



City of Lakewood
Board of Building Standards • Architectural Board
of Review • Sign Review Board

P: (216) 529-6630
F: (216) 529-5907
planning@lakewoodoh.gov

MINUTES
BOARD OF BUILDING STANDARDS/
ARCHITECTURAL BOARD OF REVIEW/SIGN REVIEW

PRE-REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE

ZOOM LINK: <https://us06web.zoom.us/j/87342514021?pwd=cMkOjeyHppJ9kpPs0aw5SPNYmtirth.1>

Meeting ID: 873 4251 4021

Passcode: 253909

July 2, 2026

4:00PM

(CANCELLED DUE TO LACK OF QUORUM)

REVIEW MEETING
CITY OF LAKEWOOD
12650 DETROIT AVENUE
AUDITORIUM
July 9, 2026
5:30 P.M.

1. ROLL CALL

Board Members

Chris Egervary
Nick Slaughterbeck
Hanna Cohan Plessner
Matthew Stevenson
Ashley Matonis

Staff

Amanda Cramer, Senior Planner
William Wagner, Asst. Building Commissioner
Jeffrey Crossman, First Asst. Law Director

2. APPROVE THE MINUTES OF THE JUNE 11, 2026 MEETING

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE the June 11, 2026 meeting minutes. All the members voted yea; the motion passed.

3. OPENING REMARKS

Ms. Cramer read the opening remarks in to record

OLD BUSINESS

SIGN REVIEW

1. Docket No. 06-55-26

(C)

13611 Detroit Ave
Philly Flavor

- () Approve
- () Deny
- () Defer

Shadi Almikdad
Neon & Signs
10505 Berea Rd.
Cleveland, OH 44102

Applicant proposes new signage.

Shadi Almikdad, Neon & Signs, was present to discuss the plans. Mr. Almikdad stated what he was there to get approved and also stated that all the vinyl has been removed from the windows. The awning is now 10'X17" and within the allowable square footage. The Board had no objections and there were no public comments.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 06-55-26 with the following conditions:

- 1) Approval is for the awning only, no window graphics
- 2) The awning signage will measure 10'x17"

All the members voted yea; the motion passed.

2. Docket No. 06-57-26

(C)

1655 Rosewood Ave.
Sunshine Enrichment Academy

- () Approve
- () Deny
- () Defer

Steven Foster
The Sign & Graphics Firm LLC
14837 Detroit Ave., Ste 195
Lakewood, OH 44107

Applicant proposes new signage.

Steven Foster, The Sign & Graphics Firm, was present to discuss the plans. Mr. Foster discussed the removal of the rear entrance sign. Mr. Foster also requested that the rear entrance sign be included in the approval just in case it could be used in the future. The Board questioned the landscaping plan around the base of the ground sign. Mr. Foster stated that there is a landscaping plan in place and he would submit for administrative approval. No public comment.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 06-57-26 with the following condition:

- 1) Landscaping for the base of the ground sign be submitted to the Board Secretary for administrative approval

All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

3. Docket No. 06-60-26

(R)

1518 Hopkins Ave.

☐ Approve

☐ Deny

☐ Defer

Farah Issa

The Hanna Homes

2034 Lewis Dr.

Lakewood, OH 44107

Applicant proposes the construction of a new home.

Farah Issa, The Hanna Homes, was present to discuss the updated plans. Mr. Issa stated that he made all the requested changes made by the Board at last month's meeting. He discussed the changes made in the sidewalk, mulch, pillars, porch, window alignment. He stated that the AC Condenser unit was moved to the other side as requested. He also talked about the windows on the left side elevation and how he would like them to be horizontal to allow for more wall space. Mr. Issa made a discussion on the types of windows being considered, Pava or double hung casement windows. He also requested that the porch have a standing seam, metal roof with concealed fasteners. Mr. Issa stated the doors are from Menards and there are product sheets already submitted. He discussed the use of Azek on the pillars, Azek white, 12 " diameter and the porch will be Timbertek along with the stairs. The Board discussed the windows on the left side elevation and how they would like to see the windows lined up between the two floors, if possible. The Board stated they are appreciative of the updates and they are supportive of the horizontal transom windows on the left side. The Board stated that the columns need to be updated, showing the beam running continuous across, and capitals at the base of each column. The drawings for the entire façade need updated and submitted. No public comment.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 06-60-26 with the following conditions:

- 1) Double hung windows are included along with horizontal transom windows on left elevation
- 2) Option for standing seam with concealed fasteners on the porches after cut sheet and color is approved by Board Secretary
- 3) Revised front elevation with corrected beams and columns with capitals, submitted to Board Secretary for administrative approval

All the members voted yea; the motion passed.

4. Docket No. 06-61-26

(R)

12223 Madison Ave.

☐ Approve

☐ Deny

☐ Defer

Mark Huebner

Larsen Architects

12815 Detroit Ave.

Lakewood, OH 44107

WITHDRAWN per applicant.

RETURN FOR MODIFICATIONS

5. Docket No. 03-21-25

(R)

15431 Edgewater Dr.

☐ Approve

☐ Deny

☐ Defer

Mark Reinhold

Mark Reinhold Architect

1120 Forest Rd.

Lakewood, OH 44107

Applicant proposes an elevation change.

Discussion was made on the process going forward, whether or not to deny, table, or whatever the case may be. Legal counsel may be brought in. The issue is that the homeowner deviated from the APPROVED plan. Ms. Cramer stated that this will be tabled until updated drawings can be submitted to show the changes that were made. No public comment.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to TABLE, per applicant request, Docket No. 03-21-25.

All the members voted yea; the motion passed.

6. Docket No. 04-38-26

(C)

1590 Coutant Ave.

FASTSIGNS

☐ Approve

☐ Deny

☐ Defer

Dave Wenninger

FASTSIGNS

516 Glen Park Dr.

Bay Village, OH 44140

Applicant proposes new window graphics.

Dave Wenninger, FASTSIGNS, was present to discuss the updated plans. Mr. Wenninger stated that he removed some of the previous windows signs and stated that there is minimal graphics on the door. MR. Wenninger discussed the northern window sign with the graphics that are requested by Corporate. The window sign is 50/50 perforation and will cut down the sun exposure to not only his employees that work in that area, but also the equipment that is staged in that area as well. The Board stated that full coverage on the north side is a concern and would like to see the background of that graphic to be removed, that text only would be more approvable.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 04-38-26 with the following condition:

- 1) The background of the right window graphic be removed and only text shall remain.

All the members voted yea; the motion passed.

NEW BUSINESS

SIGN REVIEW

7. Docket No. 07-63-26

(C)

15500 Detroit Ave.
Taco Bell

- () Approve
- () Deny
- () Defer

Gregory Peters
Ellet Neon Sales & Service, Inc
3041 E Waterloo Rd.
Akron, OH 44312

Applicant proposes comprehensive sign package.

Cory Groff, Ellet Neon Sales & Service Inc. was present to discuss the plans. Mr. Groff discussed the various different signs that are being proposed. He stated they will be adding accent lighting, cove lighting with shield all around the building with the exception of the back. Mr. Groff said the lighting is purple and it will be concealed. None of the sizes are changing it is a "rebranding". He stated they will be updated the "warning" bar at the drive through lane and the canopy over the menu box will be refurbished as well. The Board and Ms. Cramer agree that this should be processed as a comprehensive sign package.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 07-63-26 as presented.

All the members voted yea; the motion passed.

8. Docket No. 07-64-26

(C)

11730 Detroit Ave.
Northcoast Apartments/LaBrioche

- () Approve
- () Deny
- () Defer

Milan Milasinovic
Virginia Marti Inc
11724 Detroit Ave.
Lakewood, OH 44107

Applicant proposes new signage.

Milan Milasinovic, Virginia Marti Inc, was present to discuss his plans. He discussed the awnings and blade signs, each window will have an awning over it and be made from Sunbrella Fabric. The Board stated that it would be great to see in current line drawing elevation, also need to see awning and blade signs on the same drawing. The Board also discussed the awning size, making sure there is enough room for the awning and want to make sure that everything matches and all the dimensions are correct.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to DEFER Docket No. 07-64-26.

All the members voted yea; the motion passed.

9. Docket No. 07-65-26

(C)

15715 Madison Ave.
Lily's Gifts to Go

- ☐ Approve
- ☐ Deny
- ☐ Defer

Shawn Warren
Erie Design Co.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes new signage.

The Board stated the blade sign is on the white ship lap and a sign on the door that is not included in the proposal. Ms. Cramer explained that the door sign is included in the square footage that is within the allowance. The Board discussed the positioning of the blade sign and that it needs to be mounted above the brick soldier course. There is only one blade sign. No public comment

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 06-55-26 with the following condition:

- 1) The blade sign to be mounted above the brick soldier course

All the members voted yea; the motion passed.

10. Docket No. 07-66-26

(C)

15603 Detroit Ave.
Merry Arts

- ☐ Approve
- ☐ Deny
- ☐ Defer

Shawn Warren
Erie Design Co.
16504 Detroit Ave.
Lakewood, OH 44107

Applicant proposes new signage.

John Granzier, building owner, was present to discuss the plans. Mr. Granzier stated he would like to make the storefront more uniform and nicer looking and he will be putting a kitchen and small room in an expanded storefront. He stated that the new sign text will be the same as the existing sign as well as the same height. Mr. Granzier also mentioned that there will be no window signage proposed. No public comment

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 06-55-26 with the following condition.

- 1) The sign text matches the existing
- 2) Any window signage will need separate approval

All the members voted yea; the motion passed.

ARCHITECTURAL BOARD OF REVIEW

11. Docket No. 07-67-26

(R)

17828 Lake Ave.

- ☐ Approve
- ☐ Deny
- ☐ Defer

Stefano Vento
Northcoast Construction Group
1220 Moore Rd., Unit K
Avon, OH 44011

Applicant proposes the construction of a new attached garage.

Stefano Vento, Northcoast Construction Group, was present to discuss the plans. Mr. Vento stated the addition of a garage on the front of the house and he wanted to make sure that the plan would fit in the neighborhood before submitting final plans. Ms. Cohan-Plessner questioned if the existing garage will still be a part of the house, it is rear entry, and it is the same elevation as the basement. Ms. Cohan Plessner stated that the proposed garage is not within the residential design guidelines and it does not meet the conditions set forth. Condition one would be that there is no other viable option to put the garage and the other condition being that the garage is not projecting forward farther than the front plane of the main body of the house. Ms. Cohan Plessner also discussed if there was a way to make it a side load garage, it would make it more acceptable to the Board. Mr. Vento made a discussion on the existing house and the slope of the house as it slopes to the east and it also slopes to the lake, that makes the house challenging in itself to add on to. He went on to say that he feels the front addition is really the only viable location to add on. He stated that the design looks wonderful, it matches the slope on the house, plenty of setback and that there are several homes on the street with front facing garages. Mr. Vento continued the discussion on how he would have to dig down in order to get the driveway to flow with the elevations being different. Ms. Cohan Plessner stated that this proposal as is it is, will not go. She stated that if there is a way to make this more viable to get a side load garage by sliding it forward and adding a breezeway. Mr. Vento stated that he did not have clearance on the right side and if it comes from the other side of the driveway it will interfere with the entry of the house. All parties agree that there is no easy solution to this. Ms. Cohan Plessner explained that the current plan as is, is not going to get approved, but she stated that Mr. Vento can rework it and present at the next meeting with reasoning and proof that there is no other viable option to put this garage. All the homes along the lake have various different solutions to the garage issue. The Board explained that if it was a side load garage, it is acceptable to be sticking out ahead of the front elevation. And the Board also discussed another possible solution, making it a side loading garage from the left side instead. Mr. Vento stated he will discuss with the homeowner.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to TABLE Docket No. 07-67-26.

All the members voted yea; the motion passed.

12. Docket No. 07-68-26

(C)

15314 Madison Ave.
Mars Bar

- ☐ Approve
- ☐ Deny
- ☐ Defer

George Gountis
Mars Bar LLC
15314 Madison Ave.
Lakewood, OH 44107

Applicant proposes the construction of a new fence in the back of establishment.

George Gountis, Mars Bar LLC, was present to discuss his plan. Mr. Gountis explained he wants to have a fence to enclose the back patio as well as an enclosure for the trash receptacles, inside the fenced in area. He stated that the gate would be motorized so the truck can get in and out easily when picking up the trash. Mr. Gountis also discussed that he would like to put planters in front of the fence along with lighting mounted on the fence. He explained that the fence would be an "L" shaped fence with a dumpster enclosure and it will be cedar and will be black. The Board stated that there needs to be cut sheets, and info for all the items; planters, furniture, lighting, gate. The Board also stated that the site plan needs to be to scale with the layout, how the new fence will work with the existing fence, and the fence construction detail. Cut sheets for the dumpster enclosure needs to be submitted also. No public comment.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to DEFER Docket No. 07-68-26.

All the members voted yea; the motion passed.

13. Docket No. 07-69-26

(C)

14224 Detroit Ave.
New Life Church

- ☐ Approve
- ☐ Deny
- ☐ Defer

Greg Ernst
Found Design LLC
27101 E Oviatt Rd., STE 23
Bay Village, OH 44140

Applicant proposes the construction of a courtyard addition with exterior wall.

Greg Ernst, Found Design, was present to discuss the plan. Mr. Ernst stated that the roof will be sloping to the west and the courtyard will infill to the west. He also stated that they will be using smooth Hardie board with the J/U channel trim. Mr. Ernst also stated that the window color will be clear anodized to match the rest of the church building, you will not see the reveal lines, they will be flush with the panels. The Board stated that the elevation needs to be updated noting the updated color of the windows.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to APPROVE Docket No. 07-69-26 with the following condition:

- 1) Window are clear anodized, not dark bronze. Send Board Secretary an updated elevation showing this.

All the members voted yea; the motion passed.

- () Approve
- () Deny
- () Defer

Greg Allen
Greg Allen Builders
3888 Long Rd.
Avon, OH 44011

Applicant proposes the construction of a new single family home.

Mike Allen, Greg Allen Builders, and Cindy Stockman, architect, Stockman Design, were present to discuss the plans. Mr. Allen made the discussion on what happened to this house, they began work on the house last summer and there was a fire in November. The second floor and part of the first floor burned completely, so the existing house will be demolished and building a new one. Mr. Allen stated that he has a demo permit currently. The entire house will be demolished due to the water damage from the fire, but will be using the existing footprint, including the foundation, steel beams in the basement, and the new foundation in the back that was put in for the addition. Ms. Stockman made a discussion on the plans. She stated that they are adding a little to the front, including gables and raised the roof a little but still giving it a cottage look. Ms. Stockman also changed the pitch. Ms. Cohan Plessner stated that the Board normally gets cut sheets and elevations with materials, color elevations being used, and renderings. This is being treated as a new build. Is the brick being painted? Mr. Allen stated that the brick is not being painted. The Board would like to see the street elevation to compared to the other houses. The Board would like to see the exterior lighting cut sheets as well as updated elevations with siding, front façade brock, arches, and soldier course clarified on elevations. The Board also stated that there needs to be clarification of the bluestone trim and where it is in the drawings. A landscaping plan needs to be presented as well.

Public Comment-Nothing negative to say, have been working with the homeowner for the last 18 years and will work with homeowner on this project and they are very excited about this project.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to DEFER Docket No. 07-70-26.

All the members voted yea; the motion passed.

A motion was made by Ms. Cohan Plessner, seconded by Mr. Slaughterbeck to ADJOURN the meeting at 7:59pm. All the members voted yea; the motion passed.

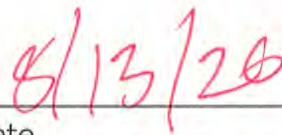
ADJOURN

"Individuals with disabilities who require accommodations for participation in meetings must request accommodations at least 3 business days ahead of the scheduled meeting. Contact Michelle Nohta at (216) 529-5906 michelle.nohta@lakewoodoh.gov."

Signature

A handwritten signature in red ink, appearing to be 'Michelle Nohta', written over a horizontal line.

Date

A handwritten date in red ink, '8/13/20', written over a horizontal line.



Oath

(You need not give an oath if you object. If you object to giving an oath, please notify the hearing officer or secretary before signing below.)

I, the undersigned, hereby solemnly swear that the testimony I give at this proceeding will be the truth, the whole truth and nothing but the truth:

PRINT NAME:

SIGN NAME:

1. Shadi Almitaged
2. Storen Foster
3. Farah / SIA
4. Dana Warriner
5. Cory Grotz
6. Melan Williams
7. John Granzer
8. Stefano Vento
9. GEORGE GOINTIS
10. GREG ERNST
11. Mike Allen

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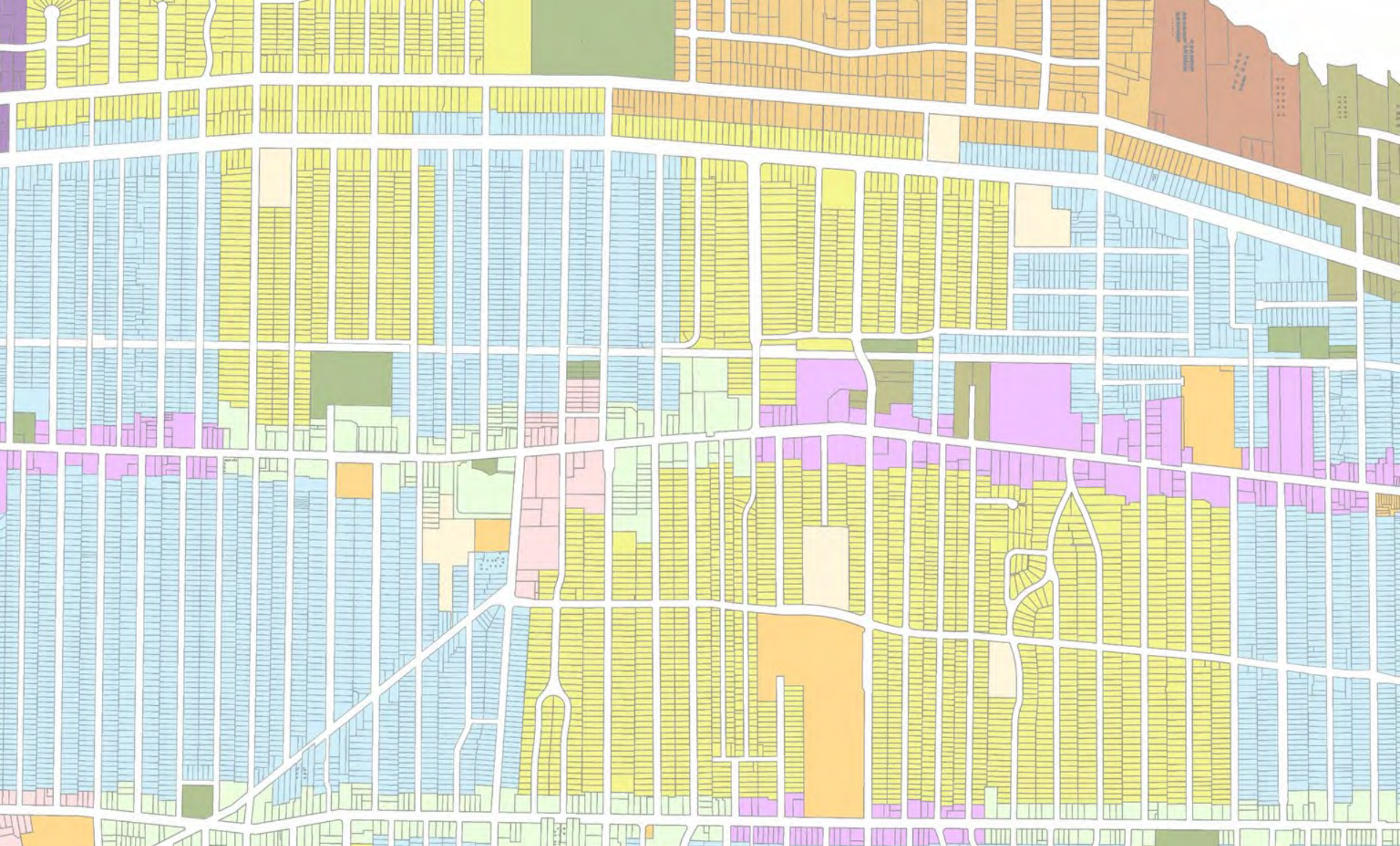
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Prepared by: The City of Lakewood Law Department, 12650 Detroit Ave., Lakewood, Ohio 44107

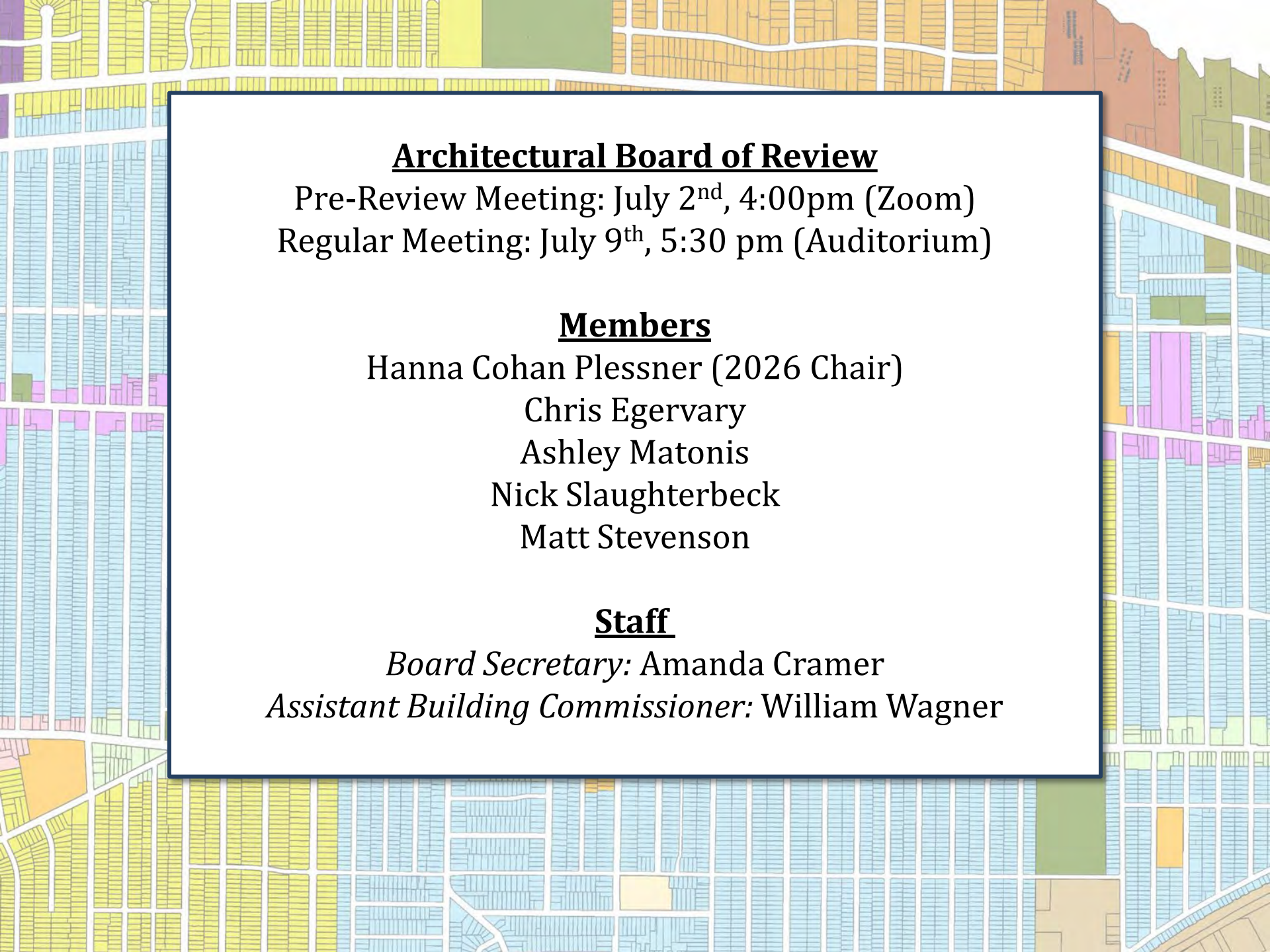
Lakewood Administrative Procedure: ☒ ABR/BBS ☐ Citizens Advisory ☐ Civil Svc. ☐ Dangerous Dog ☐ Income Tax Appeals ☐ Loan Approval ☐ Nuisance Abatement Appeals ☐ Parking ☐ Planning ☐ Zoning Appeals ☐ Other:

Date of Proceeding: THURSDAY, JULY 9, 2026



Architectural Board of Review

July 2026



Architectural Board of Review

Pre-Review Meeting: July 2nd, 4:00pm (Zoom)

Regular Meeting: July 9th, 5:30 pm (Auditorium)

Members

Hanna Cohan Plessner (2026 Chair)

Chris Egervary

Ashley Matonis

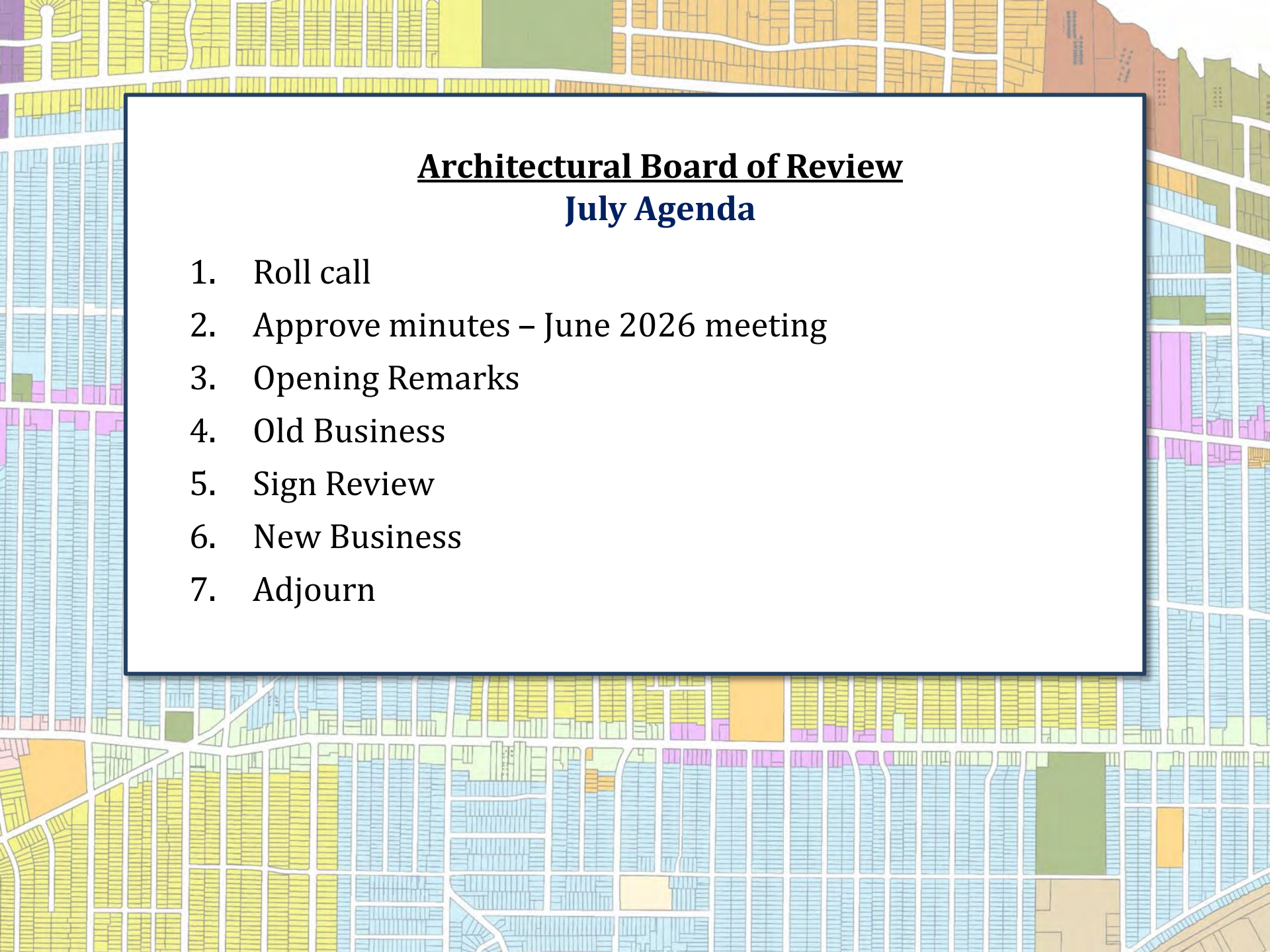
Nick Slaughterbeck

Matt Stevenson

Staff

Board Secretary: Amanda Cramer

Assistant Building Commissioner: William Wagner

The background of the slide is a stylized map of a city grid. The blocks are colored in various shades including yellow, green, blue, pink, and orange. The map is partially obscured by a white rectangular box with a dark blue border that contains the agenda text.

