



City of Lakewood  
Planning Commission

(216) 529-6630  
planning@lakewoodoh.gov

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MINUTES  
PLANNING COMMISSION  
CITY OF LAKEWOOD  
12650 DETROIT AVENUE  
AUDITORIUM  
JULY 8, 2025  
6:00 P.M.  
RECORDED

<https://www.lakewoodoh.gov/videos-2/>

1. ROLL CALL

Members Present

Hannah Gall  
Nicholas LaPointe, Vice Chair  
Kyle Reisz  
William Sanderson

Staff Present

David Baas, Assistant Director, Planning and Development  
Jennifer Swallow, Chief Assistant Law Director  
Mark Papke, Engineer

A motion was made by Mr. LaPointe, seconded by Ms. Gall to EXCUSE the absence of Sean McDermott, Chair. All the members voted yea; the motion passed.

2. APPROVE THE MINUTES OF THE THURSDAY, JUNE 5, 2025 MEETING

A motion was made by Mr. LaPointe, seconded by Mr. Reisz to APPROVE the June 5, 2025 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Mr. Baas read the Opening Remarks into record.

NEW BUSINESS

PARKING PLAN

4. Docket No. 07-25-25  
16024 Madison Ave.  
Neighborhood Pediatrics LLC

Michael Daso, Daso Properties, applicant requests the review and approval of a parking lot – pursuant to Chapter 1143.09, Parking Plan Review and 1143.10, Exceptions for Required Minimums. Property is in the C2 - Commercial, General Retail district. (Page 2)

Michael Daso, Daso Properties, applicant was present to explain the request. Staff provided administrative comments. Public comment was waived as there was no one in the audience aside from the applicant. Amy Daso, Neighborhood Pediatrics LLC business owner was present to answer commissioners' questions.

Commissioners' Questions/Comments

- Operating hours.
  - 8 a.m. to 5 p.m. or 6 p.m., Monday through Friday
- Number of staff.
  - 12-15
- Daily average number of clients.

There are five to eight patient units per appointment slot. Approximately 40% of the patients are Lakewood residents and walk to the appointments.
- Dimensions are not shown on the drawing for the Northland Avenue curb cut. The Madison Avenue curb cut dimensions are 16 feet wide.
  - Mr. Papke stated that the applicant should not do work on the Northland curb cut and apron as the city was slated to do work on Northland Avenue through the spring of 2026.

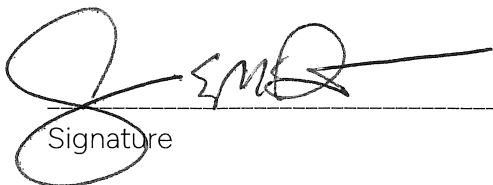
A motion was made by Mr. LaPointe, seconded by Mr. Reisz to **APPROVE** Docket 07-25-25 with the following conditions:

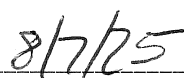
- The applicant coordinates with the City of Lakewood Engineer to coordinate exterior/parking lot improvement work with the pending Northland Avenue water/street project – including maintenance of the existing site curb cut to Northland (16 foot width dimension).

All the members voted yea; the motion passed.

ADJOURN

Mr. LaPointe ADJOURNED the meeting at 6:17 p.m.

  
-----  
Signature

  
-----  
Date



Oath

*(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)*

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

- 1. Michael Daso
- 2. Amy Daso
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_
- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_
- 10. \_\_\_\_\_
- 11. \_\_\_\_\_

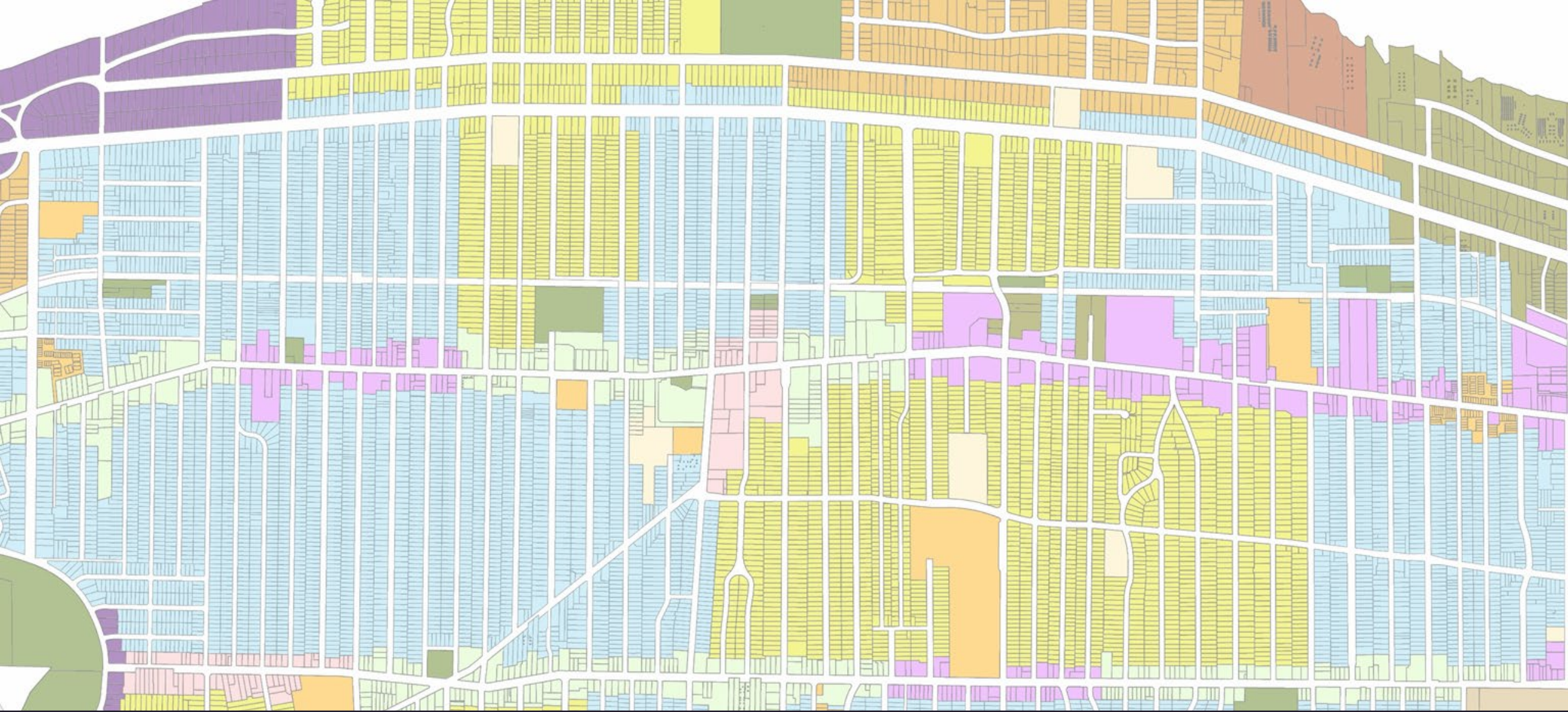
- Michael Daso
- AD
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

FOR CITY USE ONLY

Lakewood Administrative Procedure:  ABR/BBS  Citizens Advisory  Civil Svc.  Dangerous Dog  Income Tax Appeals  Loan Approval  Nuisance Abatement Appeals  Parking  Planning  Zoning Appeals  Other:

Date of Proceeding: Tuesday, July 8, 2025



# Planning Commission

July 2025





**Planning Commission**  
**July 2025 Agenda**

1. Roll call
2. Adoption of minutes – June 2025 meeting
3. Opening Remarks
4. 07-25-25: 16024 Madison – Neighborhood Pediatrics (Parking Plan – Exception to Required Minimum)
5. Adjourn



