

**AGENDA
PLANNING COMMISSION
JUNE 7, 2018
LAKEWOOD CITY HALL

PRE-REVIEW MEETING
6:30 P.M.
EAST CONFERENCE ROOM**

Review docket items

**REGULAR MEETING
7:00 P.M.
AUDITORIUM**

1. Roll Call
2. Approve the Minutes of the May 3, 2018 meeting
3. Opening Remarks

NEW BUSINESS

CONDITIONAL USE

4. **Docket No. 06-21-18
17600 Detroit Avenue
Castlewood Apartments**

John R. Sindyla, Esq., T-Mobile Central LLC/Sindyla Consulting Group LLC, applicant requests the review and approval for the installation of nine antennas and one equipment cabinet on the roof of the building, pursuant to section 1157.02 - regulations. The property is located in a C2, Retail district. (Page 3)

LOT CONSOLIDATION

5. **Docket No. 06-22-18
1375, 1379 and 1391 Fry Avenue
The Mews at Rockport**

William Sanderson, Knez Homes, Inc., applicant requests the review and approval for the consolidation of three parcels (PPN 312-33-052, PPN 312-33-053, and PPN 312-33-054), pursuant to section 1155.06 - procedures for lot consolidations and resubdivisions. The property is located in a C3, General Business district. (Page 22)

OLD BUSINESS

CONDITIONAL USE

6. **Docket No. 05-20-18 – Mixed-Use Overlay District
16900/16906 Detroit Avenue and 1386/1376 Edwards Avenue
Lakewood Beer Garden and Food Truck Park**

Greg Ernst, AODK, Inc., applicant requests the review and approval of a mixed-use overlay as the project is sited on two commercial and two residential properties to construct a new 6,000 sf single-story commercial building with an outdoor beer garden and designated area for food trucks, pursuant to section 1135.03 –

designation of a mixed use overlay district. The property is located in a C3, General Business and an R2, Single and Two-Family district. The item was deferred from the May meeting. (Page 25)

7. **Docket No. 05-20-18 – Outdoor Seasonal Dining**
16900/16906 Detroit Avenue and 1386/1376 Edwards Avenue
Lakewood Beer Garden and Food Truck Park

Greg Ernst, AODK, Inc., applicant requests the review and approval outdoor seasonal dining as part of an application for a mixed –use overlay district to construct a new 6,000 sf single-story commercial building with an outdoor beer garden and designated area for food trucks, pursuant to section 1135.03 – designation of a mixed use overlay district and section 1161.03(t) – outdoor seasonal dining. The property is located in a C3, General Business and an R2, Single and Two-Family district. The item was deferred from the May meeting. (Page 28)

ADJOURN

CL70483C

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL18-002345
DOCKET No. 06-21-18
FEE PAID _____

APPLICATION
LAKWOOD PLANNING COMMISSION

Property Address 17600 Detroit Ave Business/Tenant Name Castlewood Apts / T-Mobile
Property Owner Name Castlewood Associates, LLC Owner Phone 440-249-5169 348-1850
Owner E-mail harriete@zaremba.net Zoning C-2 Parcel Number 311-23-026,027,028,029,030,033
Project Summary Installation of 9 antennas and 1 equipment cabinet on the roof of the building

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)
- Parking Plan Review - (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): John R. Sindyla, Esq. Company T-Mobile Central LLC / Sindyla Consulting Group, LLC

Applicant Address: 7425 Royalton Rd, North Royalton, Ohio 44133

Phone: 440-915-2893 Fax: 440-230-1699 E-mail: jrsindyla@hotmail.com

Signature: *John R Sindyla* Date: 5-2-18

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. 91.95 SECTION 1157.02

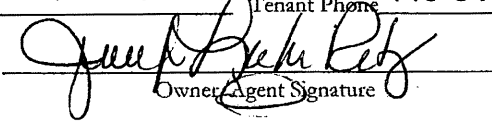
AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? Yes No

Please Print or Type:

Owner/Agent Name: Castlewood Associates, LLC
 Property Address: 17600 Detroit Avenue, Lakewood, Ohio 44107
 Owner/Agent Phone: 440-249-5469 348-1850
 Tenant Name T-Mobile Central LLC (John Sindyla, agent) Tenant Phone 440-915-2893


 Owner/Agent Signature

**2018 Calendar
 Planning Commission**

Month	Application Deadline		Pre-Review Meeting		Review Meeting	
January	Wednesday	12-20-17	Thursday	01-04-18	Thursday	01-04-18
February	Wednesday	01-17-18	Thursday	02-01-18	Thursday	02-01-18
March	Wednesday	02-14-18	Thursday	03-01-18	Thursday	03-01-18
April	Wednesday	03-21-18	Thursday	04-05-18	Thursday	04-05-18
May	Wednesday	04-18-18	Thursday	05-03-18	Thursday	05-03-18
June	Wednesday	05-23-18	Thursday	06-07-18	Thursday	06-07-18
July	Wednesday	06-20-18	Thursday	07-05-18	Thursday	07-05-18
August	Wednesday	07-18-18	Thursday	08-02-18	Thursday	08-02-18
September	Wednesday	08-22-18	Thursday	09-06-18	Thursday	09-06-18
October	Wednesday	09-19-18	Thursday	10-04-18	Thursday	10-04-18
November	Wednesday	10-17-18	Thursday	11-01-18	Thursday	11-01-18
December	Wednesday	11-21-18	Thursday	12-06-18	Thursday	12-06-18
January	Wednesday	12-19-18	Thursday	01-03-19	Thursday	01-03-19

PLEASE NOTE: Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings for the Commission start at **6:30 P.M.** in the **Auditorium** unless otherwise indicated. Use the rear northeast entrance to the Auditorium.

Review Meetings start at **7:00 P.M.** in the **Auditorium** at Lakewood City Hall, 12650 Detroit Avenue unless otherwise indicated. Applicants (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting for an application to receive review. Use the rear northeast entrance to the Auditorium.



leasing residents
since 1921

April 27, 2018

Lakewood Planning Commission
12650 Detroit Avenue
Lakewood, OH 44107

Lakewood Planning Commission:

Please accept this letter as our authorization for John Sindyla, Esq. to represent Castlewood Apartments in all matters pertaining to our request to install a T-Mobile rooftop antenna at our property.

If you have any questions, you can reach me at (440) 348-1850.

Sincerely,

Jennifer Leinweber Ritz
Vice President
Zaremba Management Company – Agent for Castlewood Apartments

**T-Mobile Central LLC
Rooftop Antenna Installation
Castlewood Apartments
17600 Detroit Avenue**

T-Mobile Central, LLC dba T-Mobile respectfully requests that the City of Lakewood grant zoning approval of its proposal to install nine (9) antennas, ancillary antenna equipment, and one (1) equipment cabinet on a steel platform on the roof of the 10-story apartment building at 17600 Detroit Avenue.

To catalyze competition into the telecommunications industry, the Federal Communication Commission (FCC) auctioned off radio frequency licenses to entrepreneurial companies including T-Mobile. The FCC requires licensees to provide adequate and reliable service in the licensed area as specified in Title 47, Part 24.103 of the Code of Federal Regulations.

In order to fulfill the requirements for its license, T-Mobile is required to provide continuous, uninterrupted wireless communication services to the neighborhoods and business areas immediately surrounding the subject parcel at 17600 Detroit Avenue in Lakewood.

Technical radio frequency requirements determine the optimal antenna location and height of each wireless facility. Sufficient signal strength is required to handover from one site to another. If the site is too far from its neighboring sites, the signal strength is too weak and a coverage hole occurs between sites. Handovers from site to site are not feasible and the call gets dropped. If the site is too close to its neighboring sites, the signal strength is too strong and interference occurs among neighboring sites. Consequently, if a site is too short, the signal is disrupted and interfered with by natural and artificial structures such as tall trees and buildings. Coverage holes and interference cause degradation in voice quality and dropped calls.

The proposed telecommunications site at 17600 Detroit Avenue will be located in a similar fashion on the roof as the existing wireless carrier (Clearwire/Sprint) in order to provide the best possible coverage to this area of Lakewood. T-Mobile's antennas will be mounted to the top of the building and will not exceed the height of the building's parapet. In addition, the proposed antennas and all mounting hardware and brackets will be painted to match the color of the building. T-Mobile's proposed equipment cabinet on the roof of the building will be located in an area which will be not be visible from Detroit Avenue or any surrounding properties. This proposed wireless telecommunications facility complies with all sections of the City of Lakewood Planning and Zoning Code regarding the location of wireless telecommunications installations.



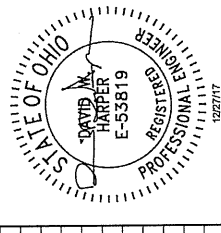


T-Mobile
 6200 OAK TREE BOULEVARD
 SUITE 125
 INDEPENDENCE, OH 44131
 OFFICE: (216) 525-6000
 FAX: (216) 525-6120

T-Mobile
 T-MOBILE SITE NUMBER:
CL70983C
 SITE NAME:
**CASTLEWOOD APTS
 ROOFTOP SITE**

**HARPER
 ENGINEERING, INC.**
 TELECOM GROUP
 815 Superior Ave. Suite 1514
 Cleveland, OH 44114
 Phone: (216) 944-9055
 Fax: (216) 944-9056

REV.	DESCRIPTION	DATE
0	TITLE SHEET	12/27/17
0	BUILDING ROOF PLAN	12/20/17
0	PARTIAL ROOF PLAN	12/20/17
0	BUILDING ELEVATION	12/27/17
0	ANTENNA STRUCTURAL DETAILS	
0	RF PLUMBING DIAGRAM	
0	PLATFORM FRAMING PLAN & DETAILS	
0	PLATFORM & MISC. DETAILS	
0	UTILITY DETAILS	
0	GROUNDING PLAN & RISER DIAGRAM	
0	GROUNDING & MISC. DETAILS	
0	GENERAL NOTES	
0	GENERAL NOTES	



Engineer's Seal
 T-MOBILE
 SITE NUMBER:
CL70983C
 SITE NAME:
CASTLEWOOD APTS
 17600 DETROIT AVENUE
 LAKELAND, OH 44107
 SHEET NAME:
TITLE SHEET
 SCALE AS NOTED
 DRAWN BY: DA
 CHECKED BY: GB
 DATE: 08/30/17
T-1/0
 FILE: E-10-146

SHEET INDEX

SHEET	DESCRIPTION	REV.
T-1	TITLE SHEET	0
A-1	BUILDING ROOF PLAN	0
A-2	PARTIAL ROOF PLAN	0
A-3	BUILDING ELEVATION	0
RF-1	ANTENNA STRUCTURAL DETAILS	0
RF-2	RF PLUMBING DIAGRAM	0
S-1	PLATFORM FRAMING PLAN & DETAILS	0
S-2	PLATFORM & MISC. DETAILS	0
E-1	UTILITY DETAILS	0
E-2	GROUNDING PLAN & RISER DIAGRAM	0
E-3	GROUNDING & MISC. DETAILS	0
SP-1	GENERAL NOTES	0
SP-2	GENERAL NOTES	0

APPROVALS

SITE ACQUISITION	DATE
CONSTRUCTION MANAGER	DATE
PROPERTY OWNER	DATE
RF ENGINEER	DATE
PROPERTY OWNER	DATE

SITE INFORMATION

EQUIPMENT ENCLOSURE: EQUIPMENT CABINETS ON STEEL PLATFORM
CONSTRUCTION TYPE: NONCOMBUSTIBLE, IIB / USE GROUP "U"
GOVERNING CODE: IRC 2015 / NEC 2017
SITE ADDRESS: 17600 DETROIT AVENUE, LAKELAND, OH 44107
COUNTY: CUYAHOGA
PROPERTY OWNER: CASTLEWOOD ASSOCIATES, LLC, 17600 DETROIT AVENUE, SUITE 200, FAIRVIEW PARK, OH 44138
PROPERTY OWNER CONTACT: HARRIETT SARRIT (440) 346-1640
BUILDING MANAGER CONTACT: JASON STEADLEY (216) 228-7761
PROPERTY PARCEL NUMBER: 311-23-028, 311-23-027, 311-23-028, 311-23-029, 311-23-030 & 311-23-033
ZONING JURISDICTION: CITY OF LAKEWOOD
APPLICANT: T-MOBILE
POWER PROVIDER: FIRST ENERGY - THE ILLUMINATING CO.
FIBER PROVIDER: TBD

PROJECT TEAM

ENGINEER: HARPER ENGINEERING, INC., 815 SUPERIOR AVE, SUITE 1514, CLEVELAND, OH 44114, (216) 344-3855
CONTACT PERSON: DAVID W. HARPER, (216) 344-3855
DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME
HANDICAP REQUIREMENTS
 FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED
OTHER REQUIREMENTS
 - FACILITY HAS NO PLUMBING OR PARKING
 - NO GRADING WILL BE REQUIRED FOR THIS SITE.

