

**AGENDA
PLANNING COMMISSION
CITY OF LAKEWOOD
NOVEMBER 5, 2020
REMOTE MEETING**

**PRE-REVIEW MEETING
6:30 P.M.**

Review docket items

**REGULAR MEETING
7:00 P.M.**

Under the orders of the Governor and Director of Health of Ohio, the Planning Commission will meet remotely until further notice.

The remote meeting information will be posted by 5 PM the day of the meeting at www.onelakewood.com/accordions/planning-commission/

- 1. Roll Call**
- 2. Approve the Minutes of the October 1, 2020**
- 3. Opening Remarks**

**NEW BUSINESS
RECOMMENDATION TO DESIGNATE**

- 4. Docket No. 11-46-20
11794-11816 Detroit Avenue
Homestead Block**

The Lakewood Heritage Advisory Board, advisory to the Planning Commission, presents an application and recommendation to designate the properties located at 11794-11816 Detroit Avenue, Homestead Block, (PPN 312-33-015) as an historic property (HP), pursuant to Chapter 1134. The property is located in a C3 - Commercial, General Business district. (Page 3)

CONDITIONAL USE

- 5. Docket No. 11-47-20
16712 Edgewater Drive**

John McCarty, PhDetailing, LLC, requests a conditional use permit for a Type B home occupation to operate an auto detailing business within the attached garage. Pursuant to chapter 1145 and section 1161.03(f). The property is in an R1H – Single-Family, High Density district. (Page 24)

CONDITIONAL USE

- 6. Docket No. 11-48-20
1362 Manor Park Avenue
Ludo Studio**

Sarah Castel of Ludo Studio requests a conditional use permit for a Type B home occupation. Pursuant to chapter 1145 and section 1161.03(f). The property is in an R1H – Single-Family, High Density district. (Page 25)

CONDITIONAL USE

- 7. Docket No. 11-49-20**
16300-16400 Detroit Avenue
Trinity Church Properties

John Holtz of Dimit Architects requests a conditional use permit for a mixed-use overlay district at 16300-16400 Detroit Avenue. The project includes the renovation of the church and commercial storefronts, the transformation of the classrooms to eight apartments and the construction of a nine-unit residential carriage house. Pursuant to chapter 1135, Mixed Use Overlay District and section 1161.03 (v). The property is in a C3 - Commercial, General Business district. (Page 35)

CONDITIONAL USE

- 8. Docket No. 11-50-20**
15527 Madison Avenue
Barrio

Sean Fairbairn of Barrio requests review of a conditional use permit for outdoor dining in the rear parking lot; change the status of a temporary patio to a permanent one, approved at the August 6, 2020 meeting. Pursuant to section 1161.03(t) – outdoor/seasonal dining facility. The property is in a C2 - Commercial, Retail district. (Page 61)

CONDITIONAL USE

- 9. Docket No. 11-51-20**
15625 Detroit Avenue
Lindy's Lake House

Patrick Granzier of NCR Ventures, Lindy's Lake House is applying for a conditional use permit to allow the operation of a parklet on Westwood Avenue; a conditional use for temporary expansion of outdoor dining, the flexibility to expand or add outdoor dining to support restaurants that are affected by COVID-19 restrictions. Pursuant to Chapters 1161 and 1129 Outdoor Seasonal Dining as temporary. The property is in a C2 – Commercial, Retail district. (Page 72)

ADJOURN



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

Application Cover Page

Docket No.: 11-46-20

Reference No.: PC20-000056

Applicant Name: Lakewood Heritage Advisory Board

Project Address: 11794-11816 Detroit Avenue

Project Name: Homestead Block

Proposal: Recommendation to designate the properties located at 11794-11816 Detroit Avenue, Homestead Block, (PPN 312-33-015) as an historic property (HP), pursuant to Chapter 1134. The property is located in a C3 - Commercial, General Business district

CITY OF LAKEWOOD
Department of Planning and Development
HISTORIC DESIGNATION OF INDIVIDUAL PROPERTIES AND DISTRICTS

Property Being Nominated:

Historic Name (if applicable) Homestead Block (Homestead Theatre/Ballroom & Highland Studio)

Property Address 11794-11816 Detroit Avenue

Property Owner(s) West 117 Development Phantasy LLC (Daniel Budish, Authorized Representative)

Owner Address 14665 Morgan Trail, Novelty, OH 44072

Phone 216-533-3825 Email dbudish@gaslamp.capital

Private Ownership Public Ownership

Description of Property Being Nominated:

Residential (check all that apply; provide description as needed to fully communicate nomination intent)

House Garage Apartment Building Associated Land
 Other: _____

of Contributing Buildings # of Non-Contributing Buildings

Commercial

Office/Retail/Mixed Use Religious Institutional Associated Land
 Other: _____

1 contributing building (11794-11816 Detroit Avenue--Highland Studio was an addition to the Homestead Block)

of Contributing Buildings # of Non-Contributing Buildings

Historic District

Residential Commercial Mixed Use
 # of Contributing Buildings # of Non-Contributing Buildings

Other

Site Structure Object
 # of Contributing Resources # of Non-Contributing Resources

Verbal Boundary Description:

**Cuyahoga County Permanent
Parcel Numbers 312-33-014
and 312-33-015**

Nomination Prepared By:

Name HP Group LLC Date 9/11/2020

Address 2425 West 11th Street, Suite 4

Phone 216.302.3517 Email michael@hpgroup-llc.com

Property Name
Homestead Block

Property Address
11794-11816 Detroit Avenue, Lakewood, OH 44107

Historic Functions

(List known uses over the building's/district's history)

- COMMERCE/TRADE
 - RECREATION & CULTURE
 - SOCIAL
 - RELIGION
-

Current Functions

(List present building uses)

- VACANT/NOT IN USE
 -
 -
 -
-

Architectural Description: Describe the historic and current appearance and condition of the property/district.

The Homestead Block is a two-story commercial block of brick with stone trim built in early 1916 with a two-story addition to the west built later the same year. The original building is "U"-shaped with the open end facing Hird Avenue to the east. A 1,200-seat theater is to the north and eight storefronts face Detroit Avenue to the south. The second storefront from the west is the theater lobby and concessions (which forms the base of the "U"). The upper level was originally a ballroom, which later became a restaurant and then a nightclub. The addition to the west, known as "The Highland Studio," added three storefronts and a second floor studio—later part of the restaurant and club.

The complex today is eleven bays wide on the south (Detroit Avenue) elevation. The storefronts are fairly consistent--all dating from the ca. 1969 remodel, but within the same rough openings as the historic storefronts. On the upper facade, the Highland Studio addition to the west is three bays wide, with a bank of three double-hung one over one sash occupying each bay. The windows are currently boarded over on the exterior with plywood painted black, but are extant on the inside. Below these windows, a minor cornice composed of corbeled brick laid in a basket-weave pattern separate upper and lower facades. Above the windows, are panels of tapestry brick and glazed tile--a hallmark of the Twentieth Century Commercial Style. Above these panels is a major cornice of decorative modillions, painted white. Finally, a brick parapet of the same brown brick is inlaid with an entablature of stone that reads "The Highland Studio."

The original Homestead Block is eight bays wide and displays elements of the Colonial/Neoclassical Revival (fanlight windows, stone details of shields, oak leaves and laurel wreaths) and Twentieth Century Commercial styles (brick parapets and tapestry details). Eight individual storefronts have been altered, but are within the same rough opening as the originals. Above the storefronts, a minor cornice of scrolling waves continues across the facade and lines up with the basket-weave cornice of the Studio addition. On the Upper Facade, the two end bays have a single window with decorative stone surrounds and a cartouche above of a laurel wreath surrounding a shield upon which is written the letter "H" for Homestead. The six bays in the middle each contain two windows with projecting stone lintels topped by fanlights. All of the windows are boarded with plywood painted black, but are extant. On the original block, all of these windows on the south elevation are six-over-one. Above the windows a stone rope molding is topped by a panel of tapestry brick separated by square stone inlays framing carved rosettes. A major cornice of steel aligns with the top of the Highland Studio addition and then a parapet rises a couple feet above that. The parapet is stepped at either end. The two storefronts at the eastern end of the building were updated again in 1970 and have porthole windows of stained glass. The decorative upper facade wraps the corner at Hird and features four bays, with decorative stone window surrounds on the two ends and two pairs of arched windows in the center. On this elevation, the windows have not been boarded over, as they are within a small office suite that was later used as dressing rooms for the nightclub that has most recently occupied the Homestead Ballroom.

An interior alley separates the commercial block from the theater building. Three smaller storefronts originally occupied the Hird side of the theater, but were bricked in over the decades as the movie theater became a performance venue. Elaborate corbeling and tapestry details are the primary embellishment on this elevation. At some point a small addition was made over the one-story storefronts to accommodate HVAC equipment. The north side of the theater building is fairly plain, except for a couple of arched doorways. A number of arched windows have been covered over on the north elevation, but may remain on the interior.

On the interior, the building still conveys the original circulation patterns and uses. Many character-defining features are extant, including a long theatre lobby with coffered plaster ceiling, chrome theatre poster cases, and marble floor. Detailed plaster coffers, original windows and wood floor remain in the Homestead Ballroom, and an elaborate early skylight is extant in the second level of the Highland Studio addition. Individual storefront spaces have had typical alterations and modernizations made over time.

Property Name
Homestead Block

Property Address
11794-11816 Detroit Avenue, Lakewood, OH 44107

Significant Dates or Periods of Construction

1916--Original & annex building constructed
1966--Homestead Ballroom closed
ca. 1969 Storefront "renovation"

Architect/Builder

Lehman & Schmitt, Architects

Narrative Statement of Significance

Explain the historic and architectural significance of the property/district to Lakewood's history. Statement can include association with events that have made a significant contribution to the broad patterns of our history; association with lives of persons significant in our past; or property that illustrates the distinctive characteristics of a type, period, or method or construction; or is noted for its craftsmanship or architectural design. Include periods of significance (i.e. 1905-1920) and specific significant dates.

The Homestead Block is historically significant for its association with Entertainment and Recreation in Lakewood as an example of an early photoplay (silent film) house that continued in operation for more than sixty years and for its ballroom that was in operation for fifty years. The proposed Period of Significance is 1916-1966 (the year the Homestead Ballroom closed). The Block has had a second life in more recent decades as an entertainment complex catering to a variety of musical tastes, from Disco to Punk. The Homestead Block is also significant under Criterion C as an example of the work of the prestigious local architectural firm Lehman & Schmitt, who also designed the Cuyahoga County Courthouse, among other high-profile buildings.

The Homestead Block reportedly cost \$75,000 to build and was funded by John A. Kling. Kling had been a Director of the First National Bank and the Guardian Savings & Trust Company. He was Vice-President of the Maynard H. Murch Co. a consortium of investment bankers formed in 1911. By 1916, he was also President of the Kelly Island Lime & Transport Company. Although Kling was the owner of the completed block, he immediately leased the building to Theodore Schmitt. Schmitt was a principal in the architectural firm Lehman & Schmitt and also headed The Schmitt Realty & Investment Company on the side.

The Homestead Theatre opened on January 23, 1916 with Alice Brady in "The Rack." The *Cleveland Plain Dealer* announced "Lakewood's new photoplay house, the Homestead, has supplied a real need. Hitherto, Lakewood has been sadly neglected as a motion picture field. " The article goes on to say that the theater "is furnishing a program worthy of this exclusive residential suburb. The Homestead has a seating capacity of nearly 1,000 and is regarded as the last word in motion picture construction and equipment" (*Cleveland Plain Dealer*, February 6, 1916). The theater was also described in a national publication, *The Moving Picture World*: "The Homestead Theater...is the latest to be opened on the West Side. It is located at Detroit and Hird Avenues, Lakewood, and will be operated by the Henn Brothers. The interior is finished in canestone white plaster, with indirect lighting, Features are the most modern ventilating system obtainable and five exits leading to courts and the main entrance" (*The Moving Picture World*, February 12, 1916). Before the opening of the Homestead, the only theater in Lakewood was the Lakewood Theater at 15013 Detroit, which had lectures, musical performances, and occasional photo-plays. The closest photoplay movie theater was at Madison at West 96th in Cleveland. A few months after the opening of the Homestead, The Melba opened at Highland and Detroit, which in 1927 would be joined by the Granada Theater on the Cleveland side of Highland Avenue (W.117th), creating a small theater district.

Besides showing "photo plays," the theater quickly became a venue for community fundraisers. One of the first functions in the new theater was a fundraiser held by the Livingston Circle of Ascension Church in February of 1916. The matinee consisted of musical selections performed by church members followed by the showing of a photo play. This event raised money for the Ascension Building Fund. Likewise, the Ladies Aid Society of the Lakewood Methodist Church held a fundraiser at the theater later the same year with a similar format. In 1923, the congregation of the Fifth Church of Christ Scientist held services at the theater and had their reading room around the corner, while their monumental new building was under construction at Lake and Highland Avenue (W.117th).

On the second floor, the Homestead Ballroom hosted an array of classes and functions through the Homestead Dancing Academy, O'Laughlin Dance School, Ann Louise Longo School of Dancing. Newspaper advertisements indicate that the ballroom was rented to different schools and instructors on various days. Beginning in the 1910s popular sheet music began to appear with parts for dance band instrumentation and dancing became accepted as a form of entertainment. Previously, dance halls were not seen "as proper places for members of polite society."

Property Name

Homestead Block

Property Address

11794-11816 Detroit Avenue, Lakewood, OH 44107

Major Bibliographical References:

Documentation on file: Nomination on file with the City of Lakewood Planning and Development Department.

Primary location of additional data:

Lakewood Historical Society

X Lakewood Public Library

Other

Name of repository: _____

Bibliography

Cite the books, articles, and other sources used in preparing this form. **SEE ATTACHED**

CONTINUED STATEMENT OF SIGNIFICANCE: According to the *Encyclopedia of Cleveland History*, during the peak years of ballroom dancing between the 1920s and 1950s, there were over 150 dance halls in the Greater Cleveland area, not counting the dance floors found in large hotels. Dance hall attendance was at a peak during the Big Band era of the 1930s and 1940s and began to decline in the 1950s as other musical genres became popular and other means of entertainment, such as television, became popular. Beginning in 1941, the Homestead Ballroom began to be operated exclusively by Grace Hopkins, who had operated other dance halls in Cleveland since the early part of the Century. Hopkins retired around 1960 and turned the Homestead Ballroom over to her brother and he continued the studio until 1966. While certain types of ballroom dancing remained popular in cocktail lounges through the early 1960s, by the late 1960s, they were out of fashion. The contents of the ballroom were auctioned off in May, 1966.

