

**AGENDA  
PLANNING COMMISSION  
AUGUST 6, 2020  
REMOTE MEETING**

**PRE-REVIEW MEETING  
6:30 P.M.**

**Review docket items**

**REGULAR MEETING  
7:00 P.M.**

Under the orders of the Governor and Director of Health of Ohio, the Planning Commission will meet remotely until further notice.

The August 6, 2020 remote meeting information will be posted by 5 PM the day of the meeting at [www.onelakewood.com/accordions/planning-commission/](http://www.onelakewood.com/accordions/planning-commission/)

- 1. Roll Call**
- 2. Approve the Minutes of the July 2, 2020**
- 3. Opening Remarks**

**OLD BUSINESS**

**PARKING PLAN REVIEW**

- 4. Docket No. 07-33-20\***  
**2051 Quail Street**  
**Lakewood Montessori**

Becki Bell, Lakewood Montessori School requests conditional use for a nonconforming property in order to operate a pre-school; property is in an R2 Single and Two-Family district. Pursuant to 1149.04 Non-Conforming Structures (Ord. 91-95. Passed 10-7-1996.) (Page 3)

\*This item is deferred until the next meeting.

**NEW BUSINESS**

**CONDITIONAL USE**

- 5. Docket No. 08-34-20**  
**15527 Madison Avenue**  
**Barrio**

Richard Ledbetter, Barrio, requests conditional use for temporary expansion of outdoor dining, the flexibility to expand or add outdoor dining to support restaurants that are affected by COVID-19 restrictions; property is in a C2 Commercial - Retail district. Pursuant to Chapters 1161 and 1129 Outdoor Seasonal Dining as temporarily modified by Resolution 2020-31(5-22-2020) until 10-31-2020 (Page 4)

**6. Docket No. 08-35-20  
12401 Madison Avenue  
Griffin Cider House and Gin Bar**

Richard Read, Griffin Cider House and Gin bar requests conditional use for temporary expansion of outdoor dining, the flexibility to expand or add outdoor dining to support restaurants that are affected by COVID-19 restrictions; property is in a C2 Commercial - Retail district. Pursuant to Chapters 1161 and 1129 Outdoor Seasonal Dining as temporarily modified by Resolution 2020-31(5-22-2020) until 10-31-2020 (Page 15)

**COMMUNICATION**

**7. Docket No. 08-36-20  
Beekeeping Ordinance**

Introduction of proposed Ordinance 14-2020 amending various sections of the Codified Ordinances of the City of Lakewood to permit the keeping of bees in the City of Lakewood as introduced by Councilman Shachner and referred to the Planning Commission by City Council on July 6, 2020. (Page 24)

**8. Docket No. 08-37-20  
Express Parking Spaces**

Review of proposed Resolution 2020-39 directing the Director of Public Safety to designate express parking spaces under certain circumstances as introduced by Councilmembers Bullock and Kepple and referred to the Planning Commission by City Council on July 6, 2020. (Page 29)

**DEDICATION**

**9. Docket No. 08-38-20  
Bernice Pyke Park  
1347 St. Charles Avenue**

Review of Resolution 2020-44 dedicating six (6) parcels currently owned by the City of Lakewood, Bernice Pyke Park Pyke Park on August 18th 2020, the 100th anniversary of the passage of the 19th Amendment as introduced by Councilmembers Rader, Shachner, and Neff and referred to the Planning Commission by City Council on July 6, 2020. (Page 33)

**ADJOURN**



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

## Application Cover Page

Docket No.: 07-33-20

Reference No.: PC20-000035

Applicant Name: Beki Bell

Project Name: Lakewood Montessori School

Project Address: 2051 Quail Street

Proposal: Conditional Use: Type A Child Care: Change from one nonconforming  
use (church) to another (pre-school)

Fee Paid: \$75.00 paid

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PC 20-000042  
DOCKET No. 08-34-20  
FEE PAID N/A

**TEMPORARY OUTDOOR DINING**

**APPLICATION**

**LAKWOOD PLANNING COMMISSION**

Property Address 15527 Madison Ave Business/Tenant Name Barrío  
Property Owner Name Ron Lesz Kowicz Owner Phone (216) 272-3763  
Owner E-mail mleszkowicz@sbcglobal.net Zoning \_\_\_\_\_ Parcel Number 314-14-003  
Project Summary Outdoor Dining

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (~~Commercial \$150, Residential \$75~~) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)
- Parking Plan Review - (\$150)

**Submission Requirements:**

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. Authorization for Property Access signed by the owner. (Pg. 2 of this application form)
6. Fee(s):

Applicant Name (Print Clearly): Sean Fairbairn Company Barrío  
Applicant Address: 3190 West 63<sup>RD</sup> Cleveland Ohio 44102  
Phone: 440-465-5353 Fax: \_\_\_\_\_ E-mail: rlcdbetter@barrio-tacos.com  
Signature: Sean Fairbairn Date: 6/24/20

OFFICE USE ONLY: Application Reviewed and Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

File History: \_\_\_\_\_

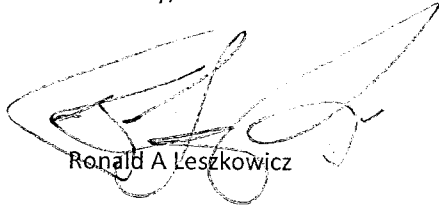
Bldg. Dept. Remarks: \_\_\_\_\_

ORD. \_\_\_\_\_ SECTION \_\_\_\_\_

To Whom It May Concern:

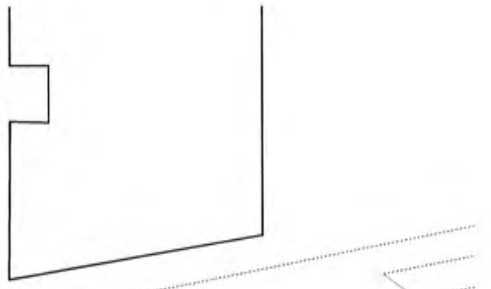
I, the undersigned, hereby authorize Barrio to apply to the Lakewood Planning Commission for a temporary outdoor dining permit. This authorization is for the restaurant located at 15527 Madison Avenue in Lakewood. If you have any questions or concerns please contact me.

Sincerely,

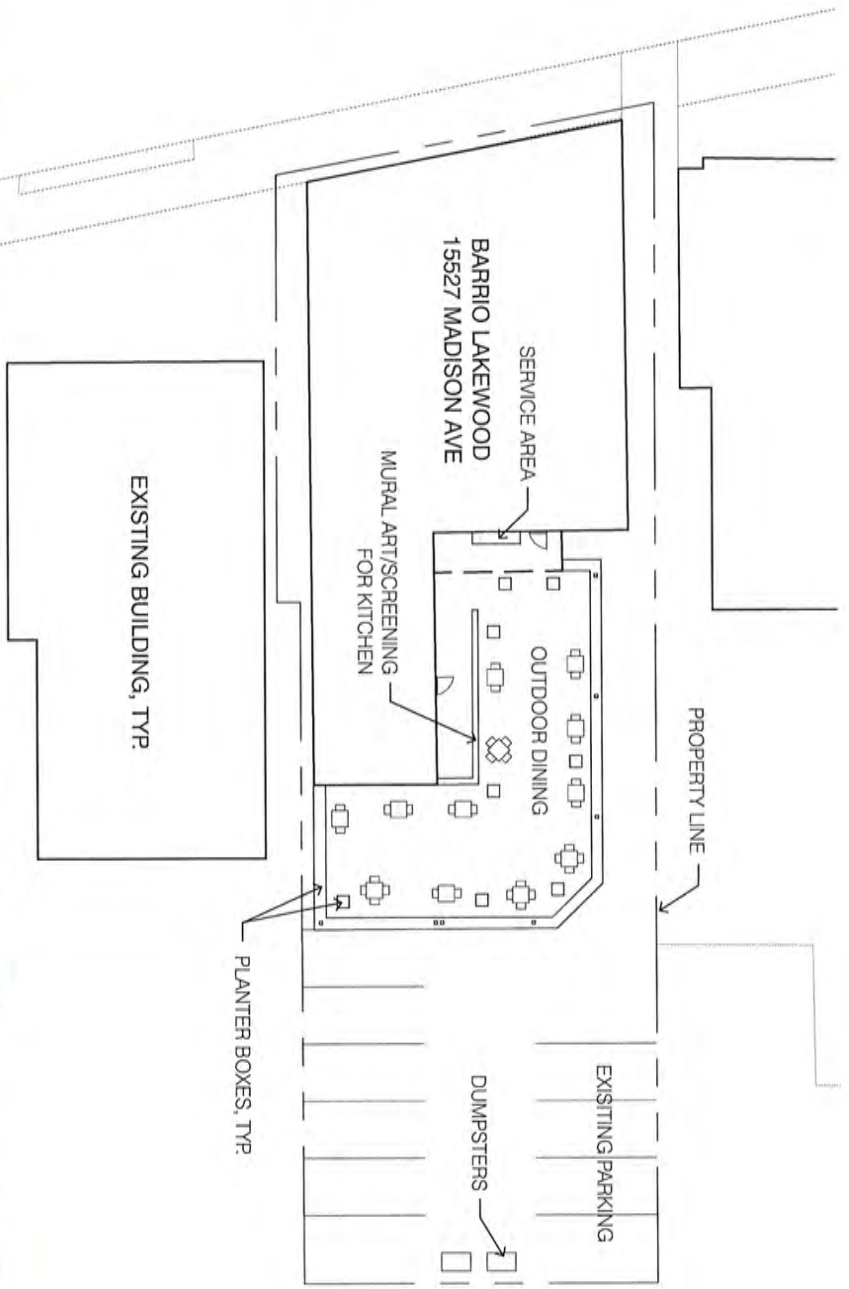
A handwritten signature in black ink, appearing to read 'Ronald A. Leszkowicz', written over a printed name.

Ronald A Leszkowicz

216-272-3763



MADISON AVE



Precedent Imagery

Site Plan - Patio Layout



NOTE: TABLES 6' APART MIN.

**embark'd**

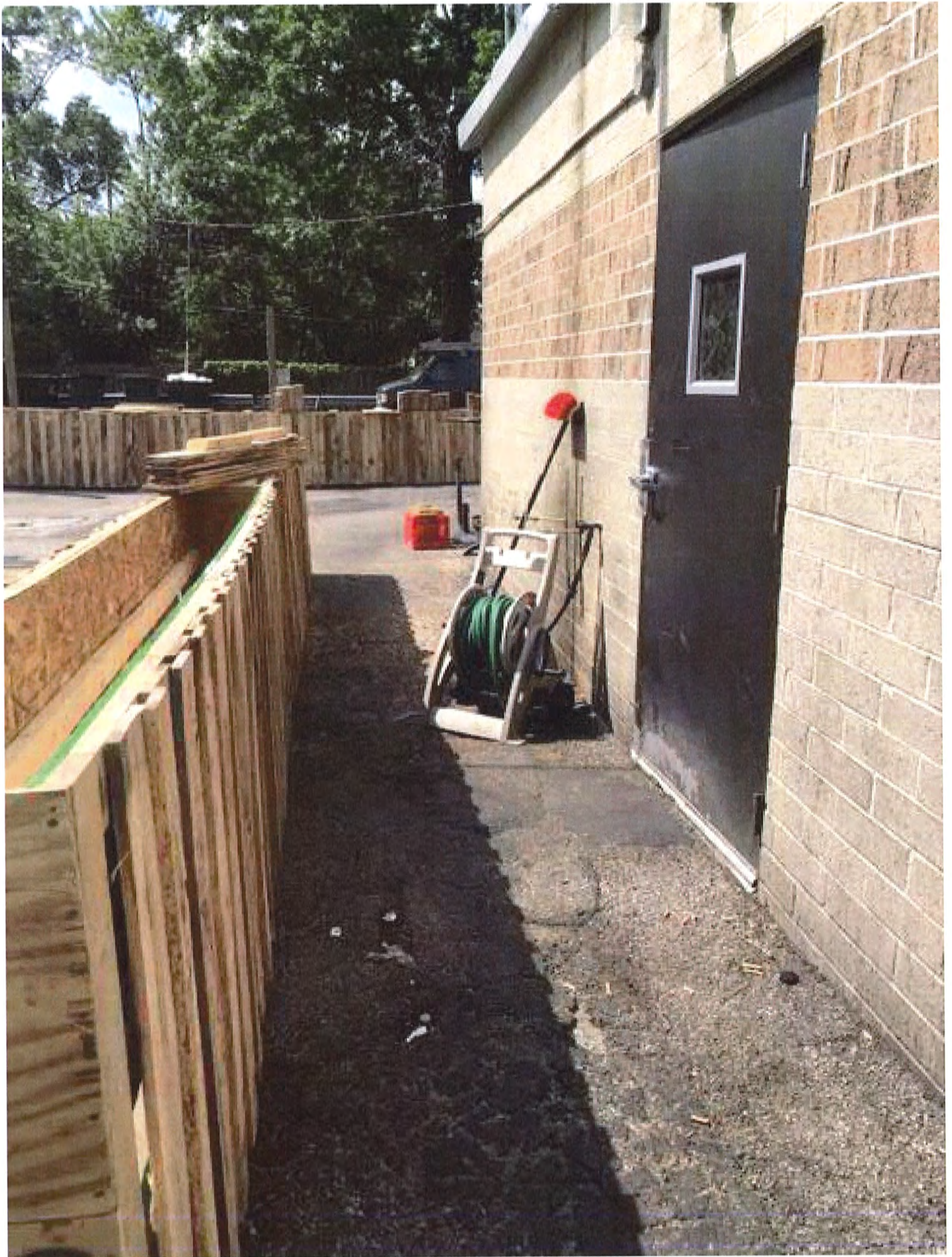
Scale: 1" = 20'  
0' 5' 10' 20' ← N

Barrio - Lakewood  
06.19.2020



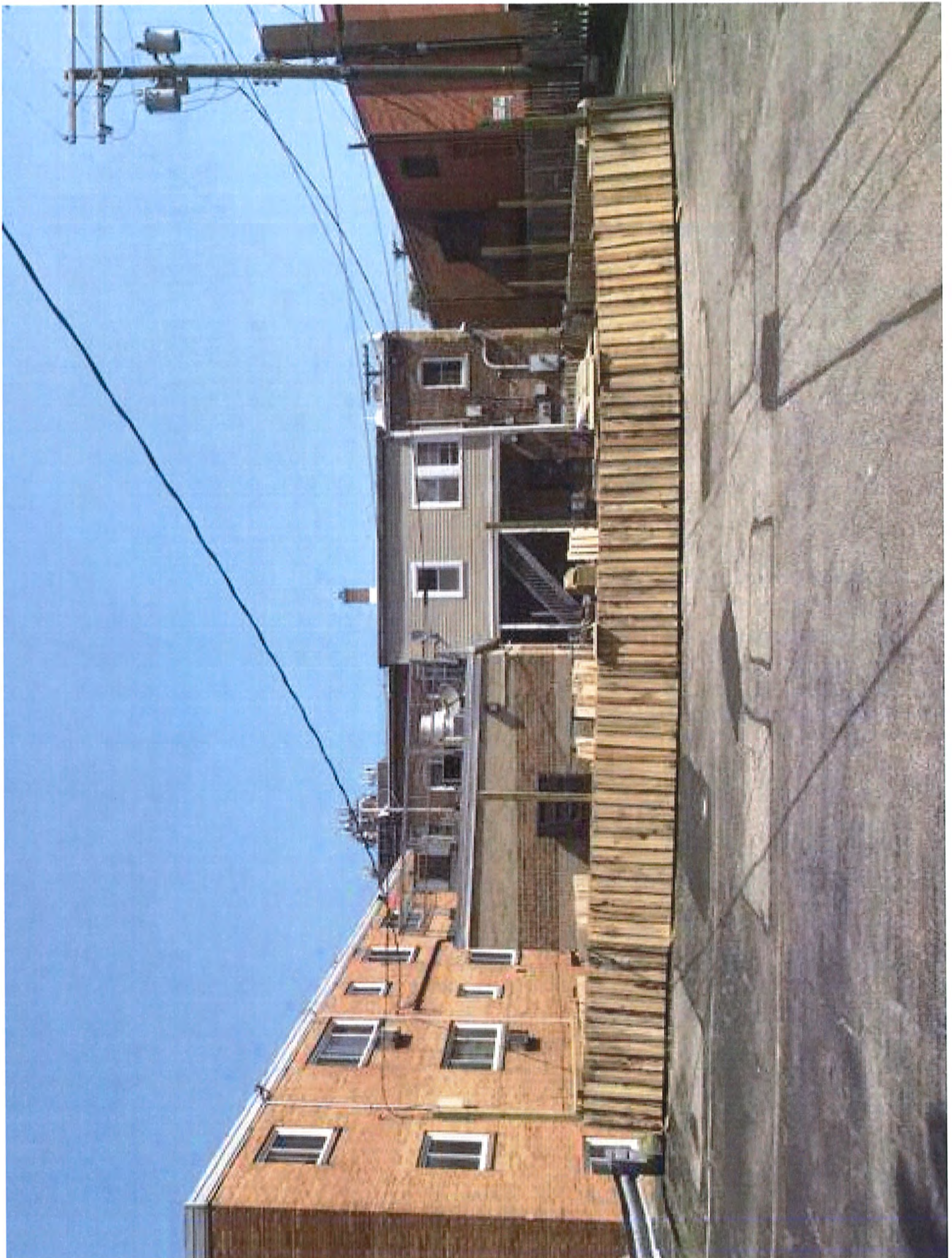














Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)  
Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. PL20-000043  
DOCKET No. 08-35-20  
FEE PAID n/a