VICINITY MAP

NO SCALE

DRIVING DIRECTIONS FROM T-MOBILE OFFICE
 6200 OAK TREE BLVD., SUITE 125
 INDEPENDENCE, OH 44131
 Turn right onto Rockside Road. Take ramp left for 177 North toward Cleveland. At exit 1618, take ramp right for 17600 Detroit. Take many right toward McKinley Avenue. Keep straight onto N. Marginal Drive. Bear right onto Hilliard Road. Turn right onto W. Cedar Blvd. Turn right onto US-9 ALT / Detroit Avenue. Site is located on the left.

PENHOUSE COORDINATES
 LATITUDE: N 41° 29' 07.15"
 LONGITUDE: W 81° 18' 19.97"

AREA MAP

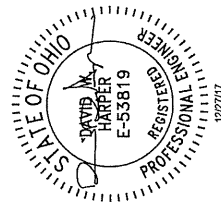
NO SCALE

T-Mobile
 6200 OAK TREE BOULEVARD
 SUITE 225
 INDEPENDENCE, OH 44131
 OFFICE: (216) 525-6000
 FAX: (216) 525-6120

HARPER ENGINEERING, INC.
 TELECOM GROUP
 815 Superior Ave. Suite 1514
 Cleveland, OH 44114
 Phone: (216) 344-3955
 Fax: (216) 344-3956

DRAWING REVISIONS

Rev.	Description	Date	By
A	For Approval	12/20/17	GB
9	For Construction	12/27/17	GB



Engineer's Seal
T-MOBILE
 SITE NUMBER:
 CL70983C
 SITE NAME:
 CASTLEWOOD APTS
 17600 DETROIT AVENUE
 LAKEWOOD, OH 44107

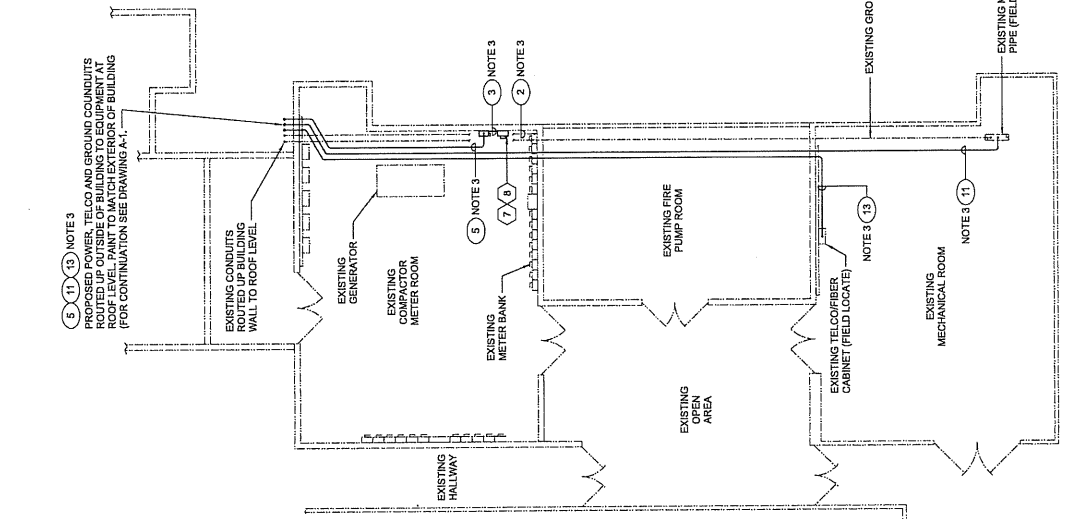
SHEET NAME:
PARTIAL ROOF PLAN
 SCALE: AS NOTED
 DRAWN BY: CA
 CHECKED BY: GM
 DATE: 09/20/17
 FILE: P-137-148
A-2/0

EQUIPMENT LEGEND

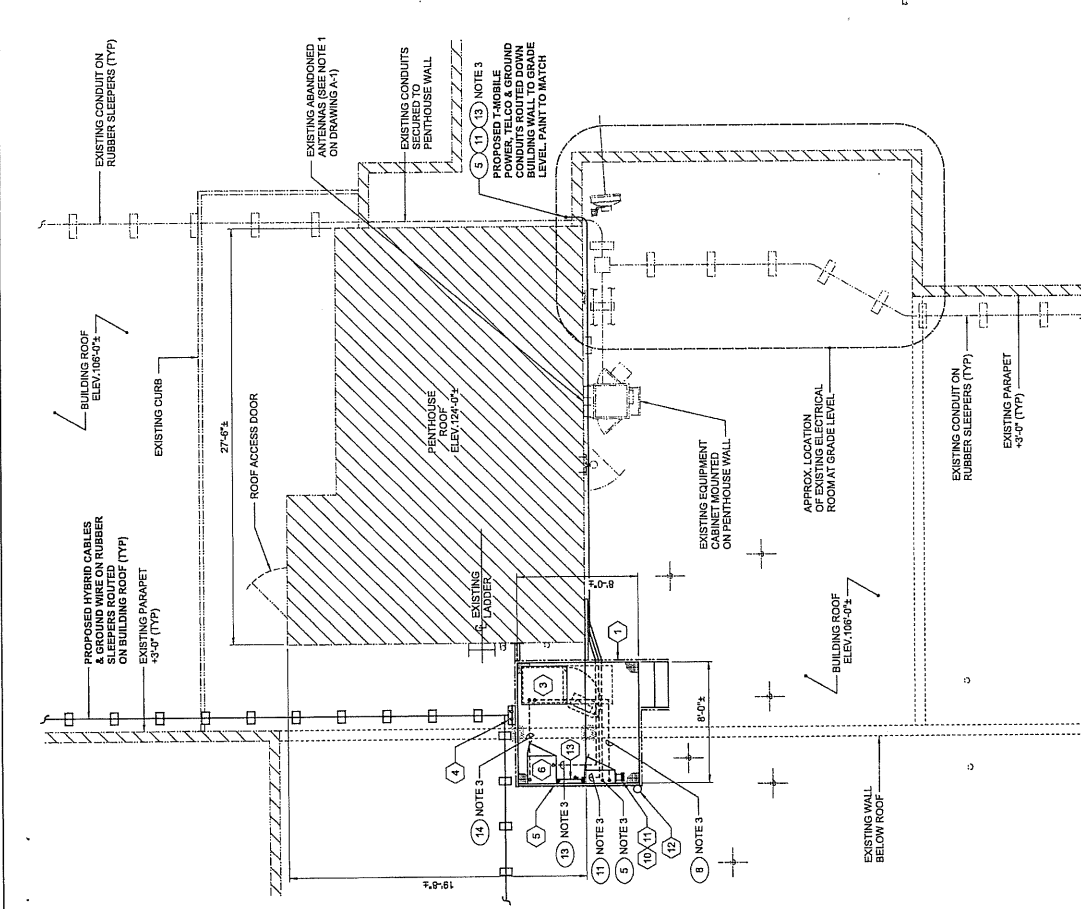
ITEM	DESCRIPTION
1	EQUIPMENT PLATFORM SEE DRAWINGS S-1 & S-2
2	NOT USED
3	TEL. CABINET SEE DRAWING E-1
4	LOWER COVP SEE DRAWINGS RF-1 & RF-2
5	UNISTRUT (AS REQUIRED) SEE DRAWING E-1
6	IAV CABINET SEE DRAWING E-1
7	METER SEE DRAWING E-1
8	DISCONNECT SWITCH SEE DRAWING E-1
9	NOT USED
10	PRC CABINET SEE DRAWING E-1
11	PRC CABINET GENERATOR RECEPTACLE SEE DRAWING E-1
12	GPS UNIT (FIELD LOCATE) SEE DRAWING E-3
13	MASTER GROUND BAR (FIELD LOCATE) SEE DRAWINGS E-1 & E-2
14	NOT USED
15	NOT USED

NOTES:

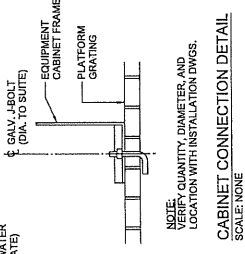
- ALL WORK TO BE COORDINATED WITH THE BUILDING OWNER/ REPRESENTATIVE.
- WORK THIS DRAWING WITH DRAWINGS A-4, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12, A-13, A-14, A-15, A-16, A-17, A-18, A-19, A-20, A-21, A-22, A-23, A-24, A-25, A-26, A-27, A-28, A-29, A-30, A-31, A-32, A-33, A-34, A-35, A-36, A-37, A-38, A-39, A-40, A-41, A-42, A-43, A-44, A-45, A-46, A-47, A-48, A-49, A-50, A-51, A-52, A-53, A-54, A-55, A-56, A-57, A-58, A-59, A-60, A-61, A-62, A-63, A-64, A-65, A-66, A-67, A-68, A-69, A-70, A-71, A-72, A-73, A-74, A-75, A-76, A-77, A-78, A-79, A-80, A-81, A-82, A-83, A-84, A-85, A-86, A-87, A-88, A-89, A-90, A-91, A-92, A-93, A-94, A-95, A-96, A-97, A-98, A-99, A-100, A-101, A-102, A-103, A-104, A-105, A-106, A-107, A-108, A-109, A-110, A-111, A-112, A-113, A-114, A-115, A-116, A-117, A-118, A-119, A-120, A-121, A-122, A-123, A-124, A-125, A-126, A-127, A-128, A-129, A-130, A-131, A-132, A-133, A-134, A-135, A-136, A-137, A-138, A-139, A-140, A-141, A-142, A-143, A-144, A-145, A-146, A-147, A-148, A-149, A-150, A-151, A-152, A-153, A-154, A-155, 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- INDICATES CONDUIT AND CABLE SCHEDULE TAG (REFER TO DRAWING E-1). CONDUIT ROUTINGS SHOWN ARE FOR THE GROUP CONDUIT RUNS TO MINIMIZE SUPPORTS.



PARTIAL FIRST FLOOR PLAN
 SCALE: 3/32"=1'-0"
 0 10 20



PARTIAL ROOF PLAN
 SCALE: 1/4"=1'-0"
 0 1 2 3 4 5

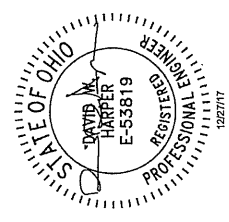


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DRAWING REVISIONS

Rev.	Description	Date	Mgr.
A	For Approval	11/20/17	GJB
0	For Construction	12/27/17	GJB

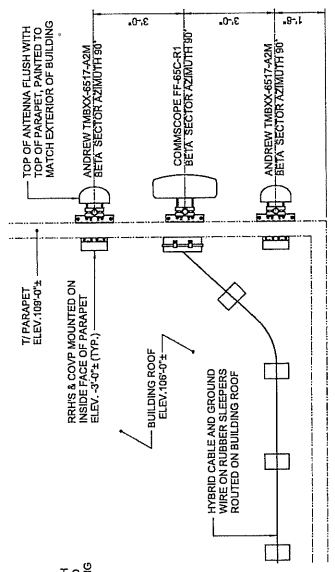


Engineer Seal
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 CL70983C
 SITE NAME:
 CASTLEWOOD APTS
 17600 DETROIT AVENUE
 LAKewood, OH 44117

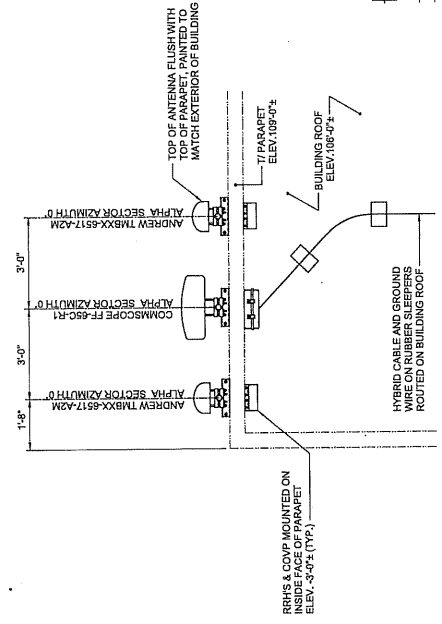
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ANTENNA STRUCTURAL DETAILS
 SHEET No./Rev.:
RF-1/0
 SCALE AS NOTED
 DRAWN BY: SA
 CHECKED BY: GJB
 DATE: 08/03/17
 FILE: R-07-148

HILTI MOUNT NOTES:
 1. HILTI ANCHOR INSTALLATION INCLUDING HOLES DRILLING, CLEANUP, PREPARATIONS, ADHESIVE APPLICATION, AND CURING SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS (HILTI) SPECIFICATION. CONTRACTOR TO DO A TURN OF THE NUT TORQUE TEST FOR THE EPOXY BONDED ANCHORS AND CHECK FOR DISPLACEMENT.
 2. NO IMPACT DRILLING SHALL BE PERMITTED THRU MASONRY WALLS. CONTRACTOR SHALL USE ROTARY ACTION TYPE DRILL.