Other early retail tenants of the Homestead Block were The Lakewood Music Co. (purveyors of Victrolas), Fuller Brush & Cleaning, Rohn-Green Company (real estate company selling houses in this quickly developing City), Roger-Thor Electric (appliances) and Burrows (books). In June, 1916, Schmitt Realty & Investment Company purchased the 50 by 150 foot lot to the west of the Homestead Block. The Plain Dealer reported that the lot was "to be improved with a three-story commercial block costing \$25,000 and containing stores, offices and a photographic studio. It is to be known as the Studio building" (Plain Dealer, June 4, 1916). With an easement to Hird Avenue, the new Studio Building would sit directly next to the Caretaker's Cottage from the Hird Estate, a rare survivor adapted for commercial use as a cleaner. With the addition of The Studio Building, the Homestead Ballroom had an entrance directly onto Detroit Avenue. The Homestead Delicatessen also occupied the building for decades, as did various photography studios. One of the earliest photographers was the Jack Clifford Studios. In 1925, the Clifford Studios traveled to Washington, D.C. to photograph President Calvin Coolidge and Vice-President Dawes, and the photographs were displayed in the lobby of the Lincoln Theater on Madison. In the early days, "the Studio" was used by the Lakewood Arts Society for musical performances and for community lectures. Later, it became an extension of the Homestead Ballroom.

After the Homestead Ballroom closed in 1966, the building also sold. John DeFrasia purchased the block. In the ballroom space, he opened a restaurant called Piccadilly Square and had a replica of the H.M.S Bounty built as part of the decor. The Homestead Theatre continued in operation until 1974 and then somewhat sporadically under other names-- The Showboat Cinema, The Last Picture Show and Landmark Cinema until 1977. In 1975, Picadilly Square was renamed The Trojan Horse and shifted to a Greek theme for food and entertainment. In 1977, the space became the Phantasy Night Club and musical performances became the focus of the old Homestead Theater Space as well. In 1980, the storefront on the corner of Hird, which had long been Tasse's Cafe, was opened as the Symposium, also with a Greek theme. In a few years time it too became a rock music venue, although retaining the name. The Chamber, a Goth inspired club at the western end of the block became DeFrasia's final entertainment venue. Although outside the period of significance, these music and entertainment venues hold their own historical significance to generations of greater Clevelanders.

Property Name

Homestead Block

Property Address

11794-11816 Detroit Avenue, Lakewood, OH 44107

Additional Documentation: SEE ATTACHED

Current Photographs, Descriptions and Map/Photo Key Site Map

Historic Photographs and Descriptions

CONTINUED STATEMENT OF SIGNIFICANCE:

The Homestead Block is also significant for its association with the prestigious Cleveland architectural firm Lehman & Schmitt, designer of many important public and institutional buildings between 1884-1935. Lehman & Schmitt designed the Cuyahoga County Courthouse (1912), Temple Tifereth Israel (on 55th--1894--later Friendship Baptist Church), Temple Anshe Chesed (Euclid Avenue, 1912--later Liberty Hill Baptist), and Lakewood's Detroit-Warren Building (1923). Schmitt continued the firm after Lehman's death in 1914 until his own passing in 1935.

Property Name Homestead Theater & Ballroom Block

Property Address 11794-11816 Detroit Avenue, Lakewood, OH 44107

Lakewood Heritage Advisory Board Review Date: 9/24/20 Action: APPROVE

Date of Planning Commission Review (Eligibility): _____ Action: _____

Date of Planning Commission Review (Designation): _____ Action: _____

Heritage Advisory Board recommended approval of the nomination and design guidelines (if applicable) to the Planning Commission.

 _____

Signature of Heritage Advisory Board Chair

9/24/20 _____

Date

Planning Commission approved the designation of the historic property or historic district.

 Signature of Planning Commission Chair

 Date

Notice of designation was forwarded to the following:

- Mayor's Office Date: _____
- City Council Date: _____
- Architectural Board of Review Date: _____
- Building Department Date: _____
- Other: _____ Date: _____

BIBLIOGRAPHY

Borchert, James and Susan. *Lakewood, the First Hundred Years*. Norfolk/Virginia Beach: Donning Co., 1989.

City of Lakewood. Building Department. Building address files.

Cleveland Architects Database. Cleveland City Planning Commission.
<http://planning.city.cleveland.oh.us/landmark/archIntro.html>

Cleveland Historic Maps.
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Cleveland Memory Project. Michael Schwartz Library, Cleveland State University.
www.clevelandmemory.org.

Cleveland Plain Dealer. Cleveland Public Library Research Database. <https://cpl.org/research-learning/researchdatabases>.

Cuyahoga County Fiscal Office. Property Information. <https://myplace.cuyahogacounty.us>.

Material Facts, Cleveland Builders Supply Company, June 1916

Mortgagee's Identification Service, The Cuyahoga Abstract Title and Trust Company, 1953.

Moving Picture World, World Photographic Publishing Company, Vol. 27, 1916.
https://www.google.com/books/edition/The_Moving_Picture_World/saMbaQAAMAAJ?hl=en&gbpv=1&dq=Homestead+Theater&pg=PA856&printsec=frontcover

Encyclopedia of Cleveland History. Case Western Reserve University. <https://case.edu/ech/>.

Hopkins Plat Maps. Cleveland Public Library, Digital Gallery.
<http://cplorg.cdmhost.com/digital/collection/p4014coll24>.

National Register of Historic Places. Detroit-Warren Building. Lakewood, Cuyahoga County, Ohio. NR # 86001055.

Sanborn Fire Insurance Maps. Cleveland Public Library, Research Databases.
<https://cpl.org/research-learning/researchdatabases>.

Terragraph Company Mortgage Identification Service, Order CL921280, June 18. 1963.



Photo 1: Homestead Block, south elevation, showing the Highland Studio Addition to the left and original block to the right (c.d. NE).



Photo 2: South and East elevations of main Homestead Block (c.d. NW).



Photo 3: East elevation of main block and gated courtyard (c.d. SW).



Photo 4: East elevation of theater block and gated courtyard (c.d. SW).



Photo 5: Alley "courtyard" between theater and main commercial block (c.d. E).



Photo 6: Northwest elevation of theater building (c.d. SE).



Photo 7: North elevation of Highland Studio Addition (c.d. S).



Photo 8: Homestead Theater lobby with coffered plaster ceiling, chrome poster cases and marble floor (under carpet).



Photo 9: The Homestead Ballroom/Phantasy Night Club. Note original coffered plaster ceiling (black) and picture frame laid oak floor (c.d.W)



Photo 10: Original windows hidden behind added wall (c.d. NE)



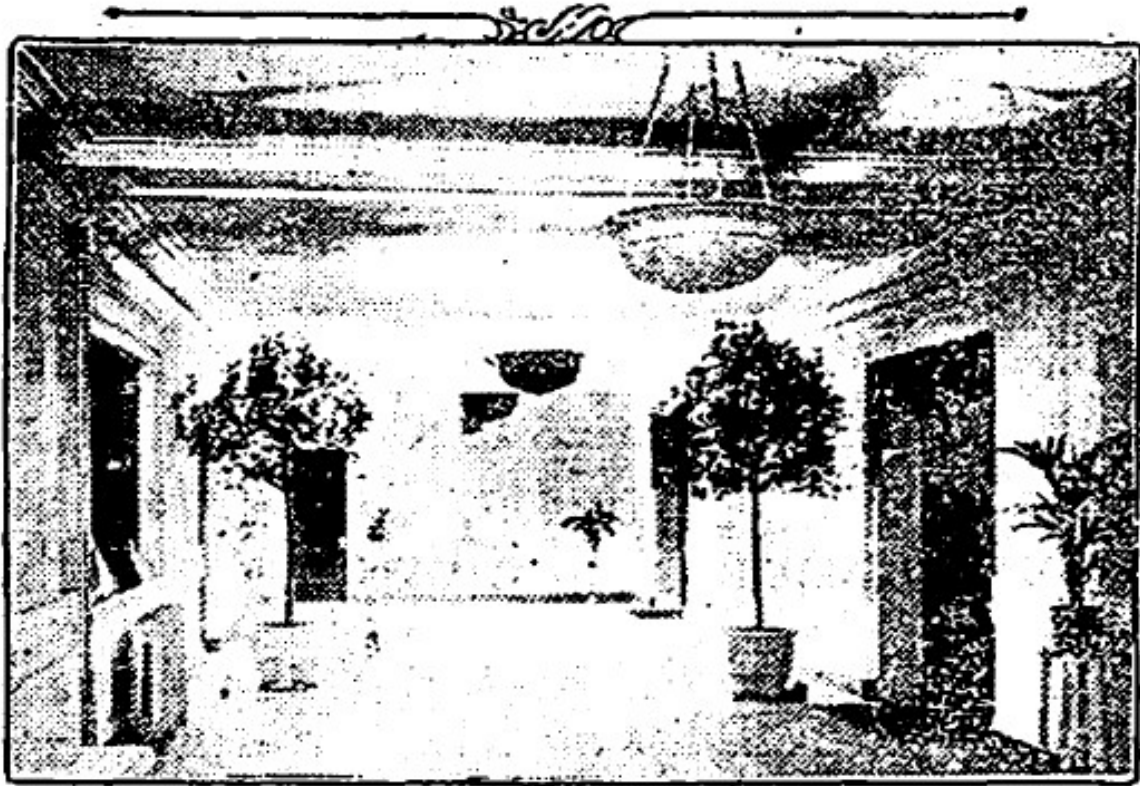
Figure 1: Homestead Block (*Material Facts*, June 1916)

THE CITY OF LAKEWOOD
 No. 5397
APPLICATION FOR PERMIT
 New Structure, Additions, Alterations and Repairs
 1014/ 1915

To the Inspector of Buildings:
 Application is hereby made for a permit for
Leisure House as follows:
LOCATION
 Street and No. *Detone Road*
N. W. corner
 Allotment _____
 O. L. _____ S. L. _____
OWNER
The Lakewood Realty Co.
 Address _____
 Architect *Johnson + Schmitt*
 Builder *W. H. + Foster Co.*
 Address *1900 Euclid Ave.*
 Purpose *Leisure House*
 Material *Brick*
 No. Stories *2*
 Ground Dimensions *150 x 110*
 Estimated Cost \$ *75,000*
REMARKS
 I do hereby agree to construct and work in all respects in compliance with the provisions of the Statutes of the State of Ohio and the Ordinances of the City of Lakewood.
 Name of Owner *The Lakewood Realty Co.*
 By *[Signature]*

Figure 2: City of Lakewood. Application for Permit, 10-4-1915

Entrance to The Homestead, Lakewood's New Picture House



THE HOMESTEAD

Lakewood's new photo play house, the Homestead, has supplied a real need. Hitherto Lakewood has been sadly neglected as a motion picture field.

Situated at the corner of Detroit and Hird avenues, the Homestead may be said to be ideally located, and Henn

Pros. have built a theater and are furnishing a program worthy of this exclusive residential suburb.

The Homestead has a seating capacity of nearly 1,000 and is regarded as the last word in motion picture construction and equipment. The policy of the management gives patrons the best features of the open market.

Figure 3: *Cleveland Plain Dealer*, February 6, 1916. Page 33.

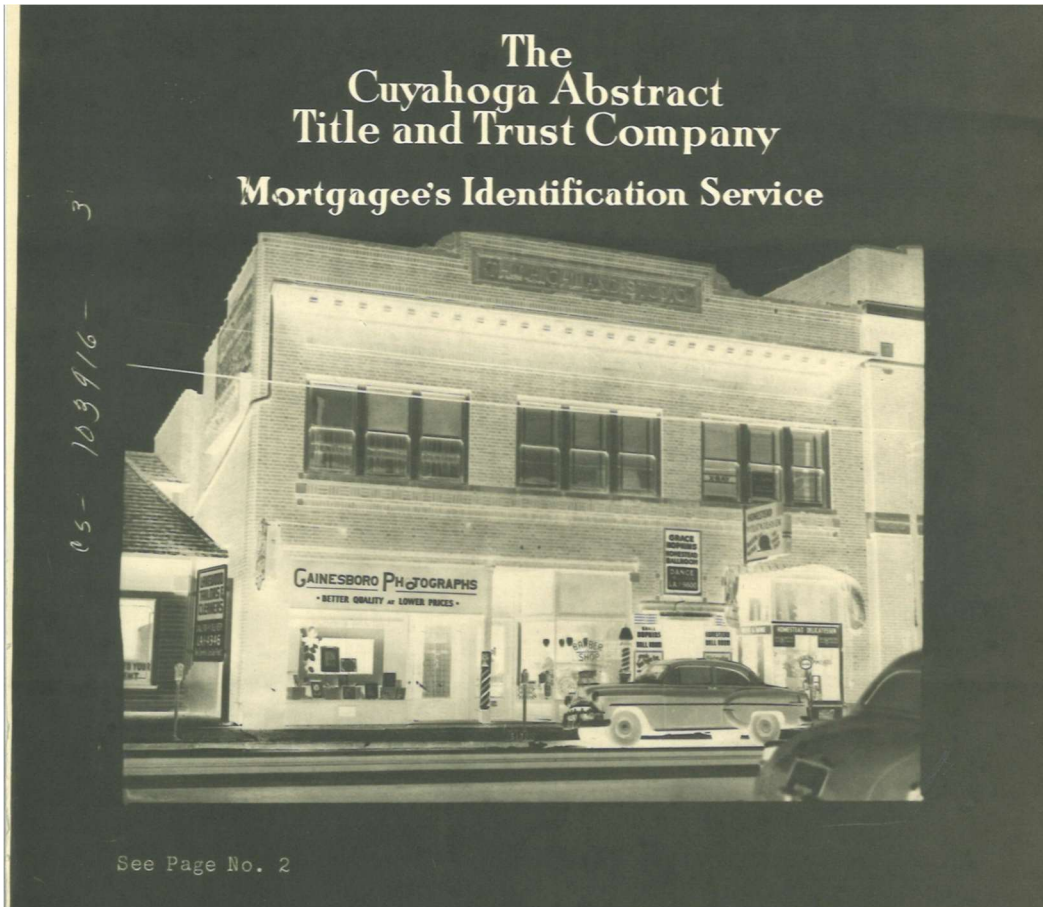


Figure 4: Highland Studio Addition, Cuyahoga Abstract Title & Trust Company, 1953.

