating Capacity: 2

### Technical Data

Length	32 Inches
Width	24 Inches
Height	30 Inches
Umbrella Hole Diameter	2 Inches
Color	Gray
Features	Umbrella Hole
Installation Type	Freestanding
Material	Powder Coated Aluminum
Shape	Square

## Technical Data

Table Seating Capacity	2 Chairs
Type	Tables
Usage	Outdoor

## Notes & Details

Allow your guests to enjoy the breezy summer weather with this Lancaster Table & Seating 24" x 32" gray powder-coated aluminum dining height outdoor table with umbrella hole. Designed specifically for outdoor use, this table makes an excellent addition to restaurant and bar patios and other outdoor entertainment areas. It's lightweight with a pedestal base and adjustable feet so that you can easily move it around your outdoor setting for the best possible view. Plus, it features a built-in umbrella hole so you can pair the table with a compatible umbrella (sold separately) to add shade at your restaurant or cafe. Your guests will love the opportunity to enjoy the temperate weather with the convenience and comfort of this table!

This table is made of powder-coated aluminum that's durable enough to resist weather and corrosion. Its smooth surface features a neutral gray color that's sure to match your decor and complement the summer skies and clouds! Thanks to its UV-resistant finish, the color won't fade over time even when left in the sun for longer periods. For your convenience, this table has pre-drilled holes in the tabletop, making it easy to assemble with its included hardware, so you can quickly set it up in its proper space and let your guests enjoy.

**⚠ WARNING:** This product can expose you to chemicals including lead, which are known to the State of California to cause cancer, birth defects, or other reproductive harm. For more information, go to [www.p65warnings.ca.gov](http://www.p65warnings.ca.gov).



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www.onelakewood.com

## Application Cover Page

**Docket No.: 06-24-24**

**Permit No.: PC24-000025**

**Applicant Name: Susan Broadwater, Beegan Architectural Design**

**Project Address: 15719 Madison Ave.**

**Project Name: The Blue Cafe**

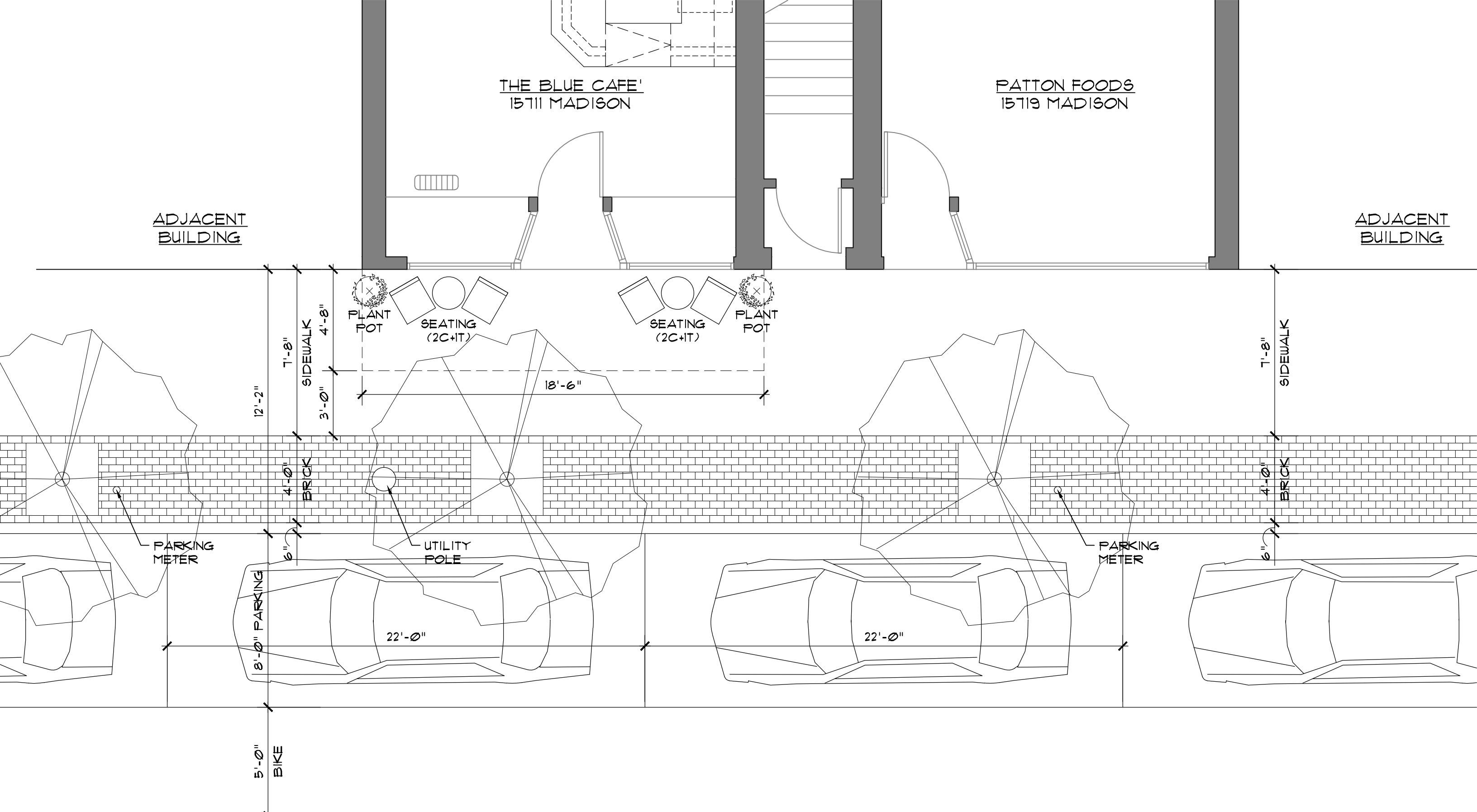
**Proposal: Conditional use permit to operate seasonal outdoor sidewalk dining, pursuant to section 1129.13 – supplemental regulations for outdoor/ seasonal dining facility. The property is in a C2 – Commercial, Retail district.**

THE BLUE CAFE'  
15711 MADISON

PATTON FOODS  
15719 MADISON

ADJACENT  
BUILDING

ADJACENT  
BUILDING



12'-2"

1'-8" SIDEWALK

4'-8"

3'-0"

PLANT POT

SEATING (2C+1T)

18'-6"

SEATING (2C+1T)

PLANT POT

4'-0" BRICK

PARKING METER

8'-0" PARKING

22'-0"

UTILITY POLE

22'-0"

PARKING METER

4'-0" BRICK

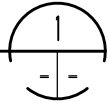
1'-8" SIDEWALK

5'-0" BIKE

MADISON AVENUE

# STREETFRONT PLAN

1/4" = 1'-0"



GRAPHIC SCALE (FEET)