**Docket 07-25-25 – 16024 Madison (Neighborhood Pediatrics)  
Parking Plan – Exception to Required Minimum**



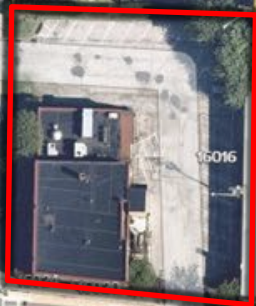
# Request (07-25-25)

The review of a **Parking Plan** pursuant to:

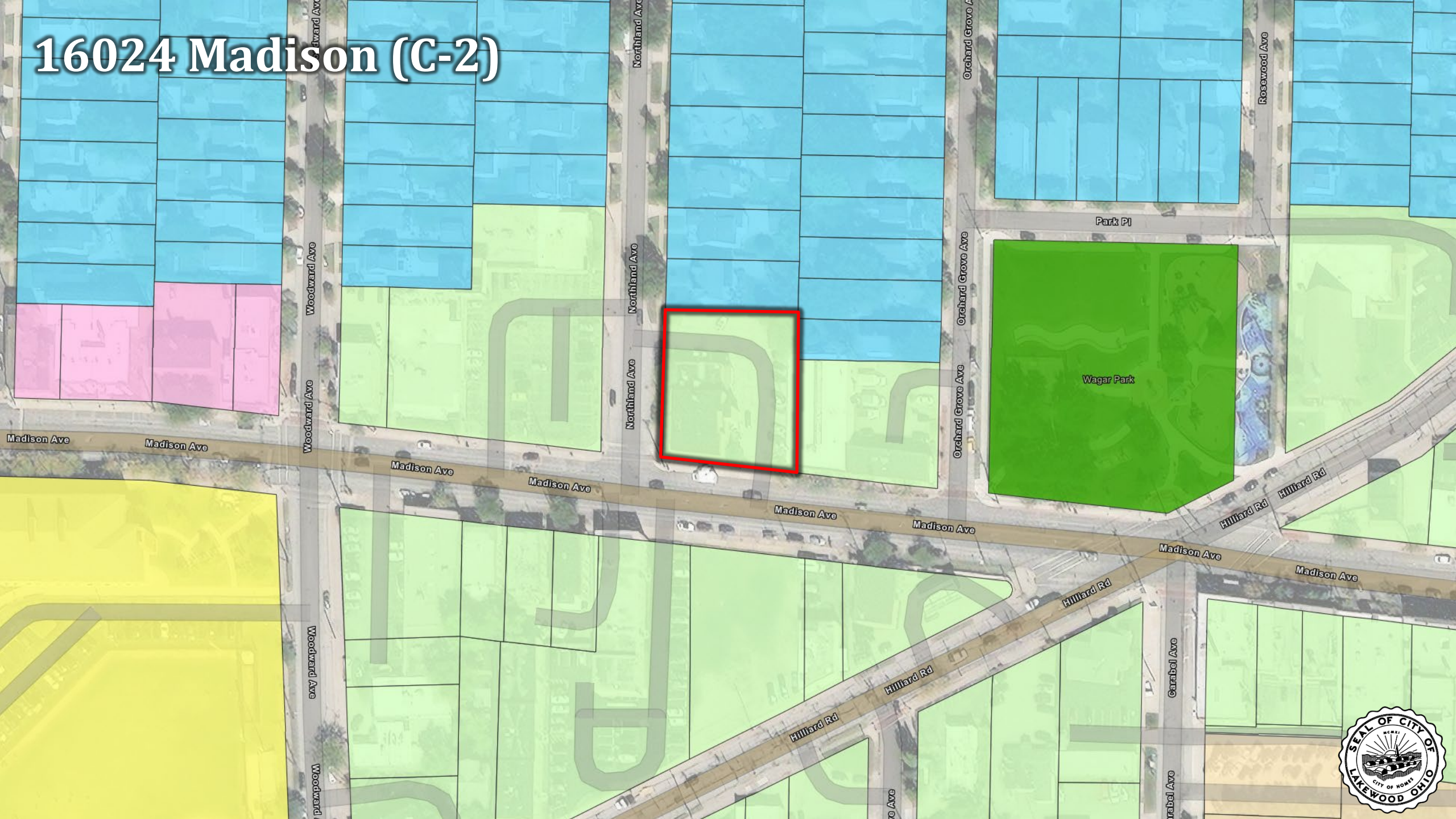
- Chapter 1143 (Parking)



# 16024 Madison



# 16024 Madison (C-2)

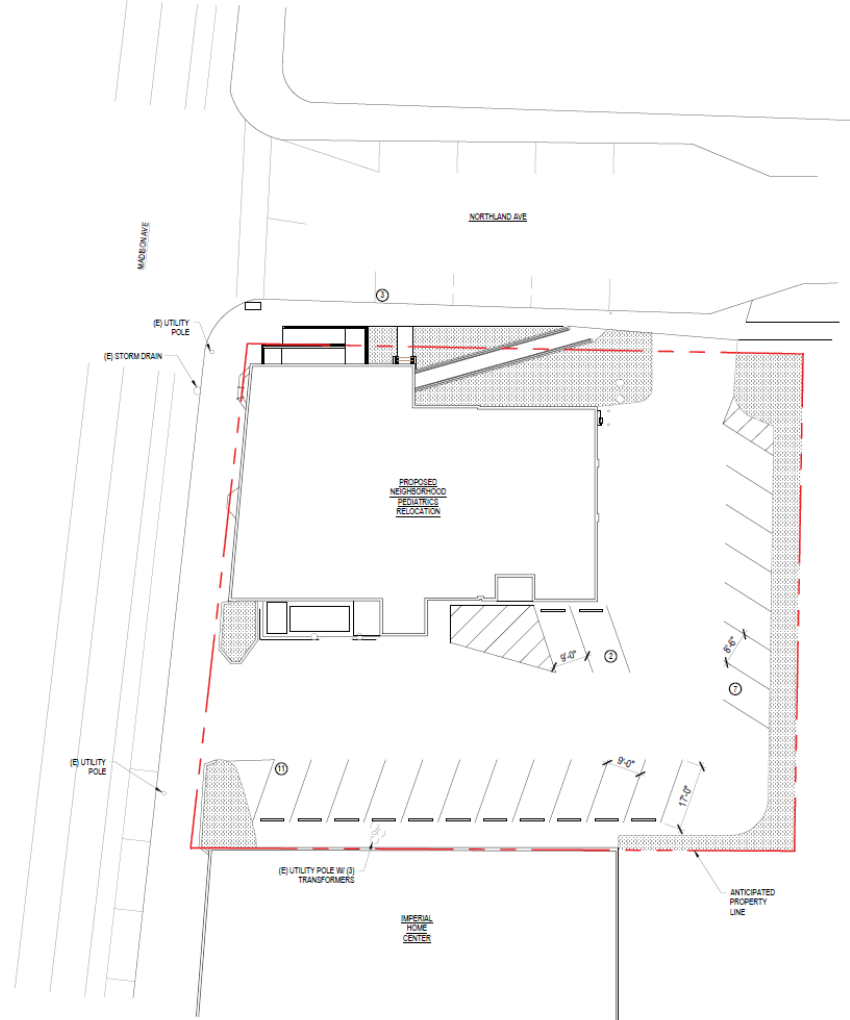




EXISTING CONDITION AERIAL PHOTO



EXISTING CONDITION PHOTOS



**SITE PLAN**  
SCALE: 1/16" = 1'-0"

**ADA ARCHITECTS**  
17710 Detroit Avenue, Lakewood, Ohio 44107  
Phone (216) 521-5134 Fax (216) 521-4824  
www.adaarchitects.com

**NEIGHBORHOOD PEDIATRICS, LLC**

16024 MADISON AVE. LAKEWOOD, OH 44107

THESE DOCUMENTS CONTAIN INFORMATION PROPRIETARY TO ADA ARCHITECTS, INC. UNAUTHORIZED USE OF THESE DOCUMENTS IS EXPRESSLY PROHIBITED UNLESS AGREED UPON IN WRITING.