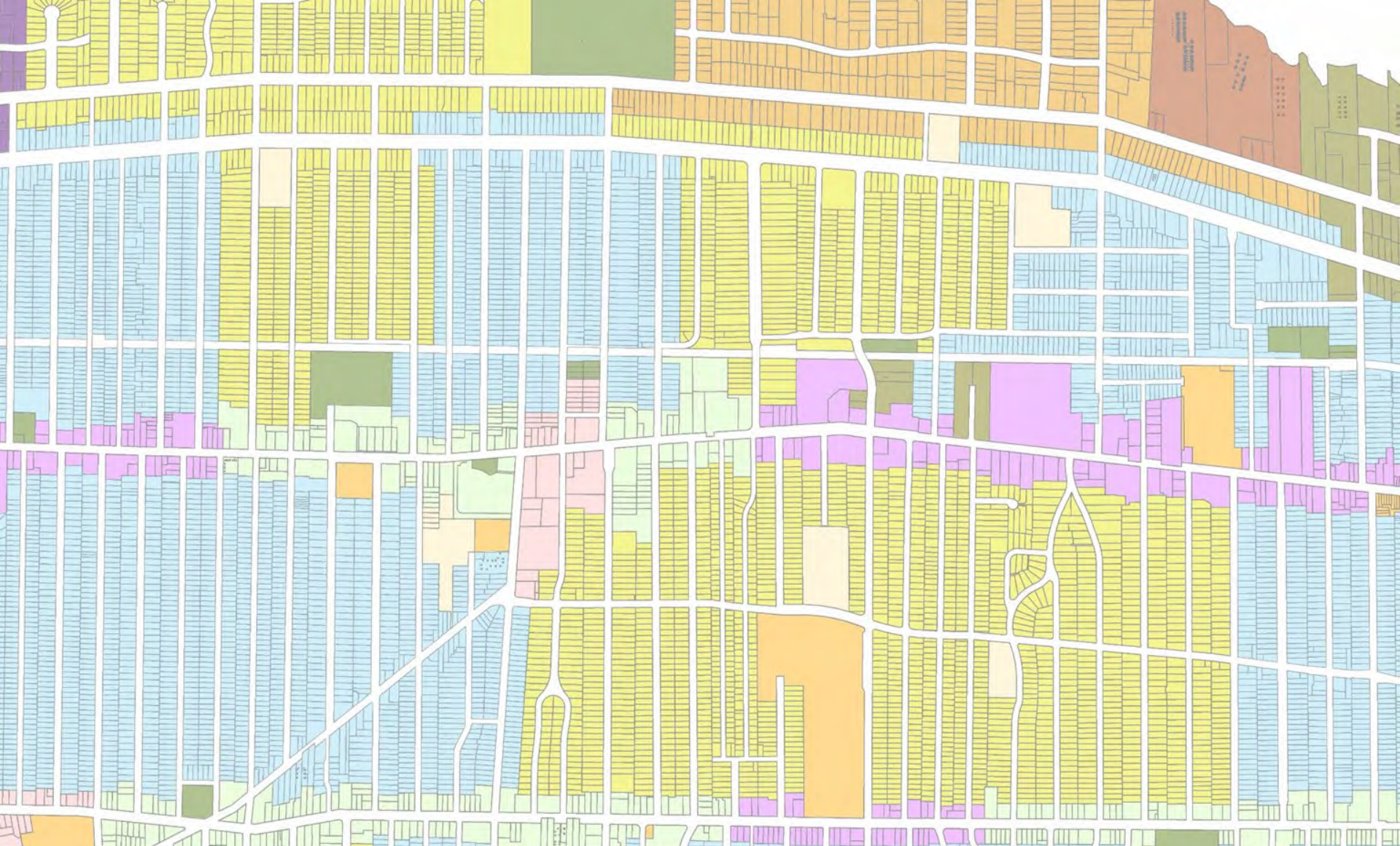
Architectural Board of Review

July Agenda

1. Roll call
2. Approve minutes – June 2026 meeting
3. Opening Remarks
4. Old Business
5. Sign Review
6. New Business
7. Adjourn

1325.03 of the Lakewood Codified Ordinances: Purpose of ABR/BBS/Sign Review Board

- The purposes of the Architectural Board of Review are to protect the value, appearance and use of property on which buildings are constructed or altered, to maintain a high character of community development, to protect the public health, safety, convenience and welfare and to protect real estate within the City from impairment or destruction of value.
- Such purposes shall be accomplished by the Board by regulating, according to accepted and recognized architectural principles, the design, use of materials, finished grade lines, dimensions, orientation and location of all main and accessory buildings to be erected, moved, altered, remodeled or repaired, subject to the provisions of the Zoning and Building Codes and other applicable ordinances of the City, and shall take into consideration the Architectural Standards Workbook and any other design guidelines or standards, as recommended by the Administration or City Council and adopted by the Planning Commission pursuant to Part One, Title Five, Chapter [154](#) of the Codified Ordinances of the City of Lakewood, for use by the Board.
- In reviewing, regulating and approving building plans, the Board shall consider and take cognizance of the development of adjacent, contiguous and neighboring buildings and properties for the purpose of achieving safe, harmonious and integrated development of related properties.



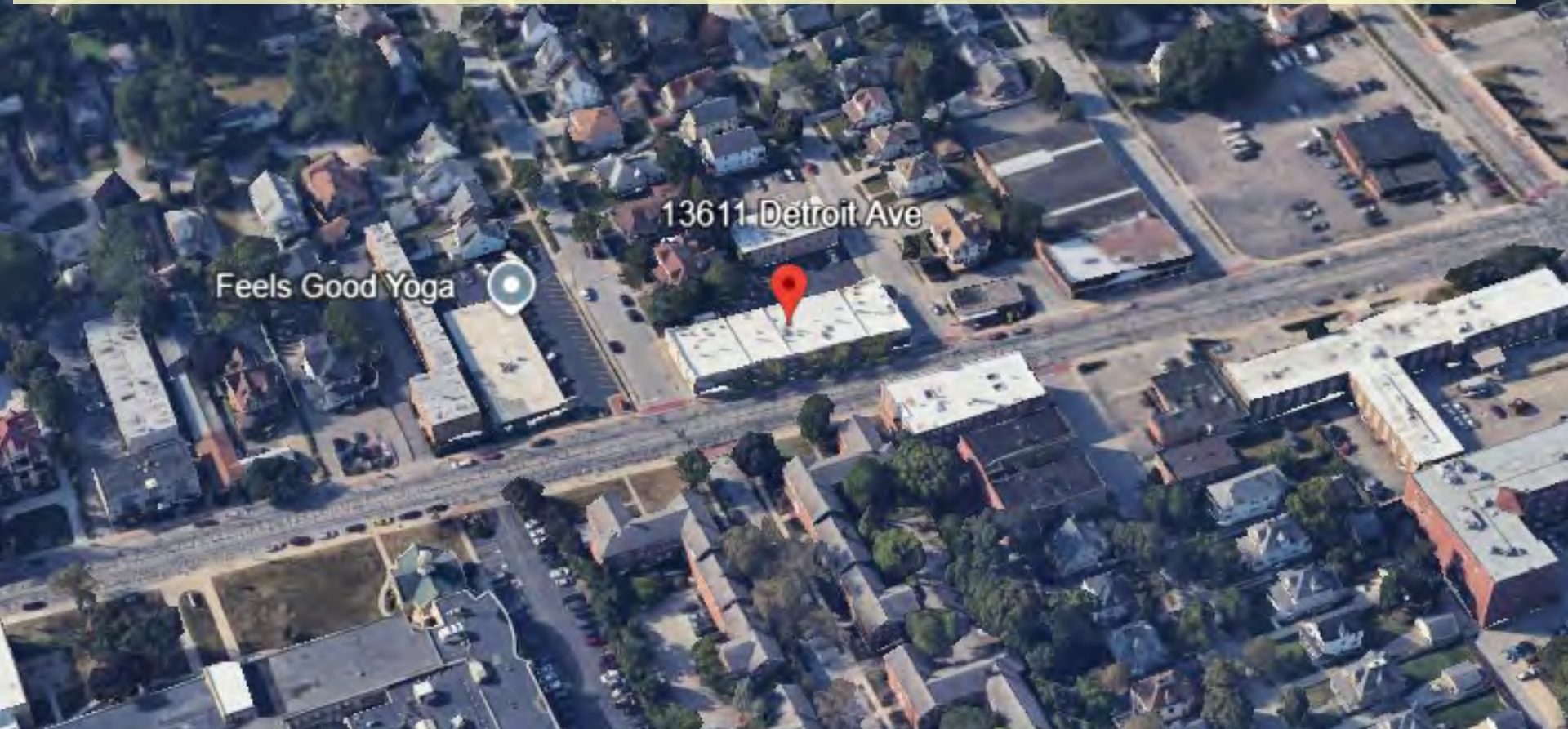
Architectural Board of Review

Old Business Signage – July 2026

Applicant proposes signage.

City Notes:

- ☐ Applicant proposes awning (20 SF) and windows (45.77 SF) signs
- ☐ Max allowed square footage: 23.25 SF total (' storefront), 21.43 SF windows
- ☐ Total proposed square footage: 65.77 SF

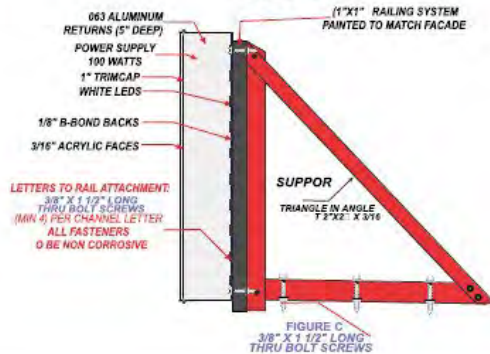


Docket No. 06-55-26 (13611 Madison)

**New Signage – Philly Flavor
Shadi Almikdad**



SIDE VIEW



1-Led Cloud Sign Mounted On 1"x1" raceway
sign to have 1/8" thick plastic faces
with digital graphics applied to face as showing
5" deep
1" trim cap

2-window graphics (2) 55" x 16" / (2) 48" x 16"
(2) 55" x 7" / (2) 48" x 16"

sign size 17" x 120" total sign sqft 14.5 sqft

THIS SIGN SHALL REMAIN THE PROPERTY OF
NEON & SIGNS UNTIL FULLY PAID FOR.

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO
VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

ALL INFORMATION CONTAINED ON THIS DRAWING IS CONFIDENTIAL AND PROPRIETARY. IT IS THE SOLE PROPERTY
OF NEON AND SIGNS AND IS NOT TO BE REPRODUCED BY ANYONE WITH OUT WRITTEN CONSENT FROM NEON AND SIGNS

SCALE: 1:16

DATE: 5/19/26

SALES: Shadi Mikdad

NEON & SIGNS 10505 BEREA RD CLEVELAND OH 44102 216-390-0818 NEONSIGNS44111@GMAIL.COM OR SHADINEONSIGNS@AOL.COM



Docket No. 06-55-26 (13611 Detroit)

Applicant proposes signage.

City Notes:

- ☐ Applicant proposes 4 signs (26.67 SF wall sign, 2.8 SF vinyl door, 5.38 SF rear entrance wall, 5.38 SF ground sign)
- ☐ Max allowed square footage: 93.75 SF total (50' storefront)
- ☐ Total proposed square footage: 40.23 SF



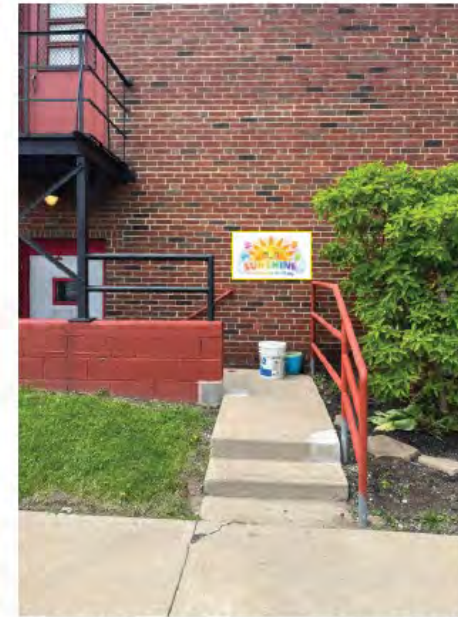
Docket No. 06-57-26 (1655 Rosewood)
New Signage – Sunshine Enrichment Academy
Steven Foster



80" x 48" - Wall Sign (ACM)



26" X 15.5" - Vinyl Entrance Sign



36" x 21.5" - Rear Entrance Sign (ACM)



36" x 21.5" - Marquee Sign

Total sign
area:
39"x60" for
ground sign



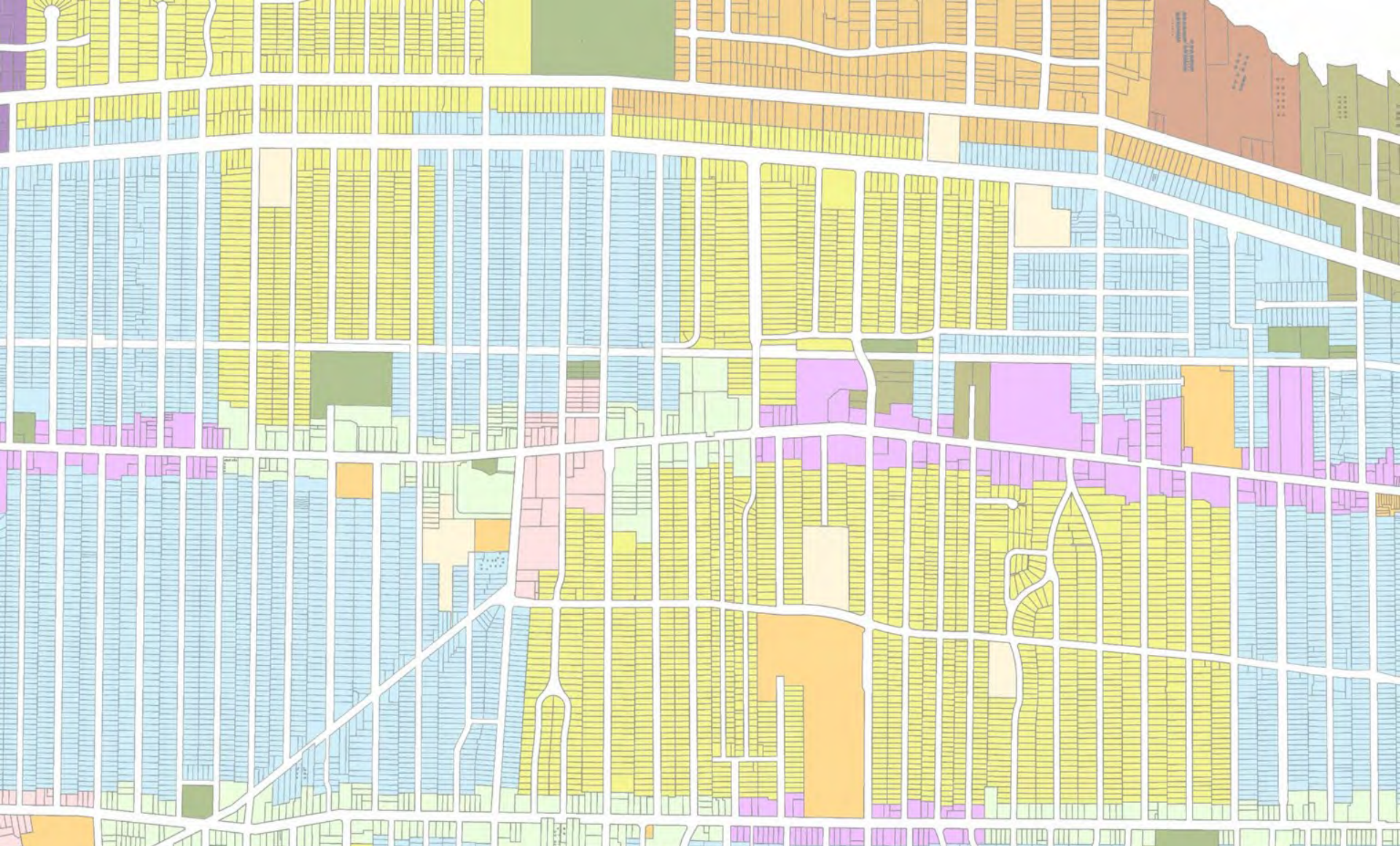
Existing Entrance

NOTE: Renderings are approximate representations of final production. This drawing is CONFIDENTIAL and PROPRIETARY. Use without written permission of The Sign & Graphics Firm is strictly prohibited.

	Sign & Graphics Firm	Business Name: SUNSHINE ENRICHMENT ACADEMY	Address: 1659 Rosewood Avenue Lakewood, OH 44107	1 5-19-26
	Steven Foster 216.390.0198 sgofoster09@gmail.com			



Docket No. 06-57-26 (1655 Rosewood)



Architectural Board of Review

Old Business – July 2026

Applicant proposes new single family home.

City Notes:

Home Sweet
Home Child Care

1518 Hopkins Ave



Docket No. 06-60-26 (1518 Hopkins)

**New Single Family Home
Farah Issa**



EXP
Solutions For Your Drafting And Design Needs
SHEFFIELD VILLAGE, OHIO 44034
PHONE: 440.304.9227

DISCLAIMER

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DealPunch members are not responsible for any damages, whether in the member's active use, in use by any other member, or available to any member, or in use by any other member, to the extent that the damages are a result of the use of DealPunch, in whole or in part, including any other member's use of DealPunch.

Hanna Homes
IRA BROTHERS CONSTRUCTION

NEW BUILD PLANS FOR:
RESIDENCE
1518 HOPKINS AVENUE
LAKEWOOD, OHIO 44107

A2



Docket No. 06-60-26 (1518 Hopkins)



PROPOSED NEW BUILD ON CURRENT SITE

1518 HOPKINS AVENUE
LAKEWOOD, OHIO 44107



Docket No. 06-60-26 (1518 Hopkins)

Revised



PROPOSED NEW BUILD ON CURRENT SITE

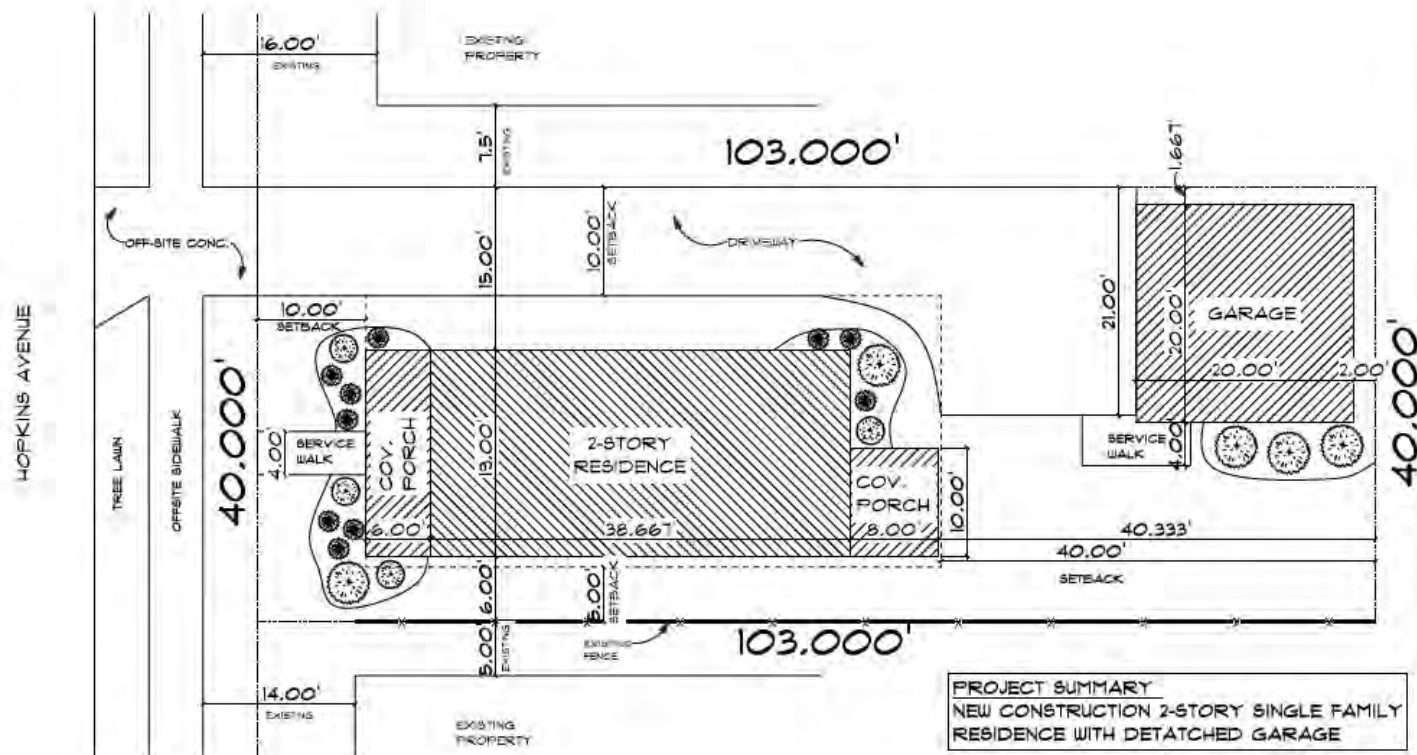
1518 HOPKINS AVENUE
LAKEWOOD, OHIO 44107



Docket No. 06-60-26 (1518 Hopkins)

SITE DESCRIPTION	
ADDRESS:	1518 HOPKINS AVENUE, LAKEWOOD, OH, 44107
ADDITION:	NEW CONSTRUCTION
LAND USE:	R1H RESIDENTIAL HIGH DENSITY
PARCEL #:	315-11-02
SCALE:	1"=5'
TYPE OF DRAINAGE:	SEWER
LOT COVERAGE:	ALLOWED: 35% PROPOSED: 25%
ACCESSORY STRUCTURE:	ALLOWED: 25% PROPOSED: 10%

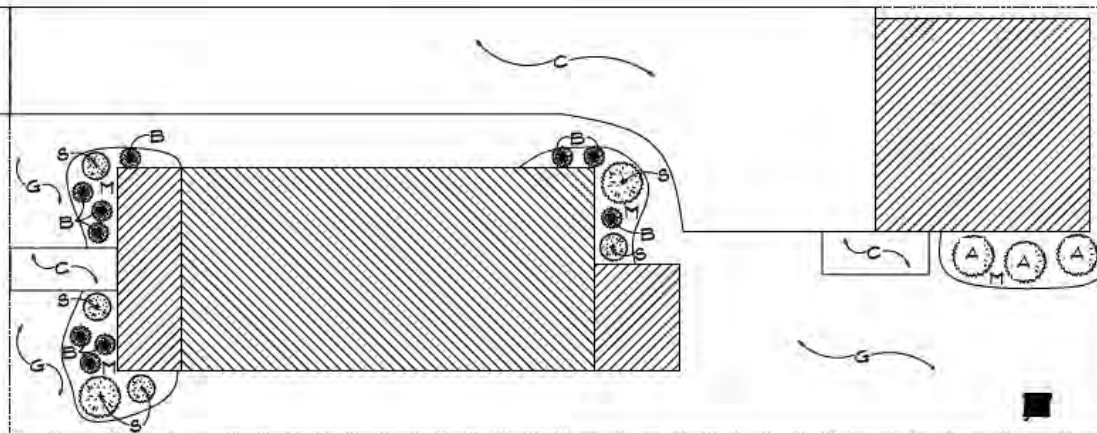
STATISTICS	
LOT:	420 sq ft
MAIN LEVEL:	735 sq ft
SECOND LEVEL:	680 sq ft
BASEMENT:	660 sq ft
GARAGE:	400 sq ft
DRIVEWAY:	1033 sq ft
SERVICE WALK:	60 sq ft
FRONT COV. PORCH:	114 sq ft
REAR COV. PORCH:	80 sq ft
TOTAL BUILDING:	930 sq ft
GRASS:	1018 sq ft



SITE PLAN
SCALE 1" = 5'-0"
1518 HOPKINS AVENUE LAKEWOOD OH, 44107



HOPKINS AVENUE



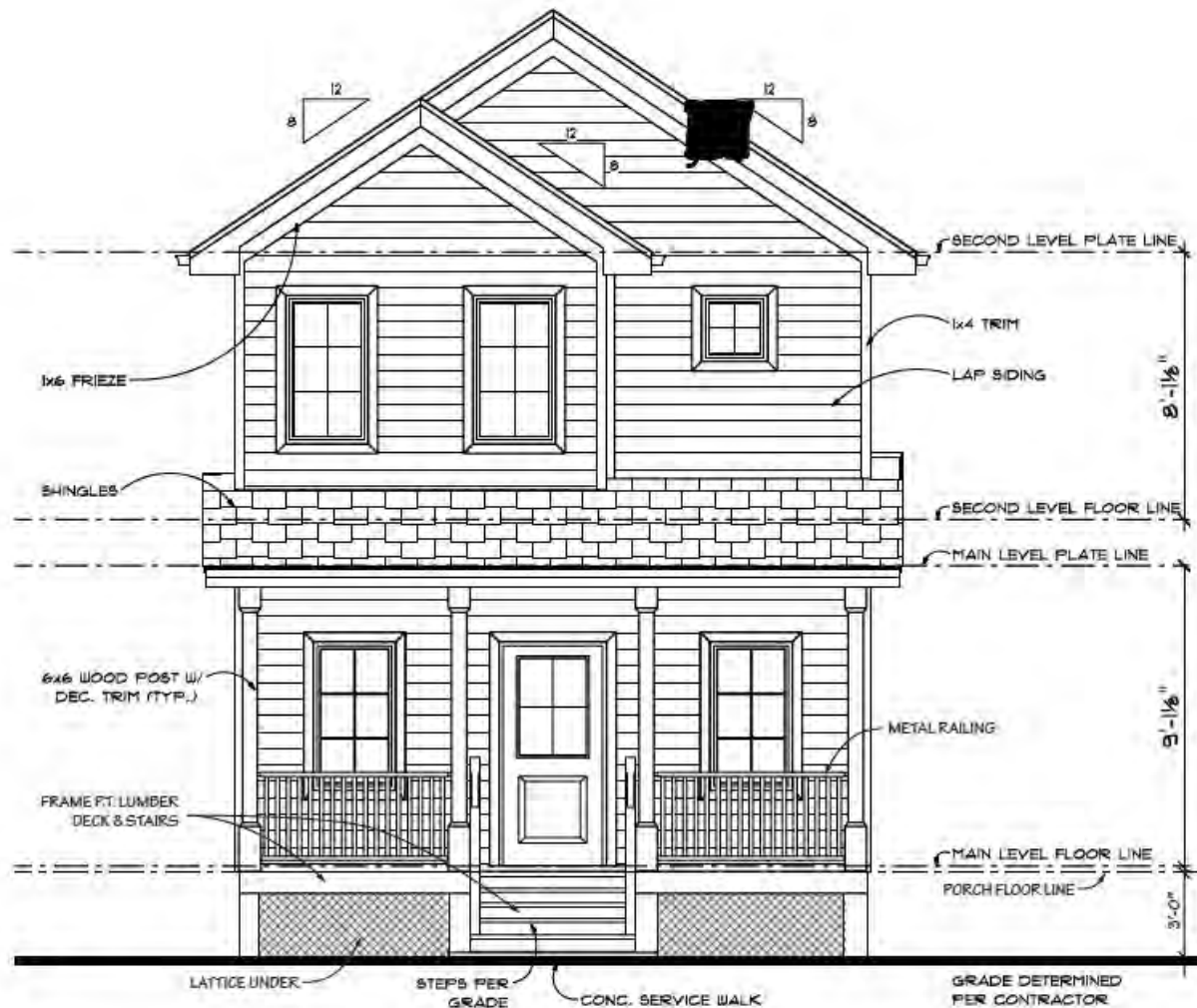
LANDSCAPE

SCALE: 1" = 8'-0"
1518 HOPKINS AVENUE LAKEWOOD OH. 44101

LANDSCAPE LEGEND	
A	ARBORVITAE (THUJA OCCIDENTALIS)
B	BOXWOOD SHRUB (BUXUS SEMPERVIRENS)
C	CONCRETE
G	GRASS
M	MULCH BED
S	SWITCHGRASS (PANICUM VIRGATUM)



Docket No. 06-60-26 (1518 Hopkins)