# The Blue Café

LKWDental.com

COSMETIC AND FAMILY  
DENTISTRY

Open  
MIC  
Night  
FRIDAYS  
7pm - 9pm

hello  
SUNSHINE





Live  
Music  
Night  
FRIDAYS  
7pm - 10pm

The Blue Cafe



FAMILY

The Blue Cafe



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## Application Cover Page

**Docket No.: 06-25-24**

**Permit No.: PC24-000026 and PC24-000027**

**Applicant Name: Hamza Abuhamden, Adeeb & Brothers**

**Project Address: 1562 and 1564 Winchester Ave.**

**Project Name: n/a**

**Proposal: Parking plan, pursuant to section 1143.09 – parking plan review: Planning Commission and section 1143.10 – exceptions to required minimum. The property is in an R2 Single- and Two-Family district.**















PLANNING COMMISSION

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## Application Cover Page

**Docket No.: 06-26-24**

**Permit No.: PC24-000028**

**Applicant Name: Jennifer Milliken, Ice Miller LLP**

**Project Address: 18607 Detroit Ave.**

**Project Name: GTI Ohio LLC dba Rise**

**Proposal: Existing medical marijuana dispensary to allow adult use, pursuant to amended Schedule 1129.02 - permitted uses in commercial districts and Chapter 1165 Medical Marijuana Dispensaries, of the Codified Ordinances of the City of Lakewood and to permit Medical and Adult Use Marijuana Dispensaries in Commercial Districts. The property is in the C3, Commercial General Business.**

GRABER DRIVE

GENERAL SITE NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
6. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
7. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
8. CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
9. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
11. ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
12. ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH & ANY ROADWAY STRIPING DISTURBED BY THE CONSTRUCTION WILL NEED TO BE RESTRIPTED WITH ODOT ITEM NO. 646 EPOXY PAINT IN-KIND.
13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE CITY OF LAKEWOOD.
14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER, ENGINEER AND CITY OF LAKEWOOD.
15. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
16. ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
17. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SITE KEY NOTES:

- S1 PROPOSED BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED CONCRETE CURB AND GUTTER
- S3 PROPOSED CONCRETE SIDEWALK
- S4 PROPOSED STAMPED CONCRETE SIDEWALK TO BE COORDINATED WITH CITY. SEE DETAIL SHEET C7.2.
- S5 PROPOSED STANDARD DUTY PAVEMENT
- S6 PROPOSED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S12 PROPOSED 4" PAVEMENT STRIPING PER LOCAL CODE
- S13 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE (TYP. OF 2) WITH BOLLARD.
- S14 PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE (TYP.)
- S15 PROPOSED BIKE RACK
- S16 PROPOSED CONCRETE BOLLARDS
- S17 PROPOSED CHARGING STATION. CHARGING STATION MANUFACTURER TO BE DETERMINED.
- S18 PROPOSED ACCESS RAMP PER ADA REQUIREMENTS WITH RAIL
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41 EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- S43 EXISTING TRAFFIC LIGHT POLE TO REMAIN
- S44 EXISTING PAVEMENT STRIPING TO REMAIN
- S46 EXISTING SIDEWALK TO REMAIN
- S48 EXISTING TREE TO REMAIN AND BE PROTECTED

PAVEMENT HATCH LEGEND:

- PROPOSED CONCRETE SIDEWALK (PER CITY STANDARDS)
- PROPOSED STAMPED CONCRETE (PER CITY STANDARDS)
- PROPOSED ASPHALT PAVEMENT WITHIN RIGHT-OF-WAY (PER CITY STANDARDS) SEE DETAIL P-1 ON SHEET C7.2
- PROPOSED ASPHALT PAVEMENT  
1.5" ASPHALT SURFACE COURSE  
3.5" ASPHALT BASE COURSE  
10" AGGREGATE BASE (ODOT ITEM 304)  
(SEE GEOTECHNICAL REPORT)

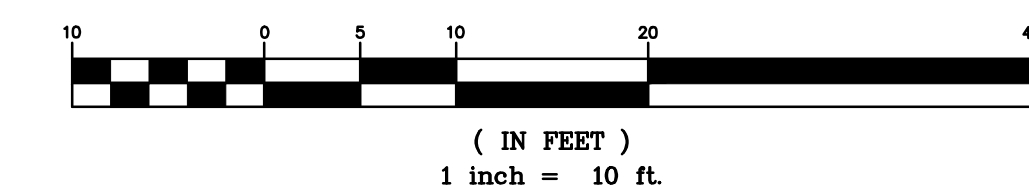
PARKING LEGEND

- # DESIGNATED MMD SPACES  
"DISPENSARY ONLY" X<sub>o.m.</sub>-X<sub>p.m.</sub>

PROJECT INFORMATION:

SITE AREA:	±0.08 ACRES
ZONED:	COMMERCIAL
PROPOSED BUILDING AREA:	2,325
BUILDING HEIGHT:	1 STORY
EXISTING PARKING:	25 STALLS
PARKING PROVIDED:	2 STALLS