**TEMPORARY OUTDOOR DINING**

**APPLICATION  
LAKEWOOD PLANNING COMMISSION**

Property Address 12401 Madison Ave. Business/Tenant Name Griffin Cider House & Gin Bar  
Property Owner Name Richard Read Owner Phone 440 785 7418  
Owner E-mail read.richard@ymail.com Zoning \_\_\_\_\_ Parcel Number \_\_\_\_\_  
Project Summary Establish a temporary outdoor dining facility. Add tables and chairs, picnic benches to back parking lot and driveway.

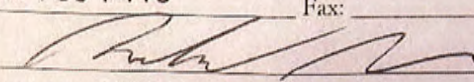
Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

**ACTION REQUESTED** (Check all that apply)

- Minor Sub-Division - (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split - (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development - (\$500)
- Similar Use - (Commercial \$50, Residential \$25)
- Conditional Use - (~~Commercial \$150, Residential \$75~~) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance - (Commercial \$50, Residential \$25)
- Parking Plan Review - (\$150)

**Submission Requirements:**

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. ~~Authorization for Property Access signed by the owner. (Pg. 2 of this application form)~~
6. ~~Fee(s).~~

Applicant Name (Print Clearly): Richard Read Company Griffin Cider House & Gin Bar  
Applicant Address: 12401 Madison Ave. Lakewood, Ohio  
Phone: 440 785 7418 Fax: \_\_\_\_\_ E-mail: read.richard@ymail.com  
Signature:  Date: June 25<sup>th</sup> 2020

**OFFICE USE ONLY:** Application Reviewed and Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

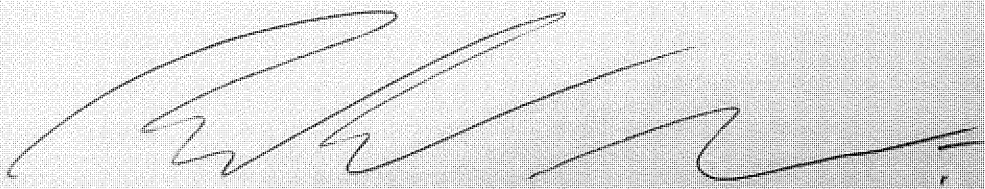
File History: \_\_\_\_\_

Bldg. Dept. Remarks: \_\_\_\_\_

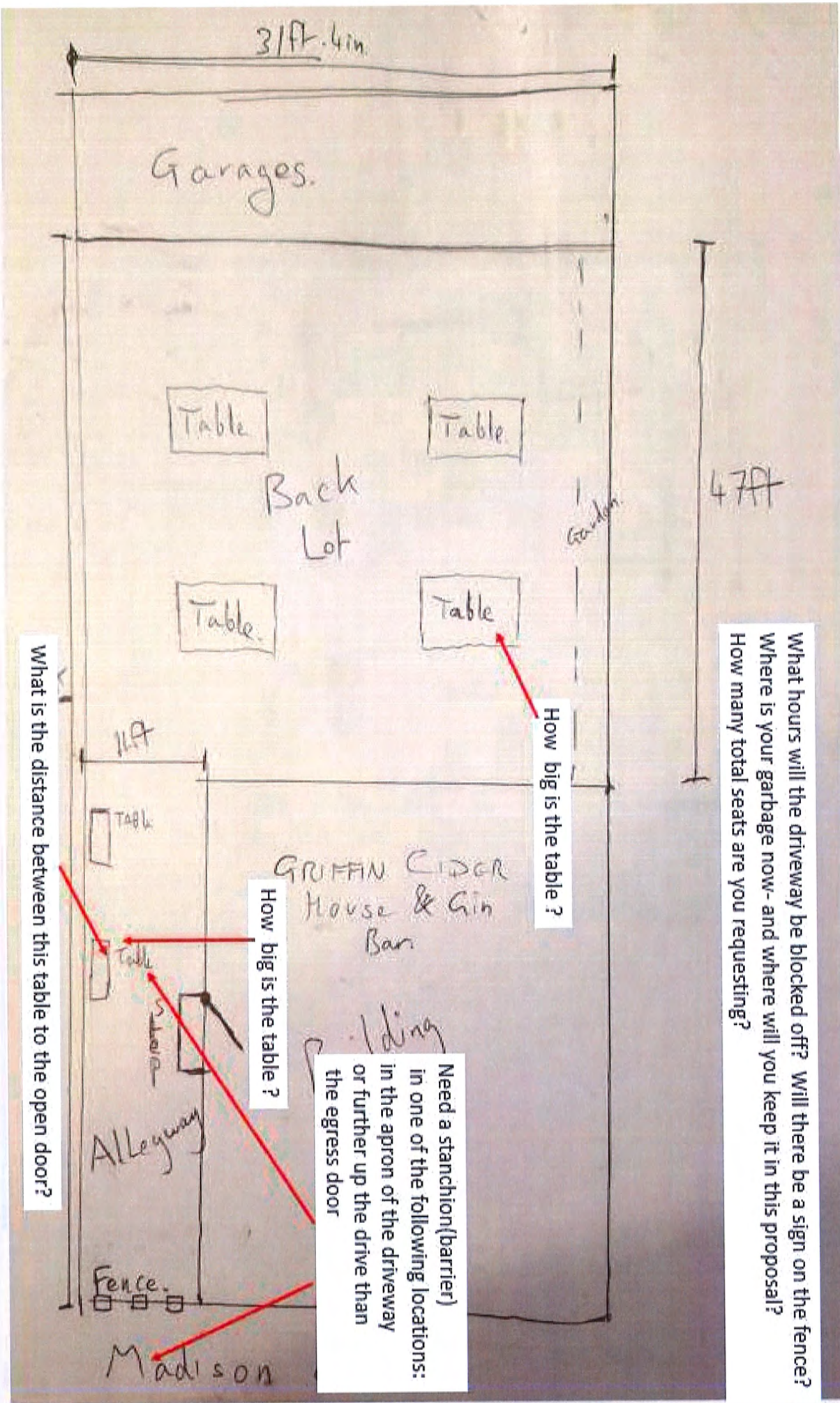
ORD. \_\_\_\_\_ SECTION \_\_\_\_\_

June 26<sup>th</sup> 2020

I, Richard Read as representative and part owner of the property at 12401 Madison Ave. Lakewood give authority to Griffin Cider House & Gin Bar to construct an outdoor dining / patio facility on the property as shown in attached plans.



Owner.





31ft. 4in.

Garages.

Table

Table

Back Lot

Table

Table

Garden

47ft

110ft

11ft

Table

Table

5 POTS

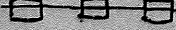


GRIFFIN CIDER House & Gin Bar

Building

Alleyway

Fence.



Madison ave.











PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

August 6, 2020

Planning Commission  
Lakewood City Hall  
12650 Detroit Avenue  
Lakewood, Ohio 44107

**Re: Communication  
Beekeeping Ordinance**

Dear Members of the Planning Commission:

Introduction of proposed Ordinance 14-2020 amending various sections of the Codified Ordinances of the City of Lakewood to permit the keeping of bees in the City of Lakewood as introduced by Councilman Shachner and referred to the Planning Commission by City Council on July 6, 2020.

Sincerely,

Michelle Nochta, Acting Commission Secretary  
Planner, Planning and Development

ORDINANCE NO. 14-2020

BY:

AN ORDINANCE to take effect immediately provided it receives the affirmative vote of at least two thirds of the members of Council to amend Section 505.18, Certain Animals Prohibited, Section 1121.03, Permitted Accessory Uses, of the Codified Ordinances of the City of Lakewood, Section 1123.03, Permitted Accessory Uses, of the Codified Ordinances of the City of Lakewood, and Section 1127.03, Permitted Accessory Uses, of the Codified Ordinances of the City of Lakewood, to permit the keeping of bees in the City of Lakewood.

WHEREAS, honey bees (*apis mellifera*) are essential to our ecosystem by providing agriculture, fruit, and garden pollination services and by furnishing honey, and other useful products;

WHEREAS, domestic strains of honey bees have been selectively bred for desirable traits, including gentleness, honey production, tendency not to swarm and non-aggressive behavior, characteristics which are desirable to foster and maintain;

WHEREAS, gentle strains of honey bees can be maintained within populated areas without causing a nuisance if the bees are properly located and carefully managed;

WHEREAS, having an apiary next door will not increase the number of bees in a neighboring yard in that honey bees travel up to three miles from their hives to forage and tend to cruise at altitudes of 30 feet or higher.

WHEREAS, there are currently 23 apiaries registered with the Ohio Department of Agriculture within the City of Lakewood;

WHEREAS, as set forth in Section 2.12 of the Third Amended Charter of the City of Lakewood, this Council by a vote of at least two thirds of its members determines that this ordinance is an emergency measure and that it shall take effect immediately and that it is necessary for the immediate preservation of the public property, health, and safety and to provide for the usual daily operation of municipal departments in regulations for the keeping of bees in Lakewood should be adopted as soon as possible.

BE IT ORDAINED BY THE CITY OF LAKEWOOD, OHIO:

Section 1. Section 505.18(f) and section 505.18(g) of section 505.18 Certain Animals Prohibited, of the Codified Ordinances of the City of Lakewood, are hereby renumbered as 505.18(g) and 505.18(h) respectively.

Section 2. Section 505.18 Certain Animals Prohibited, of the Codified Ordinances of the City of Lakewood, is hereby amended to add the following provisions:

(f) Notwithstanding any of the foregoing, bees, and associated hives, may be kept in the City only in accordance with the following regulations:

(1) Definitions. As used in this article, the following words and terms shall have the meanings ascribed in this section unless the context of their usage indicates another usage.

- A. "Apiary" means any place where one or more colonies or nucleus colony of bees are kept.
- B. "Bees" means any stage of any species of the genus *Apis*.
- C. "Beekeeper" means a person who owns or has charge of one or more colonies of bees.
- D. "Hive" means any modern frame hive, box hive, box, or any other natural or artificial receptacle, or any part thereof, that may be used as a domicile for bees.
- E. "Colony" means the hive and its equipment, including bees, combs and brood.
- F. "Beekeeping Equipment" means anything used in the operation of an apiary, such as hive bodies supers, frames, top and bottom boards, hive tools, smoker, gloves, veil, protective clothing, and extracting equipment.
- G. "Tract" means a contiguous parcel or land under common ownership.
- H. "Nuc" or "Nucleus colony" means a small hive smaller than the usual hive box designed for a particular purpose.
- I. "Undeveloped property" means any idle land that is not improved or actually in the process of being improved with residential, commercial, industrial, church, park, school or governmental facilities or other structures or improvements intended for human use occupancy and the grounds maintained in association therewith. The term shall be deemed to include property developed exclusively as a street or highway or property used for commercial agricultural purposes.

(2) Notice. Before the keeping of bees may occur, a notice shall be provided to the Director of Public Safety. The notice must include the following information:

- A. the name, phone number, home address and email address of the applicant;
- B. the size and location of the subject property;
- C. a proposal containing the number of hives the applicant seeks to keep on the property;
- D. the permission of the property owner for the applicant to keep bees, if the beekeeper is not the owner;
- E. the applicant's Ohio Beekeeper number as provide by the Ohio Department of Agriculture; and
- F. the applicant's Apiary #(s) as provided by the Ohio Department of Agriculture

Notices shall be on a form prescribed by the Division of Housing & Building. An updated notice must be filed with the Division of Housing & Building annually. All notices shall contain a waiver, signed by the property owner, providing permission for any City official to enter the property for the purpose of determining the beekeeper's

compliance with section 505.18. The City shall provide the property owner at least 48 hours written notice prior to entering the property.

(3) Residential Districts. Bees may be kept in an R1 Residential Single-Family, R2 Residential Single- and Two-Family District, and ML MH Multiple-Family Districts in accordance with section 3(A-L):

- A. Beekeeper must file the notice pursuant to 505.18(f)(2).
- B. Beekeeper must abide by Ohio Revised Code Chapter 909 Apiaries.
- C. Beekeeper may not opt out of the annual inspection by the county or state bee inspector as part of the Ohio Department of Agriculture's inspection program.
- D. Each beekeeper shall ensure that a convenient source of water is available to the colony at all times bees remain active outside of the hive. The water source shall be closer to the hives than any neighboring source. The water source may be natural such as a pond, stream, or artificial source. The water source shall be on the beekeeper's property.
- E. Each beekeeper shall ensure that no wax, comb, or other material that might encourage robbing by other bees are left upon the grounds of the apiary tract. Such materials once removed from the site shall be handled and stored in sealed containers or placed within a building or other insect-proof container.
- F. For each colony permitted to be maintained under this ordinance, there may also be maintained one nuc upon the same apiary tract.
- G. No more than two beehives shall be kept for each 2,400 square feet tract, and no beehive shall be kept on a tract less than 2,400 square feet in area.
- H. No beehive shall be kept closer than five feet to any lot line and 10 feet to a dwelling or the permitted placement of a dwelling on another parcel, and no beehive shall be kept in a front yard or side street yard. The front of any beehive shall face away from the property line of the residential property closest to the beehive.
- I. Regardless of tract size, so long as all lots within a radius of at least 200 feet from any hive, measured from any point on the hives, remain undeveloped, there shall be no limit to the number of colonies. No grandfathering rights shall accrue under this subsection.
- J. No hives are permitted on any tract where the setback requirements cannot be satisfied regardless of tract size.
- K. The beekeeper may be exempt from the setback to adjacent lot lines by obtaining written permission from the adjacent lot owner(s). The setback to public sidewalks and roadways may not be waived.
- L. Each beekeeper shall maintain her beekeeping equipment in good condition, including keeping the hives painted if they have been painted but are peeling or flaking, and securing unused equipment from weather, potential theft or vandalism, and occupancy by swarms. It shall not be a defense to this ordinance that a beekeeper's unused equipment attracted a swarm and that the beekeeper is not intentionally keeping bees.