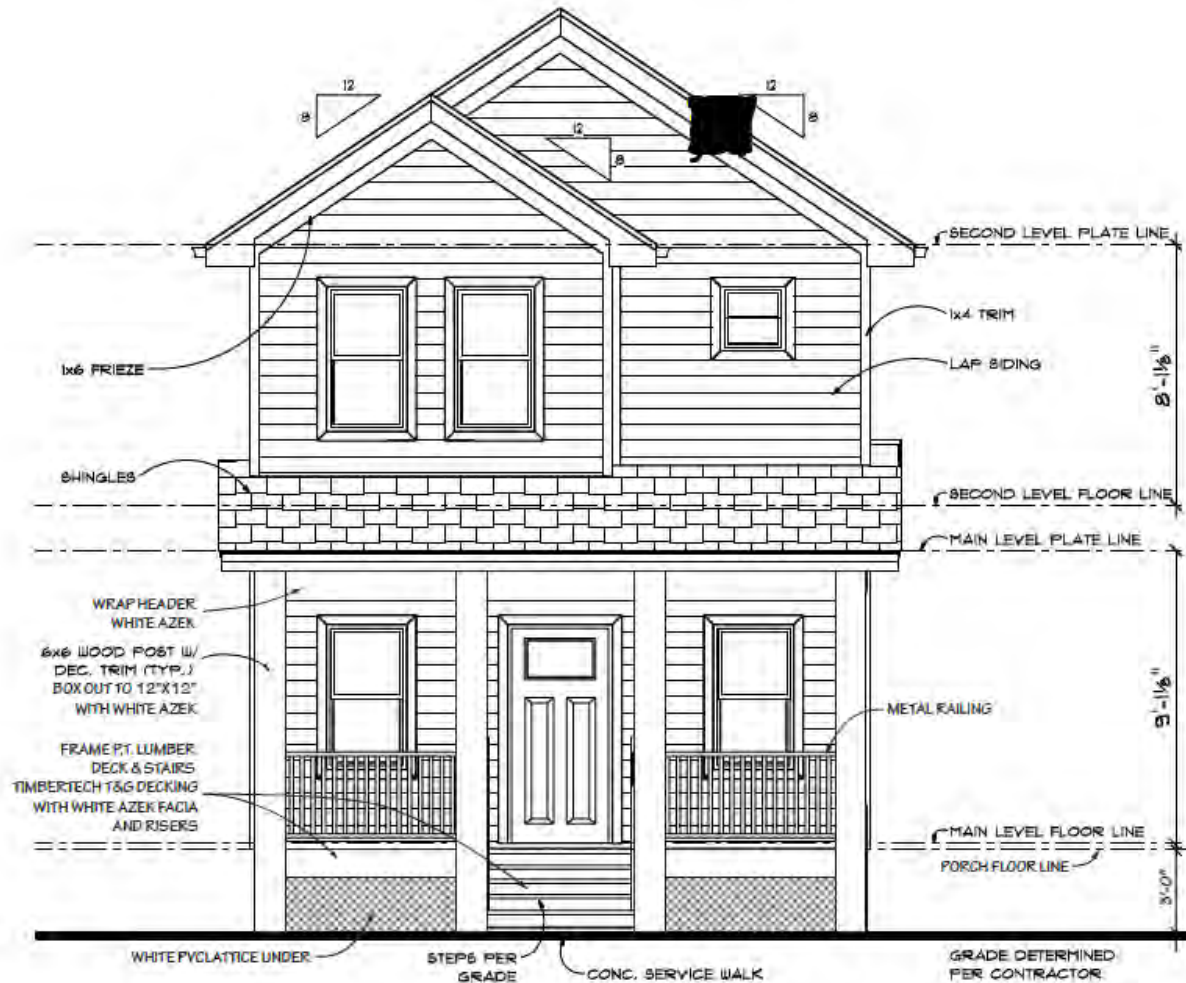
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



Docket No. 06-60-26 (1518 Hopkins)

Revised

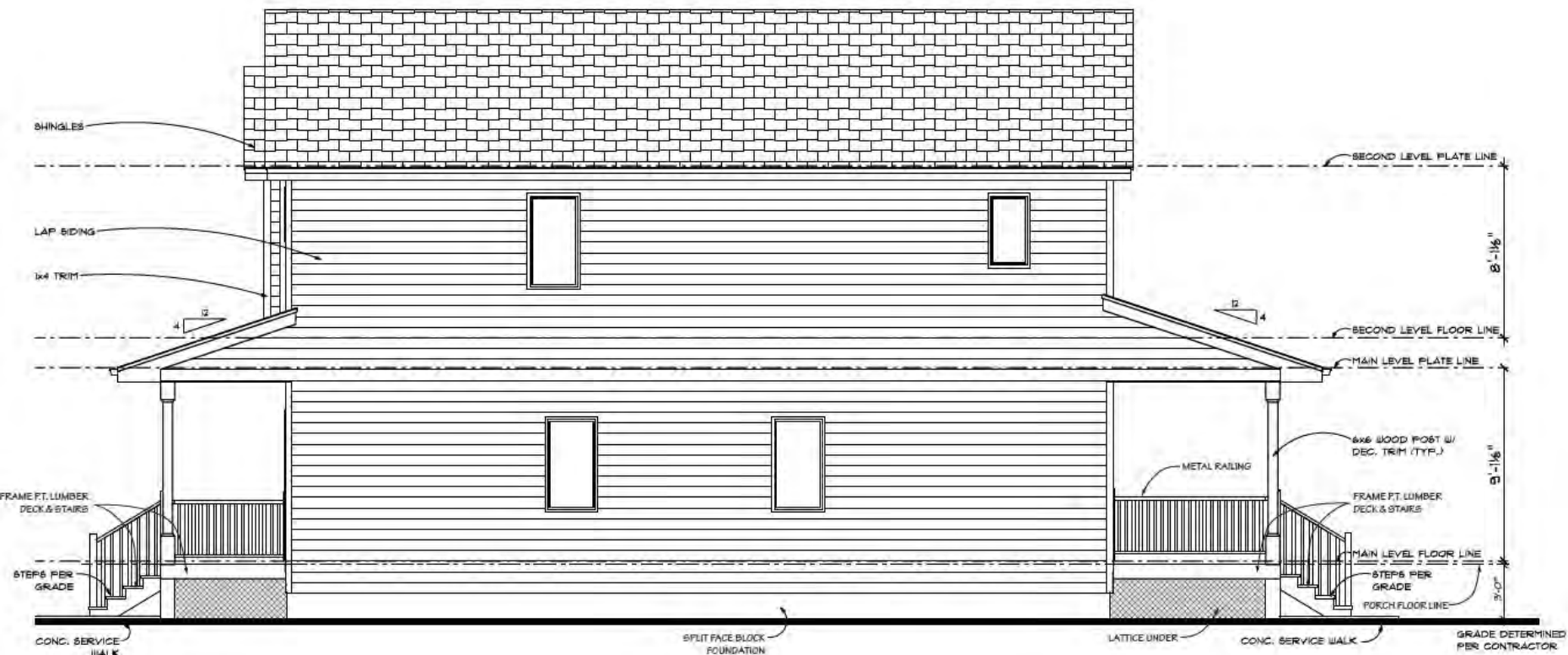


FRONT ELEVATION

SCALE: 1/4" = 1'-0"



Docket No. 06-60-26 (1518 Hopkins)



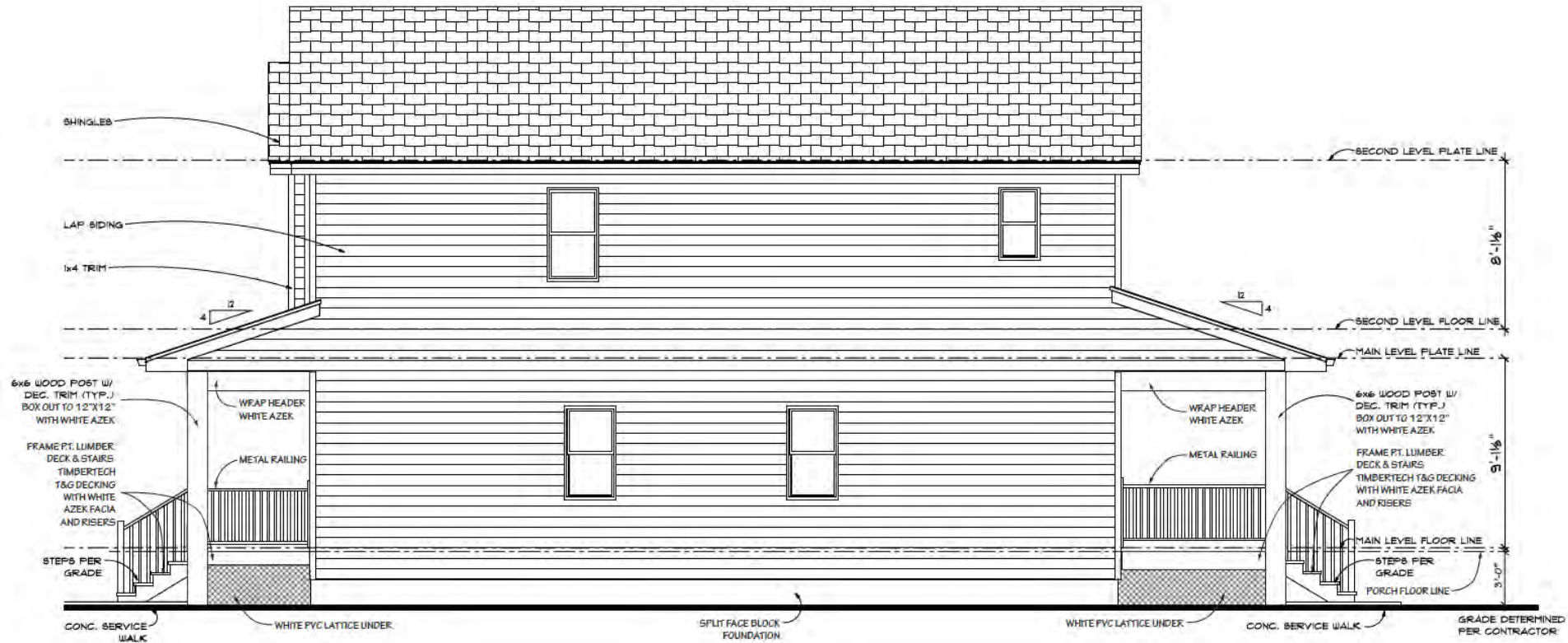
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



Docket No. 06-60-26 (1518 Hopkins)

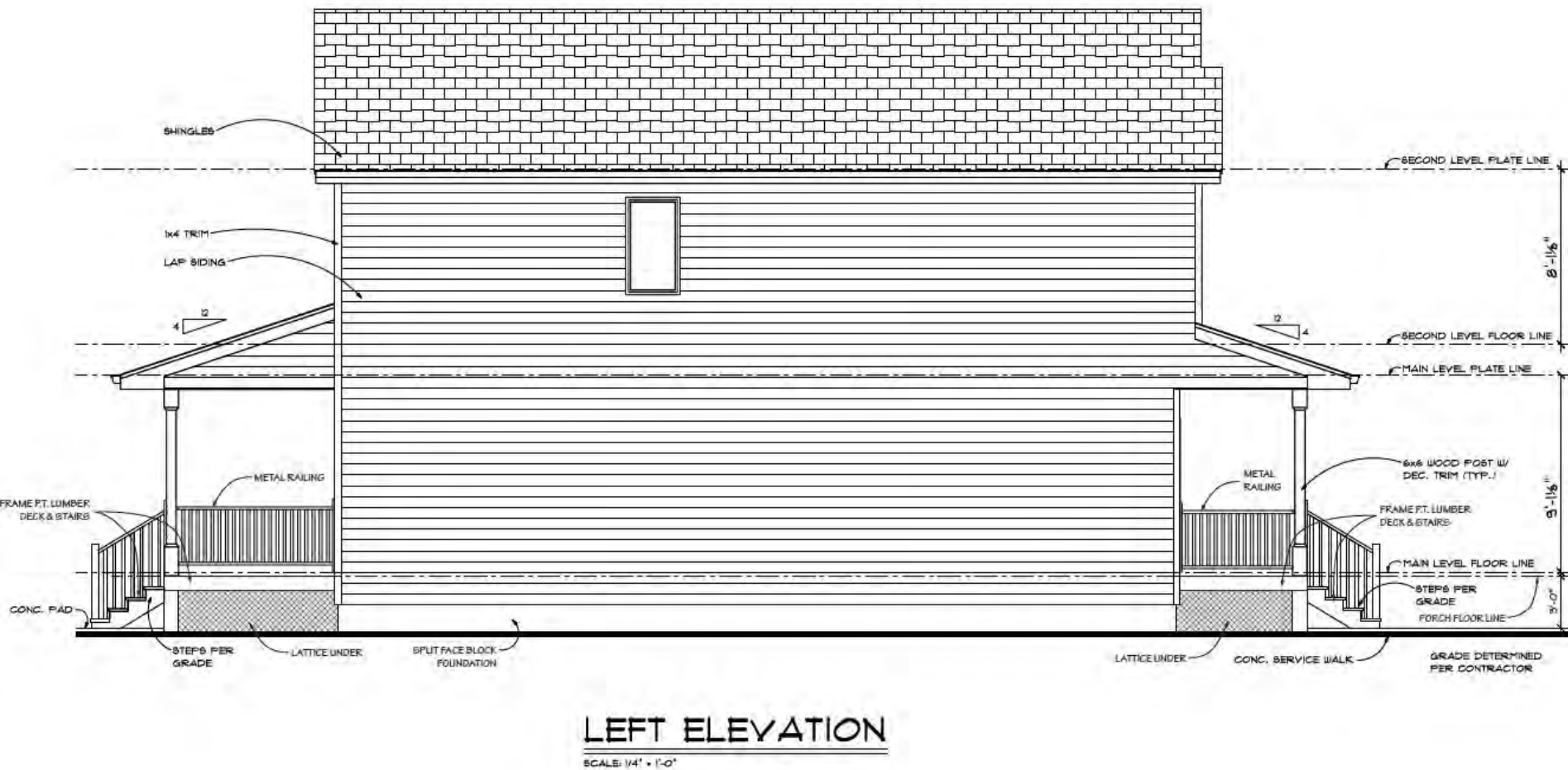
Revised



RIGHT ELEVATION

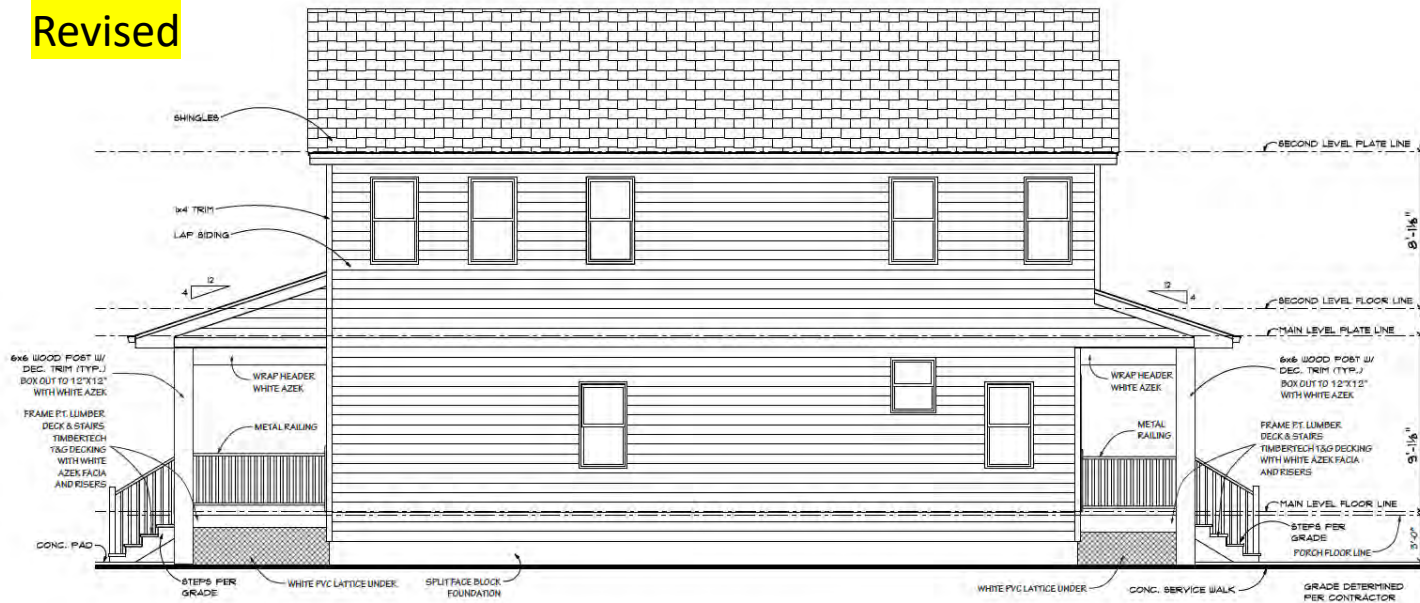


Docket No. 06-60-26 (1518 Hopkins)



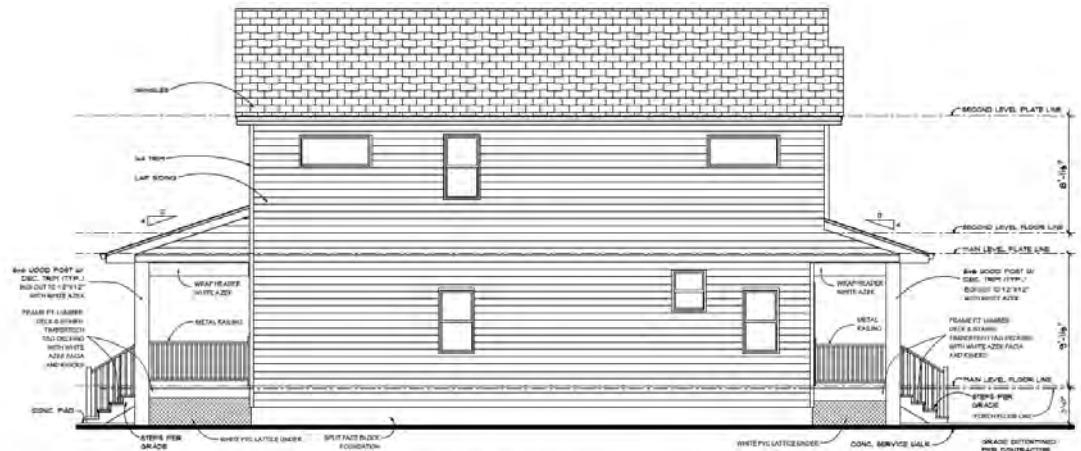
Docket No. 06-60-26 (1518 Hopkins)

Revised



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

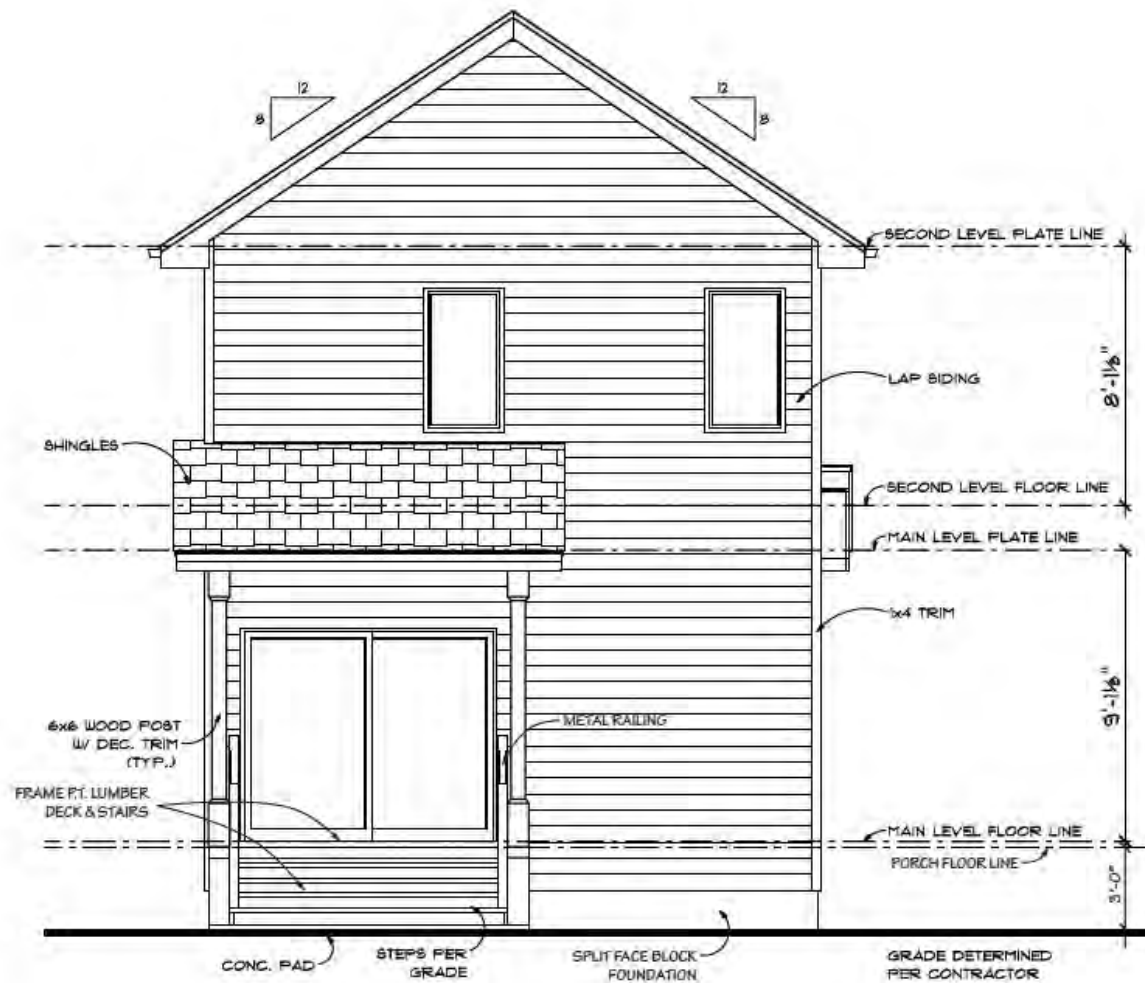


LEFT ELEVATION

SCALE: 1/4" = 1'-0"

Docket No. 06-60-26 (1518 Hopkins)



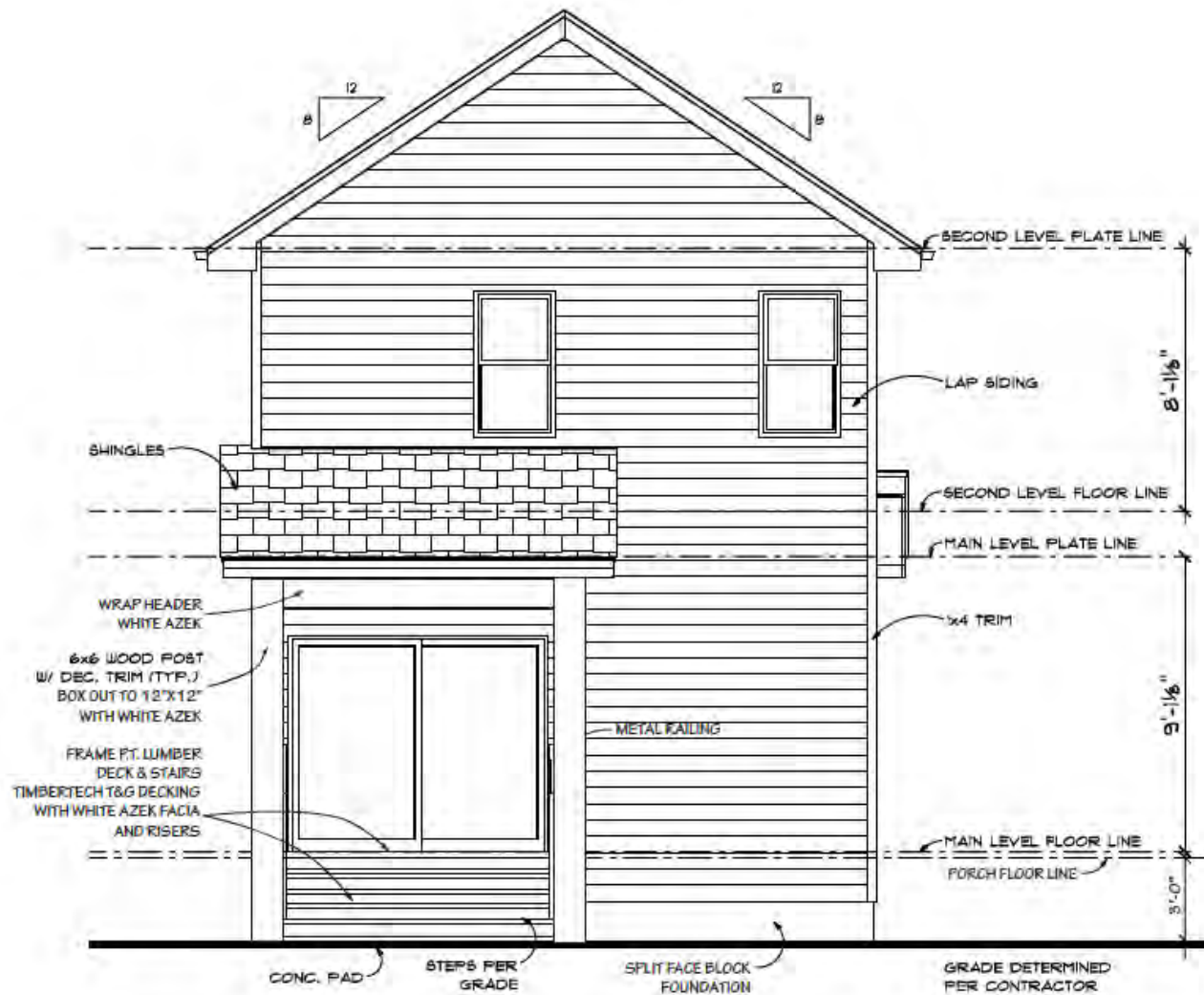


REAR ELEVATION

SCALE: 1/4" = 1'-0"



Docket No. 06-60-26 (1518 Hopkins)

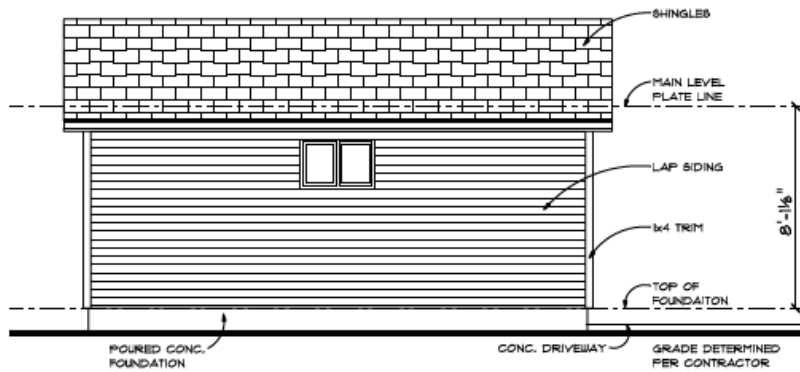


REAR ELEVATION

SCALE: 1/4" = 1'-0"

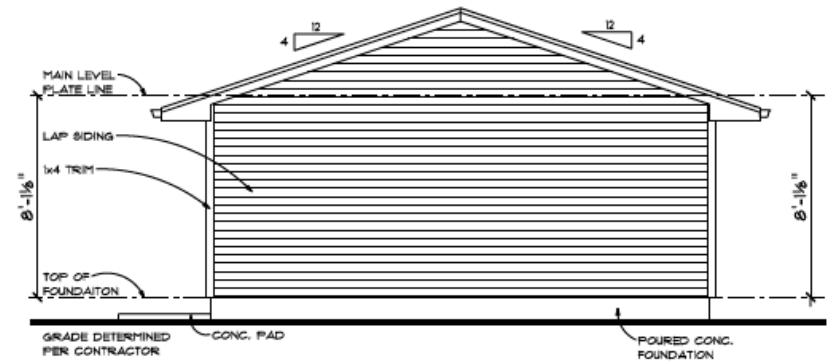


Docket No. 06-60-26 (1518 Hopkins)



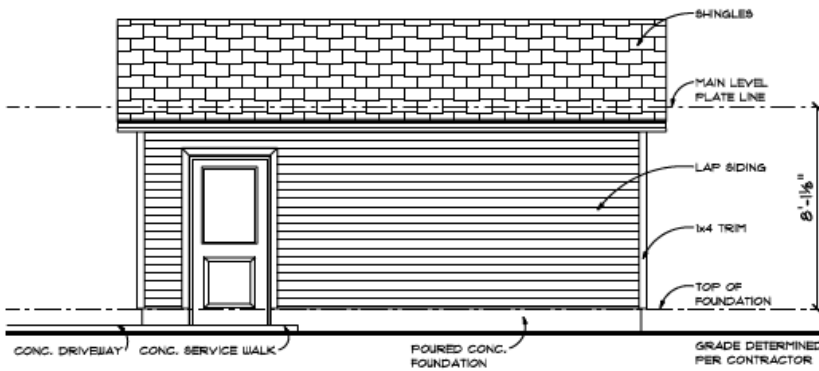
LEFT ELEVATION

SCALE: 3/8" = 1'-0"