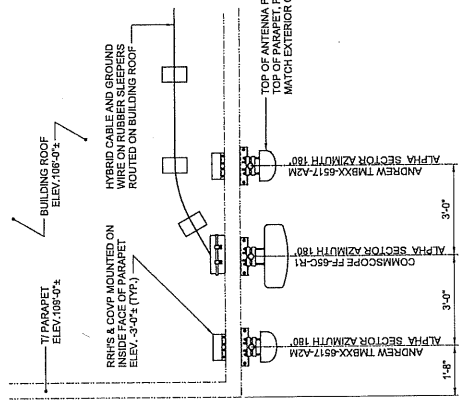
NOTE:
 ALL WORK TO BE COORDINATED WITH THE BUILDING OWNER / REPRESENTATIVE.



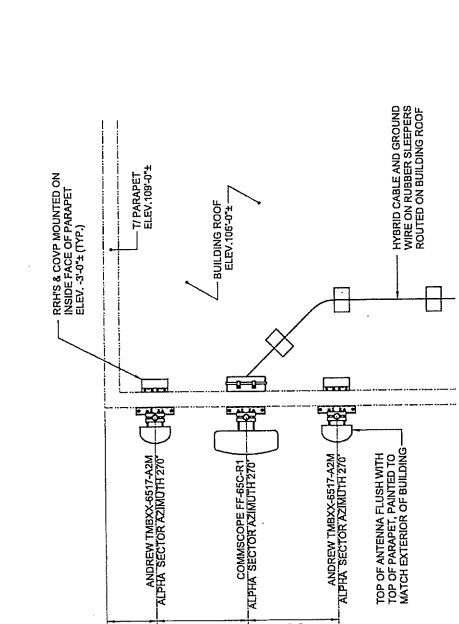
ALPHA SECTOR PARTIAL ROOF PLAN
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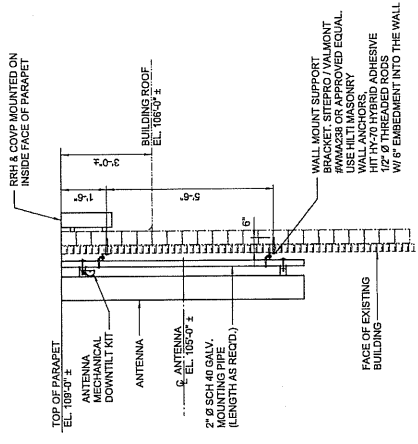
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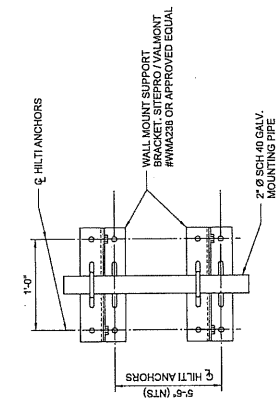
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DELTA SECTOR PARTIAL ROOF PLAN
 SCALE: 1/2"=1'-0"
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TYPICAL ANTENNA ELEVATION
 SCALE: 1/2"=1'-0"
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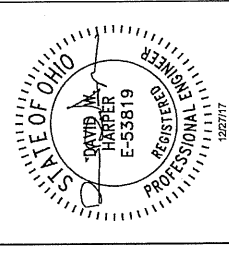


ANTENNA MOUNTING DETAIL
 SCALE: 1 1/2"=1'-0"
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T-Mobile
 6200 OAK TREE BOULEVARD
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 FAX: (216) 525-6120

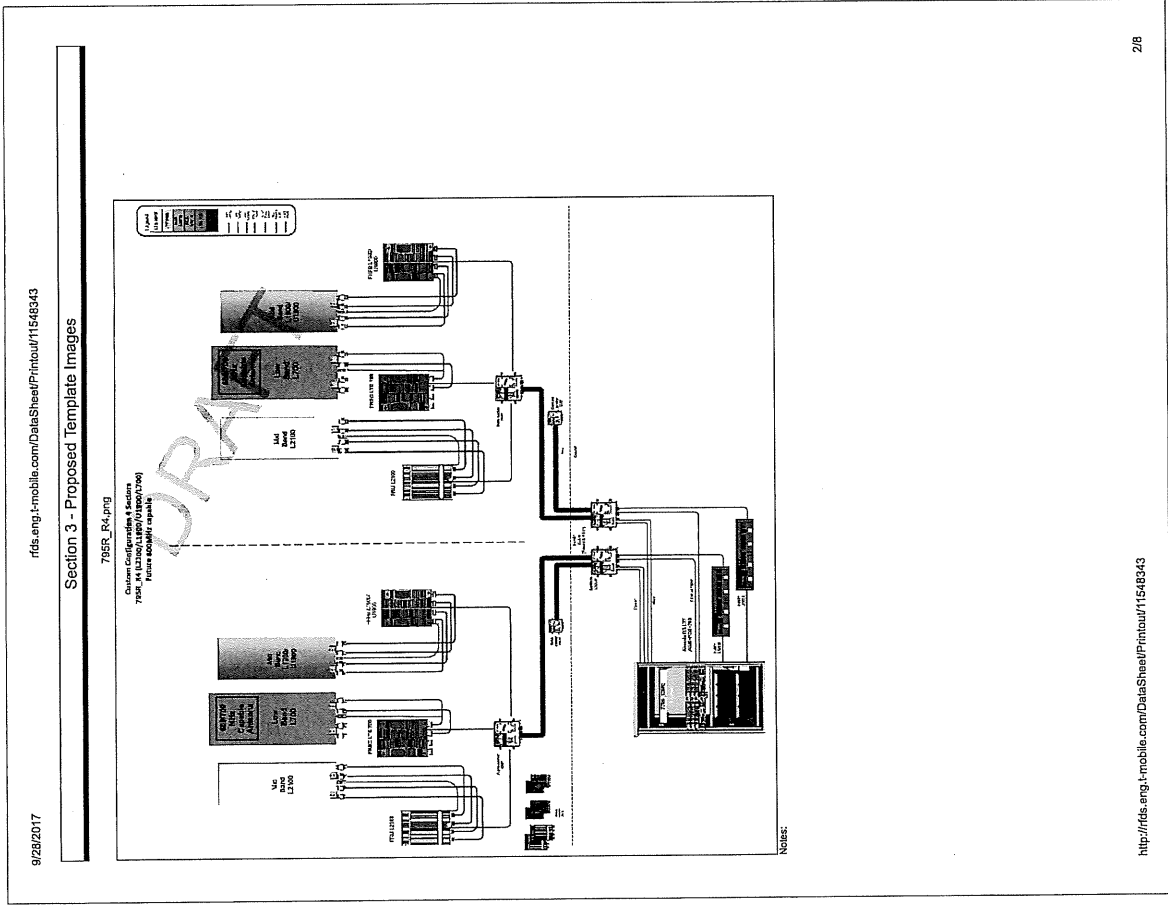
HARPER ENGINEERING, INC.
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DRAWING REVISIONS			
Rev.	Description:	Date:	Mgr.
A	For Approval	11/20/17	GJB
0	For Construction	12/27/17	GJB



Engineer's Seal
 T-MOBILE
 SITE NUMBER:
 CL70983C
 SITE NAME:
 CASTLEWOOD APTS
 17600 DETROIT AVENUE
 LAKEWOOD, OH 44107

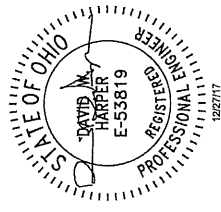
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 DRAWN BY: DA
 CHECKED BY: GB
 DATE: 08/13/17
RF-2/0
 FILE: 8-101-146



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Rev.	Description	Date	Mtr.
A	For Approval	1/20/17	GJB
0	For Construction	12/27/17	GJB



Engineer's Seal
T-MOBILE
SITE NUMBER:
CL70983C
SITE NAME:
CASTLEWOOD APTS
17600 DETROIT AVENUE
LAKewood, OH 44107
SHEET NAME:

PLATFORM FRAMING PLAN & DETAILS

SHEET NO./REV.	SCALE AS NOTED
S-1/0	CHECKED BY: GJB
	DATE: 09/01/17
	FILE: 16-132-146

NOTES:

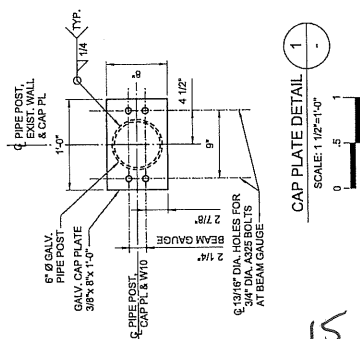
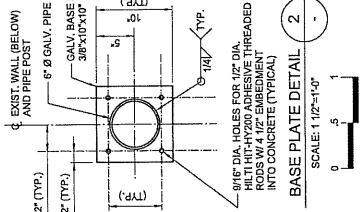
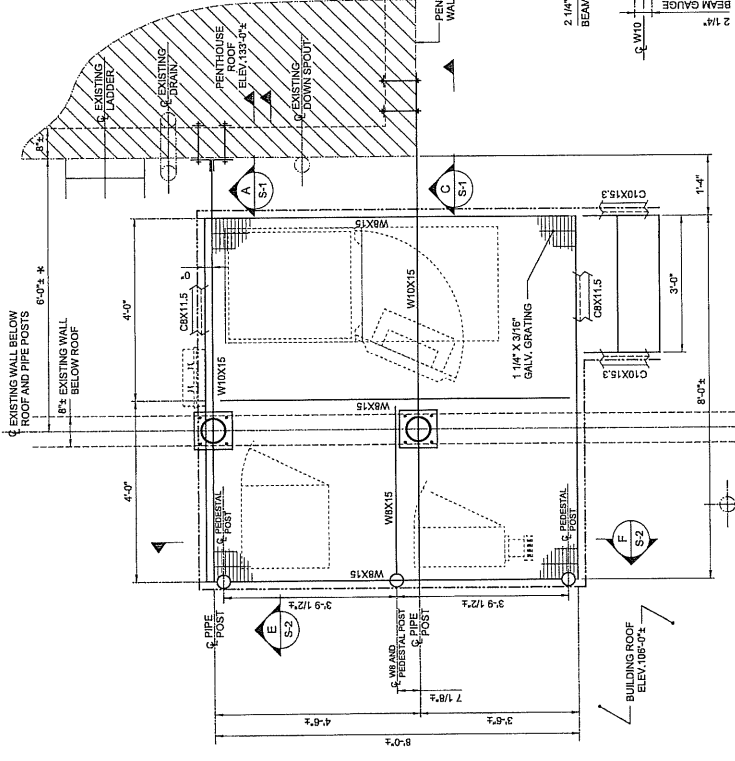
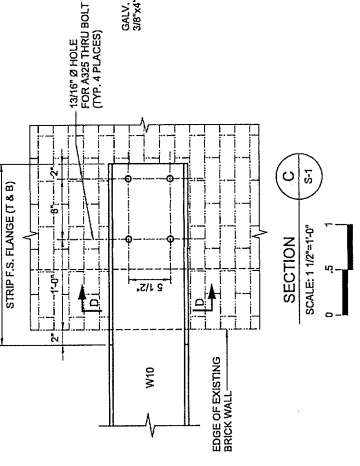
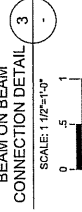
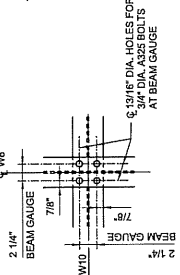
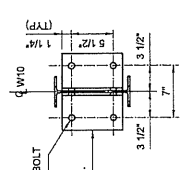
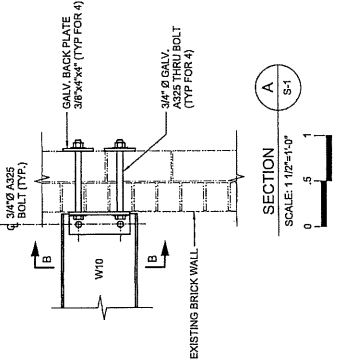
- A. FOR ADDITIONAL STRUCTURAL STEEL AND CONCRETE GENERAL NOTES, SEE DRAWING SP-1.
- B. STRUCTURAL STEEL
 1. STRUCTURAL STEEL SHALL BE AS FOLLOWS:
 - A. ASTM A992, GRADE 50, WIDE FLANGE SECTIONS.
 - B. ANGLES, RODS, PLATES & ANCHOR BOLTS, ASTM A36, GRADE 56.
 - C. HOLLOW STRUCTURAL SHAPES (HSS); ASTM A500, GRADE B.
 - D. BOLTS, BEARING TYPE; ASTM A325.
 2. STRUCTURAL STEEL SHALL BE DETAILED, FURNISHED, FABRICATED AND SHIPPED TO THE PROJECT IN ACCORDANCE WITH ALL APPLICABLE A.I.S.C. SPECIFICATIONS AND CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND THE A.I.S.C. STRUCTURAL STEEL DETAILING MANUAL.
 3. FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE CONSTRUCTION MANAGER.
 4. STEEL SHAPES, PLATES, BARS, PIPE, AND CONNECTION BOLTS AND ANCHORS SHALL BE GALVANIZED, TOUCH-UP ALL STEEL AFTER ERECTION IS COMPLETE.
 5. STRUCTURAL BOLT CONNECTIONS SHALL BE MADE USING A325 BOLTS, WHICH ARE TIGHTENED TO A SNUG TIGHT CONDITION BY EITHER:
 - A. A FEW IMPACTS OF AN IMPACT WRENCH.
 - B. THE FULL EFFORT OF A PERSON USING A SPUD WRENCH.
 6. ALL FLOOR GRATING FOR THE PLATFORM SHALL BE 18" W/18" 1/4" x 3/8" BEARING BARS, CROSS BARS AT 18" ON CENTER.
 7. THE GRATING SHALL BE 1/4" THICK GALVANIZED STEEL. APPROXIMATE SQUARES (12" TO 18") TO BE REMOVED FROM TIME TO TIME TO ACCESS CONDUIT AND WIRING BELOW.
 8. THE PERIMETER OF ALL OPENINGS SHALL BE FINISHED WITH BANNED EDGES IN THE GRATING.
- C. WELDING
 1. ALL WELDS SHALL COMPLY WITH THE STRUCTURAL WELDING CODE, AWS D1.1.
 2. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS. CERTIFICATION DOCUMENTS SHALL BE AVAILABLE FOR ENGINEERS AND/OR OCCUPANTS OF THE BUILDING.
 3. WELDING ELECTRODES FOR MANUAL SHIELDED METAL ARC WELDING SHALL CONFORM TO ASTM A-233, E7018 SERIES BARE ELECTRODES.
 4. FIELD WELDING SHALL BE DONE AS PER AWS D1.1 REQUIREMENTS.
 5. ALL WELDS SHALL BE VISUALLY INSPECTED.