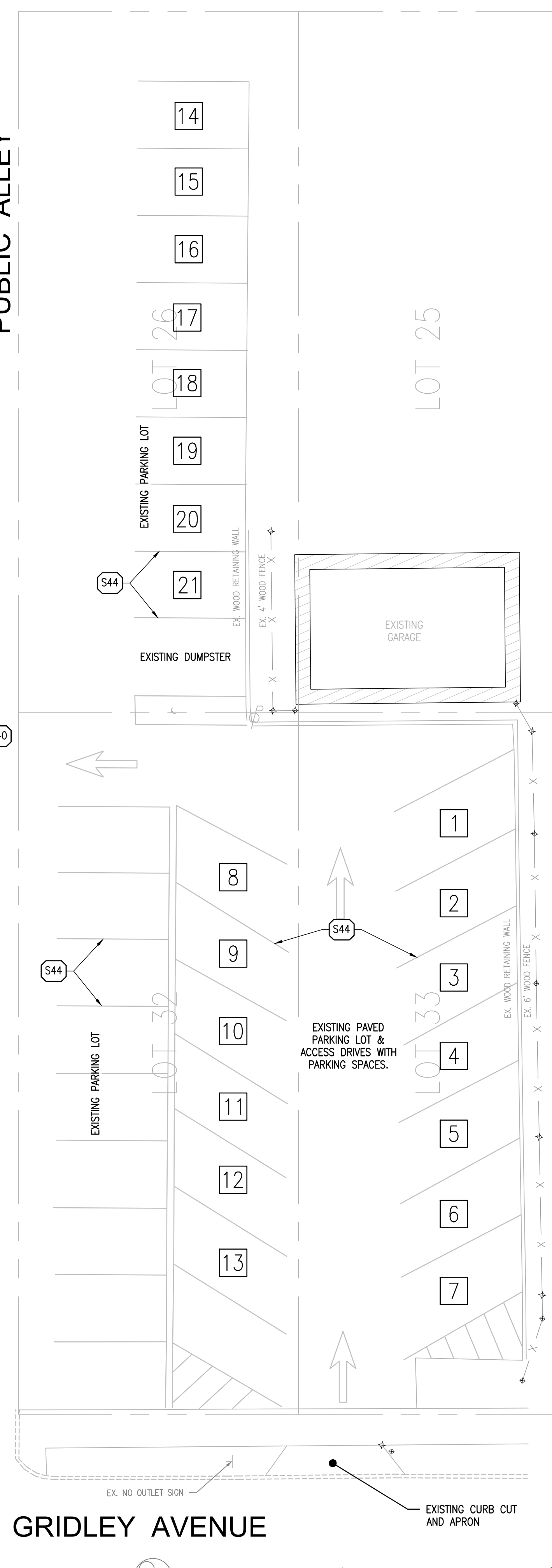
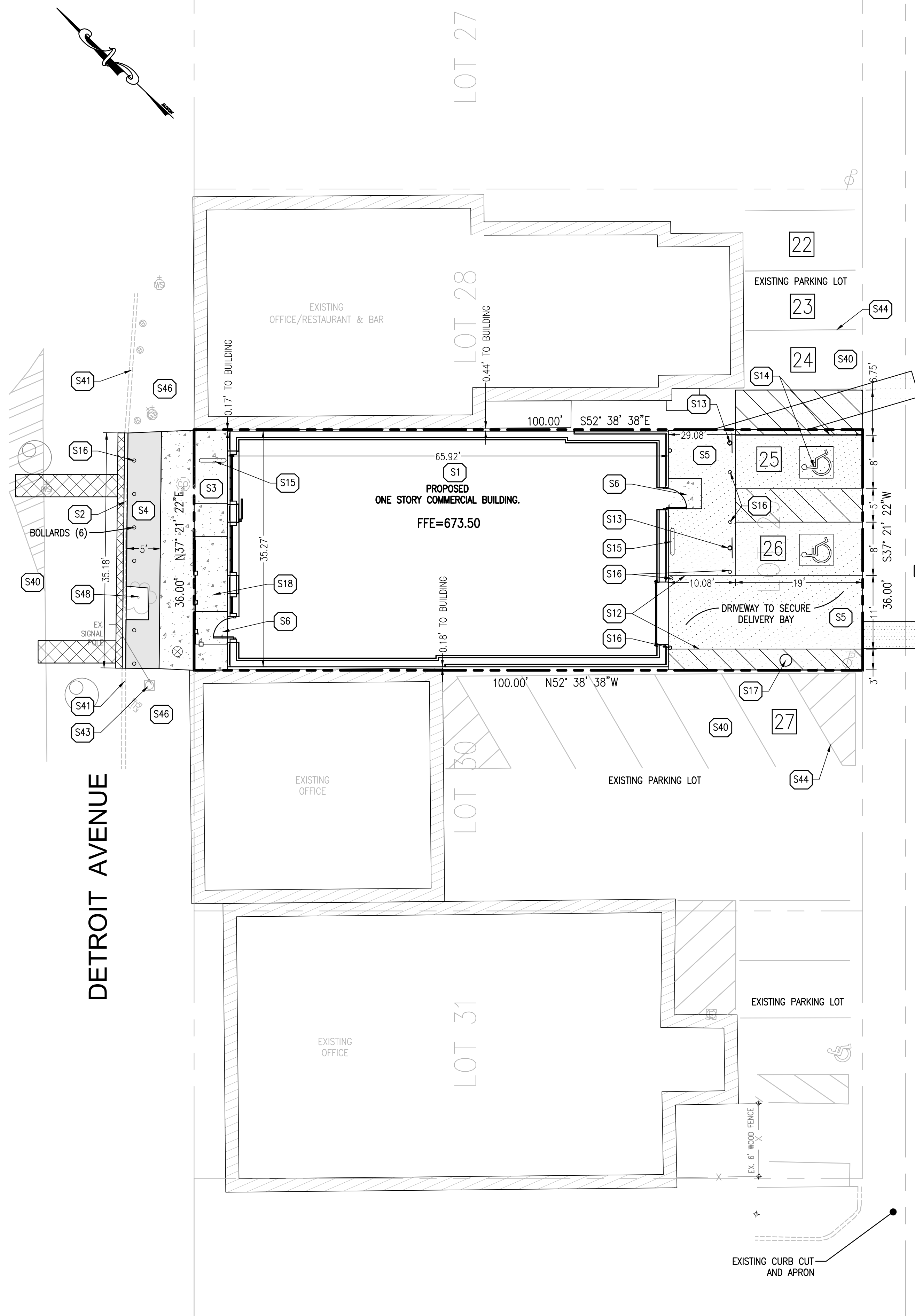
GRAPHIC SCALE



PUBLIC ALLEY

GRIDLEY AVENUE

DETROIT AVENUE



SITE PLAN NOTES:

1. SEE CONSTRUCTION DETAILS SHEET C7.2 FOR PAVEMENT SECTION DETAILS.
2. SEE GENERAL NOTES SHEET C1.0 FOR EXISTING LEGEND.

PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
03/29/19	PERMIT SET
04/29/19	CITY SUBMITTAL
05/02/19	PERMIT RESPONSE/BID SET



PROFESSIONAL IN CHARGE

**KERI WILLIAMS**  
PROFESSIONAL ENGINEER  
LICENSE NO. 83846

PROJECT MANAGER

JAMES COYLE

QUALITY CONTROL

JAMES COYLE

DRAWN BY

ERIC CARRANZA

PROJECT NAME

**GTI**

**LAKEWOOD OH**  
18607 DETROIT AVENUE  
LAKEWOOD, OH 44107



PROJECT NUMBER

20181823.0

SHEET TITLE

**SITE PLAN**

SHEET NUMBER

**C3.0**





PLANNING COMMISSION

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www.onelakewood.com

## Application Cover Page

**Docket No.: 06-27-24**

**Permit No.: PC24-000029**

**Applicant Name: Jennifer Milliken, Ice Miller LLP**

**Project Address: 11818 Madison Ave.**

**Project Name: GTI Ohio LLC dba Rise**

**Proposal: Existing medical marijuana dispensary to allow adult use, pursuant to amended Schedule 1129.02 - permitted uses in commercial districts and Chapter 1165 Medical Marijuana Dispensaries, of the Codified Ordinances of the City of Lakewood and to permit Medical and Adult Use Marijuana Dispensaries in Commercial Districts. The property is in the C3, Commercial General Business.**







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## **Communication Cover Page**

**Docket No.: 06-28-24**

**Permit No.: PC24-000023**

**Project: Residential Architectural Design Guidelines**



PLANNING COMMISSION

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www.lakewoodOH.net

June 6, 2024

Planning Commission  
Lakewood City Hall  
12650 Detroit Avenue  
Lakewood, Ohio 44107

**Re: Docket No. 06-28-24  
Residential Architectural Design Guidelines**

Dear Members of the Planning Commission:

The Department of Planning and Development staff will present a communication regarding proposed Residential Design Guidelines for Architectural Board of Review proposals. The goal of these guidelines is to assist applicants in understanding the goals of the Board. In addition, it will assist the Board in exemplifying how a proposal can be deemed “consistent, complimentary, and harmonious” in context with existing surrounding conditions. The proposed guidelines were presented to the Architectural Board of Review at its April 11, 2024 meeting.