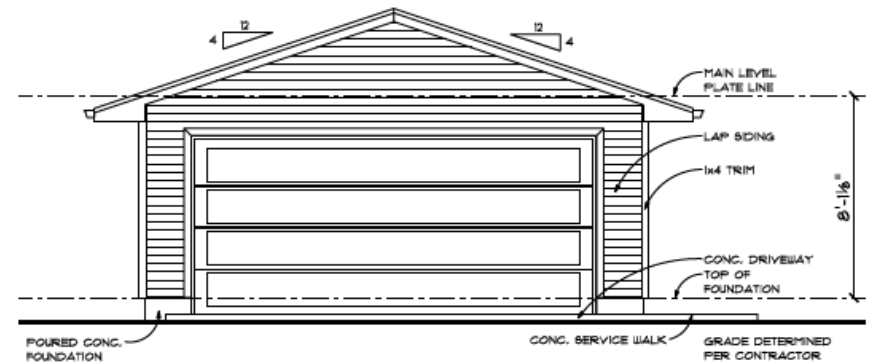
REAR ELEVATION

SCALE: 3/8" = 1'-0"



RIGHT ELEVATION

SCALE: 3/8" = 1'-0"



FRONT ELEVATION

SCALE: 3/8" = 1'-0"



Docket No. 06-60-26 (1518 Hopkins)



Docket No. 06-60-26 (1518 Hopkins)



Docket No. 06-60-26 (1518 Hopkins)

Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



Front Porch and Entry

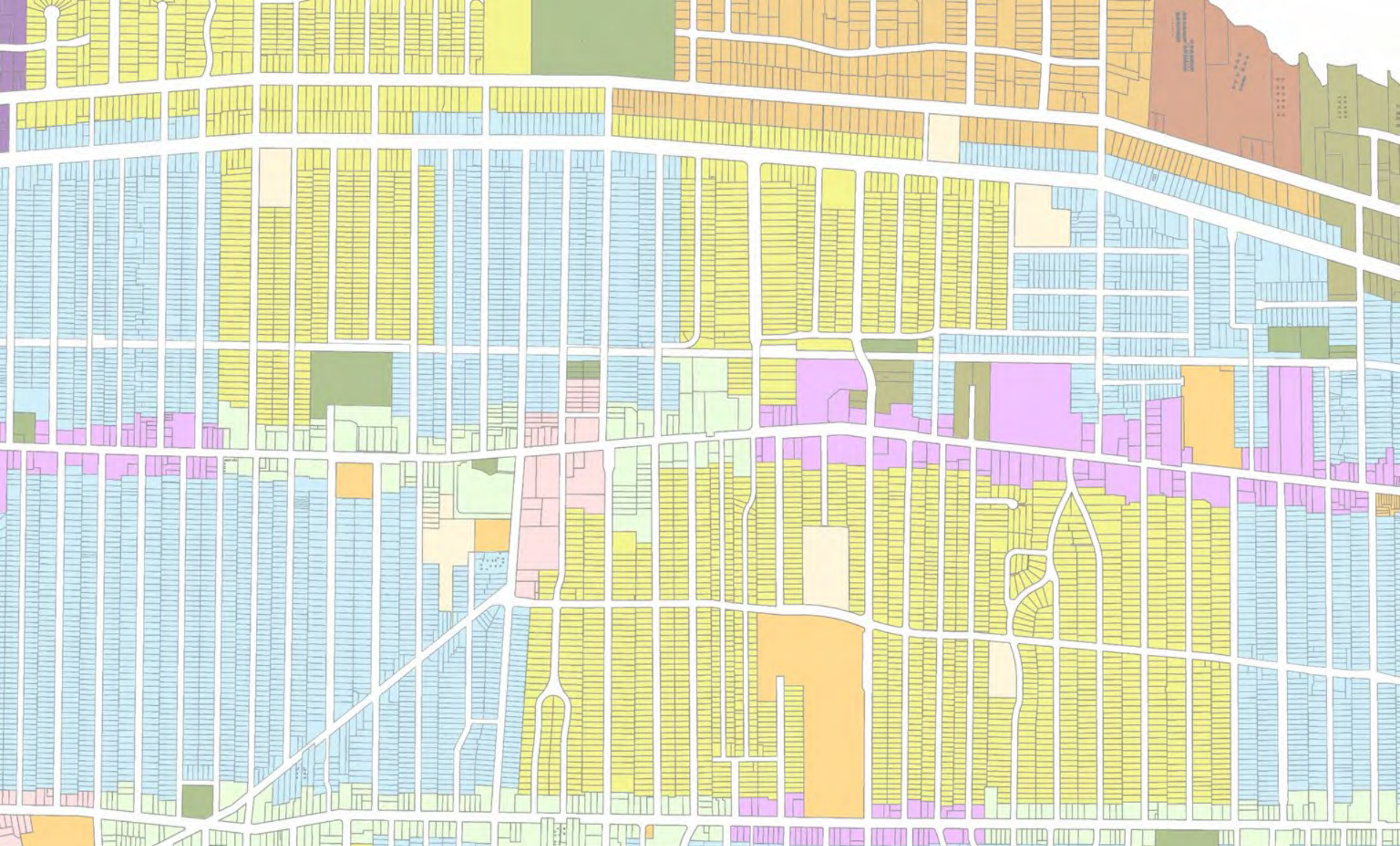
- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
 - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
 - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
 - Compliance with Appendix B Front Porch Guidelines is required.
 - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.





Architectural Board of Review

Return for Modifications – July

Applicant proposes alteration to previous ABR approval.

City Notes:

☐ N/A



Docket No. 03-21-25 (15431 Edgewater)

**Residence – Front Porch Revision
Mark Reinhold**

Applicant proposes alteration to previously approved ABR applications.

City Notes:

- ☐ Applicant proposes wall (24 SF) and window signage (SF)
- ☐ Max allowed square footage: 36 SF total (24' storefront)
- ☐ Total proposed square footage: **68.71 SF total, 44.71 SF window**

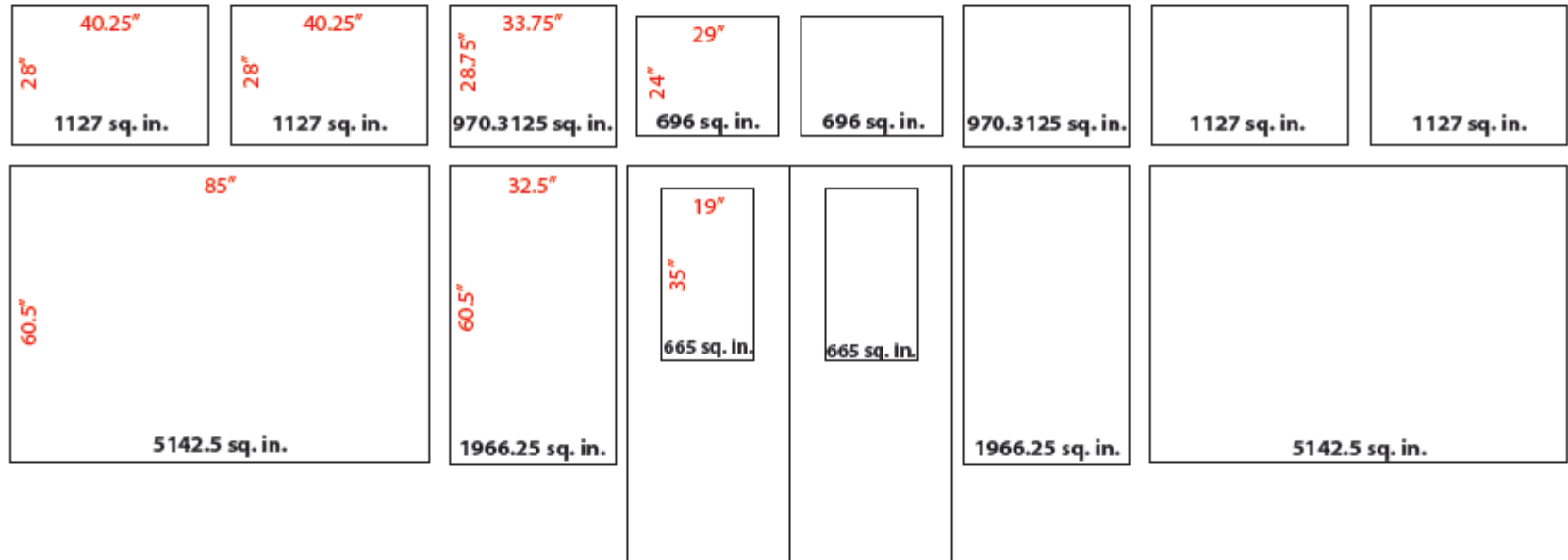


Docket No. 04-38-26 (1590 Coutant)

**Wall Sign - FASTSIGNS
Dave Wenninger**

WINDOWS 1590 Coutant Ave.

FRONT WINDOW DIMENSIONS



23,388.125 sq. in.
162.42 sq. ft.



Docket No. 04-38-26 (1590 Coutant)

FRONT WINDOW PROPOSED GRAPHICS



Docket No. 04-38-26 (1590 Coutant)

FRONT WINDOW PROPOSED GRAPHICS



WINDOW GRAPHICS 1590 Coutant Ave.

NORTH WINDOW GRAPHIC (85" x 60.5")



SOUTH WINDOW GRAPHICS (50" x 17.5")

FASTSIGNS

Make Your Statement™

216-243-9991

50/50 perforated vinyl to allow for higher visibility through the window, and cuts the square footage of coverage in half.
Full window coverage of 50/50 perforated vinyl also serves to shield sun exposure to materials and machines.

ICON WINDOW GRAPHIC 1 (84" x 5.5") -

This is meant to hide the black that is currently across the bottom of the windows



ICON WINDOW GRAPHIC 2 (32" x 5.5") -

This is meant to hide the black that is currently across the bottom of the windows



DOOR WINDOW GRAPHIC 1
(15.56" x 13.55")

FASTSIGNS
Make Your Statement™

216-243-9991

www.fastsigns.com/2577

Follow us on these social media channels



Countour cut vinyl

DOOR WINDOW GRAPHIC 1
(14.8" x 15")

FASTSIGNS
Make Your Statement™

Center Hours:

Mon - Fri: 8:30am - 5:00pm

Closed Saturday & Sunday

No Soliciting
No Public Restrooms

Countour cut vinyl



Docket No. 04-38-26 (1590 Coutant)

Revised

NORTH WINDOW GRAPHIC (85" x 60.5" - 35.71 sq ft)



50/50 perforated vinyl to allow for higher visibility through the window and cuts the square footage of coverage in half.
Full window coverage of 50/50 perforated vinyl also serves to shield

SOUTH WINDOW GRAPHICS (50" x 17.5" - 6 sq ft)



LAKEWOOD, OH

DOOR WINDOW GRAPHIC 1
(15.56" x 13.55" - 1.46 sq ft)



Follow us on Facebook, Twitter, and LinkedIn



Countour cut vinyl

DOOR WINDOW GRAPHIC 1
(14.8" x 15" - 1.54 sq ft)



Center Hours:
Mon - Fri: 8:30am - 5:00pm
Closed Saturday & Sunday

No Soliciting
No Public Restrooms

Countour cut vinyl



Docket No. 04-38-26 (1590 Coutant)

BOTH SIDES GRAPHIC (36" x 24" each)



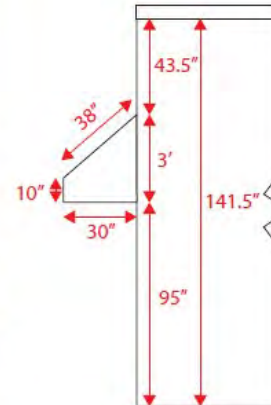
NORTH FACADE (FACING HILLIARD)



SOUTH FACADE (FACING MADISON)



SIDE VIEW



SOUTH SIDE GRAPHIC (36" x 24")



Since we are in an area off the main roads and a bit hidden, I would like to have a sign facing Madison avenue advertising what the building is. This would effectively be doing the same thing as a blade sign would do on the front of the building, advertising the location from the side.

SOUTH FACADE (FACING MADISON)



PROPOSED FINISHED FRONT BUILDING GRAPHICS 1590 Coutant Ave.
[No Title]



Docket No. 04-38-26 (1590 Coutant)

Revised

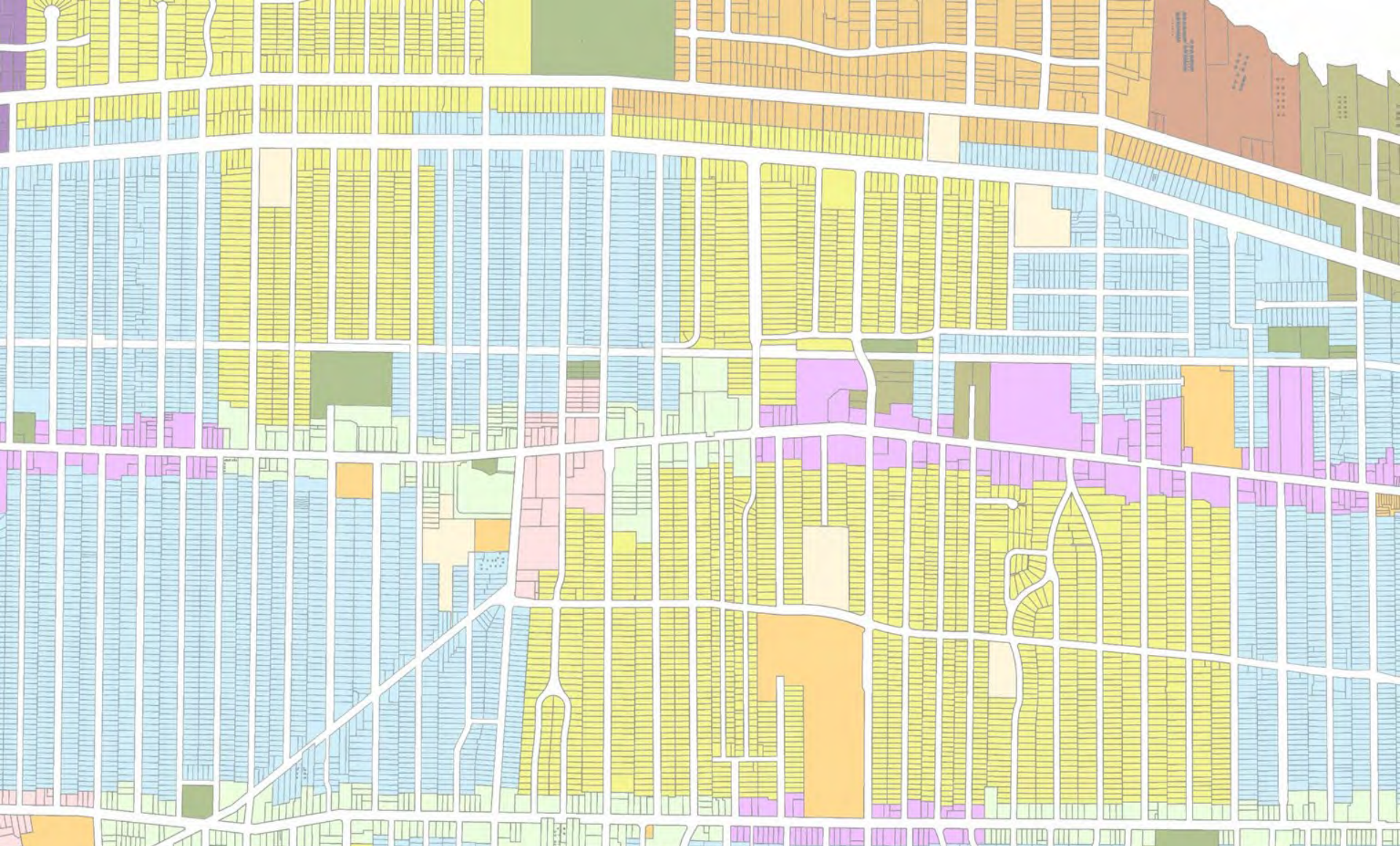
Option 1 with South window graphics (preferred)



Option 2 with no South window graphics



Docket No. 04-38-26 (1590 Coutant)



Architectural Board of Review

Sign Review – July

Applicant proposes new comprehensive signage package.

City Notes:

- ☐ Applicant proposes wall (71.39 SF) signage
- ☐ Max allowed square footage: 56.25 SF total (30' storefront, corner lot)
- ☐ Total proposed square footage: 71.39 SF



Docket No. 07-63-26 (15500 Detroit)

**New Signage - Taco Bell
Gregory Peters**

SITE MAP



EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
A	3	TAC-BELL-42P-FL	Swinging Bell - Purple Face-Lit, Endeavor, 42" V-04 42
B	1	TAC-CL-14W-L	Medium TB 14" White Channel Letters, LINEAR, TB, 2018, V-09.14W
C	8	TAC-PCL-10	Purple LED Cove Lighting, 10'
D	1	TAC-CLB-REFURB	Create refurbishing of existing clearance (without shroud) framework to include: Band, prime and paint. [SATN BLACK] Remove/Replace Yellow Safety Stakes with 9' clearance vinyl.
E	1	TAC-OPC-REFURB	Create refurbishing of existing Order Point canopy (without shroud) top framework to include: Band, prime and paint. [SATN BLACK] Include preexisting underside
F	2	TAC-DV-MP-TEMP	Directional Mobile Pickup Parking Sign, 1'-0" x 1'-6", Temporary Pyramid Base V-03.7
G	2	TAC-CUSTOM-MONUMENT	Replacement Pan Formed Faces For Custom Monument, 3'-9" x 5'-7"



ELEVATIONS

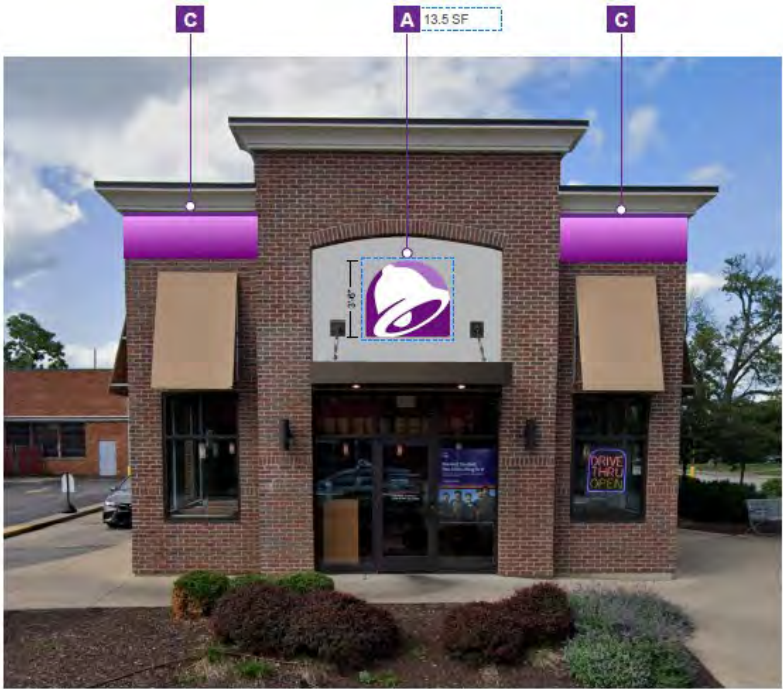


EXISTING

EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
A	1	TAC-BELL-42P-FL	Swinging Bell - Purple Face-Lit, Endeavor, 42" V-D4.42
C	2	TAC-PCL-10	Purple LED Cove Lighting, 10"

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



FRONT ELEVATION



ELEVATIONS

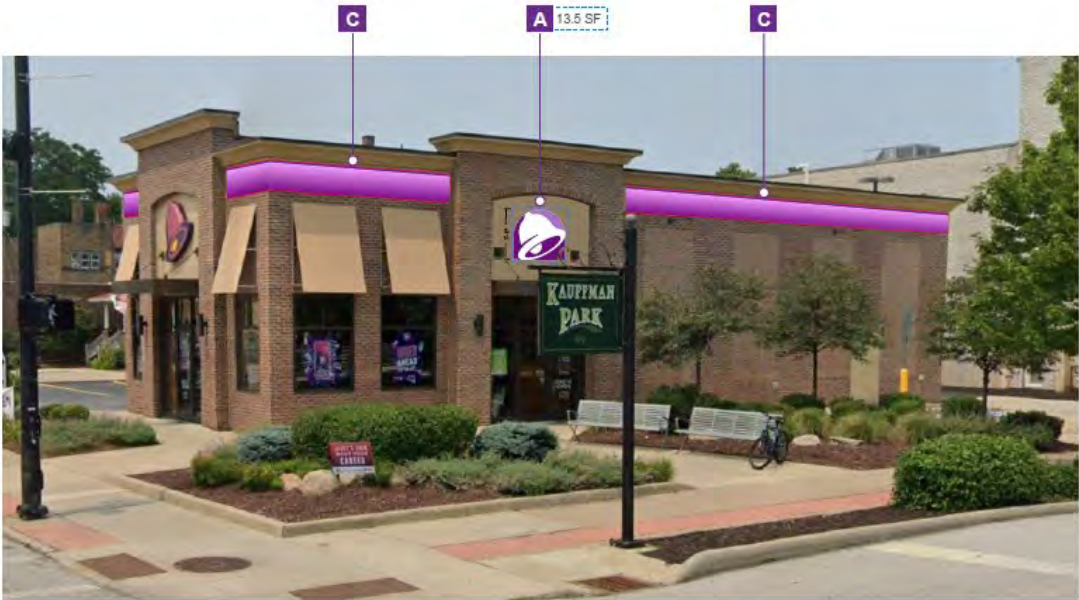


EXISTING

EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
A	1	TAC-BELL-42P-FL	Swinging Bell - Purple Face-Lit, Endeavor, 42" V-D4.42
C	2	TAC-PCL-10	Purple LED Cove Lighting, 10'

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



PORTAL ELEVATION

Scale: 1/8" = 1'



ELEVATIONS

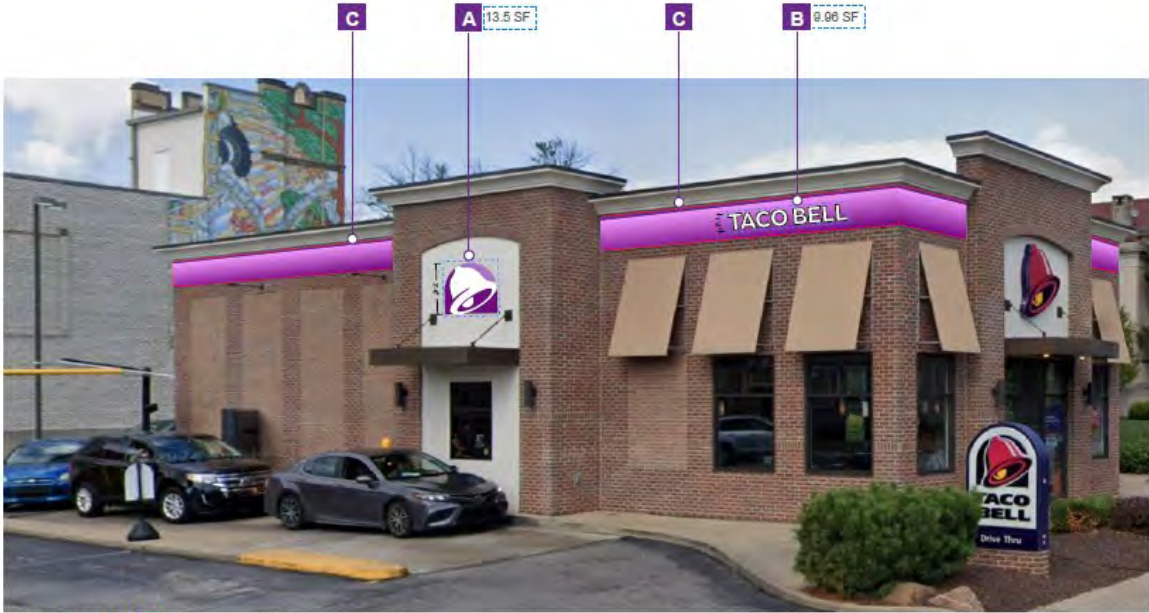


EXISTING

EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
A	1	TAC-BELL-42P-FL	Glowing Bell - Purple Face-Lit, Endeavor, 42" V-04.42
B	1	TAC-CL-14WH-L	Medium TB 14" White Channel Letters, LINEAR, TB, 2018, V-09.14W
C	2	TAC-PCL-10	Purple LED Cove Lighting, 10'

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.



DRIVE THRU ELEVATION

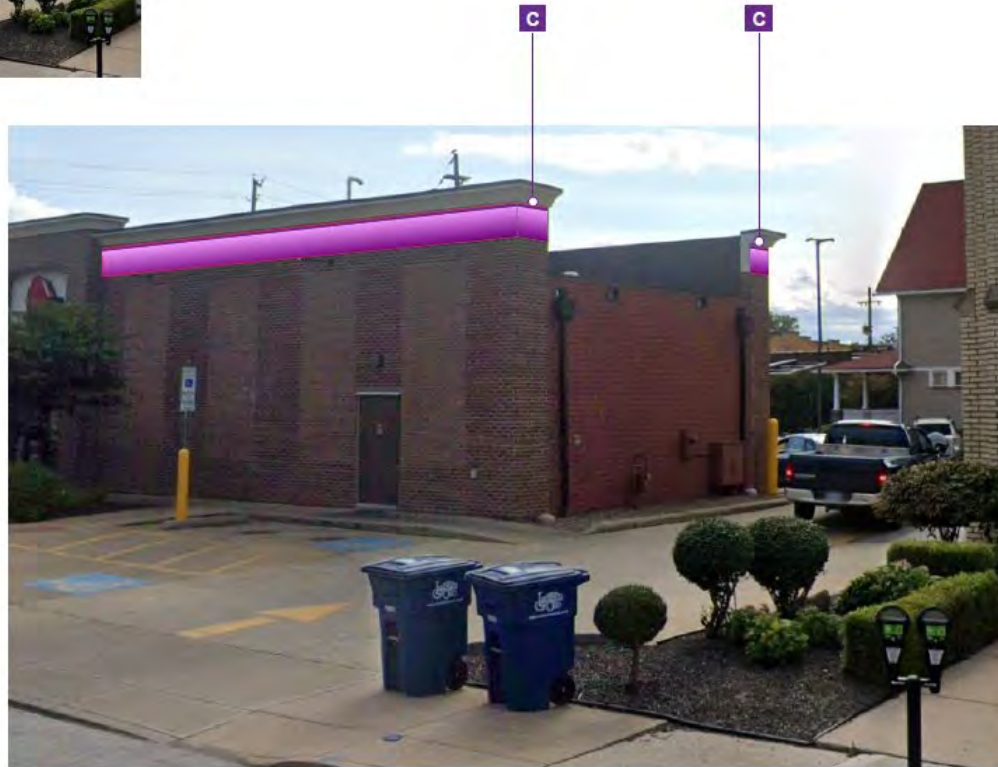
Scale: 1/8" = 1'



ELEVATIONS



EXISTING



REAR ELEVATION

EXTERIOR SIGN LIST			
SIGN	Qty	SIGN CODE	DESCRIPTION
C	2	TAC-PCL-10	Purple LED Cove Lighting, 10'

NOTE: Refer to "Wall - Downlighting" cutsheets for layouts and specific details.

NOTE: The Cove Lighting is a low intensity LED illumination shining in a downward direction.