GALA WEEK

**A NEW SEASON AND A NEW POLICY AT THE
HOMESTEAD THEATRE**

Continuous Daily 7 to 11 P. M. Sunday 1:30 to 11 P. M.
SUNDAY TO TUES. PROGRAM THURS. TO SAT.

<p>"Deception" The Screen Sensation Special Comedy, "Torchy's Night-hood." WEDNESDAY A Short Subject Program of Educational Comedies and Drama Features. Special Vocal and Instrumental</p>	<p>MILTON SILLS in "The Little Fool." Latest News—Scenic and Review. COMING WEEK AUG. 28 ELSIE FERGUSON IN "Sacred and Profane Love."</p>
--	--

Numbers at All Performances

IN LAKEWOOD—IT'S THE HOMESTEAD

Figure 5: Cleveland Plain Dealer, 8-21-1921

Lucille Sojack Starts Tap-Dancing Courses

Lucille Sojack's Homestead Ballroom, 11812 Detroit Avenue, has opened its new season after being remodeled and redecorated. Mrs. Sojack, who spent the summer studying new steps in New York, will teach classes in tap, ballroom and folk dancing.

Sojack's Dancing School, W. 25th and Franklin Avenue, starts its winter season today. Mrs. Sojack also will offer a course in tap dances at this school.

Figure 6: Cleveland Plain Dealer, September 26, 1937



Figure 7: Homestead Block, 1960 (CSU, Michael Schwartz Library, Special Collections)



Figure 9: Homestead Block, ca. 1980 (CSU, Michael Schwartz Library, Special Collections).

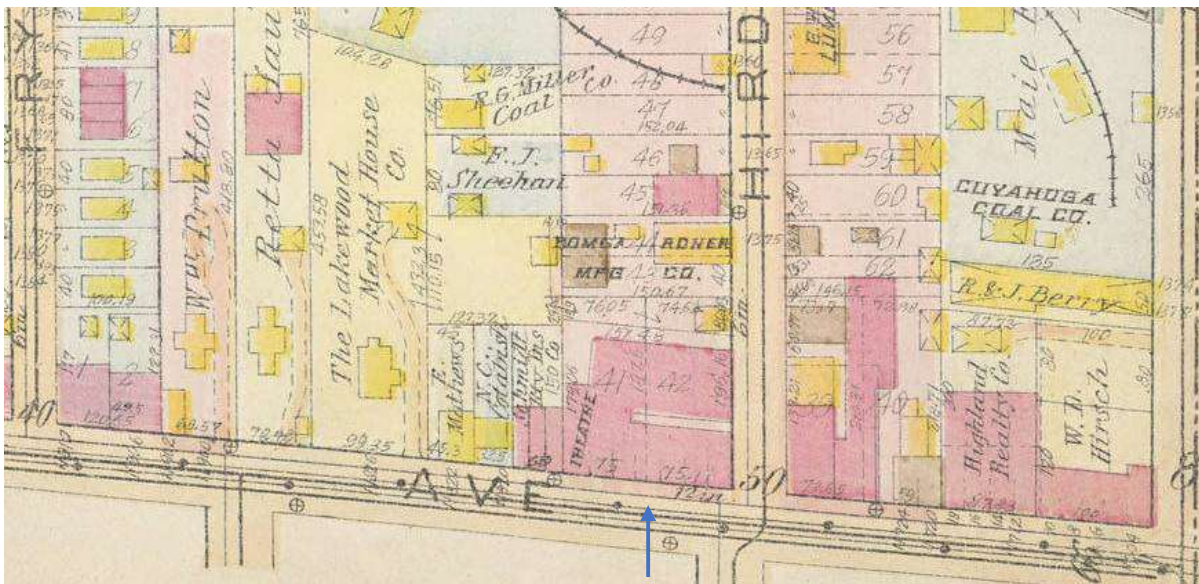
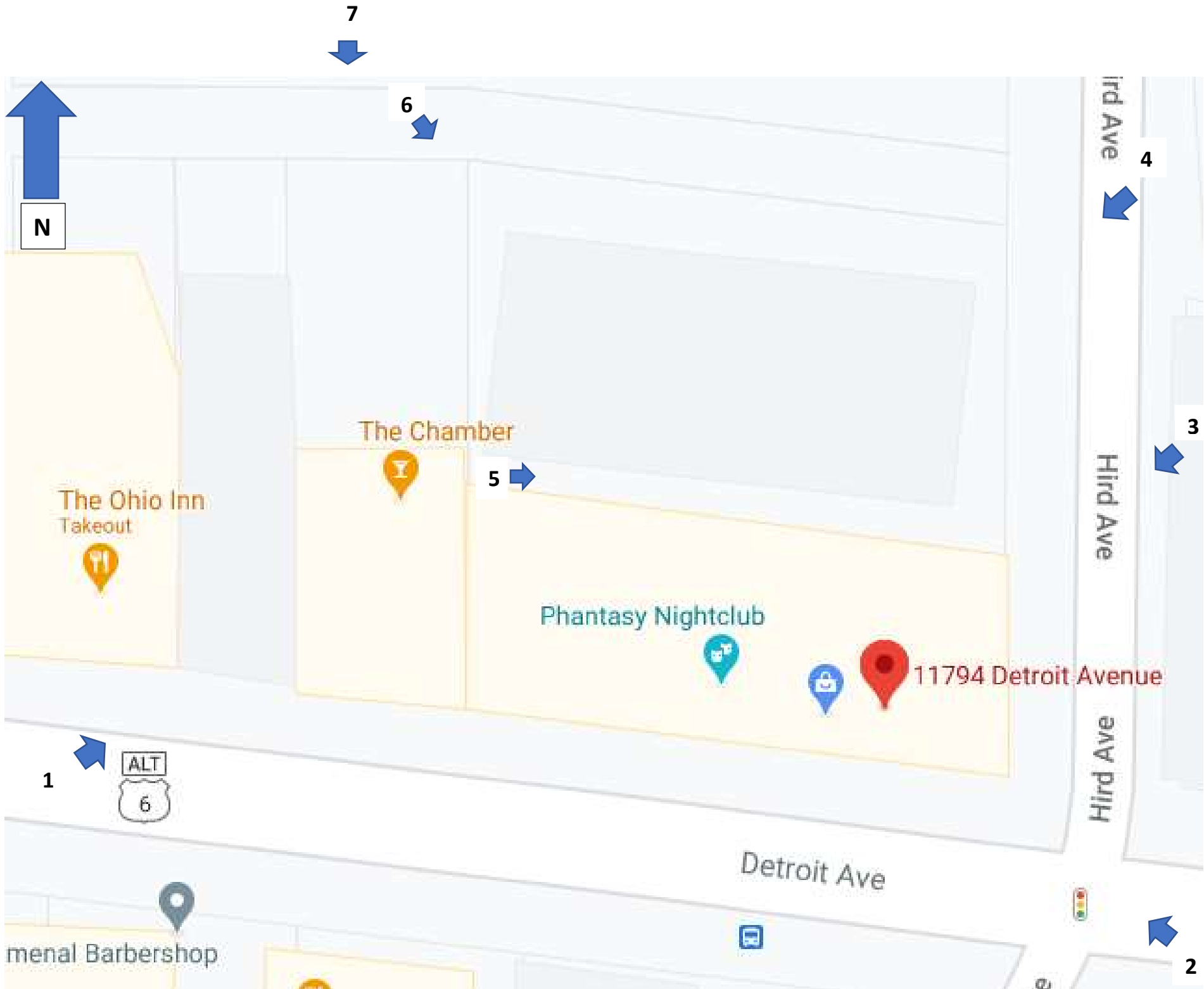


Figure 10: PlatBook, Volume 13, Page 126



N

The Ohio Inn
Takeout

The Chamber

Phantasy Nightclub

11794 Detroit Avenue

Detroit Ave

Hird Ave

Hird Ave

Hird Ave

menal Barbershop

1



7



6



5



4

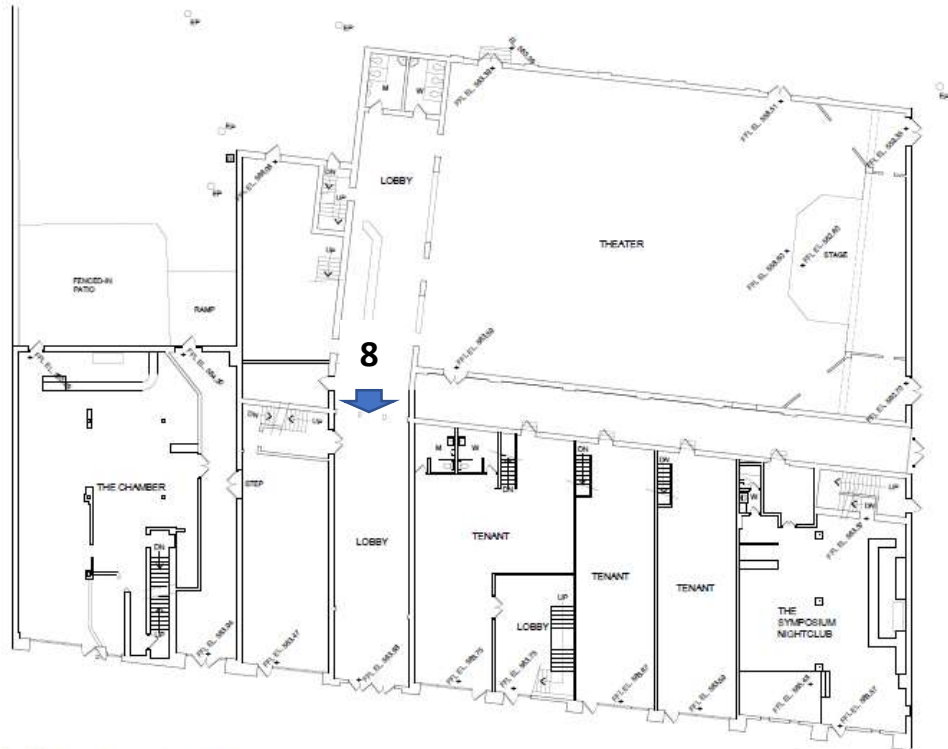


3



2





the Phantasy @ Studio West
1384 Hird Ave, Lakewood, OH 44107

1/8" SCALE - OVERALL FIRST FLOOR PLAN

Issue Date: 08-14-2020
Job No: 20013
X1.1



the Phantasy @ Studio West
1384 Hird Ave, Lakewood, OH 44107

1/8" SCALE - OVERALL SECOND FLOOR PLAN

Issue Date: 08-14-2020
Job No: 20013
X1.2



PLANNING COMMISSION

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www.onelakewood.com

Application Cover Page

Docket No.: 11-47-20

Reference No.: PC20-000051

Applicant Name: John McCarty, PhDetailing, LLC

Project Address: 16712 Edgewater Drive

Project Name:

Proposal: a conditional use permit for a Type B home occupation to operate an auto detailing business within the attached garage. Pursuant to chapter 1145 and section 1161.03(f). The property is in an R1H – Single-Family, High Density district.



PLANNING COMMISSION

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Application Cover Page

Docket No.: 11-48-20

Reference No.: PC20-000053

Applicant Name: Sarah Castel of Ludo Studio

Project Address: 1362 Manor Park Avenue

Project Name:

Proposal: a conditional use permit for a Type B home occupation. Pursuant to chapter 1145 and section 1161.03(f). The property is in an R1H – Single-Family, High Density district.

Park Ave

Manor Park Ave

Manor Park Ave

Manor Park Ave

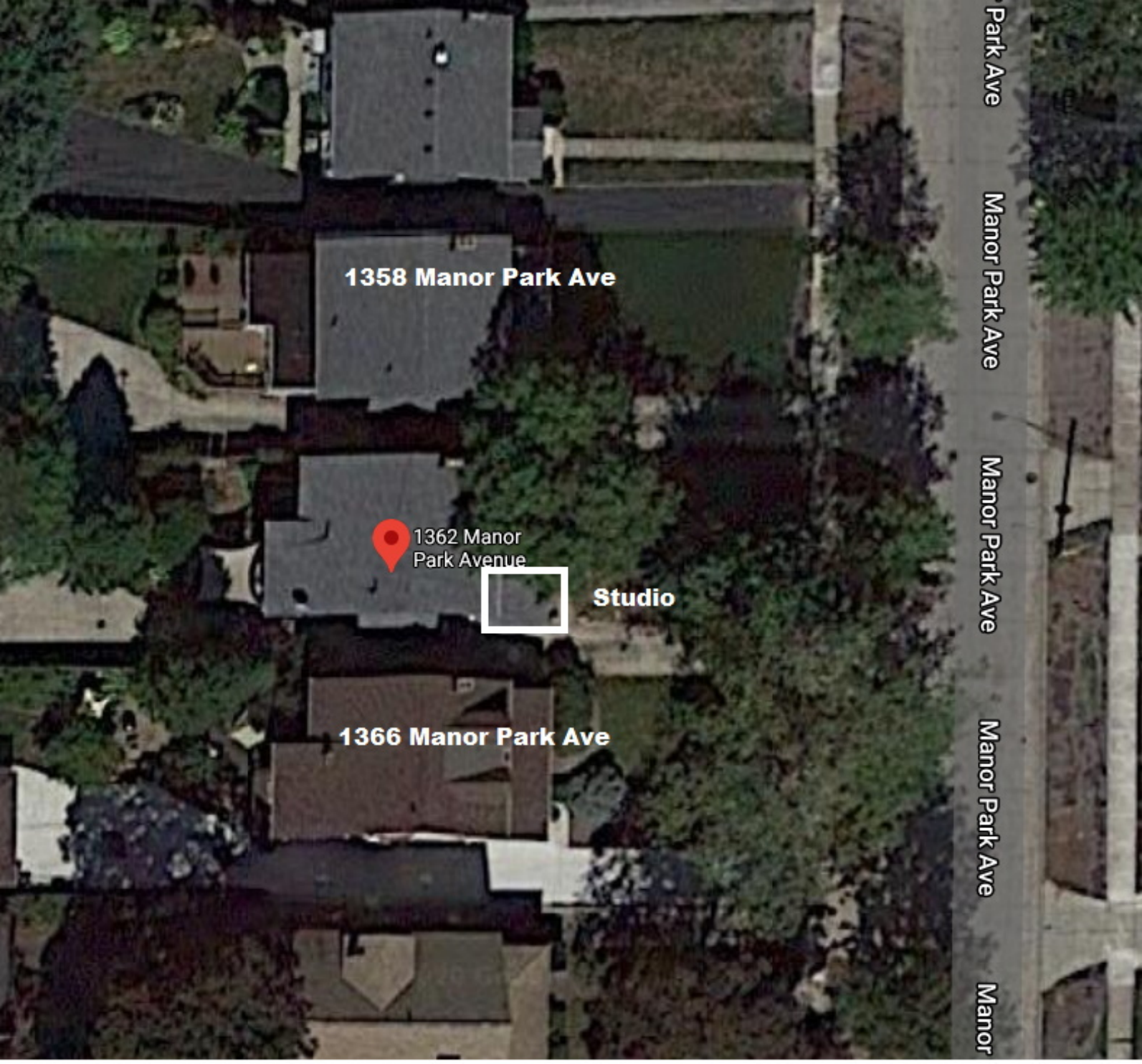
Manor

1358 Manor Park Ave

1362 Manor Park Avenue

Studio

1366 Manor Park Ave



Photos of existing conditions of 1362 Manor Park Ave

The customer area is limited to the front porch.