- (4) Non-Residential Districts and Community Gardens. In zoning districts other than Residential Districts and Community Gardens, all regulations applicable in Residential Districts shall apply except that the number of beehives shall be limited to one for each 600 square feet of lot area.
- (5) Enforcement. The Division of Building & Housing or any authorized City employee shall have the authority to inspect any property to determine compliance with the regulations of Section 505.18 regarding sanitation and nuisances and operational practices in the keeping of bees and shall have the authority to enforce the regulations of that Section as they apply to such matters. If the Division of Building & Housing or any authorized City employee determines that an individual is in violation of the provisions of this section the Director shall issue a violation notice to the individual, noting the nature of the violation(s). If the violation is not corrected within seven days of issuance of the violation notice, the recipient of the notice shall be subject to the following penalties and enforcement actions.
  - A. The penalties as set forth in section 505.18(h); and/or
  - B. The removal, impoundment, and/or destruction of all hives associated with the violation(s) at the expense of the property owner.

Section 3. Section 1121.03 Permitted Accessory Uses, of the Codified Ordinances of the City of Lakewood, is hereby amended to add the following provisions

(l) Bees, and associated hives, provided they comply with the standards of Chapter 505.18.

Section 3. Section 1123.03 Permitted Accessory Uses, of the Codified Ordinances of the City of Lakewood, is hereby amended to add the following provision

(l) Bees, and associated hives, provided they comply with the standards of Chapter 505.18.

Section 4. Section 1127.03 Permitted Accessory Uses, of the Codified Ordinances of the City of Lakewood, is hereby amended to add the following provision

(l) Bees, and associated hives, provided they comply with the standards of Chapter 505.18.



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

August 6, 2020

Planning Commission  
Lakewood City Hall  
12650 Detroit Avenue  
Lakewood, Ohio 44107

**Re: Communication  
Express Parking Spaces**

Dear Members of the Planning Commission:

Review of proposed Resolution 2020-39 directing the Director of Public Safety to designate express parking spaces under certain circumstances as introduced by Councilmembers Bullock and Kepple and referred to the Planning Commission by City Council on July 6, 2020.

Sincerely,

Michelle Nochta, Acting Commission Secretary  
Planner, Planning and Development



12650 DETROIT AVENUE 44107 216/529-6055 FAX 216/226-3650

[www.onelakewood.com](http://www.onelakewood.com)

Lakewood City Council  
DANIEL O'MALLEY, PRESIDENT  
JOHN LITTEN, VICE PRESIDENT

Council at Large  
THOMAS R. BULLOCK III  
TRISTAN RADER  
SARAH KEPPLER

Ward Council  
TESS NEFF, WARD 1  
JASON SHACHNER, WARD 2  
JOHN LITTEN, WARD 3  
DANIEL O'MALLEY, WARD 4

July 6, 2020

Lakewood City Council  
12650 Detroit Avenue  
Lakewood, Ohio 44107

**Re: Permitting curbside express parking as a tool for economic relief for Lakewood businesses**

Dear Colleagues,

To help Lakewood businesses recover from lost business during the coronavirus lockdown; to help them operate successfully as public health restrictions are adjusted to allow operations with social distancing; and to adjust to the "new normal" of retail that increasingly features online shopping, we propose timely consideration of a tool to help businesses who have customers who drop in for a short visits: express parking.

Express parking refers to one or more curb lane parking spots designated for pick up and dropoff use only; 15 minutes or less parking; or short term use otherwise defined.

This is a counterpart to expanded outdoor dining permits (including potential permits for use of a portion of the curb lane). While expanded outdoor dining permits can help food service businesses (and could potentially help retailers, as some have envisioned), they may not be helpful to other categories of business. This proposal is intended to help meet the space and access needs of these additional businesses.

It is appropriate that we challenge decades-long assumptions about Lakewood's use of the curb lane and rethink our approach as shopping, transportation, and business patterns change. All of these have been evolving prior to COVID-19, and the lockdown and social distancing have accelerated this change. We intend for Lakewood to thoughtfully address these changes and set an example of innovation.

We understand the George Administration is analyzing these same matters and may soon develop its own proposal. We welcome those recommendations; the following is a framework resolution intended to get our deliberation started, and we envision using the committee process to amend and improve this initial draft. We nevertheless wanted to get started now since our work on outdoor dining identified this need.

We request a simultaneous referral of this communication and accompanying resolution to the Housing, Planning and Development Committee and the Planning Commission.

Sincerely,

Sarah Kepple  
Council At-Large

Tom Bullock  
Council At-Large

RESOLUTION NO. 2020-39

BY: KEPPLER, BULLOCK

A RESOLUTION to take effect immediately provided it receives the vote of at least two thirds of the members of Council, or otherwise to take effect at the earliest period allowed by law, authorizing and directing the Director of Public Safety to designate express parking spaces under certain circumstances.

WHEREAS, business operations, transportation, and parking patterns have been significantly affected by COVID-19 public health rulings; and

WHEREAS, it is still unknown when a COVID-19 vaccine will be widely available; and

WHEREAS, merchants and business of all kinds in Lakewood have struggled to maintain financial solvency and comply with the Governor's health orders; and

WHEREAS, the City of Lakewood recognizes that Lakewood businesses are critical to the vibrancy of Lakewood and, recognizing that it should work to ensure that our local businesses remain successful and that the public can safely and conveniently patronize them, the City of Lakewood should provide more opportunities for short-term parking; and

WHEREAS, as set forth in Section 2.12 of the Third Amended Charter of the City of Lakewood, this Council by a vote of at least two thirds of its members determines that this resolution is an emergency measure and that it shall take effect immediately, and that it is necessary for the immediate preservation of the public property, health, and safety and to provide for the usual daily operation of municipal departments in that the State of Ohio is under an order of a state of emergency from the Governor and it is imperative to provide assistance to Lakewood's small businesses to help them continue their operations under the orders of the Governor and the Ohio Director of Health and to maintain public safety while doing so; now, therefore

BE IT RESOLVED BY THE CITY OF LAKEWOOD, OHIO:

Section 1. The Director of Public Safety is authorized and directed to designate express parking spaces under the following circumstances:

[Full draft forthcoming.]

Section 2. It is found and determined that all formal actions of this Council concerning and relating to the passage of this resolution were passed in an open meeting of this Council and that all deliberations of this Council and any of its committees that resulted in such actions were in meetings open to the public and in compliance with legal requirements.

Section 3. This resolution is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, property, health, safety and welfare in the City and for the usual daily operation of the City for the reasons set forth and defined in the preamble to this resolution, and provided it receives the affirmative vote of at least two thirds of the members of Council, this resolution shall take effect and be in force immediately upon its adoption by the Council and approval by the Mayor, or otherwise it shall take effect and be in force after the earliest period allowed by law.

Adopted: \_\_\_\_\_

\_\_\_\_\_

President of Council

\_\_\_\_\_

Clerk of Council

Approved: \_\_\_\_\_

\_\_\_\_\_

Mayor



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907  
www.onelakewood.com

August 6, 2020

Planning Commission  
Lakewood City Hall  
12650 Detroit Avenue  
Lakewood, Ohio 44107

**Re: DEDICATION  
Bernice Pyke Park  
1347 St. Charles Avenue**

Dear Members of the Planning Commission:

Review of Resolution 2020-44 dedicating six (6) parcels currently owned by the City of Lakewood, Bernice Pyke Park on August 18th 2020, the 100th anniversary of the passage of the 19th Amendment as introduced by Councilmembers Rader, Shachner, and Neff and referred to the Planning Commission by City Council on July 6, 2020.

Sincerely,

A handwritten signature in cursive script, appearing to read "Michelle Nocht".

Michelle Nocht, Acting Commission Secretary  
Planner, Planning and Development



12650 DETROIT AVENUE 44107 216/529-6055 FAX 216/226-3650

[www.onelakewood.com](http://www.onelakewood.com)

**Lakewood City Council**

**DANIEL O'MALLEY, PRESIDENT**

**JOHN LITTEN, VICE PRESIDENT**

**Council at Large**

THOMAS R. BULLOCK III  
TRISTAN RADER

SARAH KEPPLER

**Ward Council**

TESS NEFF, WARD 1  
JASON SHACHNER, WARD  
2  
JOHN LITTEN, WARD 3  
DANIEL O'MALLEY,  
WARD 4

July 6<sup>th</sup>, 2020

Lakewood City Council  
Lakewood, Ohio

Dear Colleagues,

August 18, 2020, will be an incredibly important day for our nation. This will mark 100 years since the ratification of the 19th Amendment to the Constitution giving women the right to vote. Of course, Lakewood was ahead of the curve, enfranchising women voters in 1917, due to the efforts of many local leaders and activists such as Bernice Pyke.

Ms. Pyke campaigned vigorously and successfully for the passage and ratification of the 19th Amendment. She would soon become among the first elected women in the United States, winning her seat on Lakewood's Board of Education in November 1920. Later, she would run for mayor, serve as the first female member of the Cleveland Mayoral Cabinet, become the first female delegate to the Democratic National Convention, and be among the first women appointed to director-level office in the U.S. Federal Government when Franklin D. Roosevelt appointed her Director of Customs Collection for Ohio.

Ms. Pyke's achievements would be worthy of respect and honor if accomplished today. However, to have achieved so much at a time when society was much less accepting of women in public life is nothing short of remarkable, deserving of a permanent and prominent place of remembrance in our community.

Thus, as a timely tribute to this Lakewood icon, we present the following resolution dedicating the space today known informally as St. Charles Green as Bernice Pyke Park on the 100<sup>th</sup> anniversary of the Ratification of the 19<sup>th</sup> Amendment.

Further, several meetings have occurred over the last few years to seek resident input as to what should happen with this city-owned space. This feedback was clear, residents want this space preserved as a park. Council appropriated funds for improvements to make the green space a more welcoming and useable space. And now that these improvements are made, we assert that this would be an appropriate

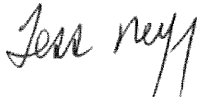
time to dedicate this space, preserving it for generations to come, and in remembrance of a true Lakewood heroine, Bernice Pyke.

Attached to this communication you will find a sheet containing community feedback collected regarding the future use of the space, along with an image of the space to be dedicated.

Please, refer the attached resolution along with the communication to both the Public Works and Sustainability Committee and the Planning Commission.



Jason Shachner  
Ward 2



Tess Neff  
Ward 1



Tristan Rader  
Council At-Large

RESOLUTION NO. 2020-44

BY:

A RESOLUTION to take effect immediately provided it receives the affirmative vote of at least two-thirds of the members of Council, or otherwise to take effect and be in force after the earliest period allowed by law, dedicating six (6) parcels (Exhibit A) currently owned by the City of Lakewood, Bernice Pyke Park on August 18th 2020, the 100th anniversary of the passage of the 19th Amendment.

WHEREAS, the City of Lakewood recognizes the glass-ceiling-shattering achievements of Lakewood women's rights activist Bernice Pyke for her work to secure the vote for Lakewood women and her perseverance in helping to pass and ratify the 19th Amendment which proclaimed the right to vote of women citizens throughout the United States and;

WHEREAS, Bernice Pyke was the first woman to run for Mayor of Lakewood, and;

WHEREAS, In 1920, Bernice Pyke was the first woman appointed to serve as a delegate to the Democratic National Convention. Additionally, party leaders invited Ms. Pyke to address the 1932 National Convention, at which she became the first woman to give a formal speech in the conventions' history and;

WHEREAS, Later President Franklin D. Roosevelt appointed Ms. Pyke a Director of Customs Collection for Ohio. Because of her dedication and the significance of her achievements, both Presidents Truman and Eisenhower issued executive orders waiving the mandatory retirement age specifically for Ms. Pyke, allowing her to continue her public service for many years and;

WHEREAS, Ms. Pyke's career would be an impressive accomplishment in the 21st century, however, to have achieved so much in a time when society was less accepting of women in public life, is nothing short of a monumental feat, deserving of a permanent and prominent place of remembrance in our community and;

WHEREAS, Members of Council have conducted outreach to area residents to seek resident input as to what should happen with this city-owned space. The feedback from residents was clear, they want this space preserved as a park and;

WHEREAS, as set forth in Section 2.12 of the Third Amended Charter of the City of Lakewood, this Council by a vote of at least two-thirds of its members determines that this resolution is an emergency measure and that it shall take effect immediately, and that it is necessary for the immediate preservation of the public property, health, and safety and to provide for the usual daily operation of municipal departments, therefore

BE IT RESOLVED BY THE CITY OF LAKEWOOD:

Section 1. That the land as described in Exhibit A be dedicated as and henceforth known as Bernice Pyke Park.

Section 2. That August 18th, 2020, the 100th anniversary of the ratification of the 19th Amendment to the Constitution of the United States, giving women the vote, be recognized and celebrated as the dedication day of Bernice Pyke Park.

Section 3. That the name Bernice Pyke Park be added to all records maintained by the City of Lakewood where city parks are listed, including but not limited to the city's website, policy documentation that governs park hours of operation as well as other city park rules.

Section 4. That Bernice Pyke Park allow dogs only when on leash.