REVISIONS

#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

EXISTING  
CONDITION SITE  
PLAN

DATE 4/29/25  
JOB NO. 24472

**EC-1**  
SHEET NO.

MADISON AVE

NORTHLAND AVE

(E) UTILITY POLE  
(E) STORM DRAIN

3

PROPOSED  
NEIGHBORHOOD  
PEDIATRICS  
RELOCATION

9'-0" 2

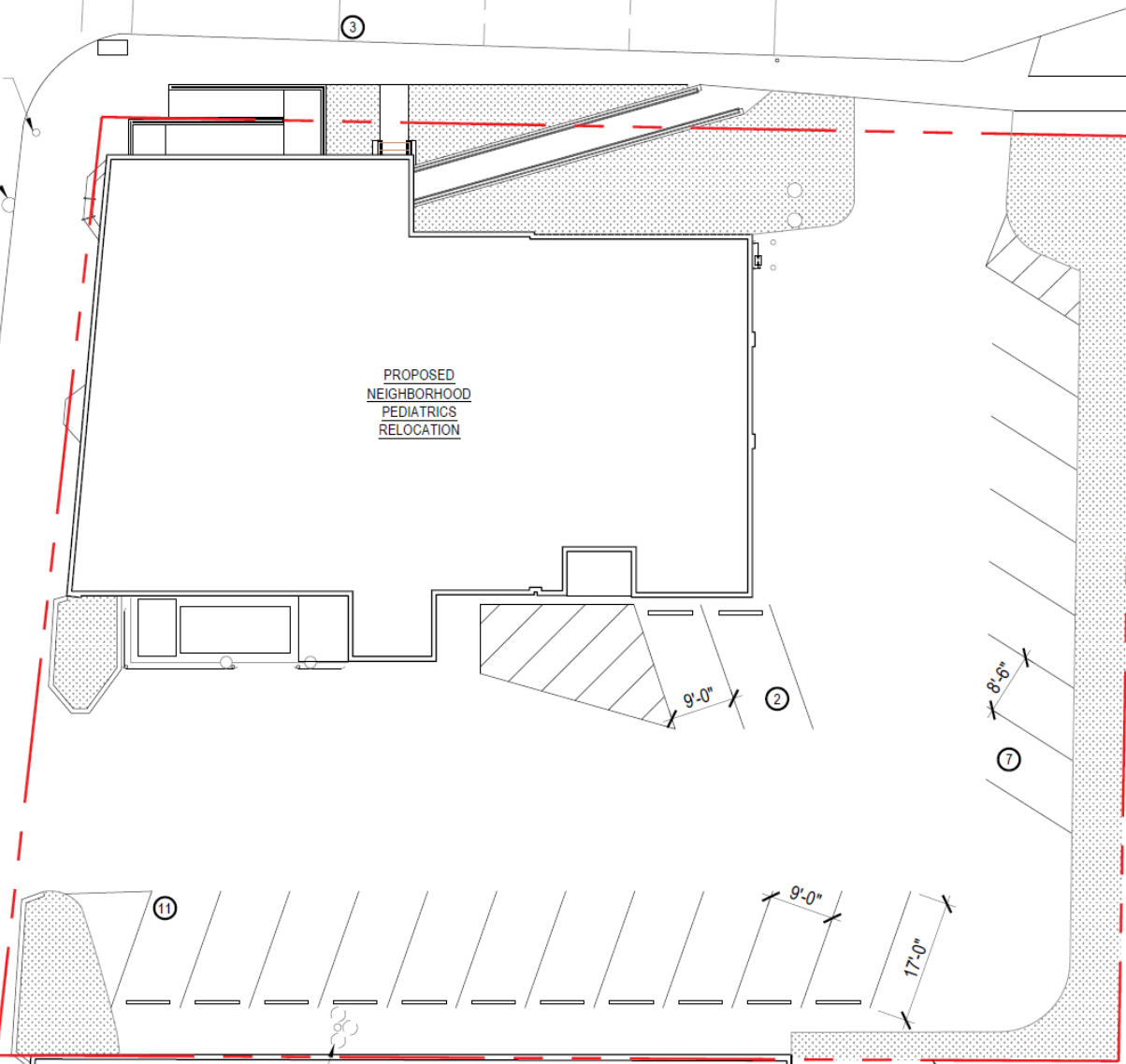
8'-6" 7

(E) UTILITY POLE

(E) UTILITY POLE W/ (3)  
TRANSFORMERS

IMPERIAL  
HOME

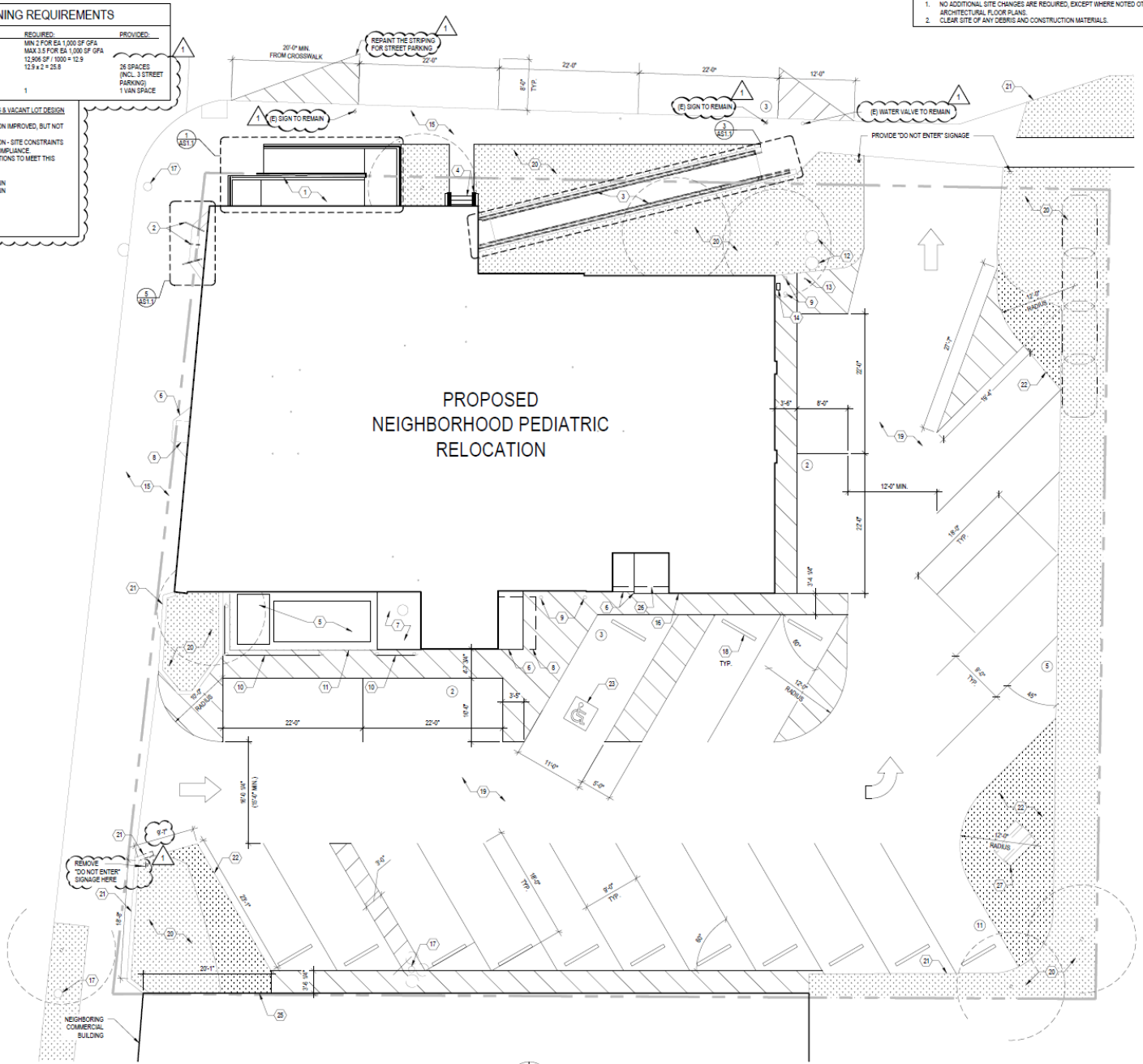
ANTICIPATED  
PROPERTY  
LINE



**ZONING REQUIREMENTS**

PARKING SPACES	REQUIRED:	PROVIDED:
SECTION 1143.06 OFFICE	MIN 2 FOR EA 1,000 SF GFA MAX 3.5 FOR EA 1,000 SF GFA	26 SPACES (INCL. 3 STREET PARKING) 1 VAN SPACE
ACTUAL:	12,906 SF / 1,000 = 12.9 12.9 x 3.5 = 45.3	
ADA SPACES: 1 PER 25	1	