1. Outside view



2. Entrance



3. Inside views

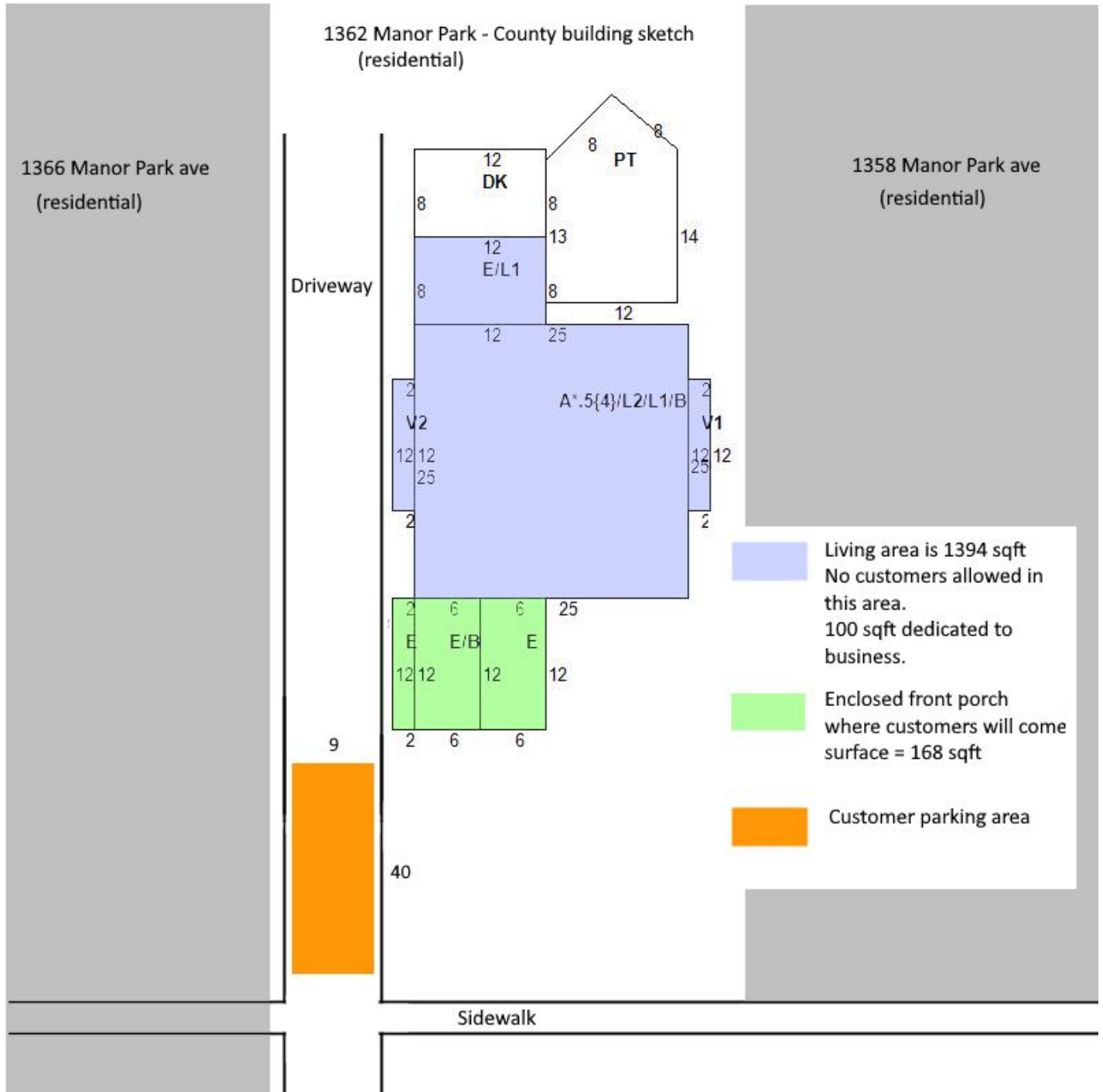




4. Driveway / Parking



Scaled site plan of 1362 Manor Park Ave





PLANNING COMMISSION

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www.onelakewood.com

Application Cover Page

Docket No.: 11-49-20

Reference No.: PC20-000054

Applicant Name: John Holtz, Dimit Architects

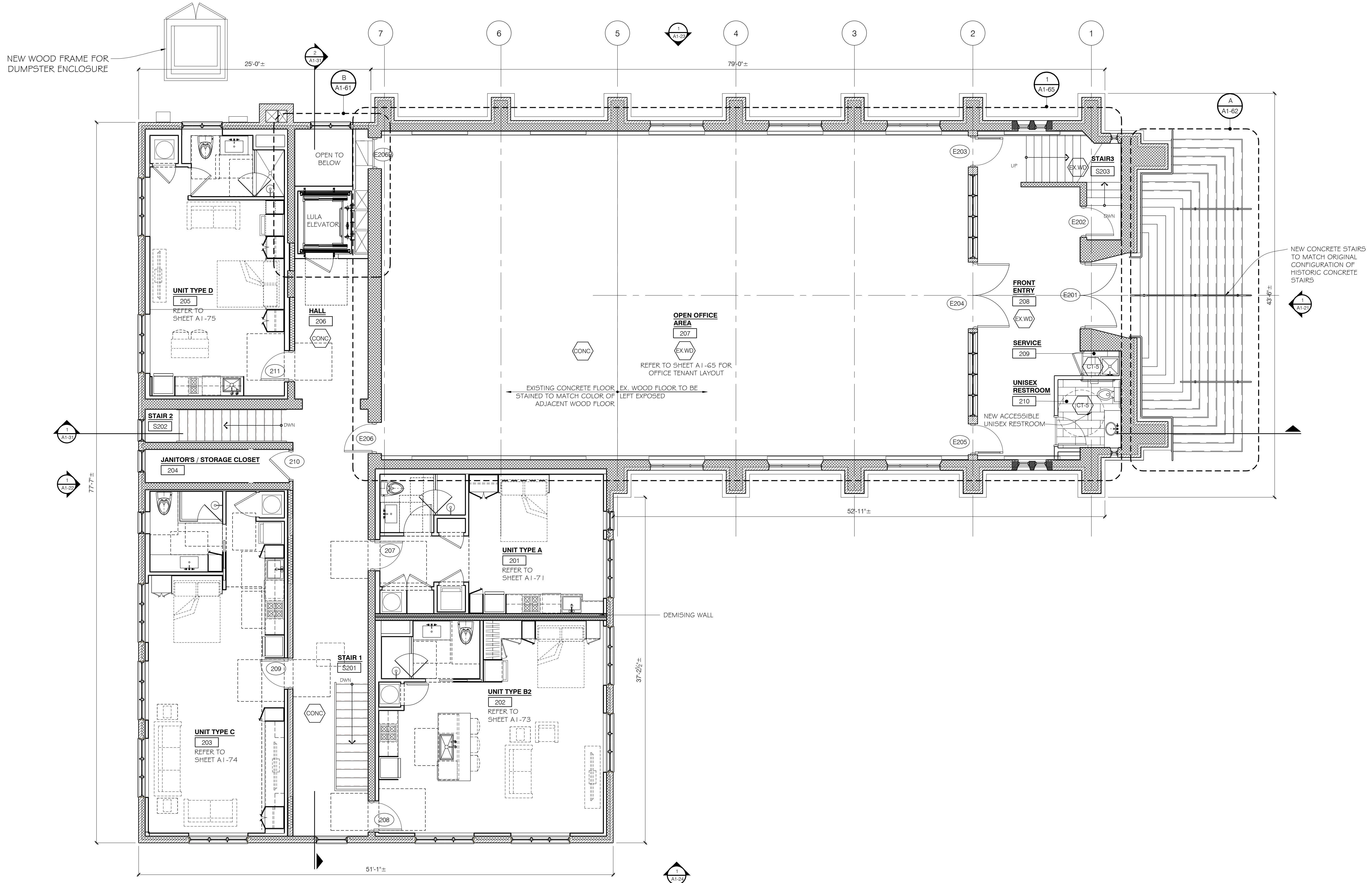
Project Address: 16300-16400 Detroit Avenue

Project Name: Trinity Church Properties

Proposal: a conditional use permit for a mixed-use overlay district at 16300-16400 Detroit Avenue. The project includes the renovation of the church and commercial storefronts, the transformation of the classrooms to eight apartments and the construction of a nine-unit residential carriage house. Pursuant to chapter 1135, Mixed Use Overlay District and section 1161.03 (v). The property is in a C3 - Commercial, General Business district.

GENERAL NOTES:

1. GENERAL CONTRACTOR # ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
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4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF FINISH OF WALL (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).
6. APPROVED FIRE EXTINGUISHERS TO BE LOCATED BY LOCAL FIRE INSPECTOR. BASE BID TO INCLUDE 25 FIRE EXTINGUISHERS AND CABINETS. CABINETS TO BE FIRE-RATED, SEMI-RECESSED & MOUNTED IN CORRIDOR WALLS.
7. ALL WORK TO COMPLY WITH OHPO / NPS SUBMITTAL.



1
A1-02
TRINITY CHURCH BUILDING
PROPOSED FIRST LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"

Seal

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

Trinity Church

16400 Detroit Ave.
Lakewood, Ohio 44107

Drawing Title	
PROPOSED FIRST LEVEL FLOOR PLAN	
Date	Project
10-21-2020	19-060
Drawn by	Drawing Number
JH, DS, NH, CB	
Checked by	
SMD / AND	
Approved	
SMD	A1-02

RESTORATION PERFORMANCE SPECIFICATIONS

CLEANING
CAST STONE WILL BE CLEANED TO REMOVE BIOLOGICAL GROWTH. BRICK WILL BE SPOT CLEANED WHERE WATER INFILTRATION HAS DISCOLORED THE BRICKS, ALL APPLIED HARDWARE WILL BE REMOVED PRIOR TO CLEANING.

CLEANING METHODS CONDUCTED WILL ATTEMPT TO RETURN THE MASONRY BACK TO ITS HISTORIC APPEARANCE IN ALL RESPECTS. NO WORK CONDUCTED WILL DAMAGE EXISTING HISTORIC MATERIAL. CLEANING METHOD, CHEMICAL AND SOLUTION TO BE DETERMINED THROUGH FIELD TESTING. LOW PRESSURE WASH NOT TO EXCEED 300 PSI. OR TWO PASSES. ALL CLEANING SAMPLES WILL BE PHOTO-DOCUMENTED AFTER SAMPLES HAVE WEATHERED AND TEST SAMPLES WILL BE SUBMITTED TO THE ARCHITECT AND HISTORIC CONSULTANT FOR REVIEW AND APPROVAL BEFORE WORK CONTINUES.

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WINDOWS
WINDOWS TO BE REPLACED WILL BE FULLY DOCUMENTED AND SUBMITTED WITH WINDOW SHOP DRAWING IN A FUTURE AMENDMENT.

ELEVATION KEY NOTES:

- 1 BRICK BUTTRESS TO BE SPOT CLEANED.
- 2 EXISTING CAST STONE TO BE REPAIRED, TUCKPOINTED OR RECONSTRUCTED & PAINTED. SEE "MASONRY RESTORATION PROCEDURE"
- 3 EXISTING CAST STONE TO BE CLEANED FROM BIOLOGICAL GROWTH & REPAINTED TO MATCH EXISTING.
- 4 CLEAN GRAFFITI AND MATCH TO EXISTING BRICK.
- 5 REPOINT MORTAR TO MATCH EXISTING.
- 6 NEW ALUMINUM WINDOWS TO MATCH HISTORIC WINDOW PROFILE AND MULLION SPACING AND CONFIGURATION, TYP.
- 7 NEW LINTELS TO BE PAINTED TO MATCH WINDOWS.
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- 15 RESET CAST STONE JAMBS AND SILL AS REQUIRED.
- 16 NEW STOREFRONT ENTRY
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- 18 NEW VENT TO REPLACE EXISTING IN METAL INFILL PANEL TO MATCH FINISH OF WINDOW.
- 19 NEW WINDOW WITH PROFILE TO MATCH EXISTING, WITH CLEAR GLASS



1 TRINITY CHURCH SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

Trinity Church

16400 Detroit Ave.
Lakewood, Ohio 44107

Drawing Title
TRINITY CHURCH SOUTH ELEVATION

Date 9-21-2020	Project 19-060
Drawn by JH, DS, NH, CB	Drawing Number A1-21
Checked by SMD / AND	
Approved SMD	

RESTORATION PERFORMANCE SPECIFICATIONS

CLEANING
 CAST STONE WILL BE CLEANED TO REMOVE BIOLOGICAL GROWTH. BRICK WILL BE SPOT CLEANED WHERE WATER INFILTRATION HAS DISCOLORED THE BRICKS. ALL APPLIED HARDWARE WILL BE REMOVED PRIOR TO CLEANING.