Adopted: \_\_\_\_\_

\_\_\_\_\_  
PRESIDENT

\_\_\_\_\_  
CLERK

Approved: \_\_\_\_\_

\_\_\_\_\_  
MAYOR

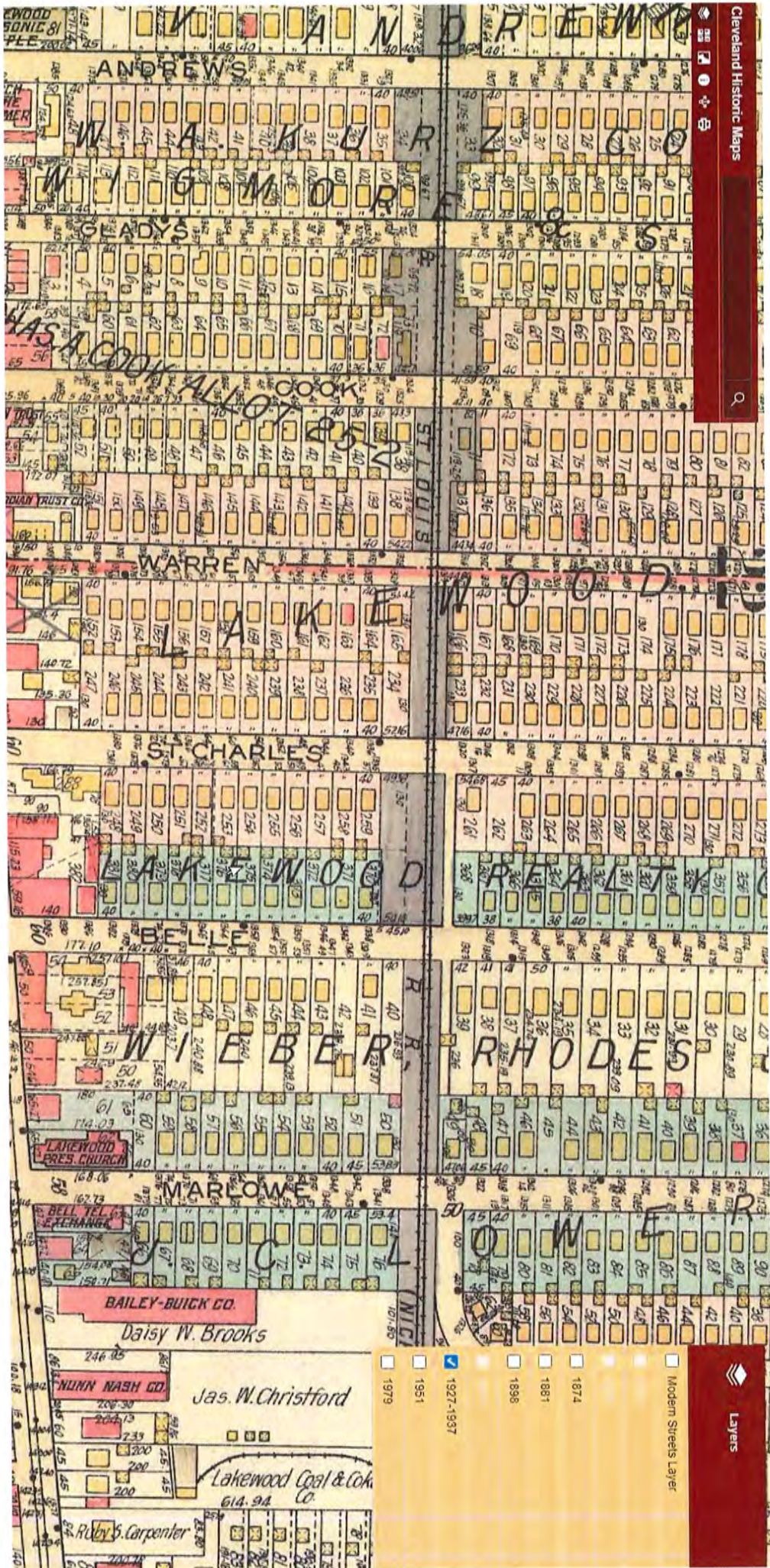
**EXHIBIT A**

(to be provided)



Modern Streets Layer

- 1874
- 1881
- 1898
- 1927-1937
- 1951
- 1979



BAILEY-BUICK CO.  
Daisy W. Brooks

Jas. W. Christford

Lakewood Coal & Coke  
614.94

Ruby S. Carpenter

LAKESIDE PRES. CHURCH

BELL TEL. EXCHANGE

MARLOWE

WIEBER

BELLE

WILSON

WILSON

WILSON

WILSON

ST. CHARLES

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

WILSON

V. 259 P. 87  
# 316085  
8/10/92

RECEIVED FOR RECORD  
RECORDED IN COLUMBIANA COUNTY RECORDS  
Sept 11, 1991  
File # 136394  
Vol. 43, 20  
Pg. 20  
COUNTY RECORDS

RECEIVED FOR RECORD  
RECORDED IN COLUMBIANA COUNTY RECORDS  
8-10-92  
File # 21085  
Vol. 43, 20  
Pg. 20  
COUNTY RECORDS

**ACCEPTANCE**

WE THE UNDERSIGNED OWNERS OF THE LAND SHOWN HEREON DO HEREBY ACCEPT THIS PLAN AND RESUBDIVISION OF SAME.

FOR - CITY OF LAKEWOOD

*[Signature]*  
MAYOR

CUYAHOGA COUNTY } S.S.  
STATE OF OHIO }  
BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY APPEARED THE ABOVE SIGNED:

*[Signature]*  
MAYOR

WHO ACKNOWLEDGE THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THE SAME WAS THEIR FREE ACT AND DEED, OFFICIALS AT THE TIME HEREIN TO SET MY HAND AND DAY OF SEP 11 1991 19 91

NOTARY PUBLIC  
WY COMM. EXPIRES 5-13-96

**CERTIFICATION**

DISTANCES ARE GIVEN IN FEET AND DECIMALS THEREOF. DISTANCES ARE TO BE CORRECT TO THE CENTER OF GRAVITY OF THE PLAT.

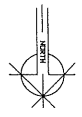
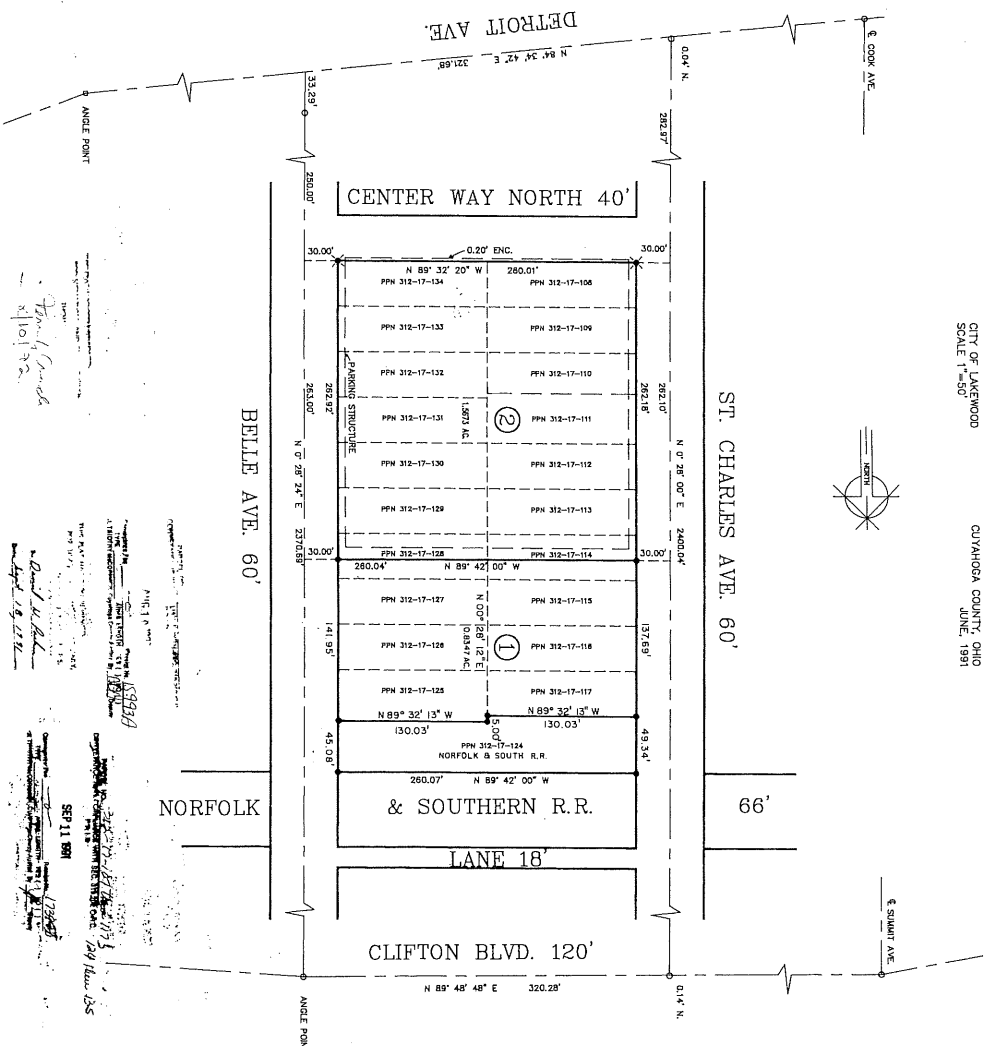
WILLIAM J. HAAS P.S. #4793



**RESUBDIVISION**

**FOR THE CITY OF LAKEWOOD**

BEING SUBLOTS 369 THRU 379 IN THE LAKEWOOD REALTY COMPANY SUBDIVISION NO. 1 RECORD VOL. 26 PG. 26 C.C.M.R. AND SUBLOTS 250 THRU 260 IN THE LAKEWOOD REALTY COMPANY'S LAKEWOOD PARK SUBDIVISION RECORD VOL. 27 PG. 26 C.C.M.R. OF PART OF ORIGINAL ROCKPORT TOWNSHIP SECTION NO. 22 NOW IN THE CITY OF LAKEWOOD  
CITY OF LAKEWOOD CUYAHOGA COUNTY, OHIO  
SCALE 1"=50'



**APPROVALS**

THIS PLAT APPROVED BY THE PLANNING COMMISSION OF THE CITY OF LAKEWOOD, THIS 26th DAY OF August, 1991.

*[Signature]*  
CHAIRMAN

*[Signature]*  
SECRETARY

THIS PLAT APPROVED BY THE COUNCIL OF THE CITY OF LAKEWOOD, THIS 26th DAY OF August, 1991.

*[Signature]*  
CLERK OF COUNCIL

THIS PLAT APPROVED BY THE ENGINEER OF THE CITY OF LAKEWOOD, THIS 26th DAY OF August, 1991.

*[Signature]*  
ENGINEER

PPM 312-17-107 thru 117 and 124 thru 135

ST. CHARLES AVE. 60'

N 0°28'00" E 469.27'

N 0°28'00" E

282.00'

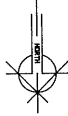
S 89°32'00" E 320.00'

CENTER WAY NORTH 40'

S 89°32'00" E 260.00'

FIRE STATION SITE  
CITY OF LAKEWOOD, OHIO

SCALE 1"=20'



EXISTING PARKING GARAGE

S 89°32'00" E 260.00'

282.00'

N 0°28'00" E

BELLE AVE. 60'

N 0°28'00" E 474.19'

148.00'

49.26'

130.00'

S 89°32'00" E

23.10'

S 89°32'00" E

130.00'

153.00'

45.10'

S 89°41'47" E 260.00'

NORFOLK & WESTERN R.R. 66'

BELLE AVE

N 0° 27' 00" E 187.03'

Site Visit of North Garage  
on 5 March 16, 1972

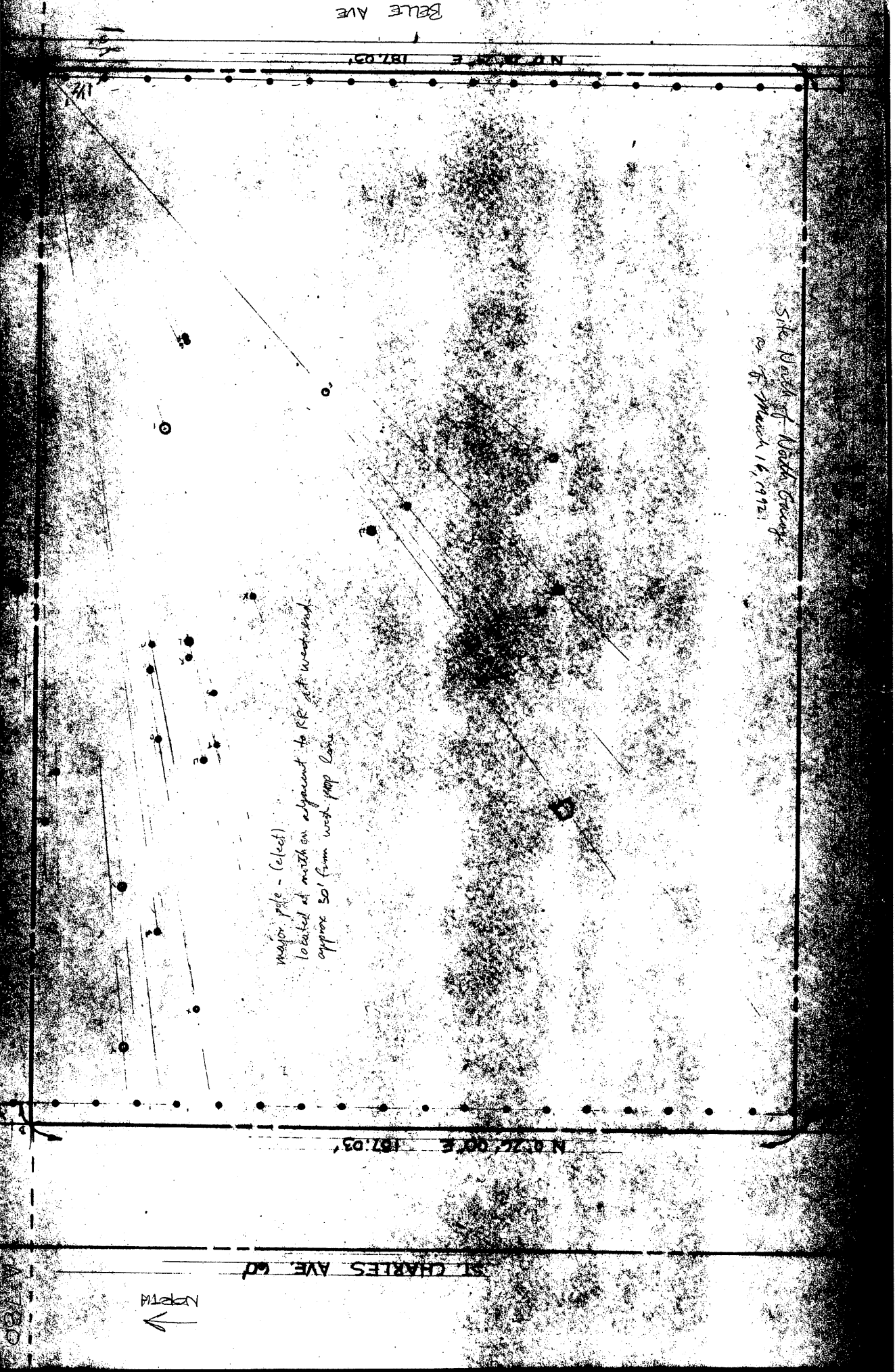
major pile - (elect)  
located at north on adjacent to RR at west end  
approx 30' from west property line