Sincerely,

David Baas, Assistant Director



City of Lakewood, Ohio

# RESIDENTIAL ARCHITECTURAL DESIGN STANDARDS

May 2024



**CITY OF LAKEWOOD**  
12650 Detroit Avenue  
Lakewood, Ohio 44107  
[www.lakewoodoh.gov](http://www.lakewoodoh.gov)

## Purpose

These Design Standards offer examples to clarify and explain the architectural design standards pertaining to residential buildings as found in Chapter 1325 of the Codified Ordinances of the City of Lakewood (Codified Ordinances). It serves to describe the design standards and is used as a reference tool in order to better illustrate the application of the standards. The purpose of the standards are to:

1. Provide guidance to property owners, developers, architects, and contractors to aid in the preparation of appropriate plans for submittal. Following these standards creates “the best opportunity for success in an efficient manner.
2. Improve the quality, compatibility, and permanence in design found in Lakewood.
3. Encourage a harmonious development pattern where new construction, additions, and alterations respect and respond to the existing built and natural environments; and
4. Align proposals with the goals outlined in Lakewood’s Community Vision.  
<https://www.lakewoodoh.gov/community-vision/>.

## Applicability

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The Design Standards referenced in this manual are applicable to all residential buildings in the city. The standards listed in this document are generally appropriate for all residential structures, but applicants should understand there are nuances for larger and more complex developments such as townhomes and multi-family developments. Generally, this does not include mixed use buildings that are commercially zoned. These Design Standards are required in addition to any other standards set forth in the Codified Ordinances, generally found in Chapters 1325, 1121, 1123, 1125, 1127, 1141, and 1153 (Codified Ordinances: [https://codelibrary.amlegal.com/codes/lakewood/latest/lakewood\\_oh/0-0-0-72460](https://codelibrary.amlegal.com/codes/lakewood/latest/lakewood_oh/0-0-0-72460)). The implementation of these standards ensures that the goals and values of the community are reflected in each residential building.

## Review Authority

---

A Design Review application must be submitted for review and approval by the Architectural Board of Review (ABR) whenever the following residential alterations are proposed:

1. Demolition of a residential building;
2. Construction of new residential buildings or additions that are directly visible and adjacent from the public right-of-way;
3. Construction and alterations to an accessory dwelling unit; including attached ADU’s or detached.
4. Alterations and renovations to existing residential buildings that are visible from the public right-of-way and are not consistent with these Architectural Standards, as determined by the Building Commissioner and ABR Chairperson or their designees; and/ or
5. Any painting or staining of previously unaltered masonry or covering thereof by other methods in whole or in part. See the requirements of Appendix A: Standards for Painting or Covering of Masonry Surfaces.

Properties located in a Historic District Overlay or individually designated as a Historic Property as set forth in Chapter 1134 of the Codified Ordinances are subject to separate standards. Property owners

and applicants considering alterations to a historic designated property must contact the City for additional information at (216) 529-6630 or [planning@lakewoodoh.net](mailto:planning@lakewoodoh.net).

The following items are not typically subject to review by the Architectural Board of Review unless referred by the Building Commissioner for standalone projects:

1. Solar/wind energy facilities;
2. Wireless telecommunications;
3. Rubbish structures/screening;
4. Fences;
5. Outdoor lighting plan;
6. Landscaping; and
7. Pools.
8. Repainting house
9. Replacing windows (unless new openings visible from street)
10. Roof repair/replacement
11. General repairs and maintenance provided it does not continue a non-conformity

\*Administrative review may be considered for certain applications that offer minimal effect on the exterior of the property. The Secretary of the Architectural Board of Review and the Chairperson will determine if the alteration meets administrative review criteria. In the event it does not, the application will be forwarded for review by the Architectural Board of Review.

## **Design Standards**

---

### **SITE DESIGN.**

1. Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
2. New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
3. Building placement and orientation is integral to the site design and the overall interaction with surrounding properties.
  - a. Buildings must be oriented with the primary façade and entry facing parallel to the principal street frontage, unless an alternative orientation is consistent with the majority of homes along the same block face.
  - b. For buildings located on corner lots, the secondary street frontage must be addressed with a compatible appearance of the principal street frontage but of less prominence.
4. Ground and wall-mounted equipment, including utility panels and meters, must not be located on a street-facing elevation.
5. Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.
6. All elements to be included in the design must be submitted: lighting components, parking lot design, landscaping elements, etc.

## **ARCHITECTURAL DESIGN COMPATIBILITY.**

1. All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
2. The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.

## **OVERALL FORM, MASSING, AND SCALE.**

1. New residential buildings, additions, and alterations must be compatible in predominant form, mass, lot coverage, general character and in proportion and scale to other surrounding structures in the immediate area; however, some differentiation from adjacent homes is allowable.
2. For larger massed residential buildings, techniques such as stepping back upper stories, off-setting secondary masses, dividing facades into smaller components, or varying materials must be considered to reduce the perceived mass of the structure.
3. For visual variety, building massing for residential buildings should be varied by employing techniques such as but not limited to: bay windows, dormers, and varying planes or roof lines.
4. The combination of lots to create larger homes is discouraged unless the resulting residential building can meet these Design Standards and any other applicable regulation.
5. Any addition or alteration must be complementary to the principal structure.

## **STYLES AND FACADES.**

1. Building design is not limited to any specific architectural style, however a residential building – including modern designs - must have a unified architectural style or unifying architectural elements that are complementary and compatible with the surrounding neighborhood.
2. Where appropriate, include bay windows and other architectural elements to provide relief to the façade of the building and to match the context of the surrounding area.
3. For new construction, alterations, and additions on a corner lot or where frontage is on multiple streets, façade details should extend to all frontage streets.
4. If the front façade of a residential development includes brick, stone, or simulated brick or stone material that extends to the edge of the front façade, these elements shall be extended around the corner to the side façade to provide an appropriate transition to the adjacent material.
5. Attempts should be made to limit use of surface mounted conduit. Where unavoidable, efforts should be made to conceal and locate on elevations not facing the street and paint to match surroundings.