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ELEVATION KEY NOTES:

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- 3 EXISTING CAST STONE TO BE PAINTED TO MATCH UNPAINTED LIMESTONE
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1 TRINITY CHURCH NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

Seal		
Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH
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DIMIT ARCHITECTS
 architecture + interiors + urban design

14414 Detroit Ave., #306
 Lakewood, Ohio 44107
 216-221-9021

Trinity Church

16400 Detroit Ave.
 Lakewood, Ohio 44107

Drawing Title
TRINITY CHURCH NORTH ELEVATION

Date 10-21-2020	Project 19-060
Drawn by JH, DS, NH, CB	Drawing Number A1-22
Checked by SMD / AND	
Approved SMD	

RESTORATION PERFORMANCE SPECIFICATIONS

CLEANING
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Seal

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

Trinity Church

16400 Detroit Ave.
Lakewood, Ohio 44107

Drawing Title
TRINITY CHURCH EAST ELEVATION

Date 9-28-2020	Project 19-060
Drawn by JH, DS, NH, CB	Drawing Number A1-23
Checked by SMD / AND	Approved SMD

1 TRINITY CHURCH EAST ELEVATION
SCALE: 1/4" = 1'-0"

RESTORATION PERFORMANCE SPECIFICATIONS

CLEANING
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- 19 NEW WINDOW WITH PROFILE TO MATCH EXISTING, WITH CLEAR GLASS



1 TRINITY CHURCH WEST ELEVATION
 SCALE: 1/4" = 1'-0"

Seal

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH

DIMIT ARCHITECTS
 architecture + interiors + urban design

14414 Detroit Ave., #306
 Lakewood, Ohio 44107
 216-221-9021

Trinity Church

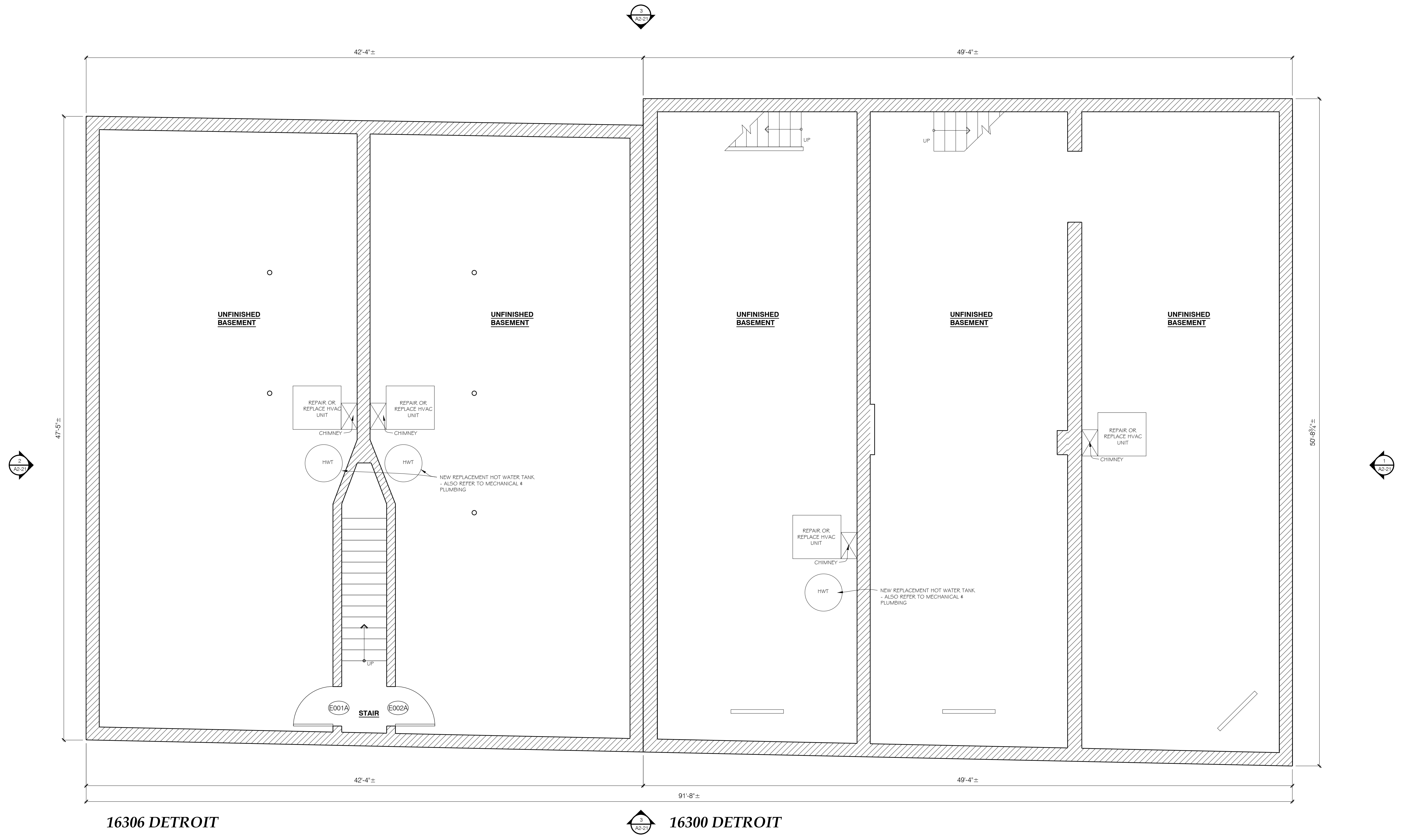
16400 Detroit Ave.
 Lakewood, Ohio 44107

Drawing Title
TRINITY CHURCH WEST ELEVATION

Date: 9-28-2020	Project: 19-060
Drawn by: JH, DS, NH, CB	Drawing Number: A1-24
Checked by: SMD / AND	
Approved: SMD	

GENERAL NOTES:

1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
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6. APPROVED FIRE EXTINGUISHERS TO BE LOCATED BY LOCAL FIRE INSPECTOR. BASE BID TO INCLUDE 25 FIRE EXTINGUISHERS AND CABINETS. CABINETS TO BE FIRE-RATED, SEMI-RECESSED & MOUNTED IN CORRIDOR WALLS.
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16306 DETROIT

16300 DETROIT

1 PROPOSED LOWER LEVEL FLOOR PLAN
A2-01 SCALE: 1/4" = 1'-0"

Seal

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH
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DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
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Trinity Church

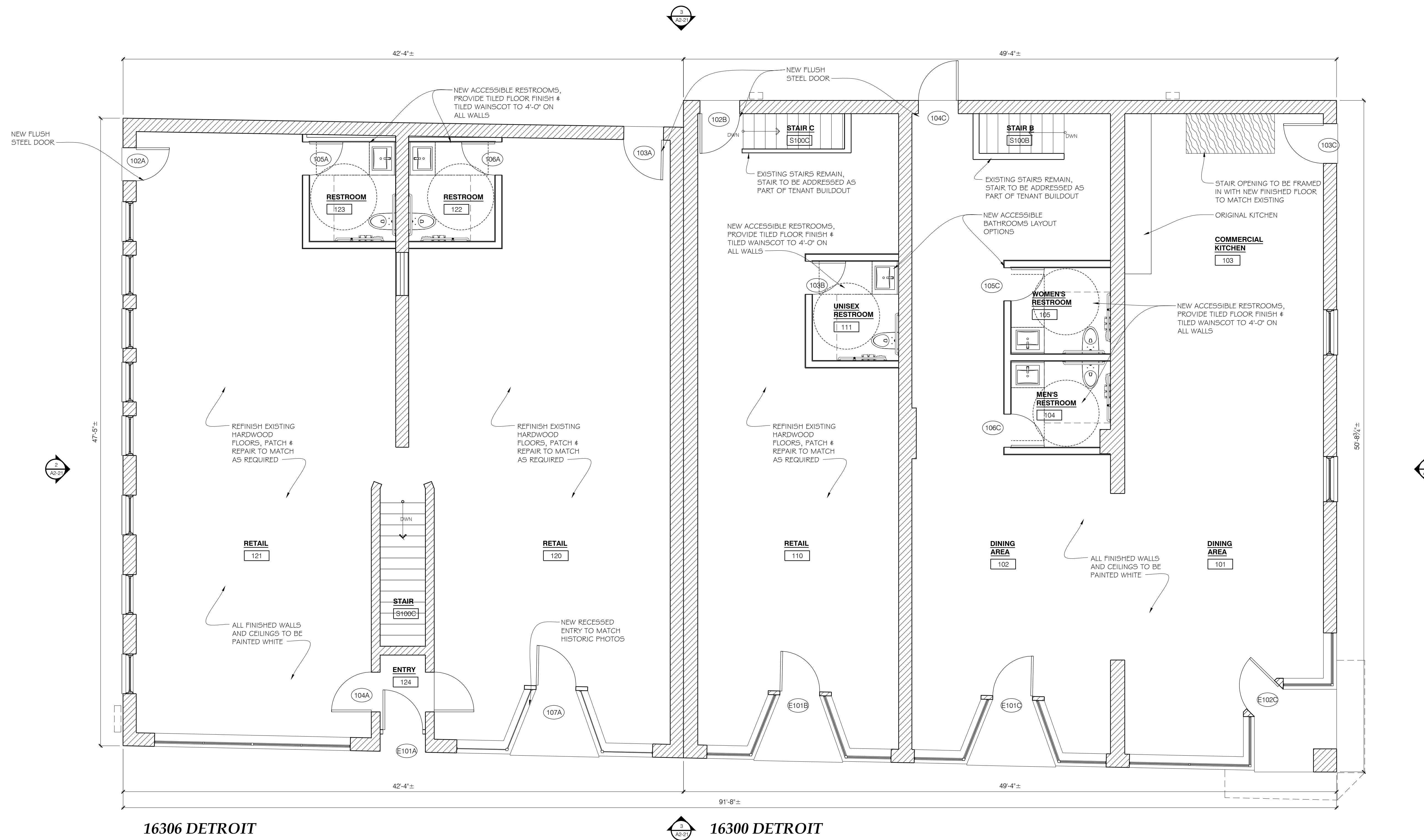
16400 Detroit Ave.
Lakewood, Ohio 44107

Drawing Title
PROPOSED LOWER LEVEL FLOOR PLAN

Date 10-21-2020	Project 19-060
Drawn by JH, DS, NH, CB	Drawing Number A2-01
Checked by SMD / AND	
Approved SMD	

GENERAL NOTES:

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16306 DETROIT

16300 DETROIT

1 PROPOSED GROUND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Seal

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

Trinity Church

16400 Detroit Ave.
Lakewood, Ohio 44107

Drawing Title
PROPOSED GROUND LEVEL FLOOR PLAN

Date: 10-21-2020
Project: 19-060

Drawn by: JH, DS, NH, CB
Checked by: SMD / AND
Approved: SMD

Drawing Number

A2-02

RESTORATION PERFORMANCE SPECIFICATIONS

CLEANING
ALL EXTERIOR ELEVATIONS WILL BE CLEANED TO REMOVE SOILING AND TO PROVIDE A CLEAN SURFACE TO DETERMINE APPROPRIATE MORTAR REPOINTING AND TO MATCH ANY NEED FOR RESTORATION OR REPLACEMENT BRICK OR STONE. ALL APPLIED HARDWARE WILL BE REMOVED PRIOR TO CLEANING. MOCK-UP(S) TO BE PERFORMED FOR ARCHITECT AND HISTORIC CONSULTANT REVIEW.

CLEANING METHODS CONDUCTED WILL ATTEMPT TO RETURN THE MASONRY BACK TO ITS HISTORIC APPEARANCE IN ALL RESPECTS. NO WORK CONDUCTED WILL DAMAGE EXISTING HISTORIC MATERIAL. CLEANING METHOD, CHEMICAL AND SOLUTION TO BE DETERMINED THROUGH FIELD TESTING. LOW PRESSURE WASH NOT TO EXCEED 300 PSI OR TWO PASSES. ALL CLEANING SAMPLES WILL BE PHOTO-DOCUMENTED AFTER SAMPLES HAVE WEATHERED AND TEST SAMPLES WILL BE SUBMITTED TO THE ARCHITECT AND HISTORIC CONSULTANT FOR REVIEW AND APPROVAL BEFORE WORK CONTINUES.

REPOINTING
ALL ELEVATIONS SHALL BE INSPECTED AND REPOINTED WHERE FAILING JOINTS INDICATE NEED FOR REPAIR. THE NEW MORTAR SHALL MATCH THE EXISTING MORTAR IN ALL VISUAL RESPECTS INCLUDING COMPOSITION, COLOR AND POINTING METHODOLOGY. WORK CONDUCTED WILL NOT DAMAGE HISTORIC MATERIAL. MORTAR JOINTS WILL BE ALLOWED TO WEATHER BEFORE TEST SAMPLES ARE DOCUMENTED WITH PHOTOGRAPHY. TEST SAMPLES WILL BE PHOTO-DOCUMENTED WITH BOTH CLOSE UP DETAILS AND CONTEXTUAL AND SAMPLES WILL BE SUBMITTED TO THE ARCHITECT AND HISTORIC CONSULTANT FOR REVIEW AND APPROVAL BEFORE WORK CONTINUES.

MASONRY REPLACEMENT
ANY REPLACEMENT MASONRY WILL MATCH THE HISTORIC MATERIAL IN ALL RESPECTS INCLUDING COLOR, SIZE, WIDTH, AND TEXTURE. TEST SAMPLES WILL BE PHOTO-DOCUMENTED WITH BOTH CLOSE UP DETAILS AND CONTEXTUAL AND SAMPLES WILL BE SUBMITTED TO THE ARCHITECT AND HISTORIC CONSULTANT FOR REVIEW AND APPROVAL BEFORE WORK CONTINUES.

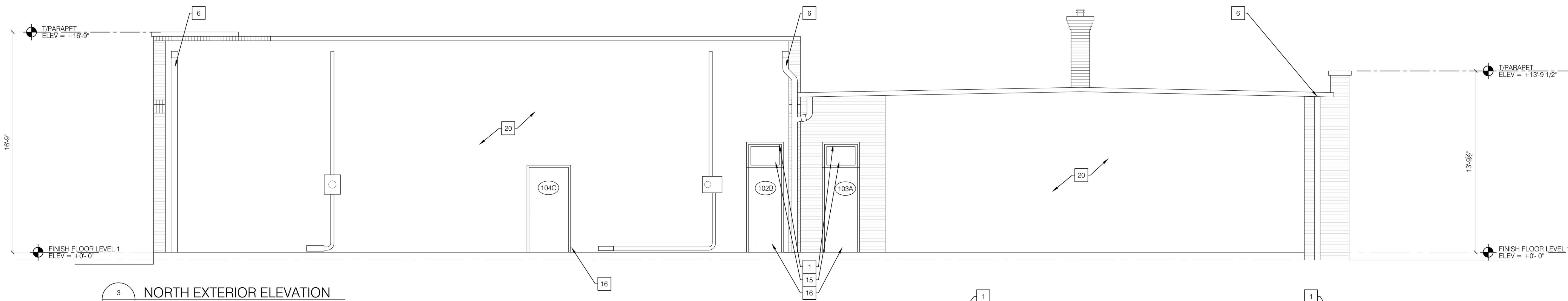
WINDOWS
ALL SAMPLE INSTALLATIONS OF WINDOW REPLACEMENT, REPAIR AND NEW WINDOWS WILL BE PHOTO-DOCUMENTED FOR BOTH DETAIL AND CONTEXTUAL INFORMATION. MOCK-UP(S) TO BE PERFORMED FOR ARCHITECT AND HISTORIC CONSULTANT REVIEW PRIOR TO FULL SCOPE OF WORK ON WINDOW REPLACEMENT OR REHABILITATION.