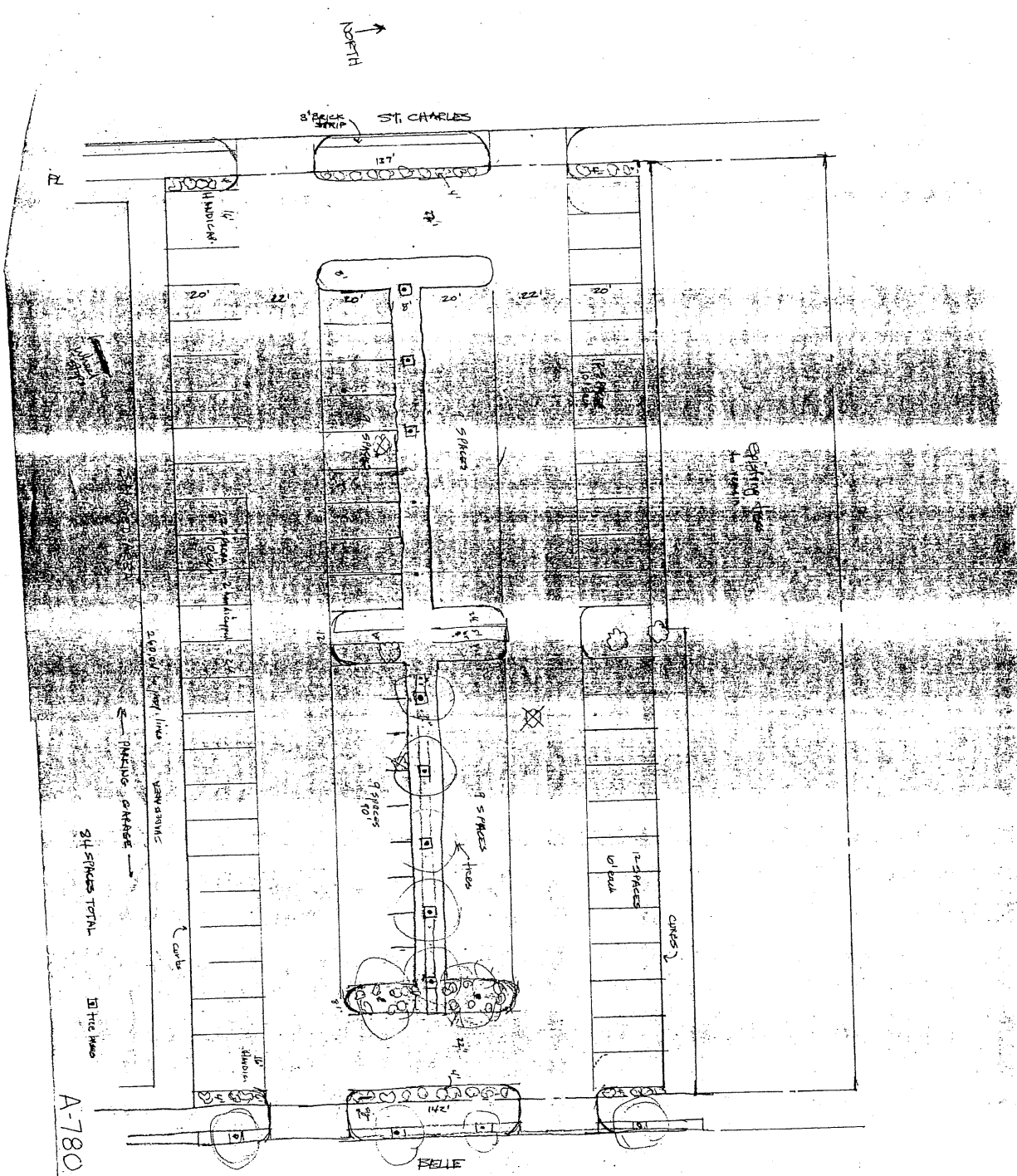
N 0° 27' 00" E 187.03'

ST CHARLES AVE 60'

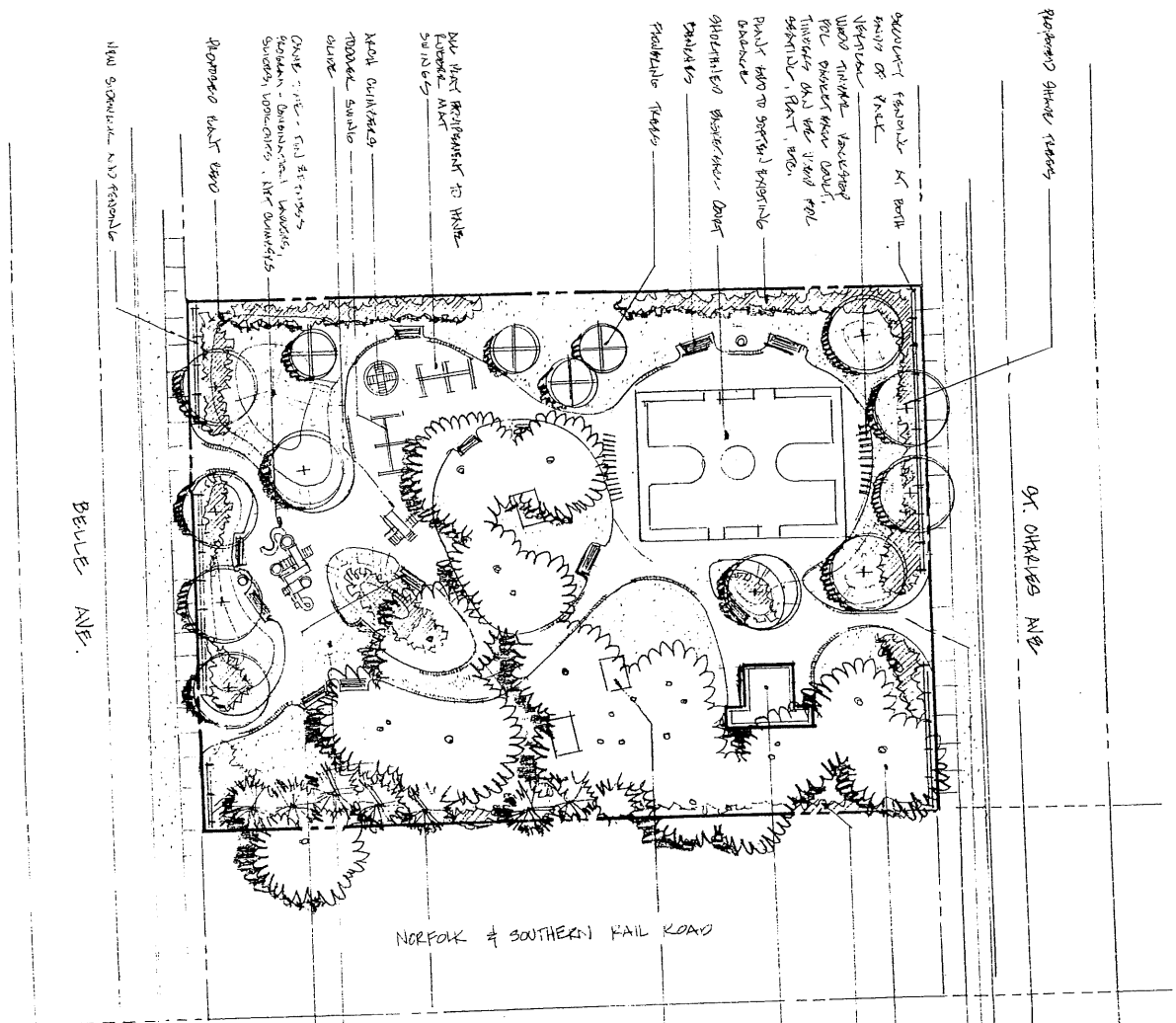


780





A-780



SECRET SERVICE CONCERN

OR CHARLES AVE

SECURITY ESCAPE AT BOTH  
ENDS OF TRACK

VEGETATION  
WOOD TRUNKS PLANTED  
FOR PROTECT FROM BALLS,  
TWO FEET DIA. THE 1/2" DIA. FOR  
SPECIAL, BALL, ETC.

PLANT HARD TO SPECIAL ESCAPE  
BARRIERS  
SPECIALIZED BARRIERS - CONCRETE

BARBERS

PROTECTIVE TANKS

NO. 1000 REQUIREMENT TO HAVE  
ELECTRICITY AT  
SUNSETS

WOOD CHAIRS

WOODEN STAIRS

CONCRETE - FOR STAIRS,  
SPECIAL BARRIERS, BARRIERS,  
SPECIAL BARRIERS, SPECIAL BARRIERS

PROTECTIVE TANKS

NEW SIDEWALK AND FENCE

NEW CONCRETE BARRIERS

WOODEN STAIRS TO FURNISH  
WOODEN STAIRS TO FURNISH  
WOODEN STAIRS TO FURNISH

WOODEN STAIRS TO FURNISH

WOODEN STAIRS TO FURNISH

WOODEN STAIRS TO FURNISH  
WOODEN STAIRS TO FURNISH

WOODEN STAIRS TO FURNISH

WOODEN STAIRS TO FURNISH  
WOODEN STAIRS TO FURNISH

NORFOLK & SOUTHERN RAIL ROAD

ACCESS LANE

BELLE AVE.

SCALE 1"=20'-0"



SUBJECT STUDY  
PROPOSED BELLE AVE. PARK

STEP 3

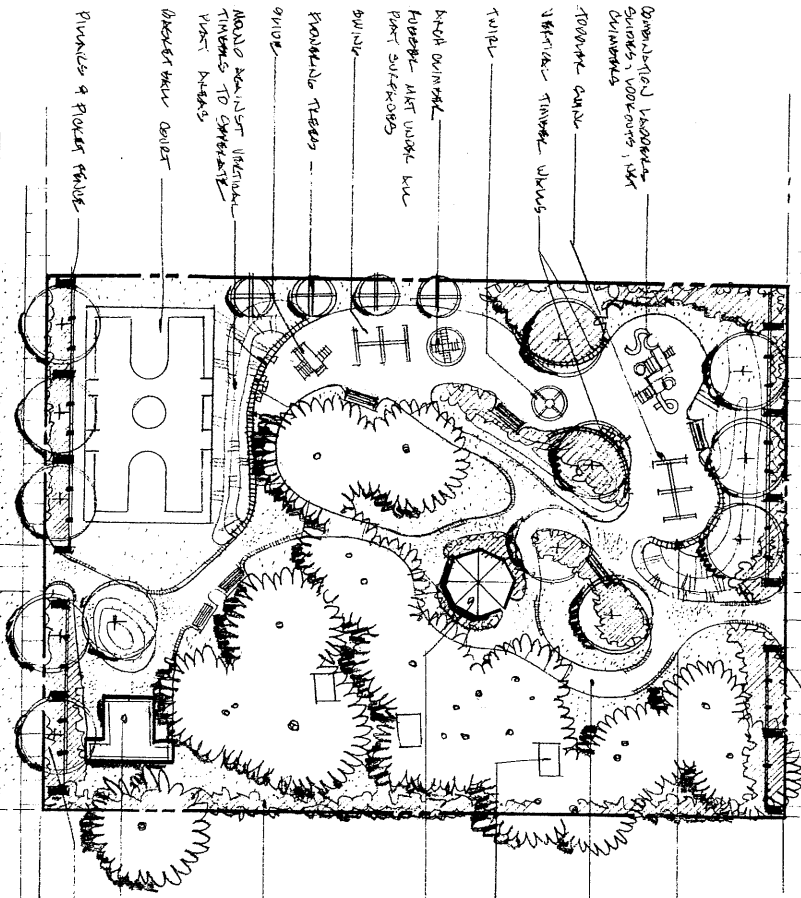
BELLE AVENUE, LAKENWOOD, OHIO

AUGUST 1991

PREPARED BY ARCHITECTS

A-780

ST CHARLES AVE.

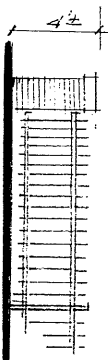


BELLE AVE.

NORFOLK & SOUTHERN RAIL ROAD

ACCESS LANE

BLACK PINE / 100 PINE / 100 PINE / 100 PINE



WOOD TOWER - 100 PINE 30' x 22'

WOOD TOWER - 100 PINE 30' x 22'

WOOD TOWER - 100 PINE 30' x 22'

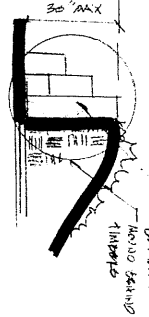
WOOD TOWER - 100 PINE 30' x 22'

WOOD TOWER - 100 PINE 30' x 22'

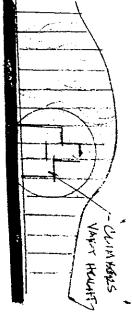
WOOD TOWER - 100 PINE 30' x 22'

WOOD TOWER - 100 PINE 30' x 22'

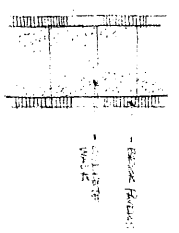
WOOD TOWER - 100 PINE 30' x 22'



WOOD TOWER - 100 PINE 30' x 22'



WOOD TOWER - 100 PINE 30' x 22'



WOOD TOWER - 100 PINE 30' x 22'

PROPOSED BELLE AVE. PARK

SCENIC STUDY

21.2

BELLE ALABAMA WOODWOOD PHO

AUGUST 1991

CONCEPTS FOR BELLE AVE. PARK

SCALE 1/8" = 1'-0"



Planned Spine/Leaves

ST. CHARLES AVE

Planned facade of both  
sides of park

Vertical  
wood trunks, faceted  
pole, sheet metal, wood,  
timber and the wood pole  
sections, flat, etc.

Paint had to sport's  
barrier

Showered  
barrier

Paints

Plastic  
fence

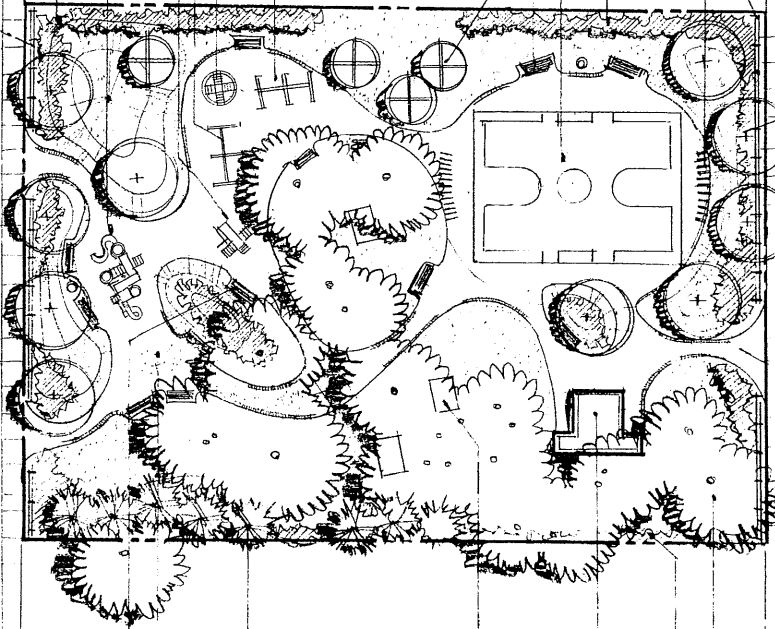
New  
Landscape  
Paint

Wood  
panels

One  
section -  
wood, stone,  
panels, wood, etc.

Planned  
barrier

New  
Landscape  
Paint



NORFOLK & SOUTHERN RAIL ROAD

ACCESS LANE

New University Avenue

Planned trees to park

Wood panel  
barrier  
wood, stone,  
panels, wood, etc.

Planned  
barrier

Planned  
barrier

Planned  
barrier

One  
section -  
wood, stone,  
panels, wood, etc.