- SECTION 1156.08 PARKING & VACANT LOT DESIGN**
- (A) COMPLIES
  - (B) EXISTING CONDITION IMPROVED, BUT NOT FULLY COMPLIANT
  - (C) EXISTING CONDITION - SITE CONSTRAINTS PREVENTS THIS COMPLIANCE
  - (D) IMPROVING CONDITIONS TO MEET THIS COMPLIANCE
  - (E) COMPLIES
  - (F) EXISTING TO REMAIN
  - (G) EXISTING TO REMAIN
  - (H) ACKNOWLEDGED
  - (I) COMPLIES
  - (J) N/A
  - (K) ACKNOWLEDGED

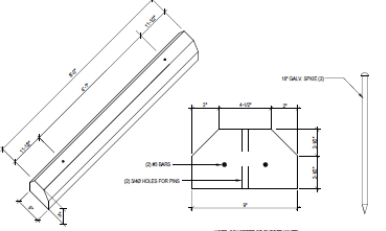


**PROPOSED  
NEIGHBORHOOD PEDIATRIC  
RELOCATION**

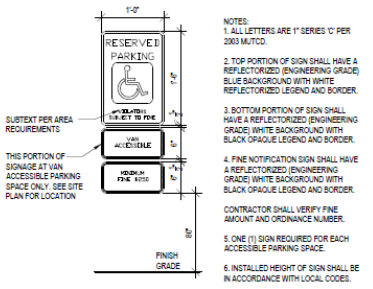
**SITE PLAN**  
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- NO ADDITIONAL SITE CHANGES ARE REQUIRED, EXCEPT WHERE NOTED OTHERWISE ON ARCHITECTURAL FLOOR PLANS.
  - CLEAR SITE OF ANY DEBRIS AND CONSTRUCTION MATERIALS.

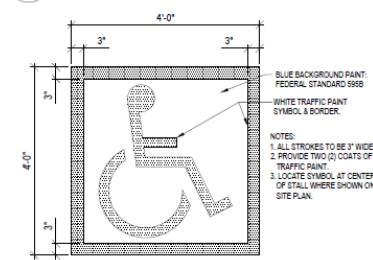
- KEYNOTES**
- EXISTING CONCRETE ACCESSIBLE RAMP AND HANDRAILS: PATCH AND REPAIR CONCRETE AS NEEDED TO ENSURE CLEAN, SMOOTH SURFACE. HANDRAILS TO BE REMOVED AND REPLACED. SEE SHEET D1.1 AND A&S1.1.
  - EXISTING CONCRETE STAIRS TO REMAIN. HANDRAILS TO BE REMOVED AND REPLACED. SEE SHEET D1.1 AND A&S1.1.
  - EXISTING RAMP DOWN TO BASEMENT LEVEL ENTRY: PATCH AND REPAIR CONCRETE AS NEEDED TO ENSURE CLEAN, SMOOTH SURFACE. HANDRAILS TO BE REMOVED AND REPLACED. SEE SHEET D1.1 AND A&S1.1.
  - EXISTING STAIRS AND HANDRAILS DOWN TO BASEMENT LEVEL ENTRY: PATCH AND REPAIR RAMP TO ENSURE CLEAN, SMOOTH SURFACE. HANDRAILS TO BE REMOVED AND REPLACED. SEE SHEET D1.1 AND A&S1.1.
  - EXISTING GENERATOR AND FUEL TANK TO REMAIN. GC TO ENSURE IN GOOD WORKING ORDER.
  - EXISTING CONCRETE PAD.
  - EXISTING MECHANICAL EQUIPMENT TO REMAIN.
  - DASHED LINE OF EXISTING AIRING ABOVE.
  - EXISTING BOLLARDS TO REMAIN. PAINT SAFETY YELLOW.
  - EXISTING GUARDRAILS TO REMAIN.
  - EXISTING CHAIN LINK FENCE TO REMAIN.
  - EXISTING GREASE TRAP TO REMAIN. CLEAN OUT AND ENSURE IT IS IN PROPER WORKING ORDER.
  - EXISTING CLEAN OUT TO REMAIN.
  - EXISTING GAS METER TO REMAIN.
  - EXISTING CONCRETE SIDEWALK TO REMAIN.
  - ACCESSIBLE PARKING SIGNAGE. SEE DETAIL A&S1.0 FOR ADDITIONAL INFORMATION.
  - APPROXIMATE LOCATION OF EXISTING UTILITY POLE TO REMAIN. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT DURING CONSTRUCTION.
  - NEW CONCRETE WHEEL STOP. SEE DETAIL A&S1.0.
  - MILL EXISTING ASPHALT PARKING LOT (4'-1/2" THICK) AND INSTALL NEW 1-1/2" ASPHALT TOP COATING. NEW PARKING STRIPING TO BE PAINTED. ADJUST GRADING AS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING. CROSS SLOPES WITHIN ACCESSIBLE PATHS SHALL NOT EXCEED 2% CROSS SLOPE 5% IN PATH OF TRAVEL.
  - EXISTING LANDSCAPING TO BE REMAIN. REMOVE WEEDS AND TRIM TREES AND SHRUBS AS NEEDED.
  - EXISTING CURBS TO REMAIN.
  - NEW LANDSCAPING AREA. SARE OUT AND RESEED. INSTALL SOFT AND GRASS SEED.
  - HANDICAPPED SYMBOL. SEE DETAIL 3 ON THIS SHEET.
  - NOT USED.
  - PROTECT NEIGHBORING BUILDING FROM PAVEMENT DEMOLITION. REPAIR ANY DAMAGE CAUSED BY NEW WORK.
  - DASHED LINE OF SOFFIT ABOVE.
  - POSSIBLE EXTERIOR FURNITURE LOCATION. BY OWNER, N.I.C.



**1 WHEEL STOP**  
SCALE: NTS



**2 ACCESSIBLE SIGNAGE DETAIL**  
SCALE: 1/4" = 1'-0"



**3 ACCESSIBLE SYMBOL DETAIL**  
SCALE: 3/4" = 1'-0"

**STATE OF OHIO**  
REGISTERED ARCHITECT  
**ADA ARCHITECTS**  
1802A MADISON AVE.  
LAKEWOOD, OH 44107  
Phone (419) 572-9134 Fax (419) 521-4824  
www.adaarchitects.com