Scale: 3/16" = 1'



Docket No. 07-63-26 (15500 Detroit)

A

TAC-BELL-42-FL

42" Purple, Face Lit Swinging Bell

DETAILS

Dimensions:

Height: 3'-6"

Width: 3'-10 3/8"

SqFt: 13.5

Quantity: 3

Illumination: Internal

Electrical Requirements:

Voltage - 120/277V

Power Supply - 12V remote power supply

Wiring - Low voltage with 1/2" liquid-tight conduit to power supply

Installation: Requires owner supplied 120V power within 5' of transformer box

Specifications:

MOUNTING HARDWARE

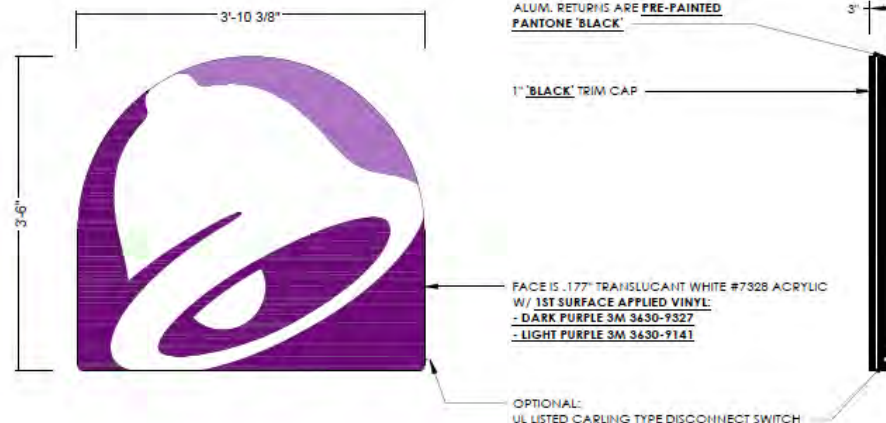
Exterior-	3/8" ZINC PLATED STEEL THREADED ROD THRU WALL W/ BLOCKING
Interior-	3/8" SNAP TOGGLE BOLTS

NOTES:

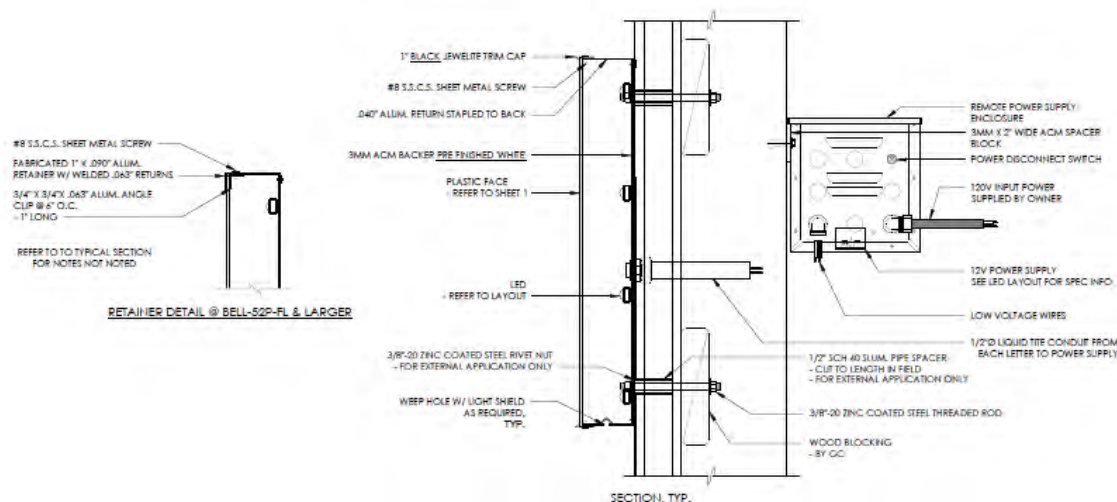
- 1.) THREADED ROD WILL BE PROVIDED STANDARD. ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.
- 2.) DESIGN INTENDED FOR NO GREATER THAN 3RD STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.

Notes:

- 1) PM to specify part number prior to fabrication.
- 2) PM to specify interior or exterior application prior to fabrication.
- 3) PM to specify optional external disconnect switch prior to fabrication.
- 4) Shop to provide touch up paint for installer.



NOTE:
1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
2.) BELL SIZE VARIES PER LOCATION
3.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.



NOTES:

- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0\"/>



Docket No. 07-63-26 (15500 Detroit)

B

TAC-CL-14W-L

14" White Linear Wall Mounted TB Channel Letters

DETAILS

Dimensions:

Height: 1'-2"
 Width: 8'-6 3/8"
 SqFt: 9.96

Quantity: 1

Illumination: Internal

Electrical Requirements:

Voltage - 120/277V

Power Supply - 12V remote power supply

Wiring - Low voltage with 1/2" liquid-tight conduit to power supply

Installation: Requires owner supplied 120V power within 5' of transformer box

Specifications:

MOUNTING HARDWARE

Exterior - 3/16" ZINC PLATED STEEL THREADED ROD
 (THRU WALL MOUNTING)

Interior - 3/16" SNAP TOGGLE BOLTS

NOTES:

- 1) THREADED ROD WILL BE PROVIDED STANDARD, ALL OTHER HARDWARE IS TO BE PROVIDED BY THE INSTALLER AS REQUIRED.
- 2) DESIGN INTENDED FOR NO GREATER THAN 2ND STORY MOUNTING - HIGHER ELEVATIONS REQUIRE REVIEW.

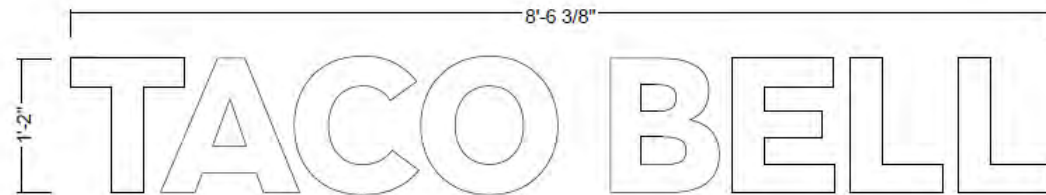
Notes:

- 1) PM to specify interior or exterior application prior to fabrication.
- 2) PM to specify optional external disconnect switch prior to fabrication.
- 3) Shop to provide touch up paint for installer.

NOTE:

- 1.) THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY.
- 2.) BELL SIZE VARIES PER LOCATION
- 3.) SHOP TO PROVIDE TOUCH UP PAINT TO INSTALLER.

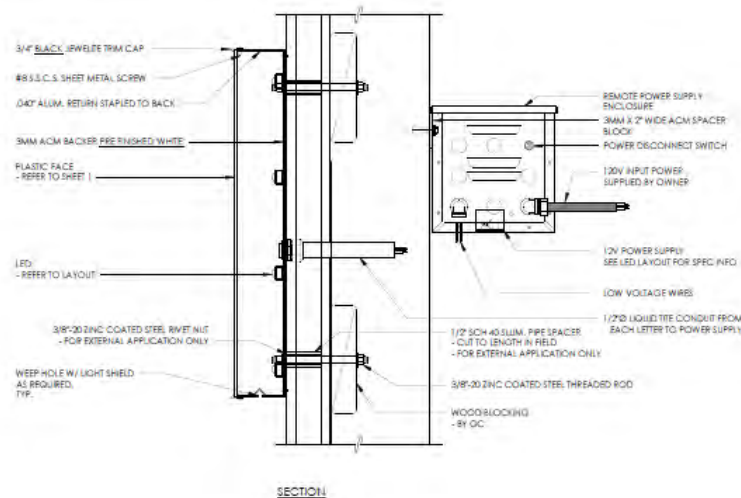
MOUNTING APPLICATION	
INTERIOR	EXTERIOR
	X



Front Elevation



Side View



SECTION

NOTES:

- 1.) VERIFY MOUNTING CONDITION.
- 2.) OWNER SUPPLIED POWER TO BE WITHIN 5'-0" OF AGI TRANSFORMER BOXES.
- 3.) SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS:
 INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLES SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.



Docket No. 07-63-26 (15500 Detroit)

G**TAC-CUSTOM-MONUMENT**

Replacement Pan Formed Faces For Custom Monument, 3'-9" x 5'-7"

DETAILS**Dimensions:**

Height: 5'-7"

Width: 3'-9"

SqFt: 20.93

Quantity: 2

Illumination: Internal

Electrical Requirements:

Voltage: 120/277V

Power Supply: UL-listed disconnect switch included
Conduit from owner-provided power supply

Wiring: Electrical conduit routed through foundation
Sealed connections required for water protection

Specifications:**NOTE:**

- 1.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.
- 2.) PM TO SPECIFY SECONDARY MESSAGE OPTION PRIOR TO FABRICATION.
- 3.) PM TO VERIFY V.O. DIMENSIONS PRIOR TO FABRICATION.
- 4.) PM TO SPECIFY GENERATION OF PYLON PRIOR TO FABRICATION.
- 5.) SHOP TO PROVIDE PAINT TO INSTALLER.
- 6.) INSTALLER TO PAINT CABINETS, RETAINERS AND COLUMNS PRIOR TO FACE INSTALLATION.

**TYPICAL REFURBISH INCLUDES:**

- New Faces/Msg. panel
- LED Lighting Upgrade
- Housings, Retainers and Support Steel Painted Satin Black. (if applicable)

**G1** EXISTING**G1** RECOMMENDED

Docket No. 07-63-26 (15500 Detroit)

Purple LED Wall Downlight

DETAILS

Dimensions:

Height: 2'-3/8"

Width: 40'-0"

SqFt: 81.25

Quantity: 8

Illumination: Downlight**Electrical Requirements:**

Voltage - 120/277V

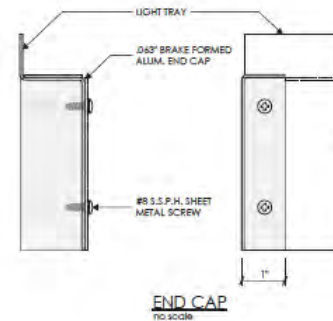
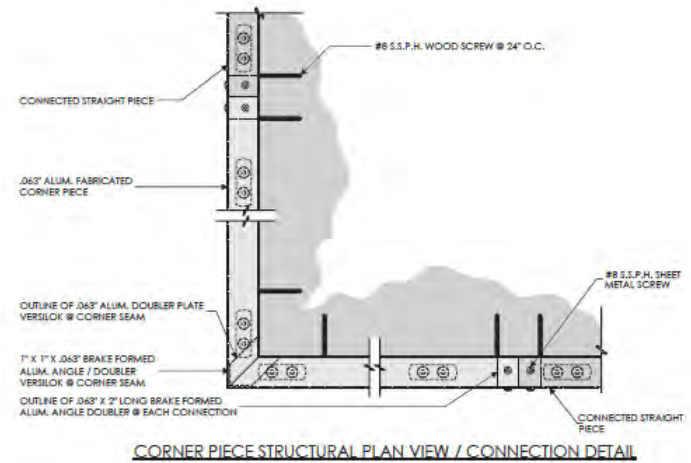
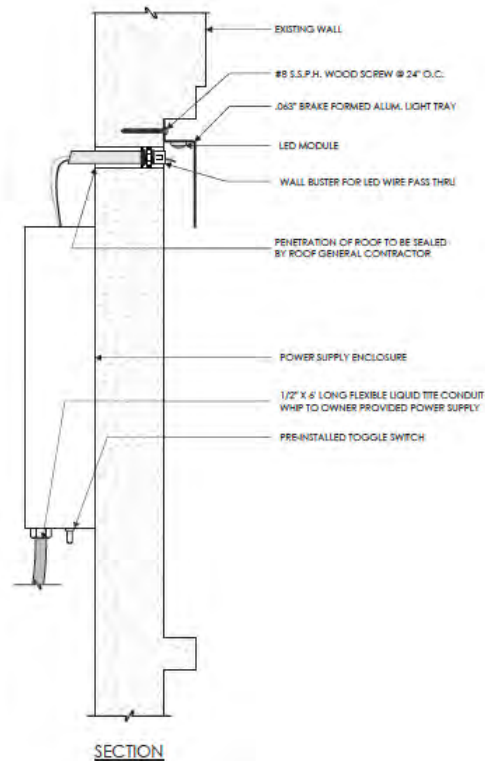
Power Supply - 12V remote power supply

70 Agilight Ultra 650 LED Modules per 60W Power Supply.

210 Agilight Ultra 650 LED Modules per 180W Power Supply

Specifications:

GC to provide electrical connections within 5' and or access to electrical via access panels or above ceiling grid

Notes:

F TAC-DV-MP-TEMP

Directional Mobile Pickup Parking Sign, 1'-0" x 1'-0",
Temporary Pyramid Base V-025.7

DETAILS

Dimensions:

Height: 1'-6"

Width: 1'-0"

SqFt: 1.34

Quantity: 2

Illumination: None

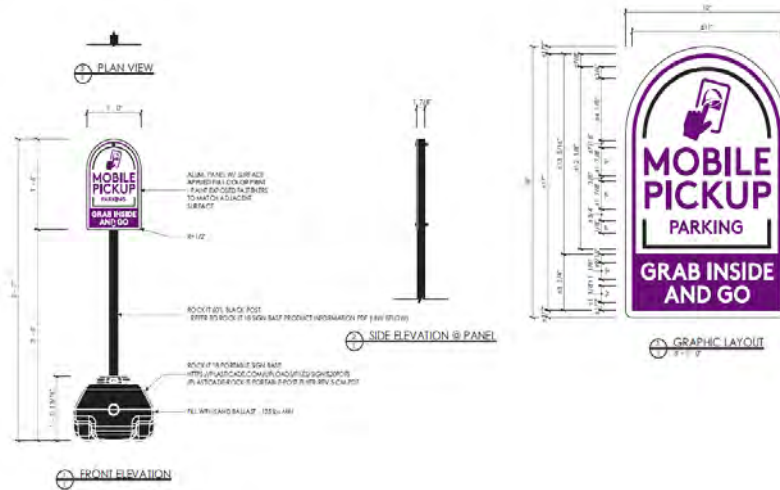
Electrical Requirements:

No Electrical Required

Specifications:

Direct Rural

Notes:



D TAC-CLB-REFURB

Clearance Bar Refurb

DETAILS

Dimensions:

Height: 10'-0"

Width: 9'-4"

SqFt:

Quantity: 1

Illumination: None

Electrical Requirements: None

Specifications:

Notes:



NOTES:
1) PM TO SPECIFY COPY ORIENTATION PRIOR TO FABRICATION.
2) SHOP TO PROVIDE INSTALL HARDWARE AND TOUCH UP PAINT TO INSTALLER.

COPY ORIENTATION	
	POLE ON LEFT
X	POLE ON RIGHT
FOUNDATION	
X	EXISTING
	NEW

Onsite Refurbishing of existing to include

- Sand, prime and paint steel (SATIN BLACK)
- Remove yellow headache bar sleeve
- Replace with new sleeve painted "Safety Yellow" and reflective black vinyl reading "10' Clearance"
- All Brown surfaces to be repainted black



Docket No. 07-63-26 (15500 Detroit)

COMPARATIVE ANALYSIS



Docket No. 07-63-26 (15500 Detroit)

Applicant proposes signage.

City Notes:

- ☐ Applicant proposes blade signs (13.19 SF), awning signs (33.3 SF)
- ☐ Max allowed square footage: 93.75 SF total (50' storefront, corner lot)
- ☐ Total proposed square footage: 47.2 SF
- ☒ Where is Illy sign going to be installed?

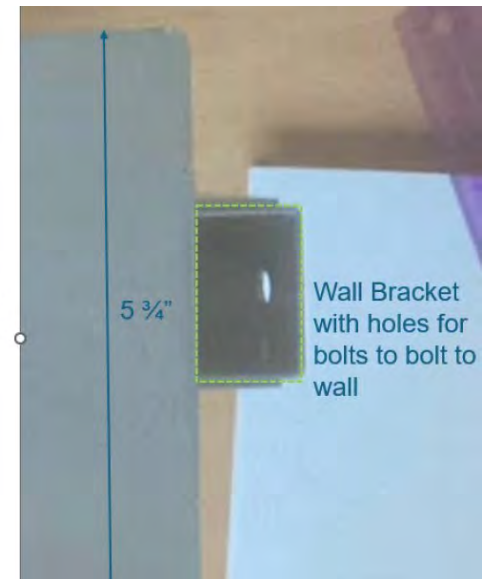
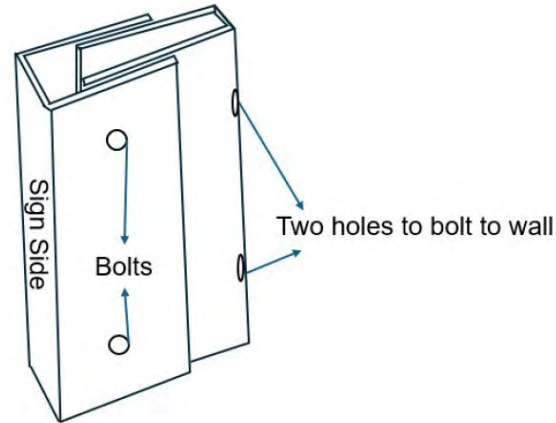


Docket No. 07-64-26 (11730 Detroit)

New Signs – Northcoast Apartments/LaBrioche
Milan Milasinovic



Cleveland Clinic



INSEGNA LUMINOSA BIFACCIALE PER ES'
50x50 cm

DOUBLE-SIDED ILLUMINATED SIGN FOR OUTDOOR USE
50x50 cm

ENSEIGNE LUMINEUSE EXTERIEURE A DEUX FACES 50x50 cm

Utilizzo e bendiera. Struttura di sostegno dotata di staffe che consente l'applicazione a muro. L'insegna è dotata di illuminazione con sistema LED che consente un minor consumo energetico. Design realizzato dall'architetto Luce Trezzi per illycaffè.

Overhanging shop sign. Fitted with a bracket so it can be fixed to the wall. The sign includes internal LED lighting which guarantees lower energy consumption. Designed by architect Luce Trezzi for illycaffè.

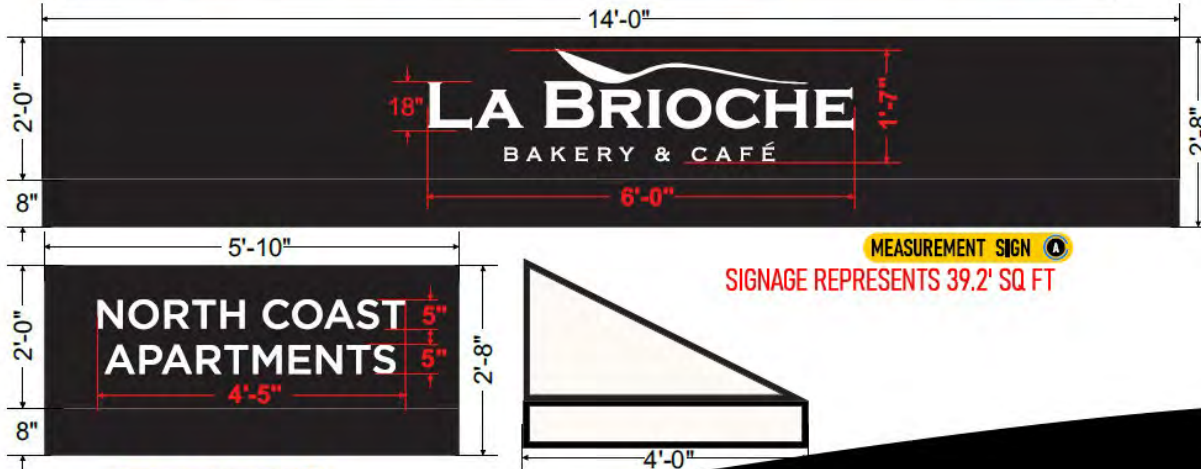
Enseigne pour magasin à accrocher. Elle est équipée d'un support permettant de la fixer au mur. L'enseigne comprend un éclairage interne à LED qui garantit une consommation d'énergie réduite.

Conçu par l'architecte Luce Trezzi pour illycaffè.



Docket No. 07-64-26 (11730 Detroit)

95'0" FRONTAGE



MEASUREMENT SIGN A

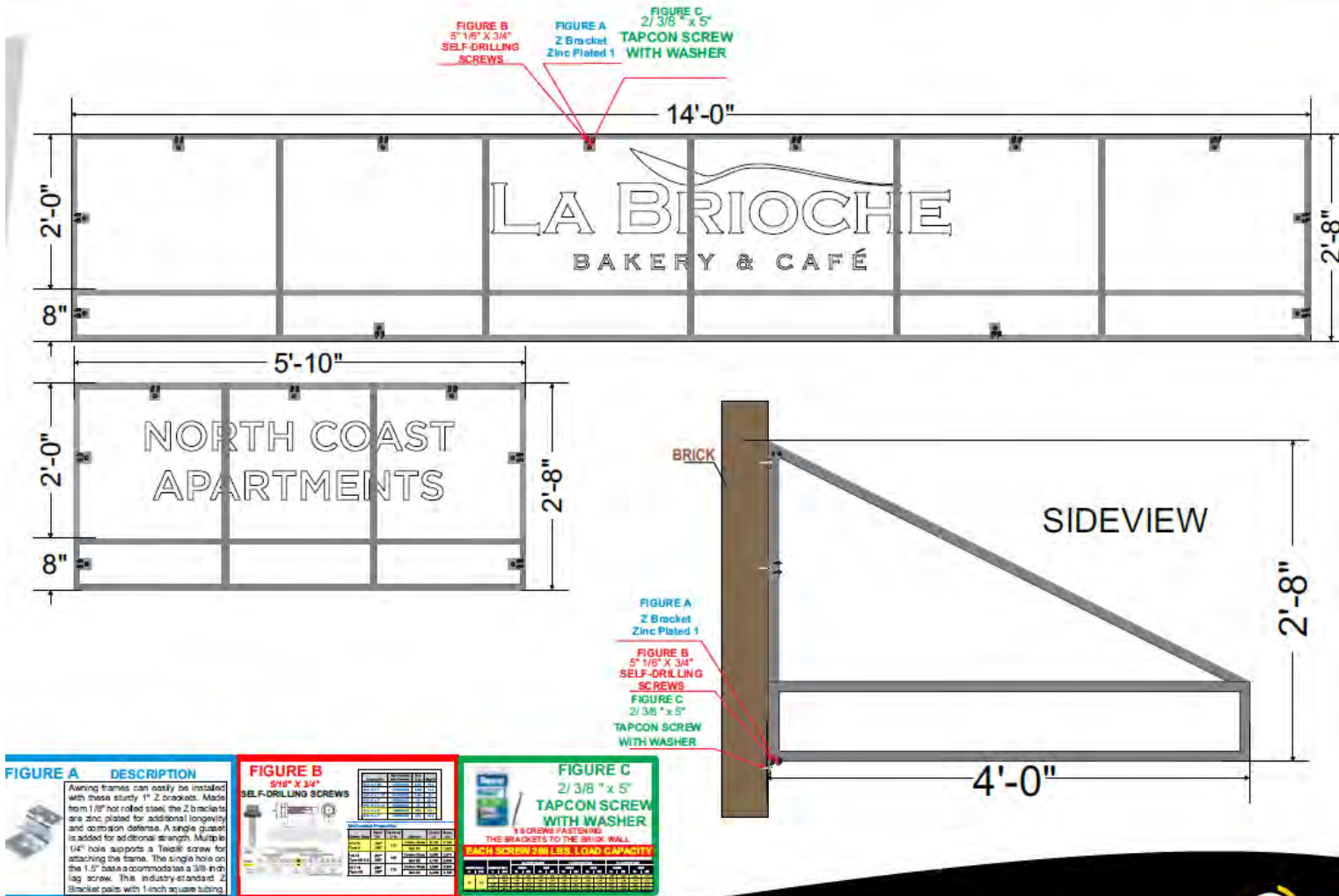
SIGNAGE REPRESENTS 39.2' SQ FT

MEASUREMENT SIGN A

SIGNAGE REPRESENTS 16.52' SQ FT



Docket No. 07-64-26 (11730 Detroit)

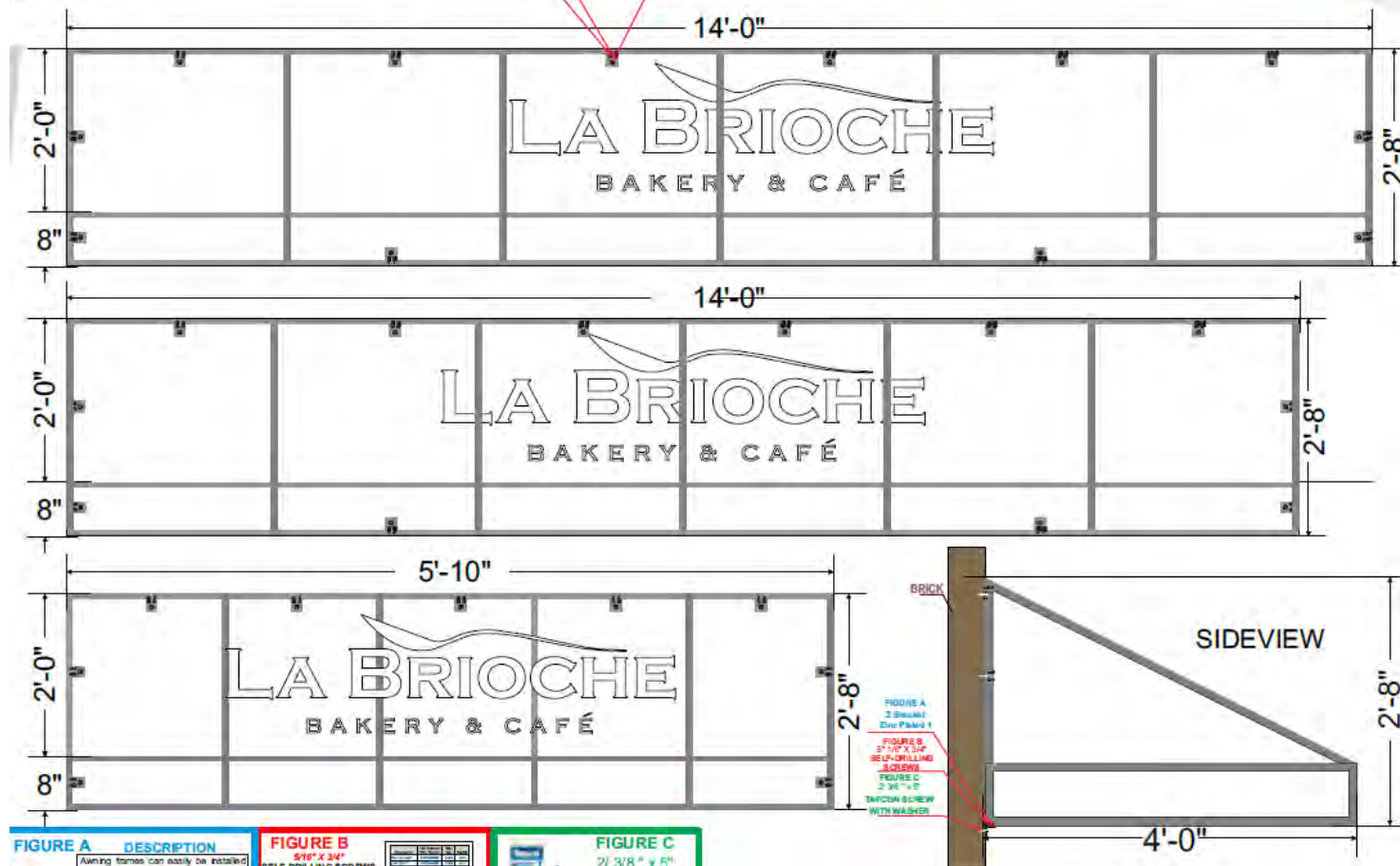


50'0" FRONTAGE



Docket No. 07-64-26 (11730 Detroit)

INSTALLATION DESCRIPTION SIGN **B**



95'0" FRONTAGE

10'3" ELEVATION



SIGN **6**

SURVEY NEEDED TO
VERIFY DIMENSIONS

BASED ON
ARCHITECTURAL RENDERINGS

NEED SIGN PLACEMENT APPROVAL

COLOR SPECIFICATIONS

-  3/16" WHITE ACRYLIC
-  1/8" WHITE B-BOND BACKS
-  1" BLACK TRIMCAP
-  063 BLACK ALUMINUM RETURNS
-  PAINT TO MATCH FACADE TBD
-  ORACAL 8500 #031 Red
-  ORACAL 8500 #070 Black

Customer Initials
to approve colors

This drawing and the concepts contained herein are the exclusive property of BNEXT DESIGN Signs and are not to be shared without our expressed written consent. All rights are retained.