ELEVATION KEY NOTES:

- 1 REPAIR EXISTING TRANSOM FRAMES OR REPLICATE IN A COMPOSITE MATERIAL TO MATCH HISTORIC DETERIORATED TRANSOMS.
- 2 NOT USED.
- 3 NOT USED.
- 4 REPLICATED HISTORIC STOREFRONT IN A COMPOSITE MATERIAL WITH CLEAR GLASS PANELS.
- 5 RE-POINT MORTAR AT LOWER PORTION OF WALL TO MATCH ORIGINAL DETAILING; MORTAR JOINTS TO BE RECESSED, FACE AND EXPOSED EDGES OF BRICK TO BE CLEAN OF MORTAR UPON COMPLETION OF WORK.
- 6 EXISTING GUTTERS & DOWNSPOUTS TO BE REPLACED WITH NEW ALUMINUM GUTTERS & DOWNSPOUTS; FINISH COLOR TO BE DETERMINED BY ARCHITECT; EXACT LOCATION & QUANTITY TO BE FIELD VERIFIED.
- 7 REPAIR AND REPAINT WOOD ENTRY TRANSOM, REPLACE TRIM AS REQUIRED.
- 8 NEW ALUMINUM WINDOWS TO MATCH HISTORIC WINDOW PROFILES.
- 9 CLEANED AND REPAINTED PARGE ON EITHER SIDE OF STOREFRONT ENTRY.
- 10 NEW CONCRETE ENTRY PAD INSTALLED OVER NEW CONCRETE FOUNDATION CURB.
- 11 INSTALL NEW CONTINUOUS CONCRETE FOUNDATION CURB TO MITIGATE BASEMENT WATER INTRUSION, CURB TO SUPPORT NEW STOREFRONT KNEE WALL, VERIFY EXISTING FOUNDATION CONDITIONS IN FIELD.
- 12 NEW CAST STONE PANELS OVER CONCRETE CURB IN REPLACE OF BRICK.
- 13 NEW PAINTED HARDIE BOARD STOREFRONT KNEE WALL.
- 14 REBUILT BRICK WALL ABOVE ALL WINDOW HEADS AND REPLACE LINTELS.
- 15 NEW GLASS TRANSOM IN EXISTING FRAME OR COMPOSITE.
- 16 NEW FLUSH STEEL DOOR.
- 17 BRICK INFILL.
- 18 DOORS TO BE REPAIRED WHERE POSSIBLE OR REPLICATED IN WOOD TO MATCH EXISTING.
- 19 NEW RECESSED ENTRY DOOR & STOREFRONT TO MATCH HISTORIC PHOTOS.
- 20 CLEANED AND REPAINTED PARGE COAT.



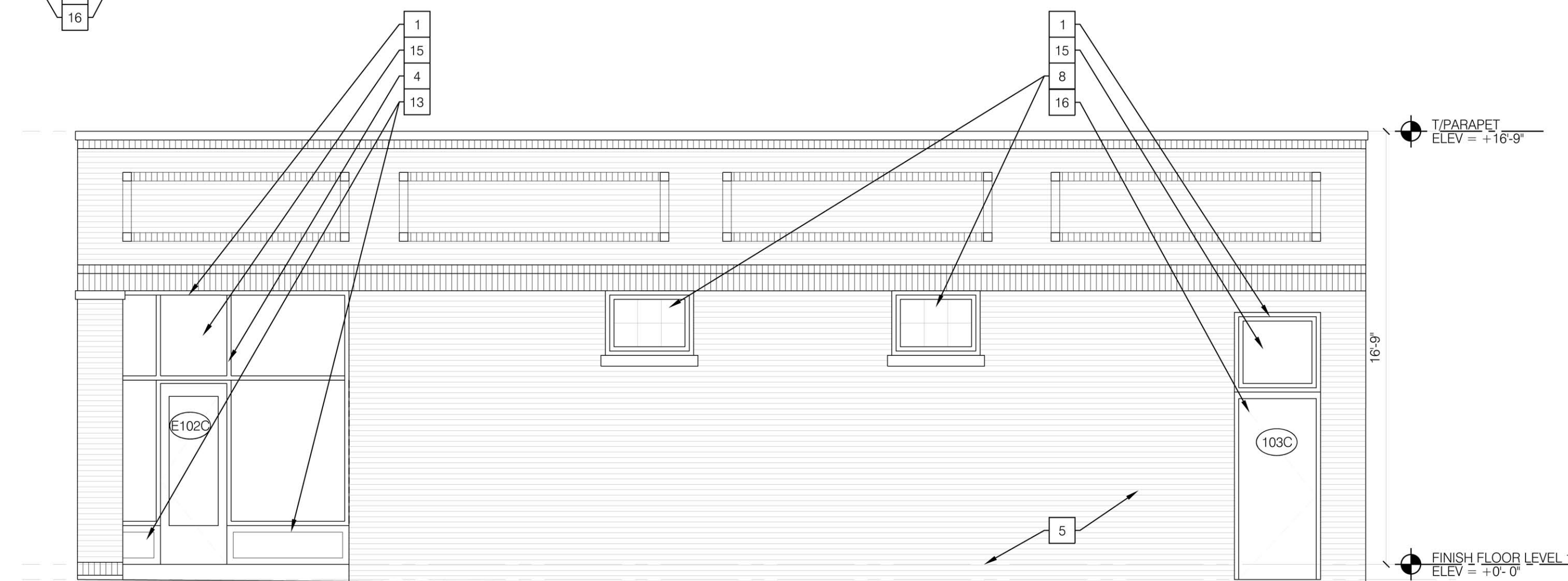
4 SOUTH EXTERIOR ELEVATION
A2-21 SCALE: 1/4" = 1'-0"



3 NORTH EXTERIOR ELEVATION
A2-21 SCALE: 1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
A2-21 SCALE: 1/4" = 1'-0"



1 EAST EXTERIOR ELEVATION
A2-21 SCALE: 1/4" = 1'-0"

Seal

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
PART 2 SUBMITTAL	08-25-20	JMH

DIMIT ARCHITECTS
architecture + interiors + urban design

14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

Trinity Church

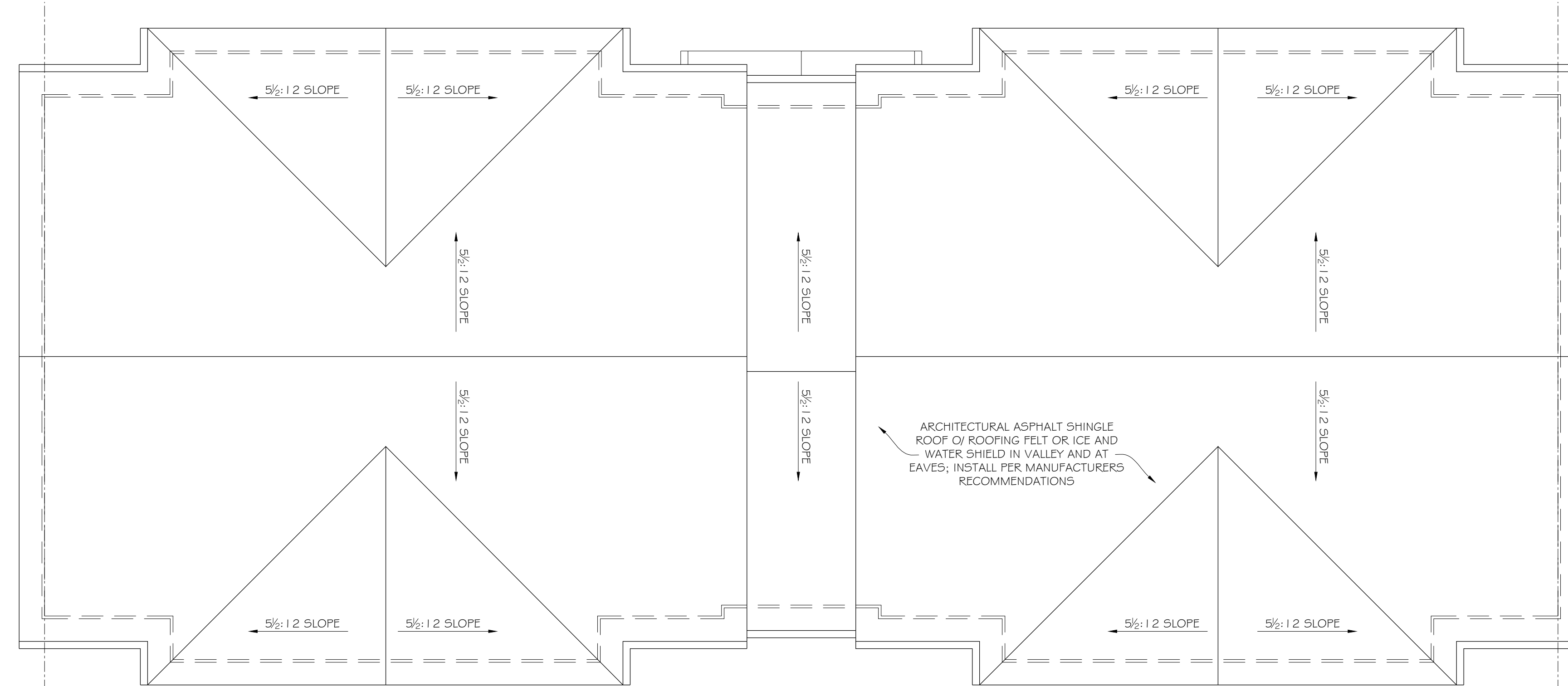
16400 Detroit Ave.
Lakewood, Ohio 44107

Drawing Title
STOREFRONT PROPOSED EXTERIOR ELEVATIONS

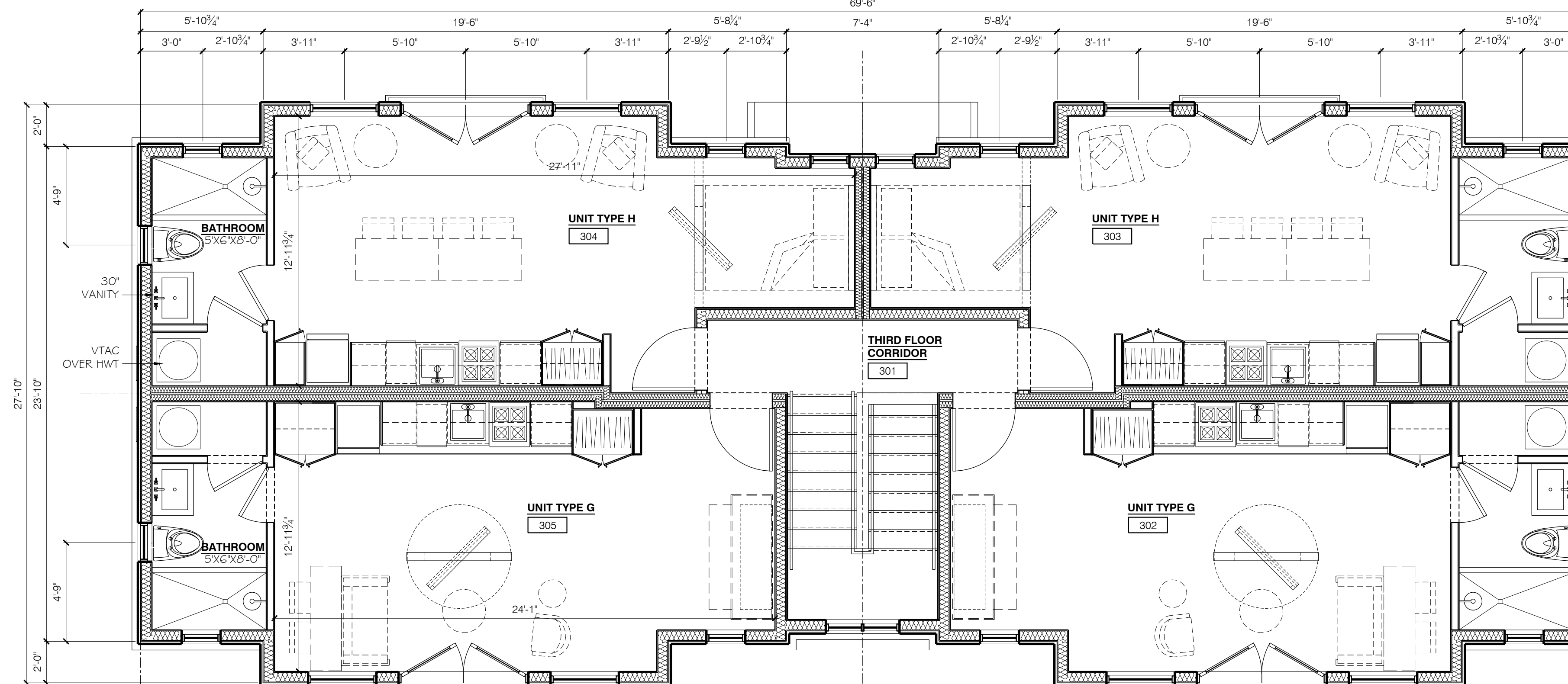
Date	10-01-2020	Project	19-060
Drawn by	JH, DS, NH, CB	Drawing Number	A2-21
Checked by	SMD / AND	Approved	SMD

GENERAL NOTES:

1. GENERAL CONTRACTOR & ALL SUBCONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS, EXAMINE THE ENTIRE SITE AND THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT EXISTING FIELD CONDITIONS AFFECTING THE SCOPE OF WORK PRIOR TO PRICING. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE ARCHITECTURAL AND ENGINEERING DOCUMENTS AND FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT AND ENGINEER BEFORE INITIATING WORK.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ACCURATE FIELD MEASUREMENTS AND VERIFY ALL DIMENSIONS AND TO PROVIDE SHOP DRAWINGS TO ENSURE AN ACCURATE FIT. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED BASED ON FAILURE TO IDENTIFY EXISTING FIELD CONDITIONS.
3. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS THEY MAY DISCOVER PRIOR TO THE COMMENCING OF WORK WITH THE REQUEST FOR INFORMATION (RFI) FORM.
4. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. ALL DIMENSIONS ARE FROM FACE OF FINISH OF WALL (TYPICAL UNLESS OTHERWISE NOTED). - DO NOT SCALE.
5. ALL DOOR ROUGH OPENINGS ARE TO BE LOCATED 3" FROM NEAREST WALL AT HINGE SIDE (TYPICAL UNLESS OTHERWISE NOTED).
6. APPROVED FIRE EXTINGUISHERS TO BE LOCATED BY LOCAL FIRE INSPECTOR. BASE BID TO INCLUDE 25 FIRE EXTINGUISHERS AND CABINETS. CABINETS TO BE FIRE-RATED, SEMI-RECESSED & MOUNTED IN CORRIDOR WALLS.
7. ALL WORK TO COMPLY WITH OHPO / NPS SUBMITTAL.