HILT MOUNT NOTES:

1. HILT MOUNT DETAIL INCLUDING HILTS, BRILLIANS, CLEAN UP, BEARING BARS, AND REINFORCEMENT SHALL BE PROVIDED AND TESTING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S (HILT) SPECIFICATION. CONTRACTOR TO DO A TURN OF THE NUT TORQUE TEST ON THE EPOXY BONDED ANCHORS AND CHECK FOR DISPLACEMENT.
2. NO IMPACT DRILLING SHALL BE PERMITTED THROUGH MASONRY WALLS. CONTRACTOR SHALL USE ROTARY ACTION TYPE DRILL.

GENERAL REQUIREMENTS

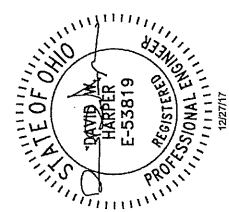
1. NEGATIVE BRACINGS AND/OR BRACINGS WILL BE PROVIDED WHERE REQUIRED DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.
2. THE LOCATION OF ALL EXISTING UTILITY FEATURES SHALL BE COORDINATED WITH THE LOCAL UTILITY COMPANIES.
3. ALL ROOF PENETRATION & FLASHING SHALL BE PERFORMED BY BUILDING OWNER'S PREFERRED ROOFING CONTRACTOR (TO MAINTAIN ROOF WARRANTY).
4. ** * ASTERISK DENOTES DIMENSIONS TO BE FIELD VERIFIED BY STEEL FABRICATOR PRIOR TO STEEL PARTICIPATION.



15

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T-MOBILE
 SITE NUMBER:
 CL70983C
 SITE NAME:
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 LAKENWOOD, OH 44107

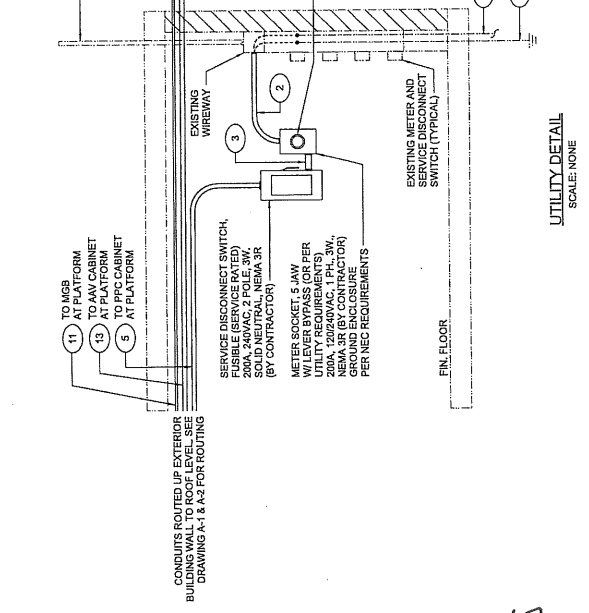
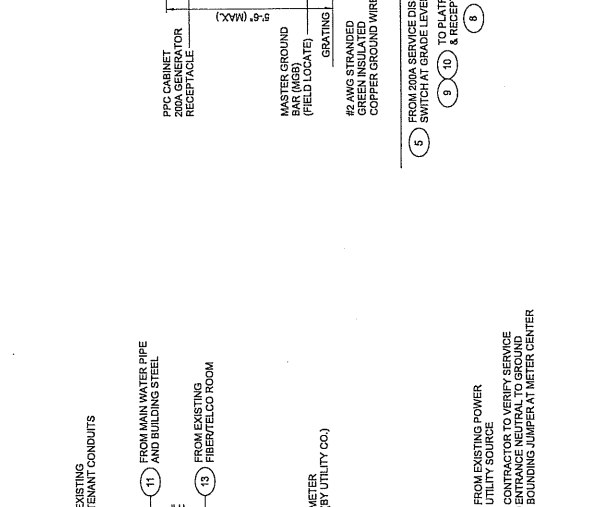
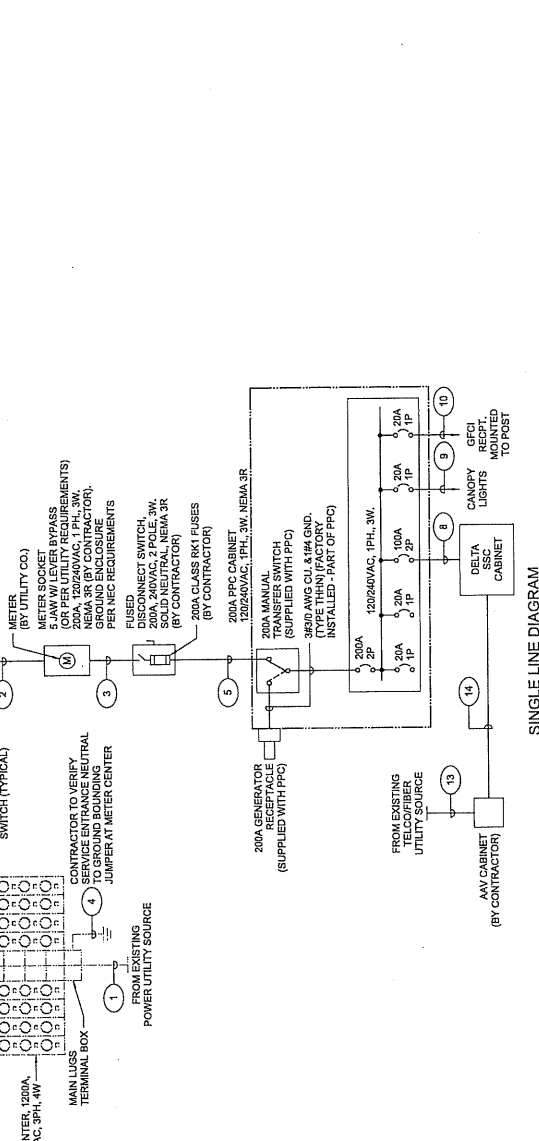
UTILITY DETAILS

SHEET No. Rev.:
E-1/0
 SCALE: AS NOTED
 DRAWN BY: DA
 CHECKED BY: GB
 DATE: 08/31/17
 FILE: E-10-146

UTILITIES TO BE INSTALLED PER LOCAL UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY T-MOBILE FIELD REPRESENTATIVE PRIOR TO COMMENCING ANY/ALL UTILITY WORK.

CONDUIT TAG	CABLE/CONDUIT	FROM	TO
1	EXISTING CONDUIT & WIRING	EXISTING POWER UTILITY SOURCE	EXISTING METER CENTER
2	3/4" AWG CU. & 1/2" AWG CU. GND. (TYPE THHN) 2" PVC SCHED. 40 CONDUIT	EXISTING MAIN LUGS TERMINAL BOX	METER
3	3/4" AWG CU. & 1/2" AWG CU. GND. (TYPE THHN) 2" PVC SCHED. 40 CONDUIT	METER	200A SERVICE DISCONNECT SWITCH
4	EXISTING CONDUIT & WIRING	EXISTING NEUTRAL BUS	EXISTING GROUND ELECTRODE
5	3/4" AWG CU. & 1/2" AWG CU. GND. (TYPE THHN) 2" PVC SCHED. 40 CONDUIT	200A SERVICE DISCONNECT SWITCH (SUPPLIED WITH PPC)	200A MANUAL TRANSFER SWITCH (SUPPLIED WITH PPC)
6	NOT USED	N/A	N/A
7	NOT USED	N/A	N/A
8	3/4" AWG CU. & 1/2" AWG CU. GND. (TYPE THHN) 2" PVC SCHED. 40 CONDUIT	PPC CABINET 1-PP CKT	DELTA SSC CABINET
9	2#12 AWG CU. & 1#12 GND. (TYPE THHN) 1" PVC SCHED. 40 CONDUIT	PPC CABINET 1-PP CKT	CANOPY LIGHTS
10	2#12 AWG CU. & 1#12 GND. (TYPE THHN) 1" PVC SCHED. 40 CONDUIT	PPC CABINET 1-PP CKT	GEI RECEPTACLE MOUNTED TO POST
11	1#2 AWG STRANDED GREEN INSULATED CU. GROUND WIRE 1" PVC SCHED. 40 CONDUIT	MASTER GROUND BAR (MGB) SEE DRAWING E-2	TO MAIN WATER PIPE AND BUILDING STEEL
12	NOT USED	N/A	N/A
13	INCOMING TELCO/FIBER SERVICE (SEE DWG. A-1 AND/OR C-1) (1) 1" PVC SCHED. 40 CONDUIT WITH NYLON PULL STRINGS	EXISTING TELCO/FIBER UTILITY SOURCE	AAV CABINET
14	2" PVC SCHED. 40 CONDUIT WITH NYLON PULLSTRING	AAV CABINET	DELTA SSC CABINET

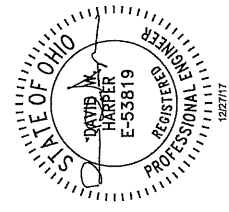
GENERAL NOTES:
 1. FOR ADDITIONAL ELECTRICAL GENERAL NOTES SEE DRAWING SP-2.
 2. IN CASE OF CONFLICT BETWEEN THIS DRAWING, PLAN DRAWINGS OR MANUFACTURER SPEC., CONTRACTOR SHALL NOTIFY ENGINEER OR T-MOBILE WIRELESS REPRESENTATIVE.
 3. CONTRACTOR SHALL FURNISH AND INSTALL ENGRAVED PLASTIC LABELS "T-MOBILE" ON THE FACE OF EACH PIECE OF EQUIPMENT AND ABOVE THE ELECTRIC METER.