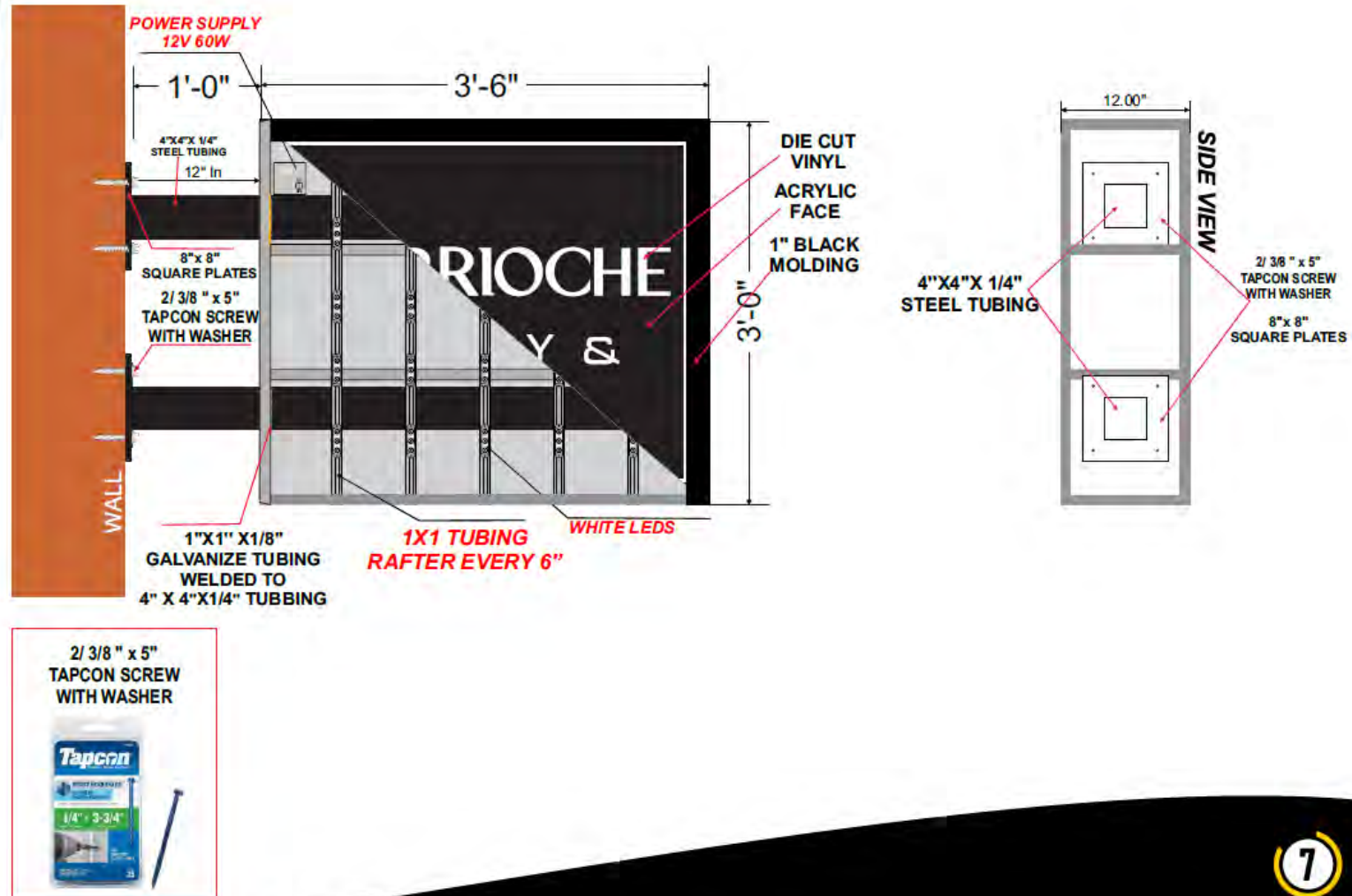


NIGHT VIEW SIGN **6**

SIGNAGE REPRESENTS 10.5' SQ. FT

6







BNEXT

Cleveland Office

5109 Clark Ave.

Cleveland, Ohio 44102

216-688-1800

TEXT 216-407-7711 TO CHAT NOW!

| Monday-Friday | 9:00 am - 5:30 pm |

CLIENT: LA BRIOCHE

CONTACT:

ADDRESS: 11730 Detroit Ave Lakewood, OH 44107

DRAWING: 0000579

DATE: 05-13-2026

REPRESENTATIVE: Aldo Dure aldodure2000@gmail.com

FILE: LA BRIOCHE / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	05-13-26
Design	Juan J. Monsanto	05-13-26

JOB DESCRIPTION

SITE PLAN

SIGN LOCATION - A

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:
(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:

A SIGN LOCATION

A SIGN LOCATION

A SIGN LOCATION

SITE PLAN



8



Docket No. 07-64-26 (11730 Detroit)



SURROUNDING

BNEXT

Cleveland Office

5109 Clark Ave.

Cleveland, Ohio 44102

216-688-1800

TEXT 216-487-7771 TO CHAT NOW

| Monday-Friday | 9:00 am - 5:00 pm |

CLIENT: LA BRIOCHE

CONTACT:

ADDRESS: 11730 Detroit Ave Lakewood, OH 44107

DRAWING: 0000579

DATE: 05-13-2026

REPRESENTATIVE: Aldo Dure alddure2000@gmail.com

FILE: LA BRIOCHE / drive bnextrd@gmail.com

DRAWING HISTORY

INFO	NAME	DATE
Reception	Aldo Dure	05-13-26
Design	Juan J. Monsanto	05-13-26

JOB DESCRIPTION

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

LANDLORD SIGNATURE:

(PROPERTY OWNER OR AUTHORIZED AGENT)

DATE:

I have reviewed the artwork and approve that everything is 100% correct and give my permission to move forward with this project.

CLIENT SIGNATURE:

DATE:



9



Docket No. 07-64-26 (11730 Detroit)

Applicant proposes signage.

City Notes:

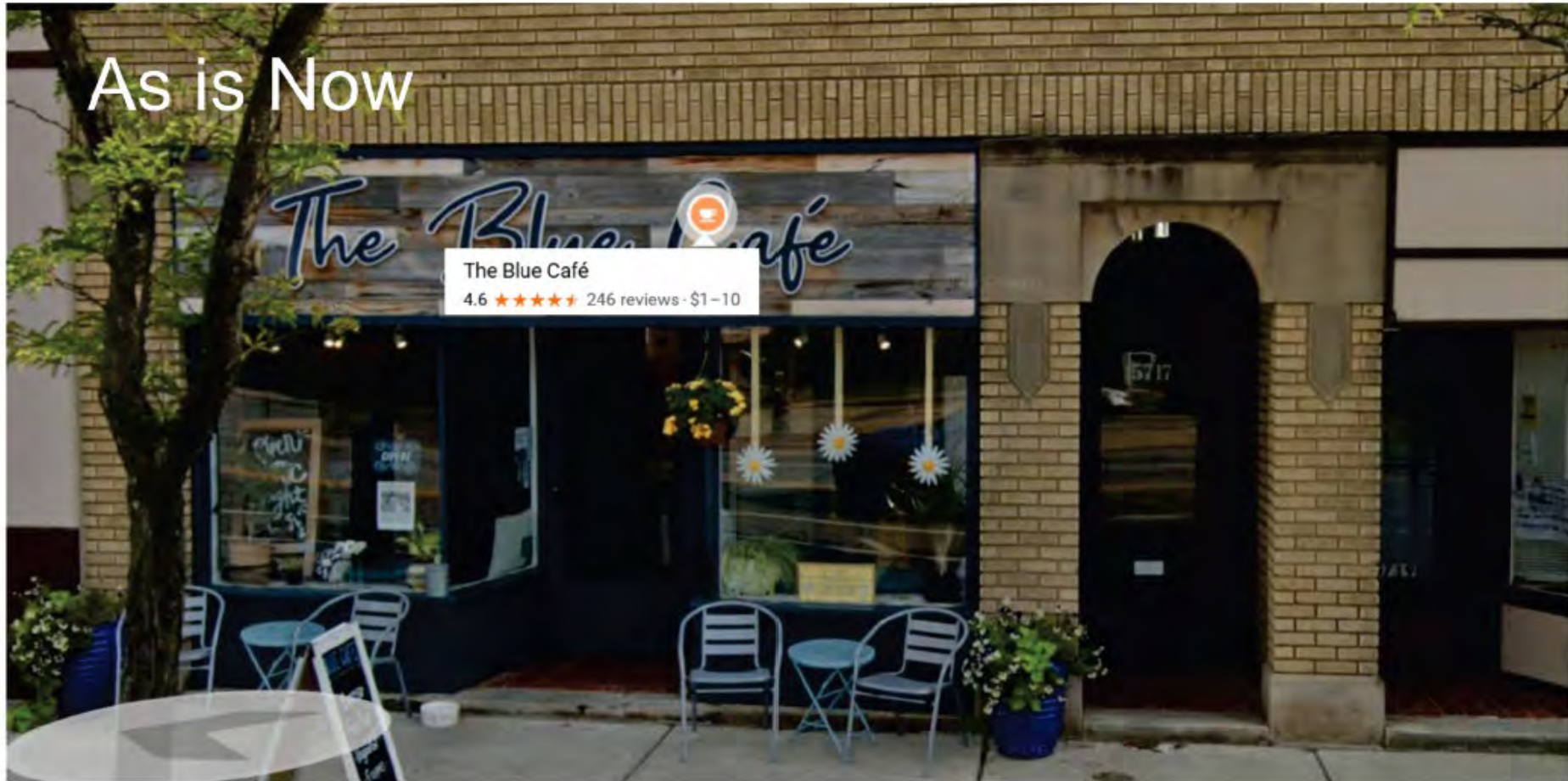
- ☐ Applicant proposes blade sign (5 SF), wall sign (14.5 SF), and window sign (1 SF)
- ☐ Max allowed square footage: 22.5 SF total (15' storefront)
- ☐ Total proposed square footage: 20.5 SF



Docket No. 07-65-26 (15715 Madison)

New Signs – Lily's Gifts to Go
Shawn Warren

As is Now



ALFAM



Docket No. 07-65-26 (15715 Madison)

Black
CUT PVC 1/2"
LETTERING
on White
Shiplap



Wall Sign area 36" x 180" 45 sq.

Lily's 30"h x 69"w 14.5 sq.



6" X 12" Aluminum plate
with a 2" SQ. arm through
inner frame



Blade Sign
30" DIA 5 sq ft x 2 sides 10 sq total
36" PROJECTION
2 sided color print on
maxx metal 1/8"
mounted to brick mortar with
4- 3" lag bolts and shields



CLIENT: Lily's gifts to go	JOB #:	DATE:
ADDRESS: 15715 Madison Ave.	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY:		
DATE:	CHANGES MADE:	
CLIENT SIGNATURE OF APPROVAL: DATE:		

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043

Docket No. 07-65-26 (15715 Madison)



Applicant proposes signage.

City Notes:

- ☐ Applicant proposes wall sign (30 SF)
- ☐ Max allowed square footage: 18 SF total (12' storefront)
- ☐ Total proposed square footage: **30 SF**



Docket No. 07-66-26 (15603 Detroit)

**New Signs – Merry Arts
Shawn Warren**



Print to match existing applied to
 Maxx Metal 1/8" thick (Aluminum/PVC center) screwed to fascia
 Text 21" x 210" = 30 sq ft
 Sign Face - 41"h x 222" w 63.2 sq ft total Store Front 13' x 20' 260 sq ft



frontage 260 Sq. Ft.

120 sq. ft. windows 2) 56 x 70 - 2) 45 x 70 - Door 30 x 80



As is now

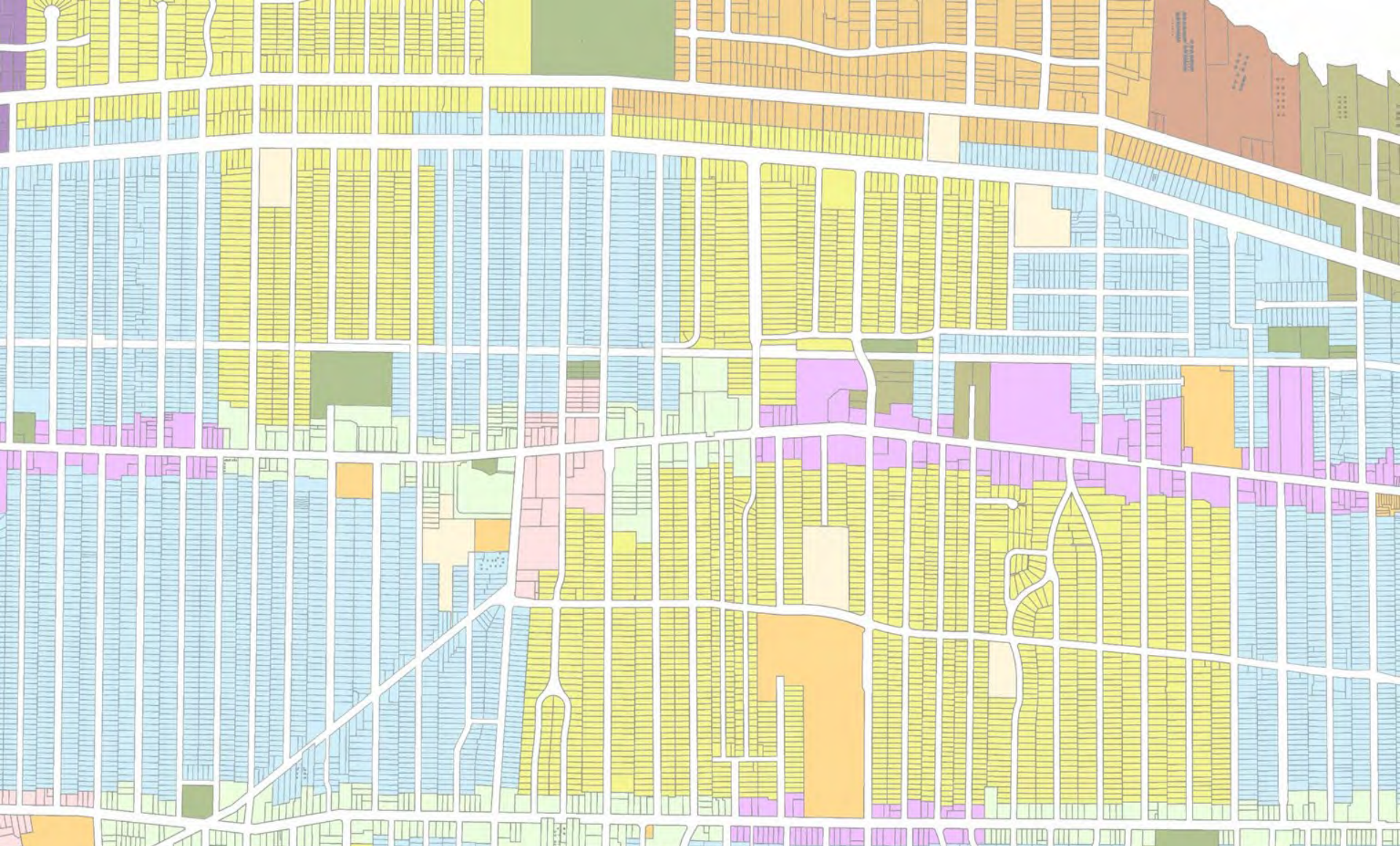


CLIENT:	Merry Arts	JOB #:	DATE:
ADDRESS:	15603 Detroit Ave	SALESPERSON/ DESIGNER:	DATE:
REVISION HISTORY:	CHANGES MADE:		
DATE:	johngranzler@gmail.com	CLIENT SIGNATURE OF APPROVAL:	DATE:
		John Gradzier	

16504 Detroit Avenue Lakewood, Ohio 44107 216-227-0043



Docket No. 07-66-26 (15603 Detroit)



Architectural Board of Review

July 2026

Applicant proposes new attached garage and façade alteration.

City Notes:

- ☐ Siding and roofing to match existing
- ☐ The lighting package will consist 2 wall mount exterior black to go with the mid century modern theme
- ☐ The garage door will be insulated fiberglass with some glass. Being on the lake the homeowner will keep it to a minimum



Docket No. 07-67-26 (17828 Lake)

**Attached Garage and Façade
Stefano Vento**



Docket No. 07-67-26 (17828 Lake)



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



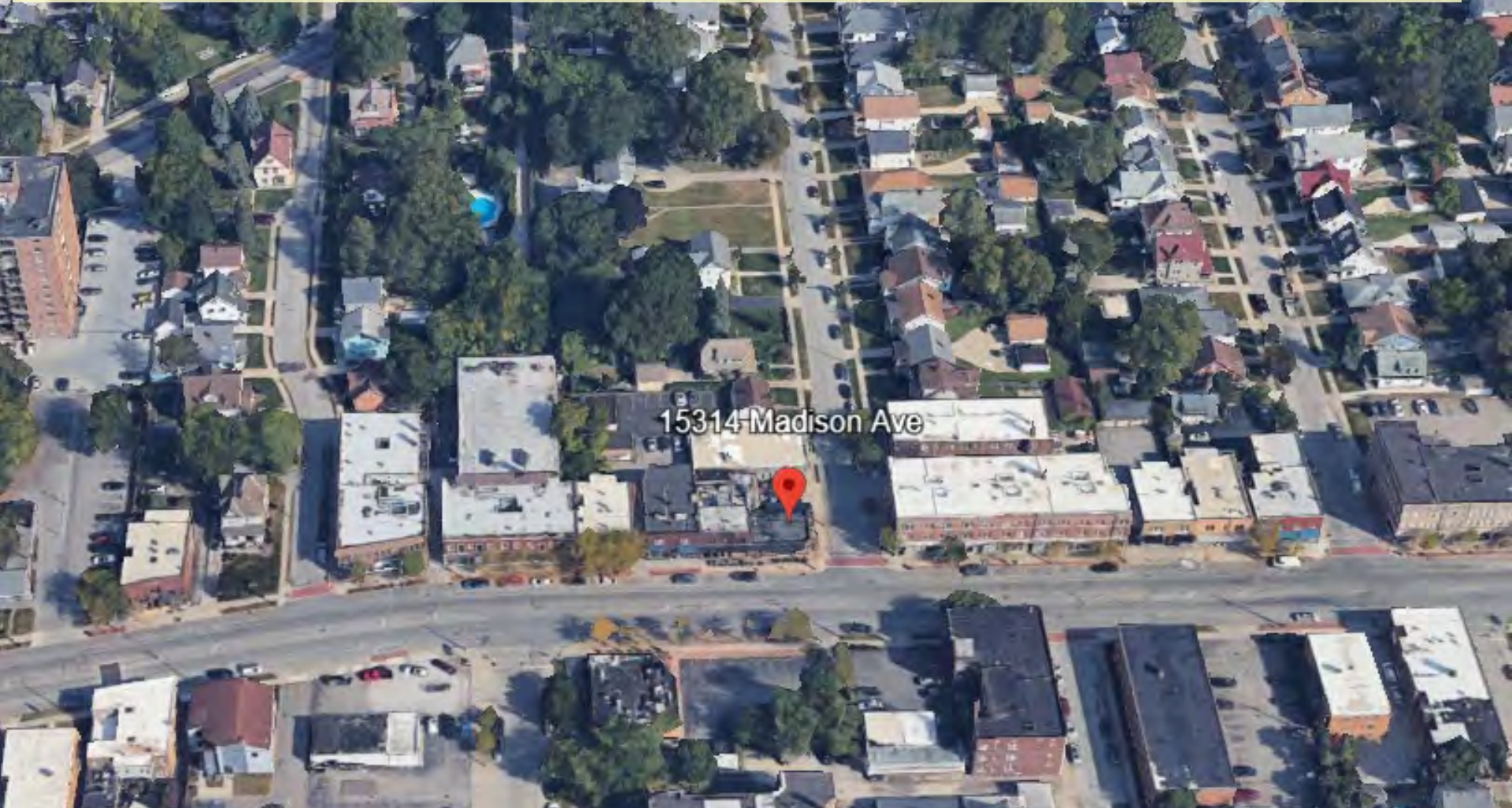
Docket No. 07-67-26 (17828 Lake)



Docket No. 07-67-26 (17828 Lake)

Applicant proposes expansion to outdoor dining facility.

City Notes:



Docket No. 07-68-26 (15314 Madison)

**Outdoor Dining
George Gountis**



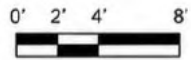
Docket No. 07-68-26 (15314 Madison)



Docket No. 07-68-26 (15314 Madison)

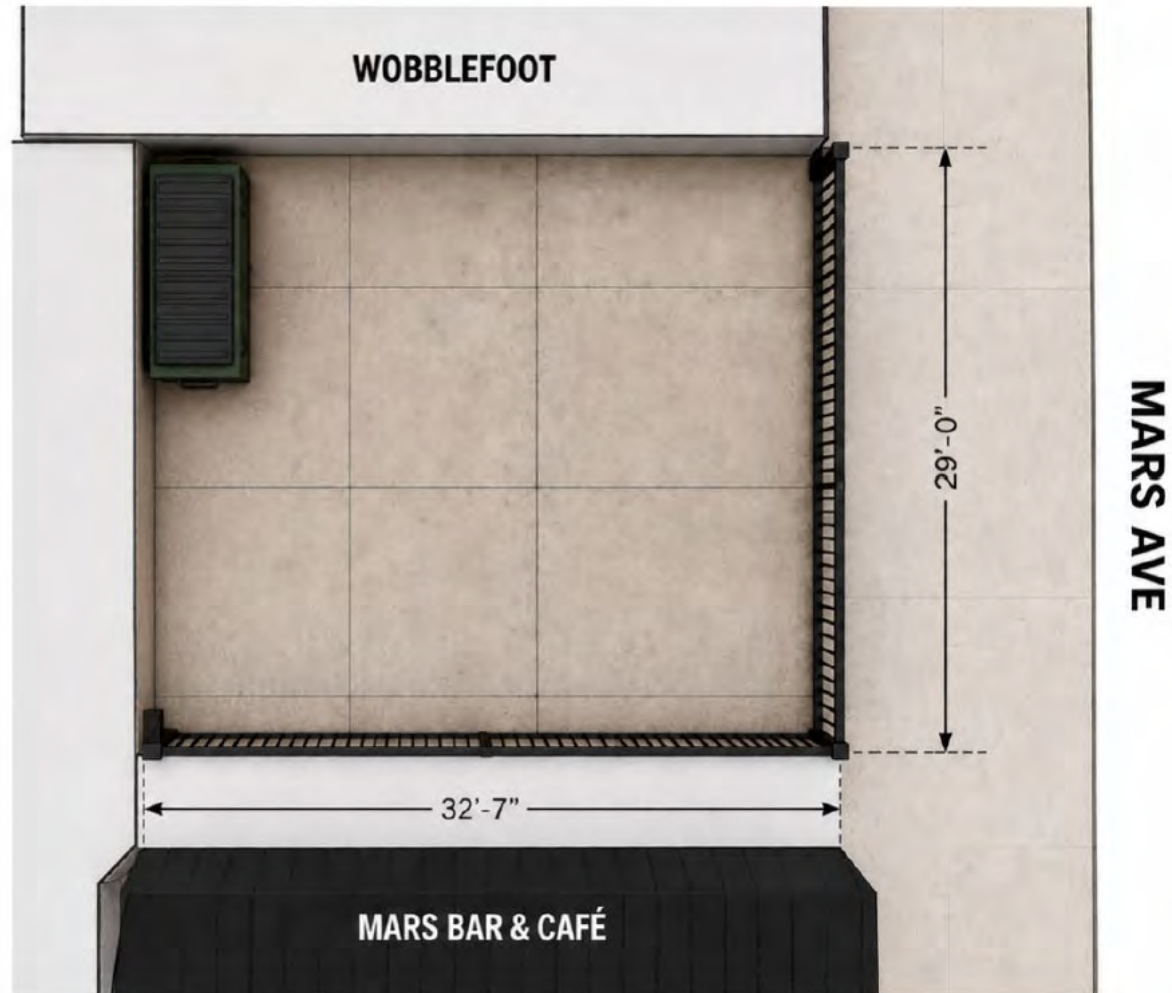
BACK PATIO - SITE PLAN

SCALE: 1/4" = 1'-0"



NOTES:

- All dimensions are to face of fence or wall.
- Measurements are approximate.



Docket No. 07-68-26 (15314 Madison)



Docket No. 07-68-26 (15314 Madison)

Applicant proposes exterior addition and courtyard.

City Notes:

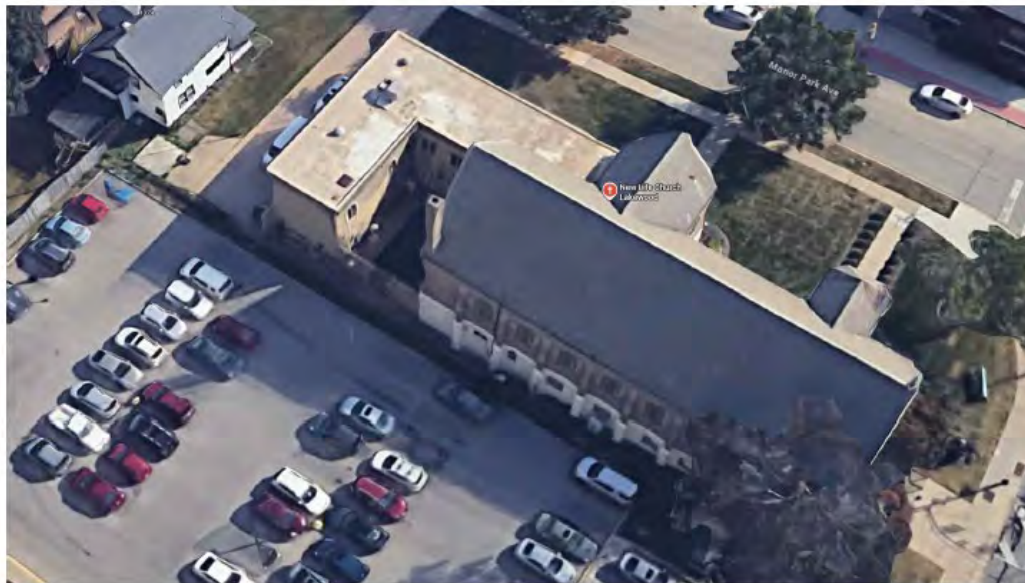
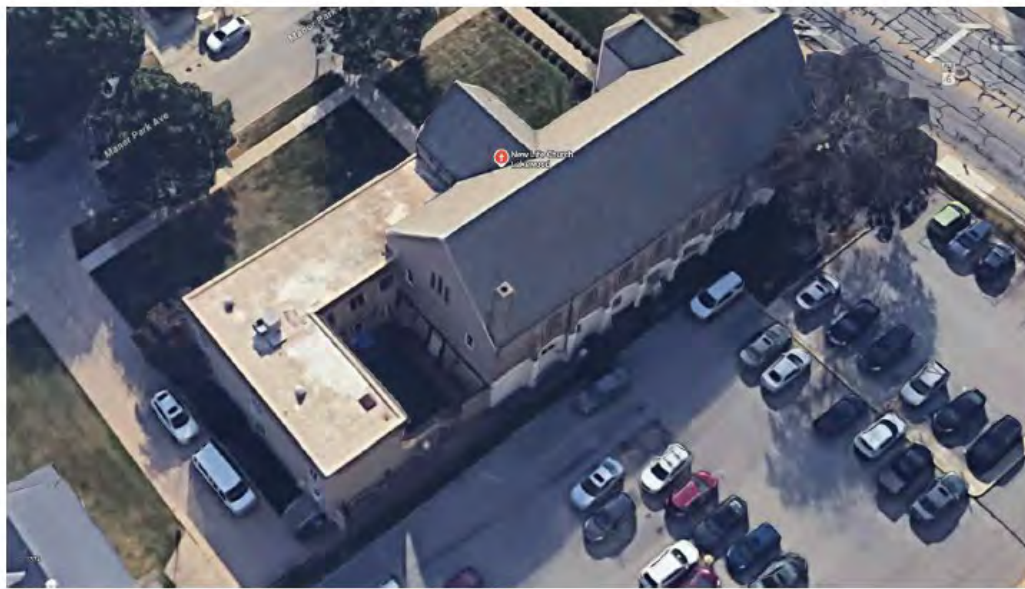


Docket No. 07-69-26 (14224 Detroit)

**New Life Church
Greg Ernst**



Docket No. 07-69-26 (14224 Detroit)



Docket No. 07-69-26 (14224 Detroit)



CODE INFORMATION

DESIGN CODES:

2024 OHIO BUILDING CODE (BOC)
2024 OHIO PLUMBING CODE (OPC)
2024 OHIO FIRE CODE (OFC)
2024 OHIO LIFE SAFETY CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) ASHRAE 90.1-2015
2021 INTERNATIONAL FIRE, SMOKE & GAS CODE (IFSGC)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
NATIONAL ELECTRICAL CODE (NEC)
ANSI STANDARDS A117.1 (ACCESSIBILITY)
ALL LOCAL CITY/COUNTY RULES, REGULATIONS, AND ORDINANCES
ASHRAE GUIDELINES
ASPE GUIDELINES

COMPLIANCE METHOD:

PRESCRIPTIVE

SQUARE FOOTAGES:

LOWER LEVEL: 9,543 S.F.
UPPER LEVEL: 8,340 S.F.
TOTAL: 17,883 S.F.