2
A3-02 CARRIAGE HOUSE
ROOF PLAN
SCALE: 1/4" = 1'-0"



1
A3-02 CARRIAGE HOUSE
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

Seal

Issues:	Date:	By:
REVIEW SET	07-10-20	JMH
REVIEW SET	07-31-20	JMH
REVIEW SET	08-17-20	JMH
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DIMIT ARCHITECTS
architecture + interiors + urban design

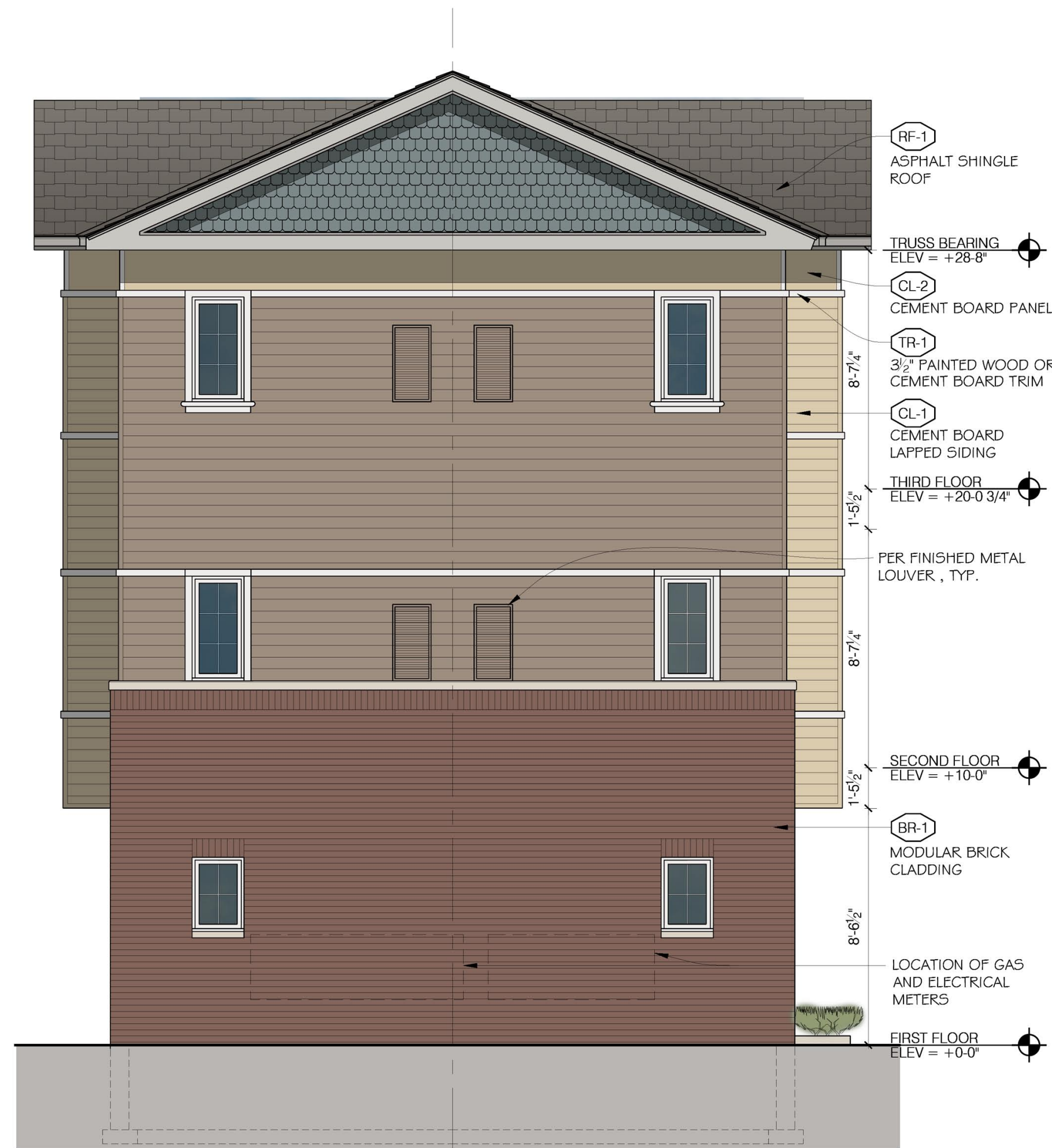
14414 Detroit Ave., #306
Lakewood, Ohio 44107
216-221-9021

Trinity Church

16400 Detroit Ave.
Lakewood, Ohio 44107

Drawing Title
**CARRIAGE HOUSE
THIRD FLOOR PLAN
AND ROOF PLAN**

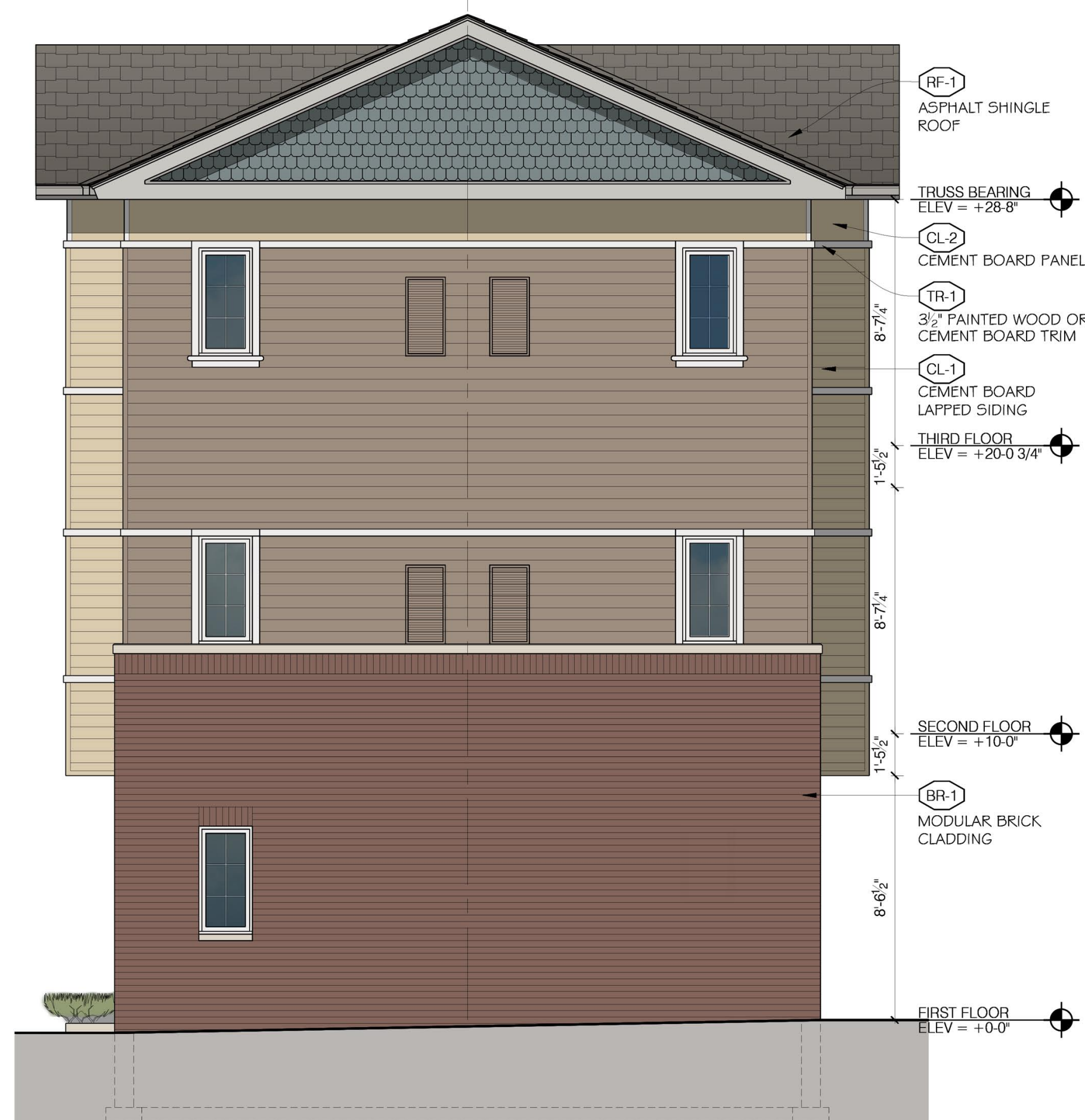
Date	Project
10-12-2020	19-060
Drawn by JH, DS, NH, CB	Drawing Number
Checked by SMD / AND	A3-02
Approved SMD	



South Elevation



West Elevation



North Elevation



East Elevation





Trinity Church Site Conversion
Lakewood, Ohio

Carriage House - 3D Rendering
SCALE = NTS



NO LOITERING
ON THIS PROPERTY
VIOLATORS WILL
BE PROSECUTED

NO BALL PLAYING,
SKATEBOARDING,
ROLLER SKATING,
HOCKEY SKATING,
BANDS OR SIMILAR
ACTIVITIES PERMITTED
IN PARKING LOT.
VIOLATORS AND
TRESPASSERS WILL BE
PROSECUTED

CHURCH &
CUSTOMER
PARKING ONLY
10PM - 6AM ZONE
BY APPOINTMENT ONLY
BAKER MOTORS
12345 BATTERY AVE
EVANSTON, ILL 60120

REALTY
INC.

Street
Burger
BISTRO BEER

Detroit

STOP

ald's



KISS

REALTY CO

16304

Street
Burger
BISTRO BEER





TRINITY LUTHERAN CHURCH
LUTHERAN CHURCH IN AMERICA

NO PARKING
ANY TIME









**ONE WAY
DO NOT
ENTER**

NO BALL PLAYING,
SKATEBOARDING,
ROLLER BLADING,
ROLLER SKATING,
BIKING, OR SIMILAR
ACTIVITIES PERMITTED
IN PARKING LOT.
VANDALISM AND
TRESPASSING WILL BE
PROSECUTED.

NO LOITERING
ON THIS PROPERTY
VIOLATORS WILL
BE PROSECUTED

201
120-
158

McDonald's



PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

Application Cover Page

Docket No.: 11-50-20

Reference No.: PC20-000052

Applicant Name: Sean Fairbairn, Barrio

Project Address: 15527 Madison Avenue

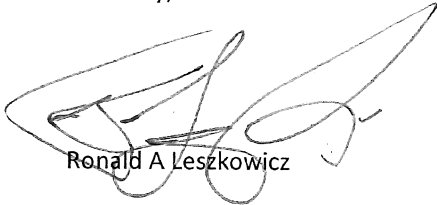
Project Name: Barrio

Proposal: A conditional use permit for outdoor dining in the rear parking lot; change the status of a temporary patio to a permanent one, approved at the August 6, 2020 meeting. Pursuant to section 1161.03(t) – outdoor/seasonal dining facility. The property is in a C2 - Commercial, Retail district.

To Whom It May Concern:

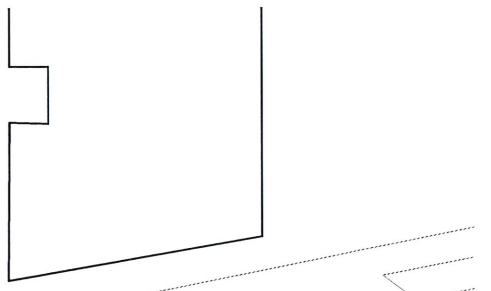
I, the undersigned, hereby authorize Barrio to apply to the Lakewood Planning Commission for a temporary outdoor dining permit. This authorization is for the restaurant located at 15527 Madison Avenue in Lakewood. If you have any questions or concerns please contact me.