**NEIGHBORHOOD PEDIATRICS, LLC**  
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**REVISIONS**

NO.	DATE	TYPE	DESC. UPDATES
1	4/29/25		
2			
3			
4			
5			
6			
7			
8			
9			
10			

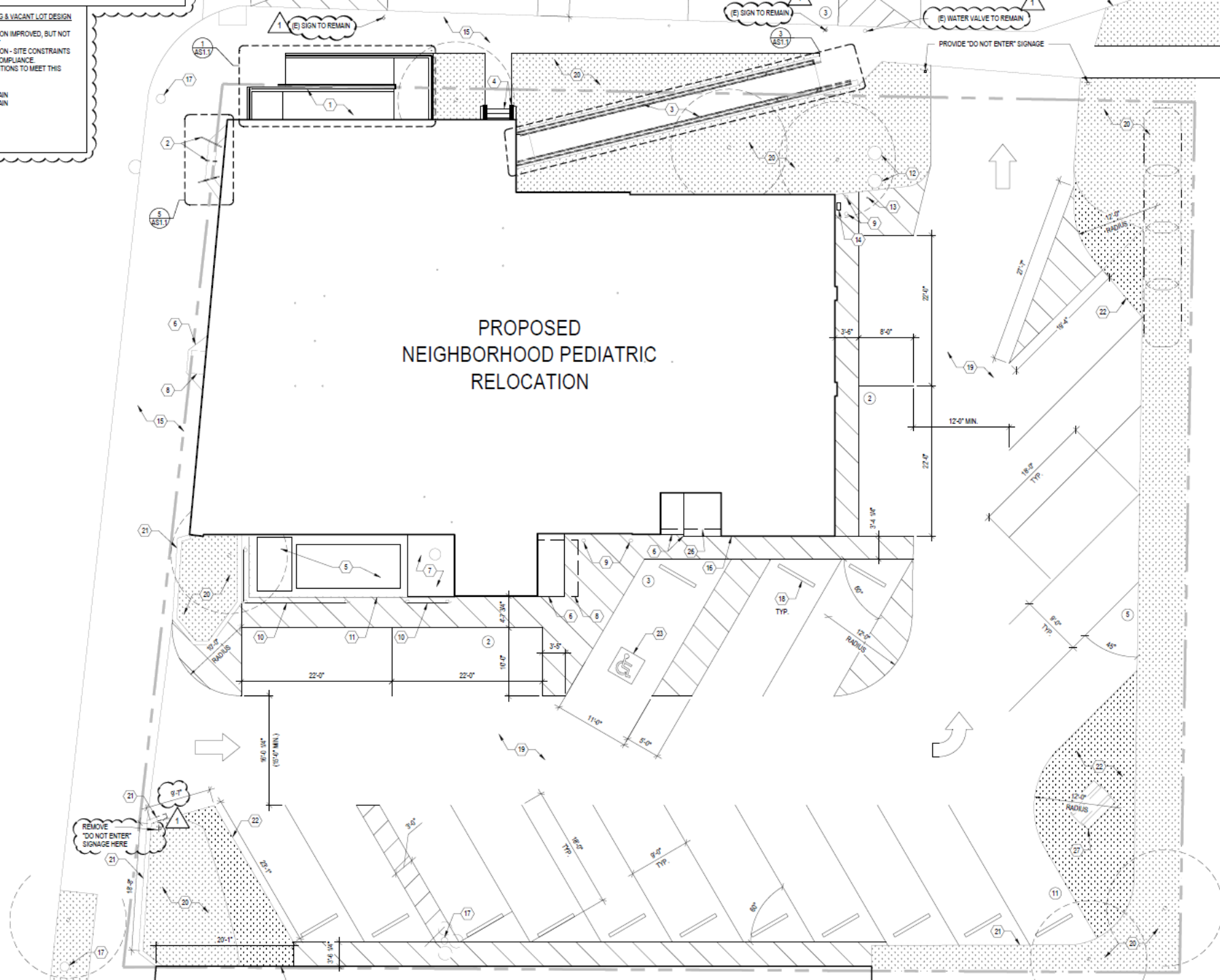
**SITE PLAN**

DATE: 4/29/25  
JOB NO.: 24472

**AS1.0**  
SHEET NO.

- SECTION 1325.08 PARKING & VACANT LOT DESIGN
- (A) COMPLES
  - (B) EXISTING CONDITION IMPROVED, BUT NOT FULLY COMPLIANT
  - (C) EXISTING CONDITION - SITE CONSTRAINTS PREVENTS THIS COMPLIANCE
  - (D) IMPROVING CONDITIONS TO MEET THIS COMPLIANCE
  - (E) COMPLES
  - (F) EXISTING TO REMAIN
  - (G) EXISTING TO REMAIN
  - (H) ACKNOWLEDGED
  - (I) COMPLES
  - (J) N/A
  - (K) ACKNOWLEDGED

PROPOSED  
NEIGHBORHOOD PEDIATRIC  
RELOCATION



## 1143.09 PARKING PLAN REVIEW: PLANNING COMMISSION.

(a) The Commission shall review applications for parking plans that do not meet the set schedule in [1143.05](#). In addition to Section [1143.09](#) and Section [1143.10](#), the Commission may consider the following when reviewing an application:

- (1) Impact on central character of residential neighborhoods taking on overflow parking;
- (2) Available surface parking lots in the neighborhood that could be used for shared parking;
- (3) Similarly scaled projects throughout the City to compare parking footprint;
- (4) When a restaurant use is proposed, the total number of tables to parking spaces:
- (5) Total number of employees;
- (6) Alternative forms of transportation available in the neighborhood;
- (7) Implementation of bicycle facilities, including but not limited to, bicycle racks, covered bicycle parking, and shower facilities for employees;
- (8) Peak demand for parking spaces from all uses compared to the total supply of spaces;
- (9) Traffic impact analysis and/or a traffic demand study;
- (10) For uses defined as Institutional or Public Assembly in Schedule [1143.05](#), the following guidelines:
  - A. One space for each 80 square feet of all auditoria and public assembly rooms: and
  - B. One space for each employee.

(b) The fees for parking plan applications shall be pursuant to Section [1173.06](#).

(Ord. 36-17. Passed 2-5-2018.)