BELLE AVE

Scale 1"=30'-0"



SKETCH STUDY  
ROBBED BELLE AVE. PARK

BELLE AVENUE, LAKEWOOD, OHIO

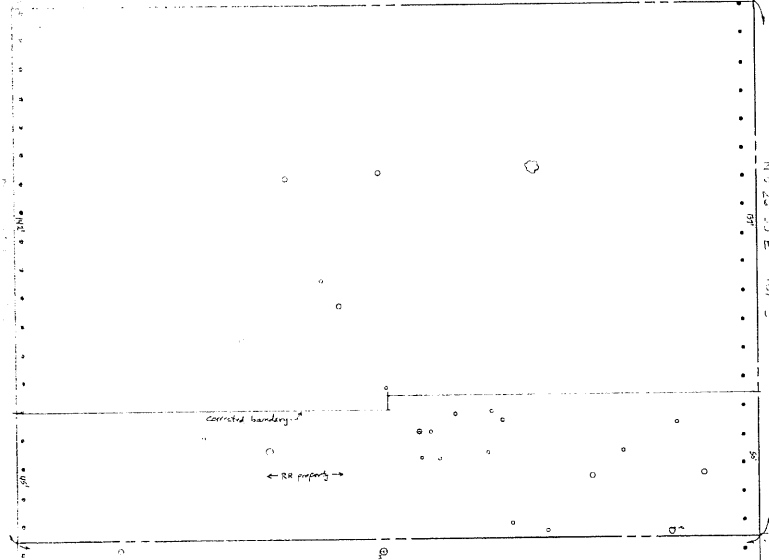
AUGUST 1991

GEORGE O. DAVENPORT & ASSOCIATES  
# 9153

780

ENCLOSURE

110' 0" W 200' 0"



110' 0" W 200' 0"

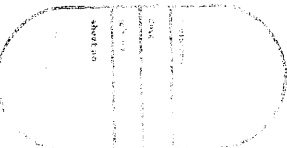
NORTHERN RAIL ROAD 60'

110' 0" W 150' 0"

ST CHARLES AVE 60'

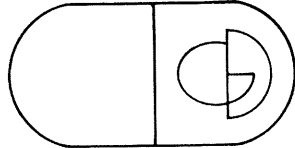


A-780

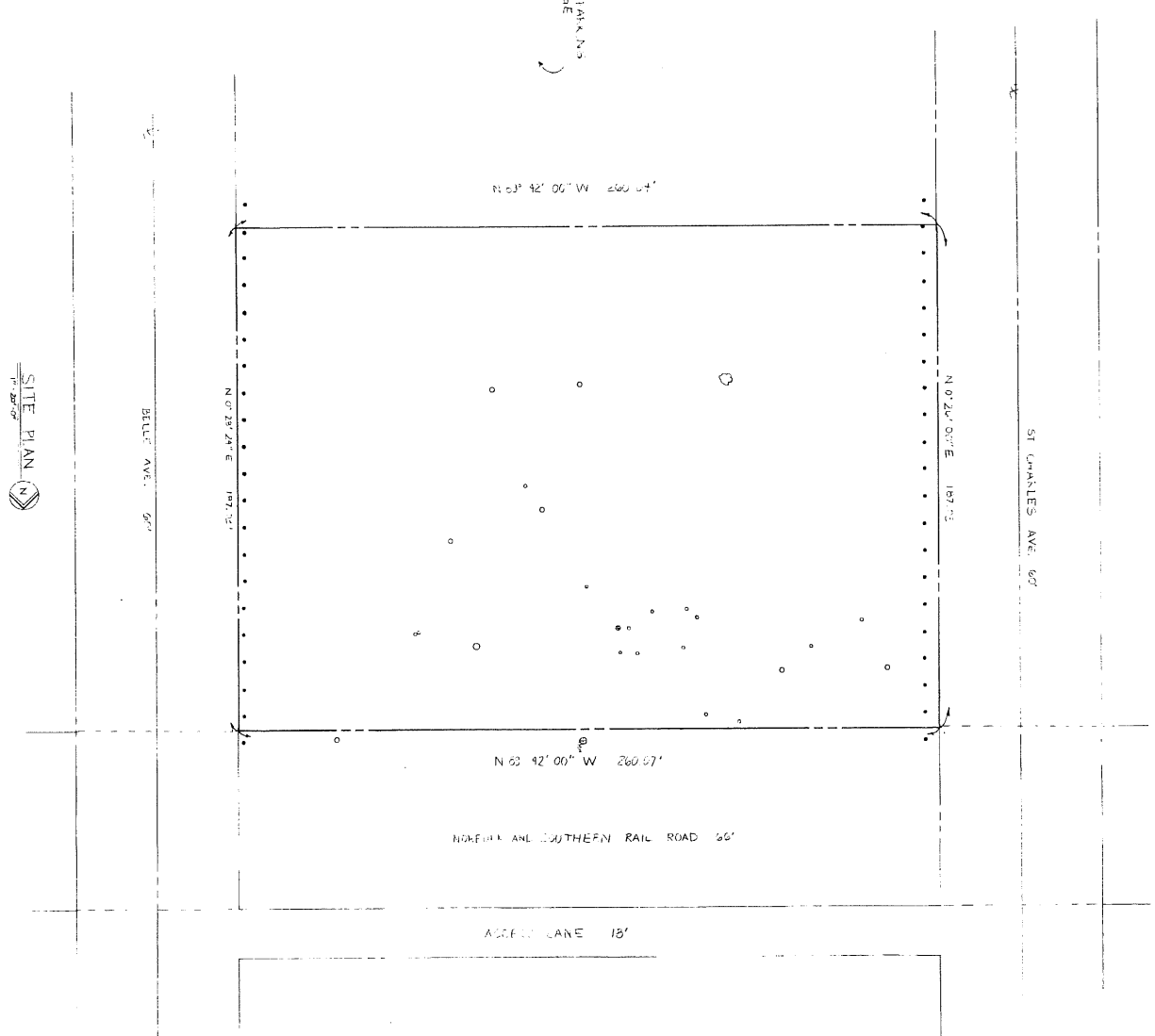


**PROPOSED BELLE AVE. PARK**  
BELLE AVENUE LAKEWOOD, OHIO

**Drager & Assoc., Inc. architects & engineers**  
517 Detroit Avenue • Lakewood, Ohio 44107 216-521-5134



END TRIP - PARKING  
SCHEDULE

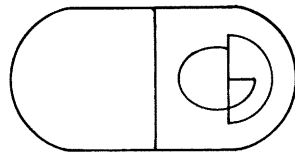


SITE PLAN  
1/25/07

revision	
date	7-27-11
job no.	
sheet no.	SL-1

**PROPOSED BELLE AVE. PARK**  
BELLE AVENUE LAKEWOOD, OHIO

George L. Draeger & Assoc., Inc. architects & engineers  
15517 Detroit Avenue • Lakewood, Ohio 44107 216-521-5134



A-780

PPN 312-17-136  
 Received from record  
 Recorded in Cuyahoga  
 County Public Records  
 Vol. 43200 Pg. 20  
 Date 11/11/1991  
 PPN 312-17-137  
 Vol. 43200 Pg. 20  
 Date 11/11/1991  
 PPN 312-17-138  
 Vol. 43200 Pg. 20  
 Date 11/11/1991  
 PPN 312-17-139  
 Vol. 43200 Pg. 20  
 Date 11/11/1991  
 PPN 312-17-140  
 Vol. 43200 Pg. 20  
 Date 11/11/1991

ACCEPTANCE

WE THE UNDERSIGNED OWNERS OF THE LAND SHOWN HEREON DO HEREBY ACCEPT THIS PLAT AND RESUBDIVISION OF SAME.

FOR - CITY OF LAKEWOOD  
 Mayor

CUYAHOGA COUNTY } S.S.  
 STATE OF OHIO }  
 BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE SIGNED:  
 FOR - CITY OF LAKEWOOD  
 Mayor

WHO ACKNOWLEDGE THAT THEY DID SIGN THE FOREGOING INSTRUMENT AND THE SAME WAS THEIR FREE ACT AND DEED IN WITNESS WHEREOF I HAVE HERETO SET MY HAND AND OFFICIAL SEAL AT Lakewood, OHIO THIS 11th DAY OF November, 1991.

Notary Public  
 My Comm. Expires 5-15-96  
 William J. Franks P.S. #4793

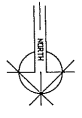
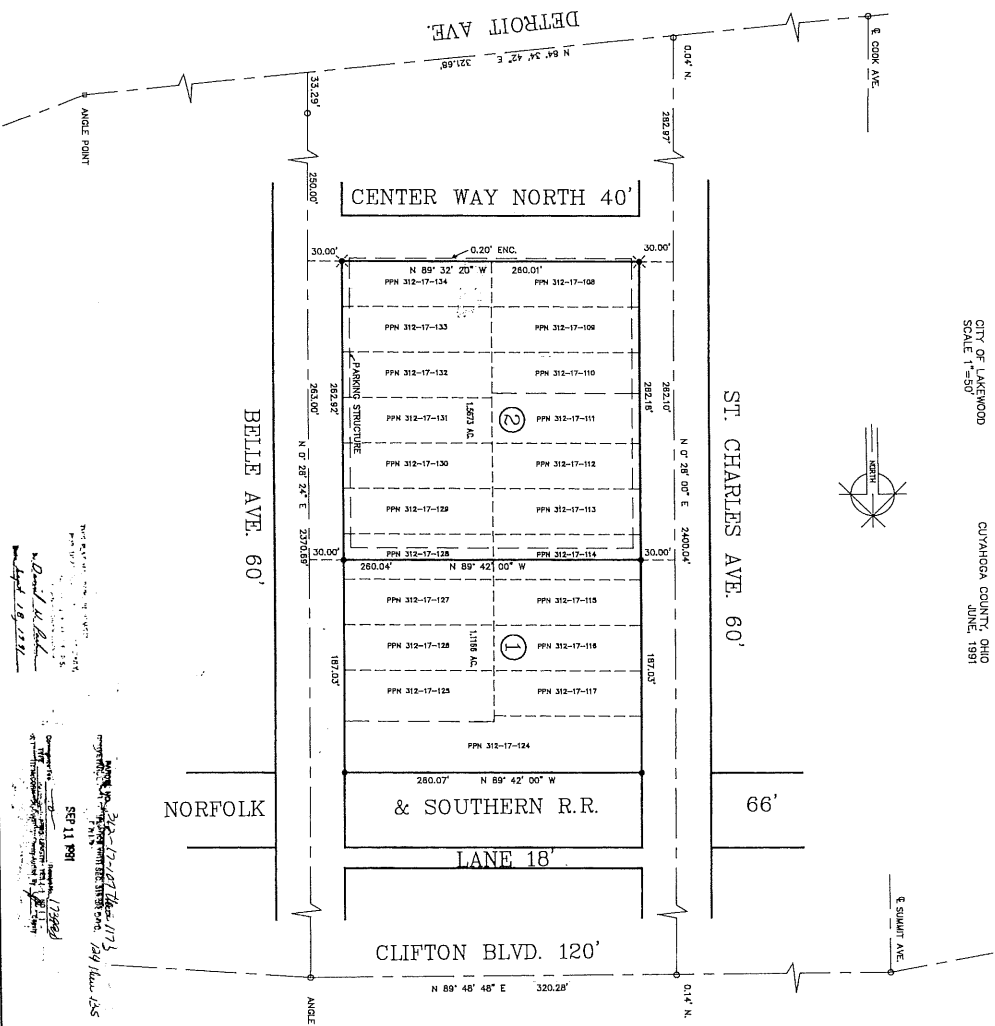
CERTIFICATION

DISTANCES ARE SHOWN IN FEET AND DECIMALS. IRON PINS ARE SET AT ALL POINTS SHOWN THUS ALL OF WHICH I CERTIFY TO BE CORRECT.



RESUBDIVISION FOR THE CITY OF LAKEWOOD

BEING SUBLOTS 368 THRU 378 IN THE LAKEWOOD REALTY COMPANY SUBDIVISION NO. 1 RECORD VOL. 23 PG. 26 C.C.M.R. AND SUBLOTS 250 THRU 260 IN THE LAKEWOOD REALTY COMPANY'S LAKEWOOD PARK SUBDIVISION RECORD VOL. 27 PG. 26 C.C.M.R. OF PART OF ORIGINAL LOT 100T TOWNSHIP SECTION NO. 22 2ND IN THE...  
 CITY OF LAKEWOOD  
 SCALE 1"=50'  
 CUYAHOGA COUNTY, OHIO  
 JUNE, 1991



APPROVALS

THIS PLAT APPROVED BY THE PLANNING COMMISSION OF THE CITY OF LAKEWOOD, THIS 24th DAY OF August, 1991.  
 Chairman  
 Secretary

THIS PLAT APPROVED BY THE ENGINEER OF THE CITY OF LAKEWOOD, THIS 24th DAY OF August, 1991.  
 Clerk of Council  
 Engineer

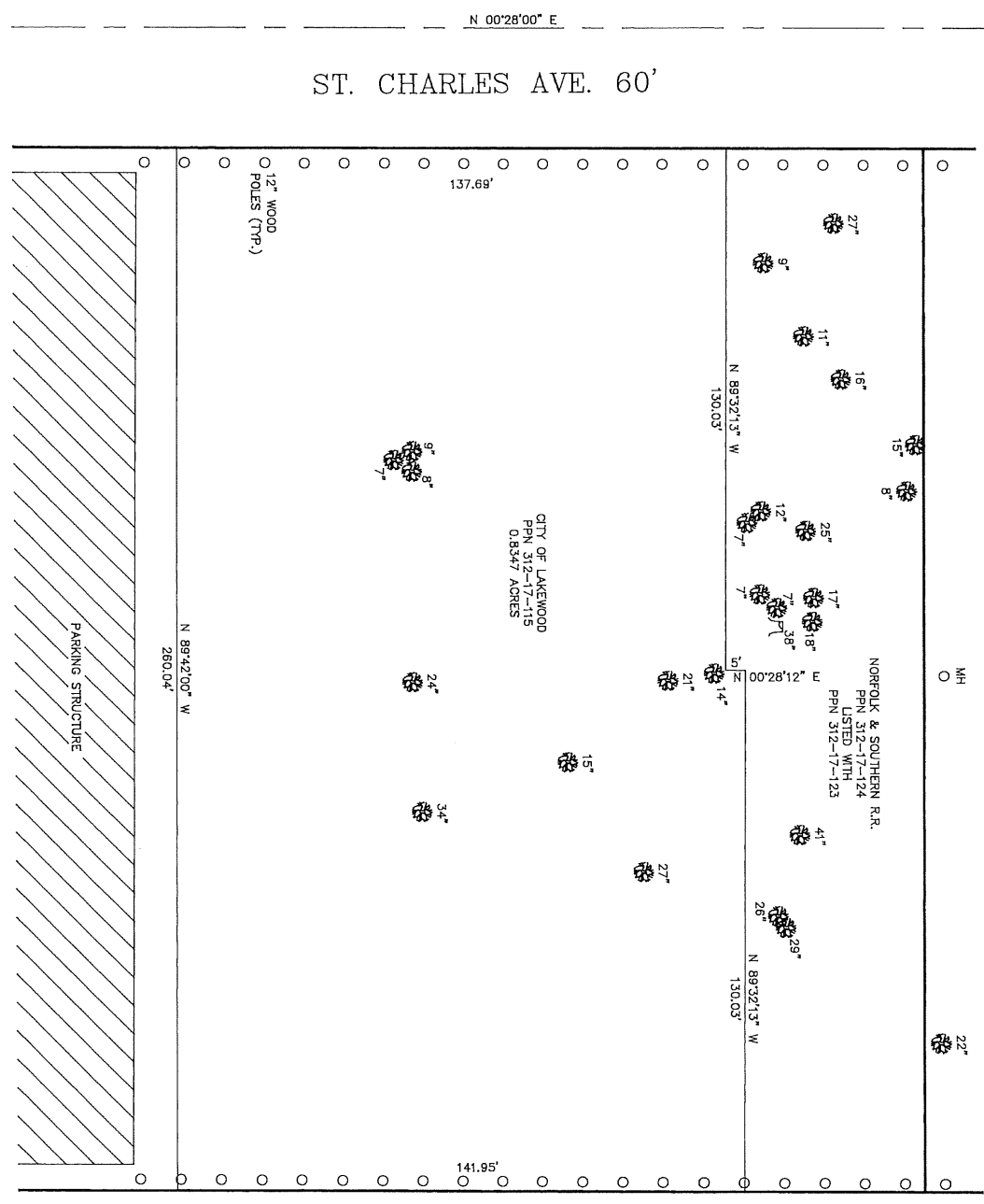
SEP 11 1991  
 17398d  
 124 1/2" x 17 1/2"