## **ROOF DESIGN.**

1. A roof's form, style, and material must be compatible with the chosen architectural style. For existing structures, the roof's form, style and material shall be harmonious and consistent with the neighborhood context.
2. Roofline variations may be used to demarcate primary building entrances, to break up larger massed front facades, and provide visual variety to the front façade of the home.
3. When appropriate to the roof design and surrounding context, overhangs must be present.

## **FRONT PORCH AND ENTRY.**

Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.

1. Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
2. Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
3. The permanent enclosure of a front porch, including a second story front porch, is not appropriate and will not be supported.
4. Compliance with Appendix B Front Porch Guidelines is required.
5. Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.

## **WINDOWS AND DOORS.**

1. Windows and doors must be proportional in scale to the size of the building and to each other.
2. Vertical orientation is required unless an alternative orientation is necessary due to the architectural style or element.
3. Window and door placement and patterns should be consistent and fit with the overall architectural style of the building and the surrounding community.
4. Wherever possible, the first and second floor windows should be vertically and horizontally aligned with each other, particularly on the front elevation.
5. Blank walls on residential buildings that void of windows and doors are not appropriate.
6. Windows and doors should be used as architectural elements that add relief to the façade and wall surface.
7. When appropriate to the architectural style of the home, all front facing windows and doors must have consistent spacing and symmetry and a unifying architectural element or pattern, including but not limited to: sills, ledges, mullions, frames, trims, or spacing in relation to column patterns.
8. Appropriate trim around windows and doors is required.
9. The front door must face the street.
10. Excessive window glazing or reflective window glass is prohibited.
11. When utilized, shutters must be equal to the height of the window and half of its width. Shutters must be installed so the bottom of the shutter aligns with the top of the window lintel and bottom of the window sill.

## **EXTERIOR MATERIALS AND DECORATIVE DETAILS.**

1. The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
2. Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.

3. Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
4. Wood trim should be painted and strictly staining is discouraged.
5. Columns must have appropriate trim at the base and capital.
6. Masonry is required on all chimneys.

#### **GARAGES AND ACCESSORY STRUCTURES.**

1. Garages and accessory structures must be secondary structures on the lot and shall not overshadow the primary building or residence. They must be complementary to the primary structure.
2. Detached or side or rear-oriented attached garages are preferred.
3. Street facing garages that are attached to the primary structure are discouraged and shall only be considered when no other alternative exists for the location and orientation of the garage. When permitted the garage shall comprise less than 50% of the ground floor building frontage. The garage shall not be permitted to be closer to the adjacent street than the ground floor building frontage.
4. Garage doors must be designed in a way that is compatible with the chosen architectural style of the rest of the home and surrounding properties.
5. Finish materials and colors must match or complement principal structure.

#### **DEMOLITION.**

Demolitions of residential buildings are regulated by Section 1133.09 of the Codified Ordinances. This section can be found at the following link.

[https://codelibrary.amlegal.com/codes/lakewood/latest/lakewood\\_oh/0-0-0-73399](https://codelibrary.amlegal.com/codes/lakewood/latest/lakewood_oh/0-0-0-73399).

Property owners and applicants considering a demolition property must contact the City for additional information at (216) 529-6630 or [planning@lakewoodoh.net](mailto:planning@lakewoodoh.net).



**PLANNING COMMISSION**

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## **Communication Cover Page**

**Docket No.: 06-29-24**

**Permit No.: PC24-000033**

**Project: Mixed-Use Overlay Amendment**



PLANNING COMMISSION

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www.lakewoodOH.net

June 6, 2024

Planning Commission  
Lakewood City Hall  
12650 Detroit Avenue  
Lakewood, Ohio 44107

**Re: Docket No. 06-29-24  
Mixed-Use Overlay Amendment**

Dear Members of the Planning Commission:

The Department of Planning and Development staff will present a communication. On May 20, 2024, City Council met to amend Chapter 1135, Mixed Use Overlay District, to allow for flexibility and inclusion of Industrial Zoning Districts. Ordinance No. 09-2024 was referred to the Planning Commission for its review.

Sincerely,

David Baas, Assistant Director



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

12650 Detroit Avenue 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

May 20, 2024

City Council  
City of Lakewood  
12650 Detroit Avenue  
Lakewood, Ohio 44107

RE: Amendments to Chapter 1135 (Mixed Use Overlay)

Dear Council President Kepple & Members of City Council,

Over the past months, in response to inquiries about what is (or could be) permitted within our existing industrial district we have researched potential methods to increase flexibility towards conditionally allowing select compatible commercial uses across these parcels.

Under Chapter 1131, our code currently allows for traditionally permitted uses in our industrial parcels such as research and development, manufacturing, wholesaling, and storage. In 2006, the code was amended to also allow professional, clerical, and administrative office uses.

Our community vision's economic development focus area includes guidance to maintain "*a Zoning Code that is nimble enough to address evolving markets and commercial opportunities...*" In keeping with the vision and in responding to the expressed desire for more flexibility with the current and future potential uses of our industrial parcels – including the adaptive reuse of existing structures – we submit this amendment to Chapter 1135 to expand the application of select conditional commercial uses via the mixed use overlay to the industrial district.

The select commercial use categories proposed for conditional consideration in the industrial district, as part of a mixed use overlay include:

- Institutional (Trade/Vocational Schools only).
- Entertainment.
- Food and Beverage (Restaurant seated table service and Bar, Tavern, or Nightclub only).
- Professional Services (Radio/TV/Video/Audio Production only).
- Service Retail.
- Hard Goods Retail.

It is recommended that this amendment be referred to the Planning Commission and appropriate committee for further discussion, refinement (as needed), and adoption.

Sincerely,

David Baas, AICP  
Assistant Director, Planning & Development

ORDINANCE NO. 09-2024

BY:

AN ORDINANCE to take effect immediately provided it receives the affirmative vote of at least two thirds of the members of Council, or otherwise to take effect and be in force after the earliest period allowed by law, amending Chapter 1135, Mixed Use Overlay District, to allow for flexibility and inclusion of Industrial Zoning Districts.

WHEREAS, currently, there is little flexibility for development within Lakewood's industrial zoning district; and

WHEREAS, applying a mixed use overlay to the industrial district would allow for thoughtful, controlled redevelopment in this area of the City; and

WHEREAS, the application of a mixed use overlay to industrial districts is consistent with the Community Vision; and

WHEREAS, as set forth in Section 2.12 of the Third Amended Charter of the City of Lakewood, this Council by a vote of at least two thirds of its members determines that this ordinance is an emergency measure and that it shall take effect immediately, and that it is necessary for the immediate preservation of the public property, health, and safety and to provide for the usual daily operation of municipal departments; now, therefore,

BE IT ORDAINED BY THE CITY OF LAKEWOOD, OHIO:

Section 1. That Chapter 1135, Mixed Use Overlay District, of the Lakewood Codified Ordinances currently reading as follows:

1135.01 PURPOSE.

(a) The purpose of the Mixed Use Overlay District is to provide a mechanism to accommodate development reuse and redevelopment in specified locations, which is in the public interest and may not otherwise be permitted pursuant to this Code. A Mixed Use Overlay District may overlay several base districts. However, the uses permitted in each underlying district are limited to the boundaries of that district, and the regulations of the underlying district shall govern, except where additional uses are expressly allowed under this Chapter.