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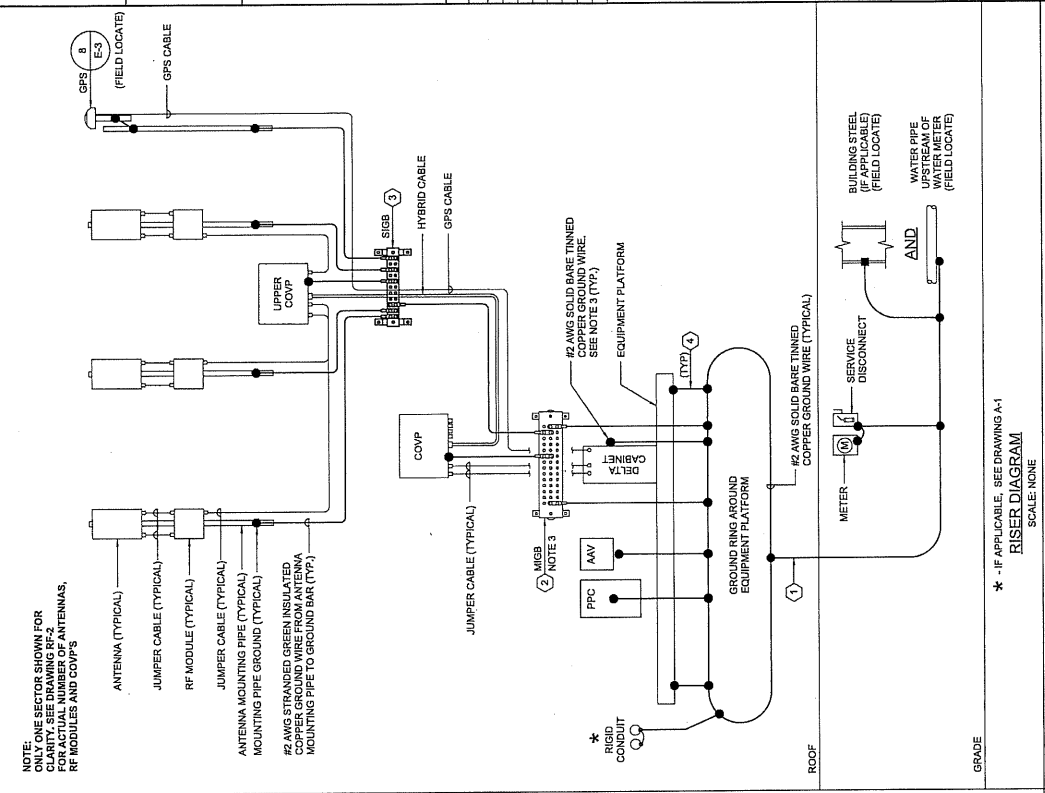
HARPER ENGINEERING, INC.
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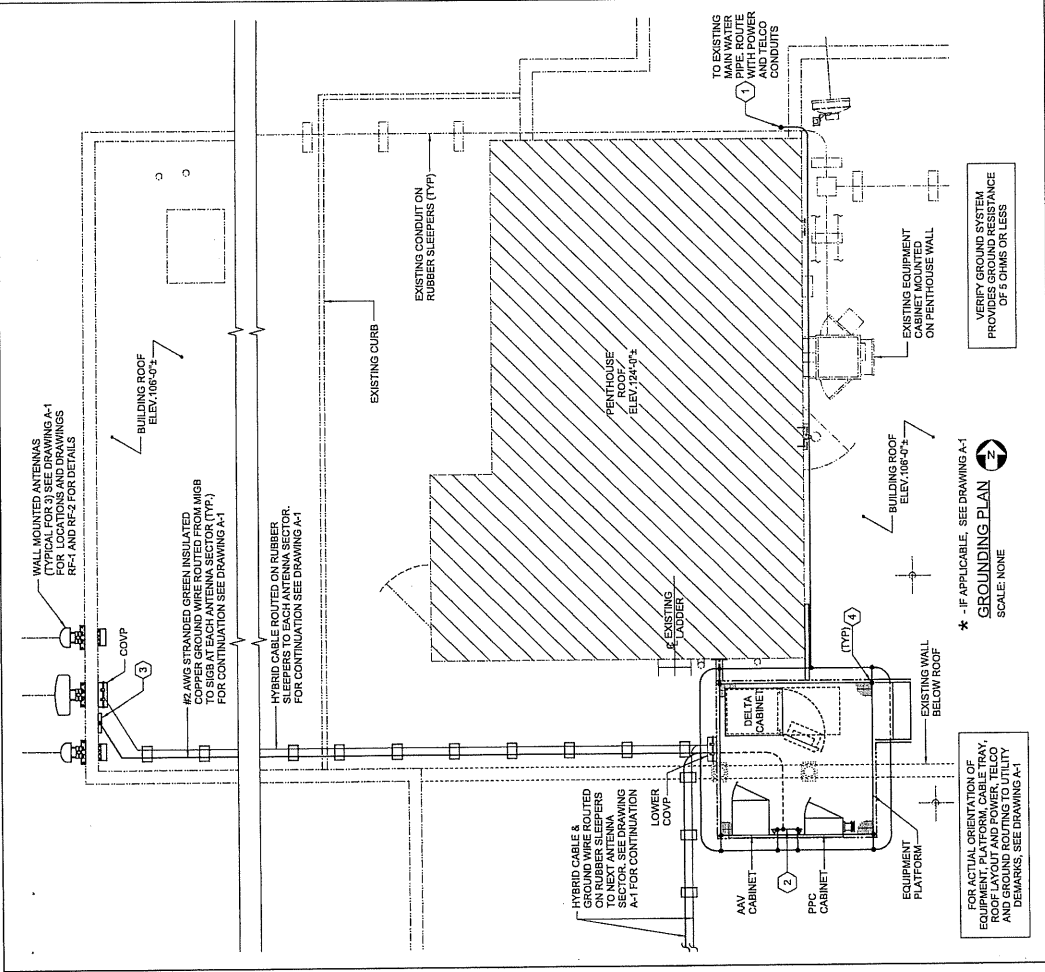
Engineer's Seal
 T-MOBILE
 SITE NUMBER:
 CL70983C
 SITE NAME:
 CASTLEWOOD APTS
 17600 DETROIT AVENUE
 LAKENWOOD, OH 44107

SHEET NAME:
GROUNDING PLAN & RISER DIAGRAM
 SCALE AS NOTED
 DRAWN BY: DA
 CHECKED BY: GB
 DATE: 09/20/17
E-2/0
 SHEET NO. REV.:



GROUNDING NOTES:
 1. REFER TO GROUNDING NOTES ON DWG. SP-2 FOR TERMINATION, CONDUCTOR,
 GROUND ROD AND TESTING REQUIREMENTS.
 2. CONTRACTOR SHALL INSTALL GROUNDING AS SHOWN ABOVE AND PER
 THE FOLLOWING: ALL WIRE SHALL BE #2 AWG SOLID BARE COPPER WIRE
 EXCEPT FOR ANTENNA AND FENCE GROUNDING. MONOPOLE GROUND RING ON
 COLOCATE SITES WHICH IS PROPER AND ADEQUATE.
 3. ALL GROUND WIRES SHALL PROVIDE A STRAIGHT, DOWNWARD PATH TO
 GROUND WITH GRADUAL BENDS TO CHANGE DIRECTION IF NECESSARY.
 GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT. ALL GROUND
 WIRES SHALL BE PROTECTED FROM MECHANICAL DAMAGE BY BEING ENCASED IN 3/4" DIA.
 PVC CONDUIT. (B) PVC TO BE SILICON SEALED AT GRADE LEVEL. (C) PVC TO
 EXTEND A MINIMUM OF 18" BELOW GRAVEL BASE.

ELECTRICAL SYMBOLS LEGEND
 GROUND ROD
 CADWELD TYPE CONNECTION
 2 HOLE LUG COMPRESSION
 (MECHANICAL) TYPE CONNECTION
 X REPRESENTS DETAIL NUMBER
 X-X REPRESENTS DRAWING NUMBER
 NEW GROUNDING



**VERY HIGH RESISTANCE
 PROVIDES GROUND RESISTANCE
 OF 5 OHMS OR LESS**

GROUNDING LEGEND:
 FOR DETAILS SEE DRAWING E-3
 1. TIE-IN CONNECTION: GROUNDING: EXTEND (1) #2 AWG SOLID BARE TINNED COPPER WIRE IN 1" PVC CONDUIT FROM EXISTING MAIN WATER
 PIPE (AHEAD OF WATER METER) TO EQUIPMENT PLATFORM GROUND RING AND MAKE APPROPRIATE CONNECTIONS AT EACH END.
 2. MASTER INSULATED GROUND BAR (MIGB) EQUIPMENT: EXTEND (2) #2 AWG SOLID BARE COPPER WIRE FROM MIB3 TO MIB3 AND MAKE APPROPRIATE
 CONNECTIONS TO MIB3. EXTEND (2) #2 AWG SOLID BARE COPPER WIRE FROM MIB3 TO MIB3 AND MAKE APPROPRIATE CONNECTIONS TO MIB3.
 3. SECURE INSULATED GROUND BAR (IGB) AT ANTENNAS: EXTEND #2 AWG STRANDED, GREEN INSULATED, COPPER WIRE
 FROM IGB TO MASTER INSULATED GROUND BAR (MIGB) AT EQUIPMENT AND MAKE MECHANICAL CONNECTIONS AT EACH END.
 4. PLATFORM GROUNDING: EXTEND #2 AWG SOLID BARE TINNED COPPER WIRE FROM PLATFORM STEEL TO PLATFORM
 GROUNDING RING AND MAKE APPROPRIATE CONNECTIONS AT EACH END.
 5. GROUND ROD: COPPERCLAD STEEL, 5/8" DIA, TEN (10) FEET LONG.

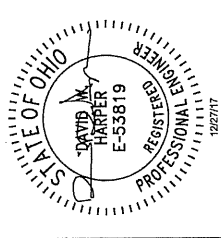
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 17600 DETROIT AVENUE
 LAKewood, OH 44107

SHEET NAME:
GENERAL NOTES

SHEET NO. (REV.):
SP-1/0

DIVISION 1 - GENERAL REQUIREMENTS.

- ALL WORK, MATERIAL, AND EQUIPMENT SHALL COMPLY WITH T-MOBILE WIRELESS STANDARD CONSTRUCTION SPECIFICATIONS. ALL REQUIREMENTS AND MEASUREMENTS SHALL BE MADE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NEC) AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES. ALL ELECTRICAL EQUIPMENT PROVIDED UNDER THIS CONTRACT SHALL BE NEW (EXCEPT WHERE OTHERWISE NOTED) AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITERS LABORATORIES (UL), AND BEAR THE U.L. LABEL.
- THE OWNER OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH DO NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO THE OWNER OR HIS ARCHITECT/ENGINEER.
- THE CONTRACTOR SHALL SUPPORT, BRACE AND SECURE EXISTING STRUCTURES AS REQUIRED. CONSTRUCTION IS SOLELY RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS WHICH AFFECT THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY OF THE WORK TO BE COVERED UP OR ENCLOSED BEFORE SUCH INSPECTION AND TEST SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE. AFTER IT HAS BEEN INSPECTED, THE CONTRACTOR SHALL RESTORE THE WORK TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER'S ASSUMPTIONS SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTORS SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, DEBRIS, WEEDS, BRUSH, OR ANY OTHER DEPOSITS REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE UTILITIES OF THE BUILDING. THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM THE BUILDING PROPERTY OWNER FOR SUCH INTERRUPTION AT LEAST 72 HOURS IN ADVANCE. ANY INTERRUPTION SHALL BE MADE WITH A MINIMUM AMOUNT OF INCONEVENIENCE TO THE BUILDING PROPERTY OWNER AND ANY SUCH SHUT-DOWN TIME SHALL BE COORDINATED WITH THE BUILDING PROPERTY OWNER.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION WITH THE STATE STANDARDS FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR SHALL SUBMIT AT THE END OF THE PROJECT A COMPLETE SET OF AS-BUILT DRAWINGS TO THE OWNER AND/OR PROJECT MANAGER.

DIVISION 2 - SITE WORK.

- THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE PROJECT MANAGER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. THIS WILL INCLUDE BUT NOT LIMITED TO:
 - FALL PROTECTION
 - CONFINED SPACE
 - ELECTRICAL SAFETY
 - TRENCHING AND EXCAVATION
- REMOVE FROM SITE/OWNER'S PROPERTY ALL WASTE MATERIALS, UNUSED EXCAVATED MATERIAL INCLUDING MATERIALS CONTAMINATED WITH OIL, GREASE, HYDROCARBONS, OR DANGEROUS TRASH AND DEBRIS, AND DISPOSE OF VIA LEGAL MEANS.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH INTERFERE WITH CONSTRUCTION SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION. ANY UTILITIES DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING AND DOCUMENTED ON THE AS-BUILT DRAWINGS.
- THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH AS SPECIFIED IN THE SPECIFICATION LANDSCAPE WORK.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION WITH THE STATE STANDARDS FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR IS RESPONSIBLE FOR LAYOUT AND CONSTRUCTION STAKES.
- CONTRACTOR SHALL ESTABLISH GRADE AND LINE STAKES PRIOR TO CONSTRUCTION.
- IF DEVIATION FROM THE SUBSURFACE CONDITIONS NOTED IN THE GEOTECH REPORT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER AND THE OWNER. IMMEDIATELY TO DETERMINE IF CHANGES IN THE FOUNDATION DESIGN ARE REQUIRED.

DIVISION 3 - CONCRETE.

- MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS METHODS STANDARD ASTM C1712, ASTM C31 AND ASTM C39 UNLESS OTHERWISE NOTED.
- CONCRETE FOR ALL FOUNDATIONS: TYPE I PORTLAND CEMENT, 540 LBS PER CUBIC YARD OF CONCRETE MINIMUM CEMENT CONTENT WITH 4-INCH MAXIMUM SIZE AGGREGATE, SLUMP RANGE 3 INCHES TO 5 INCHES, TOTAL AIR CONTENT 4 PERCENT TO 7 PERCENT BY VOLUME, AIR ENTRAINMENT TO OBTAIN SLUMP OVER 3 INCHES.
- ALL CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI 318) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND (ACI 307) STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE.
- REBARS SHALL BE ASTM A415 DEFORMED TYPE WITH MINIMUM YIELD STRENGTH OF 60,000 PSI (40,000 PSI GRADE) MAY BE USED FOR TIES & STRUTS, WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- DETAILING SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES (ACI STD-318-98).
- CHAMFER ALL EXPOSED EDGES OF CONCRETE 3/4".
- REINFORCING STEEL SHALL BE PROTECTED BY PLACES AND INSULATED REBAR PER FOLLOWING MINIMUM COVER (INCHES) FOR REINFORCEMENT SHALL BE PROVIDED, EXCEPT AS NOTED ON DRAWINGS:
 - MINIMUM COVER (INCHES)
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ... 3"
 - EXPOSED TO EARTH OR WEATHER ... 1-1/2"
 - #5 BAR AND SMALLER ... 1-1/2"
- TESTS
 CONCRETE MATERIALS AND OPERATIONS SHALL BE TESTED AND INSPECTED BY THE CONTRACTOR MANAGER AS THE WORK PROGRESSES. FAILURE TO DETECT ANY DEFECTIVE WORK OR MATERIAL SHALL NOT IN ANY WAY PREVENT LATER REJECTION WHEN SUCH DEFECT IS DISCOVERED. NON-SHAFTS SHALL BE GRABBER FOR FINAL ACCEPTANCE.
 A. FIVE CONCRETE TEST CYLINDERS SHALL BE TAKEN OF THE TOWER AND/OR SLUMP TEST SHALL BE TAKEN FOR EACH SET OF TEST CYLINDERS.
 B. ONE ADDITIONAL TEST CYLINDER SHALL BE TAKEN DURING COLD WEATHER AND CURED ON SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.
 C. ONE SLUMP TEST SHALL BE TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.

DIVISION 4 - PROTECTION.

- IMMEDIATELY AFTER PLACEMENT, THE CONTRACTOR SHALL PROTECT THE CONCRETE FROM PREMATURE DRYING, EXCESSIVELY HOT OR COOL TEMPERATURES, AND FROM EXPOSED SURFACES (PER ACI 308.9B), FINISHED WORK SHALL BE PROTECTED.
- CONCRETE SHALL BE MAINTAINED WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.
- ALL CONCRETE SHALL BE CONSOLIDATED BY INTERNAL VIBRATION IN ACCORDANCE WITH ACI 309-7Z RECOMMENDED PRACTICE FOR CONSOLIDATION OF CONCRETE.

DIVISION 5 - STRUCTURAL STEEL.

- DETAIL, FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE FOLLOWING:
 - ASTM A588, GRADE 50, W SECTIONS.
 - ASTM A36, GRADE 50, PLATES, PLATES, PLATES, RODS, BOLTS AND ANCHOR BOLTS.
 - ALL STRUCTURAL STEEL SHALL BE HOT DIPPED GALVANIZED PER ASTM A123.
 - ALL STRUCTURAL BOLTED CONNECTIONS SHALL BE MADE WITH ASTM A325 BOLTS IN BEARING TYPE CONNECTIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE REQUIRED DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.
- ANY FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE CONTRACTOR MANAGER.
- TIGHTEN HIGH STRENGTH BOLTS TO A SNUG TIGHT CONDITION WHERE ALL PILES IN A JOINT ARE IN FIRM CONTACT BY EITHER
 - A FEW IMPACTS OF AN IMPACT WRENCH
 - THE FULL EFFORT OF A PERSON USING A SPUD WRENCH.
- WELDING
 - ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS. CERTIFICATION DOCUMENTS SHALL BE MADE AVAILABLE FOR ENGINEERS AND/OR OWNER'S REVIEW IF REQUESTED.
 - WELDING ELECTRODES FOR MANUAL SHIELDED METAL ARC WELDING SHALL CONFORM TO ASTM A-233, E70 SERIES, BARE ELECTRODES AND GRANULAR FLUX USED IN THE SUBMERGED ARC PROCESS SHALL CONFORM TO AISC SPECIFICATIONS.
 - INSPECTION IS ACCEPTABLE.
- PROTECTION
 - UPON COMPLETION OF ERECTION, INSPECT ALL GALVANIZED STEEL AND PAINT ANY EXPOSED STEEL SURFACES WITH ZINC BASED PAINT. COLOR TO MATCH THE GALVANIZING PROCESS.

DIVISION 6 - FINISHES.

- CONCRETE SHALL BE FINISHED TO THE FOLLOWING:
 - SMOOTH FINISH
 - TEXTURED FINISH
 - BRUSHED FINISH
 - EXPOSED AGGREGATE FINISH
- ALL FINISHES SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - SMOOTH FINISH SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES (ACI STD-318-98).
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DIVISION 7 - UTILITIES.

- ALL UTILITIES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. ANY UTILITIES DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING AND DOCUMENTED ON THE AS-BUILT DRAWINGS.
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DIVISION 8 - PROTECTION.

- IMMEDIATELY AFTER PLACEMENT, THE CONTRACTOR SHALL PROTECT THE CONCRETE FROM PREMATURE DRYING, EXCESSIVELY HOT OR COOL TEMPERATURES, AND FROM EXPOSED SURFACES (PER ACI 308.9B), FINISHED WORK SHALL BE PROTECTED.
- CONCRETE SHALL BE MAINTAINED WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.
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DIVISION 10 - FINISHES.

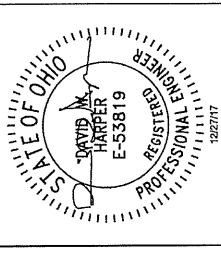
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8. ALL BELOW GRADE GROUNDING CONDUCTORS SHALL BE BARE TINNED SOLID COPPER WIRE.
 ABOVE-GRADE GROUNDING CONDUCTORS MAY BE EITHER:
 - BARE TINNED SOLID COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COPPER WIRE
 - THIN-INSULATED, CONTINUOUS GREEN COLOR, STRANDED COPPER WIRE
 AS SPECIFIED ON THE GROUNDING DRAWINGS

A. UNDERGROUND GROUND RING SHALL BE #2 AWG BARE TINNED SOLID COPPER WIRE
 B. #2 AWG WIRE SHALL BE STRANDED COPPER WITH GREEN THIN INSULATION SUITABLE FOR WET LOCATIONS (I.E. TO MAIN GROUND, BUILDING STEEL, BETWEEN GROUND BARS, LIGHTNING PROTECTION, MAIN WATER LINE OF THE BUILDING OR EXISTING GROUND RING).
 C. #40 AWG WIRE SHALL BE STRANDED COPPER WITH GREEN THIN INSULATION SUITABLE FOR WET LOCATIONS (I.E. TO MAIN GROUND, BUILDING STEEL, BETWEEN GROUND BARS, LIGHTNING PROTECTION, MAIN WATER LINE OF THE BUILDING OR EXISTING GROUND RING).
 D. #2 AWG WIRE SHALL BE BARE TINNED SOLID COPPER. ALL BURED WIRE SHALL MEET THIS CRITERIA, INCLUDING CABLE TRAY GROUNDING WIRES AND OTHER WIRES AS INDICATED ON THE DRAWINGS.
 E. FENCE GATE BONDING JUMPER SHALL BE 40 WELDING CODES. IT SHALL BE A MINIMUM OF 6 FEET ON EACH END WITH CAP FOR THE CARWHEEL PROCESSES.

F. THE MINIMUM BEND RADIUS IS 3 INCHES FOR #6 AWG AND SMALLER, 12 INCHES FOR WIRE LARGER THAN #6 AWG.
 9. ALL CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING TUBING, AND WIRE BUNDLES SHALL BE LISTED IN THE SUPPLIERS INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FOR CABLE ACCESSORIES. THESE INSTRUCTIONS SHALL BE IN THE POSSESSION OF THE CRAFTSMAN WHILE INSTALLING THE ACCESSORIES AND SHALL BE AVAILABLE TO THE COMPANY FOR REFERENCE.
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 B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER, 800VOLT, TYPE THHN WITH A MINIMUM SIZE OF #12 AWG.

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 2. CABLE TRAYS SHALL BE LADDER TYPE WITH 9-INCH SPACING.
 3. CABLE TRAYS SHALL BE CAPABLE OF SUPPORTING 75 LBS/LINEAR FOOT.
 4. CABLE TRAYS AND FITTINGS SHALL BE MANUFACTURED OF GALVANIZED STEEL.
 5. CABLE TRAYS SHALL BE FURNISHED WITH COVERS WHERE SHOWN ON THE PROJECT DWGS.
 6. ALL DISCONTINUOUS SECTIONS OF CABLE TRAY SHALL BE BONDED ACROSS JOINTS.
 CONDUCTORS:
 1. ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET NEMA WC, ASTM, UL, AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.
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DIVISION 16 - ELECTRICAL

QUALITY ASSURANCE:
 1. ALL MATERIALS AND EQUIPMENT SPECIFIED ON THE DRAWINGS SHALL BE NEW AND UNUSED.
 2. ALL EQUIPMENT MATERIALS AND INSTALLATION METHODS SPECIFIED ON THE DRAWINGS SHALL BE DESIGNED AND FABRICATED IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS, AND APPROPRIATE INDUSTRIAL CONSENSUS STANDARDS AND CODES INCLUDING ANSI, IEEE, NEMA, NFPA AND UL, AS REVISED AS OF THE DATE OF THIS DRAWING.

3. ALL ELECTRICAL ITEMS SHALL BE PROVIDED BY THE MANUFACTURER. THE MANUFACTURER SHALL BE CHECKED FOR APPROVED LISTED PRODUCTS AND SPECIFICATIONS AND SHALL BE VISUALLY INSPECTED TO ENSURE THAT EQUIPMENT IS UNDAUNAGED AND IS IN PROPER ALIGNMENT, INSTALLED PER MANUFACTURERS INSTRUCTIONS. ELECTRICAL CONNECTIONS SHALL BE IDENTIFIED BY LABELS AND THE MANUFACTURER'S IDENTIFICATION NUMBER, TYPE AND SIZE, AND ELECTRICAL ENCLOSURES ARE OF THE PROPER NEMA TYPE.
 4. NOTIFY OWNER IN WRITING OF ALL DISCREPANCIES BETWEEN DRAWINGS/SPECIFICATIONS AND FIELD INSTALLATIONS, OR IF THE VISUAL INSPECTIONS SHOW DAMAGE OR IMPROPER INSTALLATION.

GENERAL:
 1. THE EQUIPMENT AND MATERIAL SHALL BE FURNISHED AND INSTALLED TO OPERATE SAFELY AND CONTINUOUSLY OUTDOORS WITH NO PROTECTION FROM THE WEATHER.
 2. ELECTRICAL WORK REPRESENTED ON THE PROJECT DRAWINGS IS SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS AND ELEVATIONS OF OWNERS REPRESENTATIVE SHALL BE DETERMINED IN THE FIELD AND VERIFIED WITH THE OWNERS REPRESENTATIVE.
 3. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF TEMPORARY, IF REQUIRED, AND PERMANENT POWER WITH THE LOCAL UTILITY CONTRACTOR.
 4. PROVIDE MINIMUM CLEARANCE TO ALL OVERHEAD POWER LINES. TWO OR THREE HANDLE COMMON TRIP, SHORT CIRCUIT INTERRUPTING RATINGS SHALL BE AS REQUIRED FOR AVAILABLE FAULT CURRENTS. ALL CIRCUIT BREAKERS, FUSES AND DISCONNECTS SHALL BE INSTALLED TO OPERATE AT THE SAME INTERRUPTING RATING EQUAL TO OR GREATER THAN THAT SHOWN ON PROJECT DRAWINGS.
 5. CONTRACTOR SHALL PERFORM ALL EXCAVATION, TRENCHING, BACKFILLING, AND REMOVAL OF DEBRIS IN CONNECTION WITH THE ELECTRICAL WORK IN ACCORDANCE WITH THE PROJECT DRAWINGS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF UNDERGROUND UTILITIES AND GROUNDING WITH THE FOUNDATION INSTALLATION.
 6. CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORTS FOR EQUIPMENT INSTALLED AS PER BRACKETS, RACKS AND OTHER SHAPES OF ADEQUATE SIZE AND FASTENED WITH BOLTS, SCREWS OR BY WELDING TO PROVIDE RIGID SUPPORT.
 7. CONTRACTOR SHALL CALL THE APPROPRIATE UTILITIES PROTECTION SERVICE BEFORE ANY UNDERGROUND WORK IS PERFORMED, SUCH AS TRENCHING, EXCAVATING, AND DRIVING GROUND RODS.
 8. CONTRACTOR SHALL SEAL AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED WALLS/FLOORS USING APPROVED FIRE STOP MATERIALS TO MAINTAIN THE FIRE RESISTANCE RATING.
 9. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENTLY BRASS LABELED LETTER HEIGHT SHALL BE 1/2 - INCH. NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS.