- = I PIN FD.
- = STAKE FD.
- ✗ = OIL SET

PROFESSIONAL AUDITOR  
 WILLIAM J. FRANKS NO. 17398d  
 124 1/2" x 17 1/2"

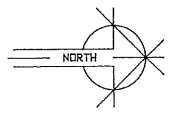
PPR 312-17-107 thru 117 and 124 thru 135

NORFOLK & SOUTHERN R. R. 66'



ST. CHARLES AVE. 60'

BELLE AVE. 60'



CITY OF LAKEWOOD, OHIO  
 DIVISION OF ENGINEERING  
**ST. CHARLES & BELLE**  
 EXISTING SITE PLAN

DATE: 3-17-92  
 SCALE: 1"=20'  
 DRAWN BY: J.F.O.  
 CHECKED BY:

APPROVED \_\_\_\_\_  
 ACTING CITY ENGINEER  
 M-1992 BELLE.DWG

A-792

# CITY OF LAKEWOOD

## DEPARTMENT OF PUBLIC WORKS

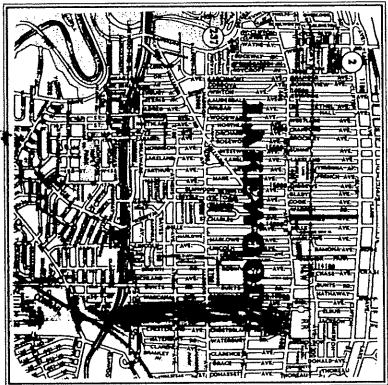
### DIVISION OF ENGINEERING

# ST. CHARLES AVENUE SANITARY SEWER

DAVID R. HARBARGER - MAYOR  
 DAVID J. COYLE - DIRECTOR OF PUBLIC WORKS  
 SHUKRI O. SHARABI, P.E. - CITY ENGINEER

COUNCIL MEMBERS

AT LARGE - JOANN BOSCIA - PRESIDENT  
 AT LARGE - BRYAN FLANNERY  
 AT LARGE - PAMELA J. SMITH  
 WARD 1 - JOSEPH P. GIBBONS  
 WARD 2 - THOMAS J. GEORGE  
 WARD 3 - ROBERT M. SEJLIE - VICE PRESIDENT  
 WARD 4 - NANCY J. ROTH



LOCATION MAP  
 No Scale

PROJECT  
 SITE



*Kenneth A. Trepak*  
 KENNETH A. TREPAK P.E. No. 31871

Prepared by  
**WR** Western Reserve  
 Engineering &  
 Surveying Co.  
 DIVISION OF W.E.S. CORPORATION  
 800 Dahl Road / Suite 1000 / Denver, CO 80202  
 APRIL, 1994

INDEX OF SHEETS

SHEET	DESCRIPTION
1	Title Sheet
2	General Notes And Legend
3	Typical Pavement And Sewer Sections And Connection Plan
4	St. Charles Ave. Plan & Profile Sta. 0+00 - 5+00
5	St. Charles Ave. Plan & Profile Sta. 5+00 - 10+00
6	St. Charles Ave. Plan & Profile Sta. 10+00 - 15+00
7	St. Charles Ave. Plan & Profile Sta. 15+00 - 20+00
8	St. Charles Ave. Plan & Profile Sta. 20+00 - 24+00
9	Standard Details
10	

UTILITIES

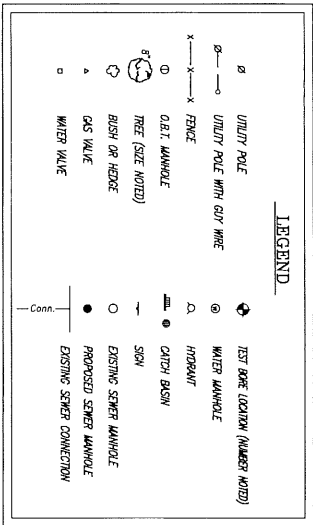
UTILITY	SENT BY	REVISED	APPROVED
C.E.I.	5-9-94	J.J.F.	
E.O.G.	5-9-94	J.J.F.	
AMER.	5-9-94	J.J.F.	

2 WORKING DAYS  
 BEFORE YOU DIG  
 CALL TOLL FREE 800-362-2784  
 FOR THE FREE INFORMATION GUIDE

DRAWING NO. A-3688 SHEET 1 OF 10

# GENERAL NOTES

1. THE CONTRACTOR SHALL CONTACT THE UTILITIES PROTECTION SERVICE 48 HOURS PRIOR TO STARTING THE JOB. PHONE: 800-362-2764.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND A CITY OF LAKEWOOD STREET OPENING PERMIT BEFORE BEGINNING WORK WITHIN THE RIGHT-OF-WAY. HE SHALL PROVIDE TWO-WAY TRAFFIC IN ACCORDANCE WITH THE OMTCD, AT ALL TIMES AND SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC., AS REQUIRED BY THE CITY.
3. ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SEWERS ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE ORDINANCE OF THE CITY OF LAKEWOOD, WHERE CONFLICTS OCCUR IN THE ABOVE, THE ENGINEER OF THE CITY OF LAKEWOOD SHALL DETERMINE THE GOVERNING AUTHORITY.
4. ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS AND/OR WORKMANSHIP, SHALL BE REPAIRED OR CORRECTED BY REMOVAL AND REPLACEMENT, OR OTHER APPROVED METHODS, PRIOR TO ACCEPTANCE BY THE CITY WITHOUT ANY EXTRA COST.
5. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS WHERE UNDERGROUND CONSTRUCTION DEVIATES FROM THE PLANS.
6. THE LOCATION OF UTILITIES AND STRUCTURES, BOTH SURFACE AND SUBSURFACE, ARE SHOWN ON THE PLANS FROM DATA AVAILABLE AT THE TIME OF SURVEY AND IS NOT NECESSARILY COMPLETE OR CORRECT. DURING CONSTRUCTION THE CONTRACTOR SHALL USE DUE DILIGENCE IN PROTECTING THESE FROM DAMAGE. ALL EXISTING UTILITIES AND STRUCTURES DAMAGED DURING CONSTRUCTION, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE REPAIRED OR RESTORED BY THE CONTRACTOR IN ACCORDANCE WITH THE DIRECTION OF THE CITY ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
7. ALL WATER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LAKEWOOD WATER DEPARTMENT STANDARDS.
8. WHEN A WATER SERVICE CONNECTION IS BROKEN DURING EXCAVATION, THE CONTRACTOR SHALL REPLACE THE CONNECTION WITH ALL NEW ONE INCH COPPER MATERIAL FROM THE CORPORATION SHUT OFF AT THE MAIN TO THE CURB SHUT OFF BOX. THE COST OF THIS WORK SHALL BE INCLUDED WITH OTHER BID ITEMS AND NO FURTHER COMPENSATION WILL BE ALLOWED.
9. ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR GRADING AND PAVING ON THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND THE ORDINANCE OF THE CITY OF LAKEWOOD, WHERE CONFLICTS OCCUR IN THE ABOVE, THE ENGINEER OF THE CITY OF LAKEWOOD SHALL DETERMINE THE GOVERNING AUTHORITY.
10. ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT WHICH MAY CAUSE SETTLEMENT SHALL BE BACKFILLED WITH PREMIUM BACKFILL PERMITTED.
11. ALL WORK IS SUBJECT TO THE DIRECT INSPECTION OF THE CITY ENGINEER OF LAKEWOOD OR HIS DUTY AUTHORIZED REPRESENTATIVE.
12. ALL NEW SEWERS AND MANHOLES WITHIN THE PROJECT AREA MUST BE CLEANED AND VIDEOED PRIOR TO ACCEPTANCE. SANITARY SEWERS MUST ALSO BE AIR TESTED AND DEFLECTION TESTED.
13. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING ON THE SITE. ALL EXCAVATIONS SHALL BE FILLED OR PLATED AT THE END OF THE WORKING DAY.
14. SANITARY SEWER PIPE AND FITTINGS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE (PVC) A.S.T.M. D-3034 SDR 35 OR A.S.T.M. F-949. ALL JOINTS SHALL BE PREMIUM CONFORMING TO A.S.T.M. D-3212.
15. THE SIZE OF THE PIPE AND FITTING FOR THE STORM OR SANITARY CONNECTIONS SHALL BE 6 INCHES. ALL CONNECTION MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE AND FITTINGS, A.S.T.M. D-3034 SDR-35 WITH PREMIUM JOINTS A.S.T.M. D-3212, OR APPROVED EQUAL, INSTALLED AT A MINIMUM GRADE OF 1.00%.
16. ALL SEWER MAINS AND CONNECTIONS SHALL HAVE A BEDDING AND COVER SHOWN ON THE TRENCH DETAIL.
17. THE LINE AND GRADE OF SEWER MAINS SHALL BE CONTROLLED DURING THE SEWER CONSTRUCTION BY USE OF AN APPROVED LASER DEVICE AND THE CONTRACTOR WILL PROVIDE SUCH LASER DEVICE WITHOUT ANY EXTRA COST.
18. ALL MANHOLES SHALL BE SET TO GRADE BY THE CONTRACTOR AND THE FINAL INSPECTION, APPROVAL AND ACCEPTANCE OF THE SEWER SYSTEM BY THE CITY OF LAKEWOOD ENGINEERING DEPARTMENT SHALL BE CONTINGENT UPON THE FINAL ADJUSTMENT OF THE CASTINGS.
19. WHERE THE PLANS PROVIDE FOR PROPOSED SEWER AND SEWER CONNECTION AND/OR CONDUIT TO BE CONNECTED TO OR CROSS EITHER OVER OR UNDER AN EXISTING UTILITY, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE EXISTING UTILITY BOTH AS TO LINE AND GRADE, BEFORE HE STARTS TO LAY THE PROPOSED CONDUIT. THERE WILL BE NO EXTRA PAYMENT FOR ABOVE WORK.
20. ALL MANHOLES SHALL BE PRECAST CONCRETE MANUFACTURED IN CONFORMANCE WITH A.S.T.M. C-478. MANHOLES SHALL HAVE "O" RING JOINTS AND WATERIGHT CASKETS OPENINGS FOR THE SEWER PIPE.
21. THE CONTRACTOR SHALL CONTINUE HIS ACTIVITIES TO THE EXISTING RIGHT-OF-WAYS AND EASEMENT AREAS AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
22. ALL DISTURBED AREAS SHALL BE SEEDED IN ACCORDANCE WITH THE OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
23. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.



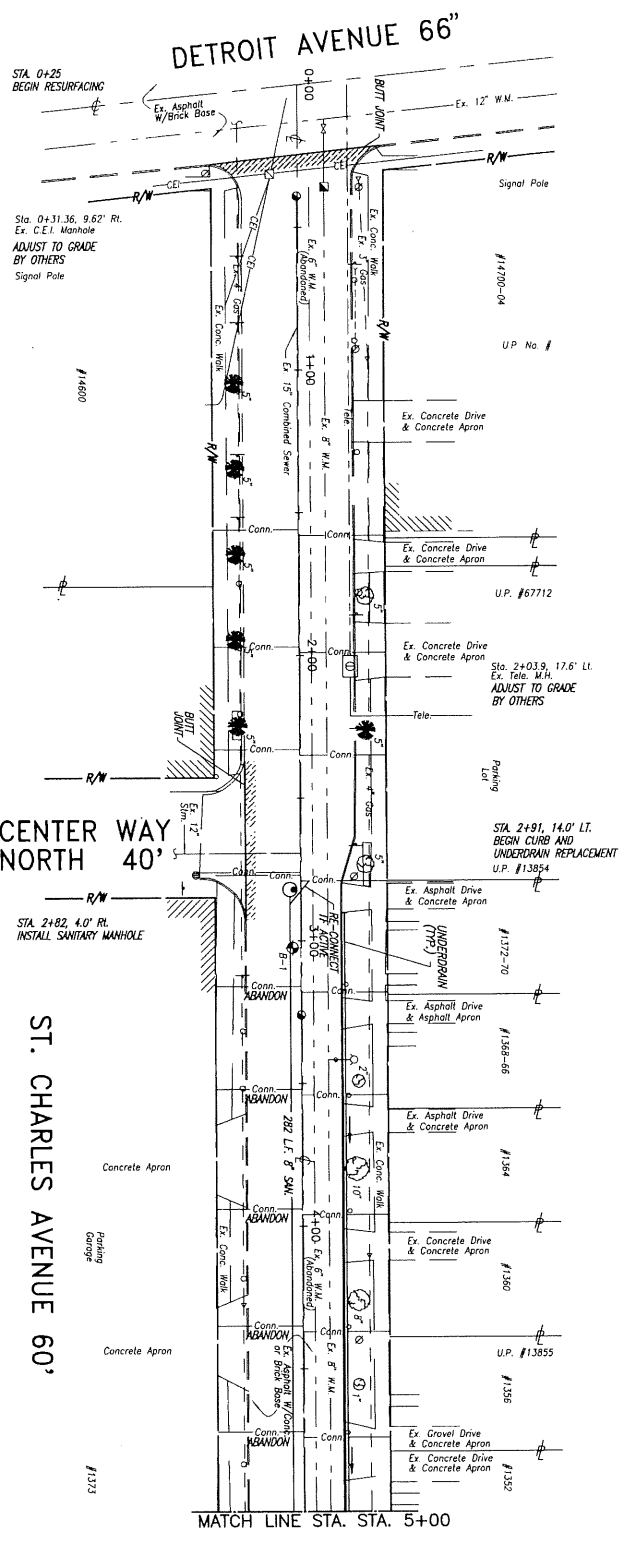
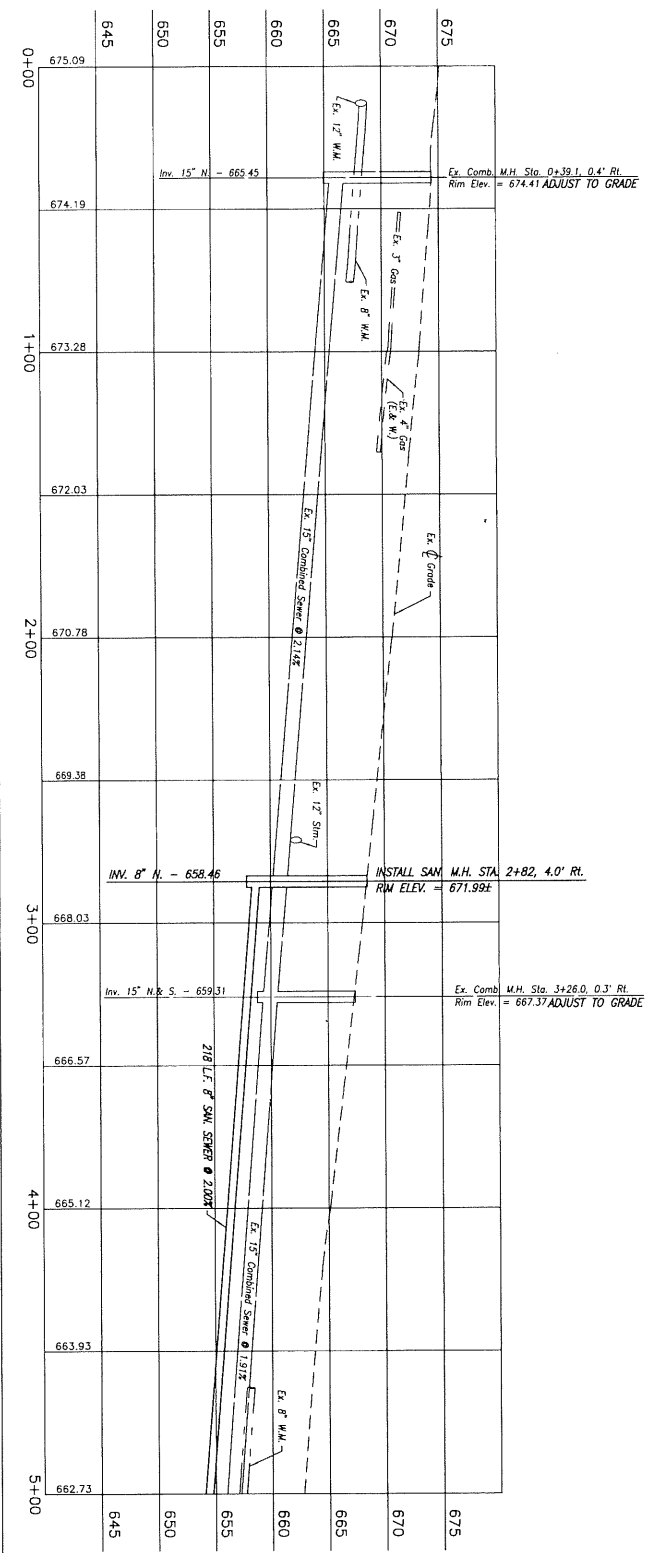
DESIGNED BY: J.L.F.	DATE: MARCH, 1984.
DRAWN BY: W.S.M.	SCALE:
CHECKED BY: J.L.F.	SHEET: 2 OF 10
DRAWING NO. A-3686	