(b) The Mixed Use Overlay District requirements and regulations allow for more flexibility than those pertaining to other uses within the Code. A Mixed Use Overlay District may be mapped in an area where the proposed use changes certain character and features otherwise limited by the underlying zoning only if it has been determined that the current and anticipated future uses in the immediate vicinity will be compatible with the mixed uses proposed and that such uses are consistent with the Development Plan. Therefore, the Commission shall consider Mixed Use Overlay developments on a case-by-case basis.

(c) A Mixed Use Overlay District should offer one (1) or more of the following advantages:

(1) Designs in residential and commercial areas that reflect the City's development and planning policies as set forth in this Code and that are consistent with the Vision.

(2) Designs that are intended to encourage flexibility, innovation, and creativity in site and development design by allowing the mixing of permitted uses and/or modification or variation from otherwise applicable zone district and development standards.

(3) Designs which encourage a mix of retail, service, office, housing, live-work units, and public activities to coexist in a manner that reflects human scale and emphasizes pedestrian orientation, taking advantage of the vitality that mixed uses can bring to the community.

(4) Designs which provide substantial buffers and transitions between areas of different land uses and development densities.

(5) Designs which enhance the appearance of neighborhoods by conserving areas of natural beauty and natural green spaces.

(6) Designs which provide a choice in the type of environment available to the public by allowing development that would not be possible under the strict application of other sections of this Code .

(7) Development and/or permanent reservation of open space, recreational areas and facilities.

(8) A creative approach to the use of land and related physical facilities that result in better urban design, higher quality construction and the provision of aesthetic amenities.

(9) The efficient use of land, so as to promote certain economies in the provision of utilities, streets, schools, public grounds and buildings, and other facilities.

#### 1135.02 LIMITATIONS ON FLEXIBILITY OF MIXED USE OVERLAY DISTRICTS.

It is not intended that the Commission automatically grant exceptions or maximum density increases for Mixed Use Overlay Districts, but it is expected that the Commission shall grant only such increases or uses which are consistent with the benefits resulting from the Mixed Use Overlay. Therefore, the Commission may require as a condition of approval any reasonable condition, limitation or design factor, pursuant to Section 1161.02, General Standards for All Conditional Uses, which will promote proper development of a Mixed Use Overlay development.

#### 1135.03 DESIGNATION OF A MIXED USE OVERLAY DISTRICT.

(a) Relationship to Base Districts. The Mixed Use Overlay District is an overlay zone, which may be applied to existing zoning districts as described in Section 1135.04, Location of Mixed Use Overlay District. When such a district is established, the Mixed Use Overlay District shall be shown as an overlay to the underlying districts by the designation of MUOD on the Zoning Map. A Mixed Use Overlay District may overlay several base districts, however, the uses permitted in each base district are limited to the boundaries of that base district, except as otherwise provided herein.

(b) Development Standards. The development standards, including, but not limited to, the yard and setback requirements, the height limitations, parking requirements, open space areas, and signage shall be established as a function of the application to establish a Mixed Use Overlay District and the approval of the application. The following regulations shall be observed:

(1) Signage.

A. In a commercial district base zone, signage standards are set by the base zone.

B. In a residential district base zone, the following additional signage regulations apply:

1. Signs must be non-illuminated.

2. Gooseneck fixtures or indirect spotlights concentrated on an area of a sign may be used to create illumination.

3. Only one sign per frontage, not to exceed 20 square feet per sign, shall be allowed.

4. Signs must be either projecting signs, erected on the outside wall of a building and projecting at an angle therefrom; or wall signs, integral with the exterior face of an exterior wall of a building, or attached to the wall or parallel with the wall and projecting not more than twelve inches therefrom.

The Commission may relax such standards if a creative and innovative design is submitted and the sign does not adversely affect neighboring properties.

(2) Parking.

A. Applicants for Mixed Use Overlay developments shall submit a parking and traffic management proposal that does not adversely affect the neighborhood, identifies peak use times, and explores shared parking agreements.

B. All residential uses must comply with parking requirements or maintain existing parking conditions.

(3) Structural Requirements.

A. Mixed Use Overlay proposals must contain a residential component.

B. Maintain form and scale of building being re-purposed.

C. The primary design objective for the Mixed Use Overlay District are to reflect the area's architectural significance/character, while promoting the pedestrian scale environment. The design must be compatible with the neighborhood.

D. The principal or primary entrance to a non-residential structure must be located on the building front.

(4) Outdoor dining. Outdoor dining shall be permitted as a conditional use in a Mixed Use Overlay District pursuant to Section 1161.03(t).

#### 1135.04 LOCATION OF MIXED USE OVERLAY DISTRICT.

Location of a Mixed Use Overlay District is limited to Commercial Districts (C1 Office, C2 Retail, C3 General Business, C4 Public School District) and Residential Districts (R1 Single Family, R2 Single and Two Family, R1L Single Family Low Density, R1M Single Family Medium Density, R1H Single Family High Density, ML Multiple Family Low Density and MH Multiple-Family High Density).

#### 1135.05 PRINCIPAL AND CONDITIONALLY PERMITTED USES.

(a) Permitted Uses. Uses listed as permitted in the underlying "base" zone.

(b) Conditional Uses for a Commercial District Base Zone.

(1) Conditional Uses are those uses having some special impact or uniqueness that requires a careful review of their location, design, configuration, and special impact to determine the desirability of permitting their establishment on any given site. A Conditional Use may be granted pursuant to the requirements of Section 1129.02, Principal and Conditional Permitted Uses. Standards for specific Conditional Uses may be found in Chapter 1161, Conditional Uses, or elsewhere as referenced herein.

(2) In keeping with the desire for flexibility in this district, the following may be permitted as additional Conditional Uses in the Mixed Use Overlay District:

A. Dwelling units, single-family residence attached.

B. Live-work units where base zoning permits non-residential uses.

C. Uses listed as conditional in the underlying base zone.

(3) Modification of development standards shall be permitted on the authority of the Commission as part of the Conditional Use review.

(c) Conditional Uses for a Residential District Base Zone.