BACKWASH:
 1. CONDUIT AND CONDUIT FITTINGS SHALL MEET ANSI AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP AND SHALL BE UL LISTED.
 A. RIGID STEEL CONDUIT (FOR ALL ABOVE GRADE WORK) SHALL CONFORM TO ANSI C89.1 AND THE REQUIREMENTS OF NEC, PARAGRAPH 344 AND BE STANDARD FINISHED WITH A PROTECTIVE ZINC COATING. ELBOWS AND BENDS SHALL MEET THESE SAME REQUIREMENTS. FITTINGS SHALL BE OF THE GALVANIZED IRON OR STEEL, THREADED TYPE.
 B. PVC CONDUIT (FOR ABOVE GROUND OR UNDERGROUND WORK) SHALL CONFORM TO UL STANDARD 651 AND THE REQUIREMENTS OF NEC, PARAGRAPH 344 AND BE OF THE UNTHREADED RIGID TYPE.
 C. EMT CONDUIT (FOR EXPOSED AND CONCEALED WORK); ELECTRICAL METALLIC TUBING SHALL CONFORM TO ANSI C89.3 AND THE REQUIREMENTS OF NEC, PARAGRAPH 358 AND BE PROTECTED FROM CORROSION SUITABLE FOR THE ENVIRONMENT IN WHICH THEY ARE TO BE INSTALLED. LOCATIONS SHALL COMPLY WITH NEC PARAGRAPH 314.15.
 2. MINIMUM CONDUIT SIZE SHALL BE 3/4-INCH. SIZES NOT SHOWN ON DRAWINGS SHALL BE PER THE LATEST EDITION OF THE NEC.
 3. ALL SPARE CONDUITS SHALL HAVE A METALLIC PULL WIRE.
 4. CONDUIT SUPPORTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC.
 5. INSTALL WARNING TAPE TWELVE INCHES ABOVE EACH CONDUIT OR SET OF CONDUITS.
 6. IDENTIFY EACH CONDUIT AT BOTH ENDS.
 7. IDENTIFY A MINIMUM OF 36 INCHES BELOW THE FINISHED GRADE OR DEEPER IF NOTED ON DRAWINGS.
 D. SLOPE A MINIMUM OF 4 INCHES PER 100 FEET TO DRAIN AWAY FROM BUILDINGS AND EQUIPMENT.
 E. MAKE MANUFACTURED ELECTRICAL PVC ELBOWS AND FITTINGS FOR BELOW GRADE BENDS.
 F. MAKE JOINTS AND FITTINGS WATERIGHT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 G. INSTALL A COUPLING FEATURE EACH WALL PENETRATION.
 H. RESTORE SURFACE FEATURES DISTURBED BY EXCAVATION (AND TRENCHING) IN ALL AREAS.

1. ALL CABLE TRAYS AND FITTINGS SHALL BE DESIGNED, MANUFACTURED, INSTALLED AND TESTED IN CONFORMANCE WITH NEMA VE1 AND VE2.
 2. CABLE TRAYS SHALL BE LADDER TYPE WITH 9-INCH SPACING.
 3. CABLE TRAYS SHALL BE CAPABLE OF SUPPORTING 75 LBS/LINEAR FOOT.
 4. CABLE TRAYS AND FITTINGS SHALL BE MANUFACTURED OF GALVANIZED STEEL.
 5. CABLE TRAYS SHALL BE FURNISHED WITH COVERS WHERE SHOWN ON THE PROJECT DWGS.
 6. ALL DISCONTINUOUS SECTIONS OF CABLE TRAY SHALL BE BONDED ACROSS JOINTS.
 CONDUCTORS:
 1. ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET NEMA WC, ASTM, UL, AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.
 A. SUITABLE FOR WET LOCATIONS, TYPE USE-2, THE GROUNDED NEUTRAL CONDUCTOR SHALL BE IDENTIFIED WITH A WHITE MARKING AT EACH TERMINATION.
 B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER, 800VOLT, TYPE THHN WITH A MINIMUM SIZE OF #12 AWG.

2. ALL CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING TUBING, AND WIRE BUNDLES SHALL BE LISTED IN THE SUPPLIERS INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FOR CABLE ACCESSORIES. THESE INSTRUCTIONS SHALL BE IN THE POSSESSION OF THE CRAFTSMAN WHILE INSTALLING THE ACCESSORIES AND SHALL BE AVAILABLE TO THE COMPANY FOR REFERENCE.
 3. WHERE POSSIBLE, #6 AWG AND SMALLER WIRE SHALL BE COLOR CODED BY THE COLOR OF THE INSULATION COVERING, COLOR CODING TYPE MARKERS, OR OTHER MEANS OF IDENTIFICATION WITH A WHITE MARKING AT EACH TERMINATION.
 B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER, 800VOLT, TYPE THHN WITH A MINIMUM SIZE OF #12 AWG.

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Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL18-002346
DOCKET No. 06-22-18
FEE PAID \$500.00 js check

APPLICATION
LAKEWOOD PLANNING COMMISSION

Property Address 1375,79&91 Fry Ave. Business/Tenant Name N/A- vacant land
Property Owner Name Knez Homes, Inc. Owner Phone 216-280-6152
Owner E-mail bsanderson@knez.net Zoning C-3 Parcel Number 312-052,053,054

Project Summary Create a PUD to support the development of 9 for-sale attached town home style units on property currently zoned C-3 general business


Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)
- Parking Plan Review – (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): William Sanderson Company Knez Homes, Inc.
Applicant Address: 7555 Fredle Drive, suite 210, Concord, Ohio 44077
Phone: 216-280-6152 Fax: 440-579-0117 E-mail: bsanderson@knez.net
Signature:  William SANDERSON/Agent Date: 3/21/2018

OFFICE USE ONLY: Application Reviewed and Accepted by: K. Mitrus Date: 3/22/18

File History: _____

Bldg. Dept. Remarks: _____

ORD. 24-98 SECTION 1155.06

22

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes X No

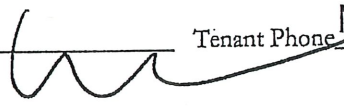
Please Print or Type:

Owner/Agent Name: Knez Homes, Inc.

Property Address: 1375,1379 &1391 Fry Avenue

Owner/Agent Phone: Bill Sanderson 216-280-6152

Tenant Name N/A- Vacant Tenant Phone N/A



Owner/Agent Signature

**2018 Calendar
Planning Commission**

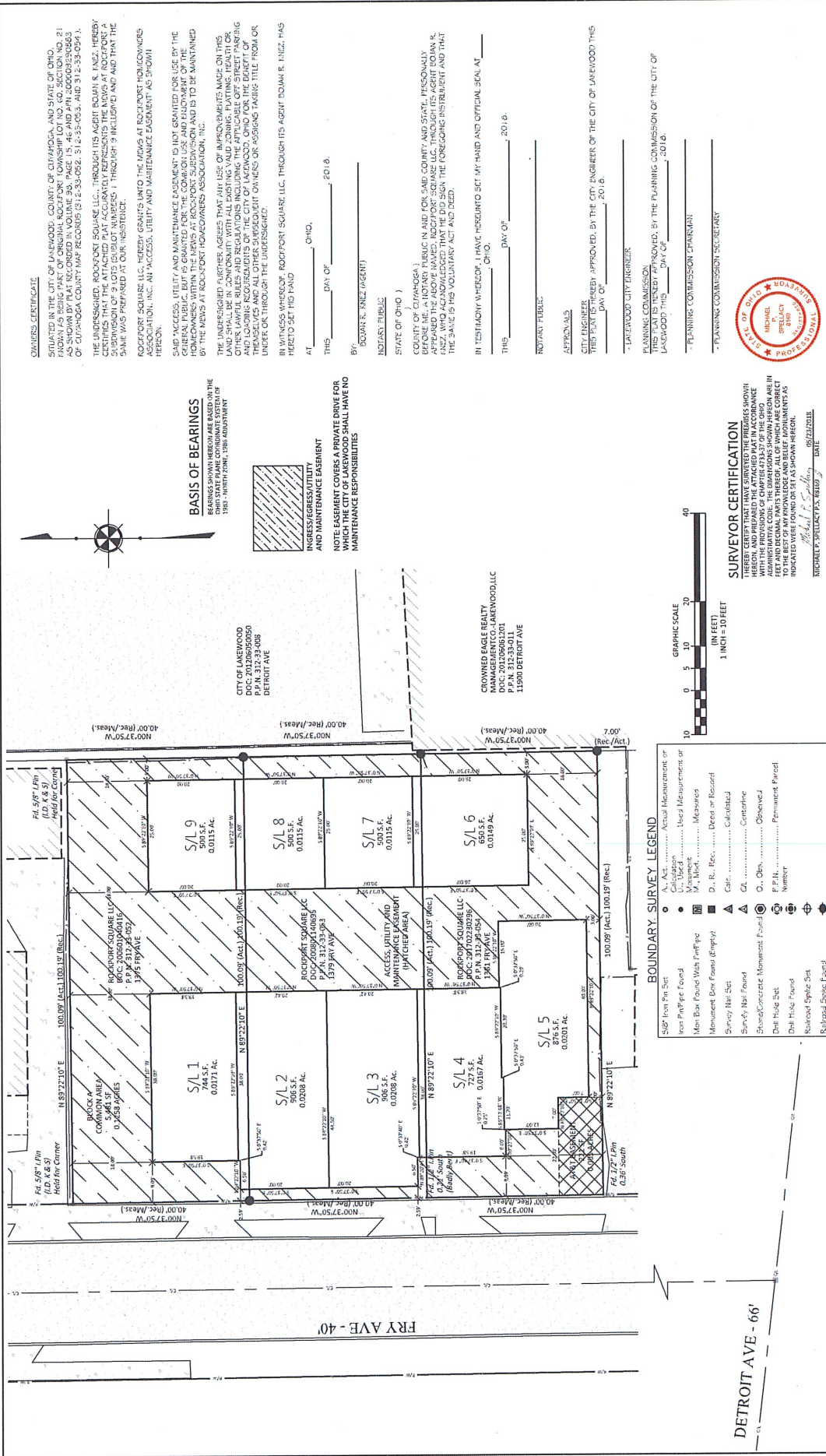
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	Day	Date	Day	Date	Day	Date
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December	Wednesday	11-21-18	Thursday	12-06-18	Thursday	12-06-18
January	Wednesday	12-19-18	Thursday	01-03-19	Thursday	01-03-19

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23



OWNERS CERTIFICATE
 SITUATED IN THE CITY OF LAKEWOOD, COUNTY OF CUYAHOGA, AND STATE OF OHIO, FROM A PART OF ORIGINAL ROCKPORT TOWNSHIP LOT NO. 40, SECTION NO. 21, AS SHOWN ON PLAT RECORDED IN VOLUME 39, PAGE 13, 46 AND 47N, 200003930603 OF CUYAHOGA COUNTY MAP RECORDS (S 1 E-33-0821, S 1 E-33-0823, AND S 1 E-33-0824).

THE UNDERSIGNED, ROCKPORT SQUARE LLC, THROUGH ITS AGENT ROMAN R. ENZ, HEREBY CERTIFY THAT THE ABOVE DESCRIBED EASEMENT IS A VALID AND LEGAL EASEMENT AND THAT THE SAME WAS PREPARED AT OUR EXPENSE.

ROCKPORT SQUARE LLC, HEREBY GRANTS INTO THE MOWS AT ROCKPORT HOMEOWNERS ASSOCIATION, INC. AN ACCESS, UTILITY AND MAINTENANCE EASEMENT AS SHOWN HEREON.

SAID ACCESS, UTILITY AND MAINTENANCE EASEMENT IS NOT GRANTED FOR USE BY THE GENERAL PUBLIC, BUT IS GRANTED FOR THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS WITHIN THE MOWS AT ROCKPORT SUBDIVISION AND IS TO BE MAINTAINED BY THE MOWS AT ROCKPORT HOMEOWNERS ASSOCIATION, INC.

THE UNDERSIGNED FURTHER AGREES THAT ANY USE OF IMPROVEMENTS MADE ON THIS EASEMENT SHALL BE SUBJECT TO THE RULES AND REGULATIONS OF THE MOWS AT ROCKPORT HOMEOWNERS ASSOCIATION, INC. AND TO THE APPLICABLE CITY STREET PARKING AND LOADING REGULATIONS OF THE CITY OF LAKEWOOD, OHIO FOR THE BENEFIT OF THEMSELVES AND ALL OTHER UNDESIGNATED OWNERS OR ASSIGNED PARTIS TITLE FROM OR UNDER OR THROUGH THE UNDERSIGNED.

IN WITNESS WHEREOF, ROCKPORT SQUARE LLC, THROUGH ITS AGENT ROMAN R. ENZ, HAS HERETO SET HIS HAND

AT _____, OHIO, _____ DAY OF _____, 2018.
 BY: _____ SQUARE R. ENZ (AGENT)

NOTARY PUBLIC
 STATE OF OHIO)
 COUNTY OF CUYAHOGA)
 BEFORE ME, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED, ROCKPORT SQUARE LLC, THROUGH ITS AGENT ROMAN R. ENZ, WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT THE SAME IS HIS VOLUNTARY ACT AND DEED.