**GENERAL NOTES**

Western Reserve  
Surveying &  
Engineering Co.  
5033 DANA ROAD / CLEVELAND, OHIO 44122 / 216/224-0088

A-876





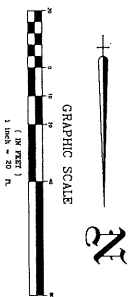
**Western Reserve Engineering & Surveying Co.**  
 DIVISION OF W.R.E.S. CORPORATION  
 2525 DENVER AVENUE, CLEVELAND, OHIO 44115-1099

**ST. CHARLES AVENUE**  
 PLAN AND PROFILE  
 STA. 0+00 TO STA. 5+00

DESIGNED BY: JLF  
 DRAWN BY: JLF  
 CHECKED BY: JLF  
 DATE: MARCH, 1994  
 SCALE: 1" = 50'  
 DRAWING NO. A-3686 SHEET 4 OF 10

DESCRIPTION	QUANTITY
8" SANITARY MANHOLE	2/8 L.F.
12" STORM	1 EA.
SM. CONNECTION (LONG)	0 L.F.
SM. CONNECTION (SHORT)	6 EA.
SM. CONNECTION (LONG)	6 EA.
SM. CONNECTION (SHORT)	0 EA.

**T.B.M.:**  
 "N" IN MATTERS ON DRAWING IN FRONT OF RES. NO. 1388 ON ST. CHARLES AVENUE (ELEV. = 683.23)



A-3686

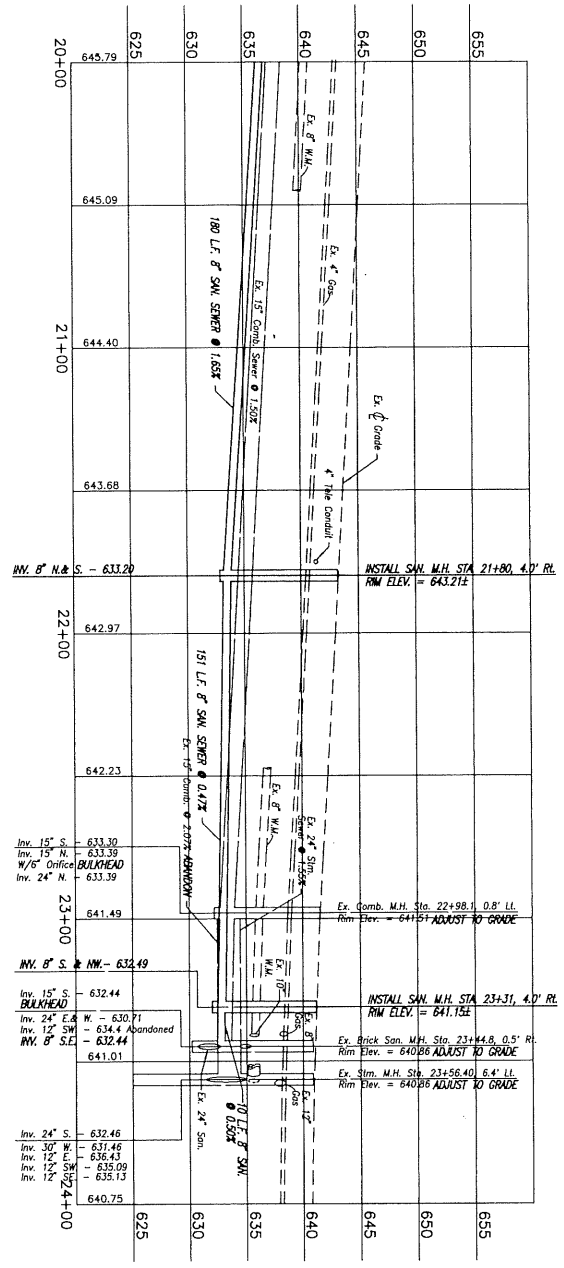
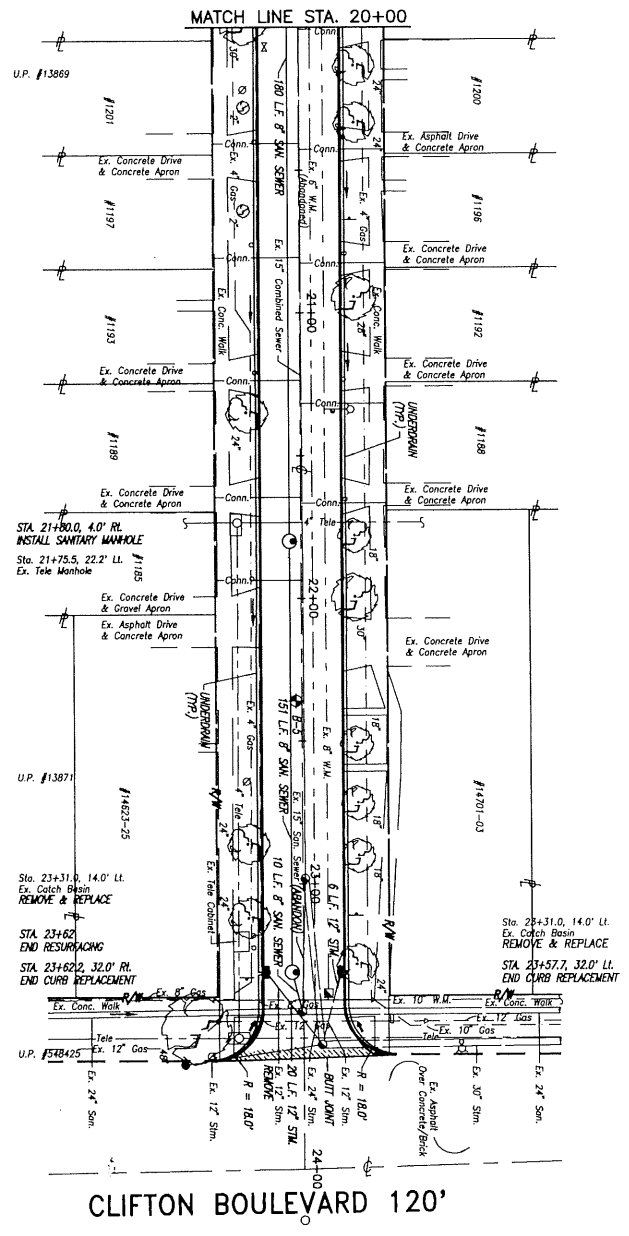
(CENTER WAY NORTH to CLIFTON)







(CENTER WAY NORTH TO CLIFTON)



ST. CHARLES AVENUE 60'

CLIFTON BOULEVARD 120'

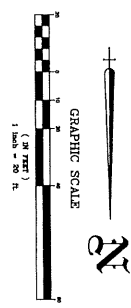
NOTES:

- 1) CONTINGENT SMALL LAMP EXISTING SANITARY SEWER BETWEEN STA. 23+98 AND STA. 23+44 TO VERIFY THAT NO CONNECTIONS EXIST IN THAT LINE PRIOR TO BULKHEADING THE 15" LINE TO THE SOUTH AT MANHOLE STA. 23+44.
- 2) CURB RADIUS TO BACK OF CURB

STATION	OBJECT	QUANTITY	UNIT	PRICE	TOTAL	TYPE
23+37	14.0' R.L.	1	LINEAL FOOT	14.00	14.00	1-0
23+37	14.0' R.L.	1	LINEAL FOOT	14.00	14.00	1-0
23+37	14.0' R.L.	1	LINEAL FOOT	14.00	14.00	1-0

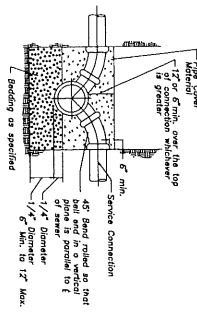
DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1\"/>				

1. ALL DIMENSIONS ON PROGRAM IN FRONT OF RES. NO. 1188 ON ST. CHARLES AVENUE ELEV. = 646.08

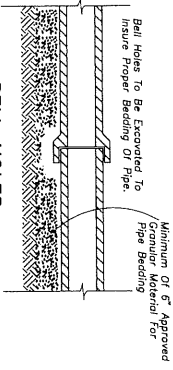


**Western Reserve Engineering & Surveying Co.**  
 DIVISION OF W.P.S.S. CORPORATION  
 ST. PLAN AND PROFILE  
 ST. CHARLES AVENUE  
 STA. 20+00 TO STA. 24+00  
 DESIGNED BY: J.L.F.  
 DRAWN BY: J.L.F.  
 DATE: MARCH 1, 1994  
 SCALE: 1" = 50'  
 DRAWING NO. A-3686 SHEET 8 OF 10

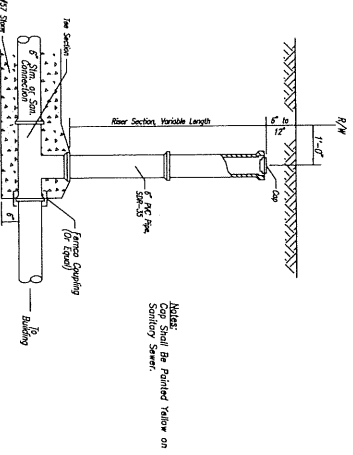
A-846



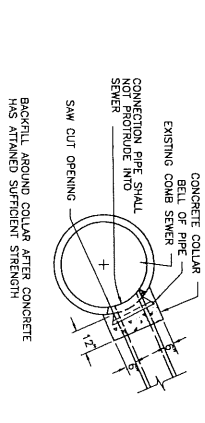
**TYPICAL Y-BRANCH DETAIL**  
No Scale



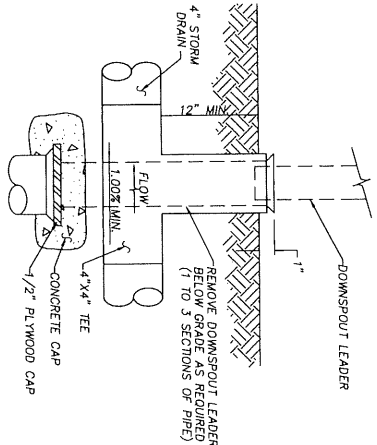
**BELL HOLES**  
No Scale



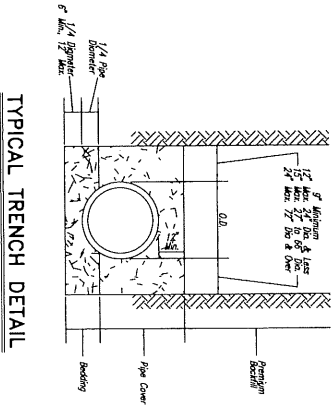
**6" x 6" TEST TEE & 6" RISER FOR STORM SEWERS AND SANITARY SEWERS**  
No Scale



**TYPICAL DETAIL FOR CONCRETE COLLAR FOR STORM SEWER CONNECTION**  
No Scale

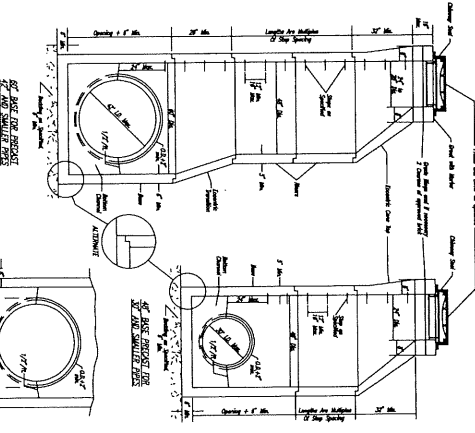


**DETAIL FOR CONNECTION OF DOWNSPOUT TO 4" STORM DRAIN**  
N.T.S.



**TYPICAL TRENCH DETAIL**  
No Scale

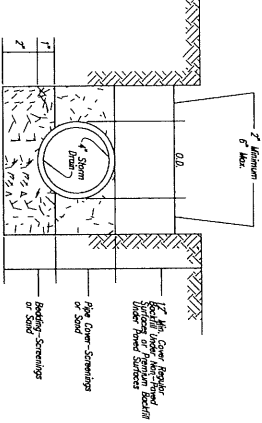
Minimum depth shall consist of concrete slab thickness appropriate to 6, 8, 10, 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, or 84 inch diameter pipe. Minimum depth shall consist of concrete slab thickness appropriate to 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, or 84 inch diameter pipe. Minimum depth shall consist of concrete slab thickness appropriate to 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, or 84 inch diameter pipe. Minimum depth shall consist of concrete slab thickness appropriate to 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, or 84 inch diameter pipe.



**6\"/>**

**NOTES:**  
Sections of the precast manhole shall be cast and dimensioned to meet the following conditions:  
1. All manholes shall be cast in place concrete.  
2. All manholes shall be cast in place concrete.  
3. All manholes shall be cast in place concrete.  
4. All manholes shall be cast in place concrete.  
5. All manholes shall be cast in place concrete.  
6. All manholes shall be cast in place concrete.  
7. All manholes shall be cast in place concrete.  
8. All manholes shall be cast in place concrete.  
9. All manholes shall be cast in place concrete.  
10. All manholes shall be cast in place concrete.

**PRECAST CONCRETE MANHOLE 42" PIPE OR SMALLER**  
No Scale



**TYPICAL TRENCH DETAIL**  
No Scale

Minimum depth shall consist of concrete slab thickness appropriate to 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, or 84 inch diameter pipe. Minimum depth shall consist of concrete slab thickness appropriate to 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, or 84 inch diameter pipe. Minimum depth shall consist of concrete slab thickness appropriate to 12, 14, 16, 18, 20, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, or 84 inch diameter pipe.

DESIGNED BY: A.J.F.	DATE: APRIL, 1934
DRAWN BY: W.S.L.	SCALE: NONE
CHECKED BY: J.S.C.	SCALE: 9" = 1'
DRAWING NO. A-3586	SHEET 9 OF 10