**Existing Conditions (~22 Spaces)**

~7 Spaces

**Entry**

~2 Spaces

~2 Spaces

~11 Spaces



16024

16020

**Exit**



**Existing Entrance (Northland)**



**Existing Exit (Madison)**



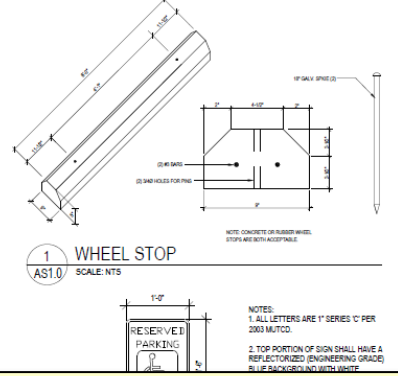
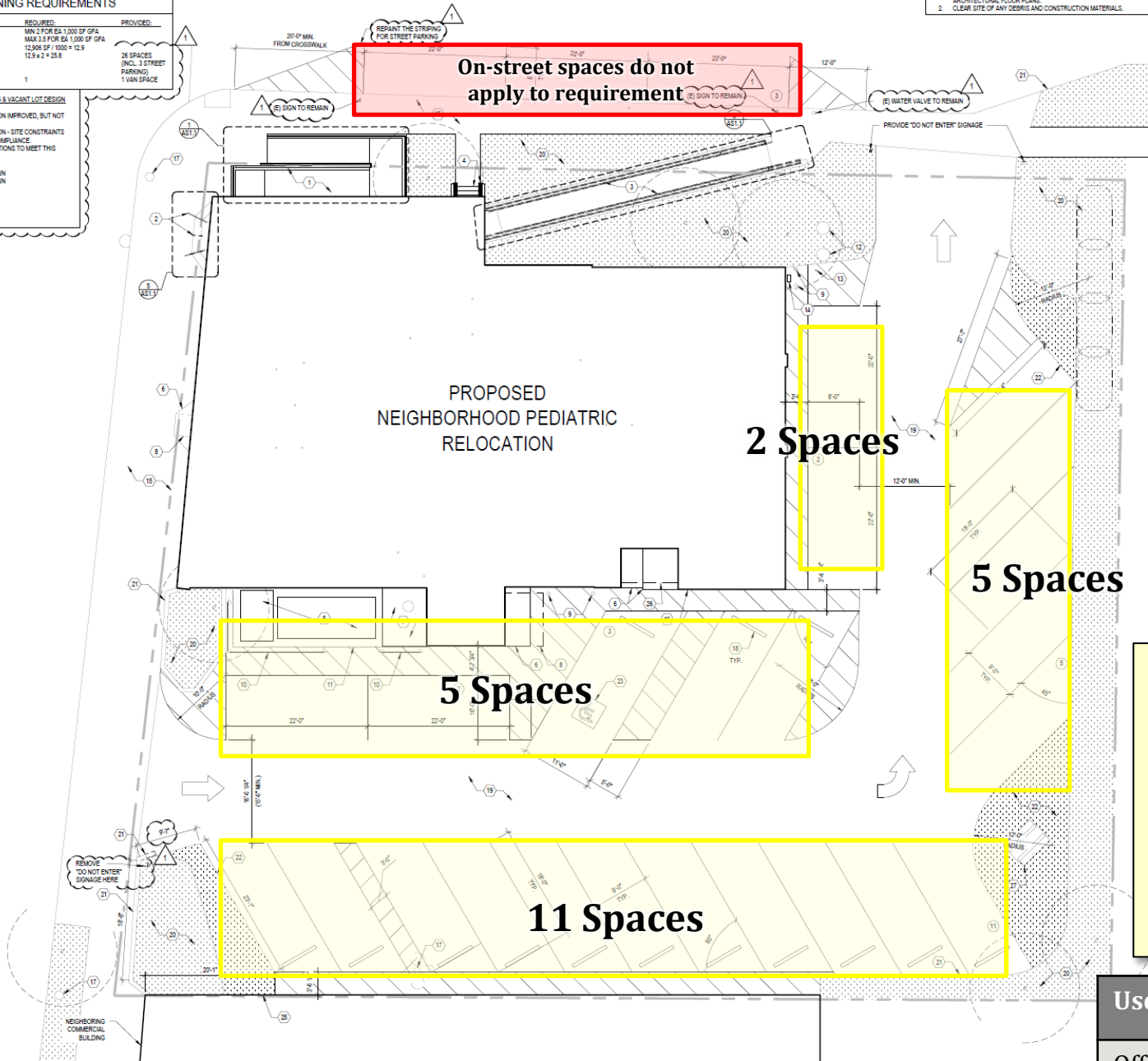
ZONING REQUIREMENTS		
PARKING SPACES:	REQUIRED:	PROVIDED:
SECTION 1143.04 OFFICE	MIN. 2 FOR EA 1,000 SF GFA MAX. 3.5 FOR EA 1,000 SF GFA	26 SPACES (INCL. 3 STREET PARKING) 1 VAN SPACE
ACTUAL:	12,906 SF / 1,000 = 12.9	
ADA SPACES: 1 PER 25	1	
SECTION 1126.08 PARKING & VACANT LOT DESIGN		
(A)	COMPLIES	
(B)	EXISTING CONDITION IMPROVED, BUT NOT FULLY COMPLIANT	
(C)	EXISTING CONDITION - SITE CONSTRAINTS PREVENTS THIS COMPLIANCE	
(D)	IMPROVING CONDITIONS TO MEET THIS COMPLIANCE	
(E)	COMPLIES	
(F)	EXISTING TO REMAIN	
(G)	EXISTING TO REMAIN	
(H)	ACKNOWLEDGED	
(I)	COMPLIES	
(J)	NA	
(K)	ACKNOWLEDGED	

- GENERAL NOTES**
- NO ADDITIONAL SITE CHANGES ARE REQUIRED, EXCEPT WHERE NOTED OTHERWISE ON ARCHITECTURAL FLOOR PLANS.
  - CLEAR SITE OF ANY DEBRIS AND CONSTRUCTION MATERIALS.

- KEYNOTES**
- EXISTING CONCRETE ACCESSIBLE RAMP AND HANDRAILS: PATCH AND REPAIR CONCRETE AS REQ'D TO ENSURE CLEAN, SMOOTH SURFACE. HANDRAILS TO BE REMOVED AND REPLACED. SEE SHEET D1.1 AND AS1.1.
  - EXISTING CONCRETE TIERS TO REMAIN. HANDRAILS TO BE REMOVED AND REPLACED. SEE SHEET D1.1 AND AS1.1.
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  - EXISTING BOLLARDS TO REMAIN. PAINT SAFETY YELLOW.
  - EXISTING GUARDRAILS TO REMAIN.
  - EXISTING CHAIN LINK FENCE TO REMAIN.
  - EXISTING GREASE TRAP TO REMAIN. CLEAN OUT AND ENSURE IT IS IN PROPER WORKING ORDER.
  - EXISTING CLEAN OUT TO REMAIN.
  - EXISTING GAS METER TO REMAIN.
  - EXISTING CONCRETE SIDEWALK TO REMAIN.
  - ACCESSIBLE PARKING SIGNAGE. SEE DETAIL 20A1.0 FOR ADDITIONAL INFORMATION.
  - APPROPRIATE LOCATION OF EXISTING UTILITY POLES TO REMAIN. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT DURING CONSTRUCTION.
  - NEW CONCRETE WHEEL STOP. SEE DETAIL 18A1.0.
  - MILL EXISTING ASPHALT PARKING LOT (4'-11/2" ASPHALT TOP COATING. NEW PARKING STRIPING TO BE PAINTED. ADJUST GRADING AS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING. CROSS SLOPES WITHIN ACCESSIBLE PATHS SHALL NOT EXCEED 2% CROSS SLOPE 5% IN PATH OF TRAVEL.
  - EXISTING LANDSCAPING TO BE REMAIN. REMOVE WEEDS AND TRIM TREES AND SHRUBS AS NEEDED.
  - EXISTING CURB TO REMAIN.
  - NEW LANDSCAPING AREA. SINK-OUT AND REPAIR FURNISHMENT AND SUBGRADE. INSTALL SOFT AND GRASS SEED.
  - NOT USED.
  - PROTECT NEIGHBORING BUILDING FROM PAVEMENT DEMOLITION. REPAIR ANY DAMAGE CAUSED BY NEW WORK.
  - DASHED LINE OF SOFFIT ABOVE.
  - POSSIBLE EXTERIOR FURNITURE LOCATION. BY OWNER, N.I.C.



**ADA ARCHITECTS, LLC**  
 HOOD PEDIATRICS, LLC  
 LAKEWOOD, OH 44107  
 INFORMATION PROPRIETARY TO ADA ARCHITECTS, INC. UNAUTHORIZED USE OF THIS INFORMATION IS EXPRESSLY PROHIBITED UNLESS AGREED UPON IN WRITING.



**1143.04 USE CATEGORIES.**  
 For the sole purpose of calculating parking requirements, uses are defined as follows:  
 (a) Commercial.  
 (3) Office: includes...medical office use.  
**1143.05 SCHEDULE OF USES AND SPACE REQUIREMENTS.**  
 The required number of **off-street parking spaces** for a use...  
**Office:** Min. 2 for each 1,000 sq. ft. GFA;  
 Max. 3.5 for each 1,000 sq. ft. GFA

Use	Size	Minimum	Proposed
Office	12,906 ft <sup>2</sup>	26 (12.9 x 2)	23 (Off-Street) (38 Public Lot)

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"

## 1143.10 EXCEPTIONS TO REQUIRED MINIMUMS.

The number of parking spaces required may be reduced in accordance with the following credits as determined by the Commission when reviewing an application for a reduction to the minimum number of parking spaces required per Schedule [1143.05](#).

(a) For uses defined as Commercial in Section [1143.04](#), the Commission may consider the following...