(1) Conditional uses are those uses having some special impact or uniqueness that requires a careful review of their location, design, configuration, and special impact to determine the desirability of permitting their establishment on any given site. A conditional use may be granted pursuant to the requirements of Section 1129.02, conditional use. Standards for specific conditional uses may be found in Chapter 1161, Conditional Uses, or elsewhere as referenced herein.

(2) In keeping with the desire for flexibility in this district, the following use categories may be permitted as additional conditional uses pursuant to Section 1129.02, Principal and Conditional Permitted Uses:

A. Residential, Entertainment, Food and Beverage, Professional Services, General Retail, Service Retail, Convenience Retail, Personal Care Services, and Laundromat.

B. Conditional uses in a residential district base zone must be comparatively small scale. This does not mean these uses will serve only the nearby dwellings, but the appearance, mix

of uses, and scale of both buildings and uses must be that of a local or neighborhood establishment.

(3) Modification of development standards shall be permitted on the authority of the Commission as part of the conditional use review.

1135.06 ACCESSORY USES AND STRUCTURES.

Uses listed as accessory in the underlying “base” zone.

1135.07 ADDITIONAL USES.

Uses listed as additional in the underlying “base” zone.

1135.08 MINIMUM LOT AREA, WIDTH, COVERAGE, AND HEIGHT.

Standards related to minimum lot area, lot width, lot coverage and maximum heights shall be as required in the base zone for each lot. However, such standards may be relaxed without triggering the requirement to apply for a variance if the proposed standard is determined by the Commission to be consistent with the surrounding properties, both within and outside of limits of the Mixed Used Overlay District.

1135.09 MINIMUM YARDS.

In addition to the required yard, a landscaped buffer of at least ten (10) feet shall also be provided, pursuant to Section 1141.03, Landscaping Plan. However, the Commission may relax such standards if the proposed standard is determined to be consistent with the surrounding properties, both within and outside the limits of the Mixed Use Overlay District.

1135.10 FEES.

The fee(s) for a Mixed Use Overlay District application shall be pursuant to Section 1173.06.

1135.11 HOURS OF OPERATION IN RESIDENTIAL DISTRICT BASE ZONE.

Non-residential uses shall only be permitted to be open for the transaction of business between the hours of 6 a.m. and 10 p.m. Sunday through Thursday and 6 a.m. and 11 p.m. Friday and Saturday. The Commission may relax or restrict such standards in order to not adversely affect the neighboring properties.

is hereby repealed.

Section 2. That new Chapter 1135, Mixed Use Overlay District, of the Codified Ordinances shall be enacted to read as follows:

1135.01 PURPOSE.

(a) The purpose of the Mixed Use Overlay District is to provide a mechanism to accommodate development reuse and redevelopment in specified locations, which is in the public interest and may not otherwise be permitted pursuant to this Code. A Mixed Use Overlay District may overlay several base districts. However, the uses permitted in each underlying district are limited to the boundaries of that district, and the regulations of the underlying district shall govern, except where additional uses are expressly allowed under this Chapter.

(b) The Mixed Use Overlay District requirements and regulations allow for more flexibility than those pertaining to other uses within the Code. A Mixed Use Overlay District may be mapped in an area where the proposed use changes certain character and features otherwise limited by the underlying zoning only if it has been determined that the current and anticipated future uses in the immediate vicinity will be compatible with the mixed uses proposed and that such uses are consistent with the Development Plan. Therefore, the Commission shall consider Mixed Use Overlay developments on a case-by-case basis.

(c) A Mixed Use Overlay District should offer one (1) or more of the following advantages:

(1) Designs ~~in residential and commercial areas~~ that reflect the City's development and planning policies as set forth in this Code and that are consistent with the Vision.

(2) Designs that are intended to encourage flexibility, innovation, and creativity in site and development design by allowing the mixing of permitted uses and/or modification or variation from otherwise applicable zone district and development standards.

(3) Designs which encourage a mix of retail, service, office, housing, live-work units, public activities, and other compatible uses to coexist in a manner that reflects human scale and emphasizes pedestrian orientation, taking advantage of the vitality that mixed uses can bring to the community.

(4) Designs which provide substantial buffers and transitions between areas of different land uses and development densities.

(5) Designs which enhance the appearance of neighborhoods by conserving areas of natural beauty and natural green spaces.

(6) Designs which provide a choice in the type of environment available to the public by allowing development that would not be possible under the strict application of other sections of this Code .

(7) Development and/or permanent reservation of open space, recreational areas and facilities.

(8) A creative approach to the use of land and related physical facilities that result in better urban design, higher quality construction and the provision of aesthetic amenities.

(9) The efficient use of land, so as to promote certain economies in the provision of utilities, streets, schools, public grounds and buildings, and other facilities.

(10) The adaptive reuse of historic buildings.

#### 1135.02 LIMITATIONS ON FLEXIBILITY OF MIXED USE OVERLAY DISTRICTS.

It is not intended that the Commission automatically grant exceptions or maximum density increases for Mixed Use Overlay Districts, but it is expected that the Commission shall grant only such increases or uses which are consistent with the benefits resulting from the Mixed Use Overlay. Therefore, the Commission may require as a condition of approval any reasonable condition, limitation or design factor, pursuant to Section 1161.02, General Standards for All Conditional Uses, which will promote proper development of a Mixed Use Overlay development.

#### 1135.03 DESIGNATION OF A MIXED USE OVERLAY DISTRICT.

(a) Relationship to Base Districts. The Mixed Use Overlay District is an overlay zone, which may be applied to existing zoning districts as described in Section 1135.04, Location of Mixed Use Overlay District. When such a district is established, the Mixed Use Overlay District shall be shown as an overlay to the underlying districts by the designation of MUOD on the Zoning Map. A Mixed Use Overlay District may overlay several base districts, however, the uses permitted in each base district are limited to the boundaries of that base district, except as otherwise provided herein.

(b) Development Standards. The development standards, including, but not limited to, the yard and setback requirements, the height limitations, parking requirements, open space areas, and signage shall be established as a function of the application to establish a Mixed Use Overlay District and the approval of the application. The following regulations shall be observed:

(1) Signage.

A. In a commercial district base zone, signage standards are set by the base zone.

B. In a residential district base zone, the following additional signage regulations

apply:

1. Signs must be non-illuminated.

2. Gooseneck fixtures or indirect spotlights concentrated on an area of a sign may be used to create illumination.

3. Only one sign per frontage, not to exceed 20 square feet per sign, shall be allowed.

4. Signs must be either projecting signs, erected on the outside wall of a building and projecting at an angle therefrom; or wall signs, integral with the exterior face of an exterior

wall of a building, or attached to the wall or parallel with the wall and projecting not more than twelve inches therefrom.

C. In an industrial based zone, signage must meet the standards of the commercial districts.

The Commission may relax such standards if a creative and innovative design is submitted and the sign does not adversely affect neighboring properties.