CONSTRUCTION TYPES & AREAS:

CONSTRUCTION TYPE: III
BUILDING HEIGHT: 30'-0" MAX. / 40'-0" ACTUAL
STORIES ABOVE GRADE: 2 MAX. / 1 ACTUAL
ALLOWABLE AREA: 6,800 S.F. MAX. PER STORY
LOWER LEVEL: 9,543 S.F. ACTUAL
UPPER LEVEL: 8,340 S.F. ACTUAL

USE GROUP:

GROUP A-1, ASSEMBLY (SECTION 303.4)

OCCUPANT LOAD:

(TABLE 1004.5)

LOWER LEVEL:
EDUCATIONAL, CLASSROOM AREAS (2,210 S.F. / 20): 112 OCCUPANTS
TOTAL: 112 OCCUPANTS

NOTE: LOWER LEVEL, FELLOWSHIP HALL AND UPPER LEVEL SANCTUARY
WILL NOT BE USED CONCURRENTLY

UPPER LEVEL:
SANCTUARY ASSEMBLY CLASS (8,340 S.F. / 7): 356 OCCUPANTS
BUSINESS CHURCH OFFICES (1,340 S.F. / 100): 9 OCCUPANTS
EDUCATIONAL, CLASSROOM AREAS (JULY, 2024): 415 OCCUPANTS
NOTE: 415 OCCUPANTS

OVERALL TOTAL: 527 OCCUPANTS

MEANS OF EGRESS:

EXITS WITH EXITING DOOR:
708 OCCUPANTS / 33' x 10' / 21' WIDE

MINIMUM NUMBER OF EXITS (SECTION 1006.3.1.1)
7 MINIMUM
7 PROVIDED

EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)
200 FT. WITHOUT SPRINKLER SYSTEM

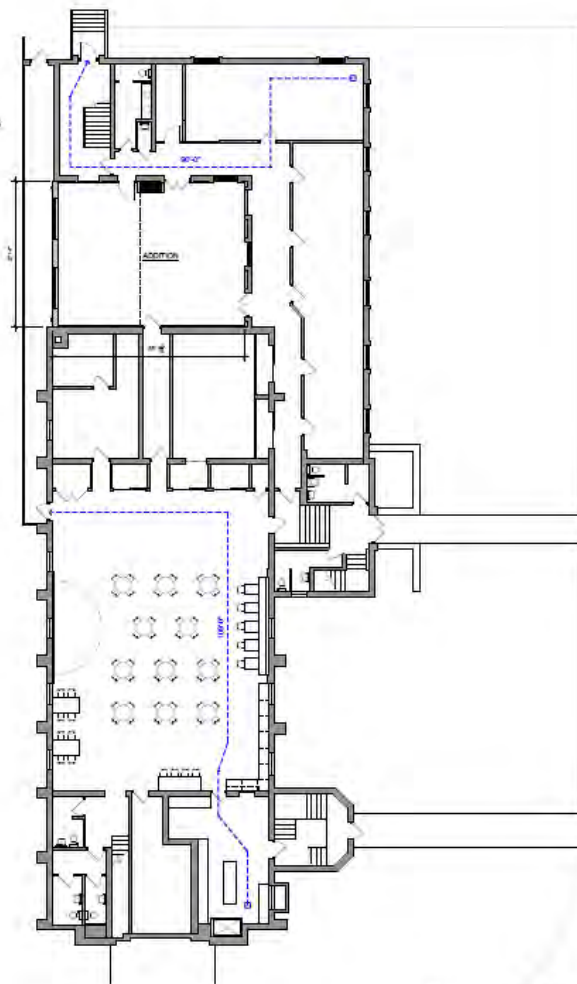
PLUMBING FEATURES:

(TABLE 306.1)

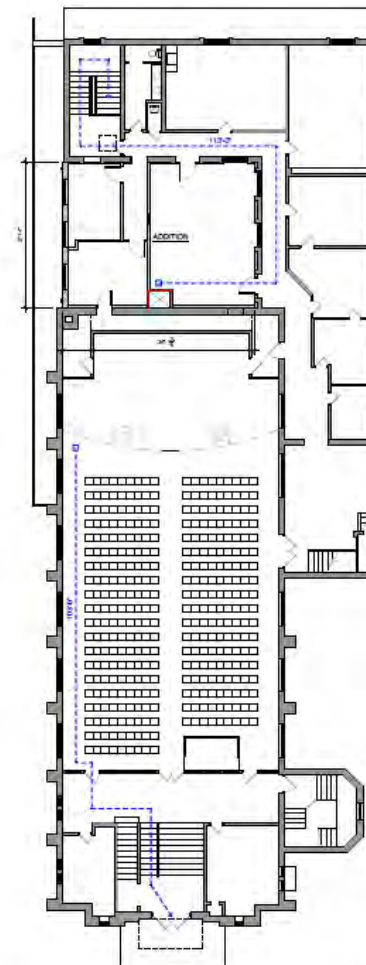
MALE: 261 OCCUPANTS
WATER CLOSETS MINIMUM: 1 PER 100
2 REQUIRED / 3 EXISTING
LAVATORIES MINIMUM: 1 PER 200
2 REQUIRED / 4 EXISTING

WOMEN: 261 OCCUPANTS
WATER CLOSETS MINIMUM: 1 PER 100
2 REQUIRED / 4 EXISTING
LAVATORIES MINIMUM: 1 PER 200
2 REQUIRED / 4 EXISTING

SERVICE SINKS MINIMUM:
1 REQUIRED / 1 EXISTING PER LEVEL

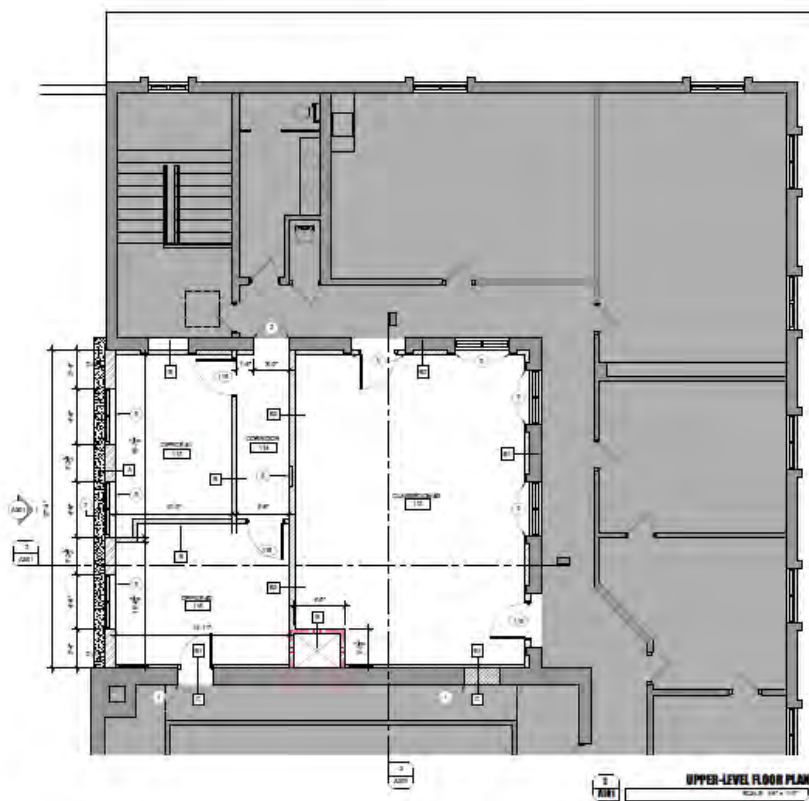


LOWER-LEVEL CODE PLAN
SCALE: 1/8" = 1'-0"



UPPER-LEVEL CODE PLAN
SCALE: 1/8" = 1'-0"





GENERAL NOTES

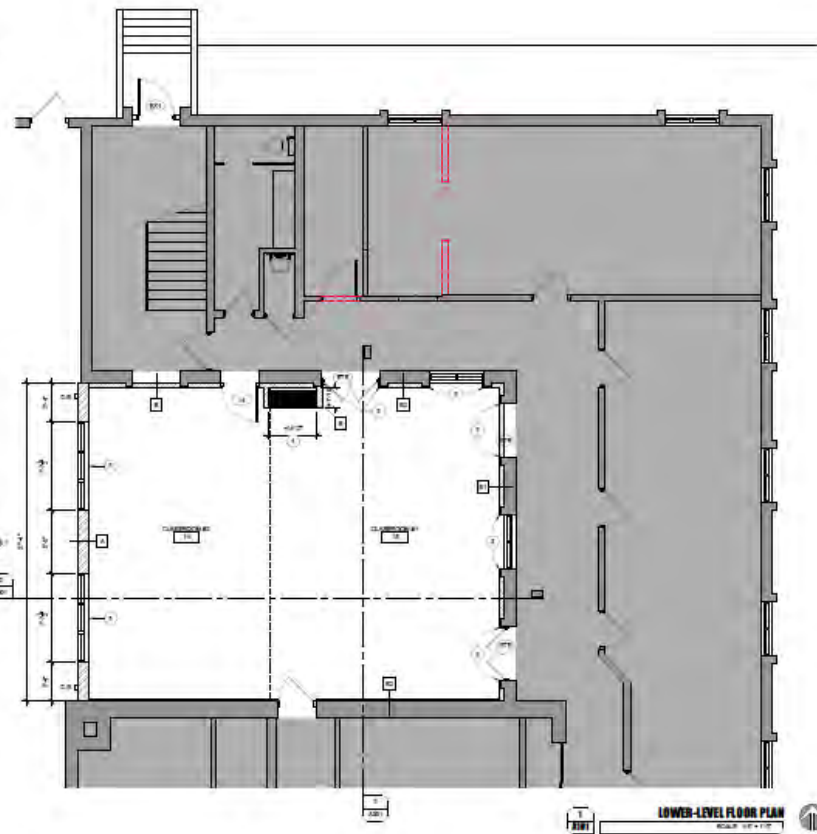
- COORDINATE LOCATIONS FOR ACCESS PANELS FOR LIFE SAFETY ACCESS. PROVIDE FLUSH, LOCKABLE ACCESS PANELS, PAINT TO MATCH EXISTING FINISHES.

PARTITION LEGEND

- 1 PARTITION TYPE "1", REFER TO WALL SECTION
- 2 PARTITION TYPE "2", REFER TO CEILING, 8'0" H
- 3 PARTITION TYPE "3", REFER TO CEILING, 8'0" H
- 4 PARTITION TYPE "4", REFER TO CEILING, 8'0" H
- 5 PARTITION TYPE "5", REFER TO CEILING, 8'0" H
- 6 PARTITION TYPE "6", REFER TO CEILING, 8'0" H
- 7 PARTITION TYPE "7", REFER TO CEILING, 8'0" H
- 8 GYM WALL FLUSH WITH SUSCEPT OR WITH 8'0" H
- 9 NON-BEARING 1/2" HOUR FIRE RATED PARTITION ON ALL CORNERS AND LINES

KEY NOTES

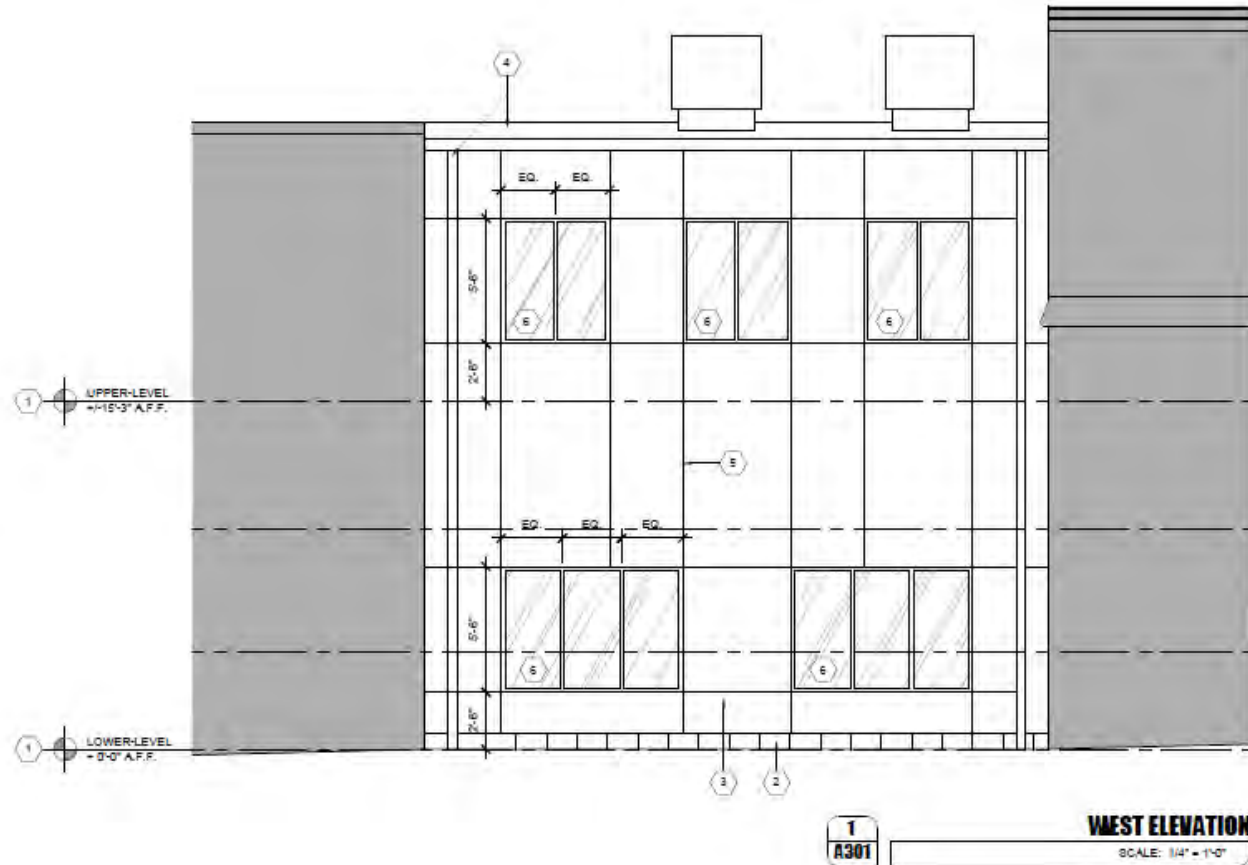
- GLASS PARTITION PANELS
- GLASS PARTITION PANELS WITH SET POINTS AT JAMB AND HEAD TO MATCH ADJACENT WALL
- REPLACE EXIST. GLASS TO MATCH EXISTING PARTITION AT JAMB AND HEAD
- REPLACE EXIST. GLASS TO MATCH EXISTING PARTITION AT JAMB AND HEAD
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- REPLACE EXIST. GLASS TO MATCH EXISTING PARTITION AT JAMB AND HEAD



Docket No. 07-69-26 (14224 Detroit)

KEY NOTES

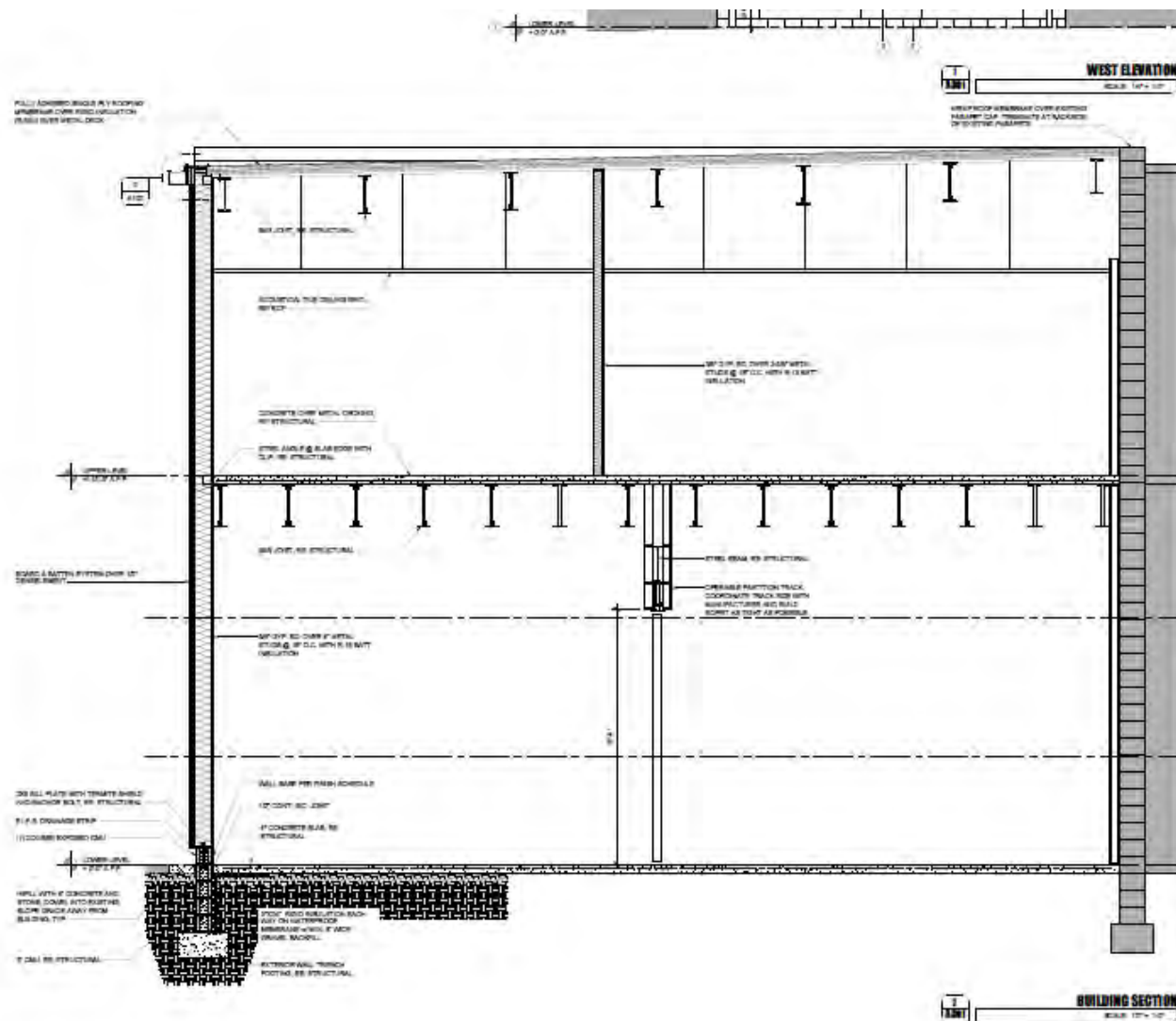
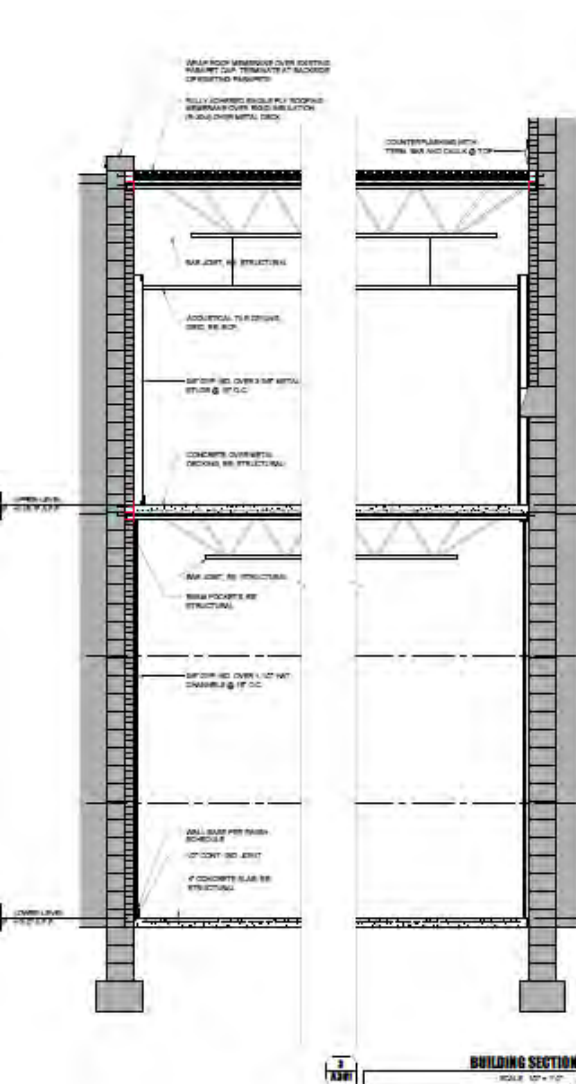
1. ALIGN WITH EXISTING FLOOR LEVEL.
2. EXPOSED 8" CMU BASE COURSE.
3. HARDIE ARCHITECTURAL PANEL IN FINE SAND BEIGE.
4. 6" BREAK METAL BOX GUTTER WITH 5"X4" BREAK METAL DOWNSPOUTS, SLOPE GUTTER TO DOWNSPOUTS, COLOR: MATCH E.I.F.S.
5. TAMLYN RVC REVEAL TRIM IN BEIGE.
6. CRYSTAL 2100 THERMALLY-BROKEN FIXED ALUMINUM WINDOW IN BRONZE WITH 1" INSULATED GLASS.



Docket No. 07-69-26 (14224 Detroit)



Docket No. 07-69-26 (14224 Detroit)



Docket No. 07-69-26 (14224 Detroit)

Series 2000A Aluminum Thermal-Break Tilt Windows
3 1/4" Frame Depth, 7/8" IGU

All-Round Performer



CTD - 2000A
AAMA H-C60 / CW-P630
ICC-CRBA



CTP - 2100
AAMA H-C60
ICC-CRBA



CTS - 2300
AAMA H-C60
ICC-CRBA

Crystal 2000A D/H Windows offer these features

- AAMA Rating - 100 Series
- Powder Coat Paint on Standard Colors - the ultimate environmental friendly coating designed for durability
- Tilt/Slide Sashes - multi opening view
- Soft Curved Lift Handle - ensures ease of operation
- Anti-Drift Head Clip Lock - automatically secures the top sash in the closed position for safety, security, and a weather-tight seal

Crystal 2100 Picture Windows offer these features

- Maximum Glass with Minimum Frame - provides a beautiful panoramic view of the outdoors
- AAMA Rating - 100 Series
- Powder Coat Paint on Standard Colors - the ultimate environmental friendly coating designed for durability

Crystal 2300 2 & 3-Lite Slider Windows offer these features

- AAMA Rating - 100 Series
- Corrosion-Resistant Two-Wheel Brass Rollers - ensure smooth and quiet operation
- Powder Coat Paint on Standard Colors - the ultimate environmental friendly coating designed for durability
- Skipped Sill - sashes float not on water
- Removable Sashes - makes cleaning easy

Optional Features Available on All Crystal Aluminum Series 2000A Windows Include:

- Special Color Finishes - custom colors in two-tone available
- Colonial, Diamond or Georgian Grid - provides the elegant appearance of divided lites in one piece sash
- Casement Pin - inside window, installation easy and neat
- Dual Windows or A/C Direct Kit - provides beauty to accommodate air conditioning by having a longer top flange bottom sash
- Continuous Head & Sill - configurations available on series 2000A windows
- Low E & Argon - for improved thermal performance
- Powder Coat Paint on Standard Colors - the ultimate environmental friendly coating designed for durability

Crystal Window & Door Systems, Ltd.

WTC, NY, NY 15-10 Broadway Expressway, Flushing, NY 11354 | Tel: 800-472-8888/718-961-7500 | Fax: 718-460-4744
SCARLETON, PA 304 Franklin Valley Rd, Lenoir, PA 18114 | Tel: 570-274-8000 | Fax: 570-263-2318
COLUMBIA, DE 20305 Commerce Rd, N. in, Brandywine, DE 19140 | Tel: 484-671-5000 | Fax: 484-671-5000
ST. LOUIS, MO 360 Appleton Dr., Forest, MO 63028 | Tel: 636-205-7880 | Fax: 636-205-7881
CHICAGO, IL 1380 W. 33rd St., Chicago, IL 60609 | Tel: 773-326-6666/800-380-3308 | Fax: 773-376-0884
BIRMINGHAM, AL 1600 Roberts Ave., Bessemer, CA 35222 | Tel: 205-375-5769/888 | Fax: 205-375-5769
DALLAS, TX 4500 Mockingbird Ln., Dallas, TX 75247 | Tel: 469-348-3812 | Fax: 469-348-7978
TAMPA, FL 30 West Pasco Street, Indian Rocks, FL 33411 | Tel: 888-888-8883 | Fax: 888-888-8883

Crystal
WINDOW & DOOR



RVC VERTICAL REVEAL (2-PIECE)

DESIGN FEATURES

Designed to create a uniform, aesthetically pleasing vertical reveal between sashes. The two-piece design permits application of the base part first and then installation of the cover cap at a later time. In tight fit situations this may be more convenient than using the standard vertical reveal. However, due to the natural expansion and contraction of aluminum, all two-piece caps must be secured by either adhesive or screws or snap fits.

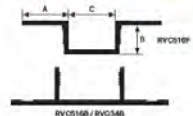
Recommended adhesive needs to meet these requirements:
ASTM D8272 - 175 psi min.
ASTM D4122 - 475 psi min.
ASTM D3052 - 550 psi min.

MATERIAL

6063-T5, 6061-T6 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. For all other finish options refer to page 20.

NOTE

Use of the Xpressfit® Combination Vertical Reveal at horizontal joints is not recommended.



ITEM ID	A	B	C
RVC218	1/2"	5/8"	1/2"
RVC24	5/8"	3/8"	3/4"

All parts are 10" Length unless otherwise indicated.



Docket No. 07-69-26 (14224 Detroit)



Applicant proposes new single family home.