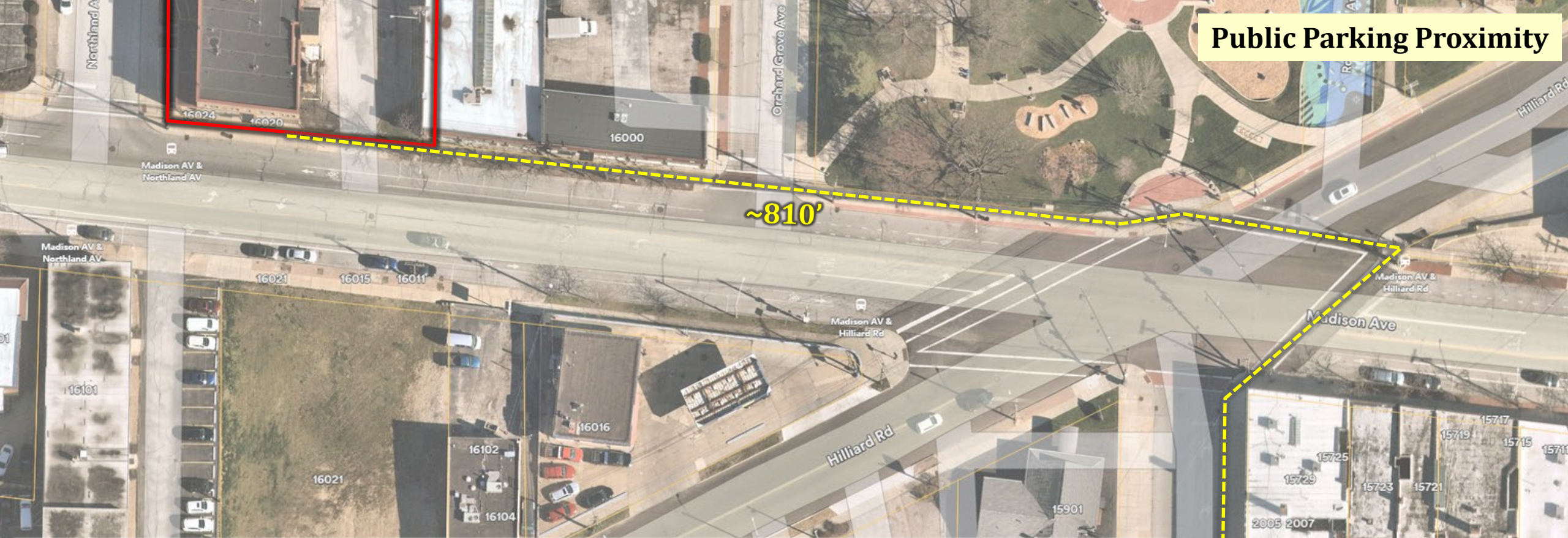
- (1) One space credit for each off-site parking space which is owned or rented by the property or business owner for the purpose of providing parking to the subject property. Such off-site spaces shall be located within 1,000 feet of the use, as measured by using the shortest pedestrian route from the nearest corner of the parking space or lot to the main public entrance of the use served.
- (2) One space credit for each off-site parking space provided by valet parking service. The property or business owner shall submit to the department written documentation of permission to use an off-site parking for valet parking. The Director may request a review of the agreement as often as annually to ensure compliance.
- (3) One space credit for each space in a parking lot or parking structure provided for public use located within 1,000 feet, as measured by using the shortest pedestrian route from the nearest corner of the parking lot or structure to the main public entrance of the use served.
- (4) A determination by the Director is made that there is no change in use and the same parking facilities are in place.

(b) For uses defined as Residential in Section [1143.04](#), the Commission may consider the applicant's implementation of an improvement to the property that aligns with the general goals and objectives as described in the Vision including, but not limited to, the following...

(Ord. 36-14. Passed 1-20-2015.)



# Public Parking Proximity



(a) For uses defined as Commercial in Section [1143.04](#), the Commission may consider the following...

(3) One space credit for each space in a parking lot or parking structure provided for public use located within 1,000 feet, as measured by using the shortest pedestrian route from the nearest corner of the parking lot or structure to the main public entrance of the use served.

## Municipal Lot #9



**Legend**

- MUNI LOT (Metered Parking)
- BLACK LOT
- BLUE LOT
- GREEN LOT
- MAROON LOT
- ORANGE LOT
- RED LOT
- YELLOW LOT
- STREET PARKING PERMITS

CONCORD RD.  
\$5.00 Year  
Valid Thru June 30

MUNI LOT #9



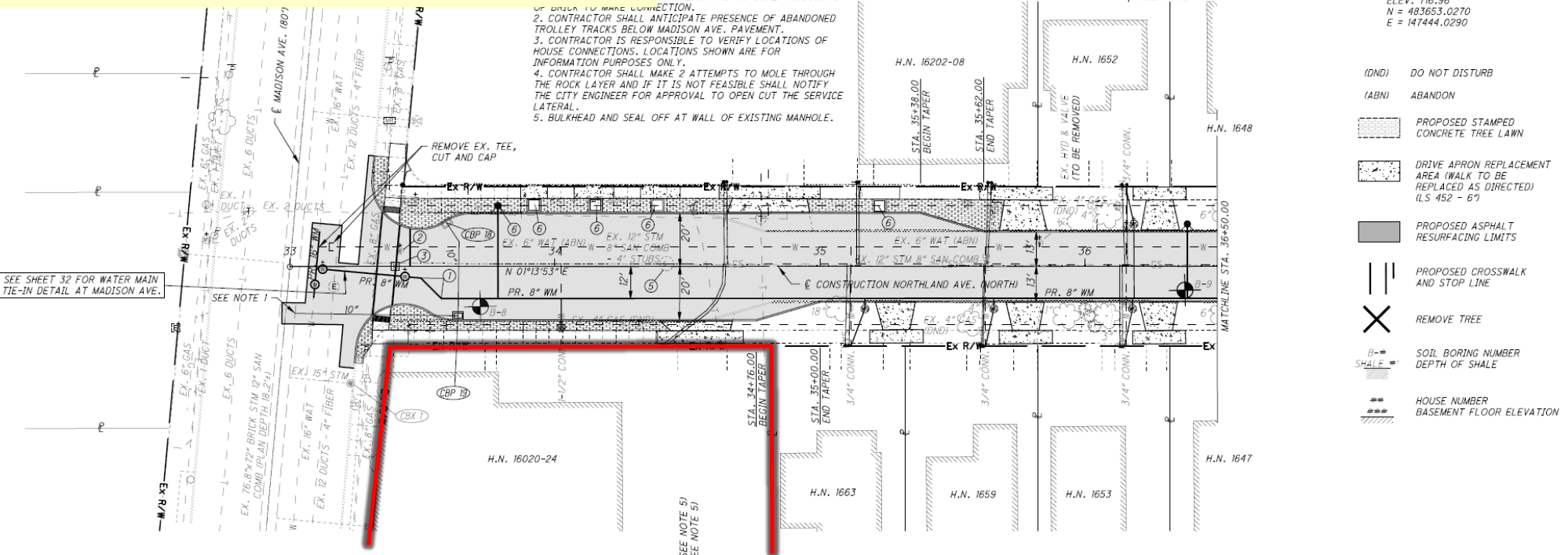
# Northland Watermain Project (Jul '25 - Jul '26)

DRILL TO MAKE CONNECTION.  
 2. CONTRACTOR SHALL ANTICIPATE PRESENCE OF ABANDONED TROLLEY TRACKS BELOW MADISON AVE. PAVEMENT.  
 3. CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATIONS OF HOUSE CONNECTIONS. LOCATIONS SHOWN ARE FOR INFORMATION PURPOSES ONLY.  
 4. CONTRACTOR SHALL MAKE 2 ATTEMPTS TO MOLE THROUGH THE ROCK LAYER AND IF IT IS NOT FEASIBLE SHALL NOTIFY THE CITY ENGINEER FOR APPROVAL TO OPEN CUT THE SERVICE LATERAL.  
 5. BULKHEAD AND SEAL OFF AT WALL OF EXISTING MANHOLE.