Sincerely,

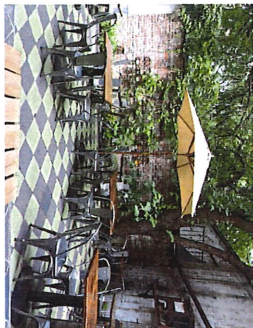
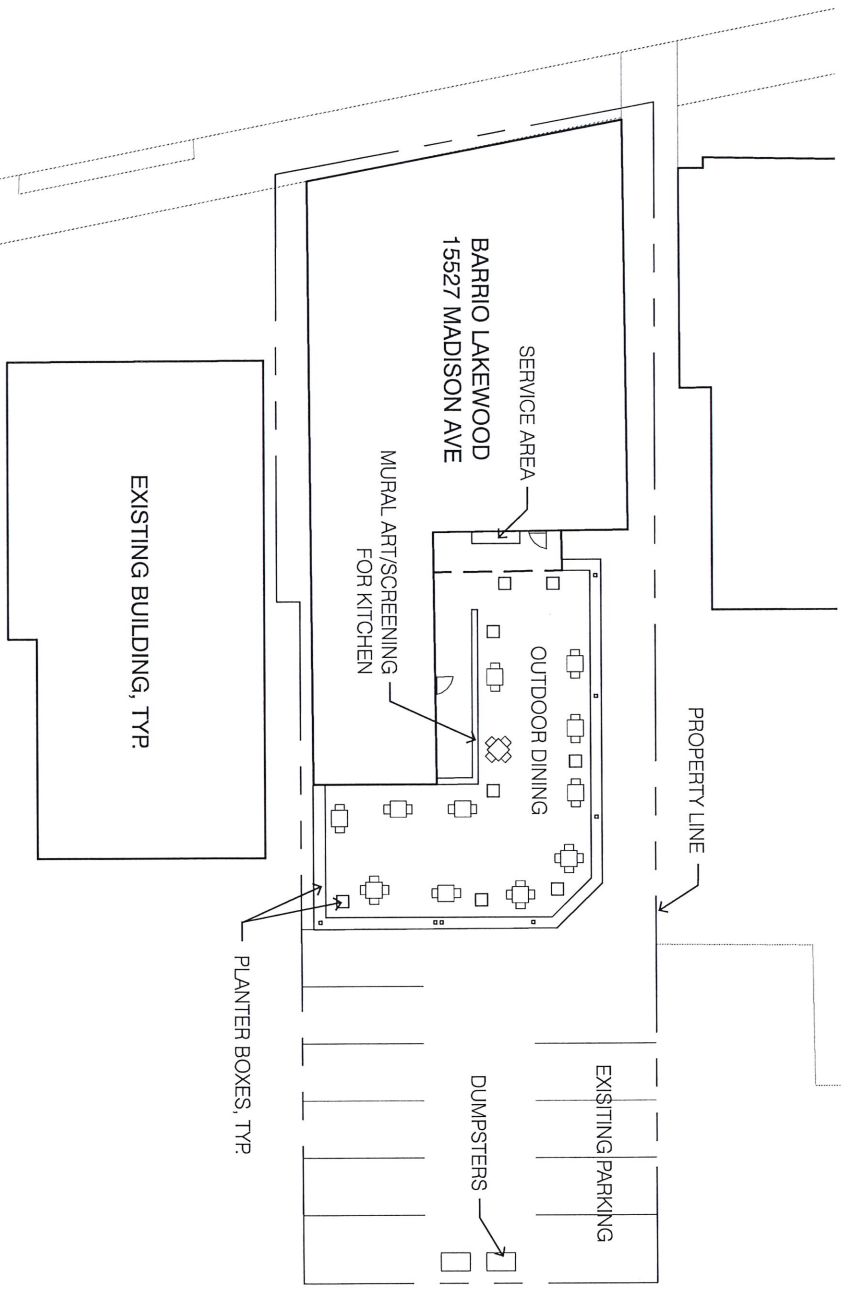
A handwritten signature in black ink, appearing to read 'Ronald A. Leszkowicz', written over a printed name.

Ronald A Leszkowicz

216-272-3763

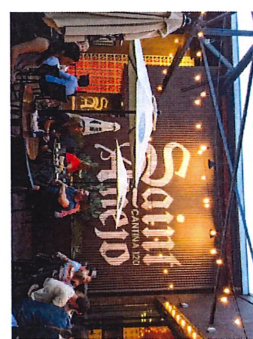


MADISON AVE



Precedent Imagery

Site Plan - Patio Layout



NOTE: TABLES 6' APART MIN.

embark'd

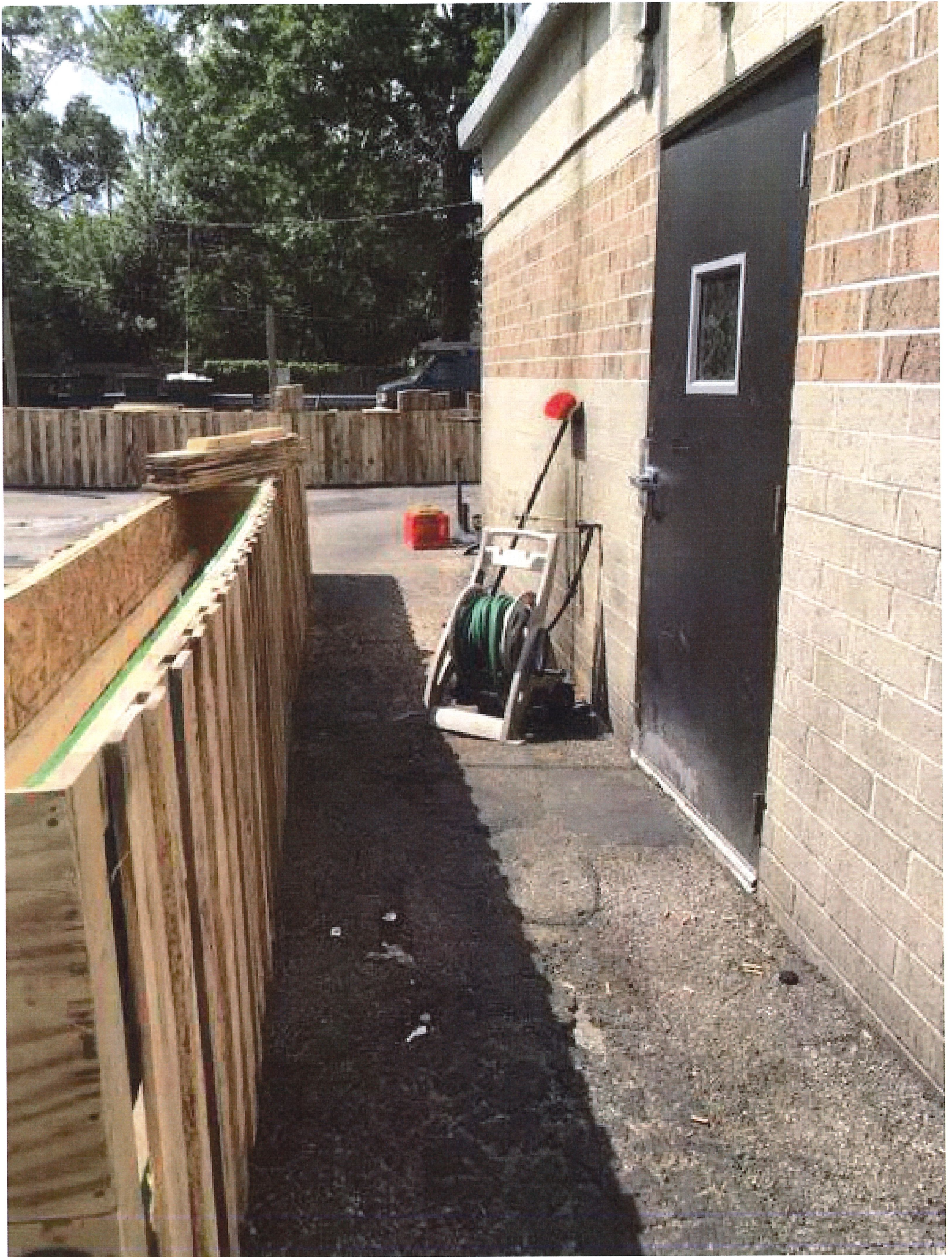
Scale: 1" = 20'
 0' 5' 10' 20' ← N

Barrio - Lakewood
 06.19.2020



















PLANNING COMMISSION

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com

Application Cover Page

Docket No.: 11-51-20

Reference No.: PC20-000055

Applicant Name: Patrick Granzier, NCR Ventures

Project Address: 15625 Detroit Avenue

Project Name: Lindy's Lake House

Proposal: A conditional use permit to allow the operation of a parklet on Westwood Avenue; a conditional use for temporary expansion of outdoor dining, the flexibility to expand or add outdoor dining to support restaurants that are affected by COVID-19 restrictions. Pursuant to Chapters 1161 and 1129 Outdoor Seasonal Dining as temporarily modified by Resolution 2020-31(5-22-2020) until 10-31-2020. The property is in a C2 – Commercial, Retail district.

Account: 101-0000-321. 30-03 (Sim. Use, Con. Use, Use Var)

Account: 101-000-349. 60-00 (Minor-Sub, Lot Split/Con, PD)

REFERENCE No. _____

DOCKET No. _____

FEE PAID _____

TEMPORARY OUTDOOR DINING

APPLICATION

LAKESWOOD PLANNING COMMISSION

Property Address 15625 Detroit Business/Tenant Name Lindey's Lake House

Property Owner Name John Granzier Owner Phone 216-323-8444

Owner E-mail JGranzier@roadrunner.com Parcel Number _____

Project Summary: Applying for Permits on Westwood Ave side of Building

Late Applications Will Not Be Accepted. (See calendar on page 2 for deadlines)

ACTION REQUESTED (Check all that apply)

- Minor Sub-Division – (Commercial \$200, Residential \$200, Planned Development \$500)
- Lot Consolidation/Lot Split – (Commercial \$200, Residential \$200, Planned Development \$500)
- Planned Development – (\$500)
- Similar Use – (Commercial \$50, Residential \$25)
- Conditional Use – (Commercial \$150, Residential \$75) (See Chapter 1173 of the Zoning Code for add'l submission requirements)
- Variance – (Commercial \$50, Residential \$25)
- Parking Plan Review – (\$150)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. Letter of authorization from property owner, if different from the applicant.
3. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11)
4. Photos of the existing conditions.
5. ~~Authorization for Property Access signed by the owner. (Pg. 2 of this application form)~~
6. ~~Fee(s).~~

Applicant Name (Print Clearly): Patrick Granzier Company NCA Ventures, Com

Applicant Address: 372 Kenilworth Rd. Bay Village

Phone: 440-503-2350 Fax: _____ E-mail: pat@ncaventures.com

Signature: [Signature] Date: 10/20/2020

OFFICE USE ONLY: Application Reviewed and Accepted by: _____ Date: _____

File History: _____

Bldg. Dept. Remarks: _____

ORD. _____ SECTION _____

October 20, 2020

RE: Outdoor Patio Dining (15625 Detroit Ave)

To Whom It May Concern:

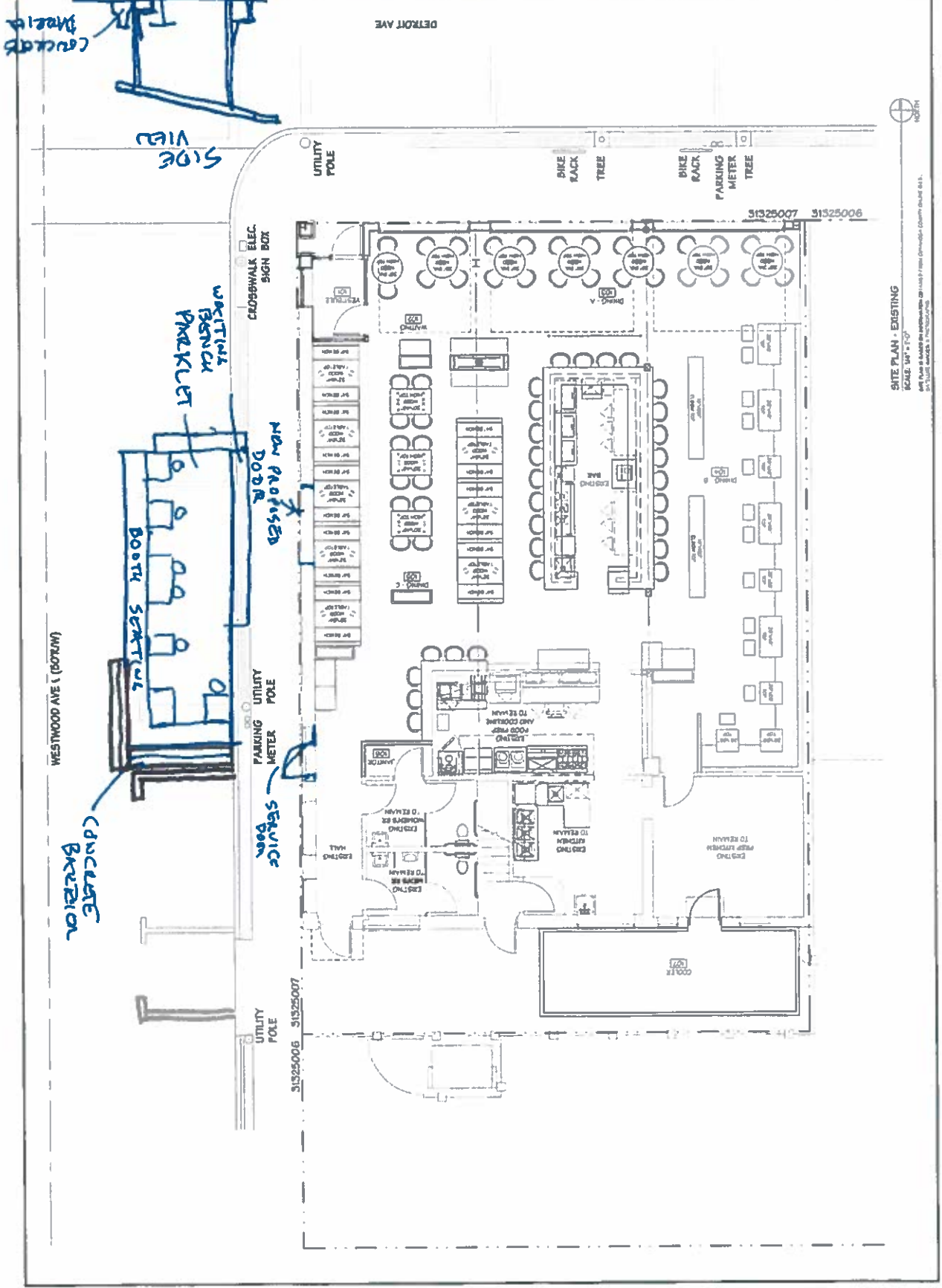
My name is John Granzier. I am the owner of the building with the address 15625 Detroit Ave, Lakewood, Ohio. The purpose of this letter is to grant permission for temporary outdoor dining at Lindey's Lake House—the tenant of said property.

Respectfully,
John Granzier

October 21, 2020

To whom it may concern:

Lindey's Lake House, 15625 Detroit Avenue Requests to install a Parklet on the Westwood side of the Building. With the City of Lakewood's approval, we would use cement or water based barriers to secure the location. Due to the Covid, we are dramatically losing sales as we have no ability to offer outdoor dining. Lindey's Lake House would design the area to specifications of social distancing mandated by the Governor.



SITE PLAN - EXISTING
 SCALE: 1/4" = 1'-0"
 ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES. DIMENSIONS SHOWN ARE APPROXIMATE.









FRASCUETS