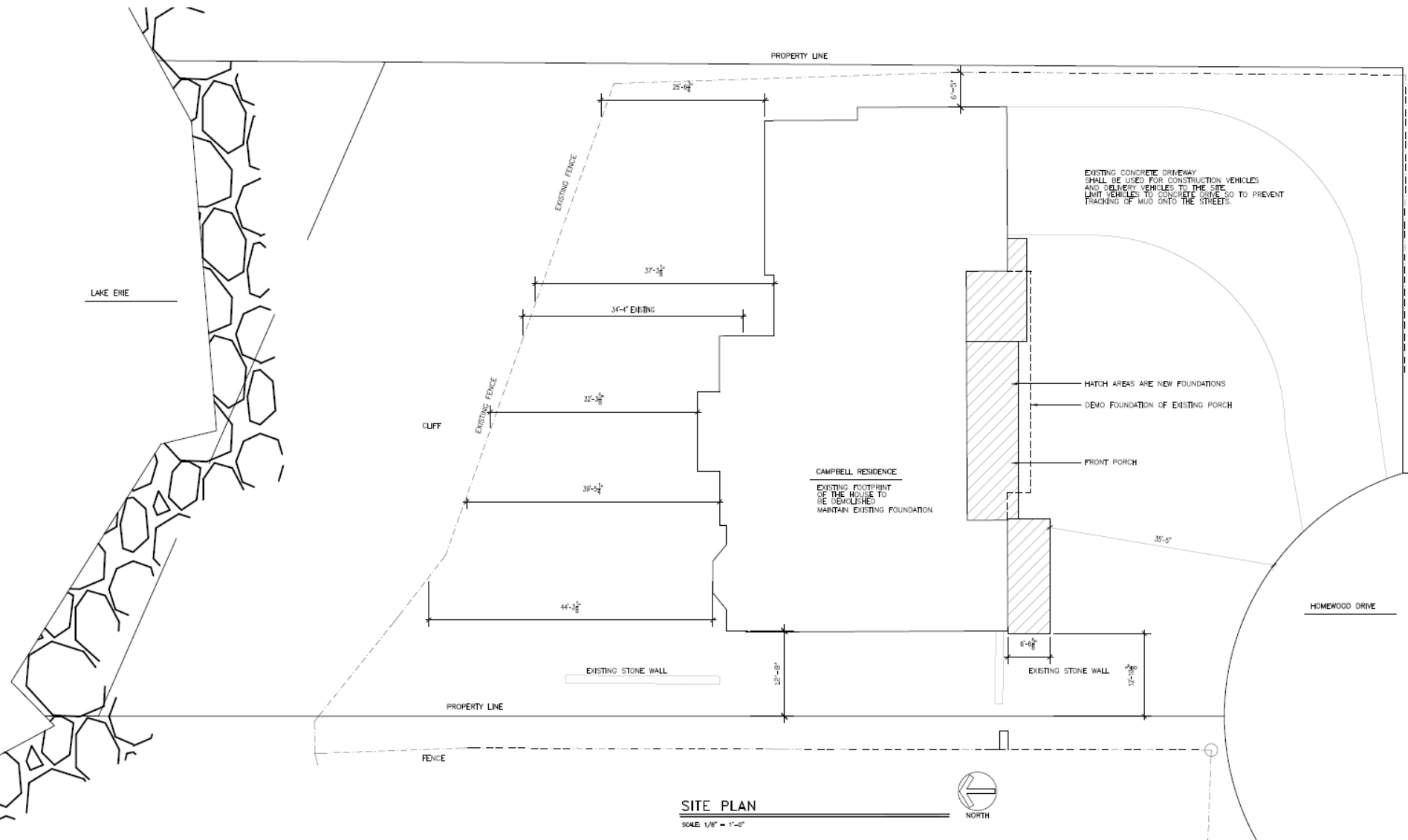
City Notes:

1029 Homewood Dr

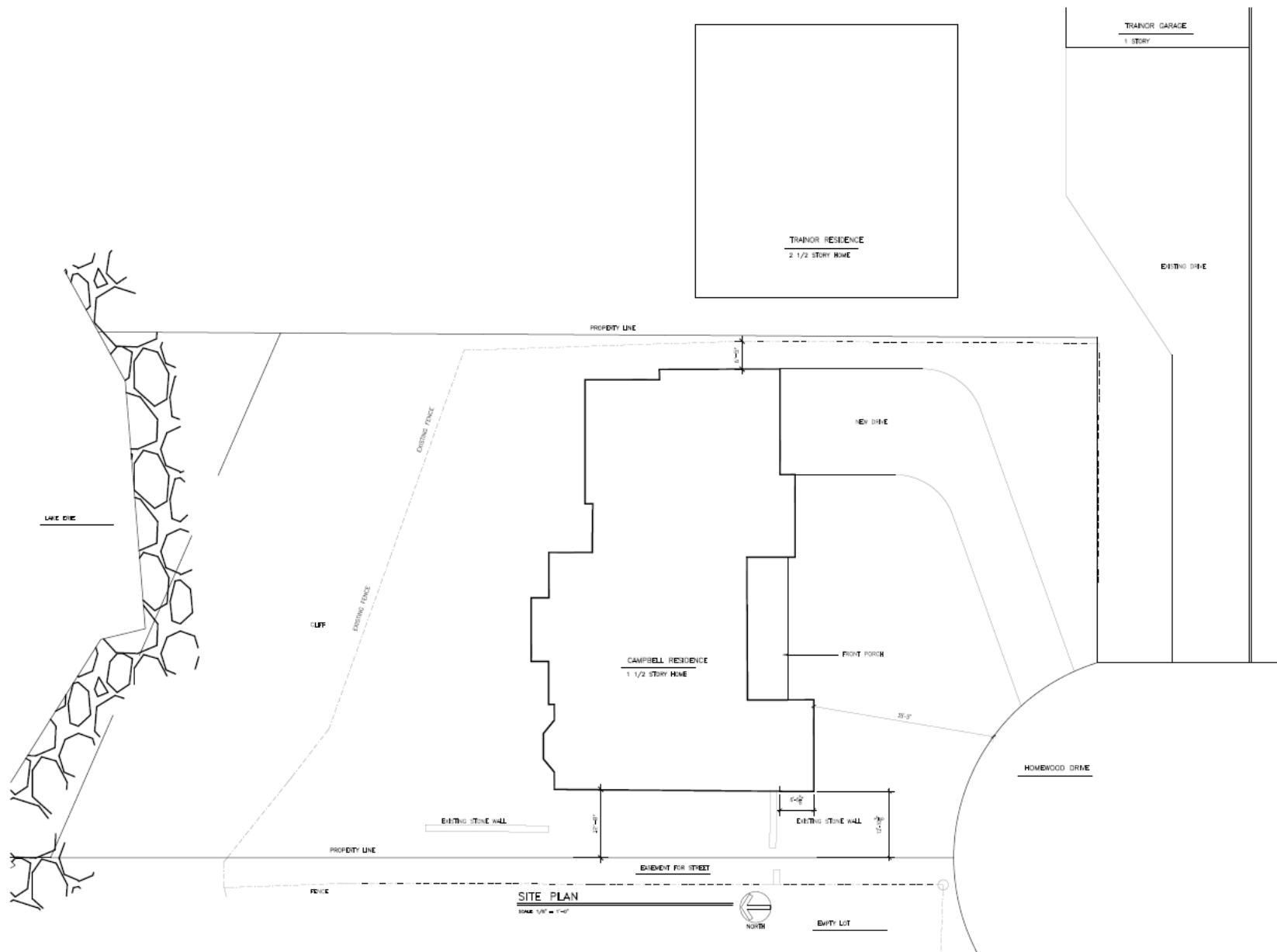


Docket No. 07-70-26 (1029 Homewood)

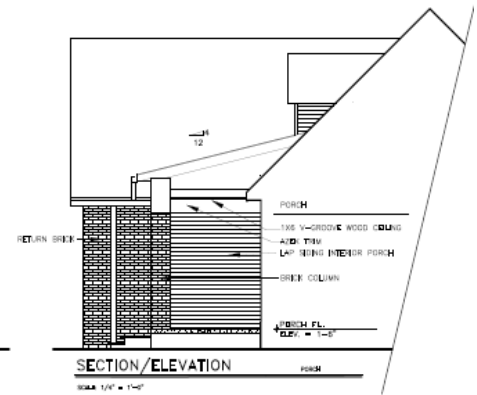
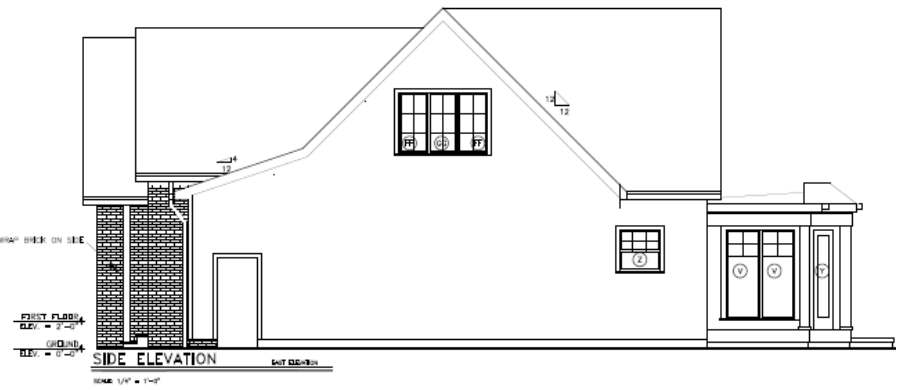
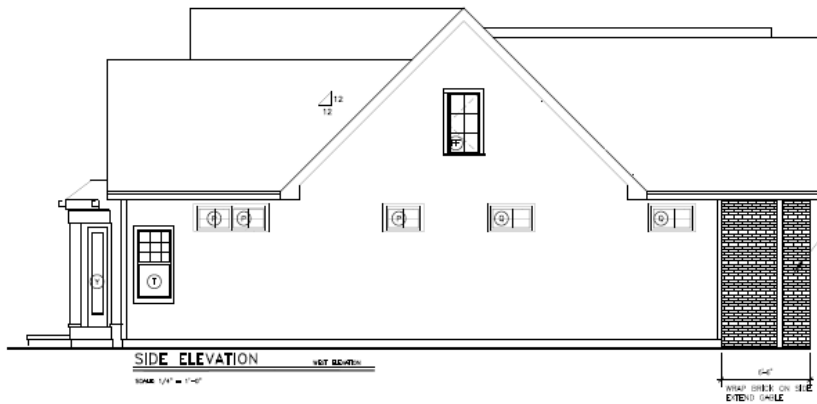
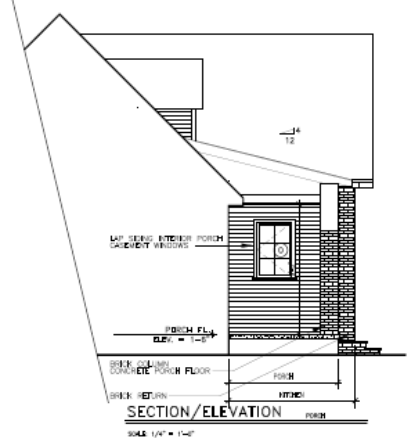
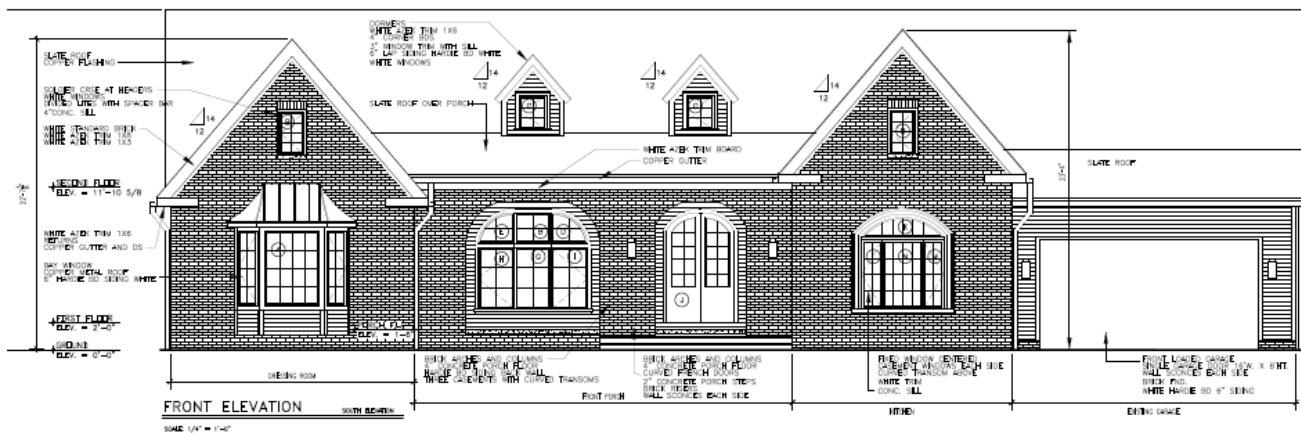
**New single family home
Greg Allen**



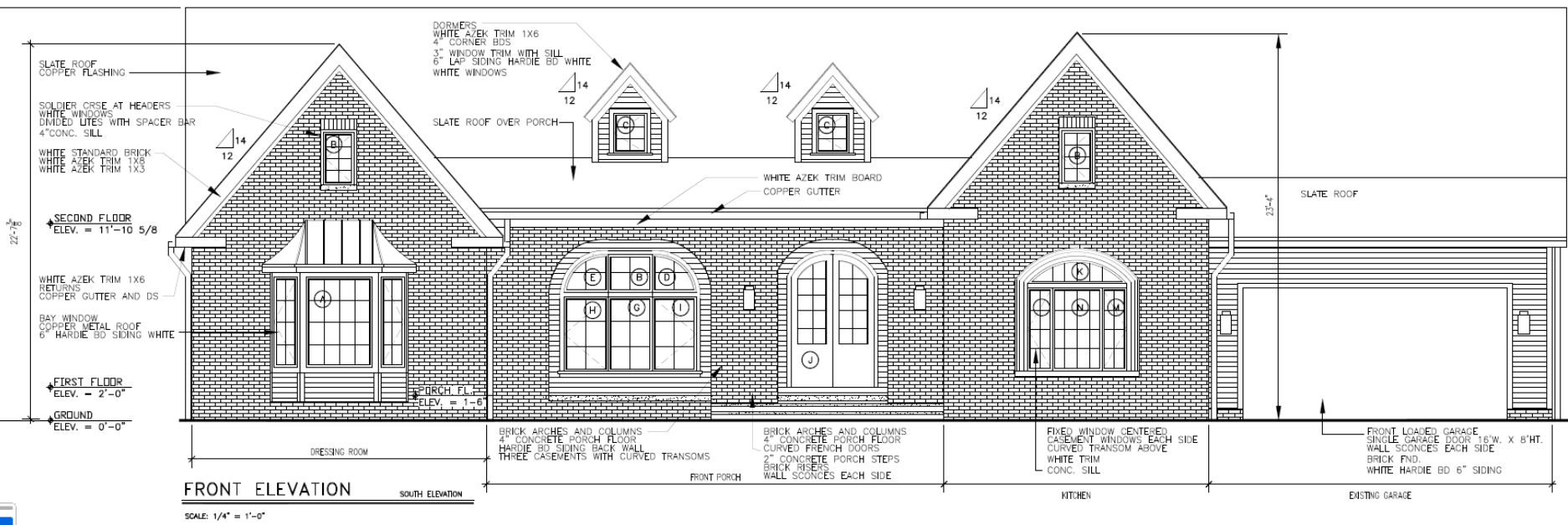
Docket No. 07-70-26 (1029 Homewood)



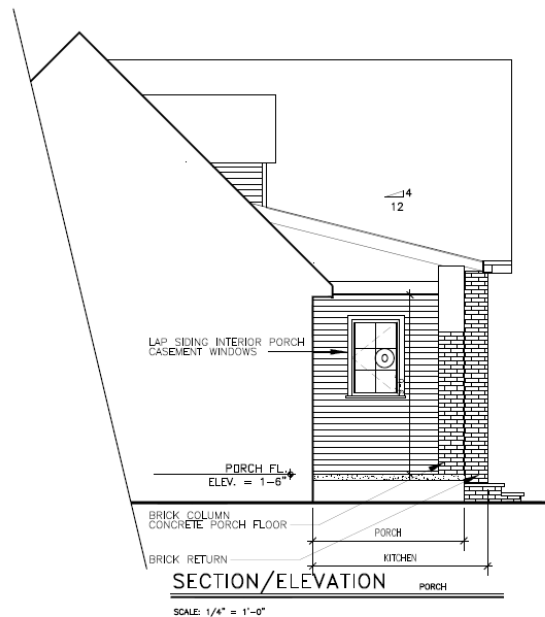
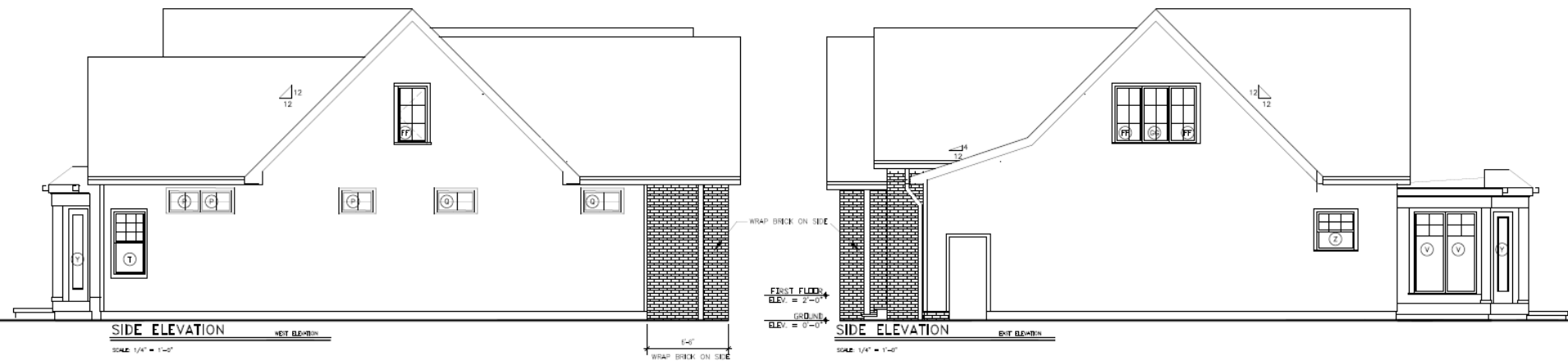
Docket No. 07-70-26 (1029 Homewood)



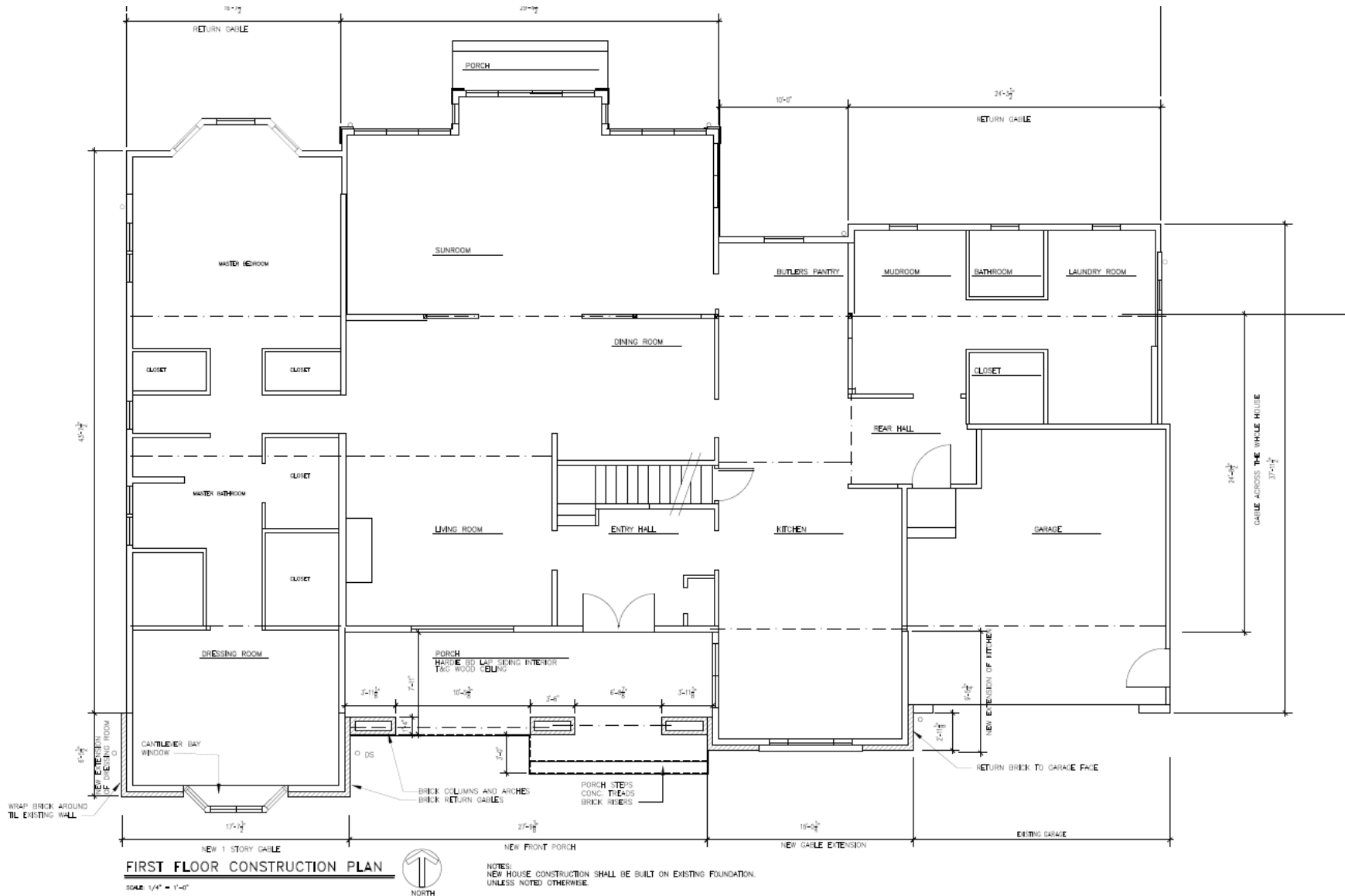
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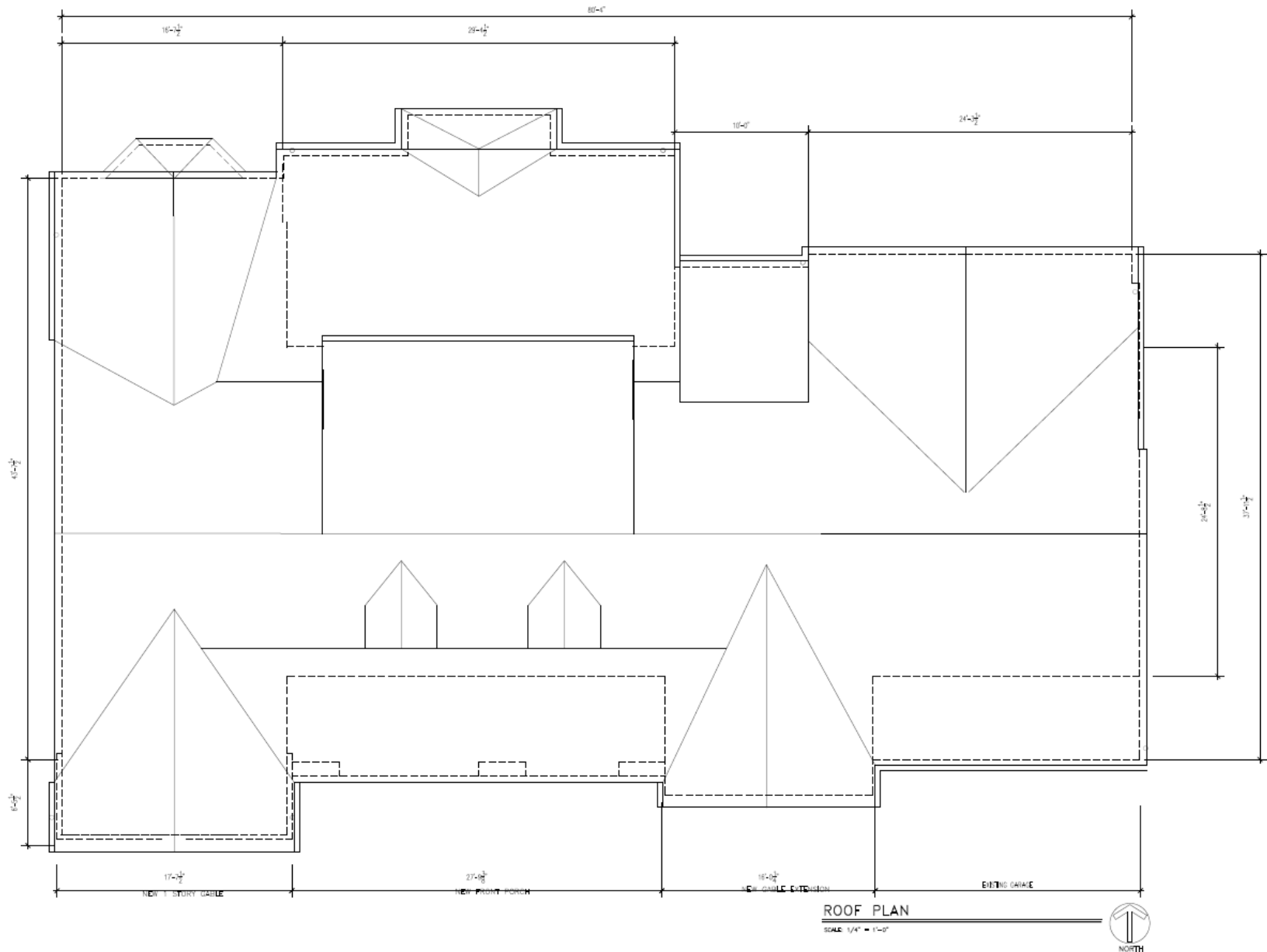
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Relevant Residential Design Standards to consider – Site Design:

- Site plans must clearly show the relationship of the residential building to the street, surrounding parcels and buildings, and immediate context.
- New construction and additions must be located and oriented in a manner that complements the surrounding neighborhood.
- Foundation landscaping, particularly along any street frontage, and the use of appropriate shade and ornamental trees is highly encouraged. Landscaping should include a mix of perennial, evergreen, and seasonal color.

Architectural Design Compatibility

- All new construction and alterations must complement and be compatible with the architectural patterns and context of structures in the immediate area.
- The exterior materials, architectural style, and color scheme used in any addition or alteration of residential building must match or complement the exterior material, architectural style, and color scheme of the existing structure.



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Front Porch and Entry

- Residential buildings must include a prominent front porch and entry, when appropriate for the architectural style. The front porch and entry form, style, and material must be compatible with the chosen architectural style of the home and shall be harmonious and consistent with the neighborhood context.
 - Columns and railings create much of the design character of a front porch. Traditional Lakewood railings are made up of a top rail, bottom rail, and balusters, which are the vertical pieces in between. Cable and horizontal railings are discouraged.
 - Pressure treated wood is acceptable for structural members only, not the finished material. Painting these finished materials is acceptable.
 - Compliance with Appendix B Front Porch Guidelines is required.
 - Additional considerations for front porches can be found in Appendix C: Lakewood Heritage Advisory Board Front Porches.



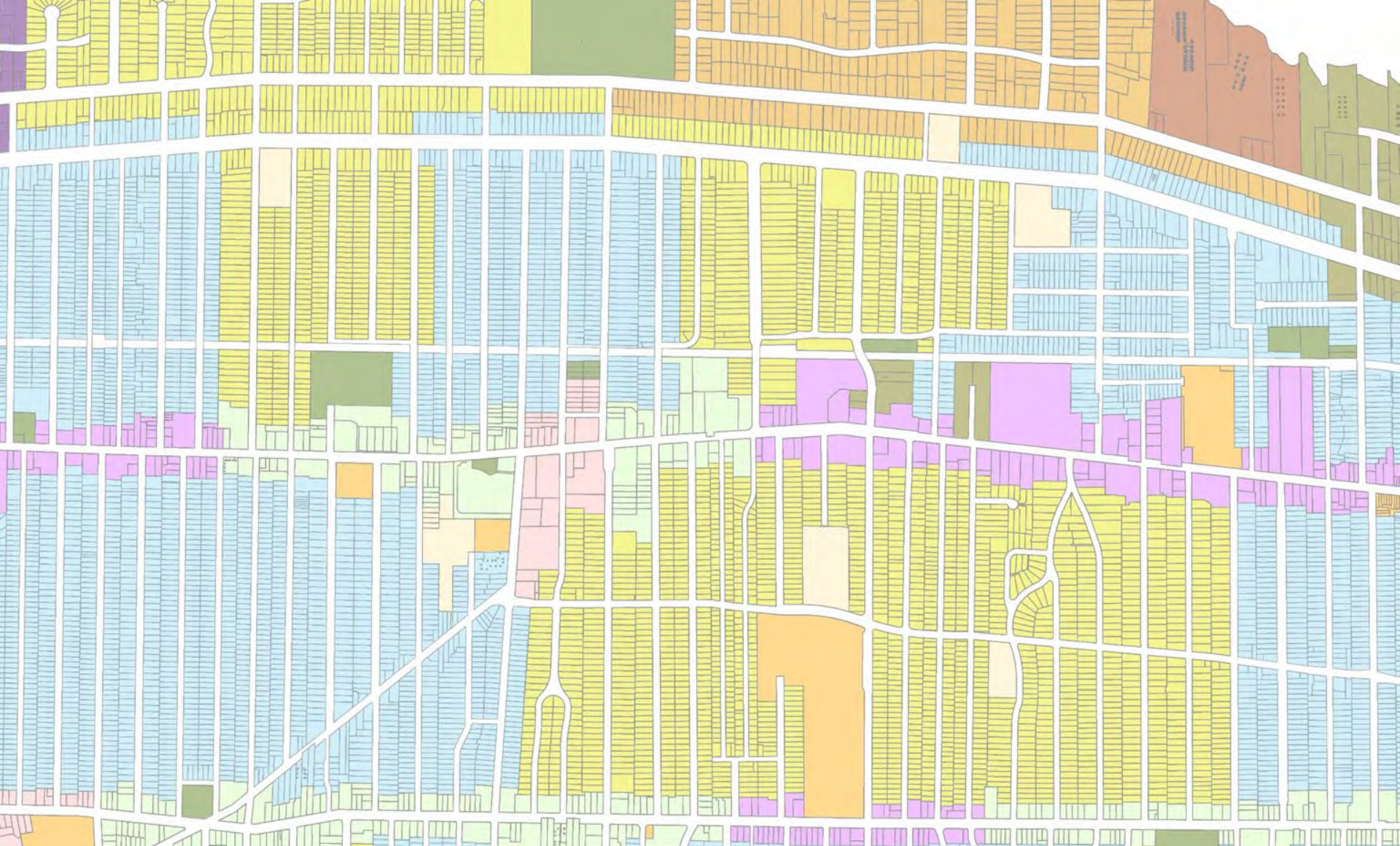
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Exterior Materials and Decorative Details

- The combination of different materials must be appropriate to the surrounding area and existing building's architectural style and design.
- Simulated finishes (e.g. artificial stone or concrete simulating stone or brick, or vinyl siding simulating wood) shall be of high quality that successfully mimics the natural material and be durable to the Northeast Ohio climate.
- Foundations shall have the appearance of brick or stone through the use of split face blocks, brick veneer, burnished, parged, pressed concrete, etc. Exposed CMU and smooth faced concrete foundations are prohibited.
- Wood trim should be painted and strictly staining is discouraged.
- Columns must have appropriate trim at the base and capital.
- Masonry is required on all chimneys.



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Architectural Board of Review

July 2026