OPEN CUT LONG SIDE WATER CONNECTIONS, AS DIRECTED BY ENGINEER (SEE NOTE 4)

MONUMENT BOX WITH 1" IRON PIPE  
 STA. 33+39.83, 0.15' LT.  
 ELEV. 716.96  
 N = 483653.0270  
 E = 147444.0290

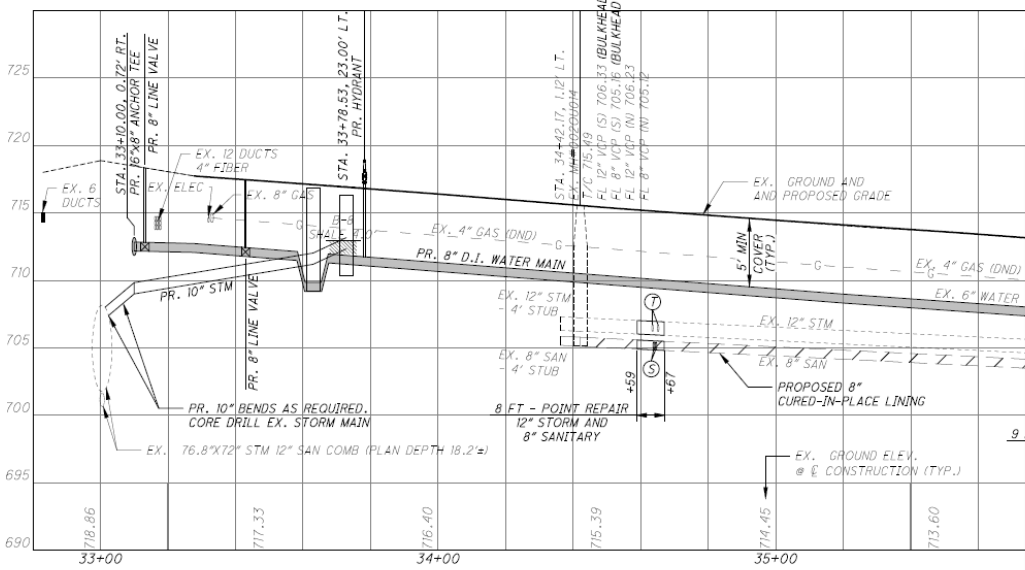
**ND AVE (NORTH) PLAN & PROFILE**  
**STA. 33+00.00 TO STA. 36+50.00**



- (DND) DO NOT DISTURB
- (ABN) ABANDON
- PROPOSED STAMPED CONCRETE TREE LAWN
- DRIVE APRON REPLACEMENT AREA (WALK TO BE REPLACED AS DIRECTED) (LS 452 - 6')
- PROPOSED ASPHALT RESURFACING LIMITS
- PROPOSED CROSSWALK AND STOP LINE
- REMOVE TREE
- SOIL BORING NUMBER
- DEPTH OF SHALE
- HOUSE NUMBER
- BASEMENT FLOOR ELEVATION

- ① PR. 8" - 45° BEND
- ② REMOVE VALVE BOX

- (CBX 1) STA. 33-22.84, 44.00' RT.  
 EX. CB T/G 718.73  
 FL 6" PVC (NE) 716.15  
 FL 15" VCP (SE) 716.10
- (MH 1) NOT USED
- (CBP 18) STA. 33+59.11, 16.58' LT.  
 PR. CITY OF LAKEWOOD CATCH BASIN S-1, AS PER PLAN T/G 716.33  
 E 10" PVC (SE) 712.33  
 SUMP 710.33
- (CBP 19) STA. 33+63.46, 20.00' RT.  
 PR. CITY OF LAKEWOOD CATCH BASIN S-1, AS PER PLAN T/G 716.82  
 E 10" PVC (SE) 711.19  
 SUMP 709.19



**PUBLIC MEETING FOR RESIDENTS OF  
 NORTHLAND AND NORTON**

**CONSTRUCTION BEGINNING FOR  
 WATERMAIN/SEWER IMPROVEMENTS  
 AND STREET RESURFACING PROJECT**

**WEDNESDAY, JULY 9 AT 6 PM**

LAKEWOOD CITY HALL  
 AUDITORIUM  
 12650 DETROIT AVE  
 (216) 529-6692

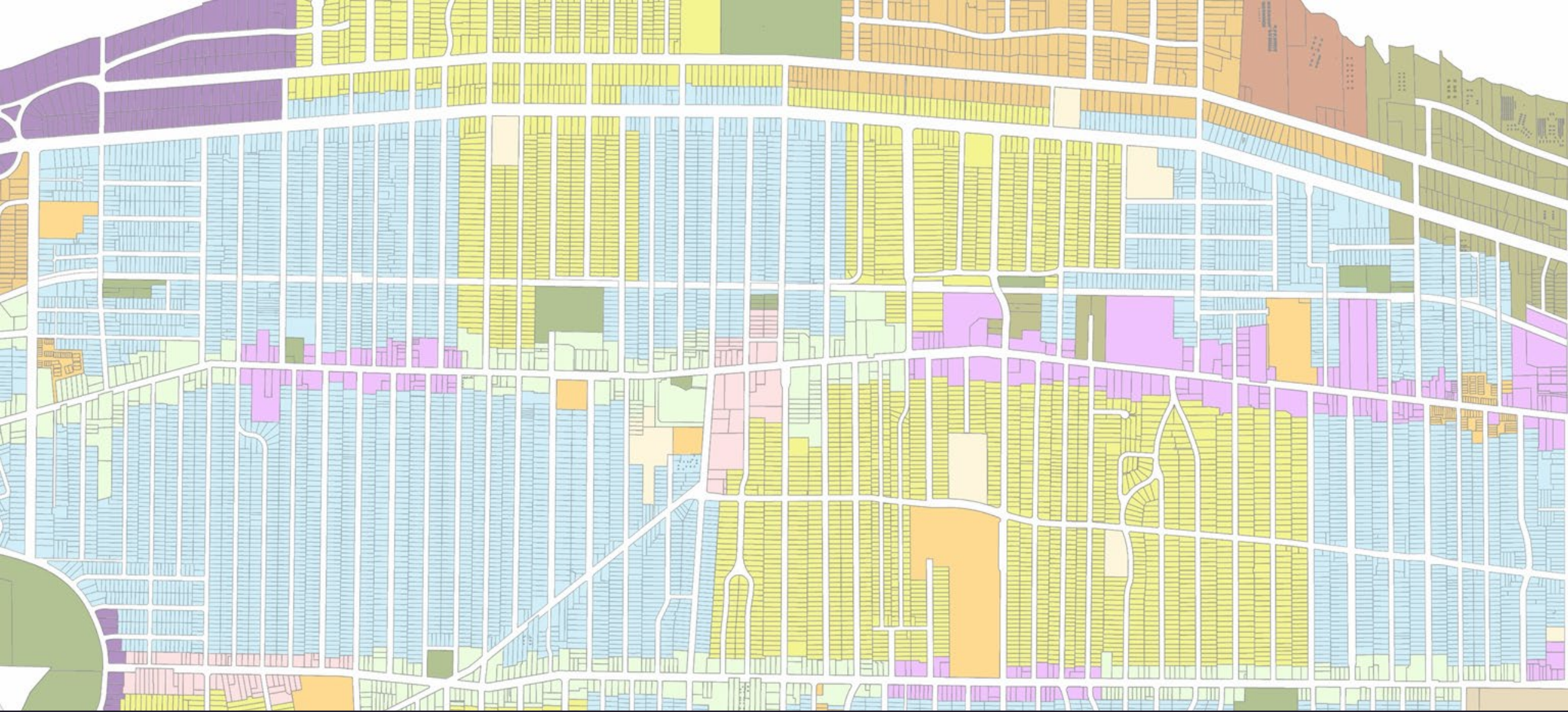


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# Recommendation (07-25-25) – Parking Plan

- Approval – with consideration to public parking available in Municipal Lot #9.





# Planning Commission

July 2025