IN TESTIMONY WHEREOF, I HAVE HERETO SET MY HAND AND OFFICIAL SEAL AT _____, OHIO, _____ DAY OF _____, 2018.
 NOTARY PUBLIC

APPROVALS
 CITY ENGINEER
 THIS PLAN IS HEREBY APPROVED BY THE CITY ENGINEER OF THE CITY OF LAKEWOOD THIS _____ DAY OF _____, 2018.
 _____ LAKEWOOD CITY ENGINEER

PLANNING COMMISSION
 THIS PLAN IS HEREBY APPROVED BY THE PLANNING COMMISSION OF THE CITY OF LAKEWOOD THIS _____ DAY OF _____, 2018.
 _____ PLANNING COMMISSION CHAIRMAN
 _____ PLANNING COMMISSION SECRETARY

PLANNING COMMISSION SECRETARY

RECORD PLAT

CONTRACT NO. 17229
 SHEET 01 OF 01

SURVEYOR CERTIFICATION
 I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES SHOWN HEREON, AND PREPARED THE ATTACHED PART IN ACCORDANCE WITH THE SURVEYING ACT AND THE RULES AND REGULATIONS OF THE ADMINISTRATIVE CODE. THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF. I HAVE BEEN LICENSED AS A SURVEYOR TO THE BEST OF MY KNOWLEDGE AND BELIEF. ANY INSTRUMENTS INDICATED WERE FOUND OR SET AS SHOWN HEREON.

DATE: 02/22/2018
 SURVEYOR: Michael P. Spangola

THE MOWS AT ROCKPORT SUBDIVISION PLAT
B.R. KNEZ CONSTRUCTION, INC.
 PART OF ORIGINAL ROCKPORT TOWNSHIP SECTION NO. 21
 CITY OF LAKEWOOD-CUYAHOGA COUNTY-OHIO

polaris
 SURVEYING & CONSULTING

POLARIS ENGINEERING & SURVEYING, INC.
 3460 CHAMBER ROAD - SUITE D
 CLEVELAND, OHIO 44131
 (419) 544-4433 (419) 544-7722 (FAX)
 www.polaris-es.com

BOUNDARY SURVEY LEGEND
 0 5/8" Iron Pin Set
 1 Iron Pin/Pipe Found
 2 Man Box Found With Pipe
 3 Monument Box Found (empty)
 4 Survey Nail Set
 5 Survey Nail Found
 6 Stone/Concrete Monument Found
 7 Dial Hole Set
 8 Dial Hole Found
 9 Railroad Spike Set
 10 Railroad Spike Found
 11 Actual Measurement or Calculation
 12 Used Measurement
 13 M. Hook
 14 M. Hook
 15 Measure
 16 D. R. Rec. (Dip or Record)
 17 Calc. (Calculated)
 18 Ck. (Checked)
 19 Obs. (Observed)
 20 P.F.M. (Permanent Found)
 21 Number

DATE _____ **BY** _____
SCALE HOR. _____ VERT. _____
FILED _____
FILED _____
DATE _____
BY _____

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL18-002325
DOCKET No. 05-20-18 MIXED-USE OVERLAY DISTRICT
FEE PAID #150.00 js cl

**APPLICATION
LAKEWOOD PLANNING COMMISSION**

Property Address 16900 / 16906 Detroit / 1386 / 1376 Edwards Business/Tenant Name Deagan
Property Owner Name Detwards LLC Owner Phone 216-767-5775
Owner E-mail deagan33@yahoo.com Zoning C3/R2 Parcel Number 31127031/31127030/31127032/31127033

Project Summary New 6,000 s.f. single-story bar with exterior beer garden and food truck drive through.
Applicant is applying for a conditional use mixed-use overlay as the project is sited on 2 commercial and 2 residential properties

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)
- Parking Plan Review – (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s).

Applicant Name (Print Clearly): Greg Ernst Company AODK Inc.

Applicant Address: 17306 Madison Avenue, Lakewood, OH 44107

Phone: 216.771.1920 Fax: 216.771.1797 E-mail: ge@aodkinc.com

Signature: Greg Ernst Digitally signed by Greg Ernst
DN: cn=Greg Ernst, o=AoDK, inc., ou, email=ge@aodkinc.com, c=US
Date: 2018.04.19 12:18:38 -04'00' Date: 04.19.18

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. 17-13 SECTION 1135.03

25

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Planning Commission applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes No

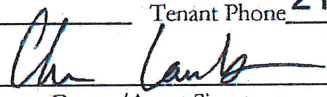
Please Print or Type:

Owner/Agent Name: Chris Lamb

Property Address: 16900 / 16906 Detroit / 1386 / 1376 Edwards

Owner/Agent Phone: 440.799.8440

Tenant Name Deagan Tenant Phone 216-767-5775


Owner/Agent Signature

**2018 Calendar
Planning Commission**

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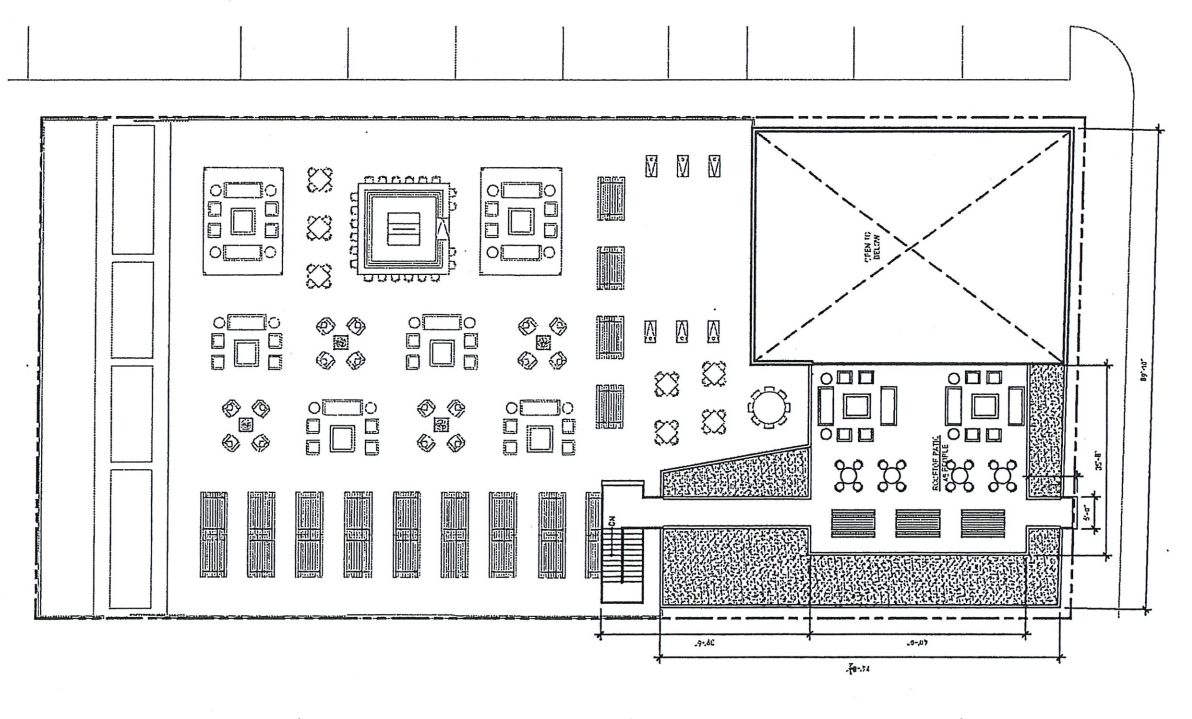
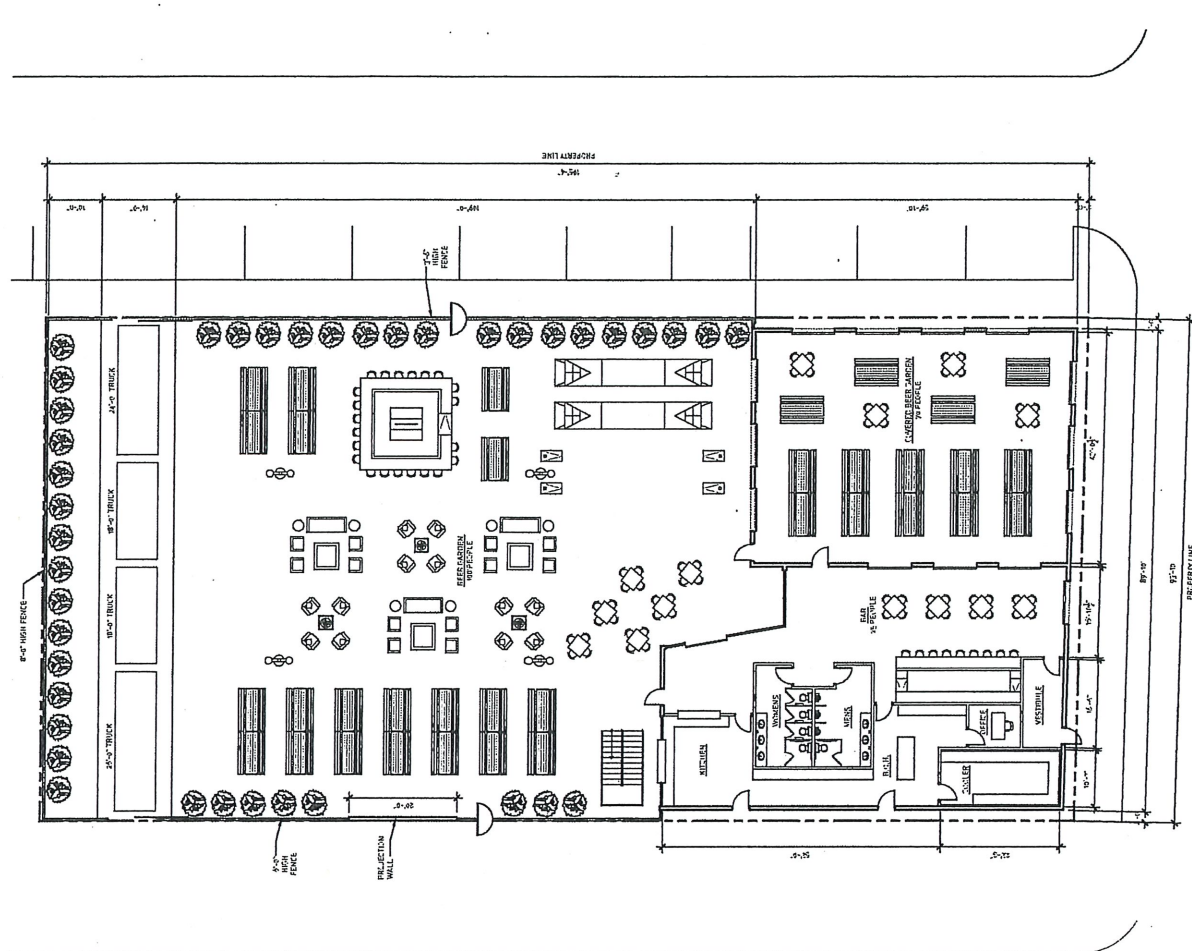
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26

PROJECT TITLE: DEAGAN FOOD TRUCK
 PROJECT NO: 14-001
 DATE: 01/12/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL18-002326
DOCKET No. 05-20-18 *OUTDOOR SEASON*
FEE PAID N/A

APPLICATION
LAKWOOD PLANNING COMMISSION

Property Address 16900 / 16906 Detroit / 1386 / 1376 Edwards Business/Tenant Name Deagan
Property Owner Name Detwards LLC Owner Phone 216-767-5775
Owner E-mail deagan33@yahoo.com Zoning C3/R2 Parcel Number 31127031/31127030/31127032/31127033

Project Summary New 6,000 s.f. single-story bar with exterior beer garden and food truck drive through.
Applicant is applying for a conditional use mixed-use overlay as the project is sited on 2 commercial and 2 residential properties

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
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Applicant Name (Print Clearly): Greg Ernst Company AODK Inc.
Applicant Address: 17306 Madison Avenue, Lakewood, OH 44107
Phone: 216.771.1920 Fax: 216.771.1797 E-mail: ge@aodkinc.com
Signature: Greg Ernst Digitally signed by Greg Ernst
DN: cn=Greg Ernst, o=AoDK, inc., ou, email=ge@aodkinc.com, c=US
Date: 2018.04.19 12:18:38 -04'00' Date: 04.19.18

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. 17-13 17-15 SECTION 1135.03 1161.03(F)

28

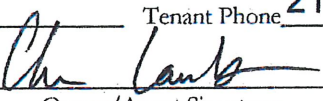
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Any dog(s) on property? _____ Yes X No

Please Print or Type:

Owner/Agent Name: Chris Lamb
 Property Address: 16900 / 16906 Detroit / 1386 / 1376 Edwards
 Owner/Agent Phone: 440.799.8440
 Tenant Name Deagan Tenant Phone 216-767-5775



 Owner/Agent Signature

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 Planning Commission**

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