(2) Parking.

A. Applicants for Mixed Use Overlay developments shall submit a parking and traffic management proposal that does not adversely affect the neighborhood, identifies peak use times, and explores shared parking agreements.

B. All residential uses must comply with parking requirements or maintain existing parking conditions.

(3) Structural Requirements.

A. In a commercial or residential district base zone, Mixed Use Overlay proposals must contain a residential component. Residential components are not permitted in an industrial base zone.

B. Maintain form and scale of building being re-purposed.

C. The primary design objective for the Mixed Use Overlay District are to reflect the area's architectural significance/character, while promoting the pedestrian scale environment. The design must be compatible with the neighborhood.

D. The principal or primary entrance to a non-residential structure must be located on the building front.

(4) Outdoor dining. Outdoor dining shall be permitted as a conditional use in a Mixed Use Overlay District pursuant to Section 1161.03(t).

#### 1135.04 LOCATION OF MIXED USE OVERLAY DISTRICT.

Location of a Mixed Use Overlay District is limited to Commercial Districts (C1 Office, C2 Retail, C3 General Business, C4 Public School District), ~~and~~ Residential Districts (R1 Single Family, R2 Single and Two Family, R1L Single Family Low Density, R1M Single Family Medium Density, R1H Single Family High Density, ML Multiple Family Low Density and MH Multiple-Family High Density), and the Industrial (I) District.

#### 1135.05 PRINCIPAL AND CONDITIONALLY PERMITTED USES.

(a) Permitted Uses. Uses listed as permitted in the underlying "base" zone.

(b) Conditional Uses for a Commercial District Base Zone.

(1) Conditional Uses are those uses having some special impact or uniqueness that requires a careful review of their location, design, configuration, and special impact to determine the desirability of permitting their establishment on any given site. A Conditional Use may be granted pursuant to the requirements of Section 1129.02, Principal and Conditional Permitted Uses. Standards for specific Conditional Uses may be found in Chapter 1161, Conditional Uses, or elsewhere as referenced herein.

(2) In keeping with the desire for flexibility in this district, the following may be permitted as additional Conditional Uses in the Mixed Use Overlay District:

A. Dwelling units, single-family residence attached.

B. Live-work units where base zoning permits non-residential uses.

C. Uses listed as conditional in the underlying base zone.

(3) Modification of development standards shall be permitted on the authority of the Commission as part of the Conditional Use review.

(c) Conditional Uses for a Residential District Base Zone.

(1) Conditional uses are those uses having some special impact or uniqueness that requires a careful review of their location, design, configuration, and special impact to determine the desirability of permitting their establishment on any given site. A conditional use may be granted pursuant to the requirements of Section 1129.02, conditional use. Standards for specific conditional uses may be found in Chapter 1161, Conditional Uses, or elsewhere as referenced herein.

(2) In keeping with the desire for flexibility in this district, the following use categories may be permitted as additional conditional uses pursuant to Section 1129.02, Principal and Conditional Permitted Uses:

A. Residential, Entertainment, Food and Beverage, Professional Services, General Retail, Service Retail, Convenience Retail, Personal Care Services, and Laundromat.

B. Conditional uses in a residential district base zone must be comparatively small scale. This does not mean these uses will serve only the nearby dwellings, but the appearance, mix of uses, and scale of both buildings and uses must be that of a local or neighborhood establishment.

(3) Modification of development standards shall be permitted on the authority of the Commission as part of the conditional use review.

~~(d) Conditional Uses for an Industrial District Base Zone.~~

(1) Conditional uses are those uses having some special impact or uniqueness that requires a careful review of their location, design, configuration, and special impact to determine the desirability of permitting their establishment on any given site. A conditional use may be granted pursuant to the requirements of Section 1129.02, Conditional Use. Standards for specific uses may be found in Chapter 1161, Conditional Uses, or elsewhere as referenced herein.

(2) In keeping with the desire for flexibility in this district, the following use categories (or specific uses if listed) may be permitted as additional conditional uses pursuant to Section 1129.02, Principal and Conditional Permitted Uses:

A. Institutional (Trade/Vocational Schools only);

B. Entertainment;

C. Food and Beverage (Restaurant seated Table Service; Bar; Tavern, Nightclub only);

D. Professional Services (Radio/TV/Video/Audio Production only);

E. Service Retail; and

F. Hard Goods Retail.

(3) Modification of development standards shall be permitted on the authority of the Commission as part of the conditional use review.

1135.06 ACCESSORY USES AND STRUCTURES.

Uses listed as accessory in the underlying “base” zone.

1135.07 ADDITIONAL USES.

Uses listed as additional in the underlying “base” zone.

1135.08 MINIMUM LOT AREA, WIDTH, COVERAGE, AND HEIGHT.

Standards related to minimum lot area, lot width, lot coverage and maximum heights shall be as required in the base zone for each lot. However, such standards may be relaxed without triggering the requirement to apply for a variance if the proposed standard is determined by the Commission to be consistent with the surrounding properties, both within and outside of limits of the Mixed Used Overlay District.

1135.09 MINIMUM YARDS.

In addition to the required yard, a landscaped buffer of at least ten (10) feet shall also be provided, pursuant to Section 1141.03, Landscaping Plan. However, the Commission may relax such standards if the proposed standard is determined to be consistent with the surrounding properties, both within and outside the limits of the Mixed Use Overlay District.

1135.10 FEES.

The fee(s) for a Mixed Use Overlay District application shall be pursuant to Section 1173.06.

1135.11 HOURS OF OPERATION IN RESIDENTIAL DISTRICT BASE ZONE.

Non-residential uses shall only be permitted to be open for the transaction of business between the hours of 6 a.m. and 10 p.m. Sunday through Thursday and 6 a.m. and 11 p.m. Friday

and Saturday. The Commission may relax or restrict such standards in order to not adversely affect the neighboring properties.

Section 3. It is found and determined that all formal actions of this Council concerning and relating to the passage of this ordinance were adopted in an open meeting of this Council, and that all such deliberations of this Council and of any of its committees that resulted in such formal action were in meetings open to the public in compliance with all legal requirements.

Section 4. This ordinance is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, property, health, safety and welfare in the City and for the usual daily operation of the City for the reasons set forth and defined in the preamble to this ordinance, and provided it receives the affirmative vote of at least two thirds of the members of Council, this ordinance shall take effect and be in force immediately upon its adoption by the Council and approval by the Mayor, or otherwise it shall take effect and be in force after the earliest period allowed by law.

Adopted: \_\_\_\_\_

\_\_\_\_\_  
Sarah Kepple, President of Council

\_\_\_\_\_  
Maureen M. Bach, Clerk of Council

Approved: \_\_\_\_\_

\_\_\_\_\_  
Meghan F. George, Mayor